ABINGTON TOWNSHIP

FEBRUARY 11, 2021



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

TOWNSHIP OF ABINGTON



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

A G E N D A February 11, 2021 6:30 PM

There are two ways for the public to participate in the meeting. Residents can access the meeting online by a computer, iPad, iPhone, or Android at https://zoom.us/j/91432826808. This link will enable residents to hear the meeting and see presentations. There will be no video capabilities. Residents, who are unable to join online, can listen to the meeting by calling 1-929-436-2866 and entering the meeting ID number 914-3282-6808 when prompted.

CALL TO ORDER

ROLL CALLTHOMPSON, BRODSKY, BOLE, CARSWELL, ROTHMAN, VAUGHN, SCHREIBER, VAHEY, WINEGRAD, DiPLACIDO, MYERS, ZAPPONE, BOWMAN, HECKER, SPIEGELMAN

PLEDGE OF ALLEGIANCE

BOARD PRESIDENT ANNOUNCEMENTS

PRESENTATIONS

PUBLIC COMMENT ON AGENDA ITEMS

CONSENT AGENDA

- a. Motion to approve the Minutes from the Board of Commissioners Regular Meeting of January 14, 2021.
- b. BOC-01-021121 Motion to submit a letter of support regarding the Regional Greenhouse Gas Initiative (RGGI) to the Pennsylvania Environmental Quality Board (PA EQB).
- c. Motion to accept the monthly Financial Reports for December 2020: including Investments; Clearing Fund; Deferred Revenue/Expense Activity; Petty Cash Balances; Travel Expenses and Statement of Conditions.

UNFINISHED BUSINESS

NEW BUSINESS

BOARD OF COMMISSIONERS NEW BUSINESS

a. BOC-02-021121 Motion to adopt Resolution No. 21-005 ratifying the Declaration of Disaster and State of Emergency from January 28, 2021 to February 11, 2021 and approving the Declaration through February 18, 2021.

LAND USE COMMITTEE NEW BUSINESS

- a. LU-01-021121 Motion to approve the Preliminary/Final Land Development Application of Baederwood Residential Properties, LP for the property located at The Fairway to construct a 244-unit apartment building with associated improvements and grant all requested waivers, subject to the Applicant's voluntary agreement to continue negotiations with the adjacent property owner to acquire secondary access to the Property for fire-fighting equipment, per SALDO Section 146-41.B(1)(d).
- b. LU-02-021121 Motion to approve the Hunter Soccer Club Land Development application to construct a new synthetic Turf field at Penbryn Park.

FINANCE COMMITTEE NEW BUSINESS

- a. Receive Treasurer's Report: Township Treasurer, Jay W. Blumenthal
- b. FC-01-021121 Motion to approve the December 2020 expenditures in the amount of \$3,863,200.46 and salaries and wages in the amount of \$2,180,071.06, and authorizing the proper officials to sign vouchers in payment of bills and contracts as they mature through the month of March 2021.

(Motion and Roll Call)

PUBLIC COMMENT

ADJOURNMENT

BOARD POLICY ON AGENDA ITEMS

For Information Purposes Only

Board President Announcements

This item on the Board of Commissioners Agenda is reserved for the Board President to make announcements that are required under law for public disclosure, such as announcing executive sessions, or for matters of public notice.

Public Comment

Public Comment on Agenda Items is taken at the beginning of regularly scheduled Public Meetings prior to any votes being cast. When recognized by the presiding Officer, the commenter will have three minutes to comment on agenda items at this first public comment period. All other public comment(s) not specific to an agenda item, if any, are to be made near the end of the public meeting prior to adjournment. Public comment on agenda items at regularly scheduled Board of Commissioner Committee meetings will be after a matter has been moved and seconded and upon call of the Chair for public comment.

Presentations

Should the Board of Commissioners have an issue or entity that requires time to present an issue to the Board, that is more than an oral description relating to an agenda item under consideration, The Board may have that matter listed under Presentations. If nothing is listed under presentations, then there is no business to conduct in that manner.

Consent Agenda

Items of business and matters listed under the Consent Agenda are considered to be routine and noncontroversial and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired by Board of Commissioner Members, that item is to be identified by the Board member and will be identified and removed from the Consent Agenda, and will be considered separately at the appropriate place on the Agenda.

Unfinished Business

Items for consideration as unfinished business are matters that have been considered for action at a public Board Meeting and have not been tabled to a date certain or voted upon.

New Business

Items for consideration as new business are matters that have been considered for action at the Board Committee Meeting. It is Board practice to not introduce new business at Board Committee Meetings.

BOARD POLICY ON PUBLIC PARTICIPATION

For Information Purposes Only

The Township shall conduct business in accordance with the Commonwealth of Pennsylvania Laws governing the conduct of public meetings and only establish guidelines that shall govern public participation at meetings consistent with the law.

Each commenter shall:

- Direct their comments to the Presiding Officer;
- Speak from the podium or into a microphone designated by the presiding officer;
- State their name for the record;
- Either orally or in writing provide their address for the record;
- Have a maximum of three minutes to make their comments. Each commenter when speaking to a specific agenda item, is to keep their comments relative to that identified agenda item;
- Speak one time per agenda item;
- When commenting on non-agenda items, the commenter is to keep their comments related to matters of the Township of Abington, Montgomery County, Pennsylvania.
- State a question to the Presiding Officer after all commenters have spoken, and;
- Be seated after speaking or upon the request of the presiding officer;
- Not engage in debate, dialogue or discussion;
- Not disrupt the public meeting, and;
- Exercise restraint and sound judgement in avoiding the use of profane language, and the maligning of others.

The stated meeting of the Board of Commissioners of the Township of Abington was held as a Zoom webinar and teleconference on Thursday, January 14, 2021 with President Spiegelman presiding.

CALL TO ORDER:	6:30 p.m.
ROLL CALL:	<u>Present:</u> Commissioners THOMPSON, BRODSKY, BOLE, CARSWELL, ROTHMAN, VAUGHN, MYERS, ZAPPONE, BOWMAN, DiPLACIDO, WINEGRAD, VAHEY, SCHREIBER, HECKER, SPIEGELMAN
	Also Present: Township Manager MANFREDI Assistant Township Manager WEHMEYER Township Solicitor CLARKE Township Treasurer BLUMENTHAL

PLEDGE OF ALLEGIANCE

BOARD PRESIDENT ANNOUNCEMENTS:

President Spiegelman announced that an Executive Session of the Board of Commissioners was held on December 29, 2020 to discuss a personnel matter.

President Spiegelman read the Proclamation honoring the Reverend Dr. Martin Luther King, Jr. Memorial Service into the record and adoption of Resolution No. 21-001.

Commissioner Carswell said she appreciates all the work this team has done. The virtual event will be held at noon and to partake go to <u>www.abingtonpa.gov/mlk</u> where there are opportunities to do service work throughout the Township.

President Spiegelman announced that the Presidential Inauguration Committee will be hosting a memorial to remember and honor those who lost their lives to COVID-19, and on next Tuesday, January 19, 2021 at 5:30 p.m., a Washington, D.C. Ceremony will feature lighting around the Lincoln Memorial reflecting pool and it will be the first ever lighting ceremony to memorialize American lives lost. The Inauguration Committee has encouraged cities and towns around the country to join Washington, D.C. in illuminating government buildings in a national moment of unity and remembrance. Abington Township will be participating by providing special amber lights at the Police Memorial in front of the Township building on Tuesday evening to honor those who lost their lives to COVID-19.

PRESENTATIONS: None.

PUBLIC COMMENT ON AGENDA ITEMS:

Lora Lehmann, resident, expressed concern about the presentation made by the developer of the Willow Grove Mall including their documents.

CONSENT AGENDA:

Vice President Hecker made a MOTION, seconded by Commissioner Thompson to approve Items a. – f. as listed under Consent Agenda as follows:

To approve the minutes from the Budget meeting and the Board of Commissioners Regular meeting of December 10, 2020.

To approve the request for the Township to subordinate the municipal lien under the Community Development Home Program for 205 North Hills Avenue.

To reapprove a five-year lease agreement for 1220 Huntingdon Road between the Abington School District and Abington Township.

To authorize the release of the performance security (escrow release) for Crest Commons, LLC and authorize the Township Manager to sign accordingly.

To approve final payment in the amount of \$1,000.00 to G&B Construction Group for the Ardsley Wildlife Sanctuary Project.

To approve Statement of Conditions.

President Spiegelman asked for any comments from Commissioners.

Commissioner Myers asked for further explanation of Item b. as listed under Consent Agenda for the sake of the public.

Solicitor Clarke explained that there is a HUD lien on the property, and this is a transfer. While it is not necessary that the Township subordinate the lien, the owner is requesting that it be subordinated to meet the requirements of the lender who is providing a new mortgage. A family member is taking over the residence and they are caught between the lender's refinancing requirements and the Township's existing lien, and the lender requires that the lien be subordinated. The Township's position is not damaged in any way and the Township's lien remains in effect. The only way for the property owner to get a new mortgage on the property is by subordinating the lien.

MOTION was ADOPTED 15-0.

UNFINISHED BUSINESS: None.

NEW BUSINESS:

BOARD OF COMMISSIONERS NEW BUSINESS:

Item BOC-03-011421:

Vice President Hecker made a MOTION, seconded by Commissioner Winegrad to adopt Resolution No. 21-002 ratifying the Declaration of Disaster and State of Emergency from December 17, 2020 to January 14, 2021 and approving the Declaration through January 21, 2021.

President Spiegelman asked for any comments from Commissioners. There were none.

MOTION was ADOPTED 15-0.

Item BOC-04-011421:

Vice President Hecker made a MOTION, seconded by Commissioner Schreiber to appoint:

- Michael O'Connor to the Zoning Hearing Board for a term of five-years ending on 12/31/2025.
- Ronald Rosen to the Planning Commission for a term of four-years ending on 12/31/2024.
- Glenn Cooper to the Planning Commissioner for a term of four-years ending on 12/31/2024.
- Lucy Strackhouse to the Planning Commission for a term of four-years ending on 12/31/2024.

President Spiegelman asked for any comments from Commissioners.

Commissioner Vahey commented that consistent with his objections made at the Committee of the Whole meeting in December, he will be voting "no" on this. He opposes changing the policy of appointing members to the Township's volunteer Boards, and while he knows and respects those being reappointed; that does not take the place of thorough vetting and seeing whether other residents in the Township would like to participate. The last two years in which that was done was successful and he learned a lot from the process, and since these are four and five-year terms, he will be voting "no."

Commissioner Brodsky noted that he will need to leave the meeting briefly; however, he is in support of the motion of appointments as listed.

Commissioner Carswell said she shares Commissioner Vahey's concern about the limited process. She understands there has been challenges with the timing, but having chaired this process previously, she is uncomfortable appointing candidates for four and five-year terms that the Board has not interacted with. She is sure all of them have done a good job in their role, but she values the process of considering candidates.

Commissioner Rothman agreed with the sentiments that the Board needs to have a thorough vetting process, which should be done sooner than later; however, he is in favor of the individual appointments and will vote to support them moving forward.

Commissioner Thompson shared the sentiments of his fellow Commissioners; however, he will be voting "yes" to move these individuals forward as he is familiar with their work and they do a good job for the Township. Generally, he is uncomfortable with changing procedures as vetting for volunteers for these Boards is crucial in helping the Commissioners determine what the candidate's strengths and weaknesses are and how the Township can benefit from their service.

Commissioner Bole asked for clarification on whether this is a deliberate change in procedure or a need to appoint because of external pressures due to this anomalous year. He asked for confirmation that the Board is not proposing changing the procedure and what the ramifications would be if the Board voted against appointing these individuals.

President Spiegelman replied the Board is not "ditching" having a vetting policy or mechanism by which the Board of Commissioners interact with individuals who are applying. We are just looking to revise it. The reasons for temporary suspension in this case is due in part to the entire situation of this past year that is carrying over into this year. These appointments are time sensitive because there would be a significant percentage missing from those two Boards and they have a hefty workload on their upcoming agendas. All these individuals have met their commitments and are interested in being reappointed, and there was simply not enough time to do all advertisements currently required by the existing policy, which is the reason for this action.

Vice President Hecker said no one on the Board of Commissioners would take a position to not be thorough and transparent in vetting of those who express interest in positions on volunteer Boards; however, he does feel there is a need for discussion on how to improve the process including the timeframe in which it should begin. Also, as part of this review, the Board needs to determine whether we should handle new appointments and reappointments the same or differently moving forward.

Commissioner Schreiber clarified that the reappointments to the volunteer Boards as listed are time-sensitive and there are openings on other volunteer Boards in which the vetting process will be conducted by the Board of Commissioners. Is that correct?

President Spiegelman replied that is correct.

MOTION was ADOPTED 11-4. Commissioners Vahey, Carswell, Bole and Vaughn opposed.

Item BOC-05-011421:

Vice President Hecker made a MOTION, seconded by Commissioner Zappone to appoint Pennoni Associates as Township Engineer at the fees for services outlined in the proposal dated January 6, 2021.

President Spiegelman asked for any comments from Commissioners.

Commissioner Myers asked for further explanation on the Township's new procedure using an outside engineering firm.

Manager Manfredi replied while the search moves forward to fill the vacancy for a Township Engineer; it is best to formally name a firm as Township Engineer to review necessary documents on behalf of the Township. The Township has been using this firm; however, it has been placed on the agenda for the purpose of transparency of fees for services outlined in their proposal.

Commissioner Thompson noted that he had a prior professional relationship with Pennoni Associates, and currently, he is serving as Project Manager on a construction project in Philadelphia, and the firm that he works for is paying for engineering services provided by Pennoni. Does he have a conflict of interest and should he abstain from voting?

Solicitor Clarke replied that Commissioner Thompson does not have a conflict of interest and does not need to abstain from voting on this item.

Commissioner Zappone noted the Pennoni Associates is providing engineering services on the Edge Hill Road at Tyson Avenue project and he speaks with them about it. Does he have a conflict of interest?

Solicitor Clarke replied Commissioner Zappone does not have a conflict of interest and does not need to abstain from voting on this item.

MOTION was ADOPTED 15-0.

Item BOC-06-011421:

Vice President Hecker made a MOTION, seconded by Commissioner Carswell to create a Vehicular and Pedestrian Safety Study Team.

President Spiegelman asked for any comments from Commissioners. There were none.

MOTION was ADOPTED 15-0.

Item BOC-07-011421:

Vice President Hecker made a MOTION, seconded by Commissioner Bole to approve Settlement Agreement and General Mutual Release of all claims between O'Neill Consulting Corporation and Abington Township.

Solicitor Clarke explained that the Township brought an action against O'Neill Consulting Corporation and the motion resolves that action.

President Spiegelman asked for any comments from Commissioners. There were none.

MOTION was ADOPTED 15-0.

LAND USE COMMITTEE NEW BUSINESS:

Item LU-02-011421:

Commissioner Thompson made a MOTION, seconded by Commissioner Winegrad to refer the requested and submitted petition to amend the Township's Zoning Ordinance by PREIT to the Planning Commission as an agenda item for their January 26, 2021 meeting.

President Spiegelman asked for any comments from Commissioners.

Commissioner Myers said after review of the paperwork; she has concern that proposed text amendment refers to "wood structures," which is not incompliance with Township's Non-Combustible Ordinance, and although she is in favor of the project, she cannot vote in favor for something that does not comply with the ordinance.

President Spiegelman called on Township Solicitor.

Solicitor Clarke said the draft text amendment is presented by the applicant and there are multiple steps prior to any approval. The first would be to send it to the Township's Planning Commission as well as the County Planning Commission for review and then it would come before the Land Use Committee for review. It would then be advertised, and ultimately, the full Board of Commissioners will decide whether to act on the text amendment; not act on it or change it. This is a discretionary legislative function of the Board of Commissioners, and if the majority would like to remove any reference such as "wood construction," that can be done, and the applicant's recourse with respect to the text amendment would be limited.

Commissioner Myers continued that the Board is aware of the procedure; however, when there is something blatantly before the Board that is in complete opposition to the Township's Fire Safety Ordinance, wouldn't it behoove the Board to make the change now before going through all the steps?

Solicitor Clarke replied yes. At this time, the Board would just be passing this along to the Township's Planning Commission; however, if the Board would like that provision removed prior to sending the matter to the Planning Commission, that would be at the discretion of the Board.

President Spiegelman clarified that if this item were sent to the Planning Commission as is, it would not represent any type of abandonment by the Board of the Township's Non-Combustible Ordinance or overlooked if or when the process moves forward. Is that correct?

Solicitor Clarke replied that is correct. An affirmative vote on the motion on the floor is to send the item to the Township's Planning Commission for review. It is not an endorsement or approval by the Township nor a vested right of the property owner.

Commissioner Bole noted that the proposed text amendment states, "A wood structure would be permitted provided it meets all International Building Codes and National Fire Protection Standards, and if it does not, then it shall not be permitted." Also, he shares the concern of Commissioner Myers, and during discussion of the Committee of the Whole, there was consensus to move the project forward to the Planning Commission for review, so he is inclined to support that.

Commissioner Winegrad said he has many concerns about this text amendment including Commissioner Myers' concern. The best way to vet it would be to have the Planning Commission review it and to receive public input. The Board of Commissioners are under no obligation to approve anything especially this, and after review by the Planning Commission and we hear from residents, the Board can then decide on the direction, and so it should move forward.

Commissioner Myers said this is about perception, and the perception in passing this along suggests that the Board is in favor of it; also, Zoom meetings make it more difficult to get public comments. Abington Township's code takes it one step higher, and any building where people sleep overnight is where the noncombustible ordinance applies, and it is to keep people safe.

Commissioner Zappone agreed with Commissioner Myers. He is completely against any amendment to the language of the ordinance regarding "wood structures" and he will never support it. He is in favor of making a change now while there is the opportunity before sending it forward.

Commissioner Thompson echoed sentiments made by Commissioners Myers and Zappone. He finds the language in the proposed zoning text amendment seemingly trying to usurp the Township's noncombustible ordinance and to be objectionable, so he strongly recommends "striking" it prior to coming before the Land Use Committee. However, it is worth passing it onto the Planning Commission for review as well as to receive additional public comments, which will be considered at the Board's next discussion regarding this ordinance.

Commissioner Bowman asked for this item to be moved forward as is.

Manager Manfredi suggested that the Board could consider amending the motion to send Item LU-02-011421 forward to the Township's Planning Commission noting that it is not an endorsement of the provision in the proposed zoning text amendment regarding "wood structures," so the Planning Commission would be clear on the Board's position. Also, the Fire Marshal indicated that he would state his position on this matter as well as attend the Planning Commission meeting.

Vice President Hecker said he respects the position stated by several Commissioners about their objection to the language and he supports that perspective. He suggested taking the path that Manager Manfredi has offered, which would be more viable than the Board making any changes to the text amendment tonight.

President Spiegelman concurred with Vice President Hecker. He agreed that the suggestion made by Manager Manfredi adequately addresses the legitimate issue of "perception."

Mr. Marc B. Kaplin, Esquire, representing the applicant PREIT, said we understand the issue. If the Fire Marshal is not in favor of proposed zoning change regarding "stick construction," it will need to be changed, and from a fire code perspective, it is the degree of fire protection that is available as opposed to what material is involved. Also, the applicant would like to have a discussion with the Fire Marshal as it will be his decision.

Commissioner Myers made a MOTION to AMEND the MOTION to send Item LU-02-011421 forward to the Township's Planning Commission, which is **NOT** an endorsement of the provision in proposed zoning text amendment as it relates to the Township's Non-Combustible Ordinance and that the Planning Commission is to give **NO** weight to the language in the ordinance as it pertains to noncombustible, and to consider all information passed onto them from the Township's Board of Commissioners, Township Administration and Office of the Fire Marshal, and then following their review, send the matter back to the Committee of the Whole of the Board of Commissioners, seconded by Commissioner Zappone.

MOTION to AMEND the MOTION – PASSED 15-0.

MOTION as AMENDED – PASSED 15-0.

FINANCE COMMITTEE NEW BUSINESS:

Receive Treasurer's Report:

Township Treasurer reported that regarding revenues deposited into Republic Bank in December 2020; there was an increase as compared to the month of December 2019 of \$131,842; YTD there was decrease as compared to December 2019 of (\$1,057,583).

Real estate taxes for December 2020; there was an increase as compared to December 2019 of \$36,975; YTD 98% has been collected leaving a balance of 2%.

Item FC-01-011421:

Commissioner Vahey made a MOTION, seconded by Commissioner Myers to approve the November 2020 expenditures in the amount of \$3,339,169.47 and salaries and wages in the amount of \$1,858,083.74, and authorize the proper officials to sign vouchers in payment of bills and contracts as they mature through the month of February 2021.

President Spiegelman asked for any comments from Commissioners.

Commissioner Vahey said since the Finance Committee meeting was not held in December, he asked for any public comments. There were none.

Roll call resulted in motion being passed -15-0.

Item FC-02-011421:

Commissioner Vahey made a MOTION, seconded by Commissioner Myers to approve the Clearing Fund, the Deferred Revenue/Expense activity, and Petty Cash balances for the month of November 2020. Clearing fund receipts and disbursements for the month of November 2020 were \$933.45 and (\$20,570.61), respectively. Deferred Revenue/Expense receipts and disbursements for the month of November 2020 were \$2,500.00 and (\$135.41), respectively.

President Spiegelman asked for any comments from Commissioners. There were none.

President Spiegelman asked for any public comments. There were none.

MOTION was ADOPTED 15-0.

FC-03-011421:

Commissioner Vahey made a MOTION, seconded by Commissioner Winegrad to approve the Travel Expense activity for November 2020. Travel Expenses were \$0.00, and the eleven-month expenses totaled \$9,266.13.

President Spiegelman asked for any comments from Commissioners. There were none.

President Spiegelman asked for any public comments. There were none.

MOTION was ADOPTED 15-0.

Item FC-04-011421:

Commissioner Vahey made a MOTION, seconded by Vice President Hecker to adopt Resolution No. 21-003 authorizing the Finance Director and his/her designate to invest Township funds in any and all such financial institutions as permitted by First Class Township Code.

President Spiegelman asked for any comments from Commissioners. There were none.

President Spiegelman asked for any public comments. There were none.

MOTION was ADOPTED 15-0.

Item FC-05-011421:

Commissioner Vahey made a MOTION, seconded by Commissioner Myers to adopt Resolution No. 21-004 authorizing the disposition of certain Finance Office records as set forth in Exhibit "A".

President Spiegelman asked for any comments from Commissioners. There were none.

President Spiegelman asked for any public comments.

Lora Lehman, resident, asked about salary and position information on Township employee.

Manager Manfredi provided the salary and position information on the Township employee that the resident asked about. Also, there is a salary schedule listed in the Table of Contents for each position in the budget documents.

MOTION was ADOPTED 15-0.

PUBLIC COMMENTS:

Walter Draving, resident, expressed concern that the "mall presentation did not show what PREIT intends to do," also, about the amount of public speaking time and not receiving the "Right To Know" documents.

Lora Lehmann, resident, expressed concern about removing committee meetings and the amount of public speaking time; also, she has issues with the PREIT plan.

Khaled R. Hassan commented that we have Boy Scouts from Troop 304 attending tonight's meeting, and in addition to attendance of a Board of Commissioners meeting, community service is a requirement. Are there are any activities to be held on Monday that the Boy Scouts could get involved with?

President Spiegelman replied yes. They can go to <u>www.abingtonpa.gov/mlk</u> where the service projects are listed. Also, newsletters of Board members include lists of projects.

ADJOURNMENT: 7:48 p.m.

Respectfully submitted,

Liz Vile, Minutes Secretary

The following resolutions were adopted by the Board of Commissioners on January 14, 2021:

Resolution No. 21-001 Resolution No. 21-002 Resolution No. 21-003 Resolution No. 21-004



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

AGENDA ITEM

February 11, 2021	BOC-01-021121	FISCAL IMPACT	
DATE	AGENDA ITEM NUMBER	Cost > \$10,000	
Administration		Yes No 🗸	
DEPARTMENT		PUBLIC BID REQUIRED	
		Cost > \$20,100	
		Cost > \$20,100	
		Yes No	

AGENDA ITEM:

Regional Greenhouse Gas Initiative (RGGI) Letter of Support

EXECUTIVE SUMMARY:

The Regional Greenhouse Gas Initiative is an effort to reduce greenhouse gas emissions from the power sector. This is accomplished through a regional cap or limit on carbon dioxide emissions from electric power plants in participating states. Currently, the RGGI is comprised of Connecticut, Delaware, Maine, Maryland, Massachusetts, New Hampshire, New Jersey, New York, Rhode Island, and Vermont. Pennsylvania joining this initiative is a recommendation of the Pennsylvania Climate Action Plan and the formal process to participate began with Executive Order 2019-07 signed by Governor Wolf on June 22, 2020. Comments are being accepted through a 11:59 PM on 1/14/2021 by the PEQB which is considering the proposal to take part in the RGGI.

PREVIOUS BOARD ACTIONS:

01-14-21 - The Committee of Whole approved to move to the Regular Business meeting on February 11th for full Board approval.

Motion to submit a letter of support regarding the Regional Greenhouse Gas Initiative (RGGI) to the Pennsylvania Environmental Quality Board (PA EQB).

Comment of Dr. John A. Sorrentino on the

Proposed Rulemaking: CO2 Budget Trading Program (#7-559)

Having recently completed a thorough study of the climate change problem as part of a forthcoming piece in the *Oxford Encyclopedia of Environmental Science* entitled, "Containing Carbon through Cap and Trade or a Per Unit Tax," I firmly believe that Pennsylvania should join the Regional Greenhouse Gas Initiative (RGGI). For decades, economists have been promoting economic incentive programs to control pollution. As noted in the Rulemaking discussion in the *Pennsylvania Bulletin*, there have been previous cap-&-trade programs that were successful. This success is expressed in terms of achieving environmental goals cost-effectively.

Following RGGI's Model Rule, the Environmental Quality Board has addressed one of the criticisms of cap-&-trade as opposed to carbon taxes – price volatility. Allowances will be added or withdrawn in the presence of upwardly or downwardly spiraling allowance prices. The following issues are also addressed in the Rulemaking:

1. the well-known economics principle that compliance is achieved at minimum cost if the set of emitters reduce their emissions until the cost of reducing another unit is greater than the uniform allowance price

2. emitters can profit from emissions reductions instead of merely absorbing the cost due to the cap

3. an increase in the spatial extent of the trading market (e.g., from statewide to regional) makes the market more robust

4. investment of auction proceeds will be made in energy efficiency and renewable energy, portending further decreases in carbon emissions

5. modeling has shown that while electricity prices may increase in the short run as a result of reducing carbon emissions, longer-term investments will effectively lower those prices in the future

6. environmental justice has been considered in almost every action in the Proposed Rulemaking

Overall, the Environmental Quality Board has put forth a compelling argument for PA to join RGGI. It is unfortunate that certain PA legislators are determined to undermine this effort. It is also unfortunate that the Air Quality Technical Advisory Committee (AQTAC), the Citizens Advisory Council (CAC) and the Small Business Compliance Advisory Committee (SBCAC) did not endorse the plan.

I sincerely hope that PA will soon join RGGI, as doing so would help PA mitigate the disruptive effects of climate change.

Please contact me for more information at my listed email address.

Sincerely, John A. Sorrentino, PhD Environmental/Ecological Economist



TOWNSHIP OF ABINGTON

John L. Spiegelman, *President* Thomas Hecker, *Vice President* Richard J. Manfredi, *Township Manager* Jay W. Blumenthal, *Treasurer*

January 14, 2021

Honorable Patrick McDonnell, Chairperson Environmental Quality Board P.O. Box 8477 Harrisburg, PA 17105- 8477

Re: Abington Township's Regional Greenhouse Gas Initiative (RGGI) Letter of Support

Dear Chairperson McDonnell,

The Township of Abington supports the Regional Greenhouse Gas Initiative (RGGI) being considered by the Pennsylvania Environmental Quality Board. The Township of Abington is located in southeast Pennsylvania in Montgomery County. It is the second-largest municipality in the County serving more than 55,000 residents. In June 2019, the Township passed a "Ready for 100" Renewable Energy Resolution that calls for the Township to strive towards 100% clean, renewable electricity by 2035.

The RGGI aligns with the Township's efforts to reduce its reliance on non-renewable energy sources and its carbon footprint. It will deliver substantial benefits to Pennsylvania, including climate and economic benefits such as reducing greenhouse gas emissions, job creation, reducing health-related expenses from pollution, and improved quality of life. It is proposed that the reduction in carbon emissions alone will exceed 180 million tons by 2030. Furthermore, modeling conducted by the Pennsylvania Department of Environmental Protection indicates a nearly 2 billion dollar increase in the Gross State Product and the creation of over 27,000 jobs.

The impact the RGGI will have on Pennsylvania's economy, environment, and resident health, including Abington residents, is substantial. As such, we respectfully request the Environmental Quality Board look favorably in its consideration of approving the RGGI.

Thank you for your consideration of this important initiative.

Sincerely,

Richard J. Manfredi Township Manager John L. Spiegelman President, Board of Commissioners

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SCHEDULE OF INVESTMENTS DECEMBER 2020

MATURITY	SETTLEMENT DATE	FINANCIAL INSTITUTION	FUND
105,000.00	12/07/20	STARION FINANCIAL	REFUSE FUND

105,000.00

CLEARING FUND ANALYSIS Description	Beginning Balance 12/01/20	Receipts	Disbursements	Ending Balance 12/31/20
Sales Tax Sales Tax-Refuse Sales Tax-Rain Barrels Sales Tax-Bare Root Trees SPS WWTP	0.00 61.59 37.34 0.00 0.00	23.19		0.00 84.78 37.34 0.00 0.00
Training Center State Mandated Permit Fees War Memorial Donations Totals	0.00 1,889.50 <u>12,111.57</u> 14,100.00	823.50	(9.00)	0.00 2,704.00 <u>12,111.57</u> 14,937.69
DEFERRED REVENUE/EXPENSE				
HRC-Jnktwn Rotary Donation Donation-Police Laser Purchase Police Academy Roychester Park Donations Calendar Ads Refund FICA Guide Rail Damage Light Pole Damage AFLAC Refunds	997.85 250.00 2,777.50 1,046.00 17,284.25 0.00 2,602.20 (7,500.00) 0.00 17,457.80	0.00	0.00	997.85 250.00 2,777.50 1,046.00 17,284.25 0.00 2,602.20 (7,500.00) 0.00 17,457.80
	17,457.80	0.00	0.00	17,437.00
EAC Green Account Jackson Park	1,190.61 1,279.82		(43.95)	1,146.66 1,279.82
TOTALS	2,470.43	0.00	(43.95)	2,426.48
EAC SUSTAINABILITY PROJECTS	17,319.98	0.00	0.00	17,319.98
TOTALS =	17,319.90	0.00	0.00	17,319.90
CASH BALANCES (See Attached)				
PETTY CASH FUNDS Finance Office Parks - Regular Ardsley Community Center Briar Bush - Regular Police Admin Police - SIU Police-Records Office Wastewater Administration Public Works Code/Reception	500.00 100.00 75.00 300.00 50.00 50.00 50.00 50.00 75.00			

TOTAL PETTY CASH FUNDS:

1,800.00

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Through period: 12

Cash and Investments Report Cash and Investments Report TWP OF ABINGTON Through December 2020

		Cash	Investments	Fund Total
01	GENERAL FUND	16,442,210.43	90,000.01	16,532,210.44
02	SEWER OPERATIONS	6,857,594.59	1,618.85	6,859,213.44
03	HIGHWAY AID	1,641,569.25	0.00	1,641,569.25
04	FLOOD MITIGATION FUND	0.00	0.00	0.00
05	OPEB - HEALTH COST FUND	4,496,266.90	15,636,259.58	20,132,526.48
06	GRANT FUND	112,721.82 CR	0.00	112,721.82 CI
07	PERMANENT IMPROVEMENT	10,056,296.39	110,000.02	10,166,296.41
08	PARKS CAPITAL	108,082.36	0.00	108,082.36
10	TUITION REIMBURSEMENT FUND	0.00	0.00	0.00
11	RENTAL REHAB	7,624.86	0.00	7,624.86
12	CLEARING FUND	14,937.69	0.00	14,937.69
13	WORKER'S COMPENSATION	1,614,783.57	328,000.01	1,942,783.58
14	REFUSE FUND	2,038,859.91	105,000.02	2,143,859.93
15	MAIN ST MGR/ECON DEVELOP FUND	3,576.34	0.00	3,576.34
16	S.I.U.	6,081.70	0.00	6,081.70
17	SEWER CAPITAL	3,791,929.59	653,000.02	4,444,929.61
18	CDBG	0.00	0.00	0.00
	Grand Total:	46,967,091.76	16,923,878.51	63,890,970.27

Page: 1

Employee Name Ofcrs. Nyman, Cartwright Fulginiti, Prior & Coughlin Chief Molloy, Lt. Magee K. Przybylowski	Event Street Survival Training Atlantic City, NJ 02/17/2020 to 02/19/2020 CALEA Orlando, FL	Submitted 12/31/2020	YTD Expenses 2020 1,757.98
Fulginiti, Prior & Coughlin Chief Molloy, Lt. Magee	Atlantic City, NJ 02/17/2020 to 02/19/2020 CALEA Orlando, FL		1,757.98
Chief Molloy, Lt. Magee	02/17/2020 to 02/19/2020 CALEA Orlando, FL		1,757.98
	CALEA Orlando, FL		
	Orlando, FL		
K. Przybylowski			
			0.00
	03/18/2020 to 03/21/2020	Refund Issued	
	CODY Conference		
Dave Hendler	Hershey, PA		225.00
	04/19/2020 to 04/20/2020	Registration held for 2021	
	FBINAA National Training		
Chief Molloy	New Orleans, LA		0.00
	07/18/2020 to 07/21/2020	Refund Issued	
	PLEAC Conference		
Lt. Magee	Harrisburg, PA		0.00
č	03/23/2020 to 03/25/2020	Refund Issued	
	POSS Conference		
M. Gargan, R. Conroy, K. Przybylowski	Atlantic City, NJ		0.00
	06/02/2020 to 06/04/2020	Refund Issued	
	PELRAS		
Lt. Porter	State College, PA		0.00
	03/28/2020 to 03/20/2020	Refund Issued	
Sgt. Blythe, Sgt. Kent	Hostage Negotiation Seminar		
Ofc. Welsh, Ofc. Corbett	Baltimore, MD		1,773.39
	02/11/2020 to 02/12/2020		,
	CPSE Fire Accreditation		
Tom McAneney	Orlando, FL		2,474.61
	03/02/2020 to 03/06/2020		_,
	Excellence Conference		
Dave Schramm	Orlando, FL		2,485.15
	03/02/2020 - 03/07/2020		_,
	PA Recreation & Park		
Jessica Tholey	State College, PA		295.00
Jessica Tholey	03/17/2020 - 03/20/2020	Registration held for 2021	295.00
	SWAT Training	Registration neta for 2021	
*Sgt. Blei & 18 Officers	Ft. Indiantown, PA		255.00
Sgi. Dici & 10 Officers	10/05/2020 - 10/06/2020		255.00
Total	10/03/2020 - 10/00/2020	0.00	9,266.13

*New Activity

EXPENSES BY DEPARTMENT:

Briar Bush	
Commissioners	
Administration	
Police	6,485.98
Parks	295.00
Public Works	
Fire Marshal	2,485.15
Finance	
Code	
WWTP	
Total	9,266.13

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS PERMANENT IMPROVEMENT FUND 12/31/20

	Beginning Balance 12/01/20	Monthly Activity	Ending Balance 12/31/20
ASSETS:			
Cash in Bank:			
Operating Cash	6,744,735.69	296,032.86	7,040,768.55
Wells Fargo Cash	358,569.63	(358,000.00)	569.63
Subdivision Plan	60,223.61		60,223.61
Aqua/PECO Paving	553,805.89		553,805.89
Construction Permits	2,351,831.45	1,994.77	2,353,826.22
Hiway Permits	0.00		0.00
Land Development	51,162.98	(762.50)	50,400.48
Street Opening Permits	8,687.10		8,687.10
WaterCourse Permits	1,800.00		1,800.00
Miscellaneous Escrows	139,191.68	1,750.00	140,941.68
Temporary Use & Occ.	1,500.00		1,500.00
Soil Erosion	6,000.00		6,000.00
Legal Fees - Escrow	153,630.62	(162.50)	153,468.12
Investments	110,000.00		110,000.00
Plgit	0.02		0.02
Discount on Investments	0.00		0.00
Premium on Investments	0.00		0.00
Investment to Market	2,849.50	2	2,849.50
Interest Receivable	0.00		0.00
Misc Receivables	0.00		0.00
Perm. Improve. Liens Rec.	29,939.14		29,939.14
Allowance for Liens	(29,939.14)		(29,939.14)
Cash DEA	428.74		428.74
Cash 2014 Bond Issue	0.00		0.00
Cash 2017 Bond	200,557.12		200,557.12
Republic Bank-2017 Bond Cash	(374.80)		(374.80)
TOTAL ASSETS	10,744,599.23	(59,147.37)	10,685,451.86
LIABILITIES			
Accounts Payable	0.00		0.00
Payroll Payable	0.00		0.00
Deposits Payable-Subdivisions	(60,223.61)		(60,223.61)
Aqua/PECO Paving	(553,805.89)		(553,805.89)
Deposits Payable-Construction Permits	(2,351,831.45)	(1,994.77)	(2,353,826.22)
Deposit Payable-Hiway Permits	0.00		0.00
Deposits Payable Land Development	(51,162.98)	762.50	(50,400.48)
Deposits Payable Street Opening	(8,687.10)		(8,687.10)
Deposits Payable WaterCourse Permits	(1,800.00)		(1,800.00)
Miscellaneous Escrows	(139,191.68)	(1,750.00)	(140,941.68)
Deposits Payable Temp. Use & Occ. Permits	(1,500.00)		(1,500.00)
Deposits Payable Soil Erosion	(6,000.00)		(6,000.00)
Deposit Payable - Legal Fees Escrow	(153,630.62)	162.50	(153,468.12)
Deferred Revenue	0.00		0.00
2017 Bonds Payable	0.00		0.00
TOTAL LIABILITIES	(3,327,833.33)	(2,819.77)	(3,330,653.10)
FUND BALANCE:	9,108,708.17		9,108,708.17
REVENUES:			
Payment for Municipal Services	0.00		0.00
Interest on Investments	100,949.50	6,399.07	107,348.57
Refunds	4,712.50		4,712.50
Sale of Property	0.00	49,824.00	49,824.00
Grants - State	0.00	10000000000000000000000000000000000000	0.00
Grants - County	0.00		0.00
Private Donations	0.00		0.00
Transfer from General Fund	0.00		0.00
			0.00
Interest Income 2014 Bond Issue	0.00		
Interest Income 2014 Bond Issue Interest Income 2017 Bond Issue	0.00		0.00

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS PERMANENT IMPROVEMENT FUND 12/31/20

000-5999 Miscellaneous Expense 45,855.00 46,855.00 0.00 967-5213 2017 Bond Funding Cost 0.00 0.00 967-7200 2017 Bond - Old York/Susquehanna Match 1,160,467,56 349,549,73 810,917.83 967-7201 2017 Bond - A.C.E. Sandy Run Match 1,202,708,83 431,333.76 671,315.17 967-7202 2017 Bond - A.C.E. Sandy Run Match 96,94.60 9,694.60 9,694.60 500-7511 Basement Water Damage & Repair 2017 20,955.65 472.97 20,482.85 0.00 500-7524 Grant Match Support 2018 81,885.58 0.00 500,7530 (20,447.95 3,131.04 500-7530 Website Update/App 2018 4,517.79 4,517.79 4,517.79 500-7537 Grant Support 2020 60,000.00 39,720.34 20,279.66 500-7536 Municipal Complex Feasibility Study 2020 100,000.00 110,000.00 500-7540 Dedicated Connections 2020 55,000.00 55,000.00 500-7543 Finance Software Upgrade 2020 25,000.00 12,000.00 500-7544 Dedicated Connections 2020 20,000.00 12,000.00 500-7545 Finance Software Upgrade 2020 20,000.00 25,004.00 26,00	EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
967-5213 2017 Bond Funding Cost 0.00 0.00 967-7200 2017 Bond - Storm Sewer 1,160,467.56 349,549.73 810,917.83 967-7201 2017 Bond - A.C.E. Sandy Run Match 595,800.00 5500,800.00 5,000.00 500-7511 Replace Boiler Admin 2016 9,694.60 9,684.60 506,854 500.7521 Large Scanner Replacement 2017 14,532.45 14,532.45 500.7522 Grant Match Support 2018 81,885.58 81,885.58 0.00 500.7529 Grant Match Support 2018 4,517.79 4,517.79 4,517.79 500-7536 Township Buildings 2020 60,000.00 39,720.34 20,279.66 500-7537 Grant Support 2020 200,000.00 111,801.48 88,852 500-00 500.00.00 50,000.00 100,000.00 100,000.00 100,000.00 500.00.00 50,0				
967-7200 2017 Bond - Storm Sewer 1,160,467.56 349,549.73 810,917.83 967-7201 2017 Bond - A.C.E. Sandy Run Match 1,102,708.93 431,393.76 671,315.17 967-7202 2017 Bond - A.C.E. Sandy Run Match 595,800.00 590,600.00 50,000.00 500-7511 Replace Boiler Admin 2016 9,694.60 9,694.60 9,694.60 500-7521 Large Scanner Replacement 2017 14,532.45 14,532.45 14,532.45 500-7524 Grant Match Support 2018 23,579.00 20,447.96 3,131.04 500-7530 Website Update/App 2018 4,517.79 4,517.79 4,517.79 500-7537 Grant Support 2020 200,000.00 39,720.34 20,279.66 500-7538 Municipal Complex Feasibility Study 2020 100,000.00 110,000.00 100,000.00 500-7542 Security Audit 2020 25,000.00 12,000.00 50,000.00 13,800.00 500-7543 Bin Municipal Complex Feasibility Study 2020 10,000.00 100,000.00 100,000.00 100,000.00 50,000.00 50,000.00 12,000.00 20,000.00 20,000.00 20,000.00 20,000.00 20,000.00 20,000.00 20,000.00			10,000.00	
967-7201 2017 Bond - Old York/Susquehanna Match 1,102,708,83 431,393,76 671,315,17 967-7202 2017 Bond - A.C.E. Sandy Run Match 595,800,00 590,800,00 5,000,00 500-7511 Replace Boller Admin 2016 9,694,60 9,694,60 9,694,60 500-7521 Large Scanner Replacement 2017 14,532,45 14,532,45 14,532,45 500-7524 Grant Match Support 2018 81,885,58 81,885,58 0,00 500-7523 Grant Support 2018 4,517,79 4,517,79 500-7536 Township Buildings 2020 60,000,00 39,720,34 20,279,66 500-7537 Grant Support 2020 20,000,00 111,801,48 88,188,5 500-7537 Grant Support 2020 25,000,00 100,000,00 100,000,00 500-7537 Grant Support 2020 25,000,00 12,000,00 12,000,00 500-7541 Mobile Device Protection 2020 12,000,00 40,000,00 500,764 500-7544 Virtual Desktops 2020 25,000,00 11,200,00 25,000,00 500-7544 Sewer GiS Updates 2020 26,000,00 25,7548 70,678,41 180,320,69 525-7548 Police Vehicles 2020 15,000,00 <td></td> <td></td> <td>349 549 73</td> <td></td>			349 549 73	
967-7202 2017 Bond - A.C.E. Sandy Run Match 595,800.00 500,000 500,000 500,000 500,000 500,000 500,000 500,000 9,694.60 500.7524 Crant Match Support 2018 81.885.58 81.885.58 0.00 500.7530 Township Buildings 2020 60,000.00 39,720.34 20,279.66 500.7537 Grant Support 2020 200,000.00 111,801.48 88,198.52 500.7533 Municipal Complex Feasibility Study 2020 100,000.00 100,000.00 100,000.00 100,000.00 550.000.00 550.000.00 550.000.00 550.000.00 550.000.00 550.000.00 12,000.00 500.7541 Mobile Device Protection 2020 25,000.00 12,000.00 520.7543 90.000.00 20,000.00 20,000.00 20,000.00 20,000.00 525.7549 Police Vehicles 2020 20,000.00 10,040.00 10,140.00 12,000.00 525.75451 Police Vehicles 2				
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500-7537 Grant Support 2020 200,000.00 111,801.48 88,198.52 500-7538 Municipal Complex Feasibility Study 2020 100,000.00 100,000.00 500-7532 Cityview Workspace 2020 55,000.00 55,000.00 500-7540 Dedicated Connections 2020 8,500.00 8,500.00 500-7541 Mobile Device Protection 2020 12,000.00 11,200.00 500-7542 Security Audit 2020 25,000.00 11,200.00 500-7543 Sewer GIS Updates 2020 20,000.00 20,000.00 500-7544 Virtual Desktops 2020 20,000.00 250,000.00 500-7545 Finance Software Upgrade 2020 260,000.00 179,679.41 525-7548 Police Vehicles 2020 15,000.00 116,93.36 3,306.64 525-7554 Replace/Upgrade Blue Band Radios 2020 109,657.00 66,243.00 43,414.00 525-7555 Legital Radios 2020 72,702.00 72,701.36 0.64 525-7555 Terminal and Cody Servers 2020 17,000.00 15,120.50 1,879.50 525-7555 Terminal and Cody Servers 2020 17,000.00 15,120.50 1,879.50 525-7555 Terminal and Cody Servers 2020 17,000.00 15,120.50	. ,,		39 720 34	
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566-7543 C2P2 Trail Phase 2 Grant Prelim Design 2020 16,500.00 16,450.00 50.00 575 7562 Applet Brune 2020 200.000			16,450.00	
575-7563 Asphalt Paver 2020 200,000.00 200,000.00 575-7564 Asphalt Paver 2020 275.000.00 275.000.00				
575-7564 Overlay Program 2020 275,000.00 275,000.00 575-7565 Description to Descent Allivies and Overlag 2020 50.000.00 21.212.60			04 040 60	
575-7565 Repairs to Paver, Milling and Grinder 2020 50,000.00 21,312.68 28,687.32 575-7565 Repairs to Paver, Milling and Grinder 2020 50,000.00 20,526.87 45,462.42				
575-7566 Business Maintenance Program 2020 75,000.00 29,536.87 45,463.13			29,030.07	
575-7567 Business Districts 2020 25,000.00 25,000.00 575-7567 Business Districts 2020 15,000.00 15,000.00				
575-7568 Decorative Street Poles 2020 15,000.00 15,000.00 004 7499 Dadie Decise Street Poles 2010 000.00 000.00			00 000 00	
091-7486 Radio Replacement Project 2016 60,000.00 60,000.00 0.00 091-7486 Radio Replacement Project 2016 60,000.00 60,000.00 0.00				
091-7488 Radio Replacemement Project 2017 60,000.00 56,692.54 3,307.46 094-7589 Declared 4000 Decethere Alexandre 4000 000 400,000,00 100,			56,692.54	
091-7589 Replace 1993 Breathing Air Truck 2018 100,000.00 100,000.00			45 470 50	
091-7590 Fire Training Burn Bldg 2018 20,875.66 15,173.52 5,702.14 004 7501 Public Publi			15,1/3.52	
091-7591 Radio Replacement Project 2018 113,521.00 113,521.00	UST-7591 Radio Replacement Project 2018	113,521.00		113,521.00

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS PERMANENT IMPROVEMENT FUND 12/31/20

091-7592 Maintenance Fire Co Buildings 2019 091-7593 Fire Training Burn Bldg 2019	218,940.44 112,850.99 100,000.00	25,740.99	193,199.45
	112,850.99	110 050 00	100,100,40
bor 7000 File fraining burn blug 2010		112,850.99	0.00
091-7594 Replace 1993 Breathing Air Truck 2019		-1	100,000.00
091-7595 Radio Replacement 2019	113,521.00		113,521.00
091-7596 Fire Company Buildings 2020	300,000.00		300,000.00
091-7597 Fire Training Facility 2020	150,000.00	133,485.04	16,514.96
091-7598 Replace 1993 Breathing Air Truck 2020	100,000.00		100,000.00
091-7599 Radio Replacement Project 2020	113,521.00		113,521.00
071-7496 Replace Doors - Main & Roslyn Branches 2018	31,441.85	30,533.00	908.85
071-7497 Replace Carpet - Lower Level 2018	8,290.81		8,290.81
071-7498 LED Lighting 2019	261.75		261.75
071-7499 Water Mitigation/Bollards/Curbing 2020	5,000.00		5,000.00
800-7546 Remove Vines Jackson Park 2015	16,650.00		16,650.00
800-7553 Replace Crestmont Basketball Court 2017	44,720.00		44,720.00
800-7564 BBNC Master Plan Improvements 2018	22,000.00		22,000.00
800-7580 Facility Wide Tree Maintenance 2019	16,390.00	16,389.50	0.50
800-7581 Open Space & Recreational Comp Plan 2019	125,000.00		125,000.00
800-7582 Remove Invasives Karebrook/Boy Scout Area 2019	11,033.99	9,728.91	1,305.08
800-7583 Window Replacement 2020	5,000.00		5,000.00
800-7584 Pond Maintenance 2020	10,000.00	8,059.77	1,940.23
800-7585 2160 Woodland Rd House 2020	10,000.00		10,000.00
800-7586 Ardsley Street Hockey Court Reno 2020	25,000.00		25,000.00
800-7587 Facility Wide Tree Maintenance 2020	70,000.00	40,265.00	29,735.00
800-7588 Replace Parks Foreman Truck #406 2020	45,000.00	39,141.00	5,859.00
800-7589 Goose Management Program 2020	9,300.00	7,609.65	1,690.35
800-7590 Replace John Deere Infield Groomer 2020	12,000.00	12,000.00	0.00
800-7591 Replace Jacobsen Riding Mower 2020	12,000.00	12,000.00	0.00
800-7592 Replace John Deere Z-Turn Riding Mower 2020	12,000.00		12,000.00
800-7593 Electric Gate Fox Chase Rd Entrance 2020	7,000.00	3,809.46	3,190.54
800-7594 New Garage at Maintenance Yard 2020	50,000.00		50,000.00
800-7595 Parks Upgrades 2020	25,000.00	2,964.49	22,035.51
800-7596 Pool Covers Crestmont 2020	18,000.00		18,000.00
800-7597 Filtering System for Baby Pool 2020	14,000.00	798.50	13,201.50
800-7598 New Fountain Baby Pool 2020	22,000.00		22,000.00
800-7599 Sand Blast/Plaster Crestmont Pool 2020	108,000.00	19,998.00	88,002.00
800-7600 Replace Lawn Boy Residential Mower 2020	2,000.00	1,609.00	391.00
800-7601 Inclusive Park 2020	100,000.00		100,000.00
800-7602 Manor Woods 2020	110,000.00		110,000.00
TOTAL EXPENSES	8,310,711.81	2,740,631.41	5,570,080.40

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS SPECIAL INVESTIGATION UNIT FUND 12/31/20

	Beginning Balance 12/01/20	Monthly Activity	Ending Balance 12/31/20
ASSETS:			
Cash	0.00		0.00
Cash-State Forfeiture - Phila DA	6,081.70		6,081.70
Petty Cash	500.00		500.00
PLGIT Investment	0.00		0.00
Interest Receivable	0.00		0.00
Cash-DEA Seizure TOTAL ASSETS	<u> </u>	0.00	<u> </u>
TOTAL ASSETS	0,001.70	0.00	0,501.70
LIABILITIES:			
Accounts Payable	0.00		0.00
Deferred Revenue	0.00		0.00
TOTAL LIABILITIES	0.00	0.00	0.00
FUND BALANCE:	(9,331.70)		(9,331.70)
REVENUES:			
Interest on Investment	0.00		0.00
Refunds	0.00		0.00
Shared Distribution-Phila DA	0.00		0.00
Shared Distribution-DEA	0.00		0.00
TOTAL REVENUES	0.00	0.00	0.00
	2020	Y-T-D	2020 Remaining
EXPENSES:	Budget	Expenditures	Budget
Buy money	0.00		0.00
Vehicle Purchase	2,750.00	2,750.00	0.00
TOTAL EXPENSES	2,750.00	2,750.00	0.00

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS SEWER CAPITAL 12/31/20

ASSETS:	Beginning Balance 12/01/20	Monthly Activity	Ending Balance 12/31/20
Cash in Bank	3,787,260.71	4,668.88	3,791,929.59
Cash - Wells Fargo	2,039.17	4,000.00	2,039.17
Investments	653,000.00		653.000.00
Investments - PLGIT	0.02		0.02
Investment to Market	8,819.18		8,819.18
Long Term Notes Receivable	150,793.13		150,793.13
Equipment	220,080.34		220,080.34
C & A Sewer System	17,832,907.59		17,832,907.59
Vehicles	691,651.31		691,651.31
Other Sewer Assets	24,287,062.58		24,287,062.58
Construction in Progress	590,714.31		590,714.31
Accumulated Depreciation	(18,798,108.85)		(18,798,108.85)
Accumulated Amortization	0.00		0.00
TOTAL ASSETS	29,426,219.49	4,668.88	29,430,888.37
LIABILITIES:			
Accounts Payable	0.00		0.00
TOTAL LIABILITIES	0.00		0.00
FUND BALANCE:	30,031,055.25		30,031,055.25
REVENUES:	73,210.41	3,218.81	76,429.22
Interest Income Interest - Edge Hill - SD #10	21.93	5,210.01	21.93
Interest - Old Ford Rd - SD #10	856.07	62.50	918.57
Interest - Stocton Rd - SD #14	714.49	02.50	714.49
Interest - Old Welsh Rd - SD #16	2,288.55	137.51	2,426.06
Interest - Mill Rd - SD #17	2,300.09	257.29	2,557.38
Refunds	0.00	201.20	0.00
Sewer Connections	107,000.00	1,500.00	108,500.00
Asmnt Prin - Edge Hill - SD #10	487.55		487.55
Asmnt Prin - Rydal II - SD #13	10.62		10.62
Asmnt Prin - Old Ford Rd - SD #14	7,747.87	389.28	8,137.15
Asmnt Prin - Stocton Rd - SD #15	983.15		983.15
Asmnt Prin - Old Welsh Rd - SD #16	23,803.82	962.49	24,766.31
Asmnt Prin - Mill Rd - SD #17	2,319.59	228.50	2,548.09
TOTAL REVENUE	221,744.14	6,756.38	228,500.52
	2020	Y-T-D	2020 Remaining
EXPENSES	Budget	Expenditures	Budget
000-5201 Legal Expense	2,500.00 121,020.00	73.75	2,426.25 121,020.00
903-7330 Mill Rd. Sanitary Sewer Project 851-7473 Install Pump Station Monitors 2012	33,645.00	13,834.07	19,810.93
	57,085.53	18,973.28	38,112.25
851-7477 Pump Station Upgrade Cont 141 2012 851-7488 Lateral Pipe Remote Flush Truck 2015	18,979.14	10,575.20	18,979.14
851-7489 Pump Station Scada Monitor Unit 2015	68,000.00		68,000.00
851-7490 Row Flush/TV Reel Mobile Unit 2015	47,434.35		47,434.35
851-7491 Tall Trees PS Elec Feed Repl 2015	34,249.06	2,087.50	32,161.56
851-7493 Bryant Ln Pump Station Divert to Holy Redeemer 2016	80,000.00		80,000.00
851-7495 Sewer System I & I Rehab 2017	192,500.00		192,500.00
851-7499 Rydal Pump St. Pump & Valve Replacement 2017	77,006.91	47,839.77	29,167.14
851-7500 PA Small Water & Sewer Grant 2017	100,000.00	10 (b) • (0) (b) (b) (b) (b) (b) (b) (b) (b) (b) (b	100,000.00
851-7501 Sewer System I&I Rehabilitation 2018	15,000.00		15,000.00
851-7503 Replace 2004 Flush Truck 2019	285,000.00	268,044.83	16,955.17
851-7507 Replace 1999 GMC Sewer Televising Van 2020	210,000.00		210,000.00
851-7508 Replace Aqua Aerobic Disk/Comp Control 2020	55,000.00		55,000.00
851-7509 Replace Comp Ctrl & Comm Equip 2020	122,000.00		122,000.00
851-7510 Replace Doors/Windows Influent Bldg 2020	13,000.00		13,000.00
851-7511 Replace Furnace/Radiators Influent Bldg 2020	15,000.00	636.20	14,363.80
851-7512 Diffuser Membrane Replacement Kit 2020	36,000.00		36,000.00
851-7513 Emergency Generator Tall Trees 2020	35,000.00		35,000.00
851-7514 Air Compressor 2020	20,000.00	19,398.00	602.00
966-7335 Tookany Basin Upgrades 2013	666,702.87	457,780.00	208,922.87
TOTAL EXPENSES	2,305,122.86	828,667.40	1,476,455.46

TOWNSHIP OF ABINGTON STATEMENT OF CONDITIONS PARKS CAPITAL 12/31/20

	Beginning Balance 12/01/20	Monthly Activity	Ending Balance 12/31/20
ASSETS: Cash in Bank Cash - Trails Cash - Morgan Stanley Investments Investments to Market Discount on Investments Interest Receivable	113,951.60 0.00 0.00 0.00 0.00 0.00 0.00 0.00	(5,869.24)	108,082.36 0.00 0.00 0.00 0.00 0.00 0.00
TOTAL ASSETS	113,951.60	(5,869.24)	108,082.36
LIABILITIES: Accounts Payable Deferred Revenue TOTAL LIABILITIES	0.00 0.00	0.00	0.00 0.00
FUND BALANCE:	(120,913.29)	0.00	(120,913.29)
REVENUES: Interest on Income Refunds Grants - State Parks Capital Private Donations Grants-State/Trails Private Donations Trails	0.00 0.00 0.00 0.00 0.00 0.00		0.00 0.00 0.00 0.00 0.00 0.00
TOTAL REVENUES	0.00	0.00	0.00
EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
Alverthorpe Manor Bldg Repairs	120,913.29	12,830.93	108,082.36
TOTAL EXPENSE	120,913.29	12,830.93	108,082.36



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

AGENDA ITEM

February 11, 2021	BOC-02-021121	FISCAL IMPACT
DATE	AGENDA ITEM NUMBER	Cost > \$10,000
Administration		Yes No 🗸
DEPARTMENT		
		PUBLIC BID REQUIRED
		Cost > \$20,100
		Yes No 🗸

AGENDA ITEM:

Declaration of Disaster Ratification of Resolution No. -21-005

EXECUTIVE SUMMARY:

Resolution No. 21-005 ratifying the Declaration of Disaster and State of Emergency from January 28, 2021 to February 11, 2021 and approving the Declaration through February 18, 2021.

N/A

RECOMMENDED BOARD ACTIONS:

Motion to adopt Resolution No. 21-005 ratifying the Declaration of Disaster and State of Emergency from January 28, 2021 to February 11, 2021 and approving the Declaration through February 18, 2021.



TOWNSHIP OF ABINGTON

John L. Spiegelman, *President* Thomas Hecker, *Vice President* Richard J. Manfredi, *Township Manager* Jay W. Blumenthal, *Treasurer*

RESOLUTION # 21-005 DECLARATION OF DISASTER AND EMERGENCY

February 11, 2021

WHEREAS, COVID-19 has been declared by the World Health Organization and the Centers for Disease Control and Prevention a "public health emergency of international concern"; **and**

WHEREAS, both the Commonwealth of Pennsylvania and Montgomery County have declared a state of emergency due to the identification of COVID-19 infected citizens; **and**

WHEREAS, on or about March 16, 2020 COVID-19 has caused or threatens to cause injury, damage, and suffering to the persons and property of Abington Township; **and**

WHEREAS, this incident has or is about to continue endangering the health, safety and welfare of a substantial number of persons residing in Abington Township and threatens to create problems greater in scope than Abington Township may be able to resolve; **and**

WHEREAS, Section 74-2.A of the Code of Ordinances of the Township of Abington requires that the Board of Commissioners ratify a Declaration of Emergency within seventy-two (72) hours; **and**

WHEREAS, emergency measures are required to reduce the severity of this disaster and emergency to protect the health, safety, and welfare of affected residents in Abington Township;

NOW, THEREFORE, pursuant to the provisions of Section 7501 of the Pennsylvania Emergency Management Services Code, 35 Pa. C.S.A, Section 7101 et seq., do hereby declare the existence of a disaster emergency in Abington Township and pursuant to the provision of Chapter 74 - Public Emergencies in the Abington Township Municipal Code, the President of the Board of Commissioners of the Township of Abington is authorized to declare a state of emergency and take any one or more of the specified measures per the legislation, and that the state of emergency in Abington Township is extended, the seventy two (72) duration requirement is waived, and the disaster declaration is affirmed for an additional seven (7) days subject to ratification by the Board of Commissioners at a future date.



FURTHER, the Abington Township Emergency Management Coordinator is directed to coordinate the activities of the emergency response, to take all appropriate action needed to alleviate the effects of this disaster, to aid in the restoration of essential public services, and to take any other emergency response action deemed necessary to respond to this disaster emergency.

STILL FURTHER, the Abington Township Manager is to act as necessary to meet the current exigencies as legally authorized under this Proclamation, namely, and to include, by the employment of temporary workers, by the rental of equipment, and by entering into such contracts and agreements as may be required to meet the emergency, all without regard to those time consuming procedures and formalities normally prescribed by law, mandatory constitutional requirement excepted.

STILL FURTHER, the Board of Commissioners hereby waives the provisions of Section 74-2.A of the Code of Ordinances of the Township of Abington to the extent that ratification of the declaration of emergency is required within 72 hours of the declaration, and to the extent that further formal ratification is required pursuant to the Township Ordinance.

This declaration shall take effect immediately this eleventh day of February 2021.

John L. Spiegelman President, Abington Township Board of Commissioners

ATTEST:

Richard J. Manfredi Township Manager & Secretary

Date: February 11, 2021



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

AGENDA ITEM

February 11, 2021	LU-01-021121	FISCAL IMPACT
DATE	AGENDA ITEM NUMBER	Cost > \$10,000
Code		Yes No 🗸
DEPARTMENT		
		PUBLIC BID REQUIRED
		Cost > \$20,100
		Yes No 🗸

AGENDA ITEM:

Baederwood

EXECUTIVE SUMMARY:

n/a

PREVIOUS BOARD ACTIONS:

n/a

RECOMMENDED BOARD ACTIONS:

Motion to approve the Preliminary/Final Land Development Application of Baederwood Residential Properties, LP for the property located at The Fairway to construct a 244-unit apartment building with associated improvements and grant all requested waivers, subject to the Applicant's voluntary agreement

to continue negotiations with the adjacent property owner to acquire secondary access to the Property for fire-fighting equipment, per SALDO Section 146-41.B(1)(d).



Township of Abington

Office of the Township Manager

Richard J. Manfredi Township Manager

Board of Commissioners Board Action Agenda Item Request

To: Richard J. Manfredi, Township Manager Attn: Terry Castorina, Executive Administrative Assistant						
Date: 04/22/2020	Prepared By: Amy Montgomery					
Department: Engineering and Code	Board Committee Land Use					

Title of Agenda Item Baederwood Residential Partners, LP - Baederwood Shopping Center - 1657 The Fairway

Recommended Board Action:

Consider a motion of approval of Baederwood Residential Partners, LP, Baederwood Shopping Center, 1657 The Fairway for construction of a 244-unit apartment building with an associated parking garage and an access driveway crossing through the adjacent shopping center.

Executive Summary & Comments Included:	✓ Yes	No
Previous Board Action Included:	✓ Yes	No
Fiscal Note Information Included:	Yes	No
Supporting Documents Included:	Yes	No



Township of Abington

Office of the Township Manager

Richard J. Manfredi Township Manager

Board of Commissioners Board Action Agenda Item Request

Previous Board Actions:

Planning Commission recommended approval of the land development application for Baederwood Residential Partners, LP, Baederwood Shopping Center, 1657 The Fairway, at their regularly schedule meeting on January 28, 2020.

Executive Summary and Comments:

Land Development application for an 18.869 acre total project area located on the north side of The Fairway approximately 1,500 feet east of its intersection with Old York Road, Abington, PA. 8.42 acres is the project development acreage along with 10.45 acres of Baederwood Shopping Center. The property takes access from The Fairway through the Baederwood Shopping Center. The applicant proposes construction of a 244-unit apartment building with an associated parking garage and an access driveway crossing through the adjacent shopping center. Stormwater management, lighting, and landscaping are proposed for the site itself. In addition, the shopping center parking lot will be reconfigured and landscaped and improvements are proposed to The Fairway to improve pedestrian and vehicular movements. The application received dimensional variances from the Zoning Hearing Board in 2018 from the ordinance in effect at the time of application. Additionally, the application received Conditional Use approval from the Board of Commissioners on March 18, 2019. The property is located within the FTD Fairway Transit District of Ward 7.



Township of Abington

Office of the Township Manager

Richard J. Manfredi Township Manager

No 🗸

Yes

FISCAL NOTE

AGENDA ITEM NUMBER:		DATE INTRODUC	DATE INTRODUCED: 2/14/2020				
FISCAL IMPACT AMOUNT:		FUND:					
FISCAL IMPACT:	YES	N O	FISCAL IMPACT				
			Cost > \$10,000.				

SUMMARY

Land Development application for an 18.869 acre total project area located on the north side of The Fairway approximately 1,500 feet east of its intersection with Old York Road, Abington, PA. 8.42 acres is the project development acreage along with 10.45 acres of Baederwood Shopping Center. The property takes access from The Fairway through the Baederwood Shopping Center. The applicant proposes construction of a 244-unit apartment building with an associated parking garage and an access driveway crossing through the adjacent shopping center.

ANALYSIS

N/A

APPLICATION FOR SUBDIVISION/LAND DEVELOPMENT

TO BE COMPLETED BY THE TOWNSHIP Submission Information:	
Application Number: <u>4-19-09</u> Project Title: <u>Barden shipping</u> Contu Received By: <u>MAX</u>	File Date: 7/25/19 Date Complete: 7/25/19 90 Day Date: 11/18/19 Ward No. 7

REQUIRED MATERIAL FOR ALL SUBDIVISION/LAND DEVELOPMENT APPLICATIONS:

- 1. This form MUST be completed and submitted.
- 2. A Subdivision/ Land Development Application MUST include all of the items listed in the application checklist in Section V to be considered complete.
- 3. Incomplete application will **NOT** be placed on the Planning Commission agenda. Incomplete applications will be returned to the applicant.
- 4. Complete applications must be received at least 45 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard
- 5. One (1) digital copy, ten (10) full size paper copies, and one (1) 11x17 reduced copy of the plans, plus three (3) copies of each report or study are to be submitted in the initial submission of the complete application.

*It is highly encouraged to submit applications in a digital format

Check # 2550 - 3139 Check # 2550 -Rec # 457446 Check # 2550 -Rec # 457447 3138

TOWNSHIP OF ABINGTON

MONTGOMERY COUNTY, PENNSYLVANIA

LAND USE AND DEVELOPMENT Guidance Manual

I. CONTACT INFORMATION

	Name				
1.1	1301 Lancaster Avenue, Berwyn, PA 1931	12			
Applicant Information	Address				
	610-727-6023	610-640-9058			
1.00-1	Phone	Fax			
1. 19 2	jbladel@brandolinicompanies.com				
	Email Address				
	N				
	Name				
Property Owners	Address				
formation	Address				
f different n applicant)	Рһопе	Fax			
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Thone				
	Email Address				
	Minno & Wasko				
	Name				
	80 Lambert Lane Lambertville, NJ 08530				
Architect/ Planner	Address	· · · · · ·			
I latutel	609-397-9009	609-397-9399			
	Phone	Fax			
	dminno@minnowasko.com				
	Email Address				
	Cornelius Brown, P.E.				
ngineer/	Name				
Surveyor	1515 Market Street, Suite 920, Philadelph	ia, PA 19102			
	Address				

TOWNSHIP OF ABINGTON

MONTGOMERY COUNTY, PENNSYLVANIA

	267-402-3400	267-402-3401			
Engineer/ Surveyor	Phone	Fax			
Cont'd	cbrown@bohlereng.com				
	Email Address				
-	Marc Kaplin				
	Name				
	910 Harvest Drive , Blue Bell, PA	19422			
Attautor	Address				
Attorney	610-941-2666	610-684-2000			
	Phone	Fax			
	mkaplin@kaplaw.com				
	Email Address				

MONTGOMERY COUNTY, PENNSYLVANIA

II. **PROJECT INFORMATION**

Application Type:
Minor SubdivisionMinor Land Develop.Preliminary Major SD & LDPreliminary Major SubdivisionImage: Prelim. Major Land Develop.Final Major SD & LDFinal Major SubdivisionImage: Prelim. Major Land Develop.Final Major SD & LD
Full street address of the property: The Fairway, Abington Township, Montgomery County, PA 19406
Tax Parcel No.: 30-00-66644-007 County Deed Book No.: 5563 Page No.: 683
Description of Proposed Work:
Zoning District: <u>FTD</u> Existing Number of Lots: <u>3</u> Proposed Number of Lots: <u>3</u> (of which 1 is Baederwood SC not under this applicant's ownership)
Existing Sewer Flows: 0 Proposed Sewer Flows: 39,100 gpd Proposed Land Use:
Single Family Detached Single Family Attached Single Family Semi-Detached Multi-Family Commercial Industrial Other (Describe): Other (Describe): Other

III. <u>REVIEW</u>

Please complete the following section by circling a response:

•	Have you met with the Zoning Officer regarding this plan?	Yes	NoO
•	Are there known variances/any zoning relief necessary for this project?*	Yes	NoO
•	If YES, have you submitted an application to the Zoning Hearing Board?	Yes 💽	NoO
٠	Has this plan been heard by the Zoning Hearing Board?	Yes	No

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Township a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

It is recommended that ALL Land Development and Major Subdivision applications have a pre- submission meeting to discuss the project prior to full application submittal.
Minor Subdivision applications may request a pre-submission meeting; if one is desired.
Meetings are held the fourth Tuesday of each month beginning at 9:30 a.m. at the Township Administrative Offices. Applicants assume responsibility of any fees associated with this meeting. Applicant signature To schedule a pre-submission meeting, please contact the office of the Township Manager at 267-536-1003 or email <u>TCastorina@abington.org</u>

IV. WAIVERS

List of Requested Waivers: Attach separate sheet if required.

Section/Requirement:

Relief Requested:

MONTGOMERY COUNTY, PENNSYLVANIA

V. <u>SUBMISSION</u>

APPLICATION CHECKLIST

The ap	oplicant is responsible for the submission of a complete application. This checklist will aid both
the ap submi	plicant and staff in ensuring that all applications are complete. The following is a per item ssion checklist for all Subdivision, Land Development and Conditional Use Applications for the
Towns	ship of Abington.
\checkmark	Application Form: completed and signed by the owner/applicant
1	10 (ten) copies of the proposed plan, folded to legal file size. Plan should not be smaller than $1'' = 50'$ and not exceed a sheet size of $24'' \times 36''$
\checkmark	One (1) reduced copy of the proposed plan, no larger than 11″x17″
\checkmark	One (1) Digital PDF file of the proposed plan
✓	Two (2) sets of tentative architectural plans for all applications proposing construction or land development
	One (1) copy of the Recreation Facilities Plan (if required by §146-40)
\checkmark	Letter of Sanitary Sewer availability from the Township Wastewater Treatment Department
\checkmark	Two (2) copies of Sewage Facilities Planning Module Applications
\checkmark	Letter of Water availability from AQUA PA
	One (1) copy of any previous Zoning Hearing Board decisions related to the subject property
	Application Fee: Check made payable to the Township of Abington
	Escrow Fee: Check made payable to the Township of Abington. Separate check from application fee

VI. <u>SIGNATURE</u>

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct, and complete.

Signature of Applicant

Date

Signature of Property Owner (if different than applicant)

Date

THE FOLLOWING IS FOR INTERNAL USE ONLY:							
PAYMENT							
Application Fee	Amount: \$	Check No.: #					
Review Escrow Fee	Amount: \$	Check No.: #					
DECISION INFORMATION	I						
Approval	Denial I	Decision Date:					
Comments/Conditions:							

PLANNING PROCESS EXTENSION AGREEMENT

The Pennsylvania Municipality Planning Code (MPC) and the Abington Township Subdivision and Land Development Ordinance state that action must be taken by the Township within ninety (90) days after a complete application is filed with the Township. In the Township, complicated, unique, and community impactful projects have or may require additional time in order to complete a thorough review before being considered for approval. As such, an applicant may voluntarily waive the tining requirement at any time, but is encouraged to submit this waiver with the completed application.

I, the applicant, hereby voluntarily waive the timing requirement as set forth in the MPC (Section 509) and the Abington Township Subdivision and Land Development Ordinance (Section 146-13).

Signed: _____

Applicant

Date: _____

Received: _____

Township

Date: _____

16

ESCROW AGREEMENT FOR PROFESSIONAL REVIEW FEES FOR SUBDIVISION/LAND DEVELOPMENT APPLICATIONS

The undersigned hereby agrees to post an escrow to cover the costs of the review of subdivision and land development applications by the Township's Planner, Engineer, and Solicitor. The amount of said escrow shall be according to the attached "Schedule of Fees" and shall be posted at the time of initial submission of an application to the Township. Said fees shall be placed in an escrow account and any balance remaining shall be returned to the applicant subsequent to the receipt of final approval.

The applicant is advised that the "Schedule of Fees" represents only an estimate of the costs associated with plan review. The completeness and quality of the submission, the complexity of the project, the number of revisions and other factors may cause costs to exceed the established escrow amounts. If during the course of a subdivision/land development review an escrow amount falls to 10% of the original escrow amount or \$250, whichever is greater, the Township may require the posting of additional escrow.

NOTE: NO FINAL APPROVALS, CONSTRUCTION, BUILDING OR OCCUPANCY PERMITS SHALL BE ISSUED UNTIL ALL OUTSTANDING PROFESSIONAL REVIEW FEES HAVE BEEN SATISFIED.

Signed: Applicant

Date:

NOVATIVE ENGINEERING

January 11, 2021

AN EMPLOYEE OWNED COMPANY

Mr. Richard Manfredi, Manager Abington Township 1176 Old York Road Abington, PA 19001

SUBJECT: REDSTONE AT BAEDERWOOD RESIDENTIAL DEVELOPMENT PRELIMINARY/FINAL LAND DEVELOPMENT PLAN REVIEW NO. 5 ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA PROJECT NO. 1926013R

Dear Mr. Manfredi:

Pursuant to the Township's request, we have completed the fifth review of the Preliminary/Final Land Development Plan Application for Baederwood Residential Partners, L.P. The submitted information consists of the following items.

- Transmittal letter prepared by Bohler Engineering, dated November 23, 2020.
- Cover letter prepared by Bohler Engineering, dated November 20, 2020.
- General Project Description and Stormwater Management Calculations prepared by Bohler Engineering, dated November 20, 2020.
- Preliminary/Final Land Development Plan (Sheets 1 through 66 of 66) prepared by Bohler Engineering, dated July 1, 2019, revised October 20, 2020.

BACKGROUND INFORMATION

The Owner/Applicant, Baederwood Residential Partner, L.P., is proposing a land development on its property located on the northern side of The Fairway approximately 1,500-feet east of its intersection with Old York Road (S.R. 0611).

The existing property has a total gross lot area of 18.869 acres and is located within the FTD, Fairway Transit District. The property consists of an existing retail shopping center with associated parking taking access from The Fairway.

The proposed land development consists of the construction of a 244-unit apartment building with associated parking garage and access driveway through the existing shopping center. In addition, the shopping center parking lot will be reconfigured. Stormwater management, lighting, landscaping, and public water and sewer services are also proposed.

Dimensional variances from Sections 504.6.H, 504.8.B, 504.8.C.d and f, 504.8.E.2, 504.8.G, and 902.1.A of the Zoning Ordinance in effect at the time of application were granted on February 20, 2018.

The plans were resubmitted due to the revisions made to the western most and eastern most entrances into the site from the Fairway Valley Road, as well as the adjacent parking areas within the site. Based on our review of the above information and our previous letter dated February 6, 2020, we offer the following comments and/or recommendations for your consideration.

Fountainville Professional Building 1456 Ferry Road, Building 500 Doylestown, PA 18901 215-345-9400 Fax 215-345-9401

2756 Rimrock Drive Stroudsburg, PA 18360 570-629-0300 Fax 570-629-0306 Mailing: P:0- Box 699 Bartonsville, PA 18321

559 Main Street, Suite 230 Bethlehem, PA 18018 610-419-9407 Fax 610-419-9408

www.bjengineers.com

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SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

- 1. In accordance with Sections 146-11.A.(4) and 146-11.B.(3), tract boundaries with tax parcel numbers, owner's names, and acreages of lots within 400-feet of the project site must be provided. (Previous Comment 1) Waivers from Sections 146-11.A.(4) and 146-11.B.(3) were requested and recommended for approval by the Township Planning Commission at its meeting held on January 28, 2020.
- 2. In accordance with Section 146-11.B.(7), existing waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights located on and within 400 feet of the project site must be shown on the plan. (*Previous Comment 2*) A waiver from Section 146-11.B.(7) was requested and recommended for approval by the Township Planning Commission at its meeting held on January 28, 2020.
- 3. In accordance with Sections 146-11.E.(3), 146-43.E.(2), and 146-43.E.(3), erosion and sedimentation control plan approval by the Township Engineer is required. The proposed disturbance is greater than one (1) acre, therefore an erosion and sedimentation control plan adequacy letter and a PADEP NPDES Permit are required. (*Previous Comment 3*) All correspondence with and approvals from the County Conservation District and PADEP must be provided to the Township.
- 4. In accordance with Section 146-11.J, a narrative describing recreation facilities in the proposed open space areas shall be submitted. (*Previous Comment 4*) The response indicates the proposed recreation facilities will be public, will meet the needs of the future community, and will meet the requirements of the National Recreation and Parks Association.
- 5. An improvement and completion guarantee must be provided in accordance with Section 146-17. A detailed construction cost estimate with specific line items must be submitted for review. (Previous Comment 5) This comment has been acknowledged. The response indicates a construction cost estimate will be provided.
- 6. In accordance with Section 146-28.E and 146-41, the plan shall be submitted to the Township Fire Marshal for review. (Previous Comment 31) A submission was made to the Fire Marshal and comments received August 1, 2019. Responses to the comments received have been provided with this submission. (Previous Comment 6) No approval from the Fire Marshal has been received by this office to date.
- 7. The proposed sanitary sewer has a diameter of 6-inches. Section 146-35.C.(2) requires the sanitary sewer to have a diameter of 8-inches and the plan must be revised. (Previous Comment 7) Section 146-35.C.(2) requires ductile iron pipe and PVC pipe is proposed. A waiver from Section 146-35.C.(2) was requested for the pipe material and was recommended for approval by the Township Planning Commission at its meeting held on January 28, 2020.

STORMWATER MANAGEMENT ORDINANCE COMMENTS

The proposed development is located within the Pennypack Watershed and the B Management District. The proposed land development has a disturbed area greater than one (1) acre. Therefore, Article III and the requirements of Sections 404, 405, 406, and 409 must be followed.

8. In accordance with Sections 302.A.6, 302.B.23, 401.A, 401.D, and 403.A, erosion and sedimentation control approval is required. The proposed disturbance is greater than one (1) acre, therefore an erosion and sedimentation control plan adequacy letter and a PADEP NPDES

Mr. Richard Manfredi, Manager – Abington Township Redstone at Baederwood Residential Dev. Prelim/Final Land Development Plan Review No. 5 January 11, 2021 Page 3 of 5

Permit are required. (Previous Comment 8) All correspondence with and approvals from the County Conservation District and PADEP must be provided to the Township.

- 9. In accordance with Section 701.A, a financial guarantee is required for the proposed stormwater management improvements. A detailed cost estimate with specific line items must be submitted for review. (*Previous Comment 9*) This comment has been acknowledged. The response indicates a cost estimate will be submitted.
- 10. In accordance with Sections 702.A and 704, an operation and maintenance plan and agreement must be provided. (*Previous Comment 10*) This comment has been acknowledged.

