



REGULAR PLANNING COMMISSION MEETING AGENDA

City Hall - Council Chambers
4381 Broadway, Ste. 201, American Canyon
November 21, 2024
6:30 PM

Chair: Brando Cruz
Vice Chair: Davet Mohammed
Commissioners: Eric Altman, Andrew Goff, Crystal Mallare
Youth Commissioner: Ramandeep Jawanda

Tonight's meeting is a limited public forum. American Canyon promotes respectful and responsible behavior among its meeting participants, whether they are present in person or remotely. Using offensive language or remarks that promote, foster, or perpetuate discrimination based on race, creed, color, age, religion, gender marital status, status regarding public assistance, national origin, physical or mental disability or sexual orientation/gender identification, as well as any other category protected by federal, state or local laws will not be tolerated. In the case of an occurrence, the speaker will be immediately disconnected from the microphone.

Planning Commission and other public meetings will be conducted in person at City Hall, 4381 Broadway, Suite 201, American Canyon, CA 94503. This meeting is also available via Zoom Teleconferencing as a convenience for public participation. This meeting will be broadcast live to residents on Napa Valley TV, on our website [here](#) and on YouTube [here](#). Should technical issues with Zoom occur, please select another viewing option.

PUBLIC PARTICIPATION

Oral comments, during the meeting: Oral comments can be made in person or via Zoom. To give your public comment via zoom, connect via the below Zoom link and use the "raise your hand" tool, or call into the zoom meeting at 408-638-0968 and press *9 to "raise your hand" when the item is called. To avoid confusion, all hands raised outside of Public Comment periods will be lowered.

Written comments, via eComments: Please submit written comments through the eComments link, located on the Meetings & Agendas page of our website [here](#). Comments will be available to Planning Commissioners in real time. To allow for review of comments, eComments will close at 3:00 pm on the day of the meeting. All comments received will be posted online and become part of the meeting record.

Zoom Meeting Link: [Click here.](#)

Webinar ID: 876 0659 2529 Passcode: 123456

The above-identified measures exceed all legal requirements for participation in public comment, including those imposed by the Ralph M. Brown Act. For more information, please call the Office of the City Clerk at (707) 647-4369 or email cityclerk@americancanyon.gov.

AGENDA MATERIALS: Planning Commission agenda materials are published 72 hours prior to the meeting and are available to the public via the City's website at www.americancanyon.gov.

AMERICANS WITH DISABILITIES ACT: The Planning Commission will provide materials in appropriate alternative formats to comply with the Americans with Disabilities Act. Please send a written request to City Clerk at 4381 Broadway, Suite 201, American Canyon, CA 94503 or by email to cityclerk@americancanyon.gov. Include your name, address, phone number and brief description of the requested materials, as well as your preferred alternative format or auxiliary aid, at least three calendar days before the meeting.

6:30 P.M. REGULAR MEETING

CALL TO ORDER

PLEDGE

ROLL CALL

PRESENTATIONS

None.

PUBLIC COMMENT

*This time is reserved for members of the public to address the Planning Commission on items of interest that are not on the Agenda and are within the subject matter jurisdiction of the Planning Commission. It is recommended that speakers limit their comments to 3 minutes each and it is requested that no comments be made during this period on items on the Agenda. Members of the public wishing to address the Planning Commission on items on the Agenda should comment via email prior to the start of the meeting, or to verbally comment on the item during the meeting, click the "raise your hand" button if joining by computer, or press *9 if joining by phone, when the item is called. The Planning Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda, and no adverse conclusions should be drawn if the Planning Commission does not respond to public comment at this time. Speakers are asked to please speak clearly, and provide their name. Any handouts for distribution to the Planning Commission must be emailed by 3:00 p.m. on meeting day.*

AGENDA CHANGES

CONSENT CALENDAR

1. **Minutes of October 24, 2024**
Recommendation: Approve the Minutes of October 24, 2024

PUBLIC HEARINGS

2. **NVRG Vertical Metal Post Perimeter Fence Design Permit**
Recommendation: A Resolution approving a Design Permit for a Napa Valley Ruins and Gardens Vertical Metal Post Perimeter fence located across the Rio Del Mar East and Rolling Hills Property frontage, Assessor's Parcel Numbers 059-430-032 and 059-430-025 (File No. PL24-0026)

BUSINESS

None.

MANAGEMENT AND STAFF ORAL REPORTS

3. [Active Planning Projects for November 2024](#)

Recommendation: Approve the Active Planning Projects

COMMISSIONER ITEMS

ADJOURNMENT

CERTIFICATION

I, Nicolle Hall, Deputy City Clerk for the City of American Canyon, do hereby declare that the foregoing Agenda of the Planning Commission was posted in compliance with the Brown Act prior to the meeting date.

Nicolle Hall, Deputy City Clerk

**CITY OF AMERICAN CANYON
REGULAR PLANNING COMMISSION MEETING**

ACTION MINUTES
October 24, 2024

6:30 P.M. REGULAR MEETING

CALL TO ORDER

Action: The meeting was called to order at 6:32 p.m.

ROLL CALL

Present: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Absent: Commissioner Eric Altman

Excused: None

PLEDGE

Action: The Pledge of Allegiance was recited.

PRESENTATIONS

1. Introduction of Youth Commissioner

Action: Community Development Director Brent Cooper introduced Youth Commissioner Ramandeep Jawanda.

PUBLIC COMMENT

Chair Brando Cruz Opened Public Comments. Written comments: Katherine Bit, Jodi Cruz Oral Comments: Yvonne Baginski was called to speak; William Baker was called to speak; Beth Marcus was called to speak; Karen Fritz was called to speak. Chair Brando Cruz closed public comments.

AGENDA CHANGES

There were no agenda changes.

CONSENT CALENDAR

2. Minutes of September 26, 2024

Action: Motion to approve the consent calendar made by Commissioner Crystal Mallare, seconded by Commissioner Andrew Goff, and CARRIED by roll call vote.

Ayes: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: None

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

BUSINESS

3. General Plan Technical Update Draft Environmental Impact Report (DEIR) Public Review Workshop

Community Development Director Brent Cooper introduced the item. Gianna Meschi from Rincon Consultants shared a PowerPoint presentation.

Commissioners discussed the item.

Chair Brando Cruz opened public comments, Written comments: Maia Medalle, Jim Wilson, Napa Climate Now! Oral Comment: David Gilbreth was called to speak; Joan Bennett was called to speak; Terrence McGrath was called to speak; Jim Wilson was called to speak; Katherine Bit was called to speak. Chair Brando Cruz closed public comments.

Speakers: City Attorney William Ross

Action: The General Plan Technical Update Draft Environmental Impact Report was received and filed.

PUBLIC HEARINGS

4. NVR&G Vertical Metal Post Perimeter Fence Design Permit

Community Development Director recommended that the item be continued to the next regular Planning Commission meeting on November 21, 2024.

Speakers: Terrance McGrath, City Attorney William Ross

Action: Motion to continue the NVRG Vertical Metal Post Perimeter Fence Design Permit to the next regular Planning Commission meeting of November 21, 2024, made by Commissioner Andrew Goff, seconded by Commissioner Crystal Mallare, and CARRIED by roll call vote.

Ayes: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: None

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

5. Watson Ranch Specific Plan Lot 7 Design Permit and Tentative Subdivision Map

Senior Planner William He shared a PowerPoint presentation.

Speakers: Terrance McGrath, Kyle Sigel, Director of Land Acquisition for KB Homes, Jerry Marcus, KB Homes, Public Works Director Erica Ahman Smithies

Commissioners discussed the item.

Chair Brando Cruz opened the Public Hearing Written Comment: Speakers: None Chair Brando Cruz closed the Public Hearing

Action: Motion to adopt Resolution 2024-13 recommending the City Council of the City of American Canyon approve a Vesting Tentative Subdivision Map for Watson Ranch Lot 7 to create 136 single-family home lots on 12.86 acres within the Watson Ranch Specific Plan Medium Density Residential-16 zoning district located west of Marcus Road, Assessor's Parcel Number 059-430-045 (File No. PL24-0012) with modifications as recommended by staff made by Commissioner Crystal Mallare and seconded by Vice Chair Davet Mohammed, and CARRIED by a roll call vote.

Ayes: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: None

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

Action: Motion to adopt Resolution 2024-14 approving a Design Permit for Watson Ranch Lot 7 to create 136 single-family homes on 12.86 acres within the Watson Ranch Specific Plan Medium Density Residential-16 zoning district located west of Marcus Road, Assessor's Parcel Number 059-430-045 (File No. PL24-0013) made by Vice Chair Davet Mohammed, seconded by Commissioner Andrew Goff, and CARRIED by roll call vote.

Ayes: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: None

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

6. SDG 220 Warehouse EIR and CUP

Senior Planner William He introduced the item. Neil Thomas from ICC Stravinski shared a PowerPoint Presentation and short video, Jana Waligorski from First Carbon Solutions reported on the EIR.

Commissioners discussed the item.

Chair Brando Cruz opened the Public Hearing. Written comments: Nick Cheranich, Jeannette Goyetche Speakers: Yvonne Baginski was called to speak; Roberto Valdez was called to speak; Alicia Mijares was called to speak. Chair Brando Cruz closed the Public Hearing.

Action: Motion to adopt Resolution 2024-15 recommending the City Council of the City of American Canyon (i) certify the Final Environmental Impact Report (SCH #2023100842), and (ii) adopt a Mitigation Monitoring and Reporting Program for the SDG Commerce 220 Distribution Center Project located at 1055 Commerce Court, APN 058-030-069 (File Number PL23-0017) made by Commissioner Andrew Goff, seconded by Vice Chair Davet Mohammed and CARRIED by roll call vote.

Ayes: Commissioner Andrew Goff, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: Commissioner Crystal Mallare

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

Motion to adopt Resolution 2024-16 recommending the City Council of the City of American Canyon approve the SDG Commerce 220 Distribution Center Conditional Use Permit for development of a 219,834 square foot wine warehouse on a 10.45-acre site located at 1055 Commerce Court, APN 058-030-069 (File number PL23-0017) made by Commissioner Andrew Goff, seconded by Vice Chair Davet Mohammed and CARRIED by a roll call vote.

Ayes: Commissioner Andrew Goff, Commissioner Crystal Mallare, Vice Chair Davet Mohammed, Chair Brando Cruz

Nays: None

Abstain: None

Absent: Commissioner Eric Altman

Excused: None

MANAGEMENT AND STAFF ORAL REPORTS

7. Active Planning Projects

Senior Planner William He, AICP reported on active planning projects including a resubmittal for the Crown Hill Minor Mod project, the Crawford Way apartments, the Oat Hill apartments, Watson Ranch Lot 7, the Hampton Inn, the Harvest Subdivision, and Copart.

COMMISSIONER ITEMS

Action: Commissioners reported on items of interest.

ADJOURNMENT

Action: The meeting was adjourned at 9:24 p.m.

CERTIFICATION

Respectfully Submitted,

Nicolle Hall, Deputy City Clerk



TITLE

NVRG Vertical Metal Post Perimeter Fence Design Permit

RECOMMENDATION

A Resolution approving a Design Permit for a Napa Valley Ruins and Gardens Vertical Metal Post Perimeter fence located across the Rio Del Mar East and Rolling Hills Property frontage, Assessor's Parcel Numbers 059-430-032 and 059-430-025 (File No. PL24-0026)

CONTACT

Brent Cooper, AICP, Community Development Director
William D. Ross, City Attorney

BACKGROUND & ANALYSIS

History

The project site is part of the Watson Ranch Specific Plan (WRSP) which was amended by the City of American Canyon ("City") in September 2023. The WRSP consists of 309-acres north of the Vintage Ranch subdivision and east of the Napa Junction shopping center. The specific plan includes 1,253 dwelling units, parks, and trails. A key defining feature that sets Watson Ranch apart from other neighborhoods is rejuvenation of a 30+-acre former mine ruins area into a visitor and entertainment center along with a new hotel.

Known as the Napa Valley Ruins and Gardens (NVRG), proposed activities for the former mine ruins include two amphitheatres, a distillery, food service, art installations, and flexible activity spaces for a wide range of entertainment. The location is adjacent to Rio Del Mar which will traverse the City from east to west and Rolling Hills Drive is at the crossroads of the River to Ridge Trail and Vine Trail regional pedestrian/bicycle trails.

Proposed Development

To secure the Napa Valley Ruins & Gardens, the applicant proposes to construct a vertical metal post perimeter fence across the Rio Del Mar East and the Rio Rolling Hills Drive frontage of the NVRG property and along the southern side of the Quarry Lake park. The proposed fence would be 8-feet tall, constructed from untreated metal fence posts set 4 inches apart in a 10-inch-wide concrete

footing. The fencing would enable the entire NVRG site to be locked after hours and other times when the applicant/operator chose to restrict public access to the NVRG grounds.

The fence is proposed to be placed immediately adjacent to the edge of the concrete sidewalk on Rio Del Mar East and Rolling Hills Drive and along the northern edge of the emergency vehicle access roadway adjacent to the Quarry Lake Park. A letter describing the proposed fence is included as Attachment 2.

To provide a “real-life” example, the applicant installed two segments for the public to view. One segment is located on the south side of Rio Del Mar East near Marcus Way. The second segment is located on Rolling Hills Drive near a raised pedestrian roadway crossing. A site plan depicting the fence location with a green line is included as Attachment 3. The second page of this attachment includes plans and a photograph of the fence.

Planning Commission Role

The Watson Ranch Specific Plan (WRSP) is intended to contribute significantly to the identity of American Canyon with its unique draw of new residential neighborhoods and the Napa Valley Ruins & Gardens (NVRG).

The proposed perimeter fence, located adjacent to Rio Del Mar and Rolling Hills Drive, will serve as an important visual interface between the NVRG site and adjacent roads and neighborhoods.

Although the perimeter fence was not specifically identified in the WRSP, the Specific Plan and the Design Guidelines provide guidance on the "look and feel" or aesthetics of the proposed fence and features within the NVRG as previously noted.

The Planning Commission, as the decision maker for Design Permits has discretion to apply NVRG policies to the proposed fence and its aesthetics in making a determination on the appropriate fence design and location.

A copy of the WRSP Design Guidelines is included as Attachment 4. The WRSP in its entirety is available on our website at this link: <https://portal.laserfiche.com/Portal/DocView.aspx?id=60611&repo=r-f53bdda4>. Noteworthy sections of the WRSP that are applicable to the NVRG fence application are described below.

Establishing a Nexus

The requested Design Permit is authorized under Municipal Code Chapter 19.41 as an adjudicatory permit with required findings under Municipal Code Section 19.41.050. As with any decision, the Planning Commission must provide a “nexus” or any reasonable relationship between the applicable standards and policies and the decision. As needed, staff will revise the Resolution to reflect the Planning Commission's reasoning for its decision.

Watson Ranch Specific Plan NVRG Vision (SRDP Section 3.1)

The Watson Ranch Specific Plan (WRSP) promotes the development of a vibrant, progressive, and fully integrated community; one that will be recognized as a memorable place to live, work, and play for present and future generations.

The overall plan will include a series of neighborhoods that integrate housing, recreation, retail, and commercial opportunities. The WRSP Area will be a vibrant, memorable place where civic, destination shopping, dining, hospitality, employment, residential, and recreational uses converge. This opportunity provides a community gathering space within the City of American Canyon serving visitors and residents while preserving American Canyon's small town feel and character. The execution of this character is governed by the Development Regulations in Chapter 6 and influenced by the Design Guidelines in Appendix A of the WRSP.

Key components to the success of this urban fabric include community threads such as pedestrian and bicycle friendly streets, open space connections, and vistas to important community monuments, such as the Napa Valley Ruins & Gardens (NVRG). These urban design features link neighborhoods into a cohesive community yet allow them to have individual character. These linkages and their focal points establish the framework and character of the new community. In addition to this community structure, strong and simple distinctive architecture and landscape themes will help to establish a unique identity.

Supporting the unique architectural environment of the NVRG will be a strong landscape design concept. Plantings will be composed of drought-tolerant species. Landscaping of this area will draw heavily from classic images and include lavender, roses, grasses and flowering vines. Trees such as olives, in groves or strong linear patterns may be used to further reinforce the wine country character. Rows of vineyards create a strong geometric statement and support the wine country aesthetic. Consistent with the direction of the City's Steering Committee, the landscape and public spaces should celebrate the history of the place through thoughtful design and interpretive signage (Section 3.3.4 Landscape Character).

NVRG Development Standards (WRSP Chapter 6.3)

NVRG development standards that are relevant to its appearance from adjacent roadways are listed below. See Chapter 6.3 for a full list of NVRG development standards.

- Required setbacks are as determined through the Design Permit review process set forth in the Municipal Code Section 19.41.010 et. seq.
- In order to support successful businesses within this area, activation and diversity of retail and commercial options are important at the street level to make them attractive as a destination for shoppers and visitors.
- In order to facilitate a vibrant, pedestrian-oriented streetscape, buildings with street or publicly oriented frontage shall provide street-level pedestrian-oriented uses on all street-

facing frontages.

NVRG Walls and Fencing Regulations (WRSP Section A.7)

General Guidelines for walls and fences (WRSP Section A.7.1)

- Walls and fences are to be minimized to the greatest extent possible and their design should be complementary to the building architecture.
- Site walls should be made of materials complementary to the building architecture palette.
- Walls, which are located in visually prominent locations, should be decorative and faced with a material such as stucco or stone.
- Concrete retaining walls should only be used where necessary for structural and spacial requirements.
- Plantings should be utilized to minimize the visual impact of all retaining walls.
- Walls, fencing materials and colors should complement adjacent architecture.

NVR&G Pedestrian Safety to the Public Right-of-Way

Vehicle and pedestrian access points are provided at various locations along Rio Del Mar East and Rolling Hills Drive. Even though the proposed fence is transparent when viewed directly in front, the fence pickets line up into a solid visual image when viewed to the left or right. A graphic that depicts a view of the fence from the side is included as Attachment 5.

City engineering standards require clear driver and pedestrian visibility of oncoming traffic and bicyclists at vehicle and pedestrian access points to the public right-of-way. To ensure minimum visibility is provided, staff proposes a condition of approval that requires these access points accommodate Engineering Design Standard visibility in the perimeter fence building permit plans.

Bicycle Trail Design Standards

The sidewalks along Rio Del Mar East and Rolling Hills Drive are designated Class 1 bike lanes. A map that depicts bicycle and pedestrian trails in Watson Ranch is included as Attachment 6. These trails are a component of the Master Backbone Infrastructure (“MBI”) as required in the July 19, 2019 Development Agreement (“DA”) between the City and American Canyon I, LLC (“AC-1”). See, DA Sections Article 1.101(a); Article 2 Section 207(d), (f) and (h).

The MBI was implemented consistent with provisions of the WRSP, including WRSP Figure 7.6 Napa Valley Vine Trail, Section 7, Figure 7.7. Ridge to River Trail Section and figure 7.8. Multi-Use Trails Section. The approved and accepted MBI resulted in an increased width (21/2) feet of the River to Ridge Trail and a comparable increase to the multi-use and Vine Trails without a reservation of a two-foot set back from the property owner. At that time, there was no knowledge that a fence would be proposed adjacent to the regional trails.

Engineering design standards that emphasize safe transportation design have been adopted by the State of California Department of Transportation (Caltrans). Caltrans requires a minimum 2-foot shoulder on a Class 1 bike lane to separate the bicyclist from an obstruction, such as a fence, wall or

building, regardless of the paved width. A copy of the Caltrans Class 1 bicycle trail cross section is included as Attachment 7.

Like Caltrans, the WRSP Class 1 trail cross section, Figure 7.8, includes a 2-foot shoulder on either side of the trail. The WRSP River to Ridge trail, Figure 7.7, which was built adjacent to Rio Del Mar does not show a 2-foot shoulder. The WRSP plan does not say why the 2-foot shoulder was not provided, but it is possible that there was no fence contemplated immediately adjacent to the trail. A copy of Watson Ranch trail sections, Figure 7.7 and Figure 7.8 is included as Attachment 8.

The difference in bicycle trail setbacks between the WRSP Class 1, which includes a 2-foot shoulder and the River to Ridge Trail which does not include a 2-foot shoulder is important because trail users are located on public property. The MBI, which establishes the NVRG property line and the limit of public property for MBI improvements did not accommodate a 2-foot shoulder.

For safety purposes, staff recommends a 2-foot shoulder on the NVRG property. Should the Planning Commission approve a setback other than 2-feet, staff will amend the draft Resolution (Attachment 1.1).

If the Planning Commission determines that the fence should be setback less than 2-feet from the property line, staff recommends the Planning Commission continue the public hearing to bring back a separate technical analysis to determine a safe fence location that the Planning Commission may examine. According to the City Attorney, because the applicant proposes no setback, a decision that requires any setback may be appealed to the City Council.

Public Review

The Project was submitted on October 7, 2024. The application was uploaded onto the City website on October 8, 2024. The City's GovDelivery system announced the project on October 11, 2024. Public hearing notices were mailed to owners and tenants within 500 feet on the project that same day. The Project hearing notice was published in the newspaper on October 12, 2024.

COUNCIL PRIORITY PROGRAMS AND PROJECTS

Community and Sense of Place: "Build on the strength of our local community to develop a clear 'sense of place' and establish our unique identity."

FISCAL IMPACT

The application required a developer's deposit for review and processing, so there is no fiscal impact for staff's time.

ENVIRONMENTAL REVIEW

The proposed Design Permit is a contemplated "Project Approval" analyzed under the Project Final Environmental Impact Report (FEIR) and the WRSP Development Agreement. Under CEQA, the WRSP Project FEIR is a program Environmental Impact Report and is generally assumed to be used at

a "development level." See, e.g., CEQA Guidelines Section § 15168. There is no substantial evidence of changed circumstances under CEQA Guidelines Section 15162 requiring further CEQA review as the whole of the approvals sought are contemplated under the Project FEIR analysis.

ATTACHMENTS:

1. PC Resolution NVRG Fence Design Permit
- 1.1 Exhibit A NVRG Fence Specific Conditions
2. NVRG Proposed Fence Design Letter (10-7-2024)
3. NVRG Fence Site Plan and Illustration
4. WRSP Design Guidelines
5. Driver and Pedestrian Perimeter Fence View
6. WRSP Trail Locations
7. Caltrans Design Manual Class 1 Bike Trail Cross Section.pdf
8. WRSP Trail Cross Sections

PC RESOLUTION NO. 2024-XX

A RESOLUTION APPROVING A DESIGN PERMIT FOR A NAPA VALLEY RUINS AND GARDENS VERTICAL METAL POST PERIMETER FENCE LOCATED ACROSS THE RIO DEL MAR EAST AND ROLLING HILLS PROPERTY FRONTAGE, ASSESSOR'S PARCEL NUMBERS 059-430-032 AND 059-430-025 (FILE NO. PL24-0026)

WHEREAS, the applicant submitted a Design Permit application for a vertical metal post perimeter fence across the Rio Del Mar East and the Rio Rolling Hills Drive of the Napa Valley Ruins & Gardens property frontage (PL24-0026); and

WHEREAS, the proposed fence would be located within the Watson Ranch Specific Plan Mixed-Use (MU) zoning district; and

WHEREAS, the proposed fence would be 8-feet tall, constructed from untreated vertical metal fence posts set 4 inches apart in a 10-inch-wide concrete footing placed at the same height of the adjacent concrete sidewalks; and

WHEREAS, the proposed fence would improve security of patrons visiting the Ruins and protect vendors, equipment, and art that will be part of the NVR&G venue; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), a final environmental impact report (Final EIR) was prepared for the Watson Ranch Specific Plan, which included the 37.3 acres within the Watson Ranch Specific Napa Valley Ruins and Gardens Mixed Use zoning district, having analyzed the actions contemplated by the proposed Design Permit and includes required mitigation measures, a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program; and

WHEREAS, a duly-noticed public hearing was held by the City of American Canyon Planning Commission on October 24, 2024 and November 21, 2024 on the subject application, at which time all those in attendance were given the opportunity to speak on this proposal, and all comments were reviewed and considered.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of American Canyon hereby approves the NVR&G Vertical Metal Post Perimeter Fence Design Permit (File No. PL24-0026).

SECTION 1: Findings Regarding Environmental Review pursuant to the California Environmental Quality Act (CEQA).

1. The City of American Canyon makes the following findings and determinations based on substantial evidence in the record as a whole pursuant to the California Environmental Quality Act (Pub. Res. Code §§ 21000 *et seq.*) and its Guidelines (California Code of Regulations, Title 14 §§ 15000, *et seq.*), as each is amended from time to time ("CEQA").
2. Pursuant to CEQA, an Environmental Impact Report was prepared, supplemented, and certified for the Watson Ranch Project ("Project EIR"). The Project EIR considered and analyzed the significant adverse environmental impacts of, related mitigation measures for, and reasonable alternatives to, the planning, development, construction, operation, and maintenance of the proposed uses of the Property implemented through the "Project Approvals" of the "Project,"

including without limitation, the General Plan Amendment, Watson Ranch Specific Plan (and related Zoning), Large Lot Vesting Tentative Map, and Development Agreement. In accordance with CEQA, City certified as legally adequate and complete the Project EIR, and approved the development allowed and approved by said existing and future Project Approvals contemplated by the Project EIR and the Development Agreement.

3. The proposed NVR&G Vertical Metal Post Perimeter Fence Design Permit is a contemplated "Project Approval" under the Project EIR and the Development Agreement. Under CEQA, a Specific Plan EIR, like the Watson Ranch Specific Plan Project EIR, is generally assumed to be used at a "development level." See, e.g., CEQA Guidelines § 15168. Under controlling CEQA law, particularly CEQA Guidelines section 15162, the legal question is whether the Project EIR, itself, needs updating (through a Subsequent or Supplemental EIR) before the City can consider and approve the NVR&G Vertical Metal Post Perimeter Fence Design Permit, or whether the Project EIR provides the appropriate CEQA compliance work for the City's consideration and approval of the NVR&G Vertical Metal Post Perimeter Fence Design Permit. For the following reasons and findings, by law, no such Subsequent or Supplemental EIR can be required by the City, and the Project EIR provides the appropriate CEQA compliance work for the City's consideration and approval of the NVR&G Vertical Metal Post Perimeter Fence Design Permit.

