



## City Council AGENDA

**CITY COUNCIL MEETING  
MONDAY, AUGUST 4, 2025  
COUNCIL CHAMBERS  
BLOOMINGTON CIVIC PLAZA  
1800 W. OLD SHAKOPEE RD.  
BLOOMINGTON, MN 55431  
6:30 PM**

**Mayor:** Tim Busse

**Councilmembers:**

Chao Moua  
Jenna Carter  
Dwayne Lowman

Victor Rivas  
Lona Dallessandro  
Shawn Nelson

### **ANNOUNCEMENT**

This meeting will be held in person and electronically via Webex. Some members of the City Council, testifiers, and presenters may participate electronically as permitted by Minnesota Statutes. Members of the public may participate in person or electronically. Directions are provided below.

#### **To watch the meeting:**

- Attend in person
- Watch online at [blm.mn/btv-live](http://blm.mn/btv-live) or the City's YouTube channel [blm.mn/youtube](http://blm.mn/youtube)
- Watch BTV (Comcast channels 859 or 14)

#### **To provide testimony on a public hearing item:**

- Attend in person and speak at the podium; or
- Speak by phone during a public hearing by dialing **1-415-655-0001**. Enter access code **2863 872 9723#** and password **080425#**. Press **\*3** to "raise your hand" to indicate a desire to speak; your line will remain muted until it is your turn. When it is your turn to speak, the Council Secretary will call on you by the first six digits of your phone number and will unmute your line. Listen for notification that your line has been unmuted and state your name before speaking.

### **CALL TO ORDER**

The City Council requests that attendees silence cell phones during the meeting. A paper copy of the full City Council packet is available to the public in the ring binder at the entrance of Council Chambers.

### **PLEDGE OF ALLEGIANCE**

#### **1. APPROVAL OF AGENDA**

#### **2. INTRODUCTORY**

##### **2.1 Introduction of New Employees**

## 2.2 Proclamation - National Night Out

### 3. **CONSENT BUSINESS**

The following items are considered to be routine by the City Council and will be acted on by one motion.

There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the consent agenda and considered at the end of Consent Business or at another stated time on the agenda as determined by the City Council. If you desire to have an item removed from the consent agenda, then please alert the Council Secretary prior to the start of the City Council meeting.

The Council Secretary will notify the City Council of a request to remove an item from the consent agenda.

#### 3.1

Resolution of Support for Capital Project Requests

#### 3.2 Review and Ratify the Annual Fire Pension Contribution

#### 3.3 2025-2026 Insurance Renewals

#### 3.4 Award 90th Street Retaining Wall Project (2024-801)

#### 3.5 Resolution to Award Valley View Schools Safe Routes to School (SRTS) Improvement Project (2025-202)

#### 3.6 Resolution Authorizing Signing of Memorandums of Agreement and Accepting Easements for Normandale Blvd PMP Trail and Sidewalk Improvement Project (City Project 2024-110)

#### 3.7 Approval of Bryant-Tretbaugh Park Construction Contracts Amendments

#### 3.8 Approval of Purchase – Caterpillar Wheel Loader

#### 3.9 Award Bid & Execute Contract for Stucco Façade Replacement at the Bloomington Ice Garden

#### 3.10 Resolution to Accept Response Sustainability Grant Funds from the Minnesota Department of Health

#### 3.11 Authorize the Student Clinical Experience Agreement with St. Catherine University

#### 3.12 T-Mobile Wireless Lease Amendment at Dred Scott Park

#### 3.13 Approve City View Amendment

#### 3.14 Resolution Establishing Precinct Boundaries and Polling Places for Elections.

#### 3.15 On-Sale Liquor and Sunday Liquor License - Hilton Garden Inn at 1601 American Blvd E

#### 3.16 Special Event On-Sale Liquor License – St. Bonaventure Catholic Church Fall Festival

#### 3.17 Special Event On-Sale Liquor License for Wooden Hill Brewing Co. at Richardson Nature Center

#### 3.18 Resolution Authorizing the Purchase of Real Property Located at 9715 James Avenue



3.19 Approval of City Council Meeting Minutes

3.20 Amendment to the Intent to Piggyback off Cooperative Procurement State of MN NASPO PA Contract No. 247327 (Axon Enterprises, Inc.)

3.21 State of Minnesota Joint Powers Agreement for Bomb Disposal Unit Services

3.22  
Resolution to Accept Public Health Emergency Preparedness Grant Funds from the Minnesota Department of Health

3.23 Off-Sale Liquor License for Shree Laxmi Properties LLC doing business as Perrier Wines & Liquors

3.24  
Resolution: Amendment to the 2024 Full-Time Non-Union and Part-Time, Temporary and Seasonal Compensation Plans

#### **4. HEARINGS, RESOLUTIONS, AND ORDINANCES**

To address the Council on a public hearing item, please approach the podium, clearly state your name, and after you have spoken, please sign the roster so the City can accurately include your comments in the official meeting minutes.

4.1 Public Hearing: Prevailing Wage Ordinance Amendments

#### **5. ORGANIZATIONAL BUSINESS**

5.1 Community Health and Wellness Center 50% Design Development Update

5.2 City Council Policy & Issue Update

#### **6. ADJOURNMENT**

#### **7. ATTACHMENTS**

Additional Meetings Attachments

**View regular meetings** live or via archive at [blm.mn/meetings](http://blm.mn/meetings). Catch the replay on Comcast cable by tuning to Bloomington TV channels 14(SD) and 859(HD) the Wednesday after a meeting at 6:00 p.m. and Thursday at 12:00 a.m., 6:00 a.m. and 12:00 p.m.

**BloomingtonMN.gov:** A yearly meeting schedule, agendas, and the official minutes once approved are available. If you require a reasonable accommodation, please call 952-563-8733 (MN Relay 711) as soon as possible, but no later than 9:00 a.m. one business day before the meeting day.

**Our mission is to cultivate an enduring and remarkable community where people want to be.**



## Request for Council Action

Originator City Council	Item <b>2.1 Introduction of New Employees</b>
Agenda Section INTRODUCTORY	Date August 4, 2025

Requested Action:

Welcome the following new employee(s) to the City of Bloomington, being introduced by City staff:

- Bridget Goodwin, Parkkeeper
- Courtney Weikert, Data Governance Specialist
- Morgan Knutzen, Business Analyst
- Laura, Crime Victim Liaison

Item created by: Priyanka Rai, City Council

Item presented by: Dave Hanson, Assistant Director, Parks and Natural Resources  
Amy Cheney, Chief Information Officer  
Melissa Manderschied, City Attorney

Description:

As new employees are hired by the City of Bloomington, we want to introduce them to the organization and to the community, so the City Council, residents, and businesses can get to know the public servants working on their behalf.



## Request for Council Action

Originator Police Department	Item <b>2.2 Proclamation - National Night Out</b>
Agenda Section INTRODUCTORY	Date August 4, 2025

Requested Action:

The reading of a Proclamation by Mayor Busse proclaiming August 5, 2025 as National Night Out.

Item created by: Emily Herman, Police Department

Item presented by: Deputy Chief Kim Clauson on behalf of Police Chief Booker T. Hodges

Description:

The Bloomington Police Department (BPD) respectfully requests Mayor Busse proclaim August 5, 2025, as National Night Out (NNO). The National Association of Town Watch is sponsoring this unique nationwide crime and drug prevention program. This event provides an opportunity for the BPD to join forces with thousands of other communities across the country in a community-building campaign that promotes police-community partnerships, neighborhood safety and awareness, and communication with the goal to make neighborhoods a safer, better place to live. This year marks the 42nd annual NNO.

Attachments:

[Proclamation.pdf](#)

# Proclamation

## NATIONAL NIGHT OUT

*Tuesday, August 5, 2025*

WHEREAS, The National Association of Town Watch (NATW) is sponsoring a unique, nationwide crime and drug prevention program on August 5, 2025, called National Night Out; and

WHEREAS, The 42<sup>nd</sup> Annual National Night Out provides a unique opportunity for the Bloomington Police Department (BPD) to join forces with thousands of other communities across the country in a community-building campaign that promotes police-community partnerships and neighborhood camaraderie to make neighborhoods a safer, better place to live.

WHEREAS, The Bloomington Fire Department and the Bloomington Crime Prevention Association (BCPA) play a vital role in assisting the Bloomington Police Department's efforts by supporting National Night Out 2025 locally; and

WHEREAS, It is essential that all residents of Bloomington be aware of the importance of crime prevention programs and the impact that their participation can have on reducing crime and drug abuse in our city and strengthening neighborhood spirit; and

WHEREAS, The BPD values community partnerships by always being respectful while keeping our community safe. This respect is demonstrated through our compassionate and honest service; and

WHEREAS, Community partnerships, neighborhood safety and awareness, and communication are important themes of the National Night Out program.

NOW, THEREFORE, I, Tim Busse, Mayor of the City of Bloomington, Minnesota, do hereby proclaim August 5, 2025, as **NATIONAL NIGHT OUT** in the City of Bloomington and urge all residents to join with their neighbors, fellow community members, the Bloomington Police and Fire Departments, and the Bloomington Crime Prevention Association in making this community safe for everyone.



Tim Busse, Mayor

City of Bloomington, Minnesota

Dated this 4<sup>th</sup> day of August 2025



## Request for Council Action

Originator Finance	Item <b>3.1</b>  <b>Resolution of Support for Capital Project Requests</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution No. 2025-\_\_\_\_\_ approving support for the City's capital project requests for the 2026 legislative session.

Item created by: Briana Eicheldinger, Finance

Item presented by: Elizabeth Tolzmann, Interim City Manager

Description:

The State of Minnesota's capital budget is primarily funded by issuing state general obligation bonds. It includes grants to local governments to acquire and improve public lands and buildings and other public improvements of a capital nature.

The capital budget process begins in odd-numbered years with the collection of requests from state agencies and local units of government. The Minnesota Department of Management and Budget (MMB) issues instructions for capital budget requests in April of the year preceding its submission to the Legislature. It ends with submission of the governor's capital budget to the Legislature in January of the following even-numbered calendar year.

MMB guides the capital investment process at every stage. In addition, it is common for project proposers to work with their area legislators to have bills introduced that authorize state bonds for the project. While these bills are not passed individually, they do draw attention to the issue and often receive brief hearings to allow the proposal to be explained.

Cities need to pass a local resolution of support to make the bonding request. If making multiple bonding requests, the resolution must rank the projects in order of priority for the city.

*The above information comes from <https://www.lmc.org/resources/state-capital-investment/>*

Attachments:

Resolution  
Old Shakopee Road Improvement\_2026  
North Central Sanitary Sewer Improvements\_2026

**RESOLUTION NO. 2025 - \_\_\_\_\_**

**RESOLUTION IN SUPPORT OF 2026 CAPITAL PROJECT REQUESTS**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota (“City”); and

WHEREAS, City Charter Section 7.08 requires the City Council to act by resolution with the required authorization to alter the approved budget; and

WHEREAS, the City of Bloomington participates in Minnesota Management and Budget’s (“MMB”) biennial process for reviewing state capital investment requests;

WHEREAS, MMB is required by Minnesota Statutes § 16A.86, subd. 3a (6) to consider whether the governing body of the political subdivision requesting the project has passed a resolution in support of the project when reviewing capital improvement funding requests;

WHEREAS, submitting project information is a vital component of the state capital investment process, and provides needed background to the Governor and Legislators in determining state investments;

WHEREAS, MMB requests final capital budget requests by October 17, 2025 for the 2026 State capital budget preparations;

WHEREAS, the City Council of Bloomington has appropriated local funds for certain capital improvement projects as listed below (Projects), in its budget for 2026:

1. North Central Sanitary Sewer, estimated project cost of \$27,659,000 with a request for support of \$13,000,000.
2. Old Shakopee Road - Aldrich to 2<sup>nd</sup> Ave, estimated project cost of \$22,402,000 with a request for support of \$4,480,000.

WHEREAS, the City of Bloomington will seek state funding in 2026 for capital improvements for the Projects consistent with the amounts listed above; and

WHEREAS, this resolution reflects the priorities recommended to be submitted to MMB for consideration in the upcoming state capital investment process.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA:

1. The City Council supports the development and bonding for the Projects for the 2026 legislative session.

2. The following capital investment projects are submitted to the Minnesota Management and Budget Office and the projects are prioritized as follows:
  1. North Central Sanitary Sewer
  2. Old Shakopee Road - Aldrich to 2<sup>nd</sup> Ave

Passed and adopted this 4<sup>th</sup> day of August, 2025.

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Mayor

Attest:

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Secretary to the Council

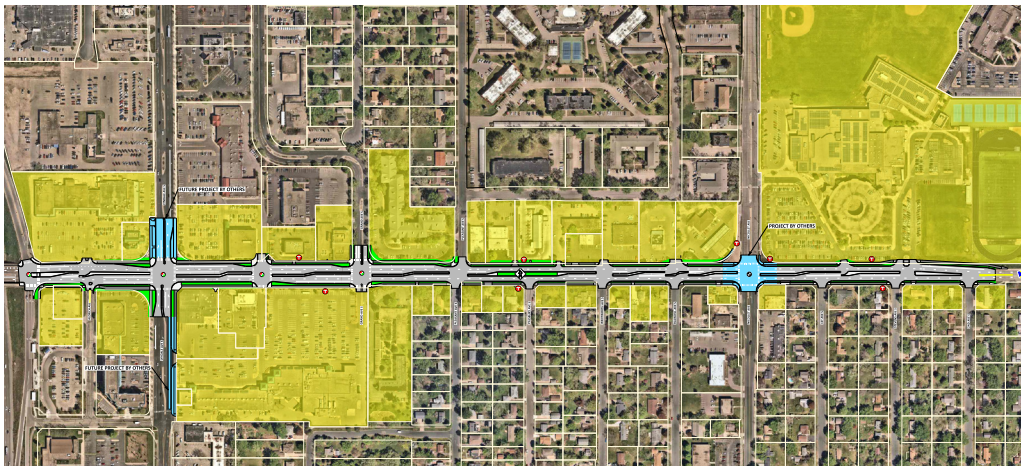




CITY OF BLOOMINGTON | STATE BONDING REQUEST

# OLD SHAKOPEE ROAD CORRIDOR IMPROVEMENT PROJECT

ALDRICH AVE TO 2ND AVE

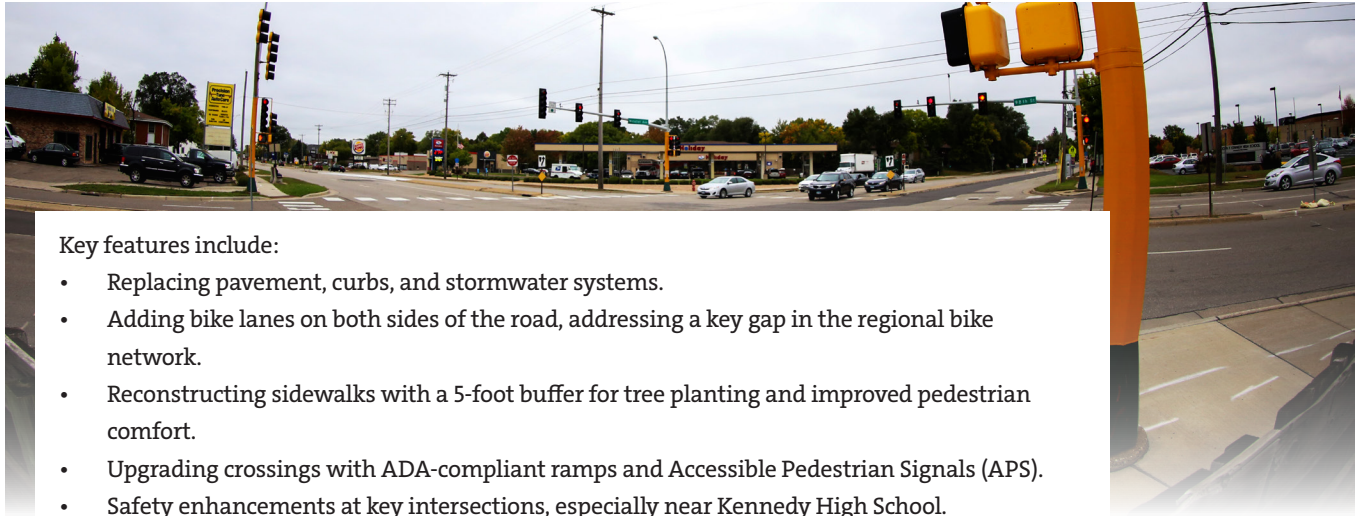


**T**he Old Shakopee Road (CSAH 1) from Aldrich Avenue to 2nd Avenue will include replacement of pavement, curb, stormwater structures, safety improvements, new multi modal facilities, construction of ADA compliant curb ramps and Accessible Pedestrian Signals. It will enhance safety by improving intersections along the corridor including construction of a three-quarter intersection that reduces the number of conflict points and provides missing bicycle facilities that encourage safe travel through the corridor. The project will reduce the crash potential and provide a much safer environment for all users. This project serves a public purpose by providing critical public non-motorized ADA compliant infrastructure to serve the demand for residential, commercial and other users.

**THE TOTAL ESTIMATED  
PROJECT COST IS \$22  
MILLION. THE CITY IS  
SEEKING \$4.4 MILLION IN  
FUNDING SUPPORT**

## PROJECT DESCRIPTION

The City of Bloomington is planning improvements along Old Shakopee Road (CSAH 1) from Aldrich Avenue to 2nd Avenue to enhance safety, accessibility, and mobility for all users. Historically, the corridor prioritized fast car travel, limiting safe options for pedestrians, cyclists, and transit users. This project will maintain essential infrastructure while transforming the corridor into a more inclusive and sustainable transportation route.



Key features include:

- Replacing pavement, curbs, and stormwater systems.
- Adding bike lanes on both sides of the road, addressing a key gap in the regional bike network.
- Reconstructing sidewalks with a 5-foot buffer for tree planting and improved pedestrian comfort.
- Upgrading crossings with ADA-compliant ramps and Accessible Pedestrian Signals (APS).
- Safety enhancements at key intersections, especially near Kennedy High School.
- Modifying traffic signals and right-turn islands to calm traffic and support bike/pedestrian access.
- Extending a new trail along Lyndale Avenue to connect with major regional trails and the Minnesota River Valley.
- Utility adjustments to support new trails and sidewalks.

The area includes vulnerable communities and is impacted by traffic-related pollution. These improvements aim to reduce greenhouse gas emissions and support safer, greener, and more equitable transportation for all.

### **PROJECT COST AND SCHEDULE**

Project design and easement acquisition will take place in 2026-2027 with construction planned for 2028-2029 and phased with the other two area projects to ensure mobility through the area. The estimated project cost is \$22 million. The City is seeking \$4.4 million in bond proceeds to help fund the infrastructure improvements.

### **MORE INFORMATION**

For more information, contact City Engineer Julie Long at [jlong@bloomingtonmn.gov](mailto:jlong@bloomingtonmn.gov) or 952-563-4865.

CITY OF BLOOMINGTON | STATE BONDING REQUEST

## NORTH CENTRAL SANITARY SEWER PROJECT

The City of Bloomington is seeking funding assistance to improve sanitary sewer capacity in Bloomington adjacent to Interstate 494 and 35W.

The project includes upsizing sanitary sewer capacity to accommodate new land use densification in Bloomington. Redevelopment, including new affordable housing units, has created the need for additional sanitary sewer capacity and infrastructure.

### BACKGROUND

The majority of the City's sanitary sewer system was originally constructed in the 1950s, 1960s, and 1970s. It was designed to serve the projected land uses anticipated at that time. In the Penn American area, land uses typically consisted of low-density residential, large retail, and small manufacturing.

Recently, the City has been striving for redevelopment that better meets the needs of the community and region that includes housing and mixed-use developments resulting in densification, particularly around existing transportation infrastructure to help reduce greenhouse gas emissions.

The pending development in the Penn American District cannot be accommodated by the existing sanitary sewer utility and available City funds are limited. Additional funds are needed to support further community growth.



**THE CITY OF BLOOMINGTON IS SEEKING APPROVAL FOR \$13 MILLION IN FUNDING TO IMPROVE SANITARY SEWER CAPACITY ADJACENT TO INTERSTATE 494 AND 35W. THE TOTAL ESTIMATED PROJECT COST IS \$27.7 MILLION.**





### PROJECT DESCRIPTION

The North Central Sanitary Sewer project consists of construction of 13,330 linear feet of 18-inch to 24-inch sanitary sewer pipe in north central Bloomington, also serving the Penn American District. The project limits extend from American Boulevard and Morgan Avenue to Syndicate Avenue and West 92nd Street and includes a crossing underneath Interstate I-35W just south of the I-35W/I-494 interchange.

This new infrastructure is necessary to accommodate sanitary sewer flows expected to be generated by higher-density redevelopment including housing in the Penn American District adjacent to the Orange Line, I-35W and I-494. Development and redevelopment in this district are consistent with the City's Comprehensive Plan and City and regional goals.

### PROJECT COST AND SCHEDULE

Project design is planned to take place in 2025 with construction for 2026 and 2027. The project's total construction cost is estimated to be \$27.7 million. The City is seeking \$13 million in funding support to help fund the infrastructure improvements providing regional benefit.

### MORE INFORMATION

For more information, contact Utilities Superintendent Scott Anderson at [smanderson@bloomingtonmn.gov](mailto:smanderson@bloomingtonmn.gov) or 952-563-4867.





## Request for Council Action

Originator Finance	Item <b>3.2 Review and Ratify the Annual Fire Pension Contribution</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to ratify the 2025, payable 2026, Fire Pension obligation.

Item created by: Briana Eicheldinger, Finance

Item presented by: Lori Economy-Scholler, CFO

Description:

The Bloomington Fire Department Relief Association's (BFDRA) certification of the Pension Fund financial requirements has been submitted to the City and a copy of that certification is included in the agenda material. City financial staff has reviewed and concurs in the calculation. Minnesota Statutes Subd. 7(a) of Section 69.77 requires, "The municipality shall provide in the annual municipal budget for at least the minimum obligation of the municipality calculated under subdivision 4."

Year-end actuarial Information is received in February each year, the BFDRA and Finance work together to prepare and certify the required contribution form (required by BFDRA by July 31), and then the Council ratifies the certificate in August for the following levy year. Tonight, Council is asked to ratify the certification on for pay 2026.

For 2025, Pay 2026 the City required contribution is \$0. When the annual Fire Aid is received by the City in October that amount will be sent to BFDRA as required under state statute.

The BFDRA accrued liabilities is now funded at 119%, a gain of 3% percentage points from the previous year-end funding level at 116%.

Attachments:

2025 BFD 2025\_Valuation Report\_Table9.pdf  
2025 Fire Certification payable 2026\_signed.pdf

**Table 9**  
**Determination of Minimum Bloomington Obligation**

	Percent of Benchmark Payroll	Dollar Amount
<b>A. Relief Association Financial Requirements - Section 69.77</b>		
1. Normal Cost		
a. Retirement Benefits	24.11%	\$2,585,632
b. Disability Benefits	7.02%	752,338
c. Surviving Spouse and Child Benefits	0.55%	58,869
d. Deferred Retirements	0.15%	16,062
e. Refund Liability Due to Death or Withdrawal	-	-
f. Total	31.83%	3,412,901
2. Supplemental Contribution Amortization	(35.08%)	(3,762,068)
3. Allowance for Administrative Expenses	1.36%	145,757
4. Total	(1.89%)	(203,410)
<b>B. Minimum Bloomington Obligation - Section 69.77</b>		
1. State of Minnesota Contributions	8.24%	884,039
2. City of Bloomington Contributions (A.4 - B.1)	(10.14%)	(1,087,449)
Projected Annual Payroll for Fiscal Year Beginning on the Valuation Date		10,724,400



July 22, 2025

## CERTIFICATION

We, the undersigned Officers of the Bloomington Fire Department Relief Association in accordance with the provisions of Section 69.77 of the Minnesota Statutes, as amended, herewith certify to the City Council of the City of Bloomington that our estimate of the necessary appropriation for the 2026 budget to meet the current normal cost and to retire any accumulated deficit within the Legislative time period designated, is \$0.

This estimate is based on information contained in the Actuarial Valuation as of January 1, 2025 (copy attached, Table 9). The Bloomington Fire Relief Association would receive the entire fire aid and the City's obligation, as in accordance with past City practices.

### Calculation

#### A. Normal Cost

a. Retirement Benefits	\$ 2,585,632
b. Disability Benefits	\$ 752,338
c. Survivors' Benefits	\$ 58,869
d. Deferred Retirement Benefits	\$ 16,062
e. Total	\$ 3,412,901
f. Estimated Member Contributions	\$ -
g. Net Normal Cost	\$ 3,412,901

#### B. Supplemental Contribution Amortization

\$ (3,762,068)

#### C. Allowance for Administrative Expenses

(\$145,757 @ 1.035)

\$ 150,858

#### D. Total (A(g)+B+C)

\$ (198,309)

#### E. Payable as of December 31, 2026

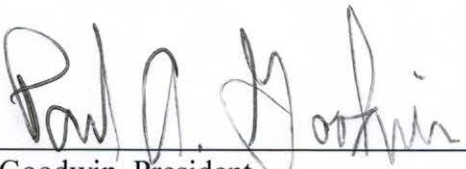
0

Less: Estimated State Aid to be received in 2026

\$ 884,039

NET AMOUNT OBLIGATED FOR 2026

0

  
Paul Goodwin, President  
Bloomington Fire Department Relief Association

7/22/25  
Date

  
Chris Morrison, Secretary  
Bloomington Fire Department Relief Association

7/22/25  
Date





## Request for Council Action

Originator Finance	Item <b>3.3 2025-2026 Insurance Renewals</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the renewal of the LMCIT Commercial Package Policy.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to authorize non-waiver of the statutory tort liability limits.