MISCELLANEOUS COMMENTS

- 11. The plans must be labeled to show the location of the proposed guide rail, including the beginning and end (*New Comment*).
- 12. The grading plans show a significant difference in elevation along the retaining wall. Protection from falling over the edge of the wall must be provided and labeled on the plans along the northern public open space area (located southeast of the apartment building) (*New Comment*).
- 13. Grading Plan A (Sheet 11 of 66) has the following issues which must be resolved:
 - a. The proposed contour line in the southwest parking area adjacent to the western entrance is noted as 282 but should be 182. The plan must be revised accordingly (*New Comment*).
 - b. The three proposed spot elevations (BC 181.93, 181.96 and 181.91) along the western curb of the interior island in the southwest parking lot create a flat undrained area. The proposed grading must be revised to provide positive surface drainage away from the island to the downstream storm sewer system (*New Comment*).
 - c. The proposed BC 182.30 spot elevation at the western corner of the southwest parking area creates an approximate 10 % slope. The proposed grading must be revised to reduce the slope (*New Comment*).
 - d. The BC 181.24 and 181.27 spot elevations in the parking area just west of the western crosswalk (in front of the 2 story Masonry building entrance) create an undrained low area. The grading must be revised to provide positive surface drainage to the inlet downstream (*New Comment*).
 - e. The BC 181.23 spot elevation in the southwest corner of the HC space access aisle (interior island corner) near the western crosswalk (2 story Masonry building entrance) creates an undrained low spot. The grading must be revised to provide positive surface drainage from the HC parking spaces and access aisle (*New Comment*).
- 14. The spot elevation (BC 171.78) in the parking area north and adjacent to the 2-story masonry building shown on Grading Plan B (Sheet 12 of 66) creates an undrained low spot. The grading must be revised to provide positive surface drainage (*New Comment*).
- 15. Grading Plan C (Sheet 13 of 66) has the following issues which must be resolved:
 - a. The proposed spot elevations and slopes along the proposed curved concrete sidewalk are

Mr. Richard Manfredi, Manager – Abington Township Redstone at Baederwood Residential Dev. Prelim/Final Land Development Plan Review No. 5 January 11, 2021 Page 4 of 5

not legible due to the size of the text. The plan must be revised to enlarge the spot elevations and slopes for legibility (*New Comment*).

- b. The BC 243.27 spot elevation shown in the drive north of the apartment building creates an undrained low spot. The grading must be revised to provide positive surface drainage (*New Comment*).
- 16. A storm sewer tabulation chart must be provided in the General Project Description and Stormwater Management Calculations Report for the proposed inlets and storm sewer which shows the following information on the same page in the spreadsheet:
 - a. Pipe size
 - b. Pipe slope
 - c. Manning's number
 - d. Projected flow in pipe
 - e. Conveyance capacity of the pipe
 - f. Hydraulic grade line elevations
 - g. Invert and rim elevations
 - h. Velocity of the pipe

(New Comment).

- 17. The following discrepancies between the Utility Plans A and C (Sheets 15 and 17 of 66), the Profile Plans (Sheets 61 and 62 of 66) and the General Project Description and Stormwater Management Calculations Report (Pages 169 through 171) must be resolved:
 - a. The invert Elevation into UGB from Inlet IN04 is noted as 174.31 in the Report, however it is noted as 174.47 on the Utility Plan C (Sheet 15) and the Profile Plan (Sheet 61) (*New Comment*).
 - b. The pipe slope from Inlet IN04 to UGB is noted as 0.0200 ft/ft in the Report, however it is noted as .0164 ft/ft on the Utility Plan C (Sheet 15) and the Profile Plan (Sheet 61) (*New Comment*).
 - c. The pipe slope from Inlet IN-EX02 to Inlet IN-EX03 is noted as 0.0187 ft/ft in the Report, however it is noted as .0100 ft/ft on the Utility Plan C (Sheet 15) and the Profile Plan (Sheet 62) (*New Comment*).
 - d. The invert Elevation into Inlet IN04 from Inlet IN05 is noted as 189.71 in the Report) and on the Profile Plan (Sheet 61), however it is noted as 189.67 on the Utility Plan C (Sheet 15) (*New Comment*).

The Plans and Report must be revised accordingly.

18. Utility Plan C (Sheet 17 of 66) has the following issues which must be resolved:

Mr. Richard Manfredi, Manager – Abington Township Redstone at Baederwood Residential Dev. Prelim/Final Land Development Plan Review No. 5 January 11, 2021 Page 5 of 5

- a. Yard drain YD02 is incorrectly labeled as YD01 on the Utility Plan (Sheet 17 of 66). The plan must be revised accordingly (*New Comment*).
- b. The grate elevation of YD02 appears to be set too high to accept surface runoff from its drainage area. The Design Engineer must confirm the grate elevation and revise as necessary (*New Comment*).
- 19. Landscape Plan A (Sheet 37 of 66) from the previous submission provided trees in the landscaped island in the southwest parking area, the two landscaped islands in the northwest parking lot and in the island adjacent to the four HC parking spaces. However, trees are no shown on Landscape Plan A (Sheet 37 of 66) in this submission. We recommend that Landscape Plan A be revised to provide trees in these islands (*New Comment*).
- 20. Four of the Village Green Zelkova along the drive from the western Fairway Entrance to the apartment building as shown on Landscape Plan A (Sheet 37 of 66) and Landscape Plan C (Sheet 39 of 66) appear to be over or very close to the electric line and telephone line. The plans must be revised to provide adequate horizontal utility clearance (*New Comment*).
- 21. The ADA Grading Details Plan (Sheet 65 of 66) must be revised to resolve the following issues:
 - a. The Proposed Driveway ADA Grading Detail must be revised to note the longitudinal slopes and cross slopes for the sidewalk and curb ramp located in the northwest corner of the intersection (*New Comment*).
 - b. The Whole Foods ADA Grading Detail notes a 2% landing slope, however, the spot elevations of 170.61 and 170.49 over a distance of four (4) feet result in a 3% slope. The grading must be revised to demonstrate ADA compliance (*New Comment*).
- 22. All comments received from the Traffic Engineer, Shade Tree Commission, and Fire Marshal must be addressed to their satisfaction. (*Previous Comment 11*)

We recommend the above remaining comments be addressed to the satisfaction of Abington Township prior to approval of the proposed Land Development Plan.

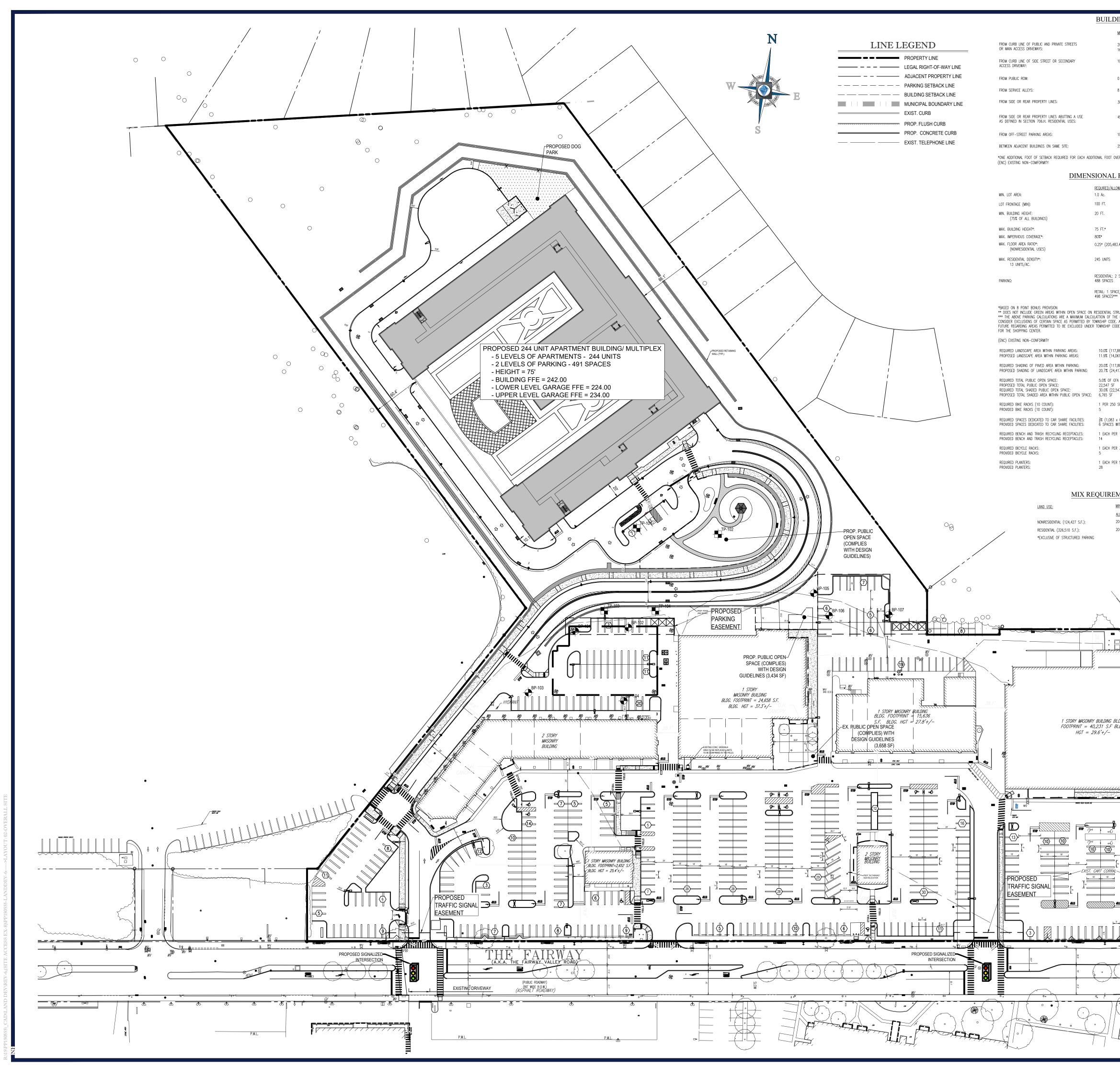
If you should have any questions regarding the above, please call me.

Sincerely, - ly

Jon S Tresslar, P.E. Municipal Engineer

JST/MES/cg

cc: Amy Riddle Montgomery, Director of Engineering and Code – Abington Township Michael P. Clark, Esquire, Rudolph Clarke, LLC – Abington Township Solicitor Baederwood Residential Partners, L.P. – Applicant/Property Owner Cornelius Brown, P.E., Bohler Engineering – Applicant's Engineer Michael Narcowich, Montgomery County Planning Commission



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1"= 60'

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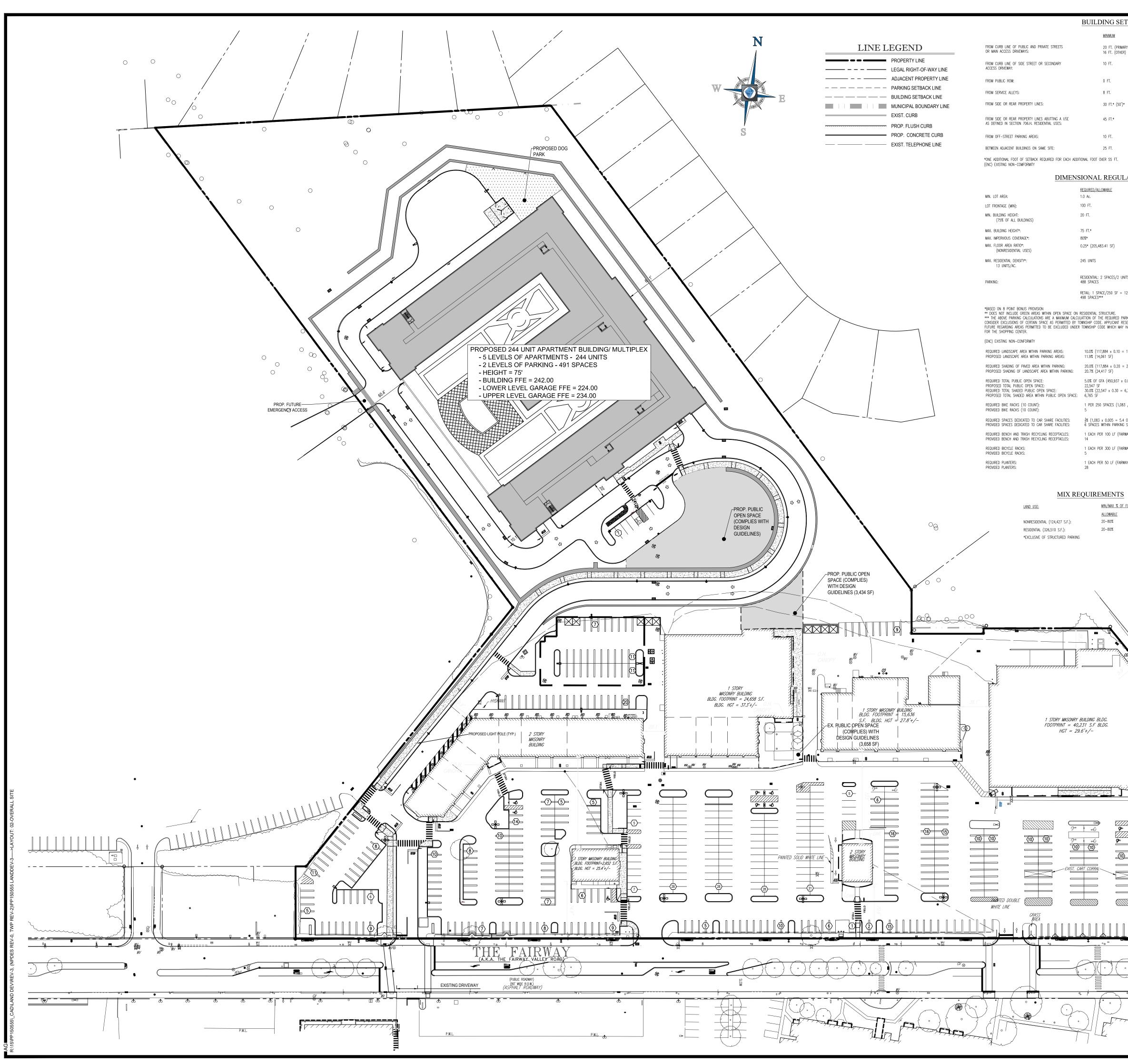
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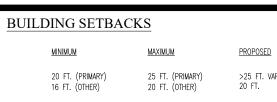
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REVISION 6 - 10/20/2020







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	10 FT.	12 FT.	10.1 FT.
	0 FT.	25 FT.	70.6 FT. (ENC)
	8 FT.	-	0 FT. (ENC)
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	45 FT.*	-	66.1 FT. (RESIDENTIAL) 5.9 FT. (WHOLEFOODS) (ENC)
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DIMENSIONAL REGULATIONS

<u>ULOWABLE</u>	PROPOSED 18.869 Ac.
	1,400.88 FT.
	75.0% > 20'
	75 FT.
	75.19% **
483.41 SF)	0.15 (124,427 SF)
	244 UNITS
: 2 SPACES/2 UNITS = 2X244 = S	RESIDENTIAL: 491 SPACES 7 SURFACE PARKING SPA
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10.0% (117,884 x 0.10 = 11,788)

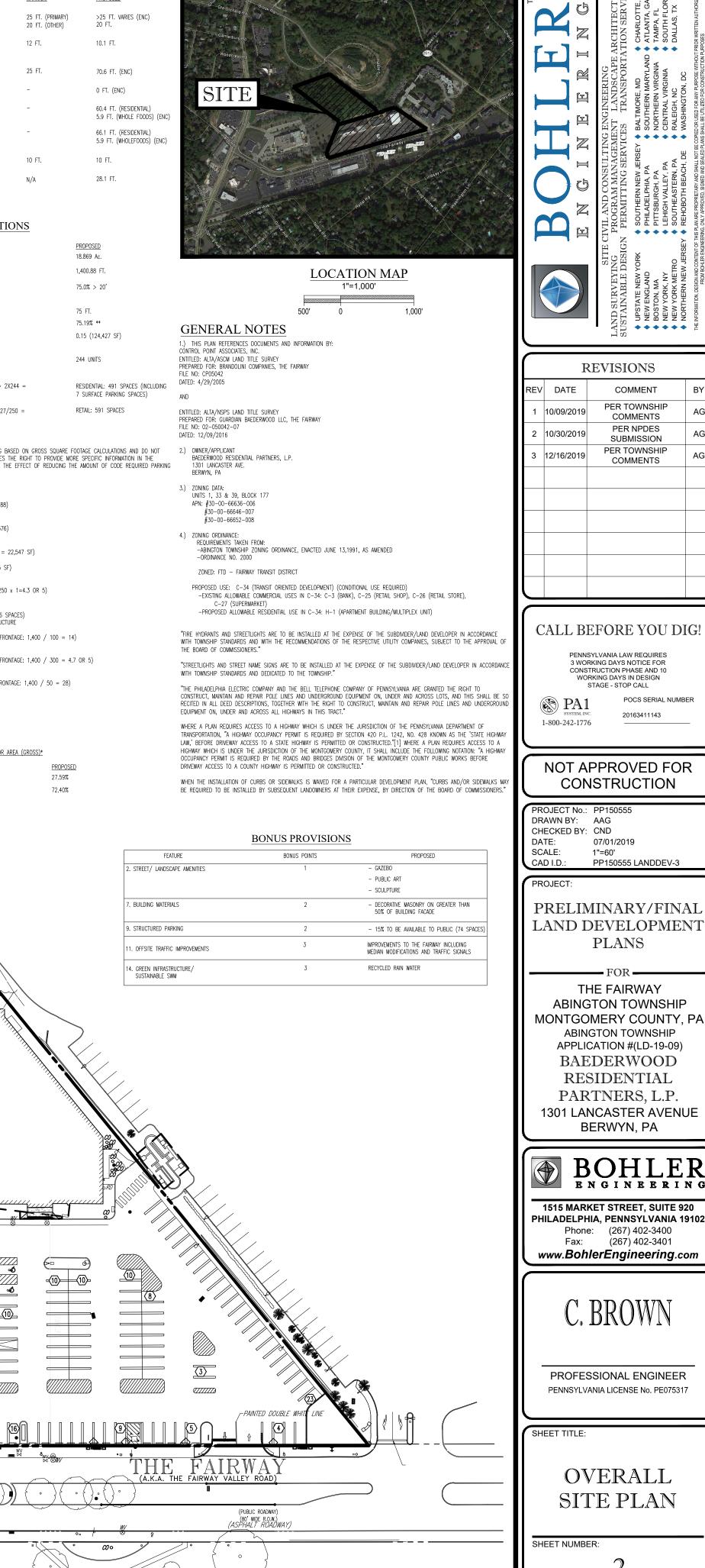
- 20.0% (117,884 x 0.20 = 23,576)
- 5.0% OF GFA (450,937 x 0.05 = 22,547 SF) 22,547 SF 30.0% (22,547 x 0.30 = 6,765 SF)
- 1 PER 250 SPACES (1,083 / 250 x 1=4.3 OR 5)
- $\frac{1}{2}$ % (1,083 x 0.005 = 5.4 OR 6 SPACES)

6 SPACES WITHIN PARKING STRUCTURE

- 1 EACH PER 100 LF (FAIRWAY FRONTAGE: 1,400 / 100 = 14)
- 1 EACH PER 300 LF (FAIRWAY FRONTAGE: 1,400 / 300 = 4.7 OR 5)
- 1 EACH PER 50 LF (FAIRWAY FRONTAGE: 1,400 / 50 = 28)

MIN/MAX % OF FLOOR AREA (GROSS)*	
ALLOWABLE	PROPOSED
20-80%	27.59%
20-80%	72.40%

1"= 60'



OF 65

REVISION - 3

Jim Bladel

From: Sent: To: Cc: Subject: John Rohrer <jrohrer@AbingtonPA.gov> Tuesday, January 12, 2021 7:24 AM Drew Gerard Jim Bladel RE: Baederwood Residential - Fire Review

Drew,

The Fire Chief and his officers had reviewed and agreed with the additional protection as you had proposed. These additions would be included on the official plans submitted for the building and fire protection. A copy was forward to the appropriate parties here at the Township.

Thanks John Rohrer Fire Marshal

From: Drew Gerard <dgerard@telgian.com> Sent: Monday, January 11, 2021 1:29 PM To: John Rohrer <jrohrer@AbingtonPA.gov> Cc: jbladel@brandolinicompanies.com Subject: RE: Baederwood Residential - Fire Review

Hi Mr. Rohrer,

Can you please advise if this matter has been properly documented and filed with the Township? I want to ensure that anything additional is taken care of either by myself or the applicant, who is cc'd on this email.

Thanks, Drew

Drew Gerard, PE, CFPS Regional Practice Leader, Fire Protection Engineering Telgian Engineering & Consulting 4001 Kennett Pike Suite 308 Wilmington, DE 19807 +1 480-282-5392 (direct) +1 480-710-0341 (mobile) dgerard@telgian.com

www.telgian.com

This email is intended solely for the addressee and may contain privileged, proprietary, or otherwise private information. If you are not the intended addressee, you must not use, disclose or copy this transmission, and are asked to notify the sender of its receipt.

Please consider the environment before printing this email.

From: Drew Gerard Sent: Monday, December 28, 2020 8:02 AM To: John Rohrer <<u>irohrer@AbingtonPA.gov</u>>

Cc: jbladel@brandolinicompanies.com Subject: RE: Baederwood Residential - Fire Review

Good morning Mr. Rohrer,

I hope you had an enjoyable Christmas. I wanted to follow up on this issue and ensure it has been filed appropriately with the township.

Do you need anything further from myself or the applicant?

Best Regards,

------ Original message ------From: John Rohrer <<u>jrohrer@AbingtonPA.gov</u>> Date: 11/16/20 12:09 PM (GMT-05:00) To: Drew Gerard <<u>dgerard@telgian.com</u>> Subject: RE: Baederwood Residential - Fire Review

Frew,

Thanks, yes I did receive it and will be back to you shortly.

Thanks again,

John Rohrer

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From: Drew Gerard <<u>dgerard@telgian.com</u>> Sent: Monday, November 16, 2020 12:07 PM To: John Rohrer <<u>jrohrer@AbingtonPA.gov</u>> Cc: Jim Bladel <<u>jbladel@brandolinicompanies.com</u>> Subject: FW: Baederwood Residential - Fire Review

Hello John,

I just want to validate that you received the attached letter? Is there anything else you would need from us?

Thanks,

Drew



TOWNSHIP OF ABINGTON montgomery county, pennsylvania

PLANNING COMMISSION RECOMMENDATION FORM

APPLICANT INFORMATION:

LD-19-09 Application Number <u>January 28, 2020</u> Date

<u>Baederwood Residential Partners, LP</u> Name

<u>Baederwood Residential Partners, L.P. – Baederwood Shopping Center – 1657 The Fairway</u> Full Address:

Overview: The applicant proposes construction of a 244-unit apartment building with an associated parking garage and an access driveway crossing through the shopping center. stormwater management, lighting, and landscaping are proposed for the site itself. In addition, the shopping center parking lot will be reconfigured and landscaped and improvements are proposed to The Fairway to improve pedestrian and vehicular movements.

Requested Waivers:

See Attached Bohler Letter dated December 17, 2019.

PLANNING COMMISSION COMMENTS AND RECOMMENDATIONS:

The Planning Commission recommends approval of the waivers that were submitted.

Conditions:

Planning Commission recommended approval of Baederwood Residential Partners, LP land development application subject to:

- 1. Compliance with Fire Marshal's review letter dated August 1, 2019;
- 2. Compliance with stormwater management requirements;
- 3. Provide updated plan showing existing features on the adjacent Rydal Waters property; specifically, the roadway as well as existing features of the Noble Center on the western side and a path connection from Rydal Waters to this development;
- 4. Plan should provide a pedestrian access pathway to the dog park.

[X APPROVED [DENIED	VOTE: 9 OF 0
Signature: Maria Myrsta	Date: 01-29-2020
° / /	

1176 Old York Road, Abington PA 19001 | www.abington.org | 267-536-1000 | TTY/TTD: 9-1-1 | Fax 215-884-8271

November 11, 2020

John J. Rohrer, Fire Marshal Township of Abington, Fire Company 1176 Old York Road Abington, PA 19001 P: 267-536-1056

Subj: Baederwood Residential Partners The Fairway Jenkintown, PA 19046

RE: Fire/Life Safety Plan for Project

Dear Mr. Rohrer

I wanted to say Thank You to you and your Fire Company for facilitating this preliminary review process for the subject project. As requested, this letter summarizes the agreements that have been made regarding the fire and life safety systems that will be implemented at this building in lieu of providing a second access road.

Access Road

The current plan for the access road up to the proposed Apartment consists of a single roadway with truck access from The Fairway, consisting of two lanes of opposing traffic. The total width of the roadway ranges between 26-33 feet, with a mountable median separating the two lanes. Maximum grade along the roadway is 5.7%. The fire lane continues around the Apartment building on three sides, with a truck turn around on the north side of the building.

Stairways

The three proposed stairways will have a fire resistance rating of 2-hours or greater. The north and south stairwells will be equipped with a fire department access door that opens to the exterior of the building, the center stairwell must be accessed through the parking garage or from the courtyard. The door locks will be equipped with relays interconnected with the fire alarm system, which will release upon fire alarm signal in accordance with NFPA 72 requirements, and upon power loss they will fail open. At the RI level of the central stairway, there will be a level-of-discharge identification barrier held open by mag lock, which will close upon fire alarm so that occupants egress to the Landscape Courtyard and down the stairs along the west fire access lane, not through the parking garages. All three stairways will be equipped with standpipes which are detailed below. A set of stairs will be provided along the southwest side of the building, leading from the fire department access road to the courtyard. This will aid the fire department in accessing the courtyard and will also provide an exit discharge from the center egress stairwell.



Voice Communications

The applicant is proposing to upgrade the fire alarm system to be designed with voice communication. All areas of the building, including the stairwells will be equipped with speakers, rather than horns. This system will have PA capability that can be used by Fire Department during an incident response. Use of the voice communication can help encourage tenants to evacuate by foot, not by vehicle to avoid congestion of the fire access road during fire department response.

Command Station

We propose that the fire sprinkler room on the lowest level of the building be used as the fire command station, and will house the fire alarm control panel, fire sprinkler equipment, fan controls, and building plans.

Evacuation Plan

The applicant is willing to prepare and implement a fire safety evacuation plan that encourages tenants to evacuate by foot, not in their vehicles to avoid congestion of the fire access road during fire department response.

Standpipes

We propose to provide manual-wet class I standpipes in all three stairways. 2.5-inch hose valves will be provided with 1.5-inch reducing caps, located at the intermediate landings. Residual pressure of 100 psi will be provided and designed based on fire department pumper truck standard operating procedure (SOP). Based on preliminary hydraulic calculations, the first two hoses should expect a residual pressure between 88 -105psi at the most remote standpipe connections.

Fire Department Connections

There will be two (2) fire department connections provided for this building. Both will be capable of pressurizing the fire sprinkler systems and the standpipes. The fire department connections will be equipped with two (2) inlets with 3-inch NST female fittings.

-At the south side of the building, there will be a remote freestanding fire department connection in the landscape island allowing open access to the driveway during its use.

-At the north side of the building, there will be a wall mounted fire department connection located within 50-feet of the stairway exit door near the northwest corner.

Public Water Supply

The site will be supplied water through an 8-inch water main that follows the access lane. There will be two (2) hydrants provided, for this building. Combined fire flow will be approximately 3,000 gpm at 20 psi.

-The south fire hydrant will be located in the landscape island, allowing open access to the driveway during its use.

-The north hydrant will be located on the building side of the driveway and within 50-feet of the stairway exit door near the northwest corner.

Fire sprinklers

The building will be a fully sprinklered building per NFPA 13. The residential units will be protected with a wet pipe sprinkler system having Light Hazard design density. The parking garages will be protected with an Extra Hazard Group II design density.

Smoke Control



-In the parking garage, the applicant will increase the ventilation rate to aid in fire-fighting activities.

-In the building corridors, the applicant will provide a ventilation system that will aid in post-incident purging of smoke. Given the architectural layout of the corridors and the lack of exterior walls/windows, we propose to provide dedicated exhaust fans on the roof that are connected to an exhaust riser that runs vertically through the building. Exhaust grilles in the corridor would be connected to the vertical exhaust riser. During post-fire salvage operations, the fans would be turned on to clear the smoke from the corridors.

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Emergency Generators

The generator will be sized to support all fire and life safety equipment.

Emergency Responder Radio Coverage

The applicant will ensure that the site is equipped with Emergency Responder Radio Coverage equipment. Equipment specifications will be developed as the signal survey results become available.

Summary

As discussed and agreed upon, these provisions will allow the applicant to proceed with the Township approval process and this project will have conditional approval from the Fire Department for the proposed single access road.

Best Regards,

Drew D. Gerard, PE, CFPS Regional Practice Leader, Fire Protection Engineering

Telgian Engineering & Consulting, LLC

Fred Snow, President Baederwood Residential Partners, LP

Jim Bladel

From: Sent: To: Cc: Subject: John Rohrer <jrohrer@AbingtonPA.gov> Tuesday, January 12, 2021 7:24 AM Drew Gerard Jim Bladel RE: Baederwood Residential - Fire Review

Drew,

The Fire Chief and his officers had reviewed and agreed with the additional protection as you had proposed. These additions would be included on the official plans submitted for the building and fire protection. A copy was forward to the appropriate parties here at the Township.

Thanks John Rohrer Fire Marshal

From: Drew Gerard <dgerard@telgian.com> Sent: Monday, January 11, 2021 1:29 PM To: John Rohrer <jrohrer@AbingtonPA.gov> Cc: jbladel@brandolinicompanies.com Subject: RE: Baederwood Residential - Fire Review

Hi Mr. Rohrer,

Can you please advise if this matter has been properly documented and filed with the Township? I want to ensure that anything additional is taken care of either by myself or the applicant, who is cc'd on this email.

Thanks, Drew

Drew Gerard, PE, CFPS Regional Practice Leader, Fire Protection Engineering Telgian Engineering & Consulting 4001 Kennett Pike Suite 308 Wilmington, DE 19807 +1 480-282-5392 (direct) +1 480-710-0341 (mobile) dgerard@telgian.com

www.telgian.com

This email is intended solely for the addressee and may contain privileged, proprietary, or otherwise private information. If you are not the intended addressee, you must not use, disclose or copy this transmission, and are asked to notify the sender of its receipt.

Please consider the environment before printing this email.

From: Drew Gerard Sent: Monday, December 28, 2020 8:02 AM To: John Rohrer <<u>irohrer@AbingtonPA.gov</u>>

Cc: jbladel@brandolinicompanies.com Subject: RE: Baederwood Residential - Fire Review

Good morning Mr. Rohrer,

I hope you had an enjoyable Christmas. I wanted to follow up on this issue and ensure it has been filed appropriately with the township.

Do you need anything further from myself or the applicant?

Best Regards,

------ Original message ------From: John Rohrer <<u>irohrer@AbingtonPA.gov</u>> Date: 11/16/20 12:09 PM (GMT-05:00) To: Drew Gerard <<u>dgerard@telgian.com</u>> Subject: RE: Baederwood Residential - Fire Review

Frew,

Thanks, yes I did receive it and will be back to you shortly.

Thanks again,

John Rohrer

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From: Drew Gerard <<u>dgerard@telgian.com</u>> Sent: Monday, November 16, 2020 12:07 PM To: John Rohrer <<u>jrohrer@AbingtonPA.gov</u>> Cc: Jim Bladel <<u>jbladel@brandolinicompanies.com</u>> Subject: FW: Baederwood Residential - Fire Review

Hello John,

I just want to validate that you received the attached letter? Is there anything else you would need from us?

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Thanks,

Drew



TOWNSHIP OF ABINGTON

Office of the Fire Marshal

John L. Spiegelman, Board President Thomas Hecker, Board Vice President Richard J. Manfredi, Township Manager John Rohrer, Fire Marshal

January 13, 2021

Re: Baederwood Apartment SALDO

Richard J. Manfredi Township Manager

The Fire Companies and my Office have been reviewing the proposed apartment building at Baederwood behind the shopping center for some time. As you are aware, a large portion of that review was requesting a second access road to the building for fire apparatus access.

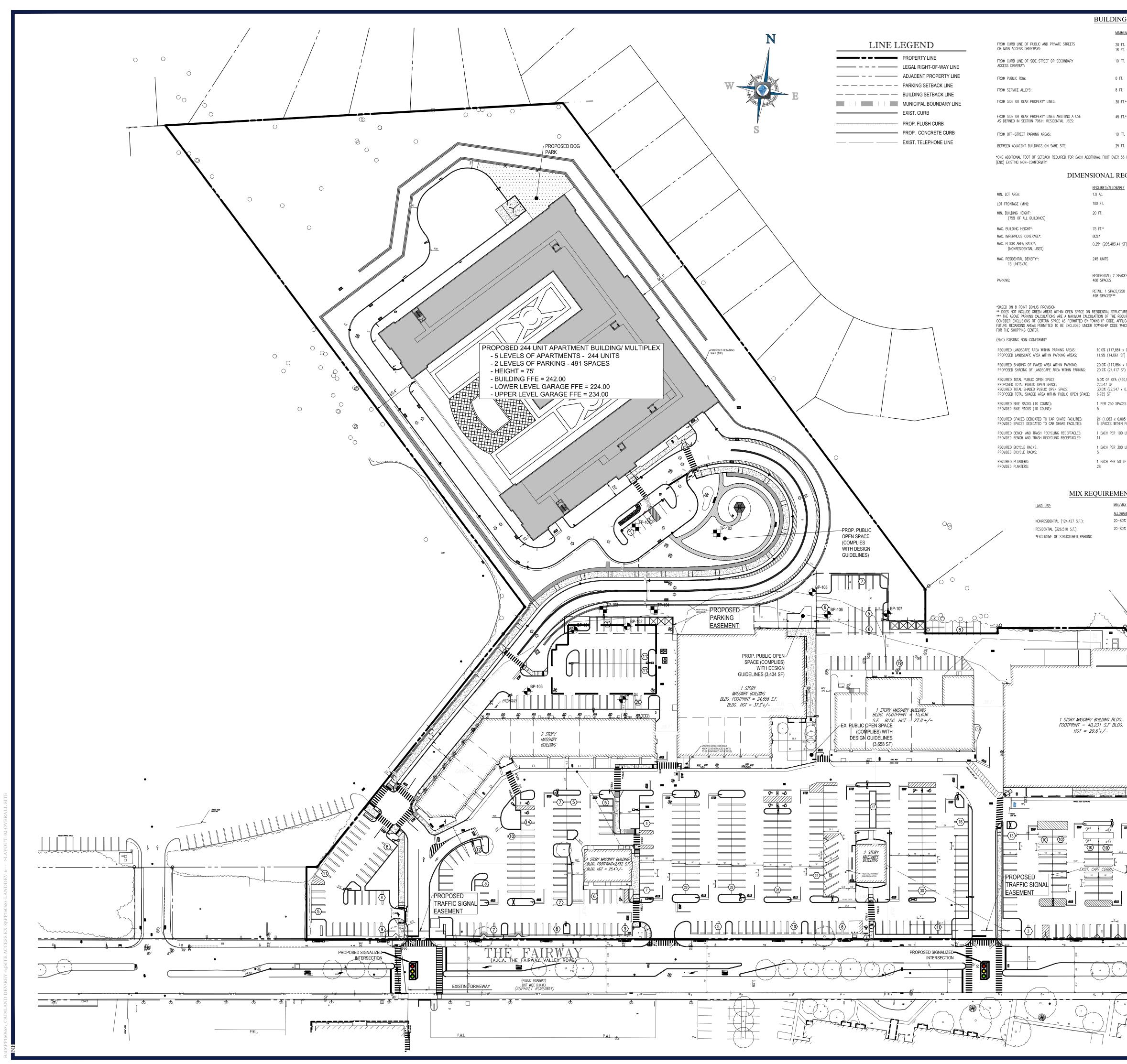
In the interim, the Brandonlini Organization brought on board Telgian Engiineering & Consulting to have a Fire Protection Specialist work through the project with upgrades to the fire protection systems (letter attached). Through coordination with Telgian and the Fire Company, details were incorporated in the building plans that reduced the anxiety of the Fire Company and provided for the safety of both residednts and responders.

As the second access is not fully required by the International Building Code or referenced sections of the International Fire Code, with the building protected throughout by a sprinkler system and the attached upgrades in protection, the Fire Company and I are comfortable allowing the project to move forward with the single driveway as proposed.

Let's be smart, safe and stay healthy. I want to finish by saying I appreciate all the dedicated work and support through this period. We will make it through.

Thanks

John J. Rohrer Fire Marshal



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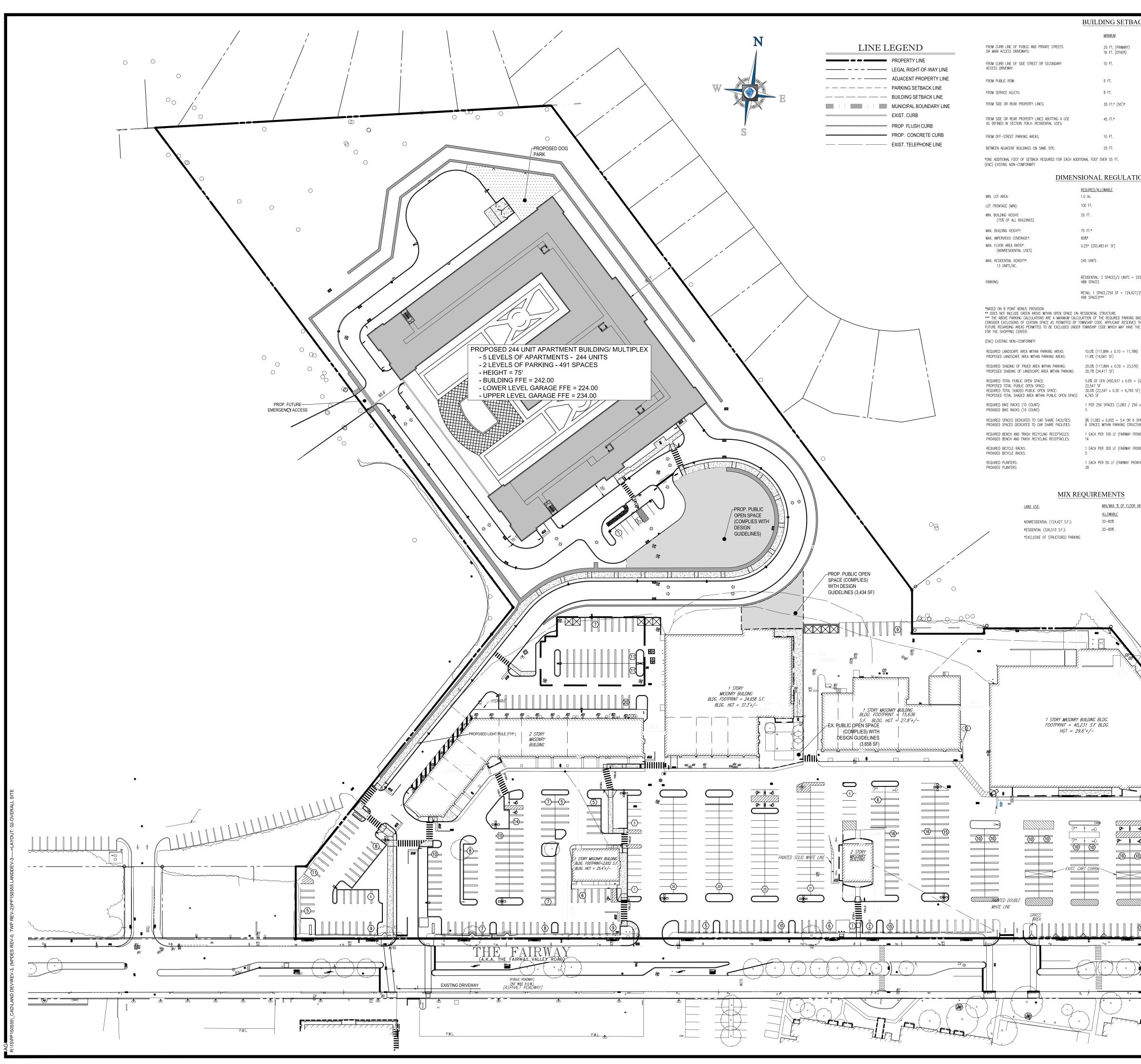
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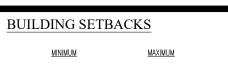
OVERALL SITE PLAN

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REVISION 6 - 10/20/2020







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	10 FT.	12 FT.	10.1 FT.
	0 FT.	25 FT.	70.6 FT. (ENC)
	8 FT.	-	0 FT. (ENC)
	30 FT.* (50')*	-	60.4 FT. (RESIDENTIAL) 5.9 FT. (WHOLE FOODS) (ENC)
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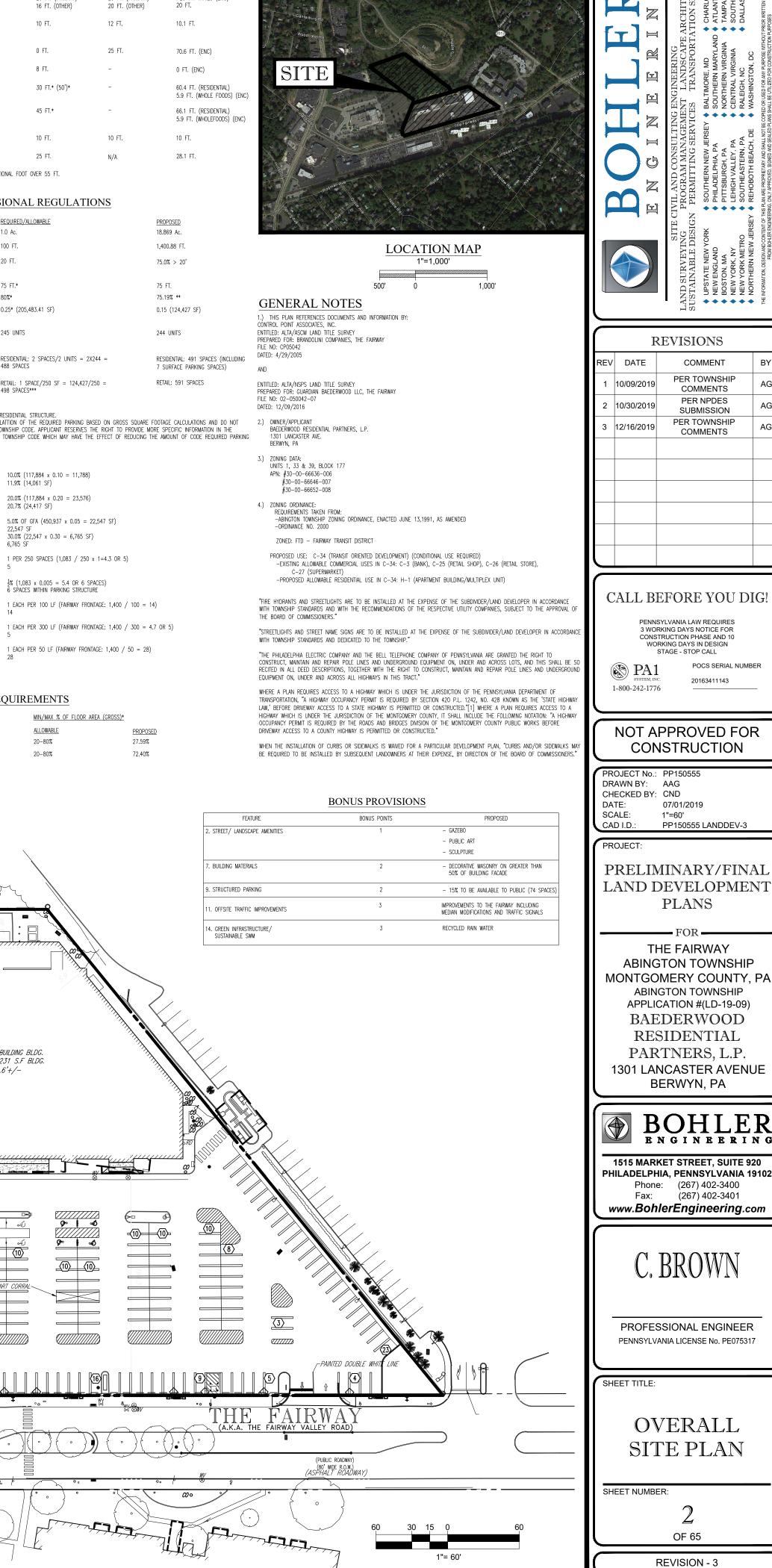
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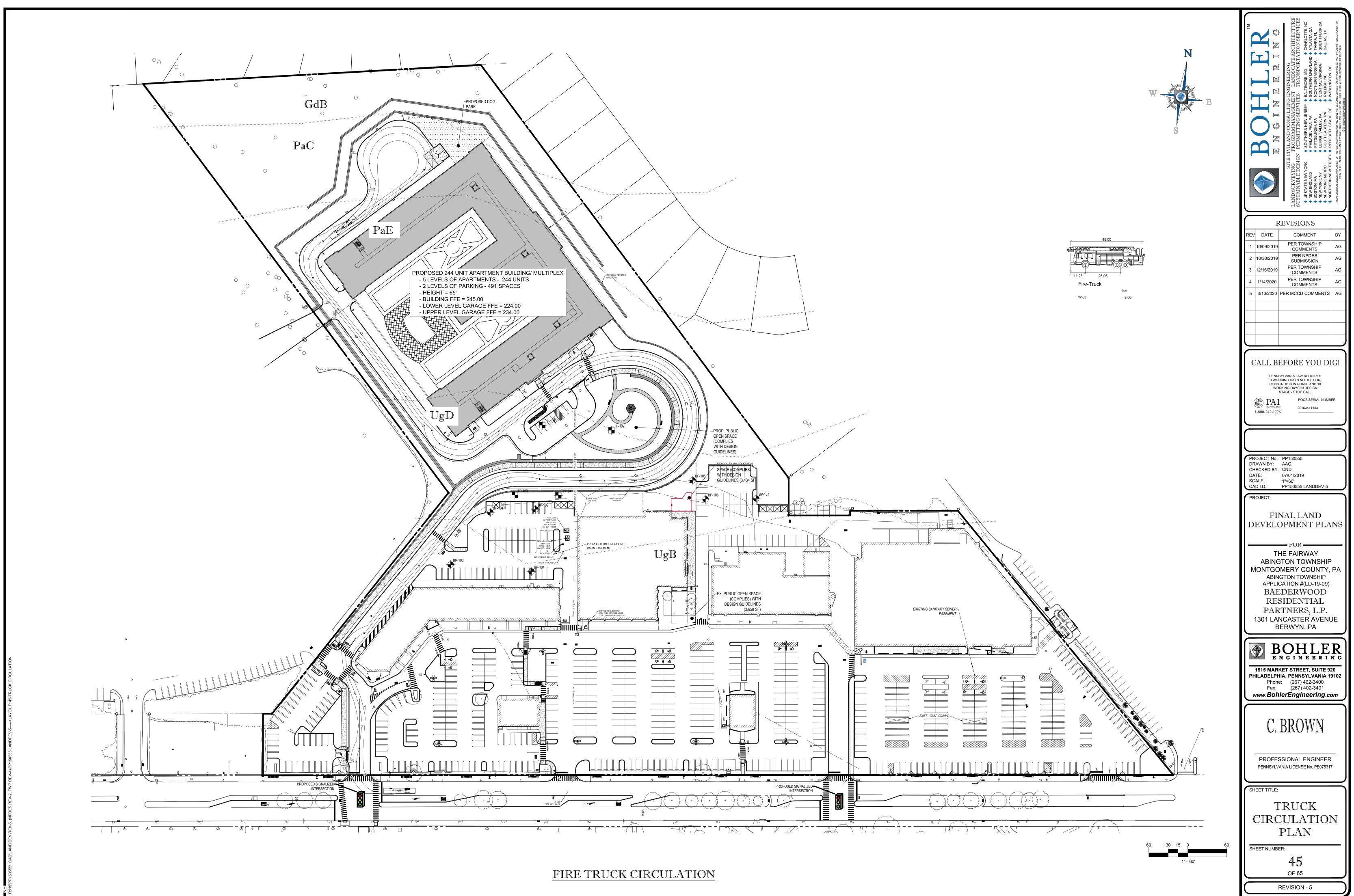
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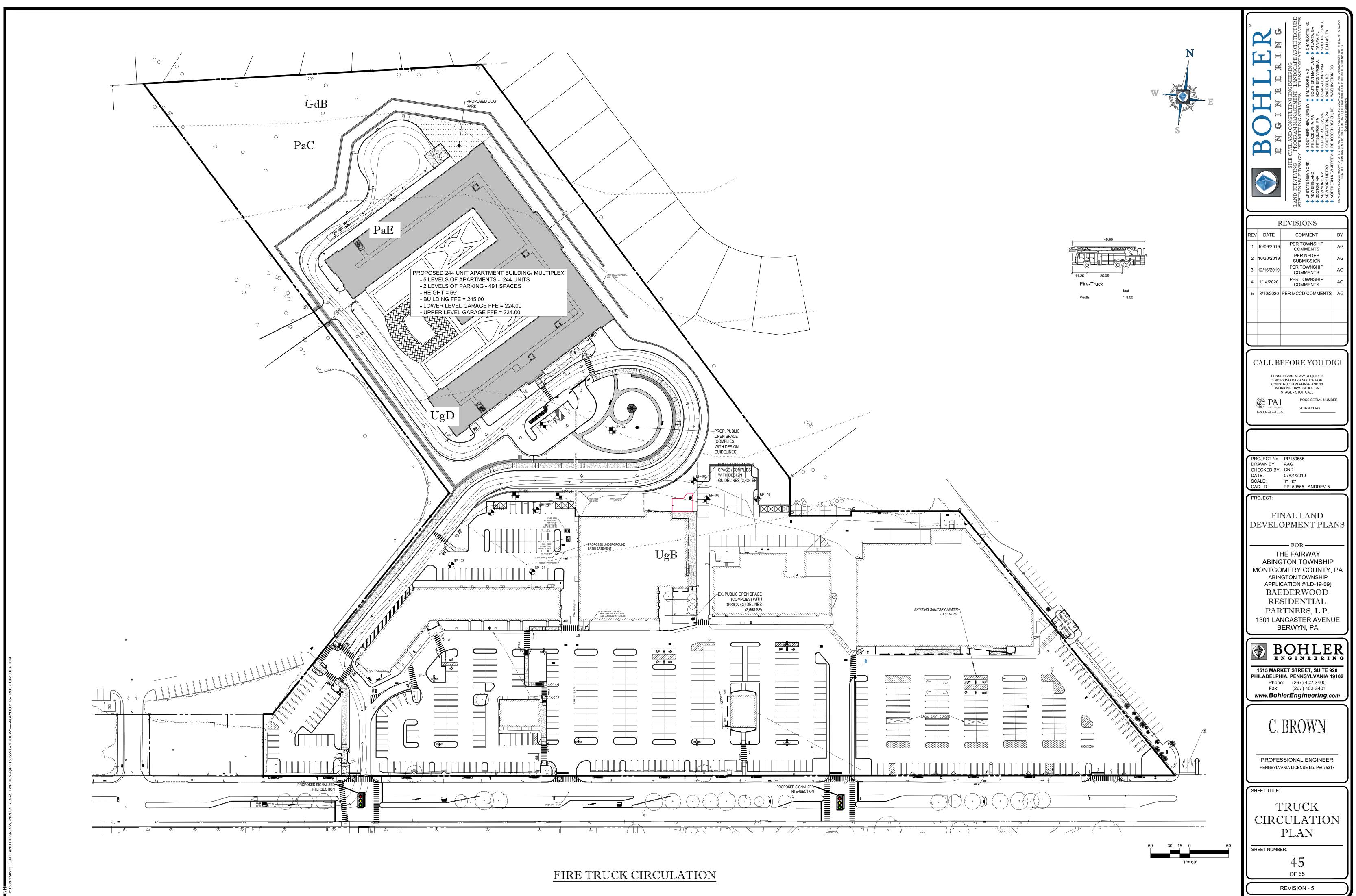
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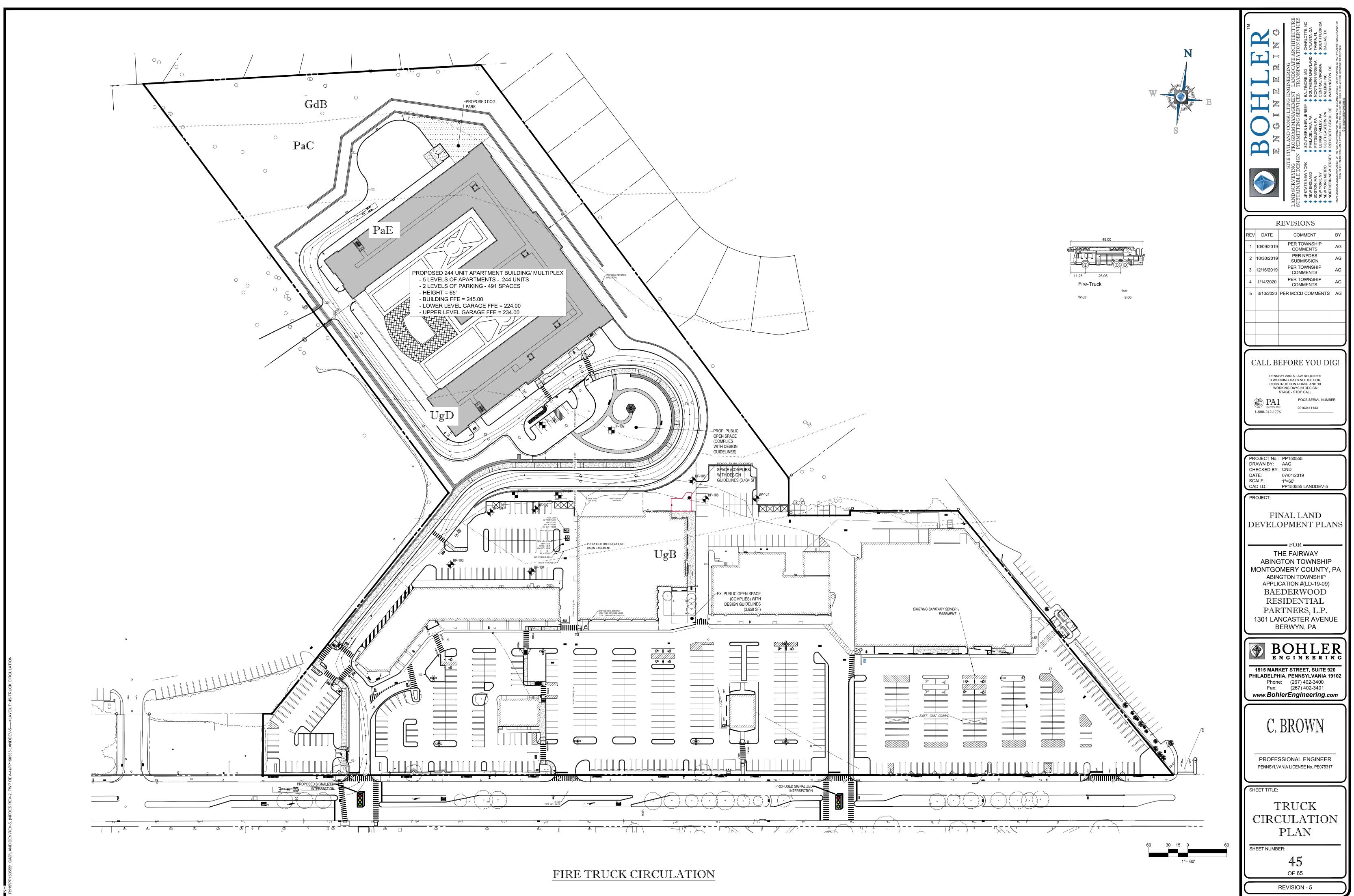
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- 6 SPACES WITHIN PARKING STRUCTURE
- 1 EACH PER 50 LF (FAIRWAY FRONTAGE: 1,400 / 50 = 28)

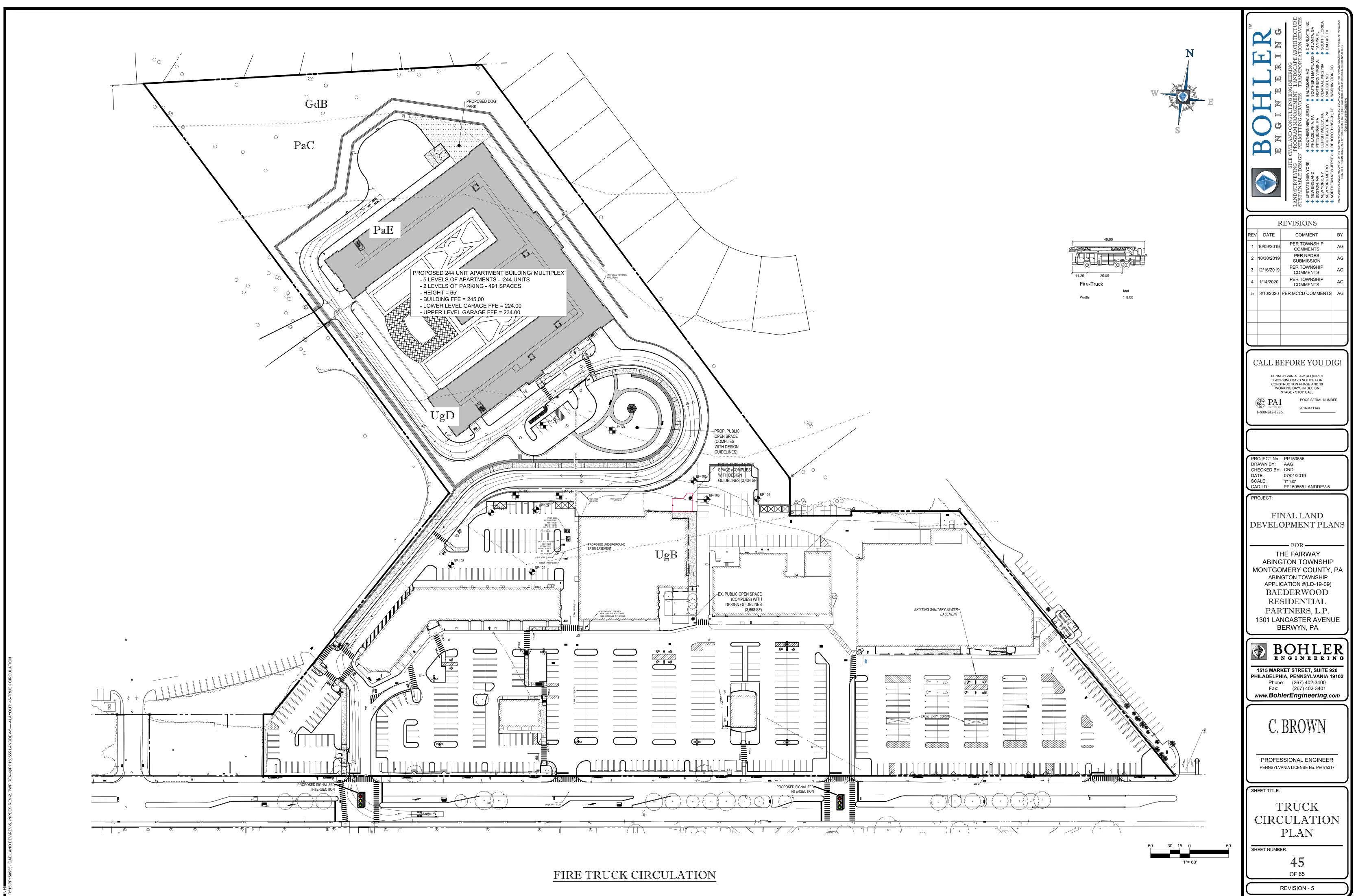
MIN/MAX % OF FLOOR AREA (GROSS)*	
ALLOWABLE	PROPOSED
20-80%	27.59%
20-80%	72.40%













BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

AGENDA ITEM

February 11, 2021 LU-02-021121		FISCAL IMPACT
DATE	AGENDA ITEM NUMBER	Cost > \$10,000
Administration		Yes No 🗸
DEPARTMENT		
		PUBLIC BID REQUIRED
		Cost > \$20,100
		Yes No 🗸

AGENDA ITEM:

Hunter Soccer Club New Synthetic Turf Field

EXECUTIVE SUMMARY:

This application of the Hunter Soccer Club is to construct a New Synthetic Turf Field on a 1.94 acre property at Penbryn Park between Houston Avenue and SEPTA. The proposed land development consists of the construction of a synthetic turf athletic field with an associated bituminous access drive/ADA access, and stormwater management facilities. The property is located in the RC Recreation/Conservation District of Ward 6.

PREVIOUS BOARD ACTIONS:

01-14-21 - The Committee of the Whole approved to move this item for approval at the Regular Business Meeting on February 11, 2021.

RECOMMENDED BOARD ACTIONS:

Motion to approve the Hunter Soccer Club Land Development application to construct a new synthetic Turf field at Penbryn Park.

The stated meeting of the Planning Commission of the Township of Abington was held on Wednesday, December 16, 2020 as a Zoom webinar and teleconference with Chairperson Lucy Strackhouse presiding.

CALL TO ORDER: 7:34 p.m. ROLL CALL: <u>Present:</u> BROWN, GAUTHIER, ROBINSON, ROSEN, COOPER, BAKER, RUSSELL, STRACKHOUSE <u>Excused:</u> DICELLO <u>Also Present:</u> County Planner NARCOWICH Director of Engineering/Code MONTGOMERY Township's Engineer Consultant TRESSLER Administrative Manager WYRSTA Commissioners THOMPSON, BOLE, WINEGRAD

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES:

Mr. Baker made a MOTION, seconded by Mr. Russell to approve the minutes of the Planning Commission Meeting of November 18, 2020.

MOTION was ADOPTED 8-0.

AGENDA ITEM:

Motion to consider recommendation of the Hunter Soccer Club new synthetic turf field Land Development Application – LD-20-04:

Mr. Hugh Cadzow, representing the applicant, introduced Elizabeth Baldwin, P.E. with ELA Sport Group, 743 S. Broad Street, Lititz, PA, 17543, and presented the land development plan showing an existing natural grass field in which Hunter Soccer Club is proposing to convert to a synthetic turf. Also presented were the existing conditions and demolition plan of the work to be done. The synthetic turf field will have multiple youth fields with ADA and service-drive access, concrete pads as well as a small retaining wall at the edge of the field. A synthetic turf field is built with a stone sub-base and a finishing layer of stone on top and the turf is placed directly on top of the stone and in-filled with either pure rubber or a mix of rubber and sand. It has high infiltration rates so it will drain quickly into the sub-base and it is surrounded by a curb with the turf attached to it.

Grading plan showed an underground facility where drainage will come off the embankments into new inlet systems and sent to a level-spreader of stone and pipe with the retaining wall on the outside that will have a section fencing on top to prevent any falls down the embankment.

One of the waiver requests is regarding slopes, and because of the size of the field, we need to grade up into the embankment, which will decrease the slope. Also, stormwater profiles were reviewed by the engineer showing the cross section of proposed facility.

Ms. Strackhouse asked who will be responsible for the long-term maintenance; also, if the soccer club disbands, will the Township own the turf field, and if it needs to be removed, who will make the site preparations.

Mr. Cadzow said the duration of the field is 10-12 years depending on usage and maintenance and then it would need to be replaced.

Mr. Bill Manchester, representing Hunter Soccer Club, added that the soccer club is responsible for the maintenance, and agreement with the Township is for six years where the soccer club can rent it out to pay for it, but the Township owns it, and for the past 40 years, Hunter Soccer Club held the permit for the field. It will be used by children ages 12 and under, so it will last longer than 10-12 years and the entire field will not need to be replaced, it will only be the goal mounds or center circle.

Ms. Strackhouse clarified that the agreement with the Township depends upon required approvals. Is that correct?

Mr. Manchester replied that is correct.

Ms. Strackhouse asked for any comments from members of the Planning Commission.

Ms. Gauthier clarified that the field will be constructed according to the plan as presented. Is that correct?

Mr. Cadzow replied yes, and Keystone Sports Construction Company is the contractor for construction of the field, and NPDES permit is required as well as stormwater management requirements.

Mr. Russell Dane said he is one of the partners of Keystone Sports Construction Company and Keystone has worked with ELA Sport Group engineering in completing multiple projects in many states with no issues. There will be active communication with Township staff and Township Engineer and Keystone representatives will be onsite throughout the duration of the project providing weekly updates throughout the process.

If there are any concerns with replacement or maintenance of the field, his firm offers turnkey solutions, and we can assist throughout the process while Hunter Soccer Club is managing the maintenance. Also, as part of the contract, we annually inspect every field installation once a year making sure it is properly maintained and offer services throughout the warranty period. When a field needs replacement, majority of the investment is in the stone and stormwater management infrastructure as well as the curb, accessways and various supporting items.

Ms. Baldwin added that regarding stormwater management; her firm will be contracted to the do the critical stage inspections and will need to sign off on it per DEP requirements, and we will work with the Township's engineer consultant on inspections. Also, a stormwater O & M agreement will be required conditioned upon approval of the plans and Hunter Soccer Club will be responsible for stormwater management facility maintenance.

Ms. Gauthier asked Mr. Tressler if he concurs with the comments made by Mr. Dane and Ms. Baldwin.

Mr. Tressler replied yes. This project is upgrading from existing turf field to synthetic turf field and he reviewed stormwater calculations and found them to be acceptable. His review letter indicates that the applicant needs to be sure that the report and plans are compatible with one another.

Ms. Gauthier questioned whether there is adequate parking for both teams as well as spectators.

Mr. Manchester replied yes, there is plenty of parking for two teams.

Ms. Gauthier questioned whether residents could use the field when no soccer games are being played.

Mr. Manchester replied no one would complain about a few children playing soccer or throwing a football around on the field; however, we would not want any bicycle riding on it.

Mr. Rosen asked about the written agreement setting forth responsibilities of all parties and where that document will preside.

Mr. Manchester replied there is an agreement between the Township Board of Commissioners and Hunter Soccer Club in which Hunter Soccer Club obliged to all items requested.

Mr. Rosen clarified that the agreement includes notice of any issues that may arise that would create any possible liability for the Township. Is that correct?

Mr. Manchester replied yes.

Ms. Gauthier suggested approval by the Planning Commission should be conditioned upon that the agreement between Hunter Soccer Club and the Township should meet the satisfaction of the Board of Commissioners.

Mr. Narcowich questioned whether the waiver request from the applicant to provide boundary information would be an issue for the Township.

Ms. Montgomery replied Penbryn Park is made up of many parcels and it would be cumbersome to put all those parcels together.

Mr. Cooper said he would approve that waiver request as it is an existing field and has been for many years and proposal is to upgrade it from grass and clay to artificial turf.

Mr. Baker commented that there are two practice fields running north/south; would there be any danger of someone kicking the ball over the tracks?

Mr. Manchester replied a few years ago, a fence/polls were installed that will hold a 40 ft. net and that net has not been installed yet as we are waiting for the turf field to be completed.

Ms. Strackhouse asked for any public comments. There were none.

Waivers requested by the applicant were as follows:

Section 146-11. A.11.b. – Property Identification Information:

Ms. Gauthier made a MOTION, seconded by Ms. Robinson to approve waiver request from Section 146-11. A. 11.b. – Property Identification Information.

MOTION was ADOPTED 8-0.

Section 146-11. B. 7. – Existing Features Plan Information:

Ms. Gauthier made a MOTION, seconded by Mr. Rosen to approve waiver request from Section 146-11. B. 7. – Existing Features Plan Information.

MOTION was ADOPTED 8-0.

Section 146-43. C. (3) (a) – Steep Slopes Steeper than 15%:

Ms. Gauthier made a MOTION, seconded by Mr. Russell to approve waiver request from Section 146-43. C. (3) (a) – Steep Slopes Steeper than 15% subject to the condition that the applicant provide tree protection fencing around the driplines and trees in the location where grading will occur during construction.

MOTION was ADOPTED 8-0.

Ms. Gauthier made a MOTION, seconded by Mr. Russell to recommend approval of the Hunter Soccer Club new synthetic turf field Land Development Application LD-20-04 subject to the condition that the written construction/maintenance agreement meets the satisfaction of the Board of Commissioners of the Township of Abington; also, subject to approval of waivers as listed noting that approval of waiver from Section 146-43. C. (3) (a) – Steep Slopes Steeper than 15% is subject to the condition that the applicant provide tree protection fencing around the driplines and trees in the location where grading will occur during construction.

MOTION was ADOPTED 8-0.

ADJOURNMENT: 8:17 p.m.

Respectfully submitted,

Liz Vile, Minutes Secretary



TOWNSHIP OF ABINGTON MONTGOMERY COUNTY, PENNSYLVANIA

PLANNING COMMISSION RECOMMENDATION FORM

APPLICANT INFORMATION:

Application Number N/A

Date December 16, 2020

Name Land Development Application for the Hunter Soccer Club New Synthetic Turf Field

Address Southeast and adjacent to the Houston Avenue and northwest and adjacent to the SEPTA Railroad tracks, Abington, PA

Overview:

The applicant, Hunter Soccer Club, is proposing to construct a new synthetic turf athletic field on a 1.74 acre property at Penbryn Park in the RC Recreation/Conservation District.

Waivers requested by the applicant are as follows:

Section 146.11.A.11.b – Property Identification Plan Section 146.11.B. 7. – Existing Features Plan Information Section 146-43. C. (3) (a) – Steep Slopes Steeper than 15%

PLANNING COMMISSION COMMENTS AND RECOMMENDATIONS: Comments and/or Conditions:

Recommendations:

The Planning Commission recommends approval of the Hunter Soccer Club New Synthetic Turf Field LD-20-04 subject to the condition that the written construction/maintenance agreement meets the satisfaction of the Board of Commissioners of the Township of Abington; also, subject to approval of waivers as listed noting that approval of waiver from Section 146-43. C. (3) (a) – Steep Slopes Steeper than 15% is subject to the condition that the applicant provide tree protection fencing around the driplines and trees in the location where grading will occur during construction.

[X] APPROVED	[] DENIED		VOTE <u>8</u> OF <u>0</u>	
BY: Lug Shallen		DATE:	12/28/2020	
Lucy Strackhouse, Chair				
BY: Dale Kussell Dale Russell, Vice-Chair		DATE: _	12/28/2020	

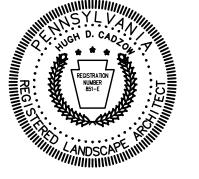
PRELIMINARY FINAL LAND DEVELOPMENT PLAN FOR

CERTIFICATE OF ACCURACY (SURVEY)

HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

CERTIFICATE OF ACCURACY (PLAN)

HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE ABINGTON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.



STORMWATER MANAGEMENT SIGNATURE BLOCK

I, _____, ON THIS DATE _____, 2020 HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND CHAPTER 142 OF THE ABINGTON TOWNSHIP CODE

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION - SCHOOL DISTRICT

ARETH WERNER RAL

COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY

DAY OF _ A.D. 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ ____, PERSONALLY APPEARED __ (NAME OF OFFICER OF THE CORPORATION), WHO ACKNOWLEDGED (HIMSELF/HERSELF) TO BE THE (PRESIDENT OR SECRETARY), BEING AUTHORIZED TO DO SO, (HE/SHE) EXECUTED THE FORGOING PLAN BY SIGNING THAT SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC MY COMMISSION EXPIRES APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON THIS _____ DAY OF _____, 20_____ PRESIDENT SECRETARY ATTEST ENGINEER

CERTIFIED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS _____ DAY OF ____ , 20____. FILE NO.__ ATTEST SECRETARY

CERTIFICATE OF TOWNSHIP APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON THIS _____ DAY *O*F _____ , 20_____

> PRESIDENT SECRETARY ENGINEER

STORMWATER CERTIFICATION BY ABINGTON TOWNSHIP

ON THIS DATE ______ 2020 HAS REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MUNICIPAL ORDINANCE NO. 2100 OF 2016.

CERTIFICATE OF COUNTY APPROVAL

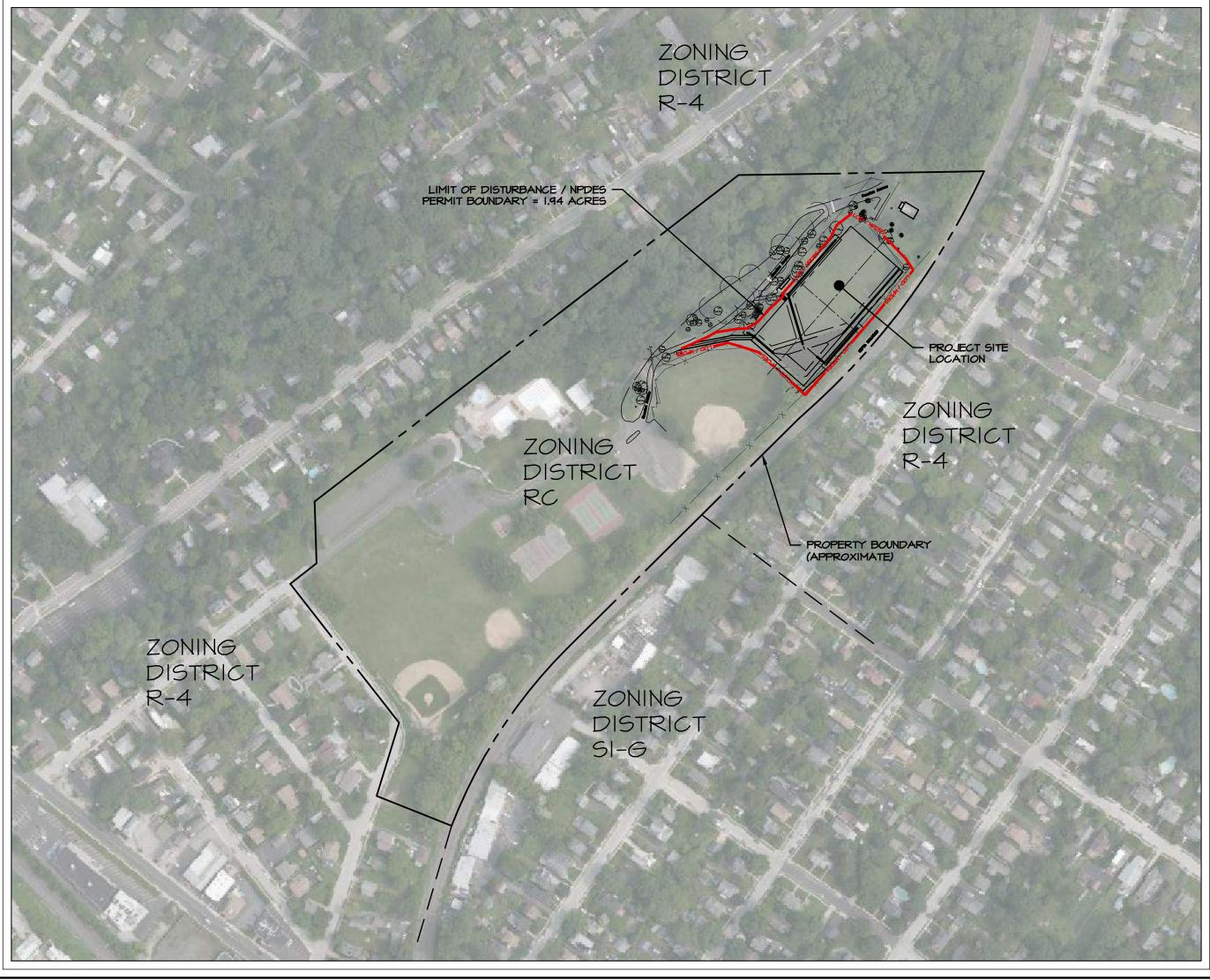
CERTIFIED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS _ _____ DAY OF ______, 20____, FILE NO.__

SECRETARY

RECORDING NOTATION

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, NORRISTOWN, PENNSYLVANIA, IN PLAN BOOK _____, PAGE NO._____ ON _____ (DATE), BY __(NAME).

HUNTER SOCCER CLUB NEW SYNTHETIC TURF FIELD



PLAN VIEW SCALE IN FEET: I" = 200' 100 200 400

SITE DATA

PROJECT AREA:

SANITARY SEWER: WATER:

*NO SEWER/WATER UTILITIES ARE PROPOSED OR MODIFIED WITH THIS PROJECT

ZONING DATA

ZONING DISTRICT: RC AREA & YARD REQUIREMENTS (EXISTING AND PROPOSED) MINIMUM LOT AREA: 5 ACRES MINIMUM LOT WIDTH: MINIMUM LOT DEPTH: MAXIMUM BUILDING COVERAGE: 10% MAXIMUM LOT COVERAGE: MINIMUM GREEN AREA: MAXIMUM BUILDING AREA MAXIMUM BUILDING HEIGHT: MAXIMUM BUILDING WIDTH: MINIMUM BUILDING SETBACK: FRONT: SIDE: REAR:

15% 85% N/A 35 FEET 200 FEET

IOO FEET 50 FEET 50 FEET

ATTEST

ATTEST

ABINGTON TOWNSHIP - MONTOMERY COUNTY - PENNSYLVANIA

AUTHORITY

PENNSYLVANIA ACT 121 (2008) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

DATE: <u>2/14/2020</u> BY: <u>JER</u> SERIAL NO: <u>20200450867</u>

UNDERGROUND UTILITY LINE PROTECTION ACT NOTES: IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. §176, AS AMENDED BY ACT 121 OF 2008, LAND GRANT SURVEY PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

1. PURSUANT TO 73 P.S. §176(2), LAND GRANT SURVEYORS, LLC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE (LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED. IF SUCH INFORMATIO MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, LAND GRANT SURVEYORS, LLC. HAS STATED IN THE REQU WORK IS PRELIMINARY. 2. PURSUANT TO 73 P.S. \$176(3), LAND GRANT SURVEYORS, LLC. HAS SHOWN, UPON REQUEST THESE DRAWINGS, THE POSITION AN

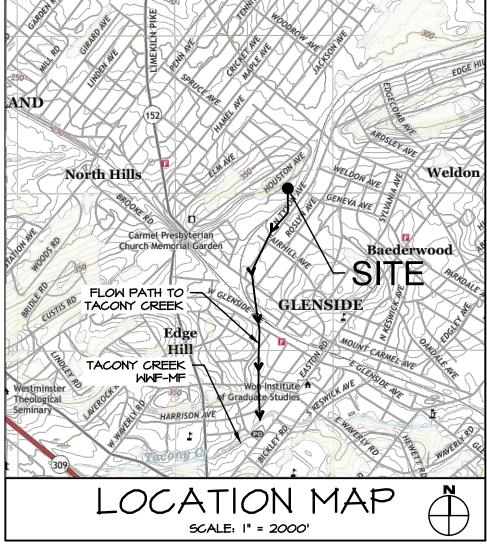
FACILITY OWNER'S LINE, AS DERIVES PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. §176(2), THE NAME OF THE FACILIT THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER. 3. PURSUANT TO 73 P.S. \$176(5), LAND GRANT SURVEYORS, LLC. HAS CALLED THE ONE CALL SYSTEM AND SHOWN AS PROOF, THE OF THE ONE CALL NOTICE AND THE TOLL FREE NUMBER OF THE ONE CALL SYSTEM ON THE DRAWINGS NEAR THE SERIAL NUMBER. 4. IF, PURSUANT TO 73 P.S. \$176(2), LAND GRANT SURVEYORS, LLC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ON MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, LAND GRANT SURVEYORS, LLC. HAS INDICATED THAT THE REQUEST IS PRELIMINARY AND THE SERIAL NUMBER OF SAID REQUEST IS SHOWN ON THE DRAWINGS HEREIN.