First, CEQA Guidelines section 15162 provides as follows [*City responses to the issues raised by Section 15162 are provided in bracketed, italicized text below*]:

(a) When an EIR has been certified . . . for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

(1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; [*There is no substantial evidence in the light of the whole record revealing any changes proposed in the Project, let alone changes that will involve involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. The NVR&G Vertical Metal Post Perimeter Fence Design Permit implements the Watson Ranch Specific Plan Project, and no new significant environmental effects or substantial increase in the severity of previously identified significant effects not already addressed by the Project EIR will result from that implementation.*]

(2) Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR . . . due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. [*There is no substantial evidence in the light of the whole record revealing circumstances under which the Project is undertaken which require major revisions to the Project EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects: the NVR&G Vertical Metal Post Perimeter Fence Design Permit is anticipated by, and are the implementation of, the Watson Ranch Specific Plan Project (and Project Approvals), and no new significant environmental effects or a substantial increase in the severity of previously identified significant effects not already addressed by the Project EIR will result from that implementation.*]; or

(3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following [*There is no substantial evidence in the light of the whole record revealing any such new information of any kind has been presented*]:

(A) The project will have one or more significant effects not discussed in the previous EIR . . . [*There is no substantial evidence in the light of the whole record revealing that the NVR&G Vertical Metal Post Perimeter Fence Design Permit will have one or more significant effects not discussed in the Project EIR: Instead, the NVR&G Vertical Metal Post Perimeter Fence Design Permit is anticipated by, and are the implementation of, the Watson Ranch Specific Plan Project as fully analyzed by the Project EIR*];

(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR [*There is no substantial evidence in the light of the whole record revealing that the NVR&G Vertical Metal Post Perimeter Fence Design Permit will result in a situation where significant effects previously examined in the Project EIR will be substantially more severe than shown and discussed in the Project EIR: Instead, the NVR&G Vertical Metal Post Perimeter Fence Design Permit is anticipated by, and are the implementation of, the Watson Ranch Specific Plan Project as fully analyzed by the Project EIR*];

(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative [*There is no substantial evidence in the light of the whole record supporting a determination that mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the project proponents decline to adopt the mitigation measure or alternative.*]; or

(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. [*There is no substantial evidence in the light of the whole record supporting a determination that mitigation measures or alternatives which are considerably different from those analyzed in the Project EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. No such mitigation measure nor alternatives have been proposed, nor are warranted, and no rejection of such mitigation measure or alternative by the project applicant has taken place.*]

Because there is no substantial evidence in the record to support any of the findings set forth in CEQA Guidelines section 15162, as a matter of law, no additional CEQA work can be required by the City relating to the City's consideration and approval of the NVR&G Vertical Metal Post Perimeter Fence Design Permit.

Second, similar to CEQA Guidelines section 15162, CEQA Guidelines section 15163 provides that a public agency may choose to prepare a “Supplement” to an EIR - rather than a “Subsequent” EIR - only if (1) any of the findings described in Section 15162 (above) would require the preparation of a Subsequent EIR, yet (2) only minor additions or changes would be necessary to make the Project EIR adequately apply to the changed situation. As stated above, because there is no substantial evidence in the record to support any of the findings set forth in CEQA Guidelines section 15162, then, as a matter of law, no finding can be made under CEQA Guidelines section 15163. Therefore, no additional CEQA work for the NVR&G Vertical Metal Post Perimeter Fence Design Permit can be required by the City.

Third, and lastly, under the Development Agreement, “to the extent permitted or required by CEQA, City shall use . . . existing environmental assessments, declarations, reports and studies as adequately addressing the environmental impacts of the Project and its Subsequent Approvals without requiring new or supplemental environmental documentation.” Development Agreement § 2.04(k). Because CEQA prohibits the City from requiring additional CEQA compliance work for the NVR&G Vertical Metal Post Perimeter Fence Design Permit approvals, for the reasons discussed above, the Development Agreement likewise enforces that CEQA requirement and prohibits additional “new or supplemental environmental documentation.” Development Agreement § 2.04(k).

Therefore, the City finds and determines that the Project EIR provides the appropriate CEQA compliance documentation for the City’s consideration and approval of the proposed NVR&G Vertical Metal Post Perimeter Fence Design Permit.

SECTION 2. CONDITIONAL USE PERMIT FINDINGS

Approval of the NVR&G Vertical Metal Post Perimeter Fence Design Permit requires all the following findings be made, pursuant to American Canyon Municipal Code Section 19.42.020:

- A. The proposed use is consistent with the policies and programs of the general plan and any applicable master or specific plan.

The project complies with the American Canyon Zoning Ordinance, Watson Ranch Specific Plan, Watson Ranch Program EIR, and Watson Ranch Development Agreement.

- B. The proposed use is consistent with the purpose(s) and standards of the applicable zoning district(s).

The NVR&G Vertical Metal Post Perimeter Fence – particularly the use of untreated metal posts - has an industrial aesthetic designed to complement the restored ruins buildings, consistent with the Watson Ranch Specific Plan Mixed-Use zone standards.

- C. The proposed use complies with applicable policies of the Napa County Airport land use compatibility plan.

The NVR&G Vertical Metal Post Perimeter Fence is located in Zone D and E of the Airport Land Use Compatibility Plan. There is no aspect of the fence that would impact the goals and objectives of the Napa County Airport Land Use Compatibility Plan (ALUCP).

- D. The project site is physically suitable for the type and intensity of land use being proposed.

The Napa Valley Ruins and Gardens (NVRG) area will host assembly uses, visitors, and shoppers. Fencing is a necessary feature to provide security for this type of venue.

- E. The proposed use will not be a nuisance or materially detrimental to the general health, safety, and welfare of the public or to property and residents in the vicinity.

The NVR&G Vertical Metal Post Perimeter Fence will secure the property to help protect health, safety and welfare for visitors to the venue. The required 2-foot setback from Class 1 trails on Rio Del Mar East and Rolling Hills Drive as well as accommodation of site visibility at access points to the public right-of-way will ensure safe use and access.

- F. The site for the proposed use has adequate access, and meets parking and circulation standards and criteria.

The NVR&G Vertical Metal Post Perimeter Fence will include access gates at appropriate locations.

- G. There are adequate provisions for water and sanitary services, and other public utilities to ensure that the proposed use would not be detrimental to public health and safety.

The NVR&G Vertical Metal Post Perimeter Fence does not require utilities.

SECTION 3. CONDITIONS OF APPROVAL. The NVR&G Vertical Metal Post Perimeter Fence will include conditions of approval incorporate the adopted Master Conditions of Approval for AC-1 Portion of Watson Ranch (Resolution No. 2020-106) and specific conditions of approval included as Exhibit A to this Resolution.

PASSED, APPROVED and ADOPTED at a regularly scheduled meeting of the Planning Commission of the City of American Canyon held on the 21st day of November, 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Brando Cruz, Chair

ATTEST:

APPROVED AS TO FORM:

Nicolle Hall, Deputy City Clerk

William D. Ross, City Attorney

EXHIBITS:

- A. NVRG Amphitheaters CUP specific conditions of approval
- B. Design Permit Plans
- C. Applicant confirmation of Conditions of Approval



EXHIBIT C
Applicant Confirmation of Conditions of Approval
NVR&G Vertical Metal Post Perimeter Fence Design Permit (FILE NO. PL24-0026)

As shown by my signature below, I confirm that I understand and agree to abide by the conditions of approval included in the Planning Commission Resolution dated November 21, 2024.

Applicant's signature

Date

Applicant's name

Property Owner's signature

Date

Property Owner's name

Please return signed confirmation to the City of American Canyon Community Development Department,
4381 Broadway, Suite 201, American Canyon, CA 94503

SPECIFIC CONDITIONS – DESIGN PERMIT APPROVAL

Approval, Exhibits, and Expiration

General Conditions

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
1.	NVR&G Vertical Metal Post Perimeter Fence Design Permit Plans as depicted in Exhibit B as modified by these conditions of approval are hereby approved.	Design Guidelines	Prior to City Issuance of Building Permit	Applicable
2.	Appeal. The Design Permit approval shall become effective on the expiration of the appeal period, which appeal period is ten (10) calendar days following the date of the Planning Commission approval of the Conditional Use Permit. If, during the appeal period, an appeal is properly filed with the Community Development Director - by filling out an Appeal Form accompanied by the appropriate appeal fee – the City Council shall notice, hear, and decide the appeal. Should the 10-day appeal period end on a Saturday, Sunday or holiday, the final day for filing an appeal shall be the following Monday, or the next business day following a holiday.	City Code	Whether Appeal Brought	Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
3.	The Development Agreement by and between the City and AC-1, as may be amended from time to time (“Development Agreement”) shall apply to and control over the Design Permit, their implementation, and these Design Permit Specific Conditions of Approval. These Specific Conditions of Approval shall only be interpreted in a manner that is consistent with the Development Agreement. If these Specific Conditions of Approval, or any one or more of them, are ever interpreted by the City to have a meaning inconsistent with the Development Agreement, then the provisions of the Development Agreement shall apply, including without limitation, the Resolution Process. For the purposes of these Design Permit Specific Conditions of Approval, “Developer” as used in the Development Agreement shall mean and include “Applicant” as used in these Design Permit Specific Conditions of Approval.	Development Agreement	Relevant City Permit	Applicable
4.	The Design Permit shall have the life (term) set forth in the Development Agreement.	Development Agreement	Specific Conditions	Applicable
5.	Applicant shall defend, indemnify, and hold harmless the City of American Canyon, its elected and appointed officials, employees, volunteers, and legal counsel, as set forth in the Development Agreement.	Development Agreement	As Needed	Applicable
6.	Applicant shall be responsible for paying for all fees, charges, and other City impositions related to the processing of this Design Permit application as set forth in the Development Agreement.	Development Agreement	Appropriate City permit	Applicable

Planning Division Conditions

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
7.	All plans submitted for review and approval by City and all development within the Project shall be in substantial conformance with the approved Design Permit and Design Guidelines, as applicable. The Community Development Director or designee may approve minor changes on the plans submitted for the construction permits with a determination that the changes are in substantial compliance with the representation of the project as reviewed by the Planning Commission that the proposed change will be in compliance with the required development standards, and the change will not materially affect adjacent private or public property.	Design Guidelines and Design Permit	Amphitheater at the Ruins Conditional Use Permit, and all other Permits for Development within the area comprising Watson Ranch Amphitheater at the Ruins Conditional Use Permit	Not Applicable
8.	These Specific Conditions for the Design Permit shall be attached to plan sets submitted for building permits, under the title "Design Permit Conditions."	Design Permit	Prior to Building Permit Issuance	Applicable; Not Completed
9.	Compliance of the Project with City's Inclusionary Housing Requirement is as set forth in the Development Agreement	Development Agreement	Sale of Parcel 24	Not Applicable
10.	According to the Watson Ranch Specific Plan (WRSP) Section 6.4.3, the project shall provide a minimum of 10% of the number of required automobile parking spaces as bicycle parking spaces, with a minimum of one two-bike capacity rack.	WRSP	Prior to Building Permit Issuance	Not Applicable
11.	Plans submitted for building permits, including all exterior site lighting, building-mounted lighting, lighting within the parking areas, and along walkways shall be consistent with the Design Guidelines. Lighting shall be shielded and avoid light spillage or glare from the project site, and exterior light fixtures on buildings shall be oriented downward and shall be shielded to return potential light and glare impacts, all as set forth in the Design Guidelines.	Design Guidelines	Prior to Building Permit Issuance	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
12.	Final landscape plans that comply with the State of California Water Efficient Landscape regulations are set forth in the Design Guidelines and shall be followed, and all plant materials shall be installed in accordance with the approved Design Guidelines.. All landscape plantings and required irrigation systems shall be maintained as set forth in the Design Guidelines.	Design Guidelines	Prior to issuance of the Certificate of Occupancy	Applicable; Not Completed
13.	Prior to the issuance of Building Permit Plans, the applicant shall submit a landscape plan for the project site.	Design Guidelines	Prior to the issuance of the Fence Building Permit	Applicable; Not Completed
14.	According to WRSP Section A.2, Tier 3 Design Guidelines, new landscape plans should incorporate sustainable techniques. Explain how the project can achieve the Tier 3 sustainable landscape techniques.	WRSP	Prior to Building Permit Issuance	Applicable; Not Completed

Building Division Conditions

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
15.	According to WRSP Appendix A.2 Sustainability Design Guidelines, Tier 2 Design Guidelines, homes and commercial buildings should be built incorporating the finest building and energy savings techniques. Prior to the issuance of building permits, provide a summary of prospective energy saving features for the Amphitheater.	WRSP	Prior to Building Permit Issuance	Not Applicable
16.	Prior to the issuance of building permits, ensure that emergency egress and rescue openings shall open to the public way or to a yard or court that opens to a public way, per CBC 1030.1.	State Code	Prior to Building Permit Issuance	Applicable; Not Completed
17.	Pool areas are typically Assembly use, per CBC 1004 and require two exits, per CBC 1006. Prior to the issuance of building permits, ensure that pool area exits comply with CBC Ch 10.	State Code	Prior to Building Permit Issuance	Not Applicable
18.	The swimming pools will require a Napa County Health permit prior to building permit issuance.	Specific Condition	Prior to Building Permit Issuance	Not Applicable
19.	Plastic pipe is prohibited in buildings in excess of 2 stories, per CPC 701.2, 9023.1.1, 1101.4.	State Code	Prior to Building Permit Issuance	Not Applicable
20.	Prior to the final inspection, the applicant shall submit letters to the Building Official from the project architect, civil engineer, and landscape architect indicating that all improvements have been constructed in accordance with the approved building plans.	Building Division	Prior to building permit final inspection	Not Applicable
21.	Prior to the final inspection, a Certified Access Specialist (CASp) shall submit a letter certifying that all improvements have been constructed in compliance with applicable state and federal accessibility standards. Determination of consistency shall be subject to the review and approval of the Building Official.	Design Guidelines	Prior to issuance of the Certificate of Occupancy	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
22.	Prior to issuance of a building permit the applicant shall submit a plan for the diversion of at least 70 percent of the debris from the building demolition and construction. The plan shall include the qualified recycler that will be used, the methods of managing diversion of construction materials on site, and the proposed documentation that will be submitted to confirm that the diversion goal has been met.	State	Prior to Building Permit Issuance	Not Applicable
23.	Deferred Submittals: Prior to issuance of a building permit, the applicant shall submit a request to the Chief Building Official for any proposed deferred submittals on a form provided by the Building and Safety Division. The Deferred Submittal request shall include a justification for each proposed deferred submittal. The Chief Building Official shall issue a determination on each proposed deferred submittal request.	State	Prior to Building Permit Issuance	Not Applicable

Fire Protection District Conditions

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
24.	In accordance with the standard mitigation measures and conditions of approval set forth by the American Canyon Fire Protection District, the developer shall pay the Fire Impact Fees (see current Standard Fees and Charges adopted by resolution) as set forth in the Development Agreement, prior to the issuance of any building permits.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
25.	New buildings and additions to existing buildings shall conform to requirements set forth in the currently adopted editions of the California Building Code, California Fire Code, City of American Canyon standards and Nationally Recognized Standards.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
26.	There shall be no deferred submittals for fire protection equipment and related utilities. Fire protection plans shall not be attached to or bound with the building plan submittal package. This includes but is not limited to Automatic Fire Sprinkler, Fire Alarm, Fixed Fire Protection and Civil plans.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
27.	All Fire related underground piping and fire appurtenances shall be shown on the Civil plan submittal. In addition to the Civil plan submittal, at least (1) plan set under separate cover shall be submitted to American Canyon Building Division for routing to the American Canyon Fire Protection District detailing all underground piping and related fire appurtenances including but not limited to underground piping, underground sweep detail, underground trench details showing depth of burial, type of backfill, manufacturer's specifications of piping, valves joints, fittings and calculated size and locations of thrust blocks, hydrants locations (designate public or private), gate shut-off valves, PIV's, FDC's, fire pumps, fire pump and/or riser rooms.	Fire District	Prior to Improvement Plans Issuance	Not Applicable
28.	Underground utility contractor, architect and fire sprinkler contractor shall coordinate the location of risers and control valves prior to the issuance of a building permit.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
29.	Fire Department plan review shall be based on the information submitted at the time of permit application. Any changes to the approved/permitted scope of work including additions, alterations, demolition, repair or a change in occupancy/use may impact the project requirements, including but not limited to the installation of additional fire protection systems or components.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
30.	<p>An approved water supply capable of supplying the required fire flow for fire protection systems shall be provided to all premises upon which facilities or buildings are hereby constructed or moved into or within the City. Required fire flow and hydrant distribution shall be in accordance with Appendix B and C of the California Fire Code. Applicant shall demonstrate on plan submittal; square footage of each building on plan and provide the required fire flow information. Applicant shall demonstrate that the number and spacing of onsite fire hydrants meets with requirements of the California Fire Code. See sample below regarding fire flow and hydrant detail information needed.</p> <p>BUILDING FIRE FLOW REQUIREMENTS – CFC TABLES B105.2 & B105.1(2)</p> <p>INFORMATION BELOW IS A SAMPLE AND FOR REFERENCE ONLY</p> <p>Table B105.1(2) – Building size = 129, 600 square feet Construction type = Type IIA FF = 5,250 gpm at 20 psi Duration = 4 hours</p> <p>Table B105.2 – Fire sprinkler allowance = - 50% 5,250 – 2,625 = 2,625 gpm FF = 2,625 gpm @ 20 psi Duration = 2 hours</p> <p>Table CC105.1 – Approximate number of hydrants = 3 Average spacing = 400 feet + 25% allowable increase = 500 Maximum distance from street or frontage = 225 feet = 50% allowable increase = 337.5</p>	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
31.	Fire Protection systems shall be installed in accordance with provisions set forth in the California Fire Code as amended by the City of American Canyon and the applicable National Fire Protection Association Standard.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
32.	The fire protection equipment shall be located within an interior room having an approved exterior access door or in an exterior enclosure attached to the building, specifically, for the purpose of housing such equipment.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable

Specific Condition	Developer Obligations	Mechanism	Implementation	Status
33.	Fire Apparatus Access Roads shall be designed in accordance with provisions set forth in the California Fire Code Chapter 5 and Appendix D as amended by the City of American Canyon and the applicable Public Works Standard.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed
34.	Fire apparatus access roads shall have an unobstructed minimum width of 20 feet (curb to curb) and a minimum unobstructed vertical clearance of 13' 6". They shall have an all-weather paved surface capable of supporting a GVW of 71,000 pounds.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed
35.	Access roads shall be completed with all-weather surfaces prior to the stockpiling of combustible materials or beginning combustible construction. Fire apparatus access shall be provided to within 150 feet of the most remote portions of all building from an approved exterior route. If this cannot be achieved fire apparatus turn arounds will be needed.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed

36.	Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Vertical traffic calming in the form of speed pumps, humps or dips are prohibited along fire access roads without prior approval of the fire Code Official. The minimum width and clearances established in Section 503.2.1 shall be maintained at all times.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed
37.	When required by the Fire Chief, fire apparatus access roads shall be designated as Fire Lanes and appropriate signs and/or markings installed in accordance with the California Vehicle Code and approved City standards.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed
38.	Where applicable improvement plan submittals for permit shall include locations of fire lane red curbing and fire lane signage. Please refer to and include City Public Works Standard FP-2A & 2B with plan submittals for permitting.	Fire District	Prior to Fire Permit or Building Permit issuance	Applicable; not completed
39.	The City of American Canyon requires that a fire hydrant be in service within 250 feet of the furthest point of construction prior to the stockpiling of combustible materials for the beginning of construction.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable
40.	Fire Department Connections (FDC) shall be located not more than 100 ft. from the nearest fire hydrant.	Fire District	Prior to Fire Permit or Building Permit issuance	Not Applicable

Public Works Department Conditions

General Conditions of Approval

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
41.	Applicant’s responsibility for fees and costs relating to Final Map check, Improvement Plans check, inspections, and all other related City acts shall be as set forth in the Development Agreement.	Development Agreement	Relevant City Act	Not Applicable
42.	All improvements shall be designed in accordance with the City’s American Canyon Municipal Code (ACMC), Engineering Standard Plans and Specifications for Public Improvements (City Standards), except as specifically noted otherwise in these Specific Conditions or the Development Agreement.	City Standards	Relevant Site Improvement Agreement (SIA), Building Permits, Certificates of Occupancy	Not Applicable
43.	All proposed new utilities to serve the Project, both on-site and along Project frontages, shall be placed underground. Exceptions may be allowed for surface mounted transformers, pedestal mounted terminal boxes, and meter cabinets.	Specific Conditions	SIA	Not Applicable
44.	Unless otherwise explicitly permitted by the Development Agreement, all existing wells, septic tanks and/or underground fuel storage tanks shall be abandoned under permit and inspection of Napa County Department of Environmental Services or other designated agency. If there are none, the Project geotechnical engineer shall provide a letter describing the scope of the search done to make this determination.	Development Agreement	Relevant Permit	Not Applicable
45.	A detailed Soils Investigation/Geotechnical Report shall be prepared and submitted for review. The report shall address, at a minimum, potential for liquefaction, R-values, expansive soils and seismic risk. The improvement plans shall incorporate all design and construction criteria recommended in the Geotechnical Report.	Specific Conditions	Improvement Plans Submittal	Applicable; not completed

Specific Condition	Developer Obligations	Mechanism	Implementation	Status
46.	A Drainage Report prepared by a California Registered Civil Engineer shall be submitted for review with the initial submittal of the Improvement Plans. The Drainage Report shall include hydrologic and hydraulic calculations to support the design and sizing of all public and private drainage facilities including storm drains, detention facilities, and weirs. The report shall include hydraulic grade line profiles for all proposed storm drains for the 10-year, 25-year and 100-year storm events.	Specific Conditions	Improvement Plans Submittal	Not Applicable
47.	A detailed Post-Construction Stormwater Control Plan (SWCP) that identifies and sizes all permanent post-construction stormwater treatment BMPs shall be prepared and submitted for review approval. The Plan shall be prepared in accordance with the latest edition of the <i>Bay Area Stormwater Management Agencies Association (BASMAA) Post-Construction Manual</i> and the requirements of the State Water Resources Control Board Phase II Municipal Separate Storm Water System (MS4) General Permit (Order 2013-0001 DWQ).	Specific Conditions	Improvement Plans Submittal	Not Applicable
48.	A Post Construction Stormwater Operations and Maintenance Plan that includes a plan sheet showing all storm drain and water quality infrastructure that is to be maintained, along with detailed instructions and schedules for the ongoing maintenance and operation of all post-construction stormwater BMPs shall be submitted for review and approval by the City Engineer. Once approved, the Applicant shall enter into an agreement (transferable to future maintenance association) with the City that provides the terms, conditions, and security associated with the ongoing requirements of the Post Construction Stormwater Best Management Practices.	Specific Conditions	Improvement Plans Submittal	Not Applicable
49.	Where relevant, Applicant shall secure all necessary rights-of-way and public and private easements for both onsite and offsite Public Improvements, pursuant to the Development Agreement. Public rights-of-way and easements shall be dedicated to the City on the Final Map or granted by separate instrument, all pursuant to the Development Agreement. If granted by separate instrument, Applicant shall prepare all necessary legal descriptions and deeds.	Specific Conditions	Dedication and Recordation	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
50.	To the extent any offsite Public Improvements require the acquisition of property not currently owned by Applicant or the City, the Development Agreement shall apply, and if the Development Agreement does not address the issue, the California Subdivision Map Act shall apply.	Specific Conditions	Prior to the issuance of Improvement Plans	Not Applicable
51.	Applicant shall submit all Site Improvement Plans, prepared by a registered Civil Engineer, for review and approval of the City. Please be aware that this is separate submittal from the building permit application. The final plan set shall include all civil drawings under a single cover sheet. Landscaping and joint trench drawings may be required as reference. Applicant shall submit a Rough Grading Plan for review and approval of the City. Rough Grading Plan approval and site grading may commence prior to Improvement Plan approval. An Encroachment Permit shall be required for any work within City right of way, unless explicitly not required by the City.	Specific Conditions	Improvement Plans Submittal	Not Applicable
52.	All Public Improvements, including without limitation street, water mains, sewer mains, recycled water facilities, and storm drains shall be clearly labeled as "Public" on the Improvement Plans, along with clear demarcation points where they become Public. Likewise, all Private Improvements, including without limitation, retention basins, shall be clearly labeled as "Private " on the Improvement Plans, along with clear demarcation points.	Specific Conditions	Improvement Plans Submittal	Not Applicable
53.	Cathodic protection shall be provided for all water valves, fittings, hydrants, meters, backflow devices and other metal appurtenances, regardless of the findings of any soils corrosivity analysis. Cathodic protection details shall be included in the Improvement Plans.	City Standards	During Construction	Not Applicable
54.	All public water service laterals or services (domestic, recycled and fire water) shall include approved backflow prevention devices.	City Standards	During Construction	Not Applicable
55.	Applicant shall keep adjoining public streets free and clean of Project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.	Specific Conditions	During Construction	Applicable; not completed

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
56.	If any hazardous material is encountered during any construction, all construction work shall immediately stop, and the Fire Department, Napa County Department of Environmental Services, or other designated agency, and the City Inspector, shall be notified immediately. Construction work shall not recommence until clearance has been issued by appropriate agencies.	Specific Conditions	During Construction	Not Applicable
57.	Prior to final preparation of the subgrade and placement of base materials, all underground utilities shall be installed, and service connections stubbed out behind the sidewalk. All public utilities, cable TV, sanitary sewers, and water lines, shall be installed in a manner that, where possible, will not result in disturbing the street pavement, curbs, gutters, and sidewalks when future service connections or extensions are made.	Specific Conditions	During Construction	Not Applicable
58.	Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. Additionally, if field conditions warrant installation of any subdrains, the location, size and construction details shall be provided to the City for review and approval prior to construction.	Specific Conditions	During Construction	Not Applicable
59.	All new fire hydrants shall be covered with burlap coverings until the hydrants have been tested and found to be in conformance with City flow requirements. No storage of combustible materials or construction of building(s) shall be permitted on-site until all hydrants meet City flow requirements, or until alternative fire protection measures are in place, as determined by the City.	Specific Conditions	Pre- and during construction	Not Applicable
60.	Prior to placing the final lift of asphalt, all public storm drains and sanitary sewer lines shall be video inspected at Applicant's expense. All video tapes shall be submitted to the City. If any inadequacies are found by City, such inadequacies shall be repaired prior to the placement of the final lift of asphalt.	Specific Conditions	Prior to placing the final lift of asphalt	Not Applicable