Item created by: Briana Eicheldinger, Finance

Item presented by: Amy Larson, Risk and Litigation Manager

Description:

Council is requested to approve the renewal of the League of Minnesota Cities Insurance Trust (LMCIT) Commercial Package Policy (comprised of municipal liability, property, and automobile coverage).

The LMCIT Package Policy Premium for 2025-2026 is quoted at \$764,671, a 4.15% decrease over the expiring policy of \$797,844. A breakdown of the insurance coverages, and associated premiums, are included in the memo and summarized on Attachments A-C.

Finally, Council is asked to accept the recommendation outlined in the memo to not waive the City's statutory tort liability limits. Attachment D must be completed and returned to renew the LMCIT policy.

Attachments:

[25-26 Renewal Memo to Council with Attachments.pdf](#)



**DATE:** July 29, 2025

**TO:** Tim Busse, Mayor  
City Council Members  
Elizabeth Tolzmann, Interim City Manager  
Kathy Hedin, Interim City Manager

**CC:** Lori Economy-Scholler, CFO  
Kari Carlson, Deputy Finance Officer

**FROM:** Amy Larson, Risk and Litigation Manager

**RE:** 2025-2026 LMCIT Insurance Renewals

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### **BACKGROUND**

Since 1986, the City has placed its property/casualty insurance coverage with the League of Minnesota Cities Insurance Trust (LMCIT). The LMCIT coverage also covers the Port Authority, Housing and Redevelopment Authority, and the Fire Department Relief Association.

### **2025-26 LMCIT Premium Summary**

I am happy to report that the LMCIT Package Policy renewal premium for 2025-2026 has been quoted at \$764,671 which is a 4.15% decrease over the previous year's LMCIT premium of \$797,844.

Below is the specific coverage summary, by product line, for the 2025-2026 LMCIT renewal.

### **Property**

This coverage is used to protect the City's interest against direct physical loss or damage to property that is owned by the City, or property the City is required to insure. Included under the property umbrella are Real Property, Inland Marine, Boiler and Machinery/Equipment Breakdown, Data Security Breach Expense (not Cyber Liability), Crime and Bond, as well as the Minnesota Petrofund Claim coverages.

The deductibles for all property coverages remain at \$50,000 per occurrence, except for the Boiler and Machinery/Equipment Breakdown coverage which has a deductible of

\$5,000 per occurrence, and the Minnesota Petrofund Claims coverage which has a \$0 deductible.

### Real Property

This coverage applies to property that is owned by the City, i.e. buildings, contents, property in the open, etc. This year's renewal quote of \$229,099, a 2.85% increase over last year's premium of \$222,751.

The increase in the premium is due to an increase in the City's property values. Even though the property rate for the 2025-2026 renewal decreased to 0.0557 per \$100 of value from the 2024-2025 rate of 0.0597, the City's property values increased \$38,574,077 to \$410,889,158 from last year's value of \$372,315,151. The increase in property values is attributed to the property appraisal of all City property that mandated by LMCIT in order to renew the LMCIT Package Policy.

### Inland Marine

Inland Marine coverage pertains to moveable property, and includes vehicles that do not have license plates, such as front-end loaders, trailers, etc. The renewal quote of \$15,478 is a 5.38% decrease over last year's premium of \$16,359.

### Boiler and Machinery/Equipment Breakdown

This coverage applies to non-mobile equipment such as wastewater system equipment (i.e. pumps, motors, etc.), air conditioning and heating equipment, electrical wiring, etc. The renewal quote of \$44,376 is a 1.58% increase over last year's premium of \$43,684.

### Performance and Employee Dishonesty Bond and Crime

This coverage takes the place of statutorily required bonds for certain positions. Included as insureds under this coverage are the City of Bloomington, the Bloomington Port Authority, the Bloomington HRA, and the Bloomington Fire Relief Board. The renewal quote for this coverage is \$2,037, a 5% increase over last year's premium of \$1,940.

## **Automobile**

This coverage applies to all licensed motor vehicles that the City owns. Uninsured and Underinsured Motorist coverages are included as part of the policy. The renewal quote of \$111,376 is an 8.25% increase over last year's premium of \$102,887. The number of vehicles being insured by the City increased to 492 from 476 the prior year.

## **Municipal Liability**

The Municipal Liability quote is based on expenditures, number of households, sewer connections, total number of employees, and loss history. LMCIT calculates a Municipal Liability Experience Modification based on the prior 3 years loss history which is applied to the premium. For the 2025-2026 insurance renewal, the Municipal Liability Experience Mod was calculated to be 0.999, a decrease from the last year's Experience Mod of 1.171.

Municipal Liability exposures include, but are not limited to: police liability, land use liability, attorney's professional coverage, open meeting law, etc. The renewal quote for this coverage is \$355,388, an 11.73% decrease over the expiring premium of \$402,627. The City also purchases separate Fireworks coverage under the Municipal Liability coverage. The Fireworks premium has remained constant at \$225 per policy year for many years.

The current deductible for this coverage is \$100,000 per occurrence with an annual aggregate deductible of \$275,000. Once the annual aggregate deductible has been reached, the City pays a maintenance deductible of \$5,000 per claim.

## **First-Party Cyber**

\$250,000 of First-Party Cyber coverage is available to all LMCIT members as part of the LMCIT Package Policy. Beginning with the 2021-2022 LMCIT Package Policy renewal, the City increased its First-Party Cyber limits to \$500,000 for an additional premium. The renewal quote of \$6,782 for the additional \$250,000 in Cyber coverage is a 7.99% decrease over the expiring policy premium of \$7,371.

## **2025-2026 OTHER POLICY RENEWALS**

### **Medical Professional Liability**

#### **Public Health Medical Professional Liability**

The Medical Professionals Policy for Public Health was again placed with Evanston Insurance Company (Evanston). This policy has a July 1 renewal date. The renewal premium is the same as the expiring premium of \$18,245.

#### **Police Medical Professional Liability**

Beginning in 2024, the Police Department hired 2 Family Therapists as employees to provide mental health services to citizens in crisis. These therapists could not be covered under the Medical Professional Policy for Public Health, so a standalone policy was

purchased. This policy also has a July 1 renewal date and the premium for this coverage is \$1,132, a 1.71% increase over last year's premium of \$1,112.

### Liquor Liability

This policy allows Dwan Golf Course to serve alcohol as part of its business license. The policy is renewed on December 31 of each year. For the 2024 policy we learned that our previous insurance company would no longer provide liquor liability coverage for Dwan. Aon Risk Services, took our application to the insurance market and after receiving quotes, the policy was placed with LMCIT. The term of the policy remains the same and is not quoted as part of the package liability policy.

The renewal premium quoted by LMCIT was \$4,953, a 0.09% decrease from the expiring policy of \$5,451.

### **LMCIT LIABILITY WAIVER FORM**

LMCIT gives cities options related to structuring their liability coverage. As in the past, the City must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. In the past, the City has chosen not to waive its statutory tort limits. It is important to note that choosing to waive the limits does not provide the City with any additional coverage for claims filed against it; rather it increases the potential maximum payout per claimant/occurrence filed against the City's policies/procedures. See Attachment D. It remains my recommendation that the City does not waive its statutory tort liability limit protection.

### **RECOMMENDATIONS**

1. Renew the LMCIT package policy with the same deductibles and coverages as the expiring policies.
2. The City does not waive its statutory tort liability limits.

## INSURANCE RENEWAL SUMMARY

POLICY	CURRENT LIMITS	CURRENT DEDUCTIBLE	2024-2025 premium	2025-2026 premium	%change
Property	\$ 410,889,158	\$50,000 per occurrence	\$222,751	\$229,099	2.85
1st Party Cyber	500,000	\$ 1,000 per occurrence	\$7,371	\$6,782	(7.99)
Boiler Coverage	\$ 100,000,000	\$ 5,000 per occurrence	\$43,684	\$44,376	1.58
Inland Marine	\$ 14,600,943	\$50,000 per occurrence	\$16,359	\$15,478	(5.39)
Municipal Liability*	\$2,000,000 per occurrence/ \$3,000,000 aggregate	\$275,000 aggregate/\$5,000 maintenance	\$402,627	\$355,388	(11.73)
Auto Liability & Physical Damage	\$2,000,000 per occurrence/ \$3,000,000 aggregate	\$50,000 per occurrence	\$102,887	\$111,376	8.25
Crime	\$ 250,000	\$50,000 per occurrence	Included within Bond Coverage	Included within Bond Coverage	
Bond	\$1,000,000 Public Employee Performance	\$50,000 per occurrence	\$1,940	\$2,037	5.00
Fire Works		100,000 per occurrence	\$225	\$225	0.00
<b>LMCIT Package Policy Subtotal</b>			<b>\$797,844</b>	<b>\$764,761</b>	<b>(4.15)</b>
Medical Professionals (Public Health)	\$1,000,000 per occurrence/ \$3,000,000 aggregate	\$10,000 per occurrence	\$18,245	\$18,245	0.00
Medical Professionals Policy (Police department)	\$1,000,000 per occurrence/ \$5,000,000 aggregate		\$1,112	\$1,132	1.80
Liquor Liability	\$1,000,000 per occurrence/ \$1,000,000 aggregate	\$ 1,000 per occurrence	\$5,451	\$4,953	(9.14)
<b>Other Policies Subtotal</b>			<b>\$24,808</b>	<b>\$24,330</b>	<b>(1.93)</b>
<b>Total Insurance Premium</b>			<b>\$822,652</b>	<b>\$789,091</b>	<b>(4.08)</b>
<b>Brokerage Service Fee</b>			<b>\$35,000</b>	<b>\$35,500</b>	<b>1.43</b>
<b>Total Insurance Renewal</b>			<b>\$857,652</b>	<b>\$824,591</b>	<b>(3.85)</b>

as of 7/28/2025

## INSURANCE PREMIUM COMPARISON\*

Year	Property	1st Party Cyber	Boiler and Machinery	Municipal Liability *	Crime	Bonds	Inland Marine	Auto	Medical Profession- als (Public Health)	Medical Profession- als (Police)	Liquor Liability	Total **
6/1/21-6/1/22	164,119	2,250	31,150	311,785	n/a	1,820	12,287	88,563	20,146		1,268	633,388
6/1/22-6/1/23	162,182	7,371	32,602	328,690	n/a	1,838	11,343	77,289	18,245		1,807	641,367
6/1/23-6/1/24	206,095	7,371	39,107	412,427	n/a	1,910	14,491	81,200	18,245		1,898	782,744
6/1/24-6/1/25	222,751	7,371	43,684	402,852	n/a	1,940	16,359	102,887	18,245	1,112	5,451	822,652
6/1/25-6/1/26	229,099	6,782	44,376	355,613	n/a	2,037	15,478	111,376	18,245	1,132	4,953	789,091

\* Municipal Liability premium also includes \$225 premium for fireworks at SummerFete

\*\* Totals do not include the City's insurance brokerage fee as listed on Attachment A

# City of Bloomington

Placement Proposal for  
Commercial Package June 1, 2025 to June 1, 2026

July 29, 2025







# Contents

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This insurance document is furnished to you as a matter of information for your convenience. It only summarizes the listed proposed policy(ies) and is not intended to reflect all the terms and conditions or exclusions of such proposed policy(ies). Moreover, the information contained in this document reflects proposed coverage as of the effective date(s) of the proposed policy(ies) and does not include subsequent changes. This document is not an insurance policy and does not amend, alter or extend the coverage afforded by the listed proposed policy(ies). The insurance afforded by the listed proposed policy(ies) is subject to all the terms, exclusions and conditions of such policy(ies).

The services and placements outlined in this proposal will be provided in accordance with the terms of the notices and policies set forth in the Commercial Risk Solutions U.S. Terms of Service.



## Executive Summary

Thank you for the opportunity to be the insurance broker for the City of Bloomington. This proposal highlights the Municipal Liability Package Policy (LMCIT Policy) renewal through the League of Minnesota Cities Insurance Trust (LMCIT), as well as other standalone insurance policies that were renewed throughout the year.

For the 2025-2026 insurance year, the LMCIT Package Policy renewal showed a 4.15% decrease over last year's renewal. The Liability Experience Mod improved to 0.999, a 14.69% decrease from the prior year's 1.171, while the Auto Experience Mod remained unchanged at 0.900. Additional context regarding 2025 coverage changes, premium rates, and the 2024 dividend can be found on the League of Minnesota Cities website.



## Client Acknowledgement and Instruction to Bind

We hereby acknowledge receipt and review of the information presented in the Renewal Proposal ("Proposal") dated **[mm/dd/yyyy]** for Property and Casualty. We hereby instruct Aon Risk Services Central, Inc.. ("Aon") to bind the insurance program(s) selected by Us and understand that Our instruction to bind constitutes an acceptance of the terms and conditions and payments described in this Renewal Proposal

Date:

\_\_\_\_\_

\_\_\_\_\_  
Tim Busse, Mayor

Date:

\_\_\_\_\_

\_\_\_\_\_  
Loddavahn E. Tolzmann, Interim City Manager

Date:

\_\_\_\_\_

\_\_\_\_\_  
Melissa Manderschied, City Attorney  
Reviewed and Approved by the City Attorney



# Aon Service Team

## Client Management

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## Additional Resources

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## Premium and Exposure Summary

Lines of Coverage	Expiring 6/1/2024 to 6/1/2025	Renewal 6/1/2025 to 6/1/2026	%Change
<b>LMCIT Package Policy</b>	LMCIT	LMCIT	
Property	\$222,751	\$229,099	2.85%
Equipment Breakdown	\$43,684	\$44,376	1.58%
Inland Marine (Mobile Property)	\$16,359	\$15,478	(5.38%)
Municipal Liability	\$402,627	\$355,388	(11.73%)
Commercial Auto (Liability)	\$102,887	\$111,378	8.25%
Performance & Employee Dishonesty Bond and Crime	\$1,940	\$2,037	5.00%
First Party-Cyber	\$7,371	\$6,782	(7.99%)
Fireworks Extension	\$225	\$225	0.00%
<b>Total LMCIT Premium</b>	<b>\$797,844</b>	<b>\$764,671</b>	<b>(4.15%)</b>
<b>Other Policies/Broker Fee</b>	Renewal	Renewal	Renewal
Medical Professional Liability (Public Health)	7/1/2024-25 \$18,245	7/1/2025-26 \$18,245	0.00%
Medical Professional Liability (Police)	\$1,112	\$1,132	1.80%
Liquor Liability	12/31/23-24 \$5,451	12/31/24-25 \$4,953	(9.14%)
<b>Total Insurance Renewal (all policies)</b>	<b>\$822,652</b>	<b>\$789,091</b>	<b>(4.08%)</b>
<b>Aon Risk Services, Inc. – Annual Service Fee</b>	3/1/2024-25 \$35,000	3/1/2025-26 \$35,500	1.43%

Exposures	Expiring 6/1/2024 to 6/1/2025	Proposed 6/1/2025 to 6/1/2026
<b>Property (total insured values)</b>	\$372,315,151	\$410,889,158
<b>Automobiles (# of autos)</b>	476	492
<b>Municipal Liability</b>		
Expenditures	\$238,237,334	\$231,109,995
Land Use (# of households)	37,653	37,653
Sewer Backups (# connections)	25,202	26,114
Employment (# FTE)	637	690
Police (# FTE)	126	129
Modification	Expiring 2024-25	Renewal 2025-26
	1.17	0.999



## Details of Coverage

### Municipal Package Policy

Insurance Company:	League of Minnesota Cities Insurance Trust (LMCIT)
Policy Term:	June 1, 2025 to June 1, 2026
Policy Number:	CMC1002957-9

#### General Policy Provisions Overview:

##### Policy Deductible Summary- By Line of Coverage

Property, Mobile Equipment, Employee Faithful Performance Bond, Automobile – Each Claim	\$50,000
Equipment Breakdown Coverage – Any one Accident	\$5,000
Automobile Liability	\$50,000
Automobile Physical Damage	\$50,000
Crime (Money and Securities/Forgery)- Each Claim	\$1,000
First Party - Cyber	\$1,000
Petrofund Claims, Open Meeting Law Defense Cost Reimbursement	Nil
Municipal General Liability, Fireworks, Third Party Cyber, Attorney Liability – Each Occurrence	\$100,000
Annual Aggregate Deductible	\$275,000
Maintenance Deductible*	\$5,000

\*If the Annual Aggregate of \$275,000 is exceeded in the policy period, the maintenance deductible applies per claim.

##### Defense Cost Reimbursement Agreement

LMCIT will reimburse a city official for 100 percent of the defense costs incurred by the city official in defending a covered lawsuit, if the following conditions are met:

1. The date on which the covered lawsuit is commenced must be within the term of this agreement; and;
2. The date on which the occurrence giving rise to the covered lawsuit must be on or after the retroactive date, if any, shown in the Declarations.

A covered lawsuit is deemed to be commenced on the date the city official is served notice of the lawsuit.

The Defense Cost Reimbursement Agreement Limit is \$50,000. This is the most LMCIT will reimburse any one city official for defense costs for covered lawsuits commenced during the term of this agreement, regardless of the number of lawsuits, the number of actual or alleged violations, or the date the defense costs are actually incurred. The Defense Cost Reimbursement Annual Aggregate Limit is \$250,000. This is the most LMCIT will pay for defense costs under this agreement for all city officials for covered lawsuits commenced with the term of this agreement. costs are actually incurred. The Defense Cost Reimbursement Annual Aggregate Limit is \$250,000. This is the most LMCIT will pay for defense costs under this agreement for all city officials for covered lawsuits commenced with the term of this agreement.



Statement of Defense Costs

Limits for the following Liability coverage parts include the cost of defense: Limited Pollution, Outside Organization, and Land Use/Development Damages. Defense costs for ALL OTHER coverage parts are outside of the limit of liability and are unlimited.

Claims Made Coverage form Retroactive Dates

Municipal Liability	6/1/1987
Limited Pollution/Lead or Asbestos	6/1/1987
Open Meeting Law	6/1/2010

Named Insured – Definition of City Includes

- Bloomington Housing and Redevelopment Authority
- Bloomington Port Authority
- Membership of the Bloomington Volunteer Fire Department
- Bloomington Fire Department Relief Association

## Property

### Property

General Coverage Description:	Property insurance covers the City's interest against direct physical loss or damage by covered causes of loss to property that the City owns or is required to insure
Perils	Special Form: All perils are covered except those specifically excluded such as flood (see water and supplemental flood coverage), Earthquake, Nuclear, War and Utility Interruption
Schedule of Locations and Values:	Per Schedule of Covered Property that includes building, contents, Property in the Open values. General limit of coverage per occurrence: Subject to specific property limits per schedule – Up to a maximum limit of 150% of the estimated replacement cost shown on the schedule
General Aggregate Limit	\$410,889,158
Loss of Revenue, Extra Expense and Expediting Expense	\$5,000,000 Per Occurrence
Demolition and Debris Removal	25% of estimated replacement costs – physical damage \$50,000 Per Occurrence - No direct physical damage
Pollutant Cleanup and Removal per location:	\$250,000
Accounts Receivable:	\$500,000 per location
Valuable papers and Records:	\$500,000 per location
Extraordinary Expense:	\$250,000 annual Aggregate
Utility Services:	\$100,000 per occurrence
Newly Acquired Covered Property:	\$5,000,000
Buildings or "Property In the Open" in the Course of Construction, Alterations, Repair:	\$3,000,000 any one location
Vacant Buildings:	Fair market value of building less the deductible (demolition, debris removal limit for Direct Physical Damage – 25% of Estimated Replacement Cost of the covered property and for No Direct Physical Damage \$50,000 per occurrence and pollutant cleanup limit is \$250,000 per location)
Seasonal/Temporary Buildings	Automatic coverage up to \$50,000 per building-buildings that are temporarily (a period less than 12 months) installed or located on City property that are in the City's care, custody, and control.
Terrorism	\$50,000,000 Annual Aggregate shared with other LMCIT members. Sublimit: \$1,000,000 for any one or any combination of damages caused by chemical or biological contamination or by cyber terrorism or discharge of pollutants
Property Not Covered:	Aircraft Animals (except police dogs) Automobiles (licensed) Currency



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# Property

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Bridges, roadways, walks, patios, or other surfaces, except golf course property

Contraband or property in the course of illegal transportation or trade

Cost of excavation, grading, backfilling, or filling

Land, subsoil, crops, or lawns except golf course property,

Pilings, piers, wharves, or docks

Foundations of buildings, etc. (if below the lowest floor surface)

Retaining walls (if not part of specified property)

Underground buried pipes, flues, or drains

Transmission and distribution lines and poles and equipment that are usual to the transmission of electricity. This does not include substations and transformers

Trees and shrubs that are not within 100 feet of a building

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Water and Supplemental Flood

\$500,000 Per Occurrence

\$500,000 Annual Aggregate

\$50,000 Per Occurrence Deductible

Flood includes, surface water, overflow of any body of water, mudslide, water that backs up or overflows from a sewer or drain.

Covered locations: owned and leased buildings, including contents, property in the open, and scheduled builders risk property (new construction)

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## Equipment Breakdown

### Equipment Breakdown

Equipment Breakdown General Coverage Description:	Equipment Breakdown, also referred to as Boiler and Machinery, is a type of property insurance that covers boilers and other pressure vessels, fired and unfired, as well as machinery, heating, cooling equipment, or electrical apparatus.	
Blanket Limit-All Scheduled Locations:	\$100,000,000 Any One Accident	
Deductible:	\$5,000 Any One Accident	
Newly Acquired Locations:	\$5,000,000, until scheduled	
Loss of Revenue and Extra Expense:	\$5,000,000 Any One Accident	
Sub-Limits:	Service Interruption	\$250,000
	Perishable Goods	\$250,000
	Data Restoration	\$250,000
	Demolition and Increased Costs of Construction (ICC)	\$250,000
	Expediting Expense	\$250,000
	Pollutants	\$250,000
	CFC Refrigerants	\$250,000
	Ice Rink Buried Piping	\$250,000
Coverage Includes:	Comprehensive Form Boiler and Machinery Excluding Production Equipment	
Coverage Exclusions Include but are not Limited to:	Depletion, deterioration, corrosion, erosion, wear, and tear or other gradually developing conditions Earth movement including but not limited to earthquake, subsidence, sink hole, landslide, tsunami, or volcanic action	

## Mobile Equipment

Scheduled Mobile Equipment	\$8,066,688
Unscheduled Equipment Under \$250,000:	\$14,600,943
Deductible:	\$50,000 Each Occurrence
Valuation	<p>The most LMCIT will pay for a loss to mobile property is the smaller of:</p> <ul style="list-style-type: none"> <li>a) The cost of repairing or replacing parts with equivalent size, kind, and quality.</li> <li>b) 200% of the fair market value.</li> <li>c) The cost to replace the mobile property with a new unit without deduction for depreciation; or \$250,000; unless: <ul style="list-style-type: none"> <li>1) otherwise specified in the Schedule of Covered Mobile Property; or</li> <li>2) it is newly acquired or constructed mobile property.</li> </ul> </li> </ul>
Covered Mobile Equipment	<ul style="list-style-type: none"> <li>▪ Mobile Property Inland Marine Scheduled items more than \$250,000</li> <li>▪ Mobile Property Inland Marine Unscheduled items \$250,000 or less</li> </ul>

## Crime

Limit of Liability / Loss Limit:	\$250,000 Per Occurrence
Deductible:	\$1,000 Per Occurrence
A: Theft, Disappearance, Destruction –Inside Premises	Pays for the loss of, and loss from damage to, the property that contains the money and securities; and loss from damage to the premises resulting directly from the theft or attempted theft.
B: Theft, Disappearance, Destruction –Outside Premises	Pays for the loss of money and securities resulting directly from the theft, disappearance, or destruction outside the premises in the care, custody and control of a messenger or an armored motor vehicle.
C: Forgery or Alteration (instruments of payment)	<p>Pays for the loss involving instruments of payment resulting directly from the forgery or alteration of, on or in any instruments of payment.</p> <p>If the City is sued for refusing to pay any instrument of payment, LMCIT will pay any reasonable legal expenses incurred. Defense costs are in addition to the applicable limit of coverage.</p>
Coverage Exclusions including but not limited to:	<p>Accounting or mathematical errors</p> <p>Dishonest acts of your employees</p> <p>Fire</p>

## Faithful Performance and Employee Dishonesty

General Coverage Description:	Failure of a City employee to properly perform duties or obligations of position as required by law and which would constitute malfeasance, willful neglect of duty or bad faith discovered by City during the policy period
Limit:	\$1,000,000 Any One Occurrence
Deductible:	\$50,000 Any One Occurrence
Coverage:	<p>Relief Association, Port Authority Bonds are required by State Statute to carry a \$0 deductible. Therefore, if there is a claim against the Relief Association, The Port Authority, or the Housing and Redevelopment Authority, LMCIT will pay the full amount of the claim and the City will be billed for the deductible amount.</p> <p>Reimbursement for reasonable auditing and accounting costs incurred to establish the existence and the amount of a covered loss, but in no case will this reimbursement exceed 25% of the amount of the covered loss. This reimbursement is in addition to the coverage limit.</p> <p>Discovery is when the City first becomes aware of facts that give you reason to believe a loss may have occurred.</p> <p>Includes Relief Association Members, Officers, and Employees.</p>
Excluded:	<p>Joint Powers Entity, unless specifically named</p> <p>Governmental Action – seizure or destruction of property</p> <p>Inventory shortages</p>