LAND GRANT SURVEYORS, LLC. DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM REQUEST AND AS REFLECTED ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, LAND GRANT SURVEYORS, LLC, INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED BY ACT 121 OF 2008. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF THREE (3) DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK, AT THE CONTRACTOR'S RISK, PRIOR TO CONSTRUCTION FOR THOSE PRIVATE LINES WHICH ARE NOT ABLE TO BE LOCATED THROUGH THE ONE CALL PROCESS. IT MAY BECOME NECESSARY IN THE FIELD TO ADJUST THE PROPOSED UTILITY LOCATION TO RESOLVE AND UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. LAND GRANT SURVEYORS, LLC. SHALL BE NOTIFIED IMMEDIATELY OF ANY SUCH CONFLICTS ARE ENCOUNTERED. THE INFORMATION CONTAINED IN THIS SECTION AS IT RELATES TO THE DUTIES OF CONTRACTORS DOES NOT CONSTITUTE LEGAL ADVICE AND IN NO WAY REPRESENTS THE EXTENT OF THE OPDITAL OFFICE PUIPER UNIT TO THE UNDERDOLVED UND UNITY OF ADVICED ADVICED ADVICE AND IN NO WAY REPRESENTS THE EXTENT OF

1.94 ACRES

PUBLIC PUBLIC

300 FEET 300 FEET



UTILITY LISTING

CONTACT PA ONE CALL AT 1-800-242-1776 FOR NDIVIDUAL UTILITY TELEPHONE NUMBERS COMCAST 4400 WAYNE AVENUE

PHILADELPHIA, PA. 19140 ROBERT HARVEY bob_harvey@cable.comcast.com°

AQUA PENNSYLVANIA INC 762 W LANCASTER AVE BRYN MAWR, PA. 19010 STEVE PIZZI sbpizzi@aquaamerica.com

PECO ENERGY C/O USIC 450 S HENDERSON RD SUITE B KING OF PRUSSIA, PA. 19406 NIKKIA SIMPKINS NIKKIASIMPKINS@USICLLC.CON

SOUTHEASTERN PA TRANSPORTATION 1234 MARKET ST 12TH FL PHILADELPHIA, PA. 19107 DAVID MONTVYDAS

dmontvydas@septa.org° VERIZON PENNSYLVANIA LLC 1050 VIRGINIA DR FORT WASHINGTON, PA. 19034 DARLINE LEPPERD JOHNSON®

ABINGTON TOWNSHIP OF 1176 OLD YORK ROAD ABINGTON, PA. 19001 AMY MONTGOMERY AMONTGOMERY@ABINGTON.ORG

SOURCE OF TITLE

TAX MAP ID = 30 162 015 PARCEL NO. = 30-00-13336-00-8 LAND USE CODE = 9940PROPERTY OWNER = ABINGTON TOWNSHIP MAILING ADDRESS = 1176 OLD YORK ROAD

PROJECT SITE ADDRESS

220 HOUSTON AVENUE GLENSIDE, PA 19038 SURVEYOR OF RECORD

LAND GRANT SURVEYORS 3904 ABEL DRIVE

COLUMBIA, PA 17512 (717) 285-7872

APPLICANT HUNTER SOCCER CLUE 220 HOUSTON AVENUE GLENSIDE, PA 19038

OWNER

TOWNSHIP OF ABINGTON 1176 OLD YORK ROAD ABINGTON, PA 19001

WATERSHED

WATERSHED = TACONY CREEK CHAPTER 93 CLASSIFICATION = WARM WATER FISHERIES, MIGRATORY FISHERY (WWF-MF)

MODIFICATIONS

THE FOLLOWING MODIFICATIONS TO THE ABINGTON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE APPROVED BY THE ABINGTON TOWNSHIP BOARD OF SUPERVISORS ON DATE: MODIFICATION REQUEST SECTION

146-11.A (.3 / .4 / .5 / .6 / .7 / .8)	PROPERTY IDENTIFICATION PLAN INFORMATION
46- .B (. / .2 / .3 / .4 / .5 / .6 / .7)	EXISTING FEATURES PLAN INFORMATION
146-43.C(3)(a)	CUT AND FILL SLOPES SHALL NOT BE 15% OR STEEPER

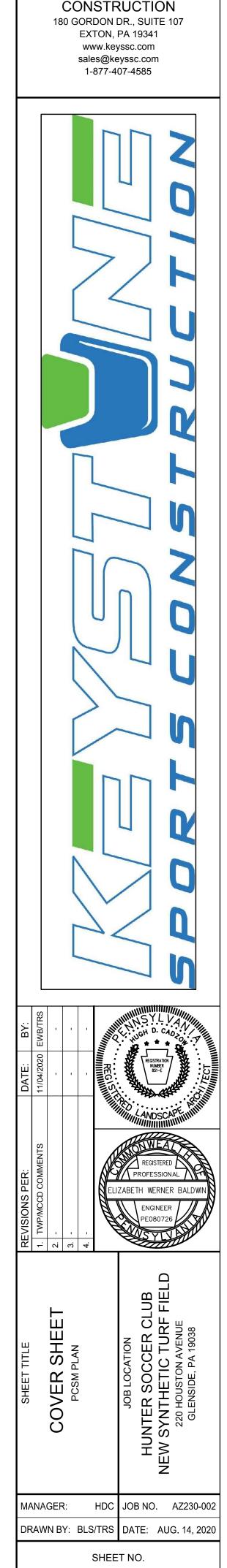
Yors, LLC. Has Es within the	
CALL SYSTEM NOT ON WAS OBTAINED UEST THAT THE	
D TYPE OF EACH Y OWNER AND	
SERIAL NUMBER	
IE CALL SYSTEM	

UNDERGROUND UTILITY LINE PROTECTION ACT SHOULD CONSULT WITH AN ATTORNEY IMMEDIATELY.

LIST OF DRAWINGS
*COVER SHEET OF 22*GENERAL PLAN NOTES2 OF 22*NPDES PERMIT REQUIREMENTS3 OF 22*EROSION & SEDIMENT CONTROL NOTES4-5 OF 22*OPERATION & MAINTENANCE6 OF 22*EXISTING CONDITIONS & DEMOLITION PLAN7 OF 22*LAYOUT PLAN9 OF 22*EASEMENT PLAN9 OF 22*GRADING & UTILITY PLAN10 OF 22*SUB-GRADE & DRAINAGE PLAN11 OF 22*STORMWATER PLAN & PROFILES12 OF 22EROSION & SEDIMENT CONTROL PLAN13 OF 22*STORMWATER PLAN & PROFILES14-15 OF 22*STORMWATER DETAILS16-17 OF 22*STORMWATER DETAILS16-17 OF 22*STORMWATER DETAILS16-17 OF 22*STORMWATER DETAILS16-17 OF 22*STORMWATER DETAILS16-20 OF 22*STORMWATER DETAILS18-20 OF 22*STORMWATER DETAILS12 OF 22*WATERSHED MAPPINO21-22 OF 22

* INDICATES A POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) PLAN

ABINGTON TOWNSHIP SUBDIVISION/LAND **DEVELOPMENT APPLICATION NO. LD 20-04**



KEYSTONE SPORTS

PLAN NOTES

GENERAL NOTES:

- I. THE PURPOSE OF THIS PLAN IS TO REPLACE THE EXISTING GRASSED SOCCER FIELD WITH SYNTHETIC TURF, AND ASSOCIATED IMPROVEMENTS.
- 2. NO ONE SHALL SCALE FROM THESE PLANS TO CONSTRUCT OR LAYOUT ANY PART OF THIS PROJECT.
- 3. ELA GROUP, INC. MAKES NO REPRESENTATIONS AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE INCLUDING DEPTH OF BEDROCK,
- 5. ELA GROUP, INC. MARES NO REPRESENTATIONS AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT STIE INCLUDING DEPTH OF BEDR GEOLOGICAL CONDITIONS, SOIL STABILITY, ETC.
- 4. A HIGHWAY OCCUPANCY PERMIT IS NOT REQUIRED FOR THIS PROJECT PURSUANT TO SECTION 420 OF THE ACT OF JUNE I, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY THE HIGHWAY OCCUPANCY PERMIT, AND THE MUNICIPALITY APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
 A BLANKET STORMWATER MANAGEMENT EASEMENT SHALL ENCOMPASS THE ENTIRE PROJECT SITE WITHIN THE LIMIT OF DISTURBANCE (LOD) AS SHOWN
- 6. A BLANKET STORMWATER MANAGEMENT EASEMENT SHALL ENCOMPASS THE ENTIRE PROJECT SITE WITHIN THE LIMIT OF DISTURBANCE (LOD) AS SHOWN ON THESE PLANS. THIS EASEMENT SHALL ALLOW THE IMPROVEMENT OF STORMWATER FACILITIES BY THE OWNER/DEVELOPER AS WELL AS ACCESS FOR THE INSPECTION OF SUCH FACILITIES BY THE MUNICIPALITY.
 1. THE OWNER OF A CLEAR AND READ THE COLE COST OF THE INSTALL ATION OF ALL IMPROVEMENT ON THIS PLAN.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR AND BEAR THE SOLE COST OF THE INSTALLATION OF ALL IMPROVEMENTS SHOWN ON THIS PLAN. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND STORM WATER MANAGEMENT ORDINANCE.
- 8. THE OWNER/DEVELOPER SHALL OBTAIN ALL APPROVALS AS NECESSARY FROM THE APPLICABLE BUILDING CODE AGENCY PRIOR TO CONSTRUCTION OF ANY BUILDINGS OR STRUCTURES.
- 9. ALL SITE CONSTRUCTION SHALL CONFORM TO THE PA BUILDING CODE & THE AMERICANS WITH DISABILITIES ACT (ADA).
- IO. DURING CONSTRUCTION OR UPON COMPLETION, THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME, TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY CONSTRUCT OR MAINTAIN THE FACILITY.
 II. ANY REVISIONS TO THESE PLANS AFTER THE DATE OF THE LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF ELA GROUP, INC. SUBSTITUTIONS FOR ANY MATERIALS, OR CHANGES TO THE PLAN, REQUIRES APPROVAL OF ELA GROUP, INC., THE MUNICIPALITY, OR THE AUTHORITY HAVING JURISDICTION (AS APPLICABLE).

SURVEYING AND BASEMAPPING

- BENCHMARK: MAGNETIC NAIL SET LOCATED IN THE CENTER OF PAVED WALKWAY APPROXIMATELY 1.5 FT SOUTHEAST FROM THE DEPRESSED CURB ON HOUSTON AVENUE.
 ELEVATION= 338.29 NAVD 88 DATUM.
- 2. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS #42091C03816 & 42091C03826 DATED MARCH 2, 2016.
- 3. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 121 UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (LAND GRANT SURVEYORS, LLC. CANNOT GUARANTEE THE EXACT LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, AN EXACT LOCATION OR THE EXISTENCE OF OR NONEXISTENCE OF UNDERGROUND UTILITIES CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT PART OF THIS CONTRACT PERFORMANCE).
- 4. BASIS OF BEARINGS TAKEN FROM A REALIZATION OF THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.

DEMOLITION NOTES

- 1. LIMIT OF UTILITIES AND OTHER IMPROVEMENTS TO BE REMOVED, OR PARTIALLY REMOVED, IS APPROXIMATE. DEMOLITION OF EXISTING IMPROVEMENTS IS AS REQUIRED TO COMPLETE THE WORK REQUIRED FOR CONSTRUCTION.
- VERIFY ITEMS SCHEDULED FOR DEMOLITION AND LIMITS OF DEMOLITION PRIOR TO PROCEEDING WITH THE WORK.
 SAWCUT AT THE LIMIT OF ALL PAVEMENT AND CURB TO BE REMOVED OR REMOVE TO NEAREST EXPANSION JOINT OR CONTROL JOINT ADJACENT TO
- A. REMOVE FOUNDATIONS OF EXISTING STRUCTURES TO BE DEMOLISHED TO A MINIMUM OF 24" BELOW FINISHED GRADING.
- 5. BACKFILL BASEMENT, CRAWL SPACES, AND OTHER VOIDS RESULTING FROM STRUCTURE REMOVAL WITH SOIL BACKFILL OR APPROVED STONE BACKFILL.
- 6. DO NOT REMOVE EXISTING UTILITIES REQUIRED FOR SERVICE UNTIL NEW UTILITIES HAVE BEEN PROVIDED OR TEMPORARY SERVICE CONNECTIONS PROVIDED. PROTECT ALL EXISTING UTILITIES TO REMAIN.
- 7. CAP/ABANDON EXISTING UTILITIES IN ACCORDANCE WITH UTILITY COMPANIES AND/OR AUTHORITIES HAVING JURISDICTION.
- 8. EXISTING UTILITIES TO BE ABANDONED MAY REMAIN IN-PLACE WHERE THEY WILL NOT INTERFERE WITH FINISHED WORK. ACCURATELY NOTE ALL UTILITIES ABANDONED IN-PLACE ON CONTRACTOR'S RECORD DRAWINGS.
 9. BURNING OF TREES, SHRUBS, BRUSH AND OTHER MATERIALS ON-SITE PERMITTED ONLY WHEN APPROVED BY LOCAL AND OTHER REGULATORY
- 4. BURNING OF TREES, SHRUBS, BRUSH AND OTHER MATERIALS ON-SITE PERMITTED UNLT WHEN APPROVED BT LOCAL AND OTHER REGULATORT AGENCIES HAVING JURISDICTION. COORDINATE LOCATION OF BURN PITS WITH OWNER.
 10. LOCATION AND LIMIT OF TEMPORARY CONSTRUCTION FENCE IS APPROXIMATE. PROVIDE AS REQUIRED FOR THE WORK, TO ACCOMMODATE WORK OF OTHER TRADES, AND AS REQUIRED TO REDUCE POTENTIAL ACCIDENTAL TRESPASS. PROVIDE VEHICULAR ACCESS GATES AND MAN GATES WHERE
- REQUIRED FOR ACCESS (COORDINATE WITH CONSTRUCTION ENTRANCE LOCATIONS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN). II. PROVIDE TEMPORARY TRUNK AND ROOT PROTECTION FOR ALL EXISTING SPECIMEN TREES TO REMAIN OR WHERE TREES TO REMAIN COULD BE DAMAGED BY CONSTRUCTION ACTIVITIES.
- 12. REMOVE AND DISPOSE OF DEBRIS, INCLUDING, BUT NOT LIMITED TO TIRES, GLASS, SHEET METAL, DERELICT AUTOMOBILE(S) AND HOUSEHOLD APPLIANCES. LIMITS, COMPOSITION AND LOCATION OF DEBRIS APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD AND SECURE ALL PERMITS NECESSARY FOR PROPER DISPOSAL.
- 13. ALL UTILITIES HAVE BEEN LOCATED BASED ON EXISTING SURFACE APPURTENANCES AND IN ACCORDANCE WITH ACT 38 OF 1991, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 14. PRIOR TO BEGINNING WORK ON THE SITE, THE CONTRACTOR MUST PROVIDE A ONE CALL TO HAVE ALL UNDERGROUND UTILITIES LOCATED AND MARKED IN THE FIELD.

STORMWATER MANAGEMENT NOTES

- . ALL STORM WATER FACILITIES ARE PERMANENT AND SHALL BE MAINTAINED BY THE OWNER, EXCLUDING THOSE DEDICATED FOR PUBLIC USE, IN THE "DESIGN CONDITION" ESTABLISHED BY THESE PLANS SO THAT THEY ARE PERFORMING THEIR DESIGNED FUNCTION, IN A MANNER ACCEPTABLE TO THE MUNICIPALITY AND AS REQUIRED BY THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE.
- 2. THE STORMWATER MANAGEMENT FACILITIES ARE PERMANENT FIXTURES THAT ARE NOT PERMITTED TO BE ALTERED OR REMOVED UNLESS A REVISED PLAN AND ASSOCIATED DOCUMENTATION IS APPROVED BY THE MUNICIPALITY.
- THE MUNICIPALITY IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORM WATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
 OWNERSHIP AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, THEIR
- WINDERSHIP AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, THEIR SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
 NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF A DRAINAGE EASEMENT OR STORM DRAINAGE FACILITY THAT COULD
- ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY. 6. THE MUNICIPALITY SHALL HAVE THE RIGHT TO: ACCESS THE SITE TO INSPECT STORM WATER FACILITIES AT ANY TIME; REQUIRE THAT THE LAND OWNER TAKE CORRECTIVE MEASURES AND ASSIGN THE LAND OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION; AND AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF ALL WORK AGAINST THE PROPERTIES OF THE PRIVATE ENTITY RESPONSIBLE FOR MAINTENANCE. THIS MAY BE DONE SHOULD THE OWNER FAIL TO PROPERLY MAINTAIN SUCH FACILITIES IN GOOD WORKING CONDITION.
- 1. MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH THE SPECIFIC OWNERSHIP AND MAINTENANCE REQUIREMENTS NOTES/TABLES CONTAINED WITHIN THIS PLAN SET FOR THE SPECIFIC FACILITIES, THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE, AND IN ACCORDANCE WITH ALL STORMWATER MANAGEMENT AGREEMENTS EXECUTED WITH THE MUNICIPALITY.
- 8. THE STORMWATER MANAGEMENT AGREEMENT AND DECLARATION OF EASEMENT RECORDED AT THE RECORDER OF DEEDS OR EXECUTED WITH THE MUNICIPALITY AS PART OF THIS PLAN WOULD FURTHER IDENTIFY THE REQUIRED RESPONSIBILITIES OF OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
- 9. THE MUNICIPALITY MAY REQUIRE ANNUAL INSPECTIONS AND REPORTING DOCUMENTATION REQUIREMENTS FOR CONSTRUCTED STORMWATER MANAGEMENT FACILITIES. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNER TO REVIEW ALL REQUIREMENTS NOTED ON THESE PLANS AND TO CONTACT THE MUNICIPALITY FOR ANY REQUIRED INSPECTION AND REPORTING REQUIREMENTS.
 10. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE DESIGNED FOR IMPROVEMENTS AS SHOWN ON THESE PLANS. ANY ADDITIONAL
- IMPERVIOUS COVERAGE, CHANGE IN LAND COVER, ADDITIONAL DRAINAGE AREA, ETC., BEYOND WHAT IS DOCUMENTED ON THESE PLANS AND THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT SHALL REQUIRE ADDITIONAL APPROVALS FROM THE MUNICIPALITY. II. ELA GROUP, INC. WILL PREPARE A POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) REPORT AS PART OF THE SUPPORTING DOCUMENTATION FOR THE PROPOSED IMPROVEMENTS AS DOCUMENTED ON THESE PLANS TO ADDRESS APPLICABLE COUNTY, STATE, AND MUNICIPAL REQUIREMENTS.

STORMWATER MANAGEMENT CONSTRUCTION NOTES

- . CONTACT THE MUNICIPALITY PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. AT THE TIME OF THE PRE-CONSTRUCTION MEETING, REQUIRED INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE MUNICIPALITY, MUNICIPAL ENGINEER, AND RESPONSIBLE DESIGN PROFESSIONAL SHALL BE ESTABLISHED. FURTHER INFORMATION REGARDING REQUIRED CRITICAL STAGES OF STORMWATER INSPECTIONS UNDER THE PADEP NPDES PERMIT WILL BE PROVIDED WITHIN THIS PLAN SET.
- 2. ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF THE MUNICIPALITY, THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AND SPECIFIC REQUIREMENTS AS NOTED.
- 3. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THIS PLAN.
- 4. THE STORMWATER COLLECTION, CONVEYANCE, AND MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS REQUIRED AT THE TIME OF PLAN APPROVALS. ELA GROUP, INC. ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE OWNER/DEVELOPER AND ELA GROUP, INC. OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION.
- 5. ALL INLET GRATES MUST BE SHALL BE BICYCLE SAFE. ALL TYPE 'C' INLETS SHALL BE SUMPED 2" WHERE SPECIFIED. THE TOP OF GRATE ELEVATION REFLECTS THE SPECIFIED SUMP.

6. FINAL GRADING AND STORMWATER DISCHARGE FROM SITE IMPROVEMENTS SHALL ENSURE THE APPROVED WATERSHED/DRAINAGE AREAS ARE DIRECTED TO THE COLLECTION, CONVEYANCE, AND STORMWATER MANAGEMENT FACILITIES AS PER THE APPROVED DESIGN. THE APPROVED WATERSHED/DRAINAGE AREAS MAPPING ARE LOCATED WITHIN THE PLAN SET AND/OR WITHIN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT, ON-SITE DRAINAGE AREAS FOR EXISTING CONDITIONS HAVE BEEN DETERMINED/DELINEATED BASED UPON TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. IF ON-SITE DRAINAGE CONDITIONS DIFFER THAN WHAT IS REPRESENTED ON THE PLANS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN ENGINEER.

7. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, INCLUDING OVERLAND FLOWS, DISCHARGE FROM ROOF DOWNSPOUTS, AND OVERFLOW SYSTEMS.

8. FOR ANY FIELD REVISIONS, CHANGES, OR DEVIATIONS FROM THE APPROVED PLANS, THE APPLICANT MUST OBTAIN APPROVAL FROM THE MUNICIPALITY AND RESPONSIBLE PROFESSIONAL SITE CONSULTANT PRIOR TO PROCEEDING WITH SUCH REVISION(S).

9. ALL STORMWATER PIPING ARE TO BE PROVIDED WITH WATER TIGHT JOINTS AND CONNECTIONS. ALL SMOOTH LINED CORRUGATED POLYETHYLENE STORM PIPE (SLCPP) SHALL BE PROVIDED WITH INTEGRAL BELL AND SPIGOT JOINTS FOR A WATERTIGHT (WT) JOINT MEETING THE REQUIREMENTS OF AASHTO M252, AASHTO M294 OR ASTM F2306. THE JOINT SHALL BE WATERTIGHT (WT) ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND PROVIDE A MINIMUM 10.8 PSI PRESSURE RATING. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477 AND SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE OF DEBRIS. ALL REINFORCED CONCRETE STORM PIPE (RCP) SHALL BE PROVIDED WITH WATERTIGHT "O" RING GASKETS.

IO. SUB SURFACE STORMWATER MANAGEMENT FACILITIES SUCH AS INFILTRATION SYSTEMS, UNDERGROUND PIPE SYSTEMS, ETC. THAT ARE NOT ACCESSIBLE POST CONSTRUCTION SHALL BE SURVEYED DURING INSTALLATION TO PROVIDE COMPLETE INFORMATION INCLUDING: LOCATION, INVERTS, DIMENSIONS, STONE LIMITS, DISTRIBUTION PIPING, ETC. THIS INFORMATION SHALL BE PROVIDED AS PART OF THE REQUIRED SURVEYED AS-BUILT PLANS AND REQUIRED ENGINEERING ANALYSIS/CERTIFICATION.

STORMWATER AS BUILT AND CONSTRUCTION CLOSE-OUT NOTES

IF REQUIRED BY THE MUNICIPALITY, AT THE COMPLETION OF THE PROJECT, AND AS PREREQUISITE FOR THE RELEASE OF FINANCIAL SECURITY, THE APPLICANT SHALL PROVIDE CERTIFICATION OF COMPLETION FROM A QUALIFIED PROFESSIONAL VERIFYING THAT ALL PERMANENT SWM FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS AND APPROVED REVISIONS THERETO.

 SURVEYED AS-BUILT PLANS AND PROFESSIONAL AS-BUILT ENGINEERING ANALYSIS/CERTIFICATION OF COMPLETED STORMWATER MANAGEMENT IMPROVEMENTS ARE REQUIRED TO BE SUBMITTED TO THE MUNICIPALITY FOR REVIEW AND APPROVAL. THE AS-BUILT PLANS MUST BE CERTIFIED BY A PROFESSIONAL SURVEYOR AND THE AS-BUILT ENGINEERING ANALYSIS/CERTIFICATION MUST BE CERTIFIED BY A PROFESSIONAL RECOGNIZED BY THE STATE FOR STORMWATER DESIGN. THE AS-BUILT PLANS SHALL SHOW COMPLETE INFORMATION FOR ALL CONSTRUCTED POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES AND SHALL PROVIDE AND MEET ALL REQUIRED MUNICIPAL AND PADEP NDPES PERMIT NOTICE OF TERMINATION (NOT) REQUIREMENTS (AS APPLICABLE). BOTH AN ELECTRONIC AND PDF FORMAT OF THE COMPLETED AS-BUILT WILL BE REQUIRED.
 SEE PADEP NPDES PERMIT NOTES FOR ADDITIONAL AS-BUILT REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NOTES

I. IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 102 OF THE ADMINISTRATIVE CODE, TITLE 25 (PA DEP RULES AND REGULATIONS), A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN AND THE ACCOMPANYING NARRATIVE MUST BE AVAILABLE ON-SITE DURING CONSTRUCTION UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.

2. THE MEASURES AND FACILITIES AS IDENTIFIED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE APPLIED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING, SITE WORK, OR CONSTRUCTION - AS PER THE CONSTRUCTION SEQUENCE IDENTIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL MEET THE REQUIREMENTS OF APPROVED EROSION AND SEDIMENT CONTROL PLAN, PADEP NPDES PERMIT (AS APPLICABLE), AND PA DEP CHAPTER 102 REGULATIONS.

3. SOILS INFORMATION SHOWN ON THE PLANS IS BASED UPON MAPPING AND INFORMATION PROVIDED FROM THE WEB SOIL SURVEY (HTTPS://WEBSOILSURVEY.SC.EGOV.USDA.GOV), UNLESS OTHERWISE NOTED. A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED FOR ALL SOIL-RELATED REQUIREMENTS INCLUDING LIMITATIONS, ISSUES, AND RESOLUTIONS INCLUDING UNSUITABLE SOILS, SUB SURFACE SUBSIDENCE, ETC. PADEP NPDES PERMIT NOTES

THE PLANS WILL BE APPROVED UNDER A PADEP NOPES PERMIT. ALL PERMIT CONDITIONS AND REQUIREMENTS OF THE ISSUED/APPROVED NOPES PERMIT MUST BE STRICTLY ADHERED TO INCLUDING PRE CONSTRUCTION MEETINGS, CRITICAL STAGES OF INSPECTION BY A LICENSED PROFESSIONAL, CONSTRUCTION REPORTS, ADHERENCE TO APPROVED LIMITS OF DISTURBANCE, PROFESSIONAL CERTIFICATION OF COMPLETED STORMWATER MANAGEMENT FACILITIES, FILING OF NOTICE OF TERMINATION, ETC. A SUMMARY OF PERMIT CONDITIONS IS PROVIDED ON THE PLANS FOR REFERENCE.

2. THE REQUIRED SURVEYED AS-BUILT DOCUMENTATION OF THE PADEP NOTICE OF TERMINATION (N.O.T.) OF PADEP NPDES PERMIT MUST BE PROVIDED IN AN ELECTRONIC FORMAT TO THE CERTIFYING PROFESSIONAL AND SHALL PROVIDE ALL REQUIREMENTS OF THE PADEP NOTICE OF TERMINATION AS-BUILT CHECKLIST, INCLUDING ALL STORMWATER STRUCTURES, PIPE SYSTEMS, BMP GRADING, OUTLET STRUCTURES, CLEANOUTS, ETC. THE N.O.T. FOR THE PADEP NDPES PERMIT REQUIRES THE APPROVED AS BUILT SURVEY BE RECORDED AT THE RECORDER OF DEEDS.

SEOTECHNICAL STORMWATER NOTES:

I. ELA GROUP, INC. MAKES NO REPRESENTATIONS AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE INCLUDING DEPTH OF BEDROCK, GEOLOGICAL AND/OR ENVIRONMENTAL CONDITIONS, SOIL STABILITY, ETC.

2. WHERE SPECIFIED ON THE PLANS, ENGINEERED STORMWATER MANAGEMENT INFILTRATION SYSTEMS RELY ON PERMEABLE SOIL CONDITIONS TO DEWATER AND FUNCTION PROPERLY. AS PART OF THE DESIGN PROCESS, SOIL TESTING WILL BE PERFORMED TO ASSURE SUB SURFACE CONDITIONS ARE CONDUCIVE TO THE INFILTRATION OF STORMWATER. EVERY PRECAUTION MUST BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION TO ASSURE THAT COMPACTION DOES NOT OCCUR WHICH WOULD COMPROMISE THE PERMEABILITY OF THE SUBGRADE OF THE INFILTRATION FACILITIES. THE INFILTRATION AREAS MUST BE PROTECTED AGAINST COMPACTION FROM CONSTRUCTION ACTIVATES, SEDIMENT LADEN RUN-OFF, AND STOCK PILING. IF AFTER INSTALLATION, THE INFILTRATION FACILITIES DO NOT FUNCTION AS DESIGNED, AND THE CAUSE IS DETERMINED TO BE COMPACTION DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE TO PERFORM REMEDIATION, OUTLINED BY THE QUALIFIED PROFESSIONAL, TO RESTORE PRE-CONSTRUCTION PERMEABILITY.

3. THE INSTALLATION OF ALL STORMWATER BASING AND SUBSURFACE STORMWATER MANAGEMENT SYSTEMS SHALL BE OVERSEEN BY A GEOTECHNICAL PROFESSIONAL AND SHALL BE CERTIFIED BY SUBGRADE INSPECTIONS AND IN-SITU INFILTRATION TESTING TO CONFIRM THAT THE SUBSOIL PERMEABILITY HAS BEEN MAINTAINED. IF THE BASING AND SUBSURFACE SYSTEMS ARE NOT DESIGNED FOR INFILTRATION, THE SUBGRADE AND ANY ASSOCIATED REQUIRED IMPERVIOUS LINERS OR COMPACTED SUBGRADE SHALL ALSO BE CERTIFIED BY INSPECTIONS BY THE GEOTECHNICAL PROFESSIONAL. ALL DOCUMENTATION SHALL BE PROVIDED TO THE CERTIFYING PROFESSIONAL AND MUNICIPALITY.

4. THE MUNICIPALITY AND THE GEOLOGIST/GEOTECHNICAL ENGINEER OF RECORD SHALL BE NOTIFIED IN THE EVENT OF SUBSURFACE SUBSIDENCE ACTIVITY INCLUDING SINKHOLES AND ALL OTHER UNSUITABLE SUBSURFACE CONDITIONS IF ENCOUNTERED DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES. A LICENSED PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER SHALL BE ENGAGED TO INVESTIGATE ALL UNSUITABLE SITE CONDITIONS AS IDENTIFIED ABOVE INCLUDING THE PREPARATION OF STABILIZATION PROCEDURES, DIRECTING THE STABILIZATION WORK, AND MAKING RECOMMENDATIONS FOR CONSTRUCTION TECHNIQUES/PROCEDURES AND DESIGN MODIFICATIONS THAT WILL REDUCE THE POTENTIAL FOR FURTHER UNSUITABLE CONDITIONS AND POTENTIAL SUB SURFACE SUBSIDENCE.

5. A GEOLOGICAL ENGINEERING REPORT WAS PERFORMED BY KLEINFELDER, ADVANTAGE ENGINEERS DATED; MARCH 31, 2020 TITLED STORMWATER SUMMARY FEASIBILITY REPORT. THE RECOMMENDATIONS AND DOCUMENTATION PROVIDED WITHIN THE GEOTECHNICAL REPORT SHALL BE STRICTLY ADHERED TO, UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL PROFESSIONAL.

CONTRACTOR NOTES:

I. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

2. CONTRACTOR IS TO CONFIRM WITH THE OWNER THE PROPOSED LOCATION OF ALL EXISTING IMPROVEMENTS TO BE RELOCATED.

3. CONTRACTOR IS REQUIRED TO COORDINATE PROVISIONS FOR NEW UTILITIES, OR PROVIDE TEMPORARY CONNECTIONS, IN ACCORDANCE WITH THE NEW WORK SCHEDULED TO BE COMPLETED FOR CONSTRUCTION.

4. CONTRACTOR IS RESPONSIBLE FOR ALL THE TRAFFIC BARRICADING AND OTHER TRAFFIC CONTROLS AS REQUIRED TO MAINTAIN OWNERS USE OF THE SITE DURING CONSTRUCTION OPERATIONS.

5. PROVIDE TEMPORARY TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS WHERE INDICATED ON DRAWINGS AND AS REQUIRED TO FACILITATE TRAFFIC MOVEMENTS FOR ALL TEMPORARY ROADWAYS, ACCESS DRIVES, PARKING AREAS, AND PERMANENT PAVEMENTS WHERE THE FINAL WEARING COURSE WILL NOT BE INSTALLED UNTIL A LATER CONSTRUCTION PHASE.

6. CONSTRUCTION OF ALL IMPROVEMENTS SHALL BE BASED ON ACTUAL FIELD STAKING BY A REGISTERED SURVEYOR OR PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL NOT DEVIATE FROM THE GEOMETRY OR DIMENSIONS INDICATED ON THE PLAN WITHOUT APPROVAL OF THE ELA GROUP, MUNICIPALITY, OR THE AUTHORITY HAVING JURISDICTION.

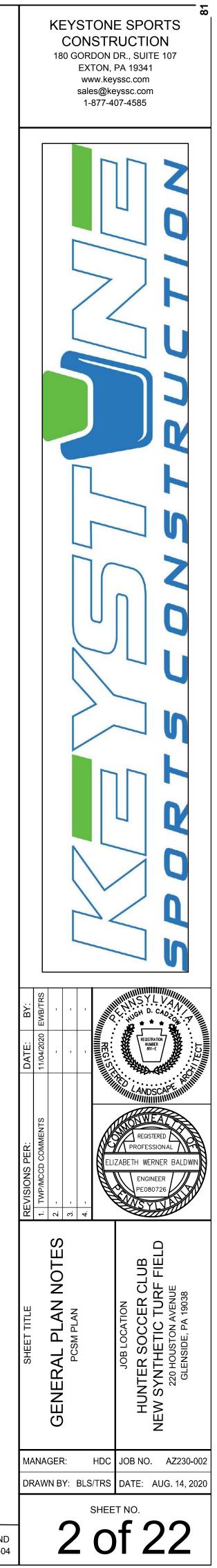
 THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO CONSTRUCTION PROPOSED ON THIS PLAN PRIOR TO INITIATING ANY WORK COVERED BY THE PERMIT.

8. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE GRADING PLAN IS IMPLEMENTED CORRECTLY, AND THAT PROPER DRAINAGE IS PROVIDED DURING CONSTRUCTION.

9. ALL SPOT ELEVATIONS LOCATED ALONG ROADWAYS, ACCESS DRIVES, AND PARKING LOTS ARE BOTTOM OF CURB, UNLESS OTHERWISE NOTED.

PROCEEDING. II. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CURB RAMPS AND DRIVEWAY APRONS TO THE LATEST ADA AND/OR PENNDOT STANDARDS AT

THE TIME OF CONSTRUCTION. 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPLETE AS-BUILT SURVEY OF THE CONSTRUCTED IMPROVEMENTS INCLUDING STORMWATER MANAGEMENT SYSTEM PLANS AND PROFILES.



PADEP GENERAL NPDES PERMIT REQUIREMENTS

(NOTE: SEE APPROVED & ISSUED PADEP NPDES PERMIT FOR FULL AND COMPLETE REQUIREMENTS) PART A - EFFLUENT LIMITATIONS, MONITORING, AND REPORTING REQUIREMENTS

I. EFFLUENT LIMITATIONS

a. BMPS

EXCEPT AS REQUIRED BY 25 PA. CODE §102.11(C), THIS PERMIT ESTABLISHES NARRATIVE PERFORMANCE BASED EFFLUENT LIMITATIONS IN THE FORM OF BMPS IDENTIFIED IN E&S PLANS, PCSM PLANS, AND PPC PLANS, WHICH CONTROL THE VOLUME, RATE, AND QUALITY OF STORMWATER RUNOFF AND ASSOCIATED POLLUTANTS FROM BEING DISCHARGED INTO SURFACE WATERS, AND WHICH REPLICATE PRECONSTRUCTION INFILTRATION AND RUNOFF CONDITIONS TO THE MAXIMUM EXTENT PRACTICABLE. SECTION 102.11(C) INCORPORATES BY REFERENCE FEDERAL EFFLUENT LIMITATION GUIDELINES IN 40 CFR PART 450 (RELATING TO THE CONSTRUCTION AND DEVELOPMENT POINT SOURCE CATEGORY).

b. APPLICABLE EFFLUENT LIMITATIONS

ACTIVITIES COVERED UNDER THIS PERMIT MUST COMPLY WITH APPLICABLE EFFLUENT LIMITATIONS ESTABLISHED IN 25 PA. CODE CHAPTERS 91, 92A, 93, 96, 102, AND 105 AND ANY APPLICABLE FEDERAL LAW OR REGULATION, INCLUDING THE EFFLUENT GUIDELINES FOR CONSTRUCTION AT 40 CFR PART 450.

c. WATER QUALITY BASED EFFLUENT LIMITATIONS

WATER QUALITY BASED EFFLUENT LIMITATIONS ARE APPLICABLE TO ACTIVITIES CONDUCTED UNDER THIS PERMIT WHEN REQUIRED UNDER APPLICABLE STATE AND FEDERAL LAW OR REGULATION TO ENSURE THAT THE WATER QUALITY STANDARDS OF THE RECEIVING WATER ARE ATTAINED. ACTIVITIES CONDUCTED UNDER THIS PERMIT SHALL NOT RESULT IN A VIOLATION OF SUCH WATER QUALITY STANDARDS.

2. MONITORING, INSPECTION, AND REPORTING REQUIREMENTS a. VISUAL INSPECTIONS

THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED AND DOCUMENTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE STORMWATER EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOT BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED ON A FORM DEVELOPED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S, PCSM AND PPC BMPS ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:

(I) A SUMMARY OF SITE CONDITIONS, E&S AND PCSM BMPS, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND

- (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.
- **b. LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES**

A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS, STRUCTURALLY ENGINEERED BMPS, OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.

C. NONCOMPLIANCE REPORTING

WHERE E&S, PCSM OR PPC BMPS ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION OR ANY OTHER TIME THE PERMITTEE BECOMES AWARE OF ANY INCIDENT CAUSING OR THREATENING POLLUTION AS DESCRIBED IN 25 PA. CODE § 91.33 (RELATING TO INCIDENTS CAUSING OR THREATENING POLLUTION), AS REQUIRED BY 25 PA. CODE § 92A.41(B) (RELATING TO CONDITIONS APPLICABLE TO ALL PERMITS), THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN FIVE (5) DAYS

- OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: (I) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT,
- OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION (2) THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE
- ACTIVITY WILL RETURN TO COMPLIANCE;
- (3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND (4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE

CONDITIONS. d. SUPPLEMENTAL MONITORING

THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT MAY REQUIRE ADDITIONAL MONITORING WHERE AN INCREASED RISK OF POTENTIAL WATER POLLUTION IS PRESENT, OR WATER POLLUTION IS SUSPECTED TO BE OCCURRING FROM A CONSTRUCTION ACTIVITY SUBJECT TO THIS GENERAL PERMIT, OR FOR ANY REASON IN ACCORDANCE WITH 25 PA. CODE § 92A.61 (RELATING TO MONITORING). THE PERMITTEE OR CO-PERMITTEE SHALL COMMENCE SUCH MONITORING UPON NOTIFICATION FROM THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.

e. AVAILABILITY OF REPORTS

EXCEPT FOR DATA DETERMINED TO BE CONFIDENTIAL UNDER SECTION 607 OF THE CLEAN STREAMS LAW, ALL REPORTS AND OTHER INFORMATION PREPARED IN ACCORDANCE WITH THE TERMS OF THIS PERMIT SHALL BE AVAILABLE FOR PUBLIC INSPECTION AT THE APPROPRIATE DEPARTMENT REGIONAL OFFICE OR AUTHORIZED CONSERVATION DISTRICT.

a. RETENTION OF RECORDS

3. RECORD KEEPING

- THE PERMITTEE AND CO-PERMITTEE(S) SHALL RETAIN RECORDS OF ALL MONITORING INFORMATION INCLUDING COPIES OF ALL MONITORING AND INSPECTION REPORTS REQUIRED BY THIS PERMIT, ALL MONITORING INFORMATION (INCLUDING SITE LOG BOOK, CALIBRATION AND MAINTENANCE RECORDS) AND RECORDS OF DATA USED TO COMPLETE THE NOI FOR THIS PERMIT, FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE TERMINATION OF COVERAGE UNDER THIS PERMIT AS REQUIRED BY 25 PA. CODE § 92A.61(F)(2). THIS PERIOD OF RETENTION MUST BE EXTENDED DURING THE COURSE OF ANY UNRESOLVED COMPLIANCE, ENFORCEMENT, OR LITIGATION OR WHEN REQUESTED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- **b. REPORTING OF MONITORING RESULTS** VISUAL INSPECTION MONITORING RESULTS SHALL BE SUBMITTED TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT UPON REQUEST.

4. DISCHARGES CONSISTENT WITH TERMS AND CONDITIONS OF THE PERMIT

ALL DISCHARGES AUTHORIZED BY THIS NPDES PERMIT SHALL BE CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

PART B - STANDARD CONDITIONS

MANAGEMENT REQUIREMENTS

- a. PERMIT MODIFICATION, TERMINATION, OR REVOCATION AND REISSUANCE
- (I) THE GENERAL PERMIT WILL EXPIRE FIVE (5) YEARS FROM THE DATE OF ITS ISSUANCE. THE AUTHORIZATION PERIOD FOR THE PERMIT WILL BE FIVE (5) YEARS FOR ALL PERMITS FROM THE DATE OF AUTHORIZATION. THE DEPARTMENT WILL PUBLISH A NOTICE IN THE PENNSYLVANIA BULLETIN OF THE DRAFT, RENEWED, OR REISSUED GENERAL PERMIT OR ANY AMENDMENTS TO THIS GENERAL PERMIT, AND AFTER A COMMENT PERIOD, NOTICE OF THE FINAL, RENEWED, REISSUED OR AMENDED GENERAL PERMIT WILL BE PUBLISHED IN THE PENNSYLVANIA BULLETIN. ANY PERSON WITH AN UNEXPIRED APPROVAL OF COVERAGE UNDER THE GENERAL PERMIT, INCLUDING COVERAGE EXTENDED PURSUANT TO SECTION 3(C) OF THIS PERMIT SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FINAL RENEWED, REISSUED OR AMENDED GENERAL PERMIT, SUCH PERSONS SHALL BE COVERED BY THE GENERAL PERMIT EVEN IF THE DISCHARGER HAS NOT SUBMITTED A SEPARATE NOI TO BE COVERED BY SUCH FINAL RENEWED, REISSUED OR AMENDED GENERAL PERMIT. SUCH PERSON MAY REQUEST COVERAGE UNDER AN INDIVIDUAL PERMIT. SEE 40 CFR § 122.28(B)(2)(VI); 25 PA. CODE § 92A.54(C) AND (D) (RELATING TO GENERAL PERMITS).
- (2) THIS PERMIT MAY BE MODIFIED, SUSPENDED, REVOKED, REISSUED, OR TERMINATED DURING ITS TERM FOR ANY OF THE CAUSES SPECIFIED IN 25 PA. CODE CHAPTERS 92A AND 102 (RELATING TO EROSION AND SEDIMENT CONTROL), OR TO REQUIRE COMPLIANCE WITH UPDATED EFFLUENT LIMITATION GUIDELINES, WATER QUALITY STANDARDS, IMPAIRED WATER LISTINGS, OR NEWLY APPROVED TMDLS.
- (3) THE DEPARTMENT MAY MODIFY, REVOKE, SUSPEND, OR TERMINATE PREVIOUSLY ISSUED COVERAGE UNDER THIS GENERAL NPDES PERMIT AND REQUIRE THE STORMWATER DISCHARGER TO APPLY FOR AND OBTAIN AN INDIVIDUAL NPDES PERMIT IN ACCORDANCE WITH 25 PA. CODE CHAPTERS 92A AND 102.
- (4) THE FILING OF A REQUEST BY THE PERMITTEE OR CO-PERMITTEE FOR A PERMIT OR COVERAGE MODIFICATION, REVOCATION, REISSUANCE, OR TERMINATION, OR A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE, DOES NOT ELIMINATE ANY EXISTING PERMIT CONDITIONS. (5) PERMIT MODIFICATION OR REVOCATION WILL BE CONDUCTED ACCORDING TO 25 PA. CODE CHAPTERS 92A AND

102. b. DUTY TO PROVIDE INFORMATION

- (1) THE PERMITTEE OR CO-PERMITTEE(S) SHALL FURNISH TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT WITHIN THIRTY (30) DAYS OF THE DATE OF REQUEST, ANY INFORMATION THAT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT MAY REQUEST TO DETERMINE WHETHER CAUSE EXISTS FOR MODIFYING, REVOKING, REISSUING, OR TERMINATING THIS PERMIT OR COVERAGE APPROVED UNDER THIS PERMIT OR TO DETERMINE COMPLIANCE WITH THIS PERMIT.
- (2) THE PERMITTEE OR CO-PERMITTEE SHALL FURNISH, UPON REQUEST, TO THE DEPARTMENT, EPA OR AUTHORIZED CONSERVATION DISTRICT, COPIES OF RECORDS REQUIRED TO BE KEPT BY THIS PERMIT.
- (3) WHEN THE PERMITTEE OR CO-PERMITTEE BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS OR SUBMITTED INCORRECT INFORMATION IN THE NOI, E&S PLAN, PCSM PLAN, OR PPC PLAN OR IN ANY OTHER REPORT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, THE PERMITTEE OR CO-PERMITTEE SHALL WITHIN 24 HOURS OF BECOMING AWARE OF THE DEFICIENCY SUBMIT OR CORRECT SUCH FACTS OR INFORMATION.
- (4) THE PERMITTEE OR CO-PERMITTEE SHALL GIVE SEVEN (7) CALENDAR DAYS ADVANCE NOTICE TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT OF ANY PLANNED PHYSICAL ALTERATIONS OR ADDITIONS TO THE PERMITTED FACILITY WHICH COULD, IN ANY WAY, SUBSTANTIALLY AFFECT THE QUALITY AND/OR QUANTITY OF STORMWATER DISCHARGED FROM THE ACTIVITY. C. SIGNATORY REQUIREMENTS
- DOCUMENTS REQUIRED, SUBMITTED, OR MAINTAINED UNDER THIS PERMIT SHALL BE SIGNED IN ACCORDANCE WITH

THE FOLLOWING:

- (1) NOTICES OF INTENT, TRANSFEREE/CO-PERMITTEE FORM, AND NOTICES OF TERMINATION. MANUFACTURING, PRODUCTION, OR OPERATING FACILITIES, IF AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE PROCEDURES;
- PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA). REPRESENTATIVE OF THE PERMITTEE
- CONSERVATION DISTRICT WITHIN THIRTY (30) DAYS OF THE CHANGE. d. TRANSFER OF OWNERSHIP OR CONTROL

- DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. OWNERSHIP OR CONTROL
- PERMIT VIOLATIONS UNDER THE PERMIT FROM THAT DATE ON.
- (30) DAYS
- APPLY FOR AND OBTAIN AN INDIVIDUAL NPDES PERMIT
- IDENTIFIED TO BECOME A CO-PERMITTEE, THE OWNER SHALL:
- COMPLETE AND ACCEPTABLE TRANSFEREE/CO-PERMITTEE APPLICATION FORM; AND
- REFLECT ALL CHANGES TO THE PERMITTEE AND THE CO-PERMITTEE NAME. (4) AFTER RECEIPT OF THE DOCUMENTATION DESCRIBED IN (3) ABOVE, THE PERMIT WILL BE CONSIDERED MODIFIED
- MODIFICATION IS CONSIDERED TO BE A MINOR PERMIT MODIFICATION. (5) UPON AUTHORIZATION OF A CHANGE IN OWNERSHIP OR CONTROL, THE EXISTING PERMITTEE SHALL PROVIDE A
- COPY OF THE PERMIT AND APPROVED PLANS TO THE NEW OWNER AND/OR CO-PERMITTEE. e. REMOVED SUBSTANCES
- TO PREVENT ANY POLLUTANT IN SUCH MATERIALS FROM ADVERSELY AFFECTING THE ENVIRONMENT. F. BMP CONSTRUCTION, OPERATION AND MAINTENANCE
- MAINTENANCE OF THE BMPS IDENTIFIED IN THE E&S PLAN, PCSM PLAN, AND PPC PLAN. a. ADVERSE IMPACT
- DISCHARGE IN VIOLATION OF THIS PERMIT. h. REDUCTION, LOSS, OR FAILURE OF BMP

2. COMPLIANCE RESPONSIBILITIES

- a. DUTY TO COMPLY
- REISSUANCE, OR MODIFICATION; OR FOR DENIAL OF A PERMIT OR PERMIT RENEWAL.
- b. PENALTIES FOR VIOLATIONS OF PERMIT CONDITIONS REFERENCE.
- C. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE CONDITIONS OF THIS PERMIT.
- d. PENALTIES AND LIABILITY
- OF COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (ACT 42 U.S.C. § 9601). e. PROPERTY RIGHTS
- INFRINGEMENT OF FEDERAL, STATE, OR LOCAL LAWS OR REGULATIONS. f. SEVERABILITY
- g. OTHER LAWS

WATER ACT.

h. RIGHT OF ENTRY

PURSUANT TO SECTIONS 5(B) AND 305 OF THE PENNSYLVANIA CLEAN STREAMS LAW (35 P.S. §§691.5(B) AND 691.305), 25 PA. CODE CHAPTER 92A, AND §1917-A OF THE ADMINISTRATIVE CODE OF 1929, THE PERMITTEE AND CO-PERMITTEE SHALL ALLOW THE DIRECTOR OF THE DEPARTMENT, THE EPA REGIONAL ADMINISTRATOR, AND/OR AN AUTHORIZED REPRESENTATIVE OF EPA, OR THE DEPARTMENT, CONSERVATION DISTRICT OR, IN THE CASE OF A FACILITY WHICH DISCHARGES TO A MUNICIPAL SEPARATE STORM SEWER, AN AUTHORIZED REPRESENTATIVE OF THE MUNICIPAL OPERATOR OR THE SEPARATE STORM SEWER RECEIVING THE DISCHARGE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS, AS MAY BE REQUIRED BY LAW, TO: (1) ENTER UPON THE PERMITTEE'S OR CO-PERMITTEE'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS

- (2) HAVE ACCESS TO AND COPY, AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE TERMS
- AND CONDITIONS OF THIS PERMIT; (3) INSPECT ANY FACILITIES OR EQUIPMENT (INCLUDING MONITORING AND CONTROL EQUIPMENT); AND
- (4) OBSERVE OR SAMPLE ANY DISCHARGE OF STORMWATER I. AVAILABILITY OF REPORTS
- EXCEPT FOR DATA DETERMINED TO BE CONFIDENTIAL UNDER SECTION 607 OF THE CLEAN CONFIDENTIAL.

I. PENALTIES FOR FALSIFICATION OF REPORTS

(a) CORPORATIONS; (I) A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION- MAKING FUNCTIONS FOR THE CORPORATION; OR (2) THE MANAGER OF ONE OR MORE

(b) PARTNERSHIPS OR SOLE PROPRIETORSHIPS: A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY; OR (c) MUNICIPALITIES, STATE, FEDERAL, OR OTHER PUBLIC AGENCIES: EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL SUCH AS: (1) THE CHIEF EXECUTIVE OFFICER OR SECRETARY OF THE AGENCY, OR (2) A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A

(2) ALL REPORTS, PLANS, DOCUMENTS, AND OTHER INFORMATION REQUIRED BY THE PERMIT OR REQUESTED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT SHALL BE SIGNED BY A DULY AUTHORIZED

(3) IF THERE IS A CHANGE IN THE DULY AUTHORIZED REPRESENTATIVE OF THE PERMITTEE OR CO-PERMITTEE, RESPECTIVELY, THE PERMITTEE OR CO-PERMITTEE SHALL NOTIFY THE DEPARTMENT OR AUTHORIZED

(I) THIS PERMIT IS NOT TRANSFERABLE TO ANY PERSON EXCEPT AFTER NOTICE AND ACKNOWLEDGMENT BY THE

(a) IN THE EVENT OF ANY PENDING CHANGE IN CONTROL OR OWNERSHIP OF FACILITIES FROM WHICH THE AUTHORIZED DISCHARGES EMANATE, THE PERMITTEE OR CO-PERMITTEE SHALL NOTIFY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT USING THE FORM ENTITLED "TRANSFEREE/CO-PERMITTEE APPLICATION" OF SUCH PENDING CHANGE AT LEAST THIRTY (30) DAYS PRIOR TO THE CHANGE IN

(b) THE TRANSFEREE/CO-PERMITTEE APPLICATION FORM SHALL BE ACCOMPANIED BY A WRITTEN AGREEMENT BETWEEN THE EXISTING PERMITTEE AND THE NEW OWNER OR OPERATOR STATING THAT THE EXISTING PERMITTEE SHALL BE LIABLE FOR VIOLATIONS OF THE PERMIT UP TO AND UNTIL THE DATE OF COVERAGE TRANSFER AND THAT THE NEW OWNER OR OPERATOR SHALL BE JOINTLY AND INDIVIDUALLY LIABLE FOR

(c) AFTER RECEIPT OF AN ADMINISTRATIVELY COMPLETE AND ACCEPTABLE TRANSFEREE/CO-PERMITTEE APPLICATION FORM, THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT SHALL NOTIFY THE EXISTING PERMITTEE AND THE NEW OWNER OR OPERATOR OF ITS DECISION CONCERNING APPROVAL OF THE TRANSFER OF OWNERSHIP OR CONTROL. SUCH REQUESTS SHALL BE DEEMED APPROVED UNLESS THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT NOTIFIES THE APPLICANT OTHERWISE WITHIN THIRTY

(2) THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT MAY REQUIRE THE NEW OWNER OR OPERATOR TO

(3) FOR PURPOSES OF THIS PERMIT, OPERATORS SHALL INCLUDE GENERAL CONTRACTORS. IF PRIOR TO CONSTRUCTION ACTIVITIES, THE OWNER IS THE PERMITTEE AND AN OPERATOR/GENERAL CONTRACTOR IS LATER

(a) NOTIFY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT BY SUBMITTING AN ADMINISTRATIVELY

(b) ENSURE THAT MONITORING REPORTS AND ANY OTHER INFORMATION REQUESTED UNDER THIS PERMIT SHALL

BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. FOR THE PURPOSES OF THIS PERMIT, THIS

SOLIDS, SEDIMENTS, AND OTHER POLLUTANTS REMOVED IN THE COURSE OF TREATMENT OR CONTROL OF STORMWATER SHALL BE DISPOSED IN ACCORDANCE WITH FEDERAL AND STATE LAW AND REGULATIONS, IN ORDER

THE PERMITTEE AND CO-PERMITTEE(S) ARE RESPONSIBLE FOR THE DESIGN, INSTALLATION, OPERATION, AND

THE PERMITTEE AND CO-PERMITTEE(S) SHALL TAKE ALL REASONABLE STEPS TO PREVENT, MINIMIZE, OR CEASE ANY

UPON REDUCTION, LOSS, OR FAILURE OF ANY BMP, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE, REPAIR, OR REPLACE THE BMP OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMP OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMP WHEN PROPERLY INSTALLED. THESE ACTIONS SHOULD BE UNDERTAKEN TO ENSURE THAT THERE ARE NO POLLUTANTS OR POLLUTION DISCHARGED TO THE WATERS OF THE COMMONWEALTH. THIS REQUIREMENT IS APPLICABLE IN SITUATIONS WHERE THE BMP IS RENDERED INEFFECTIVE, WHETHER THE CAUSE OR SOURCE OF THE REDUCTION, LOSS OR FAILURE IS WITHIN OR BEYOND THE CONTROL OF THE PERMITTEE OR CO-PERMITTEE.

THE PERMITTEE AND CO-PERMITTEE MUST COMPLY WITH ALL TERMS AND CONDITIONS OF THIS GENERAL PERMIT. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE PENNSYLVANIA CLEAN STREAMS LAW AND THE FEDERAL CLEAN WATER ACT AND IS GROUNDS FOR ENFORCEMENT ACTION; FOR PERMIT TERMINATION, REVOCATION,

ANY PERSON WHO VIOLATES A PERMIT CONDITION, FAILS TO TAKE CORRECTIVE ACTION TO ABATE VIOLATIONS OR FALSIFIES REPORT OR OTHER DOCUMENTS MAY BE SUBJECT TO CRIMINAL AND/OR CIVIL PENALTIES OR OTHER APPROPRIATE ACTION FOR VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT UNDER SECTIONS 602 AND 605 OF THE CLEAN STREAMS LAW (35 P.S. § 691.602 AND 691.605), AND UNDER THE CLEAN WATER ACT AS SPECIFIED IN 40 CFR § 122.41(A) (2) AND (3), WHICH ARE INCORPORATED BY

THE PERMITTEE AND/OR CO-PERMITTEE MAY NOT USE AS A DEFENSE IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE PERMITTED ACTIVITY TO MAINTAIN COMPLIANCE WITH THE

NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEE OR CO-PERMITTEE FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEE IS OR MAY BE SUBJECT UNDER SECTION 311 OF THE CLEAN WATER ACT (33 U.S.C. §1321) OR SECTION 106

THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY NOR ANY INVASION OF PERSONAL RIGHTS, NOR ANY

THE PROVISIONS OF THIS PERMIT ARE SEVERABLE; AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY.

NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEE OR CO-PERMITTEE FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES ESTABLISHED PURSUANT TO ANY APPLICABLE STATE LAW OR REGULATION UNDER AUTHORITY PRESERVED BY SECTION 510 OF THE CLEAN

LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT;

STREAMS LAW (35 P.S. §691.607), ALL REPORTS PREPARED IN ACCORDANCE WITH THE TERMS OF THIS PERMIT SHALL BE AVAILABLE FOR PUBLIC INSPECTION AT THE OFFICES OF THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. AS REQUIRED BY THE CLEAN WATER ACT, THE CLEAN STREAMS LAW, AND THE DEPARTMENT'S REGULATIONS AT 25 PA. CODE § 92A.8 (RELATING TO CONFIDENTIALITY OF INFORMATION), PERMIT APPLICATIONS, PERMITS, AND OTHER DOCUMENTS RELATED TO THIS PERMIT SHALL NOT BE CONSIDERED

SECTION 309(C)(4) OF THE CLEAN WATER ACT PROVIDES THAT ANY PERSON WHO KNOWINGLY MAKES ANY FALSE MATERIAL STATEMENT, REPRESENTATION, OR CERTIFICATION IN ANY RECORD OR OTHER DOCUMENT SUBMITTED OR REQUIRED TO BE MAINTAINED UNDER THIS PERMIT, INCLUDING REPORTS OF COMPLIANCE OR NONCOMPLIANCE SHALL, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN \$10,000 OR BY IMPRISONMENT FOR NOT MORE THAN TWO YEARS OR BY BOTH. IN ADDITION, CRIMINAL SANCTIONS ARE SET FORTH FOR FALSE SWEARING AND UNSWORN FALSIFICATION AT IB PA.C.S. §§ 4903-4904.

PART C - OTHER CONDITIONS

I. PROHIBITION OF NONSTORMWATER DISCHARGES

ALL DISCHARGES COVERED BY THIS PERMIT SHALL BE COMPOSED ENTIRELY OF STORMWATER. DISCHARGES OF MATERIAL OTHER THAN STORMWATER MUST BE IN COMPLIANCE, WHEN REQUIRED, WITH AN NPDES PERMIT (OTHER THAN THIS PERMIT) ISSUED FOR THE DISCHARGE. DISCHARGE OF SEWAGE OR INDUSTRIAL WASTE (OTHER THAN SEDIMENT UNDER THIS PERMIT) TO AN E&S BMP IS NOT PERMITTED.

THE PERMITTEE/CO-PERMITTEE MAY NOT DISCHARGE FLOATING MATERIALS, OIL, GREASE, SCUM, FOAM, SHEEN, AND SUBSTANCES WHICH: PRODUCE ODOR, TASTE, OR TURBIDITY OR SETTLE TO FORM DEPOSITS IN CONCENTRATIONS OR AMOUNTS SUFFICIENT TO BE, OR CREATE A DANGER OF BEING, INIMICAL TO THE WATER USES TO BE PROTECTED OR HUMAN, ANIMAL, PLANT, OR AQUATIC LIFE.

2. EROSION AND SEDIMENT CONTROL PLANS

a. UNLESS OTHERWISE AUTHORIZED BY THE DEPARTMENT OR CONSERVATION DISTRICT AFTER CONSULTATION WITH THE DEPARTMENT, EARTH DISTURBANCE ACTIVITIES SHALL BE PLANNED AND IMPLEMENTED TO THE EXTENT PRACTICABLE IN ACCORDANCE WITH THE FOLLOWING:

- (I) MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
- (11) MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
- (III) MINIMIZE SOIL COMPACTION.
- (IV) UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF.
- b. AN E&S PLAN SHALL BE PREPARED AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE CHAPTER 102 AND BY A PERSON TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL METHODS AND TECHNIQUES APPLICABLE TO THE SIZE AND SCOPE OF THE PROJECT BEING DESIGNED. EACH E&S PLAN MUST BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE BMPS SHALL BE DESIGNED TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION IN ORDER TO PROTECT, MAINTAIN, RECLAIM, AND RESTORE WATER QUALITY AND EXISTING AND DESIGNATED USES. VARIOUS BMPS AND THEIR DESIGN STANDARDS ARE LISTED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, NO. 363-2134-008, AS AMENDED AND UPDATED. THE MANUAL IS AVAILABLE FROM THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT OR CAN BE DOWNLOADED FROM THE DEPARTMENT'S WEBSITE AT WWW.DEP.STATE.PA.US. E&S PLANS AND BMPS, AND REVISIONS THERETO, WHICH MEET THE REQUIREMENTS OF 25 PA. CODE CHAPTERS 93, 96 (RELATING TO WATER QUALITY STANDARDS IMPLEMENTATION), AND 102, ARE CONDITIONS OF THIS PERMIT AND ARE INCORPORATED BY REFERENCE.
- C. E&S CONTROL PLANS REQUIRED UNDER THIS PERMIT ARE CONSIDERED REPORTS THAT SHALL BE AVAILABLE TO THE PUBLIC UNDER SECTION 607 OF THE CLEAN STREAMS LAW AND 25 PA. CODE CHAPTER 92A OF THE DEPARTMENT'S REGULATIONS. THE OWNER OR OPERATOR OF A FACILITY WITH STORMWATER DISCHARGES COVERED BY THIS PERMIT SHALL MAKE E&S PLANS AVAILABLE TO THE PUBLIC UPON REQUEST. E&S PLANS MUST BE MADE AVAILABLE AT THE SITE OF THE CONSTRUCTION ACTIVITY AT ALL TIMES.
- d. THE APPROVED E&S PLAN, INCLUDING THE STAGING OF EARTH DISTURBANCE ACTIVITIES AND MAINTENANCE REQUIREMENTS, MUST BE FOLLOWED.
- e. UPON THE INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- F. THE E&S PLAN MUST BE CONSISTENT WITH THE ASSUMPTIONS AND REQUIREMENTS OF ANY ASSIGNED WASTELOAD ALLOCATIONS (WLAS) AS SET FORTH IN ANY APPLICABLE TOTAL MAXIMUM DAILY LOADS (TMDLS) ESTABLISHED FOR THE RECEIVING WATERS.

3. RECYCLING AND DISPOSAL OF BUILDING MATERIALS AND WASTES

ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CH. 260A (RELATING TO HAZARDOUS WASTE MANAGEMENT SYSTEM: GENERAL), CH. 271 (RELATED TO MUNICIPAL WASTE MANAGEMENT SYSTEM - GENERAL PROVISIONS), AND CH.287 (RELATING TO RESIDUAL WASTE MANAGEMENT SYSTEM -GENERAL PROVISIONS). NO BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

4. PREPAREDNESS, PREVENTION, AND CONTINGENCY (PPC) PLANS

IF TOXIC, HAZARDOUS, OR OTHER POLLUTING MATERIALS WILL BE ON SITE, THE PERMITTEE OR CO-PERMITTEE(S) MUST DEVELOP A PPC PLAN FOR USE WHILE THOSE MATERIALS ARE ON SITE IN ACCORDANCE WITH 25 PA. CODE § 91.34 (RELATING TO ACTIVITIES UTILIZING POLLUTANTS). THE PPC PLAN SHALL IDENTIFY AREAS WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WASTE MANAGEMENT AREAS, RAW MATERIAL STORAGE AREAS, FUEL STORAGE AREAS, TEMPORARY AND PERMANENT SPOILS STORAGE AREAS, MAINTENANCE AREAS, AND ANY OTHER AREAS THAT MAY HAVE THE POTENTIAL TO CAUSE NONCOMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT DUE TO THE STORAGE, HANDLING, OR DISPOSAL OF ANY TOXIC OR HAZARDOUS SUBSTANCES SUCH AS OIL, GASOLINE, PESTICIDES, HERBICIDES. SOLVENTS, CONCRETE WASHWATERS, ETC. BMPS SHALL BE DEVELOPED AND IMPLEMENTED FOR EACH IDENTIFIED AREA. THE PPC PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR REVIEW AT THE DEPARTMENT'S OR AUTHORIZED CONSERVATION DISTRICT'S REQUEST.

5. POSTCONSTRUCTION STORMWATER MANAGEMENT PLANS

- a. THE MANAGEMENT OF POST CONSTRUCTION STORMWATER SHALL BE PLANNED AND CONDUCTED TO THE EXTENT PRACTICABLE IN ACCORDANCE WITH THE FOLLOWING;
 - PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
- (11) PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
- (iii) MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME. (IV) MINIMIZE IMPERVIOUS AREAS.
- (V) MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
- (VI) MINIMIZE LAND CLEARING AND GRADING.
- (VII) MINIMIZE SOIL COMPACTION.
- (VIII) UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPS THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.
- b. A PCSM PLAN SHALL BE PREPARED AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE CHAPTER 102 AND BY A PERSON TRAINED AND EXPERIENCED IN PCSM DESIGN METHODS AND TECHNIQUES APPLICABLE TO THE SIZE AND SCOPE OF THE PROJECT BEING DESIGNED. THE MANAGEMENT OF POST CONSTRUCTION STORMWATER SHALL BE PLANNED AND CONDUCTED IN ACCORDANCE WITH 25 PA, CODE §102.8. VARIOUS BMPS AND THEIR DESIGN STANDARDS ARE LISTED IN THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL, NO. 363-0300- 002, AS AMENDED AND UPDATED. THE MANUAL IS AVAILABLE FROM THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT OR CAN BE DOWNLOADED FROM THE DEPARTMENT'S WEBSITE AT WWW.DEP.STATE.PA.US. EACH PCSM PLAN MUST BE SUBMITTED TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE PCSM PLAN MUST EMPLOY STORMWATER MANAGEMENT BMPS TO CONTROL THE VOLUME, RATE, AND WATER QUALITY OF THE POSTCONSTRUCTION STORMWATER RUNOFF SO AS TO PROTECT AND MAINTAIN THE CHEMICAL, PHYSICAL, BIOLOGICAL PROPERTIES, AND EXISTING AND DESIGNATED USES OF THE WATERS OF THIS COMMONWEALTH.
- C. PCSM PLANS REQUIRED UNDER THIS PERMIT ARE CONSIDERED REPORTS THAT SHALL BE AVAILABLE TO THE PUBLIC UNDER SECTION 607 OF THE CLEAN STREAMS LAW AND 25 PA. CODE CHAPTER 92A OF THE DEPARTMENT'S REGULATIONS. THE OWNER OR OPERATOR OF A FACILITY WITH STORMWATER DISCHARGES COVERED BY THIS PERMIT SHALL MAKE PCSM PLANS AVAILABLE TO THE PUBLIC UPON REQUEST. THE PCSM PLANS MUST BE MADE AVAILABLE AT THE SITE OF THE CONSTRUCTION ACTIVITY AT ALL TIMES.
- d. A LICENSED PROFESSIONAL OR THEIR DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE LICENSED PROFESSIONAL WILL BE RESPONSIBLE TO PROVIDE A FINAL CERTIFICATION, PURSUANT TO 25 PA. CODE § 102.8(L) ALONG WITH THE REQUIRED NOT AND RECORD DRAWINGS, INDICATING THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED OR MODIFIED PCSM PLAN.
- e. THE PCSM PLAN MUST BE CONSISTENT WITH THE ASSUMPTIONS AND REQUIREMENTS OF ANY AVAILABLE WLAS AS SET FORTH IN ANY APPLICABLE TMDLS ESTABLISHED FOR THE RECEIVING WATERS.
- F. THE PORTION OF A SITE RECLAMATION OR RESTORATION PLAN THAT IDENTIFIES PCSM BMPS TO MANAGE STORMWATER FROM PIPELINES OR OTHER SIMILAR UTILITY INFRASTRUCTURE MAY BE USED TO SATISFY THE PCSM REQUIREMENTS IF THE PCSM RECLAMATION, OR RESTORATION PLAN MEETS THE REQUIREMENTS OF 25 PA. CODE \S 102.8(B), (C), (E), (F), (H), (I) AND (L), AND WHEN APPLICABLE, (M).
- 6. PRECONSTRUCTION CONFERENCES

FOR EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, A PRECONSTRUCTION MEETING IS REQUIRED, UNLESS THE PERMITTEE HAS BEEN NOTIFIED OTHERWISE IN WRITING BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE PERMITTEE SHALL INVITE THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT TO ATTEND THE PRECONSTRUCTION MEETING AND PROVIDE AT LEAST SEVEN (7) DAYS NOTICE OF THE PRECONSTRUCTION MEETING TO ALL INVITED ATTENDEES, PERMITTEES, CO-PERMITTEES, OPERATORS, AND LICENSED PROFESSIONALS, OR DESIGNEES RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S, PCSM AND PPC PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND THE PRECONSTRUCTION MEETING. PERMITTEES, CO-PERMITTEES, OPERATORS AND LICENSED PROFESSIONALS ARE RESPONSIBLE FOR ENSURING THAT ALL ACTIVITIES ON THE SITE COMPLY WITH THE REQUIREMENTS OF THE PERMIT. 7. SPOIL OR BORROW AREAS

AN E&S PLAN OR OTHER AUTHORIZATION MEETING THE REGULATORY REQUIREMENTS DETAILED IN 25 PA. CODE § 102.4(B) SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT AND IMPLEMENTED FOR ALL SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATION. CLEAN FILL REQUIREMENTS

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE DEPARTMENT FORM FP-OOI (CERTIFICATION OF CLEAN FILL) TO CERTIFY THE ORIGIN OF THE FILL MATERIAL

AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIALS AS CLEAN FILL. THE FORM MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. FILL MATERIAL NOT QUALIFYING AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 271 OR 287, WHICHEVER IS APPLICABLE. 8. PHASED PROJECTS

PRIOR TO THE COMMENCEMENT OF EARTH DISTURBANCE ACTIVITIES FOR SUBSEQUENT PHASES OF THE PROJECT, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT AN E&S PLAN AND PCSM PLAN AND SUPPORTING INFORMATION FOR EACH ADDITIONAL PHASE OR PORTION OF THE PROJECT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT FOR APPROVAL. COVERAGE UNDER THIS PERMIT IS ONLY GRANTED FOR THOSE PHASES OR PORTIONS OF A PROJECT FOR WHICH AN E&S PLAN AND PCSM PLAN HAS BEEN SUBMITTED AND APPROVED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. PERMITTEES AND CO-PERMITTEES WITH PHASES COMMENCED AFTER TERMINATION OF THIS PAG-02, 2012 AMENDMENT, SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FINAL RENEWED, REISSUED, OR AMENDED GENERAL PERMIT.

9. CLARIFICATION ASSISTANCE

THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT FOR CLARIFICATION OF ANY REQUIREMENTS CONTAINED IN THE E&S PLAN, PCSM PLAN, PPC PLAN, OR OTHER DOCUMENTS RELATED TO THIS PERMIT.

IO.WETLAND PROTECTION

IF HYDRIC SOILS OR OTHER WETLAND FEATURES ARE PRESENT, A WETLAND DETERMINATION MUST BE CONDUCTED IN ACCORDANCE WITH DEPARTMENT PROCEDURES. A COPY OF THAT WETLAND DETERMINATION SHOULD BE PROVIDED TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT AS PART OF THE NOI/APPLICATION. ALL WETLANDS IDENTIFIED MUST BE INCLUDED ON THE E&S PLAN AND PCSM PLAN. SPECIAL PRECAUTIONS MUST BE TAKEN TO PROTECT WETLANDS AND OTHER WATER RESOURCES IDENTIFIED IN THE NOI, PLANS, AND OTHER SUPPORTING DOCUMENTS.

II. INFILTRATION BMPS

WHERE INFILTRATION BMPS ARE BEING UTILIZED. THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT SOIL COMPACTION IS AVOIDED OR MINIMIZED IN THOSE AREAS. IF THE AREAS PLANNED FOR INFILTRATION BMPS ARE COMPROMISED THROUGH COMPACTION OR OTHER MEANS, ADDITIONAL SOIL TESTING MUST BE PERFORMED TO VERIFY THAT THE BMP WILL PERFORM AS PLANNED.

12.STABILIZATION

UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY: OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE THE CESSATION OF EARTH DISTURBANCE WILL EXCEED FOUR (4) DAYS, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE §102.22(A) OR (B) (RELATING TO SITE STABILIZATION), AS APPLICABLE. E&S BMPS SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED. ONCE PERMANENT STABILIZATION HAS BEEN ESTABLISHED THE TEMPORARY E&S BMPS SHALL BE REMOVED. ANY AREAS DISTURBED IN THE ACT OF REMOVING TEMPORARY E&S BMPS SHALL BE PERMANENTLY STABILIZED UPON COMPLETION OF THE TEMPORARY E&S BMP REMOVAL ACTIVITY.

13. SEWAGE FACILITIES

EARTH DISTURBANCE MAY NOT COMMENCE UNTIL ALL RELATED ACT 537 SEWAGE FACILITIES PLANNING APPROVALS HAVE BEEN OBTAINED.

14.LONG-TERM OPERATION AND MAINTENANCE

- a. THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOT AND THAT PERSON HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS.
- b. FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPS, AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING WITH THE NOT UNDER 25 PA. CODE § 102.8(M)(2).
- C. FOR COMMONWEALTH OWNED PROPERTY, A COVENANT THAT RUNS WITH THE LAND IS NOT REQUIRED UNTIL THE TRANSFER OF THE LAND CONTAINING A PCSM BMP OCCURS. UPON TRANSFER OF THE COMMONWEALTH-OWNED PROPERTY CONTAINING THE PCSM BMP, THE DEED MUST COMPLY WITH 25 PA. CODE § 102.6(M)(3). AN AGENCY OF THE FEDERAL GOVERNMENT SHALL NOT BE REQUIRED TO MAKE OR RECORD A DECLARATION OF COVENANTS ON ITS PROPERTY UNTIL TRANSFER OF THE PROPERTY TO A NON-FEDERAL OR NON-COMMONWEALTH ENTITY OR INDIVIDUAL. UPON TRANSFER OF THE COMMONWEALTH-OWNED OR FEDERALLY-OWNED PROPERTY CONTAINING THE PCSM BMP, THE DEED MUST COMPLY WITH 25 PA. CODE § 102.8(M)(3).
- d. THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO A WRITTEN AGREEMENT WITH ANOTHER PERSON, INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION, OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- e. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT, SHALL REMAIN JOINTLY AND SEVERALL RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS LOCATED ON THE PROPERTY.
- f. UNLESS A LATER DATE IS APPROVED BY THE DEPARTMENT IN WRITING, THE PERMITTEE SHALL RECORD AN INSTRUMENT AS REQUIRED UNDER 25 PA, CODE § 102.8(M)(2) AND CONDITION 14B OF THIS PERMIT WITHIN 45 DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT OR AUTHORIZATION. UNLESS THE DEPARTMENT AUTHORIZES A DIFFERENT PROCEDURE, THE LONG- TERM OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED ALONG WITH THE INSTRUMENT. UNLESS A LATER DATE IS APPROVED BY THE DEPARTMENT IN WRITING, THE PERMITTEE SHALL PROVIDE THE CONSERVATION DISTRICT AND THE DEPARTMENT WITH THE DATE AND PLACE OF RECORDING ALONG WITH A REFERENCE TO THE DOCKET, DEED BOOK OR OTHER RECORD, WITHIN 40 DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT OR AUTHORIZATION
- 9. UNLESS AN ALTERNATIVE PROCESS IS APPROVED BY THE DEPARTMENT IN WRITING, UPON THE SALE OR OTHER TRANSFER OF ANY PARCEL, LOT, ROAD OR OTHER REAL PROPERTY INCLUDED WITHIN THE PERMIT BOUNDARY, THE PERMITTEE SHALL NOTIFY THE PURCHASER, GRANTEE, OR TRANSFEREE OF THE LONG-TERM PCSM BMP OPERATION AND MAINTENANCE REQUIREMENTS. THE PERMITTEE SHALL EXPRESSLY IDENTIFY THE PCSM BMPS ON EACH PROPERTY, THE SCHEDULE FOR INSPECTION AND REPORTING, THE PERSON OR ENTITY RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS AND HOW ACCESS TO THE BMPS WILL BE ACHIEVED AND SHALL OBTAIN APPROVAL FROM THE PURCHASER, GRANTEE OR TRANSFEREE. UNLESS A LATER DATE IS APPROVED BY THE DEPARTMENT IN WRITING, THE PERMITTEE SHALL PROVIDE THE CONSERVATION DISTRICT AND THE DEPARTMENT WITH NOTICE OF COMPLIANCE WITH THIS SECTION WITHIN 45 DAYS FROM THE DATE OF TRANSFER OF THE PROPERTY AND AT THE TIME THE PERMITTEE FILES A NOTICE OF TERMINATION.

15. VOLUNTARY RIPARIAN FOREST BUFFERS

PERSONS THAT PROTECT, CONVERT, OR ESTABLISH A NEW RIPARIAN FOREST BUFFER THAT MEETS THE REQUIREMENTS OF 25 PA. CODE § 102.14(B) (RELATING TO RIPARIAN BUFFER REQUIREMENTS) MAY QUALIFY FOR BENEFITS UNDER 25 PA. CODE § 102.14(E)(1) AND (2) RELATING TO THE ANTIDEGRADATION PRESUMPTION AND TRADING OR OFFSETTING OF CREDITS.

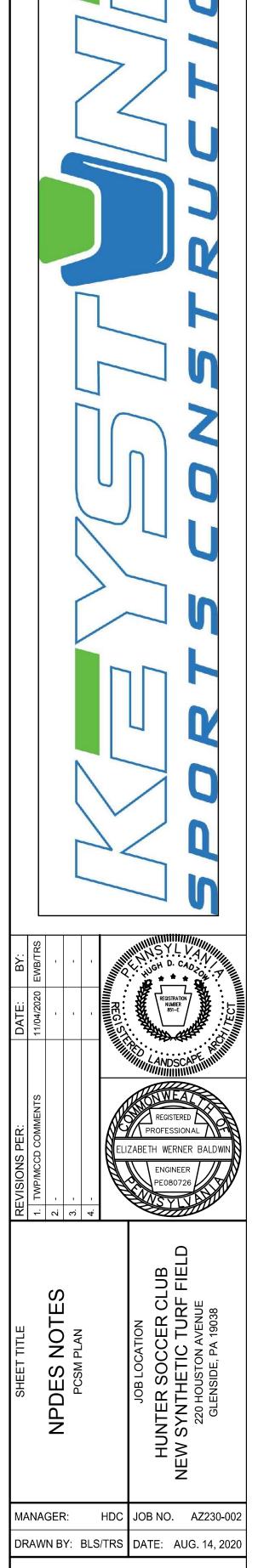
16.MUNICIPAL SEPERATE STORM SEWER SYSTEMS (MS4S) MCM FULFILLMENT

MS4S SUBJECT TO PAG-13 PERMIT COVERAGE REQUIREMENTS MAY CHOOSE TO RELY ON PENNSYLVANIA'S CHAPTER 102 PERMITTING PROGRAM AND THIS PERMIT TO SATISFY THEIR MS4 NPDES PERMIT OBLIGATIONS RELATED TO THEIR MCM 4 (CONSTRUCTION) AND MCM 5 (POST CONSTRUCTION), BMPS I THROUGH 3 OBLIGATIONS AS PART OF A QUALIFIED LOCAL PROGRAM.

17. PUBLIC NOTICE FOR NOIS INCLUDING AN OFFSET

NOIS THAT PROPOSE AN OFFSET OF STORMWATER OR RIPARIAN FOREST BUFFERS SHALL HAVE A THIRTY DAY PUBLIC NOTICE PERIOD IN THE PENNSYLVANIA BULLETIN BEFORE THE FINAL AUTHORIZATION OF THE PERMIT(S) INCLUDING THE OFFSET OR TRADE.

KEYSTONE SPORTS



SHEET NO.

