

ABINGTON TOWNSHIP

AUGUST 26, 2025



PLANNING COMMISSION MEETING



TOWNSHIP OF ABINGTON

PLANNING COMMISSION MEETING

A G E N D A **August 26, 2025** **7:30 PM**

There are three ways for the public to participate in the meeting: in-person, online or by phone. Residents who wish to attend in person can do so in the Abington Township Board Room located at 1176 Old York Road, Abington, PA 19001, 2nd Floor. Alternative means of public participation are offered for those who do not wish to or are unable to attend the meetings in person. Residents who wish to participate in the meeting remotely can access the meeting online by a computer, iPad, iPhone, or Android at <https://uso6web.zoom.us/j/83637406019>. This link will enable residents to hear the meeting and see presentations. There will be no video capabilities. Residents, who are unable to join online, can listen to the meeting by calling 1-929-436-2866 and entering the meeting ID number 836-3740-6019 when prompted.

CALL TO ORDER

ROLL CALL *BROWN, DICELLO, ROBINSON, BAKER, NEWELL, WEATHERLY*

CONSIDER APPROVAL OF MINUTES

- a. Consider Approving Planning Commission Minutes of July 22, 2025.

PRESENTATION

UNFINISHED BUSINESS

NEW BUSINESS

- a. Review LD-25-01- 1526 Fairview Avenue, Preliminary/Final Major Subdivision and Land Development plans.

PUBLIC COMMENT

ADJOURNMENT

To subscribe and receive agenda posting notifications, please sign up on our website under *Email Updates* at www.abingtonpa.gov/agendas

BOARD POLICY ON PUBLIC PARTICIPATION

For Information Purposes Only

The Township shall conduct business in accordance with the Commonwealth of Pennsylvania Laws governing the conduct of public meetings and only establish guidelines that shall govern public participation at meetings consistent with the law.

Each commenter shall:

- Direct their comments to the Presiding Officer;
- Speak from the podium or into a microphone designated by the presiding officer;
- State their name for the record;
- Either orally or in writing provide their address for the record;
- Have a maximum of three minutes to make their comments. Each commenter when speaking to a specific agenda item, is to keep their comments relative to that identified agenda item;
- Speak one time per agenda item;
- When commenting on non-agenda items, the commenter is to keep their comments related to matters of the Township of Abington, Montgomery County, Pennsylvania.
- State a question to the Presiding Officer after all commenters have spoken, and;
- Be seated after speaking or upon the request of the presiding officer;
- Not engage in debate, dialogue or discussion;
- Not disrupt the public meeting, and;
- Exercise restraint and sound judgement in avoiding the use of profane language, and the maligning of others.

The stated meeting of the Planning Commission of the Township of Abington was held on Tuesday, July 22, 2025 via webinar and in-person at the Township Administration Building, Abington, PA, with Chairman Nicholas Brown presiding.

CALL TO ORDER: 7:32 p.m.

ROLL CALL: Present: BROWN, ROBINSON, BAKER, NEWELL, WEATHERLY
Excused: DICELLO

Also Present: Township Engineer Lee
County Planner Narcowich

PLEDGE OF ALLEGIANCE

CONSIDER APPROVAL OF MINUTES:

Mr. Weatherly made a MOTION, seconded by Mr. Brown to approve the minutes from the Planning Commission Meeting of June 24, 2025.

MOTION was ADOPTED 5-0.

PRESENTATION: None.

UNFINISHED BUSINESS: None.

NEW BUSINESS:

Review LD-25-02 Redeemer Valley Farm Manure Compost Facility – Final Major Land Development Plan and the request of waiver from the land development process:

Mr. Brown said the applicant proposes to construct a six (6) bay roofed compost bin structure with total dimensions of 10 ft. wide by 72 ft. long with each bay being 12 feet long. Along with the proposed compost structure, the applicant is proposing a 12 ft. wide, 72 ft. long concrete access pad, an 80 ft. long stone access lane, 4” PVC piping and aluminum gutters to collect the stormwater runoff. The applicant is requesting a waiver from the required land development process. The applicant would be eligible for final minor land development plan approval contingent upon that the applicant adequately address all review comments prior to recording the plans.

Ms. Rachel Razi, Executive Director of Redeemer Valley Farm, requested a waiver from the land development process. Redeemer Valley Farm has been composting manure for decades. We compost manure from sheep and goats that we turn into fertilizer that is used in our two-acre community garden amongst the 90-acres that the sisters own.

We have joined forces with Penn State Extension, USDA Natural Conservation Services and Montgomery County Conservation District and came up with a nutrient management plan that the farm follows, and we have been given funding to improve our composting facility. Proposed is a bin system of six bins that would be constantly rotated as the manure breaks down that holds six months of manure which then gets placed around the property to add nutrients necessary for good soil health.

The proposed facility would have three sides and a roof, and we follow all rules and regulations through the USDA and through our nutrient management plan. We feel we are eligible for the waiver as the square footage falls under 10,000 sq. ft. for the primary maximum disturbance area. This facility would be an accessory to our barn and the purpose of the stone road is to maintain erosion. We do have a stormwater management retention and detention basin onsite, or we could just add a seepage pit. No plumbing or electricity is proposed; it is just a structure similar to the photo that was presented.

Mr. Brown clarified that the applicant addressing stormwater management is the only substantive comment listed in the Township Engineer's review letter in order to get the waiver approved. Is that correct?

Ms. Allison Lee replied there are zoning comments listed that can be addressed by the applicant without having to go before the Zoning Hearing Board and other general comments such as the buffer, but stormwater management is most critical for the impervious coverage.

Ms. Razi said we request a waiver from the overall land development approval process. Regarding the buffer, we worked with the Shade Tree Commission where we will be doing massive tree planting of 20 trees at the farm in the fall and our goal is not to remove any trees. Also, she spoke with Ms. Lee about whether the retention/detention basin could capture the rest of the water, so she understands what we already have on the property. The applicant will comply with all the other comments listed by the Township Engineer's review letter.

Mr. Weatherly questioned whether a professional engineer will be signing these plans prior to construction.

Ms. Razi replied the plans were designed and signed off by Nicholas Parish who is the USDA Engineer for our area.

Mr. Weatherly clarified there was a discussion about routing the pipe to the existing stormwater basin. Is that correct?

Ms. Lee replied yes, there was a stormwater basin constructed as part of the barn addition about three or four years ago and we can see whether it could hold and convey the stormwater runoff from the new addition, otherwise, we would be fine if the applicant wanted to add a new BMP for the impervious coverage for the compost facility.

Mr. Baker clarified that the plan shows 720 sq. ft. of impervious surface. Is that correct?

Ms. Razi replied yes, the roadway will be pervious, but the actual facility will be the impervious area.

Ms. Lee replied the total is 1,583 sq. ft. because the access drive eventually will become compacted and then become impervious.

Ms. Razi said the USDA Engineer is waiting for the outcome to update the plans to include the information that needs to be on the plan.

Ms. Lee said the stormwater management and all review comments will need to be addressed before the plans are recorded; however, the applicant could get a recommendation for project approval.

Mr. Brown asked for any public comment. There were none.

Mr. Brown made a MOTION, seconded by Ms. Robinson to recommend granting the waiver from the land development process.

MOTION was ADOPTED 5-0.

ADJOURNMENT: 7:54 p.m.

Respectfully submitted,

Liz Vile, Recording Secretary



PLANNING COMMISSION MEETING

AGENDA ITEM

August 26, 2025

DATE

Administration

DEPARTMENT

AGENDA ITEM NUMBER

FISCAL IMPACT

Cost > \$10,000

Yes No

PUBLIC BID REQUIRED

Cost > \$20,100

Yes No

AGENDA ITEM:

LD-25-01 - 1526 Fairview Avenue

EXECUTIVE SUMMARY:

The Applicant is proposing to subdivide the existing 13,696 SF (0.321 acres) lot into two (2) new lots as follows:

- Lot 1 – will consist of a 7,500 SF lot fronting Fairview Avenue and will be comprised of a new single-family detached dwelling, asphalt driveway, concrete walkway, and a raingarden.
- Lot 2 – will consist of a 6,469 SF lot fronting Fairview Avenue and will be comprised of the existing single-family detached dwelling unit. No improvements to Lot 2 are proposed as part of this application.

PREVIOUS BOARD ACTIONS:

n/a

RECOMMENDED BOARD ACTIONS:

Review LD-25-01- 1526 Fairview Avenue, Preliminary/Final Major Subdivision and Land Development

plans.



July 11, 2025

ABINT130042

Mr. Christopher S. Christman, Township Manager
Abington Township
1176 Old York Road
Abington, PA 19001

**RE: Executive Summary for LD-25-01 – 1526 Fairview Avenue
PARID: 30-00-18860-00-1/ TMID: 30196 017
Preliminary/Final Major Subdivision & Land Development Plans Review (2nd Submission)**

Dear Mr. Christman:

We have received a copy of the revised "Preliminary Minor Subdivision and Land Development Plans" consisting of eight (8) sheets dated February 14, 2025 and revised May 23, 2025, as well as a Post Construction Stormwater Management report, dated February 14, 2025 and revised May 2025; as prepared by Van Cleef Engineering Associates, LLC, located at 501 North Main Street, Doylestown, PA, for the above referenced project on behalf of the Applicant Arthur B. Herling III of ABH Builders, Inc. The application was deemed completed on February 21, 2025.

This project is located within the R4 – High Density Residential Zoning District. The site is fronted by Fairview Avenue to the east; a commercial property zoned within the MSH – Main Street High Density zoning district to the north; and residential properties zoned within the R4 – High Density Residential Zoning District in all other directions.

Under the initial and current submission, the Applicant is proposing to subdivide the existing 13,696 SF (0.321 acres) lot into two (2) new lots as follows:

- Lot 1 – will consist of a 7,500 SF lot fronting Fairview Avenue and will be comprised of a new single-family detached dwelling, asphalt driveway, concrete walkway, and a raingarden.
- Lot 2 – will consist of a 6,469 SF lot fronting Fairview Avenue and will be comprised of the existing single-family detached dwelling unit. No improvements to Lot 2 are proposed as part of this application.

In accordance with the FEMA, Flood Insurance Rate Map (FIRM) Panel No.42091C0294G, effective March 2, 2016, and Panel No.42091C0313G, effective March 2, 2016,the tract is identified to be primarily located within Zone X, an area outside the 0.2% chance flood and minimal flood hazard. Therefore, based on the FEMA FIRM determination, this site is not located within the Floodplain Conservation District, and is therefore not subject to the floodplain regulations of the Floodplain Conservation District. In addition, per the Abington Township Riparian Corridor Analysis Map, Figure 15.2, this parcel is not located within and intersecting the Riparian Corridor; and is not subject to the regulations of the Riparian Corridor Conservation District.

There are no existing precautionary (slopes of 15% to 25%) and prohibited (slopes of 25% and up) steep slopes on the site as shown on the Existing Features/Demolition Plan (Sheet 2); and therefore, the site will not be considered within the Steep Slope Conservation Overlay District, and the site is not subject to the Steep Slope Conservation Overlay District requirements. In addition, since the site is not located within the R1 – Low Density District, the site will not be subject to the Land Preservation District Overlay requirements.

Zoning Reliefs Granted:

The Applicant has been granted the following variances by the Zoning Hearing Board at their regularly scheduled meeting held on November 19, 2024, Application number 24-62:

1. A variance from Ordinance 602 Figure 6.1 to allow a minimum lot area of 6,469 SF; and
2. A variance from Ordinance 602 Figure 6.1 to allow a front yard setback of 8.6 feet for the existing dwelling located on the subject property.

The variances have been granted subject to the following conditions:

1. All construction upon and use of the subject property shall be in substantial conformance with the testimony, exhibits, and other evidence presented at the Public Hearing.

Waivers Requested:

The Applicant is requesting the following waivers from the Abington Township Subdivision and Land Development Code:

1. **Per §146-11.A.(4) & §146-11.B.(3) – Property Identification Plans & Existing Features Plan** – A waiver to provide only the existing features around the proposed property when existing features within 400 feet of the site are required.
2. **Per §146-11.A.(7) & §146-11.D.(4) – Existing Features Plan** – A waiver to not provide an indication of the vertical datum to the Sanitary Sewer Datum of the Township of Abington.
3. **Per §146-27.(1) – Sidewalks and Curbs** – A waiver to not provide sidewalks along Fairview Avenue frontage when sidewalk is required.
4. **Per §146-33.C – Location and Cover** – A waiver to not provide 24 inches of cover over storm drains. The Applicant requests a waiver to provide cover over the storm drains per the manufacturer’s requirements.
5. **Per §146-33.G – Inlets** – A waiver to not provide city No. 1 inlets for storm sewers when they are required.

This waiver request shall be revised to indicate the correct Code Section of §146-33.G instead of “§146-33(7)” which does not exist in the SALDO code.

6. **Per §146-35.C.(1) – Laterals** – A waiver to not provide sanitary sewer service by gravity to a dwelling basement when sanitary sewer service from a basement is required.

This waiver request shall be revised to indicate the correct Code Section of §146-35.C.(1) instead of “§146-35(3)(A)” which does not exist in the SALDO code.

7. **Per §146-43.C.(3).(a) – Cut and Fill Slopes** – A waiver to allow maximum slope of 3:1 (33.3%) when a maximum slope of 15% is permitted.
8. **Per §142-405 – Groundwater Recharge Requirement** – A waiver to not provide groundwater recharge volume to infiltrate since there is no infiltration on the site.

Issues:

The following issues have been identified from the staff reviews as follows:

- Traffic:
 - The difference between the cross-slope of the road and the grade at the driveway must not exceed 8%. The driveway centerline detail indicated 10.2%.
- Stormwater Management:
 - A description of the Stormwater Blanket Easement shall be provided on the plan.
 - The location of the emergency spillway shall be provided on the plan.
 - Add flow dissipator or rip-rap apron for the downspout discharge pipe into the raingarden.
 - On the Outlet Control Structure Detail provided on the plans, the inlet pipe is labeled as 15"; however, on the plans, the inlet pipe is a 4" perforated pipe. The detail shall be revised accordingly.
- Sanitary Sewer:
 - Plan is indicating two cleanout fittings on the two 45 degree elbows. A cleanout should not be located at the same point int the sewer line as any other fitting. Thers is only the need for one cleanout fitting, which should be located in the grass area adjacent to the driveway apron.
 - The "Typical Cleanout Detail (Paved Areas)" and the "Typical Cleanout Detail (landscape Areas)" should be removed from the plans and replaced with the Township of Abington Typical Building Sewer Cleanout Assembly which utilizes a 2-way cleanout tee fitting. The proposed cleanout adjacent to the driveway apron should also be protected by a cleanout frame and cover assembly which should be added to the Construction Details Sheet. Also, the Township of Abington Trench Restoration Lawn/Wooded Areas should be added to the Construction Details Sheet.

Summary:

The Applicant would be eligible for Preliminary/Final Major Subdivision and Land Development Plans approval contingent the Applicant adequately addressed all review comments prior to recording plans review.

If you have any questions or comments with this submittal, please do not hesitate to contact me.

Sincerely,

PENNONI ASSOCIATES INC.



Khaled R. Hassan, PE
Township Engineer

cc: Terry Castorina, Administration and Grants Manager
Ashley McIlvaine, Assistant Township Manager & Assistant CAO



APPLICATION FOR SUBDIVISION/LAND DEVELOPMENT

PROJECT NAME: ABH Builders, Inc. - APN: 300018860001

APPLICANT NAME: ABH Builders, Inc.

TO BE COMPLETED BY THE TOWNSHIP

Submission Information:

Application Number: <u>LD-25-01</u>	Date Complete: <u>02/21/2025</u>
Project Title: <u>1526 Fairview Avenue (ABH Builders, Inc.)</u>	90 Day Date: <u>Waived</u>
File Date: <u>02/19/2025</u>	Ward No.: <u>5</u>

REQUIRED MATERIAL FOR ALL SUBDIVISION/LAND DEVELOPMENT APPLICATIONS:

1. This form **MUST** be completed and submitted.
2. A Subdivision/ Land Development Application **MUST** include all of the items listed in the application checklist in Section V to be considered complete.
3. Incomplete application will **NOT** be placed on the Planning Commission agenda. Incomplete applications will be returned to the applicant.
4. Complete applications must be received at least 45 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard.
5. Ten (10) full size paper copies, and one (1) 11x17 reduced copy of the plans, plus three (3) copies of each report or study are to be submitted in the initial submission of the complete application. A digital copy of all submitted documents must be included with the application.

***It is highly encouraged to submit applications in a digital format**



I. CONTACT INFORMATION

**Applicant
Information**

ABH Builders, Inc.
Name
775 Penllyn Blue Bell Pike, Blue Bell, PA 19422
Address
215-429-7666 Phone Fax
arthur.herlingiii@longandfoster.com
Email Address

**Property
Owners
Information
(if different
than applicant)**

HDS LLC
Name
1332 Gabriel Lane, Warminster, PA 18974
Address
Phone Fax
Email Address

**Architect/
Planner**

Phillips Associates
Name
87 East Butler Pike, Ambler PA 19002
Address
215-646-7878 Phone Fax
Email Address



Engineer/
Surveyor

Samuel D. Costanzo - Van Cleef Engineering Associates, LLC

Name

501 N. Main Street, Doylestown, PA 18901

Address

Engineer/
Surveyor
Cont'd

501 N. Main Street, Doylestown, PA 18901

Phone

Fax

scostanzo@vancleefengineering.com

Email Address

Attorney

Kimberly A. Freimuth, Esq. - Spruce Law Group, LLC

Name

1622 Spruce Street, Philadelphia, PA 19103

Address

267-546-0611

267-546-0570

Phone

Fax

kf@sprucelaw.com

Email Address



II. PROJECT INFORMATION

Application Type:

Minor Subdivision Minor Land Develop. Preliminary Major SD & LD
 Preliminary Major Subdivision Prelim. Major Land Develop. Final Major SD & LD
 Final Major Subdivision Final Major Land Develop.

Full street address of the property: 1526 Fairview Avenue, Willow Grove, PA 19090

Tax Parcel No.: 30018860001 County Deed Book No.: 6333 Page No.: 00406 to 00410

Description of Proposed Work: Minor Subdivision for two lots with a proposed single-family home on the new lot.

Total Tract Acreage: 0.320 AC. Project Acreage: 0.320 AC.

Zoning District: R4 Existing Number of Lots: 1 Proposed Number of Lots: 2

Existing Sewer Flows: 1 EDU Proposed Sewer Flows: 2 EDU

Proposed Land Use:

Single Family Detached Single Family Attached Single Family Semi-Detached
 Multi-Family Commercial Office Industrial
 Other (Describe): _____



III. REVIEW

Please complete the following section by circling a response:

- Have you met with the Zoning Officer regarding this plan? Yes No
- Are there known variances/any zoning relief necessary for this project? Yes No
- If YES, have you submitted an application to the Zoning Hearing Board? Yes No
- Has this plan been heard by the Zoning Hearing Board? Yes No
- Has this plan been submitted to, considered by, or received any formal action by the Planning Commission or Board of Commissioners in the past? Yes No

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Township a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

It is recommended that ALL Land Development and Major Subdivision applications have a pre-submission meeting to discuss the project prior to full application submittal.

Minor Subdivision applications may request a pre-submission meeting; if one is desired.

Meetings are typically held the fourth Tuesday of each month at the Township Administrative Offices.

Applicants assume responsibility of any fees associated with this meeting.

DocuSigned by:
Arthur B. Herling III 2/17/2025
 Applicant signature _____ Date _____

To schedule a pre-submission meeting, please contact the Office of the Township Manager at 267-536-1003 or email TCastorina@abingtonpa.gov



IV. WAIVERS

List of Requested Waivers: Attach separate sheet if required.

Section/Requirement:

Relief Requested:

§146-11.A.(4) & §146-11.B.(3) - SHOW EXISTING FEATURES WITHIN 400' OF PROPERTY

TO ONLY SHOW EXISTING FEATURES ON AND AROUND THE PROPERTY

§146-11.A.(7) & §146-11.D.(4) - PROVIDE INDICATION OF ELEVATIONS TO SANITARY SEWER DATUM OF THE TOWNSHIP OF ABINGTON

TO USE THE VERTICAL DATUM NAVD 88 WITH NO INDICATION TO ELEVATIONS BASED UPON SANITARY SEWER DATUM

§146-27 (1) - PROVIDE SIDEWALK ALONG EXISTING STREET FRONTAGE

TO NOT PROVIDE SIDEWALK ALONG EXISTING STREET FRONTAGE WHEN SIDEWALK IS REQUIRED

§ 146-33 (7) - USE CITY No 1 INLETS FOR STORM SEWERS

TO USE ADS DRAIN BASINS OR APPROVED EQUAL FOR STORM SEWER INLETS ON-SITE

§ 146-35 (3) (A) - PROVIDE SANITARY SEWER SERVICE BY GRAVITY TO DWELLING BASEMENT

TO USE THE EXISTING SANITARY SEWER LATERAL WHICH MAY NOT PROVIDE SANITARY SEWER SERVICE BY GRAVITY TO DWELLING BASEMENT



V. SUBMISSION

APPLICATION CHECKLIST

The applicant is responsible for the submission of a complete application. This checklist will aid both the applicant and staff in ensuring that all applications are complete. The following is a per item submission checklist for all Subdivision, Land Development and Conditional Use Applications for the Township of Abington.

- Application Form: completed and signed by the owner/applicant
- 10 (ten) copies of the proposed plan, folded to legal file size. Plan should not be smaller than 1" = 50' and not exceed a sheet size of 24"x 36"
- One (1) reduced copy of the proposed plan, no larger than 11"x17"
- Two (2) sets of tentative architectural plans for all applications proposing construction or land development
- One (1) copy of the Recreation Facilities Plan (if required by §146-40)
- Letter of Sanitary Sewer availability from the Township Wastewater Treatment Department
- Two (2) copies of Sewage Facilities Planning Module Applications
- Letter of Water availability from AQUA PA
- One (1) copy of any previous Zoning Hearing Board decisions related to the subject property
- One (1) digital copy of all submitted documents
- Application Fee: Check made payable to the Township of Abington
- Escrow Fee: Check made payable to the Township of Abington. Separate check from application fee

VI. SIGNATURE

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct, and complete.

Arthur B. Herling III

2/17/2025

Signature of Applicant

Date

Signature of Property Owner (if different than applicant)

Date



THE FOLLOWING IS FOR INTERNAL USE ONLY:

PAYMENT

___ Application Fee Amount: \$ _____ Check No.: # _____

___ Review Escrow Fee Amount: \$ _____ Check No.: # _____

DECISION INFORMATION

Approval _____ Denial _____ Decision Date: _____

Comments/Conditions: _____



PLANNING PROCESS EXTENSION AGREEMENT

FOR

ABH Builders, Inc. - APN: 300018860001

PROJECT NAME

The Pennsylvania Municipality Planning Code (MPC) and the Abington Township Subdivision and Land Development Ordinance state that action must be taken by the Township within ninety (90) days after a complete application is filed with the Township. In the Township, complicated, unique, and community impactful projects have or may require additional time in order to complete a thorough review before being considered for approval. As such, an applicant may voluntarily waive the timing requirement at any time, but is encouraged to submit this waiver with the completed application.

I, the applicant, hereby voluntarily waive the timing requirement as set forth in the MPC (Section 53 P.S. 10508) and the Abington Township Subdivision and Land Development Ordinance (Section 146-13). Applicant acknowledges that this waiver can be revoked at any time upon written notice to the Township Manager. The time limitations set forth in 53 P.S. 10508 and Section 146-13 of the Abington Township Code shall be calculated from the date that the written revocation is received by the Township Manager.

Signed: DocuSigned by:
Arthur B. Herling III
A44632E5D8CE4D4 _____ Date: 2/17/2025
Applicant

Received: _____ Date: _____
Township



ESCROW AGREEMENT FOR PROFESSIONAL REVIEW FEES FOR SUBDIVISION/LAND DEVELOPMENT APPLICATIONS

The undersigned hereby agrees to post an escrow to cover the costs of the review of subdivision and land development applications by the Township's Planner, Engineer, and Solicitor. The amount of said escrow shall be according to the attached "Schedule of Fees" and shall be posted at the time of initial submission of an application to the Township. Said fees shall be placed in an escrow account and any balance remaining shall be returned to the applicant subsequent to the receipt of final approval.

The applicant is advised that the "Schedule of Fees" represents only an estimate of the costs associated with plan review. The completeness and quality of the submission, the complexity of the project, the number of revisions and other factors may cause costs to exceed the established escrow amounts. If during the course of a subdivision/land development review an escrow amount falls to 10% of the original escrow amount or \$250, whichever is greater, the Township may require the posting of additional escrow.

NOTE: NO FINAL APPROVALS, CONSTRUCTION, BUILDING OR OCCUPANCY PERMITS SHALL BE ISSUED UNTIL ALL OUTSTANDING PROFESSIONAL REVIEW FEES HAVE BEEN SATISFIED.

DocuSigned by:
Arthur B. Herling III
A44832E508CE404

Signed: _____ Date: 2/17/2025
Applicant



July 11, 2025

ABINT130042

Mr. Christopher S. Christman, Township Manager
Abington Township
1176 Old York Road
Abington, PA 19001

RE: LD-25-01 – 1526 Fairview Avenue
PARID: 30-00-18860-00-1/ TMID: 30196 017
Preliminary/Final Major Subdivision & Land Development Plans Review (2nd Submission)

Dear Mr. Christman:

We have received a copy of the revised "Preliminary Minor Subdivision and Land Development Plans" consisting of eight (8) sheets dated February 14, 2025, last revised May 23, 2025, and received on June 5, 2025 as well as a Post Construction Stormwater Management report, dated February 14, 2025 and revised May 2025; as prepared by Van Cleef Engineering Associates, LLC, located at 501 North Main Street, Doylestown, PA, for the above referenced project on behalf of the Applicant Arthur B. Herling III of ABH Builders, Inc. The application was deemed completed on February 21, 2025.

This project is located within the R4 – High Density Residential Zoning District. The site is fronted by Fairview Avenue to the east; a commercial property zoned within the MSH – Main Street High Density zoning district to the north; and residential properties zoned within the R4 – High Density Residential Zoning District in all other directions.

Under the initial and current submission, the Applicant is proposing to subdivide the existing 13,696 SF (0.321 acres) lot into two (2) new lots as follows:

- Lot 1 – will consist of a 7,500 SF lot fronting Fairview Avenue and will be comprised of a new single-family detached dwelling, asphalt driveway, concrete walkway, and a raingarden.
- Lot 2 – will consist of a 6,469 SF lot fronting Fairview Avenue and will be comprised of the existing single-family detached dwelling unit. No improvements to Lot 2 are proposed as part of this application.

In accordance with the FEMA, Flood Insurance Rate Map (FIRM) Panel No.42091C0294G, effective March 2, 2016, and Panel No.42091C0313G, effective March 2, 2016, the tract is identified to be primarily located within Zone X, an area outside the 0.2% chance flood and minimal flood hazard. Therefore, based on the FEMA FIRM determination, this site is not located within the Floodplain Conservation District, and is therefore not subject to the floodplain regulations of the Floodplain Conservation District. In addition, per the Abington Township Riparian Corridor Analysis Map, Figure 15.2, this parcel is not located within and intersecting the Riparian Corridor; and is not subject to the regulations of the Riparian Corridor Conservation District.

There are no existing precautionary (slopes of 15% to 25%) and prohibited (slopes of 25% and up) steep slopes on the site as shown on the Existing Features/Demolition Plan (Sheet 2); and therefore, the site will not be considered within the Steep Slope Conservation Overlay District, and the site is not subject to the Steep Slope Conservation Overlay District requirements. In addition, since the site is not located within the R1 – Low Density District, the site will not be subject to the Land Preservation District Overlay requirements.

VARIANCES RECEIVED

The Applicant has been granted the following variances by the Zoning Hearing Board at their regularly scheduled meeting held on November 19, 2024, Application number 24-62:

1. A variance from Ordinance 602 Figure 6.1 to allow a minimum lot area of 6,469 SF; and
2. A variance from Ordinance 602 Figure 6.1 to allow a front yard setback of 8.6 feet for the existing dwelling located on the subject property.

The variances have been granted subject to the following conditions:

1. All construction upon and use of the subject property shall be in substantial conformance with the testimony, exhibits, and other evidence presented at the Public Hearing.

The condition of approval for the above variances shall be included on the Record Plan (Sheet 1).

WAIVERS REQUESTED

Since the previous submission, the Applicant has updated their requested waivers. A waiver request letter shall be provided to the Township indicating the updated requested waivers.

Under this submission, the following waivers are being requested from the Abington Township Subdivision and Land Development Code as indicated on the Record Plan:

1. **Per §146-11.A.(4) & §146-11.B.(3) – Property Identification Plans & Existing Features Plan** – A waiver to provide only the existing features around the proposed property when existing features within 400 feet of the site are required.
2. **Per §146-11.A.(7) & §146-11.D.(4) – Existing Features Plan** – A waiver to not provide an indication of the vertical datum to the Sanitary Sewer Datum of the Township of Abington.
3. **Per §146-27.(1) – Sidewalks and Curbs** – A waiver to not provide sidewalks along Fairview Avenue frontage when sidewalk is required.
4. **Per §146-33.C – Location and Cover** – A waiver to not provide 24 inches of cover over storm drains. The Applicant requests a waiver to provide cover over the storm drains per the manufacturer’s requirements.
5. **Per §146-33.G – Inlets** – A waiver to not provide city No. 1 inlets for storm sewers when they are required.

This waiver request shall be revised to indicate the correct Code Section of §146-33.G instead of “§146-33(7)” which does not exist in the SALDO code.

6. **Per §146-35.C.(1) – Laterals** – A waiver to not provide sanitary sewer service by gravity to a dwelling basement when sanitary sewer service from a basement is required.

This waiver request shall be revised to indicate the correct Code Section of §146-35.C.(1) instead of “§146-35(3)(A)” which does not exist in the SALDO code.

7. **Per §146-43.C.(3).(a) – Cut and Fill Slopes** – A waiver to allow maximum slope of 3:1 (33.3%) when a maximum slope of 15% is permitted.

- 8. **Per §142-405 – Groundwater Recharge Requirement** – A waiver to not provide groundwater recharge volume to infiltrate since there is no infiltration on the site.

The following documents have been reviewed:

Title	Sheet	Dated	Revised
Land Development Plans			
Record Plan	1 of 8	02/14/25	05/23/25
Existing Conditions Plan	2 of 8	02/14/25	05/23/25
Grading and Utility Plan	3 of 8	02/14/25	05/23/25
Stormwater Plan and Profile	4 of 8	02/14/25	05/23/25
Erosion and Sediment Control Plan	5 of 8	02/14/25	05/23/25
Landscape Plan	6 of 8	02/14/25	05/23/25
Erosion and Sediment Control Notes and Details	7 of 8	02/14/25	05/23/25
Construction Details	8 of 8	02/14/25	05/23/25
Stormwater Management			
Stormwater Management Narrative & Calculations	29 Pages	February 2025	May 2025

We have performed a review of the above referenced plans for compliance with the Zoning Ordinance (Chapter 162); Subdivision and Land Development Ordinance (Chapter 146); Stormwater Management Ordinance (Chapter 142) and outstanding comments from our previous review letter dated March 31, 2025. We offer the following outstanding comments (using the same numbering sequence as our initial review) for your consideration:

CHAPTER 146
SUBDIVISION & LAND DEVELOPMENT COMMENTS

- 10. *Per §146-9.A & B – Type of Application – A plan shall be either preliminary or final stage and shall be a minor or major plan submission.*

The Application submitted by the Applicant is indicating a minor land development submission, but no stage has been selected. In addition, no plan type header was provided with the subdivision plans. Based on the improvements proposed, the project would qualify as a major land development since public improvements within the right-of-way are proposed with a new driveway cut, new storm pipe connection, and tie into the existing sanitary lateral beneath the road which are within the Fairview Avenue public right-of-way. A major plan is a plan for subdivision or land development, which will require a two-stage approval process because public improvements are proposed or because subdivision is occurring simultaneously with land development. If the Applicant wishes to seek a one stage approval process, the Applicant will need to request a waiver from this code section for approval of a one stage approval process in lieu of a two stage approval process.

The Applicant has revised the plans to “Preliminary/Final Major Land Development Plans,” and is indicating they are requesting a waiver to allow for one stage LD approval process. The waivers requested list on the Record Plan does not indicate that a waiver is requested from this Code Section. The Record Plan shall be revised to include this waiver request, and an updated waiver request letter shall be provided for review.

- 19. *Per §146-11.H.(1) – Landscape Plan – The landscape plan shall be prepared by a registered landscape architect.*

The Landscape Plan (Sheet 9) shall be prepared by a registered landscape architect. The signature and seal of that registered landscape architect shall be provided on the plans.

The landscape plan shall be signed and sealed by a registered landscape architect prior to recording plans approval.

20. *Per §146-12.B – Record Plan Seals – The impressed seal of the Township Engineer shall be provided on the record plan.*

Sufficient room for the signature and seal of the Township Engineer shall be provided above the Township engineer's approval line to ensure no text overwrites with the engineers seal.