## Petrofund

General Coverage Description:	Reimburse the City for damage it has been required to pay for taking corrective action and to compensate third parties for bodily injury and property damage caused by an accidental tank release.
Reimbursable Costs and Defense Costs	<p>\$250,000 Each tank release</p> <p>\$250,000 Aggregate</p>
Deductible:	None
Coverage Stipulation:	Underground tanks must be registered with the Minnesota Pollution Control Agency

# Comprehensive Municipal Liability

## (Including Public Officials' Errors and Omissions)

General Coverage Description:	City's legal liability to members of the public for claims arising out of your premises, operations, products, or completed operations	
Limit:		
Limit – Tort Liability	\$500,000 (Tort Limit Not Waived) * per claimant	
Each Occurrence Limit – Tort Liability	\$1,500,000 (Tort Limit Not Waived) *	
Each Occurrence Limit – non-Tort Liability	\$2,000,000	
Products/Completed Operations Aggregate	\$3,000,000	
Failure To Supply Aggregate (water, electricity, gas, steam, telecommunications, or electronic data transmission service).	\$3,000,000	
Electromagnetic Fields Annual Aggregate	\$3,000,000	
Mold Claim Limit	\$3,000,000	
Fire Damage Limit	\$2,000,000	
Medical Expense Limit	Not Covered	
Limited Pollution Liability	\$2,000,000 Per "Sudden" Occurrence \$3,000,000 Annual Aggregate	
Outside Organization Limit (Claim or damages against a city officer, employee, or volunteer, arising out of their activities as a member of an organization outside of the city).	\$100,000 Annual Aggregate	
Land Use Regulation Limit	\$1,000,000 Annual Aggregate (includes litigation costs)	
Deductible:	\$100,000 Per Occurrence \$275,000 Annual Aggregate	
Maintenance Deductible (after aggregate is met)	\$5,000 Per Occurrence	
Retroactive Dates	Municipal Liability	06/01/1987
	Limited Pollution	06/01/1987
Data Security Breach Liability (Third Party Cyber)	\$2,000,000 Per Occurrence with annual aggregate limits for: \$3,000,000 annual aggregate for third-party liability claims arising out of a data security breach \$500,000 annual aggregate/sublimit (part of and not in addition to the \$3,000,000 data security breach aggregate) for PCI fines, penalties, and assessments; and data security breach regulatory fines and penalties.	
Additional Liability Coverage Included:	Includes coverage for any Boards, Commissions, and Committees doing work on behalf of the City	

# Comprehensive Municipal Liability

(Including Public Officials' Errors and Omissions)

Exclusions: (not all inclusive, refer to policy)	Employees are included as Additional Insured (Including Elected Officials and Volunteers while acting within the scope of their business)
	Failure to Supply Utilities including electricity, gas, water, or steam
	Incidental Malpractice-including Paramedical Services
	Employment Practices Liability -including claims under the federal and state Fair Labor Standards Acts (FLSA). LMCIT will cover overtime and other compensation amounts the City is determined to owe because of an FLSA violation or violation of any law prohibiting discrimination in employment
	Employee Benefits Liability
	Firefighters' Professional Liability
	Fiduciary Liability (for relief association board members)
	Coverage for claims and litigation for claims arising from the activities of a joint city-township zoning board created under orderly annexation agreements. This extends to the town and town officers and employees if they are named in a claim arising from the joint board's activities
	Any Operations Associated with the Ownership of an Airport.
	Any Ownership/Operations of a Municipal Hospital or Nursing Home.
	Any Injury to a Volunteer Fireman
	Failure or bursting of any:
	A. DNR Class I or II Dam
	B. Any dike, levee, or similar structure.
	The Policy Does Not Cover the Failure to Give or the Giving or Any Professional Services
	Pollution Exclusion With "Limited Pollution Liability" Coverage Per Policy. Exception: Lead and Asbestos Exposures - \$250,000 per Claim and \$250,000 Aggregate per Year. Coverage Does Not Apply to Landfills, Dumps or Other Waste Facilities.
	Land Use, Development, Franchise or Enterprise Operations Litigation Coverage Limitations (Subject to policy deductible)
	Bodily Injury, Property Damage and Personal Injury claims arising from the City's ownership, construction, operation, or maintenance of any railroad tracks or railroad rolling stock is excluded



#### \*TORT CAP LIMIT EXPLANATION

The Minnesota statutory municipal tort is limited to a maximum of \$500,000 per claimant and \$1.5 million per occurrence. These limits apply whether the claim is against the municipality, an individual officer or employee, or both. The LMCIT liability coverage provides a standard limit of \$2 million per occurrence as reflected in the limits summarized above.

At each renewal the City must decide whether to waive or not waive the statutory limits. There is no right or wrong answer. It is a discretionary decision each city must make. LMCIT member who waive the statutory limits are waiving the protection of the statutory limits.

## Commercial Auto

General Coverage Description:	Legal liability on the part of the City arising out of the use of owned, leased, hired, and non-owned vehicles	
Limits:		
Bodily Injury/Property Damage Combined Single	\$2,000,000	
Hired/Borrowed Auto Liability:	\$2,000,000	
Employer's Non-Owned Auto Liability:	\$2,000,000	
Uninsured/Underinsured Motorists: (includes all vehicles)	\$200,000 Per Occurrence	
Personal Injury Protection (No-Fault): (includes all vehicles)	Statutory	
Endorsements and or policy language includes:	Rented Auto Physical Damage Coverage	
	Freezing of Fire Vehicles Pumping Apparatus	
Replacement Cost Vehicles	Refer to schedule	
Deductible: (includes Hired and Non-Owned Auto)	Liability	\$50,000
	Comprehensive	\$50,000
	Collision	\$50,000
Coverage Exclusions Include but are not limited to:	Expected or Intended Injury	
	Property Damage to Property Owned or Transported by you	
	Pollution	



## Open Meeting Law Coverage

General Coverage Description:	Defense of Officials in regard to the Open Meeting Law and suits against City Officials that arise from the actual, pending or threatened bankruptcy of the city
Retro Active Date	6/1/2010
Defense Costs per Lawsuit Per Official	\$50,000
Agreement Term Aggregate Per Official	\$250,000
Deductible:	None
Covered Parties:	City of Bloomington
	Bloomington Housing and Redevelopment Authority
	Bloomington Port Authority
	Membership of the Bloomington Volunteer Fire Department
	Bloomington Fire Department Relief Association
Special Endorsements/Conditions	Reimbursement Policy- The LMCIT will reimburse the individual after they have made payment and proof of payment is submitted to LMCIT
	Independent contractors who do contract work for the City are not covered (EXCLUDED)

# First Party Cyber Coverage

## Cyber

### Limits:

Data Breach Mitigation (Data Security Breach Expense) Loss or revenue, extra expense, and expediting expense caused by a cyber virus or hacking attack.	\$500,000 Per Occurrence \$2,000,000 Annual Aggregate
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Cost to reproduce or restore Electronic Data	\$1,000,000 per Occurrence sublimit included in the Data Security Breach Expense \$2,000,000 Annual Aggregate amount stated above.
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Cyber/Data Security Breach Expenses includes the following expenses:

1. Outside legal expenses to review the breach and how to respond to it.
2. Expense of professional IT forensics needed to determine the extent of the breach.
3. Providing notices to any person whose personal information has been acquired.
4. Cost of notifying consumer reporting agencies.
5. Cost of providing a credit report and up to one year's credit monitoring service notice to any person whose personal information was acquired.
6. Any other reasonable expenses incurred to respond to the breach.



## Miscellaneous Policies

Medical Professional and Dwan Golf Course Liquor

# Public Health Medical Professional Liability Policy

Insurance Company:	Evanston Insurance Company
Policy Term:	July 1, 2025 to July 1, 2026
Policy Number:	MKLV3PSM003201
General Coverage Description:	Public Health Services for all related premises and operations of the City
Limits:	
Professional Liability	
Each Claim	\$1,500,000
Aggregate	\$3,000,000
Limits:	
Commercial General Liability	
Each Occurrence	\$1,500,000
Aggregate – All Coverages	\$3,000,000
Damages to Rented Premises	\$50,000
Medical Expense – Any one Person	\$5,000
Retroactive Date	6/1/2002
Deductible	\$10,000 Each Claim- Professional
	\$10,000 Each Occurrence - General Liability
	\$10,000 Each Person or Org - Personal & Advertising Injury Liability
Coverage Exclusions Include but are not Limited to:	Asbestos
	Workers' Compensation/Employers' Liability
	25% minimum earned premium endorsement
	Mold

This is a Claims Made Policy

## Police Medical Professional Liability Policy

Insurance Company:	CNA				
Policy Term:	July 1, 2025 to July 1, 2026				
Policy Number:	TBD				
General Coverage Description:	Clinical Counselor/LPCC Firm Excludes Cosmetic Procedures				
Limits:					
Professional Liability- Includes Good Samaritan, Malplacement, Personal Injury, Sexual Misconduct included in the PL Limit shown above subject to \$25,000 aggregate sublimit					
Each Claim	\$1,000,000				
Aggregate	\$5,000,000				
Deductible	\$0				
Coverage Extensions					
License Protection	\$25,000	per proceeding	\$25,000	aggregate	
Defendant Expense Benefit	\$1,000	per day limit	\$25,000	aggregate	
Deposition Representation	\$10,000	per deposition	\$10,000	aggregate	
Assault	\$25,000	per incident	\$25,000	aggregate	
Includes Workplace Violence Counseling					
Medical Payments	\$25,000	per person	\$100,000	aggregate	
First Aid	\$10,000	per incident	\$10,000	aggregate	
Damage to Property of Others	\$10,000	per incident	\$10,000	aggregate	
Information Privacy (HIPAA)	\$25,000	per incident	\$25,000	aggregate	
Fines & Penalties					
Media Expense	\$25,000	per incident	\$25,000	aggregate	
Coverage Exclusions Include but are not Limited to:					
Specified Activities Reuse of Parenteral Devices and Supplies					
Distribution or Recording of Material or Information in Violation of Law					



# Dwan Golf Liquor Liability Primary Policy

Insurance Company:	The League of Minnesota Cities Insurance Trust (LMCIT)
Policy Term:	December 31, 2024 to December 31, 2025
Policy Number:	LLC 1005413-2

General Coverage Description:	Liquor Liability
Limits:	
Each Common Cause	\$2,000,000
Aggregate	\$2,000,000
Deductible	\$0



## About Aon

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[www.aon.com](http://www.aon.com)



## LIABILITY COVERAGE – WAIVER FORM

**Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member's effective date of coverage. Return completed form to your underwriter or email to [psstech@lmc.org](mailto:psstech@lmc.org).**

*The decision to waive or not waive the statutory tort limits must be made annually by the member's governing body, in consultation with its attorney if necessary.*

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member's liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.



---

LMCIT Member Name: City of Bloomington

---

*Check one:*

☒ The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#).

☐ The member **WAIVES** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#), to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: August 4, 2025

Signature: \_\_\_\_\_ Position: Mayor

Signature: \_\_\_\_\_ Position: Interim City Manager

Reviewed and approved by the  
City Attorney:

---



## Request for Council Action

Originator Public Works	Item <b>3.4 Award 90th Street Retaining Wall Project (2024-801)</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

### Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to accept the bid and award the contract for the 2024-801 90th Street Retaining Wall Project to Urban Companies, LLC, in the amount of \$1,715,813.00 and approve various contract changes up to 12% of the original contract amount (\$205,897.56) for a total project construction authorization of \$1,921,710.56.

Item created by: Darin Rezac, Public Works  
Item presented by: Julie Long, City Engineer

### Description:

The City Council is requested to consider the award of the 2024-801 90th Street Retaining Wall Project. The retaining wall project will replace an existing retaining wall that has reached the end of its serviceable life. This project will be funded using State Aid funds. A map has been included showing the location of these improvements. Two bids were received and opened on Monday, July 28th at 11:00 AM. All bids were based on unit prices and estimated quantities. The Engineer's Estimate was \$1,594,436.70.

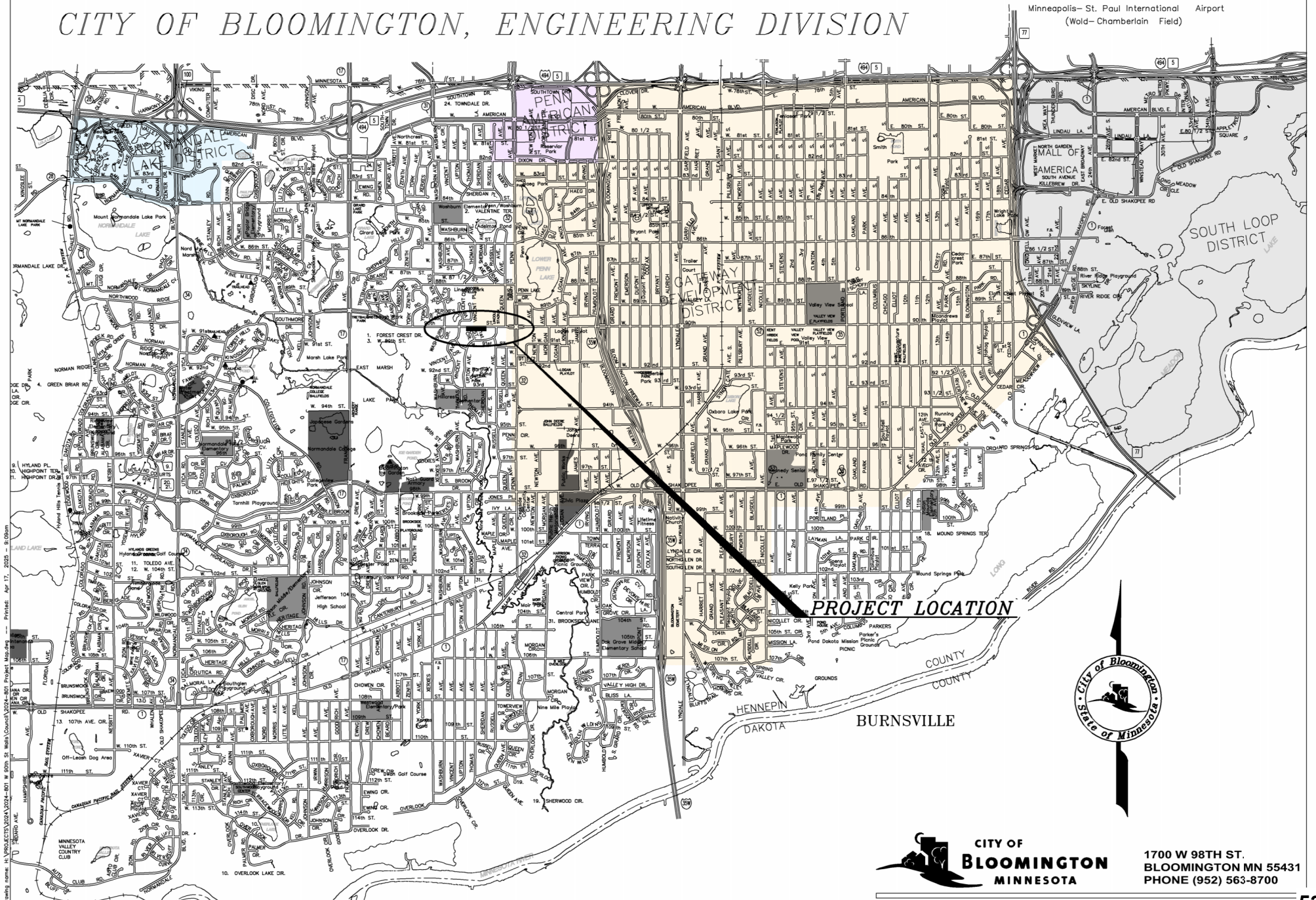
Contractor	Bid Amount	Bid Amount (to be awarded)
Urban Companies, LLC	\$1,715,813.00	\$1,715,813.00
Engineering & Construction Innovations, Inc.	\$1,948,050.24	

### Attachments:

[2024-801 Project Map.pdf](#)

# 2024-801 90TH STREET RETAINING WALL PROJECT

## CITY OF BLOOMINGTON, ENGINEERING DIVISION



Minneapolis-St. Paul International Airport  
(Wold-Chamberlain Field)

**PROJECT LOCATION**



**CITY OF  
BLOOMINGTON  
MINNESOTA**

1700 W 98TH ST.  
BLOOMINGTON MN 55431  
PHONE (952) 563-8700

Drawn by: H:\PROJECTS\2024\2024-801 - 90th St Retaining Wall\Map.docx Date: Apr 17, 2025 Scale: 1" = 800'



## Request for Council Action

Originator Engineering	Item <b>3.5 Resolution to Award Valley View Schools Safe Routes to School (SRTS) Improvement Project (2025-202)</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

### Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution no. 2025-\_\_\_\_\_ to accept bid and award the contract for the 2025-202 Valley View Schools Safe Routes to School (SRTS) Improvement Project to Concrete Ideas Inc in the amount of \$895,695.50 and approve various contract changes up to 12% of the original contract amount (\$107,483.46) for a total project authorization of (\$1,003,178.96).

Item created by: Christian Anago, Engineering  
Item presented by: Julie Long, City Engineer

### Description:

It is requested that the City Council consider the award of contract for the 2025-202 Valley View Schools Safe Routes to School (SRTS) Improvement Project.

In April of 2022, the Bloomington City Council approved a resolution of support (Resolution 2022-66) for a Safe Routes to School Improvement Project around the Valley View middle and elementary schools campus on E. 88 Street from Nicollet Avenue (CSAH 52) to Portland Avenue (CSAH 35). In January of 2023, the City of Bloomington was awarded federal funding for the project in the amount of \$398,000. This project aims to improve bicycle and pedestrian facilities in high pedestrian traffic areas around the Valley View Schools campus and will include the following improvements:

- Installation of a new sidewalk along the north side of East 88<sup>th</sup> Street, with associated ADA compliant curb ramps.
- Crosswalk enhancement at the elementary school entrance at East 88<sup>th</sup> Street and Clinton Avenue.
- Ped Ramp installation and Sidewalk connection at the intersection of E. 88<sup>th</sup> Street and Portland Avenue.
- Construction of a pedestrian refuge island, addition of crosswalk enhancement, and upgrading the RRFB system at the intersection of Portland Avenue and Bischoff Lane.
- Sidewalk connection from middle school building to the RRFB enhanced crosswalk location on Portland Avenue
- School zone speed limit signs installation on E. 88<sup>th</sup> Street, 3<sup>rd</sup> Avenue and Portland Avenue
- Temporary Easement Acquisition to accomplish the above items.

The project will be funded by the federal grant, with the remainder of the cost funded by State Aid funds with no special assessments proposed for the project.

A map has been included showing the location of the improvements.

Bids were received and opened on Friday, July 11 at 11:00AM. Three bids were received prior to the 11:00 AM deadline. All bids are based on unit prices and estimated quantities. The engineer's estimate is \$880,055.00

Contractor	Bid Amount	Bid Amount (to be awarded)
Concrete Ideas Inc	\$895,695.50	\$895,695.50
New Look Contracting, Inc.	\$924,983.00	
Pember Companies, Inc.	\$967,861.15	

---

Attachments:

[RES-Award-2025-202 071425-Legal Approved.docx](#)  
[2025-202 Project Map.pdf](#)

**RESOLUTION NO. 2025-**

**A RESOLUTION ACCEPTING BID  
(CITY PROJECT 2025-202)**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota (“City”); and

WHEREAS, pursuant to an advertisement for bids for the 2025-202 Valley View Schools Safe Routes to School (SRTS) Improvement Project, Project bids were received, opened, and tabulated according to the law, and the following bids were received complying with the advertisement:

<u>Contractor</u>	<u>Bid Bond</u>	<u>Bid Amount</u>	<u>Bid Amount (to be Awarded)</u>
Concrete Idea Inc	5%	\$ 895,695.50	<b>\$ 895,695.50</b>
New Look Contracting, Inc.	5%	\$ 924,983.00	
Pember Companies, Inc.	5%	\$ 967,861.15	
Engineer’s Estimate		\$ 880,055.00	

WHEREAS, it appears that Concrete Idea Inc of Maple Lake, Minnesota is the lowest responsible bidder; and

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA, THAT:

1. The Mayor and City Manager are hereby authorized and directed to enter into a contract with Concrete Idea Inc of Maple Lake, Minnesota in the name of the City of Bloomington for the Valley View Schools Safe Routes to School (SRTS) Improvement Project (City Project 2025-202) according to the plans and specifications therefore approved by the City Council and on file in the Office of the City Engineer.
2. The City Clerk is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Passed and adopted this 4<sup>th</sup> day of August, 2025.

---

Mayor

Attest:

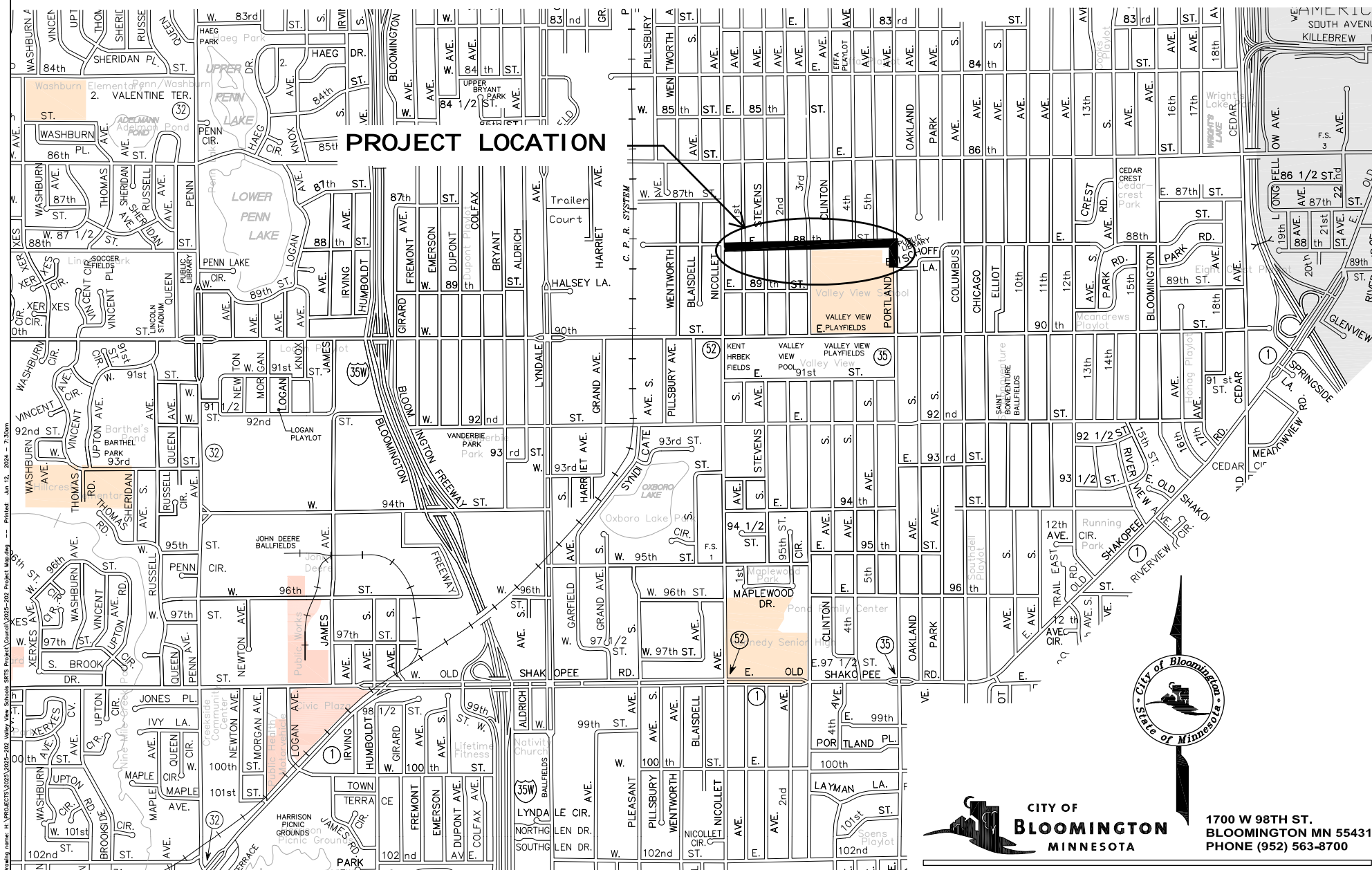
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Secretary to the Council



# VALLEY VIEW SCHOOLS SAFE ROUTES TO SCHOOL PROJECT

CITY OF BLOOMINGTON  
ENGINEERING DIVISION





## Request for Council Action

Originator Engineering	Item <b>3.6 Resolution Authorizing Signing of Memorandums of Agreement and Accepting Easements for Normandale Blvd PMP Trail and Sidewalk Improvement Project (City Project 2024-110)</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

### Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt resolution no. 2025-\_\_\_\_, a resolution authorizing signing of Memorandums of Agreement and accepting easements for the Normandale Blvd PMP Trail and Sidewalk Project (City Project 2024-110).

Item created by: Steve Jorschumb, Engineering

Item presented by: Julie Long, City Engineer

### Description:

On November 18, 2024, the City Council adopted Resolution No. 2024-244 ordering the improvements for Normandale Boulevard PMP Trail and Sidewalk Improvement Project (City Project 2024-110 or “the Project”) and on April 14, April 28, May 19, and July 14, 2025 the City Council authorized and directed staff to set Just Compensation and make offers for easement acquisition for the Project. The City has contracted with SRF to conduct the easement acquisition process. There is a total of 39 parcels involved and SRF has negotiated settlements with a number of the parcels.