- TEMPORARY CONTROL MEASURES
- STABILIZED CONSTRUCTION ENTRANCE
- a. A STABILIZED PAD OF CRUSHED STONE (AASHTO NO. 1) SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC WILL BE ENTERING AND EXISTING THE SITE. THE STABILIZED CONSTRUCTION ENTRANCE IS USED TO REDUCE OR ELIMINATE THE TRACKING OR FLOWING OF SEDIMENT INTO THE EXISTING TRAVELWAYS AND STREETS BORDERING THE SITE
- b. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK AS NEEDED. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WATER SHALL NOT BE USED TO REMOVE SEDIMENT.
- 2. <u>TOPSOIL STOCKPILE</u>
 - a. A STOCKPILE SHALL BE USED TO CONTAIN ALL STRIPPED TOPSOIL IN A LIMITED AREA IN ORDER TO KEEP DISTURBANCE TO A MINIMUM b. STOCKPILES SHALL BE IMMEDIATELY STABILIZED WITH A TEMPORARY COVER CROP OF ANNUAL
 - RYEGRASS (I LB. / 1,000 SQUARE FEET) OF WINTER RYE (3.5 LBS. / 1,000 SQUARE FEET) IN ACCORDANCE WITH ACCEPTED SEEDING PRACTICES. C. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - d. STOCKPILES SHALL BE LOCATED WHERE SHOWN ON THE PLANS OR AT AN ALTERNATE LOCATIONS APPROVED BY THE CONSERVATION DISTRICT.
 - e. BEFORE DISPOSING OF SOIL, OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 1102 REGULATIONS.
- 3. FILTER SOCK
- a. FILTER SOCKS SHALL BE USED TO INTERCEPT SEDIMENT-LADEN RUNOFF FOR SMALL WATERSHEDS. b. FILTER SOCKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MAXIMUM SLOPE TO LENGTH RELATIONSHIPS AS PER MANUFACTURER, PADEP, AND CONSERVATION DISTRICT RECOMMENDATIONS.
- C. THE CONTRACTOR SHALL MAINTAIN THE SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES, AND IT SHALL BE ROUTINELY INSPECTED. d. THE SOCK SHALL BE ROUTINELY MAINTAINED THROUGHOUT CONSTRUCTION AND REPAIRED WHEN
- NECESSARY e. THE CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SOCK WHEN SEDIMENT DEPTHS REACH ONE HALF OF THE EXPOSED HEIGHT OF THE SOCK, OR AS DIRECTED BY INSPECTION AUTHORITIES.
- 4. INLET SEDIMENT PROTECTION
 - a. INLET SEDIMENT PROTECTION SHALL BE UTILIZED AT ALL STORM SEWER INLETS SUSCEPTIBLE TO RECEIVING SEDIMENT LADEN RUNOFF, AND WHICH DO NOT DISCHARGE TO A DESIGNATED SEDIMENT TRAP OR SEDIMENT BASIN.
 - b. THE CONTRACTOR SHALL UTILIZE THE TYPE OF INLET PROTECTION SHOWN ON THE EROSION CONTROL PLANS AND DETAILS. AT THE CONTRACTOR'S DISCRETION, A OBAG TYPEA INLET INSERT MAY BE USED FOR INLET PROTECTION IN ALL PROPOSED PAVED AREAS. c. THE INLET SEDIMENT PROTECTION SHALL BE CHECKED AND FLUSHED, AS REQUIRED, AFTER EACH
 - RAINFALL/RUNOFF EVENT. IF NECESSARY, THE INLET SEDIMENT PROTECTION SHALL BE REPLACED TO ENSURE SEDIMENTS DO NOT ENTER THE STORM SEWER SYSTEM. d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INLET SEDIMENT PROTECTION TO
 - MAINTAIN STORM WATER DRAINAGE, AND TO PREVENT SEDIMENT FROM COLLECTING AROUND THE INLET. e. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT, OR WHEN THE
 - DISTANCE BETWEEN THE GRATE AND THE SEDIMENT LEVEL IS REDUCED TO 18". F. STORM WATER INLETS, WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
- 5. <u>TEMPORARY SEEDING/MULCHING</u>
 - a. TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED WHERE INDICATED IN THE NARRATIVE TO PROVIDE STABILIZATION TO EXPOSED AREAS. ALL AREAS WHERE CONSTRUCTION ACTIVITY HAS CEASED SHALL IMMEDIATELY BE SEEDED WITH THE SPECIFIED TEMPORARY SEED MIX.
 - b. STRAW OR HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 3.0 TONS PER ACRE (ENOUGH TO LIGHTLY COVER 75% TO 90% OF THE DESIGNATED AREAS). c. THE TEMPORARY SEEDING/MULCHING SHALL BE AS INDICATED ON THE EROSION AND SEDIMENT CONTROL
 - PLANS, AND AS OUTLINED IN THE SEEDING/MULCHING SECTION OF THIS NARRATIVE. d. MULCH CONTROL NETTING, OR EROSION CONTROL BLANKETS, MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.
- PERMANENT CONTROL MEASURES AND FACILITIES PERMANENT GRASS
 - a. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS IN ORDER TO MINIMIZE EROSION. THE SEED MIXTURE SHALL BE APPLIED AS SPECIFIED OR IT MAY BE HYDRO-SEEDED BY A PERSON EXPERIENCED IN SUCH APPLICATIONS. SEED SHALL BE APPLIED DURING THE REGULAR GROWING SEASON OF THE SPECIES SPECIFIED.
 - b. PERMANENT SEEDING SHALL NOT OCCUR BEFORE APRIL I OR AFTER OCTOBER 15. DURING SUMMER APPLICATIONS, THE PERCENTAGE OF HARD SEED IN THE MIX, AND THE RATE OF APPLICATION, SHALL BE INCREASED. IF SEEDING CANNOT OCCUR DURING THE REGULAR GERMINATION PERIOD, THE EXPOSED AREAS SHALL BE MULCHED AS INDICATED PREVIOUSLY, AND THEN SEEDED WHEN THE GERMINATION PERIOD OCCURS.
 - C. SEED MIXTURE FOR PERMANENT SEEDING BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH SEEDING SCHEDULE ON THE DRAWINGS. d. SOIL AMENDMENTS, SUCH AS LIME AND FERTILIZER, SHALL BE APPLIED IN ACCORDANCE WITH A SOIL
 - TEST FOR THE TYPE OF SEED PROPOSED. IN LIEU OF A SOIL TEST, AMENDMENTS SHALL BE APPLIED AT THE RATES SPECIFIED IN THE SEEDING/MULCHING SECTION OF THIS NARRATIVE.
- 2. <u>MULCH</u>
 - a. STRAW MULCH SHALL BE APPLIED TO SEEDING AREAS TO HELP ESTABLISH A PERMANENT GRASS
 - COVER AND TO PREVENT EROSION. b. STRAW OR HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 3.0 TONS PER ACRE (ENOUGH TO
 - LIGHTLY COVER 75% TO 90% OF THE DESIGNATED AREA). c. AREAS MAY BE HYDRO-MULCHED AS AN ALTERNATIVE TO STRAW MULCH, IF DESIRED.
- 3. <u>SOD</u>
- a. IN AREAS WHERE THE SLOPE IS 2:1 OR GREATER, THE DEVELOPER WILL INSTALL SOD. SOD MATERIAL AND INSTALLATION SHALL CONFORM TO THE GUIDELINE SPECIFICATIONS TO SODDING, BY THE AMERICAN SOD PRODUCERS ASSOCIATION.
- b. SOD SHALL BE INSTALLED DURING THE REGULAR GROWING SEASON OF THE SEED SPECIES OF WHICH THE SOD IS COMPRISED, OR GENERALLY NOT BEFORE APRIL I OR AFTER OCTOBER 15.
- 4. EROSION CONTROL MATTING AND WATERCOURSE PROTECTION
- a. EROSION CONTROL MATTING SHALL BE USED WHERE INDICATED ON THE PLAN AND AT THE OWNER'S/ CONTRACTOR'S DISCRETION AT ALL AREAS WHERE STABILIZATION APPEARS TO BE DIFFICULT. b. EROSION CONTROL MATTING/WATERCOURSE PROTECTION SHALL BE INSTALLED PER MANUFACTURER'S
- RECOMMENDATIONS, AND IN ACCORDANCE WITH THE PLAN DETAILS.
- C. EROSION CONTROL MATTING MAY BE USED ON STEEP SLOPE AREAS IF DISTURBANCE IS TO OCCUR DURING NO-GERMINATING PERIODS AND STABILIZATION APPEARS DIFFICULT. d. EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.

3. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED

- STABILIZED.

- SILT FENCING.
- IMMEDIATELY,

- PLAN

- PROBLEMS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE ACCOMPANYING CONSTRUCTION SEQUENCE/STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES AT LEAST 7 DAYS PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES. (THE LANDOWNER, THE EROSION AND SEDIMENTATION CONTROL PLAN DESIGNER, AND A REPRESENTATIVE OF THE COUNTY CONSERVATION DISTRICT FOR AN ONSITE PRE-CONSTRUCTION MEETING, ALSO AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INCORPORATED AT 800-242-1776 TO LOCATE BURIED UTILITIES.

2. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE. TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED IN THE LOG FOLLOWING EACH INSPECTION. THE INSPECTION LOG WILL BE KEPT ON THE SITE AT ALL TIMES AND MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT UPON REQUEST.

4. WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION, THE PERMITTEE OR CO-PERMITEE SHALL INCLUDE THE FOLLOWING INFORMATION:

THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND POLLUTION EVENTS. B. ALL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE. C. THE TIME FRAME TO CORRECT THE NON-COMPLIANT, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

5. ONLY LIMITED UP-SLOPE DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SEDIMENT TRAPS, CONVEYANCE CHANNELS, DIVERSION CHANNELS, AND INTERCEPTOR CHANNELS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS AS REQUIRED.

EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE

8. VEHICLES MAY ONLY ENTER AND EXIT AT THE LOCATION OF APPROVED CONSTRUCTION ENTRANCE(S).

9. STOCK PILE HEIGHTS MUST NOT EXCEED 35 FEET NOR SHALL THE SIDE SLOPE EXCEED 2:1.

10. SEDIMENT BASINS/TRAPS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.

CLEANOUT STAKES SHALL BE PLACED AT HALF DISTANCES FROM POINTS OF CONCENTRATED INFLOWS INTO BASINS/TRAPS TO OUTLET STRUCTURES. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATED TO THE CLEAN OUT ELEVATION ON THE STAKES.

12. SILT FENCING MUST BE INSTALLED PARALLEL TO EXISTING CONTOURS OR CONSTRUCTED LEVEL ALIGNMENTS. ENDS OF SILT FENCING MUST EXTEND &', TRAVELING UP-SLOPE AT 45 DEGREES TO THE ALIGNMENT OF THE MAIN FENCING SECTION.

13. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE GROUND HEIGHT OF THE

14. ANY FENCING THAT HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH FILTER OUTLETS

15. STORM WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY ACRES ARE STABILIZED.

16. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.

17. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH AS SPECIFIED.

18. DIVERSIONS, CHANNELS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY. THEY SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS, OR OTHER PROJECTIONS THAT IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOILS CONTACT. CHANNEL SHALL BE INITIALLY OVER EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.

19. THE APPLICANT WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED ON THIS

20 THE APPLICANT MUST DEVELOP AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT. A SEPARATE EROSION AND SEDIMENTATION CONTROL PLAN FOR EACH SPOIL, BORROW, OR OTHER WORK AREA NOT DETAILED ON THE APPROVED PLAN, WHETHER LOCATED WITHIN OR OUTSIDE THE CONSTRUCTION LIMITS. PLAN MUST BE IN COMPLIANCE WITH CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.

21. UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.

22. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE APPLICANT TO ELIMINATE ALL SUCH

23. SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

24. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART I, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102. EROSION CONTROL.

25. PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.

26. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

27. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT

28. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

29. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ER SEQ., AND 287.1 ER SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

30. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL BLANKETING (ECB).

31. SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE WITH EXISTING SEDIMENT PROTECTION MEASURES IN PLACE AND INCORPORATED INTO THE SITE GRADING.

32. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES, PERMANENT STABILIZATION OF ALL DISTURBED AREAS SHALL OCCUR. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN I YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN I YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

33. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO REMOVAL OF THE BMPS.

34. SEDIMENT BASINS/TRAPS SHALL BE KEPT FREE OF ALL TRASH, CONCRETE WASH WATER AND OTHER DEBRIS THAT POSE THE POTENTIAL FOR CLOGGING THE BASIN/TRAP OUTLET STRUCTURES AND/OR POSE THE POTENTIAL FOR POLLUTION TO WATERS OF THE COMMONWEALTH.

35. WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN OUT ELEVATION ON ANY STAKE, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ENTIRE TRAP/BASIN BOTTOM.

36. APPROVAL OF THE USE OF SKIMMER(S) DOES NOT APPROVE USE OF ANY SKIMMER(S) IN VIOLATION OF ANY PATENT, PATENT RIGHTS, AND/OR PATENT LAWS.

37. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 6" LAYERED LIFTS AT 95% DENSITY.

38. A MINIMUM 6" LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS PRIOR TO PERMANENT STABILIZATION AND RE VEGETATION.

39. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.

FILL DETERMINATION

DILIGENCE. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATABASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF

ENVIRONMENTAL ASSESSMENTS OR AUDITS.

A) IF DUE DILIGENCE SHOWS NO EVIDENCE OF A RELEASE OF A REGULATED SUBSTANCE, THE MATERIAL MAY BE MANAGED AS CLEAN FILL UNDER DEP'S MANAGEMENT OF FILL POLICY. B) IF DUE DILIGENCE SHOWS EVIDENCE OF A RELEASE, THE MATERIAL MUST BE TESTED TO DETERMINE IF IT

- QUALIFIES AS CLEAN FILL. TESTING MUST BE PERFORMED IN ACCORDANCE WITH THE PENNSYLVANIA DEP. BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT'S "MANAGEMENT OF FILL POLICY."
- I. IF TESTING REVEALS THAT THE MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS ESTABLISHED IN DEP'S MANAGEMENT OF FILL POLICY, THE MATERIAL MUST BE MANAGED AS CLEAN FILL.
- II. IF TESTING REVEALS THAT THE MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT EXCEED THE LIMITS ESTABLISHED IN DEP'S MANAGEMENT OF FILL POLICY, THE MATERIAL MUST BE MANAGED AS REGULATED FILL.

<u>CLEAN FILL</u> IS DEFINED AS, UNCONTAMINATED, NONWATER-SOLUBLE, NONDECOMPOSABLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH (25 PA CODE, SECTIONS 271.101 AND 287.101). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR MAY NOT BLEND OR MIX MATERIALS TO BECOME CLEAN FILL. MATERIALS THAT CONTAIN REGULATED SUBSTANCES THAT ARE INTENTIONALLY RELEASED MAY NOT BE MANAGED UNDER DEP'S MANAGEMENT OF FILL POLICY.

RECYCLING OR DISPOSAL OF MATERIALS

- ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS.
- ARE IN PLACE TO CONTROL WASTE MATERIALS.
- CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
- 4. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL DURING CONSTRUCTION.
- 5. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1E. SEQ. AND 287.1 ET SEQ).

MAINTENANCE

- I. ALL SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE CHECKED FOR DAMAGE WEEKLY AND/OR AFTER EACH PRECIPITATION EVENT. ALL FACILITIES THAT ARE DAMAGED, CLOGGED, OR CAN NO LONGER EFFECTIVELY PERFORM THE JOB IN WHICH THEY ARE DESIGNED, SHALL BE REPLACED.
- 2. ALL SEDIMENT REMOVED FROM SEDIMENT TRAPPING DEVICES SHALL BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE EROSION OR SEDIMENTATION, AND SHALL BE PLACED IN AN AREAS WITHIN THE DEFINED LIMITS OF DISTURBANCE.
- 3. ANY PERMANENTLY SEEDED AREAS THAT BECOME ERODED OR DISTURBED SHALL HAVE THE TOPSOIL REPLACED, THE GRASS RESEEDED, AND THE MULCH REAPPLIED, OR, AT THE DISCRETION OF THE OWNER, SOD MAY BE INSTALLED.
- 4. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION, THE OWNER AND OR CONTRACTOR SHALL PROPERLY IMPLEMENT, OPERATE AND MAINTAIN, ALL THE BEST MANAGEMENT PRACTICES AND EROSION AND SEDIMENT CONTROL FEATURES. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT, AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
- 5. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF, ALL BUILDING MATERIALS AN WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AS INDICATED IN CHAPTER 25 OF THE PENNSYL VANIA CODE

SITE STABILIZATION

- . UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY, OR ANY STAGE OR PHASE OF AN ACTIVITY, THE OPERATOR SHALL IMMEDIATELY STABILIZE THE DISTURBED AREAS TO PROTECT FROM ACCELERATED EROSION. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN I-YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN I-YEAR, MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- 2. SPREAD TOPSOIL (6") OVER ALL AREAS WHICH HAVE NOT BEEN PAVED (OR WILL NOT BE PAVED) AND ALL AREAS WHICH WERE NOT SEEDED. FINAL PASSES DURING FINE GRADING SHALL BE MADE AT RIGHT ANGLES. TO THE SLOPES. SEED ALL AREAS WITH A PERMANENT SEED MIX AS SPECIFIED AND PROVIDE MULCH OVER ALL FRESHLY SEEDED AREAS. ALL SEEDED AREAS MUST BE MULCHED IMMEDIATELY AFTER SEEDING HAS BEEN COMPLETED.
- 3. ASSURE SITE STABILIZATION OF ALL AREAS OF THE SITE PRIOR TO REMOVING EROSION AND SEDIMENT CONTROLS. SEED AND MULCH ANY AREAS OF MINIMAL DISTURBANCE RESULTING FROM THE REMOVAL OF EROSION AND SEDIMENT CONTROLS.
- 4. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION, THE OWNER AND/OR CONTRACTOR SHALL PROPERLY IMPLEMENT, OPERATE, AND MAINTAIN ALL THE BEST MANAGEMENT PRACTICES. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
- 5. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OF OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

E&S PLANNING AND DESIGN NOTES

- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES HAVE BEEN DESIGNED TO THE STANDARDS ESTABLISHED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF WATERWAYS ENGINEERING AND WETLANDS, DIVISION OF WETLANDS, ENCROACHMENT AND TRAINING) FINAL - MARCH 2012 (TECHNICAL GUIDANCE NUMBER 363-2134-008).
- 2. THIS EAS PLAN MINIMIZES THE EXTENT AND DURATION OF EARTH DISTURBANCES THROUGH THE THOUGHTFUL AND INTENTIONAL SEQUENCING OF CONSTRUCTION ACTIVITIES. THE SEQUENCE OF CONSTRUCTION ATTEMPTS TO MINIMIZE AREA(S) OF THE SITE THAT ARE OPEN/DISTURBED AT ANY GIVEN TIME AND ENDEAVORS TO PROMOTE THE IMMEDIATE STABILIZATION OF DISTURBED AREAS THROUGH SEEDING/MULCHING AND/OR OTHER STABILIZATION METHODS.
- 3. THIS E&S PLAN MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION THROUGH THE INSTALLATION OF TREE PROTECTION FENCING AND OTHER PHYSICAL BARRIERS SUCH AS FILTER SOCKS TO HELP DELINEATE CONSTRUCTION AREAS AND TO PREVENT UNNECESSARY OR UNINTENTIONAL ENCROACHMENT.
- 4. THIS EAS PLAN MINIMIZES SOIL COMPACTION BY PROVIDING UNDISTURBED/SCARIFIED SUBGRADE FOR THE INFILTRATION FACILITY BOTTOM FIELDS AND ALSO THROUGH MINIMIZING DISTURBANCES OUTSIDE OF PROPOSED IMPERVIOUS AREAS.
- 5. THIS E&S PLAN UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER, THE MAIN MEASURE IS BY PRESERVING EXISTING FLOW PATHS AND ENSURING ALL RUNOFF IS CLEANED USING E&S BMPS PRIOR TO DISCHARGING TO EXISTING NATURAL DRAINAGE WAYS. SLOPE AND CHANNEL STABILIZATION ALSO HELP MINIMIZE THE GENERATION OF INCREASED STORMWATER AND EROSION.

I. TO DETERMINE WHETHER FILL IS CLEAN OR REGULATED, THE CONTRACTOR MUST PERFORM ENVIRONMENTAL DUE

PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING,

PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS

2. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS 3. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS,

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SHEET NO.

CONSTRUCTION SEQUENCE (CRITICAL STAGES OF IMPLEMENTATION IN RED BELOW)

CONSTRUCTION IS EXPECTED TO BEGIN SPRING/SUMMER 2020, AFTER ALL MUNICIPAL AND STATE APPROVALS HAVE BEEN RECEIVED. CONSTRUCTION WILL PROCEED IN A TIMELY MANNER IN ORDER TO LIMIT THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SEQUENCE PRIOR TO BREAKING GROUND TO MINIMIZE THE POTENTIAL FOR ANY SCHEDULING CONFLICTS. THE SEQUENCE OF EARTH MOVING ACTIVITIES SHALL BE APPROXIMATED AS FOLLOWS:

- GENERAL CONSTRUCTION STAGING:
- I. EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE GENERAL CONTRACTOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LAND OWNER, THE EROSION AND SEDIMENTATION CONTROL PLAN DESIGNER AND A REPRESENTATIVE OF THE COUNTY CONSERVATION DISTRICT FOR AN ONSITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INCORPORATED AT I-800-242-IT16 TO LOCATE BURIED UTILITIES.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION AND SEDIMENT CONTROL RULES AND REGULATIONS, TITLE 25, PART I, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102 -EROSION CONTROL.
- 3. PROCEDURES ENSURING THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH DEP/COUNTY CONSERVATION DISTRICT REGULATIONS. THE INDIVIDUAL RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, AND SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED TO DISPOSAL.
- 4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- 5. UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, DISTURBED AREAS OF THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. EROSION AND SEDIMENT CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED. IN ORDER FOR AN EARTH DISTURBANCE ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH ONE OF THE FOLLOWING: (I) A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION. (2) AN ACCEPTABLE BMP, WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- 6. NOTE THAT THE PADEP NPDES PERMITS REQUIRE INSPECTION OF THE POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES BY A LICENSED PROFESSIONAL. SEE REQUIREMENTS AS HIGHLIGHTED IN THE SEQUENCE BELOW.
- NO SEDIMENT LADEN RUNOFF SHALL LEAVE THE PROJECT SITE AND/OR BE RECEIVED BY THE TACONY CREEK AT ANY TIME. CONTRACTOR MUST PROVIDE, AS NECESSARY, ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES.
- 8. ALL TRENCH EXCAVATION SHOULD BE LIMITED TO THE LENGTH OF PIPE THAT CAN BE PLACED AND BACK-FILLED BY THE END OF EACH WORKDAY. PROVIDE INLET PROTECTION OR CAPPED INLETS, IMMEDIATELY AFTER INSTALLATION, AS INDICATED ON THE PLANS.
- 9. IF PUMPING IS REQUIRED DURING CONSTRUCTION, IT SHALL BE IN ACCORDANCE WITH THE PA DEP EROSION AND SEDIMENT CONTROL MANUAL.

 ALL EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED ON A WEEKLY BASIS AND AFTER MEASURABLE STORM EVENTS (I.E. AT LEAST 0.25 INCH). LOGS ARE TO BE AVAILABLE ON SITE AT ALL TIMES.
 SITE SPECIFIC SEQUENCE OF CONSTRUCTION:

- DELINEATE LIMITS OF DISTURBANCE AND NPDES PERMIT BOUNDARIES AS PART OF THE GRADING/STAKING PROCESS. LIMITS OF DISTURBANCE SHALL BE DEFINED BY THE LIMITS OF PROPOSED GRADING OR AS INDICATED ON THE PLANS.
- 2. ROUGH GRADE AT THE PROPOSED ROCK CONSTRUCTION ENTRANCE AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON THE PLAN. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED ON PLANS, OR AS DIRECTED BY THE COUNTY CONSERVATION DISTRICT.
- 3. DELINEATE THE CONSTRUCTION STAGING AREA FOR CONTRACTORS IN THE LOCATION APPROXIMATED ON PLANS. THE CONSTRUCTION STAGING AREA MUST BE IMMEDIATELY STABILIZED AND/OR MAINTAINED IN ORDER TO PREVENT ANY SEDIMENT LADEN RUNOFF. STONE/PAVING OR OTHER SUITABLE STABILIZATION FOR THE STAGING AREA SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES. SEDIMENT LADEN RUNOFF IS NOT PERMITTED FROM THE CONSTRUCTION STAGING AREAS.
- 4. CLEAR AND GRUB ONLY THE AREAS NECESSARY TO INSTALL AND REMOVE FILTER SOCKS AS SHOWN ON THE PLAN AND IN ACCORDANCE WITH THE DETAILS PROVIDED. SOCKS SHALL BE INSTALLED PARALLEL TO THE CONTOURS OR CONSTRUCTED AT LEVEL ALIGNMENTS. BOTH ENDS OF THE SOCK SECTIONS MUST EXTEND AT LEAST & FEET UP-SLOPE AT 45 DEGREES TO THE MAIN FILTER SOCK ALIGNMENT. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH ONE-HALF OF THE HEIGHT OF THE EXPOSED FILTER SOCK OR AS DIRECTED BY THE ENGINEER. ANY SECTION THAT BECOMES COMPROMISED MUST IMMEDIATELY BE REPLACED OR REPAIRED.
- 5. PROVIDE ALL PERIMETER COMPOST FILTER SOCKS, AS PER PLAN.
- 6. CONTRACTOR IS TO REMOVE/DEMOLISH EXISTING ON SITE FEATURES.
- 7. CONTRACTOR IS TO AVOID MOVING HEAVY EQUIPMENT OVER THE PROPOSED INFILTRATION AREA. SUBGRADE OF INFILTRATION AREA IS TO REMAIN UNCOMPACTED AT ALL TIMES.
- 8. CONTRACTOR IS TO INSTALL FIELD BYPASS SWALE AND INLETS. INLET I-2 AND ASSOCIATED TEMPORARY DRAINAGE PIPE SHALL BE INSTALLED AND DISCHARGE TO A TEMPORARY OUTLET AS SHOWN ON PLANS. PROVIDE TEMPORARY ROCK PROTECTION AS NEEDED, DO NOT CONNECT TO BMP-I AT THIS TIME. PROVIDE INLET PROTECTION ON I-2 IMMEDIATELY ONCE INSTALLED. ALL OTHER INLETS ARE TO BE CAPPED DURING CONSTRUCTION, AND SWALE BE MAINTAINED AND TO PROVIDE POSITIVE FLOW TO I-2. SWALE SHOULD BYPASS THE PROPOSED WALKWAY CONNECTION TO THE FIELD AND ULTIMATELY REACH INLET I-2. THE ENTIRE DRAINAGE AREA MUST BE STABILIZED FOR BMP-I CONNECTION.
- 9. SEED AND STABILIZE ALL APPLICABLE AREAS IMMEDIATELY.
- 10. INSTALL ROADWAY, DO NOT CRUSH TEMPORARY 12" PIPE DURING INSTALLATION. PIPE WILL BE ABANDONED IN PLACE ONCE CONSTRUCTION IS COMPLETE.
- 17. INSTALL LEVEL SPREADER I, CONTROL STRUCTURE, AND ASSOCIATED PIPE. COVER LEVEL SPREADER AND CONTROL STRUCTURE. DO NOT ACTIVATE AT THIS TIME. CONTRACTOR IS TO ENSURE NO SEDIMENT LADEN RUNOFF REACHES THE LEVEL SPREADER AND STORM NETWORK AT ANY TIME DURING CONSTRUCTION. THIS IS A CRITICAL STAGE. THE LICENSED PROFESSIONAL SHALL BE PRESENT DURING THIS WORK.
- 18. INSTALL PROPOSED RETAINING WALL ALONG SOUTHERN PROPERTY LINE.
- 19. STRIP TOPSOIL FROM AREAS TO BE TURFED. TOPSOIL SHOULD BE PLACED OR STOCKPILED IN AN AREA APPROVED BY THE MONTGOMERY COUNTY CONSERVATION DISTRICT. ALL FILL AND EXCESS TOPSOIL BEYOND WHAT IS NECESSARY TO DRESS LAWN AREAS FOLLOWING CONSTRUCTION IS TO BE REMOVED FROM SITE AND DISPOSED OF AT AN AUTHORIZED LOCATION WITH AND APPROVED EROSION SEDIMENT CONTROL PLAN/NPDES PERMIT.
- 20. E&S MATTING SHOULD BE APPLIED TO ALL AREAS WITH EQUAL OR GREATER THAN 3:1 SLOPES AND AS SHOWN ON PLANS. AREAS ARE TO BE SEEDED AND MULCHED IMMEDIATELY.
 21. BEGIN EXCAVATING TO THE SUBGRADE ELEVATION AS SHOWN ON THE SUBGRADE/DRAINAGE PLAN.
- 22. BEGIN CONSTRUCTION ON BMP-I. CONTRACTOR SHALL ENSURE THE SUBGRADE OF THE FACILITY REMAINS UNCOMPACTED AND PREPARED FOR INFILTRATION AT ALL TIMES. THE DRAINAGE AREA TO THE BASIN SHALL BE STABILIZED PRIOR TO RECEIVING RUNOFF. NO FLOW SHALL LEAVE THE SYSTEM AT THIS TIME. THIS IS A CRITICAL STAGE. THE LICENSED PROFESSIONAL SHALL BE PRESENT DURING THIS WORK.
- 23. INSTALL DISTRIBUTION PIPE AND ASSOCIATED PIPES, TRENCHES, AND CONNECTIONS TO CONTROL STRUCTURE. CONNECTION TO I-2 SHOULD BE CAPPED TO CONTINUE FLOW THROUGH TEMPORARY DISCHARGE PIPE UNTIL FINAL CONFIGURATION. THIS IS A CRITICAL STAGE. THE LICENSED PROFESSIONAL SHALL BE PRESENT DURING THIS WORK.
- 24. FINE GRADE AND PROOF ROLL/COMPACT ALL OTHER AREAS OF THE SUBGRADE OUTSIDE OF THE BMP-I.
- 25. FINE GRADE LEVELING COURSE AND INSTALL SYNTHETIC TURF SYSTEM.
- 26. FINE GRADE REMAINING SITE AREAS AND INSTALL PAVED DRIVE AND WALKS AS SHOWN ON THE PLANS. SPREAD TOPSOIL (6" MINIMUM) OVER ALL AREAS WHICH HAVE NOT BEEN PAVED (OR WILL NOT BE PAVED) AND ALL AREAS WHICH WERE NOT SEEDED DURING PREVIOUS CONSTRUCTION STAGES COMPLETED EARLIER DURING THE PROJECT. FINAL PASSES DURING FINE GRADING SHALL BE MADE AT RIGHT ANGLES TO THE SLOPES. SEED ALL AREAS WITH A PERMANENT SEED MIX AS SPECIFIED AND PROVIDE MULCH OVER ALL FRESHLY SEEDED AREAS. ALL SEEDED AREAS MUST BE MULCHED WITHIN 48 HOURS AFTER SEEDING HAS BEEN COMPLETED.
- 27. ONCE THE SITE IS STABILIZED, CONTRACTOR IS TO ACTIVATE LEVEL SPREADER I, BMP-I AND ALL INLETS. PERMANENT INLET FILTER BAGS SHALL BE PLACED IN I-2, I-4, I-5, AND I-6. CONTRACTOR SHALL ENSURE THAT NO SEDIMENT LADEN RUNOFF REACHES THE PROPOSED BEST MANAGEMENT PRACTICES. THIS IS A CRITICAL STAGE. THE LICENSED PROFESSIONAL SHALL BE PRESENT DURING THIS WORK.
- 28. ONCE LEVEL SPREADER I, AND ASSOCIATED DRAINAGE AREA IS FULLY STABILIZED, PLUG AND ABANDON THE TEMPORARY DISCHARGE PIPE. REMOVE TEMPORARY RIP RAP APRON. REGRADE AND SEED THE AREA AS NEEDED. THIS IS A CRITICAL STAGE. THE LICENSED PROFESSIONAL SHALL BE PRESENT DURING THIS WORK.
- 29. ANY DISTURBANCE CREATED DURING THE PREVIOUS STEPS, INCLUDING RE-GRADING AS NECESSARY TO ACHIEVE THE FINISHED GRADES AS DEPICTED ON THE APPROVED GRADING/DRAINAGE PLANS, SHALL BE STABILIZED IMMEDIATELY THROUGH SEEDING AND MULCHING.
- 30. THE REMAINING TEMPORARY SITE EROSION CONTROLS (SUCH AS FILTER SOCKS, INLET PROTECTION, ETC.) SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING THIS PROCEDURE SHALL BE STABILIZED IMMEDIATELY THROUGH SEEDING AND MULCHING.

SOIL LIMITATIONS AND RESOLUTIONS

THE FOLLOWING RESOLUTIONS ADDRESS TYPICAL ON-SITE SOIL USE LIMITATIONS THAT MAY BE ENCOUNTERED AND GENERIC RESOLUTIONS. A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED DURING APPROPRIATE STAGES/PHASES OF CONSTRUCTION TO EVALUATE, MAKE RECOMMENDATIONS, AND PROVIDE RESOLUTIONS FOR ALL SOIL USE LIMITATIONS, CONSTRUCTION TECHNIQUES, AND OTHER SOILS-RELATED ITEMS.

- I. <u>CAVING OF CUTBANKS</u>: EXCAVATIONS SHOULD BE ADEQUATELY SLOPED, BENCHED, OR SUPPORTED TO MINIMIZE COLLAPSE AND TO PROTECT PERSONNEL. ALL EXCAVATIONS SHOULD BE COMPLETED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- 2. <u>CORROSION OF CONCRETE</u>: GENERALLY NOT WITNESSED DURING CONSTRUCTION AS THIS OCCURS OVER EXTENDED PERIODS OF TIME. WHERE SULFATES OF SODIUM, POTASSIUM, CALCIUM OR MAGNESIUM ARE NATURALLY OCCURRING IN THE SOIL OR GROUNDWATER, LOSS OF CONCRETE COHESION AND STRENGTH CAN OCCUR DUE TO REACTIONS WITH HYDRATED COMPOUNDS WITHIN THE HARDENED CEMENT. IF SOILS OR GROUNDWATER ARE FOUND TO CONTAIN SIGNIFICANT AMOUNTS OF THE ABOVE SULFATES, CONCRETE MIXTURES WITH A LOW WATER-TO-CEMENT RATIO AND CEMENT WITH LIMITED AMOUNTS OF TRICALCIUM ALUMINATES SHOULD BE USED. FLY ASH MEETING THE REQUIREMENTS OF ASTM C 618 AND SLAGS MEETING THE REQUIREMENTS OF ASTM C 989 CAN INCREASE THE LIFE EXPECTANCY OF CONCRETE EXPOSED TO SULFATES. CALCIUM CHLORIDE REDUCES SULFATE RESISTANCE, SO IT SHOULD NOT BE USED AS AN ACCELERATING ADMIXTURE.
- 3. <u>CORROSION OF STEEL</u>: GENERALLY NOT WITNESSED DURING CONSTRUCTION AS THIS OCCURS OVER EXTENDED PERIODS OF TIME. WHERE SOILS ARE HIGH IN CHLORIDES, LOW IN PH, OR WHERE SOILS HAVE HIGH MOISTURE CONTENT, CORROSION OF STEEL IS ACCELERATED. IF ONSITE SOILS ARE FOUND TO BE HIGH IN CHLORIDES, LOW IN PH, OR HIGH IN MOISTURE AS IS TYPICAL IN CLAYEY SOILS, THE THICKNESS OF THE COATINGS (E.G. HOT-DIPPED GALVANIZED) SHOULD BE INCREASED ACCORDING TO THE RECOMMENDATIONS OF THE AMERICAN IRON AND STEEL INSTITUTE (AISI). SOILS WHERE STEEL IS BURIED OR PRESENT SHOULD BE KEPT DRY, IDEALLY WITH LESS THAN 17.5% MOISTURE CONTENT. MAINTAINING DRY SOILS ALSO PREVENTS CHLORIDES FROM BECOMING CORROSIVE TO STEEL. FINALLY, LIMING THE SOIL CAN RAISE THE PH TO >7.0, WHICH IS NOT CONSIDERED CORROSIVE TO STEEL.
- 4. <u>DROUGHTY:</u> DROUGHT VULNERABLE SOILS HAVE AVAILABLE WATER STORAGE WITHIN THE ROOT ZONE FOR COMMODITY CROPS LESS THAN OR EQUAL TO 6". SOIL AMENDMENT/RESTORATION TECHNIQUES MAY BE EMPLOYEDT TO INCREASE WATER HOLDING CAPACITY. IRRIGATION PRACTICES MAY BE NECESSARY FOR CERTAIN LANDSCAPING APPLICATIONS. PROVIDE DUST SUPPRESSION TECHNIQUES AS NECESSARY OR WHERE REQUIRED.
- 5. <u>EASILY ERODIBLE SOILS</u>: SITES WITH EASILY ERODIBLE SOILS SHOULD BE SLOPED TO PROMOTE DRAINAGE AWAY FROM WORK AREAS. DISTURBED SOILS SHOULD BE SEALED WITH A SMOOTH DRUM ROLLER EACH DAY AND PRIOR TO PRECIPITATION. NETWORKS OF HAUL/CONSTRUCTION ROADS SHOULD BE ESTABLISHED AND CONSTRUCTION TRAFFIC RESTRICTED TO USING THEM IN ORDER TO KEEP DISTURBANCE MINIMAL. DISTURBED AREAS SHOULD BE SEEDED AND MULCHED IMMEDIATELY.
- 6. <u>DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE</u>: IF GROUNDWATER IS ENCOUNTERED DURING TRENCHING PROCEDURES, THE SEDIMENT-LADEN WATER SHALL BE PUMPED TO AN APPROVED SEDIMENT-REMOVAL FACILITY SUCH AS A SILT FILTER BAG AND DISCHARGED AT A STABILIZED POINT OF DISCHARGE.
- 7. FROST ACTION: FILL AND/OR BACKFILL SHALL NOT BE PLACED ON FROZEN OR SATURATED GROUND.
- 8. <u>HYDRIC/HYDRIC</u> <u>INCLUSIONS</u>: REFER TO THE SITE PLANS FOR LOCATION(S) OF WETLANDS AND THE APPLICABLE WETLANDS DELINEATION REPORT FOR DETAILED DESCRIPTION OF WETLANDS PRESENT ON SITE. DISTURBANCE WITHIN WETLAND AREAS IS STRICTLY PROHIBITED WITHOUT PADEP AND/OR ARMY CORP AUTHORIZATION.
- 9. LOW STRENGTH/LANDSLIDE PRONE: STRUCTURAL FILL SHOULD BE PLACED IN LIFTS NOT EXCEEDING IO INCHES IN LOOSE THICKNESS AND COMPACTED WITH A VIBRATORY ROLLER HAVING A MINIMUM STATIC WEIGHT OF 10 TONS, A MINIMUM OF 5 OVERLAPPING PASSES OF THE ROLLER SHOULD BE COMPLETED ACROSS THE ENTIRETY OF THE BUILDING PAD AND OTHER STRUCTURAL AREAS. IN AREAS WHERE STRUCTURAL FILL IS PLACED AND COMPACTED WITH HAND-OPERATED COMPACTION EQUIPMENT, A MAXIMUM LOOSE LIFT THICKNESS OF 4 INCHES IS RECOMMENDED. FOLLOWING COMPACTION PROCEDURES, PROOF-ROLLING SHOULD BE PERFORMED USING A LOADED, TANDEM-AXLE DUMP TRUCK. ANY LOOSE OR UNSTABLE AREAS ENCOUNTERED DURING PROOF-ROLLING AND COMPACTION SHOULD BE COMPACTED IN PLACE OR REMOVED AND REPLACED WITH STRUCTURAL FILL (AS DEFINED). THE NATIVE ONSITE STRATUM II SOILS ARE WELL-SUITED FOR USE AS STRUCTURAL FILL AND SHOULD BE USED WHEREVER POSSIBLE, THOUGH QUANTITIES ARE EXPECTED TO BE LIMITED. STRATUM I SOILS MAY BE USED AS STRUCTURAL FILL BUT ARE EXPECTED TO BE MOISTURE SENSITIVE WITH HIGH SILT AND CLAY CONTENT. ALL FILL SHOULD BE PLACED AT, OR DEVIATE NOMINALLY FROM (+/- 2%) THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH ASTM DI557 AND COMPACTED TO THE MINIMUM PERCENTAGE OF THE SOIL'S MAXIMUM DRY DENSITY, WHICH IS 95%. CAUTION SHOULD BE EXERCISED TO NOT DISTURB FOUNDATION SUBGRADE SOILS. SHOULD THE SUBGRADE BE DISTURBED. THE SOIL SHOULD BE COMPACTED IN PLACE OR REMOVED UNTIL FIRM SOIL IS ENCOUNTERED AND THE RESULTING EXCAVATION BACKFILLED WITH CONCRETE OR CONTROLLED STRUCTURAL FILL. EVERY EFFORT SHOULD BE MADE TO PREVENT WATER FROM ENTERING OPEN EXCAVATIONS. IT IS RECOMMENDED THAT FOOTING EXCAVATION AND PLACEMENT OF FOUNDATION CONCRETE BE PERFORMED ON THE SAME DAY AND DURING FAIR WEATHER CONDITIONS.
- IO. <u>SLOW PERCOLATION</u>: MAINTAIN POSITIVE GRADES ON SIDE AND SLOPE AWAY FROM BUILDINGS TO REDUCE PONDING OF WATER. IN-SITU INFILTRATION TESTING WITHIN INFILTRATION BMPS IS REQUIRED AS PART OF THE CRITICAL STAGES OF PCSM IMPLEMENTATION.
- II. <u>PIPING</u>: INCORPORATE ANTI-SEEP COLLARS IN SEDIMENT TRAPS AND BASING AND ON PCSM BASIN DISCHARGE PIPES. INSTALL TRENCH PLUGS (CLAY DIKES) WITHIN STORM DRAINAGE AND UTILITY TRENCHING.
- 12. <u>POOR SOURCE OF TOPSOIL</u>: PERFORM SOIL TESTING TO DETERMINE APPROPRIATE SUPPLEMENTATION. SOIL AMENDMENTS AND/OR RESTORATION PRACTICES MAY BE NECESSARY IN ORDER TO ESTABLISH PERMANENT VEGETATIVE STABILIZATION.
- 13. <u>SHRINK-SWELL POTENTIAL:</u> THE SHRINK-SWELL POTENTIAL IS THE EXTENT TO WHICH THE SOIL SHRINKS AS IT DRIES OR SWELLS AS IT BECOMES WET. THE SHRINK-SWELL POTENTIAL IS INFLUENCED BY THE TYPE AND AMOUNT OF CLAY PRESENT WITHIN THE SOIL. ADDITIONAL GEOTECHNICAL TESTING AND OVERSIGHT SHOULD BE EMPLOYED WHERE STRUCTURAL FILL IS REQUIRED. STRUCTURAL FILL MAY NEED TO BE IMPORTED FROM OFFSITE.
- 14. POTENTIAL FOR SINKHOLE FORMATION: THE POTENTIAL FOR SINKHOLE FORMATION EXISTS IN ALL AREAS WHERE CARBONATE BEDROCK IS PRESENT AND MAY BE INCREASED WHERE SUBSURFACE DRAINAGE PATTERNS ARE ALTERED. THE PCSM BMPS HAVE BEEN DESIGNED TO MINIMIZE THE RISK FOR SINKHOLE DEVELOPMENT. HOWEVER, DUE TO THE UNPREDICTABLE NATURE OF SINKHOLE FORMATION IT IS NOT POSSIBLE TO ENTIRELY ELIMINATE THE RISK. IN THE EVENT THAT A SINKHOLE IS OBSERVED PRIOR, DURING, OR FOLLOWING CONSTRUCTION A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONTACTED TO PROVIDE OVERSIGHT FOR REPAIR.
- 15. <u>PONDING:</u> PONDING OCCURS IN AREAS WITH COMPACTED OR POORLY DRAINED SOILS WITHOUT POSITIVE DRAINAGE. THE SITE SHOULD BE GRADED TO PROVIDED POSITIVE DRAINAGE TO THE MAXIMUM EXTENT POSSIBLE. DO NOT ALLOW PONDING NEAR STRUCTURAL IMPROVEMENTS OR IN AREAS OF STRUCTURAL FILL. UTILIZE PUMPED WATER FILTER BAGS TO DEWATER EXCAVATIONS AS NECESSARY. SUBSURFACE DRAINAGE(I.E. UNDERDRAINS) SHOULD BE INSTALLED IN AREAS WHERE POST-CONSTRUCTION PONDING IS ANTICIPATED.
- 16. WETNESS: DUE TO THE HIGH AMOUNT OF FINES (SILT AND CLAY), THE NATIVE ONSITE SOILS MAY BE MOISTURE SENSITIVE AND DIFFICULT TO PLACE DURING PERIODS OF ADVERSE WEATHER. IN ADDITION, THE OPTIMUM MOISTURE CONTENT IS EXPECTED TO BE SIGNIFICANTLY BELOW THE IN-PLACE MOISTURE CONTENT; THEREFORE, THIS SOIL WILL LIKELY REQUIRE MIXING OR SCARIFYING TO REDUCE THE MOISTURE CONTENT TO ACCEPTABLE LEVELS PRIOR TO PLACEMENT. EVERY EFFORT SHOULD BE MADE TO PREVENT WATER FROM ENTERING OPEN FOUNDATION EXCAVATIONS. ANY WATER WHICH MAY ACCUMULATE IN THE BOTTOMS OF THE EXCAVATIONS SHOULD BE REMOVED IMMEDIATELY. IF WETNESS IS PRESENT DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL PROFESSIONAL FOR FURTHER EVALUATION AND INSTRUCTION. THE GEOTECHNICAL PROFESSIONAL SHALL PROVIDE SITE-SPECIFIC MEASURES TO RESOLVE THE SOIL LIMITATIONS.
- 17. A GEOTECHNICAL PROFESSIONAL IS REQUIRED FOR OBSERVATION AND APPROVAL OF PROOF-ROLLING PROCEDURES, STRUCTURAL FILL PLACEMENT, FOUNDATION SUBGRADE REVIEW, STORMWATER BASIN BERM CONSTRUCTION, AND ALL CRITICAL EARTHWORK OPERATIONS.

HYDRIC SOILS

NEITHER GROUNDWATER NOR SOIL MOTTLING WERE ENCOUNTERED AT OR ABOVE THE TERMINATION DEPTHS OF THE TEST PITS EXCAVATED AS DOCUMENTED IN THE KLEINFELDER ADVANTAGE ENGINEERING REPORT.

GENERAL WASTE MANAGEMENT NOTES

PROCEDURES, WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE, WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL DURING CONSTRUCTION. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS (CHAPTER 25 OF THE PENNSYLVANIA CODE).

2. ALL BUILDING MATERIALS AND WASTES THAT ARE REMOVED FROM THE SITE SHALL BE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE §260.I ET SEQ., §271.I ET SEQ., AND §287.I ET SEQ. NO BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

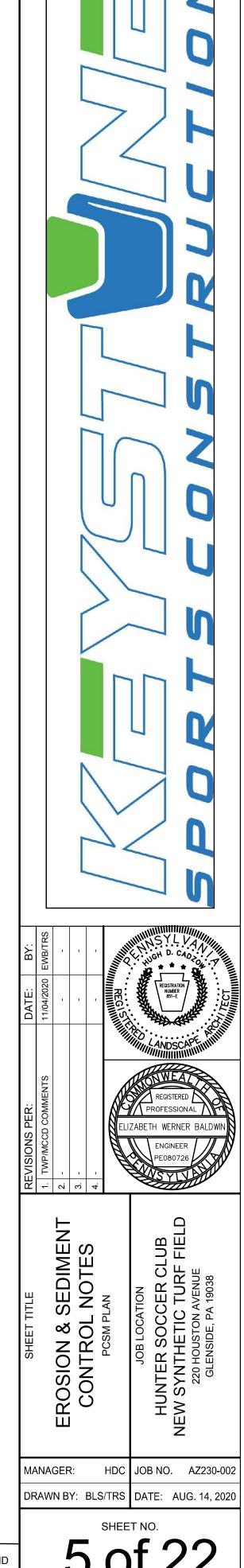
3. IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE CONTRACTOR, AND SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE WILL BE ON THE GEOTECHNICAL ENGINEER, ON BEHALF OF THE APPLICANT.

4. DEFINITIONS AND ENVIRONMENTAL DUE DILIGENCE

4.1. CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

- 4.I.I. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
- 4.1.2. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-OOI TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-OOI MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

4.2. ENVIRONMENTAL DUE DILIGENCE: ACCEPTABLE INVESTIGATIVE TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCES. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". ENVIRONMENTAL DUE DILIGENCE, INCLUDING ANY SAMPLING, WILL BE CONDUCTED BY THE GEOTECHNICAL ENGINEER, ON BEHALF OF THE APPLICANT. KEYSTONE SPORTS CONSTRUCTION 180 GORDON DR., SUITE 107 EXTON, PA 19341 www.keyssc.com sales@keyssc.com 1-877-407-4585



OPERATION AND MAINTENANCE NOTES

OVERVIEW OF BEST MANAGEMENT PRACTICE (BMP) FACILITY - MAINTENANCE & INSPECTION GUIDELINES

THE OPERATION AND MAINTENANCE OF PCSM BMP FACILITIES IS VERY SIMILAR TO THE OPERATION AND MAINTENANCE TRADITIONAL STORMWATER MANAGEMENT FACILITIES. LIKE TRADITIONAL FACILITIES, SOME TURF GRASS SHALL BE UTILIZED ON THE TERRESTRIAL (UPLAND) AREAS OF THE BMP FACILITIES. THE EXCEPTION WOULD BE ANY SPECIALIZED MAINTENANCE INVOLVED WITH THE NATIVE HERBACEOUS PLANT SPECIES ESTABLISHED WITHIN THE AQUATIC AREAS OF BMP FACILITIES. BECAUSE OF THE PERIODIC INUNDATION OF STORMWATER AND THE ATTEMPT TO PROMOTE BIORETENTION, IT IS CRITICAL THAT SPECIALIZED PLANTS BE ESTABLISHED TO ENSURE THE FACILITIES DESIGNED INTENTION. THE FIRST TWO YEARS OF VEGETATIVE ESTABLISHMENT IN THE BMP IS THE MOST IMPORTANT TO THE FUNCTION OF THE BMP. AFTER THIS TIME, MAINTENANCE WILL BE MINIMIZED TO THE REGULAR WEEKLY OPERATION INSPECTIONS AND THE OCCASIONAL NEED TO REMOVE WEEDS AND EXOTIC PLANTS.

DURING EARTH MOVING ACTIVITIES, MAINTENANCE SHALL INCLUDE DAILY INSPECTIONS OF ALL STORMWATER & BMP FACILITIES AND THEIR STRUCTURAL COMPONENTS TO ASSURE THEY ARE FUNCTIONING PROPERLY. ALL PIPES, SWALES, BASINS AND OUTLET STRUCTURES SHALL BE KEPI FREE OF ANY SEDIMENT OR DEBRIS THAT WOULD IMPAIR THE FUNCTION OF THE FACILITY. CAREFUL ATTENTION SHALL BE TAKEN AFTER MAJOR STORM EVENTS AS TO THE AMOUNT OF SEDIMENT NEAR THE OUTLET STRUCTURES. PERIODIC REMOVAL OF SEDIMENT IS ESSENTIAL IN THE ESTABLISHMENT OF NEWLY SOWED OR PLANTED VEGETATION.

AFTER CONSTRUCTION HAS CEASED AND THE BMP IS STABILIZED TO ITS DESIGNED CONDITION, CAREFUL MONITORING DURING INSPECTIONS SHALL VERIFY IF THE FILTRATION/INFILTRATION BASING ARE FUNCTIONING PROPERLY. IF INFILTRATION OF WATER IS NOT TAKING PLACE AFTER A PERIOD OF USE, THE SEDIMENT MUST BE REMOVED FROM THE BASIN BOTTOM, DISPOSED OF PROPERLY AND THE AREA NEEDS TO BE IMMEDIATELY REESTABLISHED TO ITS ORIGINAL SPECIFIED DESIGN INCLUDING THE SOIL MIX AND PLANTINGS. THE USE OF STRAW MULCH OR SECURING APPROVED BIODEGRADABLE EROSION CONTROL MATTING AS NEEDED IS RECOMMENDED WHEN NEW SEEDING IS PERFORMED.

WEEKLY MAINTENANCE WILL INCLUDE SCHEDULED INSPECTIONS AND TURF MOWING AS APPROPRIATE IN AND AROUND THE BMP FACILITIES. REGULAR TURF MOWING TO A HEIGHT OF NOT LESS THAN THREE (3) INCHES INVOLVES MAINLY THE FACILITY BERMS AND SIDE SLOPES AND PREVENTING THE GROWTH OF WEEDS. AFTER TWO YEARS, REGULAR TURF MOWING AND OPERATION INSPECTIONS WILL GOVERN MOST OF THE MAINTENANCE INVOLVED WITH THE BMP'S. CAREFUL OBSERVATION IS NECESSARY TO ENSURE UNWANTED PLANTS DO NOT ESTABLISH THEMSELVES AND DOMINATE THE DESIRED VEGETATIVE COMMUNITY, ESPECIALLY IN THE DESIGNATED BMP PLANTING AREAS. MOST OF THE BMP AREAS THAT HAVE BEEN DESIGNED TO BE PERIODICALLY INUNDATED WITH WATER DURING STORM EVENTS. THESE ZONES ARE ESPECIALLY IMPORTANT TO THE ESTABLISHMENT AND MAINTENANCE OF THE BIO-RETENTION PLANTINGS. THESE ZONES ARE NOT MOWED REGULARLY. HOWEVER, THEY NEED TO BE MOWED AT LEAST ONCE ANNUALLY IN THE EARLY SPRING AT A HEIGHT LESS THEN THREE (3) INCHES. THE CONTROL OF WEEDS AND EXOTIC PLANTS IN THESE ZONES ARE OF THE UTMOST IMPORTANCE. THE MANUAL REMOVAL OF INVASIVE WEEDS AND EXOTIC VEGETATION MOST ADEQUATELY ACHIEVE THIS TASK. THIS IS ESPECIALLY CRITICAL IN THE FIRST TWO YEARS FOR PLANT ESTABLISHMENT AND WILL ENSURE THE EFFECTIVENESS OF THE FACILITY AND REDUCE MAINTENANCE COSTS IN THE LONG RUN. IF MANUAL REMOVAL IS NOT PRACTICAL, THEN "HIGH MOWING" IS ADVISABLE. WHEN WEEDS DOMINATE THE "ZONE" AND BECOME TWELVE TO EIGHTEEN INCHES (12"-18") HIGH, IT IS RECOMMENDED THAT THE "ZONES" BE MOWED DOWN TO SIX TO EIGHT INCHES (6"-8"). THIS WILL HELP WARM UP THE SOIL AND WEAKEN THE COOL SEASON WEEDS TO DETER EXCESSIVE GROWTH AND WILL ENCOURAGE THE SPECIFIED PLANTS IN THE BIO-RETENTION AREA TO BECOME PROPERLY ESTABLISHED. CHEMICAL WEED CONTROL IS NOT RECOMMENDED BUT MAY BE USED IF FEDERAL, STATE AND LOCAL REGULATIONS ARE

DURING AND AFTER CONSTRUCTION ALL BMP FACILITIES SHALL BE MONITORED FOR ESTABLISHMENT PROGRESS AND VERIFY THEIR FUNCTIONALITY ON A DAILY BASIS. WHEN VEGETATION HAS ESTABLISHED ITSELF, WEEKLY INSPECTIONS SHALL BE ADEQUATE. A REGULAR PROGRAM OF INSPECTING THE TERRESTRIAL (UPPER) AND AQUATIC (LOWER) BENCHES OF THE BMP FACILITIES SHALL BE ESTABLISHED. ADDITIONAL INSPECTIONS SHALL OCCUR AFTER ANY MAJOR STORM EVENT TO ENSURE THE INTEGRITY OF THE STORMWATER \$ BMP FACILITIES. THE PURPOSES FOR THE INSPECTIONS ARE NOT ONLY TO ENSURE THE FACILITIES ARE FUNCTIONING PROPERLY BUT MORE IMPORTANTLY THAT THE FACILITIES ARE OPERATING SAFELY.

BEST MANAGEMENT PRACTICE (BMP) FACILITY NON- STRUCTURAL - REPAIR/REPLACEMENT GUIDELINES

NON-STRUCTURAL ITEMS, WHICH COMPRISE THE BMP'S, ARE NATURAL COMPONENTS SUCH AS VEGETATION, MULCHES AND SOIL. IF NON-STRUCTURAL DAMAGE OCCURS TO ANY PORTION OF THE BMP FACILITIES, THE FOLLOWING GUIDELINES CAN BE UTILIZED:

MULCHES WHERE APPROPRIATE AND SPECIFIED, MULCH LAYERS SHALL BE PROVIDED TO COVER THE SOIL MEDIUM OF THE PLANTING AREAS. ACCEPTABLE MULCH TYPES WOULD INCLUDE ANY NATURAL SHREDDED AGED WOOD CHIP OR HARDWOOD/BARK MULCH FREE OF FOREIGN MATERIALS. MULCH LAYERS SHOULD BE AT A MINIMUM OF TWO INCHES (2") IN DEPTH BUT NOT MORE THAN FOUR INCHES (4").

SOIL MEDIUM WITHIN BMP FACILITIES IS AN ESSENTIAL COMPONENT TO THE EFFECTIVENESS OF THE FACILITIES PURPOSE AND FUNCTIONALITY, SPECIFICALLY IN REGARD TO THE FILTRATION/INFILTRATION OF THE STORMWATER. A SPECIFIC SOIL MEDIUM MIX HAS BEEN SPECIFIED.

THE TOPSOIL MUST BE OF GOOD QUALITY. GOOD TOPSOIL WOULD CONSIST OF A LOAM OR SANDY LOAM SOIL OF UNIFORM COMPOSITION, CONTAINING NO MORE THAN FIVE PERCENT (5%) CLAY, BE LOOSE AND FREE OF OBJECTS SUCH AS ROCKS, ROOTS, ETC. OF LESS THAN TWO ⁾ INCHES (2") IN DIAMETER. CAREFUL SELECTION OF TOPSOIL SHALL BE DONE SO THAT NO FOREIGN SUBSTANCES, INCLUDING NOXIOUS WEEDS AND GRASSES, ARE WITHIN THE SOIL THAT

2 WOULD HINDER THE GROWTH OF NEW PLANTINGS. ALSO, CHEMICAL SUBSTANCES SHALL NOT BE IN THE SOIL THAT WOULD PROVE TO BE TOXIC TO THE ENVIRONMENT. i linings

THE QUICK ESTABLISHMENT OF THE SPECIFIED VEGETATION WITHIN THE BMP FACILITIES INTO A DENSE STAND IS ESSENTIAL. A DENSE VEGETATIVE COVER WILL NOT ONLY PREVENT SOIL EROSION BUT ALSO WILL NATURALLY FACILITATE THE DESIGNED FUNCTION OF THE BMP VIA - INFILTRATION AND PLANT TRANSPIRATION. INFLOW POINTS TO THE BMP FACILITIES SHALL BE PROTECTED WITH EROSION CONTROLS SUCH AS (E.G., APPROVED FABRIC MATING, ROCK TRIPRAP. FLOW SPREADERS. ETC.). REPLACEMENTS OF THESE COMPONENTS SHALL BE EQUAL TO OR BETTER THAN SPECIFIED IN THE APPROPRIATE LAND DEVELOPMENT OR EROSION CONTROL PLANS.

PLANTING SPECIFICATIONS

TIRE ANY TURF THAT NEEDS TO BE REPAIRED OR REPLACED BEYOND ITS NORMAL MAINTENANCE CARE SHALL BE CAREFULLY INVESTIGATED PRIOR TO OVER-SEEDING OR APPLYING FERTILIZERS. SEEDING SPECIFICATIONS ARE AVAILABLE ACCORDING TO THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS. THE USE OF LOW-GROWING, STOLONIFEROUS, TURF TYPE COOL SEASON GRASSES IS RECOMMENDED. FERTILIZATION OF THE TURF AREA $\frac{1}{2}$ Shall be in limited amounts and be applied only as necessary to avoid CONTRIBUTING TO STORM AND GROUND WATER POLLUTION.

SHRUBS, PERENNIALS & ORNAMENTAL GRASSES , in addition to the planting specifications provided in the approved plans, the

FOLLOWING GUIDELINES MUST ALSO BE UTILIZED FOR THE REPLACEMENT OF PLANTING MATERIALS:

- I. ALL PLANT MATERIAL SHALL BE INSTALLED IN CONFORMANCE WITH AND MEET THE SPECIFICATIONS OF "THE AMERICAN NURSERY ASSOCIATION" GUIDELINES.
- FROM NURSERY TO JOB SITE AND UNTIL PLANTING. IF NECESSARY, LARGER MATERIAL SUCH AS TREES MAY BE "HEALED IN" IN A DESIGNATED TEMPORARY HOLDING AREA FOR NO MORE THAN TWO (2) MONTHS.
- 3. WALLS OF THE PLANTING HOLE SHALL BE DUG VERTICAL.
- 4. THE DIAMETER OF THE PLANTING HOLE SHALL BE SIX INCHES (6") LARGER ON ALL SIDES THAN THAT OF THE PLANT'S ROOT BALL.
- 5. THE ROOT BALL CROWN SHALL BE PLANTED FLUSH IF NOT SLIGHTLY ABOVE ADJACENT GRADE.
- 6. BACKFILL AROUND ROOT BALL BY HAND WITH SPECIFIED AMENDED SOIL MEDIUM. BACKFILL IN FOUR INCH (4") LIFTS AND TAMP BY HAND TO ENSURE PROPER
- 7. NEVER COVER THE TOP OF THE ROOT BALL WITH SOIL. MOUND SOIL SLIGHTLY AROUND HOLE TO CREATE A WATERING BOWL.
- 8. COVER PLANTING AREA WITH TWO TO THREE INCHES (2"-3") OF AGED WOOD MULCH AS SPECIFIED.
- 9. WATER THOROUGHLY. IO. PLANTS IN GENERAL RECEIVE NEEDED NUTRIENTS FROM GOOD SOIL MEDIUM AND DO NOT REQUIRE ADDITIONAL FERTILIZATION. IF FERTILIZER IS USED, ONLY A NATURAL BIODEGRADABLE FERTILIZER IS RECOMMENDED SUCH AS PROCESSED COW MANURE.

DEBRIS BARRIERS/TRASH RACKS

TRASH RACKS ARE BARRED COVERS TO PIPE OPENINGS. THEY PREVENT LARGE OBJECTS FROM ENTERING PIPES AND KEEP PETS AND PEOPLE OUT OF PIPES.

 INSPECT TRASH RACKS AT LEAST ONCE PER YEAR. · CLEAN TRASH RACKS WHEN DEBRIS IS PLUGGING MORE THAN 20 PERCENT OF THE OPENINGS OR WHEN OBSTRUCTIONS TO FISH PASSAGE ARE CREATED. IMMEDIATELY REPLACE MISSING RACKS AND MISSING BARS.

- · REPLACE BARS THAT ARE DETERIORATED TO THE POINT WHERE THEY MAY BE EASILY REMOVED.
- BEND BENT BARS BACK INTO POSITION.
- CATCH BASING AND INLETS

CATCH BASINS TRAP SEDIMENT AND SOME OILS THAT CAN POLLUTE WATER BODIES. THEY NEED TO BE INSPECTED AND CLEANED ANNUALLY TO REMOVE ACCUMULATED SEDIMENT, FLUIDS, AND TRASH.

- AVOID OR MINIMIZE SEDIMENT AND POLLUTANT DISCHARGES FROM THE WORK AREA. PREVENT PARKING AREAS, ROADS, DRAINAGE SYSTEMS, FACILITIES AND PROPERTY
- FROM BECOMING POLLUTANT SOURCES · INSPECT CATCH BASING AT LEAST ONCE PER YEAR.
- PERIODICALLY INSPECT THE CATCH BASIN AND SURROUNDING AREAS FOR POLLUTANTS SUCH AS LEAKS FROM DUMPSTERS, MINOR SPILLS, AND OIL DUMPING. ACT TO HAVE THE
- POLLUTANT SOURCE REMOVED. CLEAN CATCH BASING WHEN THEY BECOME ONE THIRD FULL TO MAINTAIN SEDIMENT-TRAPPING CAPACITY.
- CATCH BASIN AND MANHOLE CLEANING SHALL BE PERFORMED IN A MANNER THAT KEEPS REMOVED SEDIMENT AND WATER FROM BEING DISCHARGED BACK INTO THE STORM SEWER. CLEAN PUTRID MATERIALS FROM CATCH BASINS WHEN DISCOVERED OR REPORTED.
- KEEP THE INLET CLEARED OF DEBRIS AND LITTER. • WORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED SPACE EQUIPMENT AND PROCEDURES. THE MOST PRACTICAL OPTION MAY BE TO CONTRACT WITH A SEWER- CLEANING CONTRACTOR.
- DISPOSAL OF WASTE FROM MAINTENANCE OF DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- · REMOVED SEDIMENT MUST BE DISPOSED OF IN THE GARBAGE AS SOLID WASTE. WATER SHALL BE DISPOSED OF IN A SANITARY SEWER AFTER OILS ARE REMOVED USING OIL ABSORBENT MATERIALS OR OTHER MECHANICAL MEANS. USED OIL ABSORBENTS SHALL BE RECYCLED OR DISPOSED ACCORDING THE MANUFACTURE'S INSTRUCTIONS. REPAIR ANY DAMAGES THAT PREVENT THE CATCH BASIN FROM FUNCTIONING AS

DESIGNED. MANHOLES

MANHOLES ARE LARGE CYLINDRICAL VAULTS USUALLY SET AT STORM SEWER PIPE CONNECTIONS. UNLESS YOU HAVE OSHA APPROVED TRAINING AND EQUIPMENT, NEVER ENTER A MANHOLE. THERE IS A CONSIDERABLE RISK OF POISONOUS GAS AND INJURY

- INSPECT THE MANHOLE ONCE PER YEAR. CHECK THE FRAME AND LID FOR CRACKS AND WEAR, SUCH AS ROCKING LIDS OR LIDS MOVED BY TRAFFIC.
- PERIODICALLY INSPECT THE MANHOLE AND SURROUNDING AREAS FOR POLLUTANTS SUCH AS LEAKS FROM DUMPSTERS, MINOR SPILLS, AND OIL DUMPING. TAKE ACTION TO
- HAVE THE POLLUTANT SOURCE REMOVED. · CLEAN MANHOLES WHEN THERE IS A BLOCKAGE OF A WATER FLOW PATH. CLEANING SHALL BE PERFORMED IN A WAY THAT ENSURES REMOVED SEDIMENT AND WATER IS
- NOT DISCHARGED BACK INTO THE STORM SEWER. MORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED
- SPACE EQUIPMENT AND PROCEDURES. THE MOST PRACTICAL OPTION MAY BE TO CONTRACT WITH A SEWER- CLEANING CONTRACTOR. DISPOSAL OF WASTE FROM MAINTENANCE OF DRAINAGE FACILITIES SHALL BE
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- SHALL BE DISPOSED OF IN A SANITARY SEWER AFTER OILS ARE REMOVED USING OIL ABSORBENT MATERIALS OR OTHER MECHANICAL MEANS. USED OIL ABSORBENTS SHALL BE RECYCLED OR DISPOSED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- REPAIR ALL SECURITY AND ACCESS FEATURES SO THEY ARE FULLY FUNCTIONAL. THIS INCLUDES LOCKING LIDS, COVERS, AND LADDER RUNGS. REPLACE BROKEN PARTS OR LIDS THAT ROCK OR ARE MOVED BY TRAFFIC. • SHOULD BE RECYCLED OR DISPOSED ACCORDING TO THE MANUFACTURER'S

INSTRUCTIONS. SWALES/DRAINAGE CHANNELS

SWALES ARE MANMADE OPEN CHANNELS THAT CARRY ONLY STORMWATER, THIS DOES NOT INCLUDE SWALES THAT HAVE WATER FLOWING IN THEM DURING DRY WEATHER. SWALES ARE OFTEN MAINTAINED FOR DRAINAGE TO PREVENT LOCALIZED FLOODING BY DRAINING STORMWATER. MAINTENANCE INCLUDES REMOVING SEDIMENT, DEBRIS AND OVERGROWN VEGETATION. PROTECTING WATER QUALITY DICTATES MINIMIZING VEGETATION REMOVAL AND PREVENTING EROSION.

- INSPECT SWALES DURING ROUTINE SITE MAINTENANCE OR AT LEAST ONCE PER YEAR. LAND DISTURBING ACTIVITIES THAT REMOVE VEGETATION OR DISTURB SOIL ARE SUBJECT TO EROSION CONTROL REQUIREMENTS OF THE TOWNSHIP AND STATE, A GOOD TIME TO CLEAN IS DURING THE GROWING SEASON, WHEN IT'S EASIEST TO REESTABLISH VEGETATION. THIS IS GENERALLY APRIL THROUGH JUNE AND SEPTEMBER THROUGH OCTOBER
- IF FEASIBLE, REMOVE SMALL AMOUNTS OF SEDIMENT BY HAND WHEN PERFORMING ROUTINE SITE MAINTENANCE.
- VEGETATION SHALL ONLY BE REMOVED WHEN IT REDUCES FREE MOVEMENT OF WATER
- ONLY REMOVE SEDIMENT WHEN IT REACHES 20 PERCENT OF THE SWALES DEPTH OR AFFECTS THE HISTORIC OR DESIGNED HYDRAULIC CAPACITY.
- ALTERNATE CLEANING AREAS WITH UNDISTURBED AREAS, LEAVING UNDISTURBED SECTIONS TO ACT AS SEDIMENT-TRAPPING FILTERS BETWEEN WORKED AREAS.
- TRAP SEDIMENT THAT IS GENERATED BY SWALE MAINTENANCE TO KEEP IT FROM ENTERING WATER BODIES. USE SEDIMENT-TRAPPING BMPS SUCH AS FABRIC FENCING OR FILTER BAGS AT THE LOWER END OF EACH EXCAVATED AREA
- PREVENT SEDIMENT FROM ERODING WHEN SWALE WORK IS PERFORMED. PERFORM WORK DURING DRY WEATHER UNLESS THERE IS AN EMERGENCY SUCH AS PROPERTY OR
- ROAD FLOODING. · VEGETATE BARE SOILS BY HYDROSEEDING OR COVER BARE SOILS WITH AN APPROVED BMP. HAND SEED FOR SMALLER AREAS.

STORM PIPE

STORM SEWER PIPES CONVEY STORMWATER. PIPES ARE BUILT FROM MANY MATERIALS AND ARE SOMETIMES PERFORATED TO ALLOW STORMWATER TO INFILTRATE INTO THE GROUND. STORM PIPES ARE CLEANED TO REMOVE SEDIMENT OR BLOCKAGES WHEN PROBLEMS ARE IDENTIFIED. STORM PIPES MUST BE CLEAR OF OBSTRUCTIONS AND BREAKS TO PREVENT LOCALIZED FLOODING.

PIPES ARE DIFFICULT TO INSPECT REQUIRING SPECIAL EQUIPMENT AND TRAINING. USUALLY, IF A PROBLEM OCCURS THE OWNER NEEDS TO CALL A SEWER OR PLUMBING CONTRACTOR TO INSPECT, REPAIR OR CLEAN PIPELINES.

- CLEAN PIPES WHEN SEDIMENT DEPTH IS GREATER THAN 20 PERCENT OF PIPE DIAMETER. WHEN CLEANING A PIPE, MINIMIZE SEDIMENT AND DEBRIS DISCHARGES FROM PIPES TO THE STORM SEWER. INSTALL DOWNSTREAM DEBRIS TRAPS (WHERE APPLICABLE) BEFORE CLEANING AND THEN REMOVE MATERIAL.
- GENERALLY, USE MECHANICAL METHODS TO REMOVE ROOT OBSTRUCTIONS FROM INSIDE STORM SEWER PIPES. DO NOT PUT ROOT-DISSOLVING CHEMICALS IN STORM SEWER PIPES. IF THERE IS A PROBLEM, REMOVE THE VEGETATION OVER THE LINE.
- WORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED SPACE EQUIPMENT AND PROCEDURES. THE MOST PRACTICAL OPTION MAY BE TO CONTRACT WITH A SEWER -- CLEANING CONTRACTOR. • SEDIMENT AND DEBRIS FROM PIPES SHALL BE DISPOSED IN THE GARBAGE AS SOLID
- WASTE. PICK OUT ANY ROCKS FIRST. REPAIR OR REPLACE PIPES WHEN A DENT OR BREAK CLOSES MORE THAN 20 PERCENT
- OF THE PIPE DIAMETER. • REPAIR OR REPLACE PIPES DAMAGED BY RUST OR DETERIORATION.

GENERAL NOTES:

- I. THE POST CONSTRUCTION STORMWATER PLAN FOR THE SUBJECT TRACT AS APPROVED BY THE MUNICIPALITY, PROVIDES FOR DETENTION, RETENTION, INFILTRATION AND/OR TREATMENT OF STORMWATER WITHIN THE CONFINES OF THE PROPERTY.
- 2. THE MUNICIPALITY REQUIRES THAT STORMWATER MANAGEMENT FACILITIES AND BMPS AS SHOWN ON THE PLAN BE CONSTRUCTED AND ADEQUATELY MAINTAINED BY THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS.
- 3. THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND BMPS SHALL BE CONSTRUCTED BY THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS IN ACCORDANCE WITH THE TERMS, CONDITIONS, DETAILS, AND SPECIFICATIONS IDENTIFIED IN THE PLAN.
- 4. THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS SHALL MAINTAIN THE STORMWATER MANAGEMENT FACILITIES AND BMPS IN GOOD WORKING CONDITION, ACCEPTABLE TO THE MUNICIPALITY SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTIONS.
- 5. THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS HEREBY GRANT PERMISSION TO THE MUNICIPALITY, ITS AUTHORIZED AGENTS AND EMPLOYEES, UPON PRESENTATION OF PROPER IDENTIFICATION, TO ENTER UPON THE PROPERTY AT REASONABLE TIMES, AND TO INSPECT THE STORMWATER MANAGEMENT FACILITIES AND BMPS WHENEVER THE MUNICIPALITY DEEMS NECESSARY. THE PURPOSE OF THE INSPECTION IS TO ASSURE SAFE AND PROPER FUNCTIONING OF THE FACILITIES.
- 6. AT A MINIMUM, MAINTENANCE INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SCHEDULE SPECIFIED IN THE BMP OPERATIONS AND MAINTENANCE PLAN.
- 7. IN THE EVENT THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS FAIL TO MAINTAIN THE STORMWATER MANAGEMENT FACILITIES AND BMPS IN GOOD WORKING CONDITION ACCEPTABLE TO THE MUNICIPALITY. THE MUNICIPALITY SHALL GIVE PROPER NOTICE TO OWNER SETTING FORTH THE SPECIFICS OF SUCH FAILURE TO MAINTAIN, THE REMEDIATION REQUIRED, AND DEADLINE TO COMPLETE ANY SUCH REMEDIAL ACTION.
- 8. THE OWNER, THEIR SUCCESSORS, HEIRS AND/OR ASSIGNS WILL PERFORM MAINTENANCE IN ACCORDANCE WITH THE BMP OPERATIONS AND MAINTENANCE PLAN FOR THE STORMWATER MANAGEMENT FACILITIES AND BMPS, INCLUDING SEDIMENT REMOVAL AS OUTLINED ON THE APPROVED PLAN.

2. ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORTATION

BMP OPERATION AND MAINTENANCE SCHEDULE

WATER QUALITY INLETS (FLEXSTORM FILTER BAGS) MAINTENANCE

SCHEDULE: 1-2, 1-4, 1-5, 1-6

INSPECTION ACTIVITIES

• INSPECT AFTER EVERY RAIN EVENT GREATER THAN 0.50" OF RAINFALL BUT NO LESS THAN MONTHLY FROM MARCH TO OCTOBER

MAINTENANCE ACTIVITIES

 CLEAN OUT AND LEGALLY DISPOSE OF WASTE AT A MINIMUM OF EVERY MARCH. MAINTAIN PER MANUFACTURER'S REQUIREMENTS AND DETERMINE SCHEDULE ONCE INSTALLED.

CONSTRUCTED FILTER MAINTENANCE SCHEDULE; SYNTHETIC TURF

<u>FIELD</u>

INSPECTION ACTIVITIES

• INSPECT AFTER EVERY RAIN EVENT GREATER THAN 1/2" OF RAINFALL TO OBSERVE ANY STANDING WATER. THIS SHOULD BE DONE AT LEAST THREE TIMES A YEAR

MAINTENANCE ACTIVITIES

- REMOVE ALL TRASH AND DEBRIS THROUGH SWEEPING THE FIELD WITH THE APPROPRIATE EQUIPMENT ON A MONTHLY BASIS COMMENCING MARCH UNTIL
- NOVEMBER OR AS NECESSARY DEPENDING ON FIFLID USAGE
- GROOM THE SURFACE WITH APPROPRIATE EQUIPMENT MARCH, MAY, AUGUST AND NOVEMBER OF EVERY YEAR PERFORM ANNUAL G-MAX AND INFILL DEPTH INSPECTIONS TO ENSURE SYSTEM IS PROPERLY FUNCTIONING

STONE BASING MAINTENANCE SCHEDULE: BMP-I

- INSPECTION ACTIVITIES • POST CONSTRUCTION REQUIREMENTS - AFTER RAIN EVENTS GREATER THAN 1/A
- OF RAINFALL OR NO LESS THAN ONCE A MONTH FOR THE FIRST YEAR INSPECTIONS AFTER FIRST YEAR - INSPECT AFTER EVERY RAIN EVENT GREATER THAN I" OF RAINFALL BUT NO LESS THAN EVERY SIX MONTHS

MAINTENANCE ACTIVITIES

• STANDARD MAINTENANCE - EVERY TWO MONTHS AT A MINIMUM (AS APPLICABLE) CHECK FOR AND REMOVE TRASH AND DEBRIS EVERY TWO MONTHS

LONG TERM MAINTENANCE

• FACILITY RENOVATION - DEPENDING ON CONDITION AND PERFORMANCE OF FACILITY NO LESS THAN THREE YEARS AFTER COMPLETION AND NO MORE THAN FIVE YEARS

LEVEL SPREADER SCHEDULE: LEVEL SPREADER I

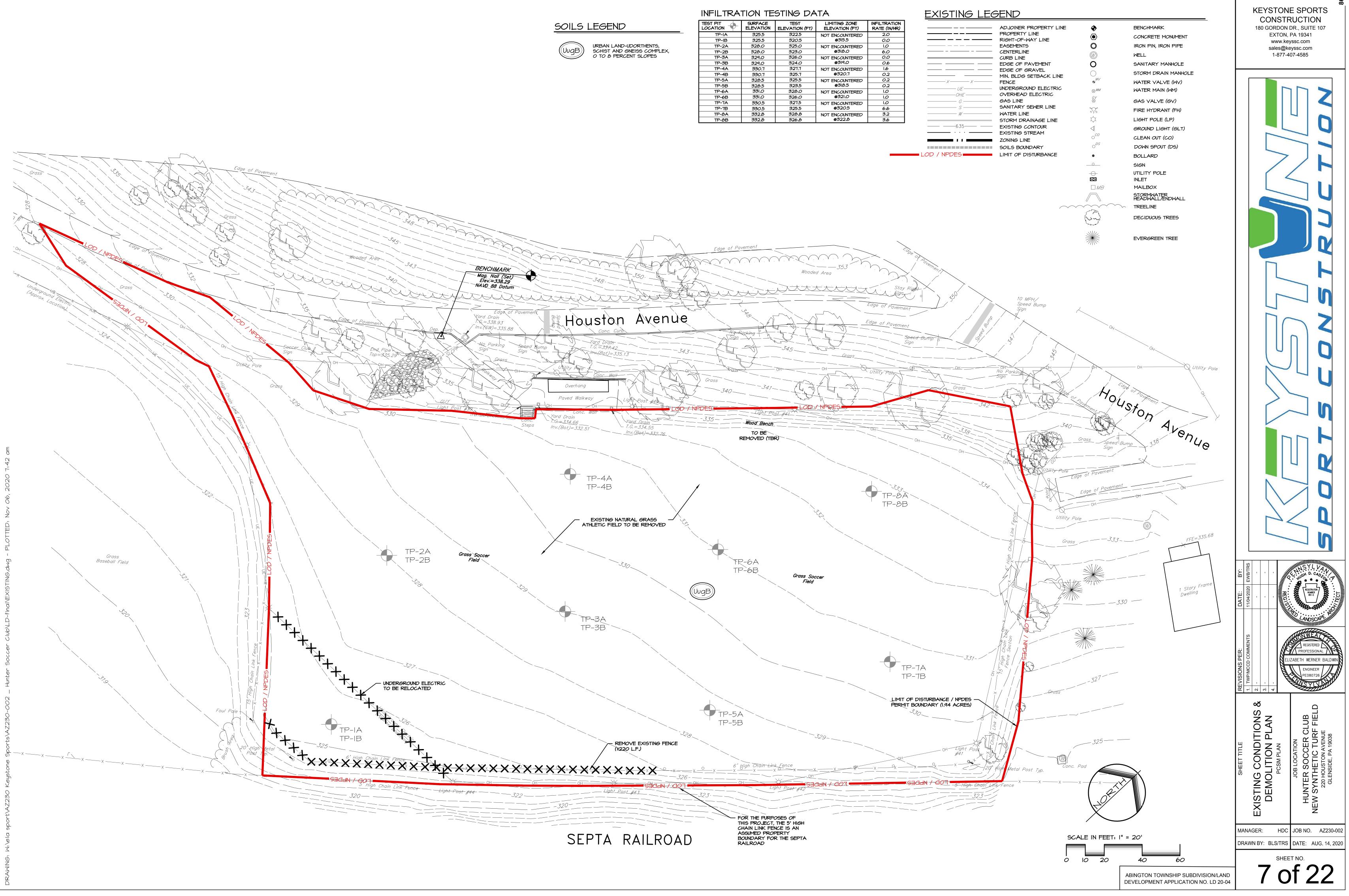
INSPECTION ACTIVITIES

- THE AREA BELOW THE LEVEL SPREADERS SHOULD BE INSPECTED FOR CLOGGING. DENSITY OF VEGETATION, DAMAGE BY FOOT OR VEHICULAR TRAFFIC, EXCESSIVE ACCUMULATIONS, AND CHANNELIZATION.
- · INSPECTIONS SHOULD BE MADE ON A QUARTERLY BASIS FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION, AND THEN ON A SEMIANNUAL BASIS THEREAFTER
- INSPECTIONS SHOULD BE MADE AFTER EVERY STORM EVENT GREATER THEN I-INCH.