<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
61.	All streets, curbs, gutters, sidewalks, or other public facilities damaged in the course of construction associated with the Project shall be the responsibility of Applicant and shall be repaired to the satisfaction of the City, at Applicant's expense.	Specific Conditions	During and post Construction	Applicable; not completed
62.	After all of the new underground utilities within public streets have been installed, where necessary, the affected areas shall be milled and repaved to present a neat, finished pavement area. Multiple trench patches are not acceptable.	Specific Conditions	SIA	Not Applicable
63.	All construction stormwater pollution prevention best management practices (BMPs) shall be installed as the first order of work and in accordance with City's BMPs for ground disturbing activities. All BMPs shall be maintained to the satisfaction of the City Engineer.	Specific Conditions	Pre-Construction	Applicable; not completed
64.	Construction activities associated with the grading/improvement plans shall be limited to between 7:00 a.m. and 6:00 p.m. Monday through Friday. Work on weekends and holidays require written approval from the Public Works Director. If weekends and holiday work is approved, construction and grading activities shall be limited to between 8:00 a.m. to 6:00 p.m. on Saturdays, and between 10:00 a.m. and 6 p.m. on Sundays and holidays.	Specific Conditions	Any Construction and Grading Activity	Applicable; not completed
65.	In accordance with the Development Agreement, City has executed any and all Will-Serve Letter(s) and Water Supply Report(s) that quantify the potable water demand for the proposed development and identifies the necessary mitigation for the development's demands with "wet-water" offsets with one or more of the options set forth in the Development Agreement.	Specific Conditions	Relevant Permit	Not Applicable
66.	All Public Improvement landscaping shall be designed to use recycled water for irrigation. Recycled water landscaping shall be designed to comply with California Code of Regulations Title 22 and shall include design details to prevent runoff of recycled water. The irrigation system shall include an ET/SMART controller.	Specific Conditions	Improvement Plans Submittal	Not Applicable

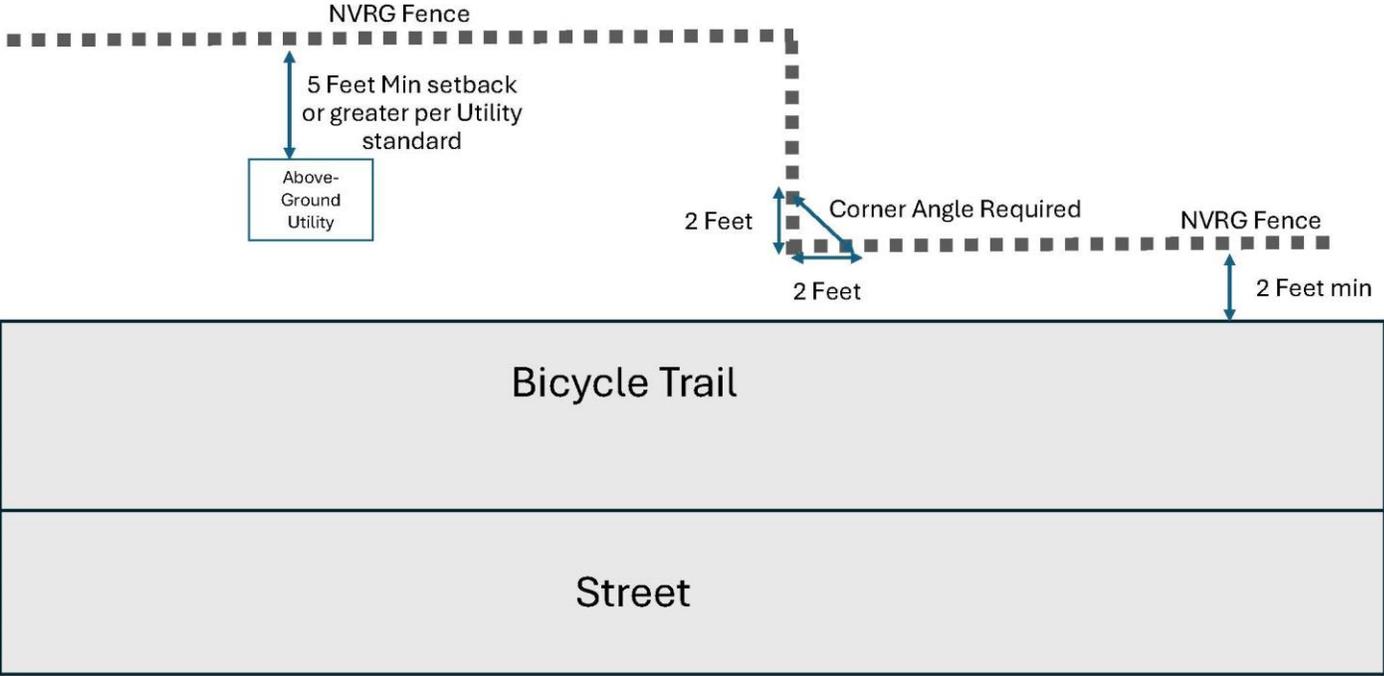
<i>Specific Condition</i>	<i>Developer Obligations</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
67.	With the exception of water used for loading and testing of potable water lines, all construction water used for the project shall be obtained from a source other than American Canyon potable water sources. The Applicant shall provide verification that an outside source of construction water, e.g., recycled water, existing wells, etc., has been established and will be available for the duration of the project construction.	Specific Conditions	During Construction	Applicable; not completed

NVRG Vertical Metal Post Fence

Special Conditions of Approval

<i>Specific Condition</i>	<i>Developer Obligation</i>	<i>Mechanism</i>	<i>Implementation</i>	<i>Status</i>
68.	Prior to the issuance of a building permit for the NVRG Vertical Post Fence, building permit Plans shall place the fence a minimum of 2-feet from the adjacent bicycle trail and submit a landscape plan for the setback between the sidewalk and fence.	Specific Condition; WRSP Trail Standards	Building Permit Plan Submittal	Applicable; not completed
69.	Prior to the issuance of a building permit for the NVRG Vertical Post Fence, a 10-foot corner line of sight visibility per engineering standard 3.09 shall be provided at pedestrian and vehicle access points.	Specific Condition; WRSP Trail Standards	Building Permit Plan Submittal	Applicable; not completed
70.	Prior to the issuance of a building permit for the NVRG Vertical Post Fence, locations where the fence changes direction by 90 degrees within 2-feet of the bicycle trail shall soften the corner with a diagonal connection that begins 2-feet from the place where the fence changes direction. See Graphic A.	Specific Condition; WRSP Trail Standards	Building Permit Plan Submittal	Applicable; not completed
71.	Prior to the issuance of a building permit for the NVRG Vertical Post Fence, the fence shall be setback a minimum of 5-feet from an above-ground utility or greater amount per Utility standards. See Graphic A.	Specific Condition; WRSP Trail Standards	Building Permit Plan Submittal	Applicable; not completed
72.	Prior to the issuance of a building permit for the NVRG Vertical Post Fence, the applicant shall submit a modified fence plan that removes the proposed fence from the south side of the Quarry Lake Park.	Specific Condition; WRSP Trail Standards	Building Permit Plan Submittal	Applicable; not completed

Graphic A



Not to scale



October 7, 2024

Mr. Brent Cooper
Community Development Director
City of American Canyon
American Canyon, CA

Re: Napa Valley Ruins & Gardens – Proposed Fence Design

Dear Brent

I have summarized below the reasons behind the proposed fence design for the exterior of Napa Valley Ruins & Gardens (“the Ruins”) which will front the western edge of Rolling Hills Drive and the southern edge of Rio Del Mar. As discussed with City Staff onsite last Thursday, the exterior fence needs to meet several important criteria which I have outlined below:

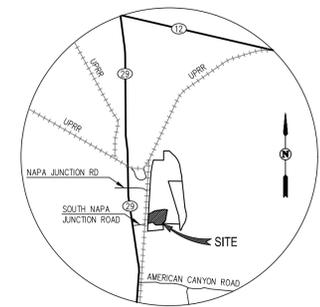
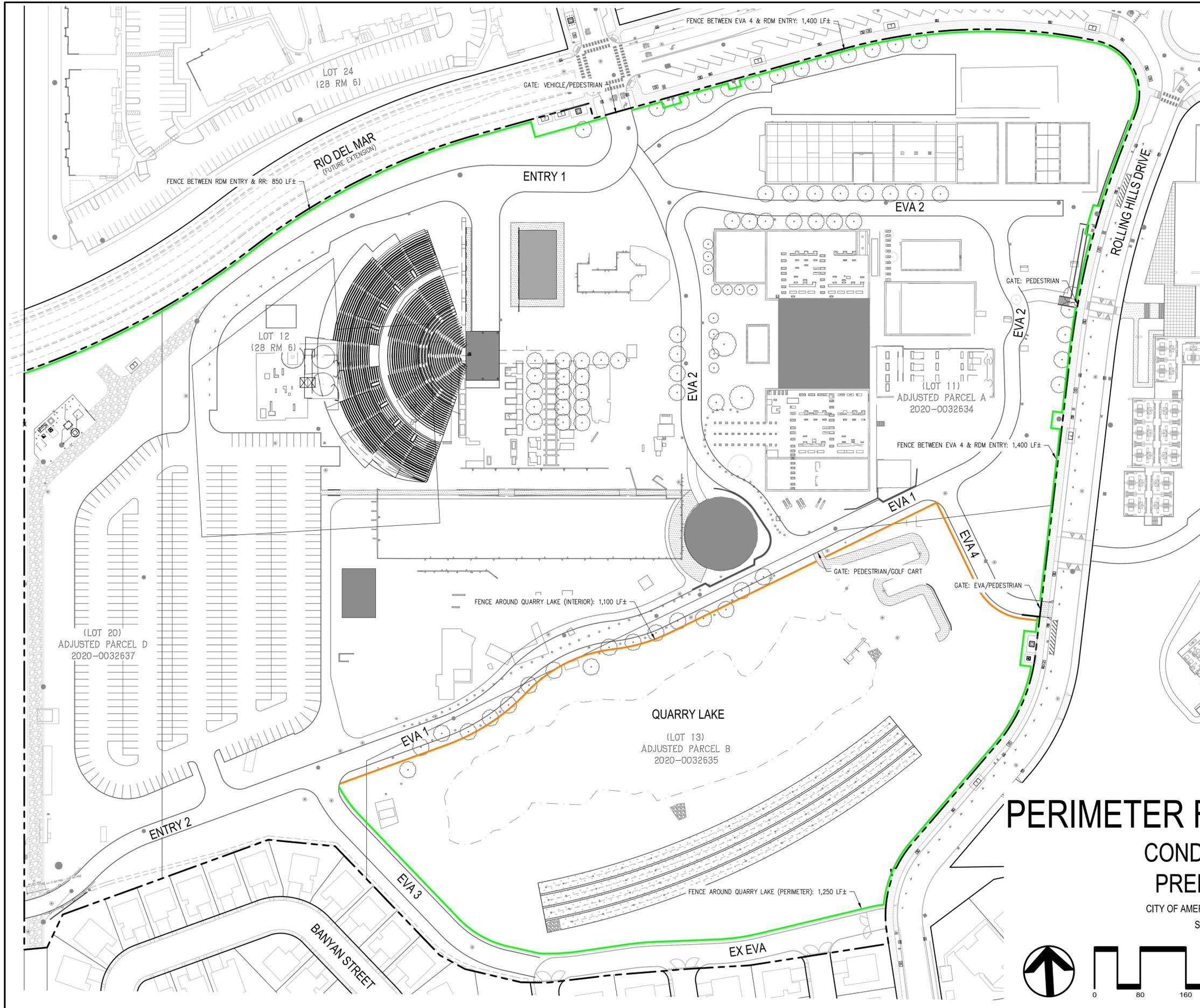
- 1) **Aesthetics & Simplicity:** We considered many different design criteria and ultimately selected the proposed fence design because it offers a very simple and elegant physical design that connects to the existing heritage of the Ruins with the rusted metal drilling pipes that have been recycled into metal vertical fence posts.
- 2) **Security & Height:** The security of patrons visiting the Ruins is of utmost importance as well as protecting vendors, equipment and art that will be part of the venue. The specific design of the proposed fence makes it extremely difficult to scale because there are no horizontal cross sections prohibiting trespassers from being able to gain an easy foot or hand hold. City standards for neighborhood fences is 6 feet and we are proposing 8 feet for several reasons which include the height & scale of the Ruins behind the fence as well as the width of the sidewalk which is 12 feet wide.
- 3) **Connectivity & Transparency:** The design of vertical metal posts without any horizontal cross sections allows a tremendous amount of transparency into the Ruins as well as provides patrons and vendors with a view to the outside community. There is an openness to the design that feels more spacious providing more “eyes” both inside / outside of the Ruins in addition to connecting it visually to the surrounding community.
- 4) **Maintenance & Vandalism:** The metal fence posts will be set 4 inches apart in a 10-inch-wide concrete footing at the same height of the concrete sidewalks. The metal fence posts will not require any long-term maintenance nor any weeding underneath the fence. Additionally, there is limited surface area to vandalize with inappropriate messages and/or tagging.

I appreciate the help and input the City Staff has provided into the proposed design of the fence. Please let me know if you have any questions and look forward to presenting the design to the AC Planning Commission.

Sincerely,

Terrence McGrath
Managing Member
Napa Valley Ruins & Gardens, LLC

NAPA VALLEY RUINS & GARDENS, LLC



GENERAL NOTES

- OWNER/DEVELOPER: NAPA VALLEY RUINS & GARDENS, LLC
1001 42ND STREET, SUITE 200
OAKLAND, CA 94608
CONTACT: TERENCE M. McGRATH
PHONE: (510) 273-2001
- CIVIL ENGINEER: CARLSON, BARBEE, & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
CONTACT: WILLIAM P. CARLSON, PE 89309
PHONE: (925) 866-0322

SHEET INDEX

SHEET #	TITLE
1	PRELIMINARY SITE PLAN
2	FENCING DETAILS

LEGEND

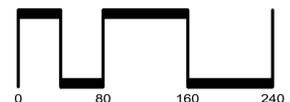
EXISTING	PROPOSED	DESCRIPTION
---	---	NVRG PROJECT BOUNDARY
---	---	CENTERLINE
---	---	LOT LINE
---	---	RIGHT OF WAY
---	---	EASEMENT LINE
---	---	CURB & SIDEWALK
---	---	TOP/TOE OF SLOPE
---	---	RETAINING WALL
---	---	FENCING (PERIMETER)
---	---	FENCING (INTERIOR)

PL24-0026

PERIMETER FENCING AT THE RUINS

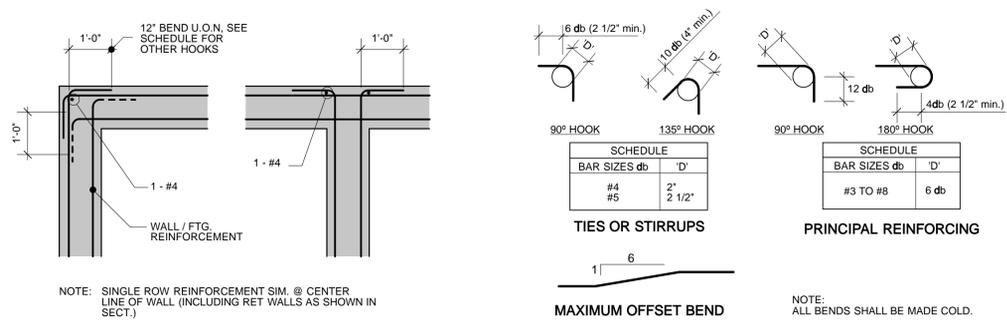
CONDITIONAL USE PERMIT PRELIMINARY SITE PLAN

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1"=60' DATE: OCTOBER 4, 2024



SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
1
OF 2 SHEETS

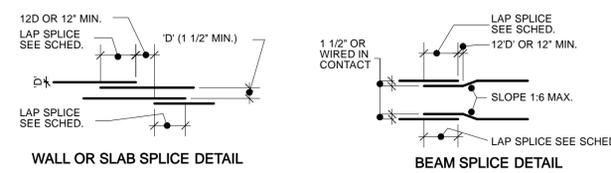


A TYPICAL STREET VIEW
SCALE: 1:1

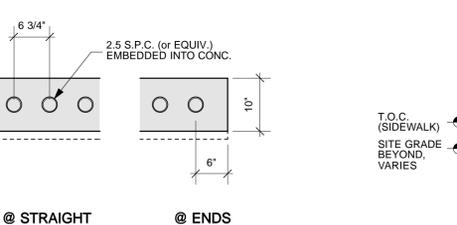
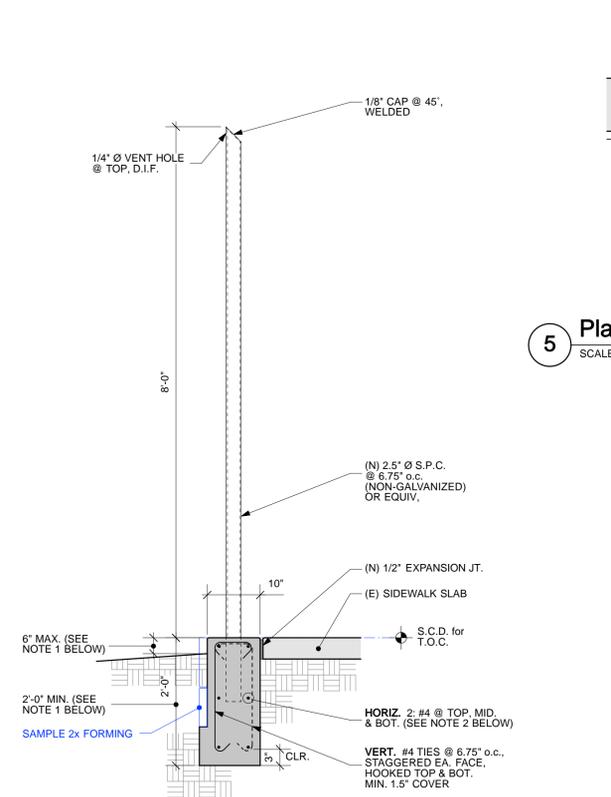
CLASS 'B' REINFORCEMENT LAP SPLICE AND EMBEDMENT LENGTH REQUIREMENTS FOR SLABS AND WALLS
f_c = 3,000 psi NORMAL WEIGHT (145 pcf)

BAR SIZE	**MIN. LAP LENGTH (IN.)		**MIN. EMBED. LENGTH (IN.)		W/ STD. HOOK
	TOP BARS	OTHER BARS	STRAIGHT BARS	OTHER BARS	
40 ksi					
#4	25	19	19	15	8
60 ksi					
#5	47	36	36	28	14

NOTES:
1. ADD 50% FOR BAR SPACING < 2db
2. MIN. LAP ALL BARS CLASS 'B' SPLICE
3. STAGGER LAPS OF HORIZ. WALL BARS
4. TOP BARS ARE HORIZ. BARS W/ > 12" OF CONC. CAST BELOW THE REINF.; MULTIPLE HORIZ. BARS IN A SINGLE VERTICAL PLAN SUCH AS COLUMN TIES OR HORIZ. BARS IN WALLS ARE NOT TOP BARS.



3.0 Typ. Reinforcing Laps
SCALE: 1:2



GENERAL NOTES:

ALL PLANS ARE FOR APPROXIMATE LOCATIONS FOR STRUCTURAL ITEMS SHOWN. VERIFY IN FIELD ALL CONDITIONS AND MEASUREMENTS. DO NOT SCALE PLANS.

- INTENT: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- DISCREPANCIES: THE CONTRACTOR SHALL USE STRUCTURAL DRAWINGS AND OTHER DRAWINGS FOR INDIVIDUAL ITEMS. DISCREPANCIES UNCOVERED, IF ANY, SHALL BE REPORTED BEFORE PROCEEDING WITH THE WORK, SO THAT PROPER ADJUSTMENTS CAN BE MADE.
- THE APPROVED DRAWINGS SHALL BE KEPT ON THE JOB SITE AND SHALL BE AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE BUILDING OFFICIAL. THERE SHALL BE NO DEVIATION FROM THE STAMPED DRAWINGS WITHOUT OFFICIAL APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS AND SHALL DESIGN ALL SHORING AND BRACING TO INSURE THE SAFETY OF THE WORK UNTIL IN COMPLETED FORM.
- REFER TO CIVIL DRAWINGS (WHERE APPLICABLE) FOR ALL MEASUREMENTS, ELEVATIONS, FINISHES, SPECIFIC TRIM, AND WATERPROOFING DETAILING. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

DESIGN DATA

- CODE: 2022 CALIFORNIA BUILDING CODE (ASCE 7-16).
- FENCE DESIGN:
 - SEISMIC HAZARD: S_{ds} = 1.753, S_{d1} = 0.736
 - SEISMIC PER ASCE 13.3.1.1: (a_p = 1.0, R_p = 2.5) F_p = 0.28 but not less than F_p = 0.53 W_p
 - WIND - N/A DUE TO TRANSPARENCY

FOUNDATION

- REFERENCE:
 - GEOTECHNICAL INVESTIGATION BY ENGeo, INC., 2010 CROW CANYON PLACE, SUITE 250, SAN RAMON, CA 94583, (925) 866-9000, DATED DECEMBER 16, 2020. SUPPLEMENTAL RECOMMENDATIONS FOR GABION WALLS, DATED JULY 11, 2022.
- DESIGN PARAMETERS:
 - ALLOWABLE BEARING 3,000 PSF
 - PASSIVE PRESSURE 250 PSF/FT OVER 2 PIER DIAMETERS
- SUPERVISION AND ACCEPTANCE: CONTRACTOR TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE SOIL'S REPORT IS AVAILABLE IN THE OFFICE OF THE ENGINEER FOR REVIEW. ALL DETERMINATIONS OF THE ACCEPTABILITY OF SOIL CONDITIONS SHALL BE MADE BY GEOTECHNICAL CONSULTANT. NOTE: THE GEOTECHNICAL ENGINEER SHALL BE RESPONSIBLE FOR APPROVING ALL FOOTING DETAILS.

CONCRETE

- CAST-IN-PLACE CONCRETE:
 - U.O.N. CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS (f_c):
 - FOOTINGS - 3,000 psi MIN. (2,500 psi USED IN DESIGN)
 - TESTING OF WALLS, SLAB DECKS, AND BEAMS IS REQUIRED.
 - MAXIMUM SLUMP: 4 INCHES.
 - PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II, LOW ALKALI.
 - NO CALCIUM CHLORIDE IS PERMITTED IN ANY CONCRETE.
 - AGGREGATE SHALL CONFORM TO ASTM C-33.
 - CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF THREE DAYS AFTER PLACEMENT. ALTERNATIVE METHODS WILL BE APPROVED IF SATISFACTORY PERFORMANCE CAN BE ASSURED.
 - SUBMIT MIX DESIGNS TO ENGINEER OF RECORD (MIN. 4 SETS W/ ONE KEPT FOR RECORDS) FOR APPROVAL PRIOR TO PLACEMENT.
 - REINFORCEMENT:
 - ALL #4 AND SMALLER REINFORCING BARS SHALL CONFORM TO ASTM A615, GR. 60.
 - #5 AND LARGER SHALL CONFORM TO ASTM A615, GR. 60.
 - HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITION WITH DEVICES SUFFICIENTLY NUMEROUS TO PREVENT DISPLACEMENT.
 - ALL BAR LAP SPLICES SHALL BE PER SCHEDULE THIS SHEET. OFFSET LAP SPLICES AS REQUIRED.
 - PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVER OF CONCRETE:
 - UNFORMED: 3" CLEAR BELOW GRADE
 - FORMED: 2" CLEAR BELOW GRADE
 - WELDING OF REBAR IS NOT PERMITTED UNLESS PROCEDURE APPROVED BY THE STRUCTURAL ENGINEER.

STRUCTURAL STEEL

- MATERIALS:
 - PIPE SECTIONS - ASTM A53 Grade B, F_y = 35 ksi (or EQUIV.)
 - ANGLES, PLATES - ASTM A36, F_y = 36 ksi
- FABRICATION AND ERECTION:
 - COMPLY WITH AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.
 - STRUCTURAL STEEL USED IN THE SEISMIC FORCE RESISTING SYSTEM (SFRS) SHALL SATISFY THE REQUIREMENTS OF AISC 341 - SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS, LATEST EDITION.
- WELDING:
 - COMPLY WITH AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE-STEEL" ANSI / AWS D1.1, CURRENT EDITION AND "STRUCTURAL WELDING CODE - SHEET STEEL" AWS D1.3, CURRENT EDITION, USE "E70" OR EQUAL ELECTRODES. ALL WELDING TO BE BY CERTIFIED WELDERS.
 - ALL WELDS USED IN MEMBERS AND CONNECTIONS IN THE SFRS SHALL BE MADE WITH FILLER METALS MEETING THE REQUIREMENTS SPECIFIED IN CLAUSE 6.3.0 OF "STRUCTURAL WELDING CODE - SEISMIC SUPPLEMENT (AWS D1.8)".

INSPECTION

- THE INSPECTOR SHALL NOTIFY THE ENGINEER OF ANY CONSTRUCTION WHICH IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THIS NOTIFICATION SHALL BE BY TELEPHONE, INCLUDING LEAVING A MESSAGE AT THE OFFICE OF THE ARCHITECT AS TO THE NATURE OF THE SITUATION WITH CONFIRMATION IN WRITING. CONTRACTOR SHALL BE IMMEDIATELY ADVISED OF ANY CONSTRUCTION WHICH, IN INSPECTOR'S OPINION, IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

STRUCTURAL OBSERVATION

- ENGINEER IS TO PROVIDE 'OBSERVATION' IN ACCORDANCE WITH THE CBC PER 1704.6 REQUIREMENTS FOR THE FOLLOWING WORK:
 - EXCAVATIONS, FORMWORK, AND REBAR PLACEMENT AT (N) FOUNDATION ELEMENTS
 - STEEL FRAMING INSTALLATION

4 Picket Fence, Typ.
SCALE: 3/4" = 1'-0"

PROJECT INFORMATION

PROJECT SCOPE:	NEW APPROX. 4,600 L.F. OF SITE SECURITY FENCING AS DELINEATED IN 'GREEN' ON SITE PLAN
OCCUPANCY:	N/A

Smith engineering, inc.
Civil / Structural Engineering
Berkeley Office:
732 Addison Street, Suite B
Berkeley, CA 94702
Ph: 510-444-0494
Fax: 510-898-1246

October 4, 2024

PROJECT OWNER:
McGrath
NVRG
Napa Valley Ruins & Gardens, LLC
1001 42nd Street, Suite 200
Oakland, CA 94608
Terrence M. McGrath
Office: (510) 273-2001

CIVIL ENGINEER:
CBG
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 Camino Ramon, Suite 350
San Ramon, CA 94583
P: (925) 866-0322 x324
WCarlson@cbandg.com

CONTRACTOR:
ECS CORP
1200 Concord Ave., Suite 200
Concord, CA 94520
Office: 925-969-9245
e-mail: roger@ecs-corp.net

Napa Valley Ruins & Gardens
Site Fence
American Canyon, CA

Revisions	Date

Job number: **SMITH X137E**
Issue date: **October 4, 2024**
Drawn by: **NDS + CCS**

Elevations + Details
General Notes

N.V.R.G.
Site Security Fence

Sheet
SW-10.1
of 2 Sheets

SUBMITTAL SET: 10/04/2024 FOR CITY SUBMITTAL

APPENDIX A: DESIGN GUIDELINES

A.1 Purpose and Intent of the Design Guidelines

The Watson Ranch Specific Plan (WRSP) design guidelines seek to create a unique, memorable identity to reinforce the City of American Canyon as a destination within Napa County.