SRF is obtaining a Memorandum of Agreement for those parcels agreeing to the Just Compensation amounts. These Memorandums are signed by both the owners and the City. For those parcels where the total compensation is other than the Just Compensation amounts, SRF is asking the City to sign an Administrative Settlement Memorandum. With the signing of the memorandums SRF will acquire the needed easement documents and the City Council is asked to accept the easement on behalf of the City. The Memorandums are attached and a summary sheet is included as an exhibit to the resolution.

### Attachments:

[Resolution 080425 2025-0895.pdf](#)  
[Parcel 9 MOA Easement.pdf](#)  
[Parcel 14 MOA Easement.pdf](#)  
[Parcel 19 MOA Easement.pdf](#)  
[Parcel 27 MOA Easement.pdf](#)



**RESOLUTION NO. 2025 -**

**A RESOLUTION AUTHORIZING SIGNING OF MEMORANDUMS OF AGREEMENT  
AND ACCEPTING EASEMENTS FOR THE NORMANDALE BOULEVARD PMP  
TRAIL AND SIDEWALK IMPROVEMENT PROJECT (CITY PROJECT 2024-110)**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota; and

WHEREAS, the City of Bloomington, a Minnesota municipal corporation, acting by and through its City Council, is authorized by Minnesota Statutes § 465.01 and Bloomington City Charter §§ 9.01-9.02 to acquire lands and easements needed for public purposes; and

WHEREAS, the City Council at its regular meeting of November 18, 2024, adopted Resolution No. 2024-244 in which the Council ordered the improvements for Normandale Boulevard PMP Trail and Sidewalk Improvement Project (City Project 2024-110 or “the Project”); and

WHEREAS, the City Council at its regular meetings on April 14, April 28, May 19, and July 14, 2025 authorized and directed staff to set Just Compensation and make offers for easement acquisition for the Project; and

WHEREAS, City staff has negotiated Memorandums of Agreement or Administrative Settlement Memorandums with the properties described in Exhibit A hereto; and

WHEREAS, the City Council approves the Memorandums;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON The City Manager and City Attorney are hereby directed and authorized to take all necessary steps to further the purpose and intent of this Resolution, including signing and entering into the Memorandums of Agreement and Administrative Settlement Memorandums.

BE IT FURTHER RESOLVED, that the City of Bloomington accepts the easements resulting from said memorandums.

Passed and adopted this 4th day of August, 2025.

---

Mayor

ATTEST:

---

Secretary to the Council

**EXHIBIT A**  
**2024-110 MEMORANDUMS**

**Memorandums of Agreement**

<u>PARCEL #</u>	<u>ADDRESS</u>	<u>JUST</u> <u>COMPENSATION</u>	<u>SETTLEMENT</u>	<u>LEGAL #</u>
9	10500 Normandale Boulevard	\$2,000	\$2,000	2025-0889
14	9920 Normandale Boulevard	\$9,500	\$9,500	2025-0917
19	9515 Briar Circle	\$1,300	\$1,300	2025-0890
27	10509 Normandale Boulevard	\$400	\$400	2025-0891

**Administrative Settlement Memorandums**

<u>PARCEL #</u>	<u>ADDRESS</u>	<u>JUST</u> <u>COMPENSATION</u>	<u>SETTLEMENT</u>
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## MEMORANDUM OF AGREEMENT

CITY OF BLOOMINGTON  
NORMANDALE BLVD PMP TRAIL & SIDEWALK IMPROVEMENT PROJECT

Parcel No:9

Fee Owner: Adam Hinterland and Megan Hinterland

On this 01 day of June, 2025, Adam Hinterland and Megan Hinterland, married to each other as joint tenants, Owners of the above-described parcel of property located in County of Hennepin, State of Minnesota, did execute and deliver a conveyance to the aforesaid real estate to the City of Bloomington.

This agreement is now made and entered as a Memorandum of all the terms, and the only terms, agreed upon in connection with the above transaction. It is hereby acknowledged and agreed upon between the parties that:

1. The Owners have been furnished with the approved estimate of just compensation for the property acquired and a summary statement of the basis for the estimate. The Owners understand that the acquired property is for use in connection with the construction of the Normandale Blvd PMP Trail & Sidewalk Improvement Project.
2. The Owners understand and acknowledge that City of Bloomington has no direct, indirect, present or contemplated future personal interest in the property or in any benefits from the acquisition of the property.
3. That in full compensation for the conveyance of said property, City of Bloomington shall pay the Owners the sum of \$ 2,000 for land and damages. Owners understand that payment by the City of Bloomington must await approval of title and processing of a voucher.
4. Additionally:

It is understood and agreed that the entire agreement of the parties is contained in this Memorandum of Agreement and that this Agreement supersedes all oral agreements and negotiations between the parties.

Owner

City of Bloomington

Adam Hinterland

Adam Hinterland

By: \_\_\_\_\_

Megan K Hinterland

Megan Hinterland

Its: \_\_\_\_\_

EASEMENT

On this 01 day of June, 2025,

FOR VALUABLE CONSIDERATION, Adam Hinterland and Megan Hinterland, married to each other, as joint tenants, Grantor, hereby conveys to the City of Bloomington, a municipal corporation under the laws of the State of Minnesota, Grantee, easements over, under, and across real property in Hennepin County, Minnesota, described as follows:

(Legal Description on attached Exhibit A and Depicted on Exhibit B)

  
Adam Hinterland

  
Megan Hinterland

STATE OF Minnesota )  
COUNTY OF Hennepin ) SS.

The foregoing instrument was acknowledged before me this 01 day of June, 2025, by Adam Hinterland and Megan Hinterland, married to each other, as joint tenants, Grantor.



  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

City of Bloomington  
1800 West Old Shakopee Road  
Bloomington, MN 55431

STATE DEED TAX DUE HEREON: \$ --0--

EXHIBIT A

CITY OF BLOOMINGTON  
2024-110 NORMANDALE TRAIL ROW  
EASEMENT ACQUISITION  
JANUARY 8, 2025

PARCEL 9  
OWNER: ADAM JAMES BEARD & MEGAN KELLY  
10500 NORMANDALE BOULEVARD  
P.I.N. 33-116-21-24-0008

A temporary easement for construction purposes over, under, across and through the southerly 42.00 feet of the easterly 15.00 feet of Lot 1, Block 1, ELIASON BRYE FIRST ADDITION, Hennepin County, Minnesota.

Said temporary easement to begin June 1, 2025, and expire October 31, 2027.

# EXHIBIT B.



## PARCEL 9

10500 NORMANDALE BOULEVARD  
 PID # 33-116-21-24-0008  
 OWNER: ADAM JAMES BEARD/MEGAN KELLY  
 LEGAL DESC: LOT 1, BLOCK 1, ELIASON BRYE FIRST ADDITION

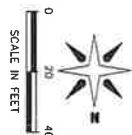
### AREAS

ENTIRE 10500 NORMANDALE BLVD = 17,334 SF

### PROPOSED EASEMENTS

TEMP. EASE (TEMP.) = 630 SF

DURATION OF TEMP. EASEMENTS  
 JUNE 1, 2025 TO OCT. 31, 2027



### LEGEND

- EXISTING RIGHT-OF-WAY
- EXISTING PERMANENT EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED PERMANENT EASEMENT
- PROPOSED TEMPORARY EASEMENT
- EXISTING CONCRETE CURB
- PROPOSED CONCRETE CURB
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROP. EASE (TEMP.)

## PARCEL 9

10500 NORMANDALE BOULEVARD

### REVISIONS

DATE	DESCRIPTION	BY



ENGINEERING DIVISION  
 PUBLIC WORKS DEPARTMENT  
 2024-110 PMP NORMANDALE TRAILS PROJECT

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

\_\_\_\_\_  
 LIC. # DATE

CHECKED: KBD  
 APPROVED: KBD  
 SHEET: 1 OF 1



## PAYMENT AUTHORIZATION

### City of Bloomington

#### Normandale Blvd PMP Trail & Sidewalk Improvement Project

Parcel No: 9

Owner(s): Adam Hinterland and Megan Hinterland

Mortgagee: Lakeview subserviced by  
Mr. Cooper

Amount of Payment: \$ 2,000

Payable to: Adam Hinterland

Mail to: 10500 Normandale Blvd  
Bloomington, MN 55437

Approved by Owner(s)

Adam Hinterland  
Adam Hinterland

Date: 06/01/2025

Megan K Hinterland  
Megan Hinterland

Date: 07/10/2025

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



## MEMORANDUM OF AGREEMENT

CITY OF BLOOMINGTON  
NORMANDALE BLVD PMP TRAIL & SIDEWALK IMPROVEMENT PROJECT

Parcel No:14

Fee Owners: Normandale Hyland's United Methodist Church

On this 10 day of July, 2025, Normandale Hyland's United Methodist Church, a Minnesota corporation, Owners of the above-described parcel of property located in County of Hennepin, State of Minnesota, did execute and deliver a conveyance to the aforesaid real estate to the City of Bloomington.

This agreement is now made and entered as a Memorandum of all the terms, and the only terms, agreed upon in connection with the above transaction. It is hereby acknowledged and agreed upon between the parties that:

1. The Owners have been furnished with the approved estimate of just compensation for the property acquired and a summary statement of the basis for the estimate. The Owners understand that the acquired property is for use in connection with the construction of the Normandale Blvd PMP Trail & Sidewalk Improvement Project.
2. The Owners understand and acknowledge that City of Bloomington has no direct, indirect, present or contemplated future personal interest in the property or in any benefits from the acquisition of the property.
3. That in full compensation for the conveyance of said property, City of Bloomington shall pay the Owners the sum of \$ 9,500.00 for land and damages. Owners understand that payment by the City of Bloomington must await approval of title and processing of a voucher.
4. Additionally:





It is understood and agreed that the entire agreement of the parties is contained in this Memorandum of Agreement and that this Agreement supersedes all oral agreements and negotiations between the parties.

Owner(s)  
Normandale Hyland's United Methodist Church

City of Bloomington

★ By: Russell G. Selmer

By: \_\_\_\_\_  
Its Mayor

Its: Chair of Church Council

Its: \_\_\_\_\_  
Its Interim City Manager

By: [Signature]

Reviewed and Approved

Its: Chair of Trustees

\_\_\_\_\_  
City Attorney

EASEMENT

On this 10 day of July, 2025.

FOR VALUABLE CONSIDERATION, Normandale Hyland's United Methodist Church, a Minnesota corporation, Grantor, hereby conveys to the City of Bloomington, a municipal corporation under the laws of the State of Minnesota, Grantee, easements over, under, and across real property in Hennepin County, Minnesota, described as follows:

(Legal Description on attached Exhibit A and Depicted on Exhibit B)

**Normandale Hyland's United Methodist Church**

★ By: Russell G. Selmer

Its: Chair, Church Council.

By: Peter Davich

Its: Chair of Trustees

STATE OF Minnesota )  
COUNTY OF Hennepin ) SS.

The foregoing instrument was acknowledged before me this 10 day of July, 2025, by Peter Davich, the Chair of Trustees, and Russell Selmer, the Chair of Church Council, on behalf of Normandale Hyland's United Methodist Church, a Minnesota corporation, Grantor.



Madeleine J. Brill  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

City of Bloomington  
1800 West Old Shakopee Road  
Bloomington, MN 55431

STATE DEED TAX DUE HEREON: \$ 0.00

Exhibit A

CITY OF BLOOMINGTON  
2024-110 NORMANDALE TRAIL ROW  
EASEMENT ACQUISITION  
JANUARY 8, 2025

PARCEL 14

OWNER: NORMANDALE HYLANDS METHODIST CHURCH  
9920 NORMANDALE BOULEVARD  
P.I.N. 33-116-21-31-0001

A permanent easement for sidewalk and bikeway purposes over, under, across and through that part of the following described Parcel:

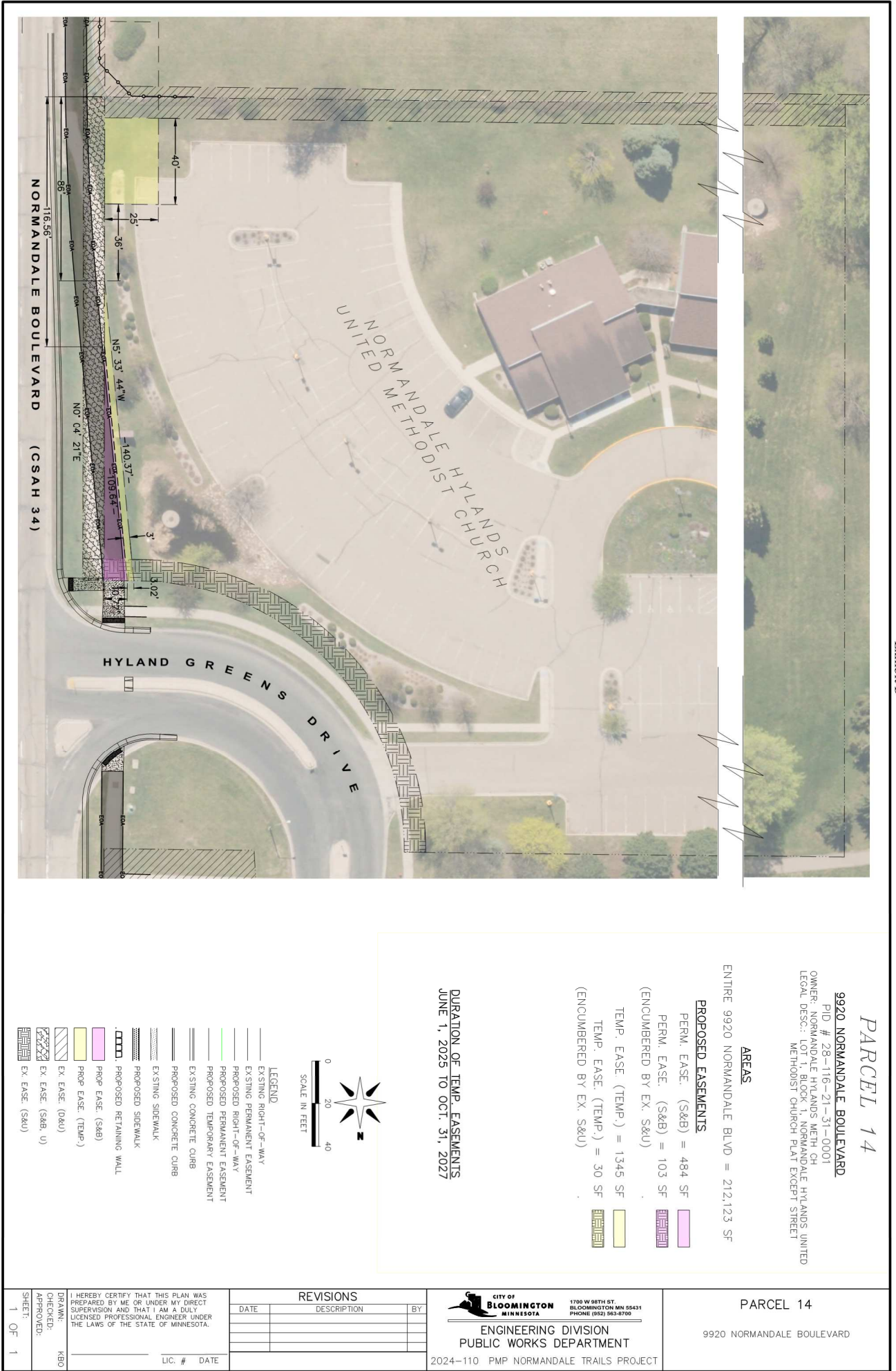
Lot 1, Block 1, NORMANDALE HYLANDS UNITED METHODIST CHURCH PLAT,  
Hennepin County, Minnesota, except street.

Described as commencing at the point of intersection of the south line of said Parcel with a line 10.00 feet west of and parallel with the east line of said Parcel; thence North 0 degrees 04 minutes 21 seconds East, assumed bearing, along said parallel line a distance of 116.56 feet to the point of beginning; thence North 5 degrees 33 minutes 44 seconds West a distance of 109.64 feet to the northeasterly line of said Parcel; thence South 89 degrees 19 minutes 59 seconds East, along the northerly line of said Parcel, a distance of 10.77 feet to a line 10.00 feet west of and parallel with the east line of said Parcel; thence southerly along said parallel line to the point of beginning.

Together with a temporary easement for construction purposes over, under, across and through that part of said Parcel lying easterly of a line described as beginning at the point of intersection of the south line of said Parcel with a line 35.00 feet west of and parallel with the east line of said Parcel; thence North 0 degrees 04 minutes 21 seconds East, assumed bearing, along said parallel line a distance of 50.00 feet; thence South 89 degrees 19 minutes 39 seconds East a distance of 25.00 feet; thence North 0 degrees 04 minutes 21 seconds East a distance of 36.00 feet; thence North 5 degrees 33 minutes 44 seconds West a distance of 140.37 feet to the northerly line of said Parcel, and there terminating. Except the easterly 10.00 feet of said Parcel and the area of the above-described permanent easement.

Said temporary easement to begin June 1, 2025, and expire October 31, 2027.

Exhibit B





## MEMORANDUM OF AGREEMENT

CITY OF BLOOMINGTON  
NORMANDALE BLVD PMP TRAIL & SIDEWALK IMPROVEMENT PROJECT

Parcel No:19

Fee Owner: Pamela S. and Judith K. Branham

On this 21 day of May, 2015, Pamela S. and Judith K. Branham, married to each other as joint tenants, Owners of the above-described parcel of property located in County of Hennepin, State of Minnesota, did execute and deliver a conveyance to the aforesaid real estate to the City of Bloomington.

This agreement is now made and entered as a Memorandum of all the terms, and the only terms, agreed upon in connection with the above transaction. It is hereby acknowledged and agreed upon between the parties that:

1. The Owners have been furnished with the approved estimate of just compensation for the property acquired and a summary statement of the basis for the estimate. The Owners understand that the acquired property is for use in connection with the construction of the Normandale Blvd PMP Trail & Sidewalk Improvement Project.
2. The Owners understand and acknowledge that City of Bloomington has no direct, indirect, present or contemplated future personal interest in the property or in any benefits from the acquisition of the property.
3. That in full compensation for the conveyance of said property, City of Bloomington shall pay the Owners the sum of \$ 1,300.00 for land and damages. Owners understand that payment by the City of Bloomington must await approval of title and processing of a voucher.
4. Additionally:

It is understood and agreed that the entire agreement of the parties is contained in this Memorandum of Agreement and that this Agreement supersedes all oral agreements and negotiations between the parties.

Owner

Pamela S. Branham

Judith K. Branham

City of Bloomington

By: \_\_\_\_\_

Its: \_\_\_\_\_

EASEMENT

On this 21 day of May, 2025,

FOR VALUABLE CONSIDERATION, Pamela S. and Judith K. Branham, married to each other, as joint tenants, Grantor, hereby conveys to the City of Bloomington, a municipal corporation under the laws of the State of Minnesota, Grantee, easements over, under, and across real property in Hennepin County, Minnesota, described as follows:

(Legal Description on attached Exhibit A and Depicted on Exhibit B)

  
Pamela S. Branham

  
Judith K. Branham

STATE OF Minnesota )  
COUNTY OF Hennepin ) SS.

The foregoing instrument was acknowledged before me this 21 day of May, 2025, by Pamela S. and Judith K. Branham, married to each other, as joint tenants, Grantor.



  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

City of Bloomington  
1800 West Old Shakopee Road  
Bloomington, MN 55431

STATE DEED TAX DUE HEREON: \$ --0--



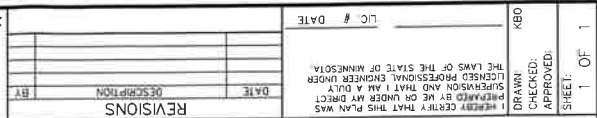
EXHIBIT A

CITY OF BLOOMINGTON  
2024-110 NORMANDALE TRAIL ROW  
EASEMENT ACQUISITION  
JANUARY 9, 2025

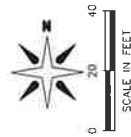
PARCEL 19  
OWNER: P S. BRANHAM & J L. BRANHAM  
9515 BRIAR CIRCLE  
P.I.N. 28-116-21-21-0031

A permanent easement for retaining wall purposes over, under, across and through the easterly 3.91 feet of Lot 8, Block 3, NORMANDALE HIGHLANDS TENTH ADDITION, Hennepin County, Minnesota.

Drawing name H:\PROJECTS\2024\2024-110 Normandale Trail-Walk\Code files\OSR-94th ROW.dwg -- Printed Jan 08, 2025 -- 3:24pm



**PROPOSED EASEMENTS**



- LEGEND**
- |  |                             |
|--|-----------------------------|
|  | EXISTING RIGHT-OF-WAY       |
|  | EXISTING PERMANENT EASEMENT |
|  | PROPOSED RIGHT-OF-WAY       |
|  | PROPOSED PERMANENT EASEMENT |
|  | PROPOSED TEMPORARY EASEMENT |
|  | EXISTING CONCRETE CURB      |
|  | PROPOSED CONCRETE CURB      |
|  | EXISTING SIDEWALK           |
|  | PROPOSED SIDEWALK           |
|  | PROPOSED RETAINING WALL     |
|  | PROP. EASE. (RET. WALL)     |
|  | EX. EASE. (D&U)             |

DRAWN:	KBO
CHECKED:	
APPROVED:	
SHEET:	1 OF 1





## MEMORANDUM OF AGREEMENT

CITY OF BLOOMINGTON  
NORMANDALE BLVD PMP TRAIL & SIDEWALK IMPROVEMENT PROJECT

Parcel No: 27  
Fee Owners: Chad Perera

On this 8<sup>th</sup> day of July, 2025, Chad Perera, a single person, Owners of the above-described parcel of property located in County of Hennepin, State of Minnesota, did execute and deliver a conveyance to the aforesaid real estate to the City of Bloomington.

This agreement is now made and entered as a Memorandum of all the terms, and the only terms, agreed upon in connection with the above transaction. It is hereby acknowledged and agreed upon between the parties that:

1. The Owners have been furnished with the approved estimate of just compensation for the property acquired and a summary statement of the basis for the estimate. The Owners understand that the acquired property is for use in connection with the construction of the Normandale Blvd PMP Trail & Sidewalk Improvement Project.
2. The Owners understand and acknowledge that City of Bloomington has no direct, indirect, present or contemplated future personal interest in the property or in any benefits from the acquisition of the property.
3. That in full compensation for the conveyance of said property, City of Bloomington shall pay the Owners the sum of \$ 400.00 for land and damages. Owners understand that payment by the City of Bloomington must await approval of title and processing of a voucher.
4. Additionally:



It is understood and agreed that the entire agreement of the parties is contained in this Memorandum of Agreement and that this Agreement supersedes all oral agreements and negotiations between the parties.

Owner(s)

  
\_\_\_\_\_  
Chad Perera

City of Bloomington

By: \_\_\_\_\_  
Its Mayor

Its: \_\_\_\_\_  
Its Interim City Manager

Reviewed and Approved

\_\_\_\_\_  
City Attorney

EASEMENT

On this 8<sup>th</sup> day of July, 2025,

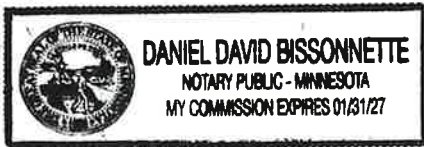
FOR VALUABLE CONSIDERATION, Chad Perera, a single person, , Grantor, hereby conveys to the City of Bloomington, a municipal corporation under the laws of the State of Minnesota, Grantee, easements over, under, and across real property in Hennepin County, Minnesota, described as follows:


(Legal Description on attached Exhibit A and Depicted on Exhibit B)

  
Chad Perera

STATE OF MN )  
COUNTY OF Hennepin ) SS.

The foregoing instrument was acknowledged before me this 8 day of July, 2025, by Chad Perera, a single person, , Grantor.