MAINTENANCE ACTIVITIES

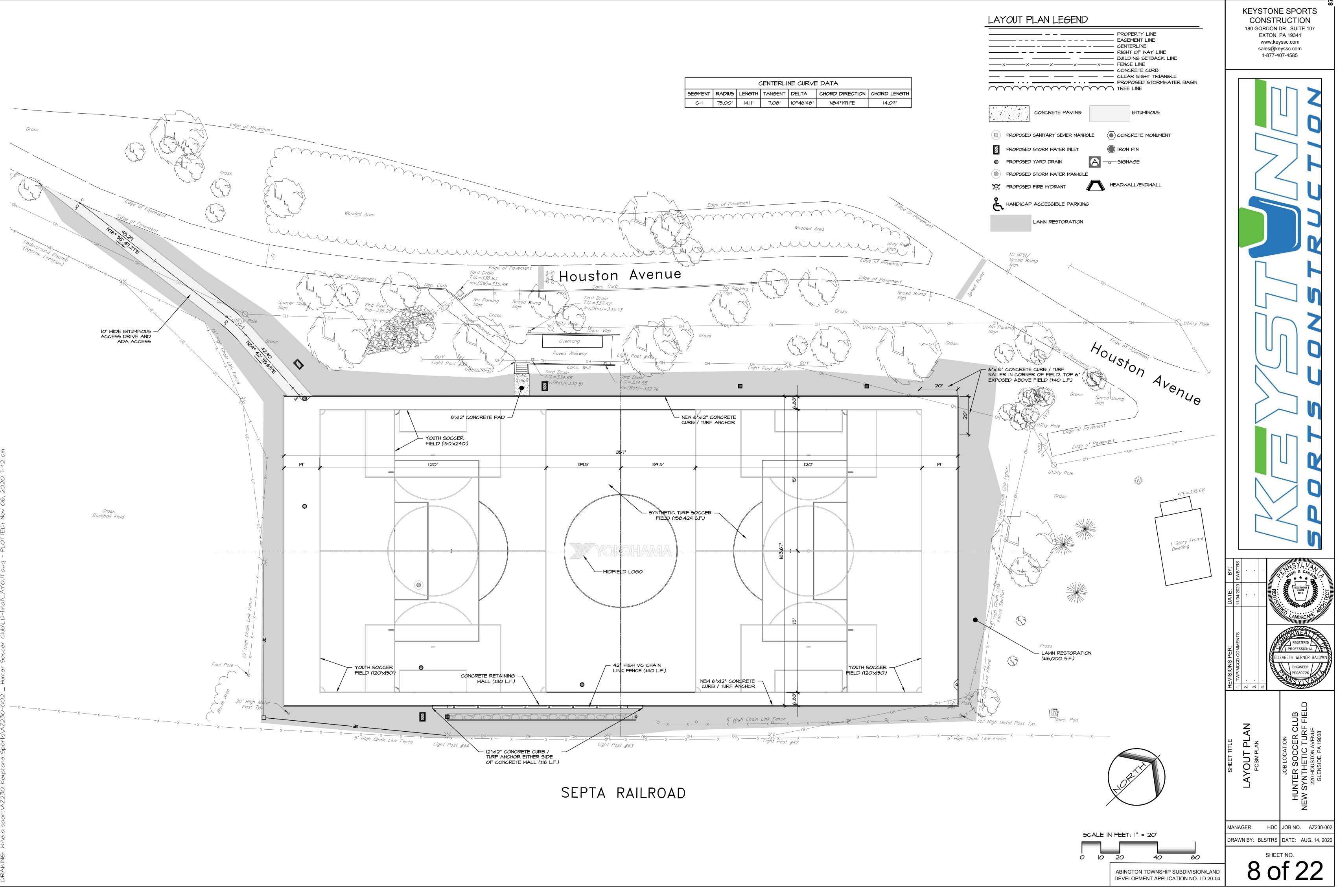
- SEDIMENT AND DEBRIS SHOULD BE ROUTINELY REMOVED. BUT NEVER LESS THAN SEMIANNUALLY, OR UPON OBSERVATION, WHEN BUILDUP OCCURS IN CLEANOUTS. REGRADING MAY BE REQUIRED WHEN POOL OF STANDING WATER ARE
- OBSERVED ALONG THE SLOPE. • MAINTAIN VEGETATIVE COVER ON ALL AREAS BELOW THE LEVEL SPREADER. IF
- VEGETATIVE COVER IS NOT FULLY ESTABLISHED, IT MAY NEED TO BE REPLACED WITH A DIFFERENT SPECIES.
- ONCE VEGETATION IS ESTABLISHED, INSPECTIONS OF HEALTH, DIVERSITY, AND DENSITY SHOULD BE PERFORMED AT LEAST TWICE PER YEAR, DURING BOTH GROWING AND NON-GROWING SEASON.
- VEGETATIVE COVER SHOULD BE SUSTAINED AT 85% AND REPLACED IF DAMAGE GREATER THAN 50% IS OBSERVED



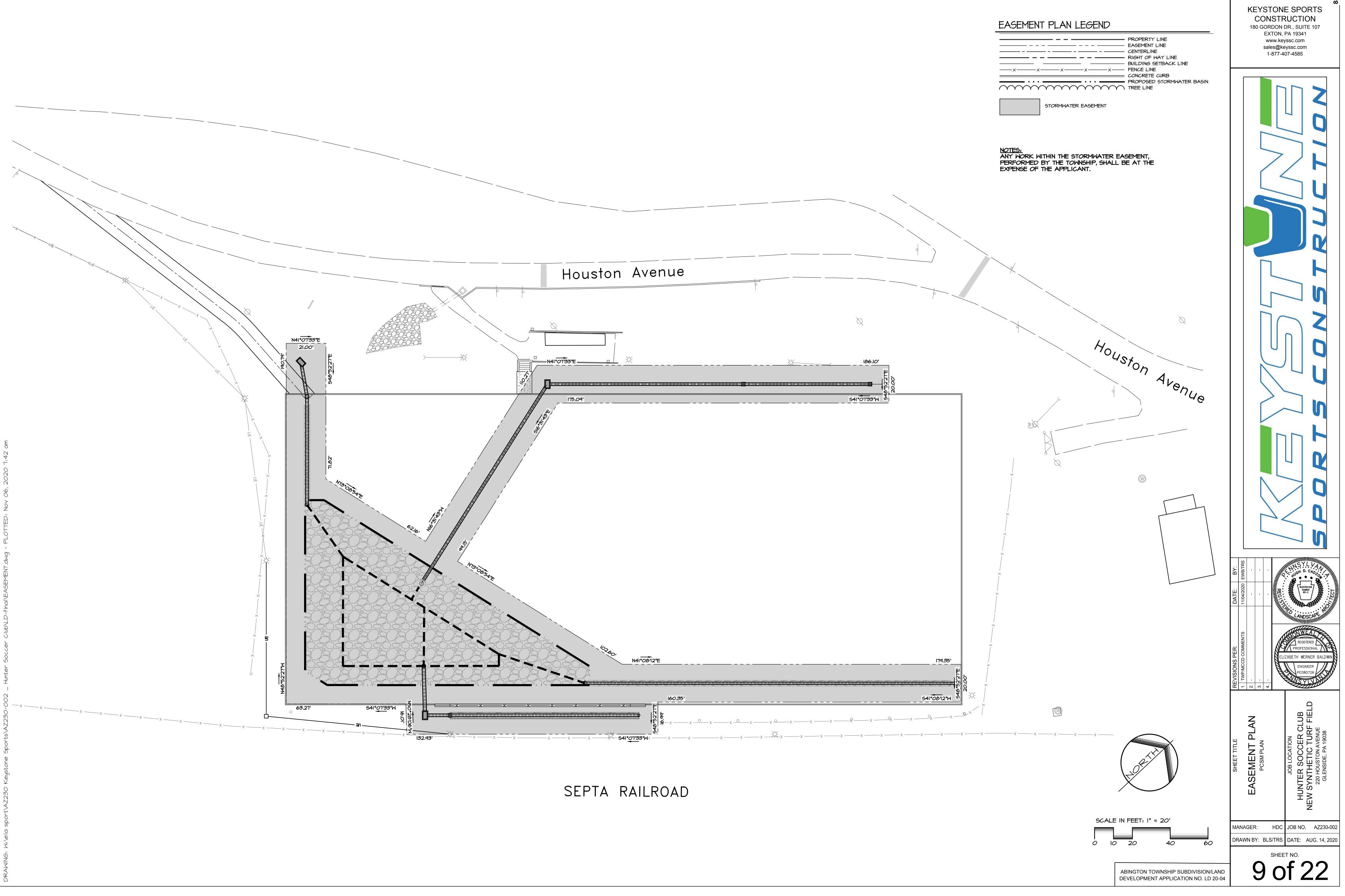


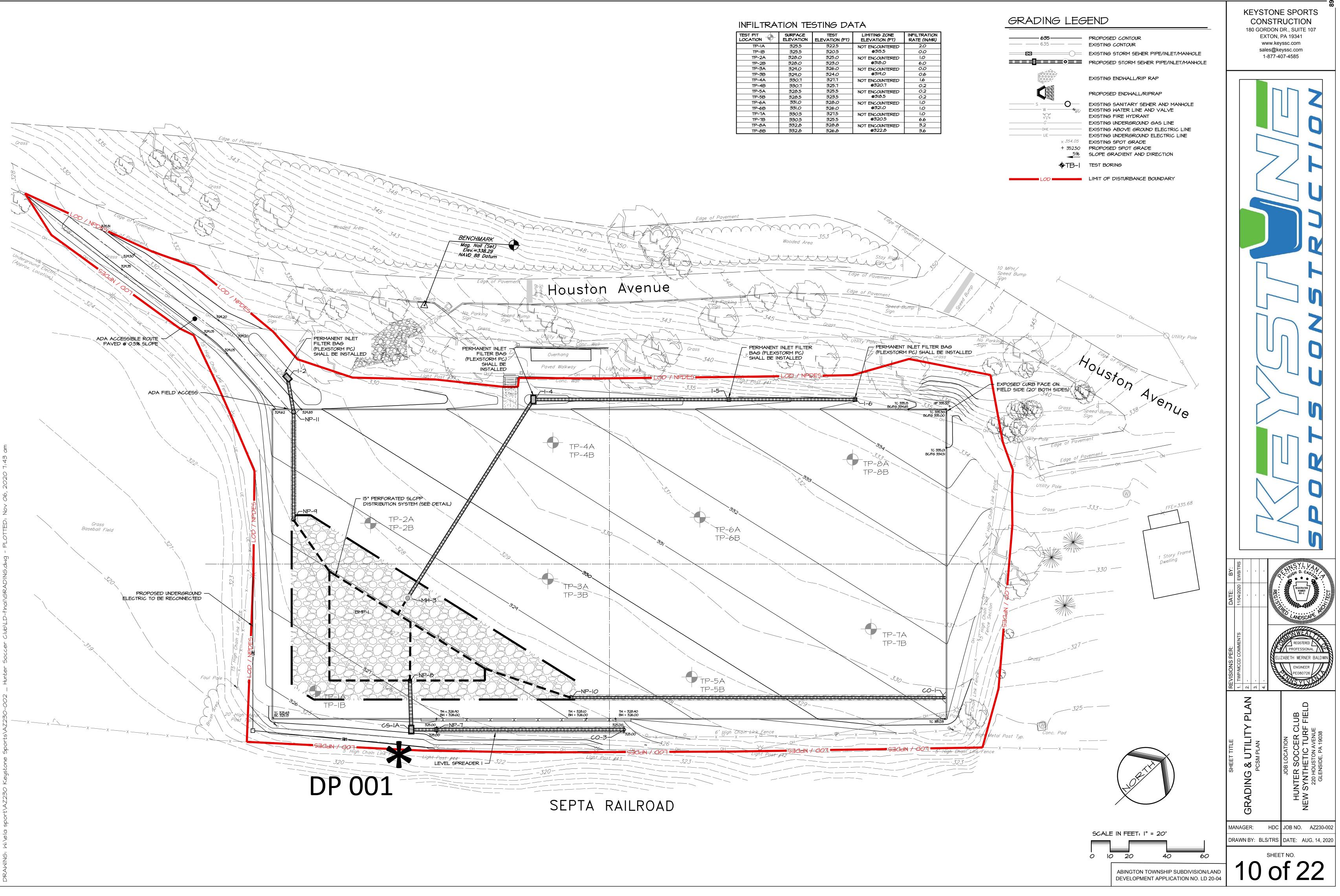


	SURFACE ELEVATION	TEST ELEVATION (FT)	LIMITING ZONE ELEVATION (FT)	INFILTRATIO
TP-IA	325.5	322.5	NOT ENCOUNTERED	2.0
TP-IB	325.5	320.5	@3 5.5	0.0
TP-2A	328.0	325.0	NOT ENCOUNTERED	1.0
TP-2B	328.0	323.0	@3 8.0	6.0
TP-3A	329.0	326.0	NOT ENCOUNTERED	0.0
TP-3B	329.0	324.0	@319.0	0.6
TP-4A	330.7	327.7	NOT ENCOUNTERED	1.6
TP-4B	330.7	325.7	@320.7	0.2
TP-5A	328.5	325.5	NOT ENCOUNTERED	0.2
TP-5B	328.5	323.5	@3l8.5	0.2
TP-6A	331.0	328.0	NOT ENCOUNTERED	1.0
TP-6B	331.0	326.0	@321.0	1.0
TP-7A	330.5	327.5	NOT ENCOUNTERED	1.0
TP-7B	330.5	325.5	@320.5	6.6
TP-8A	332 <i>.</i> 8	328.8	NOT ENCOUNTERED	3.2
TP-8B	332 <i>.</i> 8	326.8	@322.8	3.6

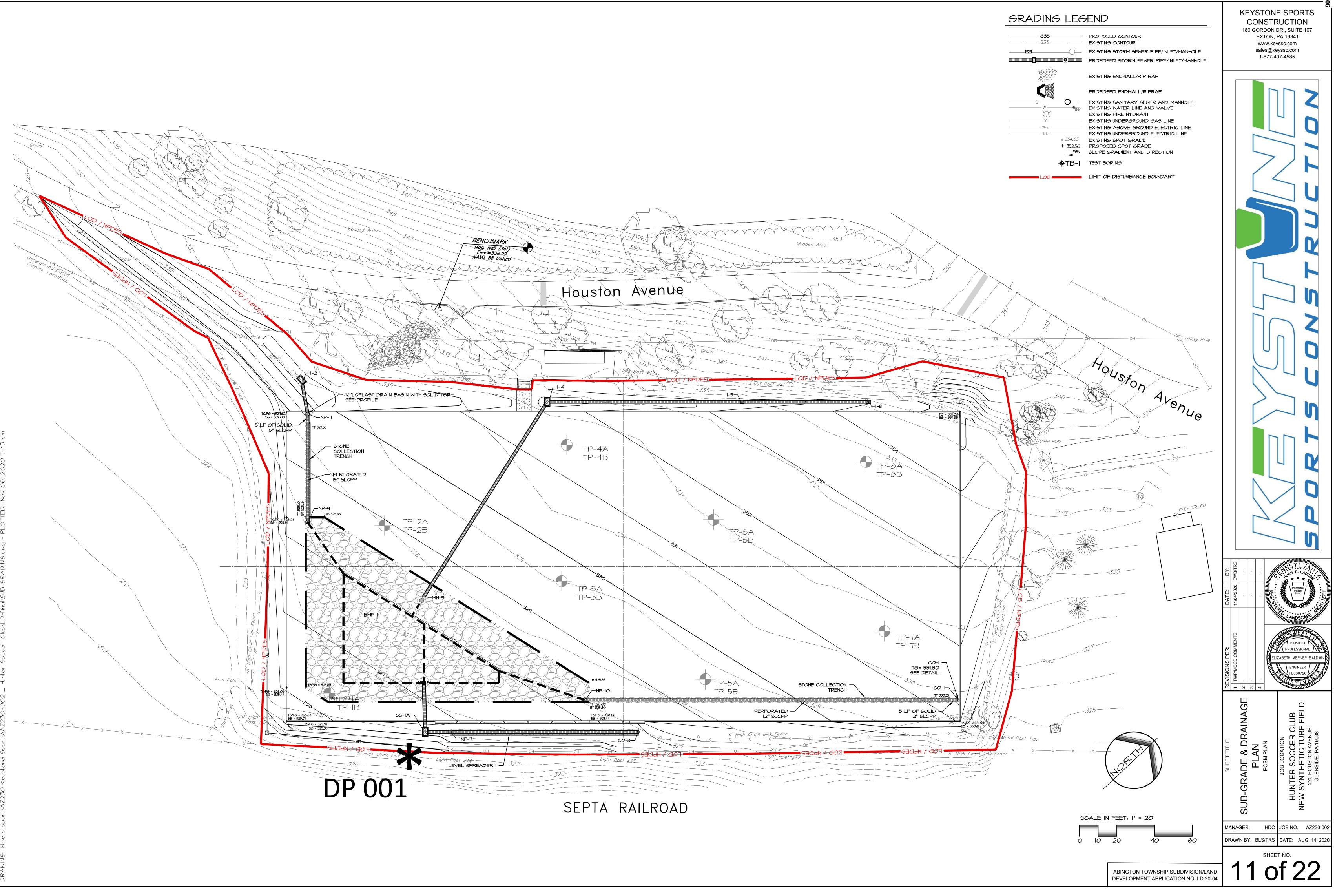


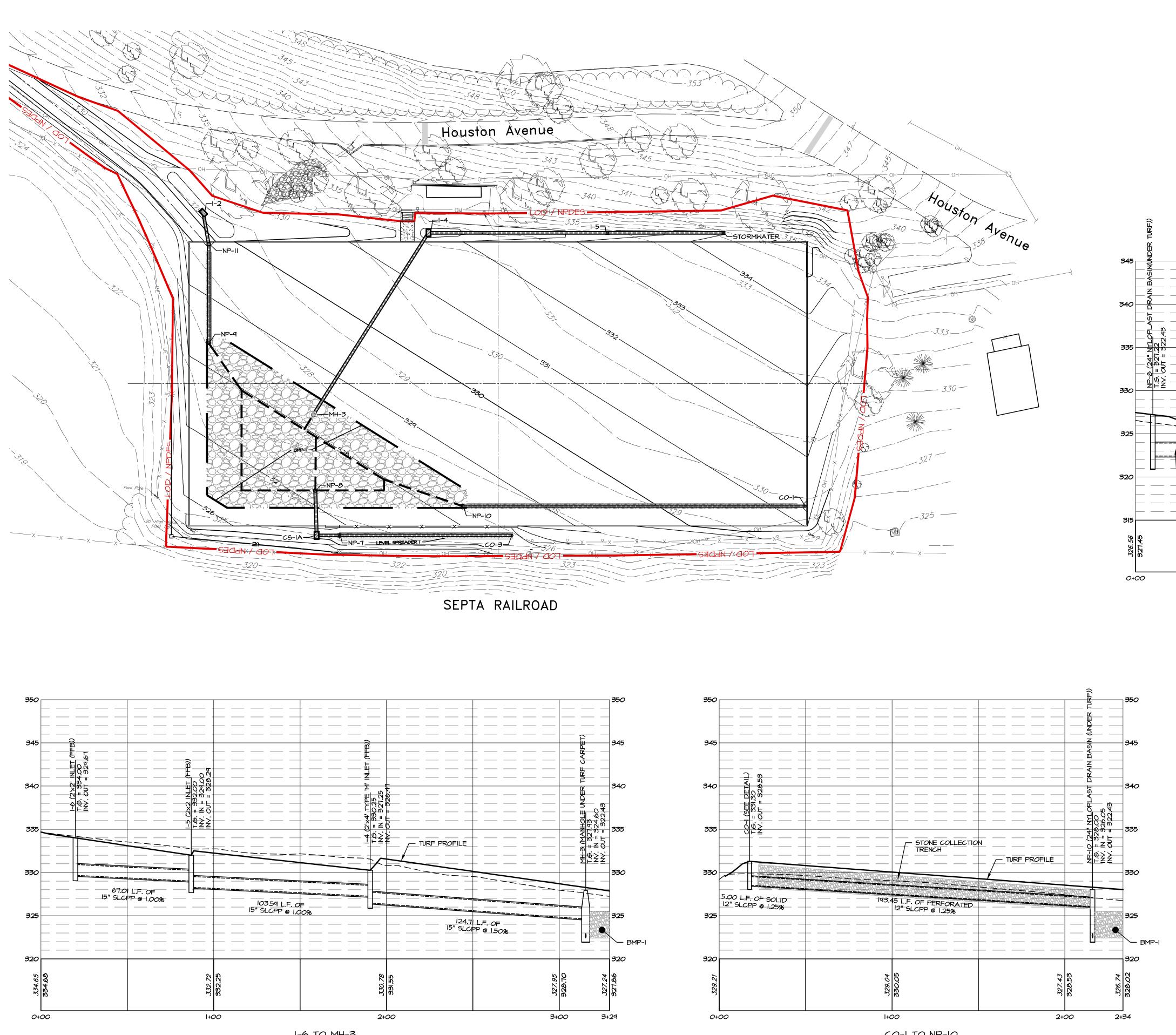
CENTERLINE CURVE DATA							
SEGMENT RADIUS LENGTH TANGENT DELTA CHORD DIRECTION CHORD LENGTH							
C-I 75.00' I4.II'		7.08'	10°46'48"	N&4°19'11"E	14.09'		

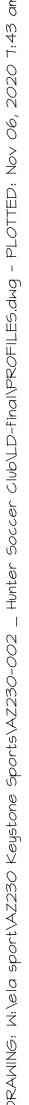




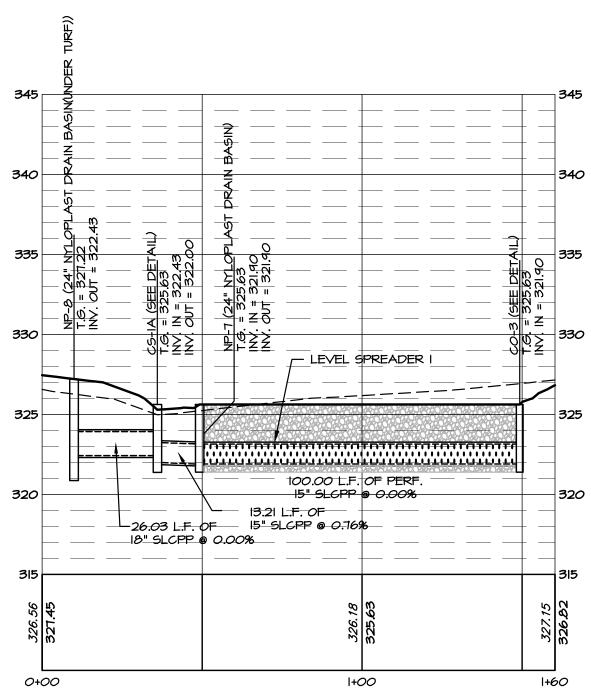
	SURFACE ELEVATION	TEST ELEVATION (FT)	LIMITING ZONE ELEVATION (FT)	INFILTRAT
TP-IA	325.5	322.5	NOT ENCOUNTERED	2.0
TP-IB	325.5	320.5	@315.5	0.0
TP-2A	328.0	325.0	NOT ENCOUNTERED	1.0
TP-2B	328.0	323.0	@318.0	6.0
TP-3A	329.0	326.0	NOT ENCOUNTERED	0.0
TP-3B	329.0	324.0	@319.0	0.6
TP-4A	330.7	327.7	NOT ENCOUNTERED	1.6
TP-4B	330.7	325.7	@320.7	0.2
TP-5A	328.5	325.5	NOT ENCOUNTERED	0.2
TP-5B	328.5	323.5	@3 8.5	0.2
TP-6A	331.0	328.0	NOT ENCOUNTERED	1.0
TP-6B	331.0	326.0	@ 32I. <i>O</i>	I.O
TP-7A	330.5	327.5	NOT ENCOUNTERED	1.0
TP-7B	330.5	325.5	@32 <i>0.</i> 5	6.6
TP-8A	332 <i>.</i> 8	328.8	NOT ENCOUNTERED	3.2
TP-8B	332.8	326.8	@322 <i>.</i> 8	3.6







<u>I-6 TO MH-3</u> HORZ. SCALE: |"=30' VERT. SCALE: |"= 6'

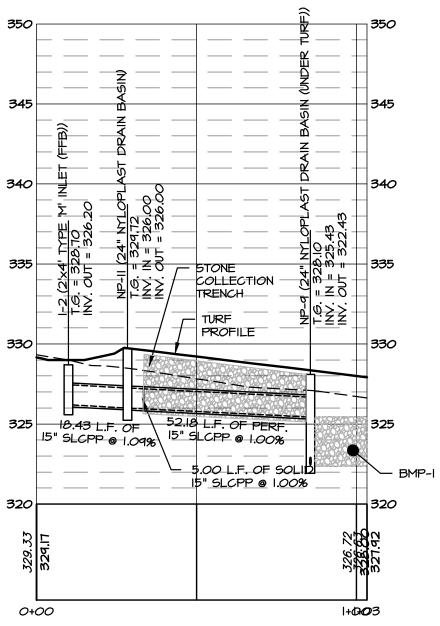


<u>CO-I TO NP-IO</u> HORZ. SCALE: |"=30' VERT. SCALE: |"= 6'



Notes: • (FFB) = Permanant flexstorm PC Filter bag to be provided in Structure. • Provide 3" Stone Bedding Below Pipe In Stone Collection Trenches.

<u>NP-8 TO CO-3</u> HORZ. SCALE: |"=30' VERT. SCALE: |"= 6'

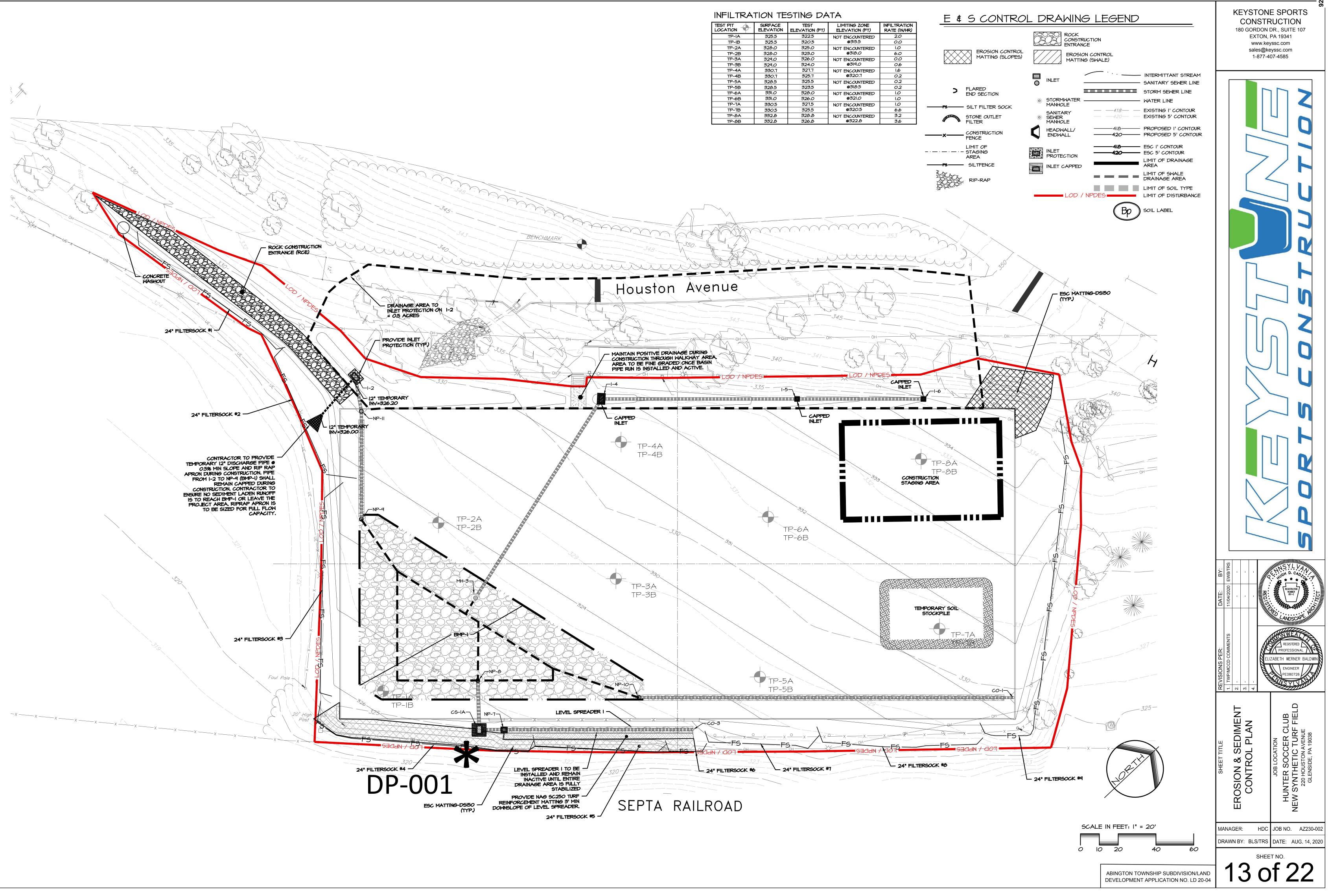


<u>I-2 TO NP-9</u> HORZ. SCALE: |"=30' VERT. SCALE: |"= 6'

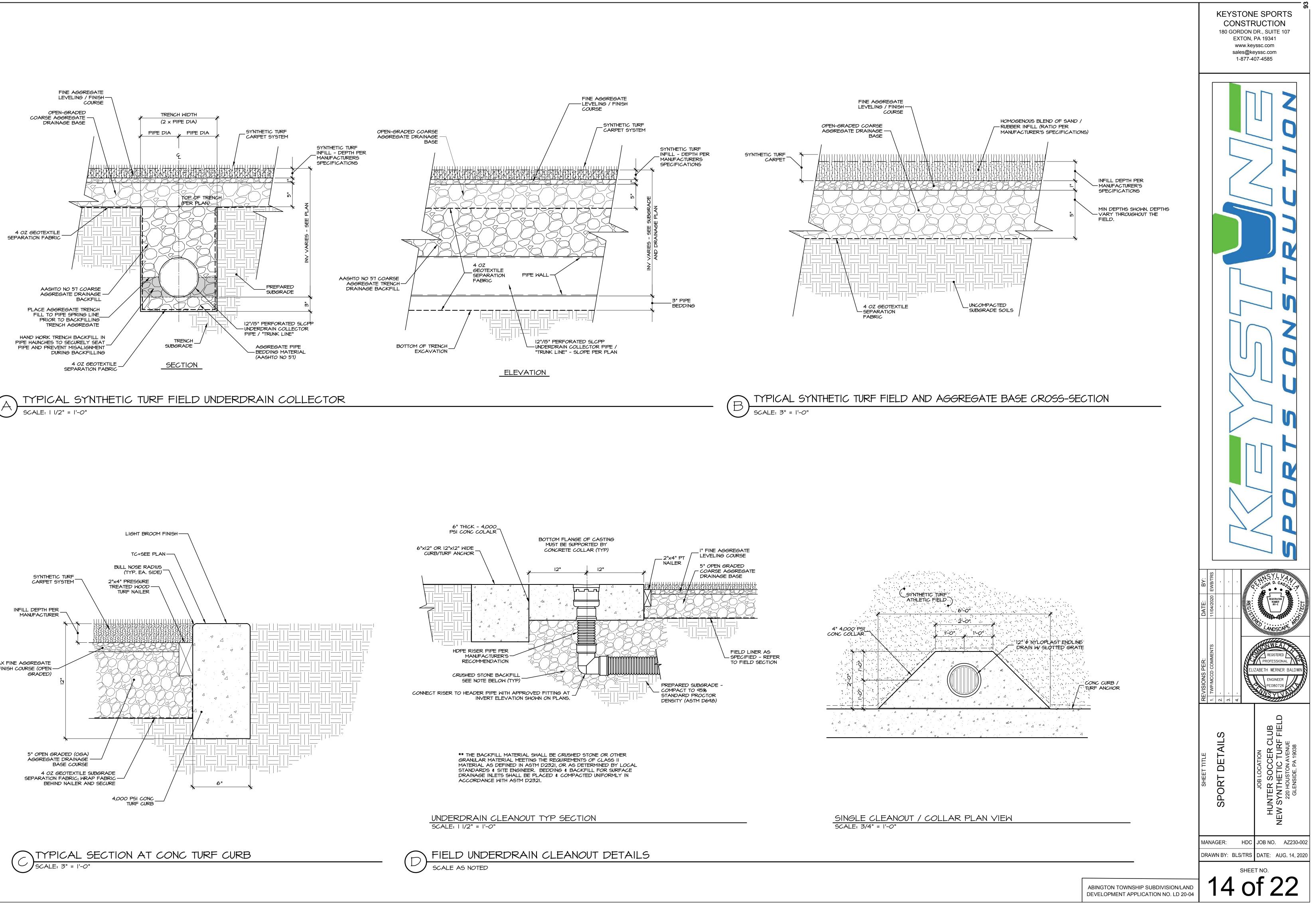
		E v sa	XTON, vww.key ales@ke	DR., SUIT PA 19341 yssc.com eyssc.com 07-4585	
					U U T I O N
					ONSTR
					D R T S C
	BY: EWRTPS				C ADSON TY
	REVISIONS PER: DATE: 1 TWP/MCCD COMMENTS 11/04/2020			REGIST PROFESS ZABETH WEF	
	SHEET TITLE	STORMWATER PLAN & PROFILES	PCSM PLAN	JOB LOCATION HUNTER SOCCER CLUB	NEW SYNTHETIC TURF FIELD 220 HOUSTON AVENUE GLENSIDE, PA 19038
AND 0-04		AGER: WN BY: BL	HDC S/TRS SHEE		AZ230-002 AUG. 14, 2020

KEYSTONE SPORTS

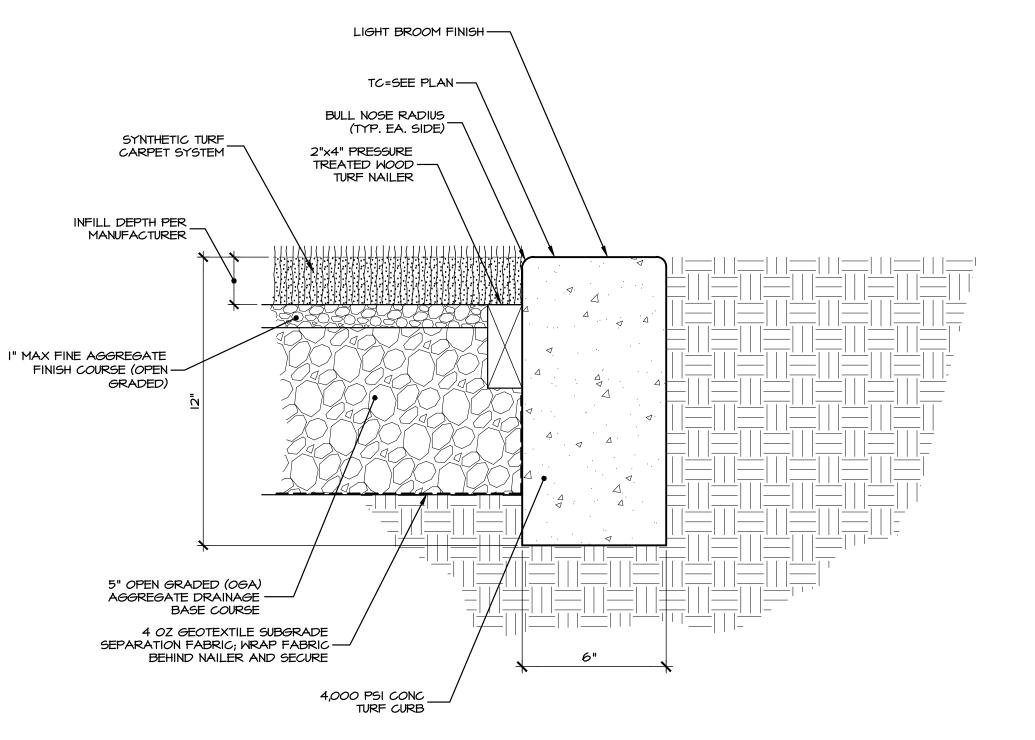
CONSTRUCTION 180 GORDON DR., SUITE 107

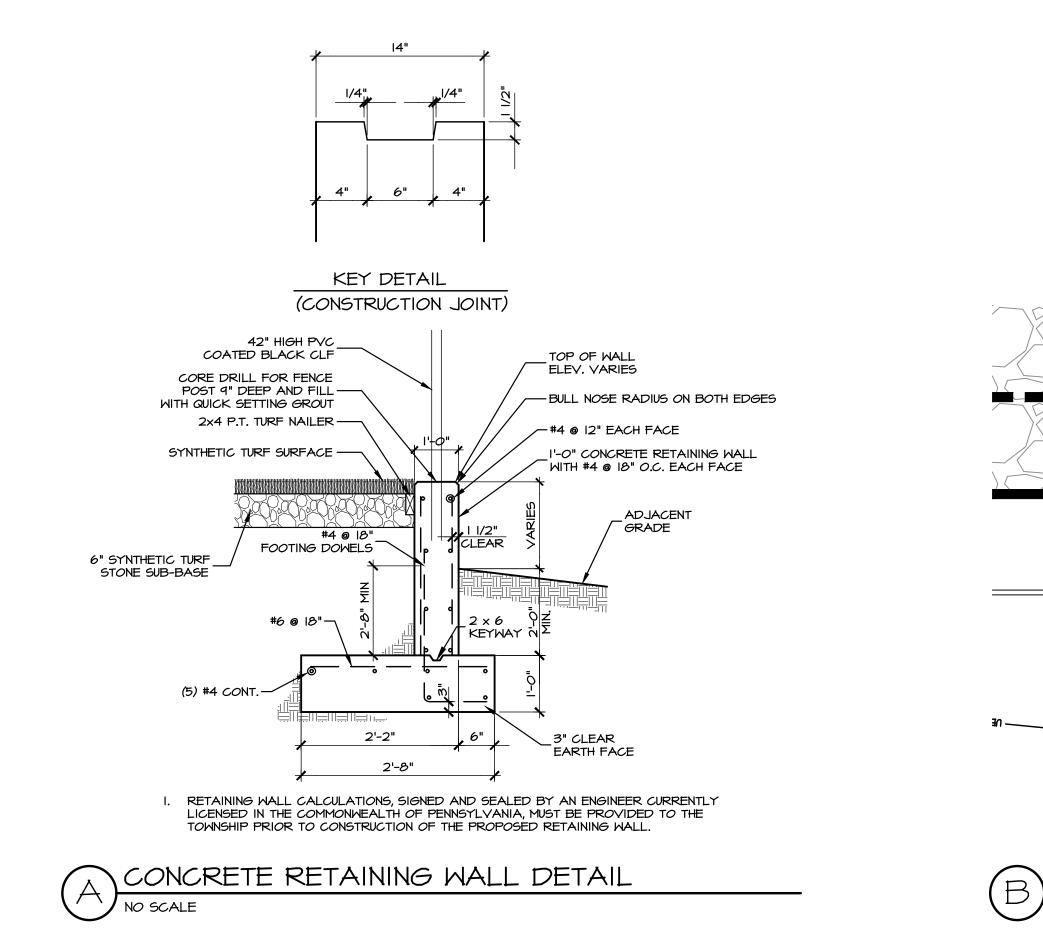


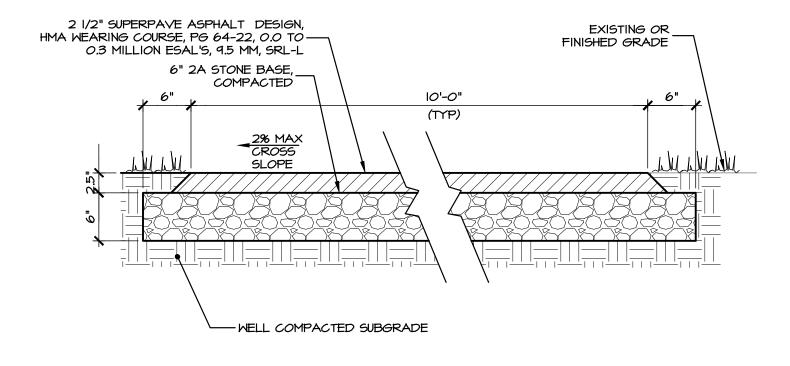
	SURFACE ELEVATION	TEST ELEVATION (FT)	LIMITING ZONE ELEVATION (FT)	INFILTRATION RATE (IN/HR)
TP-IA	325.5	322.5	NOT ENCOUNTERED	2.0
TP-IB	325.5	320.5	@3 5.5	0.0
TP-2A	328.0	325.0	NOT ENCOUNTERED	1.0
TP-2B	328.0	323.0	@3I&.O	6.0
TP-3A	329.0	326.0	NOT ENCOUNTERED	0.0
TP-3B	329.0	324.0	@319.0	0.6
TP-4A	330.7	327.7	NOT ENCOUNTERED	1.6
TP-4B	330.7	325.7	@320.7	0.2
TP-5A	328.5	325.5	NOT ENCOUNTERED	0.2
TP-5B	328.5	323.5	@3I8.5	0.2
TP-6A	331.0	328.0	NOT ENCOUNTERED	1.0
TP-6B	331.0	326.0	@321.0	1.0
TP-7A	330.5	327.5	NOT ENCOUNTERED	1.0
TP-7B	330.5	325.5	@320.5	6.6
TP-8A	332 <i>.</i> 8	328.8	NOT ENCOUNTERED	3.2
TP-8B	332 <i>.</i> 8	326.8	@322. <i>B</i>	3.6





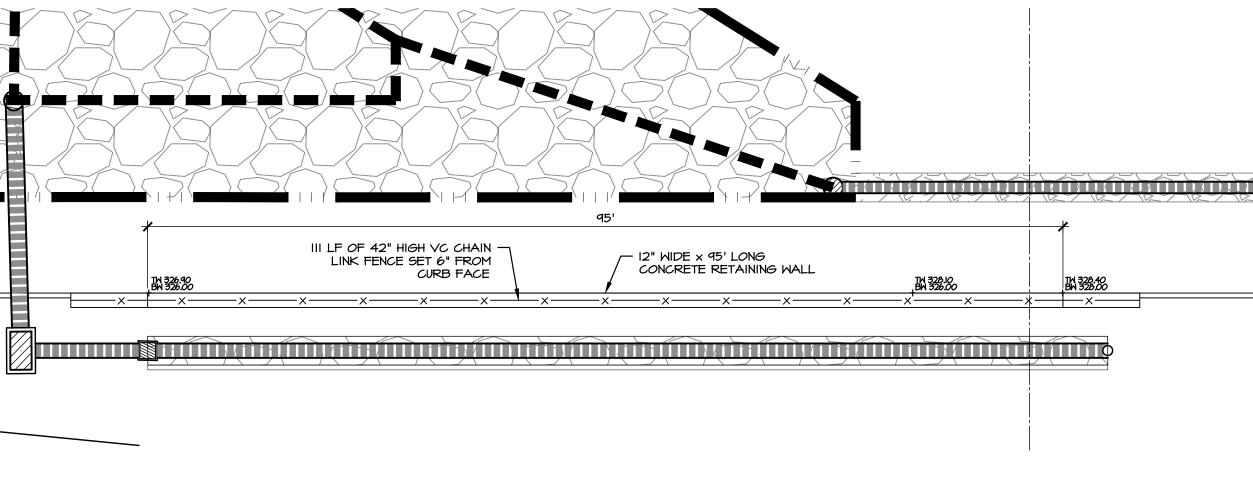






- FACTORS.° PROFESSIONAL SHALL BE IMPLEMENTED.
- BE FOLLOWED.





CONCRETE RETAINING WALL PLAN VIEW NO SCALE

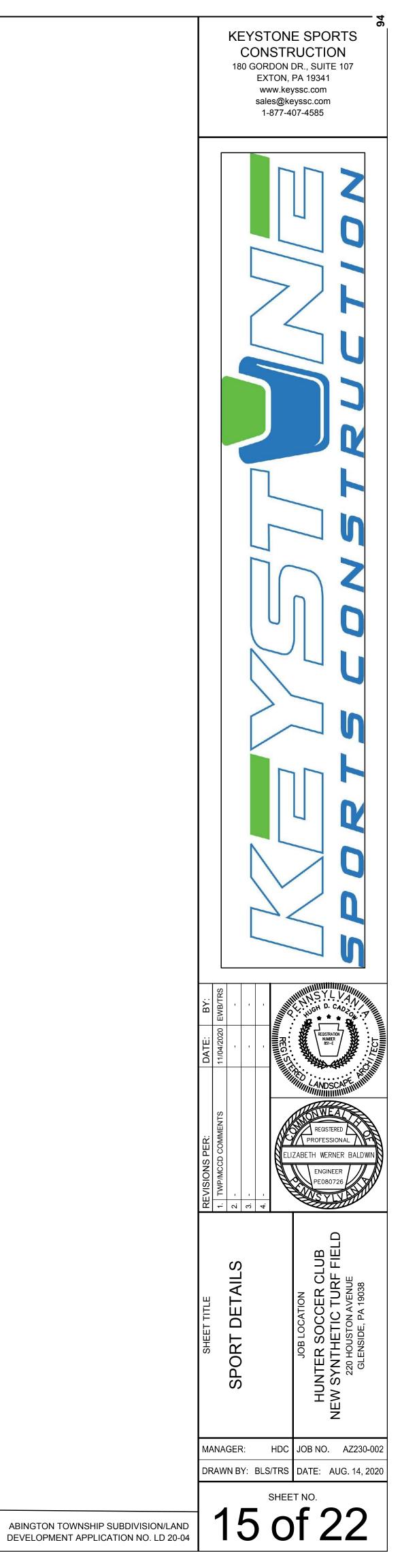
I. BITUMINOUS PAVEMENT MATERIALS ARE LISTED PER PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, PUBLICATION 408 STANDARDS, LATEST REVISIONS.

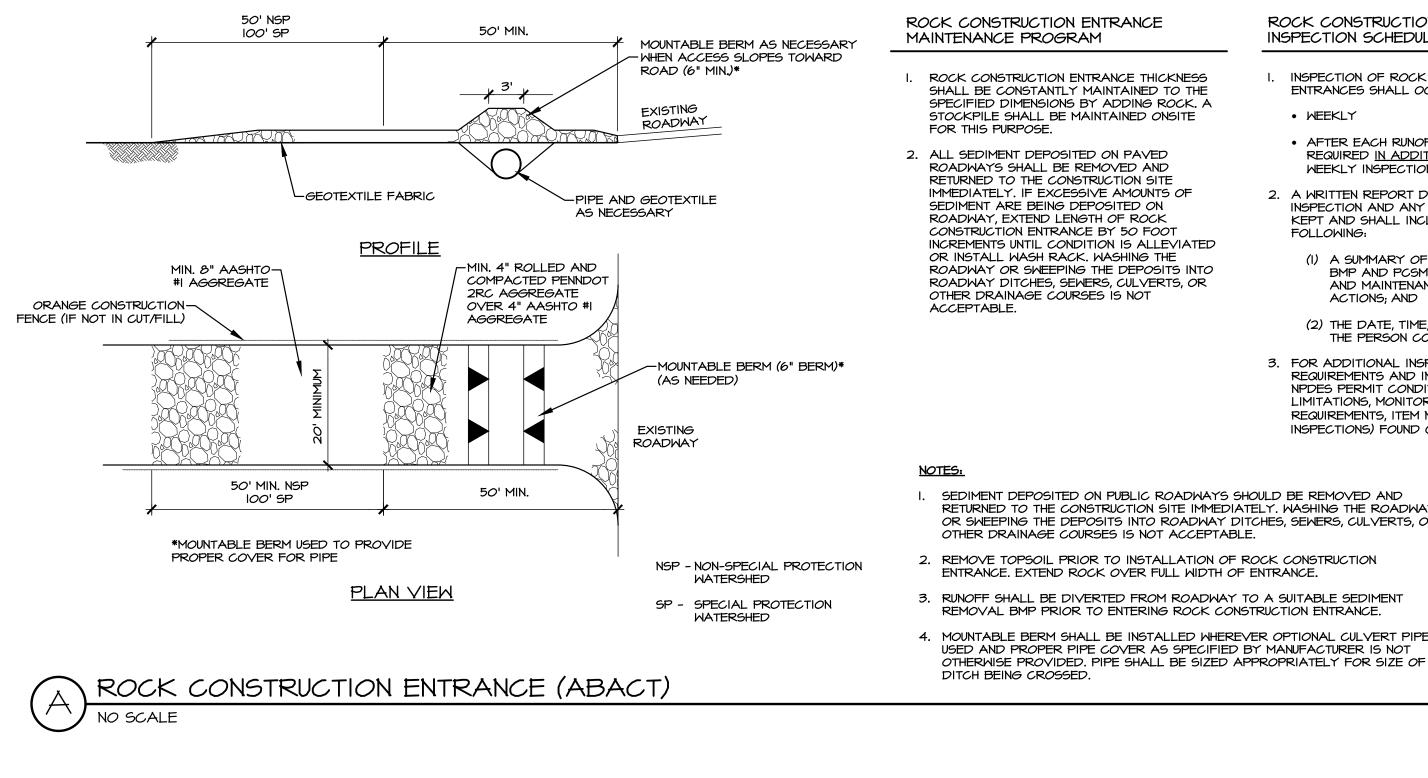
2. RECLAIMED AGGREGATE MATERIAL SHALL MEET THE REQUIREMENTS OF PA DOT PUBLICATION 408, SECTION 703.1, TABLE A, OR 703.2, TABLE B.

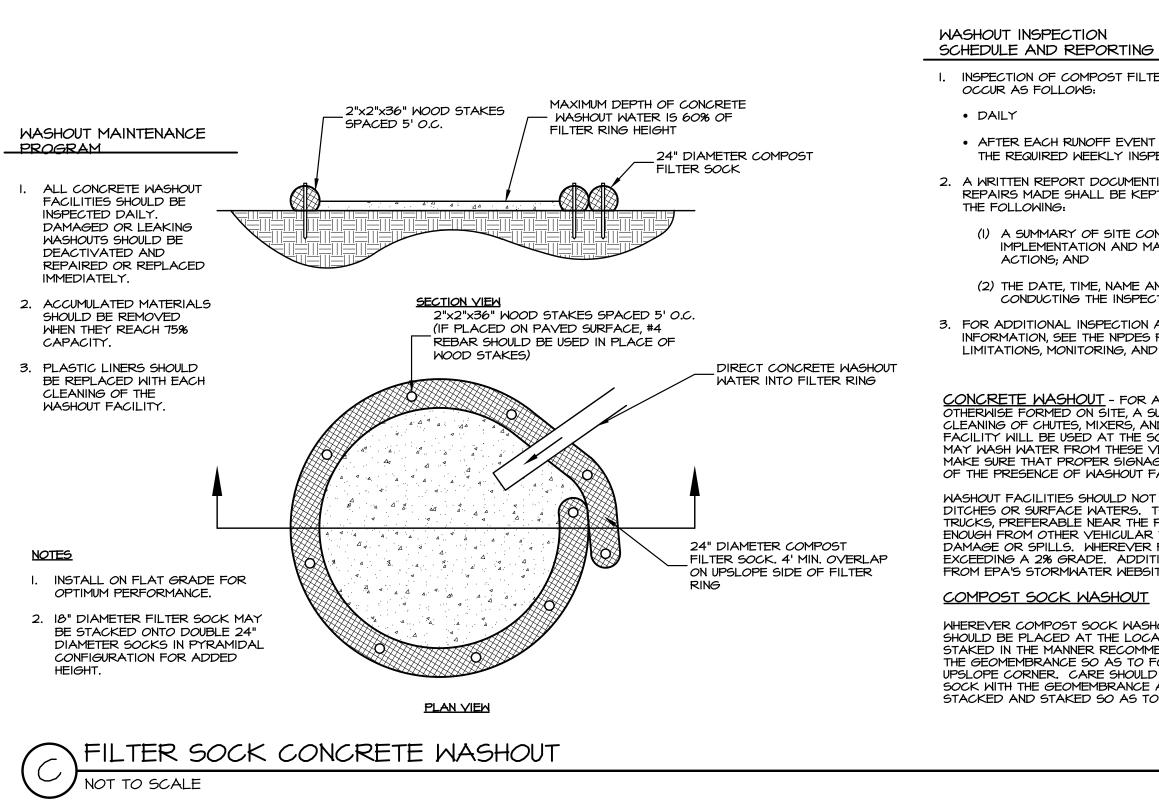
3. IT IS RECOMMENDED THAT THE PAVEMENT SECTION AND OTHER DESIGN CONSIDERATIONS SUCH AS PAVEMENT BASE DRAIN BE DESIGNED BY A GEOTECHNICAL PROFESSIONAL BASED UPON FIELD TESTING OF SOIL SUBGRADE CONDITIONS ANTICIPATED PAVEMENT LOADING, INCLUDING CONSTRUCTION TRAFFIC, AND OTHER APPROPRIATE DESIGN FACTORS. THE PAVEMENT SECTION SPECIFIED ON THIS DETAIL IS PROVIDED WITHOUT A GEOTECHNICAL PROFESSIONAL AND REPRESENTS A STANDARD PAVEMENT SECTION THAT DOES NOT CONSIDER THESE

4. THE SUITABILITY OF THE PAVEMENT SUBGRADE SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL PROFESSIONAL PRIOR TO INSTALLATION OF PAVING SECTION. IF SUBGRADE IS DETERMINED UNSUITABLE BASED UPON COMPACTION, SOIL TYPE, ETC., APPROPRIATE STABILIZATION MEASURES AS RECOMMENDED BY THE GEOTECHNICAL

5. IF ANY PRECIPITATION OCCURS BEFORE STONE SUBBASE INSTALLATION, PAVEMENT SUBGRADE SHALL MUST BE RE-INSPECTED AND APPROVED TO CONFIRM SUITABILITY. 6. SPECIFIC PAVING CRITERIA AS CONTAINED WITHIN PENNDOT PUBLICATION 408 AS IT RELATES TO APPROVED AMBIENT TEMPERATURE FOR PAVING INSTALLATION SHALL







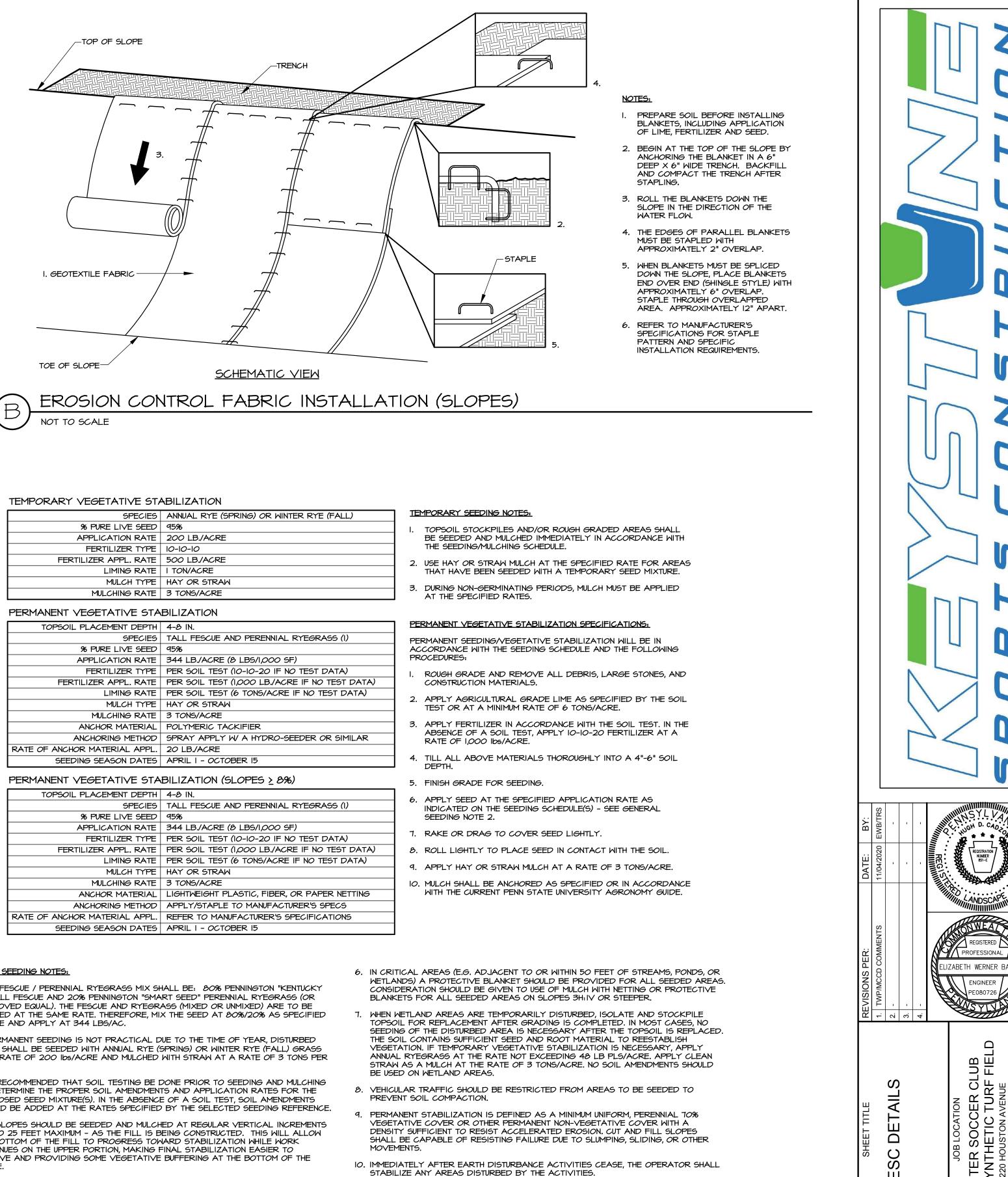
ROCK CONSTRUCTION ENTRANCE INSPECTION SCHEDULE AND REPORTING

- INSPECTION OF ROCK CONSTRUCTION ENTRANCES SHALL OCCUR AS FOLLOWS: WEEKLY
- AFTER EACH RUNOFF EVENT (THIS IS REQUIRED IN ADDITION TO THE REQUIRED WEEKLY INSPECTION)
- 2. A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ANY REPAIRS MADE SHALL BE KEPT AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
 - (I) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
- (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.
- 3. FOR ADDITIONAL INSPECTION AND REPORTING REQUIREMENTS AND INFORMATION, SEE THE NPDES PERMIT CONDITIONS, EFFLUENT LIMITATIONS, MONITORING, AND REPORTING REQUIREMENTS, ITEM NO. 2.A (VISUAL INSPECTIONS) FOUND ON SHEET ESC 10.

SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHOULD BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR

3. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT

4. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT



TEMPORARY VEGETATIVE STABILIZATION

ILMPORARI VLOLIANVL 51	ADILIZATION
SPECIES	ANNUAL RYE (SPRING) OR WINTER RYE (FALL)
% PURE LIVE SEED	95%
APPLICATION RATE	200 LB./ACRE
FERTILIZER TYPE	10-10-10
FERTILIZER APPL. RATE	500 LB./ACRE
LIMING RATE	I TON/ACRE
MULCH TYPE	HAY OR STRAW
MULCHING RATE	3 TONS/ACRE
PERMANENT VEGETATIVE STA	BILIZATION
TOPSOIL PLACEMENT DEPTH	4-8 IN.
SPECIES	TALL FESCUE AND PERENNIAL RYEGRASS (1)
% PURE LIVE SEED	95%
APPLICATION RATE	344 LB./ACRE (& LBS/1,000 SF)
FERTILIZER TYPE	PER SOIL TEST (10-10-20 IF NO TEST DATA)
FERTILIZER APPL. RATE	PER SOIL TEST (1,000 LB./ACRE IF NO TEST DAT,
LIMING RATE	PER SOIL TEST (6 TONS/ACRE IF NO TEST DATA)
MULCH TYPE	HAY OR STRAW
MULCHING RATE	3 TONS/ACRE
ANCHOR MATERIAL	POLYMERIC TACKIFIER
ANCHORING METHOD	SPRAY APPLY W/ A HYDRO-SEEDER OR SIMILAR
RATE OF ANCHOR MATERIAL APPL.	20 LB./ACRE
SEEDING SEASON DATES	APRIL I - OCTOBER 15
PERMANENT VEGETATIVE STA	BILIZATION (SLOPES ≥ 8%)
TOPSOIL PLACEMENT DEPTH	4-8 IN.
SPECIES	TALL FESCUE AND PERENNIAL RYEGRASS (1)
% PURE LIVE SEED	95%
APPLICATION RATE	344 LB./ACRE (& LBS/1,000 SF)
FERTILIZER TYPE	PER SOIL TEST (10-10-20 IF NO TEST DATA)
FERTILIZER APPL. RATE	PER SOIL TEST (1,000 LB./ACRE IF NO TEST DAT,
LIMING RATE	PER SOIL TEST (6 TONS/ACRE IF NO TEST DATA)
MULCH TYPE	HAY OR STRAW
MULCHING RATE	3 TONS/ACRE
ANCHOR MATERIAL	
ANCHORING METHOD	APPLY/STAPLE TO MANUFACTURER'S SPECS

INSPECTION OF COMPOST FILTER SOCK WASHOUT AREA SHALL

• AFTER EACH RUNOFF EVENT (THIS IS REQUIRED IN ADDITION TO THE REQUIRED WEEKLY INSPECTION)

2. A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ANY REPAIRS MADE SHALL BE KEPT AND SHALL INCLUDE, AT A MINIMUM,

(I) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE

(2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

3. FOR ADDITIONAL INSPECTION AND REPORTING REQUIREMENTS AND INFORMATION, SEE THE NPDES PERMIT CONDITIONS, EFFLUENT LIMITATIONS, MONITORING, AND REPORTING REQUIREMENTS.

<u>CONCRETE WASHOUT</u> - FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO RIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.

WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLE NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE. ADDITIONAL INFORMATION ON WASHOUTS MAY BE OBTAINED FROM EPA'S STORMWATER WEBSITE.

WHEREVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANCE SO AS TO FORM A RING WITH ENDS OF THE SOCK LOCATED A THE UPSLOPE CORNER. CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANCE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FOR A TRIANGULAR CROSS-SECTION.

GENERAL SEEDING NOTES:

- . TALL FESCUE / PERENNIAL RYEGRASS MIX SHALL BE: 80% PENNINGTON "KENTUCKY 31" TALL FESCUE AND 20% PENNINGTON "SMART SEED" PERENNIAL RYEGRASS (OR APPROVED EQUAL). THE FESCUE AND RYEGRASS (MIXED OR UNMIXED) ARE TO BE APPLIED AT THE SAME RATE. THEREFORE, MIX THE SEED AT 80%/20% AS SPECIFIED ABOVE AND APPLY AT 344 LBS/AC.
- 2. IF PERMANENT SEEDING IS NOT PRACTICAL DUE TO THE TIME OF YEAR, DISTURBED AREA SHALL BE SEEDED WITH ANNUAL RYE (SPRING) OR WINTER RYE (FALL) GRASS AT A RATE OF 200 Ibs/ACRE AND MULCHED WITH STRAW AT A RATE OF 3 TONS PER ACRE.
- 3. IT IS RECOMMENDED THAT SOIL TESTING BE DONE PRIOR TO SEEDING AND MULCHING TO DETERMINE THE PROPER SOIL AMENDMENTS AND APPLICATION RATES FOR THE PROPOSED SEED MIXTURE(S). IN THE ABSENCE OF A SOIL TEST, SOIL AMENDMENTS SHOULD BE ADDED AT THE RATES SPECIFIED BY THE SELECTED SEEDING REFERENCE.
- 4. FILL SLOPES SHOULD BE SEEDED AND MULCHED AT REGULAR VERTICAL INCREMENTS - 15 TO 25 FEET MAXIMUM - AS THE FILL IS BEING CONSTRUCTED. THIS WILL ALLOW THE BOTTOM OF THE FILL TO PROGRESS TOWARD STABILIZATION WHILE WORK CONTINUES ON THE UPPER PORTION, MAKING FINAL STABILIZATION EASIER TO ACHIEVE AND PROVIDING SOME VEGETATIVE BUFFERING AT THE BOTTOM OF THE SLOPE.
- 5. WHEREVER SEED AND MULCH IS APPLIED BY HYDROSEEDING METHODS, THE SEED AND MULCH SHOULD BE APPLIED IN SEPARATE APPLICATIONS WITH THE SEED BEING APPLIED FIRST AND THE MULCH SPRAYED ON TOP OF THE SEED. THIS IS TO ENSURE THAT THE SEED MAKES CONTACT WITH THE UNDERLYING SOIL. SOIL PREPARATION SHOULD BE COMPLETED PRIOR TO ADDING SEED TO THE HYDROSEEDING EQUIPMENT RUNNING SEED THROUGH THE PUMPING SYSTEM CAN RESULT IN EXCESSIVE ABRASION OF THE SEED AND REDUCE THE PERCENTAGE OF PURE LIVE SEED IN THE APPLICATION. THEREFORE ALL SITE PREPARATION SHOULD BE COMPLETED PRIOR TO THE ARRIVAL OF THE HYDROSEEDER.

GENERAL SEEDING SCHEDULE & NOTES

NO SCALE

. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN I YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

12. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN I YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES.

ABINGTON TOWNSHIP SUBDIVISION/LAND **DEVELOPMENT APPLICATION NO. LD 20-04** ΖíΩ

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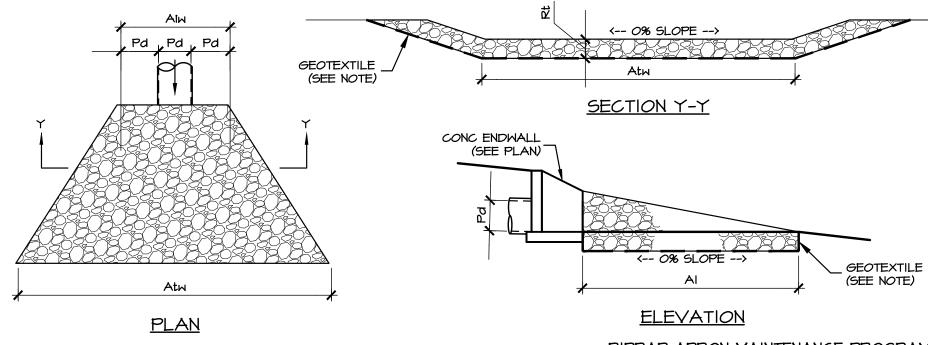
MANAGER: HDC JOB NO. AZ230-002

DRAWN BY: BLS/TRS DATE: AUG. 14, 2020

SHEET NO.

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KEYSTONE SPORTS CONSTRUCTION 180 GORDON DR., SUITE 107 EXTON, PA 19341 www.keyssc.com sales@keyssc.com 1-877-407-4585

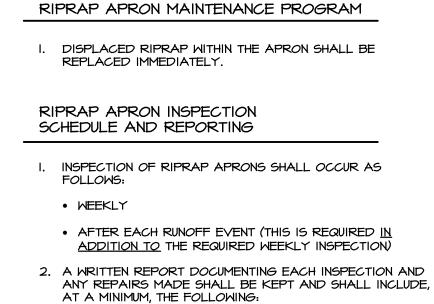


NOTES:

I. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

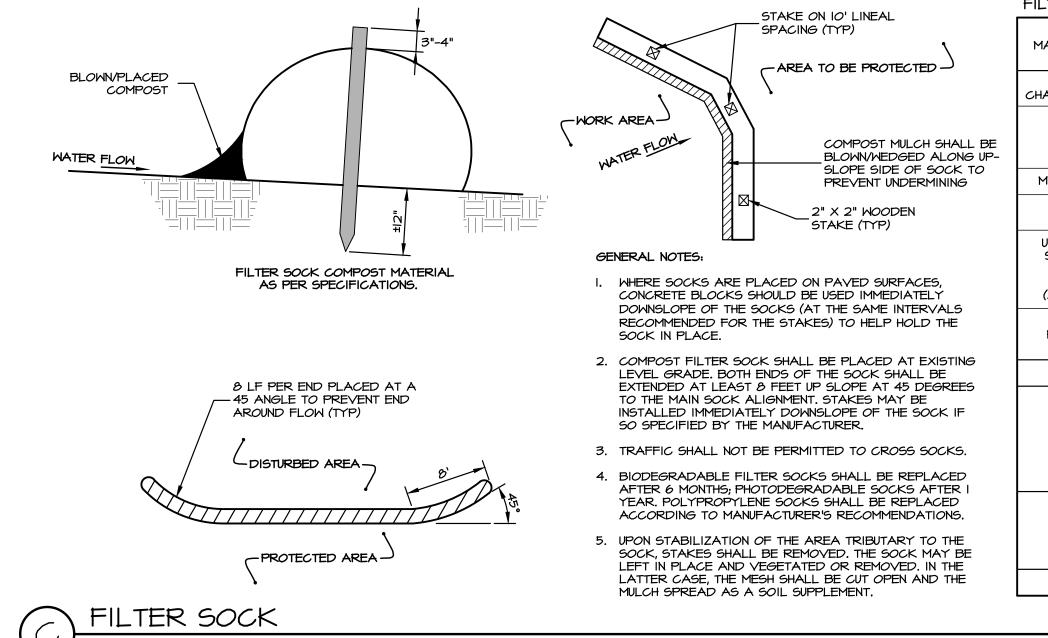
- 2. RIPRAP APRONS SHOULD BE CONSTRUCTED AT OR NEAR ZERO GRADE FROM BACK TO FRONT AND SIDE TO SIDE, WHERE APRONS ARE CONSTRUCTED WITH A GRADIENT BACK TO FRONT, THE ROCK SIZE AND/OR APRON LENGTH SHOULD BE ADJUSTED UPWARDS TO COMPENSATE. IN NO CASE SHOULD RIPRAP APRONS BE CONSTRUCTED WITH A BACK TO FRONT GRADIENT EXCEEDING 5%.
- 3. INSTALL CLASS 2 GEOTEXTILE MATERIAL BETWEEN RIPRAP AND SUBGRADE.
- 4. USE THIS CONFIGURATION FOR ALL RIPRAP PLACEMENT AT OUTLET STRUCTURES UNLESS OTHERWISE NOTED.

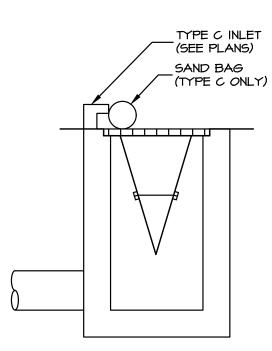
	PIPE DIA.	RIPRAP		APRON		
OUTLET NO.	(Pd) (IN)	SIZE (R)	THICKNESS Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH AIw (FT)	TERMINAL WIDTH Atw (FT)
Temp	12	R-3	6"	В	3	II



- (I) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
- (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

A RIPRAP APRON DETAIL (W/ ENDWALL)



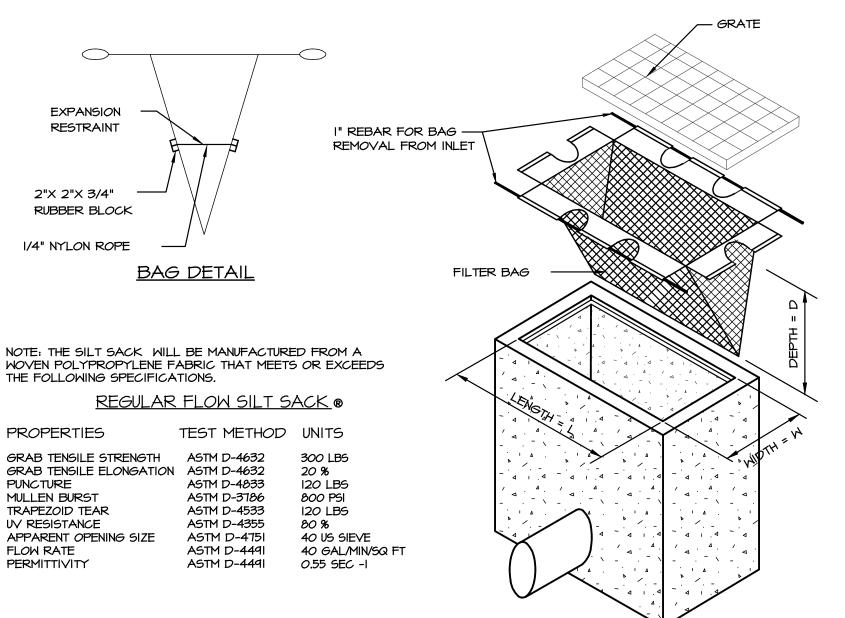


INSTALLATION DETAIL

NOTES:

- I. MAXIMUM DRAINAGE AREA= .5 ACRE
- 2. BERMS REQUIRED FOR ALL INSTALLATIONS. EARTHEN BERM TO BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX-INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTILL ROADWAY SURFACE RECEIVES FINAL COAT.





THE FOLLOWING SPECIFICATIONS.

<u>REGULAR</u>	<u>FLOW SILT Si</u>	<u>AC</u>
PROPERTIES	TEST METHOD	U
GRAB TENSILE STRENGTH GRAB TENSILE ELONGATION PUNCTURE MULLEN BURST TRAPEZOID TEAR UV RESISTANCE APPARENT OPENING SIZE FLOW RATE PERMITTIVITY	ASTM D-4632 ASTM D-4632 ASTM D-4833 ASTM D-3786 ASTM D-4533 ASTM D-4355 ASTM D-4751 ASTM D-4491 ASTM D-4491	30 20 120 80 120 80 40 40

FILTER SOCK FABRIC MINIMUM SPECIFICATIONS

TER SOCK FABRIC MINIMUM SPECIFICATIONS						
1ATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)	
MATERIAL IARACTERISTICS	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	
SOCK DIAMETERS	2" &"	2" &" 24" 32"	2" &" 24" 32"	2" 8" 24" 32"	2" &" 24" 32"	
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"	
TENSILE STRENGTH		26 psi	26 psi	44 psi	202 psi	
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 hr.	23% AT 1000 hr.		100% AT 1000 hr.	100% AT 1000 hr.	
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	I YEAR	2 YEARS	
TWO-PLY SYSTEMS						
			HDPE BIAXIAL NET			
		CONTINUOUSLY WOUND				
INNER CONTAINMENT NETTING		FUSION-WELDED JUNCTURES				
		3/4" X 3/4" MAX. APERTURE SIZE				
OUTER FILTRATION MESH		COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)				
			3/16" MAX. APERTURE SIZE			

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

COMPOST NOTES:

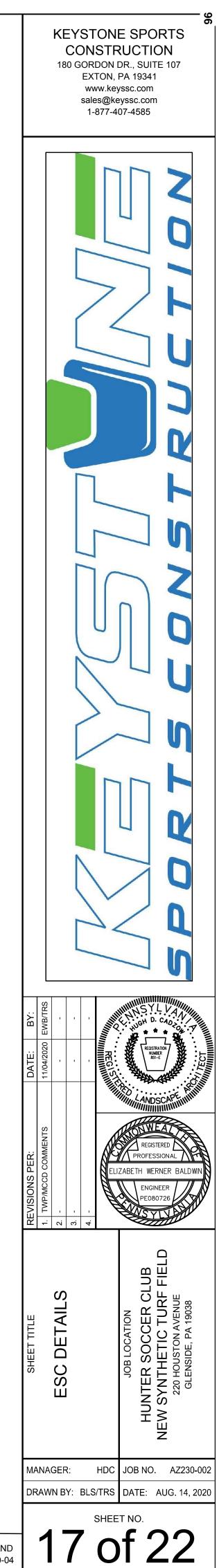
- COMPOST SHOULD BE A WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WORK/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE ORGANIC COMPOST OF THE MIX.
- 2. USE ONLY MATURE COMPOST THAT MEETS THE FOLLOWING SPECIFICATIONS. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.