This design direction utilizes simple forms with an architectural palette appropriate to wine country living. The design guidelines are statements that describe the desired visual character within the WRSP. They are working tools that implement the Vision and Design Strategy provided in Chapter 4. The design guidelines address issues that are primarily aesthetic in nature.

The design guidelines establish a range of encouraged design approaches while allowing for flexibility and innovation. The design guidelines are designed to provide the City of American Canyon with the necessary assurance that the WRSP Area will develop in accordance with the quality and character proposed herein; and to provide guidance to City staff, the Planning Commission, and the City Council in the review of future development projects in the WRSP Area.

The design guidelines address each land use: Napa Valley Ruins & Gardens Mixed Use (MU), High Density Residential (HDR), Medium Density Residential (MDR), Parks, and Open Space; and general categories of community monumentation, as well as walls and fencing. The intent of the design guidelines is to encourage innovative, quality design for all areas of the WRSP Area.

Per City of American Canyon Code, all development proposals must be reviewed by the Planning Commission. Any changes to a building and/or facade for any land use submitted after Planning Commission approval should be reviewed and approved administratively by the planning director or the designee. Should they deem that there has been too great a modification to the plans previously recommended for approval by the Planning Commission and approved by City Council, then the particular building elevations shall be re-submitted for review and approval.

A.2 Sustainability Design Guidelines

The sustainability of a community depends on creating and maintaining its economic and environmental health. It is important that for communities to be successful, they develop principles and a collective vision for the future that applies an integrative approach to environmental, economic, and social goals. The WRSP aims to achieve a high level of sustainability incorporating a three tier approach to sustainability through an effective management of resources at all levels of planning, design, and construction.

TIER 1 DESIGN GUIDELINES

The first tier involves using sustainable principles in community design and overall master planning. An integral relationship exists between how a community is planned and developed through its form, configuration, and use along with its capacity to meet its social, environmental, and economic needs. Community form, which represents the needs and priorities of the community, directly influences community capacity to sustain itself into the future. The sustainability design guidelines used in the overall planning of the WRSP Area include:

- Vehicle miles travelled should be reduced through the provision of a mixed-use community that accommodates a wide range of uses.
- A wide range of housing types should be provided that allow for varied housing opportunities.
- Non-vehicular circulation should be emphasized through the creation of compact, interconnected walkable blocks.
- A healthy lifestyle should be promoted through an integrated system of trails and pedestrian connections.
- Narrow street sections should be provided to reduce surface runoff and reduce urban heat island effect.

- Environmentally sensitive areas should be preserved where possible.
- Existing structures and materials at the NVRG should be reused where possible.
- Features such as electric charging stations and solar panels should be provided at key community destinations.
- Wherever applicable, the project should promote community-wide awareness on sustainability through outreach and education. Awareness techniques may include, but not be limited to LEED certified buildings incorporating signage on the sustainable design features on the built environment, landscape signage educating the community on sustainability techniques in the natural environment, and community-wide classes and seminars to make the residents aware of what they can do to help.
- Incorporate horizontal mixed-use into the community to create a walkable, pedestrian friendly community with less need for automobiles.
- If possible, accommodate a public transit stop centrally located near the core activity hub.
- High Performance Attics;
 - o High Performance Walls;
 - o High Performance HVAC Systems
 - o High Performance Windows;
 - o Tankless Water heaters; and
 - o Cooling Ventilation and house fans;
- Consider incorporating a “cool roof” which reduces the amount of heat conducted to the building. This can be achieved by using highly reflective or “cool color” roofing products.
- Outdoor lighting should incorporate fixtures that produce light using light-emitting diodes (LEDs) which use at least 75 percent less energy than incandescent lighting.
- Residences and public/commercial buildings should be designed to accommodate electric vehicle charging stations.
- Incorporating signage on the sustainable design features on the build environment, specifically LEED certified buildings.

TIER 2 DESIGN GUIDELINES

The second tier involves a commitment to using sustainable green building techniques. The technology exists to create buildings that are smarter, more energy efficient, and healthier than those of the past. Homes and commercial buildings should be built incorporating the finest building and energy saving techniques available. The sustainable green building techniques that might be used in the built form include:

- Passive energy should be used to reduce dependency on mechanized energy systems.
- Recycled, refurbished or sustainability farmed building products should be incorporated.
- A lifecycle analysis should be used when choosing building materials.
- Homes and buildings should meet strict energy performance standards by incorporating ENERGY STAR compliant products such as appliances, building, heating and cooling, and lighting products in an effort to reduce greenhouse gas emissions.
- Reduce the energy consumption in homes by the use of energy efficient design and construction methods. These could include, but not limited to:

- Homebuilders providing buyers with a system option for the homes to include photovoltaic (solar) and solar water-heating systems. Being solar-ready may include:
 - o Having a designated solar zone
 - o Adequate electric capacity
 - o Designated conduit and plumbing paths
- Commercial parking incorporating photovoltaic (solar) panels over the parking, or solar turbines located on the light poles to harvest energy.

TIER 3 DESIGN GUIDELINES

The third tier involves a commitment to sustainable landscape techniques. The desire to create community in accordance with green building principles influences the decisions regarding the landscape design, recreational programming, and physical layout of each development area. The sustainable landscape techniques that may be used include:

- Drought tolerant plants should be selected to reduce water consumption based upon:
 - o Their adaptability to the natural conditions of the site.

- o Protection and preservation of native species and natural vegetation
- o Disease and pest resistance
- o Water-conserving plant and turf species
- o Selection of plants from the East Bay Municipal Water District's "Plants and Landscape for Summer-Dry Climates" as the primary reference.
- Plant materials should be selected that promote a diversity of flora and fauna.
- Recycled water for landscape should be considered to reduce the consumption and demand of potable water.
- Pursuant to Zoning Ordinance Chapter 19.22.040 no turf is permitted in front yards and in other areas turf areas should be minimized.
- Low impact development principles should be implemented to reduce the impact of the development on the natural environment.
- Incorporate infiltration beds, swales, and basins into the design of a project to allow water to collect and soak into the ground, as required by local agency.
- Utilize pervious or porous surfaces (permeable pavers or blocks) to minimize runoff.
- Encourage the use of rain harvesting or catchment technologies (rain gardens, canisters, etc.)
- Projects shall incorporate The City of American Canyon Model Water Efficient Landscape Ordinance (MWELO) into the design.

A.2.1 SUSTAINABLE LANDSCAPE

Sustainable landscape practices proposed for the WRSP Area may include Low Impact Development techniques, innovative irrigation technologies and water conservation, drought-tolerant landscape, and energy conservation.

A.2.1.1 LOW IMPACT DEVELOPMENT (LID) LANDSCAPE

The term LID refers to storm water management techniques that use vegetation and open space to optimize natural hydrologic processes and reduce stormwater runoff.

Areas incorporated within the WRSP Area that provide treatment include NVRG, parks, community gardens, detention basins and open space. All project areas should incorporate the following sustainable landscape practices:

- Large canopy street trees should be used wherever appropriate to intercept rainwater, encourage root uptake, and facilitate evapotranspiration.
- Bio-retention systems in conjunction with vegetated swales should be incorporated where appropriate in open space and other landscape areas.
- Where space allows, residential areas should include landscape treatments that provide on-lot detention, filtering of rainwater, and groundwater recharge.
- Where suitable, permeable surfaces such as unit pavers, turf block, gravel and permeable concrete, should be used in place of paving;
- Tree and plant species for bio-retention and bio-swale areas should be selected from the approved plant palette shown in Appendix A.

A.2.1.2 IRRIGATION AND WATER CONSERVATION

Irrigation systems should be designed to conserve water resources by efficiently and uniformly distributing water. Less watering, fertilizing, and chemical control required for landscape design reduces the need for irrigation and associated water use.

- Irrigation design should follow California Department of Water Resources ordinances, Napa County Water Ordinances and tailored to the climate of American Canyon.
- Irrigation should be provided for plant establishment.
- All public areas, rights-of-way, and community landscaping should have an automatic irrigation system.
- Use of low volume spray heads and drip irrigation systems should be maximized.
- New irrigation techniques and drip irrigation systems should be used for efficient delivery of water.
- Irrigation design should accommodate hydrozones accordingly, separating high, medium and low water-use plants.

- Automatic irrigation systems should include a rain shutoff valve or weather based control system.
- Shrubs and trees should be irrigated with a drip system or MPR heads to provide deeper, more even watering and promote water conservation.
- Irrigation controls should be screened from view from the street by landscaping or attractive site materials.
- Soils should be mulched with 3 inches of organic material to reduce evaporation, keep the soil temperature even, and control weeds.

A.2.1.3 DROUGHT TOLERANT LANDSCAPE

- Plant selection should emphasize the use of native, drought-tolerant, long-lived, pest-resistant plant species that are well adapted to the climatic and soils conditions of the site.
- Turf should be limited to parks or other active uses and high visibility areas as allowable.
- Low groundcover and drought tolerant grasses should be used as an alternative to turf wherever possible.
- Sustainable maintenance techniques should be used through the use of organic fertilizers and weed/pest control products through literature provided to future residents, including local resources for procurement of drought-tolerant plant materials.



Native, drought tolerant landscaping

A.2.1.4 ENERGY CONSERVATION

- Planting design should consider location and orientation when adjacent to buildings to maximize solar orientation and reduce building heating and cooling.
- Landscape around buildings should be designed to provide shading in the summer months and solar access during the winter.
- Energy-efficient landscaping techniques are encouraged such as use of local materials, and on-site composting, to reduce green waste hauling.

A.3 Landscape Strategy

The landscape design for the WRSP Area emphasizes drought-tolerant, native and edible landscaping and provides abundant trees for beauty, definition of spaces, habitat enhancement, and comfortable & healthy community in American Canyon. Attractive and shaded streets, parks, community gardens, buffers, and trails will establish strong community character and quality living environments, both in the near future and in the long term. In addition, the WRSP incorporates green infrastructure or low impact development landscape practices.



Drought tolerant landscaping

A.3.1 OVERALL LANDSCAPE DESIGN GUIDELINES

The following design guidelines pertain to all initial planting within the WRSP Area. As applicable, landscaping within the WRSP Area will be subject to any special requirements identified by soils or inherent drainage conditions.

- Plant materials should be selected from the plant palettes in Appendix A, with an emphasis on native and adaptive plants, where appropriate.
- Substitutions or additions may be considered based on the suitability of the species in terms of similarity of form, adaptability, tolerance to site soils, climatic conditions or water quality, or other pertinent characteristics.
- The plant list is not intended to be exhaustive but to provide a clear guide for selection.
- Additional plants may be used that are compatible with this list and are consistent with the intent of these Guidelines.
- Plant selection should emphasize the use of drought-tolerant, long-lived plant species that are well adapted to the climatic and soils conditions of the site.
- Planting design should consider year-round interest and seasonal character through the careful use of flower, leaf color and texture.
- Landscape design should provide effective screening of parking areas, retaining walls, utility enclosures, utility cabinets, service areas, or transportation corridors to reduce negative visual impacts.
- Screening landscape should incorporate evergreen plant species in order to maintain year-round leaf cover.
- Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of non-native, invasive species that may spread into open space areas.
- Street trees should be placed in parkway strips between the curb and sidewalk, with drought tolerant shrub and ground cover plantings to encourage sidewalk use.
- Pedestrian trails or walkways with ornamental plantings may provide enhanced landscape within the various neighborhood communities.
- Landscaping is required where development is visible from major public roadways and public facilities including trails.
- Tree planting location and species should consider the need to preserve solar access, views, and fire safety requirements.
- All plants should be carefully selected to avoid toxic species that could be harmful to children or cause allergic reactions.
- Landscape plans for all areas where the developer is required to install landscaping should be prepared by a landscape architect registered to practice in the State of California.



Edible Landscape



Community Garden

A.3.2 COMMUNITY GARDENS AND EDIBLE LANDSCAPE

The use of edible landscaping will be important in expressing the healthy living theme of the WRSP Area. In addition to NVRG and neighborhood gardens, edible landscaping may be used almost anywhere in commercial and residential sites, trails, parks, and other open spaces so that residents can enjoy the benefits of edible plants integrated into their daily lives.

- Planting should combine non-edible and edible species such as combinations of fruit and nut trees, berry bushes, vegetables, herbs, edible flowers, and ornamental plants.
- Edible landscape designs should resemble an ornamental garden and create balance, unity, rhythm, interconnection, and pattern in the landscape while integrating a host of food-producing plants into the design.
- Fruit-bearing trees, if used, should be planted to not overhang paved areas or trails.
- Landscape design should emphasize the use of nectar-producing and flowering plants that supply food, shelter, and breeding habitat for beneficial insects that pollinate edible crops and control pests.
- Gardens for butterflies, hummingbirds, and native bees should be used.
- Climbing vines such as grape and kiwi should be used for arbors, pergolas, fence lines, or trellises.

A.4 Residential Design Guidelines

While a well-organized land use and circulation plan is important, it does not create a pleasant and memorable community. Identity deals with the perception of the community as we experience it, not in plan form or from an airplane. The intent of the residential Design Guidelines is to craft architectural forms that create visually appealing neighborhoods.

A.4.1 NEIGHBORHOOD CHARACTER DESIGN GUIDELINES

Neighborhood character is based upon a combination of circulation patterns, architecture, and landscape forms. The following guidelines should be considered during the neighborhood design process.

- Open ended cul-de-sacs should be utilized where practical.
- Long stretches of homes should not back onto streets or open space amenities such as parks and paseos. Where homes back onto open space amenities, open view fencing should be used.
- Inappropriate street termination points such as a bedroom window or an alley should be avoided.

A.4.2 ARCHITECTURAL CHARACTER

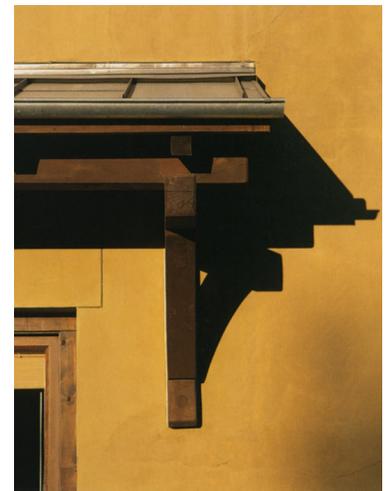
Building on the character of the NVRG, residential architecture should be form based and equally reserved



Sufficiently sized front porches to encourage use



Distinct, visible balconies



Signature detailing

in the use of ornamentation. Materials such as smooth stucco, wood, and metal roofing should be used. Detailing should be of wood and metal. A mix of rich but muted colors with bold accents can provide vibrancy to a streetscape. Form-based architecture should result in simple structures where gable and shed roofs with tower elements should be used as accents and focal points.

A.4.2.1 CREATE VARIETY ALONG THE STREETScape

Creating building relationships and massing that demonstrate variety and individuality will add to the sense of place.

- There may be a mix of two and three story homes within the community.
- Unvarying repetitive facades that present a monolithic development should be avoided.

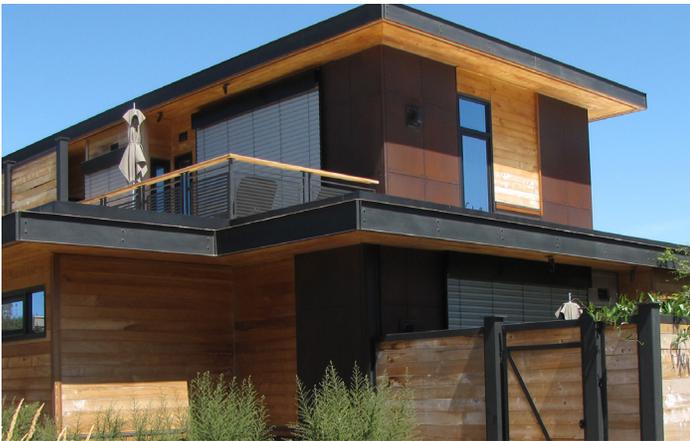
- Where practical, windows should be placed to minimize privacy conflicts.
- Visual interest in the streetscape should be created through building articulation and a variety of forms between buildings.
- There should be varied wall plane lines.
- There should be publicly visible balconies, veranda, porches, and arcades.
- Front porches should be sufficiently sized to be usable.
- There should not be repetitive, unarticulated building forms.
- Unarticulated roof forms should not be set on a constant wall plate height.



Appropriate use of accent material to create a signature architecture style



Stucco finish with metal roof



Appropriate change of materials to accent design intent



Smooth stucco finish with accent material

A.4.2.2 PUBLICLY VISIBLE FACADES

Equal concern should be given to side elevations on corner lots and rear elevations where visible to the public. There should be articulation and relief on these “public” faces.

- The “wrapping” of articulation, materials and architectural details on the sides and rears of homes should present these sides to the public.
- Unadorned flat side and rear elevations should not face onto open space areas and public streets.
- Porch elements are encouraged to wrap the corner at corner lots.
- Side elevations that face a public street should be enhanced with additional windows, pop-outs or bays, chimneys, stepped rooflines or balconies as appropriate.

A.4.2.3 MATERIALS AND DETAILING

Residential building materials should be appropriate to the community character:

- Signature detailing should establish the community’s architectural character in form, color, and materials.
- Abruptly disharmonious and monolithic architectural style, color, and material should not be used.
- Where buildings are predominantly stucco, they should have as smooth a finish as practicable. Heavy stucco textures are strongly discouraged.
- Siding materials including stucco, lap siding, board and batton, corrugated steel.
- Accent materials include brick, stone, tile, wood trim, sills or headers, metal roofing, and wrought iron.
- Roofing materials should include dimensional composite shingles and metal roofing.
- Half round gutters and round downspouts should be used.
- Changes in materials should occur at inside corners where the building plan changes direction, or where they accent the design.
- Style “appliqué” details should be avoided.

A.4.2.4 ENTRANCES

Entries should be given special attention as a whole system including the door, side windows, porch and entry wall.

- Entries should be inviting from the street.
- Adequate weather protection should be provided.
- Where homes occur on corners opportunities to wrap the porch to the side should be explored.

A.4.2.5 REDUCING THE VISUAL IMPACT OF STREET-FACING GARAGES

Where street facing garages occur on single family detached homes, lessening the impact of garage doors on the streetscape is important in the creation of pedestrian oriented neighborhoods

- Driveway pavement should be reduced to the minimum functional width.
- Living space or architectural elements should be forward of the garage doors.
- Sectional garage doors should have appropriate panel detailing and window panels, and be recessed into the building plane.

A.4.3 RESIDENTIAL LANDSCAPE GUIDELINES

Each Neighborhood should further support the community theme by providing private landscapes that connect and blend into the larger setting and character of the WRSP Area. Private landscapes include all private front yard landscapes and any residential common area landscapes such as those landscapes included as part of a Homeowner Association. Private landscapes should contain a pleasing mix of Neighborhood Identity plants as identified at the end of this section.

The predominant ground plane in each lot should be planted with groundcovers, turf or shrubs to maintain an open character and view corridors throughout the community while providing neighborhood identity. The use of turf in the front yard is strongly discouraged.

Maintenance of residential landscape beyond the establishment period shall be the responsibility of the Homeowner, to the extent that it occurs within the legal property of each lot; except for certain easement areas on lots where the landscape will be established and maintained by an HOA.

A.4.3.1 WALLS AND FENCING

Fences and walls should be built according to the design criteria and be of the materials indicated in these Design Guidelines. Retaining walls over eighteen (18) inches in height should be of masonry or poured in place concrete construction, and any retaining wall over three (3) feet shall not be installed without structural calculations developed by a structural engineer. All wall locations, heights, and finishes shall require approval of the City of American Canyon.

Fencing and walls at property lines, and between neighborhoods and adjacent to land uses are highly visible and are a major component of the visual landscape. The goal of fencing and walls in the WRSP Area is to maintain an open park setting that unites and blends private landscape with the lake, parks, open spaces and urban areas while providing a sense of privacy and security to homeowners with sound attenuation.

A.4.3.2 RESIDENTIAL LANDSCAPE GRADING AND DRAINAGE

All site surface drainage from private landscapes should be conducted to a storm water quality treatment system by the Builder.

Mounding and earth berms are discouraged as part of Private Landscape design.

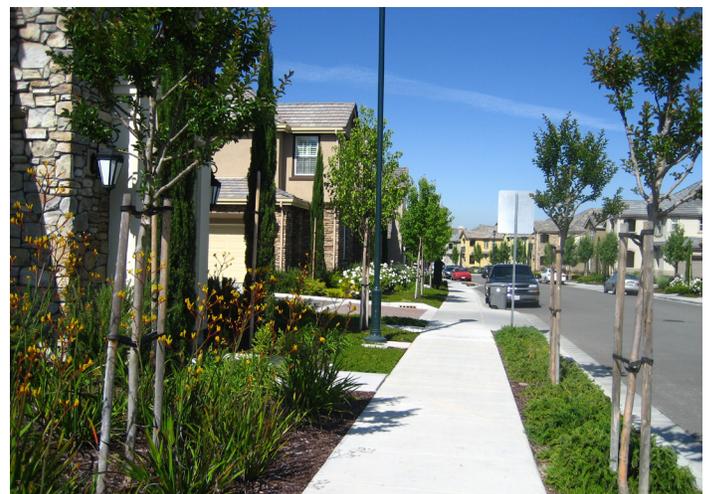


Variety of shrubbery

A.4.3.3 RESIDENTIAL LANDSCAPE IRRIGATION

The WRSP is committed to water conservation and the efficient use of water through innovative and accepted irrigation practices. Irrigation designers shall use current water use guidelines and tables, state-of-the-art irrigation equipment, and automatic controllers capable of multiple programming.

- Drip irrigation is encouraged particularly in small planting areas.
- Overhead irrigation systems may be used in larger planting areas.
- Overspray onto paving, fences or walls should be avoided and soil erosion should be minimized by the use of in-line or in-head check valves.
- Turf areas should be irrigated by an overhead spray or rotor system or by subsurface irrigation drip tubing. Overspray onto paving, fences or walls should be avoided and soil erosion should be minimized by the use of in-line or in-head check valves.
- All valves and equipment should be located adjacent to buildings where feasible and visually screened from public view.
- No irrigation equipment should be located in such a way so as to create a safety hazard to persons or property.
- Operating manual and scheduling charts should be provided to all Homeowners, Maintenance Companies, Associations, or Agencies.



Appropriate landscaping adjacent to sidewalks

- As-built plans should be prepared and provided for any Common Area Systems, such as may be used in HOA or LLD jurisdictions.

A.4.3.4 RESIDENTIAL LANDSCAPE PLANTING DESIGN

Planting layout and design should be conducted with knowledge of plant material habits and varieties as a guide for proper spacing and combinations. The ultimate size and growth speed of plant materials should be considered to achieve an interesting, diverse landscape effect.

- Residential Local Street trees should be chosen from the appropriate Neighborhood Local Residential Street Tree Lists.

A.4.3.5 PRIVATE COMMON AREA LANDSCAPES RESIDENTIAL

Private Common Area Landscapes surrounding high-density housing or alley-loaded units will be determined by the Developer/Builder and should exhibit the landscape characteristics of the Neighborhood in which it is located. Planting materials should follow the same criteria and Neighborhood Identity Plant lists.

A.4.4 RESIDENTIAL STREET LANDSCAPING

The overall landscape design concept for public streets is to create a distinct village by blending public and private landscapes and reflecting historic materials and styles found in the region. The landscape should also mirror the organizing elements of surrounding rural and agricultural landscapes and emphasize connections between

residential neighborhoods, using California adapted plant species that provide scale, color and seasonal interest.

- All 'ground plane' landscape materials including shrubs, groundcovers and turf should conform to the City of American Canyon.
- Groundcover should be used in parkways on loop parkways, collectors, enhanced locals, or residential locals per the City of American Canyon.
- Any trees planted in parkways should be irrigated separately from groundcovers and shrubs with approved tree bubblers.
- Turf should not be allowed in medians or parkways.
- Project walls and private yard fences should be landscaped with varying heights of plant materials and a variety of vines within the right-of-way to provide a pleasing appearance along the streetscape.
- In areas where adjacent parking lots are planned, a minimum planting screen with a minimum height of 30 inches and a maximum height of 36 inches should be designed through the use of shrubbery, landscape berming, low walls, or a combination of these elements.
- All streets should have continuous street tree planting located within parkways and medians.
- The street tree canopy should provide a sense of enclosure, shade and separation of pedestrian and vehicular uses.
- Street tree planting of Arterial Roads and Collector Roads should provide continuity and orientation throughout the community.