Provide additional room for the seal of the Township Engineer to ensure no text overrides with the secretary's signature line above in the "Board of Commissioners Approval" signature block on the Record Plan (Sheet 1).

CHAPTER 142

STORMWATER MANAGEMENT COMMENTS

30. *Per §142.302.B.(2).(b).[22] – SWM Site Plan Requirements – The PCSM Plan shall include a 15-foot-wide easement around all stormwater management facilities to provide ingress and egress from a public right-of-way.*

A 15-foot-wide easement around the proposed raingarden and storm pipe shall be provided to allow access from Fairview Avenue. The metes and bounds of this easement shall be provided on the plans. If the Applicant does not wish to provide this 15-foot-wide easement, a stormwater blanket easement covering the entire site may be proposed. A description of this stormwater easement shall be provided for review and approval.

A description of the blanket stormwater easement shall be provided to the Township for review and approval.

GENERAL COMMENTS

43. *An emergency spillway shall be provided for the raingarden. Currently there is no emergency spillway shown so the only source of outflow is the outlet structure riser pipe. Should this riser pipe ever get blocked, the water will build up and overflow overtop of the raingarden berms. An emergency spillway will allow for the water to discharge through the spillway before reaching the top of berm elevation.*

An emergency spillway at elevation 269.75' is shown in the rain garden detail; however, the emergency spillway location is not shown on the plan view of the rain garden. The spillway location shall be called out on the plans. In addition, the pond report provided in the SWM Report shall be revised to include the spillway elevation.

ADDITIONAL COMMENTS

The following comments are provided based on our review of the recently provided plans and PCSM report last revised May 23, 2025.

1. The Applicant shall update the PCSM calculations to clarify the volumes for the evapotranspiration, non-structural design.
2. Add flow dissipator or rip rap for the downspout discharge pipe in the rain garden for E & S control.
3. On the "Outlet Control Structure Detail" provided on the plans, the inlet pipe is labeled as "15" Inlet Pipe"; however, on the plans, the inlet pipe is a 4" perforated pipe. This detail shall be revised

accordingly to be consistent.

4. Plan sheets to be recorded shall be indicated on the Record Plan (Sheet 1). Plans to be recorded shall include Sheets 1, 3, 4, and 8.

We have received the following documents/permits/reviews:

- Zoning Decision 24-62 (November 20, 2024)
- Stormwater Management Narrative & Calculations (February, 2025)
- Aqua Water Availability Letter (February 10, 2025)
- Letter of Sanitary Availability (February 11, 2025)
- Planning Module Exemption Documents (February 12, 2025)
- Waiver Request Letter (February 14, 2025)
- MCPC Request for Review (February 14, 2025)
- Application for SALDO Review (February 21, 2025)
- STC Consultant Review (March 6, 2025)
- EAC Review (March 18, 2025)
- STC Review (March 19, 2025)
- TPD Traffic Review (March 19, 2025 and June 27, 2025)
- Sewer Review Letter (March 21, 2025)
- Fire Approval Letter (March 24, 2025)
- MCPC Review (March 29, 2025)
- EAC Approval (Via E-mail June 15, 2025)

We have not received the following documents/permits/reviews:

- Sewer Approval Letter
- Traffic Approval Letter
- Financial Escrow
- LD Agreements
- Stormwater BMP O&M Agreement
- Legal Descriptions & Exhibits of all lots/easements/dedications

SUMMARY

We recommend Preliminary/Final Major Subdivision and Land Development Plans approval contingent that the Applicant addresses the above referenced comments and provides the missing documents / permits / reviews prior to recording plans approval.

If you have any questions or comments with this submittal, please do not hesitate to contact me.

Sincerely,

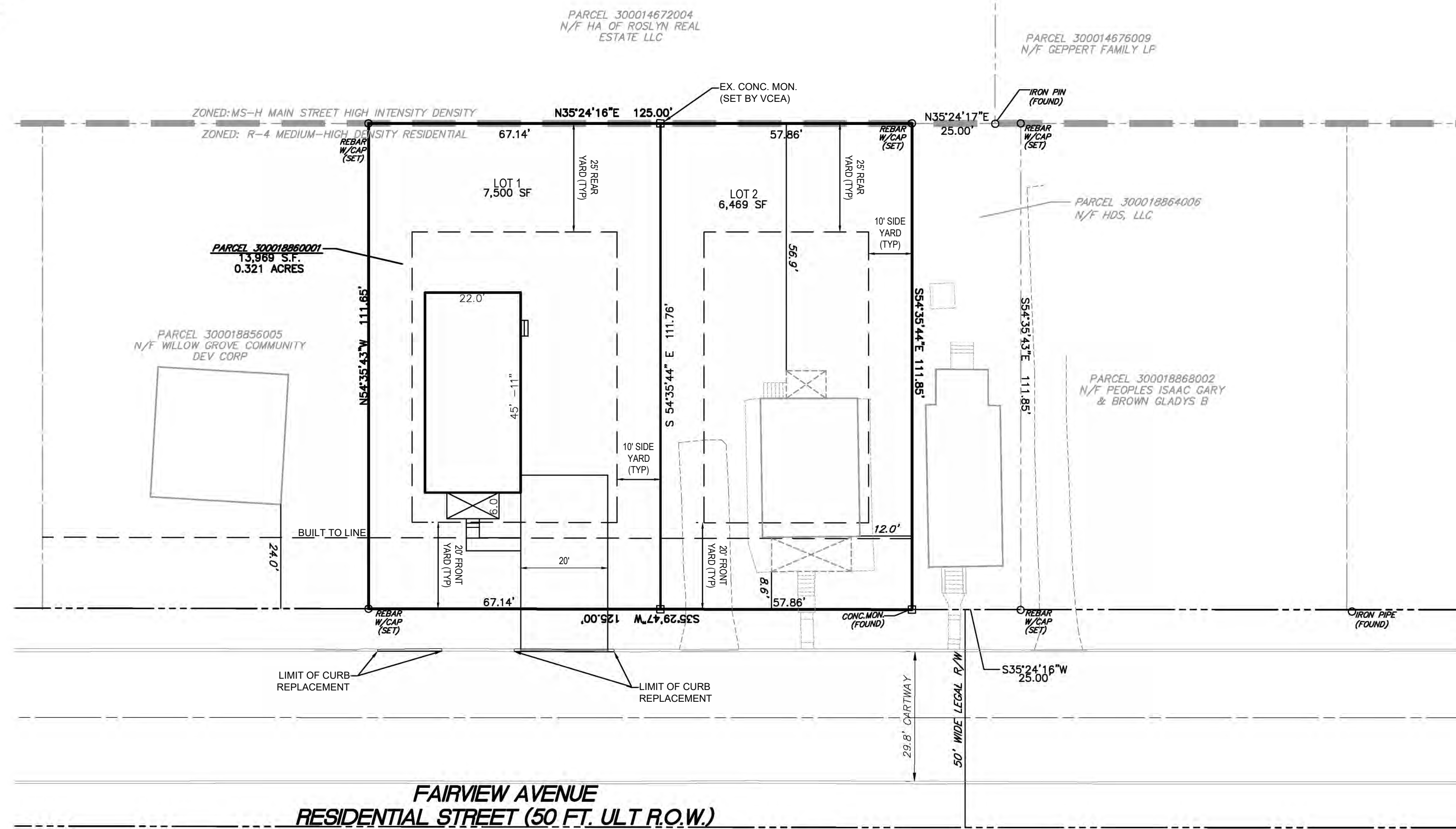
PENNONI ASSOCIATES INC.



Khaled R. Hassan, PE
Township Engineer

cc: Terry Castorina, Administration and Grants Manager
Ashley McIlvaine, Assistant Township Manager & Assistant CAO

LD-25-01 PRELIMINARY/FINAL MAJOR LAND DEVELOPMENT PLANS FOR ABH BUILDERS, INC. - APN: 3000018860001



ZONING DATA:

ZONED: R4 - MEDIUM-HIGH-DENSITY RESIDENTIAL DISTRICT
EXISTING USE: H-7 SINGLE FAMILY DETACHED DWELLING UNIT (PERMITTED)
PROPOSED USE: H-7 SINGLE FAMILY DETACHED DWELLING UNIT (PERMITTED)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	7,500 SF	13,969 SF	7,500 SF
MIN. LOT WIDTH	50 FT.	125 FT.	67.1 FT.
MIN. LOT DEPTH	100 FT.	111.7 FT.	111.8 FT.
MIN. YARDS			
FRONT	20 FT.	8.6 FT. (2)	20.9 FT.
REAR	10 FT.	12 FT.	14.3 FT.
SIDE	25 FT.	56.9 FT.	38.9 FT.
MAX. BUILDING AREA	40%	7%	15%
MAX. IMPERVIOUS COVERAGE	55%	12%	23%
MIN. GREEN AREA	45%	88%	75%
MAX. BLDG. HEIGHT	35 FT.	<35 FT.	22 FT.
MAX. BLDG. LENGTH	100 FT.	<100 FT.	52 FT.
MIN. SEPARATION FOR RESIDENTIAL DWELLINGS	20 FT.	15 FT. (2)	<20 FT.
MIN. OPEN SPACE	N/A	0 SF	0 SF

BUILDING AREA CALCULATION:

EXISTING:
916 SF
916 SF/13,969 SF = 7%

PERMITTED: 40% OF LOT AREA
LOT 1
7,500 SF x 0.40 = 3,000 SF
LOT 2
6,469 SF x 0.40 = 2,587 SF

PROPOSED:
LOT 1: 1,082 SF
1,082 SF/7,500 SF = 14%
LOT 2: 916 SF
916 SF/6,469 SF = 14%

PERMITTED FOR INFILL DEVELOPMENT (LOT 1 ONLY):
REFERENCE HOUSES:
NORTHEAST (LOT 2): 916 SF
SOUTHWEST: 896 SF
AVERAGE HOUSE SIZE: 906 SF

PERMITTED NEW HOUSE SIZE: 725 SF TO 1,087 SF

PROVIDE SIGNATURE BLOCK FOR TOWNSHIP ENGINEER

IMPERVIOUS SURFACE CALCULATION:

EXISTING:	PROPOSED:
HOUSE: 916 SF	LOT 1: 1,082 SF
WALKWAYS: 309 SF	LOT 2: 916 SF
DRIVEWAY: 420 SF	HOUSE: 1,082 SF
TOTAL: 1,645 SF	ENTRY WALK: 309 SF
1,645 SF/13,969 SF = 12%	DRIVEWAY: 420 SF
	TOTAL: 1,645 SF
	1,645 SF/6,469 SF = 25%

DENSITY CALCULATIONS: (PER ZO 2601.D.)

PERMITTED: NET LAND AREA DIVIDED BY MIN. LOT AREA PER D.U.
13,969 SF/7,500 SF = 1.9 D.U.

PROPOSED:
2

PARKING REQUIREMENTS:

REQUIRED: 2 SPACES PER DWELLING (EXCLUSIVE OF GARAGE)

PROPOSED:
LOT 1: 4 SPACES (NO GARAGE PROPOSED)
LOT 2: 2 SPACES

(1) VARIANCE GRANTED
(2) EXISTING NONCONFORMITY

PROFESSIONAL ENGINEER CERTIFICATION

I, SAMUEL D. COSTANZO, PA. P.E. No. 041557-R DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS, AND REPORTS HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF ABINGTON TOWNSHIP AS LAST AMENDED.

SAMUEL D. COSTANZO
PA. P.E. No. 041557-R

VARIANCES (GRANTED AT 11/19/24 MEETING):

- § 602 - FIGURE 6.1, REQUIRING A LOT AREA OF 7,500 SF. A LOT AREA OF 6,469 SF IS PROPOSED FOR LOT 2.
- § 602 - FIGURE 6.1, REQUIRING A FRONT YARD SETBACK OF 20 FT. THE EXISTING FRONT YARD SETBACK IS 8.6 FT FOR LOT 2.

indicate the condition of the approval for the above variances.

WAIVERS REQUESTED:

- § 146-11.A.(4) & § 146-11.B.(3)
REQUIRES TO PROVIDE EXISTING FEATURES AND UTILITIES AROUND THE PROPOSED PROPERTY WHEN EXISTING FEATURES AND UTILITIES WITHIN 400 FEET OF THE SITE IS REQUIRED.
- § 146-11.A.(7) & § 146-11.D.(4)
REQUIRES THE ELEVATIONS TO BE BASED UPON SANITARY SEWER DATUM OF THE TOWNSHIP OF ABINGTON. APPLICANT REQUESTS WAIVER TO PROVIDE THE PLANS WITH A VERTICAL DATUM OF NAVD 88.
- § 146-27(1)
REQUIRES SIDEWALK ALONG EXISTING STREET FRONTAGE WHEN SIDEWALK IS REQUIRED. APPLICANT REQUESTS WAIVER TO NOT PROVIDE SIDEWALK ALONG EXISTING STREET FRONTAGE.
- § 146-33(2)
REQUIRES TO PROVIDE CITY NO 1 INLETS FOR STORM SEWERS. THE APPLICANT REQUESTS TO PROVIDE AN ADS STRUCTURE RATHER THAN A CITY NO 1 INLET ON THE SITE.
- § 146-33.C
REQUIRES TO PROVIDE A MINIMUM OF 24 INCHES OF COVER OF STORM DRAINS. APPLICANT REQUESTS WAIVER TO PROVIDE COVER OVER STORM DRAINS PER THE MANUFACTURE'S REQUIREMENTS.
- § 146-35(3)(A)
TO NOT PROVIDE SANITARY SEWER SERVICE BY GRAVITY TO DWELLING BASEMENT WHEN SANITARY SEWER SERVICE FROM BASEMENT IS REQUIRED.
- § 146-43.C(3)(a)
TO ALLOW MAXIMUM SLOPE OF 3:1 (33.3%) WHEN A MAXIMUM SLOPE OF 15% IS PERMITTED.
- § 142-405
REQUIRES THE GROUNDWATER RECHARGE VOLUME TO BE INFILTRATED. THERE IS NO INFILTRATION ON THE SITE AND THE APPLICANT REQUESTS A WAIVER FROM THIS SECTION.

CERTIFICATION OF ACCURACY (EXISTING BOUNDARY)

I, PATRICK A. CAVANAUGH, PA PROFESSIONAL LAND SURVEYOR NO. SU-051056-E, A REGISTERED SURVEYOR IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PROJECT BOUNDARIES SHOWN HEREON REPRESENT A BOUNDARY SURVEY BY CAVANAUGH'S SURVEYING SERVICES UNDER MY IMMEDIATE SUPERVISION ON AUGUST 2, 2023, THAT THE MONUMENTATION SHOWN HEREON FOR SAID BOUNDARIES EXISTS AS LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS PERTINENT TO SAID BOUNDARIES ARE CORRECT.

PATRICK A. CAVANAUGH, PA
PLS NO. SU-051056-E

INDEX OF SHEETS

SHEET No.	TITLE
1	RECORD PLAN (SHEET 1 OF 1 TO BE RECORDED)
2	EXISTING FEATURES, ERSAM PLAN, & DEMOLITION PLAN
3	GRADING AND UTILITY PLAN
4	STORMWATER PLAN AND PROFILE
5	SOIL EROSION & SEDIMENT CONTROL PLAN
6	LANDSCAPE PLAN
7	EROSION & SEDIMENT CONTROL NOTES AND DETAILS
8	CONSTRUCTION DETAILS

LEGEND

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING LEGAL RIGHT OF WAY
	EXISTING ROAD CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF DRIVE
	EXISTING CONCRETE MONUMENT
	EXISTING PIN
	PROPOSED MONUMENT TO BE SET
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED BUILDING SETBACK
	PROPOSED EASEMENT
	PROPOSED CLEAR SIGHT TRIANGLE

EQUITABLE OWNER/APPLICANT:

ABH BUILDERS, INC.
1520 FAIRVIEW AVENUE
WILLOW GROVE, PA 19090-4804

MAILING ADDRESS:
775 PENNLYN-BLUEBELLE PIKE
BLUE BELL, PA 19422

APN 300018860001

SITE AREA:

0.321 ACRES OR 13,969 SQ. FT. (NET TO LEGAL R.O.W.)

CERTIFICATIONS:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THIS _____ DAY OF _____ A.D. 20____ BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED _____ (NAME OF OFFICER OF THE CORPORATION), WHO ACKNOWLEDGES (HIMSELF/HERSELF) TO BE THE (PRESIDENT OR SECRETARY), BEING AUTHORIZED TO DO SO, (HE/SHE) EXECUTED THE FOREGOING PLAN BY SIGNING THAT SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED HEREON AND THAT SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

RECORDING NOTATIONS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., NORRISTOWN, PENNSYLVANIA, IN PLAN BOOK _____, PAGE NO. _____, ON _____ BY _____

M.C.P.C. APPROVAL BLOCK

MOPC NO. _____
PROCESSED AND REVIEWED, REPORT BY THE MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

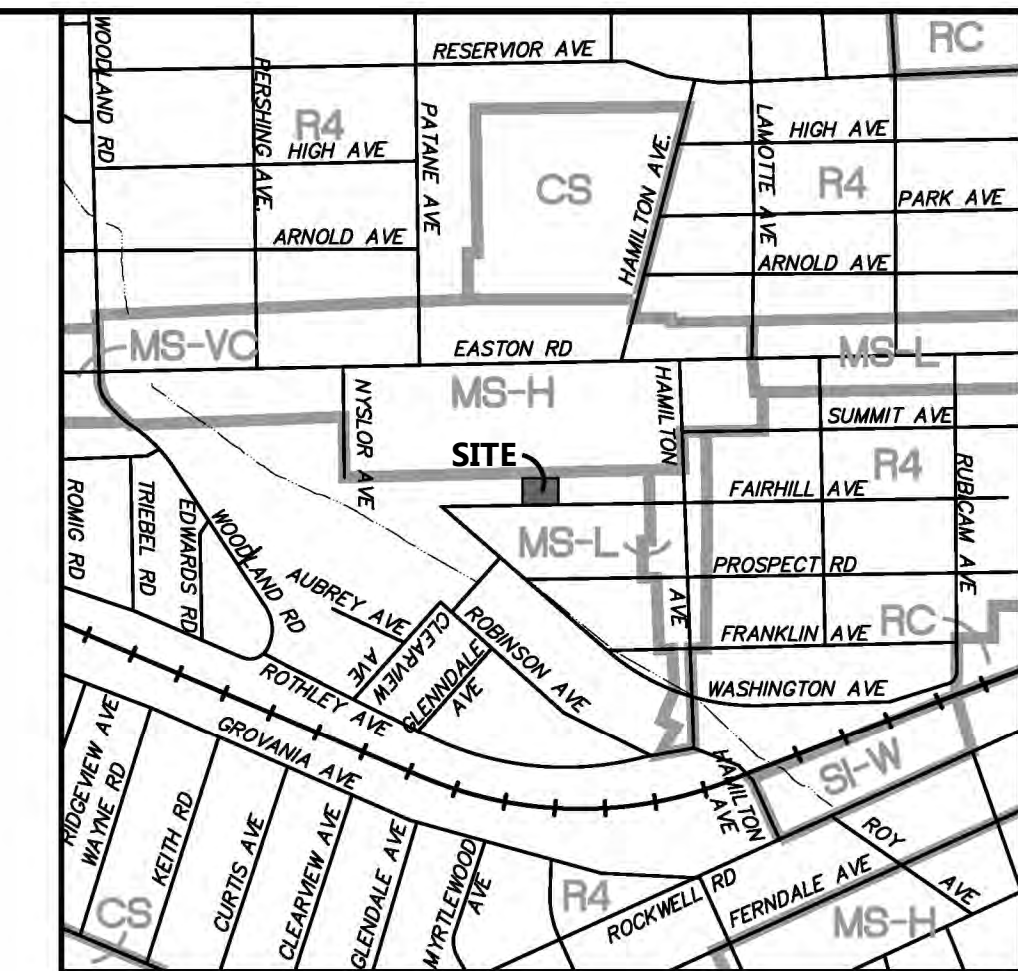
CERTIFIED THIS DATE _____

FOR THE DIRECTOR
MONTGOMERY COUNTY PLANNING COMMISSION

CERTIFICATION OF ACCURACY (PROPOSED)

I, DAVID H. ARTMAN, PA PROFESSIONAL LAND SURVEYOR NO. SU-051039-E, A REGISTERED SURVEYOR IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PROPOSED LOTS, STREETS, EASEMENTS AND RIGHT OF WAYS SHOWN HEREON ARE TRUE AND CORRECT.

DAVID H. ARTMAN,
PA PLS NO. SU-051039-E



LOCATION MAP

SCALE: 1" = 80'

GENERAL NOTES:

- THE BOUNDARY AND EXISTING FEATURES AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY CAVANAUGH'S SURVEYING SERVICES ON AUGUST 02, 2023. ADDITIONAL SURVEY WORK FOR EXISTING UTILITIES WITH THE RIGHT-OF-WAY WAS PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES (VCEA) ON JANUARY 10, 2025.
- DESIGNATION OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THIS DRAWING; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATED IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES /FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THESE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY CAVANAUGH'S SURVEYING SERVICES NOR VAN CLEEF ENGINEERING ASSOCIATES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO 287 DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
- VERTICAL DATUM IS NAVD 88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- HORIZONTAL DATUM IS BASED ON 1983 STATE PLANE COORDINATE SYSTEM ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEM (GPS), WITH OBSERVATIONS REFERENCED TO THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- METES AND BOUNDS AS SHOWN ARE BASED ON PA. STATE PLAN COORDINATE SYSTEM. ROTATION TO DEED MERIDIAN IS 15 DEGREES 53 MINUTES 43 SECONDS CLOCKWISE.
- THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), PANELS 294 OF 313, MAP NUMBERS 42091C0294C AND 42091C0313G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2016.
- PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS NOR WATERS.
- THE SITE WILL BE SERVED BY PUBLIC WATER AND SEWER.
- FIRE HYDRANTS AND STREETLIGHTS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND WITH THE RECOMMENDATIONS OF THE RESPECTIVE UTILITY COMPANIES, SUBJECT TO THE APPROVAL OF THE BOARD OF COMMISSIONERS.
- STREETLIGHTS AND STREET NAME SIGNS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND DEDICATED TO THE TOWNSHIP.
- THE PHILADELPHIA ELECTRIC COMPANY AND THE BELL TELEPHONE COMPANY OF PENNSYLVANIA ARE GRANTED THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS LOTS, AND THIS SHALL BE SO RECIPIED IN ALL DEED DESCRIPTIONS, TOGETHER WITH THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS ALL HIGHWAYS IN THIS TRACT.

REFERENCE PLAN:

- PLAN ENTITLED "EXISTING FEATURES" PREPARED BY CAVANAUGH SURVEYING SERVICES DATED 08/10/2023.
- PLAN ENTITLED "PLAN OF COTTAGE LOTS AT WILLOW GROVE" PREPARED BY WM.T.B. ROBERTS DATED 04/02/1947 AS RECORDED IN DEED BOOK 403, PAGE 500.

RECORD PLAN NOTES:

- RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND BMPs, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED MATTER AND DEBRIS, SHALL REMAIN WITH THE HOMEOWNER. THE HOMEOWNER IS ALSO PERPETUALLY RESPONSIBLE FOR PERFORMING ALL MAINTENANCE TASKS LISTED ON THE STORMWATER PLAN, AND FOR MAINTAINING ALL STORM SEWER OUTSIDE TOWNSHIP RIGHT-OF-WAY. A BLANKET EASEMENT IS OFFERED TO ABINGTON TOWNSHIP SO THAT ITS AGENTS OR REPRESENTATIVES, RESERVE THE RIGHT TO ENTER ONTO THE PROPERTY AT ANY TIME FOR THE PURPOSE OF INSPECTION TO DETERMINE THAT THE STRUCTURAL AND DESIGN INTEGRITY OF THE FACILITIES IS BEING PROPERLY MAINTAINED.

BOARD OF COMMISSIONERS APPROVAL

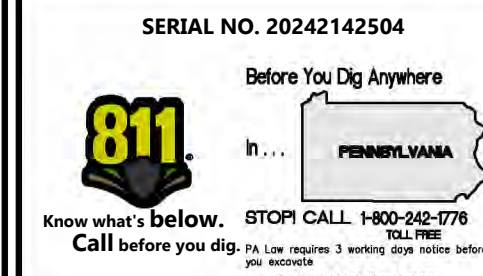
APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON THIS _____ DAY OF _____, 20____

PRESIDENT _____
SECRETARY _____
ENGINEER _____



REV/DESCRIPTION	DATE
PER TOWNSHIP ENGINEER REVIEW LETTER OF 03/31/25	03/31/25

SERIAL NO. 20242142504
Before You Dig Anywhere
811
Know what's below. STOP CALL. 800-242-2776
Call before you dig. PA Law requires 3 working days notice before dig. PA ONE CALL SYSTEM INC.



PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSED, OR COLORED INK SEAL OF THE RESPONSIBLE PROFESSIONAL, SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIALLY PREPARED FOR THE ENGINEER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

SAMUEL D. COSTANZO
PENNSYLVANIA PROFESSIONAL ENGINEER NUMBER 041557-R

DATE



RECORD PLAN (SHEET 1 OF 1 TO BE RECORDED)

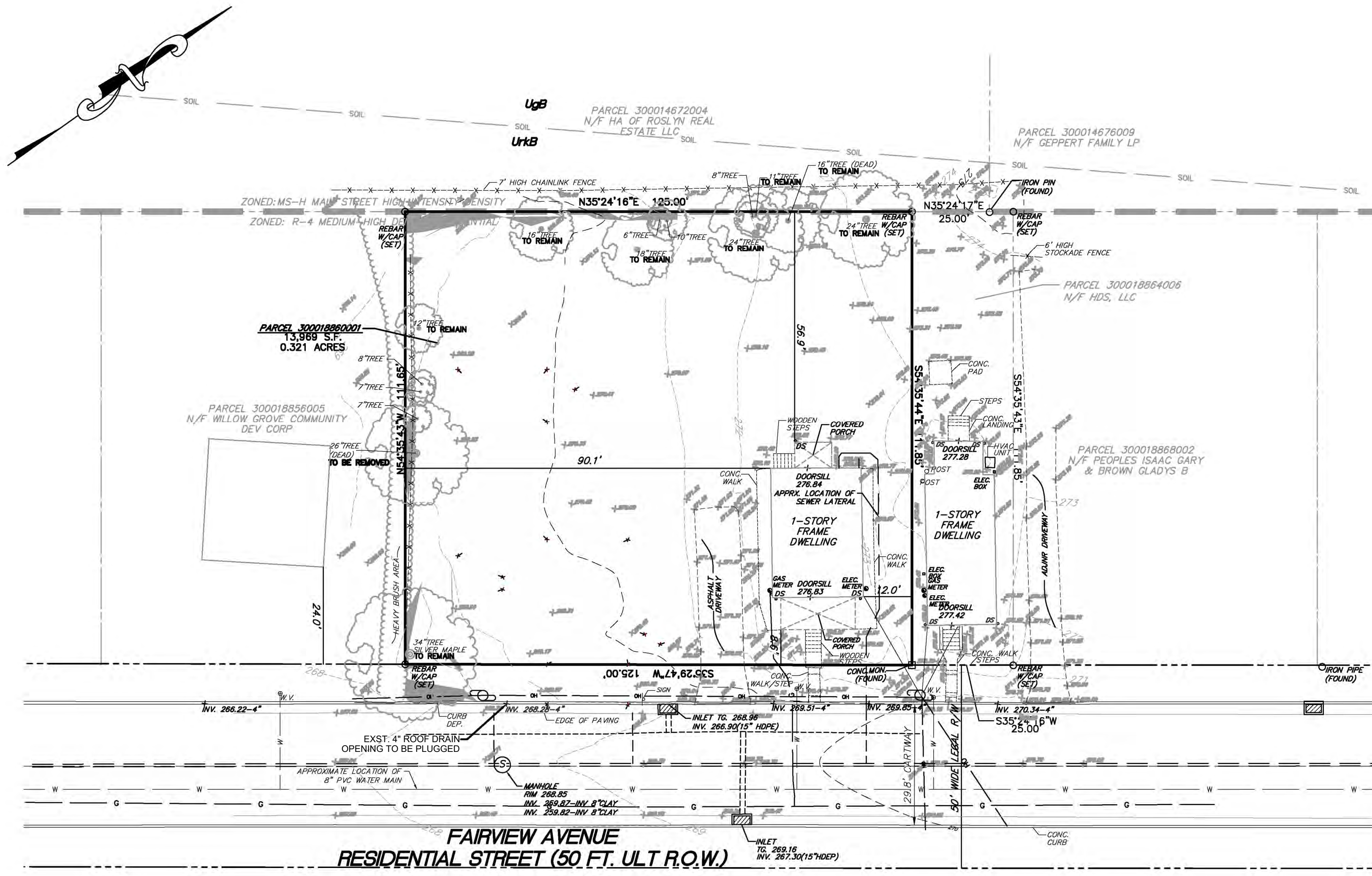
FOR
ABH BUILDERS INC.
APN: 3000018860001

DATE: FEBRUARY 14, 2025
SCALE: 1" = 20'
DESIGNED BY: JEM
DRAWN BY: ENP / JEM
CHECKED BY: DJM
JOB NUMBER: 2403-A

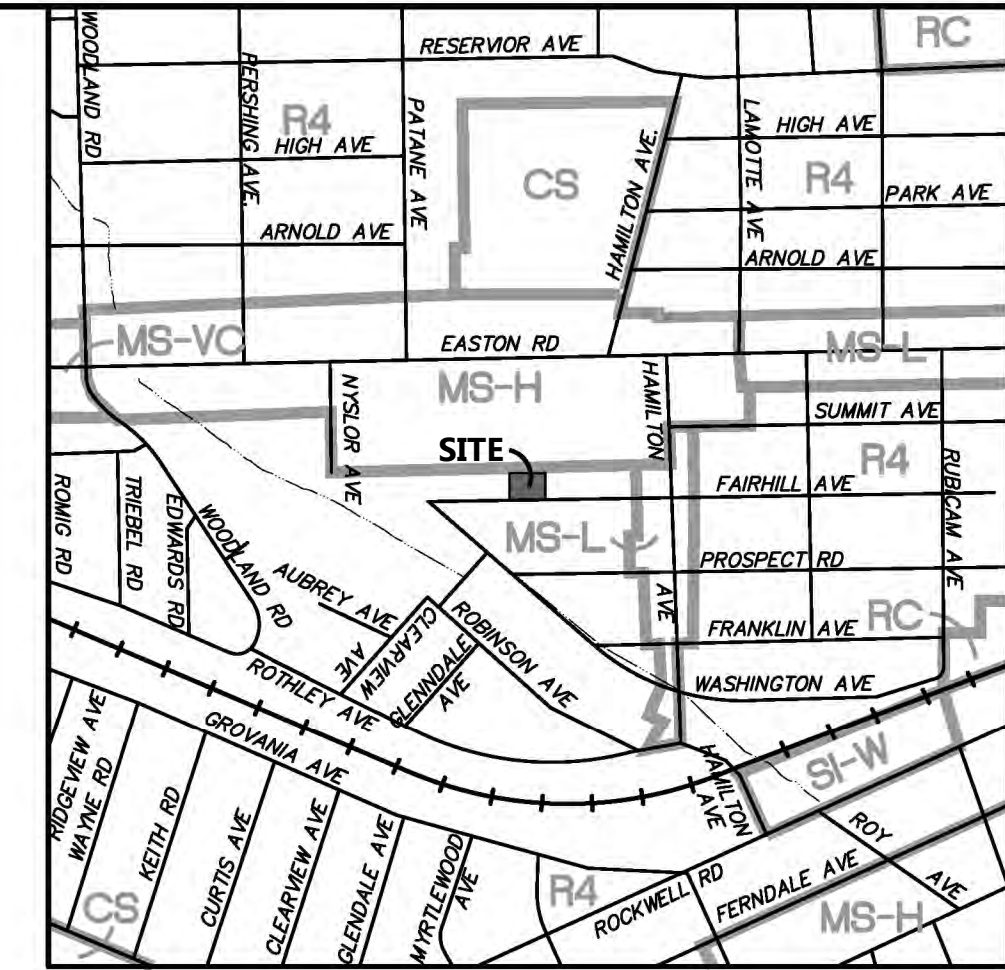
APN: 300018860001

ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

1 of 8



- LEGEND**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING FENCE
 - EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING LEGAL RIGHT OF WAY
 - EXISTING ROAD CENTERLINE
 - EXISTING ROAD
 - EXISTING CURB
 - EXISTING EDGE OF DRIVE
 - EXISTING SIGN
- Abb**
- EXISTING SOILS LIMIT AND SOILS TYPE
 - EXISTING STREAM
 - EXISTING TREES
 - EXISTING TREE LINE
 - EXISTING MAILBOX
 - EXISTING UTILITY POLES
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING GAS MAIN
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING WATER VALVE
 - EXISTING SLOPE 15% PERCENT
 - EXISTING WOODLANDS
 - EXISTING TREE TO BE REMOVED
 - EXISTING ITEM TO BE REMOVED



LOCATION MAP
SCALE: 1" = 80'

GENERAL NOTES:

1. THIS MAP REPRESENTS AN EXISTING FEATURES PLAN PREPARED BY CAVANAUGH SURVEYING SERVICES, DATED NOVEMBER 14, 2023.
- 1.1. THE BOUNDARY AND EXISTING FEATURES FEATURES AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY CAVANAUGH'S SURVEYING SERVICES ON AUGUST 02, 2023. ADDITIONAL SURVEY WORK FOR EXISTING UTILITIES WITH THE RIGHT-OF-WAY WAS PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES (VCEA) ON JANUARY 10, 2025.
- 1.2. DESIGNATION OF EXISTING UNDERGROUND UTILITIES / FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THESE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UTILITIES/FACILITIES AT THE TIME OF THE FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY CAVANAUGH'S SURVEYING SERVICES.
- 1.3. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO 287 DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
- 1.4. VERTICAL DATUM IS NAVD 88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- 1.5. HORIZONTAL DATUM IS BASED ON 1983 STATE PLAN COORDINATE SYSTEM ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEM (GPS), WITH OBSERVATIONS REFERENCED TO THE THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- 1.6. METES AND BOUNDS AS SHOWN ARE BASED ON PA STATE PLANE COORDINATE SYSTEM. ROTATION TO DEED MERIDIAN IS 15 DEGREES 53 MINUTES 43 SECONDS CLOCKWISE
2. ADDITIONAL SURVEY WORK FOR EXISTING UTILITIES WITH THE RIGHT-OF-WAY WAS PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES (VCEA) ON JANUARY 10, 2025.
3. THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), PANELS 294 OF 313, MAP NUMBERS 42091C0294G AND 42091C0313G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2016.
4. PURSUANT TO NRCS MAPPING, THE ENTIRE SITE CONSISTS OF URBAN SOILS.
5. PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS NOR WATERS.