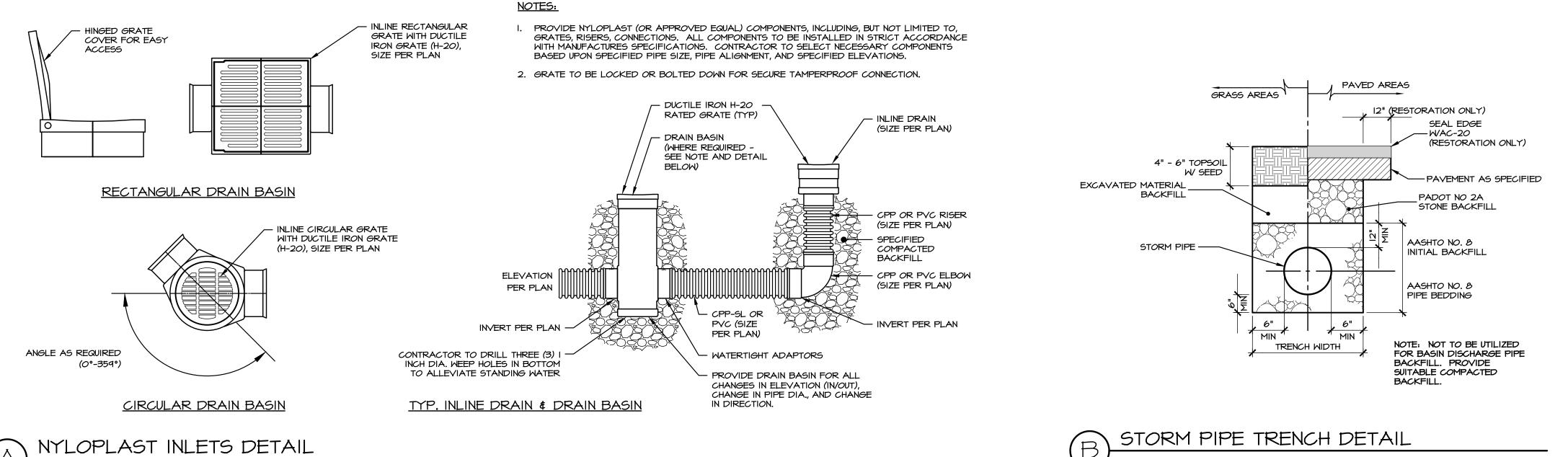
COMPOST STANDARDS

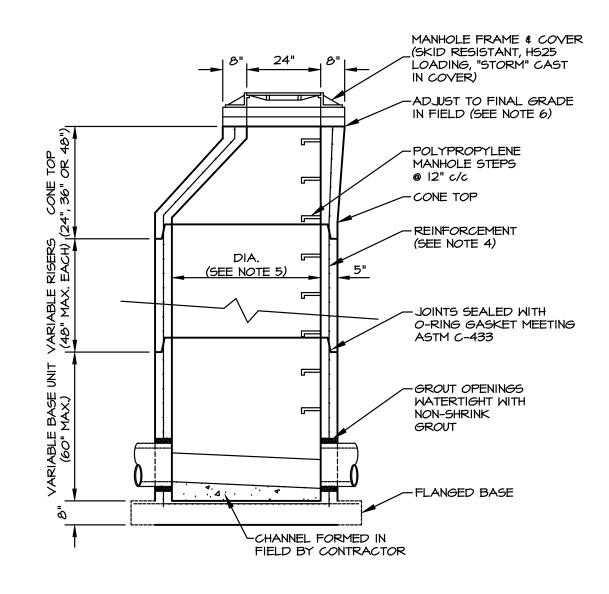
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
рH	5.5 - <i>8.</i> 5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30%-50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

FILTER SOCK MAINTENANCE PROGRAM

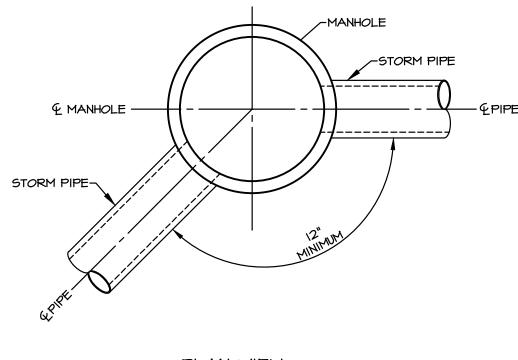
- I. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF OF THE ABOVEGROUND HEIGHT OF THE SOCK. DISPOSE OF SEDIMENT REMOVED FROM THE FILTER SOCK IN AREAS WITHIN THE LIMIT OF DISTURBANCE REQUIRING FILL MATERIAL OR
- LEGALLY DISPOSE OFFSITE. FILTER SOCK INSPECTION SCHEDULE AND REPORTING
- I. INSPECTION OF COMPOST FILTER SOCKS SHALL OCCUR AS FOLLOWS:
- WEEKLY AFTER EACH RUNOFF EVENT (THIS IS REQUIRED IN ADDITION TO THE REQUIRED WEEKLY INSPECTION)
- 2. A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ANY REPAIRS MADE SHALL BE KEPT AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
 - (I) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
 - (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.







SECTION VIEW



PLAN VIEW

NO SCALE

PRECAST STORM SEWER MANHOLE

<u>NOTES:</u>

I. MANHOLE BASED UPON TERRE HILL CONCRETE PRODUCTS, TERRE HILL, PA (800-242-1509). USE ONLY PADOT MANHOLES CONSTRUCTED IN ACCORDANCE WITH PADOT PUBLICATION 72, RC-39 STANDARD, WHERE PERFORMING WORK IN PADOT RIGHTS-OF-WAY.

2. ALL PRECAST MANHOLES SHALL MEET THE REQUIREMENTS OF ASTM-C478. 3. ALL CONCRETE SHALL CONFORM TO PADOT PUBLICATION 408, SECTION 714, CLASS

4. PROVIDE REINFORCEMENT IN ACCORDANCE WITH PADOT PUBLICATION 72, RC-39

STANDARD. 5. THE DIAMETER OF THE MANHOLES PROVIDED SHALL BE BASED UPON PROVIDING A

MINIMUM OF 12-INCHES OF HORIZONTAL SEPARATION BETWEEN OPENINGS LOCATED AT THE SAME DEPTH. PIPES NOT LOCATED AT THE SAME DEPTH MUST BE LOCATED VERTICALLY AT LEAST ONE TIMES THE MAXIMUM OPENING DIAMETER APART WHERE THE HORIZONTAL SEPARATION IS NOT PROVIDED. IN ALL CASES, THE MAXIMUM PIPE SIZE AND OPENING IN PRECAST MANHOLES SHALL BE AS FOLLOWS:

MANHOLE DIA.	MAXIMUM PIPE SIZE	MAXIMUM OPENING
4'-0"	2'-6"	3'-2"
5'-0"	3'-6"	4'-2"
6'-0"	6'-0"	6'-8"

6. ADJUST MANHOLE TO FINAL GRADE WITH PRECAST CONCRETE GRADING RINGS. MAXIMUM ADJUSTMENT IS 12-INCHES.

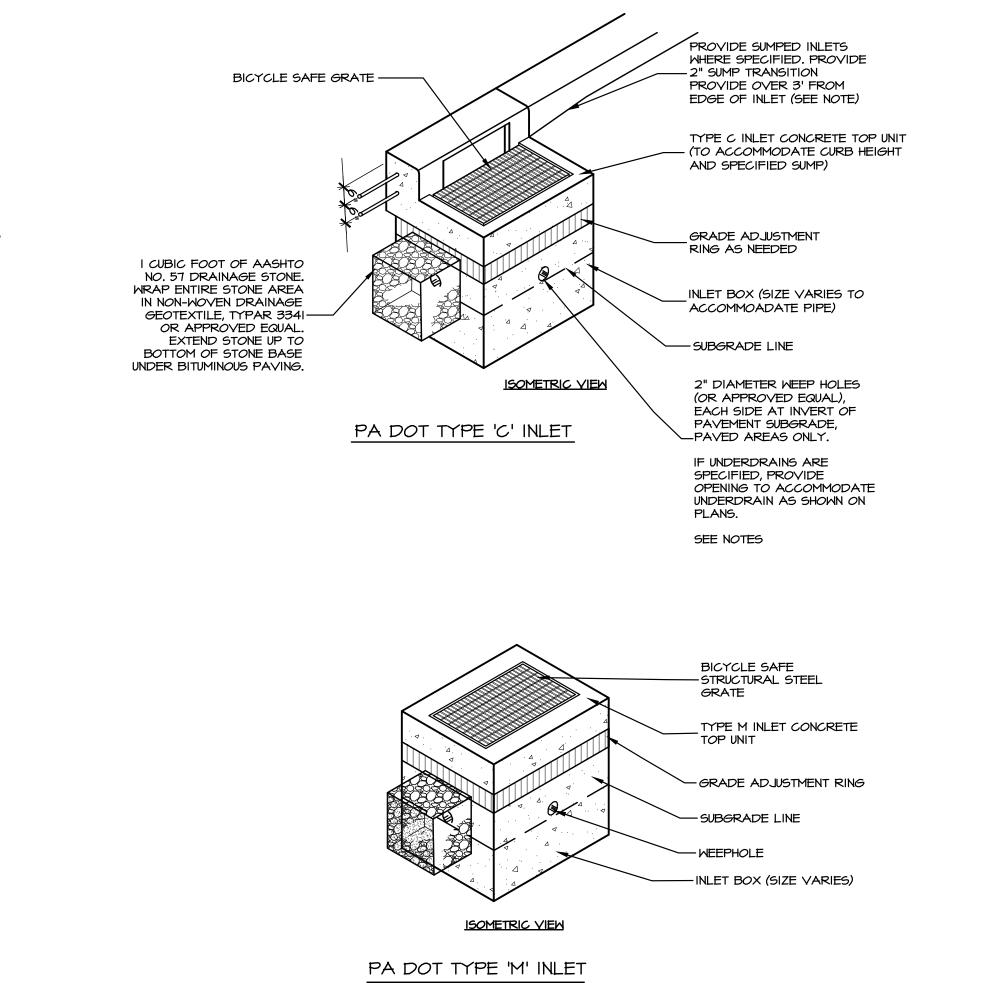
7. PROVIDE GRADE ADJUSTMENT RISERS OF ADJUSTABLE INSERTS IN ACCORDANCE WITH PADOT PUBLICATION 72, RC-39 STANDARD. LOCATE TOP OF FRAME OF ADJUSTMENT RISER 1/8" BELOW THE TOP OF THE ROADWAY SURFACE. 8. FRAME AND/OR PRECAST CONCRETE GRADE RINGS TO BE ATTACHED RIGIDLY TO THE TOP OF THE MANHOLE WITH THREADED STUDS IN ACCORDANCE WITH PADOT PUBLICATION 72, RC-39 STANDARD. THE BASE OF THE FRAME AND/OR PRECAST

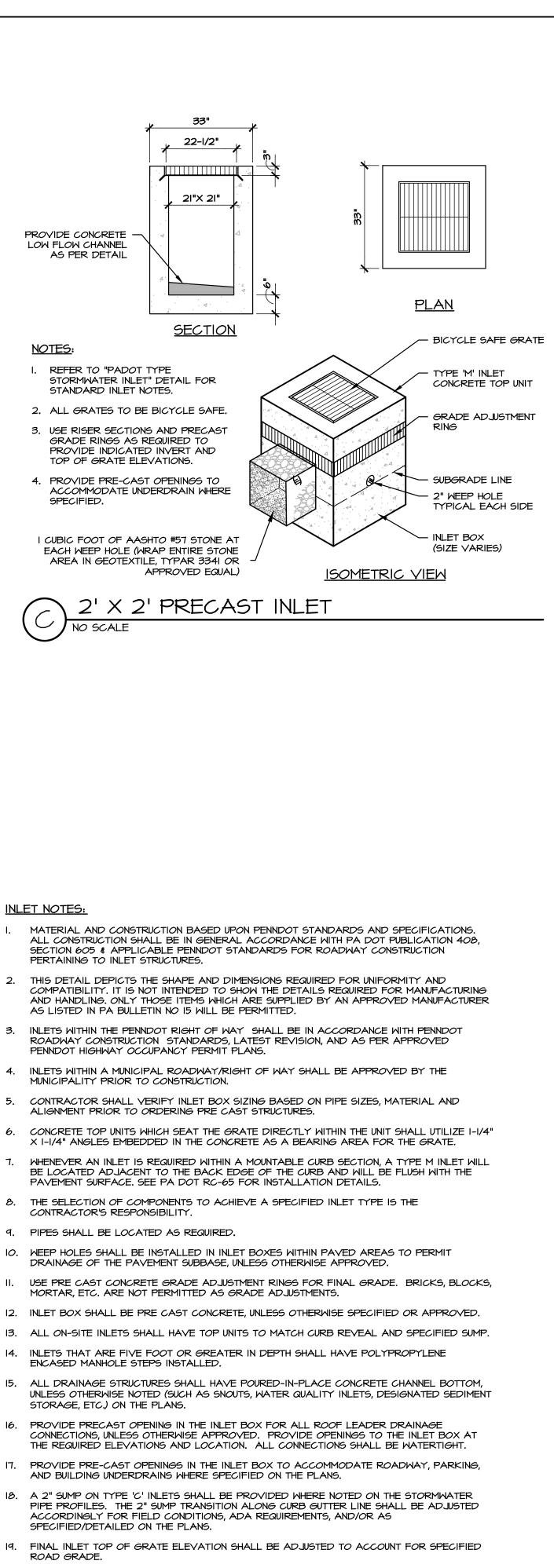
CONCRETE GRADE RINGS TO BE SET IN A BED OF CEMENT MORTAR. 9. SEAL ALL JOINTS BETWEEN MANHOLE SECTIONS WITH "RAMNEK" OR EQUAL SEALANT.

IO. ALL PROPOSED AND EXISTING ROOF LEADER DRAINAGE CONNECTIONS TO BE CORE-BORED INTO THE MANHOLE AT THE REQUIRED ELEVATION AND LOCATION AND ATTACHED WITH A WATERTIGHT CONNECTION.

II. CONTRACTOR SHALL VERIFY MANHOLE SIZING BASED ON PIPE SIZES, MATERIAL, AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.

12. THIS STANDARD DEPICTS THE SHAPE AND DIMENSIONS REQUIRED FOR UNIFORMITY AND COMPATIBILITY. IT IS NOT INTENDED TO SHOW THE DETAILS REQUIRED FOR MANUFACTURING AND HANDLING. ONLY THOSE ITEMS WHICH ARE SUPPLIED BY AN APPROVED MANUFACTURER AS LISTED IN PA BULLETIN NO. 15 WILL BE PERMITTED.





20. GROUT OPENINGS AROUND PIPE CONNECTIONS TO PROVIDE A WATERTIGHT JOINT. USE NON-SHRINK GROUT ON INSIDE & OUTSIDE OF STRUCTURE.

21. ALL JOINTS ADJACENT TO BITUMINOUS PAVING SHALL BE SEALED WITH PG64-22. 22. PROVIDE 2'X6' INLET BOXES, DOUBLE 2'X4' BOXES, ETC. WHERE NOTED ON THE PLAN. 23. CONSULT THE PLANS FOR ANY SPECIFIC SUMP REQUIREMENTS FOR TYPE 'M' INLETS

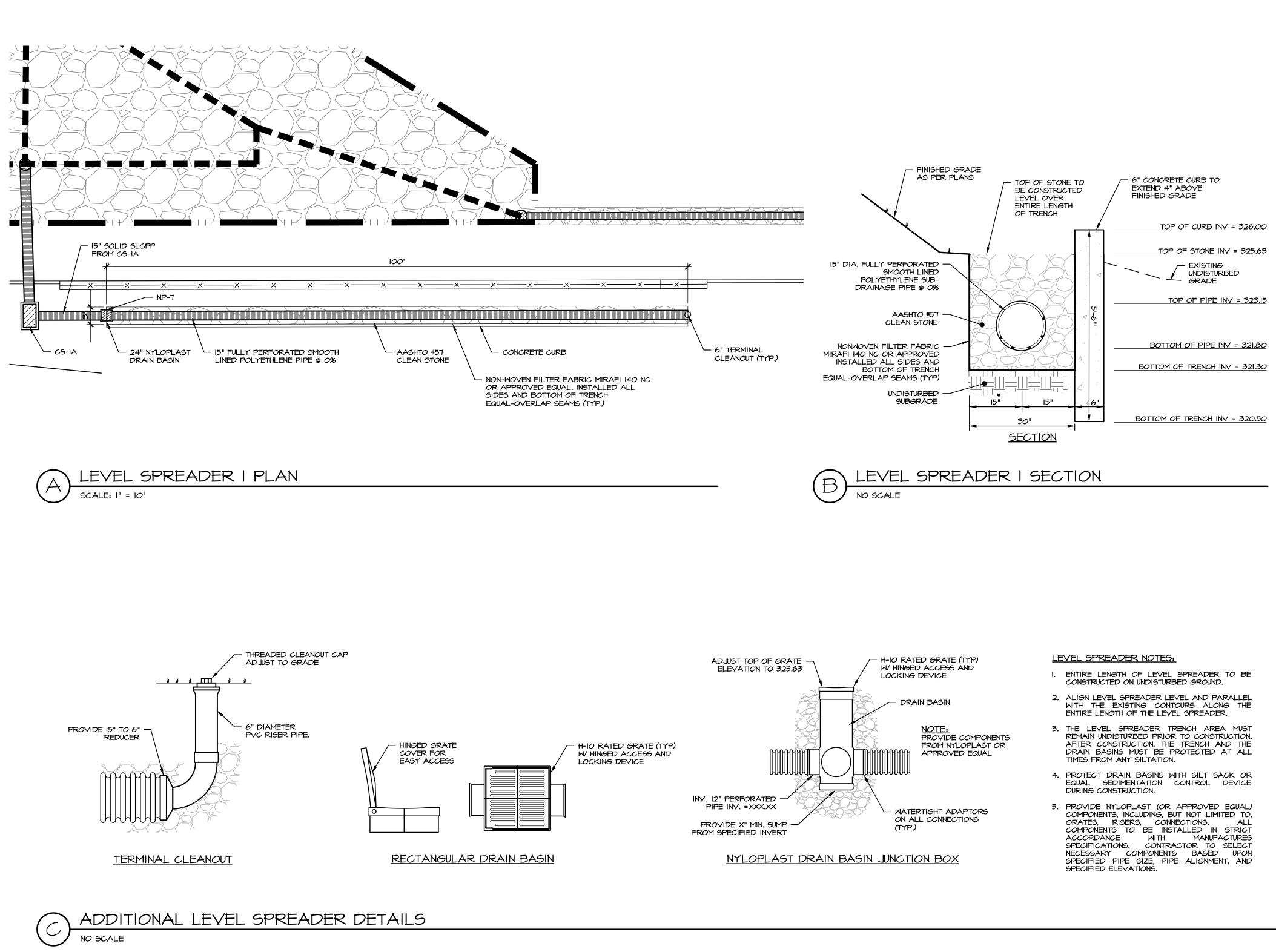
LOCATED IN A SAG CONDITION.

1-877-407-4585 ABETH WERNER BA ENGINEER ₩ ~ ~ ~ ~ ~ ЫF D ЕR IWA' トロ ШΖа $\leq \infty$ \cap ĭ ≥ $(\cap$ MANAGER: HDC JOB NO. AZ230-002 DRAWN BY: BLS/TRS DATE: AUG. 14, 2020

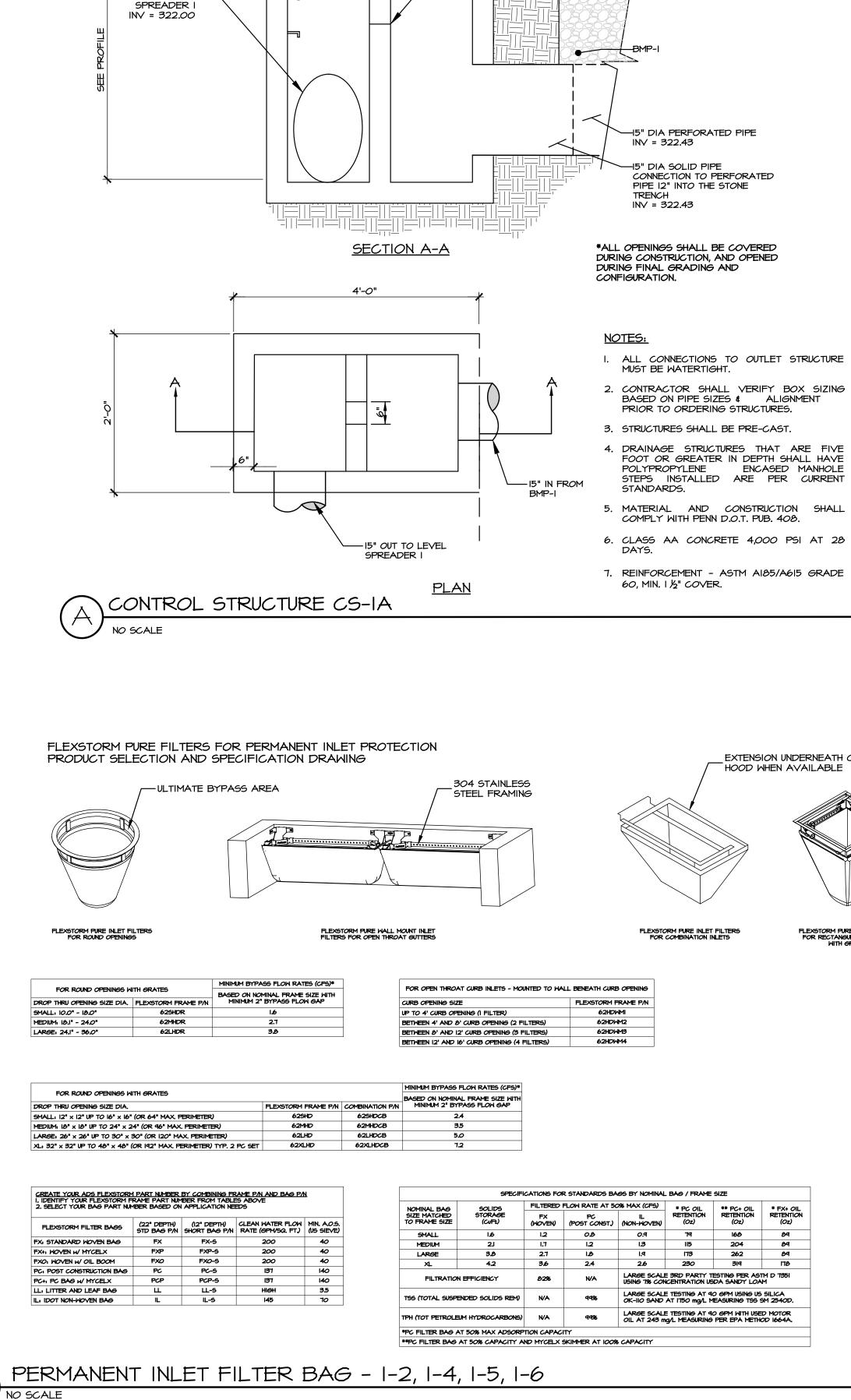
SHEET NO.

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KEYSTONE SPORTS CONSTRUCTION 180 GORDON DR., SUITE 107 EXTON, PA 19341 www.keyssc.com sales@keyssc.com







GRATE TOP - NEENAH -

R-3574 GRATE TOP OR APPROVED EQUAL.

15" PIPE *O*UT TO LEVEL

- PROVIDE 2X4 SHALLOW BOX AND GRATE MODIFICATIONS.

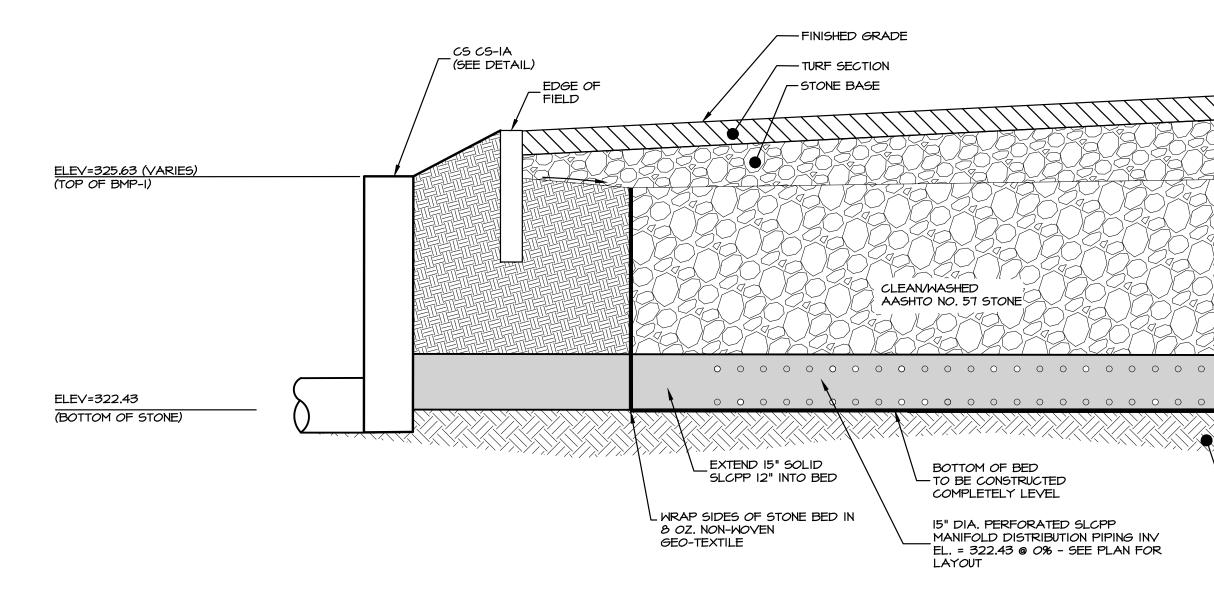
TOP OF GRATE INV. ELEV. = 325.63

2' ELEV. = 324.58

0.5' NOTCH ELEV. = 324.43

SUB-SURFACE BASIN NOTES:

- I. ALL STORMWATER PIPES, JOINTS, AND CONNECTIONS TO STRUCTURES SHALL BE CONSTRUCTED WATERTIGHT. 2. THE UNDERGROUND STORAGE SYSTEM IS NOT DESIGNED TO RECEIVEE OR ACCOMMODATE CONSTRUCTION TRAFFIC OR LOADING. THE CONTRACTOR SHALL ENSURE PROTECTION OF ALL COMPONENTS OF THE UNDERGROUND STORAGE SYSTEM DURING CONSTRUCTION.
- THE SUB-SURFACE SYSTEM SHALL BE CONSTRUCTED IN THE APPROVED LOCATION UNLESS OTHERWISE APPROVED.
 FIELD VERIFICATION OF THE SUB-GRADE CONDITIONS SHOULD BE FURTHER VERIFIED BY
- THE AUTHORIZED GEOTECHNICAL REPRESENTATIVE DURING CONSTRUCTION.

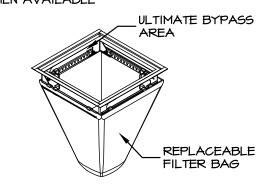


INFILTRATION FACILITY INFORMATION

	BED NO.	HARGE INFILTRATION ED NO. AREA	IMPERVI <i>OUS</i> AREA	DRAINAGE AREA	LOADING RATIO (O)	LOADING RATIO (I)	INFILTRATI <i>O</i> N RATE (MIN.)
BMP-1 8,500 SF 6098 SF 84,506 SF 9.9 : 1 0.72:1 0.53 INCHE	BMP-I	BMP-1 8,500 SF	6098 SF	84,506 SF	9.9 : 1	0.72:1	0.53 INCHES/HR

STORMWATER INFILTRATION BASIN (BMP-I) CROSS SECTION В NO SCALE

EXTENSION UNDERNEATH CURB



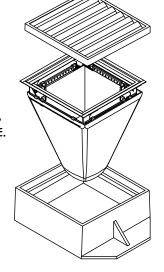
FLEXSTORM PURE INLET FILTERS FOR RECTANGULAR OPENINGS WITH GRATES

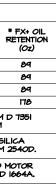
NOTES:

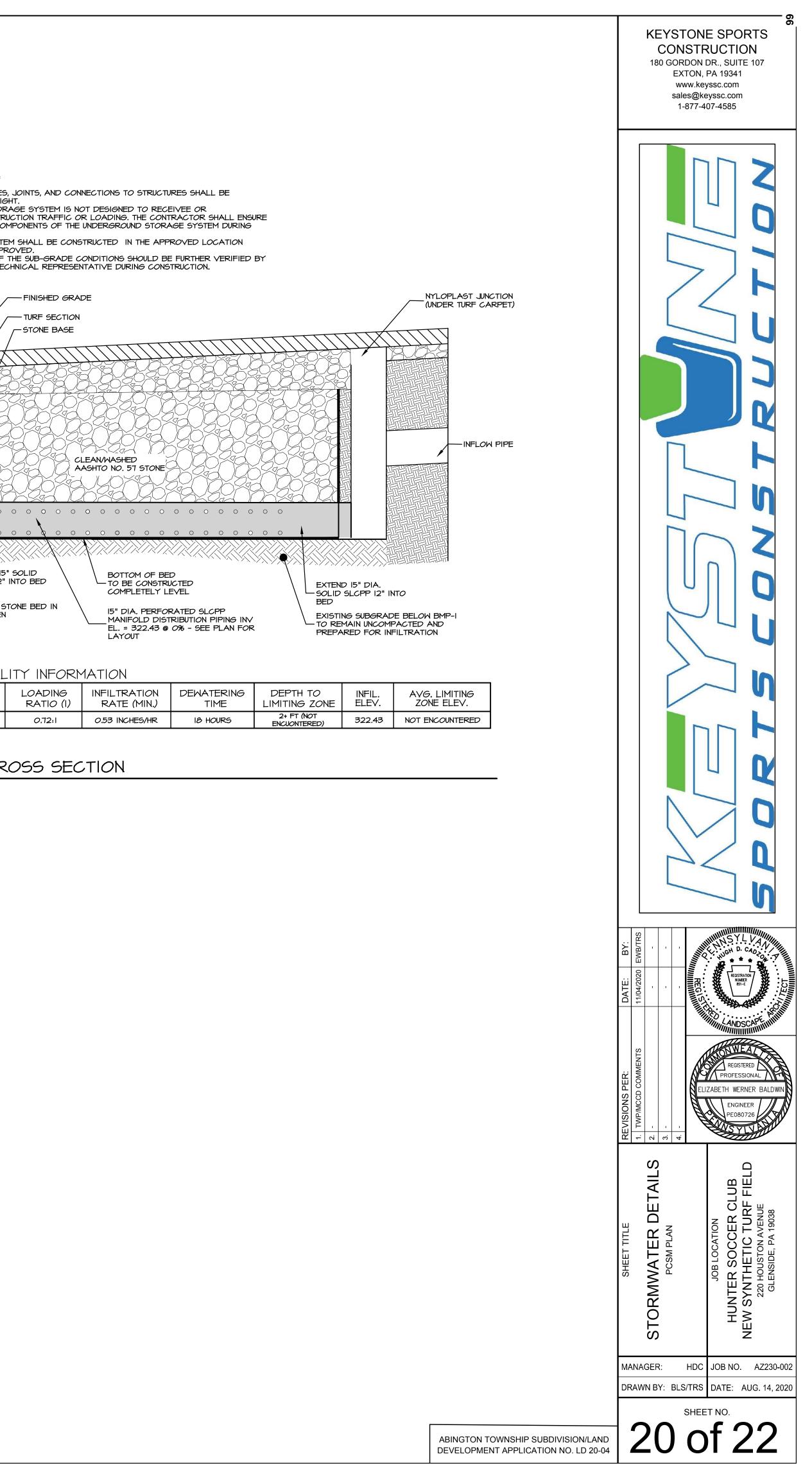
- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
- 2. TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE, FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
- 3. UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- 4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

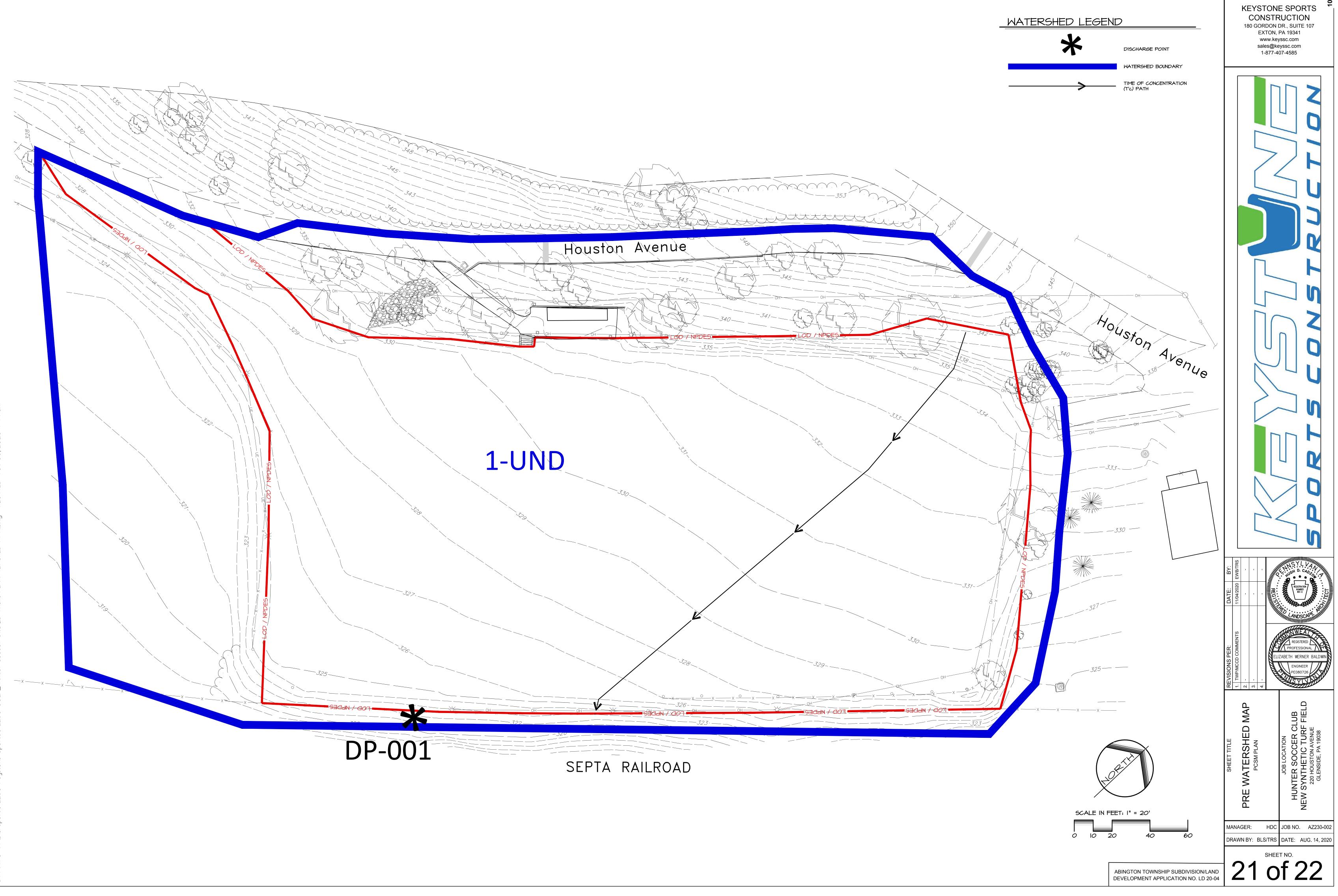
INSTALLATION NOTES:

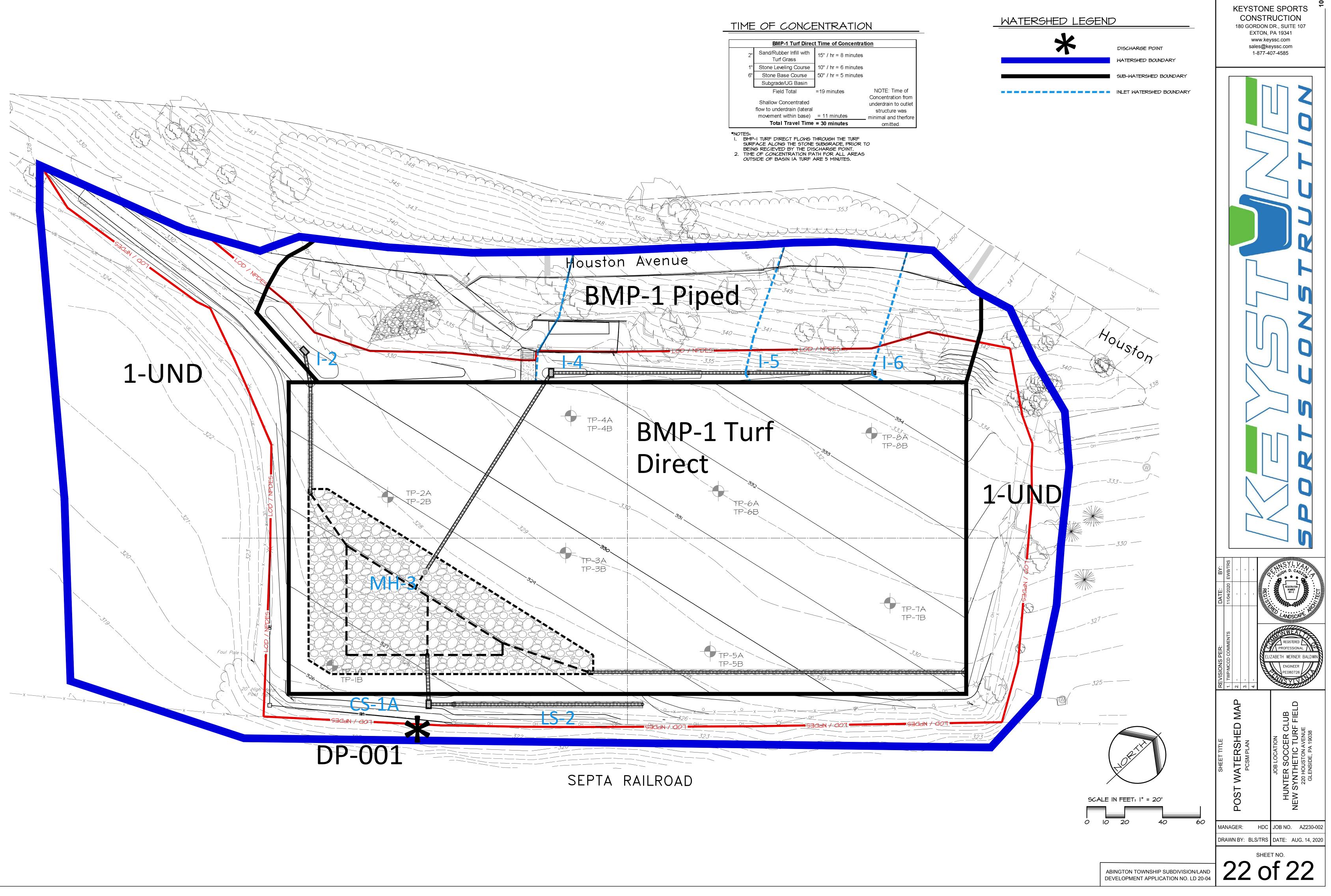
- REMOVE GRATE. DROP FLEXSTORM INLET 2.
- FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE.
- REPLACE GRATE. З.













November 6, 2020

Abington Township Attn: Richard Manfredi, Manager 1176 Old York Road Abington, PA 19001

RE: Hunter Soccer Club New Synthetic Turf Field Preliminary/Final Land Development Plan Review Response/Submission #2 LD 20-04 Abington Township, Montgomery County, Pennsylvania

Dear Mr. Manfredi:

On behalf of the Applicant, Hunter Soccer Club, ELA Group, Inc. (ELA) is submitting for your review our response to Boucher & James, Inc., October 16, 2020 Review Letter.

Please find the following items as they pertain to this plan resubmission:

- Two (2) full sets of the Final Land Development Plans (Sheets 1 through 22), as revised 11/4/2020
- Two (2) copies of the Post Construction Stormwater Management Report dated 11/4/2020
- One (1) Cost Estimate, dated 11/4/2020
- One (1) copy of the NPDES Submission Document and Review Response Letter.

Modifications Requested:

As described through multiple communications, this project site has challenges associated with the existing parcel not being consolidated and made up of hundreds of individual parcels. We respectfully request the following modifications from the Abington Township Subdivision and Land Development Ordinance:

1. <u>Section 146-11.A(Subsections .3 / .4 / .5 / .6 / .7 / .8 – Modification for Property Identification</u> <u>Plan Information - Modified</u>

The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited deed and property information available. To complete this requirement in full, an extensive survey and title report would be required well beyond the scope of the project. Some subsections of this section that cannot be determined without a complete survey will require modification requests. The subsection are listed above. The primary justification for our requests is that the scope of the project is limited to a smaller area of the Township park. An additional reason for the request is that the work is simply replacing the surface of an existing use (athletic

field) and providing paved access not requiring buildings or other improvements. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area.

2

2. <u>Section 146-11.B(Subsections .1 / .2 / .3 / .4 / .5 / .6 / .7 – Modification for Existing Features</u> <u>Plan Information</u>

The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited information. To complete this requirement, such an extensive survey and title report would be required well beyond the scope of the project. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area. Most of the information in this section is provided in our "project area".

3. <u>Section 146-43.C(3)(a) – Modification for Slopes Steeper than 15%</u>

3:1 (33%) slopes are proposed in the left corner of the proposed field, in order to tie into existing grades. Existing grades in this area range from 33%-50%, therefore tying into existing generates a slope resembling the existing grade. To prevent erosion, the cut slope is being lined with matting to allow proper establishment of grass cover in this area.

REVIEW COMMENTS:

Boucher and James, Inc. review comments, as they appear in their 10/16/2020 letter, are listed below and are each accompanied by a brief description in *bold* of how the issue has been resolved.

Subdivision and Land Development Ordinance Comments

- 1. In accordance with Section 146-9, preliminary plan approval is required prior to the submission of a final plan. We do not believe this is applicable as the proposed development does not propose transfer of any land. This request may be removed from the list of modifications on Sheet 1 and the list of Waivers Requested on the cover letter. *This modification request has been removed as directed.*
- 2. In accordance with Sections 146-11.A.(3) and 146-11.B.(1), a complete boundary survey must be provided. Waivers are requested from Sections 146-11.A.(3) and 146- 11.B.(1) to not be required to provide a complete boundary survey on the Plans. The request indicates the property to be developed consists of hundreds of small parcels and an extensive survey would be required to comply with this section. In addition, the list of Modifications on Sheet 1 and the list of Waivers Requested in the cover letter must be revised to reference Sections 146-11.A.(3) and 146-11.B.(1). This resubmission includes requesting a modification from Sections 146-11.A and 146-11.B as outlined above. The plans have been updated accordingly. See above

for modification request justification.

3. In accordance with Sections 146-11.A.(4) and 146.11.B.(3), the existing properties, with owners and tax parcel numbers within 400-feet of the project site, must be shown on the plan. Waivers are requested from Sections 146-11.A.(4) and 146-11.B.(3) in order to not be required to provide the above information.

At a minimum, the tax parcel information and property boundaries of immediately adjacent properties shall be provided on the plan. This information can be provided on the aerial photograph referenced in Comment 11.

3

In addition, the list of Modifications on Sheet 1 and the list of Waivers Requested in the cover letter must be revised to referenced Sections 146-11.A.(4) and 146-11.B.(3). A modification of Section 146-11.A and 146-11.B has been requested as outlined above. The specific project area is located within the overall park property on multiple parcels. The adjacent property to the South, is the Septa Railyard. The Septa property information is listed as "not available" through the Montgomery County Parcel ID viewer. An assumed boundary is located on the plans. Extensive deed research would need to be completed to compile the above required information, therefore as much information is shown as possible.

It should be noted that proposed work is within the same use/ disturbance area of existing fields. The work is within the boundary of the existing park lighting that runs along the septa rail therefore it is assumed all work is within the Townships property.

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7. In accordance with Section 146.11.A.(10), the zoning classification applicable to the tract along with all zoning boundaries that traverse or are within 400 feet of the tract, together with a citation of any variances or special exceptions which may have been granted for or affecting the site must be shown on the plans. The Plans must be revised accordingly. The zoning information of boundaries that traverse the site have been provided on the cover sheet aerial photograph. We are not aware of any variances or special exceptions that may have been granted for or affecting the site.

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- 10. In accordance with Section 146-11.B.(6), the location, size, ownership and purpose of all rights-of-way and easements located within the property boundaries must be shown on the Plans.

A modification of Section 146-11.A and 146-11.B has been requested as outlined above. No known easements are located within our project boundaries.

11. In accordance with Section 146-11.B.(7), existing waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights located on and within 400 feet of the project site must be shown on the plan, or a Waiver will be required. If a Waiver is requested the revised plan must be accompanied by an aerial photograph with the project site delineated and showing existing features within 400-feet.

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The easement plan has been further delineated and the requested note has been added to plan sheet 9 of 22.

13. In accordance with Section 146-11.E.(2), an erosion and sedimentation control narrative must be submitted.

This was discussed with M. Prugar via email on October 23, 2020 – this comment is no longer applicable. Per her request, copies of the NPDES submission are included in this re-submission. It should be noted that due to the NPDES submission, POA 1 has been modified to be DP-001, and Basin 1A has been modified to read BMP-1.

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 - a. CO-1 and CO-2 must be labeled in plan view on the Stormwater Plan & Profiles. CO-1 and CO-2 have been labeled in plan view on Sheet 12 of 22. It should be noted that CO-2 has now been modified to NP-11.
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- 16. The Recording Notation in Section 146-12.E.(1) must be provided on the Cover Sheet (Sheet 1 of 22). *The recording notation in Section 146-12.E(1) has been provided on the Cover Sheet, Sheet 1 of 22.*
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Stormwater Management Ordinance Comments

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- 21. The Stormwater Management Signature Block on the Cover sheet (Sheet 1 of 22) must be replaced with the signature block in Section 302.A.14. *The Stormwater Management Signature block has been added to Cover Sheet, 1 of 22.*

22. The Design Engineer certification in Section 302.B.26 must be provided on the Cover Sheet (Sheet 1 of 22). *The Stormwater Management Certification has been revised per Section 302.B.26 on the Cover Sheet, 1 of 22.*

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- 23. The travel path for the Post Development Time of Concentration must be shown on the Post Watershed Map Plan (Sheet 22 of 22).*Time of Concentrations for Post Development Flow have been indicated further on the Post Watershed Map, Sheet 22 of 22.*
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Retaining Wall detail on Sheet 15. The note has been added to the Concrete Retaining Wall detail on Sheet 15 of 22.

31. All comments received from the traffic engineer, shade tree commission, and fire marshal must be addressed to their satisfaction. *Noted.*

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32. The Abington Township Subdivision/Land Development Application number (LD 20-04) must be added to all plan sheets. *The Abington Township Subdivision /Land Development Application Number has been added to all plan sheets in the lower right corner, by the sheet number.*

If you have any questions or require any further information, please do not hesitate to contact me directly.

Sincerely, **ELA GROUP, INC.**

Elizabeth W. Baldwin, P.E. Project Manager Corporate Office

C.C. 1 copy of all documents sent via mail to: Maryellen Saylor, P.E., Boucher and James 1456 Ferry Road, Building 500 Doylestown, PA 18901 Ph. 215-345-9400

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November 6, 2020

Abington Township Attn: Richard Manfredi, Manager 1176 Old York Road Abington, PA 19001

RE: Hunter Soccer Club New Synthetic Turf Field Preliminary/Final Land Development Plan Review Response/Submission #2 LD 20-04 Abington Township, Montgomery County, Pennsylvania

Dear Mr. Manfredi:

On behalf of the Applicant, Hunter Soccer Club, ELA Group, Inc. (ELA) is submitting for your review our response to Boucher & James, Inc., October 16, 2020 Review Letter.

Please find the following items as they pertain to this plan resubmission:

- Two (2) full sets of the Final Land Development Plans (Sheets 1 through 22), as revised 11/4/2020
- Two (2) copies of the Post Construction Stormwater Management Report dated 11/4/2020
- One (1) Cost Estimate, dated 11/4/2020
- One (1) copy of the NPDES Submission Document and Review Response Letter.

Modifications Requested:

As described through multiple communications, this project site has challenges associated with the existing parcel not being consolidated and made up of hundreds of individual parcels. We respectfully request the following modifications from the Abington Township Subdivision and Land Development Ordinance:

1. <u>Section 146-11.A(Subsections .3 / .4 / .5 / .6 / .7 / .8 – Modification for Property Identification</u> <u>Plan Information - Modified</u>

The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited deed and property information available. To complete this requirement in full, an extensive survey and title report would be required well beyond the scope of the project. Some subsections of this section that cannot be determined without a complete survey will require modification requests. The subsection are listed above. The primary justification for our requests is that the scope of the project is limited to a smaller area of the Township park. An additional reason for the request is that the work is simply replacing the surface of an existing use (athletic

field) and providing paved access not requiring buildings or other improvements. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area.

2

2. <u>Section 146-11.B(Subsections .1 / .2 / .3 / .4 / .5 / .6 / .7 – Modification for Existing Features</u> <u>Plan Information</u>

The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited information. To complete this requirement, such an extensive survey and title report would be required well beyond the scope of the project. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area. Most of the information in this section is provided in our "project area".

3. <u>Section 146-43.C(3)(a) – Modification for Slopes Steeper than 15%</u>

3:1 (33%) slopes are proposed in the left corner of the proposed field, in order to tie into existing grades. Existing grades in this area range from 33%-50%, therefore tying into existing generates a slope resembling the existing grade. To prevent erosion, the cut slope is being lined with matting to allow proper establishment of grass cover in this area.

REVIEW COMMENTS:

Boucher and James, Inc. review comments, as they appear in their 10/16/2020 letter, are listed below and are each accompanied by a brief description in *bold* of how the issue has been resolved.

Subdivision and Land Development Ordinance Comments

- 1. In accordance with Section 146-9, preliminary plan approval is required prior to the submission of a final plan. We do not believe this is applicable as the proposed development does not propose transfer of any land. This request may be removed from the list of modifications on Sheet 1 and the list of Waivers Requested on the cover letter. *This modification request has been removed as directed.*
- 2. In accordance with Sections 146-11.A.(3) and 146-11.B.(1), a complete boundary survey must be provided. Waivers are requested from Sections 146-11.A.(3) and 146- 11.B.(1) to not be required to provide a complete boundary survey on the Plans. The request indicates the property to be developed consists of hundreds of small parcels and an extensive survey would be required to comply with this section. In addition, the list of Modifications on Sheet 1 and the list of Waivers Requested in the cover letter must be revised to reference Sections 146-11.A.(3) and 146-11.B.(1). This resubmission includes requesting a modification from Sections 146-11.A and 146-11.B as outlined above. The plans have been updated accordingly. See above

for modification request justification.

3. In accordance with Sections 146-11.A.(4) and 146.11.B.(3), the existing properties, with owners and tax parcel numbers within 400-feet of the project site, must be shown on the plan. Waivers are requested from Sections 146-11.A.(4) and 146-11.B.(3) in order to not be required to provide the above information.

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C.C. 1 copy of all documents sent via mail to: Maryellen Saylor, P.E., Boucher and James 1456 Ferry Road, Building 500 Doylestown, PA 18901 Ph. 215-345-9400

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MONTGOMERY COUNTY CONSERVATION DISTRICT

143 Level Road • Collegeville, PA 19426-3313 • 610-489-4506 • Fax: 610-489-9795 www.montgomeryconservation.org

December 4, 2020

Hunter Soccer Club 220 Houston Avenue Glenside, PA 19038

Re: Completeness Notification Letter Hunter Soccer Club New Synthetic Turf Field NPDES Permit Application No. PAC460536 Abington Township, Montgomery County

Dear Mr. Manchester:

The Montgomery County Conservation District (District) has reviewed the above referenced NOI for completeness, and has determined that the NOI is complete and technically adequate. The District will now proceed with the technical review of the NOI. During the technical review, the adequacy of the application and its components will be evaluated to determine if sufficient information exists to render a decision on the technical merits of your NOI.

If you have questions about your NOI, please contact Jeffrey McKenna by e-mail at jmckenna@montgomeryconservation.org or by telephone at (610) 489-4506, extension 16 and refer to Hunter Soccer Club New Synthetic Turf Field NPDES Permit Application Number PAC460536.

Sincerely,

Jeffrey McKenna

Jeffrey McKenna Resource Conservationist Montgomery County Conservation District

cc: Elizabeth Baldwin, ELA Group, Inc. DEP Application Manager Abington Township File



December 9, 2020

Abington Township Attn: Amy Montgomery 1176 Old York Road Abington, PA 19001

RE: Hunter Soccer Club New Synthetic Turf Field Preliminary/Final Land Development Plan Modification Letter LD 20-04 Project No. 2026024R Abington Township, Montgomery County, Pennsylvania

Dear Ms. Montgomery:

On behalf of the Applicant, Hunter Soccer Club, ELA Group, Inc. (ELA) is submitting the following modification requests to the Abington Township Subdivision and Land Development Ordinance for review at the upcoming Abington Township Planning Commission meeting.

Modifications Requested:

As described through multiple communications, this project site has challenges associated with the existing parcel not being consolidated and made up of hundreds of individual parcels. We respectfully request the following modifications from the Abington Township Subdivision and Land Development Ordinance:

1. <u>Section 146-11.A(Subsections .3 / .4 / .5 / .6 / .7 / .8 / .11b – Modification for Property</u> <u>Identification Plan Information - Modified</u>

The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited deed and property information available. To complete this requirement in full, an extensive survey and title report would be required well beyond the scope of the project. Some subsections of this section that cannot be determined without a complete survey will require modification requests. The subsection are listed above. The primary justification for our requests is that the scope of the project is limited to a smaller area of the Township park. An additional reason for the request is that the work is simply replacing the surface of an existing use (athletic field) and providing paved access not requiring buildings or other improvements. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area.

2. <u>Section 146-11.B(Subsections .1 / .2 / .3 / .4 / .5 / .6 / .7 – Modification for Existing Features</u> <u>Plan Information</u>

Corporate Office 743 South Broad Street Lititz, PA 17543 (717) 626-7271 Central PA Office 2013 Sandy Drive, Suite 103 State College, PA 16803 (814) 861-6328 The main site challenge is determining the property boundary, limits, and exact parcels due to how the Penbryn Park was subdivided in the early 1900's. When the Township received the land, the property was never consolidated, therefore consists of hundreds of small parcels, and there is limited information. To complete this requirement, such an extensive survey and title report would be required well beyond the scope of the project. A survey has been provided that extends past our project disturbance and shows the impacted area, along with an aerial that extends 400+ feet past the project area. Most of the information in this section is provided in our "project area".

3. <u>Section 146-43.C(3)(a) – Modification for Slopes Steeper than 15%</u>

3:1 (33%) slopes are proposed in the left corner of the proposed field, in order to tie into existing grades. Existing grades in this area range from 33%-50%, therefore tying into existing generates a slope resembling the existing grade. To prevent erosion, the cut slope is being lined with matting to allow proper establishment of grass cover in this area.

If you have any questions or require any further information, please do not hesitate to contact me directly.

Sincerely, ELA GROUP, INC limittel

Elizabeth W. Baldwin, P.E. Project Manager Corporate Office

f:\data\ela sport\az230 - keystone sports construction\az230-002 hunter soccer club\02 civil\land development applications and submissions\2020 12 xx twp submission 3\12 09 2020 modification request letter.docx

Fountainville Professional Building 1456 Ferry Road, Building 500 Doylestown, PA 18901 215-345-9400 Fax 215-345-9401

2756 Rimrock Drive Stroudsburg, PA 18360 570-629-0300 Fax 570-629-0306 Mailing: P.O. Box 699 Bartonsville, PA 18321

559 Main Street, Suite 230 Bethlehem, PA 18018 610-419-9407 Fax 610-419-9408

www.bjengineers.com

Boucher & James, Inc.

November 24, 2020

AN EMPLOYEE OWNED COMPANY

INNOVATIVE ENGINEERIN

Mr. Richard Manfredi, Manager Abington Township 1176 Old York Road Abington, PA 19001

SUBJECT: HUNTER SOCCER CLUB NEW SYNTHETIC TURF FIELD PRELIMINARY/FINAL LAND DEVELOPMENT PLAN REVIEW NO. 2 ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA PROJECT NO. 2026024R

Dear Mr. Manfredi:

Pursuant to the Township's request, we have completed our second review of the Preliminary/Final Land Development Plan Application for the Hunter Soccer Club New Synthetic Turf Field. The submitted information consists of the following items.

- Letter of Response to Township, prepared by ELA Group, Inc., dated November 6, 2020.
- Letter of Response to Montgomery County Conservation District, prepared by ELA Group, Inc., dated November 6, 2020.
- PAG-02 NPDES Submission Package, prepared by ELA Group, Inc., dated November 6, 2020.
- Post Construction Stormwater Management Report, prepared by ELA Sport, dated August 14, 2020, revised November 6, 2020.
- Construction Cost Estimate, prepared by ELA Group, Inc., dated November 4, 2020.
- Preliminary Subdivision and Land Development Plan (Sheet 1 through 22 of 22) prepared by ELA Group, Inc., dated August 14, 2020, revised November 4, 2020.

BACKGROUND INFORMATION

The Applicant, Hunter Soccer Club, is proposing to convert the existing natural grass athletic field into a synthetic turf athletic field. The existing property is located within the RC. Recreation Conservation Zoning District. The site consists of an existing natural grass athletic field located southeast and adjacent to Houston Avenue and northwest and adjacent to the SEPTA Railroad tracks. The site takes access from Houston Avenue. The total project area is 1.94 acres.

The proposed land development consists of the construction of a synthetic turf athletic field with an associated ten (10) foot wide bituminous access drive, concrete curb, concrete retaining wall, concrete pad landing, stormwater management facilities, relocated existing chain link fence and relocated and reconnected electric line.

As noted on the Cover Sheet (Sheet 1 of 22) of the Land Development Plan set and the Application

Mr. Richard Manfredi, Manager – Abington Township Hunter Soccer Club New Synthetic Turf Field – Prelim/Final Land Dev't. Plan Review No. 2 November 24, 2020 Page 2 of 5

for Subdivision/Land Development, the Applicant is requesting the following Waivers from the Subdivision and Land Development Ordinance:

- 1. Section 146-11.A.(.3, .4, .5, .6, .7, .8) to not be required to provide property identification information as required by this Section.
- 2. Section 146-11.B.(.1, .2, .3, .4, .5, .6, .7) to not be required to provide existing features plan information as required by this Section.
- 3. Section 146-43.C.(3)(a) to be permitted to have cut and fill slopes at 15 percent or steeper.

Based on our review of the above information, we offer the following comments and/or recommendations for your consideration.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

- 1. In accordance with Sections 146-11.A.(3) and 146-11.B.(1), "a complete boundary survey" must be provided. (*Previous Comment No. 2*) Waivers are requested from Sections 146-11.A.(3) and 146-11.B.(1) to not be required to provide a complete boundary survey on the Plans. The request indicates the property to be developed consists of hundreds of small parcels and an extensive survey would be required to comply with this Section.
- 2. In accordance with Sections 146-11.A.(4) and 146.11.B.(3), the existing properties, with owners and tax parcel numbers within 400-feet of the project site, must be shown on the plan. (*Previous Comment No. 3*) Waivers are requested from Sections 146-11.A.(4) and 146-11.B.(3) in order to not be required to provide the above information.
- 3. In accordance with Section 146-11.A.(5), "the total site acreage" must be noted on the Plans. (*Previous Comment No. 4*) A Waiver is being requested from this Section.
- 4. In accordance with Sections 146-11.A.(6) and 146-11.(B)(4), "the location of all existing monuments on or defining the site" must be provided on the plan. (*Previous Comment No. 5*) A Waiver is being requested from this Section.
- 5. In accordance with Sections 146.11.A.(8) and 146-11.B.(2), the cartway width and right-of-way width of Houston Road must be dimensioned on the Plans. (*Previous Comment No. 6*) A Waiver is being requested from this Section.
- 6. In accordance with Section 146.11.A.(11)(b), "the existing and proposed zoning standards for each item cited above in the zoning district requirements shall be depicted in a table *for the site in its entirety* and, in the case of subdivision, for each proposed lot." (*Previous Comment No. 8*) The Plans must be revised to provide this information for the entire site, or a Waiver will be required from this Section.
- 7. In accordance with Section 146-11.B.(6), "the location, size, ownership and purpose of all rights-of-way and easements located within the property boundaries" must be shown

Mr. Richard Manfredi, Manager – Abington Township Hunter Soccer Club New Synthetic Turf Field – Prelim/Final Land Dev't. Plan Review No. 2 November 24, 2020 Page 3 of 5

on the Plans. (Previous Comment No. 10) A Waiver is being requested from this Section.

- 8. In accordance with Section 146-11.B.(7), existing "waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights located on and within 400 feet of the project site" must be shown on the plan. (*Previous Comment No. 11*) A Waiver is being requested and an aerial photograph has been provided on the Cover Sheet (Sheet 1 of 22) which shows the project site delineated and existing features within 400-) feet.
- 9. In accordance with Sections 146-11.E.(3), 146-43.E.(2), and 146-43.E.(3), Erosion and Sedimentation Control Plan approval by the Township Engineer is required. (*Previous Comment No. 14*) The proposed disturbance is greater than one (1) acre, therefore an Erosion and Sedimentation Control Plan adequacy letter and a PADEP NPDES Permit are required. All submissions to and correspondence from the County Conservation District and PADEP, and all approvals must be provided to the Township.
- 10. An improvement and completion guarantee must be provided in accordance with Section 146-17. (*Previous Comment No. 17*) A detailed construction cost estimate with specific line items has been submitted and will be reviewed under separate cover.
- 11. In accordance with Section 146-28.E and 146-41, the plan shall be submitted to the Township Fire Marshal for review. (*Previous Comment No. 18*) Written confirmation from the Fire Marshal must be submitted.
- 12. In accordance with Section 146-43.C.(3)(a), cut and fill slopes may not be 15% or steeper. (*Previous Comment No. 19*) Grading is proposed at slopes of three (3) to one (1), due to existing grades. A Waiver from Section 146-43.C.(3)(a) is being requested.

STORMWATER MANAGEMENT ORDINANCE COMMENTS

The proposed development is located within the Tacony Area T Watershed and the B Management District. The proposed land development has a disturbed area greater than one (1) acre. Therefore, Article III and the requirements of Sections 403, 404, 405, 406, 407, 408 and 409 must be followed.

- 13. In accordance with Sections 302.A.6, 302.B.23, 401.A, 401.D, and 403.A, erosion and sedimentation control approval is required. (*Previous Comment No. 20*) The proposed disturbance is greater than one (1) acre, therefore an Erosion and Sedimentation Control Plan adequacy letter and a PADEP NPDES Permit are required. All submissions to and correspondence from the County Conservation District and PADEP, and all approvals must be provided to the Township. Refer to Comment 14 for comments based upon our review of the Soil Erosion & Sediment Pollution Control Plan and Notes (Sheets 13, 16, and 17 of 22).
- 14. The travel path for the Post Development Time of Concentration for each drainage area to DP-001 must be shown on the Post Watershed Map Plan (Sheet 22 of 22). *(Comment*)

Mr. Richard Manfredi, Manager – Abington Township Hunter Soccer Club New Synthetic Turf Field – Prelim/Final Land Dev't. Plan Review No. 2 November 24, 2020 Page 4 of 5

No. 23) The Post Development Watershed Map (Sheet 22 of 22) must be revised accordingly

- 15. The travel path shown for the PreDevelopment Time of Concentration must be revised to begin at the high point of the drainage area and terminate at DP-001. (Previous Comment No. 24) The Pre-Watershed Map (Sheet 21 of 22) must be revised accordingly.
- 16. In accordance with Section 701.A, a financial guarantee is required for the proposed stormwater management improvements. (*Previous Comment No. 25*) A detailed cost estimate with specific line items has been submitted for review.
- 17. In accordance with Sections 702.A and 704, an operation and maintenance plan and agreement must be provided. (*Previous Comment No. 26*)

MISCELLANEOUS COMMENTS

- 18. The Plans provide ADA access to the synthetic turf field within a vehicular access. (*Previous Comment No. 27*) The Layout Plan (Sheet 8 of 22) shows and labels a ten (10) foot wide bituminous access drive and ADA access, as a shared use of the proposed road. The shared access does not provide a safe and separate ADA access to the site. The Plans must be revised to provide ADA access from parking to the proposed synthetic turf field, separate from the vehicular access drive.
- 19. The Pre Development DP-001 1-UND Total Weighted CN Value Table on Page 33 of the Post Construction Stormwater *must be corrected to note 1.94 acres of Meadow, with the corresponding CN Value of 71 for Meadow, Type C Hydrologic Soil Group.* (*Previous Comment No. 28*)
- 20. The slope of the 15 inch pipe from Control Structure CS-1A to Level Spreader 1 is noted as 0.76% on the Stormwater Plan & Profile (Sheet 12 of 22), however, the slope is noted as 1.51% in the Pond Report on page 61 of the Post Construction Stormwater Management Report. (*Previous Comment No. 29*) The Plan and/or Report must be revised for correctness and consistency.
- 21. The invert elevation of the pipe into BMP1 (from CS-1A) is noted as 321.90 on the NP-8 to CO-3 Profile on the Stormwater Plan & Profile (Sheet 12 of 22), however, the invert elevation into BMP1 is noted as 321.80 in the Storm Sewer Tabulation on page 111 of the Post Construction Stormwater Management Report. *The Plan and/or Report must be revised for correctness and consistency*.
- 22. Retaining wall calculations, signed, and sealed by an Engineer currently licensed in the Commonwealth of Pennsylvania, must be provided to the Township prior to construction of the proposed retaining wall. A note to this effect must be provided in the Concrete Retaining Wall Detail on Sheet 15. (Previous Comment No. 30)
- 23. All comments received from the traffic engineer, shade tree commission, and fire

Mr. Richard Manfredi, Manager – Abington Township Hunter Soccer Club New Synthetic Turf Field – Prelim/Final Land Dev't. Plan Review No. 2 November 24, 2020 Page 5 of 5

marshal must be addressed to their satisfaction. (Previous Comment No. 31)

The above comments represent a thorough and comprehensive review of the information submitted with the intent of giving the Township the best direction possible. However, due to the number and nature of the comments, the receipt of a revised plan submission may generate new comments.

In order to facilitate an efficient re-review of revised plans, the Design Engineer shall provide a letter, addressing item by item, their action in response to each of our comments.

We recommend the above comments be addressed to the satisfaction of Abington Township prior to approval of the proposed Land Development Plan.

If you should have any questions regarding the above, please call me.

Sincerely,

Jon S. Tresslar, P.E., P.L.S. Municipal Engineer

MES/clg

 cc: Amy Riddle Montgomery, Director of Engineering – Abington Township Shaun Littlefield, Interim Officer, Zoning – Abington Township Michael P. Clark, Esquire, Rudolph Clarke, LLC – Abington Township Solicitor William Manchester, Hunter Soccer Club – Applicant Elizabeth W. Baldwin, P.E., ELA Group, Inc. – Applicant's Engineer Michael Narcowich, Montgomery County Planning Commission Maryellen Saylor, P.E. – Boucher & James, Inc.

S:\2020\2026024R\Documents\Correspondence\Review Letters\2020-11-24 Hunter Soccer Club Review 02 .docx



October 21, 2020

MEMO

To: Lucy Strackhouse, Chair – Abington Township Planning Commission
From: Abington Township Environmental Advisory Council
RE: Review of Preliminary/Final Land Development Plan – Hunter Soccer Club- New Turf Field – 220 Houston
Avenue, Glenside
Plan Set Date: August 14, 2020
EAC Review Date: October 14, 2020

Dear Chairperson Strackhouse,

The members of the Abington Township Environmental Advisory Council (EAC) have reviewed the above referenced site plan and offer the following comments.

Site Summary Applicant: Hunter Soccer Club Owner: Township of Abington Zone – RC – Recreation Conservation Existing Use – Natural Grass Soccer Field Proposed Use – Conversion to Artificial Turf System and Other Improvements Watershed – Tookany Creek

This plan provides details related to replacing the existing grassed soccer field with synthetic surf and associated improvements. These additional improvements include installation of new stormwater conveyance piping system to subsurface infiltration basin composed of course stone. The plan includes the use of level spreaders (LS) which are structures designed to reduce water pollution by slowing and reducing the energy of concentrated runoff by converting it to sheet flow. The idea is that the water is dispersed so it can infiltrate into the soil. There are two areas where the spreaders are proposed.

The synthetic turf system is underlain by a 1" layer of fine aggregate over a 5" open graded coarse aggregate layer. This sits on top of a geotextile separation fabric over the subgrade soils.

The addition of stormwater conveyance system, regrading and other improvements are designed to minimize impacts of stormwater runoff to the field, minimizing flooding and poor drainage conditions. A geological engineering report addressing stormwater management was prepared by Kleinfelder, Advantage Engineers. We have requested a copy to review.

EAC Questions, Comments and Recommendations:

Plan Additions/Clarifications -

Steep slopes should be clearly indicated on the existing conditions sheet plan (7 of 22). All specimen trees should be clearly identified and labeled on that same sheet.

The grading and utility plans (Sheets 10 and 11) do not indicate how the proposed new system ties into the existing separate storm sewer system. How does flow eventually reach the receiving waters of the Tookany Creek?

The Sport Detail Sheets (14 & 15) do not include specifications on the turf carpet system materials. Do these materials breakdown over time and if so, would these materials be captured in the filter system?

Additional Recommendations/Questions

Will the proposed improvements be eligible for pollution reduction credits under the Township's MS4 permit or as part of its Pollution Reduction Plan strategy? The proposed project may present an opportunity for reduced sediment credit.

We also recommend that additional evaluation be made to the adjacent steep slope and woodland areas within the park to include restorative measures to improve slope stability, remove invasive vegetation and minimize erosion. Several seed mixtures appropriate for steep slope/disturbed sites such as ERNMX-181 Native Steep Slope Mix with Annual Ryegrass might be appropriate. These measures should help mitigate stormwater runoff and sediment pollution from the sloped areas before the runoff enters the field stormwater infrastructure. These discussions should be coordinated with the Abington Shade Tree Commission, Abington Parks & Recreation staff, EAC and Hunter Soccer Club representatives.

Respectfully submitted,

Susan S. Myerov

Susan Myerov, Member, Abington Township EAC

cc: Amy Montgomery Richard Manfredi Planning Commission Members EAC Members

MONTGOMERY COUNTY BOARD OF COMMISSIONERS

VALERIE A. ARKOOSH, MD, MPH, CHAIR KENNETH E. LAWRENCE, JR., VICE CHAIR JOSEPH C. GALE, COMMISSIONER



MONTGOMERY COUNTY PLANNING COMMISSION

Montgomery County Courthouse • PO Box 311 Norristown, Pa 19404-0311 610-278-3722 FAX: 610-278-3941 • TDD: 610-631-1211 <u>WWW.MONTCOPA.ORG</u>

> SCOTT FRANCE, AICP EXECUTIVE DIRECTOR

November 3, 2020

Mr. Rich Manfredi, Manager Abington Township 1176 Old York Road Abington, Pennsylvania 19001-3713

Re: MCPC #20-0191-001 Plan Name: Hunter Soccer Club New Synthetic Turf Field (1 lot comprising 1.94 acres) Situate: 220 Houston Avenue Abington Township

Dear Mr. Manfredi:

We have reviewed the above-referenced plan as you requested on October 17, 2020. We forward this letter as a report of our review.

BACKGROUND

Hunter Soccer Club, the applicant, proposes to construct a turf athletic field on what is currently a grass field, on a 1.74 acre property at Penbryn Park in the RC Recreation/Conservation District. The proposal also includes a subsurface detention basin. The applicant has submitted a preliminary and final plan, dated August 14, 2020. The site is served by public water and sewer service. Since the proposal does not qualify as an official subdivision or land development, our comments take the form of suggestions.

COMPREHENSIVE PLAN COMPLIANCE

The plan is consistent with MONTCO 2040: A New Vision, the Comprehensive Plan for Montgomery County. This plan designates the project area as "Conservation Area/Open Space." The proposal is also consistent with the Abington Comprehensive Plan (2007) and Open Space, Recreation, and the Abington Environmental Resource Protection Plan (2006).

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and township may wish to consider. Our comments are as follows:

REVIEW COMMENTS

PLAN INFORMATION

- A. Specific Plan Requirements [§146-10]. The following information would be useful for current and future park planning, as well as determining impact on adjacent properties:
 - 1. Location Map, showing distances adjoining the property to a distance of 1,000 feet [§146-11.A.]
 - 2. Boundary. The boundary line of the site, including a complete boundary survey. The information shown on the Board of Assessment web site shows a large number of lots and paper streets on this site. More complete plan information would be useful to clarify the property situation.
 - 3. Properties within 400 feet of the site, including owners' names and approximate acreage.
 - 4. The applicant stated on the request for MCPC review form that the tract is 1.94 acres. However, Montgomery County Board of Assessment shows the tract is 4.17 acres. Please clarify the discrepancy.
 - 5. Cartways of streets on and adjacent to the site.
 - 6. Existing and proposed information with respect to zoning requirements. The required zoning is provided, but proposed yard dimensions and setbacks are not.
 - 7. Standalone trees with caliper information.
 - 8. There is a one-story frame dwelling on the site. Is this a residence or park facility? Providing any related easement information would be useful.
 - 9. Proposed landscaping. It appears there is no landscaping proposed as part of this project.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve the township's planning objectives for recreational facilities.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Sincerely,

Milenarcoul

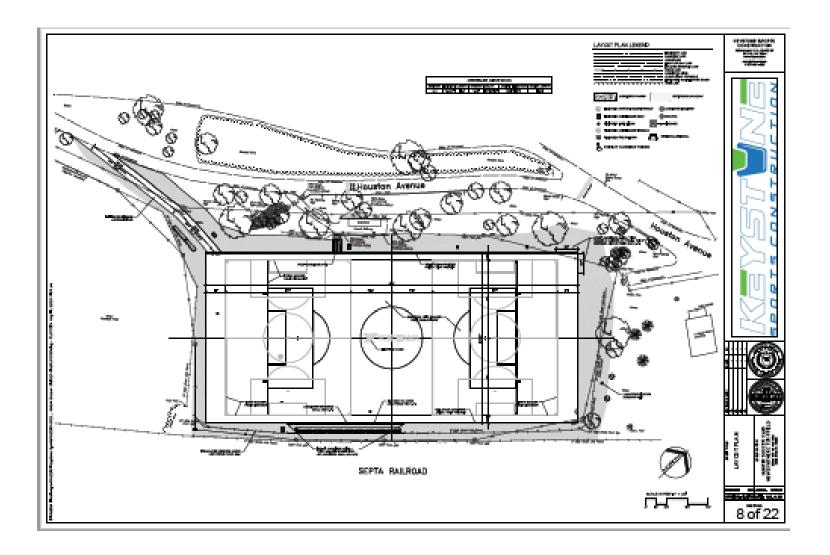
Mike Narcowich, AICP, Assistant Section Chief: Community Planning mnarcowi@montcopa.org 610-278-5238

c: Hunter Soccer Club, Applicant
 Elizabeth Werner Baldwin, R.P.E., ELA Sport, Applicant's Representative
 Lucy Strackhouse, Chair, Township Planning Commission
 Amy Montgomery, P.E., Director of Engineering and Code, Abington Township
 Michael P. Clarke, Esq., Rudolph Clarke, LLC, Township Solicitor

Attachments: A: Plan; B: Aerial Photo

ATTACHMENTS A& B

Plan – Hunter Soccer Club Turf Athletic Field







Office of the Treasurer 82 Tax Collector

JAY W. BLUMENTHAL

ABINGTON TOWNSHIP 1176 OLD YORK ROAD, ABINGTON, PENNSYLVANIA 19001-3713

P. 267.536.1024 F. 215.572.3935

www.abington.org

ABINGTON TOWNSHIP REVENUES DEPOSITED INTO REPUBLIC BANK DECEMBER 2020 & YEAR TO DATE

	This Month	Year to Date
Code Enforcement	75,158	1,208,306
Engineering	3,140	110,585
Finance Department	213,301	5,589,172
Finance ACHs & Credit Cds	667,430	17,124,884
Tax Office Real Estate Taxes	116,720	28,840,081
Fire Marshal's Office	3,287	72,904
Parks and Recreation	11,010	116,422
Plumbing	7,719	61,773
Police	52,449	391,472
Refuse	1,146	28,969
Tax Office		
Business Privilege Tax 79,64	9	4,720,916
Mercantile Tax 4,21	9	2,129,807
Local Services Tax 123,07	0	1,266,966
Business Tax Audits		0
Tax Office Total	206,938	8,117,689
TOTALS	1,358,298	61,662,257
LAST YEAF	and an and a second and a second	62,719,839
INCREASE/(DECREASE		(1,057,583)
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MONTHLY REPORT

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By The Abington Township Treasurer To the Board of Commissioners

DEPOSITS OF REAL ESTATE TAXES AND FEES TRANSFERRED TO FINANCE DEPARTMENT

MONTH OF December 2020 YEAR TO DATE

		RECEIPT	S	Sheet States
× .	Adjusted Assessments	Month	Year To Date	Balance To Çollect
Township	13,574,686	48,730	13,177,093	397,59
Fire	3,177,001	11,382	3,083,941	98,06
Sewer Fees	7,711,747	38,454	7,623,504	88,24
Refuse Fees	5,016,975	18,154	4,955,543	61,43
TOTALS	29,480,409	116,720	28,840,081	640,32
PERCENTAGE	100%		98%	2%
	Increase	36,975		
ł		ctfully Submitted,		
	,	ay W/Blumenthal Treasurer		1



BOARD OF COMMISSIONERS REGULAR PUBLIC MEETING

AGENDA ITEM

February 11, 2021	FC-01-021121	FISCAL IMPACT
DATE	AGENDA ITEM NUMBER	Cost > \$10,000
Finance		Yes No 🗸
DEPARTMENT		PUBLIC BID REQUIRED
		Cost > \$20,100
		Yes No 🗸

AGENDA ITEM:

Expenditures/Salaries & Wages

EXECUTIVE SUMMARY:

N/A

PREVIOUS BOARD ACTIONS:

N/A

RECOMMENDED BOARD ACTIONS:

Motion to approve the December 2020 expenditures in the amount of \$3,863,200.46 and salaries and wages in the amount of \$2,180,071.06, and authorizing the proper officials to sign vouchers in payment of bills and contracts as they mature through the month of March 2021.