Drought tolerant landscaping



Residential landscaping

PLANT COMMUNITY

BOTANICAL NAME	COMMON NAME	PLANT COMMUNITY						EDIBLE	LOW WATER USE
		RESIDENTIAL NEIGHBORHOOD	NEIGHBORHOOD PARKS	PARKS & OPEN SPACE	OPEN SPACE BUFFERS	QUARRY LAKE PARK	NAPA VALEY RUINS & GARDENS		
TREES									
Arbutus 'Marina'	NCN								
Arbutus unedo	Strawberry Tree								
Betula pendula	European White Birch								
Camellia	Camellia								
Carpinus fastigiata	European Hornbeam								
Cedrus deodara	Deodar Cedar								
Cercis canadensis	Eastern Redbud								
Citrus sp.	Orange/Kumquat								
Cupressus sempervirens	Italian Cypress								
Eriobotrya deflexa	Bronze Loquat								
Ginkgo biloba	Maiden Hair Tree								
Lagerstroemia faurei	Crape Myrtle								
Laurus nobilis 'saratoga'	Grecian Laurel								
Liquidamber styraciflua 'festival'	American Sweetgum								
Magnolia 'St. Mary's'	Magnolia								
Malus sp.	Apple								
Maytenus boaria	Mayten Tree								
Melaleuca sp.	Paper Leaf Tree								
Melaleuca quinquenervia	NCN								
Olea europaea	Olive								
Palm trees	Palms								
Pistacia chinensis	Chinese Pistache								
Pinus eldarica	Japanese Black Pine								
Pinus pinea	Italian Stone Pine								
Platanus acerifolia 'Columbia'	London Plane Tree								
Populus nigra 'Italica'	Lombardy Poplar								
Prunus sp.	Cherry/Plum								
Prunus sargentii 'columnaris'	Sargent's Cherry								
Punica granatum	Pomegranate								
Pyrus calleryana 'Chanticleer'	Flowering Pear								
Pyrus calleryana 'Bradford'	Flowering Pear								
Quercus agrifolia	Coast Live Oak								
Quercus lobata	Valley Oak								
Quercus virginiana	Southern Live Oak								
Tilia cordata	Little Leaf Tilden								
Ulmus parvifolia 'True green'	Chinese Elm								

SHRUBS											
Abelia x grandiflora	Dwarf Abelia	Yellow									
Arbutus unedo	Strawberry Tree		Light Green						Red	Orange	Brown
Aloe spp.	Aloe								Red		Brown
Arctostaphylos spp.	Manzanita	Yellow	Light Green	Green			Purple		Red		Brown
Artemisia 'Powis Castle'	NCN								Red		Brown
Camellia spp.	Camellia	Yellow									Brown
Ceanothus spp.	Wild Lilac					Light Blue					Brown
Chondropetalum spp.	Cape Rush						Purple				Brown
Cuphea hyssopifolia juncus spp.	Rush	Yellow									
Cyanara cardunculus var. scolymus	Globe Artichoke		Light Green	Green		Light Blue	Purple		Red		Brown
Dietes spp.	Fortnight Lily	Yellow	Light Green	Green			Purple		Red		Brown
Feijoa sellowiana	Pineapple Guava								Red	Orange	Brown
Grevillea canberra 'Noellii'	NCN	Yellow	Light Green	Green			Purple		Red		Brown
Hemerocallis spp.	Evergreen Daylily	Yellow	Light Green	Green			Purple		Red	Orange	Brown
Lavandula spp.	Lavender	Yellow							Red		Brown
Leucophyllum spp.	Texas Ranger	Yellow	Light Green	Green					Red		Brown
Myrtus communis	Myrtle								Red		Brown
Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo								Red		Brown
Osmanthus fragrans	Sweet Olive	Yellow	Light Green	Green					Red		Brown
Penstemon spectabilis	Showy Penstemon	Yellow							Red		Brown
Perovskia atriplicifolia	Russian Sage								Red		Brown
Phlomis fruticosa	Jerusalem Sage								Red		Brown
Phormium spp.	New Zealand Flax	Yellow	Light Green	Green			Purple		Red		Brown
Potentilla spp.	Cinquefoil	Yellow									Brown
Prunus virginiana	Chokecherry		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Punica granatum	Non-Fruiting Pomegranate								Red		Brown
Rhamnus spp.	Coffee Bush					Light Blue					Brown
Rhaphiolepis indica	Indian Hawthorn	Yellow	Light Green	Green			Purple		Red		Brown
Ribes spp.	Currant		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Rosa spp.	Rose	Yellow	Light Green	Green		Light Blue	Purple		Red		Brown
Rosmarinus spp.	Rosemary		Light Green			Light Blue	Purple		Red	Orange	Brown
Rubus fruticosus 'Triple Crown'	Thornless Blackberry		Light Green	Green		Light Blue	Purple		Red		Brown
Salvia spp.	Sage	Yellow	Light Green			Light Blue	Purple		Red	Orange	Brown
Salvia leucantha	Mexican Bush Sage						Purple		Red		Brown
Santolina spp.	Lavender Cotton	Yellow							Red		Brown
Vaccinium ovatum	Evergreen Huckleberry		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Viburnum spp.	Viburnum	Yellow							Red		Brown
Westringia fruticosa	Coast Rosemary	Yellow	Light Green	Green			Purple		Red		Brown
Woodwardia spp.	Giant Chain Fern	Yellow					Purple		Red		Brown
VINES											
Actinidia deliciosa	Kiwifruit		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Campis radicans	Trumpet Vine	Yellow							Red		Brown
Distictis buccinatoria	Blood Red Trumpet Vine	Yellow	Light Green	Green					Red		Brown
Gelsemium sempervirens	Carolina Jasmine	Yellow	Light Green	Green					Red		Brown
Jasminum polyanthum	Pink Jasmine	Yellow	Light Green	Green					Red		Brown
Parthenocissus tricuspidata	Boston Ivy	Yellow	Light Green	Green					Red		Brown
Passiflora edulis 'Maypop'	Passion fruit		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Vitis spp.	Grape		Light Green	Green		Light Blue	Purple		Red	Orange	Brown
Wisteria spp.	Wisteria	Yellow							Red		Brown

GROUNDCOVER												
Abelia Prostrate Form	NCN											
Arctostaphylos spp.	Prostrate Manzanita	Yellow	Light Green	Dark Green	Light Blue	Purple	Red					
Ceanothus spp.	Prostrate Wild Lilac		Light Green		Light Blue							
Coprosma spp.	Coprosma	Yellow										
Cotoneaster spp.	Cotoneaster		Light Green	Dark Green		Purple	Red					
Fragaria chiloensis	Wild Strawberry	Yellow	Light Green				Red					
Fragaria x ananassa	Garden Strawberry		Light Green	Dark Green	Light Blue	Purple	Red		Orange			
Juniperus spp..	Juniper			Dark Green								
Lantana montevidensis	Lantana	Yellow	Light Green			Purple	Red					
Myoporum parvifolium	NCN		Light Green	Dark Green		Purple						
Rosa spp.	Groundcover Rose											
Rosmarinus spp.	Rosemary				Light Blue				Orange			
Salvia spp.	Sage				Light Blue				Orange			
Tuecium spp.	Germander						Red					
Thymus spp.	Thyme		Light Green	Dark Green			Red		Orange			
Trachelospermum asiaticum	Jasmine	Yellow										
Verbena spp.	NCN	Yellow	Light Green				Red					
GRASSES												
Acorus spp.	Forest Grass	Yellow										
Carex spp.	Sedge	Yellow	Light Green	Dark Green			Red					
Eleocharis spp.	Spike Rush	Yellow	Light Green	Dark Green			Red					
Festuca spp.	Fescue	Yellow	Light Green	Dark Green	Light Blue		Red					
Juncus spp.	Rush	Yellow	Light Green	Dark Green			Red					
Leymus spp.	Wild Rye	Yellow	Light Green	Dark Green		Purple	Red					
Miscanthus spp.	Eulalia Grass	Yellow	Light Green	Dark Green	Light Blue	Purple	Red					
Muhlenbergia capillaris	Hairy Awn			Dark Green	Light Blue	Purple	Red					
Pennisetum spp.	Fountain Grass	Yellow	Light Green	Dark Green	Light Blue	Purple	Red					
TURF												
Fescue Turf	Fescue	Yellow	Light Green	Dark Green	Light Blue	Purple	Red					
Festuca rubra	No-Mow Fescue	Yellow	Light Green	Dark Green	Light Blue	Purple	Red					

- Specific tree species and tree spacing should conform to the specific guidelines described in this section.
- Street tree planting on enhanced local roads and local residential roads should be designed to encourage pedestrian use, shorten the perception of walking distances and provide shade and seasonal interest.
- All street trees located within five feet (5') of any paving or utilities should be provided with root barriers as approved by the City of American Canyon.
- All street trees should be planted from minimum 15 gallon box containers.
- The ground plane in the parkways on Collector Streets should have irrigation systems separating planter zones from the tree zones
- The planting area between the back of sidewalk and the right-of-way on Collector Streets should be planted with a combination of shrubs and groundcovers according to the adjacent land use and the presence of walls.
- All street trees planted in the right-of-way or adjacent easement on Local Streets should be from 15 gallon box containers and planted a minimum of 30' on center in single straight rows in the parkway.
- Community entry nodes should be enhanced with accent trees and shrubs to further define and enhance vehicular and pedestrian circulation.
- Parkway along Residential Local Streets should be groundcover as approved by the City of American Canyon with street trees from the approved list at the end of this section.
- Each street tree in the parkways should have irrigation systems separating planting area zones from the tree zones.
- Street trees on Residential Local Streets should be a minimum 15 gallon box container size, have a caliper of not less than 1-1/2 inches and have a minimum crown size of three feet in diameter per the City of American Canyon.
- All proposed street trees and designs should be based on most currently available guidelines and approved lists from the City of American Canyon.
- Lists of Residential Local Street trees for use in each of the neighborhoods are provided at the end of this section.

A.4.5 RESIDENTIAL LIGHTING GUIDELINES

The goal for the site lighting design is to provide a comfortable level of illumination that meets the community's needs for orientation and safety in a way that complements the aesthetic qualities of the architecture and surrounding environment. A family of light fixtures is selected for the development that recognize the different qualities of the land uses while creating a consistent design theme throughout the community. The quality of the light fixtures, the lighting intensity, and source controls provide criteria that will establish a high quality experience to this important aspect of design.

- High efficiency fixtures and sophisticated optics should be used to direct light where it is needed without creating excessive glare.
- Long lasting LED lamps should be used to minimize energy use and lamp replacement.
- Lights should be placed where they are needed for specific uses, rather than a continuous foot-candle requirement across the site, allowing for the appreciation of the dark sky in the residential neighborhoods.
- To preserve the quality of a dark sky at night, high intensity light fixtures should include a shielded light source that reduces the view to the light source.
- Pole lights are proposed for the lighting of the streets in the neighborhoods. The fixtures should have a shielded light source, with optics that direct the light down to the ground so that the light source is not visible outside of the light distribution area.
- Street identification signs and traffic control signs should be mounted on light poles to integrate these elements into the design and minimize the number of poles at intersections.
- Pole lights used for residential streets should be placed in parks to preserve the quality of the overall community.
- Low intensity lighting in some of the park spaces should be used to provide orientation and a sense of security.
- Pole lighting should be used along the multi-purpose path throughout the community to encourage use of this amenity into the evening.
- Lighting should provide an even distribution of light that minimizes glare.

- No direct view to light sources should be visible from off site.
- Where lighting is provided, fixtures should utilize house side shields and cut-off optics to reduce light spill over the property line.
- Pedestrian pole light fixture locations should not conflict with the pattern of tree planting along the roads and parking lots.
- Pole-mounted lights should be used sparingly in the Civic Park Plaza and the use of illumination encouraged for pedestrian circulation and less ambient light at night.
- Illuminated bollards should be used primarily along pedestrian pathways to encourage evening strolls.
- Accent lighting should also be used sparingly and primarily for the use of highlighting nodes or destination spaces.

A.4.6 RESIDENTIAL MAILBOX DESIGN GUIDELINES

- Mailbox materials should be consistent with architectural theme.
- Multibox stations should be designed to replicate architectural details and colors.

A.5 Napa Valley Ruins & Gardens Design Guidelines

The mixed-use NVRG is a unique area made up of several different uses including retail, residential, office, commercial, visitor service including hotel and events center, entertainment, recreation, civic, and community facilities. This blending of uses creates an urban fabric with distinct, yet connected areas.

As the “heart” of the WRSP Area, the NVRG creates the hub of activity for the overall community. The quality of design is important to the perception of the Watson Ranch community. Architecture and landscaping should create a village atmosphere where people are comfortable to mix and mingle and desire to return to over and over again.

A.5.1 COMMUNITY CHARACTER DESIGN GUIDELINES

The NVRG will create a strong focal point for the new community. While having the flexibility to be the setting for community gatherings and special events, the area must also provide for comfortable, more intimate resting spaces. This is a place where all residents and visitors should feel comfortable whether they are a participant in an activity such as an art fair or street performance, or quietly sipping coffee, spending time with family, shopping, people watching or playing checkers.

A.5.1.1 THE PEDESTRIAN ENVIRONMENT

NVRG should create an environment where people are comfortable walking and spending time, and should incorporate the following Design Guidelines:



Linear outdoor seating, along sidewalks



Enclosed outdoor seating, in a courtyard

- Provide for a mix of sizes of businesses that creates a pedestrian friendly atmosphere.
- Create strong pedestrian links to the rest of the WRSP Area.
- Provide unique and pedestrian scaled lighting fixtures.
- Trellis, awnings and other weather protection devices are encouraged.
- Significant intersections should be highlighted with bollards, street furniture, special paving, accent trees and opportunities for monumentation or public art.

Outdoor seating areas should be provided to create gathering places for residents and visitors in order to enhance a village atmosphere.

- Focal points should be created with features such as signature landscaping, fountains, outdoor performance areas, or opportunities for public art.
- A generous amount of outdoor seating should be provided and should include both sunny and sheltered areas.
- Both hard surface and planted areas should be incorporated into the design.
- Existing concrete plinths should be investigated for inclusion in the design as seating elements.

The pedestrian linkages are an important feature of the mixed-use environment. These areas should be furnished with enriched materials and furnishings that create a comfortable, convenient, and entertaining experience. With the exception of features created as public art, the



Buildings relate to the street

furnishings should be in a similar family of style, color, and finish to create a refined and uncluttered appearance.

- Seating areas should be created using benches, chairs, seat walls, and steps and may include informal seating on raised planters, steps, and benches cast into the plaza areas.
- Newspaper racks should be of one cohesive design and integrated into the landscape design.
- Bicycle parking should be integrated into the landscape design to place these elements in a discrete manner, or be of unique design as public art.
- Bollards may be placed to provide separation from autos at pedestrian crossings.
- Trash and ash receptacles should be placed at convenient locations.

Various decorative paving material should be incorporated into the design.

- Locations include pedestrian crosswalks, prominent pedestrian intersections, building entries, gateways, social activity areas and other focal points.
- Paving materials should complement adjacent architecture.

A.5.2 NVRG ARCHITECTURAL DESIGN GUIDELINES

The architectural character of the NVRG is intended to create a unique and memorable place within the City of American Canyon and the region. The aesthetic draws from the visual strength and simplicity of the concrete



Distinct but related forms and material use to create a sense of place

ruins as well as from the vineyard heritage of Napa County. Even though the ruins are over 100 years old, their simple shapes form a very contemporary backdrop for the community.

A.5.2.1 BUILDING ENTRANCES

- Buildings should be oriented to face streets or other public spaces.
- Entrances should be well marked, articulated, and oriented to streets and open space.
- Entrances should provide opportunities to create unique addresses along the street through use of elements such as distinctive form, detail, materials, color, ornament, lighting and signage.
- Street addresses should be clearly displayed and must comply with applicable sign regulations (see Section 6.5 for signage regulations).
- Entrances to uses above the ground floor should be identifiable as building entrances.
- The design of a secondary side or rear entry should be architecturally related to the front entry and enhanced with detailing, trim, and finish consistent with the character of the building.

A.5.2.2 MASSING AND FORM

- Roofs should match the building in terms of style, detailing and materials and should contribute expressive and interesting forms that add to the overall character of its environment.

- The location, spacing, materials, and colors of downspouts, gutters, scuppers, and other roof drainage components should be incorporated into the architectural composition of the façade and roof. Downspouts should be concealed within walls or located to harmonize with window spacing and façade composition.
- Any mechanical penthouses and stair towers should appear as integrated building forms and shall be structures that complement the design of the building through the use of similar materials, colors, finishes and architectural details.
- Rooftop equipment should be located away from the street edge and/or screened so that it is not visible from streets or other public spaces. Screening should complement the design of the building through the use of similar materials, colors, finishes and architectural details and appears to be an integral part of the building's form.
- Attached equipment such as solar collector panels, antennas, satellite dishes, etc. should be integrated into the project architecture or screened from view.

The main area of the ruins creates a series of cloisters. New buildings within the cloisters of the ruins should have a contemporary aesthetic.

- Any building within the southern cloister should have a prominent roof shape that pays homage to the roof structure on the round building. This bold form would create a focal point within the ruins complex.



Use of trellis / awning to weather protection and to lend a pedestrian scale to street level



Long walls punctuated with 3 dimensional details

- Architecture within the NVRG should be form based, and not rely on ornamentation.
- Building should have lines clean and shapes that define interior space.
- Commercial structures should have strong simple forms that are made up of fairly monolithic materials such as concrete and stucco.
- Wood and metal detailing should be used to soften these simple forms.

The residential uses within the NVRG should respect the same aesthetic. Town homes or condominiums should create an urban streetscape. They should address the street as row homes with front porches or stoops.

A.5.2.3 BUILDING FACADES FACING PUBLIC SPACES

Public visible facades of all buildings should have the same level of articulation and quality of details and materials as the front of the building.

- Where long expanses of blank wall are unavoidable, they should be articulated and softened with 3-dimensional details, planters, vines and other landscaping.
- A composition of distinct but related forms should be used.
- Loading and service areas for commercial uses should be integrated into the overall building composition.



Use of high quality material in public spaces



Simple, yet prominent roof forms as an architectural element.



Architecture and material of existing ruins set a precedent



Strong simple concrete / stucco forms with wood and metal details

- Architectural enclosures should be designed as integral elements of the building architecture
- Long unbroken forms and flat planes are discouraged.

Buildings facades facing public spaces should incorporate 3-dimensional facade elements that lend a pedestrian scale to the street level.

- Trellises or permanent awnings should be incorporated where appropriate for shade and weather protection.
- Arcades, wide overhangs, deep reveals, permanent awnings, etc. should be used.

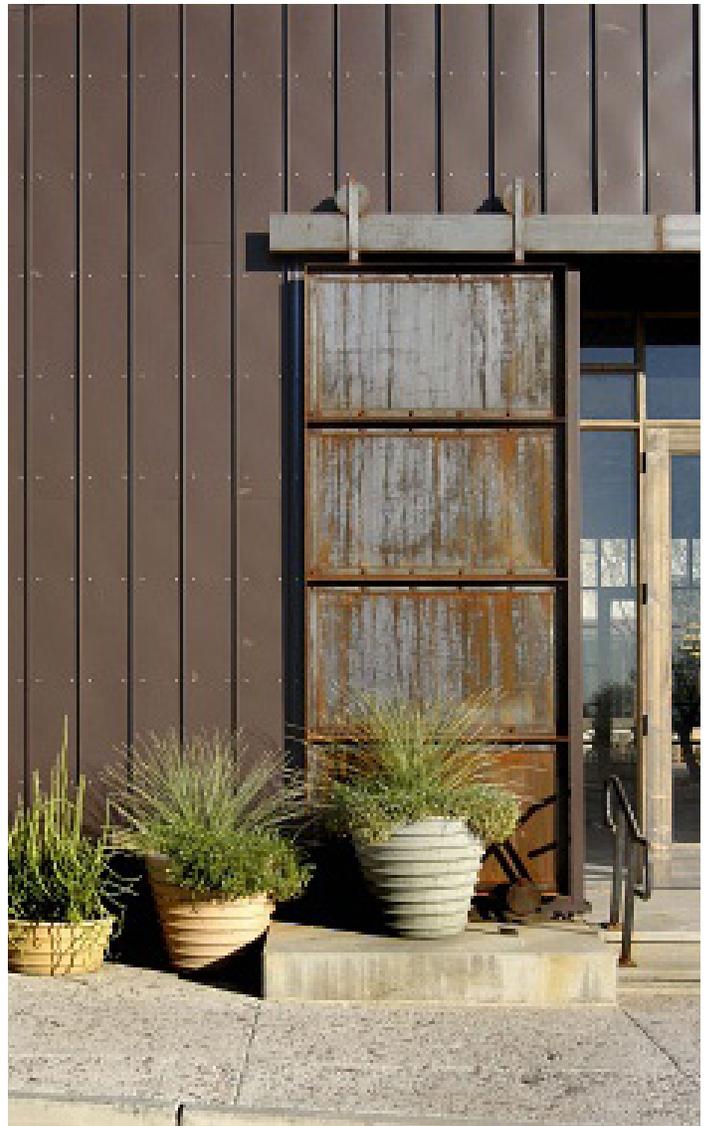
Roof design should be integral to the overall building design.

- Parapets should screen rooftop mechanical equipment from ground level view.
- Tower elements should be included at key locations to provide points of interest along the streetscape.
- Roofline variation should be created by differing plate heights.

A.5.2.4 BUILDING MATERIALS

Building materials should be appropriate to the community character and suited to commercial construction.

- Materials such as stucco, masonry, storefront glazing and well-detailed precast concrete should be used.
- Accent materials such as brick, stone, tile, and anodized or painted metals should be used.



Materials reflect the industrial history of the site



Facades facing public spaces with articulation



Color and material relate to the context

- Any changes in materials should occur at inside corners where the building plane changes direction.
- Mirror glazing should not be used.
- Where used, stucco should have with as smooth a finish as practicable. Heavy stucco textures are discouraged.
- Accent materials include stone; tile; wood trim, sills or headers; metal roofing and wrought iron.
- Roofing materials include dimensional composite shingles and metal roofing.
- Half round gutters and round downspouts should be used.
- Changes in materials should occur at inside corners where the building plan changes direction.
- Color and material changes should occur at inside corners.
- Mirror and reflective glass is discouraged.
- Vinyl and aluminum siding is discouraged.
- Brick, stone or other masonry should not “float” above the ground plane, but must be detailed such that it can continue either to the ground or to a concrete shelf or edge in the foundation so that its “weight” is visually supported. Simulated finishes must be a level of quality to appear authentic.

A.5.3 NVRG LANDSCAPE DESIGN GUIDELINES

Landscaping of the NVRG will draw heavily from classic images utilizing olive trees, Italian Cypress, lavenders, roses and a variety of ornamental grasses. The center cloister should include unique paving materials specially selected to enhance the outdoor experience, along with providing for formal functions. Shade tolerant plant materials should be encouraged for landscape planters and interior low light situations. The central portion of the NVRG should incorporate both soft surface materials and unique organic paving, a formal fountain, and formal planting areas to allow for large gatherings and functions. Around the perimeter of the ruins the planting concept should be reminiscent of an Italian hill town, with a variety of soft textures and flowing landscape. Olive trees, ornamental grapes coexist with the stark lines and dramatic shapes of the ruins, softening edges and defining spaces.

A.5.3.1 NVRG PLANTING DESIGN GUIDELINES

- Olive trees, turf areas, and ornamental grasses should dominate the landscape adjacent to the ruins structures.
- Turf areas should foster outdoor spaces and gathering areas.
- Ornamental grasses should be used primarily to convey informality and rustic charm.



Ornamental street perimeter that compliment the architectural style of the buildings

- Olive trees should be planted in rows symbolic of orchards in Italy and the Napa Valley.
- Lavenders, roses, and evergreen groundcovers should be primarily used to enhance entries, highlight sitting areas, and line walkways.

A.5.3.2 NVRG STREET FURNITURE/ SEATING DESIGN GUIDELINES

Street furniture will add to the unique architectural environment of the NVRG.

- Street furniture should be designed to foster comfortable, accessible, interactive public areas.
- Street furniture should be constructed of durable non-weathering materials utilizing recycled or eco-friendly materials where practical.
- Seating should be provided with a variety of furnishings such as benches, chairs, and low walls with landscape features such as salvaged plinths.
- Other street furniture should include waste and recycling receptacles, decorative planters and pottery, bicycle racks, flag poles, and drinking fountains.

A.5.3.3 NVRG PARKING LOT LANDSCAPING DESIGN GUIDELINES

- Landscaping for parking areas should include large dome-shaped canopy trees to provide shade in hot summer months while allowing winter sun exposure.
- Parking lot trees should have root barriers.



Lighting integrated to the landscape to highlight gathering spaces

- Understory planting should be primarily with low-growing (+24”), drought tolerant, evergreen groundcover or grasses.

A.5.4 NVRG LIGHTING DESIGN GUIDELINES

These lighting design guidelines provide criteria that will provide a comfortable level of illumination that meets the community’s needs for orientation and safety in a way that complements the aesthetic qualities of the architecture and surrounding environment. A family of light fixtures is selected for the development that recognize the different qualities of the land uses while creating a consistent design theme throughout the community. The quality of the light fixtures, the lighting intensity and source controls provide criteria that will establish a high quality experience to this important aspect of design.

A.5.4.1 LIGHT FIXTURE DESIGN GUIDELINES

- High efficiency fixtures and sophisticated optics are encouraged to direct light where it is needed without creating excessive glare.
- Long lasting high pressure sodium lamps are suggested to minimize energy use and lamp replacement.
- Lights should be placed where they are needed for specific uses, rather than a continuous foot-candle requirement across the site, allowing for the appreciation of the dark sky in the residential neighborhoods.
- To preserve the quality of a dark sky at night, high intensity light fixtures should include a shielded light source that reduces the view to the light source.



Unique signage

- Plazas and walkways should utilize a combination of decorative pedestrian scale pole and illuminated pedestal or bollard lights selected to complement the architectural style of the buildings.
- Wall mounted fixtures should be used where appropriate on the building elevations to supplement the pole lights and to complement the building architecture and should be scaled appropriately.
- Arms for banners and flower baskets should be provided in the main street and plaza areas to provide seasonal decorative opportunities and add a festive quality to the environment.
- Special lighting features to further animate the spaces encourage nighttime use. Ambient lighting such as pole mounted low intensity “string of pearl” lights as well as uplights and lanterns in trees are concepts that would be appropriate to create festive lighting.
- Wall mounted niche lights may also be used to provide indirect light sources to further articulate walls, steps, and signs within the plaza.

5.4.2 PARKING LOT LIGHTING DESIGN GUIDELINES

- Parking lots should be lit with a high efficiency pole fixture to provide an even distribution of light while minimizing glare.
- Lamps combined with sophisticated optics and sharp cut off features should be selected to direct all of the light to the ground.

5.4.3 RUINS LIGHTING DESIGN GUIDELINES

- Lighting for the ruins surrounding gardens should include a unique monument pilaster light.

5.4.4 LANDSCAPE LIGHTING DESIGN GUIDELINES

Landscape lighting is designed to contribute to the extended daily use of mixed-use districts. Lighting helps to create welcoming visible spaces and accentuates design features such as public art, concrete columns and pedestrian travel routes.