ERSAM NOTES:

1. EXISTING STEEP SLOPES (15% OR MORE) ARE SHOWN ON THE PLAN.
2. PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS NOR WATERS.
3. THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), PANELS 294 OF 313, MAP NUMBERS 42091C0294G AND 42091C0313G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2016.
4. PURSUANT TO NRCS MAPPING, THE ENTIRE SITE CONSISTS OF URBAN SOILS.
5. THE SITE DOES NOT CONTAIN ANY STREAMS, PONDS, AND/OR LAKES.
6. THERE ARE NO STREAM BUFFERS ON THE SITE.

SOIL LIMITATIONS:

SOIL TYPE	SEASONAL HIGH WATER TABLE (FT)	DEPTH TO BEDROCK (IN)	HYDROLOGIC GROUP	HYDRIC SOILS	OUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL (C, S, OR C/S)	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRIC INCLUSIONS	LOW PERMEABILITY LANDS/TYPE FRONTS	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK-SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
URBAN LAND 0 TO 8 PERCENT SLOPES (UgB)	-	-	-	-	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
URBAN LAND-EDGEMONT COMPLEX, 0 TO 8 PERCENT SLOPES (UgB)	-	10-99	N.R.	NO	YES	C	YES	NO	NO	NO	NO / YES (1)	NO	YES	NO	YES	YES	NO	NO	NO	NO

N.R. = NOT RATED
(1) YES-ANDOVER (2%)

GENERAL NOTES:

1. SOILS SHOWN HEREON ARE AS MAPPED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS) WEBSITE FOR MONTGOMERY COUNTY ON SEPTEMBER 5, 2024.
2. THE SITE FLOWS DRAIN TO SANDY RUN (TSF) WITHIN THE WISSAHICKON CREEK WATERSHED. THE WATERS DESIGNATED/EXISTING USES ARE CLASSIFIED BY THE PA CODE CHAPTER 93.

SOIL RESOLUTIONS:

- WHEN THE ABOVE SOILS LIMITATIONS ARE ENCOUNTERED, UTILIZE THE FOLLOWING SOILS RESOLUTIONS:
- * DEPTH TO BEDROCK - WHEN DEPTH TO BEDROCK IS ENCOUNTERED, CONTRACTOR MAY BLAST IF NECESSARY.
 - * OUTBANKS CAVE - ALL APPLICABLE OSHA STANDARDS AND REGULATIONS WITH REGARD TO UTILITY AND RETAINING WALL CONSTRUCTION MUST BE IMPLEMENTED AT ALL TIMES. LIMIT SLOPES TO 3:1 MAXIMUM.
 - * CORROSIVE TO CONCRETE/STEEL - ALL UNDERGROUND CONCRETE AND/OR STEEL MATERIALS TO BE BACKFILLED WITH APPROPRIATE MATERIAL WHEN CORROSIVENESS IS LIMITED. FOR BUILDINGS, CONTRACTOR TO COMPLY WITH THE INTERNAL RESIDENTIAL CODE (IRC) BUILDING CODE.
 - * DROUGHTY - PROVIDE WATER TRUCK FOR IRRIGATION IN NEEDED. WHERE LANDSCAPING IS PROPOSED WITHIN DROUGHTY SOILS, APPLYING COMPOST MAY BE NECESSARY TO HELP INCREASE WATER RETENTION.
 - * DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE - CARE SHALL BE TAKEN WHEN CONSTRUCTION IMPROVEMENTS IN AREAS SHOWN AS HAVING A HIGH SEASONAL WATER TABLE. ANY SUBSURFACE WATER ENCOUNTERED MUST BE PUMPED AND FILTERED PRIOR TO RELEASE PER THE DETAIL PROVIDED ON THE DETAILS SHEET.
 - * DURING CONSTRUCTION - PONDING WATER SHALL BE PUMPED TO SEDIMENT BASIN OR A SEDIMENT FILTER BAG.
 - * ROADS - UNDERDRAINS SHALL BE INSTALLED UNDER ROADS TO BE BUILT.
 - * TRENCH - DEWATER TRENCHED TO A SEDIMENT FILTER BAG.
 - * DWELLING WITH BASEMENT - BASEMENTS TO HAVE SUMP PUMPS INSTALLED PER INTERNATIONAL RESIDENTIAL CODE (IRC) BUILDING CODE.
 - * HYDRIC/HYDRIC INCLUSIONS - SEE "DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE" ABOVE FOR RESOLUTION.
 - * SLOW PERCOLATION - UTILIZE STRUCTURAL BMP'S THAT DO NOT REQUIRE INFILTRATION (I.E. AMENDED SOILS, SLOW RELEASE BASIN). NO INFILTRATION BMP'S ARE PROPOSED.
 - * POOR SOURCE OF TOPSOIL - CONTRACTOR TO SUPPLY TOPSOIL AS NEEDED.
 - * FROST ACTION - PRECAUTIONS ARE NEEDED TO PREVENT DAMAGE, ESPECIALLY TO ROADWAYS.

EQUITABLE OWNER/APPLICANT:

ABH BUILDERS, INC.
1526 FAIRVIEW AVENUE
WILLOW GROVE, PA 19390-4804
MAILING ADDRESS:
776 PENNSYLVANIA/BELLELL PIKE
BLUE BELL, PA 19422
APN 30018860001

SITE AREA:

0.321 ACRES OR 13,989 SQ. FT. (NET TO LEGAL R.O.W.)

Van Cleef
ENGINEERING WITH FOCUS

Local/Regional Planning
Municipal Engineering
Site Development
Surveying/Aerial Drones/GIS
Water/Wastewater

Bridges/Highways
Construction Inspection
Environmental
Geotechnical/Dams
Landscape Architecture

REV	DESCRIPTION	DATE	AUTH
1	PER TOWNSHIP ENGINEER REVIEW LETTER	05/31/25	SDC

SERIAL NO. 20242142504

Before You Dig Anywhere

811 PENNSYLVANIA

Know what's below. STOP CALL 1-800-242-2776

Call before you dig. PA Law requires 3 working days notice before dig. PA ONE CALL SYSTEM INC.

GRAPHIC SCALE

0 10 20 40

1 INCH = 20 FT

PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSION, OR COLORED INK SEAL, OF THE RESPONSIBLE PROFESSIONAL SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

SAMUEL D. COSTANZO DATE
PENNSYLVANIA PROFESSIONAL ENGINEER NUMBER 041557-R

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18041
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (610) 344-1874

EXISTING FEATURES, ERSAM PLAN, & DEMOLITION PLAN

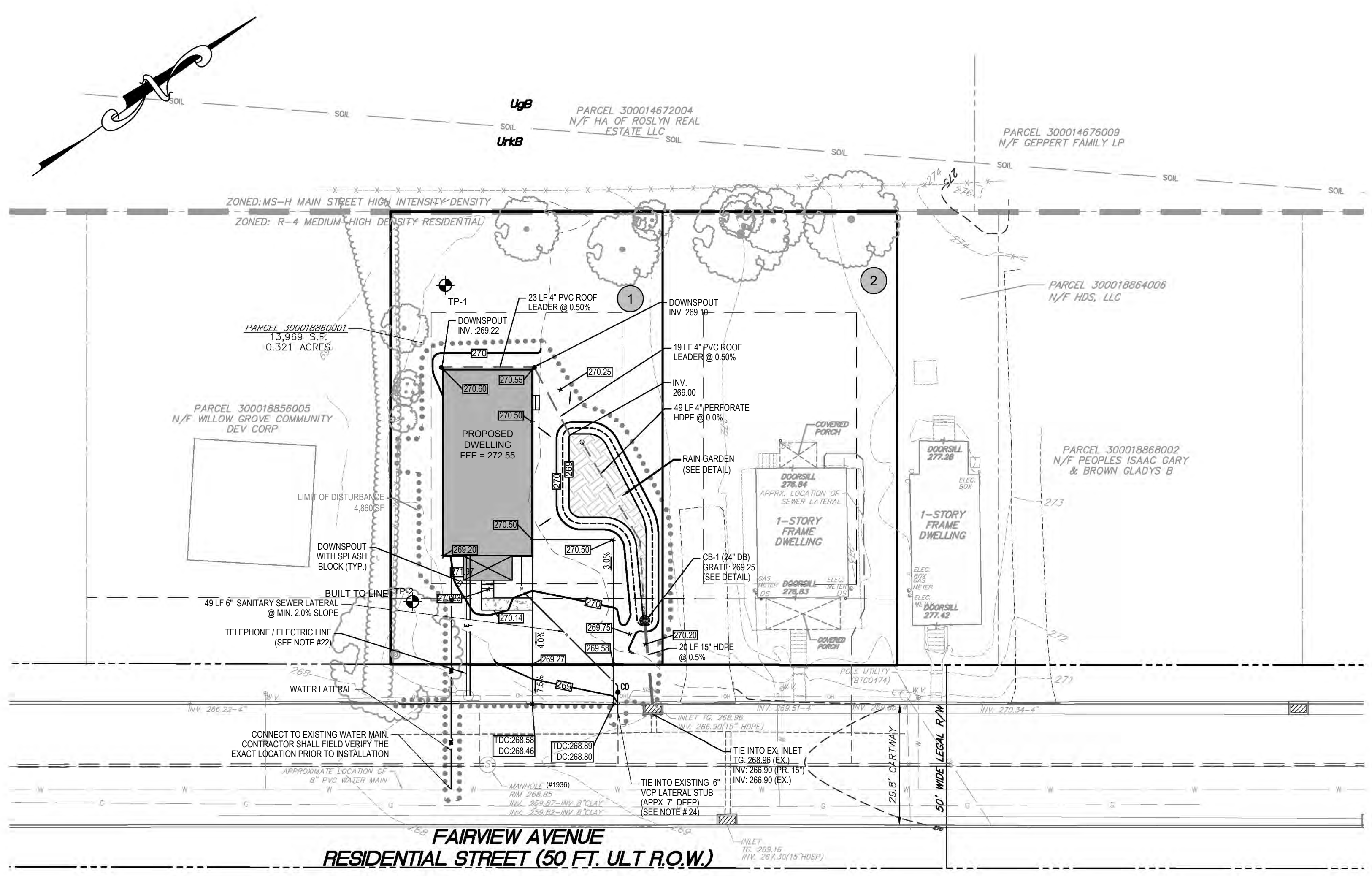
FOR
ABH BUILDERS INC.
APN: 300018860001

DATE:	FEBRUARY 14, 2025
SCALE:	1" = 20'
DESIGNED BY:	JEM
DRAWN BY:	ENP / JEM
CHECKED BY:	SDC
JOB NUMBER:	2403-A

APN: 300018860001

ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

**CHAPTER 93 RECEIVING WATERSHED
AND STREAM CLASSIFICATION:
WISSAHICKON CREEK WATERSHED,
SANDY RUN: TSF**



LEGEND

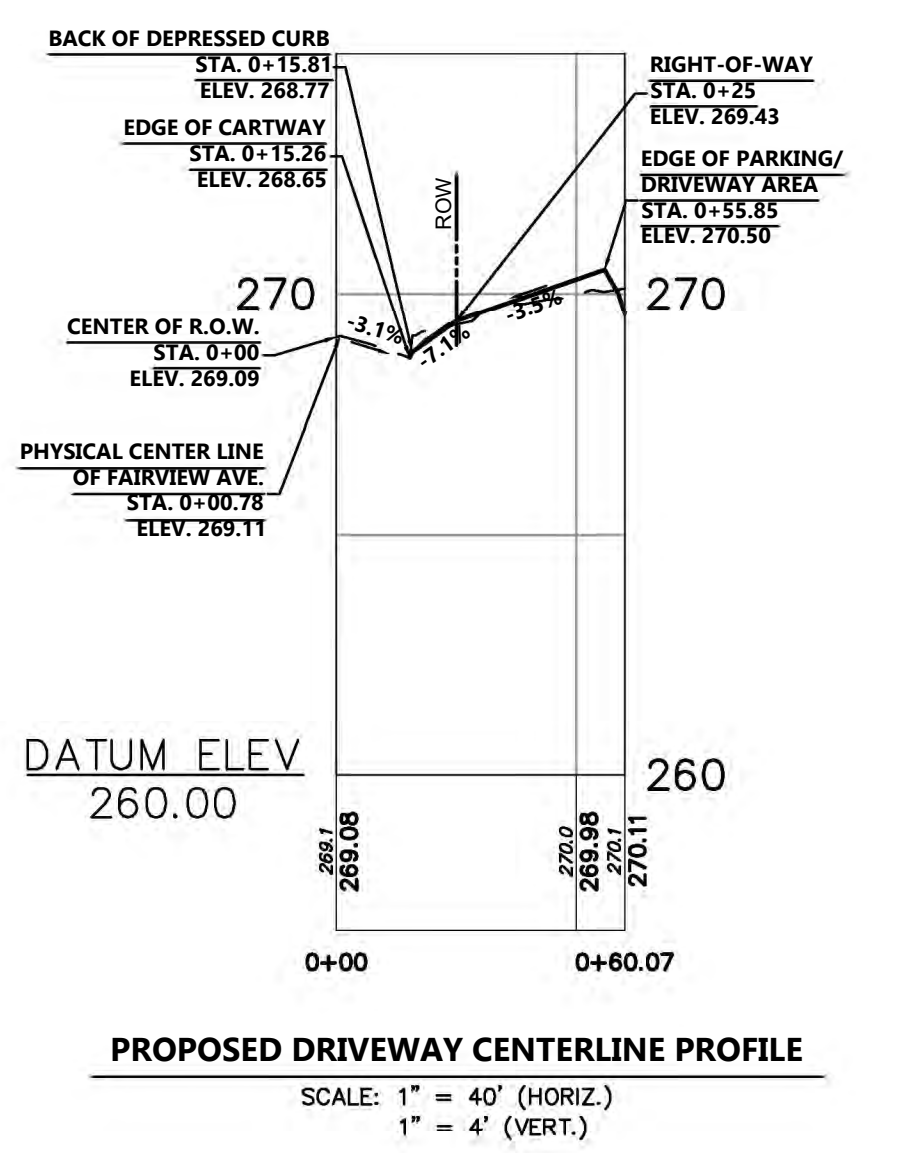
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING FENCE
---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING LEGAL RIGHT OF WAY
---	EXISTING EASEMENT
---	EXISTING ROAD CENTERLINE
---	EXISTING ROAD
---	EXISTING CURB
---	EXISTING EDGE OF DRIVE
---	EXISTING SIGN
---	EXISTING STREAM
---	EXISTING TREES
---	EXISTING TREE LINE
---	EXISTING MAILBOX
---	EXISTING UTILITY POLES
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING TELEPHONE
---	EXISTING GAS MAIN
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	EXISTING WATER VALVE
---	PROPOSED CONTOUR
---	PROPOSED SETBACK LINE
---	PROPOSED SIDEWALK
---	PROPOSED STORM SEWER
---	PROPOSED CLEANOUT
---	PROPOSED SANITARY LATERAL
---	PROPOSED WATER LATERAL
---	PROPOSED ELECTRIC
---	PROPOSED TELEPHONE
---	FINISHED FLOOR ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED RIP-RAP APRON

- IMPROVEMENT NOTES:**
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
 - THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-242-1776 TO ORDER UTILITY MARKOUTS BY OTHERS.
 - UNDERGROUND UTILITY MARKOUTS BY THE UTILITY COMPANIES WERE ORDERED AND THE PHYSICAL LOCATION OF THESE MARKOUTS ARE SHOWN HEREON, HOWEVER, NO CERTIFICATION IS MADE BY VCEA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS OR ACCURACY OF THE UTILITY MARKOUTS BY OTHERS.
 - THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT HIS EXPENSE, ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 - THE PROJECT WILL BE SERVED BY PUBLIC WATER (AQUA) AND PUBLIC SEWER (ABINGTON TOWNSHIP).
 - GUTTER MAY NOT PROJECT MORE THAN 24" INCHES INTO THE YARD.
 - DRIVEWAY SHALL BE PAVED A MIN. 10' BEHIND PROPERTY LINE.
 - MAXIMUM DRIVEWAY WIDTH SHALL BE 20'.
 - ALL AREAS SHALL BE PROPERLY GRADED TO ENSURE DRAINAGE FLOW AWAY FROM THE PROPOSED HOME AND PATIO WITHOUT PONDING OR OBSTRUCTION.
 - ALL MATERIAL USED FOR FILL OR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DERIVED FROM ANY SOURCE.
 - ALL EXCAVATIONS, INCLUDING TRENCHES, SHALL BE KEPT DRY TO PROTECT THEIR INTEGRITY.
 - MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES OR IN UTILITY TRENCHES OR ANY OTHER DEPRESSION, REQUIRING FILL OR BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AS SET OUT IN ASTM STANDARD D-1557 UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION PLANS OR IF SPECIFIED DIFFERENTLY BY THE TOWNSHIP ENGINEER. CONTRACTOR TO VERIFY COMPACTION REQUIREMENTS WITH TOWNSHIP ENGINEER'S OFFICE PRIOR TO EXCAVATION.
 - ALL CONSTRUCTION DEBRIS INCLUDING EXCESS EXCAVATED MATERIAL, SCRAP WOOD, BRICKS, BLOCKS, ETC. SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - ELEVATIONS, DIMENSIONS, AND THE LOCATIONS OF LINEAR FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
 - MINIMUM PERMITTED LAWN GRADE IS 2.0%.
 - DURING GRADING OPERATIONS, NECESSARY MEASURES FOR DUST CONTROL SHALL BE EXERCISED.
 - ALL PROPOSED CONVEYANCE DRAINS SHALL BE ADS N-12 OR APPROVED EQUAL. PIPES SHALL HAVE A MINIMUM 0.5% SLOPE.
 - PROPOSED ROOF DRAIN CONNECTIONS ARE SHOWN SCHEMATICALLY. FINAL DESIGN SHALL BE PROVIDED BY THE ARCHITECT AT TIME OF BUILDING PERMIT AND IS SUBJECT TO CHANGE. ALL ROOF DRAINS FROM PROPOSED BUILDING (EXCLUDING PORCH AREA) SHALL BE DIRECTED TO THE RAIN GARDEN. ALL DOWNSPOUT LOCATIONS TO BE OUTFITTED WITH OVERFLOW/CLEANOUTS. OVERFLOWS SHALL HAVE A SPLASH BLOCK INSTALLED AT THEIR LOCATION.
 - THE SURFACE OF ALL EARTH AREAS SHALL BE FINISHED TO A REASONABLY SMOOTH COMPACT SURFACE ORDINARILY OBTAINED FROM THE BLADE GRADER OR SCRAPER OPERATIONS AND HARD OPERATIONS AROUND CONFINED AREAS AND STRUCTURES. THE SURFACE OF AREAS TO BE TOPSOILED SHALL BE FINISHED TO A LEVEL OF SIX (6) INCHES BELOW FINISH GRADE AND LEFT WITH A SMOOTHNESS SUITABLE FOR APPLICATION OF TOPSOIL. ROCK ENCOUNTERED DURING CONSTRUCTION TO BE EXCAVATED TWELVE (12) INCHES BELOW FINAL GRADE AND REPLACED WITH TWELVE (12) INCHES OF TOPSOIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXCESS MATERIALS FROM THE SITE.
 - THE EXISTING SANITARY LATERAL LOCATION AND DEPTH HAS NOT BEEN VERIFIED. THE LOCATION SHOWN ON THE PLAN IS BASED ON ABINGTON TOWNSHIP SANITARY SEWER SYSTEM PLAN, PLAN NO. 45085-407 (CONTRACT NO. 51, DATED 8/2/80). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO TIE-IN AND VERIFY LOCATION WITHIN BUILDING PER ARCHITECTURAL/MEP PLANS.
 - GAS, ELECTRIC, AND WATER CONNECTIONS TO BUILDING MUST BE COORDINATED WITH ARCHITECT / MEP.
 - ALL WATER MAINS, GAS MAINS, ELECTRIC, TELEPHONE AND OTHER COMMUNICATION SERVICES SHALL BE LOCATED UNDERGROUND; AND SUCH FACILITIES SHALL BE INSTALLED PRIOR TO STREET PAVING. ELECTRIC, TELEPHONE AND COMMUNICATION SERVICE FACILITIES, BOTH MAIN AND SERVICE LINES, SHALL BE PROVIDED BY UNDERGROUND CABLES INSTALLED IN ACCORDANCE WITH THE PREVAILING STANDARDS AND PRACTICES OF THE UTILITY OR OTHER COMPANIES PROVIDING SUCH SERVICES EXCEPT WHERE IT IS DEMONSTRATED TO THE SATISFACTION OF THE BOARD OF COMMISSIONERS THAT THE UNDERGROUND INSTALLATION HEREIN REQUIRED IS NOT FEASIBLE BECAUSE OF THE PHYSICAL CONDITION OF THE LANDS INVOLVED. ALL MAIN UNDERGROUND CABLES WHICH ARE WITHIN THE RIGHT-OF-WAY OF A STREET SHALL BE LOCATED AS SPECIFIED BY THE BOARD OF COMMISSIONERS.
 - SEWER LATERAL CONNECTION:
 - CONTRACTOR SHALL VERIFY THE EXISTING DEPTH OF THE 6" VCP SEWER LATERAL PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL BE CAREFUL DURING EXCAVATION AROUND EXISTING VCP SEWER LATERAL TO PREVENT ANY DAMAGE TO THE PIPE.
 - SEWER LATERAL FOR NEW HOME SHALL TIE INTO EXISTING 6" VCP LATERAL.
 - EXISTING SEWER LATERAL CAP/PLUG SHALL BE REMOVED AND A WATERTIGHT RUBBER GASKET OR OTHER FITTING APPROVED BY ABINGTON SEWER AUTHORITY SHALL BE INSTALLED BETWEEN THE EXISTING 6" VCP SEWER LATERAL AND PROPOSED 6" PVC LATERAL.
 - CONTRACTOR SHALL INSTALL A CLEANOUT AS SHOWN ON THE PLANS AND PER ABINGTON TOWNSHIP STANDARD DETAILS #30 & #38.
 - BACKFILL AROUND SANITARY LATERAL SHALL BE PER ABINGTON TOWNSHIP STANDARD DETAIL #2

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 - PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS NOR WATERS.
 - THE SITE WILL BE SERVED BY PUBLIC WATER AND SEWER.
 - FIRE HYDRANTS AND STREETLIGHTS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND WITH THE RECOMMENDATIONS OF THE RESPECTIVE UTILITY COMPANIES, SUBJECT TO THE APPROVAL OF THE BOARD OF COMMISSIONERS.
 - STREETLIGHTS AND STREET NAME SIGNS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND DEDICATED TO THE TOWNSHIP.
 - THE PHILADELPHIA ELECTRIC COMPANY AND THE BELL TELEPHONE COMPANY OF PENNSYLVANIA ARE GRANTED THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS LOTS, AND THIS SHALL BE SO NOTED IN ALL DEED DESCRIPTIONS, TOGETHER WITH THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS ALL HIGHWAYS IN THIS TRACT.

REGISTERED UTILITY USERS:

- COMPANY: AQUA PENNSYLVANIA
ADDRESS: 782 LANCASTER AVE.
BRYN MAWR, PA. 19010
CONTACT: THOMAS WADDY
EMAIL: TWADDY@AQUAAMERICA.COM
- COMPANY: ABINGTON TOWNSHIP OF
ADDRESS: 176 OLD YORK ROAD
ABINGTON, PA. 19001
CONTACT: TIM CLARK
EMAIL: TACLARK@ABINGTONPA.GOV
- COMPANY: COMCAST
ADDRESS: 1250 HADDONFIELD-BERLIN RD
CHERRY HILL, NJ. 08034
CONTACT: WYATT PARRISH
EMAIL: WYATT_PARRISH@COMCAST.COM
- COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM



EQUITABLE OWNER/APPLICANT:

ABH BUILDERS, INC.
1526 FAIRVIEW AVENUE
WILLOW GROVE, PA 19090-4804

MAILING ADDRESS:
775 PENNSYLVANIA BLVD. PKWY
BLUE BELL, PA 19422

APN: 300018860001

SITE AREA:

0.321 ACRES OR 13,969 SQ. FT. (NET TO LEGAL R.O.W.)

PER TOWNSHIP ENGINEER REVIEW LETTER	DATE
03/31/25	05/21/25

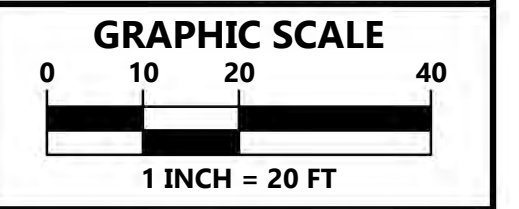
SERIAL NO. 20242142504

Before You Dig Anywhere

811 PENNSYLVANIA

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Call before you dig. PA Line requires 3 working days before dig. PA ONE CALL SYSTEM INC.



PLAN NOTATION

ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSION, OR COLORED INK SEAL, OF THE RESPONSIBLE PROFESSIONAL, SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

SAMUEL D. COSTANZO DATE
PENNSYLVANIA PROFESSIONAL ENGINEER NUMBER 041557-R

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 19041
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (610) 344-1876

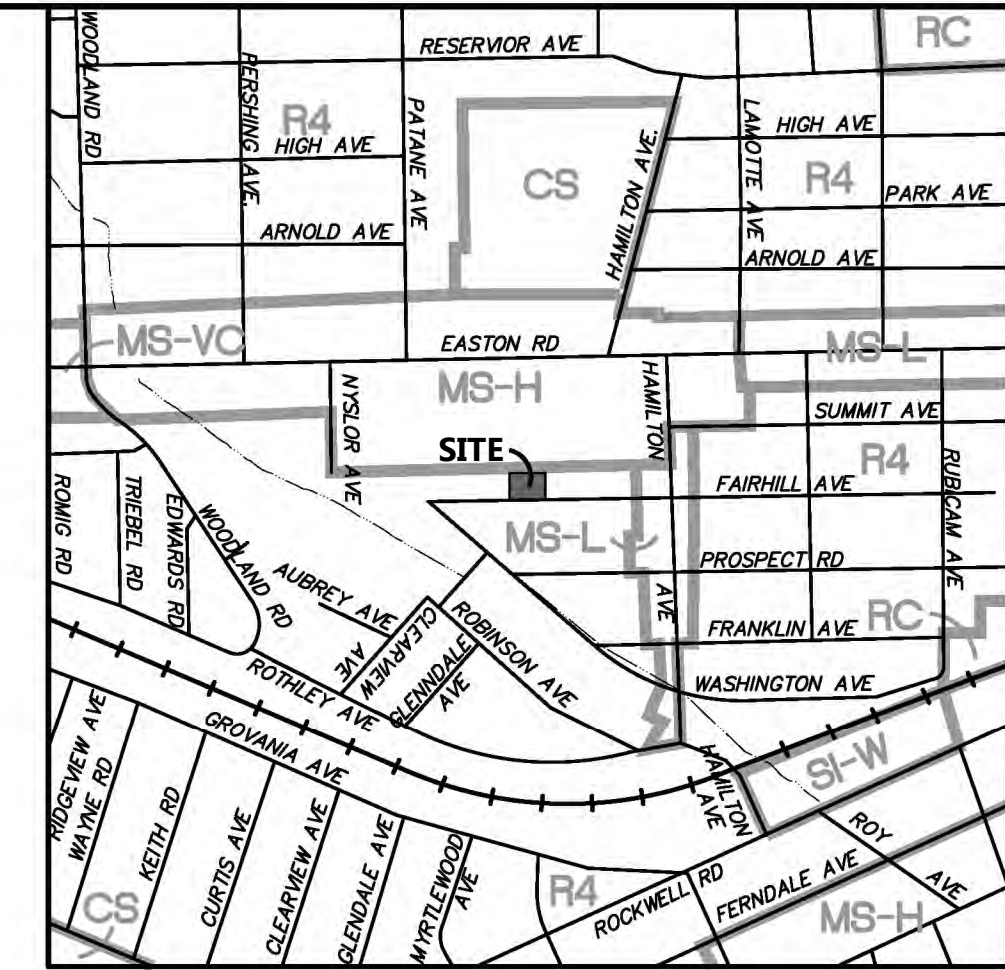
GRADING AND UTILITY PLAN

FOR
ABH BUILDERS INC.
APN: 300018860001

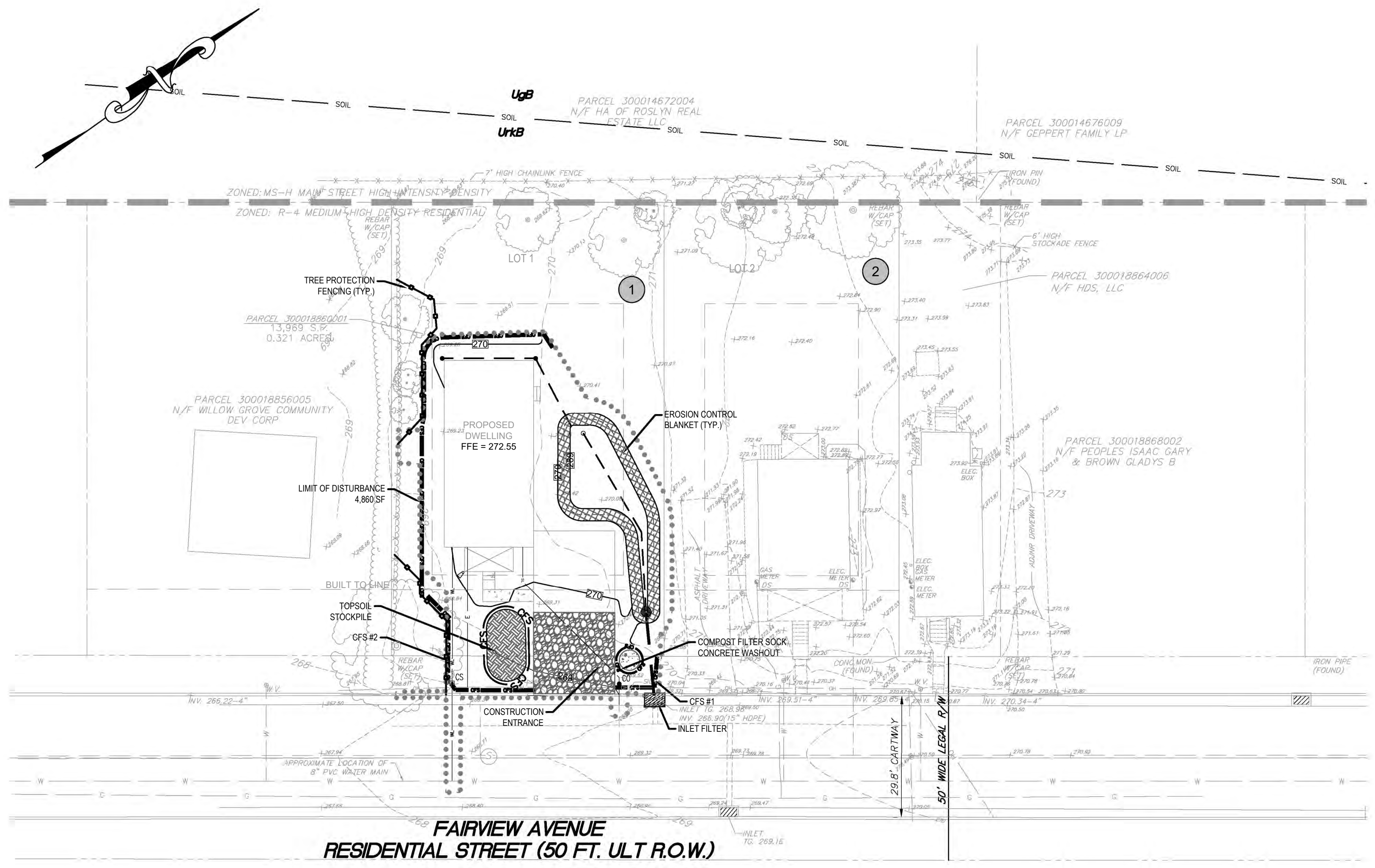
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SCALE:	1" = 20'
DESIGNED BY:	JEM
DRAWN BY:	ENP / JEM
CHECKED BY:	SDC
JOB NUMBER:	2403-A