  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

City of Bloomington  
1800 West Old Shakopee Road  
Bloomington, MN 55431

STATE DEED TAX DUE HEREON: \$ -0-

# Exhibit A

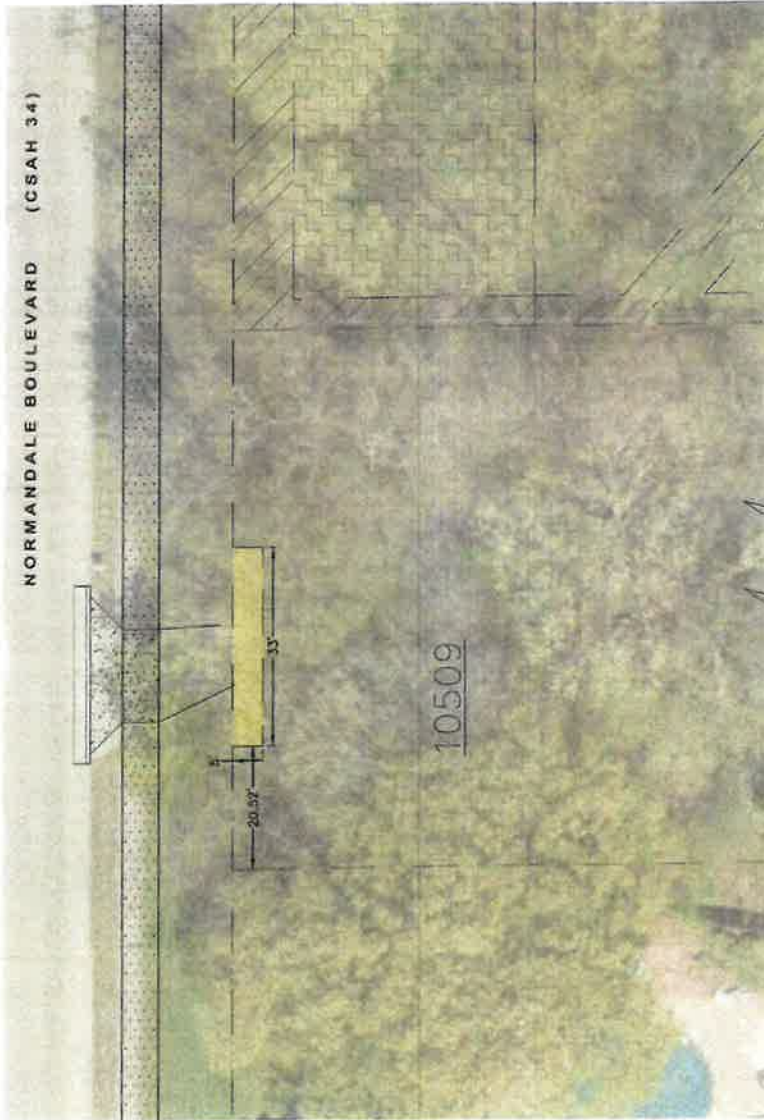
CITY OF BLOOMINGTON  
2024-110 NORMANDALE TRAIL ROW  
EASEMENT ACQUISITION  
JANUARY 9, 2025

PARCEL 27  
OWNER: CHAD PERERA  
10509 NORMANDALE BOULEVARD  
P.I.N. 19-027-24-23-0001

A temporary easement for construction purposes over, under, across and through the northerly 33.00 feet of the southerly 53.52 feet of the west 5.00 feet of the following described Parcel:

The south 89 5/10 feet of the north 120 feet of the west 360 feet of the south ½ of the southwest quarter of the northwest quarter, Section 19, Township 027 N, Range 24 W of 4<sup>th</sup> Principal Meridian except road.

Said temporary easement to begin June 1, 2025, and expire October 31, 2027.



# PARCEL 27

10509 NORMANDALE BLVD.  
PID # 19-027-24-23-0001  
OWNER: CHAD PERERA  
LEGAL DESC. S 89 5/10 FT OF N 120 FT OF W 360 FT OF  
S 1/2 OF SW 1/4 OF NW 1/4 EX HWY

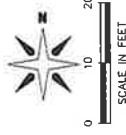
## AREAS

ENTIRE 10509 NORMANDALE BLVD = 27,749 SF

## PROPOSED EASEMENTS

TEMP. EASE (TEMP.) = 165 SF

DURATION OF TEMP. EASEMENTS  
JUNE 1, 2025 TO OCT. 31, 2027



- LEGEND
- EXISTING RIGHT-OF-WAY
  - EXISTING PERMANENT EASEMENT
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED PERMANENT EASEMENT
  - PROPOSED TEMPORARY EASEMENT
  - EXISTING CONCRETE CURB
  - PROPOSED CONCRETE CURB
  - EXISTING SIDEWALK
  - PROPOSED SIDEWALK
  - PROPOSED RETAINING WALL
  - PROP EASE (NET WALL)
  - EX EASE (OAU)
  - EX EASE (U)

2024-110 PMP NORMANDALE TRAILS PROJECT  
ENGINEERING DIVISION  
PUBLIC WORKS DEPARTMENT  
BLOOMINGTON, MINNESOTA  
LUCAS BLOOMINGTON, MINNESOTA  
PHONE (612) 258-1000

REVISIONS	DATE	BY

1	NEEDY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA	LIC #	DATE
DRAWN	KBO	CHECKED	APPROVED
SHEET	1	OF	1

10509 NORMANDALE BOULEVARD  
PARCEL 27



## Request for Council Action

Originator Parks and Recreation	Item <b>3.7 Approval of Bryant-Tretbaugh Park Construction Contracts Amendments</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to authorize Second Amendments to the agreements with Brennan Construction and Peterson Companies, Inc., for the Bryant and Tretbaugh Parks Renovation Project and to authorize the Mayor and City Manager to enter into the related agreements.

Item created by: Linda Batterson, Parks and Recreation

Item presented by: Renae Clark, Deputy Director of Parks and Recreation

Description:

On July 15, 2024, the City Council approved bid awards for the Bryant and Tretbaugh Parks Renovation. Council authorized first amendments with Peterson Companies and Brennen Construction on June 30 and is requested to authorize execution of second amendments as follows:

- Brennan Construction of Minnesota (general construction activity): Increase contract amount by \$19,173 for a new not to exceed amount of \$1,543,413
- Peterson Companies, Inc. (earthwork and grading): Increase contract amount by \$27,241 for a new not to exceed amount of \$ 2,084,794

These contracts include earthwork and large utilities which have included changes to scope and price based on conditions discovered through construction. Some of these changes include changes to the grading plan, helical piers and additional structural support for the building, removal and disposal of buried concrete and asphalt debris, additional demolition/disposal, and additional concrete pipe. Council authorized a total project construction budget of \$7,829,351 which includes 10 percent contingency on the total construction amount. Additionally, the individual contracts were approved with 10 percent contingency assigned to each contract. The subject contracts with Brennen Construction and Peterson Companies have had larger changes, exceeding 10 percent, while some contracts will remain unchanged. The project remains within the total authorized budget.



## Request for Council Action

Originator Maintenance	Item <b>3.8 Approval of Purchase – Caterpillar Wheel Loader</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the purchase of a Caterpillar wheel loader from Ziegler Inc. utilizing MN State Contract No. 239130 for a total cost of \$254,293.00.

Item created by: Kalea Fischer, Maintenance

Item presented by: Tim Behrendt, Maintenance Superintendent

Description:

Public Works is requesting authorization to purchase a model 926 Caterpillar wheel loader with MetalPless snow blade, and 72-inch forks from Ziegler Inc. This loader is an addition to our Fleet and eliminates the need for us to rent a loader during winter months. The loader will be on a 20-year replacement cycle.

The purchase will utilize MN State Contract No. 239130, Release L-331(5) and the total cost for the loader will be \$254,293.00. Funds are available in account 765602-57050. Carryover funds from 2024 are being used to purchase this front-end loader.



## Request for Council Action

Originator Maintenance	Item <b>3.9 Award Bid &amp; Execute Contract for Stucco Façade Replacement at the Bloomington Ice Garden</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

### Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to award bid and execute contract with Ebert Inc. for stucco façade replacement at the Bloomington Ice Garden in the amount of \$1,033,700.00 and a 10% contingency (\$103,370.00) and to authorize Mayor and City Manager to enter into the related agreements.

Item created by: Kalea Fischer, Maintenance

Item presented by: Tim Behrendt, Maintenance Superintendent

### Description:

Staff recommends City Council award bid and execute contract with Ebert Inc. for stucco façade replacement at the Bloomington Ice Garden in the amount of \$1,033,700.00 (base bid + alternate) and a 10% contingency (\$103,370.00) for a total contract not-to-exceed amount of \$1,137,070.00.

This project includes the removal of the stucco façade, addition of insulation and replacement of the stucco wall metal panels. This work was not part of the original plans. The lack of insulation in the façade was discovered during demolition and the rebuilding of the surrounding areas.

The following bids were received:

**Ebert Inc.**

**Base Bid: \$972,200.00**

**Alternate: \$61,500.00**

JPMI

Base Bid: \$1,010,070.00

Alternate: \$65,070.00

Meisinger Construction Company Inc.

Base Bid: \$1,250,000.00

Alternate: \$70,000.00

Funding is provided through account 4450-57030-MNDD1.





## Request for Council Action

Originator Public Health	Item <b>3.10 Resolution to Accept Response Sustainability Grant Funds from the Minnesota Department of Health</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution No. 2025-\_\_\_\_\_ to accept Response Sustainability Grant Funds from the Minnesota Department of Health.

Item created by: Selma Avdic, Public Health

Item presented by: Nick Kelley, Public Health Administrator

Description:

The City Council is requested to accept Response Sustainability Grant Funds from the Minnesota Department of Health. The grant is in the amount of \$124,217.00 for the fiscal year 2026 and is state dollars only. The funding will support a response to emergencies through workforce capacity, sustainability, health equity, and communications. The revenues will be coded to 160218-43401. No budget adjustment is needed.

The grant period started December 1, 2023 through June 30, 2027.

Attachments:

[RSG Resolution](#)

**RESOLUTION NO. 2025 -**

**RESOLUTION ACCEPTING RESPONSE SUSTAINABILITY GRANT FUNDS FROM  
MINNESOTA DEPARTMENT OF HEALTH AND MAKING RELATED BUDGET  
ADJUSTMENTS**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota (“City”); and

WHEREAS, City Charter Section 6.06 authorizes the Mayor and City Manager, with the City Attorney, to sign and execute contracts, bonds, and instruments in the name of the City; and

WHEREAS, City Charter Section 7.08 requires the City Council to act by resolution to alter the approved budget; and

WHEREAS, Minnesota Statutes Section 465.03, requires a city to act by resolution adopted by a two-thirds majority of its members to accept a grant or devise of real or personal property and expressing the terms in full; and

WHEREAS, the Minnesota Department of Health has granted \$124,217.00 of its grant funding to the City to support a response to emergencies through workforce capacity, sustainability, health equity, and communications; and

WHEREAS, the City Council has determined that it is in the City’s best interests to accept these funds and to make the necessary budget adjustments to the approved budget.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA, based on the foregoing recitals and as required by State Law and City Charter, that the Mayor, City Manager, Chief Financial Officer, and City Attorney, or their designee(s), are hereby authorized and directed to take any and all actions required to accept the grant funds for and on behalf of the City and to make any and all necessary related budget adjustments to the approved budget of the City.

Passed and adopted this 4th day of August, 2025.

---

Mayor

Attest:

---

Secretary to the Council



## Request for Council Action

Originator Public Health	Item <b>3.11 Authorize the Student Clinical Experience Agreement with St. Catherine University</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to authorize the execution of the Student Clinical Experience Agreement with St. Catherine University.

Item created by: Selma Avdic, Public Health

Item presented by: Nick Kelley, Public Health Administrator

Description:

The City Council is requested to authorize the execution of the Clinical Experience Agreement with St. Catherine University. This agreement will allow students from St. Catherine University to gain clinical experience by observing Bloomington Public Health (BPH) staff during Women, Infants, and Children (WIC) appointments. Similar experiences have been positive for students and BPH.

The term of this agreement will start once signatures are acquired and run through July 31, 2030.



## Request for Council Action

Originator Community Development	Item <b>3.12 T-Mobile Wireless Lease Amendment at Dred Scott Park</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Staff recommends approval through the following motion:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to authorize the Mayor and Interim City Manager to execute the proposed First Amendment to an exiting wireless telecommunications lease with T-Mobile at Dred Scott Park.

Item created by: Nick Johnson, Community Development

Item presented by: Nick Johnson, Planning Manager

Description:

### BACKGROUND

The City of Bloomington executed a wireless telecommunications lease with T-Mobile Central LLC for a facility located at Dred Scott Park (10820 Bloomington Ferry Rd) on January 8, 2007. The facility includes three antennas (one per sector) and associated equipment mounted on top of a light pole in the central portion of the park. The facility also includes ground equipment near the base of the light pole, which is also authorized by the lease. The ground equipment is enclosed and secured within fencing.

T-Mobile proposes to add three total antennas to the facility and modify ground equipment. These proposed modifications necessitate an amendment to the existing lease prior to installation. T-Mobile also requests extending the term of the lease by adding four additional five-year extensions (20 years total). The proposed extension of term would allow the facility to continue until January 2052.

### WIRELESS LEASE REVENUE

Approval of the amendment to the existing lease would result in an increase of total rent for 2025 from to \$49,199.44, a rent increase of \$7,808.00, amount paid to be prorated from the commencement date to the end of calendar year 2025. The existing annual rent escalator of 5% contained within the existing lease would continue, as reflected in the rent schedule in Exhibit E of the lease amendment. Increased rent associated with the lease amendment would be directed to the City's Parks and Recreation Department.

### ADVANTAGES OF THE PROPOSAL

City staff believes the T-Mobile proposal includes the following advantages:

- The amendment increases the annual rent paid to the City in an amount that is commensurate with the proposed increase of equipment and is comparable with other telecommunication leases in City parks.

- The amendment extends the life of the lease by 20 years, representing over \$2.2 million in potential revenue to the City through the year 2051.
- The added wireless equipment will not interfere or conflict with the light pole on which it is mounted.
- In staff's judgment, the design of the proposed equipment minimizes the added visual impact of the facility to the best extent possible.
- The extension of the lease term and added equipment will ensure improved service for T-Mobile's customers in the vicinity over a longer period of time.

#### **DISADVANTAGES OF THE PROPOSAL**

City staff does not believe that there are any disadvantages associated with this proposal.

#### **RECOMMENDATION**

Staff recommends approval of the proposed lease amendment.

---

Attachments:

[First Amendment to T-Mobile Dred Scott Lease](#)  
[Existing T-Mobile Dred Scott Lease \(2007\)](#)

TMO Site ID: A1P0967C  
Market: MWR-MN

## **FIRST AMENDMENT TO COMMUNICATIONS SITE LEASE AGREEMENT**

THIS FIRST AMENDMENT TO COMMUNICATIONS SITE LEASE AGREEMENT (hereinafter “First Amendment”) is made effective as of the latter signature below (hereinafter “Effective Date”) by and between the CITY OF BLOOMINGTON, a Minnesota municipal corporation with an address of 1800 Old Shakopee Road, Bloomington, Minnesota 55431 (hereinafter “Landlord”), and T-MOBILE CENTRAL LLC, a Delaware limited liability company, doing business as T-Mobile, whose mailing address is 12920 SE 38<sup>th</sup> Street, Bellevue, Washington 98006 (hereinafter “Tenant”). Landlord and Tenant may hereinafter be referred to collectively as the “Parties.”

WHEREAS, Landlord and Tenant are parties to that certain Communications Site Lease Agreement dated January 8, 2007 (hereinafter “Lease”), through which Landlord leased to Tenant use of a portion of the real property (the “Property”), therein described, located at 10810 Bloomington Ferry Road, Bloomington, MN 55438; and

WHEREAS, Paragraph 7 of the Lease gives Tenant the right to extend the Lease for four (4) additional five (5) years terms on the same terms and conditions; and

WHEREAS, Landlord and Tenant desire to modify, amend and alter the terms of the Lease to modify, alter, amend and change certain equipment, antennas and facilities to be installed by Tenant on the Property, to modify the amount of rent paid by Tenant to Landlord, and to otherwise modify the terms and conditions of the Lease all as more particularly set forth herein.

NOW THEREFORE, for and in consideration of the mutual covenants, promises and conditions contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Landlord and Tenant do hereby mutually covenant, promise, and agree as follows:

**1. AMENDMENTS.** The Lease is hereby amended as follows:

(a) **Exhibit C.** Exhibit C to the Lease, entitled “Plans Depicting the Site, Monopole and Antenna Facilities”, is hereby deleted in its entirety and replaced with the attached Revised Exhibit C-1, attached hereto and incorporated hereto by reference. From and after the Effective Date of this First Amendment, Tenant may perform the modifications to the Antenna Facilities and Premises as set forth in Revised Exhibit C-1 and all references in the Lease to the Monopole, the Antenna Facilities, and the equipment, improvements, structures, equipment cabinets and antennas shall thereafter be as set forth and refer to Revised Exhibit C-1.

(b) **Rent.** Paragraph 6(a) of the Lease is deleted in its entirety and replaced with the following:

The Parties hereto agree and acknowledge that the Rent amount payable by Tenant to Landlord for calendar year 2025 pursuant to the original Lease is \$41,391.44. Landlord acknowledges receipt of such payment amount. Pursuant to a 2025 First

TMO Site ID: A1P0967C  
Market: MWR-MN

Amendment to the Lease, the base Rent amount for calendar year 2025 increases to \$49,199.44, a Rent increase of \$7,808.00 (the “Rent Increase”), partial year to be pro-rated. Within sixty (60) days of the Effective Date of the First Amendment, the Tenant shall pay the Rent Increase amount for calendar year 2025 pro-rated based on the number of days between the Effective Date of the First Amendment and the end of calendar year 2025. Effective on January 1, 2026, and each January 1 thereafter, the Rent, as defined in this Section 6(a) of the Lease, shall be increased as described in Section 6(a) of the Lease and depicted in Exhibit E, attached hereto and incorporated herein.

(c) **Exhibit E.** The Lease is amended to add and incorporate Exhibit E-1, attached to this First Amendment.

(d) **Emergency Response Due to Interference.** The second paragraph of Paragraph 5 and the notice information set forth for Tenant in Paragraph 5 of the Lease to provide notice of reasonable evidence of Tenant interference are hereby deleted in their entirety and replaced with the following:

The parties agree that such reasonable evidence of interference that is likely caused by Tenant’s use or operation of the Premises warrants an emergency response and the Notices provision in Paragraph 15 shall not apply. Rather, Landlord shall provide notice of reasonable evidence that the interference is likely caused by the Tenant’s use or operation of the Premises verbally by telephone to the following:

(877) 611-5868, T-Mobile Emergency Response NOC Telephone Number

Landlord shall promptly follow up such telephonic notice with written notice of notice of reasonable evidence that the interference is likely caused by the Tenant’s use or operation of the Premises to Tenant’s notice address set forth in Paragraph 15 of the Lease; provided, however, the response time for sending a technician to the Premises shall be calculated using the time and date of Tenant’s receipt of the telephonic notice.

(e) **Renewal.** Paragraph 7 of the lease is deleted in its entirety and replaced with the following:

**Renewal.** Commencing on January 31, 2032, Tenant shall have the right to extend this Lease for four (4) additional five (5) year terms (“each an “Additional Renewal Term”). Each Additional Renewal Term shall be on the same terms and conditions as set forth herein except that the Rent shall be increased as described in Section 6(a) of the Lease and in the amounts shown in Exhibit E of the First Amendment. The initial five-year term and any Renewal Term and Additional Renewal Term shall be collectively referred to as the “Lease Term”. The Lease Term shall automatically be extended for each successive Renewal Term and each Additional Renewal Term unless the Tenant notifies Landlord of its intention not to renew at least ninety (90) days prior to the expiration of the then-current five-year term.

TMO Site ID: A1P0967C  
Market: MWR-MN

(f) **Notices.** The notice addresses set forth for Tenant and Landlord in Paragraph 15 of the Lease are hereby amended and modified as follows:

If to Landlord:

City of Bloomington  
Attention: Director of Parks and Recreation  
1800 West Old Shakopee Road  
Bloomington, Minnesota 55431  
(952) 563-8774

With a copy to:

City of Bloomington  
Attention: City Attorney  
1800 West Old Shakopee Road  
Bloomington, Minnesota 55431  
(952) 563-8753

If to Tenant:

T-Mobile USA, Inc.  
12920 SE 38<sup>th</sup> Street  
Bellevue, WA 98006  
Attn: Lease Compliance/Site #A1P0967C

**2. MISCELLANEOUS.**

(a) **Full Force and Effect.** All of the terms, provisions, covenants and agreements contained in the Lease are hereby incorporated herein by reference in the same manner and to the same extent as if all such terms, provisions, covenants and agreements were fully set forth herein. The Parties ratify, confirm and adopt the Lease as of the date hereof and acknowledge that, to the best of the Parties' actual knowledge as of the Effective Date of this First Amendment, there are no defaults under the Lease or events or circumstances which, with the giving of notice or passage of time or both, would ripen into events of default. Except as otherwise expressly amended herein, all the terms and conditions of the Lease shall remain and continue in full force and effect. In case of any inconsistency between the Lease or this First Amendment, this First Amendment shall govern and control. The recitals set forth in this First Amendment are incorporated herein by reference.

(b) **Binding Effect.** This First Amendment shall be binding upon the heirs, legal representatives, successors and assigns of the Parties. The Parties shall execute and deliver such further and additional instruments, agreements and other documents as may be necessary to evidence or carry out the provisions of this First Amendment or of the Lease.



TMO Site ID: A1P0967C  
Market: MWR-MN

(c) **Counterparts.** This First Amendment may be executed in two (2) or more counterparts each of which shall be deemed an original, but all of which together shall constitute but one and the same instrument. Signed, scanned, and emailed copy and electronic copies of this First Amendment shall legally bind the parties to the same extent as original documents.

**THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK  
SIGNATURE PAGE FOLLOWS**

TMO Site ID: A1P0967C  
Market: MWR-MN

IN WITNESS WHEREOF, the Parties hereto have respectfully executed this First Amendment effective as of the date of the latter signature below.

**LANDLORD:**  
The City of Bloomington, a Minnesota  
municipal corporation

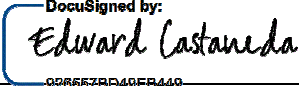
\_\_\_\_\_  
By: Tim Busse  
Its: Mayor  
Date:\_\_\_\_\_

\_\_\_\_\_  
Interim City Manager  
Date:\_\_\_\_\_

Reviewed and approved by the City  
Attorney.

\_\_\_\_\_  
**City Attorney**

**TENANT:**  
**T-Mobile Central LLC**  
a Delaware limited liability company

By:  \_\_\_\_\_  
925557BD40EB449...  
Name: Edward Castaneda  
\_\_\_\_\_  
Its: Director  
\_\_\_\_\_  
Date: 7/1/2025  
\_\_\_\_\_



TMO Site ID: A1P0967C  
Market: MWR-MN

**REVISED EXHIBIT C-1**  
**Revised Plans Depicting the Premises, Monopole and Antenna Facilities**

SITE ID: BLOOMINGTONDREDSMITH REPL  
SITE ID NUMBER: A1P0967C  
SITE ADDRESS: 10801 BLOOMINGTON FERRY ROAD  
BLOOMINGTON, MN 55438  
SITE COORDINATES: 44.80770238, -93.38937030  
SITE CONFIGURATION: ANCHOR - PHASE 3

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	COVER SHEET
T2.0	OVERALL SITE PLAN
T2.1	ENLARGED SITE PLAN
T2.2	PROPOSED SAFETY PLAN
T3.0	EX & NEW EQUIPMENT & ANTENNA LAYOUTS
T4.0	EX & NEW ELEVATIONS
T4.1	EX & NEW ELEVATIONS
T5.0	EQUIPMENT DETAILS
T5.1	EQUIPMENT DETAILS
T5.2	EQUIPMENT DETAILS
T5.3	EQUIPMENT DETAILS
T5.4	EQUIPMENT DETAILS
T5.5	EQUIPMENT DETAILS
T5.6	CONFIGURATION KEYS
E1.0	ONE LINE DIAGRAM & CALCULATIONS
E2.0	PANEL SCHEDULE & BATTERY INFO.
E3.0	ELECTRICAL DETAILS
UNIT.0	GENERAL NOTES
ATTACHMENT	STRUCTURAL MODIFICATION DESIGN

PRESENTED BY:

**T-Mobile**  
100 S BRADWAY DENVER, CO 80209

**UCI<sup>2</sup>**  
CONSTRUCTION SERVICES LLC

SITE NAME:

**BLOOMINGTON DREDSCOTT  
REPL  
SITE ADDRESS:  
10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438  
SITE COUNTY:  
HENNEPIN COUNTY**

SITE ID:  
A-00000000

REVISIONS			
Rev.	Date	Description	By
0	08/28/04	CON. CONSTRUCTION	GW
1	08/28/05	FINAL STAMPED	GW
2			
3			
4			
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6			
7			

**Professional Engineer**  
I hereby certify that this plan, specification, or report  
prepared by me or under my direct supervision and that  
a duly Licensed Professional Engineer under the laws of  
the state of Minnesota  
Signature: Ryan Thomas Guernsey  
Typed or Printed Name: Ryan Thomas Guernsey  
Date: 03/07/2025 License Number: 63803

THIS PROGRAM HAS BEEN APPROVED BY THE STATE OF CALIFORNIA AND THE U.S. DEPARTMENT OF JUSTICE. THE U.S. DEPARTMENT OF JUSTICE HAS REVIEWED THE PROGRAM AND HAS DETERMINED THAT IT IS IN THE INTEREST OF JUSTICE TO PROSECUTE THE CASES INVOLVED IN THIS PROGRAM. ALL CASES ARE BEING HANDLED BY THE U.S. DEPARTMENT OF JUSTICE.

COVER SHEET

SHEET NUMBER:  
T1.0

DRAWN BY: GW CHK BY: CM APP BY: CA

TMO Signatory Level: L06  
N7 G-115150

SITE INFORMATION	
SITE NAME	BLOOMINGTON YEDSCOTT REFL
SITE ID:	A1P00672
SITE ADDRESS	1690 BLOOMINGTON FERRY ROAD BLOOMINGTON, MN 55-33
COUNTY:	HENNEPIN COUNTY
JURISDICTION:	CITY OF BLOOMINGTON
ASSESSOR'S PARCEL #	4118214-0200
1/4TH IN.	44 19371038
LONGITI. DE.	-94.39637210
STRUCTURE TYPE:	LIGHT POLE
STRUCTURE HEIGHT:	45'-0"
POWER PROVIDER:	XCEL ENERGY 800-225-5121
INSTALLATION IS UNARMED AND NOT FOR HUMAN HABITATION PUBLIC ACCESS IS RESTRICTED A.D.A. ACCESSIBILITY NOT REQUIRED.	