- Pole mounted lights should be used for socializing and active use areas.
- Illuminated bollards should be used for circulation and travel routes.
- Ambient lights should be used for entries, steps, and tree up-lights.
- Landscape lighting for the NVRG should be designed primarily for accent purposes.
- Small accent lighting may be used for the up-light of trees, ambient light for specimen planting, building edges, steps, and entries.

A.5.5 SIGNAGE DESIGN GUIDELINES

These guidelines are intended to result in functional, attractive signage incorporating a high level of design, graphics, and efficient maintenance throughout the WRSP Area. These signage design guidelines apply to retail, office and, other commercial uses.



Signs that are unique and reflective of the industrial history of the site

All signage within the WRSP Area shall conform to the specific requirements, spirit, and intent of the City of American Canyon code provisions regulating signage, unless otherwise stated. If there are any inconsistencies between the City of American Canyon regulations and the WRSP, the guidelines in the WRSP will take precedence.

5.5.1 GENERAL SIGN DESIGN GUIDELINES

The building architecture should be designed to accommodate signage and other graphics as an integral part of the building design.

- Illuminated signs should be fixed and directed to control and avoid light pollution
- Individual letter characters are encouraged.
- Metal signs may be made of aluminum, brass, bronze, copper, or stainless or welded steel.
- Raised “Halo” letters on building face; pedestrian oriented blade signs; sculptured cantilevered signs; non-internally lit signs with lighting from a secondary source; and artistic neon signs backed by building face or storefront are encouraged.
- Signage is intended to be unique and original for each establishment and executed with a high degree of craftsmanship.



Community art

A.6 Community Art and Monumentation

A.6.1 COMMUNITY ARTS PROGRAM

The WRSP strongly supports the inclusion of community art as an enrichment of the public community space. Art blended with urban design in the NVRG can add value to the experience of the place. Community art should not only be an individually commissioned pieces, but an attitude towards the elements that make up the public realm as experienced within a community. Given the unique identity established by the NVRG, community art can have a complementary role in energizing and defining the spaces. The NVRG may include items such as:

- A thoughtful and carefully selected lighting program that uses fixtures to establish a character.
- Adding banners and hanging planters or other decorative items to lighting fixtures.



Art in community gathering spaces



Infrastructure as art

- Special paving to highlight areas within the community of special interest.
- Low walls and seating areas that are designed to encourage pedestrians to linger and fully experience a space.
- Landscape architecture elements such as custom benches, trash receptacles or bike racks.
- Rethinking standard infrastructure items such as man hole covers and tree grates, that typically are “off the shelf” items, but in focal point places, can be created as a custom art piece.
- Incorporating focal points for commissioned permanent or rotating art.
- Preservation of particularly creative graffiti art on the ruins themselves, or wall space dedicated to shows of street art.
- Providing small venue spaces for performance art.
- Building facade elements such as mosaics, frescos and custom iron work.
- A custom wayfinding/community signage program.
- Interactive fountain or water elements.

Key to the quality of the community environment is eliminating visual clutter by creating a cohesive program of street furnishings such as trash receptacles, and newspaper vending fixtures. These features should be provided on a community wide basis and are regulated as part of the WRSP.



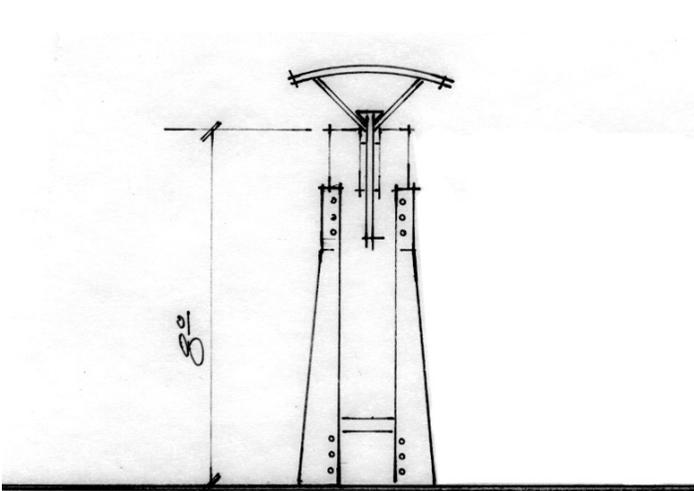
Community monumentation as art



Creating a sense of place



Community Identification



Freestanding tower

A.6.2 COMMUNITY MONUMENTATION

A cohesive program of community identification; form the community threads which tie all aspects of the community together within the context of varied architecture.

Community monumentation is a strong visual element that defines and enhances a community's special sense of place. These elements define a district within the greater context of a town. The community's personality is displayed by these features. The icons of classic communities are traditionally monuments that signalize your arrival and an entry or focal point.

- The palate of identification for the WRSP Area is based upon the free standing monuments that exist as part of the ruins.
- The monumentation may include pilasters, low walls, or strategically placed pieces of community art.
- They may also be a focal point created as an element of a building such as a tower, or a publicly visible landscape or retaining wall.

The design of the community identification is unique and takes its cues from the ruins. Materials have a permanence to them, complement the architecture of the community or create a counterpoint, and may include materials such as steel or other metals, concrete, tile, brick, stone and glass. A typical pilaster monument is shown here.

Monumentation locations are identified on the following plan:

A.7 Walls and Fencing Design Guidelines

A.7.1 GENERAL DESIGN GUIDELINES FOR WALLS

- Walls and fences are to be minimized to the greatest extent possible and their design should be complementary to the building architecture.
- Site walls should be made of materials complementary to the building architecture palette.
- Walls, which are located in visually prominent locations, should be decorative and faced with a material such as stucco or stone.
- Concrete retaining walls should only be used where necessary for structural and spacial requirements.

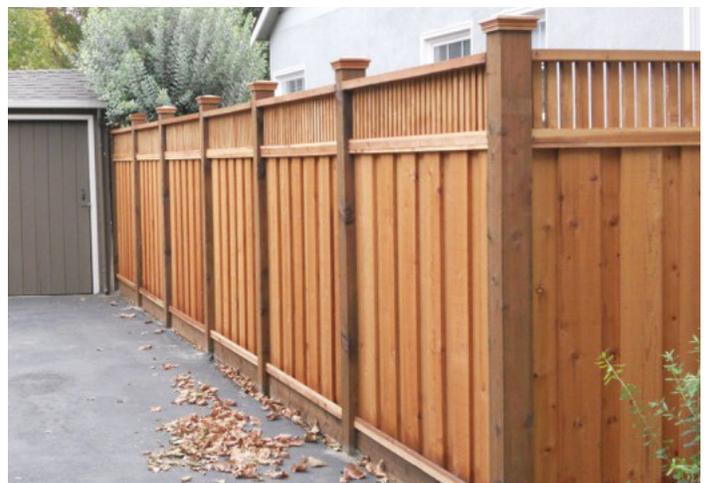
- Plantings should be utilized to minimize the visual impact of all retaining walls.
- Walls, fencing materials and colors should complement adjacent architecture. Typical fence designs are shown here.

A.7.2 GENERAL DESIGN GUIDELINES FOR FENCES, SOUNDWALLS AND VIEW FENCES

- Fences throughout residential landscapes should be constructed of wood, metal, masonry, or a combination of these products to maintain the community theme and provide continuity.
- There are four (4) distinct levels of fencing and walls, such as standard privacy fencing, enhanced privacy fencing, enhanced soundwalls, and view fences.
- Standard six-foot (6') high privacy fencing of a 'good neighbor' type should be used on all fences located between private lots which are not visible to the public view.



Combination of Fencing Materials



Traditional residential wood fence

- Fencing should be constructed of weather-resistant wood products and should have a continuous wood cap covering the ends of all posts and fence boards.
- All wood fencing should be sealed and stained with clear finish products.

A.7.3 RESIDENTIAL NEIGHBORHOOD FENCING DESIGN GUIDELINES

- Enhanced 6’ high privacy fencing should be used on any fence visible to the public view and should be created using weather-resistant wood products, an enhanced horizontal ‘decorative’ top, a horizontal ‘plain’ bottom, and decorative post caps.
- All wood fencing should be sealed and stained with clear finish products.
- View fences should be located along any property line between public and private property which abut the public open spaces such as the parks and areas where landscape views are to be maintained.
- View fences should be 6’ in overall height from finish grade and should be constructed primarily using wire mesh and decorative tubular steel.
- Where no low wall or fence defines the front yard, side/rear fences between homes should be set back at least eight feet from the fronts of garage.

A.8 Crime Prevention Through Environmental Design (CPTED) - Design Guidelines

CPTED design guidelines should be used during all processes of the design, from initial concept planning to execution and also at all levels, from community wide planning to individual homes.

The four elements of CPTED include:

1. Natural Surveillance

Natural Surveillance is a design concept directed primarily at keeping intruders under observation. It utilizes design features to increase the visibility of a property or building. The proper placement and design of windows, lighting, and landscaping increases the ability of those who care to ob-

serve intruders as well as regular users, and thus provides the opportunity to challenge inappropriate behavior or report it to the police or the property owner. When natural surveillance is used to its greatest advantage, it maximizes the potential to deter crime by making the offender’s behavior more easily noticeable to a passing individual, police patrol, or private security detail.

It also involves providing a good visual connection between residential and/or commercial units and public environments such as streets, common areas, parks, sidewalks, parking areas and alleys.

2. Natural Access Control

Natural access control employs elements like doors, shrubs, fences, and gates to deny admission to a crime target and to create a perception among offenders that there is a risk in selecting the target. The primary thrust of an access control strategy is to deny access to a crime target and to create a perception of risk to offenders. Physical and mechanical means of access control-locks, bars, and alarms can supplement natural access control measures if needed. A fence around a neighborhood playground is an example of an access control measure that protects children from wandering off and inhibits entry of potential offenders.

3. Territorial Reinforcement

Territorial reinforcement employs such design elements as sidewalks, landscaping, and porches to help distinguish between public and private areas and helps users exhibit signs of “ownership” that send “hands off” messages to would-be offenders. The concept of territorial reinforcement suggests that physical design can create or extend a sphere of territorial influence and potential offenders perceive that territorial influence. For example: low walls, landscape and paving patterns to clearly define the space around a unit entry as belonging to (and the responsibility of) the residents of the unit.

4. Maintenance

Lastly, care and maintenance allows for the continued use of a space for its intended purpose. Deterioration and blight indicate less concern and control by the intended users of a site and indicate a greater tolerance of disorder. Proper maintenance protects the public health, safety and welfare in all existing structures, residential and nonresidential, and on all existing premises by establishing minimum requirements.

APPENDIX B GENERAL PLAN CONSISTENCY

B.0 General Plan Policy

A “town center” should be established in proximity to the closed basalt plant which functions as the symbolic center of American Canyon. A wide diversity of uses characterized by a high level of activity should be accommodated, including government, retail, office, service, entertainment, housing, and open space. The center should be developed as a pedestrian-oriented village that is physically linked by pedestrian and bicycle trails and other elements to surrounding neighborhoods and districts.

Watson Ranch Specific Plan (WRSP) calls for housing, parks and open space, and a non-residential component – the Town Center Mixed Use area (TC-1 MU) also referred to as the Napa Valley Ruins & Gardens (NVRG), which allows retail, entertainment, hotels, events center for weddings, receptions, farmers’ market, restaurants, winery, wine tasting and related uses. The WRSP also provides a site which would allow public and or private community facilities such as church, day care, non-profit community-oriented service or government offices.

The WRSP will function as the symbolic center of the city due to the following aspects:

- Retention of iconic structures such as the rotunda building.
- High level of activity programmed for the TC-1 MU area, including both public and private functions.
- WRSP Circulation Plan includes multi-use trails which link TC-1 MU subarea to the remainder of the WRSP, existing residential neighborhoods, and other off-site destinations.

B.1 Land Use Element

1.6.7 Work with local agricultural producers to consider the possible establishment of farmers markets, festivals, site tours, and other events that emphasize the agricultural and rural character of the region. (I 1.23)

1.11.8 Require that any lands proposed for dedication to the City (parks, schools, etc.) be usable and appropriate for the intended use and a source of funds to maintain the area be confirmed to ensure that inappropriate costs are not shifted to the City. (I 1.1, I 1.2, I 1.4, I 1.5, and I 1.8)

Events and festivals open to the public such as a farmers’ market and community gardens are allowable uses for the TC-1 MU area.

Chapter 9 (Implementation) proposes the establishment of a Community Facilities District (CFD) and/or a Lighting Landscaping Assessment District (LLAD) to pay for the cost of public park maintenance, street lighting and other similar improvements. There will be Homeowners Association (HOA) for the residential portion of the WRSP. The HOA will maintain any private recreational facilities and common areas. See Implementation Chapter for financing information.

1.12.1 Accommodate the development of parks, schools, libraries, community meeting facilities, religious facilities, and similar community-serving uses in all residential areas, provided that they are compatible with the intended residential function and subject to City review and approval. (I 1.1, I 1.2, I 1.4, I 1.5, and I 1.8)

1.15.4 Require that mixed use structures and sites be designed to mitigate potential conflicts between the commercial and residential uses, considering such issues as noise, lighting, security, and truck and automobile access. (I 1.1, I 1.4, I 1.5, 1.11, and 1.14)

1.15.5 Require that mixed-use developments be designed to provide adequate transitions with adjacent land uses, which may include horizontal and vertical setbacks, landscape, screening elements, and similar techniques. (I 1.1, I 1.4, I 1.5, 1.11, and 1.14)

1.18.4 Require that entertainment, drinking establishments, and other uses characterized by high levels of activity provide adequate physical, safety, and operational measures to prevent negative impacts on adjacent properties. (I 1.1, I 1.4, I 1.5, I 1.11, and I 1.12)

1.19 Provide for the development of a Town Center that physically and functionally serves as the symbolic and identifiable focus of community activities and events for the City of American Canyon and which is a regional destination within Napa Valley. The Town Center shall have two principal land use areas: (s) Town Center Core Area, and (b) Town Center Residential Neighborhoods. The Town Center Core Area shall mean the area around the basalt industrial ruins which will be developed with the land uses described in Policy 1.19.2 below to create a the residential areas portion of Town Center that surrounds the Town Center Core Area, which shall be developed with land uses described in 1.19.4 below

The WRSP designates land for public parks. Other community facilities which may be developed as day care or other community facilities are allowable uses in the NVRG.

While the TC-1 MU Land Use Category provides a list of allowable uses and development standards, the precise nature and intensity of such uses cannot be determined at the time of consideration of the WRSP.

Potential conflicts between residential and commercial uses will be addressed in the context of subsequent approval when there is a specific development proposal.

The WRSP has two sub-areas: (1) Watson Ranch Residential and (2) NVRG. The Watson Ranch Residential provides residential neighborhoods surrounding the nonresidential uses in the NVRG subarea. The allowable uses and the proposed public improvements within the NVRG:

- Provide a focal point for community activities.
- Functions as a regional destination with such allowed uses as a hotel, winery, and specialty retail and events center.

1.19.1 Ensure that the Town Center shall have two principal land use areas: (a) Town Center Core Area, and (b) Town Center Residential Neighborhood.

1.19.2 Require that the Town Center Core Area will be the “downtown” for the City of American Canyon, centered around the basalt industrial ruins and quarry lake, including:

a. A rich diversity of land uses which may include

government and community services, retail commercial, professional offices, entertainment, restaurants, cultural facilities (museums, libraries, etc.), visitor-serving facilities (hotels, information centers), event center/conference center, wineries, transit, parking, variety of housing types including single family attached and detached, townhouses, condominiums, mixed-use and apartments, and public park and other amenities;

b. A plaza to facilitate community gatherings and events.

1.19.3 Require that the Town Center Core Area is surrounded by the Town Center Residential Neighborhoods in order to satisfy the City’s need for housing and to support the economic vitality of the commercial uses within the Town Center Core Area.

1.19.4 Provide for a broad range of housing types within the Town Center Residential Neighborhoods, including single family detached, attached single family, townhouses, condominiums, and apartments

The WRSP consists of two principal land use areas. The Town Center Mixed Use area NVRG(MU) corresponds to the Town Center Core Area. The remainder of the WRSP consists of residential uses, corresponding to the Town Center Residential Neighborhoods.

The TC-1 MU area provides for a diverse range of land uses. The land uses allowed include: specialty retail, restaurants, hotel, event center, wine tasting, winery, brewery, distillery, parking, open space and public park. This subarea land uses also include a variety of live/work residential.

The TC-1 TC area includes the provision of a 1 to 2 acre public plaza with an adjoining site for a community center.

The WRSP residential areas surround the TC-1 MU area (corresponding to the Town Center Core Area). Higher density uses are located more proximal to the TC-1 MU area.. The densities then transition to lower densities moving away from the TC-1 MU to the north. The WRSP provides for a broad range of housing types including single family detached, attached single family, townhouses, condominiums, and apartments.

1.19.5 Require that the Town Center Residential Neighborhoods provide sites for public parks, with the size of facilities corresponding to the future population of the Town Center and which may allow community facilities that support residences. (See WRSP Executive Summary, General Plan Amendment),

1.19.6 Provide for the extension of Newell Drive, which will define the eastern boundary of the Town Center, connecting with Highway 29 in the vicinity of Green Island Road and for the extension of South Napa Junction Road from Highway 29 to Newell Drive.

1.19.7 Determine the location of land uses within the Town Center through the subsequent approval of one or more Specific Plans.

1.19.8 Determine the range of residential densities allowed through the subsequent approval of one or more Specific Plans, with the guiding principle that, in general, densities will be highest around the Town Center Core Area with decreasing density further away

1.19.9 Determine the range of intensities of non-residential uses, as measured in building height and/or floor area ratio, through the subsequent approval of one or more Specific Plans, with the guiding principle that in general, intensity will be highest around the Town Center Core Area with decreasing intensity further away.

1.19.10 Provide for unified design standards and a cohesive development through the adoption of one or more Specific Plans for the Town Center

The WRSP provides for approximately 33 acres of public parks . The acreage of the public parks exceeds the City’s park land dedication policy of 5 acres of public park land per 1000 residents.

The WRSP provides an alignment for Newell Drive along the eastern boundary of the property. The alignment is consistent with the Circulation Element depiction. This alignment is within the boundary of the WRSP and within the existing city limits.

The WRSP determines the location of land uses within the entire area designated by the City’s General Plan as “Town Center”.

The WRSP provides for three residential density categories: medium density (MDR-12 land use designation – between 2 and 12 dwelling units per gross developable area), medium density (MDR-16 – between 8 and 16 dwelling units per gross developable acre), and high density (HDR – minimum of 20 dwelling units per gross developable acre).

The Land Use Plan shows that MDR-16 and HDR areas are immediately around or within the NVRG. The medium density (MDR-12) residential is generally further from the NVRG Area.

Chapter 4 contains a description of the range of non-residential uses within the WRSP. Appendix A contains design guidelines for WRSP.

1.19.11 Ensure that the Town Center is a sustainable, “green” development through the implementation of low impact development practices, highlighted in Appendix A. Such features could include:

- a. use of recycled water for landscape irrigation
- b. use of drought tolerant vegetation
- c. energy efficient buildings
- d. pedestrian and bicycle circulation system
- e. mix of land uses which reduce travel

1.19.12 Require that the Town Center Core Area provide a pedestrian-oriented, “village environment, including a plaza as a gathering place for community activities.

1.19.13 Require the implementation of public streetscape improvements that uniquely identify the Town Center, including elements such as landscape, street furniture, signage, and lighting; public street sections may vary from citywide standards in order to create this unique identity.

1.19.14 Require that development of Town Center incorporate the natural and cultural resources on site including:

- a. preserving portions of the basalt industrial ruins and incorporating them into the commercial and public activities, to the extent it is economically viable;
- b. preserving the quarry lake as a future public park site, for the benefit of both Town Center residents and the residents of the City as a whole.

The WRSP details out low impact development practices, outlined in Appendix A. The WRSP requires use of recycled water for landscape irrigation for major park and arterial landscape parkways, and provides guidance for the use of drought tolerant landscaping, and energy efficient homes. The Plan includes an extensive system of neighborhood multi-use paths (pedestrian and bicycle) which links neighborhoods with parks and

commercial areas; in addition, the local paths will connect with two regional trails – Napa Valley Vine Trail and River to Ridge Trail. The WRSP features a mix of land uses including residential, parks, and commercial areas which will reduce automobile travel.

Residential neighborhoods within the WRSP are linked to the NVRG Area (Town Center Core) through a system of multi-use trails. The NVRG Area will include public gathering space such as a plaza which will accommodate gatherings for community events.

WRSP design guidelines, as contained in Appendix A, provide unique standards for the NVRG Area.

A substantial portion of ruins will be activated; those preserved portions will be incorporated into commercial and public activities.

The Quarry Pond will be preserved and the surrounding area will be dedicated to the city and improved as a public park.

Development Policy: Community Subarea M – Town Center

Uses/Density:

- **Location and types of land uses, residential densities and non-residential intensities shall be determined through approval of subsequent Specific Plan(s) (1.19.7)**

Design and Development:

- **WRSP required prior to development of any portion of the site (including land use plan, circulation plan, infrastructure plan, public facility plan, conceptual landscape plan, and similar elements) (1.19.10)**
- **Adherence to Town Center Design and Development Principles sections 1.19.10-1.19.14**
- **Create a “main street” design in the commercial portion of the Town Center Core Area with such items as on-street parking, plaza and buildings constructed to the right-of-way line (1.19.12)**
- **Incorporate pedestrian and bicycle circulation linkages to the Community Commercial Center along Rio Del Mar**
- **Provide view corridors to the Napa River, valley, and foothills**
- **Encourage the retention and integration of existing structures previously used for the basalt plant operations**

- **Town Center Core Area will be centered around the basalt industrial ruins and quarry lake; this mixed-use area will have higher residential densities and higher intensity of non-residential uses; Residential Neighborhoods will surround the Core Area and will generally have lower residential densities and will include community facilities such as a park**

The WRSP identifies Land Uses, a range of residential densities and describes non-residential uses and densities.

WRSP is being proposed in advance of development of the area.

The circulation plan calls for a pedestrian and bike trail along Rio Del Mar to Highway 29.

A substantial portions of ruins will be preserved and re-used..

The WRSP calls for Medium and High Density residential surrounding core area.

1.32.5 Require the use of drought-tolerant species in landscape design in accordance with the provisions of the Water Conservation and Landscape Act. (I 1.1, I 1.2, I 1.4, I 1.5, I 1.7, and I 1.8)

1.32.6 Require that commercial, industrial, and multi-family residential development incorporate adequate drought-conscious irrigation systems and maintain the health of the landscape. (I 1.1, I 1.2, I 1.4, I 1.5, I 1.7, and I 1.8)

The Design Guidelines in the WRSP address landscape design and the use of drought-tolerant species.

The WRSP Master Landscape Plan requires uses of drought-tolerant species.

B.2 Housing Element

PROGRAM 2.1.2

Sustain residential land use designations that:

1. *Include a minimum density for each designation's range of permitted densities.*
2. *Allow flexibility in the types of units that may be constructed in master-planned communities and other planned developments.*
3. *Include a density category that, when combined with an affordable housing density bonus, is sufficiently high enough to facilitate the development of lower-income housing.*

The residential portion of WRSP provides three density categories: LDR, MDR, and HDR. Each density category has a minimum and maximum density as defined by the City's General Plan.

WRSP will be a master planned community. It provides flexibility in the types of housing units as follows:

4. *Medium Density Residential allows single family detached, single family attached and townhouses*
5. *High Density Residential allows both apartments and townhomes*
6. *The Implementation Chapter 9 allows a density transfer, which means the redistribution of residential units from one planning area to another, under specified procedures and criteria*

The High Density Residential has a density range of 18 to 30 dwelling units per acre

Policy 2.2.1 Allow flexibility in the type of units developed on vacant, residentially designated properties in master-planned communities and other planned developments.

Policy 2.2.2 Require larger projects to include a mix of housing types

Policy 2.2.3 Encourage the development of residential uses in association with compatible nonresidential uses.

Objective 2.3 Promote residential design that is functional, people and pedestrian-oriented, aesthetically pleasing, and contributes to a sense of community through the sensitive arrangement of buildings, open space (public and private), and circulation (vehicular and pedestrian). Encourage innovative and creative design in residential projects.

Policy 2.3.1 Ensure that new residential development fulfills the above objective through the establishment and application of comprehensive design guidelines and development standards.

Objective 2.6 Expand the availability of affordable housing in American Canyon

WRSP will be a master planned community. It provides flexibility in the types of housing units as follows: Low Density Residential allows both single family detached and secondary living units

Medium Density Residential allows single family detached, single family attached and townhouses High Density Residential allows both apartments and townhomes

The Implementation Chapter 9 allows a density transfer, which means the redistribution of residential units from one planning area to another, under specified procedures and criteria.

WRSP allows a broad range of housing types including single family attached, single family detached, townhomes, apartments, condominiums, and secondary living units.

WRSP proposed residential uses in conjunction with nonresidential uses.

The WRSP Circulation Plan provides an extensive system of multi-use trails linking the plan area and providing connections to regional trails. WRSP provides approximately 36 acres of public and private open space.

WRSP contains comprehensive design guidelines and development standards.

WRSP does not call for the construction affordable housing within the project boundaries.

PROGRAM 2.13.1 Require all residential projects of ten or more above moderate-income units to include affordable units.

The intent of the Inclusionary Alternatives is to provide options for developers while still meeting the City's affordable housing demand. Alternatives to providing on-site inclusionary units are 1) the provision of the units at an acceptable off-site location or 2) payment of in-lieu fees to the City's Housing Fund, to be used in the provision of housing affordable to lower-income households, or 3) the dedication of suitable land to the City for future inclusionary units, or 4) if the project exceeds its required inclusionary amount, the project owner may request inclusionary credits be counted toward another project subject to the approval of the City Manager

Included within Zoning Code Chapter 19.28 Inclusionary Housing Requirements is Section 19.28.050, Inclusionary Alternatives. Subsection B.2. states:

Provided, however, that the following alternatives to providing inclusionary units on-site may be approved by the decision-making body if it finds that evidence presented by the applicant shows that on-site inclusionary units are infeasible due to project size, location or site characteristics, or that the alternative would further housing opportunities for lower-income households to an equal or greater extent: The provision of some or all of the required inclusionary units at an offsite location.

The payment of an in-lieu contribution to the City equal to \$10,250.00 per unit in an ownership project. (The in-lieu contribution alternative is not available to rental projects.)

All fees shall be updated annually to adjust for market conditions.

Dedication of suitable land can be accepted as a substitute for payment of fees

The WRSP proposes that project will comply with the Inclusionary Housing Ordinance through payment of an in-lieu fee or its financial equivalent.