APN: 300018860001

ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA



LOCATION MAP
SCALE: 1" = 80'



- LEGEND**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING FENCE
 - EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING LEGAL RIGHT OF WAY
 - EXISTING EASEMENT
 - EXISTING ROAD CENTERLINE
 - EXISTING ROAD
 - EXISTING CURB
 - EXISTING EDGE OF DRIVE
 - EXISTING SIGN
 - EXISTING SOILS LIMIT AND SOILS TYPE
 - EXISTING STREAM
 - EXISTING TREES
 - EXISTING TREE LINE
 - EXISTING MAILBOX
 - EXISTING UTILITY POLES
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING GAS MAIN
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING WATER VALVE
 - EXISTING WELL
 - EXISTING FIRE HYDRANT
 - PROPOSED CONTOUR
 - PROPOSED CURB
 - PROPOSED RIGHT OF WAY
 - PROPOSED SETBACK LINE
 - PROPOSED LIMIT OF TREE CLEARING
 - PROPOSED SIDEWALK
 - PROPOSED SIGN
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER LATERAL
 - PROPOSED WATER LATERAL
 - FFE
 - FINISHED FLOOR ELEVATION
 - PROPOSED JUTE MATTING
 - PROPOSED ROCK CONSTRUCTION ENTRANCE
 - PROPOSED RIP-RAP APRON
 - PROPOSED COMPOST FILTER SOCK
 - LIMIT OF DISTURBANCE
 - TREE PROTECTION FENCING (P.O.S.)
 - INLET PROTECTION
 - ROCK FILTER

GENERAL EROSION & SEDIMENT CONTROL NOTES

1. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2:1.
2. THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
3. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
4. THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN AND SEDIMENT BMP CONTROLS MUST BE REMOVED, AREAS DISTURBED CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.
5. ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.
6. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
7. EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
8. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED, AREAS DISTURBED DURING THE REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.
9. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
10. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
11. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
12. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% (PERCENT) VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
13. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
14. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.
15. ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEPS SOLID WASTE REGULATIONS (25 PA CODE 280.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

CONSTRUCTION SEQUENCE

1. AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR(S), TOWNSHIP ENGINEER(S), BUCKS COUNTY CONSERVATION DISTRICT, AND THE PLAN DESIGNER.
2. THE LIMITS OF DISTURBANCE SHALL BE DELINEATED WITH SURVEY STAKES OR SIMILAR, PRIOR TO ANY DISTURBANCE AND SHALL NOT BE DISTURBED DURING SITE CONSTRUCTION EXCEPT FOR TEMPORARY IMPACTS FOR MITIGATION OR RESTORATION PER THE PLAN.
3. INSTALL THE ROCK CONSTRUCTION ENTRANCE PER THE PLAN.
4. ORANGE CONSTRUCTION FENCING SHALL BE INSTALLED AT THE ENTIRE LIMIT OF DISTURBANCE. PLACE COMPOST FILTER SOCK AS DELINEATED ON THE PLAN AND DOWNSTREAM OF ALL EXCAVATED OR TOPSOIL STOCKPILING AREAS TO BE DISTURBED. INSTALL CONCRETE WASHOUT FACILITY PER THE PLAN, AND TREE PROTECTION FENCE AS DELINEATED ON THE PLAN.
5. ALL SWALES AND 3:1 SLOPES SHALL BE STABILIZED AND LINED WITH TEMPORARY EROSION CONTROL MATTING. BEGIN EXCAVATION ACTIVITIES FOR THE PROPOSED BUILDING AND STABILIZE PER THE PLAN. STRIP TOPSOIL WITHIN AREAS OF PROPOSED EARTHWORK AND STOCKPILE PER THE PLAN. CESSATION OF THE ACTIVITIES FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY SEEDING.
6. FINISH GRADE AND SPREAD TOPSOIL, SEED AND MULCH EACH AREA OF DISTURBANCE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE COMPLETION DATE AND SCHEDULE SEEDING). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SF, PROPOSED TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDING AND MULCHED. PRIOR TO FINISHING TOPSOIL, SUBSOIL SHALL BE SCARIFIED.
7. REMOVE TEMPORARY CONTROL MEASURES AFTER UNIFORM EROSION RESISTANT PERENNIAL VEGETATION HAS BEEN ESTABLISHED, MINIMUM OF UNIFORM COVERAGE OR A DENSITY OF 70% ACROSS THE DISTURBED AREA, TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING RUNOFF EVENTS AND STABILIZATION OF THE SITE IS COMPLETE TO THE SATISFACTION OF THE BUCKS COUNTY CONSERVATION DISTRICT. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS MUST BE STABILIZED. THE COUNTY CONSERVATION DISTRICT AND TOWNSHIP SHALL BE NOTIFIED PRIOR TO REMOVAL OF ANY EROSION CONTROLS.

SOIL LIMITATIONS:

SOIL TYPE	SEASONAL HIGH WATER TABLE (FT)	DEPTH TO BEDROCK (IN)	HYDROLOGIC GROUP	HYDRIC SOILS	OUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL (C, S, OR C/S)	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRIC / HYDRIC INCLUSIONS	LOW STABILITY LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK-SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
URBAN LAND 0 TO 8 PERCENT SLOPES (UgB)	-	-	-	-	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
URBAN LAND-EDGE MONT COMPLEX 0 TO 8 PERCENT SLOPES (UgB)	-	10-99	N.R.	NO	YES	C	YES	NO	NO	NO	NO / YES (1)	NO	YES	NO	YES	YES	NO	NO	NO	NO

N.R. = NOT RATED
(1) YES-AND-OVER (2X)

GENERAL NOTES:

1. SOILS SHOWN HEREON ARE AS MAPPED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS) WEBSITE FOR MONTGOMERY COUNTY ON SEPTEMBER 5, 2024.
2. THE SITE FLOWS DRAIN TO SANDY RUN (TSF) WITHIN THE WISSAHICKON CREEK WATERSHED. THE WATERS DESIGNATED/EXISTING USES ARE CLASSIFIED BY THE PA CODE CHAPTER 93.

SOIL RESOLUTIONS:

- WHEN THE ABOVE SOILS LIMITATIONS ARE ENCOUNTERED, UTILIZE THE FOLLOWING SOILS RESOLUTIONS:
- * DEPTH TO BEDROCK - WHEN DEPTH TO BEDROCK IS ENCOUNTERED, CONTRACTOR MAY BLAST IF NECESSARY.
 - * OUTBANKS CAVE - ALL APPLICABLE OSHA STANDARDS AND REGULATIONS WITH REGARD TO UTILITY AND RETAINING WALL CONSTRUCTION MUST BE IMPLEMENTED AT ALL TIMES. LIMIT SLOPES TO 3:1 MAXIMUM.
 - * CORROSIVE TO CONCRETE/STEEL - ALL UNDERGROUND CONCRETE AND/OR STEEL MATERIALS TO BE BACKFILLED WITH APPROPRIATE MATERIAL WHEN CORROSIVENESS IS LIMITED. FOR BUILDINGS, CONTRACTOR TO COMPLY WITH THE INTERNAL RESIDENTIAL CODE (IRC) BUILDING CODE.
 - * DROUGHTY - PROVIDE WATER TRUCK FOR IRRIGATION IN NEEDED. WHERE LANDSCAPING IS PROPOSED WITHIN DROUGHTY SOILS, APPLYING COMPOST MAY BE NECESSARY TO HELP INCREASE WATER RETENTION.
 - * DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE - CARE SHALL BE TAKEN WHEN CONSTRUCTION IMPROVEMENTS IN AREAS SHOWN AS HAVING A HIGH SEASONAL WATER TABLE. ANY SUBSURFACE WATER ENCOUNTERED MUST BE PUMPED AND FILTERED PRIOR TO RELEASE PER THE DETAIL PROVIDED ON THE DETAILS SHEET.
 - * DURING CONSTRUCTION - PONDING WATER SHALL BE PUMPED TO SEDIMENT BASIN OR A SEDIMENT FILTER BAG.
 - * ROADS - UNDERDRAINS SHALL BE INSTALLED UNDER ROADS TO BE BUILT.
 - * TRENCH - DEWATER TRENCHED TO A SEDIMENT FILTER BAG.
 - * DWELLING WITH BASEMENT - BASEMENTS TO HAVE SUMP PUMPS INSTALLED PER INTERNATIONAL RESIDENTIAL CODE (IRC) BUILDING CODE.
 - * HYDRIC/HYDRIC INCLUSIONS - SEE "DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE" ABOVE FOR RESOLUTION.
 - * SLOW PERCOLATION - UTILIZE STRUCTURAL BMP'S THAT DO NOT REQUIRE INFILTRATION (I.E. AMENDED SOILS, SLOW RELEASE BASIN). NO INFILTRATION BMP'S ARE PROPOSED.
 - * POOR SOURCE OF TOPSOIL - CONTRACTOR TO SUPPLY TOPSOIL AS NEEDED.
 - * FROST ACTION - PRECAUTIONS ARE NEEDED TO PREVENT DAMAGE, ESPECIALLY TO ROADWAYS.

REV	DESCRIPTION	DATE
1	PER TOWNSHIP ENGINEER REVIEW LETTER 03/31/25	05/23/25

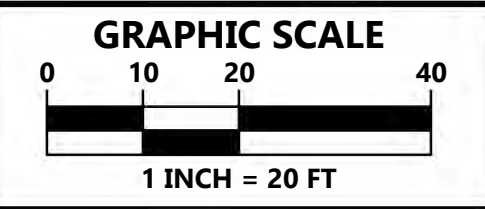
SERIAL NO. 20242142504

Before You Dig Anywhere

811 PENNSYLVANIA

Know what's below. STOP CALL 1-800-242-2776

Call before you dig. PA Law requires 3 working days notice before dig. PA ONE CALL SYSTEM INC.



PLAN NOTATION

ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSION, OR COLORED INK SEAL OF THE RESPONSIBLE PROFESSIONAL SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

SAMUEL D. COSTANZO DATE

PENNSYLVANIA PROFESSIONAL ENGINEER NUMBER 041557-R

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 19001
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: 610.344.1876

SOIL EROSION & SEDIMENT CONTROL PLAN

FOR
ABH BUILDERS INC.
APN: 3000018860001

DATE: FEBRUARY 14, 2025
SCALE: 1" = 20'
DESIGNED BY: JEM
DRAWN BY: ENP / JEM
CHECKED BY: SDC
JOB NUMBER: 2403-A

APN: 300018860001

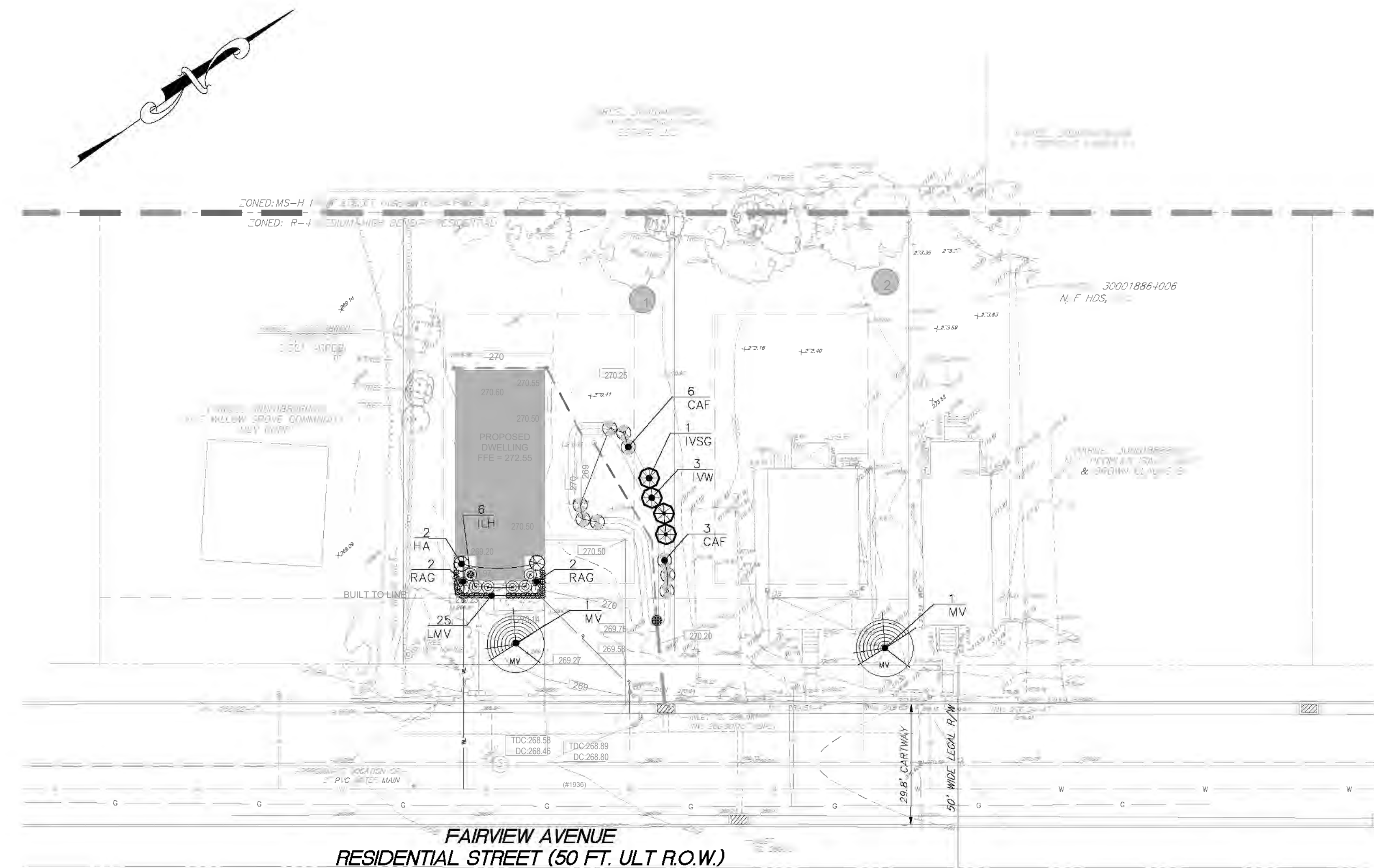
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

GENERAL LANDSCAPING NOTES

- THIS PLAN IS TO BE USED FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.
- IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-242-1776 TO ORDER UTILITY MARKOUTS BY OTHERS.
- THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S OWN RISK.
- ALL CONSTRUCTION DEBRIS INCLUDING EXCESS EXCAVATED MATERIAL, SCRAP WOOD, BRICKS, ETC. SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS.
- ALL PLANTS SHALL BE SPECIES OF THEIR SPECIES OR VARIETY; AND SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE STATED; THEY SHALL HAVE BEEN GROWING UNDER THE SAME CLIMATE CONDITIONS AS THE MUNICIPALITY FOR AT LEAST TWO (2) YEARS PRIOR TO DATE OF PLANTING. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION OR WHICH ARE NOT TRUE TO NAME SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
- ALL PLANT MATERIAL SHALL BE TWICE TRANSPLANTED, NURSERY-GROWN OF SPECIMEN QUALITY. THEY SHALL BE OF SYMMETRICAL GROWTH OR TYPICAL OF THE VARIETY AND SUPPLIED FROM SOURCES IN THE SAME HARDNESS ZONE AS THE DEVELOPMENT IS LOCATED AND FREE OF INSECT AND DISEASE PROBLEMS OR OBJECTIONABLE DISFIGUREMENTS. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE SHALL BE TAKEN IN PREPARING PLANTS FOR MOVING. ALL BALLED AND BURLAPPED PLANTS SHALL BE DUG TO MEET OR EXCEED THE "USDA STANDARDS FOR NURSERY STOCK".
- PLANTS SHALL BE PACKED, TRANSPORTED AND HANDLED WITH UTMOST CARE TO INSURE ADEQUATE PROTECTION AGAINST INJURY.
- MAINTAIN A MINIMUM SIX (6) FOOT SEPARATION DISTANCE BETWEEN TREES AND UNDERGROUND UTILITIES.
- MAINTAIN A MINIMUM OF FIFTEEN (15) FOOT SEPARATION DISTANCE BETWEEN TREES AND OVERHEAD UTILITIES, INCLUDING STREET LIGHTS.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- STREET TREES SHALL BE A MINIMUM OF TWO AND ONE HALF (2.5) INCHES IN DIAMETER, MEASURED AT SIX (6) INCHES ABOVE GRADE, AND HAVE A UNIFORM CANOPY AND SPREAD AT THE TIME OF PLANTING. TREES SHALL HAVE A MINIMUM HEIGHT OF SEVEN (7) FEET ABOVE GRADE BEFORE BRANCHING BEGINS. ANY TREES INSTALLED WHICH DO NOT MEET THESE REQUIREMENTS SHALL BE REPLACED UPON NOTICE FROM THE TOWNSHIP.
- ALL TREES TO BE INSTALLED SHALL BE BALLED AND BURLAP IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS.
- ALL TREES SHALL BE MULCHED TO A DEPTH OF NO LESS THAN THREE (3) INCHES IN A SIX-FOOT DIAMETER TREE RING. MULCH SHALL NOT BE PLACED AGAINST THE TREE TRUNK, OR THE ROOT CROWN.
- TREES, LOCATED ON A STEEP SLOPE, SHALL BE STAKED FOR NO LONGER THAN 1 YEAR AFTER INITIAL INSTALLATION. TREES SHALL BE STAKED UTILIZING TWO (2) 2"x2"x8' ROUGH SAWN STAKES. TREES SHALL BE BRACED UTILIZING WOVEN POLYPROPYLENE TIES. UNDER NO CIRCUMSTANCES SHALL METAL GUY WRING BE UTILIZED FOR BRACING PURPOSES.
- ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNKS OF MULTI-STEMMED TREES. PROVIDE TWO TO THREE TREE STAKES PER TREE AS NOTED ON THE PLANS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT DID TO EXISTING GRADE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING OF ALL PLANT MATERIAL SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH SEED. SEED MIXTURE SHALL BE AS LISTED IN THE SEEDING SCHEDULE ON THE SOIL EROSION AND SEDIMENT CONTROL NARRATIVE. ALL DISTURBED LAWN AREAS SHALL BE TOP-SOLED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE MINIMUM 3" OF SHREDDED HARDWOOD BARK.
- THE OWNER, OR HIS AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL LANDSCAPE MATERIALS SHOWN ON THE APPROVED LANDSCAPE PLAN.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, AND REPLACED WHEN NECESSARY, DUE TO POOR HEALTH OR UNSAFE CONDITIONS.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY REMOVAL, RELOCATION, OR SUBSTITUTION IN PLANT MATERIALS, SHALL BE AUTHORIZED BY THE TOWNSHIP, OR THE TOWNSHIP'S REPRESENTATIVE.
- THE OMISSION, REMOVAL, REPLACEMENT, RELOCATION, OR SUBSTITUTION OF APPROVED PLANT MATERIALS, DEPICTED ON THE APPROVED LANDSCAPE PLAN, WITHOUT PRIOR APPROVAL SHALL BE REPLACED AT THE OWNER'S EXPENSE AND SUBJECT TO REVIEW BY THE TOWNSHIP.
- PLANTINGS AND OTHER MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
- PLANTINGS SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT. ALL LANDSCAPING SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR AFTER THE TOWNSHIP HAS ISSUED THE OCCUPANCY PERMIT.

LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING FENCE
---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING LEGAL RIGHT OF WAY
---	EXISTING EASEMENT
---	EXISTING ROAD CENTERLINE
---	EXISTING ROAD
---	EXISTING CURB
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---	EXISTING MAILBOX
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---	EXISTING OVERHEAD ELECTRIC
---	EXISTING TELEPHONE
---	EXISTING GAS MAIN
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED CONTOUR
---	PROPOSED CURB
---	PROPOSED SETBACK LINE
---	PROPOSED SIDEWALK
---	PROPOSED UTILITY POLE
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY LATERAL
---	PROPOSED WATER LATERAL
---	FINISHED FLOOR ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED RIP-RAP APRON



GENERAL NOTES:

- THE BOUNDARY AND EXISTING FEATURES FEATURES AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY CAVANAUGH'S SURVEYING SERVICES ON AUGUST 02, 2023. ADDITIONAL SURVEY WORK FOR EXISTING UTILITIES WITH THE RIGHT-OF-WAY WAS PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES (VCEA) ON JANUARY 10, 2025.
- DESIGNATION OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THIS DRAWING. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATED IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES /FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THESE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY CAVANAUGH'S SURVEYING SERVICES NOR VAN CLEEF ENGINEERING ASSOCIATES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO 287 DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
- VERTICAL DATUM IS NAVD 88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- HORIZONTAL DATUM IS BASED ON 1983 STATE PLANE COORDINATE SYSTEM ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEM (GPS), WITH OBSERVATIONS REFERENCED TO THE TOPCON TOPSURV GPS BASE STATION NETWORK.
- METES AND BOUNDS AS SHOWN ARE BASED ON PA, STATE PLAN COORDINATE SYSTEM, ROTATION TO DEED MERIDIAN IS 15 DEGREES 53 MINUTES 43 SECONDS CLOCKWISE.
- THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), PANELS 294 OF 313, MAP NUMBERS 4209100294G AND 4209100313G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2016.
- PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS NOR WATERS.
- THE SITE WILL BE SERVED BY PUBLIC WATER AND SEWER.
- FIRE HYDRANTS AND STREETLIGHTS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND WITH THE RECOMMENDATIONS OF THE RESPECTIVE UTILITY COMPANIES, SUBJECT TO THE APPROVAL OF THE BOARD OF COMMISSIONERS.
- STREETLIGHTS AND STREET NAME SIGNS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND DEDICATED TO THE TOWNSHIP.
- THE PHILADELPHIA ELECTRIC COMPANY AND THE BELL TELEPHONE COMPANY OF PENNSYLVANIA ARE GRANTED THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS LOTS, AND THIS SHALL BE SO RECITED IN ALL DEED DESCRIPTIONS, TOGETHER WITH THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS ALL HIGHWAYS IN THIS TRACT.

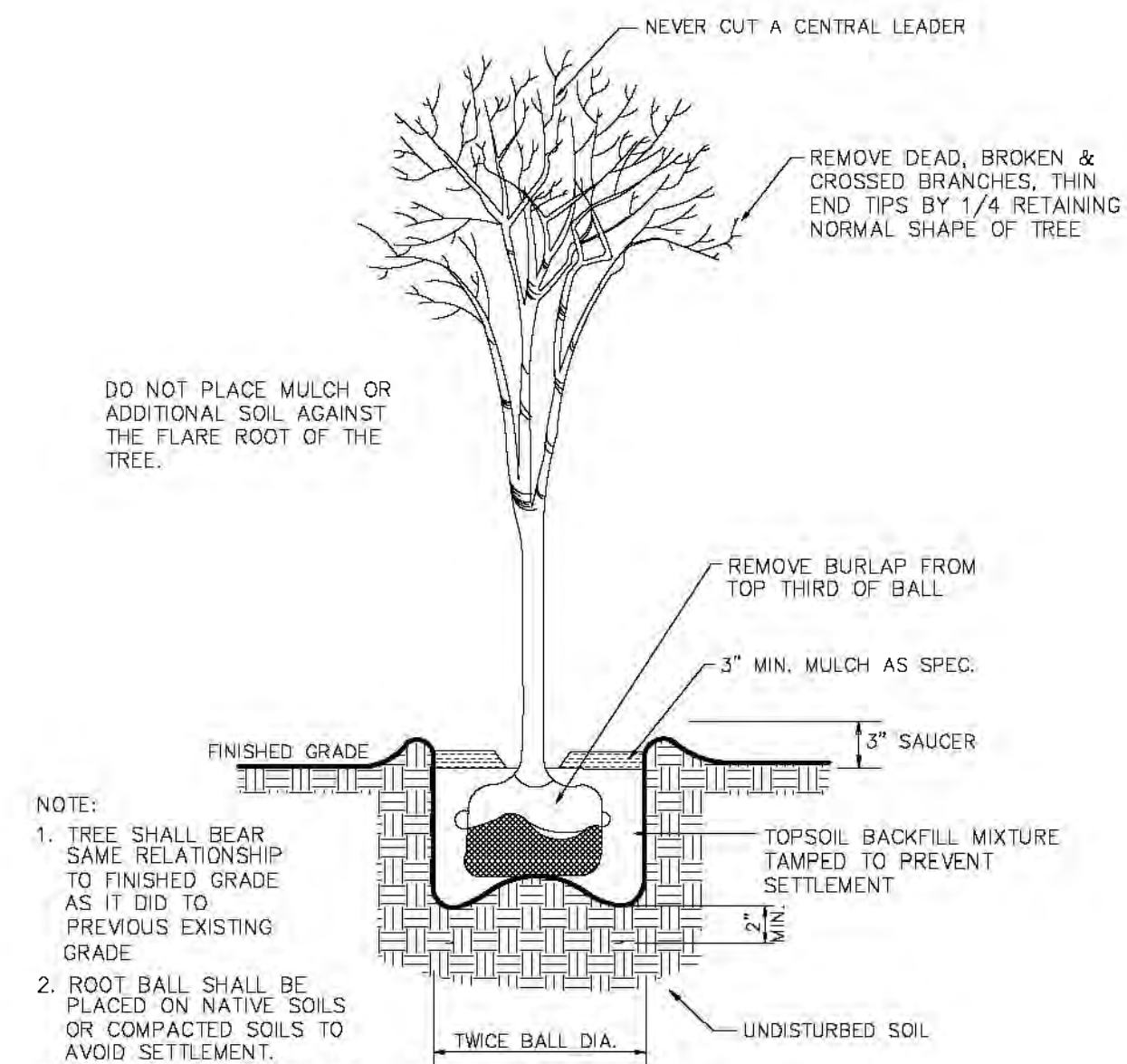
STREET TREE CALCULATION:

ONE STREET TREE PER 40' LINEAR FEET OF FRONTAGE REQUIRED
FAIRVIEW AVENUE
125'/40' = 3 STREET TREES REQUIRED
1 EXISTING STREET TREE + 2 PROPOSED STREET TREES

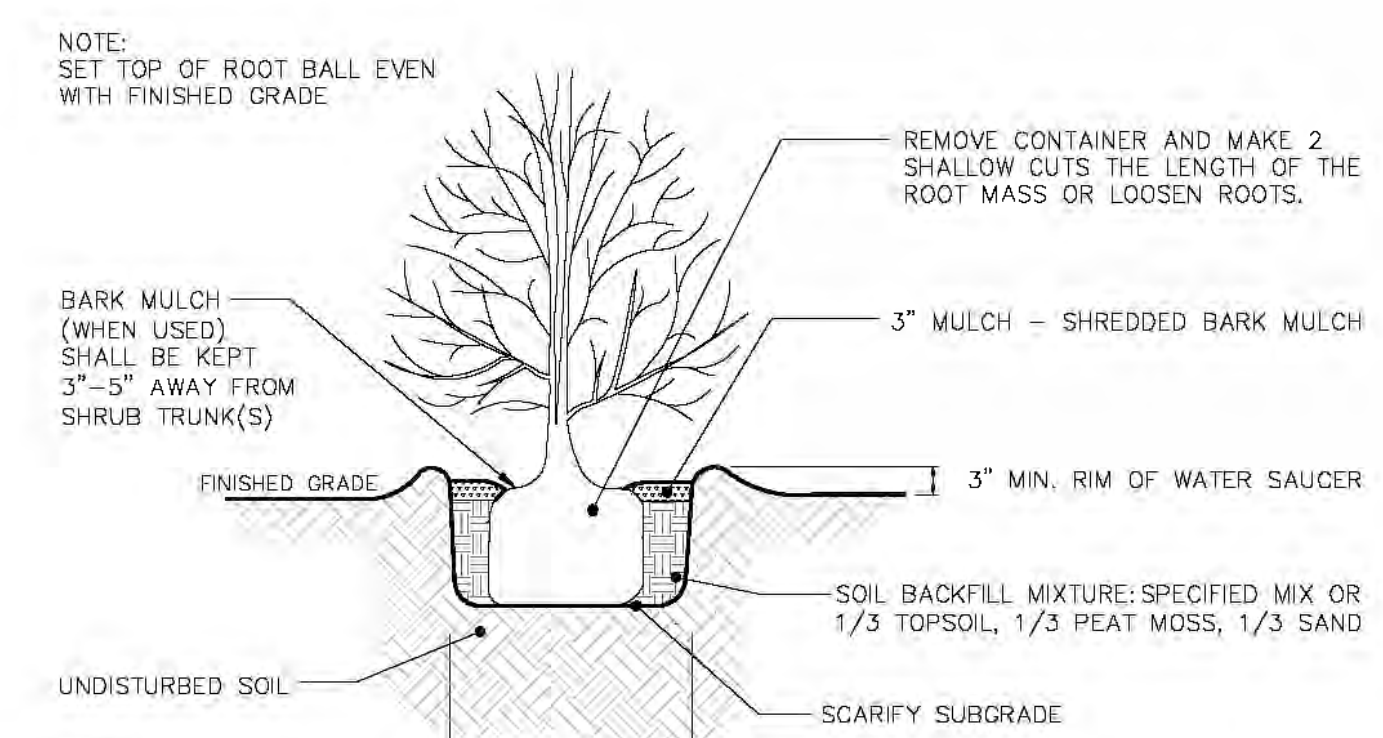
LANDSCAPE SCHEDULE:

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
STREET TREE					
MV	2	Magnolia virginiana (native)	Sweetbay Magnolia (semi-evergreen)	2.5" cal./10'-12' ht.	B & B
Subtotal 2					
SHRUBS					
*CAF	9	*Cornus sericea 'Arctic Fire'	Arctic Fire Redtwig Dogwood (native)	24"-30" ht.	Cont.
HA	2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea (native)	24"-30" ht.	Cont.
*IVSG	1	*Ilex verticillata 'Southern Gentleman'	Southern Gentleman Winterberry (male)	24"-30" ht.	Cont.
*IWW	3	*Ilex verticillata 'Winter Red'	Winter Red Winterberry (native)	24"-30" ht.	Cont.
ILH	6	Ilex virginica 'Little Henry'	Little Henry Sweetspire (native)	18"-24" ht.	Cont.
Subtotal 21					
PERENNIALS					
LMV	25	Liriope muscari 'Variegata'	Variegated Liriope	1 Gal.	18" o.c.
RAG	4	Rudbeckia 'American Gold Rush'	American Gold Rush Blackeyed Susan	1 Gal. (no subst.)	24" o.c.
Subtotal 29					
TOTAL 52					

*NOTE: These Rain Garden plants are also located on the landscape schedule on Sheet #4 as requested by the Township.



TYPICAL PLANTING FOR TREES TO 3 1/2" CAL.
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
(NOT TO SCALE)

TREE REMOVAL/REPLACEMENT SCHEDULE

PER ZONING ORDINANCE, SEC. 2401.A.2.d.(1)(b):
REPLACEMENT CALC. = 2 TREES (3"-3.5" CAL.) PER ONE TREE 6" CAL./+ REMOVED

CALIPER	EXISTING	DEAD	REMOVED	REMAINS
6"	1	0	0	2
7"	2	0	0	2
8"	2	0	0	2
10"	1	0	0	1
11"	1	0	0	1
12"	1	0	0	1
16"	2	0	0	2
18"	1	0	0	1
24"	2	0	0	2
26"	1	1	1	0
28"	1	0	0	1
TOTALS	15	1	1	14

REPLACEMENT TREES REQUIRED:

SUMMARY: 0 (6") TREES X 2 = 0
0

0 TOTAL REPLACEMENT TREES REQUIRED
0 TOTAL REPLACEMENT TREES PROVIDED

PER TOWNSHIP ENGINEER REVIEW LETTER
of 03/17/25 SOC 05/23/25

REV DESCRIPTION AUTH DATE

SERIAL NO. 20242142504

Before You Dig Anywhere
Call before you dig.
811
PA ONE CALL SYSTEM, INC.
PA ONE CALL CALL 800.242.1776
PA ONE CALL 800.242.1776
PA ONE CALL 800.242.1776

GRAPHIC SCALE
0 10 20 40
1 INCH = 20 FT

PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL, IMPRESSED, OR COLORED INK SEAL OF THE RESPONSIBLE PROFESSIONAL SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

EVIN A. KESTER DATE
PENNSYLVANIA PROFESSIONAL LANDSCAPE NUMBER LA-00083-E

Van Cleef
ENGINEERING WITH FOCUS
VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 19001
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: 610.345.1976

LANDSCAPE PLAN

FOR
ABH BUILDERS INC.
APN: 300018860001

DATE: FEBRUARY 14, 2025
SCALE: 1" = 20'
DESIGNED BY: MAP
DRAWN BY: ENP / MAP
CHECKED BY: KAK
JOB NUMBER: 2403-A

APN: 300018860001

ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

MAINTENANCE OF FACILITIES

- SILT FENCE/FILTER SOCK SHOULD BE INSPECTED AND MAINTAINED ON A DAILY BASIS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RETENNING MUST BE PERFORMED IMMEDIATELY. IF E&S CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF INSTALLED MEASURES WILL BE REQUIRED.
- CONTRACTOR SHALL MAINTAIN AND MAKE AVAILABLE TO THE BUCKS COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF THE ABOVE NOTED INSPECTION AND MAINTENANCE.
- SEEDING, MULCHING AND FERTILIZING SHALL BE IN ACCORDANCE WITH THE ABOVE NOTED INSPECTION AND MAINTENANCE.
- THE CONTRACTOR SHALL HAVE AVAILABLE WATER TRUCKS OR OTHER MEANS OF CONTROLLING EXCESSIVE DUST AND AIRBORNE DEBRIS.
- ALL DRAINAGE SWALES SHALL BE SEEDED AND MULCHED, AND PROTECTED WITH TURF REINFORCEMENT MAT, AS SPECIFIED ON THE PLANS (OR EQUAL). IF SWALES ARE TO BE SODED, TURF REINFORCEMENT IS NOT REQUIRED.
- ALL AREAS OF CONCENTRATED SURFACE DRAINAGE SHALL BE SEEDED AND MULCHED, AND PROTECTED WITH TEMPORARY TURF REINFORCEMENT MAT: NORTH AMERICAN GREEN #0575 (OR EQUAL). IF AREAS ARE TO BE SODED, TURF REINFORCEMENT IS NOT REQUIRED.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEDED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIGNIFICANT STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL AREA. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND ALLOWED TO DRY AND USED AS FILL WHEREVER REQUIRED ON THE SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE MEASURES TO ADDRESS SAID CIRCUMSTANCES.