(Motion and Roll Call)

EXPENDITURES:

Total Payroll in Decen	aber				2,180,071.06
Total Accounts Payabl					3,863,200.46
Total Bank Wires					0.00
Less Void and Stop Pa	vmante				0.00
Total Payments	lyments				6,043,271.52
Total Payments	Bank wires (total inclu	ded above) pavable to:			0,043,271.32
	US Bank	2010 G. O. Bond		0.00	
	US Bank	2010 G. O. Bond 2012 G. O. Bond		0.00	
	US Bank				
		2013 G. O. Bond		0.00	
	US Bank	2014 G. O. Bond		0.00	
	Republic Bank	2017 G. O. Note		0.00	
	Keystone Agency	1100 & 1102 OYR		0.00	
	Delaware Valley Reg.	Digital Radio Fund		<u>0.00</u>	
	Total Wires			0.00	
	Voided checks:				
				0.00	
				0.00	
Payroll Related Expen	ditures:			December	YTD
FICA Taxes				144,378.31	1,226,569.95
Hospitalization				365,181.33	4,458,082.49
Prescription				141,396.09	1,747,361.50
Dental				24,610.04	302,919.34
Disability and Life Ins	urance			10,990.80	133,492.86
Unemployment Comp				0.00	0.00
e nomprogiment comp				686,556.57	7,868,426.14
Outstanding Debt Obli	oations			000,000.07	7,000,720.17
•	General, Refuse & Sewer	Operating			
	Seneral, iverase & Sewel	oporating	Total	Total	

	Total	Total	
	Outstanding	Outstanding	
Issue Paying Agent	<u>Principal</u>	Interest	
2010 G. O. Bond Issue U.S. Bank	0.00	36,888.00	
2012 G. O. Bond Issue U.S. Bank	0.00	10,500.00	
2013 G. O. Bond Issue U.S. Bank	985,000.00	22,371.45	
2014 G. O. Bond Issue U.S. Bank	0.00	217,249.72	
2017 G. O. Note Republic Bank	<u>509,237.00</u>	48,503.72	
	1,494,237.00	335,512.89	1,829,749.89
Lease Debt Obligation			
Principal & Interest through 12/31/20	15,127.00		

EXHIBIT "A"

Payee	Description	<u>Amount</u>
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The major areas of expenditures in the month of December 2020 (\$3,340,105.65 or 86%) were paid as follows:

Fidelio Insurance Co.	December Dental Premium		10,096.81
DVHT	December Prescription		141,396.09
Delaware Valley Health	December Health & Dental Insurance Premium		355,498.89
United Healthcare	December		24,195.67
Boston Mutual	Life & Disability Insurance December		10,990.80
Berkheimer Tax Administrator	Earned Income Tax		15,476.40
Chapman Ford	Twp Police Car		45,988.92
City of Philadelphia	September Payment		126,408.70
Commonwealth Precast Inc.	Knock Out Box	11,028.00	
	Bike Sage Grates and Trench Drain Liner	10,494.00	21,522.00
Covanta	Solid Waste Disposal		115,111.21
FAO USEAD	ACE Match		470,000.00
Gatso-USA	Red Light Camera July 2019		42,000.00
Hirschberg Mechanical LLC	Replace Rooftop AC Unit Above Code Office		12,550.00
PECO	Street Lights	28,845.64	
PECO	Traffic Signals	2,400.04	
	Various Township Accounts	27,062.23	58,307.91
Riggins Fuel	Fuel for Township Fleet		34,370.86
Rudolph Clark, LLC	Retainer	10,500.00	
	Land Development/Litigation	18,777.70	29,277.70
Second Alarmers	Monthly Services		15,625.00
State Workers Insurance Fund	Insurance Premium		10,666.00
TAMCO Construction Inc.	3-day Crusher Rental		13,600.00
Wells Fargo Inst. Retirement & Trust	2020 Municipal Pension	_	1,787,022.69
		Total	3,340,105.65

	TABLE A				
If Budget Number Begins With:	The Fund Name Is:				
01	General Fund				
02	Sewer Operations				
03	Highway Aid				
05	Health Care Fund				
06	Grant Fund				
07	Permanent Improvement Fund				
08	Parks Capital				
10	Tuition Reimbursement				
12	Clearing Fund				
13	Workers' Compensation				
14	Refuse Fund				
15	Main Street Mgr./Economic Dvlpmnt Fund				
16	S.I.U.				
17	Sewer Capital				

TABLE B Department Codes in General Fund (Example 01-<u>01</u>-002-0101 = Administration) Administration 01 Tax Collector 02 Police 04 Finance 05 Code Enforcement 06 Engineering 07 Community Development 08 WWTP 02-10 Public Works 13 Vehicle Maintenance 14 Fire Services 15 Library 23 Parks & Recreation 24 Miscellaneous (Administration) 27 28 Insurance Debt Service 30

65032		Vendor		Invoice	PO #	Description/Account	Amoun
00002	12/1/2020 YTD Amount:		AQUA PA	WATER		ROUND HOUSE-WATER	, inouri
		.,				WATER FOR ROUND HOUSE AT	
						01-24-153-5311 Total :	112.74 112.74
65033	5033 12/1/2020 15014 YTD Amount: 1,033.24			WATER		SPRINKLER FOR ROUND HOUSE	
		 G • Determined and Compared Activity 	SPRINKLER FOR ROUND HOUSE				
						01-24-153-5311 Total :	95.50 95.50
65034		2/1/2020 05812 AQUA PENNSYLVANIA Amount: 1,032.07	AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD	
	TTD Amount.	1,002.07				1176 OLD YORK RD	
						01-01-030-5311 Total :	95.50 95.50
65035	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD	
	TTD Amount.	2,332.90				1176 OLD YORK RD	
						01-01-030-5311 Total :	234.99 234.99
65036	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1166 OLD YORK RD	
	THD Amount.	1,040.00				1166 OLD YORK RD	

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/oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65037	12/1/2020	05815	ÂQÛA PENNSYLVANIA	WATER		2201 FLOREY	
	YTD Amount:	1,892.83				2201 FLOREY	
						01-13-130-5311 Tot	175.81 al : 175.81
5038	12/1/2020		AQUA PENNSYLVANIA	WATER		2828 SPEAR	
	YTD Amount:	1,608.07				2828 SPEAR	
(*						01-24-152-5311 Tot	177.99 al : 177.99
5039	12/1/2020		AQUA PENNSYLVANIA 13	PENNSYLVANIA WATER	ES DUMONT RD		
	YTD Amount:	17,226.43			ES DUMONT RD		
						01-24-154-5311 Tot	2,309.18 al : 2,309.18
6040	12/1/2020		AQUA PENNSYLVANIA	WATER		1212 EDGE HILL	
	YTD Amount:	881.19				1212 EDGE HILL	
						01-24-155-5311 Tot	115.87 al : 115.87
5041			WATER		1059 Jenkintown Rd, Meetingho	JSE	
	YTD Amount:	145.83				1059 Jenkintown Rd, Meetingho	JSE
						01-24-157-5311 Tota	1.39 al : 1.39
5042	12/1/2020	05823	AQUA PENNSYLVANIA	WATER		1383 EASTON RD	

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YTD Amount: 202.56

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65042	12/1/2020	05823	ÂQÛA PENNSYLVANIA	(Continued)		1383 EASTON RD 01-24-157-5311	Total :	19.43 19.43
65043	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		2810 ANZAC 2810 ANZAC 01-24-157-5311	Total :	103.04 103.04
65044	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		BAEDERWOOD SKATING H BAEDERWOOD SKATING H 01-24-157-5311		53.51 53.51
65045	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		NS CLEVELAND NS CLEVELAND 01-24-157-5311	Total :	53.51 53.51
65046	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		SS OLD WELSH RD SS OLD WELSH RD 01-24-157-5311	Total :	103.04 103.04
65047	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		WS FORREST		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65047	12/1/2020	05830	ÂQÛA PENNSYLVANIA	(Continued)		WS FORREST		
						01-24-157-5311	Total :	622.82 622.82
65048	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		WS FORREST		
	Y I D Amount.	000.70				WS FORREST		
						01-24-157-5311	Total :	94.74 94.74
65049	12/1/2020		AQUA PENNSYLVANIA	WATER		1013 INDIAN CREEK		
	YTD Amount:	1,150.59				1013 INDIAN CREEK		
						01-24-157-5311	Total :	59.57 59.57
65050	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		865 JENKINTOWN		
	f i D Amount.	145.65				865 JENKINTOWN		
						01-24-157-5311	Total :	1.39 1.39
65051	12/1/2020		AQUA PENNSYLVANIA	WATER		511 MEETINGHOUSE		
Y I D Amoun	t i D Amount.	Amount: 3,016.74			511 MEETINGHOUSE			
×						01-24-157-5311	Total :	299.92 299.92
65052	12/1/2020 (YTD Amount:		AQUA PENNSYLVANIA	WATER		NS JEFFERSON		

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Bank	code	:	ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65052	12/1/2020	05835	ÂQÜA PENNSYLVANIA	(Continued)				
						NS JEFFERSON		
						01-24-157-5311	Total :	1.39 1.39
65053	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER	NATER	1010 FITZWATERTOWN		
						1010 FITZWATERTOWN		
						02-10-200-5311	Total :	210.36 210.36
65054	12/1/2020	0 05838 nt: 10,277.51	AQUA PENNSYLVANIA	WATER		1010 FITZWATERTOWN		
	YTD Amount:		277.51			1010 FITZWATERTOWN		
						02-10-200-5311		1,015.36
							Total :	1,015.36
65055		/2020 05840 mount: 556.21	AQUA PENNSYLVANIA	WATER	NS KIMBALL			
	TID Amount.					NS KIMBALL		
						02-10-203-5311	Total :	55.93 55.93
65056	12/1/2020		AQUA PENNSYLVANIA	WATER		1119 TOWNSHIP LINE		
	YTD Amount:	t: 212.50	12.50			1119 TOWNSHIP LINE		
						02-10-203-5311		1.39
							Total :	1.39
65057	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		ES VALLEY		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65057	12/1/2020	05843	ÂQŨA PENNSYLVANIA	(Continued)				
						ES VALLEY		
197						02-10-203-5311	Total :	31.49 31.49
65058	12/1/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1858 OLD WELSH		
					1858 OLD WELSH			
						02-10-203-5311	Total :	1.39 1.39
65059		2/1/2020 05846 Amount: 146.29		WATER		BRIARCLIFF		
Y I D Amoun	YID Amount:				BRIARCLIFF			
						02-10-203-5311	Total :	1.39 1.39
65060		2/1/2020 05848) Amount: 193.38	a set a s	WATER		635 MOREDON		
	f i D Amount.		7 Amount: 193.38		635 MOREDON			
						02-10-203-5311	Total :	18.35 18.35
65061	12/1/2020		AQUA PENNSYLVANIA		2571 RUBICAM CRESTMON	IT PO'		
	r i D'Amount.	it: 12,538.71	2,000.71		2571 RUBICAM CRESTMON	T PO		
						01-24-153-5311	Total :	254.61 254.61
65062	12/1/2020(YTD Amount:		AQUA PENNSYLVANIA	WATER		MEADOWBROOK BIRD SAN	ICTU	

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Voucher	Date	Vendor	· · · · · · · · · · · · · · · · · · ·	Invoice	PO #	Description/Account	Amount
65062	12/1/2020	07415	ÂQÛA PENNSYLVANIA	(Continued)			
						MEADOWBROOK BIRD SANCTU/	
						01-24-157-5311 Total :	1.39 1.39
65063	12/1/2020 YTD Amount:	15814 290.91	AQUA PENNSYLVANIA	WATER		WAR MEMORIAL PARK	
						WAR MEMORIAL PARK	
						01-01-030-5311 Total :	19.56 19.56
65064	12/1/2020 YTD Amount:	13060 906.85	TRADS	348119		OCT-NOV INVOICES	
					76205	Oct-Nov invoices	
						01-04-053-5305 Total :	193.15 193.15
33	Vouchers for	bank code	: ap2			Bank total :	6,753.12
- 33	Vouchers in	this report				Total vouchers :	6,753.12

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amoun
65065	12/7/2020 YTD Amount:	12728 228.00	3SI SECURITY SYSTEMS	855219		ANNUAL RENEWAL FC	OR GPS TR	
		220.00			76148	annual renewal for gps tracking ser		
÷						01-04-053-5340	Total :	228.00 228.00
65066	12/7/2020 YTD Amount:		A.I.R. CONWAY INC	50959		UNIFORMS.~		
	TTD Amount.	290.00			76086	UNIFORMS.~		
						01-15-057-5316	Total :	290.00 290.00
65067	12/7/2020 YTD Amount:		ALL TRAFFIC SOLUTIONS	sin027137		RENEWAL OF CLOUD	BASE SPE	
	TTD Amount.	4,500.00			76085	renewal of cloud base s	oeed trackii	
						01-04-048-5305	Total :	4,500.00 4,500.00
	12/7/2020	05205 t: 16,801.58		209121-02 2	118	MARTINEZ - 209121-02	- FLASHLI	
1 4	T I D Amount:				76177	Martinez - 209121-02 - f	lashlight hc	
					76177	01-04-044-5316 Urban - 211845 - boots		20.60

213504

76237

 01-04-044-5316
 20.60

 Urban - 211845 - boots
 169.95

 01-04-043-5316
 169.95

 INVOICE 213504 - TAORMINA BO
 100.01

 Invoice 213504 - Taormina boots
 58.00

 01-04-044-5316
 58.00

 Total :
 248.55

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65069	12/7/2020	02053	ANALYTICAL LABORATORIES, INC.	TESTING		LABORATORY TESTING		
	YTD Amount	: 18,137.00)		76158	LABORATORY TESTING		
а						02-10-200-5305	Total :	1,357.00 1,357.00
65070	12/7/2020		AQUA PENNSYLVANIA	WATER		925 FITZWATERTOWN RC	DAD	
	YTD Amount	667.30				925 FITZWATERTOWN		
						14-12-100-5311	Total :	58.36 58.36
65071	12/7/2020		AQUA PENNSYLVANIA	WATER		86 NORTH HILL		
	YTD Amount:	527.91				86 NORTH HILL		
						02-10-203-5311	Total :	53.51 53.51
65072	12/7/2020		BEAVER BUILDING & REMODELING	REFUND		PERMIT REFUND		
	YTD Amount:	219.00				PERMIT REFUND		
						01-00-000-4325 PERMIT REFUND		210.00
		30				12-00-000-2510	Total :	9.00 219.00
65073	12/7/2020		BLUMENTHAL, JAY W	MONTHLY CC	N	511 taxes Commission		
	YTD Amount:	212,428.67	(511 taxes Commission		
						01-02-021-5305	Total :	3,183.44 3,183.44

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Bank co	de: ap2						
Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65074	12/7/2020 YTD Amount	0. (Marine 1997) (Marine 1997)	BRIDGEGROUP LLC	Final bill		DRAFT STRATEGIC PLAN TEXT F	
						DRAFT STRATEGIC PLAN TEXT F	
						01-01-002-5305 Total :	5,000.00 5,000.00
65075	12/7/2020 YTD Amount:		BRYNER CHEVROLET INC.	682529		CAM SHAFT & LIFTER REPAIR O	
	TTD / thound	0,040.00			76084	CAM SHAFT & LIFTER REPAIR OI	
						01-14-186-5304 Total :	2,627.68 2,627.68
65076	12/7/2020 YTD Amount:		CASALINA, JOSE	ZHB		ZHB MEETING	
	TTD Amount.	075.00				ZHB MEETING	
						01-06-087-5030 Total :	75.00 75.00
65077	12/7/2020 YTD Amount:		CHARLES RIVER ASSOCIATES	1057547		PROFESSIONAL SERVICES CYBI	
	r i D Amount.	5,000.00				PROFESSIONAL SERVICES CYBI	
						01-28-012-5215 Total :	5,000.00 5,000.00
65078	12/7/2020		CITY OF PHILA/WATER DEPT	SEPTEMBER		MONTHLY WASTEWATER CHAR	
	YTD Amount:	1,417,137	.50			MONTHLY WASTEWATER CHAR(
						02-11-202-5333 Total :	126,408.70 126,408.70
65079	12/7/2020 YTD Amount:		COLLIFLOWER, INC.	01311385		PRESSURE HOSE COUPLER INS	

/oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65079	12/7/2020	13773	COLLIFLOWER, INC.	(Continued)			
					76155	PRESSURE HOSE COUPLER INS	
						02-10-205-5322 Total :	33.43 33.43
65080		13612	COMCAST	DECEMBER		CABLE FOR VIDEO ARRAINGMEI	
÷	YTD Amount:	130.57				CABLE FOR VIDEO ARRAINGMEI	
						01-04-040-5307 Total :	10.49 10.49
65081		14883	COMCAST	DECEMBER		FAX LINES FOR TOWNSHIP BUII	
	YTD Amount:	7,044.66				MODEM FOR TOWNSHIP BUILDI	
						01-01-005-5305 Total :	638.54 638.54
5082	12/7/2020		COMCAST	NOVEMBER		NEW INTERNET SERVICE FOR T	
	YTD Amount:	37,417.62				PUBLIC WORKS, TRAINING CEN	

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65083 12/7/2020 08543 COMCAST CABLE YTD Amount: 1,600.80

12/07/2020 10:12:40AM

65084 12/7/2020 12135 COMCAST CABLE YTD Amount: 2,795.23 NOVEMBER

DECEMBER

14-12-103-5305 Total :

01-01-002-5307

133.40 I: **133.40**

Total :

BRIAR BUSH NATURE CENTER C

SURVEILLANCE CAMERA REFUS

SURVEILLANCE CAMERA REFUS

3,317.20

3,317.20

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Bank cod	le : ap2							
/oucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
5084	12/7/2020	12135	COMCAST CABLE	(Continued)				
						CABLE FOR BRIAR BUSH		
						01-24-155-5305	Total :	252.88 252.88
5085	12/7/2020 YTD Amount:		COMCAST CABLE	DECEMBER		INTERNET FOR SPECIAL	/IDEO ,	
		001.10				TWP SPC VIDEO ACCOUN	т	
						01-01-030-5305	Total :	47.23
65086	12/7/2020	01083	COMMONWEALTH OF PENNSYLVANIA	0444			TOLAT .	47.23
	YTD Amount:		COMMONWEALTH OF PENNSTLVANIA	0444		ASSESSMENT		
						ASSESSMENT		
						13-00-000-5215	Total :	490.00 490.00
5087	12/7/2020 YTD Amount:		COMMONWEALTH PRECAST INC.,	25853 25773		CONSTRUCTION PROJEC	T-KNO	
	TTD Amount.	10,565.00			76029	Construction Project-Knockc	out Box	
						07-07-566-7538	T -4-1	10,494.00
							Total :	10,494.00
5088	12/7/2020 YTD Amount:		COMPUTYME INC	20203		REAL ESTTE TAX FEE		
a.		and the policy of the second sec				REAL ESTTE TAX FEE		
						01-00-000-1304 REAL ESTTE TAX FEE		62.50
						01-02-020-5300	Total :	62.50 125.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65089	12/7/2020	15382	CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY CHARGES T	WP BU	
	YTD Amount:	4,068.49				GAS SUPPLY CHARGES T	WP BU	
						01-01-030-5308	Total :	113.27 113.27
65090	12/7/2020		CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY FOR PARKS		
	YTD Amount:	239.92				GAS SUPPLY FOR PARKS		
						01-24-157-5308	Total :	4.19 4.19
65091	12/7/2020		CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY FOR BBNC		
	YTD Amount:	719.33				GAS SUPPLY FOR BBNC		
						01-24-155-5308	Total :	42.97 42.97
65092	12/7/2020		CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY CHARGES F	OR AC	
	YTD Amount:	6,052.37				GAS SUPPLY CHARGES F	OR AC	
						01-24-152-5308	Total :	318.81 318.81
65093	12/7/2020		CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY CHARGES P	W	
	YTD Amount:	2,088.24				GAS SUPPLY CHARGES P	W	
						01-13-130-5308	Total :	68.21 68.21
65094	12/7/2020 YTD Amount:		CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY FOR WWTP		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65094	12/7/2020	15422	CONSTELLATION NEW ENERGY	(Continued)				
						GAS SUPPLY FOR WWTP		
						02-10-200-5308 GAS SUPPLY FOR WWTP		131.22
						02-10-203-5308	Total :	11.57 142.79
65095	12/7/2020 YTD Amount:	15424 1.468.71	CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY FOR TRAININ	IG CTI	
		100 . 6 100 North 10				GAS SUPPLY FOR TRAININ	IG CTI	
						01-04-062-5308	Total :	72.02 72.02
65096	12/7/2020 YTD Amount:	15426 350.96	CONSTELLATION NEW ENERGY	OCTOBER		GAS SUPPLY FOR CREST	MONT	
						GAS SUPPLY FOR CREST	NONT	
						01-24-157-5308	Total :	12.20 12.20
65097	12/7/2020 YTD Amount:	08628 18,472.31	CONTRACT & COMMERCIAL INC., STAP	L SEE ATTACHE	5	OFFICE SUPPLIES: CALEN	DARN	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65097	12/7/2020	08628	CONTRACT & COMMERCIAL INC., STAP	(Continued)				
00007	12/112020	00020		_ (76051	OFFICE SUPPLIES: CALEN	NDAR N	
					76051	01-13-130-5300 OFFICE SUPPLIES: TAPE	FOLDE	326.09
					76051	01-14-180-5300 OFFICE SUPPLIES		138.57
					76051	14-12-100-5300 PRINTER / CARTRIDGES A	AND SL	18.77
¥					75991	14-12-101-5320 craft paper, folders, pens, ke	ey tags,	316.87
						01-04-053-5300	Total :	194.66 994.96
65098	12/7/2020 YTD Amount:		COOPER, INC., GUY	S20-1978		ANNUAL SPRINKLER TEST	T AND I	
	TID Amount.	1,020.00			76236	Annual sprinkler test and ins	spectior	
						01-04-062-5317	Total :	475.00 475.00
65099	12/7/2020 YTD Amount:		COURIER TIMES, INC.	OCTOBER		LEGAL ADVERTISING		
	TTD Amount.	10,007.04				LEGAL ADVERTISING		
						01-06-081-5303 LEGAL ADVERTISING		1,959.84
						01-01-002-5303	Total :	687.72 2,647.56
65100	12/7/2020 YTD Amount:		DIPRIMIO, JOHN	ZHB		ZONING HEARING BOARD		

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Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65100	12/7/2020	08094	DÎPRIMIO, JOHN	(Continued)			
						ZONING HEARING BOARD	
						01-06-087-5030 To	75.00 tal : 75.00
65101	12/7/2020 YTD Amount:		DOORCHECK, INC, JAMES	733035		RE-KEY OF HR'S CLOSET - \$3	34.8
					76213	Re-Key of HR's Closet - \$34.82	
				735510	76122	01-01-030-5317 REKEY&MASTER KEY LOCK (Rekey&Master Key Lock Cylind	
į.						01-01-030-5317 To	210.00 tal : 244.82
65102	12/7/2020 YTD Amount:		DYNA-TECH INDUSTRIES, LTD	103000		NEW CONTROL BOARD, PRO	GR
		a grant a room income			76197	NEW CONTROL BOARD, PRO	GR
						02-10-203-5305 Tot	2,045.45 tal : 2,045.45
65103	12/7/2020 YTD Amount:		EAGLE POWER & EQUIP CORP	R01706		EQUIPMENT RENTAL	
		,			75095	RENTAL EQUIPMENT	
				R01769	76161	01-00-000-5862 COMPACT TRACK LOADER R COMPACT TRACK LOADER R	
						02-10-205-5305	3,473.00 tal : 7,331.25
65104	12/7/2020 YTD Amount:		EAST COAST FLAG & BANNER CO	0028911		AMERICAN AND TOWNSHIP F	LA

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Bank co	ode: ap2						
Vouche	r Date	Vendor		Invoice	PO #	Description/Account	Amount
65104	12/7/2020	03734	ĨĂŜT COAST FLAG & BANNER CO	(Continued)	76171	American and Township Flags-\$70 01-01-030-5318 Total :	709.98 709.98
65105	12/7/2020		EASTERN LIFT TRUCK CO.	263623		FORK LIFT REPAIRS AND SCHEE	
	YTD Amount	: 227.70			76199	FORK LIFT REPAIRS AND SCHEE 02-10-200-5305 Total :	227.70 227.70
65106	12/7/2020		EASTERN WAREHOUSE DIST. INC.	10IV335917		12 VOLT DEKA 904D BATTERY	
	YTD Amount	: 212.95			76164	12 VOLT DEKA 904D BATTERY 02-10-203-5304 Total :	212.95 212.95
65107	12/7/2020 YTD Amount:		EVANS, CAROLYN BRAUN	REIMBURSEM	ΙE	REIMBURSEMENT FOR SIERRA	
						01-01-002-5340 Total :	100.00 100.00
65108	12/7/2020		FITNESS MACHINE TECHNICIANS	3129-1		INVOICE 3129-1 - EQUIPMENT RI	
	YTD Amount:	1,509.80			76235	Invoice 3129-1 - equipment repairs 01-04-055-5305 Total :	335.80 335.80
65109	12/7/2020 YTD Amount:		FLEETS CARPET	11264		TWNSHP. LOBBY&DETECTIVE D	

Voucner List TWP OF ABINGTON

Bank coc	le: ap2						
Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65109	12/7/2020	10828	FLEETS CARPET	(Continued)			
					76106	Twnshp. Lobby&Detective Div.\$3,1	
						07-01-500-7536 Total :	3,111.00 3,111.00
65110	12/7/2020 YTD Amount:		GEPPERT INC., WILLIAM A	60298 59992 59)	APD'S SIU RENOVATIONS - \$353.	
					76170	APD's SIU Renovations - \$353.00~	
				60884 60959 61	76211	01-01-030-5317 TOWNSHIP AND APD(SIU) SUPPI Township and APD(SIU) Supplies-\$	353.00
					76211	01-01-030-5317 Township and APD(SIU) Supplies-\$	137.32
						07-01-500-7536 Total :	30.13 520.45
65111	12/7/2020 YTD Amount:		HANES, LAURA	ZHB		ZHB MEETING	
	TTD Amount.	525.00				ZHB MEETING	
585						01-06-087-5030 Total :	75.00 75.00
65112	12/7/2020 YTD Amount:		HARRIELLE EMBROIDERY, LTD.	12335		SHIRTS FOR QUINN	
	r i D Amount.	3,003.00			76121	shirts for Quinn	
				12852	76176	01-04-051-5316 KENT - TWO DEPARTMENT JACł Kent - two department jackets	72.00
9						01-04-053-5316 Total :	80.00 152.00

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Voucher List TWP OF ABINGTON

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Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65113	12/7/2020 YTD Amount:	13203	HIRSCHBERG MECHANICAL	28208A 28160A	N	TOWNSHIP BUILDING AIR	COND	
	TTD Amount.	4,200.00			76169	Air Conditioner Repairs for A	bingtor	
						01-01-030-5317	Total :	688.00 688.00
65114	12/7/2020		HOME DEPOT CREDIT SERVICES	22757		MAINTENANCE CONSUMA	BLES	
	f i D Amount.	FD Amount: 28,320.15			76159	MAINTENANCE CONSUMA	BLES	
				8024601	76210	02-10-200-5322 TOWNSHIP BUILDING SUP Township Building Supplies fo		324.98
				9021204	76215	01-01-030-5317 COUNTER TOPS FOR SIU - Counter Tops for SIU - \$259. ⁹		237.37
						01-01-030-5317	Total :	259.94 822.29
65115	12/7/2020 YTD Amount:		INSTRUMENTS, INC., TELEDYNE	S020435026		REBUILD KITS FOR ISCO S	AMPL	
	r i D Amount.	5,720.51			76239	REBUILD KITS FOR ISCO S	AMPL	
121						02-10-200-5322	Total :	775.00 775.00
65116	12/7/2020		JOHN KENNEDY FORD JENKINTOWN	SEE LIST		PARTS FOR VEHICLE #29-1	5 \$14	
	YTD Amount:	15,569.35			76070	PARTS FOR VEHICLE #29-1	5 \$14	
						01-14-186-5304	Total :	730.01 730.01

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65117	12/7/2020 YTD Amount:	05213	LAND MOBILE CORP	201113		MINOR EQUIPMENT.~	
					76147	Factory Repair Service Apollo AL-	A
						01-15-057-5322 Tota	79.00 : 79.00
65118	12/7/2020 YTD Amount:		LOWE'S BUSINESS ACCOUNT	02397		TOWNSHIP BASEMENT SUPPL	E
		Pro 🖌 4. domeninger og er og generale			76214	Township Basement Supplies - \$4	7
				908126	76218	07-01-500-7517 TOWNSHIP LOBBY SUPPLIES - Township Lobby Supplies - \$81.3	
						01-01-030-5317 Tota	81.31 : 554.28
65119	12/7/2020 YTD Amount:		MCGUIRE & SONS ROOFING LLC	REFUND		REFUND BUSINESS PRIVILEGE	-
		.,				Refund business privledge	
						01-00-000-4312 Tota	1,893.00 : 1,893.00
65120	12/7/2020		METRO ELEVATOR CO., INC.	107588		NOVEMBER TWNSHPS ELEVAT	С
	YTD Amount:	1,215.30			76212	November Twnshps Elevator Lift-	59
						01-01-030-5305 Tota	90.62 : 90.62
65121	12/7/2020 YTD Amount:		MIA MASONRY INC	REFUND LST		LST REFUND	
	TTD Amount.	104.00				LST refund	
×						01-00-000-4312	104.00

Voucher List TWP OF ABINGTON

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65121	12/7/2020	16371	MIA MASONRY INC	(Continued)			Total :	104.00
65122	12/7/2020		MODERN GROUP POWER SYSTEMS	PSV1572585		PREVENTITIVE MAINTENA	NCE S	
	YTD Amount:	445.00			75540	PREVENTITIVE MAINTENA	NCE S	
						01-13-130-5317	Total :	445.00 445.00
65123	12/7/2020		MUNICIPAL SUPPLY CO., INC, U.S.	6173922		100 ALUMINUM BLANK SIC	GNS (1	
	YTD Amount:	12,483.12			75570	100 ALUMINUM BLANK SIC	GNS (1	
						03-13-143-5325	Total :	630.00 630.00
65124	12/7/2020		NAPA AUTO PARTS	SEE LSIT		OIL FILTER FOR TRUCK#24	45 \$4.(
	YTD Amount:	5,604.30			76072	OIL FILTER FOR TRUCK#24	45 \$4.(
						01-14-186-5304	Total :	74.83 74.83
65125	12/7/2020		O'CONNOR, MICHAEL	ZHB		ZHB MEETING		
	YTD Amount:	675.00				ZHB MEETING		
						01-06-087-5030	Total :	75.00 75.00
65126	12/7/2020 YTD Amount:		PENDERGAST SAFETY EQUIP. CO.	310543 340543		WORK GLOVES		
	TID Amount.	3,303.01			76200	WORK GLOVES		
						02-10-203-5322	Total :	270.66 270.66

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65127		/7/2020 01189 ¹² IPENNONI ASSOCIATES INC. Amount: 46,688.00		1017603		REDSTONE AT BEADERWOOD	~
						REDSTONE AT BEADERWOOD	~
				1033381		07-00-000-2442 RED STONE AT BEADERWOOI RED STONE AT BEADERWOOI	
9						07-00-000-2442 Tota	70.00 I: 560.00
65128	12/7/2020 YTD Amount:		PETSMART	SEE LIST		ANIMAL FOOD AND ANIMAL CA	R
	TTD / anount.	1,000.42			75840	Animal food and animal care pro-	lu
						01-24-155-5323 Tota	58.19 I: 58.19
65129	12/7/2020 YTD Amount:		PHILADELPHIA DISTRICT EROC5, FAO, U	ACE MATCH		ARMY CORP PROJECT	
	T D 7 WHOUL	000,000.0	0			ARMY CORP PROJECT	
						07-00-967-7202 Tota	470,000.00 I: 470,000.00
65130	12/7/2020 YTD Amount:		PINNACLE TECHNOLOGIES INC	20-262		OVERLAMINATES FOR THE ID	M.
	TTD Amount.	750.19			76153	overlaminates for the ID machine	
120						01-04-053-5340 Tota	152.70 I: 152.70
65131	12/7/2020 YTD Amount:		PORTNOFF LAW ASSOC., LTD.	1662		COLLECTION OF DELIQUENT	SE.

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/oucher	Date	Vendor		Invoice	<u>PO #</u>	Description/Account	Amount
65131	12/7/2020	04121	PORTNOFF LAW ASSOC., LTD.	(Continued)		COLLECTION OF DELIQUENT SE	
						02-27-207-5201 COLLECTION OF DELIQUENT SE	2,355.75
						14-12-105-5201 Total :	2,355.75 4,711.50
65132				1082		STORAGE SYSTEMS FROM 29-0;	
	YTD Amount:	3,689.17			75453	storage systems from 29-08 car an	
				01-04-043-5322 Total :	3,570.30 3,570.30		
5133	133 12/7/2020 06510 YTD Amount: 734.00	PSATS	inv 75915 kob	1	2020 ENIGEEERS FALL SEMINAR		
ar	YTD Amount:	734.00				2020 Enigeeers Fall Seminar	
						01-07-110-5301 Total :	125.00 125.00
5134	12/7/2020		REIDER ASSOCIATES, INC., M.J.	20K0014		LABORATORY TESTING	
	YTD Amount:	28,541.25			76124	LABORATORY TESTING	
						02-10-200-5305 Total :	3,192.50 3,192.50
5135	12/7/2020		REIT LUBRICANTS CO.	1095991		HYDRAULIC FLUID	
	YTD Amount: 13,323.69		75994	HYDRAULIC FLUID			
						01-14-186-5310 Total :	2,096.27 2,096.27

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65136	12/7/2020 YTD Amount:	16375 455.00	RÊNEWAL BY ANDERSON	PERMIT REFUN		PERMIT REFUND		
						PERMIT REFUND		
						01-00-000-4325	Total :	455.00 455.00
65137	12/7/2020 YTD Amount:		REPUBLIC SERVICES INC	3-03200036735		GRIT AND SCREENING DIS	SPOSA	
		0,000.01			75937	grit and screening disposal		
						02-10-200-5305	Total :	1,279.20 1,279.20
65138	12/7/2020 YTD Amount:		RIGGINS, INC.	75031202		6020.2 GALLONS OF DIES	SEL FU	
	TTD Amount.	70,240.21			76083	6020.2 GALLONS OF DIES	SEL FU	
						01-14-186-5310	Total :	8,417.44 8,417.44
65139	12/7/2020 YTD Amount:		RIVIERA D'ITALIA	060769		TRUCK DETAIL LUNCH		
	TTD Amount.	200.12			76181	truck detail lunch		
				×		01-04-048-5305	Total :	29.80 29.80
65140	12/7/2020 YTD Amount:		ROSLYN SUPPLY-GULFEAGLE 103	S9479692.001		SUPPLIES FOR DET. BEAG	HLEY'	
	TTD Amount.	11,772.02			76180	supplies for Det. Beaghley's	office	
						01-04-053-5340	Total :	7.50 7.50
65141	12/7/2020 (YTD Amount:		RUMSEY ELECTRIC	S5927319.001		REVERSING STARTER AND	OVE	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65141	12/7/2020	05907	RUMSEY ELECTRIC	(Continued)	76160	REVERSING STARTER AND	OVE
						02-10-203-5304	531.00 Total : 531.00
65142	12/7/2020		SECURITY ON LINE SYSTEMS INC	85693		INSPECTION CONTRACT-9-	-1-20-
	YTD Amount:	4,608.00			76128	Inspection Contract-9-1-20-8-	31-21
						01-01-030-5305	2,892.00 Total : 2,892.00
65143	12/7/2020		SHERWIN WILLIAMS CO.	3783 3654 2667	,	TOWNSHIP RENOVATION S	UPPL
	YTD Amount:	3,736.31			76130	Township Renovation Supplie	s for~
				5856-7	76179	07-01-500-7536 SUPPLIES FOR DET. BEAGI supplies for Det. Beaghley's o	
.8.						01-04-053-5340	43.94 Total : 363.58
65144	12/7/2020		SHERWOOD, JENNIFER	REIMBURSEME		REIMBURSEMENT FOR PLA	NT R
	YTD Amount:	43.95				REIMBURSEMENT FOR PLA	NT R
2						01-00-000-2511 ו	43.95 Fotal : 43.95
65145	12/7/2020 YTD Amount:		SPAHR-EVANS PRINTERS	31985		BUSINESS CARDS FOR GEL	_IEBT

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65145	12/7/2020	01012 ^	SPAHR-EVANS PRINTERS	(Continued)				
				,	75964	business cards for Geliebter		
					76027	01-04-055-5303 500 business cards for Ofc. T	aormi	42.00
						01-04-055-5303	Total :	42.00 84.00
65146	12/7/2020 YTD Amount:		SPEED TECH LIGHTS, INC	271654		REPLACEMENT LIGHTS FO	r Pai	
					75969	REPLACEMENT LIGHTS FO	R PAI	
,						01-14-186-5304	Total :	136.68 136.68
65147	12/7/2020 YTD Amount:		SPOK	NOVEMBER		MONTHLY PAGING SERVIC	ES	
						Parks paging services		
						01-24-150-5307 Wastewater paging services		18.24
						02-10-200-5307	Total :	17.67 35.91
65148	12/7/2020 YTD Amount:		TAMCO CONSTRUCTION INC	202193		4-DAY CRUSHER RENTAL -	CON	
		·			75791	4-Day Crusher Rental - Const	tructio	
						07-00-967-7200	Total :	13,600.00 13,600.00
65149	12/7/2020 YTD Amount:		THE HOME DEPOT PRO	580259307		TOWNSHIP HAND SANITIZE	ERS -	
					76129	Township Hand Sanitizers - \$7	736.9	
						01-01-030-5318		736.97

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65149	12/7/2020	15540 ~	THE HOME DEPOT PRO	(Continued) 581071107	76126	TOWNSHIP PAPER PROD Township Paper Products-\$		
						01-01-030-5318	Total :	859.91 1,596.88
65150	12/7/2020		UPPER MERION	26220		INVOICE 26220 - CODY CO	OBRA S	
	YTD Amount:	1,233.15			76234	Invoice 26220 - Cody Cobra	Storag	
×				r		01-04-055-5305	Total :	1,233.15 1,233.15
65151	12/7/2020		USA BLUE BOOK	415191 414734		150ML BEAKERS, KIM WIF	PES, 10	
	YTD Amount:	2,286.35			76087	150ML BEAKERS, KIM WIF	PES, 10	
						02-10-200-5335	Total :	417.76 417.76
65152	12/7/2020		VECTOR SECURITY	66918233		MONTHLY MONITORING F	EE.	
	YTD Amount:	1,022.45			76226	Monthly monitoring fee.		
						01-24-155-5305	Total :	92.95 92.95
65153	12/7/2020		VERIZON	DECEMBER		MONTHLY CONDUIT RENT	TAL	
	YTD Amount:	841.32				MONTHLY CONDUIT RENT	AL	
(r						01-01-002-5307	Total :	70.11 70.11
65154	12/7/2020 YTD Amount:		VERIZON	OCT/NOV		DATA CONNECTION FOR F	POLICE	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65154	12/7/2020	16377	VÊRÎZON	(Continued)			, and and
						DATA CONNECTION FOR POLICE	
						01-04-055-5305 Total :	609.80 609.80
65155	12/7/2020 YTD Amount:		VILE, SUSAN ELIZABETH	11/18/2020		TRANSCRIPTION/EDITING OF MI	
						Transcription/Editing of minutes for	
				11/29/2020		01-01-002-5305 TRANSCRIPTION/EDITING OF MI Transcription/Editing of minutes	107.50
						01-01-002-5305 Transcription/Editing of minutes BC	236.50
						01-01-002-5305 Transcription/Editing of minutes BC	172.00
				11092020		01-01-002-5305 TRANSCRIPTION/EDITING OF MI Transcription/Editing of minutes BC	118.25
						01-01-002-5305 Total :	182.75 817.00
65156	12/7/2020		VIMCO INC	663544		STEEL PINS FOR CONCRETE FC	
	YTD Amount:	2,608.75			75881	STEEL PINS FOR CONCRETE FC	
,						03-13-146-5304 Total :	354.25 354.25
65157	12/7/2020 YTD Amount:		WEINSTEIN SUPPLY CORP.	S025550637.0	002	24 AIR FILTERS-INV.#S025550637	

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Bank co							
Vouche	Date	Vendor		Invoice	PO #	Description/Account	Amou
65157	12/7/2020	01032	WEINSTEIN SUPPLY CORP.	(Continued)	76123	24 Air Filters-Inv.#S025550637 - \$4	
				S026180391.00 ⁻	76227	01-01-030-5317 MATERIALS NEEDED FOR HEATI Materials needed for heater.	44.4
						01-24-155-5317 Total :	44.3 88.7
65158	12/7/2020		WEISS, MARK	PERMIT REFUN		PERMIT REFUND	
	YTD Amount:	25.00				PERMIT REFUND	
						01-00-000-4325 Total :	25.0 25.0
65159	12/7/2020		WERTHEIMER, BARBARA M.	ZHB		ZHB MEETING	
	YTD Amount:	600.00				ZHB MEETING	
						01-06-087-5030 Total :	75.0 75.0
5160	12/7/2020		WISSAHICKON TRAILS	2020-0113		WATER TEMPERATURE SENSOF	
	YTD Amount:	1,174.50			76162	WATER TEMPERATURE SENSOF	
						02-10-200-5305 Total :	1,174.50 1,174.5 0
5161	12/7/2020		WITMER PUBLIC SAFETY GROUP INC	2074487		POLICE EQUIPMENT - 10 SHOTG	
	YTD Amount:	0,130.57			75931	POLICE EQUIPMENT - 10 shotgur	
Ϋ́.						01-04-056-5322 Total :	486.65 486.6 5

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Bank code : ap2 Voucher Date Vendor	Incode	20 //		
	Invoice	<u>PO #</u>	Description/Account	Amount
97 Vouchers for bank code : ap2			Bank total :	711,440.84
97 Vouchers in this report			Total vouchers :	711,440.84

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1/5/2021 7:43:15AM

Replaced Checks Listing TWP OF ABINGTON

Bank: ap2 Account: 1210645

Orig check	Date	Voided	Check amt	EFT	Paid to	Repl check	Date	Reason
64496	10/29/2020	12/7/2020	10,200.00	No	GRANICUS, INC	65162	12/7/2020	CHECK NOT RECEIVED
	Ва	nk total:	10,200.00					
	Chec	ks total:	10,200.00					

12/10/20	20 10:44:14	AM	Т	Voucher List WP OF ABINGTON	N		I	Page: 1
Bank co	de: ap2							
Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65163	12/10/2020 YTD Amount		ABINGTON TWP PUBLIC LIBRARY 3	APPROPRIATE	E	LIBRARY APPROPRIATION		
i		• N (2) (20)				LIBRARY APPROPRIATION		
						01-23-072-5334	Total :	347.53 347.53
65164	12/10/2020 YTD Amount:		ACKER'S HARDWARE, INC.	2011-100394		REPAIRS TO ACEC		
				76166	Repairs to ACEC			
						01-24-152-5323	Total :	7.64 7.64
65165	12/10/2020 YTD Amount:		APS	178662 670 78	0	BACK UP CAMERA FOR TR	UCK#	
	TTD Amount.	12,000.20			76187	BACK UP CAMERA FOR TR	UCK#	
						01-14-186-5304	Total :	831.93 831.93
65166	12/10/2020 YTD Amount:		ARDMORE TIRE COMPANY	48815		REFUSE TRUCK TIRES		
	TTD Amount.	55,205.15			76144	REFUSE TRUCK TIRES		
						01-14-186-5304	Total :	641.25 641.25
65167	12/10/2020		BANKERS SETTLEMENT SERVICES	REFUND REAL	-	1310 ROTHLEY AVE-LONES	KY	
	TTD Amount.	:: 950.00			1310 ROTHLEY AVE-LONES	ίΚΥ		
						01-00-000-4320	Total :	950.00 950.00

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Bank co	de: ap2						
Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65168	12/10/2020		BERKHEIMER TAX ADMINISTRATOR	NOVEMBER		EIT Commission	
	YTD Amount:	97,955.44				EIT Commission	
						01-02-021-5305 Total :	15,476.44 15,476.44
65169	12/10/2020		BILLOWS ELECTRIC SUPPLY	5020242-00		ALVERTHORPE MANOR SEWER	
	YTD Amount:	8,952.98			76246	Alverthorpe Manor sewer repair	
						08-24-800-9803 Total :	149.44 149.44
65170	12/10/2020		BRYNER CHEVROLET INC.	943628 306 944	ŀ	FUEL PUMP FOR #29-07 \$477.1(
	YTD Amount:	9,664.88			76139	FUEL PUMP FOR #29-07 \$477.16	
				944238 944436	76096	01-14-186-5304 TURN SIGNAL SWITCH FOR VEH TURN SIGNAL SWITCH FOR VEH	1,030.10
						01-14-186-5304 Total :	286.75 1,316.85
65171	12/10/2020		BURGER KING #3284	MEALS		PRISONER MEALS - NOVEMBER	
	YTD Amount:	1,293.57			76264	Prisoner Meals - November 2020	
						01-04-043-5330 Total :	98.28 98.28
65172	12/10/2020		CARGO TRAILER SALES, INC.	168466		ATFD SPECIAL OPERATIONS RE:	
į	YTD Amount:	78.25			75965	ATFD Special Operations Resource	
						01-15-064-5322	78.25

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Voucher	Date	Vendor		Invoice	PO #	Dependenting		
65172	12/10/2020	12707	CARGO TRAILER SALES, INC.	(Continued)		Description/Account		Amount
65173	12/10/2020 YTD Amount:	12951		79353		ROSLYN SHOPPING CTR	Total :	78.25
		<i><i><i></i></i></i>	279.34			ROSLYN SHOPPING CTR		
,				79354		07-00-000-2451 1538-46 EASTONRD 1538-46 EASTONRD		675.00
				79355		07-00-000-2451 1631 GRAHAM RD 1631 GRAHAM RD		45.00
				79356		01-01-003-5202 1733 MELMAR RD 1733 MELMAR RD		55.50
				79357		01-01-003-5201 1768 KIMBALL 1768 KIMBALL		37.00
				79358		07-00-000-2451 1907 SUSQUEHANNA RD 1907 SUSQUEHANNA RD		877.50
				79359		01-01-003-5201 261 OLD YORK ROAD 261 OLD YORK ROAD		314.50
				79360		07-00-000-2451 401 CADWALDER AVE 401 CADWALDER AVE		1,507.50
				79361		01-01-003-5201 ABINGTON FRIENDS ABINGTON FRIENDS		18.50
						07-00-000-2451		67.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
65173	12/10/2020	12951 CLÂRKE, LLC, RUDOLPH	(Continued) 79362		BAEDERWOOD RESIDENTIAL PA BAEDERWOOD RESIDENTIAL PA	
			79363		07-00-000-2442 BATTLEMAN, C BATTLEMAN, C	22.50
			79364		01-01-003-5201 DUKE REEAL ESTATE PARTNER{ DUKE REEAL ESTATE PARTNER{	1,075.30
			79365		07-00-000-2451 GH REAL HOLDING GH REAL HOLDING	112.50
·			79366		01-01-003-5202 GALMAN LITIGATION GALMAN LITIGATION	12.50
			79367		07-00-000-2451 1057 EASTON RD 1057 EASTON RD	943.50
			79368		07-00-000-2451 MOKHTAR LEHETA MOKHTAR LEHETA	45.00
			79369		01-01-003-5201 LEHMAN, LORA LEHMAN, LORA	5,001.90
			79371		01-01-003-5201 PREIT-WILLOW GROVE PREIT-WILLOW GROVE	314.50
		-			07-00-000-2451 Total :	427.50 11,553.20

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65174	12/10/2020 YTD Amount:	12500	CLEAN MACHINE CARWASH	CAR WASHES		CAR WASHES 10/18-11/7		
	TTD Amount.	1,890.00			76141	CAR WASHES 10/18-11/7		
						01-14-186-5304	Total :	132.00 132.00
65175	12/10/2020 YTD Amount:		COMCAST	NOVEMBER		8499 10 138 0274354		
	T D / Milount.	001.70				HIGHWAY PUBLIC WORKS		
						01-13-130-5305	Total :	29.48 29.48
65176	12/10/2020 YTD Amount:		COMCAST CABLE	DECEMBER		ARDSLEY COMMUNITY CE	NTER	
	TTD Amount.	2,475.50			73187	ARDSLEY COMMUNITY CE	NTER	
						01-24-152-5305	Total :	215.06 215.06
65177	12/10/2020 YTD Amount:		COMCAST CABLE	DECEMBER		CABLE SERVICE CRESTMO	ONT P	
	TTD Amount.	1,400.70			73186	CABLE SERVICE CRESTMO		
						01-24-153-5305	Total :	123.35 123.35
65178	12/10/2020 YTD Amount:		COMCAST CABLE	DECEMBER		CABLE SERVICE PENBRYN	I POO	
	TTD Amount.	1,590.70			73185	CABLE SERVICE PENBRYN	I POO	
						01-24-154-5305	Total :	123.35 123.35
65179	12/10/2020 YTD Amount:		CONTRACT & COMMERCIAL INC., ST	APL SEE ATTACHED		CODE SERVICE SUPPLIES		e

12/10/202	20 10:44:14	AM	TWP	OF ABINGTON	N			_
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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65179	12/10/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	(Continued)	76252	DRY ERASE BOARD		
						01-06-081-5300	Total :	33.87 33.87
65180	12/10/2020 YTD Amount:			3-006919006		LEGAL ADVERTISING		
*	TID Allount.	25,201.14				LEGAL ADVERTISING		
						01-06-081-5303 LEGAL ADVERTISING		791.76
						01-01-002-5303	Total :	3,741.84 4,533.60
65181	12/10/2020 YTD Amount:			10442855994		REPLACEMENT COMPUTE	R SCF	
	TTD Amount.	20,171.00			76178	replacement computer scree	n for ir	
						01-04-043-5320	Total :	599.99 599.99

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			YTD Amount: 259.00	
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01-01-002-5307				
Total :				
FIRE DEPT DRUG & SUBSTANCI	DRUG TEST FIF	DSI MEDICAL SERVICES, INC.	12/10/2020 02074 YTD Amount: 10,017.96	65183
FIRE DEPT DRUG & SUBSTANC!		0		

65182

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43.58

Total :

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65184	12/10/2020 YTD Amount:	01096	ÊÂĞLE POWER & EQUIP CORP	P20604 20623		LEFT DOOR GLASS FOR BA	CKH	
					76185	LEFT DOOR GLASS FOR BA	CKH	
						01-14-186-5304	Total :	150.00 150.00
65185	12/10/2020 YTD Amount:		EAGLE TRUCK EQUIPMENT	19757		ARM MODULE FOR REFUSE	E TRL	
					75740	ARM MODULE FOR REFUSE	E TRL	
				19858 56 55 57	76017	01-14-186-5304 ARM CHAINS FOR REFUSE ARM CHAINS FOR REFUSE		593.48
						01-14-186-5304	Total :	2,356.20 2,949.68
65186	55186 12/10/2020 0 YTD Amount:		EDWARDS, STEVE 00	TOOL REIMBUF		TOOL REIMBURSEMENT		
	TTD Amount.					TOOL REIMBURSEMENT		
						01-14-180-5323	Total :	1,000.00 1,000.00
65187	12/10/2020 YTD Amount:		FBI - LEEDA	200048848		LEADERSHIP CLASS - QUA	KERT	
	r i D'Amount.	745.00			76262	Leadership class - Quakertow	/n – Lt	
						01-04-056-5234	Total :	695.00 695.00
65188	12/10/2020		FITNESS MACHINE TECHNICIANS	2428324		DIAGNOSTIC VISIT AND TRA	AVEL	
	YTD Amount:	1,619.80			76261	diagnostic visit and travel		
						01-04-055-5305		110.00

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65188	12/10/2020	13947	FITNESS MACHINE TECHNICIANS	(Continued)			Total :	110.00	
65189	12/10/2020 YTD Amount:		FITTIPALDI, PASQUALE	TOOL REIMBUR	:	TOOL REIMBURSEMENT			
	T D / Mount.	1,000.00				TOOL REIMBURSEMENT			
						01-14-180-5323	Total :	1,000.00 1,000.00	
65190	12/10/2020		FREIMUTH, MICHAEL	CDL		CDL LICENSE			
	YTD Amount:	1,064.00				CDL LICENSE			
					TOOL REIMBUF		01-13-131-5323 TOOL REIMBURSEMENT TOOL REIMBURSEMENT		64.00
						01-14-180-5323	Total :	1,000.00 1,064.00	
65191	12/10/2020 YTD Amount:		The local is a second with the local is the local is the local second se	13361		JULY 2019 RED LIGTH CAN	IERA		
	f i D Amount.	420,000.00	,			July 2019 RED LIGTH CAME	ERA		
						01-00-000-1310	Total :	42,000.00 42,000.00	
65192	12/10/2020		GEPPERT INC., WILLIAM A	57041		PAVING BREAKER RENTAL			
	YTD Amount:	19,597.99			76245	Paving breaker rental~			
				61051 61050 61	76168	08-24-800-9803 MATERIALS FOR HALLOWI Materials for Hallowell Park	ell Pa	200.00	
						01-24-158-5323		285.54	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65192	12/10/2020	00512 1	GEPPERT INC., WILLIAM A	(Continued) 61100 61088	76105	PROPANE TANK REFILL PROPANE TANK REFILL		
					76105	03-13-143-5325 PINT FOR SIGN CREW		37.98
				61312	76133	03-13-143-5325 REPAIRS TO GROVE PARK Repairs to Grove Park		37.74
				61922	76134	01-24-158-5323 FAST SETTING CONCRETE FAST SETTING CONCRETE		46.94
						01-13-131-5323	Total :	19.77 627.97
65193	12/10/2020 YTD Amount:		GLENSIDE LAWN & GARDEN, INC.	50130		OIL FOR SMALL ENGINES		
	110741104114	1,110.20			76248	Oil for small engines		
						01-24-158-5322	Total :	257.02 257.02
65194	12/10/2020		GRAN TURK EQUIPMENT CO INC	1139526-01		PARTS FOR REBUILDING F	REFUS	
	YTD Amount:	15,341.64			75754	PARTS FOR REBUILDING F	REFUS	
						01-14-186-5304	Total :	1,818.55 1,818.55
65195	12/10/2020		HIGH SWARTZ LLP	84654 82979		TAX AUDITS		
÷	YTD Amount:	10,717.60				TAX AUDITS		
						01-02-021-5201		2,508.50

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65195	12/10/2020	15039	HIGH SWARTZ LLP	(Continued)		Tota	l: 2,508.50
65196	12/10/2020 YTD Amount:		HOME DEPOT CREDIT SERVICES	40278		REPAIRS TO PENBRYN POOL	
	TTD / mount.	20,00 1.7 1			76247	Repairs to Penbryn Pool	
				5024227	76183	01-24-154-5317 REPAIRS TO ELK STREET TOT Repairs to Elk Street Tot Lot	481.79 L'
·				7046442	76167	01-24-157-5323 MATERIALS TO WINTERIZE FA Materials to winterize facilities	138.34 Cl
				9021725 902117	76132	01-24-157-5323 PENBRYN POOL REPAIRS Penbryn Pool repairs	30.62
						01-24-154-5323 Total	1,023.81 : 1,674.56
65197	12/10/2020 YTD Amount:		IEH AUTO PLUS LLC	SEE LIST		FILTERS #115 \$26.65~	
	TTD Amount.	11,090.00			76138	FILTERS #115 \$26.65~	
						01-14-186-5304 Total	124.15 : 124.15
65198	12/10/2020		IMSA	DUES		MEMBERSHIP DUES FOR KEN I	.)
	YTD Amount:	200.00			76146	MEMBERSHIP DUES FOR KEN I	.)
,						01-13-130-5301 Total	200.00 : 200.00
65199	12/10/2020 1 YTD Amount:		INTERSTATE BATTERY SYSTEM	181121874		BATTERIES FOR TWO POLICE	2

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65199	12/10/2020	10824	ÎNTÊRSTATE BATTERY SYSTEM	(Continued)				, uno di l
					76188	BATTERIES FOR TWO PO	LICE C.	
						01-14-186-5304	Total :	350.85 350.85
65200	12/10/2020 YTD Amount:		JOHN KENNEDY FORD JENKINTOWN	360320 361945		OIL FILTERS FOR PICK UF	TRUC	
					76140	OIL FILTERS FOR PICK UF	TRUC	
						01-14-186-5304	Total :	454.78 454.78
65201	12/10/2020		LAMBERT, ED	CDL LICENSE		CDL LICENSE RENEWAL		
	YTD Amount:	64.00				CDL LICENSE RENEWAL		
						01-13-131-5323	Total :	64.00 64.00
65202	12/10/2020		LANSDALE CHRYSLER	116762		COOLANT BOTTLE FOR #	29-20	
	YTD Amount:	0,000.30			76136	COOLANT BOTTLE FOR #	29-20	
						01-14-186-5304	Total :	79.50 79.50
65203	12/10/2020		LIZZI CUSTOM GRAPHICS LLC.	AT2014		EQUIPMENT LABLES / GR	APHIC	
	YTD Amount:	14,202.00			76190	EQUIPMENT LABLES / GR	APHIC	
						01-14-186-5304	Total :	1,252.00 1,252.00
65204	12/10/2020 YTD Amount:		LORCO PETROLEUM SERVICES	1604713 15088	i	OIL FILTER REMOVAL \$23	50.00~	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	-	Amount
65204	12/10/2020	14172	LORCO PETROLEUM SERVICES	(Continued)	76145	OIL FILTER REMOVAL \$2	50 00~	
					70143	01-14-186-5310	Total :	375.00 375.00
65205	12/10/2020		LOWE'S BUSINESS ACCOUNT	02733		MAILBOX / BATTERIES & S	SUPPLI	171.15 15.16 216.48 402.79
	YID Amount:	ount: 10,295.94		76115	MAILBOX / BATTERIES & S	SUPPLI		
				10449	76104	14-12-101-5320 PAPER TOWELS FOR P.W PAPER TOWELS FOR P.W		171.15
				8154	76118	01-13-131-5323 PITCH FORKS FOR LEAF 3 PITCH FORKS FOR LEAF 3		15.16
						01-13-131-5323	Total :	
65206		/2020 09136 nount: 13,657.12	AND A REAL PROPERTY AND A REAL PROPERTY AND A REAL PROPERTY.	215396613		DISPOSABLE GOWN		
	YID Amount:				76184	Disposable gown		
~						01-24-150-5300	Total :	6.99 6.99
65207	12/10/2020		MENICHELLO, SCOTT	tool reimbursem		TOOL REIMBURSEMENT		
	YTD Amount:	t: 1,000.00				TOOL REIMBURSEMENT		
						01-14-180-5323	Total :	1,000.00 1,000.00
65208	12/10/2020 YTD Amount:		MICROSOFT	see attached		OFFICE365 INVOICES: E08	BOOCXF	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65208	12/10/2020	12454	MICROSOFT	(Continued)				
					76268	Office365 invoices dec2020:	E080C	
						01-01-005-5305	Total :	2,229.83 2,229.83
65209	12/10/2020 YTD Amount:		MOYER INDOOR/OUTDOOR	9677547		PEST CONTROL@ TRASFE	ER ST/	
	r i D / anount.	0,270.42			76175	PEST CONTROL@ TRASFE	ER ST/	
						14-12-101-5320	Total :	210.00 210.00
65210	12/10/2020 YTD Amount:		RAZZI RADIATOR & REPAIR	28195		RADIATOR FOR TRUCK# 40	03 \$1	
Ŷ	TTD Amount.	230.00			75888	RADIATOR FOR TRUCK# 40	03 \$1	
						01-14-186-5304	Total :	123.00 123.00
65211	12/10/2020 YTD Amount:		REIT LUBRICANTS CO.	190500		100 BAGS OF OIL DRY		
	TTD Amount.	14,204.09			76098	100 BAGS OF OIL DRY		
						01-14-186-5310	Total :	881.00 881.00
65212	12/10/2020		RIGGINS, INC.	75032144		5983.5 GALLONS OF DIESE	L FUE	
	YTD Amount:	07,122.56			76186	5983.5 GALLONS OF DIESE	L FUE	
						01-14-186-5310	Total :	8,874.37 8,874.37
6521 <u>3</u>	12/10/2020 YTD Amount:		SAYRE, INC., G. L.	01P2162 01P20		GASKET FOR WASTE WATE	ER TF	

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65213	12/10/2020	00989	ŠAYRE, INC., G. L.	(Continued)	76143	GASKET FOR WASTE WATER TF	
						01-14-186-5304 Total :	188.98 188.98
65214	12/10/2020		SCHMIDT, ERIK	TOOL REIMBU	JF	TOOL REIMBURSEMENT	
,	YTD Amount:	963.65				TOOL REIMBURSEMENT	
						01-14-180-5323 Total :	963.65 963.65
65215	12/10/2020		SORRENTINO, JOHN	CONF REIMBU	JF	REIMBURSEMENT SUSTAINABIL	
	YTD Amount:	236.00				REIMBURSEMENT SUSTAINABIL	
						01-01-002-5340 Total :	50.00 50.00
65216	12/10/2020		STRYKER	3209451 M		10 CASES OF HEALTH GRADE DI	
	YTD Amount:	868.20			74062	10 cases of health grade disinfectin	
						01-04-055-5300 Total :	868.20 868.20
65217	12/10/2020		THE HOME DEPOT PRO	584860209		WIPES, CLEANER, PAPER TOWE	
	YTD Amount:	21,802.50			73970	Wipes, Cleaner, Paper Towels, Tra	
					73970	01-24-150-5300 Wipes, Cleaner, Paper Towels, Tra	55.05
						01-24-157-5318 Total :	113.19 168.24

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65218	12/10/2020	15153	TÎRÊHUB, LLC	17138361		8 POLICE CAR TIRES		
	YTD Amount:	12,525.00			76142	8 POLICE CAR TIRES		
						01-14-186-5304	Total :	1,123.68 1,123.68
65219	12/10/2020	08170	TRIAD TRUCK EQUIPMENT INC	0091615-IN		REPLACEMENT OF REAR	DUMP	
	YTD Amount:	2,150.00			75782	REPLACEMENT OF REAR	DUMP	
						03-13-148-5320	Total :	2,150.00 2,150.00
65220	12/10/2020	00112	VERIZON	DECEMBER		TELEPHONE BILLINGS PU	MP ST.	
	YTD Amount:	5,760.49	19			TELEPHONE BILLINGS pur	np stat	
•						02-10-203-5307 TELEPHONE BILLINGS-FEI	RNWO	43.47
						02-10-200-5307	Total :	39.45 82.92
65221	12/10/2020		VILE, SUSAN ELIZABETH	12/03/2020		TRANSCRIPTION/EDITING	OF MI	
	YTD Amount:	10,554.75				Transcription/Editing of minu	tes VP	
,				12/07/2020		01-01-002-5305 TRANSCRIPTION/EDITING Transcription/Editing of minu		86.00
						01-01-002-5305	Total :	129.00 215.00
65222	12/10/2020 YTD Amount:		ZUROWSKI, TOM	Tool reimbursem		TOOL REIMBURSEMENT		

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	
65222	12/10/2020	15639 ZÛROWSKI, TOM	(Continued)			Amoun
					TOOL REIMBURSEMENT	
					01-14-180-5323 Total :	1,000.00 1,000.00
65223	12/10/2020 YTD Amount:	12951 CLARKE, LLC, RUDOLPH \$166,950.64	79455		1247 OLD FORD ROAD	
		. ,			1247 OLD FORD ROAD	
			79456		01-01-003-5201 ROSLYN CHOEEING CTR ROSLYN CHOEEING CTR	129.50
			79457		07-00-000-2451 1431 WHEATSHEAF LANE 1431 WHEATSHEAF LANE	585.00
			79458		01-01-003-5201 1538-46 EASTON RD 1538-46 EASTON RD	259.00
			79459		07-00-000-2451 1733 MELMAR RD 1733 MELMAR RD	270.00
			79460		01-01-003-5201 GALMAN GROUP GALMAN GROUP	684.50
			79461		07-00-000-2451 966-968 OLD YORK RD 966-968 OLD YORK RD	1,462.50
			79462		07-00-000-2442 BAEDERWOOD RESIDENTIAL BAEDERWOOD RESIDENTIAL	22.50
					07-00-000-2442	112.50

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Voucher Date Vendor Invoice PO# Description/Account Amount ĈLARKE, LLC, RUDOLPH 65223 12/10/2020 12951 (Continued) 79463 BATTERMAN, DAVID BATTERMAN, DAVID 01-01-003-5201 351.50 79464 DUKE REAL ESTATE PARTNERS DUKE REAL ESTATE PARTNERS 07-00-000-2451 22.50 79465 GALMAN LITIGATION GALMAN LITIGATION 07-00-000-2451 2,664.00 79466 JEFFERSON HEALTH JEFFERSON HEALTH 07-00-000-2451 22.50 79467 MOKHTAR LEHETA MOKHTAR LEHETA 01-01-003-5201 185.00 79468 NEW LIFE PRESBYTERIAN NEW LIFE PRESBYTERIAN 07-00-000-2442 45.00 79469 **O'NEIL CONSULTING O'NEIL CONSULTING** 01-01-003-5201 37.00 79471 PREIT WILLOW GROVE PREIT WILLOW GROVE 07-00-000-2451 112.50 79472 SEWER-PWD SEWER-PWD 01-01-003-5201 259.00 Total : 7,224.50

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65224	12/10/2020	08628	CONTRACT & COMMERCIAL INC., STAF	PL SEE ATTACHE	C	KEY RINGS, CHAIRS, STORAGE	
	YTD Amount:	18,490.87			75585	Key rings, chairs, storage container	
						01-24-150-5300 Total :	18.56 18.56
65225	12/10/2020		HIRSCHBERG MECHANICAL	28245-A		REPLACE ROOF TOP UNIT ABOV	
	YTD Amount:	16,843.00			76341	Replace Rooftop AC unit above coc	
						01-01-002-5299 Total :	12,550.00 12,550.00
65226	12/10/2020		OFFICE DEPOT	135557485001		WIPES AND FILE FRAMES	
	YTD Amount:	1,640.23			76064	Wipes and file frames	
×				see attached	76182	01-24-150-5300 POWER STRIP, DESK ORGANIZE Power strip, desk organizers, face	101.36
						01-24-150-5300 Total :	227.52 328.88
65227	12/10/2020	지 말 것 같지 않지 않지?	O'NEILL'S FOOD MARKET	4257		ATFD FIRE TRAINING PROGRAM	
	YTD Amount:	1,110.66			76100	ATFD Fire Training Program:	
						01-15-064-5305 Total :	350.72 350.72
65228	12/10/2020 YTD Amount:		PFM ASSET MANAGEMENT LLC	MAC M0720 138		INVESTMENT ADVISORY SERVIC	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65228	12/10/2020	13301	FPFM ASSET MANAGEMENT LLC	(Continued)			
						INVESTMENT ADVISORY SERVIC	
						05-01-028-5305 INVESTMENT ADVISORY SERVIC	386.41
						05-01-029-5305 Total :	386.40 772.81
65229	12/10/2020 YTD Amount:		PREMIUM CLEANING SERVICE CORP	510296		GENERAL CLEANING FEE	
	T D Amount.	0,170.00			73171	November	
						01-24-157-5305 Total :	150.00 150.00
65230	12/10/2020 YTD Amount:		S & S WORLDWIDE, INC.	IN100647126		BASKETBALL NETS, VOLLEYBAL	
	TTD Amount.	110.25			75357	Basketball nets, volleyball nets,	
						01-24-151-5324 Total :	151.69 151.69
65231	12/10/2020 YTD Amount:		S2VERIFY, LLC	5069		CREDIT CHECKS FOR POTENTI/	
	TTD Amount.	125.00			76258	credit checks for potential new hire:	
						01-04-040-5319 Total :	75.00 75.00
65232	12/10/2020		SAXON OFFICE TECHNOLOGY, INC.	100318		MONTHLY SAXON INVOICE, DEC	
	YTD Amount:	23, 190.62			76307	Monthly Saxon Invoice, Dec 2020	
						01-01-005-5305 Total :	752.00 752.00

Voucher	Date	Vendor		Invoice	<u>PO #</u>	Description/Account	Amount
65233	12/10/2020		VERIZON	November		ALVERTHORPE MANOR PHONE	
	YTD Amount:	354.09			73412	November	
						01-24-150-5307 Total :	31.64 31.64
65234			VERIZON WIRELESS	NOVEMBER		MODEMS/POLICE CARS	
	YTD Amount: 13,951.38	8			MODEMS FOR POLICE CARS		
						01-04-055-5305 Total :	1,942.04 1,942.04
5235			(i) Second se	725632-00		ATFD FIRE TRAINING PROGRAM	
	YTD Amount:	1,540.00			76127	ATFD Fire Training Program: Struc	
					76127	01-15-064-5305 ATFD Fire Training Program: Struc	1,000.00
						01-15-064-5322 Total :	540.00 1,540.00
73	8 Vouchers for	bank code :	ap2			Bank total :	142,488.94
73	Vouchers in t	his report				Total vouchers :	142,488.94

12/16/20	20 9:14:07 <i>4</i>	AM		Voucher List TWP OF ABINGTON	I			Page: 1
Bank coo	le: ap2							
Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65236	12/14/2020 YTD Amount:		USPS	CALENDAR M	4	POSTAGE FOR MAILING TH	-1E 202	
	TTD Amount.	0,307.19				POSTAGE FOR MAILING TH	HE 202	
						01-01-002-5238	Total :	4,738.92 4,738.92
65237	12/16/2020		ABINGTON TWP PUBLIC LIBRARY	APPROPRIATE		LIBRARY APPROPRIATION		
	YTD Amount: 155	155,368.3	2			LIBRARY APPROPRIATION		
×						01-23-072-5334	Total :	5,856.79 5,856.79
65238	12/16/2020			DEC		REIMBURSE RETIREES INS	SURAN	
	YTD Amount:	3,700.02				REIMBURSE RETIREES INS	SURAN	
						05-01-028-5102	Total :	194.78 194.78
65239	12/16/2020		BAINBRIDGE, PATRICIA	NOVEMBER		REIMBURSE RETIREES INS	SURAN	
	YTD Amount:	1,208.79				REIMBURSE RETIREES INS	SURAN	
						05-01-029-5102	Total :	97.39 97.39
65240	12/16/2020 YTD Amount:		CARDMEMBER SERVICE	4798 5100 633 [.]	l	ZOOM MEETING, LINKEDIN		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65240	12/16/2020	14688 ົ	CARDMEMBER SERVICE	(Continued)		ZOOM MEETING, LINK	EDIN	
						01-01-005-5319 PARKS LITERTURE		1,339.69
1						01-24-150-5301 PA TOLL PLATE		35.00
						01-04-056-5234 DISINFECTANT		38.60
						01-04-043-5320 FINGERPRINTING		203.91
3						01-28-012-5111	Total :	745.50 2,362.70
65241		CILIBERTO, ANTHONY		NOV		REIMBURSE RETIREE	S INSURA	
	YTD Amount:					REIMBURSE RETIREE	S INSURA	
						05-01-029-5102	Total :	194.78 194.78
65242	12/16/2020		CLUTTON, SHARON	OCT-DEC		REIMBURSE RETIREE	S INSURAI	
	YTD Amount:	1,168.68				REIMBURSE RETIREE	S INSUAN(
						05-01-029-5102	Total :	292.17 292.17
65243	12/16/2020		COMCAST	DECEMBER		TELEPHONE CHARGE	S FOR PUI	
	YTD Amount:	D Amount: 709.11				PHONE SERVICE		
X						01-13-130-5305	Total :	57.06 57.06

Voucner List TWP OF ABINGTON

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65244	12/16/2020 YTD Amount:		COMCAST	DECEMBER		INTERNET FOR CRESTMON	NT CL	
		.,				INTERNET FOR CRSTMONT 01-24-153-5305	Г CLU Total :	113.35 113.35
65245	12/16/2020 YTD Amount:		COMCAST CABLE	DEC		INTERNET SERVICE FOR W	/ASTE	
	TTD Amount.	2,234.30				INTERNET SERVICE FOR W 02-10-200-5305		182.46
							Total :	182.46
65246	12/16/2020 YTD Amount:		COMCAST CABLE	DECEMBER		MONTHLY CABLE ROSLYN I	PARK	
200						MONTHLY CABLE ROSLYN I	PARK	
						01-24-158-5305	Total :	88.40 88.40
65247	12/16/2020 YTD Amount:		D.V.H.T.	DECEMBER		MONTHLY DENTAL INSURA	NCE I	
	i i b / iniouni.	110,010.0				MONTHLY DENTAL INSURAL	NCE I	
						01-00-000-2459 COBRA & COMMISSIIONERS	S DEI	14,033.12
						01-28-012-5111	Total :	480.11 14,513.23
65248	12/16/2020 YTD Amount:		DZIK, JOSEPH & LYNN MONICA	ASSESSMENT	1 .	ASSESSMENT REDUCTION		

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/oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65248	12/16/2020	16385	DZÎŔ, JOSEPH & LYNN MONICA	(Continued)		ASSESSMENT REDUCTION	
						01-00-000-4030 ASSESSMENT REDUCTION	33.00
						01-00-000-4075 Tota	8.00 I: 41.00
65249	12/16/2020		FIDELIO INSURANCE CO.	DECEMBER		MONTHLY DENTAL INSURANC	1
	YTD Amount:	124,043.7	9			DENTAL INSURANCE PREMIUM	l
						01-00-000-2459 COBRA/COMMISSIONERS DEN	9,886.20 Ti
						01-28-012-5111 Tota	210.61 : 10,096.81
65250	12/16/2020		FRANKFORD, CECILIA	DEC		REIMBURSE REITREES INSUR	17
	YTD Amount:	2,337.36				REIMBURSE RETIREES INSUR	1
						05-01-029-5102 Tota	194.78 : 194.78
5251	12/16/2020		GEPPERT INC., WILLIAM A	56413		SEALANT	
	YTD Amount:	19,609.36			76313	Sealant	
						01-24-157-5323 Tota	: 11.37
5252	12/16/2020		HOME DEPOT CREDIT SERVICES	6234237 63399	13	EZ UP CANOPY TENTS	
	YTD Amount:	30,837.34			75518	EZ Up Canopy Tents	
÷						01-24-156-5324	533.73

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oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
5252	12/16/2020	00851 ^^	HOME DEPOT CREDIT SERVICES	(Continued) 6905949 549	18: 76165	FOGGERS, BATTERIES, CHARGE Foggers, batteries, chargers	
						01-24-157-5323 Total :	308.90 842.63
5253	12/16/2020 YTD Amount:		LENTES, MARIANNE	DEC		REIMBURSE RETIREES INSURAL	
1						REIMBURSE RETIREES INSURAL	
						05-01-029-5102 Total :	194.78 194.78
5254	12/16/2020 YTD Amount:		MacFARLAND, JAMES	DEC		REIMBURSE RETIREES INSURA	
	YTD Amount: 2,3	_,,				REIMBURSE RETIREES INSURA	
×						05-01-029-5102 Total :	194.78 194.78
5255	12/16/2020 YTD Amount:		McMAHON ASSOCIATES, INC.	174442		EASTON RD-CMAQ CONST INSP	
						EASTON RD-CMAQ CONST INSP	
				174525		07-01-500-7537 ABINGTON JENKINTOWN CONN ABINGTON JENKINTOWN CONNI	1,596.85
8						01-01-002-5299 Total :	1,320.00 2,916.85
5256	12/16/2020 YTD Amount:	A VEN A VEN ES	MEGELSH, GEORGE	NOV		RETIREES MEDICARE INSURAN(
		-,				RETIREES MEDICARE INSURAN(
						05-01-028-5102	352.00

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Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65256	12/16/2020	10456	MEGELSH, GEORGE	(Continued)			Total :	352.00
65257	12/16/2020 YTD Amount:		MURPHY, JACK	DEC		RETIREES INSURANCE RE	EIMBUI	
	TID Amount.	2,407.30				RETIREES INSURANCE RE	IMBUI	
						05-01-029-5102	Total :	194.78 194.78
65258	12/16/2020		PETER A SCHORSCH TRUSTEE	ASSESSMENT	I	ASSESSMENT CHANGE ~		
	YTD Amount:	2,293.00				ASSESSMENT CHANGE ~		
						01-00-000-4030 ASSESSMENT CHANGE ~		1,839.00
ĩ						01-00-000-4075	Total :	454.00 2,293.00
65259	12/16/2020		PILCHIK, EVAN	REFUND		REFUND MERCANTILE TAX	K	
	YTD Amount:	58.00				REFUND MERCANTILE TAX	(
						01-00-000-4312	Total :	58.00 58.00
65260	12/16/2020 YTD Amount:		PROCESSING CENTER/SUMMARY BILL,	NOVEMBER		SUMMARY BILLING ACCT #	30190	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65260	12/16/2020	14691	PROCESSING CENTER/SUMMARY BILL,	(Continued)			
ų.						ELECTRIC FOR TOWNSHIP ACC	
						01-01-030-5308 ELECTRIC FOR FIRE TRAINING (2,421.93
						01-15-064-5308 ELECTRIC FOR POLICE TRAININ	83.51
						01-04-062-5308 ELECTRIC FOR HIGHWAY	449.50
						01-13-130-5308 ELECTRIC FOR REFUSE	1,508.18
						14-12-100-5308 ELECTRIC FOR ARDSLEY COMM	80.77
						01-24-152-5308 ELECTRIC FOR CRESTMONT PC	1,152.14
						01-24-153-5308 ELECTRIC FOR PENBRYN POOL	424.77
*						01-24-154-5308 ELECTRIC FOR BRIAR BUSH NA ⁻	127.41
						01-24-155-5308 ELECTRIC FOR PARKS FACILITIE	470.54
				·		01-24-157-5308 Total :	7,116.04 13,834.79
65261	12/16/2020 YTD Amount:		ROMAN, PHILLIP A.	DEC		RETIREES INSURANCE REIMBUI	
	T D / anount.	0,110.02				RETIREES REIMBURSEMENT	
						05-01-029-5102 Total :	478.41 478.41

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Voucher	Date	Vendor		Invoice	_ <u>PO #</u>	Description/Account		Amount
65262	12/16/2020 YTD Amount:		SHÊRIDAN, JAMES	ASSESSMETN	(ASSESSMENT REDUCTION	Ν	
	TTD/Indune.	24.00				ASSESSMENT REDUCTIO	N	
						01-00-000-4030 ASSESSMENT REDUCTIOI	N	19.00
						01-00-000-4075	Total :	5.00 24.00
65263	12/16/2020 YTD Amount:		STATE WORKER'S INS. FUND	05991899		SWIF PAYMENT		
	TTD Amount.	42,002.00				SWIF PAYMENT		
						01-15-091-5215	Total :	10,666.00 10,666.00
65264	12/16/2020 YTD Amount:		VERIZON	DECEMBER		TELEPHONE BILLINGS~		
	TTD Amount.	3,930.70				TELEPHONE BILLINGS~		
5						01-24-153-5307 TELEPHONE BILLINGS pun	np stat	117.86
						02-10-203-5307	Total :	80.35 198.21
65265	12/16/2020 YTD Amount:		VERIZON	NOVEMBER		TELEPHONE BILLINGS		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65265	12/16/2020	00114	VERIZON	(Continued)			Amount
				(continued)		TELEPHONE BILLINGS ~	
						01-01-002-5307 TELEPHONE BILLINGS~	356.89
						01-15-091-5307 TELEPHONE BILLINGS~	127.72
						01-24-150-5307 TELEPHONE BILLINGS~	64.79
						01-24-154-5307 TELEPHONE BILLINGS~	19.09
						02-10-200-5307 TELEPHONE BILLINGS~	211.65
						02-10-203-5307 TELEPHONE BILLINGS HIGHWAY	91.34
						01-01-002-5307 Total :	67.33 938.81
5266	12/16/2020		VERIZON	DECEMBER		SERVICE FOR NORTH HILLS PUI	
	YTD Amount:	502.14				SERVICE AT NORTH HILLS PUMF	
÷	a					02-10-203-5307 Total :	47.57 47.57
5267	12/16/2020		VERIZON	DECEMBER		TRANSFER STATION	
,	YTD Amount:	1,172.83				TRANSFER STATION	
						14-12-103-5305 Total :	395.00 395.00

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Bank code Voucher	: ap2 Date	Vendor		Invoice	PO #	Description/Account	An	nount
	12/16/2020 TD Amount:		²⁰ VERIZON WIRELESS 70	NOVEMBER		MONTHLY VERIZON WIRELESS		