B.3 Economic Development

Town Center Development

The City currently does not have a Town Center. Designation of the basalt plant area to be a government center and a commercial core will provide at least one stimulus for further development in the long term.

3.6.2 Provide and promote opportunities for uses which capitalize on the City's proximity to the wine country and the airport, as well as take advantage of the City's natural resources. Consider tourist- supported commercial activities, such as a wine train depot, winery outlets, hotel, and golf course.

3.7.1 Adopt a Specific Plan for the Highway 29 commercial corridor and Town Center to guide future developments. Provide for a cohesive urban design which creates and maintains an attractive image to ensure that the City captures its full potential share of market demand. (I 3.1)

Objective 3.8 In the long term, improve and strengthen the City's identity through the creation of a Town Center as a principal government and commercial center.

3.8.5 Encourage the development of uses in the designated Town Center area (e.g., theater complex, auditorium, cultural entertainment, dining, retail, or other) that would draw residents, promote foot traffic and provide evening activity. (I 3, 6)

The NVRG provides for a variety of commercial uses within the NVRG Area.

The NVRG provides for commercial uses in and around the ruins of the Portland Cement Company structures and basalt plant structures. These structures provide a unique environment for specialty retail, wineries, pubs, distillery, special events and entertainment. Development of this unique property assists in establishing the City's identity and image.

The allowable uses within the NVRG includes several regional (tourist-oriented) uses such as hotel, events center for weddings and receptions, winery, pubs, distillery, and specialty retail.

The WRSP is the specific plan for the Town Center area. It will include design guidelines to ensure a cohesive and attractive design.

*The NVRG Area corresponds to the Town Center Core Area in the General Plan. It is planned as a mixed-use area where government uses are an allowable **amphitheater(s)***

*The uses allowed in the NVRG include uses that generate activity such as: specialty retail, events center for weddings and receptions, winery, brewery, distillery, hotel, restaurants, farmers market and outdoor **amphitheater** for entertainment.*

B.4 Circulation Element

Achieve and maintain a Multimodal LOS D or better for roadways and intersections during peak hours where possible and as long as possible. However, recognizing that LOS D may not be achievable or cannot be maintained upon full build-out of the General Plan, due to traffic generated from sources beyond the control of the City, the City Council shall have the discretion to only require feasible mitigation measures that may not achieve LOS D, but will reduce the impact of any development use or density planned for in the Land Use Element of the General Plan.

1.24 Impacts of new development. Based upon the findings of a transportation impact analysis, consistent with Guiding Policy 1.26, new development will be responsible for mitigation of transportation related impacts.

1.34 Rights-of-Way fully within master plan boundaries. Planning areas shall not use roadway centerlines as boundaries. Roadways shall be built to their full width within the annexed City limits. Part-width roads shall not be permitted where master plan areas abut unincorporated properties that are not expected to be annexed to the City within the time frame of this General Plan. Road rights-of-way that demarcate the edge of a planning area shall be fully contained within the development area boundary, and expanded only within that boundary.

4.10 New railroad crossings. Provide new crossings across the railroad (UPRR) in conjunction with the planned roadway improvements shown on Figure 3. The provision of new crossings will ensure at least one cross-town route is maintained in case rail activity interrupts local and regional traffic flow and/or emergency access. New crossings will be at: Newell Drive (grade separated); and Rio Del Mar or South Napa Junction Road (initially at-grade, may be grade separated in the future).

An Environmental Impact Report was prepared by the City prior to its consideration of WRSP. A determination of the LOS was made through the EIR process.

New development shall mitigate its share of transportation-related impacts.

The alignment for Newell Drive extension is proposed along the eastern boundary of the WRSP. The proposed roadway is entirely within the city limits and entirely within the boundary of the WRSP.

The WRSP incorporates a below grade or at grade crossing at Rio Del Mar connecting Highway 29 with Newell Drive. This will ensure a cross town connection without interruption by the rail activity.

Should an at-grade or grade-separated railroad crossing at Rio Del Mar prove unfeasible, an alternate route for providing the connection with Highway 29 is South Napa Junction Road. There exists a private at-grade railroad crossing at South Napa Junction that is the subject of a previous settlement agreement.

B.5 Utilities Element

5.8.1 Require improvements to the existing water supply, distribution, storage, and treatment facilities necessitated by a new development proposal be borne by the project proponent (in proportion to benefit); either through the payment of fees, or by the actual construction of the improvements. (I 5.2, I 5.8, and I 5.9)

5.10.3 Require that adequate storm drain and flood control facilities be constructed coincident with new development. (I 5, 24, 15,25, and I 5.33)

5.11. Require improvements to existing storm drain and flood control facilities necessitated by a new development proposal be borne by the project proponent; either through the payment of fees, or by the actual construction of the improvements in accordance with State Nexus Legislation. (I 5.30, I 5.31, and I 5.33)

5.16.1 Require that the cost for improvements to the existing wastewater collection and treatment facilities necessitated by a new development proposal be borne by the project proponent in proportion to benefit; either through the payment of fees, or by the actual construction of the improvements. (I 5.51 and I 5.52)

The Infrastructure Chapter of WRSP identifies the improvements for water distribution, storage and treatment necessary to serve the proposed development. A Water Supply Assessment was prepared in conjunction with the EIR. New development with WRSP will make a proportionate contribution to the City's water distribution, storage and treatment facilities.

The Infrastructure Chapter of WRSP identifies the storm water detention and conveyance facilities needed to serve the development. The WRSP states that appropriate storm water detention and conveyance facilities shall be constructed with each phase of development. These facilities will be designed and constructed to accommodate a 100-year storm event.

New development with WRSP will make a proportionate contribution to the City's wastewater collection and treatment facilities.

B.6 Public Services and Facilities

6.1.1 Work with the Napa Valley Unified School District to ensure that school facilities and programs are expanded commensurate with the City's population growth and development. (I 6.1 and I 6.2)

*Development in the WRSP Area shall mitigate its school impacts through the payment of school impact fees, pursuant to controlling law.***6.1.13 Locate preschool and day care facilities in appropriate areas throughout the City to meet the needs of a growing population. Require master planned areas to designate sites for daycare facilities. (16.1 and I 6.4)**

The WRSP Land Use Plan includes the Town Center Mixed Use (TC-1 MU) area (NVRG) where allowable uses include community facilities such as a community center site, preschool and day care uses.

B.7 Parks and Recreation

7.1.1 Provide a sufficient number of mini, neighborhood, community and regional park facilities to achieve a minimum standard of 5 acres of parkland per 1,000 residents (see Figure 5-1 and Table 5-1 for an illustration and explanation of existing park facilities). (I 7.1)

7.1.3 Work toward the establishment of a system of public parks interconnected by off-street trails or bicycle lanes. (I 7.1 and I 7.4)

7.2.5 Require all large scale developments to incorporate an internal trail system with linkages to the surrounding sidewalk network. (I 7.7)

The WRSP Land Use Program allows for a maximum of 1439 dwelling units. Using the 3.49 persons per dwelling unit figure in the City's General Plan, the project would have 5022 residents. At 5 acres per 1000 residents, the standard for parkland for the WRSP is 25.1 acres. The WRSP Land Use Plan designates approximately 33.27 acres for public park and open space uses, exceeding the City standard.

As shown on Figure 5.1 of WRSP, the public parks are connected by a series of multi-use trails.

As shown on Figure 5.1 of WRSP, there is an internal system of multi-use trails which connect neighborhoods with public parks, commercial areas and regional trails.

7.3.1 Establish the following classifications for American Canyon's parks:

a. Mini-Park-Mini parks are less than one acre in size and are not designed for active recreational uses. They do, however, provide passive open space and buffering from adjacent urban development and typically include elements such as walking paths and benches.

b. Neighborhood Park Neighborhood parks are usually two and a half to five acres in size and are primarily planned for children five to fourteen years of age. To maximize the use of the parcel, these parks are ideally located within the center of a neighborhood and sited adjacent to a school whenever possible. Recreation facilities typically provided in neighborhood parks include children's play areas (ideally equipped with a variety of play equipment for a range of users), picnic tables, and basketball courts. The service area for a neighborhood park is generally one-quarter to a one-half mile radius.

7.4.4 Require that adequate development and maintenance funds are available before new parklands are acquired. (I 7.24)

7.4.7 Require that new residential subdivisions dedicate parklands within their project boundaries, unless it is the City's objective to develop a park that serves the subdivision at an alternative location as specified in the Parks and Recreation Master Plan, in which case in-lieu fees shall be provided by the developer. (I 7.1 and I 7.3)

7.4.8 Require that new multi-family residential developments of five or more units provide recreational or open space facilities onsite and contribute fees that aid in the public development of other facilities to offset additional demands generated by their resident population. (I 7.1 and I 7.3)

The WRSP Land Use Plan shows two large parks which serve the WRSP community. The type of recreational facilities and recreational uses within each park will be determined through City approval of a conceptual park plan concurrent with a tentative subdivision map.

The parks within WRSP will be dedicated and improved by the project for fee credits. That policy also requires that public parks be maintained through a Lighting Landscaping Assessment District, which must be established concurrently with final subdivision map approval.

The dedication of park land shall occur through the City's approval of final subdivision maps.

The Development Standards require multifamily residential development to include private open space at a ratio of 80 square feet per dwelling unit and 150 square feet of common open space per dwelling unit. The common open space would provide for recreational and open space facilities onsite.

7.7.4 Design and improve community and neighborhood parks according to the following:

- a. locate on collector or neighborhood streets, accessible to adjacent residential neighborhoods;
- b. site uses so that they do not adversely impact adjacent residences (e.g. locate high activity, noise-generating uses away from residences);
- c. provide parking so that it does not disrupt abutting residences;
- d. design for defensible space;
- e. site parks away from high noise generators (highways) and other nuisances (i.e., power lines); and
- f. incorporate park landscape that is compatible with the landscape of adjacent areas. (I 7.4, 1 7.5, and 1 7.28)

As shown on the Land Use Plan, all public parks are located on collector or neighborhood streets and accessible to surrounding residential neighborhoods.

Landscaping within the parks should support the overall character of the Watson Ranch Community as defined by the Design Guidelines.

B.8 Natural & Historic/Cultural Element

Goal 8E To promote the preservation and restoration of the sites, structures and districts that have architectural, historical, archaeological and/or cultural significance to the City of American Canyon.

Objective 8.19 Ensure that the City’s historically and archaeologically significant resources are protected in a manner that preserves and/or enhances the resources’ inherent historic value,

Policies

8.19.1 Conduct a comprehensive survey of archaeological and cultural resources and historic vegetation that is based on established criteria and encompasses the entire City and its Sphere of Influence. (I 8.40)

8.19.2 Adopt a Preservation Ordinance that will authorize the City to designate appropriate vegetation or archaeological sites deemed to be of historic, archaeological, or cultural significance an American Canyon City Historic Point, Site or District. Such an ordinance shall conform to state and federal criteria for establishing a preservation ordinance. (I 8.5, I 8.48, and I 8.49)

8.19.4 Though the design review process, encourage compatibility between new development and existing adjacent historic structures in terms of scale, massing, building materials and general architectural treatment. (J 8.29)

8.20.4 Prohibit demolitions if other alternatives exist that enable a property owner to sensitively add to the existing structure, or develop an accompanying building on the site that allows property development rights to be realized. Variances of setbacks, heights and parking requirements should be given to make the preservation of an existing historic building feasible when no other reasonable alternative exists. (J 8.49)

8.20.4 Prohibit demolitions if other alternatives exist that enable a property owner to sensitively add to the existing structure, or develop an accompanying building on the site that allows property development rights to be realized. Variances of setbacks, heights and parking requirements should be given to make the preservation of an existing historic building feasible when no other reasonable alternative exists. (J 8.49)

8.20.5 Encourage appropriate adaptive reuse of historic resources such as the Basalt Plant in order to prevent misuse, disrepair and demolition, taking care to protect surrounding neighborhoods and/or agricultural land from incompatible uses. (I 8.49)

The City has not established criteria or conducted an archaeological and cultural resources survey for the city and its Sphere of Influence. An archaeological survey was prepared by ESA (dated 4/2006). Further assessment was included in the EIR. The evaluation of the resources onsite will be evaluated in accordance with applicable State and federal criteria and guidelines.

The City has not adopted a Preservation Ordinance.

8.13.1 Encourage the preservation of agricultural uses on the City’s periphery through the creation of a permanent greenbelt. (I 8.11, I 8.17, r 8.26, I 8.28, and I 8.41)

Through the initiative process, the City has adopted an Urban Limit Line (“ULL”), as part of its General Plan. In

accordance with the provisions of that initiative, no urban development may occur outside the ULL. The terms of the initiative remain in effect until January 1, 2030.

B.9 Geology Element

9.4.1 Require the determination of the landslide, slope instability, and erosion potential of all proposed development sites with a grade of 10 percent or greater and incorporate pertinent measures in the project design to mitigate this potential. Exceptions to these mitigation requirements shall be considered for agricultural areas. (I 9.1, I 9.6, I 9.25, 19.27, and I 9.28)

9.4.3 Prohibit the mass grading of slopes with a grade of 25 percent or greater and development on slopes with a grade of 50 percent or greater. For projects built upon slopes with a grade of between 15 and 25 percent, cluster the units and reduce overall density in accordance with Natural/Cultural Resources Policy 8.18.2. (I 9.1 and 19.2)

A preliminary geotechnical study shall be prepared in conjunction with the WRSP EIR. The study evaluates the potential for landslides, slope instability and erosion and proposes mitigation measures. Development shall comply with any adopted mitigation measures in accordance with the Mitigation Monitoring and Reporting Program.

Development in WRSP Area is on land with a slope less than 15%.

B.10 Flood Hazards Element

10.1.4 Ensure that storm water drainage is designed for peak flow conditions. (I 10.1)

All storm water detention and conveyance facilities within the WRSP are designed to accommodate a 100- year storm event.

B.11 Noise Element

Airport Vicinity Land Use Compatibility Criteria Land Use Zone E (Figure 11-2): Prohibited Uses: Noise-sensitive outdoor uses

Other Development Conditions: Overflight easement or deed notice required Examples of Normally Acceptable Uses: Any permitted use

Examples of Uses not Normally Acceptable:

- Amphitheaters
- Landfills
- Ponds
- Airport Land Use Zone E

7. Maximum residential densities in accordance with local adopted General Plans and zoning designations. Consideration should be given to the proximity of flight patterns, frequency of overflight, terrain conditions, and type of aircraft in determining acceptable locations of residential uses. Referral to the ALUC for review of development plans prior to approval is recommended.

Objective 11.6 Minimize the potentially adverse noise impacts associated with the development of mixed-use structures in which residential units are located above ground floor commercial uses.

Policies 11.6.1 Require that the commercial component of a mixed-use project not generate excessive noise. (I 11.9)

11.9.1 Require that entertainment and restaurant/bar uses take appropriate steps to control the activities of their patrons onsite, as well as within a reasonable and legally justified distance from the place of business, to minimize potential noise-related impacts on adjacent residential neighborhoods. (I 11.11)

The WRSP was submitted to ALUC for review and a conformance determination with the Airport Land Use Plan was made.

A Residential Compatibility Plan shall be prepared prior to approval of nonresidential development; noise standards and noise mitigation measures are included in that Plan.

11.9.2 Discourage the development of new nightclubs, discotheques, and other high noise-generating entertainment uses directly adjacent to any residential neighborhoods, residential dwelling units, schools, health care facilities, or other “noise-sensitive” land uses, unless it is demonstrated that adequate measures can be installed and employed by these establishments to adequately mitigate the potential impacts of onsite operations and/or offsite customer activities upon these areas. (I 11.8)

Such high noise-generating uses are not permitted per WRSP Table 4.2 (Permitted and Conditionally Permitted Uses).

**Metal Post Perimeter Fence
Viewed from the Side**



Pedestrian View



Driver View

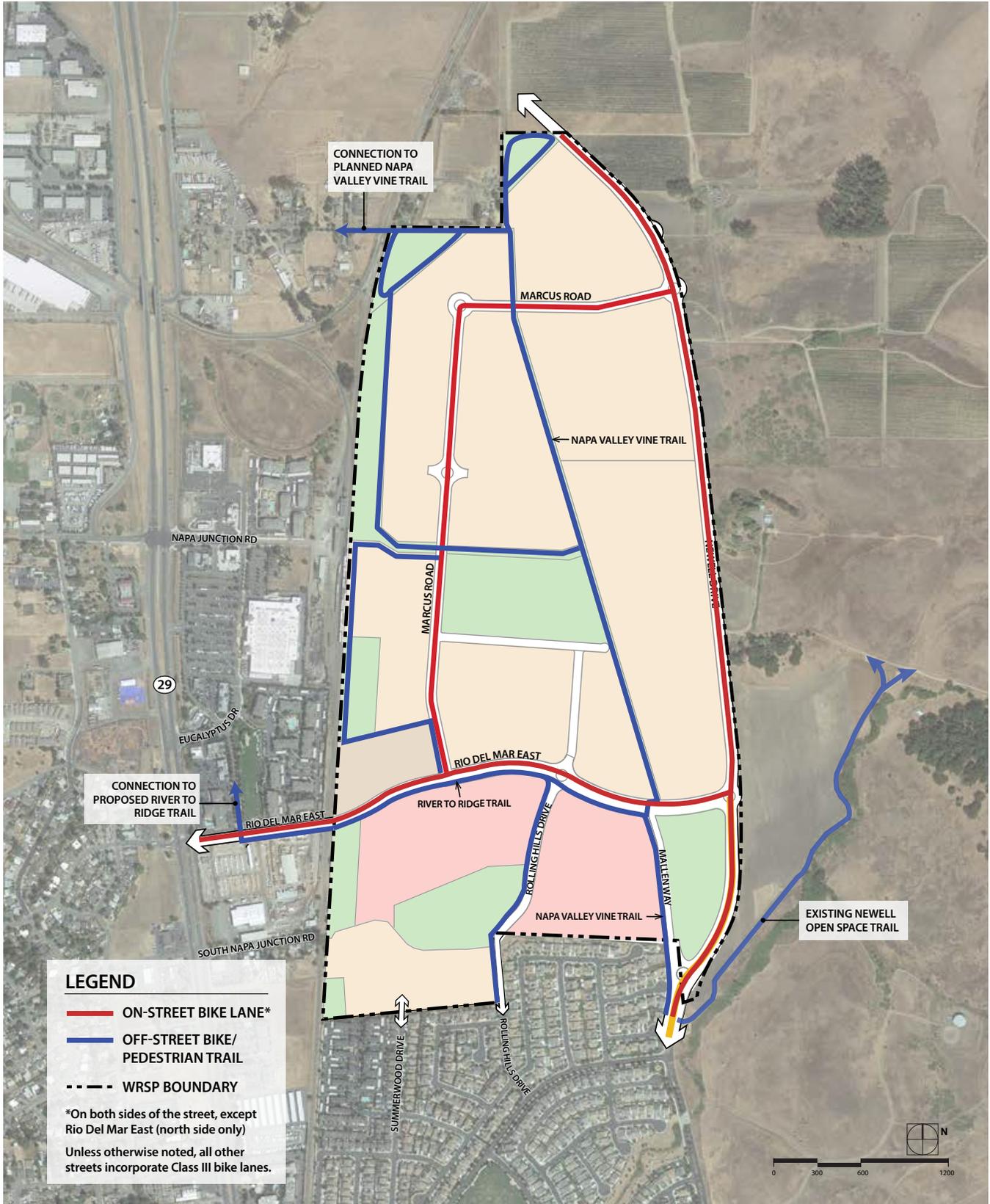
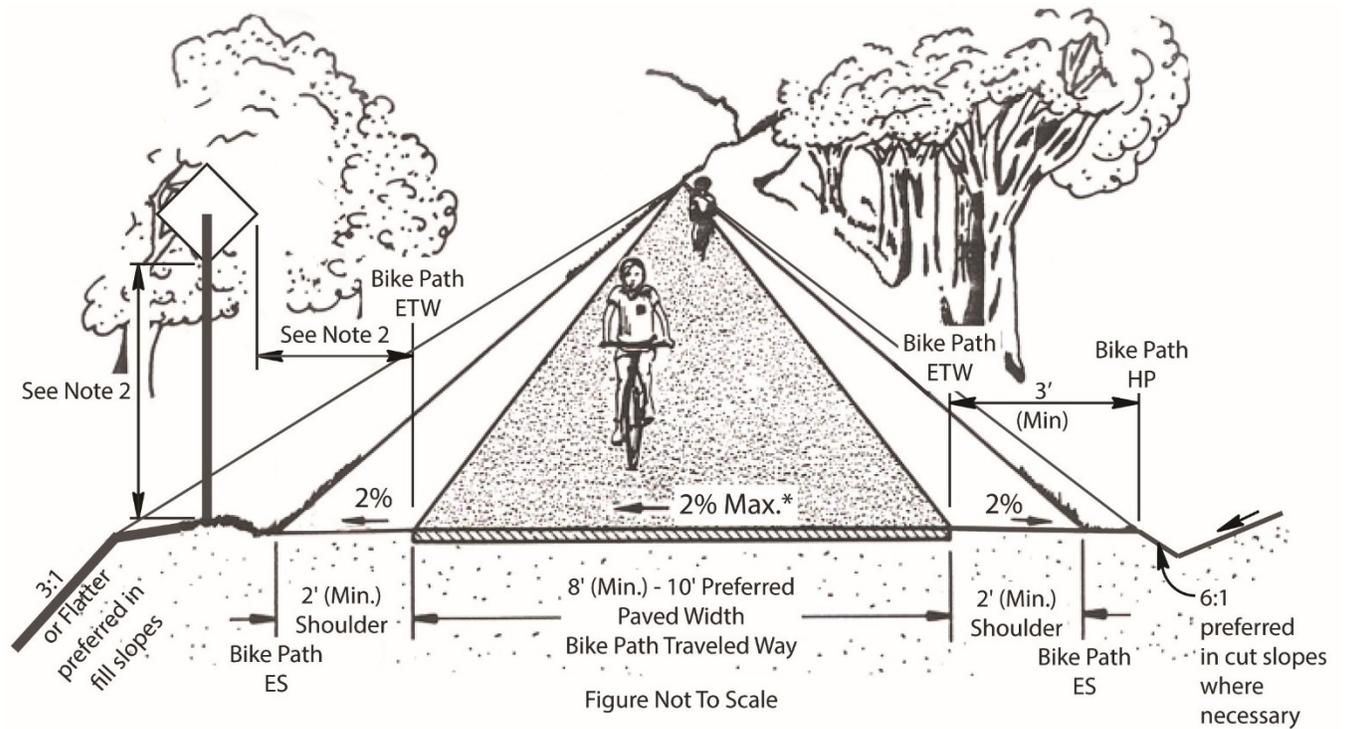


Figure 7.5: Pedestrian and Bicycle Circulation

Figure 1003.1A

Two-Way Class I Bikeway (Bike Path)



NOTES:

- (1) See Index 1003.1(15) for pavement structure guidance of bike path.
- (2) For sign clearances, see California MUTCD, Figure 9B-1. Also, for clearance over the shoulder see Index 1003.1(3).
- (3) The AASHTO Guide for the Development of Bicycle Facilities provides detailed guidance for creating a forgiving Class I bikeway environment.

*1% cross-slope minimum.