FILL MATERIALS

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR.

CLEAN FILL: IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, ON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

E&S PLAN PLANNING & DESIGN NOTES

- THE CONTRACTOR SHALL MINIMIZE THE EXTENT AND DURATION OF THE EARTH DISTURBANCE BY LIMITING THE CLEARING, GRUBBING, AND TOPSOIL STRIPPING TO AREAS IN EACH PHASE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THE E&S PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE CONTRACTOR SHALL STABILIZE AND AREAS DISTURBED BY ANY ACTIVITIES.
- TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION, E&S BMP'S MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS TO THOSE BMP'S. E&S BMP'S SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED. AT NO TIME WILL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARY. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE.
- TO MINIMIZE SOIL COMPACTION, NO LAND CLEARING AND/OR GRADING SHALL BE PERFORMED OUTSIDE OF LIMIT OF DISTURBANCE FENCING. PROPER CARE SHALL BE TAKEN WITHIN UNDERGROUND INFILTRATION TRENCH TO MINIMIZE SOIL COMPACTION.
- THE FOLLOWING MEASURES OR CONTROLS UTILIZED TO MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF: A ROCK CONSTRUCTION ENTRANCE, COMPOST FILTER SOCKS AROUND THE DISTURBANCE, A CONCRETE WASHOUT, EROSION CONTROL BLANKET, AND TEMPORARY/PERMANENT STABILIZATION OF ALL LOT FEATURES.
- THERE ARE NO PROPOSED INFILTRATION BMP'S OUTSIDE PROPOSED GRADING AREAS.
- THERE ARE NO EXISTING/PROPOSED RIPARIAN FOREST BUFFERS WITHIN THE LIMITS OF DISTURBANCE THEREFORE NO ASSOCIATED REQUIREMENTS ARE SHOWN ON THE PLANS.
- THIS PROJECT IS NOT LOCATED IN A SPECIAL PROTECTION (HQ/EV) WATERSHED, THEREFORE NO ANTIDEGRAATION ANALYSIS IS REQUIRED.
- THERE ARE NO NATURALLY OCCURRING GEOLOGIC FORMATIONS (KARST SOILS) THAT MAY CAUSE POLLUTION WITHIN THE PROJECT LIMIT OF DISTURBANCE, THEREFORE, MEASURES TO AVOID/MINIMIZE/OR MITIGATE ARE NOT NECESSARY.

PROJECT CONSTRUCTION WASTES

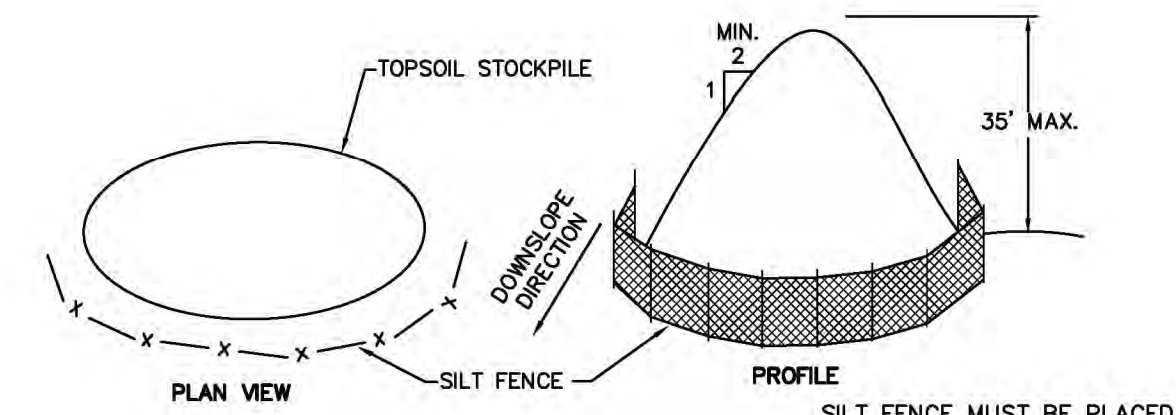
- BUILDING MATERIALS - SHALL BE REMOVED AND DISPOSED OF AT PROPER RECYCLING FACILITY AS PER NOTE #6 OF THE GENERAL EROSION & SEDIMENT CONTROL NOTES.
- ROCK WASTE - ALL ROCKS THAT ARE SUITABLE FOR LANDSCAPING USES SHALL BE USED ON SITE OR AT ANOTHER FACILITY.
- SOIL WASTE - ALL EXCAVATED SOIL SHALL BE USED ON SITE, AS FILL MATERIAL WHERE POSSIBLE. ANY EXCESS MATERIAL NOT USED ON SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WERE ALL BMPs ARE PROPERLY INSTALLED. ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL BE INCORPORATED INTO THE FINE GRADING UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL THAT IS REMOVED FROM EROSION AND SEDIMENTATION CONTROL MEASURES AND CANNOT BE INCORPORATED INTO THE FINE GRADING STABILIZATION SHALL BE REMOVED FROM THE SITE AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WERE ALL BMPs ARE PROPERLY INSTALLED.

SEEDING SPECIFICATIONS

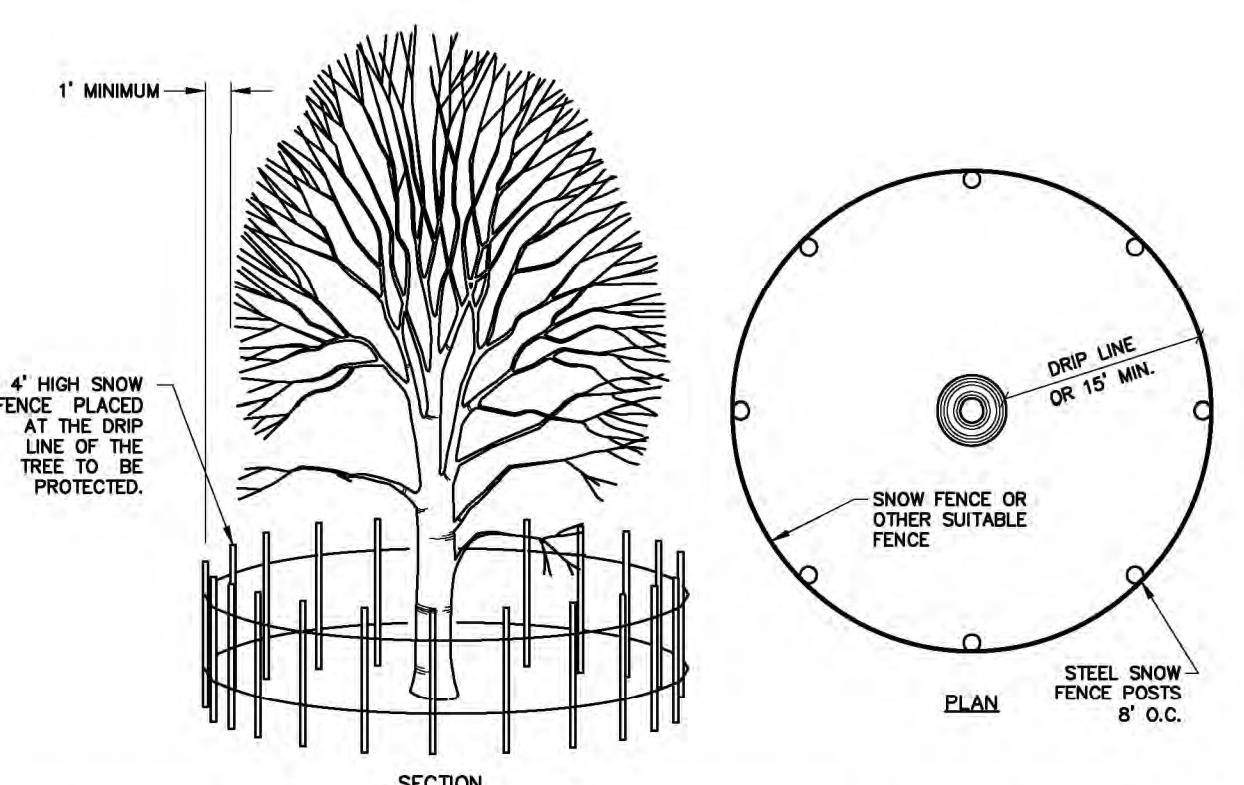
LAWN AREAS:
PROVIDE THE FOLLOWING SEED MIXTURE FOR ALL DISTURBED AREAS:

TEMPORARY:	
SPECIES	ANNUAL RYEGRASS
% PURE LIVE SEED	100.0%
APPLICATION RATE	40.0 LB./ACRE
FERTILIZER TYPE	COMMERCIAL 10-10-10
FERTILIZER APPLICATION RATE	500 LB./ACRE
LIMING RATE	1.0 T./ACRE
MULCH TYPE	HAY OR STRAW
MULCHING RATE	3.0 T./ACRE
PERMANENT:	
SPECIES	KENTUCKY BLUEGRASS/SPREADING FESCUE/ PERENNIAL RYEGRASS/CHEWING'S RED FESCUE
% PURE LIVE SEED	98.0%
APPLICATION RATE	63.75 T/6,80.75 T/6** LB./ACRE
FERTILIZER TYPE	COMMERCIAL 10-20-20
FERTILIZER APPLICATION RATE	1,000 LB./ACRE
LIMING RATE	6.0 T./ACRE
MULCH TYPE	HAY OR STRAW
MULCHING RATE	3.0 T./ACRE
ANCHOR MATERIAL/METHOD	MULCHIFIED ASPHALT*/SPRAY
RATE OF ANCHOR MATL. APPL.	31,000 GAL./SQ. YD.
SEEDING SEASON DATES	APRIL 15-MAY 30 AUG. 15-OCT. 15

* SHALL CONTAIN NO SOLVENTS OR OTHER DILUTING AGENTS TOXIC TO PLANT OR ANIMAL LIFE.
** CALCULATED USING % PLS = (% PS + % GERMINATION) / 100.

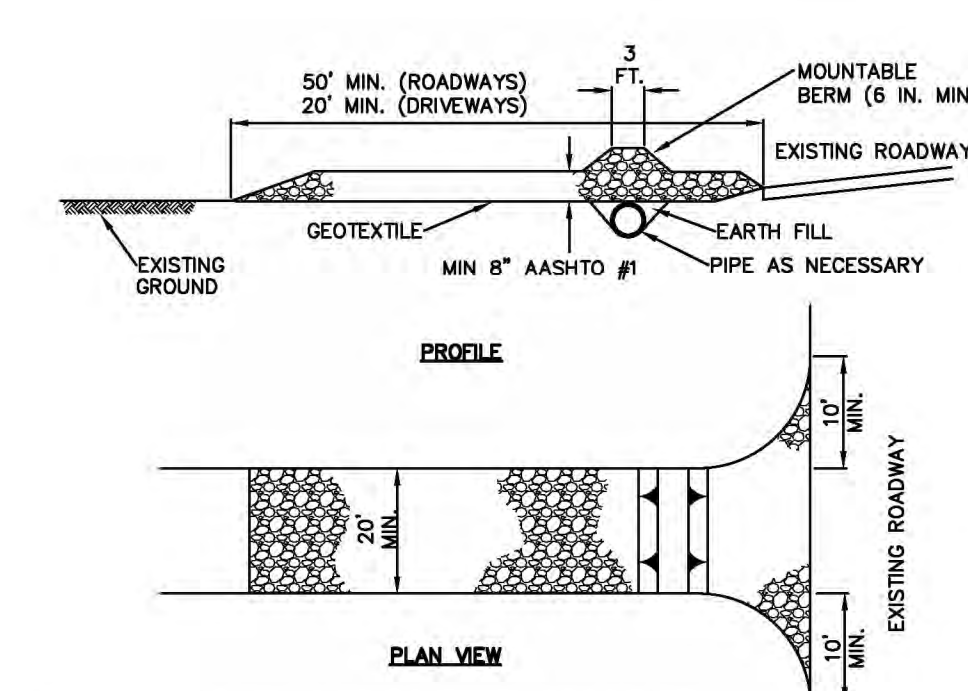


TOPSOIL STOCKPILE AREA (NOT TO SCALE)



TREE PROTECTION DETAIL (NOT TO SCALE)

- TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PRESERVED DURING AND AFTER CONSTRUCTION.
- ALL TREES SCHEDULED TO REMAIN SHALL BE MARKED. WHERE GROUPS OF TREES EXIST, ONLY THE TREES ON THE EDGE NEED TO BE MARKED.
- 1" HIGH SNOW FENCE OR OTHER SUITABLE FENCE MOUNTED ON STEEL POSTS LOCATED EIGHT (8) FEET ON CENTER, SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION AREA.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE TRUNK OF TREE CANOPY, OR 15 FEET FROM THE TRUNK OF THE TREE TO BE RETAINED, WHICHEVER IS GREATER. AT THE SPECIFIC LOCATION DETERMINED APPROPRIATE BY THE LANDSCAPE ARCHITECT, ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE DEAD OR DAMAGED BRANCHES. SEE FIELD NOTES FOR TREE PROTECTION THIS SHEET.
- WHEN THE FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED AND APPROVED BY THE TOWNSHIP PRIOR TO COMMENCING CLEARING AND FURTHER CONSTRUCTION. ANY DAMAGES TO THE PROTECTIVE FENCING SHALL BE REPLACED AND REPAIRED BEFORE FURTHER CONSTRUCTION SHALL CONTINUE.
- TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO A TREE PROTECTION AREA OR INTO TREES THAT ARE TO BE RETAINED.
- GRADE CHANGES AND EXCAVATIONS SHALL NOT ENDOURAGE UPON THE TREE PROTECTION AREA.
- NO TOXIC MATERIALS SHALL BE STORED WITHIN ONE HUNDRED (100) FEET OF A TREE PROTECTION AREA INCLUDING PETROLEUM BASED AND/OR DERIVED PRODUCTS.
- THE AREA WITHIN THE TREE PROTECTION AREA SHALL NOT BE BUILT UPON NOR SHALL ANY MATERIALS BE STORED THERE EITHER TEMPORARILY OR PERMANENTLY. VEHICLES AND EQUIPMENT SHALL NOT BE PARKED IN THE TREE PROTECTION AREA.
- WHEN TREE STUMPS ARE LOCATED WITHIN TEN (10) FEET OF THE TREE PROTECTION AREA, THE STUMPS SHALL BE REMOVED BY MEANS OF A STUMP GRINDER TO MINIMIZE THE EFFECT ON THE SURROUNDING ROOT SYSTEMS.
- TREE ROOTS WHICH MUST BE SEVERED SHALL BE CUT BY A BACK HOE OR SIMILAR EQUIPMENT ALIGNED RADIALY TO THE TREE. DAMAGE THE INTERRUPTED ROOTS OF ADJACENT TREES.
- TREES SHALL NOT BE USED FOR ROOFING, CABLES, SIGNS OR FENCING. NAILS AND SPIKES SHALL NOT BE DRIVEN INTO TREES.
- ANY SEVERED ROOTS AS A RESULT OF EXCAVATION SHALL BE TRIMMED SO THAT THEIR EDGES ARE SMOOTH AND ARE CUT BACK TO A LATERAL ROOT IF EXPOSED.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE. DAMAGED BRANCHES SHALL BE PRUNED ACCORDING TO NATIONAL ARBORIST ASSOCIATION STANDARDS. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB BUT WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB. ALL NECESSARY PRUNING CUTS MUST BE MADE TO PREVENT BARK FROM BEING TORN FROM THE TREE AND TO FACILITATE RAPID HEALING.
- ALL TREES WHICH HAVE BEEN DISTURBED OR HAVE EXPERIENCED DAMAGE TO THEIR ROOTS OR BRANCHES SHALL BE FERTILIZED. TREES SHALL BE FERTILIZED IN EARLY FALL OR MIDSPIRING. FERTILIZER GRADE SHALL HAVE APPROXIMATELY THREE (3) PARTS NITROGEN TO ONE (1) PART PHOSPHOROUS AND ONE (1) PART POTASSIUM (RATIO OF 3:1:1). FERTILIZER SHALL BE BROADCAST OVER THE SOIL SURFACE IN AN AREA TWICE THE SIZE OF THE TREE PROTECTION AREA AT A RATE OF ONE (1) POUND OF NITROGEN PER ONE THOUSAND (1000) SQUARE FEET.
- WHEN THERE IS NO ALTERNATIVE BUT TO LOCATE AN ELECTRICAL OR OTHER SMALL UTILITY LINE WITHIN A TREE PROTECTION AREA, THE TOWNSHIP SHALL DETERMINE THE MOST DESIRABLE LOCATION FOR THE LINE AND THE FOLLOWING PRECAUTIONS SHALL BE USED:
 - TRENCHES SHALL NOT BE CUT CLOSER TO THE TRUNK THAN HALF THE DISTANCE FROM THE DRIP LINE.
 - IF FEW ROOTS ARE POSSIBLE
 - CUT AS FEW ROOTS AS POSSIBLE
 - IF FEW ROOTS HAVE TO BE CUT, CUT THEM AS CLEANLY AS POSSIBLE
 - BACKFILL THE TRENCH AS SOON AS POSSIBLE, AVOIDING SOIL COMPACTION



ROCK CONSTRUCTION ENTRANCE (NOT TO SCALE)

NOTES:
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

PUMPED WATER FILTER BAG (NOT TO SCALE)

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ASIS % RETAINED	ASTM D-4751	80 SEIVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRIPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

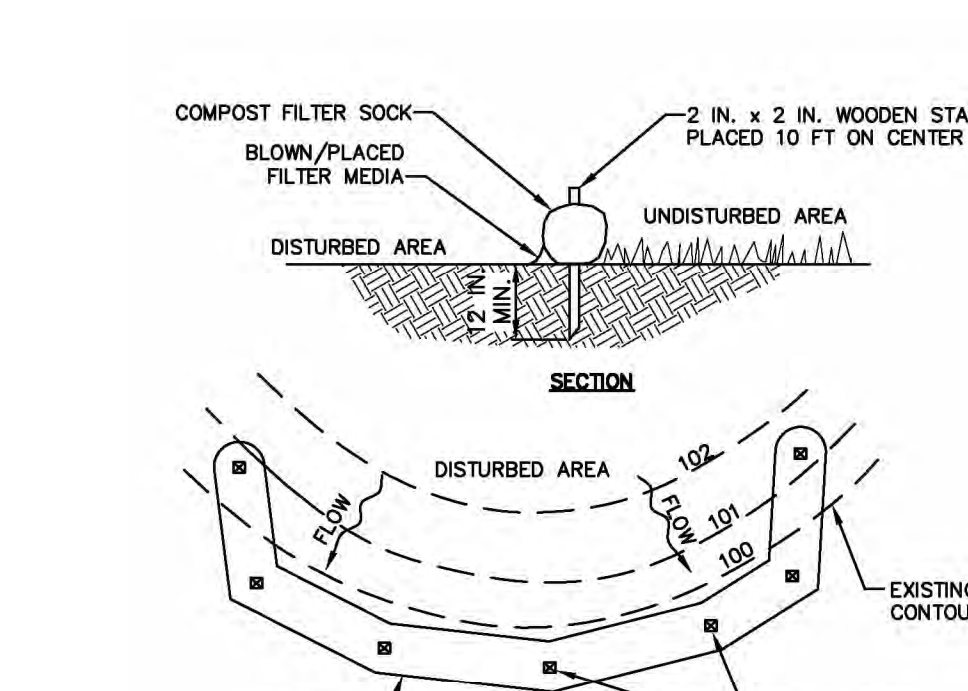
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 2% FOR SLOPES EXCEEDING 2%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SOIL STRESSNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE FILTER BAG SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

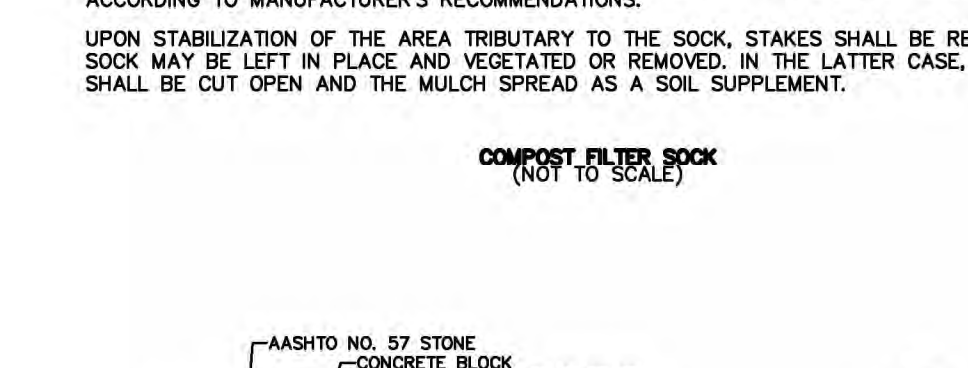
EROSION CONTROL BLANKET INSTALLATION (NOT TO SCALE)



COMPOST FILTER SOCK (NOT TO SCALE)

NOTES:
SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-18 (NOT TO SCALE)



STANDARD CONSTRUCTION DETAIL #4-18 (NOT TO SCALE)

NOTES:
MAXIMUM DRAINAGE AREA = 1 ACRE.
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.
ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SURFACE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
TOP OF BLOCK SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON CONCRETE AND STONE. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

EROSION CONTROL BLANKET INSTALLATION (NOT TO SCALE)

THE BLANKET SHOULD OVERLAP BLANKET ENDS 8 IN. MIN. WITH THE UPSLOPE BLANKET OVERLAPPING THE DOWNSLOPE BLANKET (SHINGLE STYLE). STAPLE SECURELY.
REFER TO MANUF. RECOMMENDED STAPLING PATTERN FOR STRENGTH AND LENGTH OF SLOPE BEING BLANKETED.
NOTES:
SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLUDS, STICKS, AND GRASS.
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
THE BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED AT A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.
STANDARD CONSTRUCTION DETAIL #4-11

EROSION CONTROL BLANKET INSTALLATION (NOT TO SCALE)

Van Cleef
ENGINEERING WITH FOCUS
Local/Regional Planning
Municipal Engineering
Site Development
Surveying/Aerial Drones/GIS
Water/Wastewater
Bridges/Highways
Construction Inspection
Environmental
Geotechnical/Dams
Landscape Architecture

REV	DESCRIPTION	DATE
1	PER TOWNSHIP ENGINEER REVIEW LETTER OF 03/31/25	SDC 05/21/25

SERIAL NO. 20242142504

Before You Dig Anywhere
811
Know what's below. STOP CALL 1-800-542-2776
Call before you dig. PA Law requires 3 working days notice before PA ONE CALL SYSTEM INC.

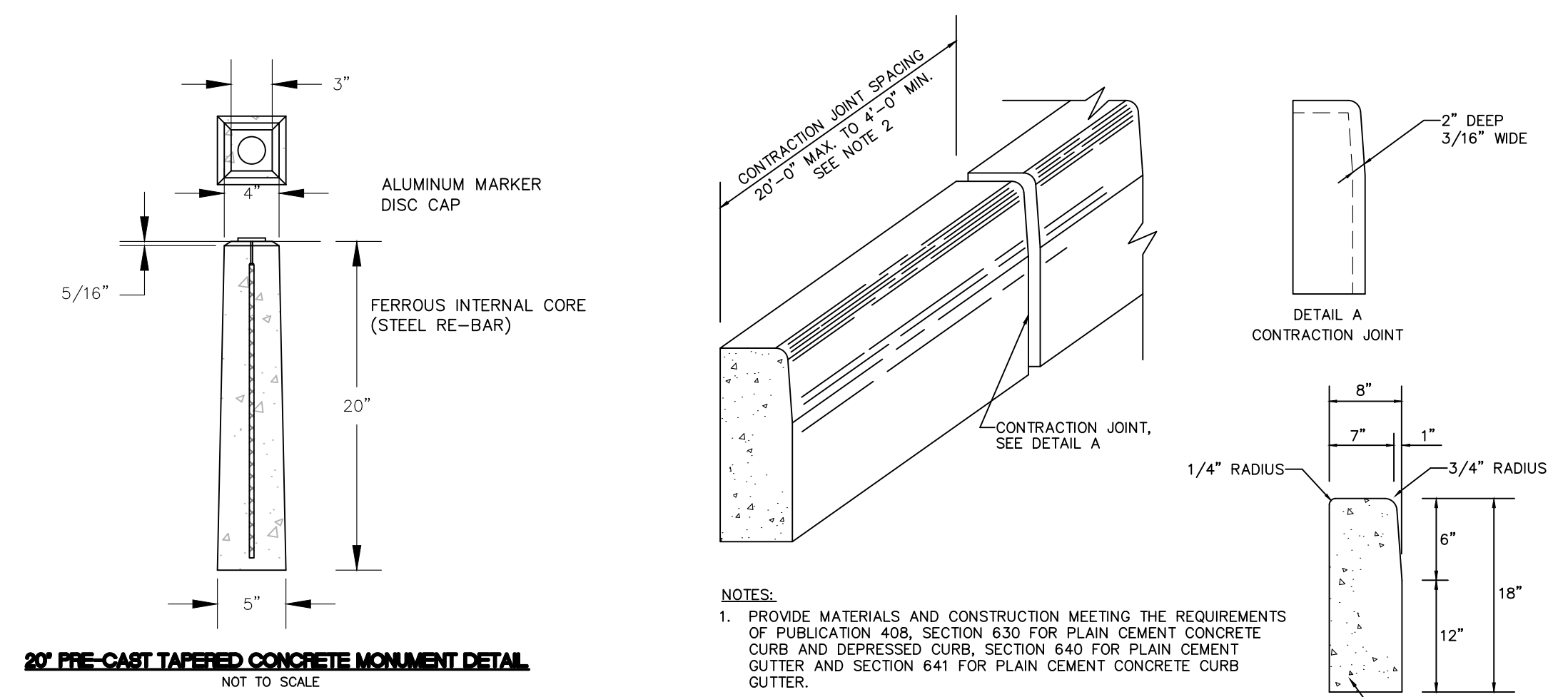
PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSION, OR COLORED INK SEAL, OF THE RESPONSIBLE PROFESSIONAL SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIALLY PREPARED FOR THE TOWNSHIP OF ABINGTONTOWNSHIP, PENNSYLVANIA. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

Van Cleef
ENGINEERING WITH FOCUS
VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18041
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (610) 344-1874

EROSION & SEDIMENT CONTROL NOTES AND DETAILS

FOR
ABH BUILDERS INC.
APN: 3000018860001

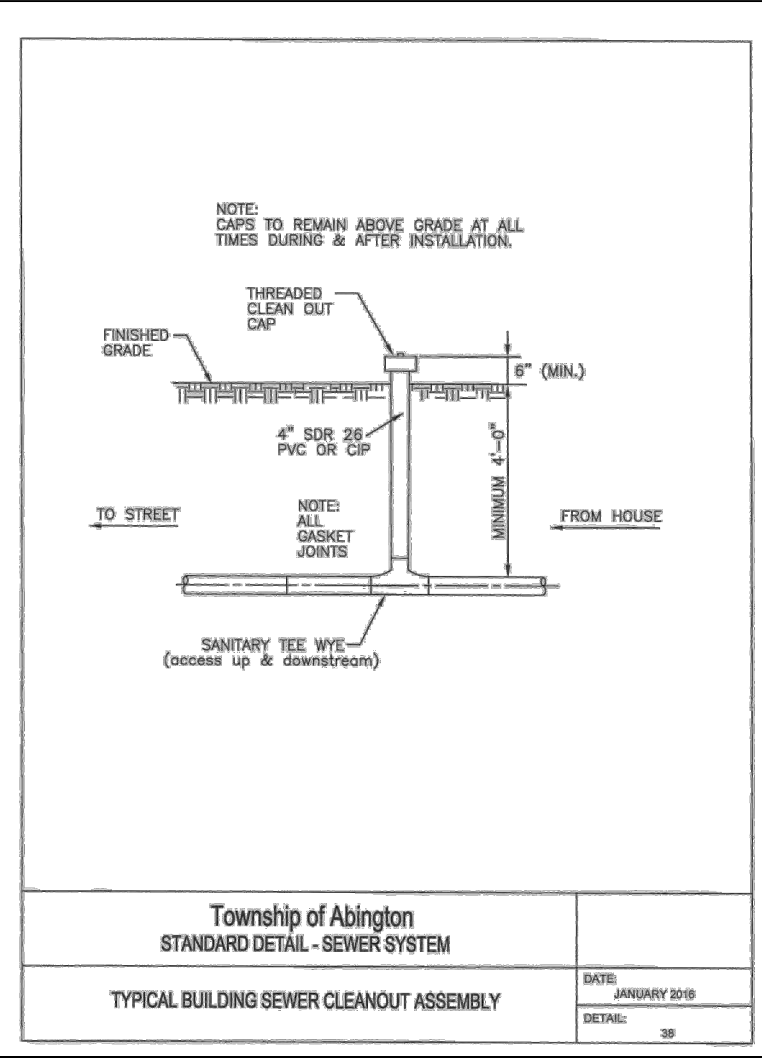
DATE: FEBRUARY 14, 2025
SCALE: AS NOTED
DESIGNED BY: JEM
DRAWN BY: ENP / JEM
CHECKED BY: SDC
JOB NUMBER: 2403-A
APN: 300018860001
ABINGTONTOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
7 of 8



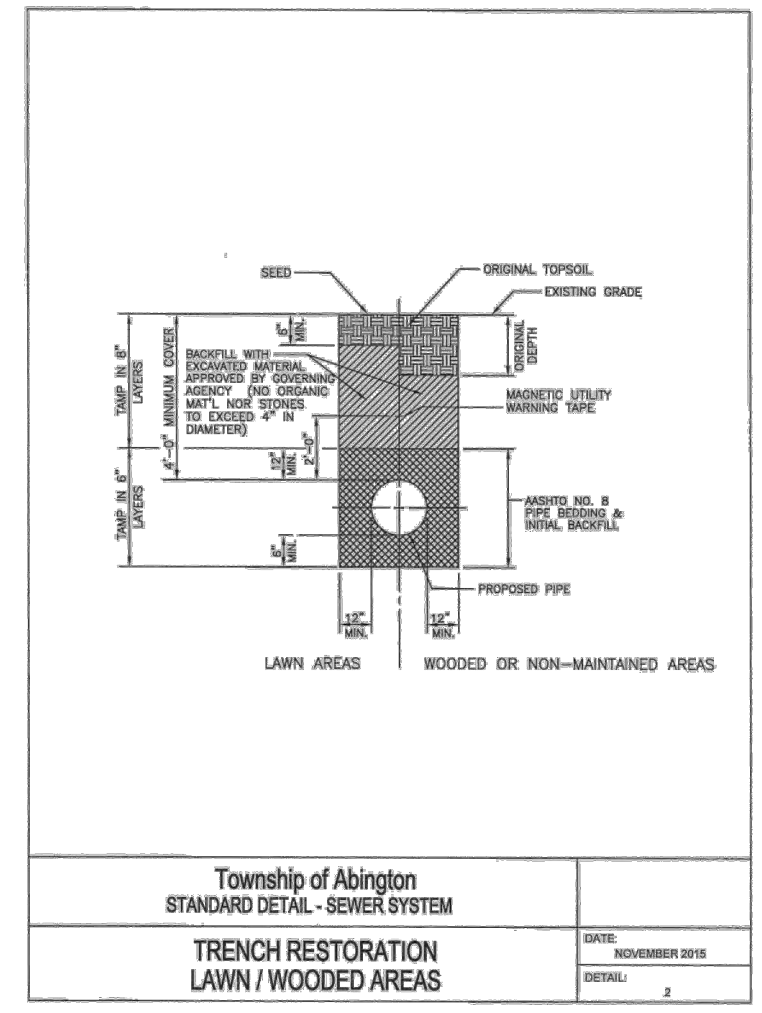
20' PRE-CAST TAPERED CONCRETE MONUMENT DETAIL
NOT TO SCALE

- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSIONED CURB, SECTION 640 FOR PLAIN CEMENT GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 3/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
 4. SEE RC-50M FOR PLAIN CURB SLOPED TOP TREATMENT AT THE END OF STRUCTURES.
 5. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.