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Induce Induce<	Bank code	e: ap2						
MONTHLY VERIZON WIRELESS- 316.6 01-00-002-2155 316.6 MONTHLY VERIZON WIRELESS- 146.3 01-01-002-5307 146.3 MONTHLY VERIZON WIRELESS- 11-04-040-5307 01-04-040-5307 1,143.5 MONTHLY VERIZON WIRELESS- 11-04-045-5323 01-04-048-5323 28.2 MONTHLY VERIZON WIRELESS- 10-04-065-5323 01-04-060-5323 102.4 MONTHLY VERIZON WIRELESS- 10-04-060-5323 01-04-060-5323 26.1 MONTHLY VERIZON WIRELESS- 10-04-060-5323 01-05-060-5305 409.2 MONTHLY VERIZON WIRELESS- 11-15-067-5307 MONTHLY VERIZON WIRELESS- 11-15-063-5307 MONTHLY VERIZON WIRELESS- 11-15-063-5307 MONTHLY VERIZON WIRELESS- 11-15-063-5307 MONTHLY VERIZON WIRELESS- 11-15-063-5307 <	Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
01-00-000-2155 MONTHLY VERIZON WIRELESS- 316.6 01-01-002-5307 MONTHLY VERIZON WIRELESS- 146.3 01-04-040-5307 MONTHLY VERIZON WIRELESS- 11.43.5 01-04-040-5307 MONTHLY VERIZON WIRELESS- 11.43.5 01-04-046-5323 MONTHLY VERIZON WIRELESS- 29.2 01-04-067-5323 MONTHLY VERIZON WIRELESS- 102.4 01-04-065-5323 MONTHLY VERIZON WIRELESS- 102.4 01-04-060-5323 MONTHLY VERIZON WIRELESS- 26.1 01-04-060-5323 MONTHLY VERIZON WIRELESS- 26.1 01-04-060-5323 MONTHLY VERIZON WIRELESS- 26.1 01-05-5307 MONTHLY VERIZON WIRELESS- 409.2 01-15-067-5307 MONTHLY VERIZON WIRELESS- 131.7 01-15-063-5307 MONTHLY VERIZON WIRELESS- 131.7 01-15-063-6307 MONTHLY VERIZON WIRELESS- 131.4 01-15-063-6307 MONTHLY VERIZON WIRELESS- 131.7 01-15-063-6307 MONTHLY VERIZON WIRELESS- 131.4 02-10-200-5307 MONTHLY VERIZON WIRELESS- 103.4 02-10-200-5307 MONTHLY VERIZON WIRELESS- 134.4	65268	12/16/2020	08044	²⁰ VERIZON WIRELESS	(Continued)			
MONTHLY VERIZON WIRELESS- 146.3 01-01-002-5307 146.3 MONTHLY VERIZON WIRELESS- 1.143.5 01-04-040-5307 1.143.5 MONTHLY VERIZON WIRELESS- 1.143.5 01-04-040-5323 29.2 MONTHLY VERIZON WIRELESS- 102.4 01-04-040-675-5323 102.4 MONTHLY VERIZON WIRELESS- 101.4 MONTHLY VERIZON WIRELESS- 101.4 MONTHLY VERIZON WIRELESS- 101.15-083-5305 MONTHLY VERIZON WIRELESS- 101.4 MONTHLY VERIZON WIRELESS- 101.4 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY							MONTHLY VERIZON WIRELESS~	
MONTHLY VERIZON WIRELESS- 1.143.5 01-04-040-5307 1.143.5 MONTHLY VERIZON WIRELESS- 29.2 01-04-048-5323 29.2 MONTHLY VERIZON WIRELESS- 21.0 01-04-060-5323 102.4 MONTHLY VERIZON WIRELESS- 26.1 MONTHLY VERIZON WIRELESS- 26.1 MONTHLY VERIZON WIRELESS- 26.1 MONTHLY VERIZON WIRELESS- 26.1 01-04-060-5323 102.4 MONTHLY VERIZON WIRELESS- 26.1 MONTHLY VERIZON WIRELESS- 26.1 01-07-110-5305 51.7 409.29MONTHLY VERIZON WIRELESS- 409.2 MONTHLY VERIZON WIRELESS- 409.2 MONTHLY VERIZON WIRELESS- 131.7 MONTHLY VERIZON WIRELESS- 131.7 MONTHLY VERIZON WIRELESS- 51.7 MONTHLY VERIZON WIRELESS- 51.7 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY VERIZON WIRELESS- 103.4 MONTHLY VERIZON WIRELESS- 299.4 MONTHLY VERIZON WIRELESS- 299.4	÷							316.63
MONTHLY VERIZON WIRELESS- 01-04-048-5323 MONTHLY VERIZON WIRELESS-29.201-04-087-5323 MONTHLY VERIZON WIRELESS-102.401-04-060-5323 MONTHLY VERIZON WIRELESS-26.101-07-110-5305 MONTHLY VERIZON WIRELESS-51.7409.29MONTHLY VERIZON WIRE 01-13-130-5305 MONTHLY VERIZON WIRELESS-409.201-07-110-5305 MONTHLY VERIZON WIRELESS-409.201-15-057-5307 MONTHLY VERIZON WIRELESS-11.701-15-057-5307 MONTHLY VERIZON WIRELESS-11.701-15-05307 MONTHLY VERIZON WIRELESS-51.701-24-150-5307 MONTHLY VERIZON WIRELESS-103.401-24-150-5307 MONTHLY VERIZON WIRELESS-103.402-10-200-5307 MONTHLY VERIZON WIRELESS-299.4								146.32
MONTHLY VERIZON WIRELESS~ 01-04-057-5323 102.4 01-04-057-5323 102.4 MONTHLY VERIZON WIRELESS~ 26.1 01-07-110-5305 51.7 409.29MONTHLY VERIZON WIRELESS~ 51.7 409.29MONTHLY VERIZON WIRE 409.2 MONTHLY VERIZON WIRELESS~ 409.2 MONTHLY VERIZON WIRELESS~ 11.13-130-5305 MONTHLY VERIZON WIRELESS~ 131.7 MONTHLY VERIZON WIRELESS~ 51.7 MONTHLY VERIZON WIRELESS~ 131.7 MONTHLY VERIZON WIRELESS~ 51.7								1,143.57
MONTHLY VERIZON WIRELESS~ 01-04-060-5323 26.1 MONTHLY VERIZON WIRELESS~ 51.7 409.29MONTHLY VERIZON WIRE 51.7 01-13-130-5305 409.2 MONTHLY VERIZON WIRELESS~ 409.2 MONTHLY VERIZON WIRELESS~ 11.15 01-15-057-5307 131.7 MONTHLY VERIZON WIRELESS~ 51.7 01-15-063-5307 131.7 MONTHLY VERIZON WIRELESS~ 51.7								29.24
MONTHLY VERIZON WIRELESS~ 01-07-110-5305 51.7 409.29MONTHLY VERIZON WIRE 01-13-130-5305 01-13-130-5305 409.2 MONTHLY VERIZON WIRELESS~ 01-15-057-5307 01-15-063-5307 131.7 MONTHLY VERIZON WIRELESS~ 51.7								102.46
409.29MONTHLY VERIZON WIRE 409.2 01-13-130-5305 409.2 MONTHLY VERIZON WIRELESS~ 131.7 MONTHLY VERIZON WIRELESS~ 131.7 MONTHLY VERIZON WIRELESS~ 51.7 MONTHLY VERIZON WIRELESS~ 51.7 MONTHLY VERIZON WIRELESS~ 103.4 MONTHLY VERIZON WIRELESS~ 299.4 MONTHLY VERIZON WIRELESS~ 299.4								26.10
MONTHLY VERIZON WIRELESS~ 01-15-057-5307 131.7 MONTHLY VERIZON WIRELESS~ 01-15-063-5307 51.7 MONTHLY VERIZON WIRELESS~ 01-24-150-5307 103.4 MONTHLY VERIZON WIRELESS~ 02-10-200-5307 299.4 MONTHLY VERIZON WIRELESS~ 299.4								51.74
MONTHLY VERIZON WIRELESS~ 01-15-063-5307 51.7 MONTHLY VERIZON WIRELESS~ 01-24-150-5307 103.4 MONTHLY VERIZON WIRELESS~ 02-10-200-5307 299.4 MONTHLY VERIZON WIRELESS~								409.29
MONTHLY VERIZON WIRELESS~ 01-24-150-5307 103.4 MONTHLY VERIZON WIRELESS~ 02-10-200-5307 299.4 MONTHLY VERIZON WIRELESS~	÷							131.76
MONTHLY VERIZON WIRELESS~ 02-10-200-5307 299.4 MONTHLY VERIZON WIRELESS~								51.74
MONTHLY VERIZON WIRELESS~								103.48
14-12-100-5307 155.2	ar.							299.41
							14-12-100-5307	155.22

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65268	12/16/2020	08044 ^^	VERIZON WIRELESS	(Continued)			
						TECHNOLOGY	
	8					01-01-005-5322 POLICE CAR COMPUTERS - DAT.	320.08
						01-04-043-5323 POLICE CAR COMPUTERS - DAT.	40.01
						01-04-057-5320 Total :	40.01 3,367.06
65269	12/16/2020 YTD Amount:		WELLS FARGO INST. RET. & TRUST	STATE AID		2020 MUNICIPAL PENSION TOWN	
	TTD Amount.	3,431,000				2020 MUNICIPAL PENSION TOW	
						01-04-040-5343 Total :	1,787,022.69 1,787,022.69
65270	12/16/2020 YTD Amount:		WILLOW GROVE PARTNERS	ASSESSMENT		ASSESSMENT CHANGE	
	TTD Amount.	07.00				ASSESSMENT CHANGE	
						01-00-000-4030 ASSESSMENT CHANGE	46.00
						01-00-000-4075 Total :	11.00 57.00
35	Vouchers for	bank code :	ap2			Bank total :	1,863,112.35
35	Vouchers in t	his report				Total vouchers :	1,863,112.35

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Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #			
65271	12/18/2020 YTD Amount:		ABINGTON TWP PUBLIC LIBRARY	ADULT LITERC		Description/Account ADULT LITERCY PROGRA	M	Amount
						ADULT LITERCY PROGRA	M	
						01-23-072-5702	Total :	1,890.00 1,890.00
65272	12/18/2020 YTD Amount:		ACKER'S HARDWARE, INC.	2012-103284		ALVERTHORPE PARK BOA	ATHOU:	
					76312	Alverthorpe Park Boathouse	Restrc	
						01-24-157-5323	Total :	33.85 33.85
65273	12/18/2020 YTD Amount:		APPLIED MICRO SYSTEMS, LTD.	DECEMBER		MONTHLY SOFTWARE CC	NTRA(
						MONTHLY SOFTWARE CC	NTRA(
						01-01-005-5305	Total :	146.00 146.00
65274	12/18/2020 YTD Amount:		APS	179075 178986		AIR DRYERS FOR REFUSE	E TRUC	
					76242	AIR DRYERS FOR REFUSE	ETRUC	
						01-14-186-5304	Total :	627.90 627.90
65275	12/18/2020 YTD Amount:		ARDEX LABORATORIES, INC.	2340123-IN		DEGREASER		
		 and a state of the state of the			76260	DEGREASER		
						01-14-186-5310	Total :	735.28 735.28

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65276	12/18/2020	08345	BLÛMENTHAL, JAY W	DECEMBER		COLLECTION REFUSE &	SEWEF	
	YTD Amount:	12,000.00				COLLECTION REFUSE &	SEWEF	
						01-02-020-5305	Total :	1,000.00 1,000.00
65277	12/18/2020	11673	CHEMUNG SUPPLY CORP	004174		50 (10FT.2# GREEN U-CHA	ANNEL:	
	YTD Amount:	5,058.75			75847	50 (10ft.2# GREEN U-CHAN	NELS)	
						03-13-143-5325	Total :	1,143.75 1,143.75
65278	12/18/2020	12432	CINTAS	OCTOBER		UNIFORMS FOR V.M.		
	YTD Amount:	4,474.23			76119	UNIFORMS FOR V.M.		
						01-14-180-5316	Total :	344.48 344.48
65279	12/18/2020	12951	CLARKE, LLC, RUDOLPH	DECEMBER		LEGAL SERVICES-RETAIN	ER	
	YTD Amount:	\$189,00	03.84			LEGAL SERVICES-RETAIN	ER	
						01-01-003-5200	Total :	10,500.00 10,500.00
65280	12/18/2020		COMPUTYME INC	DECEMBER		TIME SHARING COMPUTE	R	
,	YTD Amount:	16,725.00				TIME SHARING COMPUTE	R	
						01-01-005-5305 TIME SHARING COMPUTE	R	675.00
						01-00-000-1300	Total :	675.00 1,350.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account		Amount
65281	12/18/2020 YTD Amount		3461441857		PINTER INK AND MARKER	S	
	TTD Amount	10,000.74		76065	Pinter ink and markers		
					01-24-150-5300	Total :	42.00 42.00
65282	12/18/2020 YTD Amount	04594 D.V.H.T. 4,157,181.71	DECEMBER		MONTHLY HEALTH INSURA	ANCE	
	TTD Amount.				Police retirees		
					05-01-028-5111 Non-Police retirees		35,530.29
					05-01-029-5111 Active employees		24,071.83
					01-00-000-2455 Cobra		306,669.89
					01-28-012-5111 Rate stabilization credit		2,627.49
					01-00-000-2520	Total :	-27,913.84 340,985.66
65283	12/18/2020		DECEMBER		PRESCRIPTION PLAN		
	YID Amount:	1,747,361.50			PRESCRIPTION PLAN		
					01-00-000-2458 PRESCRIPTION PLAN		131,928.54
					05-01-028-5111 PRESCRIPTION PLAN		9,191.66
					01-28-012-5111	Total :	275.89 141,396.09

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65284	12/18/2020	13978	DE LAGE FINANCIAL SERVICES INC	DECEMBER		DE LAGE LANDEN FINANC	CIAL	
	YTD Amount:	2,640.00				COPIERS FOR HR.AND PC	DLICE	
						01-30-011-5213	Total :	220.00 220.00
65285		18/2020 15848 Amount: 985.80	DE LAGE LANDEN FINANCIAL	DECEMBER		COPIER FOR REFUSE & H	IGHW/	
	YTD Amount:		5.80			REFUSE & HIGHWAY		
						01-13-130-5300 REFUSE & HIGHWAY		39.00
						14-12-100-5300	Total :	39.00 78.00
65286	12/18/2020		DE LAGE LANDEN FINANCIAL SERV	DECEMBER		BRIAR BUSH AND CODE C	OPIER	
	YTD Amount:	1,704.00				COPIER FOR BRIAR BUSH	AND (
						01-30-011-5213	Total :	142.00 142.00
65287	12/18/2020		DE LAGE LANDEN FINANCIAL SERVI	DECEMBER		COPIER FOR PARKS AND	RECRE	
	YTD Amount:	2,268.00				COPIER FOR PARKS AND	RECRE	
						01-30-011-5213	Total :	189.00 189.00
65288	12/18/2020 YTD Amount:		DECK'S LANDSCAPING, INC.	10361 10362		CONTRACT MOWING ZON	E #2	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65288	12/18/2020	16004 "	DECK'S LANDSCAPING, INC.	(Continued)				
					76265	Contract Mowing Zone #2		
					76265	01-24-158-5305 Contract Mowing Zone #3		3,062.50
						01-24-158-5305	Total :	3,062.50 6,125.00
65289	12/18/2020 YTD Amount:		DELAGE FINANCIAL SERVICES	DECEMBER		COPIER FOR POLICE PAT	ROLAN	
		.,				COPIER FOR POLICE PATROL AN		
					01-30-011-5213	Total :	105.50 105.50	
65290		020 00960 ECKEL, BRUCE J. ount: 26,605.00		DECEMBER		LEGAL SERVICES		
	TTD Amount.				LEGAL SERVICES			
					01-06-087-5305	Total :	1,750.00 1,750.00	
65291	12/18/2020 YTD Amount:			395323		ROADWAY MATERIALS		
	TTD Amount.	200,700.1	0			ROADWAY MATERIALS		
						07-07-566-7538	Total :	1,447.12 1,447.12
65292	12/18/2020		FAMCO	11/19/2020		REPROGRAMMED IP DIAL	ER @ '	
r i D Amount.	TTD Amount.	D Amount: 450.00		76289	REPROGRAMMED IP DIAL	_ER @ '		
					14-12-101-5320	Total :	450.00 450.00	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65293	12/18/2020		ĜĂLLS, LLC	1000753649		UNIFORM EXPENSE.		
	YTD Amount:	730.93			76193	Uniform Expense.~		
						01-15-057-5316	Total :	322.96 322.96
65294	12/18/2020		GRAN TURK EQUIPMENT CO INC	1140200-01		STAPLES & BOLTS FOR R	EAR LC	
YTD Amoun	YTD Amount:	16,130.64	1		76244	STAPLES & BOLTS FOR R	EAR LC	
						01-14-186-5304	Total :	789.00 789.00
65295		0 00851 t: 30,955.29		9021203		PUSH BROOMS AND FAUC	CETS F	
	YTD Amount:				76094	PUSH BROOMS AND FAUC	CETS F	
						01-13-130-5317	Total :	117.95 117.95
65296	12/18/2020		J.D.M. MATERIALS CO.	see list		7 YDS. CONCRETE 10/28,	\$577.5	
	YTD Amount:	3,602.00			76173	7 YDS. CONCRETE 10/28,	\$577.5	
					03-13-146-5304	Total :	933.75 933.75	
65297	12/18/2020		KENNEDY CULVERT & SUPPLY CO	482045		STORM SEWER SUPPLIES	8	
	YTD Amount:	2,504.70			73614	STORM SEWER SUPPLIES	3	
						07-00-967-7200	Total :	200.00 200.00
65298	12/18/2020 YTD Amount:		LITTLE, INC, ROBERT E.	04-785583		PARTS FOR JOHN DEER G	BATOR	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65298	12/18/2020		LITTLE, INC, ROBERT E.	(Continued)				
					76097	PARTS FOR JOHN DEER O	GATOR	
						01-14-186-5304	Total :	143.67 143.67
65299	12/18/2020		MONSTER TREE SERVICE INC	46659		TREE REMOVAL~		
	YTD Amount:	4,040.00			75814	Tree Removal~		
						07-24-800-7587	Total :	1,650.00 1,650.00
65300	12/18/2020 YTD Amount:		MOYER INDOOR/OUTDOOR	NOVEMBER		EXTERMINATING		1,000.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65300	12/18/2020	11845	MOYER INDOOR/OUTDOOR	(Continued)				
00000	12/10/2020					ADMINISTRATION/POLICE		
						01-01-030-5305 TRAINING CENTER		44.00
						01-04-062-5317 PUBLIC WORKS		56.00
						01-13-130-5305 ARDSLEY COMMUNITY CEN	TER	56.00
						01-24-152-5305 BRIAR BUSH NATURE CENTE	ER	52.00
						01-24-155-5305 ALVERTHORPE~		38.00
						01-24-157-5305 431 HOUSTON ROAD		45.00
						01-24-157-5305 WWTP		32.00
						02-10-200-5305 REFUSE		56.50
						14-12-100-5305 To	otal :	46.00 425.50
65301	12/18/2020		OFFICE BASICS, INC.	1643075		ANTI-BACTERIAL WIPES / FA	CE I	
	YTD Amount:	10,624.96)		76208	ANTI-BACTERIAL WIPES / FA	CEI	
						01-13-131-5323 То	otal :	840.00 840.00
65302	12/18/2020 YTD Amount:		PAYMENT PROCESSING, PECO	NOVEMBER		GAS DELIVERY FOR CRESTM	MON	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65302	12/18/2020	14925	PAYMENT PROCESSING, PECO	(Continued)				
						GAS DELIVERY FOR CRES	IMON	
						01-24-157-5308	Total :	48.24 48.24
65303	65303 12/18/2020 YTD Amount:			TRAFFIC LIGHT		TRAFFIC LIGHT ACCOUNT-	-DISTI	
		14,020.02				TRAFFIC LIGHT ACCOUNT-	-DISTI	
						03-13-146-5308	Total :	2,400.04 2,400.04
65304	65304 12/18/2020 YTD Amount:			NOVEMBER		STREET LIGHT ACCOUNT-I	DISTR	
						STREET LIGHT ACCOUNT-I	DISTR	
						03-13-146-5308	Total :	28,845.64 28,845.64
65305	12/18/2020	15916 : 30,000.00		DECEMBER		POSTAGE		
	TID Amount.					REPLENISH POSTAGE MET	ſER	
						01-01-002-5306	Total :	3,000.00 3,000.00
65306	12/18/2020 YTD Amount:		READY REFRESH	NOVEMBER		ADMINISTRATION BUILDING	G	
	f i D Amount.	/10.91				ADMINISTRATOIN BUILDING	G	
						01-01-030-5311	Total :	64.90 64.90
65307	12/18/2020 YTD Amount:		REBMANN MAXWELL & HIPPEL LLP, OBE	39851		DAN-MUNICIPAL PUBLIC FI	NANC	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65307	12/18/2020	2/18/2020 15347 REBMANN MAXWELL & HIPPEL LLP		P, OBE (Continued)		DAN-MUNICIPAL PUBLIC FINANC	
						01-01-003-5201 Total :	1,483.50 1,483.50
65308	12/18/2020	0 01309 REIT LUBRICANTS CO. nt: 15,066.31	100596		GREASE FOR TOWNSHIP FLEET		
	Y I D Amount:		1		76232	GREASE FOR TOWNSHIP FLEET	
					01-14-186-5310 Total :	861.62 861.62	
65309	5309 12/18/2020 1410 YTD Amount: 95,40		RIGGINS, INC.	75032757		6001.0 OF UNLEADED GAS FOI	
		95,460.37			76231	6001.0 OF UNLEADED GAS FOI	
					01-14-186-5310 Total :	8,337.79 8,337.79	
65310	12/18/2020	00996 \$ 187,500.00	SECOND ALARMERS ASSN	DECEMBER		MONTHLY SERVICES	
	YTD Amount:)			MONTHLY SERVICES	
						01-27-013-5305 Total :	15,625.00 15,625.00
65311	12/18/2020		TRADS	46-3901689		DECEMBER INVOICE (NOVEMBE	
	YTD Amount:	1,001.75			76250	December invoice (November billin	
						01-04-053-5305 Total :	94.90 94.90
65312	12/18/2020 YTD Amount:		ULINE INC	125724071		KEY CABINET FOR TRUCK#135	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account					
65312	12/18/2020	14369	ULINE INC	(Continued)							
					76095	KEY CABINET FOR TRUCK#135					
						01-13-131-5323					
						Total :					
65313	12/18/2020	15874	UNITEDHEALTHCARE	DECEMBER		RETIREES & COBRA MEIDCARE					

YTD Amount: 285,978.45

Police-No Prescription

Police-With Prescription

05-01-028-5111

05-01-028-5111

				Non-Police-No Prescription		,
				05-01-029-5111 Non-Police-with Prescription		3,116.48
				05-01-029-5111 Cobra-No Prescription		12,447.80
				01-28-012-5111	Total :	194.78 24,195.67
	VAN'S LOCK SHOP, INC	0000113599		KEY FOR #504		
YTD Amount: 1,701.78			76243	KEY FOR #504		
				01-14-186-5304	Total :	90.00 90.00
	WURGLEY, MIKE	REFUND		REFUND RENTAL OF ACC		
YTD Amount: 215.00				Refund rental ACC		
				01-00-000-4370		200.00

200.00 Total :

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Amount

64.49

64.49

1,850.41

6,586.20

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65316	12/18/2020	02776	ÂRCHIE, JOHN	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	3,914.20				MEDICARE PREMIUM		
						05-01-028-5101	Total :	147.64 147.64
65317	12/18/2020		ARCHIE, MARGARET	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,626.00				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	135.50 135.50
65318	12/18/2020		BOERNER, ALLEN P	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,699.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	141.60 141.60
65319	12/18/2020		BOERNER, SONJA M	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,687.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	140.60 140.60
65320	12/18/2020		CILIBERTO, ANTHONY	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	3,952.78				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	124.60 124.60
65321	12/18/2020 YTD Amount:		CILIBERTO, VIRGINA	DECEMBER		REIMBURSE MEIDCARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65321	12/18/2020	12623 1	ČILIBERTO, VIRGINA	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65322	12/18/2020 YTD Amount:		CLARK, BARBARA	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65323	12/18/2020 YTD Amount:		CLARK, CHARLES	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65324	12/18/2020 YTD Amount:		CLARK, ELIZABETH	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65325	12/18/2020 YTD Amount:		CLARK, KENNETH	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65326	12/18/2020 YTD Amount:		CLEWELL, LOUIS, J	DECEMBER		REIMBURSE MEDICARE		

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65326	12/18/2020	02273	ÉLÊWELL, LOUIS, J	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	104.90 104.90
65327	12/18/2020 YTD Amount:		CONOVER, JOSEPH	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEIDCARE 05-01-028-5101	Total :	202.00 202.00
65328	12/18/2020 YTD Amount:		CONOVER, MARY	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	202.00 202.00
65329	12/18/2020 YTD Amount:		CREEDEN, JOHN S.	DECEMBER		REIMBURSE MEIDCARE RETIREES' REIMBURSEM 05-01-028-5101	ENT Total :	140.60 140.60
65330	12/18/2020 YTD Amount:		CREEDEN, MARGARET	DECEMBER		REIMBURSE MEDICARE REIMBURSE INSURANCE 05-01-028-5101	Total :	144.60 144.60
65331	12/18/2020 YTD Amount:		CRISTALDI, ANTHONY J	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65331	12/18/2020	01941	ĈRÎŜTALDI, ANTHONY J	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65332	12/18/2020 YTD Amount:		DARCY, MARY	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65333	12/18/2020 YTD Amount:		DARCY, THOMAS	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	137.60 137.60
65334	12/18/2020 YTD Amount:		DAVIS SR., GLENN A	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65335	12/18/2020 YTD Amount:		DAVIS, NANCY C.	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	128.60 128.60
65336	12/18/2020 YTD Amount:		DEAN, BRUCE L	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65336	12/18/2020	09673	DEÂN, BRUCE L	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65337	12/18/2020 YTD Amount:		EVANGELISTA, MICHAEL J	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	104.90 104.90
65338	12/18/2020 YTD Amount:		EVANGELISTA, VIRGINIA	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	104.90 104.90
65339	12/18/2020 YTD Amount:		HASLAM, BRUCE	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	289.20 289.20
65340	12/18/2020 YTD Amount:		HASSON, PETE	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65341	12/18/2020 ² YTD Amount:		HOLT, REGINA	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65341	12/18/2020	11179	HOLT, REGINA	(Continued)		REIMBURSE MEDICARE		
						05-01-028-5101	Total :	99.90 99.90
65342	12/18/2020 YTD Amount:		HOLT, WILLIAM A	DECEMBER		REIMBURSE MEDICARE		
		1,100.00				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	99.90 99.90
65343	12/18/2020 YTD Amount:		HURTADO, JAMES	DECEMBER		REIMBURSE MEDICARE		
	TTD Amount.	1,733.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	144.60 144.60
65344	12/18/2020 YTD Amount:		HUTCHINSON, GEORGE A	DECEMBER		REIMBURSE MEDICARE		
	TTD Amount.	1,700.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	144.60 144.60
65345	12/18/2020 YTD Amount:		HUTCHINSON, JOAN L.	DECEMBER		REIMBURSE MEDICARE		
	TTD Amount.	1,717.00				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	144.60 144.60
65346	12/18/2020 YTD Amount:		KELLY, AILEEN	DECEMBER		REIMBURSE MEDICARE		

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65346	12/18/2020	14462	KÊLLY, AILEEN	(Continued)		REIMBURSE MEIDCARE 05-01-028-5101	Total :	320.70 320.70
65347	12/18/2020 YTD Amount:		KELLY, DONNA	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	135.00 135.00
65348	12/18/2020 YTD Amount:		KELLY, GERALD W	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65349	12/18/2020 YTD Amount:		KELLY, WILLIAM	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	320.70 320.70
65350	12/18/2020 YTD Amount:		LAMPHERE, KATHRYN	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65351	12/18/2020 YTD Amount:		LAMPHERE, ROBERT	DECEMBER		REIMBURSE MEDICARE		

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65351	12/18/2020	04091	LÂMPHERE, ROBERT	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65352	12/18/2020 YTD Amount:		LIVINGOOD, JOHN	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	320.70 320.70
65353	12/18/2020 YTD Amount:		LIVINGOOD, MARYJANE	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEIDCARE 05-01-028-5101	Total :	320.70 320.70
65354	12/18/2020 YTD Amount:		MANN, JOANNE	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65355	12/18/2020 YTD Amount:		MANN, ROBERT	DECEMBER		REIMBURSE MEIDCARE REIMBURSE MEIDCARE 05-01-028-5101	Total :	144.60 144.60
65356	12/18/2020 YTD Amount:		MCCREARY, CHRISTINE	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65356	12/18/2020	14798	MCCREARY, CHRISTINE	(Continued)		rEIMBURSE RETIREES ME	EDICAR	
						05-01-028-5101	Total :	144.60 144.60
65357	12/18/2020		McCREARY, KEVIN	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,717.00				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	144.60 144.60
65358	12/18/2020		MCNAMARA, CHERYL	DECEMBER	REIMBURSE MEDICARE			
	YTD Amount:	2,575.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	214.60 214.60
65359	12/18/2020		MCNAMARA, THOMAS	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	2,575.20				REIMBURSE MEDICARE		
						05-01-028-5101	Total :	214.60 214.60
65360	12/18/2020		MILETTO, MADELINE	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	mount: 2,428.80			REIMBURSE RETIREES IN	SURA		
						05-01-028-5101	Total :	202.40 202.40

65361 12/18/2020 13417 MILETTO, MICHAELA YTD Amount: 2,428.80 DECEMBER

REIMBURSE MEDICARE

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65361	12/18/2020	13417	ÎÎLÊTTO, MICHAELA	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	202.40 202.40
65362	12/18/2020 YTD Amount:		MOUAT, BRUCE	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65363	12/18/2020 YTD Amount:		MYERS, JOHN J	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	126.60 126.60
65364	12/18/2020 YTD Amount:		MYERS, PAUL	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65365	12/18/2020 YTD Amount:		MYERS, PETRA	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65366	12/18/2020 YTD Amount:		O'CONNOR, NANCY	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65366	12/18/2020	14159	Ô CÔNNOR, NANCY	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	135.50 135.50
65367	12/18/2020		PARKS, JOHN	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,530.00				REIMBURSE MEDICARE 05-01-028-5101	Total :	127.50 127.50
65368	12/18/2020		QUINN, JOSEPH	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,735.20				REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65369	12/18/2020		QUINN, NANCY C	DECEMBER		REIMBURSE MEDICARE		
	YTD Amount:	1,735.20				REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65370	12/18/2020 YTD Amount:		RICE, GEORGIANNA M	DECEMBER		REIMBURSE MEDICARE		
						REIMBURSE MEDICARE 05-01-028-5101	Total :	142.60 142.60
65371	12/18/2020 · YTD Amount:		RICE, MELVIN	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65371	12/18/2020	12163 1	ŔĨĈÊ, MELVIN	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65372	12/18/2020 YTD Amount:		RIDGE, CAROL	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65373	12/18/2020 YTD Amount:		RIDGE, PHILIP	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65374	12/18/2020 YTD Amount:		STEIN, KENNETH	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	121.80 121.80
65375	12/18/2020 YTD Amount:		STEIN, PATRICIA	DECEMBER		REIMBURSE MEDICARE MEDICARE REIMBURSEM 05-01-028-5101	ENT Total :	134.00 134.00
65376	12/18/2020 YTD Amount:		TERRENZIO, JOSEPHINE M	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65376	12/18/2020	04528	TERRENZIO, JOSEPHINE M	(Continued)		REIMBURSE MEDICARE 05-01-028-5101	Total :	121.60 121.60
65377	12/18/2020 YTD Amount:		TERRENZIO, LOUIS A	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	125.50 125.50
65378	12/18/2020 YTD Amount:		THOMPSON, JOHN F	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65379	12/18/2020 YTD Amount:		THOMPSON, MARYANN T	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65380	12/18/2020 YTD Amount:		TOMLINSON, DAVID J	DECEMBER		REIMBURSE MEDICARE REIMBURSE MEDICARE 05-01-028-5101	Total :	144.60 144.60
65381	12/18/2020 YTD Amount:		TRUDEAU, MARIE A	DECEMBER		REIMBURSE MEDICARE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65381	12/18/2020	04527	TRUDEAU, MARIE A	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101	Tabala	104.90
							Total :	104.90
65382	12/18/2020 YTD Amount:		TRUDEAU, RONALD J	DECEMBER		REIMBURSE MEDICARE		
	, i D / allouite	1,200.00				REIMBURSE MEDICARE		
						05-01-028-5101		104.90
							Total :	104.90
65383	12/18/2020 YTD Amount:		WHITNEY, ANNE	DECEMBER		REIMBURSE MEDICARE		
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	144.60
113	Vouchers for	bank code	ap2			Bank	c total :	612,009.19
113	Vouchers in t	his report:				Total vou	chers :	612,009.19

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1/5/2021 7:44:53AM

Replaced Checks Listing TWP OF ABINGTON

Bank: ap2 Account: 1210645

Orig check	Date	Voided	Check amt	EFT	Paid to	Repl check	Date	Reason
64605	11/5/2020	12/18/2020	84.24	No	VERIZON WIRELESS	65384	12/18/2020	CHECK NOT RECEIVED
	Ва	ank total:	84.24					
	Chec	cks total:	84.24					

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65385	12/22/2020 YTD Amount:		ABINGTON ART CENTER	REIMBURSEME		REIMBURSEMENT FOR A	RT CEN	
		-,				REIMBURSEMENT FOR AF	RT CEN	
						08-24-800-9803	Total :	5,400.00 5,400.00
65386	12/22/2020 YTD Amount:		AIRGAS USA LLC	9974685740		JAUARY ACETYLENE/OXY	GEN C	
	TTD / anount.	1,000.00			73170	NOVEMBER ACETYLENE/	OXYGE	
				9975459974	73170	01-24-157-5323 JAUARY ACETYLENE/OXY DECEMBER ACETYLENE/0		109.39
						01-24-157-5323	Total :	106.55 215.94
65387	12/22/2020 YTD Amount:		AIRGAS USA, LLC	9974565639		ACETYLENE, OXYGEN AN	D PRO	
	TTD Amount.	211.25			76043	ACETYLENE, OXYGEN AN	D PRO	
						02-10-200-5322	Total :	43.75 43.75
65388	12/22/2020		BEAGHLEY, RICHARD	ER REIMBURSE		ER VISIT REIMBURSEMEN	1T	
	YTD Amount:	100.00				ER VISIT REIMBURSEMEN	IT	
						01-28-012-5111	Total :	100.00 100.00
65389	12/22/2020 YTD Amount:		BOSTON MUTUAL LIFE INSURANCE	DECEMBER		MONTHLY LIFE AND DISAE	BILITY	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65389	12/22/2020	13182	BOSTON MUTUAL LIFE INSURANCE	(Continued)			
						MONTHLY LIFE AND DISABILITY	
						01-00-000-2460 MONTHLY LIFE AND DISABILITY	4,667.23
						01-00-000-2461 MONTHLY LIFE AND DISABILITY	3,483.15
						01-00-000-2250 MONTHLY LIFE AND DISABILITY	2,619.92
						05-01-029-5215 Total :	220.50 10,990.80
65390	12/22/2020		CHAPMAN FORD OF HORSHAM	380113		SIX MARKED POLICE VEHICLES,	
	YTD Amount: 1	. 170,111.41			73644	Six marked police vehicles, one	
						07-04-525-7548 Total :	45,988.92 45,988.92
65391	12/22/2020(YTD Amount:		COMMONWEALTH PRECAST INC.,	25875		KNOCKOUT BOX~	
	TTD / thount.	20,010.00			73602	KNOCKOUT BOX~	
				25922	73602	07-00-967-7200 KNOCKOUT BOX~ KNOCKOUT BOX~	4,245.00
						07-00-967-7200 Total :	6,783.00 11,028.00
5392	12/22/2020 0		CONROY'S CLEANING INC	NOV CLEANIN	١Ċ	CLEANING SERVICE - NOVEMBE	
1	YTD Amount: 2	20,345.00			76282	CLEANING SERVICE - November	
						01-04-062-5317	755.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65392	12/22/2020	03261	CONROY'S CLEANING INC	(Continued) NOV CLEANING	76317	TWNSHP CLEANING SERV Twnshp Cleaning Service-No		
						01-01-030-5305	Total :	1,290.00 2,045.00
65393	12/22/2020 YTD Amount:		COURIER TIMES, INC.	3-006919006		LEGAL ADVERTISING		
						LEGAL ADVERTISING		
						01-01-002-5303 LEGAL ADVERTISING		3,950.98
						01-06-081-5303	Total :	2,790.42 6,741.40
65394	12/22/2020 YTD Amount:		DELL MARKETING L.P.	10427559960		DESKTOP COMPUTER		
					75467	Desktop computer		
						01-04-053-5322	Total :	842.85 842.85
65395	12/22/2020 YTD Amount:		EAGLE POWER & EQUIP CORP	P20809 20902		BATTERIES FOR BACKHOE	E #423	
	TID Amount.	22,349.74			76303	BATTERIES FOR BACKHOE	E #423	
						01-14-186-5304	Total :	460.04 460.04
65396	12/22/2020 YTD Amount:		GANGES, SARAH	NOV		REIMBURSE RETIREES INS	SURAN	
	The Amount.	1,400.70				REIMBURSE RETIREES INS	SURAN	
						05-01-029-5102	Total :	97.39 97.39

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oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
5397	12/22/2020	00512	GEPPERT INC., WILLIAM A	58913		ALVERTHORPE MANOR SEWER	
Y	YTD Amount:	19,729.16	,729.10		76345	Alverthorpe Manor sewer repairs	
						08-24-800-9803 Total :	119.80 119.80
	12/22/2020		GRANICUS, INC	RENEWAL F	EE	ANNUAL WEBSITE HOSTING CO	
Y	TD Amount:	20,450.00			76406	Annual website hosting costs	
						01-01-005-5305 Total :	5,250.00 5,250.00
	12/22/2020		HOME DEPOT CREDIT SERVICES	6043120		PICNIC TABLE REPAIRS	
Ŷ	YTD Amount:	t: 31,178.97	78.97		76320	Picnic table repairs	
						01-24-157-5323 Total :	223.68 223.68
	12/22/2020		ITSAVVY LLC	01216387 461	6	LAPTOP FOR MANAGER AND DE	
Y	TD Amount:	44,428.68			75614	Laptop for Manager and Dell Docki	
				3433627m	76399	01-01-005-5322 3 FIBER OPTIC CONVERTER KIT 3 fiber optic converter kits for Public	2,244.38
						01-01-005-5322 Total :	1,034.91 3,279.29
	12/22/2020 1		JONES, MARGARET	OCT/NOV/DE	с	REIMBURSE RETIREES INSRUA	
ΥI	TD Amount:	3,437.36				REIMBURSE RETIREES INSURA	
						05-01-029-5102	584.34

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65401	12/22/2020	12881	JONES, MARGARET	(Continued)			fotal :	584.34
65402	12/22/2020 YTD Amount:		KUTER, BARBARA	DEC		REIMBURSE RETIREES INS	URAI	
						REIMBURSE RETIREES INS	URAI	
						05-01-029-5102 T	fotal :	194.78 194.78
65403	12/22/2020 YTD Amount:		MARKS, EILEEN	DEC		REIMBURSE RETIREES INS	URAI	
	The function of the	1,100.00				REIMBURSE RETIREES INS	URAI	
						05-01-029-5102 т	otal :	97.39 97.39
65404	12/22/2020 YTD Amount:		MATIZA, SUSAN	DEC		REIMBURSE RETIREES INS	URAN	
	TTD Amount.	2,337.30				REIMBURSE RETIREES INSI	URAN	
						05-01-029-5102 т	otal :	194.78 194.78
65405	12/22/2020 YTD Amount:		MATTEO, LARRY	NOV		REIMBURSE RETIREES INSU	URAN	
	TID Amount.	2,417.50				REIMBURSE RETIREES INSI	URAN	
						05-01-029-5102	otal :	194.78
65406	10/00/0000	07500						194.78
65406	12/22/2020 YTD Amount:		ORNER, RUTH	SEPT-OCT		REIMBURSE RETIREES INSU	JRAN	
						REIMBURSE RETIREES INSU	JRAN	
						05-01-029-5102 T	otal :	389.56 389.56

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Vouche	rDate	Vendor		Invoice	PO #	Description/Account		Amount
65407	12/22/2020		READY REFRESH	October		POLICE DEPARTMENT		
	YTD Amount:	2,284.34				POLICE DEPARTMENT		
						01-04-040-5340	Total :	11.94 11.94
65408	12/22/2020		SAXON OFFICE TECHNOLOGY, INC.	100050		SAXON PRINTER CONTRAC	CTOR	
	YTD Amount:	23,948.62			76407	Saxon printer contractor		
						01-01-005-5305 1	Total :	752.00 752.00
65409	12/22/2020		SEKELEWSKI, GRACE	at-01		WEBINAR ADMINISTRATION	N SEF	
	YTD Amount:	489.00			76405	Webinar administration service	es	
						01-01-005-5305 Т	Fotal :	489.00 489.00
65410	12/22/2020		THE HOME DEPOT PRO	585950671		JANITORIAL SUPPLIES FOR	TOV	
	YTD Amount:	22,001.07			76315	Janitorial Supplies for Townshi	ip -	
						01-01-030-5318 T	fotal :	198.57 198.57
65411	12/22/2020		THE HOMER GROUP	201145		FIRE DEPARTMENT RECRUI	ITME	
	YTD Amount:	5,553.00			75933	Fire Department Recruitment I	Broch	
						06-15-067-5319 T	otal :	2,395.00 2,395.00
65412	12/22/2020 YTD Amount:		TRAFFIC PLANNING & DESIGN INC	TPD21424		FOXCROFT SQUARE~		

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Bank code :	ap2							
Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65412 12	2/22/2020	10627	TRAFFIC PLANNING & DESIGN INC	(Continued)				
						FOXCROFT SQUARE~		
				TPD21425		07-00-000-2451 WILLOW GROVE PARK~ WILLOW GROVE PARK~		107.50
						07-00-000-2451 Total :	:	215.00 322.50
	2/22/2020 <i>*</i> D Amount:		VILE, EILEEN	NOV		REIMBURSE RETIREES INSURAI	x	
		_,002.00				REIMBURSE RETIREES INSURA	٢	
						05-01-029-5102 Total :	r 1	194.78 194.78
29 Vo	uchers for b	oank code :	ap2			Bank total :	98	3,846.28
29 Voi	uchers in th	nis report				Total vouchers :	98	8,846.28

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amour
65414	12/28/2020 YTD Amount:		EXETER SUPPLY CO INC	316807 311813		CONSTRUCTION SUPPLIES - \$8,	
	r i b / iniouni.	0,711.70			76207	Construction Supplies - \$8,711.78	
						07-00-967-7200 Total :	8,711.7 8,711.7
65415	12/29/2020 YTD Amount:		ABINGTON FIRE COMPANY	2070494		PREVENTIVE MAINTENANCE - N	
	TTD Amount.	15,757.00			76272	PREVENTIVE MAINTENANCE - N	
						01-15-064-5342 Total :	499.14 499.1 4
65416	12/29/2020 YTD Amount:		ADORAMA	SEE LIST		MISC EVIDENCE COLLECTION S	
	TTD Amount.	5,245.71			75288	MISC EVIDENCE COLLECTION S	
						01-04-053-5323 Total :	2,602.43 2,602.4 3
65417	12/29/2020 YTD Amount:		AMAZON	13xwgycttc1f	× •	10 LEATHERMAN WAVE TOOLS F	
	TID Amount.	4,992.22			76256	10 Leatherman Wave Tools for Tac	
					76256	01-04-043-5328 6 Leatherman Wave Tools for Tac ٦	1,000.00
						01-04-044-5323 Total :	599.20 1,599.20
65418	12/29/2020 YTD Amount:		BENCHMARK ANALYTICS LLC, BENCHM	1/ 366		BENCHMARK YEARLY FEE	
	i i D'Amount.	17,156.00			73717	Benchmark yearly fee	
						01-04-040-5305	8,788.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65418	12/29/2020	15830	BENCHMARK ANALYTICS LLC, BENCH	// (Continued)		Total :	8,788.00
65419	12/29/2020 YTD Amount:		BERGEY'S INC.	SEE LIST		HARNESS FOR REFUSE TRUCK	
					76295	HARNESS FOR REFUSE TRUCK	
					76301	01-14-186-5304 BRAKE CHAMBER FOR #118	431.43
						01-14-186-5304 Total :	69.95 501.38
65420	12/29/2020		BRYNER CHEVROLET INC.	REFUNDCRED	l	REFUND OF CREDIT	
	YTD Amount:	9,810.20				REFUND OF CREDIT	
						01-14-186-5304 Total :	145.32 145.32
65421	12/29/2020		BUCKS COUNTY COMMUNITY COLLEGE	E 966777		ATFD FIRE TRAINING - 2020 FIRE	
	YTD Amount:	1,500.00			76284	ATFD Fire Training - 2020 Firefight	
•						01-15-064-5305 Total :	150.00 150.00
65422	12/29/2020		CAMPBELL, DURRANT P.C	70096		NOVEMBER GENRAL LABOR & E	
	YTD Amount:	95,507.19				NOVEMBER GENRAL LABOR & E	
				×.		01-01-003-5201 Total :	6,419.60 6,419.60
65423	12/29/2020 1		CASALINA, JOSE	ZHB		ZHB MEETING	
	YTD Amount:	750.00				ZHB MEETING	
						01-06-087-5030	75.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65423	12/29/2020	14962	CASALINA, JOSE	(Continued)		Total :	75.00
65424	12/29/2020 YTD Amount:		CENTER FOR PUBLIC SAFETY	05-15327		QUALITY IMPROVEMENT FOR TH	
					76217	Quality Improvement for the Fire ar	
						01-15-064-5303 Total :	629.95 629.95
65425	12/29/2020 YTD Amount:		CLEAN MACHINE CARWASH	CAR WASHES		CAR WASHES 11/8 - 11/29 \$137	
		,			76305	CAR WASHES 11/8 - 11/29 \$137	
						01-14-186-5304 Total :	137.50 137.50
65426	12/29/2020 YTD Amount:		COMMUNICATION SOLUTIONS	14829A		ATFD FULL SERVICE PUBLIC REI	
	i i b i inouni.	20,070.00			76337	ATFD Full Service Public Relations	
						01-15-064-5319 Total :	1,100.00 1,100.00
65427	12/29/2020 YTD Amount:		CONTRACT & COMMERCIAL INC., STAPI	SEE LIST		PAPER TOWELS, 2021 CALENDA	
	T D A mount.	10,000.00)		76353	PAPER TOWELS, 2021 CALENDA	
					76353	02-10-201-5300 PAPER TOWELS, 2021 CALENDA	32.28
						02-10-200-5318 Total :	86.88 119.16
65428	12/29/2020 YTD Amount:		COOPER, INC., GUY	S20-2364		ANNUAL SPRINKLER TEST AND I	
	. i b / iniount.	2,020.00			76373	Annual sprinkler test and inspectior	
						01-24-155-5305	400.00

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65428	12/29/2020	02360	COOPER, INC., GUY	(Continued)		Tota	: 400.00
65429	12/29/2020		COVANTA ENERGY, LLC	322451ABIN	G	MUNICIPAL SOLID WASTE	
	YTD Amount:	1,576,351	.33			MUNICIPAL SOLID WASTE	
						14-12-103-5305 Total	115,111.21 : 115,111.21
65430	12/29/2020		CUSTOMER COMMUNICATIONS, TO	OUCH MAILINGS		EST POSTAGE FOR THE 2021 L	S
Y I D Amount	YTD Amount:	unt: 24,388.00	U			EST POSTAGE FOR THE 2021 L	S
					01-02-021-5300 Total	3,200.00 : 3,200.00	
65431 12/29/2020 YTD Amount:			3242		W2 FORMS AND ENVELOPES		
				76107	W2 FORMS AND ENVELOPES		
						01-05-010-5300 Total	337.75 : 337.75
65432			DOLAN CONSULTING GROUP	W1204 1220	37(BACKGROUND INVESTIGATION	5
	YTD Amount:	380.00			76338	Background investigations in law	
						01-04-056-5234 Total	95.00 9 5.00
65433	12/29/2020		EAGLE POINT GUN SHOP	143431		INVOICE 143431 - 13 CASES OF	ł
	YTD Amount:	11,482.90			76276	Invoice 143431 - 13 cases of amm	ι
						01-04-056-5322	3,852.42

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Voucher	Date	Vendor		Invoice	PO #	Description/Account
65434	12/29/2020 YTD Amount:		EDGE HILL FIRE COMPANY	2065678		PREVENTIVE MAINTENANCE - N
					76274	PREVENTIVE MAINTENANCE - N 01-15-064-5342 Total :
65435	12/29/2020 YTD Amount:		EVANS, CAROLYN BRAUN	REIMBURSEN	1E	REIMBURSEMENT FOR BUSINES
		200.10				REIMBURSEMENT FOR BUSINES 01-01-002-5340 Total :
65436	12/29/2020 YTD Amount:		FBI - LEEDA	200048915		LEADERSHIP CLASS - LT. QUINN
	, , , , , , , , , , , , , , , , , , ,	1, 110.00			76280	Leadership class - Lt. Quinn 01-04-056-5234 Total :
65437	12/29/2020 YTD Amount:		FIREHOUSE FABRICATORS INC	5165043473		ATFD FIRE TRAINING PROGRAM
	TTD Amount.	2,930.00			75765	ATFD Fire Training Programs. 01-15-064-5305 Total :
65438	12/29/2020 YTD Amount:		GARGAN, MELISSA	REIMBURSEM	E	REIMBURSEMENT FOR HOLIDAY
	i i b Anount.	00.40			76287	reimbursement for holiday cards 01-04-040-5323 Total :
65439	12/29/2020 (GLASGOW, INC.	157304		ROADWAY PAVING

6543 YTD Amount: 81,532.66 5

Amount

1,110.00 1,110.00

> 43.40 43.40

695.00 695.00

2,930.00 2,930.00

> 85.49 85.49

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65439	12/29/2020	05517	GLASGOW, INC.	(Continued)				
						ROADWAY PAVING		in the second
						07-07-566-7538	Total :	494.99 494.99
65440	12/29/2020 YTD Amount:		GRAINGER	9741917885		GRAINGER, PALATINE, IL H	IAS A '	
TTD / mount.	052.07			76347	GRAINGER, Palatine, IL has	a VN∽		
						01-15-064-5322	Total :	154.00 154.00
65441	12/29/2020		GRAN TURK EQUIPMENT CO INC	1140022-01		RETAINERS & CHAIN LINKS	6 FOR	
YTD Amount: 1	16,324.6	3		76296	RETAINERS & CHAIN LINKS	6 FOR		
						01-14-186-5304	Total :	193.99 193.99
65442	12/29/2020		GRIN AND WEAR IT	927		16 POLO SHIRTS FOR AUX	ILIAR	
	YTD Amount:	2,424.00)		75479	16 polo shirts for Auxiliary pol	lice	
						01-04-041-5316	Total :	572.00 572.00
65443	12/29/2020	16227 600.00	HANES, LAURA	ZHB		ZHB MEETING		
	Y I D Amount:					ZHB MEETING		
						01-06-087-5030	Total :	75.00 75.00
65444	12/29/2020(YTD Amount:		HOME DEPOT CREDIT SERVICES	4031026		ALVERTHORPE PARK BOAT	HOU	

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65444	12/29/2020	00851	HOME DEPOT CREDIT SERVICES	(Continued)			
					76344	Alverthorpe Park Boat House repail	
						01-24-157-5323 Total :	174.21 174.21
65445	12/29/2020 YTD Amount:		JOHN KENNEDY FORD JENKINTOWN	SEE LIST		BRAKES & OIL FILTERS FOR POL	
		10,000.00	-		76299	BRAKES & OIL FILTERS FOR POL	
					76302	01-14-186-5304 BRAKES FOIR TRUCK # 531 \$74.4	609.80
					01-14-186-5304 Total :	349.12 958.92	
65446 12/29/2020 YTD Amount:		MANJARDI, MARK 0	11/17/2020		MINUTES ZONING HEARING BO/		
	-,				MINUTES ZONING HEARING BO/		
						01-06-081-5305 Total :	1,350.00 1,350.00
65447	12/29/2020 YTD Amount:		MASON CO., INC., W.B. 09	216018280 215	ę	OFFICE SUPPLIES FOR THE RO(
	TTD Amount.	13,742.09			76240	Office supplies for the ROC	
					76240	01-04-055-5300 Office supplies for Admin	25.33
						01-04-040-5300 Total :	59.64 84.97
65448	12/29/2020 YTD Amount:			PREV MAINT		PREVENTIVE MAINTENANCE - N	
		10,110.22			76273	PREVENTIVE MAINTENANCE - N	
					×.	01-15-064-5342	8,475.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65448	12/29/2020	09144	MC KINLEY FIRE COMPANY	(Continued)		Total :	8,475.00
65449	12/29/2020		McMAHON ASSOCIATES, INC.	174930		ABINGTON JENKINTOWN CONNI	
	YTD Amount:	299,799.6	51			ABINGTON JENKINTOWN CONNI	
						01-01-002-5299 Total :	100.00 100.00
65450	12/29/2020		NAPA AUTO PARTS	SEE LIST		STEERING BOX FOR REFUSE TF	
	YTD Amount:	6,613.93	j		75856	STEERING BOX FOR REFUSE TF	
					76010	01-14-186-5304 KEY WAY FOR TRUCK#225 \$5.7	298.64
					76137	01-14-186-5304 CIRCUIT BREAKERS \$16.84~	278.55
					76174	01-14-186-5304 WIPER BLADE FOR 29-20 \$15.72	217.91
					76298	01-14-186-5304 LEAF MACHINE FILTERS \$33.60~	126.94
					76131	01-14-186-5304 Repair to sod cutter	74.08
						01-24-158-5323 Total :	13.51 1,009.63
65451	12/29/2020		NUCHEM CORP.	201944		SLUDGE BOILER WATER TREATI	
	YTD Amount:	1,490.14			76354	SLUDGE BOILER WATER TREATI	
						02-10-200-5305 Total :	301.95 301.95

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65452	12/29/2020 YTD Amount:		Ö'CONNOR, MICHAEL	ZHB		ZHB MINUTES		
						ZHB MINUTES		
						01-06-087-5030 ו	Total :	75.00 75.00
65453	12/29/2020 YTD Amount:		OFFICE BASICS, INC.	L-1655865		LYSOL WIPES.		
					76374	Lysol wipes.		
						01-24-155-5323 1	Total :	89.00 89.00
65454 12/29/2020 YTD Amount:		OFFICE DEPOT 1	141518460001		2 WIRELESS KEYBOARD/MO	OUSE		
				76228	2 wireless keyboard/mouse co	ombo:		
						01-05-010-5300 т	Fotal :	42.48 42.48
65455	12/29/2020 YTD Amount:		PA CHIEFS OF POLICE ASSOC	13745		ANNUAL MEMBERSHIP FEE	S - C	
	TTD/Anount.	10,740.00			76281	Annual membership fees - Ch	ief M	
						01-04-040-5301 т	ſotal :	150.00 150.00
65456	12/29/2020 YTD Amount:		PA STATE ASSOC OF BOROUGHS	WEBINAR		OPEN RECORDS ACT UPDA	TE V	
	TID Amount.	50.00			76342	Open Records Act update web	oinar ·	
						01-04-056-5234 т	ſotal :	30.00 30.00
65457	12/29/2020 YTD Amount:		PA TURNPIKE TOLL BY PLATE	106396913-1		PRISON RUN		

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65457	12/29/2020	15191	PÂ TURNPIKE TOLL BY PLATE	(Continued)	76378	prison run		
						01-04-044-5323	Total :	31.90 31.90
65458 12/29/2020 YTD Amount	12/29/2020		POSEN INC, JOHN S.	177986		ATFD FIRE TRAINING PRO	GRAM	
	Y I D Amount:	109.00			76283	ATFD Fire Training Program	: Refill	
						01-15-064-5322	Total :	32.00 32.00
	9/2020 04032 mount: 8,718.30	PREMIUM CLEANING SERVICE CORP	510290		MONTHLY CLEANING SER	VICE F		
				76318	Monthly cleaning service for	Noverr		
						01-24-155-5305	Total :	540.00 540.00
65460	12/29/2020		READY REFRESH	NOVEMBER		ALVERTHORPE MANOR		
	YTD Amount:	251.20				ALVERTHORPE MANOR		
						01-24-157-5311	Total :	6.24 6.24
65461	12/29/2020 · YTD Amount:		READY REFRESH	NOVEMBER		ALVERTHORPE PARK		
	r i D'Aniouni.	220.51				ALVERTHORPE PARK		
						01-24-157-5311	Total :	16.43 16.43
65462	12/29/2020 1 YTD Amount:		READY REFRESH	NOVEMBER		REFUSE DEPARTMENT		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65462	12/29/2020	12992 1	READY REFRESH	(Continued)				
						REFUSE DEPARTMENT		
						14-12-100-5311 REFUSE DEPT		54.83
						01-13-130-5311	Total :	54.83 109.66
65463	12/29/2020 YTD Amount:		RED THE UNIFORM TAILOR INC, GALLS	BC1243451		D/SGT KENT - INVOICE BC	12434:	
					76379	D/Sgt Kent - Invoice BC1243	8451 - (
				BC1243637	76375	01-04-053-5316 INVOICE BC1243637 - FALL Invoice BC1243637 - Fallon		228.99
						01-04-044-5316	Total :	78.15 307.14
65464	12/29/2020 YTD Amount:		REDEVELOPMENT AUTHORITY OF	11/18/2020		YORK & SUSQUEHANNA R	DS	
	TTD Amount.	1,100.07				YORK & SUSQUEHANNA R	DS	
				12/11/20250		01-01-003-5201 YORK & SUSQUEHANNA R YORK & SUSQUEHANNA R		752.50
						01-01-003-5201	Total :	507.50 1,260.00
65465	12/29/2020 YTD Amount:		SHADES OF GRAY	028821 028819		WINDOW TINT FOR 2 DETI	ECTIV	
					76352	Window tint for 2 detective ve	ehicles	
						01-04-053-5322	Total :	280.00 280.00

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65466	12/29/2020 YTD Amount:		SNELLBAKER PRINTING COMPANY	52822		10 BOXES ACCOUNTS PAYABLE	
	THE Amount.	1,100.00			76092	10 boxes accounts payable envelor	
						01-05-010-5300 Total :	347.75 347.75
65467	12/29/2020 YTD Amount:		SPAHR-EVANS PRINTERS	32004		500 BUSINESS CARDS FOR OFC	
	TID Amount.	2,175.00			76259	500 business cards for Ofc. Posey	
						01-04-055-5303 Total :	42.00 42.00
65468	65468 12/29/2020 13594 YTD Amount: 28,65		20-1123		ELECTRIC DESIGN TO REPLACE		
				76350	Tall Trees Pump Station PECO elec		
						17-10-851-7491 Total :	2,087.50 2,087.50
65469	12/29/2020			210787		900 - 5.56MM MMR RED MUNITIC	
	YTD Amount:	1,301.32			76263	900 - 5.56MM MMR RED MUNITIC	
						01-04-056-5322 Total :	1,301.32 1,301.32
65470	12/29/2020		UP SIDE DOWN	153180-1		NITRILE SAFETY GLOVES AND V	
	YTD Amount:	007.24			76196	NITRILE SAFETY GLOVES AND V	
						02-10-200-5321 Total :	568.80 568.80
65471	12/29/2020 1 YTD Amount:		USDA, APHIS WS	3003659428		GOOSE MAINTENANCE PROGR/	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65471	12/29/2020	10015	ÚSĎA, APHIS WS	(Continued)	74194	Goose Management Program	
					74194	07-24-800-7589 Goose Management Program	1,074.44
						07-24-800-7584 Total :	327.50 1,401.94
65472	12/29/2020 YTD Amount:			67091364		MONTHLY MONITORING FEE.	
		1,110.10			76372	Monthly monitoring fee.	
						01-24-155-5305 Total :	92.95 92.95
65473	55473 12/29/2020 01922 YTD Amount: 675.00		WERTHEIMER, BARBARA M.	ZHB		ZHB MEETING	
						ZHB MEETING	
						01-06-087-5030 Total :	75.00 75.00
65474 እ	12/29/2020 YTD Amount:		WHP TRAINING TOWERS	20-3229		ATFD FIRE TRAINING FACILITY.	
		200,011.0			76102	ATFD Fire Training Facility. Seven	
						07-15-091-7590 Total :	3,989.00 3,989.00
65475 Y	12/29/2020 (TD Amount:		WIRELESS ELECTRONICS, INC.	P2020-1209		1X EMERGENCY REAPIR OF APA	
,	Anount.	300.00			76348	1x Emergency Reapir of APX6500 i 01-04-055-5305 Total :	900.00 900.00
62	Vouchers for I	bank code :	ap2			Bank total :	187,059.50

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Voucher	Date	Vendor	Invoice PO # Description/Account	Amount	
62 Vo	ouchers i	n this report	Total vouchers :	187,059.50	

apRepChk 12/29/2020	9:53:25AM	Replaced Checks Listing TWP OF ABINGTON	
Bank: Account:			

	20 12/29/2020 Bank total:	8,711.78 12,286.78	No	Paid to SHECHTMAN TREE CARE, LLC EXETER SUPPLY CO INC	Repl check 65477 65476	Date 12/29/2020 12/29/2020	Reason CHECK NOT RECEIVED OTHER
CI	ecks total:	12,286.78					

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65478 12/30/2020 16396 YTD Amount: 105.00			& EDWIN HARPER, PETER HARPE	R, LUCASSESSMEI	NTI	ASSESSMENT REDUCTION ~	
						ASSESSMENT REDUCTION ~	
						01-00-000-4030 ASSESSMENT REDUCTION ~	85.00
						01-00-000-4075 Tota	20.00 al : 105.00
65479	12/30/2020 YTD Amount:		A.M. LEONARD	c120128341	s02	HAND TOOLS	
				76219	Hand tools		
						01-24-157-5323 Tota	665.88 d : 665.88
65480	12/30/2020 YTD Amount:		ABC SUPPLY CO.	10067431		ALVERTHORPE PARK CONTRO	DL
3	TTD Amount.	5,701.70				Alverthorpe Park Control Building	r (
						01-24-157-5323 Tota	3,701.70 II: 3,701.70
65481	12/30/2020 · YTD Amount:		ALLIED HYDRAULIC SERVICE	30689		REBUILD OF ARM CYLINDER F	Ol
ľ	THE Amount.	4,000.00			75859	REBUILD OF ARM CYLINDER F	OI
						01-14-186-5304 Tota	1,230.00 I: 1,230.00
65482 Y	12/30/2020(YTD Amount:		AMERICAN UNIFORM	211964 21144	1	PARK RANGER UNIFORMS	
1	r i b Antount.	17,220.20			75363	Park Ranger Uniforms	
						01-24-159-5316	423.62

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65482	12/30/2020	05205	AMERICAN UNIFORM	(Continued)		Total :	423.62
65483	12/30/2020		APEX ELEVATOR INSPECTION	33505		ALVERTHORPE MANOR ELEVAT(
	YTD Amount:	360.00			76389	Alverthorpe Manor Elevator Inspect	
						01-24-157-5305 Total :	180.00 180.00
65484	12/30/2020		BERGEY'S INC.	SEE ATTACHE	C	COOLING SYSTEM REPAIR PART	
	YTD Amount: 141,9	unt: 141,979.72		76327	COOLING SYSTEM REPAIR PART		
					01-14-186-5304 Total :	136.37 136.37	
65485	5485 12/30/2020 109 YTD Amount: 9,3		CARMEUSE LIME & STONE	94175500		20 TONS OF HYDRATED LIME FC	
		9,358.40	,358.40		75958	20 tons of hydrated lime for ph cont	
						02-10-200-5326 Total :	2,991.74 2,991.74
65486	12/30/2020		CITY OF PHILA/WATER DEPT	OCTOBER		MONTHLY WASTEWATER CHAR	
	Y I D Amount:	Amount: 1,547,816.31			MONTHLY WASTEWATER CHAR		
						02-11-202-5333 Total :	130,678.81 130,678.81
65487		30/2020 09245 COMCAST CABLE Amount: 1,080.80	COMCAST CABLE	DECEMBER		PARKS MAINT OFFICE -FOX CHA	
	Y I D Amount:				73182	PARKS MAINT OFFICE -FOX CHA	
						01-24-158-5305 Total :	88.40 88.40

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65488	12/30/2020 YTD Amount	08628	CONTRACT & COMMERCIAL INC., STAPI	L 3455993038		SIGN HOLDER		
					76430	Mounting tape		
					76430	01-01-002-5300 Sign Holder		5.67
				3463016448	76431	01-01-002-5300 INK CARTRIDGE - PRINTER Ink Cartridge - Printer	1	3.80
					76431	01-01-002-5300 Tricolor Ink - Printer		34.82
				3464331146	76306	01-01-002-5300 BATTERIES, FLASH DRIVES batteries, flash drives, folders		35.54
					76306	01-04-053-5300 batteries, flash drives, folders		104.78
						01-04-053-5340	Total :	75.88 260.49
65489	12/30/2020 YTD Amount:		CPE	19097		2 - HOSE KITS~		
	in in in the second				76125	2 - HOSE KITS~		
						02-10-200-5322	Fotal :	1,395.00 1,395.00
65490	12/30/2020 YTD Amount:		DAVIDHEISER'S INC.	23709		4 ROBIC ACCUTRACS AND	CALIE	
					76103	4 Robic accutracs and calibra	tion fe	
						01-04-048-5304 ו	otal :	326.04 326.04

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65491		/30/2020 16398 DÎĜÎOVANNANGELO, LOIS AND CLARA V		SEWER REFU	Ν	SANITARY SEWER REFUN	ID	
	YTD Amount:	623.00				SANITARY SEWER REFUN	D	
						02-00-000-4611	Total :	623.00 623.00
65492	12/30/2020		DIPRIMIO, JOHN	ZHB		ZONING HEARING BOARD		
	YTD Amount: 750.0	750.00				ZONING HEARING BOARD		
						01-06-087-5030	Total :	75.00 75.00
65493	5493 12/30/2020 02074 YTD Amount: 10,410.6			TOXICOLOGY	5	FORENSIC TOXICOLOGY	SERVIC	
		10,410.66				FORENSIC TOXICOLOGY	SERVI	
						01-28-012-5111 FORENSIC & TOXICOLOG [\]	Y SER	184.80
						02-10-200-5111 FORENSIC & TOXICOLOG	(92.40
						14-12-100-5111	Total :	115.50 392.70
65494	12/30/2020		EAGLE POINT GUN SHOP	143430		AMMUNITION		
	YTD Amount:	Amount: 15,459.90	unt: 15,459.90		76277	Ammunition		
						01-04-056-5234	Total :	3,977.00 3,977.00
65495	12/30/2020 YTD Amount:		EXETER SUPPLY CO INC	311812		AIR PRESSURE & VACUUM	IRELII	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65495	12/30/2020	00145	ÊXÊTER SUPPLY CO INC	(Continued)				, and and
				•	76041	AIR PRESSURE & VACUUM	A RELII	
						02-10-203-5304	Total :	592.11 592.11
65496 12/30/2020 005 YTD Amount: 22,		GEPPERT INC., WILLIAM A	66013		SUPPLIES FOR K9 UNIT			
					76427	supplies for K9 unit		
						01-04-049-5323	Total :	2,387.97 2,387.97
65497 12/30/2020 00541 YTD Amount: 964.85		HIBBERT'S INC	222111		PLAQUE FOR BENCH			
	THE AMOUNT.	304.00			75470	Plaque for bench		
						01-24-157-5323	Total :	40.02 40.02
65498 12/30/2020 0 YTD Amount: 2			HOARE, DAVID AND NINA	ASSESSMENT		ASSESSMENT REDUCTION	N~	
						ASSESSMENT REDUCTION	٧~	
						01-00-000-4030 ASSESSMENT REDUCTION	٧~	1.00
						01-00-000-4075	Total :	1.00 2.00
65499	12/30/2020 YTD Amount:		HOME DEPOT CREDIT SERVICES	3020949 403102		FENCE REPAIRS		
		5			76388	Fence repairs		
						01-24-157-5323	Total :	330.28 330.28

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65500						LEAF MACHINE FILTERS \$214.76		
	YTD Amount:	12,158.85			76326	LEAF MACHINE FILTERS \$	6214.76	
						01-14-186-5304	Total :	268.79 268.79
65501	12/30/2020		ITSAVVY LLC	see attached		REPLACEMENT COMPTUE	ERS AN	
	YTD Amount:	46,550.57			76271	Replacement comptuers and	d varioι	
						01-01-005-5322	Total :	2,121.89 2,121.89
65502	12/30/2020		KENCO HYDRAULICS, INC.	19949		HYDRAULIC HOSE FOR RE	EFUSE	
	YTD Amount:	2,525.26			76330	HYDRAULIC HOSE FOR RE	EFUSE	
						01-14-186-5304	Total :	703.84 703.84
65503	12/30/2020		KSG INDUSTRIAL SUPPLIES INC	113692		AIR HOSE FOR SHOP \$96.	28~	
	YTD Amount:	6,988.62			76335	AIR HOSE FOR SHOP \$96.	28~	
						01-14-186-5304	Total :	195.14 195.14
65504	12/30/2020		LINCOLN AQUATICS	d8712092		AIR THERMOMETERS		
	YTD Amount:	2,876.31			76314	Air Thermometers		
						01-24-157-5324	Total :	99.78 99.78
65505	12/30/2020 YTD Amount:		MANFREDI, RICHARD	PHONE REIMBI		PHONE REIMBURSEMENT		

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65505	12/30/2020	15291	MANFREDI, RICHARD	(Continued)				, anount
				~ 2		PHONE REIMBURSEMENT	Г	
						01-01-002-5307	Total :	310.86 310.86
65506	12/30/2020 YTD Amount:		MCGLINCHEY, MATTHEW	SEWER REFUN	Ň	SANITARY SEWER REFUN	1D	
		000.00				SANITARY SEWER REFUN	1D	
						02-00-000-4611	Total :	503.00 503.00
65507	12/30/2020 YTD Amount:		MSC INDUSTRIAL SUPPLY COMPANY	see attached		4 - C CLAMPS~		
	THE Amount.	3,400.37			76238	4 - C CLAMPS~		
						02-10-200-5322	Total :	198.60 198.60
65508	12/30/2020 YTD Amount:		NAPA AUTO PARTS	SEE ATTACHED		PARTS WASHER KIT		
	TTD Amount.	0,001.43			76233	PARTS WASHER KIT		
					76328	01-14-186-5304 AIR FILTERS FOR TRUCK	#531 \$	1,707.63
					76334	01-14-186-5304 HOSES & BELT FOR #29-25	5 \$75.5	173.90
						01-14-186-5304	Total :	85.97 1,967.50
65509	12/30/2020 YTD Amount:		NORTHERN TOOL & EQUIP CO.	46637715		PRESSURE WASHERS		

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65509	12/30/2020	00326	NORTHERN TOOL & EQUIP CO.	(Continued)	76255	Pressure Washers		
					76255	01-24-157-5323 Pressure Washers		807.11
					76255	01-24-153-5323 Pressure Washers		807.11
						01-24-154-5323	Total :	807.11 2,421.33
65510	12/30/2020		NPJS REALTY LLC	ASSESSMEN	ТІ	ASSESSMENT REDUCT	ION~	
	YTD Amount:	4.00				ASSESSMENT REDUCT	ION~	
						01-00-000-4030 ASSESSMENT REDUCT	ION~	3.00
						01-00-000-4075	Total :	1.00 4.00
65511	12/30/2020		P. LEE ASHPLUNDH-ALLEN	SEWER REFU	ЛГ	SANITARY SEWER REF	UND	
YTD Amount: 2,605.0		int: 2,605.00				SANITARY SEWER REF	JND	
						02-00-000-4611	Total :	2,605.00 2,605.00
65512	12/30/2020		PA DEPT OF TRANSPORTATION	1802565493		GLG PROGRAM 2015GL	LED	
	YTD Amount:	12,006.26				GLG Program 2015GL LE	D	
						07-01-500-7537 GLG Program 2015GL LE	D	10,000.00

GLG Program 2015GL LED 2,006

2,006.26 Total : **12,006.26**

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65513	12/30/2020 YTD Amount	01889	PECO ENERGY	TRAFFIC LIGH	П	TRAFFIC LIGHT ACCOUN	T-DISTI	
						TRAFFIC LIGHT ACCOUNT	T-DISTI	
						03-13-146-5308	Total :	8.26 8.26
65514	12/30/2020 YTD Amount		PECO ENERGY COMPANY	NOVEMBER		MONTHLY WWTP ELECTR	RIC	
			-			WWTP PECO BILLINGS		
						02-10-200-5308 WWTP PECO BILLINGS		17,335.10
						02-10-203-5308	Total :	4,897.61 22,232.71
65515	12/30/2020 YTD Amount:		PLATT - PETTY CASH, PATRICIA	PETTY CASH		ANIMAL FOOD AND ANIMA	LCAR	
					76387	Animal food and animal care	e produ	
						01-24-155-5323	Total :	52.90 52.90
65516	12/30/2020 YTD Amount:		REPUBLIC SERVICES INC	0320 00039144	E	GRIT AND SCREENING DIS	SPOSA	
		0,001.01			76351	grit and screening disposal		
						02-10-200-5305	Total :	1,128.00 1,128.00
65517	12/30/2020		RIGGINS, INC.	7503331		6000 GALLONS OF UNLEA	DED F	
	YTD Amount:	112,019.0	1		76331	6000 GALLONS OF UNLEA	DED F	
						01-14-186-5310		8,338.06

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65517	12/30/2020	14105 ~	ÊÎÊĞINS, INC.	(Continued) 7503332	76329	6000 GALLONS OF DIESE 6000 GALLONS OF DIESE		
						01-14-186-5310	Total :	8,820.64 17,158.70
65518	12/30/2020		SANDS, ROBERT	13754		REIMBURSEMENT FOR PI	HYSICA	
	YTD Amount:	177.80			76382	Reimbursement for physical	fitness	
						01-04-056-5234	Total :	100.00 100.00
65519	12/30/2020		SCHMAUK, DAVID	ASSESSMENT	I	ASSESSMENT REDUCTIO	N~	
	YTD Amount: 26.00	26.00	6.00			ASSESSMENT REDUCTIO	N~	
						01-00-000-4030 ASSESSMENT REDUCTIO	N~	21.00
						01-00-000-4075	Total :	5.00 26.00
65520	12/30/2020		THE HOMER GROUP	201146		2021 CALENDAR		
	YTD Amount: 24,513.00	ount: 24,513.00	J Amount: 24,513.00		76414	2021 CALENDAR		
					76414	01-01-002-5238 2021 CALENDAR		16,815.88
						01-00-000-2510	Total :	2,144.12 18,960.00
65521	12/30/2020 · YTD Amount:		TP TRAILERS INC.	0		UPGRADES/FABRICATION	FOR [

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65521	12/30/2020	13715	TP TRAILERS INC.	(Continued)				
				•	75464	Upgrades/Fabrication for DU	II Traile	
						06-04-077-5322	Total :	2,587.80 2,587.80
65522	12/30/2020 YTD Amount:		VILE, SUSAN ELIZABETH	12/11/2020		TRANSCRIPTION/EDITING	OF MI	
						Transcription/Editing of minu	tes lan	
				12/15/2020		01-01-002-5305 TRANSCRIPTION/EDITING Transcription/Editing of minu		161.25
				12/27/2020		01-01-002-5305 TRANSCRIPTION/EDITING Transcription/Editing of minu		172.00
						01-01-002-5305 Transcription/Editing of minut	tes BC	419.25
						01-01-002-5305 Transcription/Editing of minut	tes for	172.00
						01-01-002-5305	Total :	118.25 1,042.75
65523	12/30/2020 YTD Amount:		WERTHEIMER, BARBARA M.	REIMBURSEME		REIMBURSEMENT FOR RE	COGN	
						REIMBURSEMENT FOR RE	COGN	
						01-06-087-5030	Total :	73.35 73.35
65524	12/30/2020 YTD Amount:		AQUA PA	WATER		ROUND HOUSE-WATER		

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65524	12/30/2020	15013	ÂQÛA PA	(Continued)		WATER FOR ROUND HOU	ISE AT (
						01-24-153-5311	Total :	107.28 107.28
65525	12/30/2020		AQUA PA	WATER		SPRINKLER FOR ROUND	HOUSE	
	YTD Amount:	1,128.74				SPRINKLER FOR ROUND	HOUSE	
						01-24-153-5311	Total :	95.50 95.50
65526	12/30/2020		AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD		
	YTD Amount:	1,148.57				1176 OLD YORK RD		
						01-01-030-5311	Total :	116.50 116.50
65527	12/30/2020		AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD		
	YTD Amount:	2,575.68				1176 OLD YORK RD		
			ς.			01-01-030-5311	Total :	222.70 222.70
65528	12/30/2020 (AQUA PENNSYLVANIA	WATER		1166 OLD YORK RD		
	YTD Amount:	1,972.58				1166 OLD YORK RD		
						01-01-030-5311	Total :	129.50 129.50
65529	12/30/2020(YTD Amount:		AQUA PENNSYLVANIA	WATER		2201 FLOREY		

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65529	12/30/2020	05815	ÂQÛA PENNSYLVANIA	(Continued)				
				· •		2201 FLOREY		
						01-13-130-5311	Total :	162.06 162.06
65530	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		925 FITZWATERTOWN RO	AD	
	i i D i anount	140.00				925 FITZWATERTOWN		
						14-12-100-5311	Total :	78.56 78.56
65531	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		2828 SPEAR		
	TTD Anount.	1,704.20				2828 SPEAR		
,						01-24-152-5311	Total :	156.18 156.18
65532	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		ES DUMONT RD		
	TTD / mount.	17,401.22				ES DUMONT RD		
						01-24-154-5311	Total :	234.79 234.79
65533	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1212 EDGE HILL		
	TTD Amount.	1,017.02				1212 EDGE HILL		
						01-24-155-5311	Total :	136.43 136.43
65534	12/30/2020 (YTD Amount:		AQUA PENNSYLVANIA	WATER		1059 Jenkintown Rd, Meetin	ghouse	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65534	12/30/2020	05822	ÂQÛA PENNSYLVANIA	(Continued)				
						1059 Jenkintown Rd, Meetin	nghouse	
					~	01-24-157-5311	Total :	18.37 18.37
65535	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1383 EASTON RD		
	TD Amount.	221.33				1383 EASTON RD		
						01-24-157-5311	Total :	19.43 19.43
65536	12/30/2020		AQUA PENNSYLVANIA	WATER		2810 ANZAC		
	YTD Amount:	1,182.24	182.24			2810 ANZAC		
						01-24-157-5311	Total :	113.54 113.54
65537	12/30/2020		AQUA PENNSYLVANIA	WATER		BAEDERWOOD SKATING HIGHL/		
	YTD Amount:	972.34				BAEDERWOOD SKATING HIGHL/		
						01-24-157-5311	Total :	64.01 64.01
65538	12/30/2020		AQUA PENNSYLVANIA	WATER		NS CLEVELAND		
	YTD Amount:	591.92				NS CLEVELAND		
						01-24-157-5311	Total :	64.01 64.01
65539	12/30/2020(YTD Amount:		AQUA PENNSYLVANIA	WATER		SS OLD WELSH RD		

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65539	12/30/2020	05829	ÂQŨA PENNSYLVANIA	(Continued)				
						SS OLD WELSH RD		
						01-24-157-5311	Total :	113.54 113.54
65540	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		WS FORREST		
						WS FORREST		
						01-24-157-5311	Total :	221.16 221.16
65541	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		WS FORREST		
						WS FORREST		
						01-24-157-5311	Total :	78.94 78.94
65542	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1013 INDIAN CREEK		
						1013 INDIAN CREEK		
			e.			01-24-157-5311	Total :	88.21 88.21
65543	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		865 JENKINTOWN		
	6 8 900 6 80 80 80 80 80 80 80 80 80 80 80 80 80					865 JENKINTOWN		
						01-24-157-5311	Total :	18.37 18.37
65544	12/30/2020(YTD Amount:		AQUA PENNSYLVANIA	WATER		511 MEETINGHOUSE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65544	12/30/2020	05834	ÂQÜA PENNSYLVANIA	(Continued)		511 MEETINGHOUSE 01-24-157-5311	Total :	282.36 282.36
65545	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		NS JEFFERSON NS JEFFERSON 01-24-157-5311	Total :	28.85 28.85
65546	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1010 FITZWATERTOWN 1010 FITZWATERTOWN 02-10-200-5311		246.64

					Total :	246.64
65547	12/30/2020 05838 YTD Amount: 11,226.48	AQUA PENNSYLVANIA	WATER	1010 FITZWATERTOWN		
	11D Anount. 11,220.40			1010 FITZWATERTOWN		
				02-10-200-5311	Total :	948.97 948.97
65548	12/30/2020 05840 YTD Amount: 617.80	AQUA PENNSYLVANIA	WATER	NS KIMBALL		
				NS KIMBALL		
				02-10-203-5311	Total :	61.59 61.59
65549	12/30/2020 05841 YTD Amount: 230.87	AQUA PENNSYLVANIA	WATER	1119 TOWNSHIP LINE		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
65549	12/30/2020	05841	ÂQŨA PENNSYLVANIA	(Continued)				
						1119 TOWNSHIP LINE		
						02-10-203-5311	Total :	18.37 18.37
65550	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		ES VALLEY		
						ES VALLEY		
						02-10-203-5311	Total :	31.49 31.49
65551	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		1858 OLD WELSH		
						1858 OLD WELSH		
						02-10-203-5311	Total :	18.35 18.35
65552	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		BRIARCLIFF		
						BRIARCLIFF		
						02-10-203-5311	Total :	18.35 18.35
65553	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		WS DAVISVILLE		
						WS DAVISVILLE		
						02-10-203-5311	Total :	1.74 1.74
65554	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		635 MOREDON		

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
65554	12/30/2020	05848	AQUA PENNSYLVANIA	(Continued)			
						635 MOREDON	
						02-10-203-5311 Total :	18.58 18.58
65555	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		2571 RUBICAM CRESTMONT PO	
	TTD/ mount.	12,000.01				2571 RUBICAM CRESTMONT PO	
						01-24-153-5311	157.16
						Total :	157.16
65556	12/30/2020 YTD Amount:		AQUA PENNSYLVANIA	WATER		MEADOWBROOK BIRD SANCTU	
	TID Amount.	104.04				MEADOWBROOK BIRD SANCTU	
						01-24-157-5311 Total :	18.35 18.35
65557	12/30/2020		AQUA PENNSYLVANIA	WATER		WAR MEMORIAL PARK	
	YTD Amount:	311.68				WAR MEMORIAL PARK	
					÷	01-01-030-5311 Total :	20.77 20.77
80	Vouchers for	bank code :	ap2			Bank total :	241,490.24
80	Vouchers in th	nis report				Total vouchers :	241,490.24