## PROJECT DESCRIPTION

MODIFICATION OF AN EXISTING TWO-WIN/HABITABLE 4-MOBILE  
TO COMMUNICATIONS SITE, CONSISTING OF:

**REMOVING**

- (1) EXISTING ANTENNAS
- (1) EXISTING MOUNTING MAST
- (1) EXISTING TOWER
- (1) EXISTING COAX CABLES
- (1) EXISTING DC BATTERY RACKS
- (1) EXISTING EQUIPMENT CABINET PUNTH
- (1) EXISTING BASEBAND MODULES & TABLE
- (1) EXISTING INPI EXFERS

**INSTALLING**

- (1) NEW ANTENNAS
- (1) NEW ANTENNA MOUNTING MAST
- (1) NEW RRU MOUNT
- (1) NEW RAILS
- (1) NEW 200A TRUNK CABLES
- (1) NEW CABLE TRAY
- (1) NEW 200A SSC
- (1) NEW BATTERY CABINET & BATTERIES
- TOWER STRUCTURAL MODIFICATION

**WITHIN THE EXISTING LEASE AREA.**

<p><b>PROPERTY OWNER</b>          CITY OF BLOOMINGTON          850 N. OLD SHAKOPEE RD.          BLOOMINGTON, MN 55403</p> <p><b>APPLICANT</b>          JENNIFER          569 S. BROADWAY          DENVER, CO 80229</p> <p><b>SITE ACQUISITION CONSULTANT</b>          JCD          4751 FOX STREET          DENVER, COLORADO 80216          CHARLIE AJUJELLO          PH: 720.228.9199          EMAIL: CHAR_AJU@JCD.NET</p> <p><b>ASR PROJECT MANAGER</b>          JCD          4751 FOX STREET          DENVER, COLORADO 80216          COLLEEN MURPHY          PH: 720.810.0835          EMAIL: COLFM@JCD.NET</p>	<p><b>ENGINEER OF RECORD</b>          UCD          4751 FOX STREET          DENVER, COLORADO 80216          RYAN GILBERTSON          PH: 370.220.0521          EMAIL: RYANG@UCD.NET</p>
---	---

## DRIVING DIRECTIONS

**FROM: ST. PAUL INTERNATIONAL AIRPORT**

HEAD NORTHWEST ON GUMMICK DR. AND FOLLOW FOR 3 MI. AND MAKE A SLIGHT LEFT AND FOLLOW FOR 1 MI. THEN TURN LEFT TOWARDS NORTH FOR 255 FT. AND FOLLOW FOR 255 FT. MERGE ON TO NORTHWEST DR. AND FOLLOW FOR 1 MI. AT THE TRAFFIC CIRCLE, CONTINUE STRAIGHT AND FOLLOW FOR 558 FT. AND MERGE ONTO GUMMICK DR. AND FOLLOW FOR 2 MI. JUST THE 365 FT. TWO LANES TO MERGE ONTO I-494 N.W. STATE HWY. 5 W. MA THE RAMP TO HEAD SOUTHWEST AND FOLLOW FOR 0.5 MI. AND TURN LEFT ONTO I-494 N.W. 5 S. AND FOLLOW FOR 2 MI. AND USE THE LEFT TWO LANES TO TAKE THE KILBEEBREW DR. RAMP AND FOLLOW FOR 3 MI. AND USE THE LEFT LANE TO TAKE THE RAMP ONTO HWY 5 S. AND FOLLOW FOR 3 MI. AND TAKE THE ENTIRE I-494 SIAKOPPEE DR. EXIT AND FOLLOW FOR 3 MI. KEEP RIGHT AT THE FORK AND MERGE ONTO S. OLD SHAKOPEE RD. AND FOLLOW FOR 2.5 MI. CONTINUE TO FOLLOW ONTO N. 96TH ST. AND FOLLOW FOR 255 FT. THEN USE THE TWO LANES TO TURN SLIGHT LEFT ONTO W. OLD SHAKOPEE RD. AND FOLLOW FOR 4.8 MI. AND TURN LEFT ONTO R. OLINGTON PKWAY RD. AND FOLLOW FOR 4 MI. AND TURN RIGHT AT YOUR DESTINATION IS STRAIGHT AHEAD.

**ESTIMATED DISTANCE: 14.5 MILES**  
**ESTIMATED TIME: 30 MINUTES**




SCAN QR CODE FOR LINK

**APPLICABLE CODES**

ALL CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE R.O.C.D.P. CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES TO INCLUDE COMPLIANCE WITH THE LATEST FEDERAL, STATE, AND LOCAL ORDINANCES, REGULATIONS AND ORDINANCES.

**GOVERNING CODES AS APPLICABLE:**  
 2010 IBC, 2010 IRC, 2010 ICCFCR, 2010 MSCF, 2010 MMC, 2010 MIPC, 2008 MEFC, 2010 MIFC, 2010 MISC.



**MANDATORY CONTRACTOR CALLS TO VERIFY UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.**  
 BIDDING YOU DOG, CALL 1-800-252-1166  
[HTTP://811NOW.STATE.MN.US/STATE/MINNESOTA/](http://811now.state.mn.us/state/minnesota/)

**THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO MOBILE SERVICES IS STRICTLY PROHIBITED.**

A satellite map showing the project site location. The site is a large, irregularly shaped green field located in a suburban area. It is surrounded by residential streets and some commercial buildings. A white box with the text "SITE LOCATION" points to the green field. The map is labeled "VICINITY MAP" at the top.

**SITE PHOTO**


A photograph showing a park area with several large trees, a chain-link fence, and a blue sky with scattered white clouds. A tall, thin pole stands in the foreground.


REFERENCE DOCUMENTS	
DOCUMENT NAME	DATE
RHDS	05.03.24
EX. CONSTRUCTION DRAWINGS; BY POUNDER RIVER DEVELOP.	08.24.21
PASSING MOUNT ANALYSIS, BY ULR2	08.14.24
PASSING STRUCTURAL ANALYSIS & MODIFICATION DESIGN; BY ACCELERATED TOWER ENGINEERING	03.25.26



1 OVERALL SITE PLAN

PRESENTED BY

  
100 S BRADWAY DENVER, CO 80202

  
CONSTRUCTION SERVICES LLC

SITE NAME

BLOOMINGTON DREDS COTT  
REPL  
SITE ADDRESS:  
10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438  
SITE COUNTY:  
HENNEPIN COUNTY

SITE ID:

A1P0957C

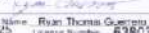
REVISIONS

Rev.	Date	Description	By
0	08/18/24	DWG CONSTRUCTION	GW
1	08/26/25	FINAL STAMPTD	GW
2			
3			
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5			
6			
7			

STAMPING SIGNATURE

Professional Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: 

Typed or Printed Name: Ryan Thomas Gaudin  
Date: 08/27/2025 License Number: 63803

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

T2.0

DRAWN BY: GW

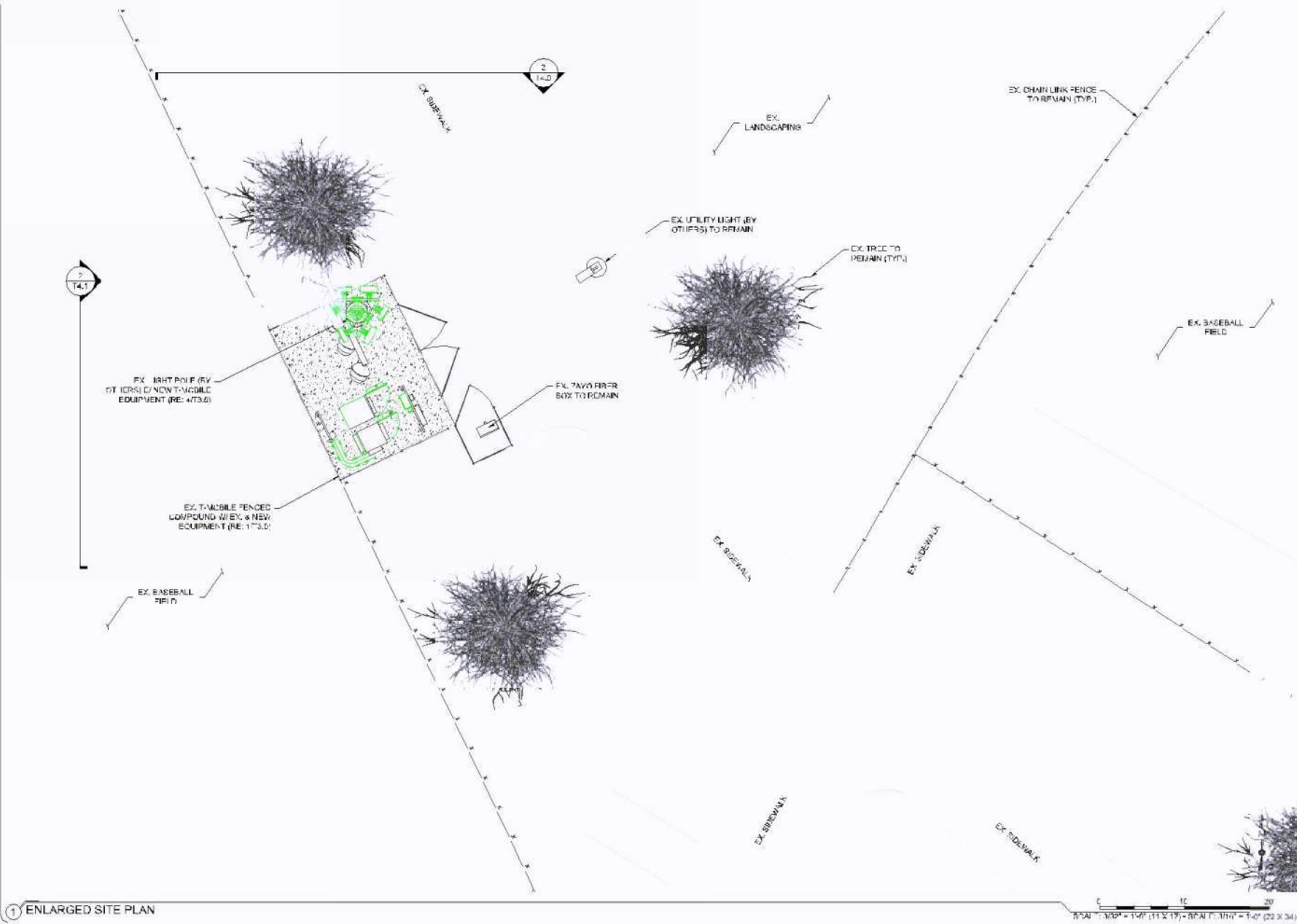
CHECK BY: GW

APPROVED BY: CA

TMO Signatory Level: L06

NLG-115130





1 ENLARGED SITE PLAN

PRESENTED BY:

**T-Mobile**  
300 S BRADWAY DENVER, CO 80209

**UCI<sup>2</sup>**  
CONSTRUCTION SERVICES LLC

SITE NAME:  
**BLOOMINGTON DREDS COTT**

REPL  
SITE ADDRESS:  
**10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438**

SITE COUNTY:  
**HENNEPIN COUNTY**

SITE ID:  
**A1P0957C**

REVISIONS

Rev.	Date	Description	By
0	08/18/24	UPS CONSTRUCTION	GW
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7			

STAMPING SIGNATURE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gaudin*  
Typed or Printed Name: **Ryan Thomas Gaudin**  
Date: **08/27/2025** License Number: **63803**

THIS PLAN WAS PREPARED BY ME OR BY AN ENGINEER OR SURVEYOR CONTRIBUTOR OF THIS PROJECT WILL BE UNDER SUPERVISION. ALL SIGNED ARE FOR TRUE.

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**T2.1**

DRAWN BY: **GW** CHECK BY: **GW** APP BY: **CA**

TMO Signatory Level: **L06**  
**NLG-115130**

OSHA COMPLIANCE LEGEND

PROPOSED OSHA COMPLIANCE PATH  
6 FT. FROM ROOFTOP UNPROTECTED EDGE  
PROPOSED OSHA SAFETY HANDRAIL  
15 FT. FROM ROOFTOP UNPROTECTED EDGE

1. ALPHA, BETA & GAMMA SECTOR ANTENNAS, PRIORS AND ASSOCIATED EQUIPMENT DOES NOT MEET OSHA COMPLIANCE AND IS TO BE ACCESS BY TOWER CRAWL ONLY.  
2. ACCESS TO EQUIPMENT LOCATED WITHIN EXISTING COMPOUND MEETS OSHA COMPLIANCE FOR FIELD OPERATIONS.

PRESENTED BY:



SITE NAME:

BLOOMINGTON DREDS SCOTT  
REPL  
SITE ADDRESS:  
10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438  
SITE COUNTY:  
HENNEPIN COUNTY

SITE ID:

A1P0957C

REVISIONS

Rev.	Date	Description	By
0	08/18/24	UPS CONSTRUCTION	GW
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7			

STAMPING SIGNATURE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gundersen*  
Typed or Printed Name: Ryan Thomas Gundersen  
Date: 08/27/2024 License Number: 63803

THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER SUPERVISION. ALL SIGNED ARE FOR TRUE.

SHEET TITLE:

PROPOSED  
SAFETY PLAN

SHEET NUMBER:

T2.2

DRAWN BY: GW  
CHECK BY: GW  
APPROVED BY: CA

TMO Signatory Level: L06

NLG-115150

1 PROPOSED SAFETY PLAN

EX. STADIUM LIGHTING (BY OTHERS) TO REMAIN (TYPE)

EX. T-MOBILE ANTENNA TO BE REMOVED (QTY. OF 1) PER SECTOR. TOTAL OF (3)

EX. T-MOBILE ANTENNA TO BE REMOVED (QTY. OF 2)

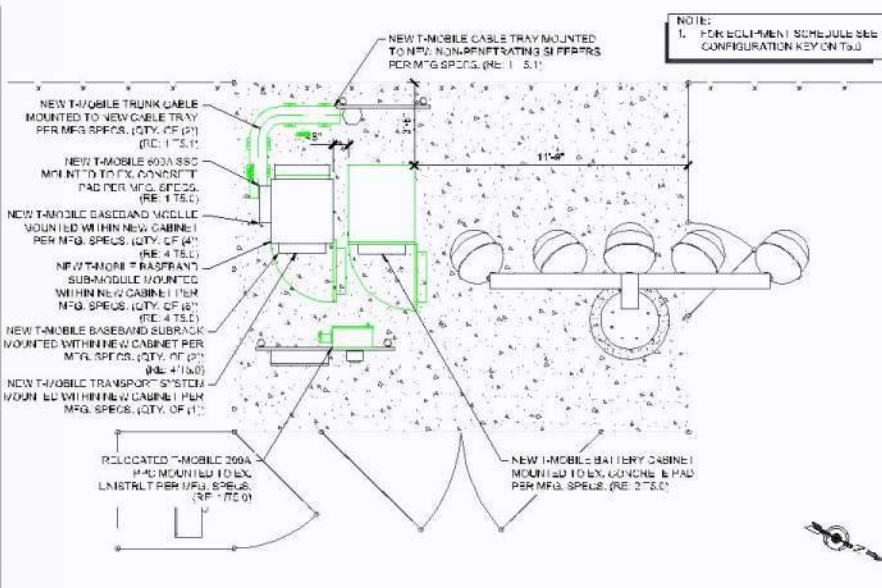
EX. 97' TALL LIGHT PO. F TO REMAIN

EX. T-MOBILE MOUNTING PIPE TO BE REMOVED (QTY. OF 1)

0' 2' 4' 6'

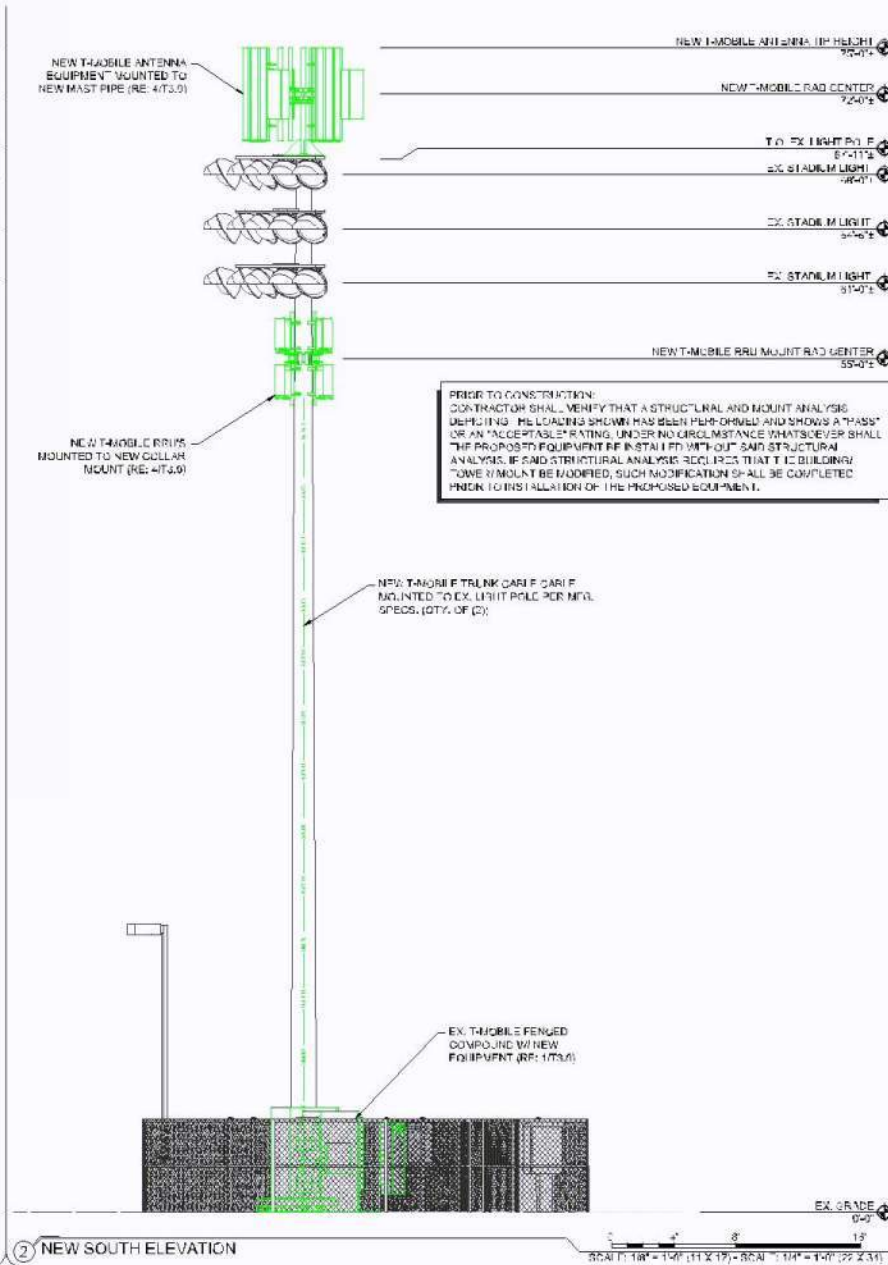
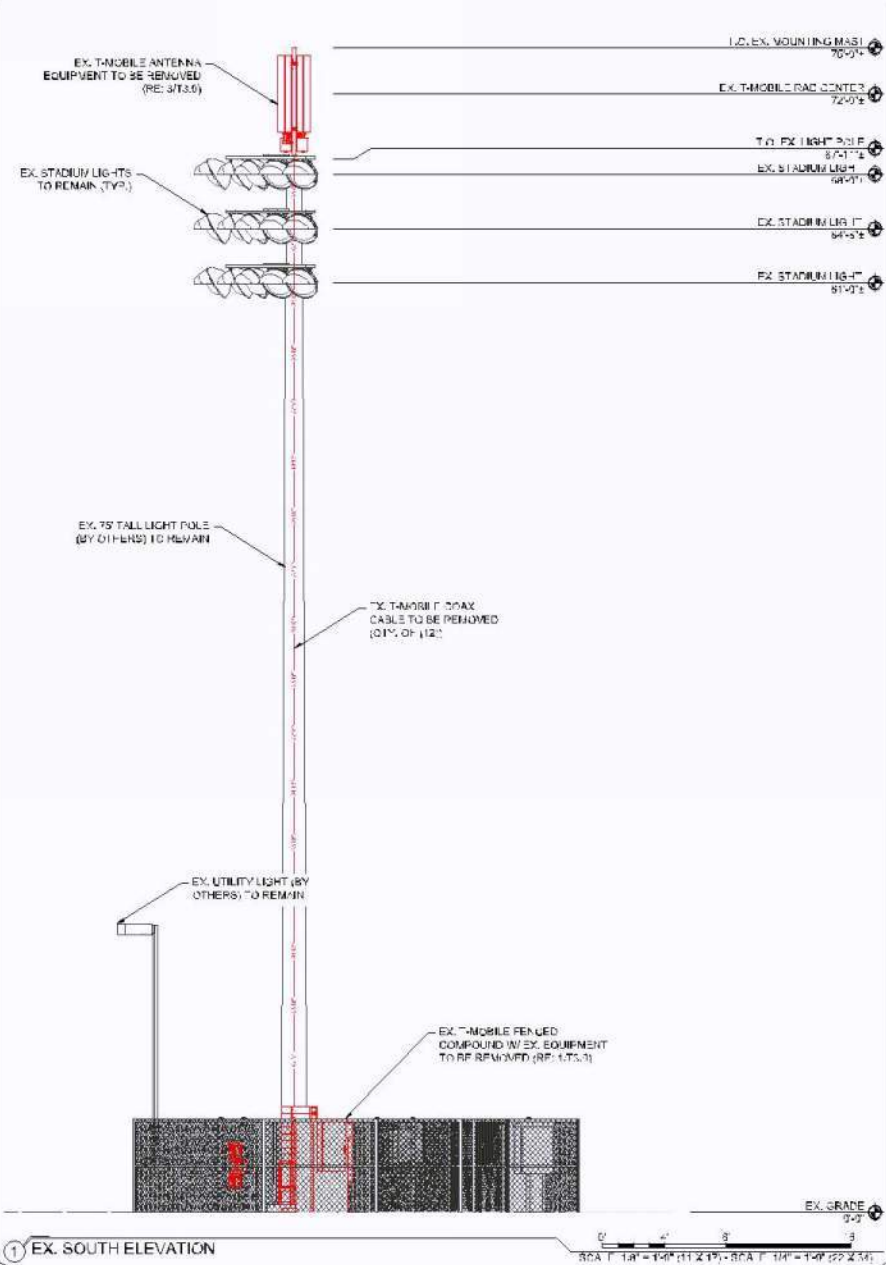
SRA ( 10' = 140' (11 X 11) - SRA ( 12' = 140' (22 X 11)

3 EX. ANTENNA LAYOUT

[illegible]

98





PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY THAT A STRUCTURAL AND MOUNT ANALYSIS IDENTIFYING THE LOADINGS SHOWN HAS BEEN PERFORMED AND SHOWS A "PASS" OR AN "ACCEPTABLE" RATING UNDER NO CIRCUMSTANCE WHATSOEVER SHALL THE PROPOSED EQUIPMENT BE INSTALLED WITHOUT SAID STRUCTURAL ANALYSIS. IF SAID STRUCTURAL ANALYSIS RECOMMENDS THAT THE BUILDING/TOWER/MOUNT BE MODIFIED, SUCH MODIFICATION SHALL BE COMPLETED PRIOR TO INSTALLATION OF THE PROPOSED EQUIPMENT.