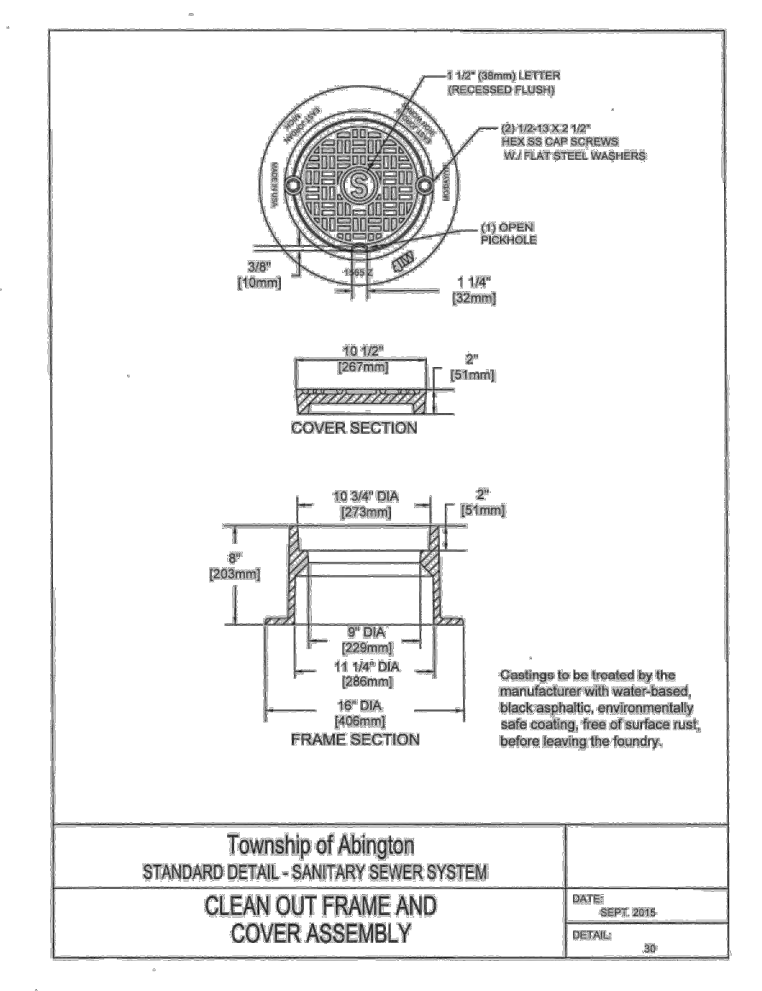
PLAIN CEMENT CONCRETE CURB
(NOT TO SCALE)



Township of Abington
STANDARD DETAIL - SEWER SYSTEM
TYPICAL BUILDING SEWER CLEANOUT ASSEMBLY

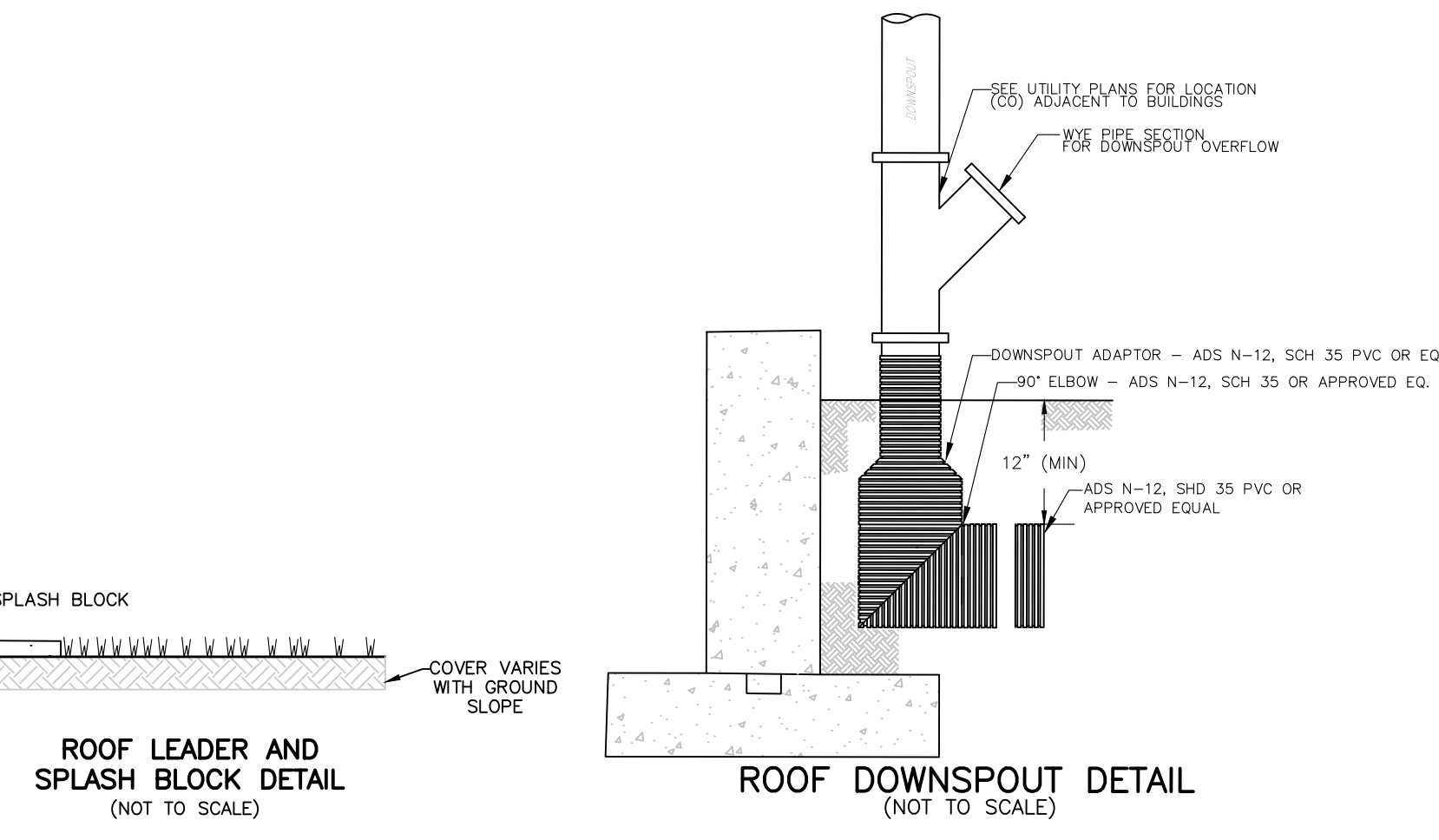


Township of Abington
STANDARD DETAIL - SEWER SYSTEM
TRENCH RESTORATION LAWN / WOODED AREAS



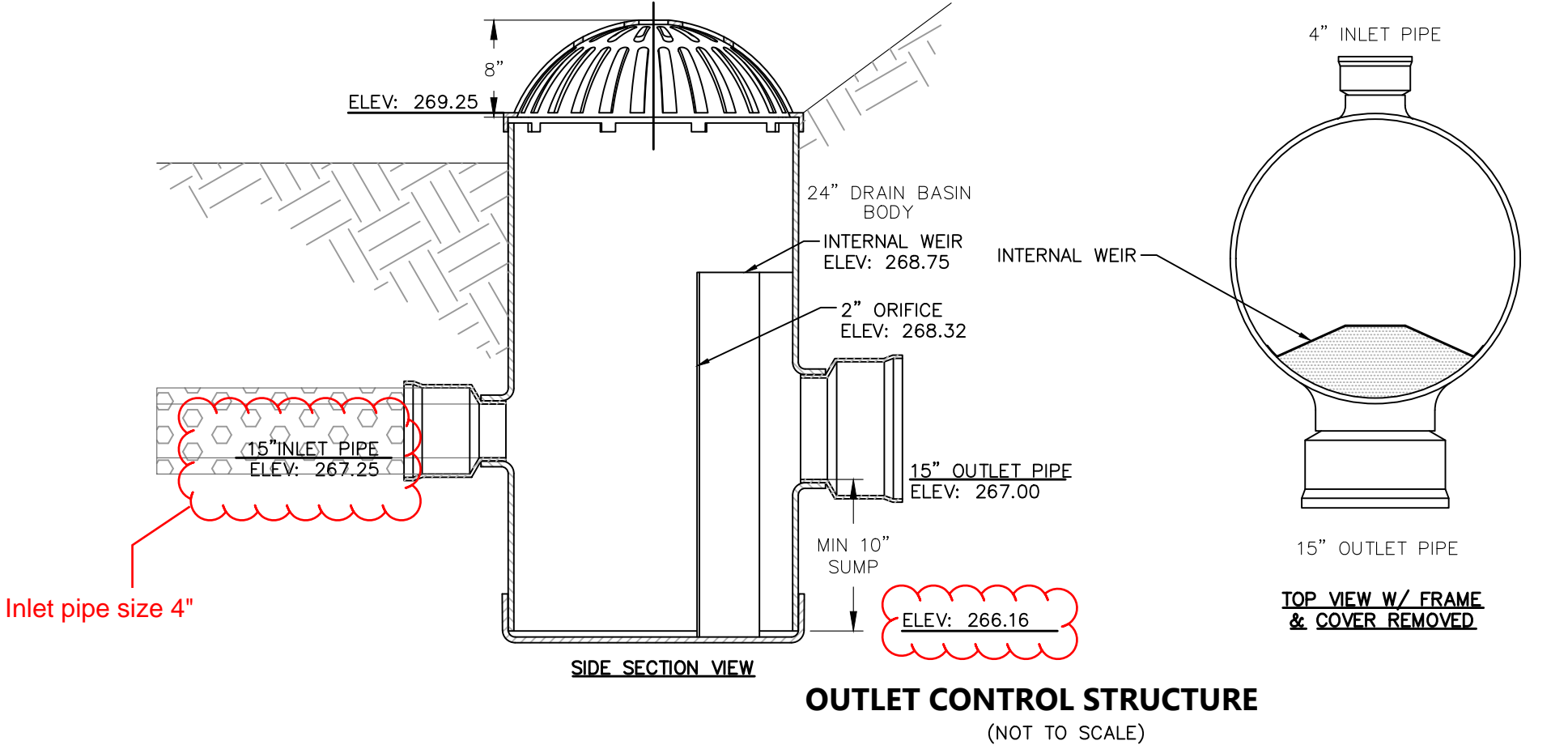
Township of Abington
STANDARD DETAIL - SANITARY SEWER SYSTEM
CLEAN OUT FRAME AND COVER ASSEMBLY

SANITARY DETAILS
(NOT TO SCALE)

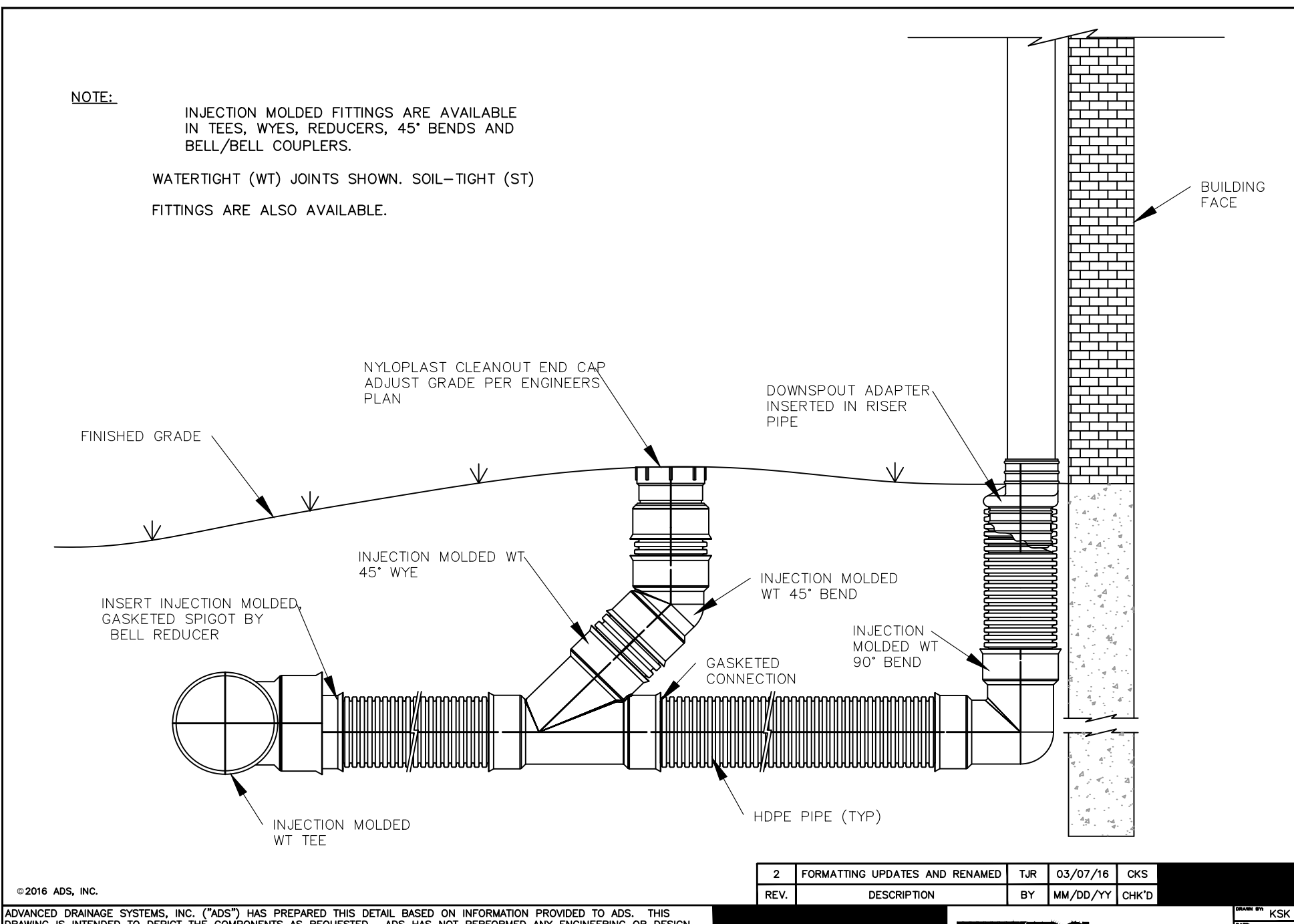


ROOF LEADER AND SPLASH BLOCK DETAIL
(NOT TO SCALE)

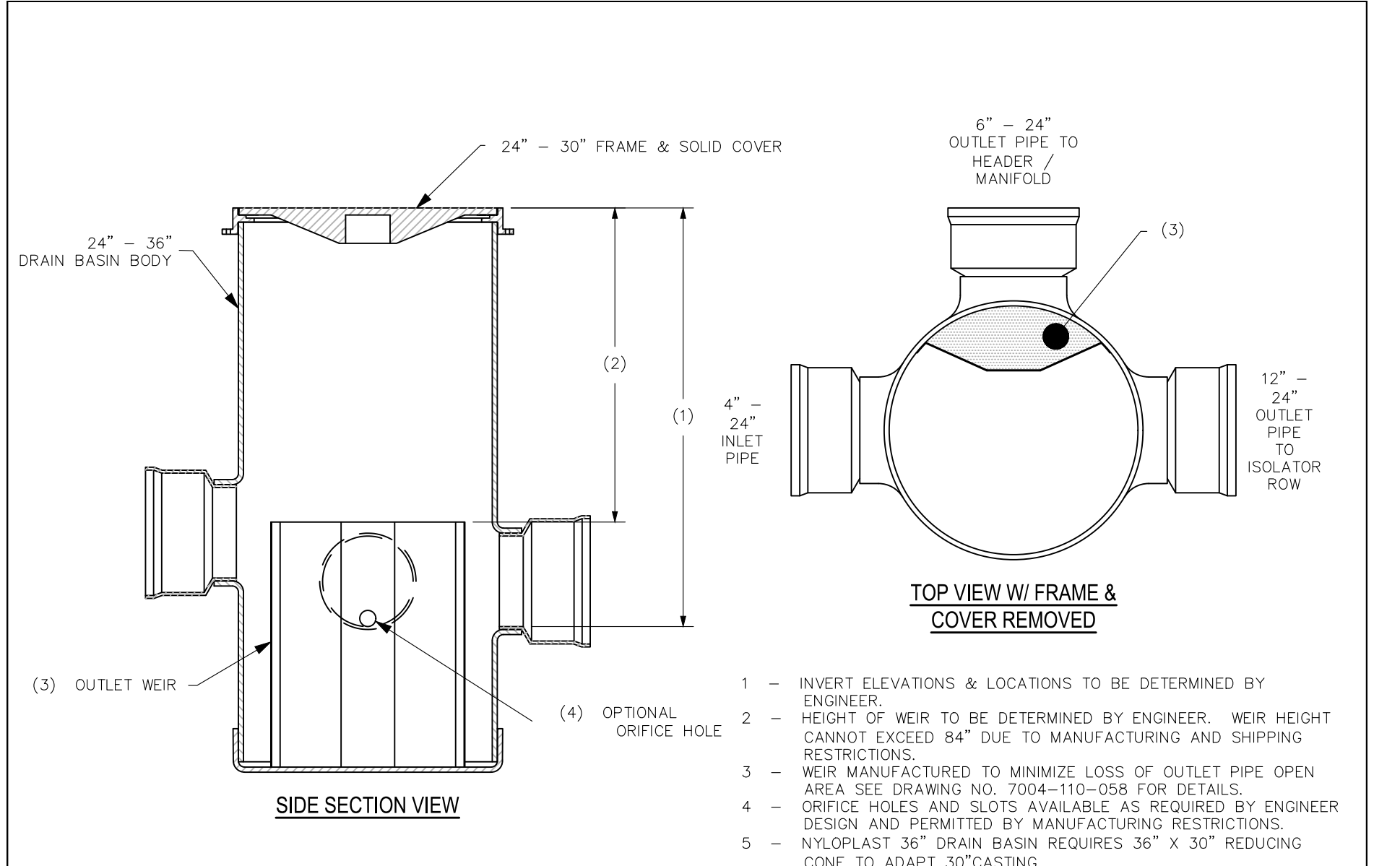
ROOF DOWNSPOUT DETAIL
(NOT TO SCALE)



OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS. WATER TIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.

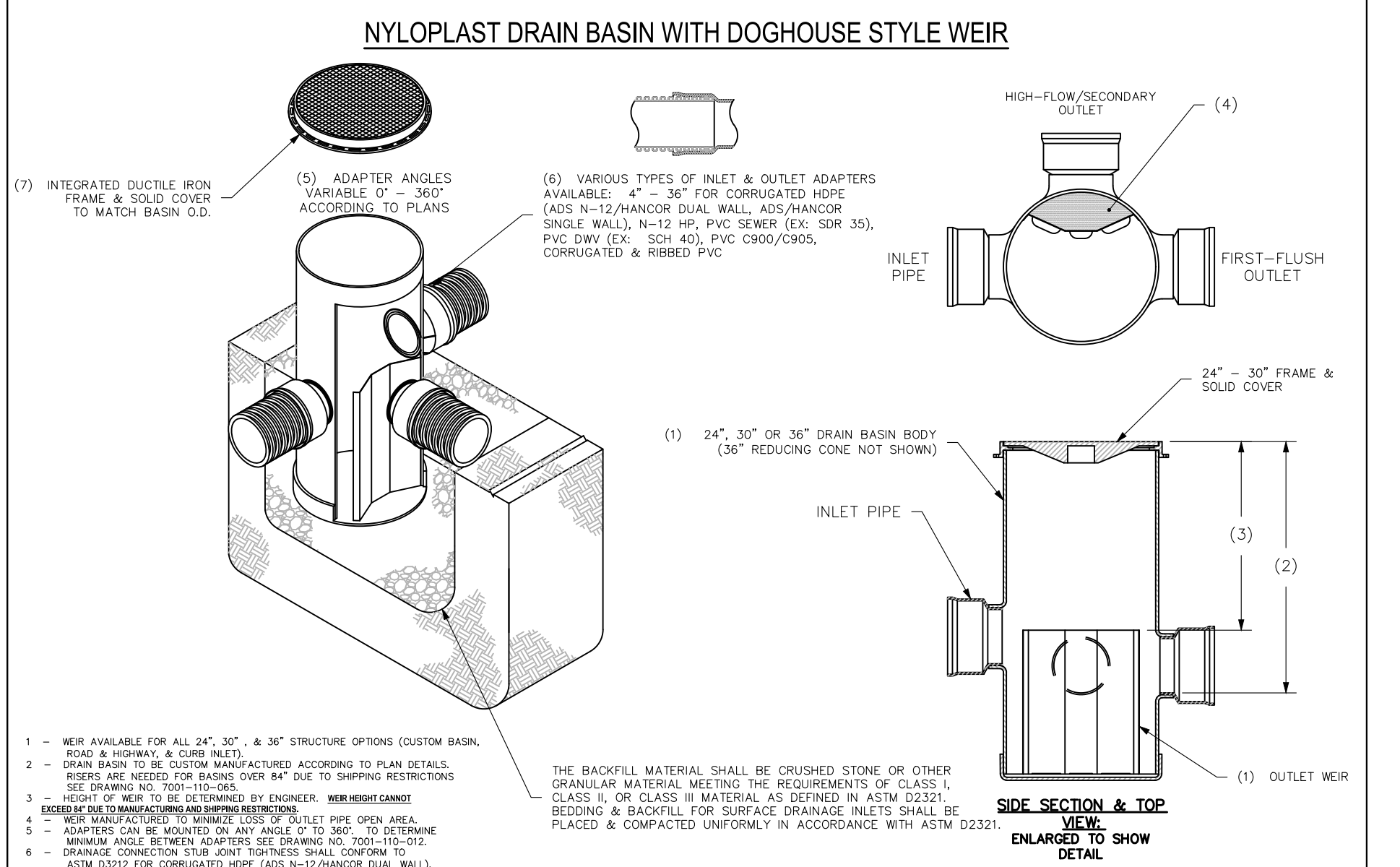


SIDE SECTION VIEW

TOP VIEW W/ FRAME & COVER REMOVED

- 1 - INVERT ELEVATIONS & LOCATIONS TO BE DETERMINED BY ENGINEER.
- 2 - HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. WEIR HEIGHT CANNOT EXCEED 84" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.
- 3 - WEIR MANUFACTURED TO MINIMIZE LOSS OF OUTLET PIPE OPEN AREA. SEE DRAWING NO. 7004-110-058 FOR DETAILS.
- 4 - ORIFICE HOLES AND SLOTS AVAILABLE AS REQUIRED BY ENGINEER DESIGN AND PERMITTED BY MANUFACTURING RESTRICTIONS.
- 5 - NYLOPLAST 36" DRAIN BASIN REQUIRES 36" X 30" REDUCING CONE TO ADAPT 30" CASTING.

DATE	09-20-20	PROJECT NO.		TITLE	TYPICAL DRAIN BASIN WITH WEIR FOR STORMWATER
DATE	09-20-20	PROJECT NO.		TITLE	TYPICAL DRAIN BASIN WITH WEIR FOR STORMWATER
DWG SIZE	A	SCALE	1:16	SHEET	1 OF 1
DWG NO.	7004-110-007	REV	G		



SIDE SECTION & TOP VIEW

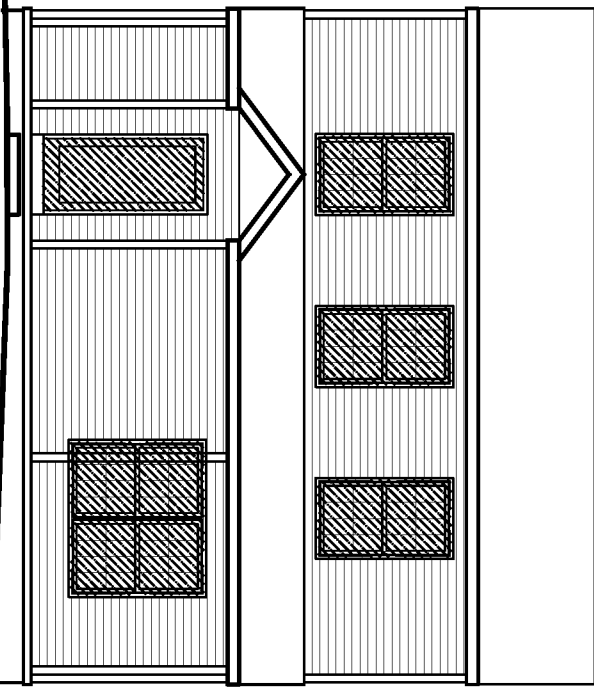
ENLARGED TO SHOW DETAIL

- 1 - WEIR AVAILABLE FOR ALL 24", 30", & 36" STRUCTURE OPTIONS (CUSTOM BASIN, ROAD & HIGHWAY, & CURB INLETS).
- 2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7004-110-058.
- 3 - HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. WEIR HEIGHT CANNOT EXCEED 84" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.
- 4 - WEIR MANUFACTURED TO MINIMIZE LOSS OF OUTLET PIPE OPEN AREA. SEE DRAWING NO. 7004-110-058 FOR DETAILS.
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE OF TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS. SEE DRAWING NO. 7004-110-058.
- 6 - DRAINAGE CONNECTOR SUB JOINT THICKNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL).
- 7 - FRAMES, GRATES, COVERS, WOODS & BASE PLATES SHALL BE DOWEL NUT FOR 3/8" X 24" GRACE TO 24" DIA. (ADS N-12/HANCOR DUAL WALL).
- 8 - 36" DRAIN BASIN REQUIRES 30" X 30" REDUCING CONE. SEE DRAWING NO. 7004-110-058.
- 9 - ADAPTERS CANNOT BE USED IN 30" WEIR STRUCTURES AS THE WEIR MAY BECOME HAZARDOUS WHILE OPERATING AND DURING THE STRUCTURE.

DATE	05-10-16	PROJECT NO.		TITLE	DRAIN BASIN WITH DOGHOUSE WEIR QUICK SPEC INSTALLATION DETAIL
DATE	10-14-20	PROJECT NO.		TITLE	DRAIN BASIN WITH DOGHOUSE WEIR QUICK SPEC INSTALLATION DETAIL
DWG SIZE	A	SCALE	1:40	SHEET	1 OF 1
DWG NO.	7004-110-008	REV	H		

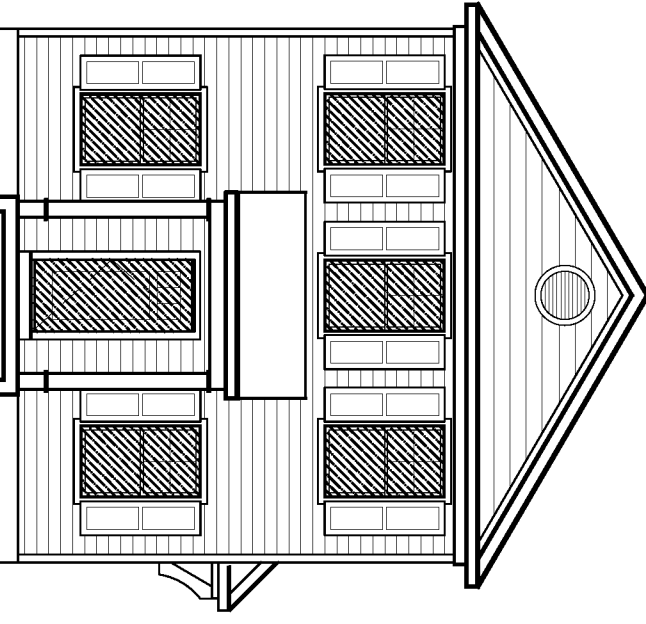
PIPE DIAM.	RECOMMENDED MINIMUM TRENCH WIDTHS		MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS*	
	MIN.	MAX.	MIN.	MAX.
4"	21"	21"	12"	18"
6"	23"	23"	12"	18"
8"	26"	26"	12"	18"
10"	28"	28"	12"	18"
12"	30"	30"	12"	18"
15"	34"	34"	12"	18"
18"	37"	37"	12"	18"
24"	48"	48"	12"	18"
30"	56"	56"	12"	18"
36"	64"	64"	12"	18"
42"	72"	72"	12"	18"
48"	80"	80"	12"	18"
60"	96"	96"	12"	18"
72"	112"	112"	12"	18"
84"	128"	128"	12"	18"
96"	144"	144"	12"	18"
108"	160"	160"	12"	18"
120"	176"	176"	12"	18"
132"	192"	192"	12"	18"
144"	208"	208"	12"	18"
156"	224"	224"	12"	18"
168"	240"	240"	12"	18"
180"	256"	256"	12"	18"
192"	272"	272"	12"	18"
204"	288"	288"	12"	18"
216"	304"	304"	12"	18"
228"	320"	320"	12"	18"
240"	336"	336"	12"	18"
252"	352"	352"	12"	18"
264"	368"	368"	12"	18"
276"	384"	384"	12"	18"
288"	400"	400"	12"	18"
300"	416"	416"	12"	18"
312"	432"	432"	12"	18"
324"	448"	448"	12"	18"
336"	464"	464"	12"	18"
348"	480"	480"	12"	18"
360"	496"	496"	12"	18"
372"	512"	512"	12"	18"
384"	528"	528"	12"	18"
396"	544"	544"	12"	18"
408"	560"	560"	12"	18"
420"	576"	576"	12"	18"
432"	592"	592"	12"	18"
444"	608"	608"	12"	18"
456"	624"	624"	12"	18"
468"	640"	640"	12"	18"
480"	656"	656"	12"	18"
492"	672"	672"	12"	18"
504"	688"	688"	12"	18"
516"	704"	704"	12"	18"
528"	720"	720"	12"	18"
540"	736"	736"	12"	18"
552"	752"	752"	12"	18"
564"	768"	768"	12"	18"
576"	784"	784"	12"	18"
588"	800"	800"	12"	18"
600"	816"	816"	12"	18"
612"	832"	832"	12"	18"
624"	848"	848"	12"	18"
636"	864"	864"	12"	18"
648"	880"	880"	12"	18"
660"	896"	896"	12"	18"
672"	912"	912"	12"	18"
684"	928"	928"	12"	18"
696"	944"	944"	12"	18"
708"	960"	960"	12"	18"
720"	976"	976"	12"	18"
732"	992"	992"	12"	18"
744"	1008"	1008"	12"	18"
756"	1024"	1024"	12"	18"
768"	1040"	1040"	12"	18"
780"	1056"	1056"	12"	18"
792"	1072"	1072"	12"	18"
804"	1088"	1088"	12"	18"
816"	1104"	1104"	12"	18"
828"	1120"	1120"	12"	18"
840"	1136"	1136"	12"	18"
852"	1152"	1152"	12"	18"
864"	1168"	1168"	12"	18"
876"	1184"	1184"	12"	18"
888"	1200"	1200"	12"	18"
900"	1216"	1216"	12"	18"
912"	1232"	1232"	12"	18"
924"	1248"	1248"	12"	18"
936"	1264"	1264"	12"	18"
948"	1280"	1280"	12"	18"
960"	1296"	1296"	12"	18"
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984"	1328"	1328"	12"	18"
996"	1344"	1344"	12"	18"
1008"	1360"	1360"	12"	18"
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1032"	1392"	1392"	12"	18"
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1068"	1440"	1440"	12"	18"
1080"	1456"	1456"	12"	18"
1092"	1472"	1472"	12"	18"
1104"	1488"	1488"	12"	18"
1116"	1504"	1504"	12"	18"
1128"	1520"	1520"	12"	18"
1140"	1536"	1536"	12"	18"
1152"	1552"	1552"	12"	18"
1164"	1568"	1568"	12"	18"
1176"	1584"	1584"	12"	18"
1188"	1600"	1600"	12"	18"
1200"	1616"	1616"	12"	18"
1212"	1632"	1632"	12"	18"
1224"	1648"	1648"	12"	18"
1236"	1664"	1664"	12"	18"
1248"	1680"	1680"	12"	18"
1260"	1696"	1696"	12"	18"
1272"	1712"	1712"	12"	18"
1284"	1728"	1728"	12"	18"
1296"	1744"	1744"	12"	18"
1308"	1760"	1760"	12"	18"
1320"	1776"	1776"	12"	18"
1332"	1792"	1792"	12"	18"
1344"	1808"	1808"	12"	18"
1356"	1824"	1824"	12"	18"
1368"	1840"	1840"	12"	18"
1380"	1856"	1856"	12"	18"
1392"	1872"	1872"	12"	18"
1404"	1888"	1888"	12"	18"
1416"	1904"	1904"	12"	18"
1428"	1920"	1920"	12"	18"
1440"	1936"	1936"	12"	18"
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1476"	1984"	1984"	12"	18"
1488"	2000"	2000"	12"	18"
1500"	2016"	2016"	12"	18"
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1656"	2224"	2224"	12"	18"
1668"	2240"	2240"	12"	18"
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1704"	2288"	2288"	12"	18"
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1800"	2416"	2416"	12"	18"
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1824"	2448"	2448"	12"	18"
1836"	2464"	2464"	12"	18"
1848"	2480"	2480"	12"	18"
1860"	2496"	2496"	12"	18"
1872"	2512"	2512"	12"	18"
1884"	2528"	2528"	12"	18"
1896"	2544"	2544"	12"	18"
1908"	2560"	2560"	12"	18"
1920"	2576"	2576"	12"	18"
1932"	2592"	2592"	12"	18"
1944"	2608"	2608"	12"	18"
1956"	2624"	2624"	12"	18"
1968"	2640"	2640"	12"	18"
1980"	2656"	2656"	12"	18"
1992"	2672"	2672"	12"	18"
2004"	2688"	2688"	12"	18"
2016"	2704"	2704"		