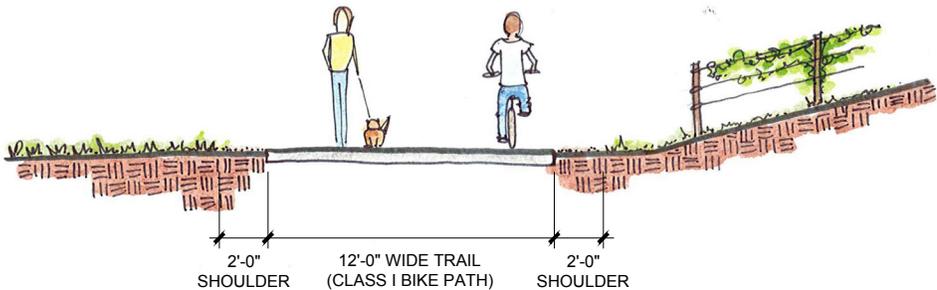


Figure 7.6: Napa Valley Vine Trail Section
Subject to modification

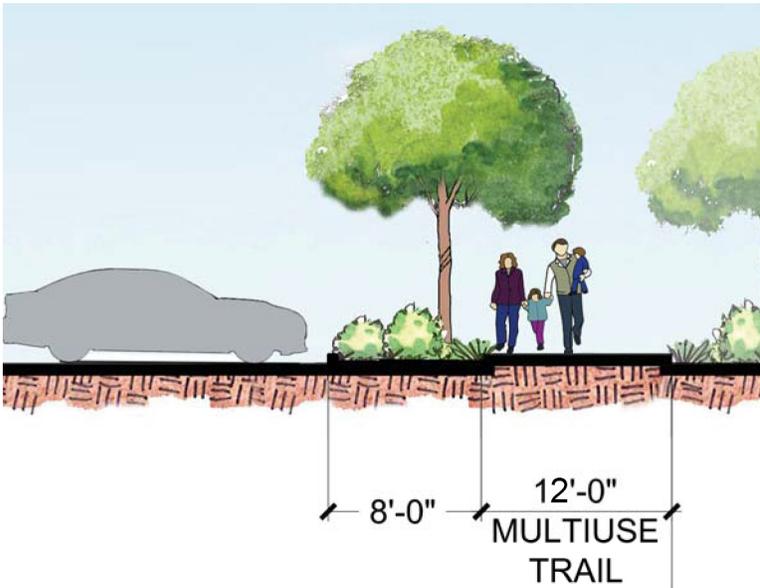


Figure 7.7: River to Ridge Trail Section
Subject to modification

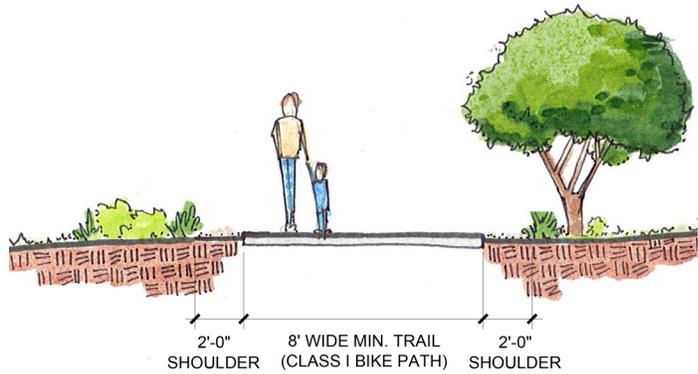


Figure 7.8: Multi-Use Trail Section
Subject to modification

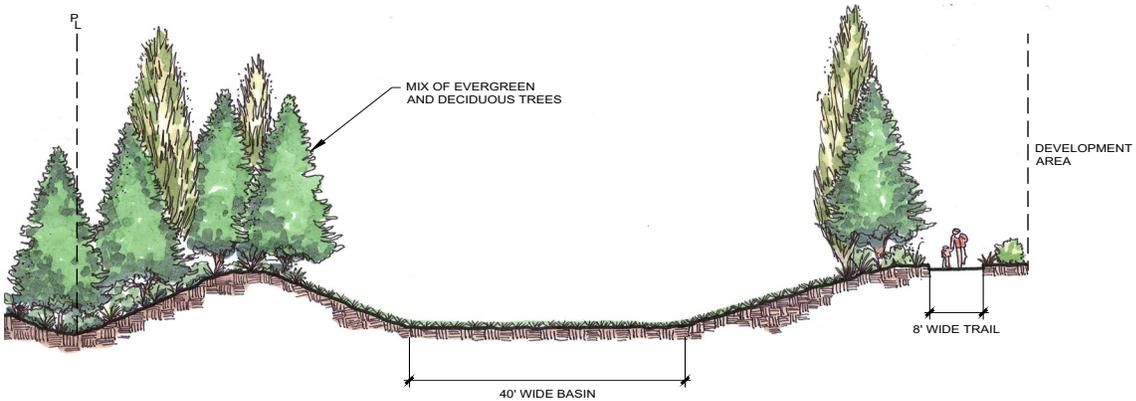


Figure 7.9: Multi-Use Trail Section along Detention Basins
Subject to modification



**City of American Canyon
Active Community Development Projects
November 2024**

Project Applications Under Review						
No.	Project Name	Applicant	Description	Location/Area	Application Status	Planner
1.	Canyon Café Food Truck Design Permit (PL23- 0020)	Michael Lara	Park a Stationary Food Truck at the front of Canyon Café restaurant with operating hours: Mon - Sun, 7am - 11pm	3845 Broadway 0.63 acres	10/2/23 Application submitted 10/12/23 Comments to applicant 4/12/24 Application resubmitted 5/3/24 Comments to applicant 5/20/24 Application resubmitted 6/21/24 Comments to applicant 8/19/24 Application resubmitted 10/4/24 Comments to applicant	William He
2.	SDG 220 Conditional Use Permit (PL23-0017)	SDG Commerce 220, LLC	Conditional Use Permit for a 220,000 square foot wine warehouse.	1055 Commerce Court 10.17 acres	8/3/23 Application submitted 8/30/23 Comments to applicant 10/6/23 Application resubmitted 10/27/23 EIR 30-day NOP Comment period begins 11/17/23 EIR NOP Scoping Meeting 11/27/23 EIR NOP Comment Period ends 1/12/24 Meeting with applicant to discuss administrative draft EIR (ADEIR) 3/26/24 ADEIR submitted 4/15/24 ADEIR comments to applicant 5/10/24 ADEIR resubmitted 6/11/24 DEIR Public Comment Period Begins 7/30/24 Public Comment Workshop 9/16/24 Admin FEIR submitted 10/24/24 PC Hearing 11/19/2024 CC Hearing scheduled	William He

Project Applications Under Review						
No.	Project Name	Applicant	Description	Location/Area	Application Status	Planner
3.	Crown Hill Minor Modification (PL23-0012)	Crown Hill Stone Supply, LLC	Construct a 4,800 square foot storage building.	650 Green Island Road 5.88 acres	5/22/23 Application submitted 6/13/23 Comments to applicant 1/29/24 Staff checked in with the applicant on project status 6/7/24 Staff checked in with applicant 10/15/24 Application resubmitted	William He
4.	Crawford Way Multifamily Residential (PL23-0003)	Yeh Area Group	A 100-unit Townhome style apartment homes with sixteen 3-story buildings including a mix of 68 two-bedroom and 32 three-bedroom units.	Northwest corner Crawford Way/SR-29 4.276 acres	1/25/23 Application submitted 2/27/23 Comments to applicant 7/19/23 Application resubmitted 8/16/23 Comments to applicant 12/12/23 Staff checked in with the applicant on project status. 1/25/24 Application resubmitted 2/23/24 Comments to applicant 6/26/24 Application resubmitted 7/26/24 Comments to applicant 9/17/24 Application resubmitted 10/23/24 Meeting with applicant 10/29/24 Comments to applicant	William He
5.	Ibarra Terminal Conditional Use Permit (PL22-0032)	Ibarra Trucking	Convert an existing residential site into a trucking office with equipment and vehicle storage.	1190 Green Island Road 1.56 acres	12/6/22 Application submitted 12/16/22 Comments to applicant 12/12/23 Staff checked in with applicant on project status 6/7/24 Staff checked in with the applicant on project status	William He

Project Applications Under Review						
No.	Project Name	Applicant	Description	Location/Area	Application Status	Planner
6.	Residences at Napa Junction (PL22-0011)	American Canyon Ventures LLC	453 multi-family rental dwellings with associated parking and amenities	1000 Reliant Way / 15 acres	5/2/22 Application submitted 6/1/22 Comments to applicant 7/22/22 Application resubmitted 8/19/22 Comments to applicant 1/11/23 Application resubmitted 2/9/23 Comments to applicant 7/11/23 30-Day NOP Completed 8/11/23 Admin Draft EIR Preparation 1/29/24 Staff checked in with the applicant on project status 6/7/24 Staff checked in with the applicant on project status	William He
7.	Sun Square Mixed Use Apts Minor Modification (PL24-0003)	Max Konan	Modify site plan to reduce 1 parking space, revise landscaping plan, and widen sidewalk along front setback.	425 Napa Junction Rd/ 1 acre	1/29/24 Application Submitted 2/28/24 Comments to applicant 4/11/24 Application resubmitted 5/8/24 Comments to applicant 6/10/24 Application resubmitted 7/3/24 Comments to applicant 9/20/24 Application resubmitted 11/6/24 Comments to applicant	William He
8.	Outfront Billboards Zone Change (PL24-0006)	Outfront Media	Zone Change and Development Agreement to convert existing double-sided billboard sign to LED displays	4301 Broadway and 5747 Broadway	3/14/24 Application submitted 4/17/24 Comments to applicant 4/17/24 Application resubmitted 4/30/24 Comments to applicant 6/24/24 Application resubmitted 8/2/24 Comments to applicant	Brent Cooper
9.	Oat Hill / Domaine Apts Parcel A and B Major Modification (PL24-0009)	Russell Square	Change architecture, grading and landscaping of Oat Hill apartments	100 Chennault Way, 100 Opus Lane	5/1/24 Application Submitted 5/21/24 Comments to applicant 7/30/24 PC Hearing (Continued) 8/22/24 PC Hearing (Continued) 9/26/24 PC Hearing Approved 10/01/24 City Council Approved	Brent Cooper

Project Applications Under Review						
No.	Project Name	Applicant	Description	Location/Area	Application Status	Planner
10.	Watson Ranch Lot 7 Subdivision Map (PL24-0011)	KB Homes	Development of 136 single-family homes on a 12.86-acre site in the Watson Ranch MDR-16 Zone	West of Marcus Rd and Cartier St intersection / 12.86-acres	6/26/24 Application submitted 7/26/24 Comments to applicant 8/13/24 Application resubmitted 9/13/24 Comments to applicant 10/2/24 Application resubmitted 10/24/24 PC Approved 11/19/24 CC Hearing Scheduled	William He
11.	Watson Ranch Lot 7 Design Permit (PL24-0012)	KB Homes	Development of 136 single-family homes on a 12.86-acre site in the Watson Ranch MDR-16 Zone	West of Marcus Rd and Cartier St intersection / 12.86-acres	6/26/24 Application submitted 7/26/24 Comments to applicant 8/13/24 Application resubmitted 9/13/24 Comments to applicant 10/2/24 Application resubmitted 10/24/24 PC Approved	William He
12.	USAgain Textile Recycling Box Design Permit (PL24-0021)	USAgain	Addition of two unmanned textile recycling boxes on the southeast side of Parry's Pizza Store.	234 American Canyon Rd	8/9/24 Application Submitted 9/10/24 Comments to applicant	William He

Major Building/Grading Permits					
Project Name	Description	Location	Area	Status	Staff Liaison
1. Hampton Inn Improvement Plans (DV23-0002)	Site improvements for a 3-story, 112 room Hampton Inn Hotel.	3443 Broadway	2.52 acres	1/24/23 Application submitted 3/17/23 Comments to applicant 9/21/23 Water Supply Report approved 12/12/23 Staff contacted applicant for a project status update 2/13/24 1 st Submittal Received 3/16/24 1 st PC Comments returned 4/3/24 2 nd Submittal Received 4/29/24 2 nd PC Comments Returned 5/31/24 3 rd Submittal Received 6/24/24 3 rd PC Comments Returned 8/6/24 4 th Submittal Received 9/11/24 4 th PC comments returned	Edison Bisnar
2. Hampton Inn (BP24-0124)	Development of a 3-story 112-room Hampton Inn Hotel.	3443 Broadway	2.52 acres	3/5/24 Application submitted 4/2/24 Comments to applicant 9/19/24 Application resubmitted 10/11/24 Comments to applicant	Ron Beehler
3. Napa Valley Ruins and Gardens Building Retrofit (BP23-0010)	Level 1 and level 2 retrofit of Buildings 2, 3, 4, 5, 7 at the American Canyon Ruins.	Southwest corner Rio Del Mar East/Rolling Hills Drive	29 acres	1/4/23 Application submitted 1/20/23 Comments to applicant 9/28/23 Status outreach to applicant	Ron Beehler
4. Napa Valley Ruins and Gardens Grading and Improvement Plans	Site Improvements for the NVRG and Amphitheater	Southwest corner Rio Del Mar East/Rolling Hills Drive	29 acres	7/18/22 1 st Submittal Received 8/23/22 1 st PC Comments Returned 1/3/23 2 nd Submittal Received 2/9/23 2 nd PC Comments Returned 6/14/24 3 rd Submittal Received 7/12/24 3 rd PC Comments Returned 11/6/24 4 th Submittal Received	Edison Bisnar

5. Oat Hill Domaine Residential Building Plan Check (BP22-0733)	Plan check for the 15-Unit Apartment Building (Bldg 100)	Western terminus Napa Junction Road	N/A	1/11/23 Application submitted 2/8/23 Comments to applicant 4/14/23 Permit resubmitted 4/27/23 Comments to applicant 12/12/23 Resubmittal received 12/19/23 Master Plans Approved 10/17/24 Permit resubmitted	Ron Beehler
6. Oat Hill Domaine Residential Building Plan Check (BP22-0736)	Plan check for the 18-Unit Apartment Building (Bldg 200)	Western terminus Napa Junction Road	N/A	1/11/23 Application submitted 2/8/23 Comments to applicant 4/14/23 Permit resubmitted 12/12/23 Resubmittal received 12/19/23 Master Plans Approved 10/18/24 Permit resubmitted	Ron Beehler
7. Oat Hill Domaine Parcel A Improvement Plan (DV22-0006)	Precise grading, utilities for the Oat Hill Residential Project	Western terminus Napa Junction Road	10 acres	12/8/22 Application submitted 12/20/23 Improvement Plans approved 7/22/24 Mass grading in progress	Edison Bisnar
8. Oat Hill Domaine Parcel B Improvement Plan (DV22-0007)	Precise grading, utilities for the Oat Hill Residential Project	Western terminus Napa Junction Road	10.8 acres	12/8/22 Application submitted 8/15/23 Improvement Plans approved 7/22/24 Building construction in progress	Edison Bisnar
9. Oat Hill Domaine Parcel B Clubhouse Building Permit (BP22-0734)	Clubhouse building on Parcel B (Lower Parcel)	100 Chennault Way	N/A	12/15/22 Application submitted 8/15/23 Improvement Plan DV22-0007 approved 1/29/24 Comments to applicant 2/12/24 Application resubmitted 2/20/24 Comments to applicant 2/26/24 Application resubmitted 2/26/24 Permit Approved 5/28/24 Application resubmitted 6/18/24 Comments to applicant 10/17/24 Application resubmitted	Ron Beehler

Major Building/Grading Permits					
Project Name	Description	Location	Area	Status	Staff Liaison
10. Oat Hill Domaine Parcel A Maintenance Building Permit (BP22-0737)	Maintenance building on Parcel A (Upper Parcel)	801 Opus Way	N/A	12/15/22 Application submitted 9/29/23 Requires Improvement Plan DV22-0006 approval and conditions of approval satisfied 1/4/24 Application resubmitted 1/5/24 Comments to applicant 10/17/24 Application resubmitted	Ron Beehler
11. Oat Hill Domaine Parcel A Pool Building Permit (BP22-0739)	Pool building on Parcel A (Upper Parcel)	301 Opus Way	N/A	12/15/22 Application submitted 9/29/23 Requires Improvement Plan DV22-0006 approval and conditions of approval satisfied 1/4/24 Application resubmitted 1/5/24 Comments to applicant	Ron Beehler
12. Oat Hill Domaine Parcel A Clubhouse Building Permit (BP22-0740)	Clubhouse building on Parcel A (Upper Parcel)	300 Opus Way	N/A	12/15/22 Application submitted 9/29/23 Requires Improvement Plan DV22-0006 approval and conditions of approval satisfied 1/9/24 Application resubmitted 1/16/24 Comments to applicant 5/28/24 Application resubmitted 6/18/24 Comments to applicant 10/16/24 Application resubmitted 10/31/24 Approved	Ron Beehler
13. Oat Hill Offsite Improvement (DV23-0008)	Napa Junction Road, domestic water, recycled water, sanitary sewer and public water pump station improvements.	Along Napa Junction Rd, north of Oat Hill Apts frontage	N/A	3/6/24 Improvement Plans approved 3/12/24 Offsite Construction at Napa Junction commenced 4/11/24 Recycled Water main installation at Lombard to Hess Drive. 8/14/24 Recycled Water main installation completed. 07/02/24 Public Water Pump Station coordination. Design in progress 9/19/24 Offsite Improvements construction in progress.	Edison Bisnar

14. SDG 217 Warehouse Building Permit (BP22-0436)	Building Permit for a 217,294 sq ft warehouse	1075 Commerce Ct	10.38 acres	8/18/22 Application submitted 4/10/23 Permit issued 9/17/24 Project Complete 10/16/24 Certificate of Occupancy issued	Ron Beehler
15. Napa Cove Improvement Plans and Grading (DV22-0001)	Grading and Improvement plans for the Napa Cove Apartment project.	3787 Broadway	3.48 acres	1/18/22 Application submitted 2/4/22 First Plan check 3/21/22 Grading permit approved 7/22/24 Construction in progress. Removal of existing poles and undergrounding is complete. Highway 29 widening in progress.	Edison Bisnar
16. Napa Cove Building Permits (BP22-0017, 0018, 0019)	Building Permits for the Napa Cove Apartment Project	3787 Broadway	3.48 acres	1/19/22 Application submitted 2/1/22 First Plan check 3/21/22 Permits issued 9/24/24 Bldg B Certificate of Occupancy issued. 10/2/24 Bldg C Certificate of Occupancy issued. 11/6/24 Bldg A Certificate of Occupancy issued.	Ron Beehler

Major Building/Grading Permits					
Project Name	Description	Location	Area	Status	Staff Liaison
17. Watson Ranch Lot 10 Harvest Rough grading and Subdivision Improvement Plans (DV21-0014, 0015)	Rough grading and site improvements for WRSP Lot 10 Harvest	Northeast corner Marcus Road/Rio Del Mar East	27.17 acres	11/08/21 Application submitted 12/08/21 First Plan Check 01/03/22 Second Submittal 01/13/22 Second Plan Check 01/21/22 Third Submittal 1/24/22 Rough Grading Permit Approved 7/22/24 construction in progress. All roads and utilities are complete. 83 of 219 houses are occupied. 38% complete.	Edison Bisnar
18. Watson Ranch Lot 10 Harvest Model Home Building Permits (BP21-0522, 0523)	Harvest Model Homes for Watson Ranch Lot 10	Northeast corner Marcus Road/Rio Del Mar East	27.17 acres	12/02/21 Application submitted 12/20/21 First Plan Check 02/10/22 Second Submittal 2/18/22 Second Plan Check 4/5/22 Applicant Submittal 4/7/22 Permit approved 9/2/22 Deferred Submittal 9/7/22 Permit approved 12/31/23 51 homes finaled 5/17/24 70 homes finaled 9/3/24 94 homes finaled	Ron Beehler
19. Napa Valley Casino Temporary Parking (DV20-0012)	Temporary parking with 39 stalls along Donaldson Way.	3466 Broadway		7/19/23 Approved Grading Permit and Improvement Plans. 8/16/24. Temporary parking lot paved. Parking lot lights installed. Drainage and landscaping work in progress.	Edison Bisnar

Major Building/Grading Permits					
Project Name	Description	Location	Area	Status	Staff Liaison
20. Home2Suites Building Permit (BP19-0499)	Building permit for 102 room hotel.	3701 Main Street	2.0 acres	12/3/19 Application submitted 8/9/22 BP Issued	Ron Beehler
21. 236 Canyon Estates Court (BP23-0823)	Building Permit for a new single-family house and ADU.	236 Canyon Estates Court	0.53 acres	12/7/23 Application Submitted 1/2/24 Comments to applicant 3/22/24 Application resubmitted 4/3/24 Comments to applicant 5/17/24 Application resubmitted 5/28/24 Comments to applicant 6/21/24 Application resubmitted 6/27/24 Comments to the applicant 7/15/24 Application resubmitted 7/31/24 Comments to applicant	Ron Beehler
22. Copart (DV20-0008)	Grading permit for an auto storage lot and office building Conditional Use Permit PL18-0019.	1587 and 1660 Green Island Road	20 acres	4/23/20 On-site private wastewater treatment system application submitted to the County 5/12/22 Grading Permit approved 4/18/24 Civil Improvements are 90% complete 7/22/24 95% Complete	Edison Bisnar
23. Home2Suites Will Serve and Improvement Plan (DV19- 0015)	Will serve application and improvement plans for a 102-room hotel.	3701 Main Street	2.0 acres	9/5/19 Will Serve Application submitted 5/25/20 Improvement Plan Application submitted 6/10/21 Improvement Plan approved 4/5/22 Council approved fee reimbursement request 8/10/22 2 nd Change Plan Approved 4/18/24 Main Street is 50% complete. Onsite construction in progress. 7/22/24 Construction in progress	Edison Bisnar

Major Building/Grading Permits					
Project Name	Description	Location	Area	Status	Staff Liaison
24. Chicken Guy Improvement Plan (DV23-0015)	New 2,818 sqft restaurant	200 American Canyon Road	1.03 acres	8/16/23 Application submitted 9/5/23 Plans submitted 3/6/24 Improvement Plans approved 4/18/24 Construction in progress.	Edison Bisnar
25. Chicken Guy Restaurant Building Permit (BP23-0616)	New 2,818 sqft restaurant	200 American Canyon Road	1.03 acres	8/15/23 Application submitted 3/7/24 Permit Issued	Ron Beehler
26. Two-story Four-plex (BP23-0628)	New 5,344 sqft two-story four-plex apartment	6 Donaldson Way	0.3 acres	8/24/23 Application submitted 9/8/23 Comments to applicant 3/1/24 Application resubmitted 3/25/24 Comments to applicant	Ron Beehler
27. Sun Square Mixed Use Buildings Phase I (BP24-0131)	New 5,781 sqft mixed-use building	425 Napa Junction Rd	1.0 acre	3/11/24 Application submitted 4/10/24 Comments to applicant 8/23/24 Application resubmitted 9/10/24 Comments to applicant	Ron Beehler
28. Watson Ranch Lot 7 (DV24-0005)	Mass grading of Watson Ranch Large Lot 7	Vacant lot north of Lemos Pointe Apts in Watson Ranch	12.86 acres	3/26/24 1st Submittal received 4/8/24 1st PC comments returned 4/15/24 2nd Submittal received 4/18/24 2nd PC comments returned 4/22/24 3rd Submittal received 4/25/24 3rd PC comments returned 6/3/24 4th Submittal Received 6/10/24 Grading Permit Approved 7/22/24 Grading in progress	Edison Bisnar
29. Sun Square Improvement Plans (DV23-0013)	Site Improvement for Sun Square	425 Napa Junction Road	1.0 acre	3/29/24 1st submittal received 4/12/24 1st PC comments returned 6/7/24 2nd submittal received 6/21/24 3rd PC comments returned	Edison Bisnar

30. Promontory Subd Rough Grading (DV23-0018)	Mass Grading for 216 single-family lots with 54 junior ADU subdivision	Watson Ranch Newell Property	23 acres	9/13/23 1st submittal received 12/8/23 1st PC comments returned 4/18/24 2nd submittal received 6/9/24 2nd PC comments returned 8/6/24 3rd submittal received 9/5/24 3rd PC comments returned	Edison Bisnar
31. Promontory Subd Improvement Plan (DV23-0018)	Improvement Plans for 216 single-family lots with 54 junior ADU subdivision	Watson Ranch Newell Property	23 acres	11/3/23 1st submittal received 1/11/24 1st PC comments returned 5/3/24 2nd submittal received 6/20/24 2nd PC comments returned 8/16/24 3rd submittal received 9/11/24 3rd PC comments returned	Edison Bisnar
32. Napa Junction Solar (DV23-0024)	Improvement Plans for 3 MW solar utility facility with RV and boat storage.	5381 Broadway	6.68 Acres	12/11/23 1st submittal received 2/9/24 2nd submittal received 3/18/24 3rd submittal received 4/29/24 4th submittal received 5/14/24 5th submittal received 6/5/24 Grading Permit approved 9/4/24 Improvement Plans Approved 9/16/24 Contractor mobilized for grading 10/17/24 Grading work in progress	Edison Bisnar
33. Napa Junction Mini Storage (DV24-0008)	540-unit mini storage facility	4484 Hess Road	5.84 acres	6/7/24 1st Submittal received 7/10/24 1st PC comments returned 8/30/24 2nd submittal received	Edison Bisnar
34. Giovannoni Mass Grading (DV24-0009)	Mass Grading for the Giovannoni Logistics Center	Green Island Road	70.2 acres	6/17/24 1st submittal received 7/22/24 1st PC comments returned 8/14/24 2nd submittal received 8/26/24 2nd PC comments returned 9/13/24 3rd submittal received	Edison Bisnar

Major City-Initiated Projects					
Project Name	Description	Location	Area	Status	Staff
1. Comprehensive General Plan Update	Review and update to bring the General Plan into conformance with current State standards and community values	Citywide	N/A	7/1/19 Drafting a Request for Proposal (RFP) 1/13/22 Modified “fast-track” technical update scope approved 6/7/22 City Council NOP approved 9/1/22 Administrative draft elements reviewed by staff 3/15/23 Administrative draft EIR received. 9/19/23 CC Land Use Map Review 9/28/24 Draft EIR issued for public review 10/21/24 Draft EIR public review workshop in Planning Commission 12/27/24 EIR Public Review date ends	Brent Cooper
2. Urban Design Consultant services	Review proposals from design firms to provide architecture, landscape, and grading review services.	Citywide	N/A	November 2024 Received proposals; staff evaluating.	Brent Cooper

Major City-Initiated Projects					
Project Name	Description	Location	Area	Status	Staff
3. Paoli/Watson Lane Annexation (PL19-0003)	General Plan Amendment, rezoning, and annexation of the Paoli/Watson Lane Property.	Southeast of Paoli Loop/SR-29	80 acres	9/5/17 City Council authorization to proceed 5/28/20 City received a Property Owner notice of intent to circulate a petition to annex the Paoli Loop/Watson Lane Property. 5/16/22 Annexation efforts returned to City initiated. Consultant preparing CEQA scope documents. 9/7/22 NOP Comment period begins 9/21/22 NOP Workshop 3/14/23 45-Day EIR Review period begins. Ends on 4/28/23. 4/27/23 PC EIR Workshop 5/1/23 Preparing Response to Comments 10/26/23 PC Hearing 11/7/23 CC EIR, GPA, ZC First Reading approved 11/14/23 ALUC Application submitted 2/2/24 ALUC Application approved 2/20/24 Prezoning 2 nd Reading approved	City Manager

Major Regional Projects					
Project Name	Description	Location	Area	Status	Staff Liaison
1. Regional Working Group on Climate Change	Countywide Working Group to evaluate efforts to adopt policies that will combat climate change.	Countywide	N/A	1/16/24 City approved a General Fund appropriation for City’s share to prepare a Regional climate Action and Adaptation Plan (RCAAP)	Leon Garcia Mark Joseph
2. Napa Valley Transportation Authority Highway 29 PID Study	Project Initiation Document (PID) for Highway 29 through American Canyon	American Canyon	N/A	10/4/21 NVTA and American Canyon workshop 2/16/22 NVTA Board of Directors voted to remove the six-lane option from future study. 1/16/24 City approved Cooperative Agreement 04-2957 with Caltrans and NVTA for Project Approval and Environmental Document phase	Danielle Schmitz (NVTA)
3. Napa County Airport Land Use Compatibility Plan Update	Napa County Airport Land Use Compatibility Plan Update and associated CEQA documentation	Napa County Airport Compatibility Zones	N/A	January 2021 Board of Supervisors initiated Airport Land Use Compatibility Plan update 12/13/22 County selects aviation consultant Mead and Hunt 2/1/23 First working group meeting 4/12/23 Second meeting 6/22/23 Third meeting 11/16/23 Fourth meeting 12/14/23 City comments to Napa County 11/6/24 ALUC hearing scheduled	Brent Cooper

<p>4. Napa Valley Countywide Active Transportation Plan</p>	<p>The Active Transportation Plan will combine elements of NVTA’s Napa Countywide Pedestrian Plan, released in 2016; and the Napa Countywide Bicycle Plan, last updated in 2019, as well as efforts by local jurisdictions to improve safety for all roadway users.</p>	<p>Napa County with specific sections for each jurisdiction including American Canyon.</p>	<p>N/A</p>	<p>November 2024 – kickoff meetings with staff in each jurisdiction</p> <p>Public comments on active transportation issues in Napa County is being sought now at this link HERE..</p>	<p>Brent Cooper and Erica Ahmann Smithies</p>
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