PRESENTED BY:

**T-Mobile**  
300 S BRADWAY DENVER, CO 80202

**UCI**<sup>2</sup>  
CONSTRUCTION SERVICES LLC

SITE NAME:  
**BLOOMINGTON DREDS COTT**

REPL  
SITE ADDRESS:  
**10801 BLOOMINGTON FERRY ROAD**  
**BLOOMINGTON, MN 55438**  
SITE COUNTY:  
**HENNEPIN COUNTY**

SITE ID:  
**A1P0957C**

REVISIONS

Rev.	Date	Description	By
0	08/18/24	ISSUE FOR CONSTRUCTION	GW
1	08/26/25	FINAL STAMPED	GW
2			
3			
4			
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7			

STAMPING SIGNATURE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gersbach*  
Typed Name: **Ryan Thomas Gersbach**  
Date: 08/27/2025 License Number: **63803**

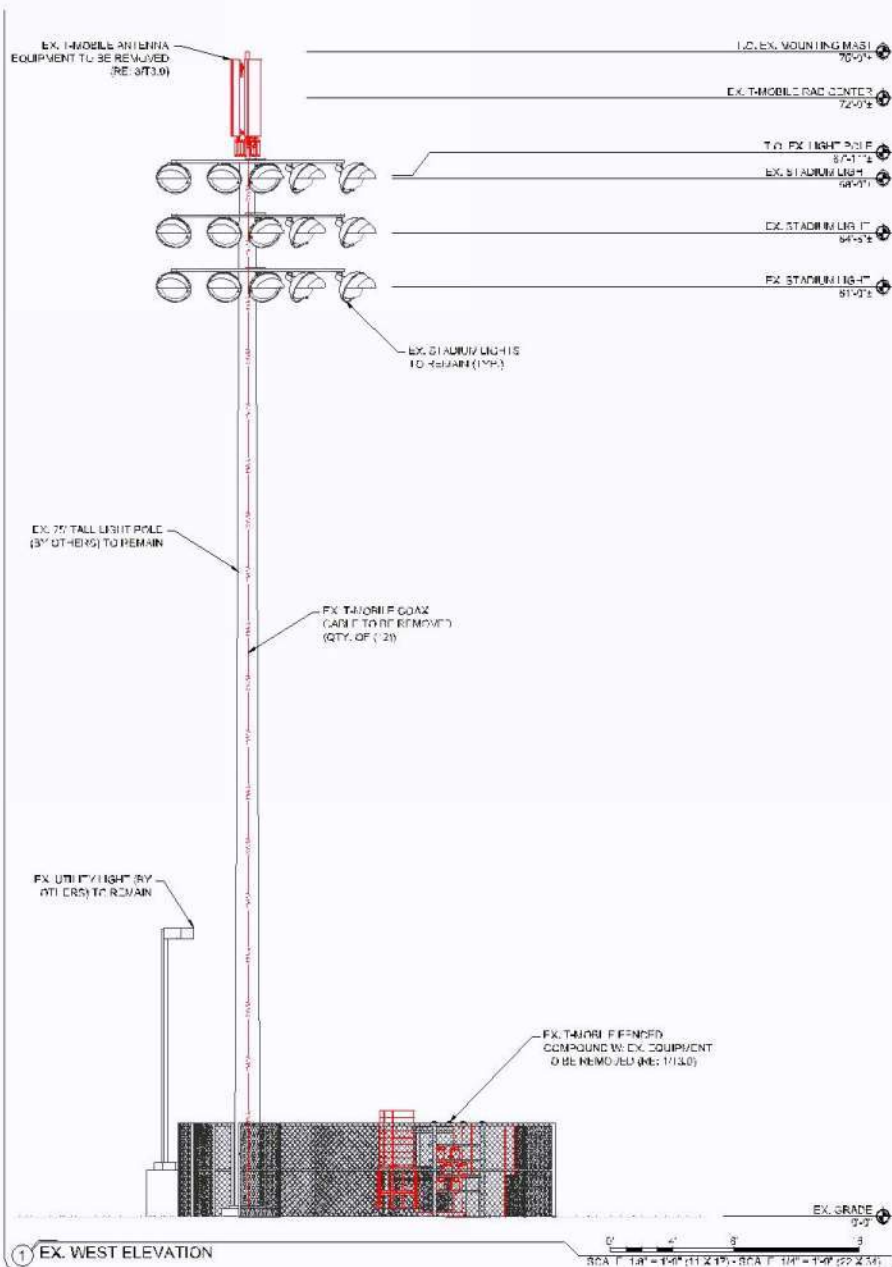
THIS PLAN WAS PREPARED BY ME OR BY AN ENGINEER OR SURVEYOR UNDER MY SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SHEET TITLE:  
**EX. & NEW ELEVATIONS**

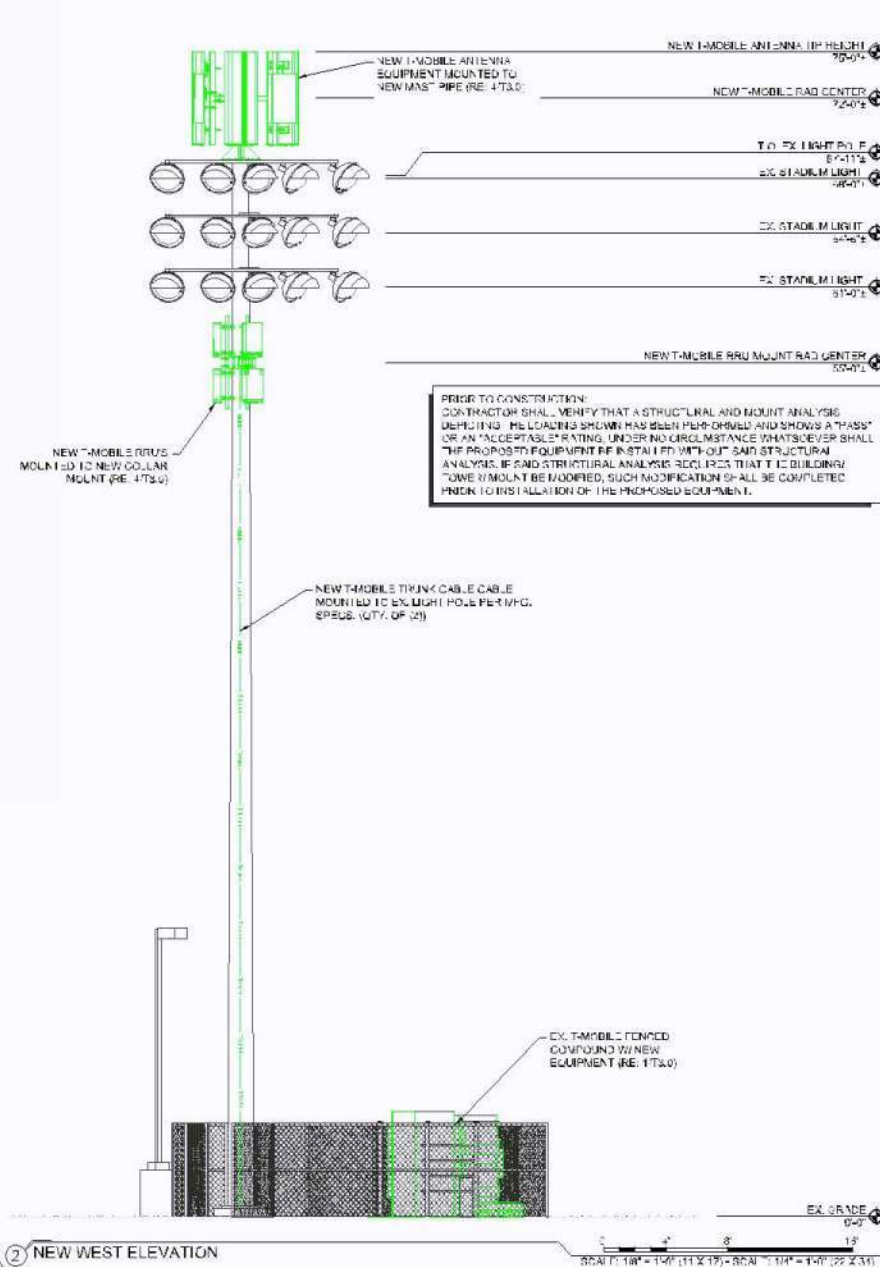
SHEET NUMBER:  
**T4.0**

DRAWN BY: **GW** CHECKED BY: **CM** APPROVED BY: **CA**

TMO Signatory Level: L06  
NLG-115130



1 EX. WEST ELEVATION



② NEW WEST ELEVATION

PRESENTED BY:

**T-Mobile**  
U.S. BRIDGEWAY DENVER, CO 80202



UCI<sup>2</sup>  
CONSTRUCTION SERVICES LLC

**SITE NAME:**  
**BLOOMINGTONDREDSOTT**  
**REPL**  
**SITE ADDRESS:**  
**10801 BLOOMINGTON**  
**FERRY ROAD**  
**BLOOMINGTON, MN 55438**  
**SITE COUNTY:**  
**HENNEPIN COUNTY**

SITE ID:  
A1P0957C

REVISIONS			
Rev.	Date	Description	By
0	08-10-04	LOU CONSTRUCTION	GW
1	08-26-05	FINAL STAMPED	GW
2			
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STAMPING SIGNATURE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: Ryan Thomas Guerrero  
Typed or Printed Name: Ryan Thomas Guerrero  
Date: 03/22/2025 License Number: 63803

THE ABOVE INFORMATION IS UNCLASSIFIED  
DATE 08-20-2003 BY 60322 UCBAW/SJS

SHEET TITLE:

EX. & NEW  
ELEVATIONS

SHEET NUMBER:

DRAWN BY:	CHK BY:	APP BY:
GM	GM	CA

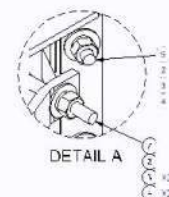
TM0 Signatory Level: 106  
NLG-115150







PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT. NET WT.
1	1	3030	WHEEL RIM 3030 20" DIA	21.0"	35.4
2	24	3031	SPACER 3031 1/2" DIA	9.0"	1.86
3	24	3032	SPACER 3032 1/2" DIA	9.0"	1.86
4	30	3033	SPACER 3033 1/2" DIA	9.0"	2.57
5	7	3034	SPACER 3034 1/2" DIA	9.0"	2.57
6	1	3035	SPACER 3035 1/2" DIA	9.0"	2.57
7	1	3036	SPACER 3036 1/2" DIA	9.0"	2.57
8	1	3037	SPACER 3037 1/2" DIA	9.0"	2.57
9	1	3038	SPACER 3038 1/2" DIA	9.0"	2.57
10	1	3039	SPACER 3039 1/2" DIA	9.0"	2.57
11	1	3040	SPACER 3040 1/2" DIA	9.0"	2.57
12	1	3041	SPACER 3041 1/2" DIA	9.0"	2.57
13	1	3042	SPACER 3042 1/2" DIA	9.0"	2.57
14	1	3043	SPACER 3043 1/2" DIA	9.0"	2.57
15	1	3044	SPACER 3044 1/2" DIA	9.0"	2.57
16	1	3045	SPACER 3045 1/2" DIA	9.0"	2.57
17	1	3046	SPACER 3046 1/2" DIA	9.0"	2.57
18	1	3047	SPACER 3047 1/2" DIA	9.0"	2.57
19	1	3048	SPACER 3048 1/2" DIA	9.0"	2.57
20	1	3049	SPACER 3049 1/2" DIA	9.0"	2.57
21	1	3050	SPACER 3050 1/2" DIA	9.0"	2.57
22	1	3051	SPACER 3051 1/2" DIA	9.0"	2.57
23	1	3052	SPACER 3052 1/2" DIA	9.0"	2.57
24	1	3053	SPACER 3053 1/2" DIA	9.0"	2.57
25	1	3054	SPACER 3054 1/2" DIA	9.0"	2.57
26	1	3055	SPACER 3055 1/2" DIA	9.0"	2.57
27	1	3056	SPACER 3056 1/2" DIA	9.0"	2.57
28	1	3057	SPACER 3057 1/2" DIA	9.0"	2.57
29	1	3058	SPACER 3058 1/2" DIA	9.0"	2.57
30	1	3059	SPACER 3059 1/2" DIA	9.0"	2.57
31	1	3060	SPACER 3060 1/2" DIA	9.0"	2.57
32	1	3061	SPACER 3061 1/2" DIA	9.0"	2.57
33	1	3062	SPACER 3062 1/2" DIA	9.0"	2.57
34	1	3063	SPACER 3063 1/2" DIA	9.0"	2.57
35	1	3064	SPACER 3064 1/2" DIA	9.0"	2.57
36	1	3065	SPACER 3065 1/2" DIA	9.0"	2.57
37	1	3066	SPACER 3066 1/2" DIA	9.0"	2.57
38	1	3067	SPACER 3067 1/2" DIA	9.0"	2.57
39	1	3068	SPACER 3068 1/2" DIA	9.0"	2.57
40	1	3069	SPACER 3069 1/2" DIA	9.0"	2.57
41	1	3070	SPACER 3070 1/2" DIA	9.0"	2.57
42	1	3071	SPACER 3071 1/2" DIA	9.0"	2.57
43	1	3072	SPACER 3072 1/2" DIA	9.0"	2.57
44	1	3073	SPACER 3073 1/2" DIA	9.0"	2.57
45	1	3074	SPACER 3074 1/2" DIA	9.0"	2.57
46	1	3075	SPACER 3075 1/2" DIA	9.0"	2.57
47	1	3076	SPACER 3076 1/2" DIA	9.0"	2.57
48	1	3077	SPACER 3077 1/2" DIA	9.0"	2.57
49	1	3078	SPACER 3078 1/2" DIA	9.0"	2.57
50	1	3079	SPACER 3079 1/2" DIA	9.0"	2.57
51	1	3080	SPACER 3080 1/2" DIA	9.0"	2.57
52	1	3081	SPACER 3081 1/2" DIA	9.0"	2.57
53	1	3082	SPACER 3082 1/2" DIA	9.0"	2.57
54	1	3083	SPACER 3083 1/2" DIA	9.0"	2.57
55	1	3084	SPACER 3084 1/2" DIA	9.0"	2.57
56	1	3085	SPACER 3085 1/2" DIA	9.0"	2.57
57	1	3086	SPACER		



REVISIONS			
Rev.	Date	Description	By
0	08/08/04	SUP. CONSTRUCTION	GW
	08/26/05	FINAL STAMPED	GW

Professional Engineer  
I hereby certify that this plan, specification, or report  
prepared by me or under my direct supervision and that  
a duly Licensed Professional Engineer under the laws of  
the state of Minnesota  
Signature: *Ryan Thomas Guerrero*  
Typed or Printed Name: **Ryan Thomas Guerrero**  
Date: **03/27/2025** License Number: **63803**

THE PRICE WILL BE PAID BY THE BUYER TO THE SELLER BY  
DEPOSITING THE PROCEEDS OF THE SALE OF THE PRODUCT IN A  
SEPARATE ACCOUNT. ALL OTHERS ARE NOT TO BE USED.

TMO Signatory Level: 06  
NLG-115150



### 1 NOKIA AHFII RRU DETAIL

## AIRSCALE MULTIBAND RRH BENEFITS

- UP TO 4X60W IN EITHER AWS OR PUS BANDS WHILE 4X60W IN THE OTHER BAND
- CPRI/FRONT-HAUL INTERFACE
- UP TO 1024 QAM DL CAPABLE HARDWARE
- UP TO 3X5FPS PORTS
- INTEGRATED TEE/CANCELLATION
- WIDE NR CARRIERS (UP TO 40MHz)
- UP TO MAX 8 CARRIERS PER TX ACROSS BOTH BANDS

 $At-Fl = 7.28 \pm 5A$ 

<b>BAND</b>	<b>571-665</b>
<b>OUTPUT POWER</b>	420W/SHARED BETWEEN B71-585 (TOTAL POWER IS 240W)
<b>BANDS/FREQ RANGE</b>	B71: RX: 593-660MHz TX: 617-663MHz B72: RX: 255-261MHz TX: 270-276MHz
<b>INSTANTANEOUS BW (dBW)</b>	FULL BAND
<b>OCCURRED BY (dB)</b>	FULL BAND
<b>SUPPORTS MODULATION SCHEMES</b>	2EQQPS (UL) AND 32QAM (DL) A-96Q
<b>SUPPORTED BANDWIDTH IS</b>	LTE-A: 5, 10, 15, 20, 25, 30, 35MHz
<b>DO CARRIER OR</b>	A-96Q
<b>OPTICAL FIBER CONNECTOR</b>	2 X SFPs PORTS C781 8GBPS (RATE 7) CONSUMER A7C2 SFP WEATHERPROOFING B08T-16
<b>NO. C/F PORTS/7F CONNECTOR</b>	4 X 4.3-9 176
<b>MSG</b>	MSGS. ON ALL PORTS. DC ON ANT. AND ANT3
<b>TEMPERATURES (T1 X 2 X 3 IN)</b>	26.61 X 24.7 X 8.80
<b>POWER CONSUMPTION</b>	62.7
<b>PEX CANCEL A7C1A</b>	70% RF LOADING: 13-4W
<b>5X ENCL 830 HIGH</b>	INT. GRAT IN REAR
<b>WATER</b>	FORCED AIR CONVECTION
<b>COOLING</b>	NW
<b>1-10W AVAL. ABILITY</b>	NW
<b>42 MW/100CH</b>	YES
<b>NEUTRAL SUPPORT</b>	YES
	YES IN BAND, GLAR BAND, STANDALONE



PRESENTED BY

**T-Mobile**  
UNION SQUARE DENVER AND BEYOND



UCI<sup>2</sup>  
CONSTRUCTION SERVICES, LLC

SITE NAME

**BLOOMINGTONDRESCOTT  
REPL  
SITE ADDRESS:  
10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438  
SITE COUNTY:  
HENNEPIN COUNTY**

STEID

A1P0957C

## REVISIONE

Rev.	Date	Description	By
0	08/28/94	CONSTRUCTION	GW
1	08/28/95	FINAL STAMPED	GW
2			
3			
4			
5			
6			
7			

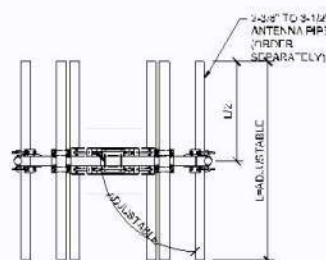
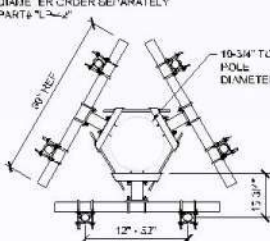
## STAMPING SIGNATURE

**Professional Engineer**  
I hereby certify that this plan, specification, or report  
prepared by me or under my direct supervision and that  
a duly Licensed Professional Engineer under the laws of  
the state of Minnesota.  
Signature: Ryan Thomas Guerrero  
Typed or Printed Name: Ryan Thomas Guerrero  
Date: 03/27/2025 License Number: 63803

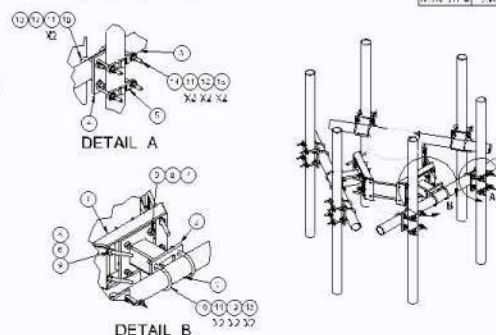
© 2000 Blackwell Science Ltd, *Journal of Internal Medicine* 247: 399–405

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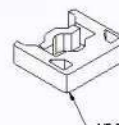
③ SITEPRO UDS-NP MONOPOLE ANTENNA MOUNT DETAIL



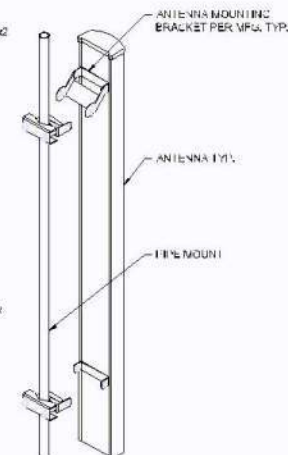
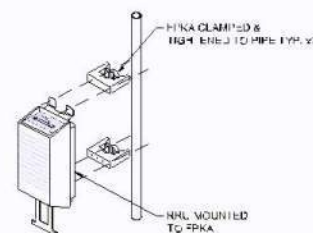
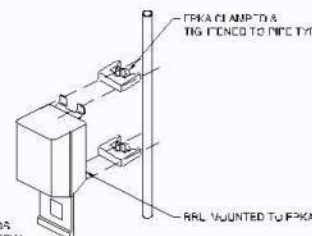
PARIS LIST						
ITEM	QTY	PART NO.	PAR'S DESCRIPTION	LENGTH	UNIT	NET WT
1	4	600512	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	30.00
2	4	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	30.00
3	4	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	30.00
4	4	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	30.00
5	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
6	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
7	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
8	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
9	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
10	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
11	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
12	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
13	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
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15	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
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81	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11
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100	17	604012	1/2" BRASS 1/2" DIA. 1/2" L	1/2"	EA	12.11



② NOKIA AHLOB RRU DETAIL



## NOKIA FPKA BRACKET



### ANTENNA TO PIPE MOUNTED

#### ④ RRU AND ANTENNA MOUNTING DETAIL

SCALE FACTS

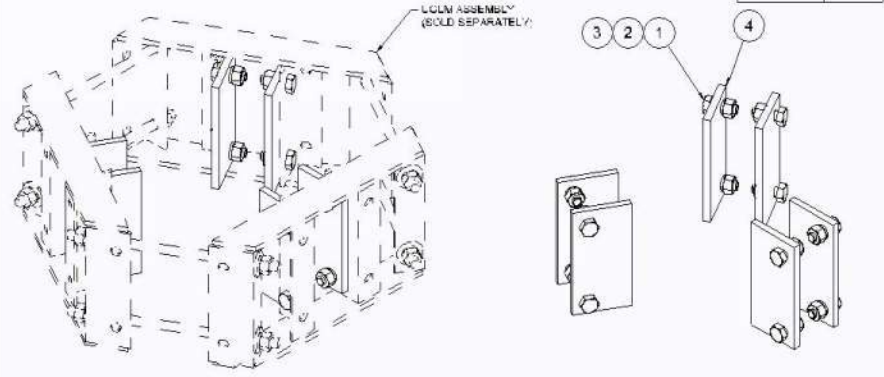
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T5.2

DRAWN BY:	CHK BY:	APP BY:
GW	GM	CA

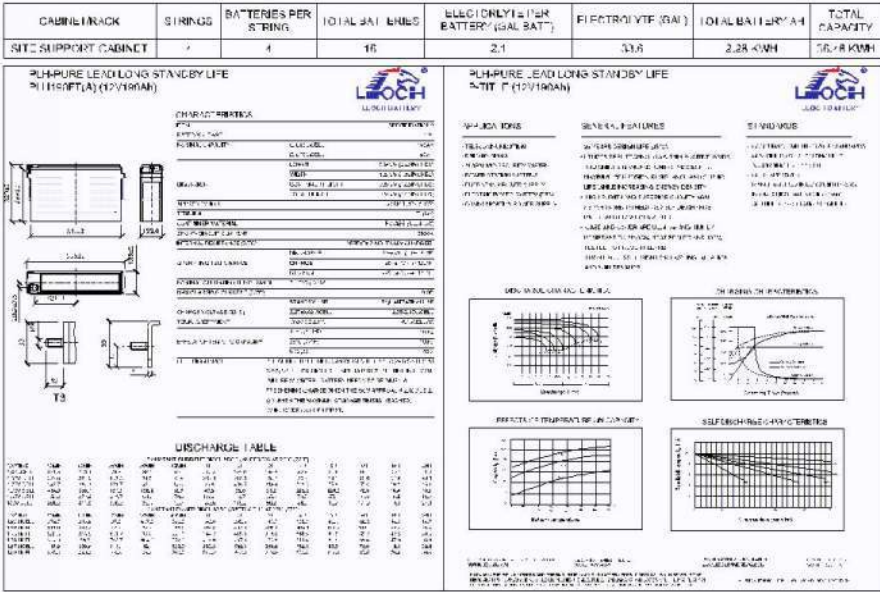
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NLG-115159

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1	12	G38154	3/8" x 1/8" HDG BOLT	1 3/4 IN.	0.17	3.13
2	12	G38154	5/8" HDG LOCKWASHER		0.05	0.6
3	12	G594JT	5/8" HDG HEAVY 2H HEX NUT		0.13	1.56
4	6	3XLP6	LITTLE POLE ADAPTER PLATE	6 IN	4.44	26.63
					TOTAL UNIT WT.	31.3



1 SITE PRO1 LP-6 LITTLE POLE ADAPTOR DETAIL FOR UGLM

SCALE: NTS



2 LEOCH BATTERY PLH190FT PURE LEAD LONG STANDBY LIFE DETAIL

SCALE: NTS

3 NOT USED

SCALE: NTS

4 NOT USED

SCALE: NTS

PRESENTED BY:

**T-Mobile**  
100 S BROADWAY DENVER, CO 80202

**UCI**  
CONSTRUCTION SERVICES LLC

SITE NAME:  
**BLOOMINGTON DREDS COTT**

REPL  
SITE ADDRESS:  
**10801 BLOOMINGTON FERRY ROAD**

**BLOOMINGTON, MN 55438**

SITE COUNTY:  
**HENNEPIN COUNTY**

SITE ID:  
**A1P0957C**

REVISIONS

Rev.	Date	Description	By
0	08/18/24	DWG CONSTRUCTION	GW
1	08/26/25	FINAL STAMPED	GW
2			
3			
4			
5			
6			
7			

STAMPING SIGNATURE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gaudin*  
Typed or Printed Name: **Ryan Thomas Gaudin**  
Date: **08/27/2025** License Number: **63803**

THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY SUPERVISION. ALL SIZES ARE GIVEN IN FEET.