OPENINGS-TO-WALLS RATIO: 23.8% FENESTRATION



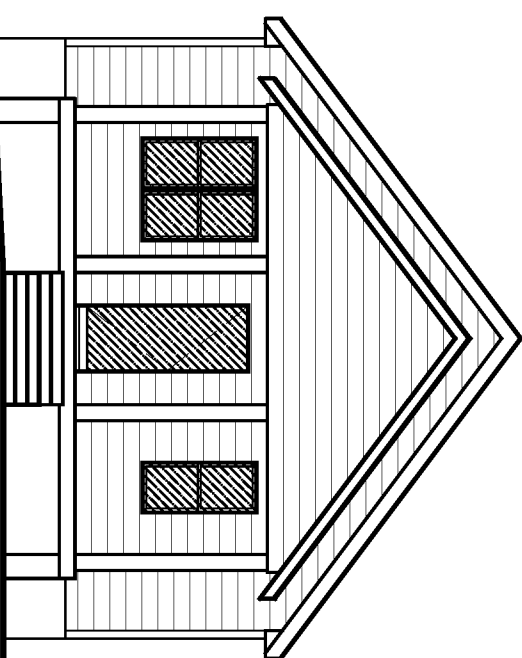
1514 FAIRVIEW AVENUE

REFERENCE HOUSES AVERAGE RATIO = 18.4%
PROPOSED OPENINGS-TO-WALLS RATIO = 18.2%



1526 FAIRVIEW AVENUE

OPENINGS-TO-WALLS RATIO: 13.3% FENESTRATION

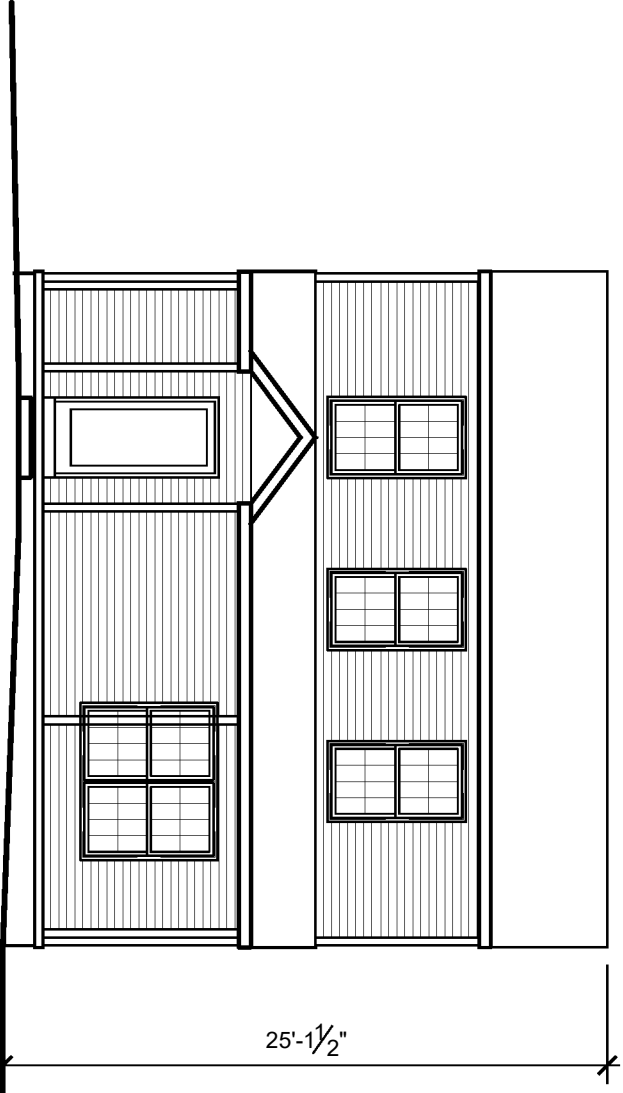


1526 FAIRVIEW AVENUE

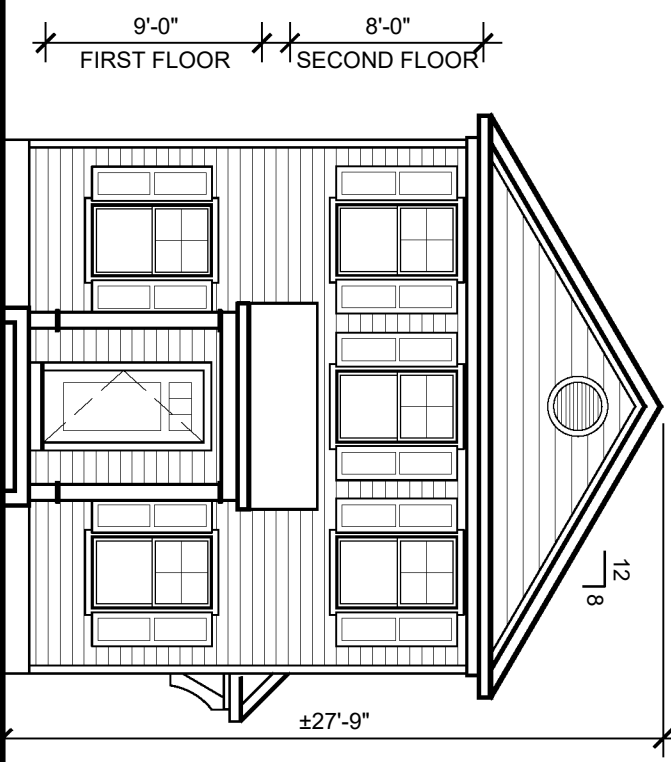
1 H-7 INFILL DEVELOPMENT OPENINGS-TO-WALLS RATIO REQUIREMENT

SCALE: 1/8" = 1'-0"

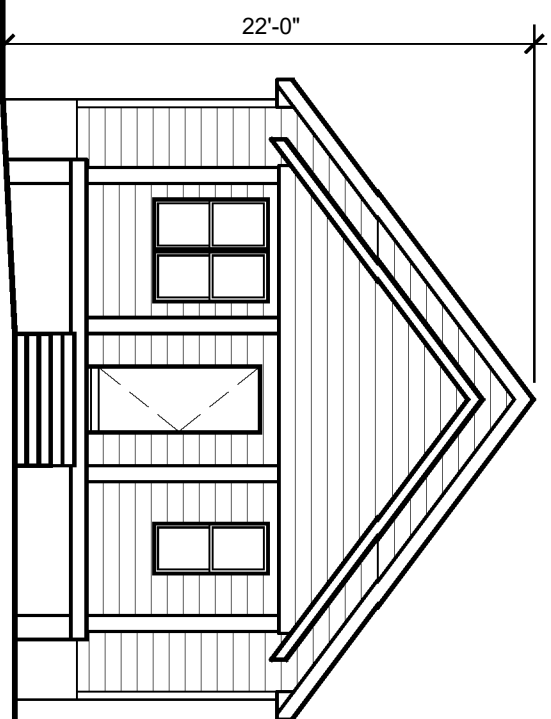
REFERENCE HOUSES AVERAGE HEIGHT = 23'-6"
20% TOLERANCE ABOVE AVERAGE = 28'-2"



1514 FAIRVIEW AVENUE



1526 FAIRVIEW AVENUE



1526 FAIRVIEW AVENUE

2 H-7 INFILL DEVELOPMENT HEIGHT REQUIREMENT

SCALE: 1/8" = 1'-0"

REV.#	REV. Date	REV. Notes
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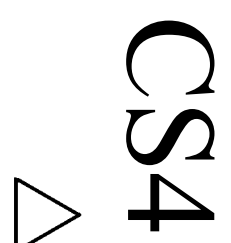
Do not scale drawings

PA Registration: RA015197X

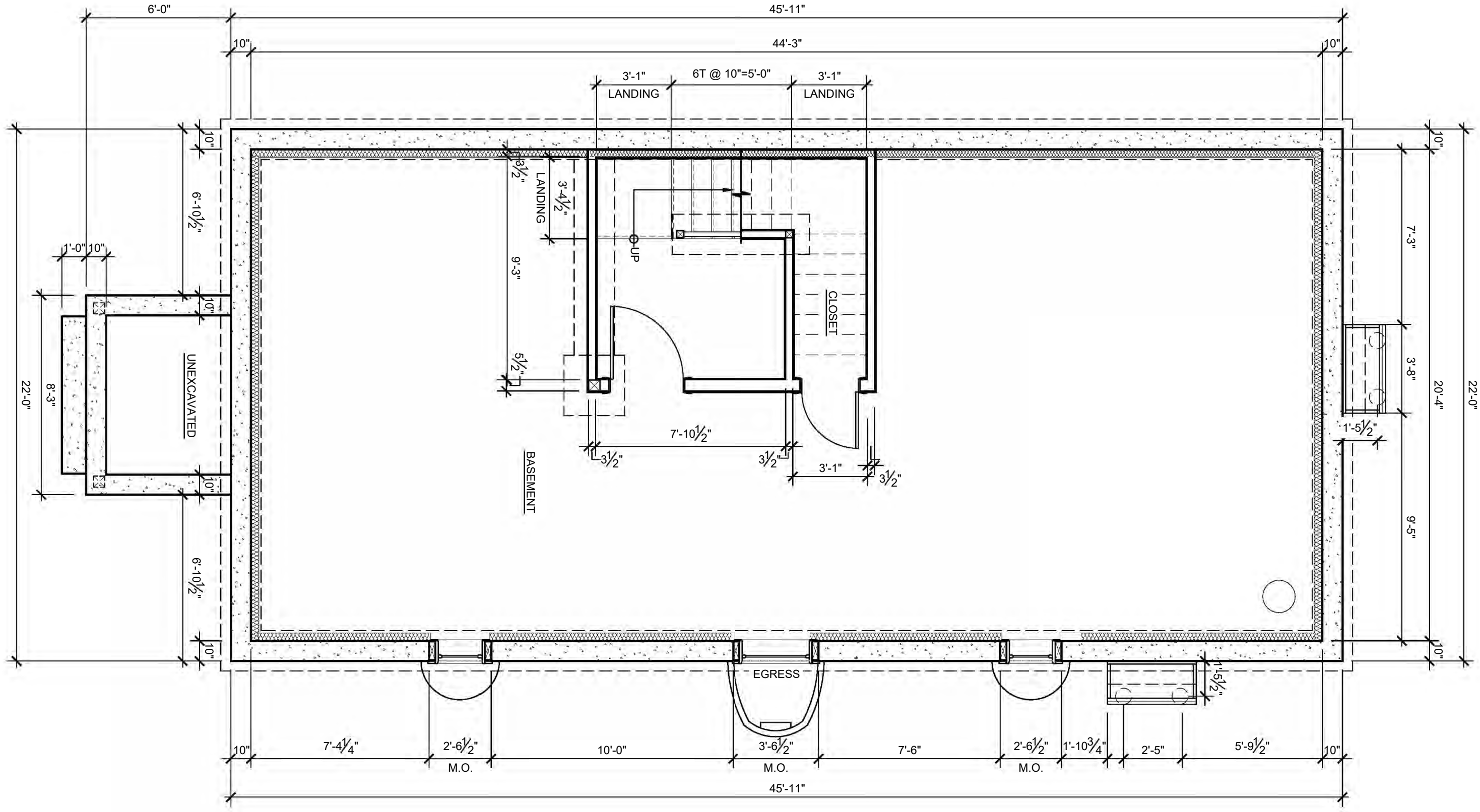
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30 MAY 2025 - PROGRESS

PROJECT NO: 024 099
DRAWN BY: CSY
DATE:
SCALE: AS NOTED

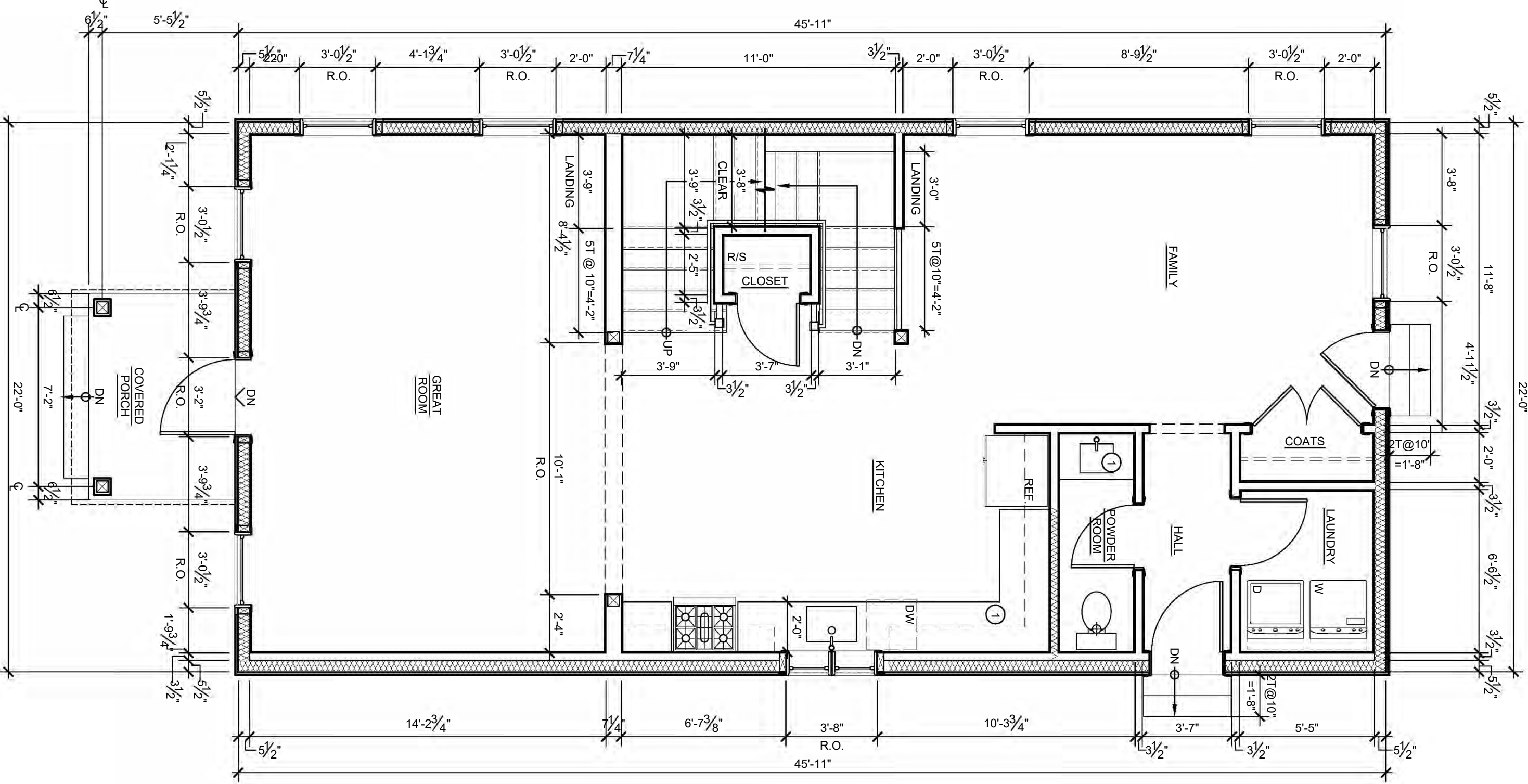
ABH Builders, Inc
NEW SINGLE FAMILY HOUSE
1526 FAIRVIEW AVE
WILLOW GROVE, PA 19090
DEVELOPMENT REQUIREMENTS



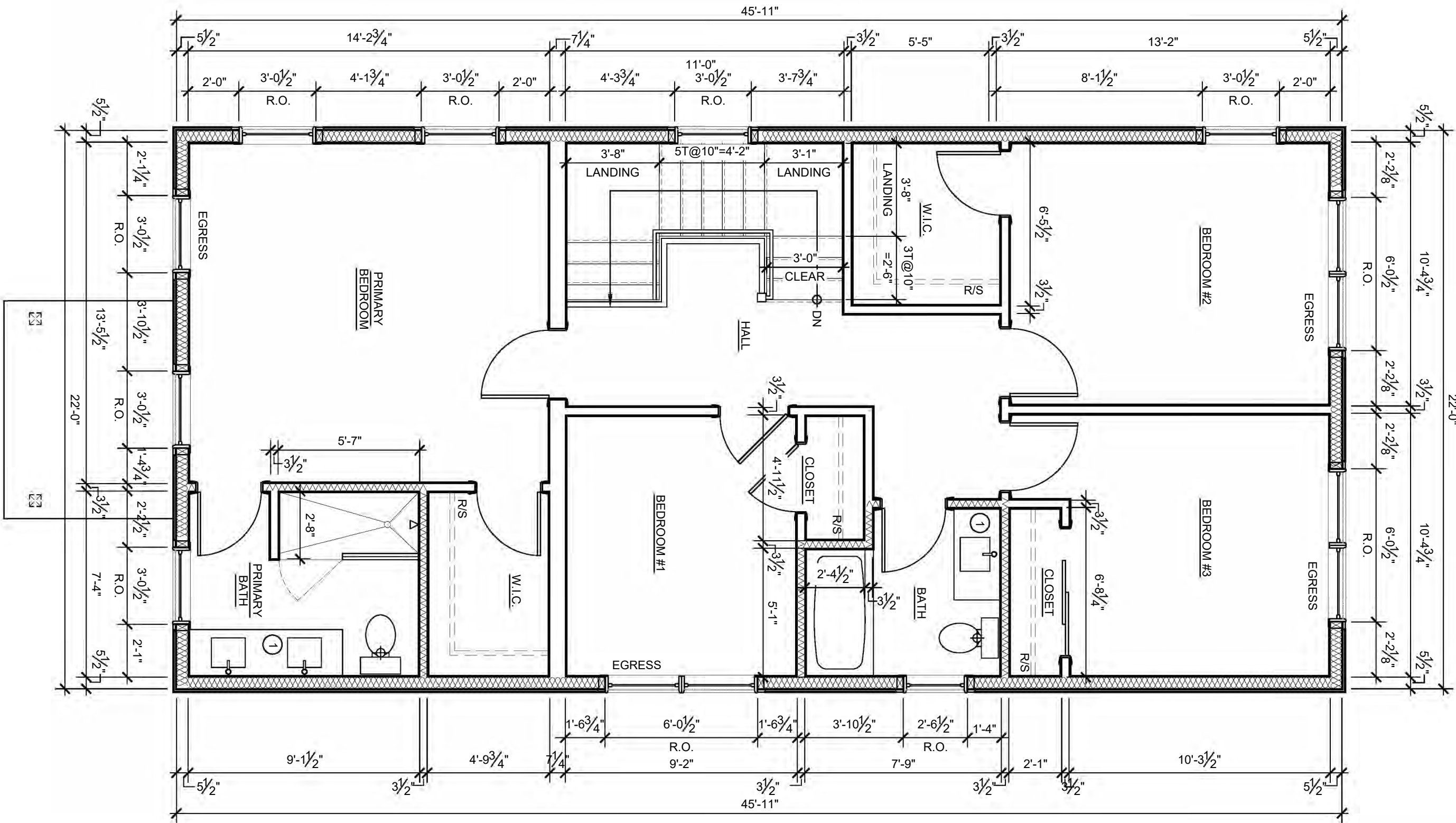
1 BASEMENT FLOOR
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR
SCALE: 1/4" = 1'-0"



ABH Builders, Inc
NEW SINGLE FAMILY HOUSE
1526 FAIRVIEW AVE
WILLOW GROVE, PA 19090
FLOOR PLANS

PROJECT NO: 024 099
DRAWN BY: CSY
DATE:
SCALE: AS NOTED

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REV.#	REV. Date	REV. Notes



March 31, 2025

ABINT130042

Mr. Christopher S. Christman, Township Manager
Abington Township
1176 Old York Road
Abington, PA 19001

**RE: LD-25-01 – 1526 Fairview Avenue
PARID: 30-00-18860-00-1/ TMID: 30196 017
Preliminary Minor Subdivision & Land Development Plans Review (1st Submission)**

Dear Mr. Christman:

We have received a copy of the "Preliminary Minor Subdivision and Land Development Plans" consisting of eight (8) sheets dated February 14, 2025, as well as a Post Construction Stormwater Management report, dated February 14, 2025; as prepared by Van Cleef Engineering Associates, LLC, located at 501 North Main Street, Doylestown, PA, for the above referenced project on behalf of the Applicant Arthur B. Herling III of ABH Builders, Inc. The application was deemed completed on February 21, 2025.

This project is located within the R4 – High Density Residential Zoning District. The site is fronted by Fairview Avenue to the east; a commercial property zoned within the MSH – Main Street High Density zoning district to the north; and residential properties zoned within the R4 – High Density Residential Zoning District in all other directions.

Under this submission, the Applicant is proposing to subdivide the existing 13,696 SF (0.321 acres) lot into two (2) new lots as follows:

- Lot 1 – will consist of a 7,500 SF lot fronting Fairview Avenue and will be comprised of a new single-family detached dwelling, asphalt driveway, concrete walkway, and a raingarden.
- Lot 2 – will consist of a 6,469 SF lot fronting Fairview Avenue and will be comprised of the existing single-family detached dwelling unit. No improvements to Lot 2 are proposed as part of this application.

In accordance with the FEMA, Flood Insurance Rate Map (FIRM) Panel No.42091C0294G, effective March 2, 2016, and Panel No.42091C0313G, effective March 2, 2016, the tract is identified to be primarily located within Zone X, an area outside the 0.2% chance flood and minimal flood hazard. Therefore, based on the FEMA FIRM determination, this site is not located within the Floodplain Conservation District, and is therefore not subject to the floodplain regulations of the Floodplain Conservation District. In addition, per the Abington Township Riparian Corridor Analysis Map, Figure 15.2, this parcel is not located within and intersecting the Riparian Corridor; and is not subject to the regulations of the Riparian Corridor Conservation District.

There are no existing precautionary (slopes of 15% to 25%) and prohibited (slopes of 25% and up) steep slopes on the site as shown on the Existing Features/Demolition Plan (Sheet 2); and therefore, the site will not be considered within the Steep Slope Conservation Overlay District, and the site is not subject to the Steep Slope Conservation Overlay District requirements. In addition, since the site is not located within the R1 – Low Density District, the site will not be subject to the Land Preservation District Overlay requirements.

VARIANCES RECEIVED

The Applicant has been granted the following variances by the Zoning Hearing Board at their regularly scheduled meeting held on November 19, 2024, Application number 24-62:

1. A variance from Ordinance 602 Figure 6.1 to allow a minimum lot area of 6,469 SF; and
2. A variance from Ordinance 602 Figure 6.1 to allow a front yard setback of 8.6 feet for the existing dwelling located on the subject property.

The variances have been granted subject to the following conditions:

1. All construction upon and use of the subject property shall be in substantial conformance with the testimony, exhibits, and other evidence presented at the Public Hearing.

The condition of approval for the above variances shall be included on the Record Plan (Sheet 1).

WAIVERS REQUESTED

The Applicant is requesting the following waivers from the Abington Township Subdivision and Land Development Code as indicate in the waivers request letter dated February 14, 2025:

1. **Per §146-11.A.(4) & §146-11.B.(3) – Property Identification Plans & Existing Features Plan** – A waiver to provide only the existing features around the proposed property when existing features within 400 feet of the site are required.
2. **Per §146-11.A.(7) & §146-11.D.(4) – Existing Features Plan** – A wavier to not provide an indication of the vertical datum to the Sanitary Sewer Datum of the Township of Abington.
3. **Per §146-27.(1) – Sidewalks and Curbs** – A wavier to not provide sidewalks along Fairview Avenue frontage when sidewalk is required.
4. **Per §146-33.G – Inlets** – A waiver to not provide city No. 1 inlets for storm sewers when they are required.

This waiver request shall be revised on the waiver request letter and the Record Plan (Sheet 1) to indicate the correct Code Section of §146-33.G instead of “§146-33(7)” which does not exist in the current SALDO code.

5. **Per §146-35.C.(1) – Laterals** – A waiver to not provide sanitary sewer service by gravity to a dwelling basement when sanitary sewer service from a basement is required.

This waiver request shall be revised on the waiver request letter and the Record Plan (Sheet 1) to indicate the correct Code Section of §146-35.C.(1) instead of “§146-35(3)(A)” which does not exist in the current SALDO code.

The following documents have been reviewed:

Title	Sheet	Dated	Revised
Land Development Plans			
Record Plan	1 of 8	02/14/25	---
Existing Conditions Plan	2 of 8	02/14/25	---
Grading and Utility Plan	3 of 8	02/14/25	---
Stormwater Plan and Profile	4 of 8	02/14/25	---
Erosion and Sediment Control Plan	5 of 8	02/14/25	---
Landscape Plan	6 of 8	02/14/25	---
Erosion and Sediment Control Notes and Details	7 of 8	02/14/25	---
Construction Details	8 of 8	02/14/25	---
Stormwater Management			
Stormwater Management Narrative & Calculations	15 Pages	02/14/25	---

We have performed a review of the above referenced plans for compliance with the Zoning Ordinance (Chapter 162); Subdivision and Land Development Ordinance (Chapter 146); and Stormwater Management Ordinance (Chapter 142). We offer the following comments for your consideration:

ZONING COMMENTS

1. **Per §301 – Permitted Uses** – In accordance with the Abington Township Comprehensive Use Matrix, the Existing and proposed uses are as follows:

- **Existing and Proposed Use H-7 – Single-Family Detached Dwelling Unit** – The Applicant is proposing to subdivide the existing tract into two (2) new lots to construct one (1) new single-family detached dwelling with no change to the existing H-7 – Single-Family Detached Dwelling use. Based on the Comprehensive Use Matrix, a Use H-7 – Single-Family Detached Dwelling is a permitted use within the R-4 – Low Density Residential Zoning District.

2. **Per §602 Figure 6.1 – Dimensional Regulations** – The maximum building height shall be 35 feet. The maximum building length shall be 100 feet.

Based on our measurements of the Architectural Plans provided, the height and length of the proposed dwellings will be approximately 24 feet high and 52 feet long, respectively, which complies with the building height and length requirements. The Applicant shall revise the Zoning Data Table on the Site Plan (Sheet 1) to show the actual proposed building height and length to clarify and ensure compliance with this Code Section.

3. **Per 2103.H Use H-7.4.c.(2)– Infill Development** – The build-to-line of the new home must be equal to the average of the front yards of the two reference houses (the build-to-line for the new home may be adjusted up to 5 feet from the average to provide some flexibility).

Since the building envelope is closer than 200 feet from either of the reference houses, the build-to line of the proposed dwelling must be equal to the average of the front yards of the reference houses. The plan provided does not show the reference house to the southwest. The existing dwelling footprint for the reference property to the southwest shall be provided on the plan to confirm compliance with this Code Section. Based on our measurements, the reference dwelling to the southwest has a front yard setback of approximately 25.5 feet, and the reference dwelling to the northeast has a front yard setback of 8.6 feet. The average of these 2 reference dwellings is approximately 17 feet. The Applicant is proposing a 20-foot front yard setback for this dwelling which is within the permitted 5 foot variability from the average front yard setback.

4. **Per 2103.H Use H-7.4.c.(3)– Infill Development** – The ratio of openings to walls (including doors and windows, but not garage doors) should be within 20% of the average of that of the two reference houses.

A ratio of 18.26% of openings to walls is provided for the new infill dwelling. The openings to walls ratios for both reference dwellings shall also be provided to ensure the infill dwelling ratio is within 20% of the average of the two reference houses.

5. **Per 2103.H Use H-7.4.c.(4)– Infill Development** – The building footprint shall be within 20% of the average of the two reference houses.

The building footprint area for the proposed infill development is 1,139 SF and the building footprint for the reference dwelling to the northeast is 916 SF. The building footprint area for the reference dwelling to the southwest shall be provided to ensure the infill dwelling complies with the requirement of this Code Section.

6. **Per 2103.H Use H-7.4.c.(5)– Infill Development** – The height of the new home shall be within 20% of the average of the reference houses, but not higher than the maximum height for the district.

The building height for the proposed infill development is 24 ft based on measurement of the architectural plans provided. The building heights for both of the reference dwellings shall be provided to ensure the infill dwelling complies with the requirement of this Code Section.

7. **Per 2401.A.2.d.(1).(c)– Preservation of Existing Vegetation** – Each mature tree with a 10-inch caliper or greater on the site shall be designated either “TO REMAIN” or “TO BE REMOVED” in accordance with the following criteria.

Each mature tree with a 10-inch caliper or greater shall be clearly shown on the plans and indicated if these trees are to remain or to be removed on the Existing Features and Demolition Plan (Sheet 2).

8. **Per 2401.A.2.d.(1).(f)– Mature trees** – A mature tree or tree mass shall be considered “TO REMAIN” only if it fits all of the following criteria: The outermost branches of the tree(s) are at least five feet from any proposed buildings, structures, paving, parking, or utilities (overhead or underground); The outermost branches of the tree(s) are at least five feet from any proposed changes in grade or drainage such as excavations, mounding, or impoundments; The tree(s) are clear of any proposed sight triangles and do not, by their location or apparent health, pose any undue threat to the health, safety, and welfare of the community; Mature trees or tree masses that do not fit the above criteria shall be designated “TO BE REMOVED.” These trees will be removed in the field during the construction process.

Any existing mature tree labeled “TO REMAIN” shall comply with the requirement of this Code Section.

9. **Per §2601.P.4. – Street and Driveways**– No driveway shall be more than 20 feet wide.

Based on our measurements of the Site Plan provided, the proposed driveways will be approximately 20 feet wide, which complies with the requirement of this code section; however, the Applicant shall show the width of the proposed driveways to clarify and confirm compliance with this code section.

CHAPTER 146
SUBDIVISION & LAND DEVELOPMENT COMMENTS

10. **Per §146-9.A & B – Type of Application** – A plan shall be either preliminary or final stage and shall be a minor or major plan submission.

The Application submitted by the Applicant is indicating a minor land development submission, but no stage has been selected. In addition, no plan type header was provided with the subdivision plans. Based on the improvements proposed, the project would qualify as a major land development since public improvements within the right-of-way are proposed with a new driveway cut, new storm pipe connection, and tie into the existing sanitary lateral beneath the road which are within the Fairview Avenue public right-of-way. A major plan is a plan for subdivision or land development, which will require a two-stage approval process because public improvements are proposed or because subdivision is occurring simultaneously with land development. If the Applicant wishes to seek a one stage approval process, the Applicant will need to request a waiver from this code section for approval of a one stage approval process in lieu of a two stage approval process.

11. **Per §146-10.B.(2).(a) – Plan Information Requirements** – The name of the subdivision or land development plan

The name of the subdivision or land development plan shall be added to each sheet of the plan. The plan shall also reference land development plan application no. "LD-25-01" on the plan sheets.

12. **Per §146-10.B.(2).(b) – Plan Information Requirements** – The name, address, seal and signature of the engineer, surveyor, architect or landscape architect responsible for preparing and drafting the plan.

The seal and signature of the engineer of record shall be provided to each of the plan sheets.

13. **Per §146-10.B.(2).(g) – Plan Information Requirements** – A legend clearly indicating the engineering symbols utilized in drafting and depicting all existing and proposed features.

The "existing water valve" symbol in the diagram does not match the symbol in the legend (Sheets 2 thru 6). The legends and/or diagrams shall be revised to ensure that this feature, as well as all others, are correctly labeled.

14. **Per §146-10.B.(5) – General Standards** – The submission type as set forth in §146-9D shall be indicated on the plan sheets, and all preliminary sheets shall be marked "not to be recorded."

The submission type as indicated in §146-9 shall be shown on all plan sheets.

15. **Per §146-11.A.(7) – Property Identification Plans** – The property identification plans shall provide an indication that the elevations are based upon sanitary sewer datum of the Township of Abington.

A note shall be provided on the plans which indicates the vertical elevation based on the sanitary sewer datum of the Township of Abington.

16. **Per §146-11.B.(2) – Existing Features Plan** – The existing features plan shall contain the location, names, and widths of all streets, whether including right-of-way, cartway, or center line.

The cartway width of Fairview Avenue shall be provided on the plans.

17. **Per §146-11.B.(7) – Existing Features Plan** – The existing features plan shall contain the location, size, and ownership of all underground and above ground public or private utilities, on the site and within 400 feet of any portion of the site, including waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights.

The utility information has been provided for only the properties immediately surrounding the parcel, and not the entire 400 feet distance per this Code Section. The plan shall be revised to show all utilities

within 400 feet of all parts of the site; otherwise, the Applicant shall be required to obtain a waiver from this Code Section.

18. **Per §146-11.D.(7) – Grading Plans** – The grading plans shall show the delineation of the limits of work areas and the portions to remain undisturbed.

A limit of disturbance area shall be delineated and called out on the Grading and Utilities Plan (Sheet 3).

19. **Per §146-11.H.(1) – Landscape Plan** – The landscape plan shall be prepared by a registered landscape architect.

The Landscape Plan (Sheet 9) shall be prepared by a registered landscape architect. The signature and seal of that registered landscape architect shall be provided on the plans.

20. **Per §146-12.B – Record Plan Seals** – The impressed seal of the Township Engineer shall be provided on the record plan.

Sufficient room for the signature and seal of the Township Engineer shall be provided above the Township engineer's approval line to ensure no text overwrites with the engineers seal.

21. **Per §146-33.C – Drainage** – Wherever practical, storm drains shall be located behind the curb and within the right-of-way of the street. They shall be protected by a cover of at least 24 inches.

Based on the profile provided, there are portions where the cover over the proposed storm pipe is only approximately 1.33 feet. The storm pipe and grading shall be revised to provide a minimum 2 feet of cover; otherwise, a waiver from this Code Section would be required.

22. **Per §146-37 – Utilities** – All water mains, gas mains, electric, telephone and other communication services shall be located underground; and such facilities shall be installed prior to street paving. Electric, telephone and communication service facilities, both main and service lines, shall be provided by underground cables installed in accordance with the prevailing standards and practices of the utility or other companies providing such services except where it is demonstrated to the satisfaction of the Board of Commissioners that the underground installation herein required is not feasible because of the physical condition of the lands involved. All main underground cables which are within the right-of-way of a street shall be located as specified by the Board of Commissioners.

The above note shall be provided on the Grading and Utility Plan (Sheet 3).

23. **Per §146-31 – Fire Prevention Requirements for Buildings and Building Groups** – The Abington Township Fire Marshal shall approve the location of all fire hydrants and connections thereto.

No fire hydrant is proposed as part of this project. There is an existing fire hydrant located at the intersection of Fairview Avenue and Washington Avenue. We defer to the Fire Marshal if this location is adequate to service the proposed dwelling, or if an additional fire hydrant installation would be required.

24. **Per §146-43.C.(3)(a) – Excavation and Fills** – Cut and fill slopes shall not be 15% or steeper, except as approved by the Township Zoning Hearing Board.

There are grades of 33% proposed around the raingarden for this project. The grades shall be revised to be 15% or less; otherwise, a waiver from this Code Section would be required.

**CHAPTER 142
STORMWATER MANAGEMENT COMMENTS**

- 25. **Per §142-Attachment 1 – Watershed Map Figure 1.03** – Based on Figure 1.03, the proposed site in the Wissahickon Creek, Area W watershed.

Based on Figure 409.1W, Area W Management District Watershed Map, the site is located within District B of the Wissahickon Creek Watershed. Based on §142-409.A.1.(b) and §142-409.C.(1).(b) Table 409.1W the following reductions are required in the subareas:

Area P District B Proposed Storm	Reduced To	Existing Storm
2-year		1-year
5-year		2-year
10-year		5-year
25-year		10-year
50-year		25-year
100-year		50-year

A table showing the pre-development flows and the post development flows shall be provided in the PCSM Report to ensure the required reductions are being met for the site.

- 26. **Per §142-106.C.(1) – Table 106.W** – Since this project is proposing approx. 1,863 SF of new impervious area on Lot 1 and a limit of disturbance of less than 5,000 SF, this site will be required to follow Article III SWM Site Plan Requirements; §142-404 Nonstructural Project Design; §142-405 Groundwater Recharge; §142-406 Water Quality Volume Control Requirements; and §142-408 Stream Bank Erosion Requirements.

As part of this Land Development, the Applicant is proposing a raingarden located on Lot 1 to capture the proposed runoff from the new impervious surfaces.

- 27. **Per §142.302.B.(1).(m) – SWM Site Plan Requirements** – The following signature block for the Township shall be provided on the PCSM Plan:

“(Municipal official or designee), on this date (date of signature), has reviewed and hereby certifies that the SWM site plan meets all design standards and criteria of the Municipal Ordinance No. _____.”

- 28. **Per §142.302.B.(2).(a) – SWM Site Plan Requirements** – The Applicant shall prepare an existing resource and site analysis map (ERSAM) showing environmentally sensitive areas including, but not limited to, steep slopes, ponds, lakes, streams, wetlands, hydric soils, vernal pools, stream buffers, floodplains, hydrologic soil groups, closed topographic depressions and recharge areas. Land development, existing recharge areas, and any other requirements specifically outlined in the municipal SALDO also shall be included.

The provided ERSAM plan shall be revised to show the information as indicated per this code section. The Applicant may wish to rename the “Existing Features/Demolition Plan” to the “Existing Features, ERSAM Plan, and Demolition Plan” and provide the information required above on this plan to avoid adding additional sheets to the plan set.

- 29. **Per §142.302.B.(2).(b).[9] – SWM Site Plan Requirements** – The SWM site plan shall include an O&M plan in accordance with §142-702 of this chapter, for all existing and proposed physical stormwater

management facilities. This plan shall address long-term ownership and responsibilities for O&M as well as schedules and costs for O&M activities.

An O&M schedule and notes shall be provided on the Stormwater Plan (Sheet 5) for the proposed raingarden facility.

30. **Per §142.302.B.(2).(b).[22] – SWM Site Plan Requirements** – The PCSM Plan shall include a 15-foot-wide easement around all stormwater management facilities to provide ingress and egress from a public right-of-way.

A 15-foot-wide easement around the proposed raingarden and storm pipe shall be provided to allow access from Fairview Avenue. The metes and bounds of this easement shall be provided on the plans. If the Applicant does not wish to provide this 15-foot-wide easement, a stormwater blanket easement covering the entire site may be proposed. A description of this stormwater easement shall be provided for review and approval.

31. **Per §142.302.B.(2).(b).[25] – SWM Site Plan Requirements** – The PCSM Plan shall include a statement, signed by the Applicant, acknowledging that any revision to the approved drainage plan must be approved by the Municipality, and that a revised erosion and sediment control plan must be submitted to the Municipality or Conservation District for approval.
32. **Per §142.302.B.(2).(b).[26] – SWM Site Plan Requirements** – The following signature block for the design engineer shall be included on the PCSM Plan:

"I, (Design Engineer), on this date (date of signature), hereby certify that the drainage plan meets all requirements of the Department of Environmental Protection's (DEP's) regulations and this chapter."

33. **Per §142-303.A.(1)– Plan Submission** – Proof of application or documentation of a National Pollutant Discharge Elimination System (NPDES) shall be provided

Since this project will not be disturbing more than one (1) acre of land, a NPDES Permit would not be required.

34. **Per §142-308.A – As-Built Plans, Completion Certificate, and Final Inspection** – The developer shall be responsible for providing as-built plans of all SWM BMPs included in the approved SWM site plan. The as-built plans and an explanation of any discrepancies with the construction plans shall be submitted to the Municipality.

Since this project will not be disturbing more than one (1) acre of land, a NPDES Permit would not be required.

35. **Per §142-401.H – General Requirements** – No regulated activities shall commence until the Township issues written approval of an SWM site plan, which demonstrates compliance with the requirements of this chapter.

36. **Per §142-401.L – General Requirements** – Storage facilities should completely drain both the volume control and rate control capacities over a period of time not less than 24 hours and not more than 72 hours from the end of the design storm.

Dewatering calculations for all infiltration basins shall be provided to ensure the basins dewater between 24 and 72 hours.

37. **Per §142-405 – Groundwater Recharge Requirements** – As part of this land development, this project is required to follow the groundwater recharge requirements.

Based on the infiltration testing report received, the infiltration test result on site were 0 inches per hour. The Applicant is proposing a raingarden with a 4" perforated PVC underdrain to capture the runoff and discharge it through the outlet structure. No infiltration through the soil media is proposed as part of this project; therefore, the Applicant would be required to obtain a waiver from this Code Section to allow for a managed release concept (MRC) type raingarden as opposed to an infiltration raingarden.

38. **Per §142-406.B.(1) – Water Volume Control Requirements** – Stormwater facilities shall capture at least the first two inches of runoff from all new impervious surfaces.

Based on the information provided in the PCSM Report, the volume of the runoff from the first 2-inches of runoff is 349 CF. The raingarden has a storage volume of 431 CF; therefore, the raingarden is adequately sized to capture the required runoff volume.

39. **Per §142-408.B.(1) – Stream Bank Erosion Requirements** – In addition to the control of water quality volume (in order to minimize the impact of stormwater runoff on downstream stream bank erosion), the primary requirement is to design a BMP to detain the proposed conditions two-year, twenty-four-hour storm event to the existing conditions one-year flow using the SCS Type II distribution. Additionally, provisions shall be made (such as adding a small orifice at the bottom of the outlet structure or a sand filter) so that the proposed conditions one-year, twenty-four-hour storm event takes at least 24 hours to drain from the facility from a point when the maximum volume of water from the one-year, twenty-four-hour storm event is captured (i.e., the maximum water surface elevation is achieved in the facility). Release of water can begin at the start of the storm (i.e., the invert of the water volume control or [or water quality] orifice is at the invert of the facility).

Dewatering calculations shall be provided to ensure dewatering of the 1-year 24-hour storm takes at least 24 hours to drain from the facility.

40. **Per §142-409.C.(1).(b) Table 409.1W – Stream Bank Erosion Requirements** – In addition to the control of water quality volume (in order to minimize the impact of stormwater runoff on downstream stream bank erosion), the primary requirement is to design a BMP to detain the proposed conditions two-year, twenty-four-hour storm event to the existing conditions one-year flow using the SCS Type II distribution. Additionally, provisions shall be made (such as adding a small orifice at the bottom of the outlet structure or a sand filter) so that the proposed conditions one-year, twenty-four-hour storm event takes at least 24 hours to drain from the facility from a point when the maximum volume of water from the one-year, twenty-four-hour storm event is captured (i.e., the maximum water surface elevation is achieved in the facility). Release of water can begin at the start of the storm (i.e., the invert of the water volume control or [or water quality] orifice is at the invert of the facility).

Dewatering calculations shall be provided to ensure dewatering of the 1-year 24-hour storm takes at least 24 hours to drain from the facility.

41. **Per §142-704.A – Operation and Maintenance Agreement for Privately Owned Stormwater Controls and BMPs** – Prior to final approval of the PCSM site plan, the owner shall sign and record an operation and maintenance (O&M) agreement covering all stormwater control facilities which are to be privately owned.

GENERAL STORMWATER MANAGEMENT COMMENTS

42. A detail of the proposed outlet structure shall be provided which includes the top of grate elevation, invert elevation for the 4" perforated pipe, orifice size, and invert out elevation for the 15" HDPE pipe.
43. An emergency spillway shall be provided for the raingarden. Currently there is no emergency spillway shown so the only source of outflow is the outlet structure riser pipe. Should this riser pipe ever get blocked, the water will build up and overflow ovetop of the raingarden berms. An emergency spillway will allow for the water to discharge through the spillway before reaching the top of berm elevation.
44. Elevations shall be provided on the Typical Rain Garden Schematic Detail to include the bottom of BMP elevation, perforated PVC pipe elevation, top of berm elevation, emergency spillway elevation, etc.
45. Based on the architectural plans provided, the roof is a gable style roof. Rood leader lines are shown in the rear of the proposed dwelling which will discharge to the proposed raingarden. The Applicant shall confirm that the runoff from the entirety of the roof will be collected and discharged to the raingarden. There are splash blocks shown on the corners of the house, but no downspouts are shown.
46. A detail for the proposed connection of the 15" HDPE pipe to the existing inlet shall be provided on the plan.
47. The Applicant may wish to consider adding a trench drain along the bottom of the new driveway and pipe it to the proposed rain garden to minimize the stormwater runoff leaving the site.

GENERAL COMMENTS

48. The water lateral is not shown to connect to a main along Fairview Avenue. The main and lateral connection to the main shall be shown on the plan.
49. A detail for the depressed curbing shall be provided on the plan. In addition, a pavement restoration detail shall be provided on the plans for the area of Fairview Avenue which will be disturbed due to the depressed curbing construction as well as for the sewer connection.
50. The slope of the proposed driveway for Lot 1 shall be provided on the plans.
51. The Applicant is requesting a waiver from not providing sidewalk along the frontage; however, a sidewalk detail is provided on the plans. If the waiver for no sidewalk is granted, the sidewalk detail shall be removed.
52. The Index of Sheets on the Record Plan (Sheet 1) shall indicate which plans are to be recorded.
53. The narrow longitudinal zoning district abutting the R4 zoning district located to the east of the site on the Location Map is mislabeled as "MS-H" and should be corrected to the "MS-L" zoning district. Similarly, the "MS-H" label for the horizontal area between Arnold Avenue and Fairhill Avenue should also be corrected to the "MS-L" zoning district.
54. The utility pole owner and numbers shall be provided on the plans.
55. Legal descriptions for the existing lot and both proposed Lots 1 & 2 shall be provided for review and approval.

56. We defer to the fire marshal for any fire related comments.
57. We defer to the wastewater utilities director for any sewer related comments.
58. We defer to the traffic engineer for any traffic related comments.

We have received the following documents/permits/reviews:

- Zoning Decision 24-62 (November 20, 2024)
- Stormwater Management Narrative & Calculations (February, 2025)
- Aqua Water Availability Letter (February 10, 2025)
- Letter of Sanitary Availability (February 11, 2025)
- Planning Module Exemption Documents (February 12, 2025)
- Waiver Request Letter (February 14, 2025)
- MCPC Request for Review (February 14, 2025)
- Application for SALDO Review (February 21, 2025)
- STC Consultant Review (March 6, 2025)
- EAC Review (March 18, 2025)
- STC Review (March 19, 2025)
- TPD Traffic Review (March 19, 2025)
- Sewer Review Letter (March 21, 2025)
- Fire Approval Letter (March 24, 2025)
- MCPC Review (March 29, 2025)

We have not received the following documents/permits/reviews:

- Sewer Approval Letter
- Traffic Approval Letter
- Financial Escrow
- LD Agreements
- Stormwater BMP O&M Agreement
- Legal Descriptions & Exhibits of all lots/easements/dedications

SUMMARY

We do not recommend Final Minor Subdivision and Land Development Plans approval until the Applicant addresses the above referenced comments, in particular the zoning comments. We would be willing to attend a technical discussion meeting upon request by the Applicant.

If you have any questions or comments with this submittal, please do not hesitate to contact me.

Sincerely,

PENNONI ASSOCIATES INC.



Khaled R. Hassan, PE
Township Engineer

cc: Terry Castorina, Administration and Grants Manager
Ashley McIlvaine, Assistant Township Manager & Assistant CAO



TOWNSHIP OF ABINGTON

*Thomas Hecker, Board President
Matthew Vahey, Board Vice President
Christopher Christman, Township Manager*

March 24th, 2025

ABH Builders, Inc.
775 Penlynn Blue Bell Pike
Blue Bell, PA 19422

Re: LD-25-01-1526 Fairview Avenue (ABH Builders, Inc.)
Parcel(s) 30-00-18860-00-1

Thank you for the opportunity to review the submitted plans for proposed Land Development at 1526 Fairview Ave, Willow Grove, PA 19090. The project outlined is for subdivision of one lot into two, and the construction of an additional single-family dwelling on the new lot.

I have reviewed the submitted Plan Set, originally dated 02/14/2025 for conformance with Abington Township's Subdivision and Land Development Ordinance as it related to Fire Prevention (SALDO 146-41).

At this time, I have no concerns currently with the development proposed in these plans.

Should you have any questions or concerns, please feel free to contact me at 267-536-1089 or via email at CPlatz@AbingtonPA.gov or FireMarshal@AbingtonPA.gov.

Sincerely,

Chris Platz,
Fire Marshal



March 18, 2025

MEMO

To: Nicholas Brown, Chair – Abington Township Planning Commission

From: Abington Township Environmental Advisory Council

RE: Residential Subdivision and Minor Land Development Plan (LD-25-01) - 1526 Fairview Avenue Willow Grove PA.

Plan Set Date: 02/14/2025.

EAC Review Date: 03/12/2025

Site Summary

Owner: ABH Builders, Inc.

Zone – R4 Residential

Watershed: Wissahickon Creek, Sandy Run Tributary

Variances Approved: - Minimum Lot Size and Front Yard Setback

Dear Chairperson Brown:

The members of the Abington Township Environmental Advisory Council (EAC) have reviewed the above-mentioned land development plan at its regular meeting on March 12, 2025, and offer the following comments:

The applicant is proposing to subdivide the property into two lots and construct a single-family home and associated improvements on the new lot. The lot site plan indicates several stormwater control measures to mitigate increased runoff from the new impervious surfaces including the utilization of a rain garden feature along the north and east side of the proposed driveway along with several other non-structural best management practices (BMPs). According to the stormwater analysis provided by the applicant, runoff from the new roof areas will be conveyed to the rain garden by way of piping from the building down spouts. They have included information noting that the rain garden area will be protected from compaction during all earth disturbance activities.

Soil testing on the site indicated that there is no infiltration on site, therefore water volume captured within the rain garden would drain through a perforated pipe system beneath the rain garden feature. The rain garden vegetation will help remove some of the water volume through exfiltration and the rest of the Water Quality Volume will be managed by non-structural BMPs including disconnected impervious, impervious within 20 ft/100 ft of tree canopy, and deciduous tree credits.

The EAC supports the use of naturalized stormwater control measures for new and redeveloped sites. The use of the rain garden as the primary stormwater control measure is commended. The feature will provide volume control of the first 1" of runoff as required by our stormwater ordinance. Rain Garden vegetation will help filter and slow runoff and provide additional water quality and aesthetic benefits to the property owner as well. The EAC strongly recommends that detailed maintenance instructions be provided to property owners to ensure long term success of the rain garden feature.

To support the Township's [Ready for 100](#) and [Climate Collaborative](#) resolutions and [Master Tree Action Plan](#) we recommend the applicant employ energy efficiency and conservation measures such as white roof or green roofs, automated lighting controls, [constructing each home for Energy Star certification](#) to reap [Energy Star benefits](#) along with [Energy Star appliances](#) and [Water Sense](#) products, providing all electric building systems for HVAC, hot water and cooking instead of natural gas or other fossil fuels, and reducing energy use through integration with solar, geothermal or heat pumps and [other sustainable design and green building features](#).

Thank you for your consideration of our comments and recommendations and please let us know if you have any questions.

Respectfully submitted,

Susan S. Myerov

Susan Myerov,
Co-Chair, Abington Township EAC

cc: Christopher Christman
Michael Narcowich
Tim Clark
Planning Commission Members
EAC Members
Abington Shade Tree Commission Members



LD-25-01-1526 Fairview Avenue (ABH Builders, Inc.)

Via email Delivery

March 6, 2025

Allison A. Lee, P.E.

Pennoni

3100 Horizon Drive, Suite 200 - King of Prussia, PA 19406

Project - LD-25-01-1526 Fairview Avenue (ABH Builders, Inc.)

Dear Allison,

Pursuant to your request, the following is the review for the proposed project, LD-25-01-1526 Fairview Avenue

GENERAL NOTES :

1. Tree planting counts are correct.
2. Advise adding tree symbol connectors to all proposed trees. The total number without a connector line is causing confusion.
3. Tree planting detail appears to be outdated. Tree planting detail needs to be updated per mark ups. Shrub and rain garden details need to be provided.
4. The ordinance allows the applicant the opportunity to survey the size & species of the existing trees on site and take credit for those being preserved. It is not required by the ordinance to do so. The applicant did not survey the species. The applicant did not supply replacements based on a 2-for-1 tree replacement ratio. The applicant is not taking credit for one existing street tree.
5. No buffers are required in the R-4 Medium High Density Residential. Abuts residential and MS-H (appears to be commercial/retail). No buffer is required in the zoning code. (2403.B)
6. Applicant has provided existing and proposed street trees. (2401.A.2.d.(1)(a))
7. No site element screens are required. (2403.C)
8. Street name is labeled wrong in key map.
9. There is a rain garden proposed, however, there is no schedule for the shrubs shown in the detail plan. There is a seed mix shown.
10. Tree protection fencing should be reviewed per Arborist recommendations. It is currently not around the second largest tree on the site.
11. The proposed street trees along Fairview Avenue are under overhead wires and are being proposed as canopy trees. They are set back from the streetscape (not enough).

ZONING :

1. SECTION 2401 PRESERVATION AND PROTECTION OF EXISTING VEGETATION

- a. *SECTION 2401.A.2.d.(1)(a) - Existing Lots. Tree replacement shall occur when new impervious coverage exceeds 500 s.f. and a tree with a minimum caliper of six inches (6") is removed. In such cases, two new trees, each a minimum of 3-to-3.5" caliper, measured 6" above grade, shall be planted for each tree with a minimum caliper of 6" or greater that is removed.*

The applicant does not show an existing tree that will need to be removed per the proposed dwelling drawings. The applicant shall survey the correct amount of trees and include the species of the trees and indicate on the plans. The applicant shall provide replacement trees for any trees being removed per the ordinance requirements. All replacement trees shall be the required size of 3 to 3.5" caliper as noted in section 2401.A.2.d.(1)(a).

- b. *SECTION 2401.A.2.d.(1)(b) New Lots. Where site disturbance activity on new lots proposes removal of more than 25% of the tree canopy, if the trees removed contain a tree with a 6-inch caliper or greater, trees shall be preserved wherever possible, and those removed that meet the criteria above shall be replaced two-to-one on site by trees 3 to 3.5" or larger in caliper, measured 6" above grade.*

All replacement trees shall be to the required size of 3 to 3.5" caliper as noted in section 2401.A.2.d.(1)(a). No tree replacement chart has been provided. All trees to be removed (not surveyed) appear to be above the 6" caliper. The Applicant is to survey all trees, provide the noted chart with the correct number of existing trees, the number being removed, to be replaced, and to remain.

- c. *SECTION 2401.A.2.d.(2) – Requirements for Tree Protection Zone : Existing vegetation designated to "TO REMAIN," in accordance with the landscaping plan of a subdivision or land development shall be identified in the field prior to any clearing and shall be physically protected throughout the construction process. A temporary tree protection zone, constructed according to the standards expressed below, shall be erected a minimum of one foot outside the dripline on all sides of individual trees or tree masses prior to major clearing or construction.*

While noted in the legend, tree protection fencing and construction fencing zones and details should be updated per plan notes. There are also two existing trees not included in the tree protection fencing areas.

2. SECTION 2402 PARKING LOT LANDSCAPING AND STREET TREES

- a. *SECTION 2402.B.2.b. – Large canopy trees shall be planted at least 15 feet from overhead utilities, including street lights, and 6 feet from underground utilities. However, ornamental trees may be planted under overhead utility wires. Street trees shall not be placed within the clear site triangles of street intersections.*

The proposed street trees are closer than the required 15 feet. If the clearance is an issue, as noted in the ordinance, the Applicant may propose ornamental trees in lieu of a large canopy tree. This is due to existing overhead wires.

- b. *SECTION 2402.B.2.D – Trees shall comply with the requirements of the "Recommended Plant Materials".*

The Applicant has provided a canopy tree that meets the recommended plant materials requirements per the ordinance.

3. SECTION 2403 BUFFERS AND SCREENS

- a. *SECTION 2403.B.1 - Determining Buffer Requirements (Assessing the Adjacent Land Use) an on-site investigation by the applicant shall determine the adjacent land uses along each property boundary. In the case of vacant land, the existing zoned uses shall be used. The existing or zoned uses shall be noted on the plan. In the case of several permitted uses on a site, the most restrictive requirements shall apply. The Township shall have final approval of interpretation of land uses or zoning maps.*

No buffers are required.

SALDO :

1. SECTION 146-39 LANDSCAPING

- a. *SECTION 146-39.A.(1) – Placement. Shade trees shall be provided by the subdivider/land developer and planted approximately five feet inside the lot lines paralleling the right-of-way line. The trees shall be placed to provide an approximate average spacing of one tree per 50 feet or planted in an alternate arrangement consistent with township policy encouraging the use of shade trees in subdivision/land development. The trees shall be located so as not to interfere with the installation and maintenance of sidewalks and utilities or the operation of streetlights, nor shall they be placed within the clear sight triangle at street intersections.*

One street tree is proposed outside the lot line. The Applicant shall adjust.

- b. *SECTION 146-39.B.(1) – General Landscaping. Additional landscaping and planting shall be required on each building site or lot. The landscaping requirement shall be based upon land use. (1). Single-family residential use. In addition to the requirement of shade trees as per Subsection A above, each building site or lot intended for single-family use, whether part of a residential subdivision or the development of a single lot, shall be landscaped as follows: all yard areas as defined in the Zoning Code shall be graded, drained and landscaped with trees and shrubs, lawn and/or ground cover.*

The Applicant did not propose any on lot landscaping apart from the rain garden seeding and shrubs. Reviewer recommends adding landscaping per the ordinance.

The landscape plan shows a proposed rain garden and notes Ernst seed mixes. The plans also show clusters of shrubs and illustrate it in the rain garden detail; however, no shrub planting details or schedule showing counts, species, or sizes has been included. Applicant to revise plans to include the missing plantings. These shrub plantings should also be added to the overall landscape plan.

- c. *SECTION 146-39.B.(4)(a) – Existing Tree Preservation Credit. The number of trees required by this section may be reduced by giving credit to the approved preservation of existing trees as commuted below : [see chart in ordinance].*

The Applicant is not requesting credit for any existing trees at this time.

d. *SECTION 146-39.C. - Guaranty. All landscaping required under this section and the provisions of the Zoning Code shall be guaranteed by the subdivider/land developer or builder for a period of one year after the township has issued an occupancy permit for the property. It shall be the responsibility of the subdivider/land developer or builder to protect, maintain and feed (if necessary) both newly planted and existing plant materials during this period to ensure that plants are alive and healthy. An inspection shall be made by the township at the end of the one-year period; any plant materials unacceptable at the time of inspection shall be replaced in order to satisfy the landscaping requirements of this section and the Zoning Code.*

The Applicant shall note that all plantings shall be guaranteed for a minimum of one year after the Township has issued an occupancy permit.

e. SALDO Section 146.11(B)(11).

Vegetation resource identification of all the following:(a) Forest and woodland areas. (b) Standalone trees with calipers of 10 inches or greater, measured at a point four feet above grade, with indication of which trees are to be removed and which are to remain. (c) Other significant vegetation.

The applicant shall provide a plan denoting any tree 10" or greater.

A handwritten signature in black ink, appearing to read "John Ruckstuhl, Jr.", is written over a faint, circular official seal. The signature is cursive and somewhat stylized.



March 19, 2025

MEMO

To: Nicholas Brown, Chair – Abington Township Planning Commission

From: Abington Township Environmental Advisory Council

RE: Residential Subdivision and Minor Land Development Plan (LD-25-01) - 1526 Fairview Avenue Willow Grove PA.

Plan Set Date: 02/14/2025

STC Review Date: 03/11/2025

Site Summary

Owner: ABH Builders, Inc.

Zone – R4 Residential

Watershed: Wissahickon Creek, Sandy Run Tributary

Variances Approved: - Minimum Lot Size and Front Yard Setback

Dear Chairperson Brown:

The members of the Abington Township Shade Tree Commission (STC) reviewed the above-mentioned land development plan at its regular meeting on March 11, 2025, and offer the following comments in addition to the comments provided by Rockwell Associates:

The zoning ordinance and SALDO contain the minimum acceptable requirements for development. In all cases, the STC recommends planting additional native trees, native shrubs, and native perennials to provide economic, environmental, and social benefits for the future residents and the township. Native plants that are properly selected to meet the anticipated post-development site conditions will have a higher likelihood of long-term survival. Please refer to the STC online resource for native shade trees, which contains information for selecting trees that are appropriate to the site conditions:

<https://www.abingtonpa.gov/home/showpublisheddocument/17771/638242541612170000>

Thank you for your consideration of our comments and recommendations and please let us know if you have any questions.

Respectfully submitted,

Patricia Gallagher

Patricia Gallagher
Abington Township STC

cc: Christopher Christman
Michael Narcowich
Planning Commission Members
STC Members
Abington Environmental Advisory Commission Members



Memorandum

To: Christopher Christman, Manager - Abington Township

From: Greg Richardson, P.E.

Date: March 19, 2025

Re: **1526 Fairview Avenue**
Traffic Review #1
Abington Township, Montgomery County, PA
TPD No. ABTO.00047

cc: Board of Commissioners
Planning Commission
Tim Clark
Ashley McIlvaine
Terry Castorina
Khalid Hassan, P.E.
Allison A. Lee, P.E.

Per your request and on behalf of Abington Township, Traffic Planning and Design, Inc. (TPD) has completed a traffic review of the above-referenced application. TPD reviewed the following document:

- Preliminary Site Plans, prepared by Van Cleef Engineering – Dated February 14, 2025.

Based on a review of the above documents, TPD offers the following comments:

Site Plan/Traffic

1. Remove the existing depressed curb driveway opening (abandoned) on Fairview Avenue located at the western property limits. Replace with vertical curb.
2. Remove the existing roof drain outlet from the curb along Fairview Avenue.
3. Provide a pavement restoration detail for work to be completed within the Fairview Avenue limits.
4. While a note is provided on Sheet 8 regarding maximum driveway slope, a driveway centerline profile from the centerline of Fairview Avenue must be added to the plans including the following access information:
 - a. centerline of Fairview Avenue (station and elevation)
 - b. edge of existing roadway (station and elevation)
 - c. edge of proposed widening (station and elevation)
 - d. interior slope
 - e. legal/ultimate right-of-way
 - f. existing and proposed elevations and roadway cross-slopes.

5. Provide a depressed curb driveway detail.

General

1. A response letter must be provided with the resubmission detailing how each comment above has been addressed, and where each can be found in the resubmission materials (i.e., plan sheet number(s), page number(s), etc.) to assist in the re-review process.

August 18, 2025

Terry Castorina
Township Manager, Abington Township
1176 Old York Road
Abington, PA 19001

RE: Waiver Request Letter
1526 Fairview Avenue
T.M.P. # 300018860001
Abington Township, Montgomery County, PA

Dear Ms. Castorina:

In conjunction with the Subdivision/Land Development Application for the property (T.M.P 30018860001) located at 1526 Fairview Avenue, Willow Grove, PA 19090; Please consider the below written waiver requests from requirements in the Abington Township's Subdivision and Land Development Ordinance and Stormwater Ordinance.

Requested Waivers:

1. §146-9.A & B
Requires separate stages for Preliminary plan and final plan and for the application category which requires a two-stage approval process
The applicant requests a waiver from these requirements to allow for a one-stage preliminary/final plan approval process due to the small size of the project and proposed improvements being proposed on only one of the two proposed lots.
2. §146-11.A.(4) & §146-11.B.(3)
Requires providing existing features within 400 ft of the property
The applicant requests a waiver to provide only the existing features and utilities adjacent to the site as this is a minor subdivision/land development application and surrounding area is already development.
3. §146-11.A.(7)& §146-11.D.(4)
Requires an indication of vertical datum to Sanitary Sewer Datum of the Township of Abington.
The applicant is requesting a wavier to not provide an indication of the vertical datum to the Sanitary Sewer Datum of the Township of Abington.

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

4. §146-27.(1)
Requires sidewalk along existing street frontage when a sidewalk is required.
The applicant is requesting a waiver to not provide sidewalks along Fairview Avenue as there are no sidewalks along the existing street and the close proximity of the existing home on Lot 2.

5. §146-33.C
Requires storm drains to be located behind the curb and within the right-of-way of the street and protected by a cover of at least 24 inches.
The applicant requests a waiver from this requirement to allow for a minimum pipe cover per the manufacturer's recommendations.

6. §146-33.G.
Requires use of City No 1 Inlets for Storm Sewers
The applicant requests a waiver from this requirement to provide ADS drain basins or approved equal within the site. The applicant does not propose any new Inlets within Fairview Avenue right-of-way.

7. §146-35.C.(1)
Requires that sanitary sewer service to the dwelling basement be provided by gravity.
The applicant requests a waiver from this requirement to allow for the reuse of the existing lateral connection within Fairview Avenue right-of-way which is shown on "Abington Township Montgomery County, Penna. Sanitary Sewer System Contract No. 51 Record Plan", Plan No. 45085-407, dated October 29, 1959 and recorded on 8-2-1960.

8. §146-43.C.(3).(a)
Requires cuts and fill slopes to not be 15% or steeper.
The applicant requests a waiver from this requirement to allow a maximum of 33.3% (3h:1V) slope (within the rain garden). Per Section 6.4.5 of the PA Stormwater BMP Manual, 3:1 slope is permitted within rain garden.

9. §142-405
Requires groundwater to be infiltrated.
The applicant requests a waiver from this requirement since there is no infiltration on the site.