SHEET TITLE:  
**EQUIPMENT DETAILS**

SHEET NUMBER:  
**T5.3**

DRAWN BY: **GW** CHECKED BY: **CM** APPROVED BY: **CA**

TMO Signatory Level: L06  
NLG-115130



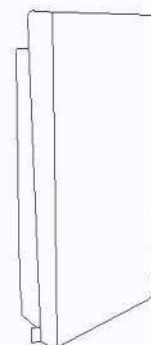
# AEHC AIRSCALE MAA 64T64R 192AE B41 320W PRELIMINARY TECHNICAL DATA

SPECIFICATION DETAILS	
STANDARD	3GPP NR AND LTE COMPLIANT, TDD, FCC COMPLIANT
BAND/FREQUENCY RANGE	2496-2690 MHZ 3 GPP 841
MAX. SUPPORTED MODULATION	256 QAM
NUMBER OF TX/RX PATHS	64T/64R
MIMO STREAMS	16
INSTANTANEOUS BANDWIDTH IBW	194 MHZ
OCCUPIED BANDWIDTH OBW	190 MHZ
TOTAL AVERAGE EIRP	79 DBM
MAX. OUTPUT POWER PER TRX	5 W / TRX (320 W TOTAL)
DIMENSIONS	970 MM (H) X 540 MM (W) X 205 MM (D)
VOLUME	941
WEIGHT	47 KG (WITHOUT MOUNTING BRACKETS)
SUPPLY VOLTAGE / CONNECTOR TYPE	DC -36 V -660 V / 2 POLE CONNECTOR
POWER CONSUMPTION	1280 W TYPICAL (75% DL DUTY CYCLE, 30% RF LOAD) 1690 W MAX (75% DL DUTY CYCLE, 100% RF LOAD)
OPTICAL PORTS	4 X SFP28, 10/25 GE ECPR1 (OCTIS)
OTHER INTERFACES / CONNECTOR TYPE	RF MONITOR PORT / SMA, CONTROL AISG, EXTERNAL ALARMS / MDR26, STATUS LED
OPERATIONAL TEMPERATURE RANGE	-40 °C +55 °C
COOLING	NATURAL CONVECTION COOLING
INSTALLATION OPTIONS	POLE / WALL, ± 15° VERTICAL
INGRESS / SURGE PROTECTION	IP65, CLASS II 20 KA
SUPPORTED RAT	5G, TD-LTE

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## AIRSCALE HIGH POWER WIDE BAND MAA BENEFITS

- 5G ADAPTIVE ANTENNA SYSTEM FOR OPTIMIZED CAPACITY AND COVERAGE
- BEAMFORMING CAPABLE 64T64R WITH TOTAL 320W OUTPUT POWER
- FULL BAND OPERATION FOR B41



AEHC 475124A

**NOKIA**

PRESENTED BY:			
<b>T-Mobile</b> 300 S BROADWAY DENVER, CO 80209			
<b>UCI</b> CONSTRUCTION SERVICES LLC			
SITE NAME: BLOOMINGTONDREDSGOTT			
REPL SITE ADDRESS: 10801 BLOOMINGTON FERRY ROAD BLOOMINGTON, MN 55438 SITE COUNTY: HENNEPIN COUNTY			
SITE ID: A1P0957C			
REVISIONS			
Rev.	Date	Description	By
0	08/18/24	DWG CONSTRUCTION	GW
1	08/26/25	FINAL STAMPED	GW
2			
3			
4			
5			
6			
7			
STAMPING SIGNATURE			

Professional Engineer  
I hereby certify that this plan, specification, or report was  
prepared by me or under my direct supervision and that I am  
a duly Licensed Professional Engineer under the laws of the  
state of Minnesota.  
Signature: *Ryan Thomas Gundersen*  
Typed or Printed Name: Ryan Thomas Gundersen  
Date: 08/27/2025 License Number: 63803

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SUPERVISOR IN CONNECTION WITH THE PROJECT AND IS NOT  
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SHEET TITLE:		
EQUIPMENT DETAILS		
SHEET NUMBER: T54		
DRAWN BY: GW	CHECK BY: CM	APPROVED BY: CA
TMO Signatory Level: L06 NLG-115130		

FFVV-65B-R3-V1



8-point sector antenna, 4.5° x 90° and 4° x 90° x 2690 MHz, 5.7  
HPBW, 3x RET

General Specifications

Antenna Type	Coupler
Band	Multi-band
Color	Light gray
Mounting Type	AS-Connect™ or a custom hard bay ground plane flange and mounting bracket
Performance Note	Omniport package
Radome Material	Fiberglass, UV resistant
Radome Material	Low loss dielectric board
Radome Material	Aluminum
RF Connector Information	4.3-10 Female
RF Connector Location	Bottom
RF Connector Quantity, high band	4
RF Connector Quantity, low band	4
RF Connector Quantity, total	8

Remote Electrical Tilt (RET) Information, General

RPT Interface	8-pin DIN Female / 8-pin DIN Male
RET Interface Quantity	1 female / 1 male

Dimensions

Width	840 mm / 25.197 in
Length	1826 mm / 71.496 in
Depth	253 mm / 10.315 in

Array Layout

page 1 of 6

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COMMScope

FFVV-65B-R3-V1

Remote Electrical Tilt (RET) Information, Electrical

Protocol	ISPP/RISER 2.0 (Single RET)
Power Consumption, idle state, maximum	2 W
Power Consumption, normal operations, maximum	10 W
Input Voltage	10-30 Vdc
Internal RET	10°-band (2) / Low band (1)

Electrical Specifications

Frequency Band, MHz	614-606	606-607	165-1660	165-1660	165-1660	2573-2577	2573-2577
Gain, dBi	14.3	14	17.8	17	18.7	18.2	18.3
Efficiency, Horizontal, average, dB	-1	-1	-1	-1	-1	-1	-1
Efficiency, Vertical, average, dB	14.3	12.3	17.7	16.8	18.7	18.2	18.3
Beam Tilt, degrees	2-14	2-14	2-12	2-12	2-12	2-12	2-12
LLSL (Frequency), dB	20	18	20	18	21	20	20
Horizontal Beamwidth, dB	29	32	36	32	30	35	37
Isolation, Cross Polarization, dB	25	25	25	25	25	25	25
Isolation, Inter-band, dB	28	28	28	28	28	28	28
VSWR / Return Loss, dB	1.3 / 14.0	1.3 / 14.0	1.3 / 14.0	1.3 / 14.0	1.3 / 14.0	1.3 / 14.0	1.3 / 14.0
PIV, 3rd Order, 2 x 20 W, dBc	-150	-150	-150	-150	-150	-150	-150
Input Power per Port at 20°C, maximum, Watts	250	250	250	250	250	250	250

Electrical Specifications, BASTA

Frequency Band, MHz	614-606	606-607	165-1660	165-1660	165-1660	2573-2577	2573-2577
Gain by all Beam Tilt, average, dBi	14	14.3	17.4	17.7	18.7	18.4	18.2
Gain by all Beam Tilt, Tolerance, dB	±0.4	±0.7	±0.4	±0.4	±0.4	±0.3	±0.4
Gain by Beam Tilt, average, dBi	21 / 14.1 8 / 14.1 14 / 13.0	21 / 14.5 8 / 14.5 14 / 14.2	21 / 17.5 9 / 17.5 12 / 17.4	21 / 17.5 9 / 17.8 12 / 17.8	21 / 17.8 9 / 18.4 12 / 18.3	21 / 18.1 9 / 18.2 12 / 18.4	21 / 18.2 9 / 18.3 12 / 18.3
Return Loss, Horizontal, average, dB	+1.3	+1	+1.4	+1.4	+1.4	+1.4	+1.1
Beamwidth, Vertical	±1.1	±1.3	±0.2	±0.3	±0.4	±0.3	±0.2

page 2 of 6

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COMMScope

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**UCI**  
CONSTRUCTION SERVICES LLC

SITE NAME:  
**BLOOMINGTON DREDS CO TT**  
REPL  
SITE ADDRESS:  
**10801 BLOOMINGTON  
FERRY ROAD  
BLOOMINGTON, MN 55438**  
SITE COUNTY:  
**HENNEPIN COUNTY**

SITE ID:  
**A1P0967C**

Rev.	Date	Description	By
0	08/08/14	LOU CONSTRUCTION	GW
1	03/20/15	FINAL STAMPED	GW
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**STAMPING SIGNATURE**  
Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gernsey*  
Typed or Printed Name: **Ryan Thomas Gernsey**  
Date: 03/27/2015 License Number: **63803**

THIS DRAWING AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF COMSCOPE. NO PART OF THIS DRAWING OR INFORMATION SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF COMSCOPE.

**SHEET TITLE:**  
**EQUIPMENT DETAILS**

**SHEET NUMBER:**  
**T5.5**  
**DRAWN BY:** GW **CHECKED BY:** GW **APPROVED BY:** CA  
**TMO Signatory Level:** L06  
**NLG-115130**

SCALE: NTS



ANTENNA NOTES:

1. ANTENNA CONTRACTOR SHALL INSURE THAT ALL ANTENNA MOUNTING PIPES ARE PLUMB.  
2. FEEDLINE LINES INDICATED ARE APPROXIMATE.  
3. ANTENNA COAXIAL FEEDERS & ANTENNA JUMPERS SHALL BE COLOR CODED PER T-MOBILE REQUIREMENTS.  
4. IN ADDITION TO THE COLOR CODED FEEDLINE ANTENNA SECTOR CO-OR STRIP SHALL BE ADDED TO EACH ANTENNA SECTOR FEEDLINE & JUMPER.  
ALPHA = RED STRIP  
BETA = GREEN STRIP  
GAMMA = BLUE STRIP  
DELTA = VIOLET STRIP  
EPA = ORANGE STRIP  
ZETA = PURPLE STRIP  
5. MULTIPORT ANTENNAS: TERMINATE UNUSED ANTENNA PORTS WITH CONNECTOR CAP & WEATHERPROOF THOROUGHLY. CLIMBERS FROM TOWERS MUST TERMINATE TO OPPOSITE DIRECTIONS IN EACH SPOT.  
6. CONTRACTOR MUST FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS REGARDING THE INSTALLATION OF FEEDLINES, CONNECTORS, AND ANTENNAS.  
7. MINIMUM BEND RADII:  
LDR4-50A (1/2" HARD LINE) = 8"  
FSM4-50B (1/2" SUPER FLEX) = 14"  
AJAZ-55A (3/4" HARD LINE) = 16"  
AJAZ-55A (1/2" HARD LINE) = 15"  
LDR4-50A (1/2" HARD LINE) = 20"  
8. CONTRACTOR SHALL RECORD THE SERIAL #, SEC. 04 AND POSITION OF EACH ANTENNA INSTALLED AT THE ANTENNAS AND PROVIDE THE INFORMATION TO T-MOBILE.  
9. WEATHERPROOF ALL ANTENNA CONNECTORS WITH SELF-HEALING GUMMING TAPE.  
10. ANTENNA CONTRACTOR SHALL PERFORM A TAP DEPTH MEASUREMENT TO CONFIRM/VALIDATE ANTENNA CENTERLINE (AZIMUTH, ELEVATION) OF ALL GUMMITA COMPLETED HEIGHT VERIFICATION FORM TO THE CONSTRUCTION MANAGER.  
11. ALL FIBER PIPES CONTAINED IN ONE COMMSCOPE HYBRID CO-FIBER CABLE (MODE # HOS 70 TRUNK CABLE = 1266/1034 SAN FIBER FROM LOWER COVER TO UPPER COVER, HYBRID CABLES 1A1 - 1C1 COLOR CODED PER T-MOBILE REQUIREMENTS.

ANTENNA KEY													
STATUS	ANTENNA NUMBER	COLOR CODE (SEE NOTE 3) SECTOR COLOR#	ANTENNA VENDOR	MODEL #	AZIMUTH	ELECT. DOWN TILT	MECH. DOWN TILT	ANTENNA CENTERLINE	TECH.	COAXIAL FEEDER		HYBRID FEEDER	
										(QTY) SIZE	COLOR CODE	QUANTITY	COLOR CODE
PROPOSED	A1	RED 4 RED 3 RED 2 RED 1	COMMSCOPE	FFV4633-R3-V1	0°	2°	0°	72°/1°	N300, LTE 700, GSM 1900, LTE 1900, N1500, LTE 2100, N2100	-	-	(1) NEW 50M TRUNK CABLE	-
PROPOSED	A2	RED 1	NOKIA	AE-40	0°	2°	0°	72°/1°	N2500	-	-	(1) NEW 50M TRUNK CABLE	-
PROPOSED	B1	GREEN 4 GREEN 3 GREEN 2 GREEN 1	COMMSCOPE	FFV4633-R3-V1	120°	2°	0°	72°/1°	N300, LTE 700, GSM 1900, LTE 1900, N1500, LTE 2100, N2100	-	-	(1) NEW 50M TRUNK CABLE SHIELD W/ ALPHA SECTOR	-
PROPOSED	B2	GREEN 1	NOKIA	AE-40	120°	2°	0°	72°/1°	N2500	-	-	(1) NEW 50M TRUNK CABLE SHIELD W/ ALPHA SECTOR	-
PROPOSED	C1	BLUE 4 BLUE 3 BLUE 2 BLUE 1	COMMSCOPE	FFV4633-R3-V1	240°	2°	0°	72°/1°	N300, LTE 700, GSM 1900, LTE 1900, N1500, LTE 2100, N2100	-	-	(1) NEW 50M TRUNK CABLE SHIELD W/ ALPHA SECTOR	-
PROPOSED	C2	BLUE 1	NOKIA	AE-40	240°	2°	0°	72°/1°	N2500	-	-	(1) NEW 50M TRUNK CABLE SHIELD W/ ALPHA SECTOR	-

EQUIPMENT PAD / EQUIPMENT KEY						
LOCATION	VENDOR	EQUIPMENT	MODEL NUMBER	TECH.	QTY.	STATUS
CONCRETE PAD	NOKIA	500A SSC	GS7-87500	-	1	PROPOSED
CONCRETE PAD	NOKIA	BATTER / CARRIER	GS7-87500	-	1	PROPOSED
SSC	NOKIA	BASER AND MODULE	ASIA	1TT 700, 1TT 1900, LTE 2100	1	PROPOSED
SSC	NOKIA	BASER AND MODULE	ASIA	N200, N1500, N2100 (DARK)	1	PROPOSED
SSC	NOKIA	BASER AND MODULE	ASIA	N200	1	PROPOSED
SSC	NOKIA	BASER AND MODULE	ASIA	GRM 1410	1	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	LTE 700	1	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	LTE 1900, LTE 2100	2	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	N200	1	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	N1900, N2100 (DARK)	2	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	N200	1	PROPOSED
SSC	NOKIA	BASER AND SUB-MODULE	ASIA	-	2	PROPOSED
SSC	NOKIA	TRANSPORT SYSTEM	GS7-87500 (GEN2)	-	1	PROPOSED

LOCATION	VENDOR	EQUIPMENT	MODEL NUMBER	TECHNOLOGY	QTY.	STATUS
1 PER SECTOR	NOKIA	RRU	AF10	GSM 1900, LTE 1900, LTE 2100, N2100 (DARK)	1	PROPOSED
1 PER SECTOR	NOKIA	RRU	AF-10B	N300, LTE 700	3	PROPOSED

EQUIPMENT FEEDLINE KEY						
LOCATION	VENDOR	EQUIPMENT	MODEL NUMBER	TECHNOLOGY	QTY.	STATUS
PER SECTOR	NOKIA	TRUNK CABLE	100M 4227 1A/1B TRUNK CABLE	-	2	PROPOSED

1 EQUIPMENT KEY CONFIGURATION

SCALE NTS

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**UCI**<sup>2</sup>

CONNECTION SERVICES LLC

SITE NAME:

**BLOOMINGTON REDSCOTT**

REPL

SITE ADDRESS

**10801 BLOOMINGTON FERRY ROAD**

**BLOOMINGTON, MN 55438**

SITE COUNTY:

**HENNEPIN COUNTY**

SITE ID:

**A1P0967C**

REVISIONS

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STAMPING SIGNATURE

Professional Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: *Ryan Thomas Gersbach*

Typed or Printed Name: **Ryan Thomas Gersbach**

Date: 03/27/2015 License Number: **63803**

THE ABOVE AND HEREIN REFERENCED DOCUMENTS SUPERSEDE ANY PREVIOUS EDITIONS OF THIS PROJECT. ALL SETBACKS, DIMENSIONS, AND LOCATIONS SHALL BE AS SHOWN ON THE LATEST EDITION OF THIS PLAN.

SHEET TITLE:

**CONFIGURATION KEYS**

SHEET NUMBER:

**T6.0**

DRAWN BY: GW

CHECKED BY: GW

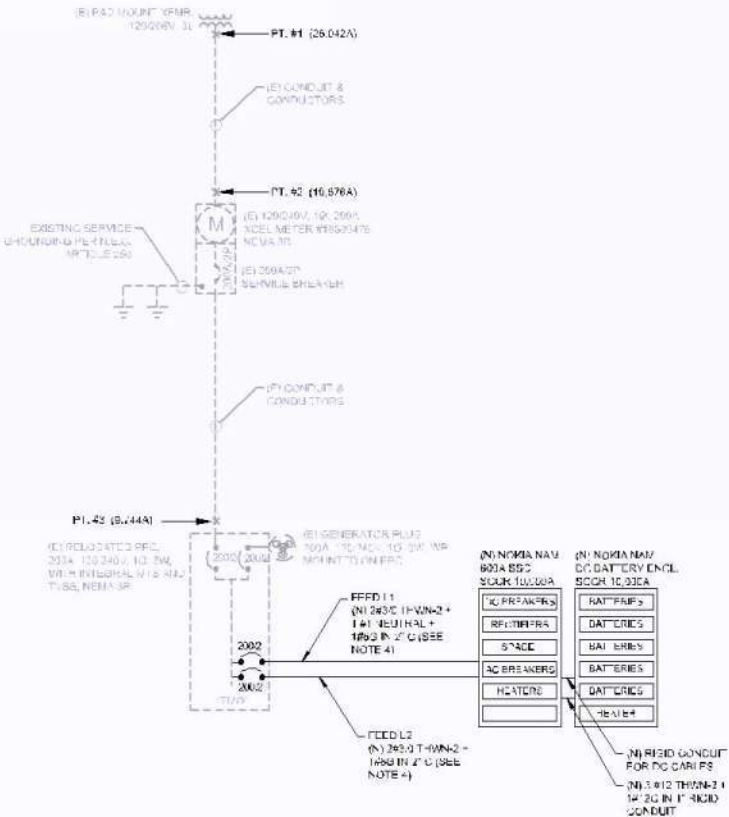
APPROVED BY: CA

TMO Signatory Level: 1.06

**NLG-115130**

NOTES:

1. EXISTING CONDUIT, CONDUCTORS, AND OTHER ITEMS SHOWN ARE AS DESCRIBED TO THE BEST OF THE KNOWLEDGE OF THE ENGINEER, BASED UPON PHOTOGRAPHS AND/OR PREVIOUS DRAWINGS. IF FIELD CONDITIONS DEVIATE SUBSTANTIALLY FROM WHAT IS SHOWN HERE, DRAWINGS AND CALCULATIONS MAY NEED TO BE UPDATED.
2. IF A DIFFERENT TRANSFORMER SIZE IS INSTALLED, OR IT IS INSTALLED IN A DIFFERENT LOCATION, FAULT CALCULATIONS AND LABELING SHOULD BE REVISED BY ENGINEER.
3. ACTUAL VALUES FOR FAULT CURRENT IS SHOWN IN DETAIL 3.
4. CONDUIT SUBJECT TO 100% TRAFFIC SHALL BE GROUND FINAL CONDUIT RUN TO CABINET SHALL BE LIFT.



SHORT CIRCUIT CALCULATIONS BASED UPON POINT METHOD AS ILLUSTRATED IN RUSSMAN PUBLICATION SPEC. 20. FAULT VALUES SHOWN ARE FOR 3P FAULTS ON 50 CIRCUITS AND FOR 1P-TO-1P FAULTS ON 10 CIRCUITS. FAULT CURRENT AT (E) TRANSFORMER SECONDARY:

$P_1$	=	$20,000 \text{ VA}$			
$I_1$	=	$\frac{20,000 \text{ VA}}{240 \text{ V} \times \sqrt{3}}$	=	$\frac{20,000 \text{ VA}}{415.69 \text{ V}}$	= 48.4
$I_{1L}$	=	$\frac{I_1}{1.73}$	=	$\frac{48.4}{1.73}$	= 28.0

FAULT CURRENT AT (E) UTILITY METER:

$P_2$	=	$10,000 \text{ VA}$			
$I_2$	=	$\frac{10,000 \text{ VA}}{240 \text{ V} \times \sqrt{3}}$	=	$\frac{10,000 \text{ VA}}{415.69 \text{ V}}$	= 24.2
$I_{2L}$	=	$\frac{I_2}{1.73}$	=	$\frac{24.2}{1.73}$	= 14.0

FAULT CURRENT AT (E) RELOCATED 200A PFC:

$P_3$	=	$10,000 \text{ VA}$			
$I_3$	=	$\frac{10,000 \text{ VA}}{240 \text{ V} \times \sqrt{3}}$	=	$\frac{10,000 \text{ VA}}{415.69 \text{ V}}$	= 24.2
$I_{3L}$	=	$\frac{I_3}{1.73}$	=	$\frac{24.2}{1.73}$	= 14.0

3 SHORT CIRCUIT CALCULATIONS

ELECTRICAL LOAD CALCULATION

RECEPTACLES	0.2	KVA @100%	=	0.2	KVA
LIGHTING	0.2	KVA @125%	=	0.25	KVA
MECHANICAL	3.1	KVA @100%	=	3.1	KVA
SPECIAL	34.2	KVA @100%	=	34.2	KVA
TOTAL			=	37.6	KVA (181.5A)

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100 S BROADWAY DENVER, CO 80209

UCI<sup>2</sup>

CONNECTION SERVICES LLC

SITE NAME

BLOOMINGTON DREDS SCOTT

REPL

SITE ADDRESS

10810 BLOOMINGTON

FERRY RD.

BLOOMINGTON, MN 55438

SITE COUNTY

HENNEPIN COUNTY

SITE ID

A1P0967C

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Professional Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: [Signature]

Typed or Printed Name: KENNETH J. HENNINGSON

Date: 03/25/25 License Number: 28040

SHEET TITLE

ONE LINE DIAGRAM & CALCULATIONS

SHEET NUMBER

E1.0

DRAWN BY

SK

CHECKED BY

S3

APPROVED BY

SR

TMO Signatory Level: L06

NLG-115130

PANEL NAME	TMO (EXISTING)	ENCLOSURE TYPE	NFPA 70E	NOTES
VOLTAJE RATING	120/240	MOUNTING TYPE	SURFACE	
CONN. LINE VOLTAGE	208	LOCKABLE CABINET	YES	
PHASE	1 WIRE 3	DOOR-IN-DOOR?	YES	
BUS TYPE	MAIN BREAKER	MFR.	PURCELL	
BUS RATING	200	MOMI		
MAIN BREAKER	200	CAT. NO.	---	
BREAKER VOLT	PLUG-IN	SERIES RATED BY IUPR?	YES	
INTERLOCKING RATING	65/10	FUSE TYPE	NA	

LOAD	POS	CR	A	R	CR	POS	LOAD
SPD (EXISTING)	1	2P50	4782			2	
RECEPTACLE (EXISTING)	2	1P20	150		4972	4	SITE SUPPORT CABINET (SSC) Field #1
EXTERNAL LIGHT (EXISTING)	7	1P20	4782	250	4972	9	
SPARE (EXISTING)	8	2P10	4320			10	
ZAYO (EXISTING)	13	1P20	250		4320	12	SITE SUPPORT CABINET (SSC) Field #2
BLANK	15					14	
BLANK	16				4320	16	
BLANK	17					18	BLANK
BLANK	19					20	BLANK
BLANK	21					22	BLANK
BLANK	23					24	BLANK
			10,344	16,544			

LOAD TYPE	CONN. LOAD	NEC D.F.	NEC LOAD	TOTAL LOAD
RECEPTACLES < 10 KVA	750	X	100%	750
LIGHTING	200	X	125%	250
SMALL MOTOR	---	X	125%	---
UNITARY HVAC EQUIPMENT	3125	X	100%	3125
DC RECTIFIERS	34000	X	100%	34000
OTHER	200	X	100%	200
TOTAL		37,726	VA	37,726

1. NEW BREAKERS TO MATCH EXISTING.

2018.

1. CONTRACTOR SHALL MODIFY PANEL SCHEDULE TO SHOW ACTUAL EQUIPMENT LOADS ON RED. INFO AS BUILT CONSTRUCTION DRAWINGS.

Manufacturer Model No. NORTHSTAR NRS 190FT RED

Cabinet/Rack	Strings	Batteries per String	Total Batteries	Electrolyte per Battery (gal/batt)	Electrolyte (gal)
Site Support Cabinet	4	4	16	2.1	33.6

3 ELECTROLYTE CALCULATIONS

NSB 190FT RED  
Nominal Technical Specifications

Dimensions	Height	Width
Height	72.8 in.	48.8 in.
Width	30 in.	30 in.



NorthStar Battery HT RED Electrolyte Values	Electrolyte				Acid			
	Weight		Volume		Weight		Volume	
	/kg	/lbs	/litres	/gallons	/kg	/lbs	/litres	/gallons
NSB13 HT RED	0.8	1.7	0.6	0.1	0.4	0.9	0.2	0.1
NSB 90 HT RED	6.2	13.6	4.6	1.2	3.4	7.5	1.8	0.5
NSB125 HT RED	8.0	17.6	6.0	1.6	4.4	9.6	2.4	0.6
NSB40FT HT RED	2.6	5.8	2.0	0.5	1.4	3.2	0.8	0.2
NSB60FT HT RED	3.9	8.6	2.9	0.8	2.1	4.7	1.2	0.3
NSB92FT HT RED	5.7	12.5	4.3	1.1	3.1	6.9	1.7	0.5
NSB100FT HT RED	6.1	13.5	4.6	1.2	3.4	7.5	1.8	0.5
NSB110FT HT RED	7.1	15.6	5.3	1.4	4.0	8.7	2.2	0.6
NSB145FT HT RED	8.1	17.9	6.1	1.6	4.5	10.0	2.5	0.7
NSB155FT HT RED	9.6	21.1	7.1	1.9	5.4	11.8	2.9	0.8
NSB170FT HT RED	10.5	23.2	7.8	2.1	4.8	10.5	2.6	0.7
NSB190FT HT RED	10.5	23.2	7.8	2.1	4.8	10.5	2.6	0.7
NSB210FT HT RED	12.1	26.5	9.0	2.0	6.8	14.9	3.7	1.0



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**T-Mobile**

200 S BROADWAY DEVER, CO 80509

**UCI** 2

CONNECTION SERVICES LTD

SITE NAME: BLOOMINGTON DREDS SCOTT

REPL

SITE ADDRESS: 10810 BLOOMINGTON FERRY RD. BLOOMINGTON, MN 55438

SITE COUNTY: HENNEPIN COUNTY

SITE ID: A1P0967C

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STAMPING SIGNATURE

Professional Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: *[Signature]*

Printed or Printed Name: KENNETH J. HANSEN

Unit: 03767276 License Number: 2640

REVISIONS

REVISION NO. 1: 11/15/2024 BY: SR

REVISION NO. 2: 11/15/2024 BY: SR

SHEET TITLE

PANEL SCHEDULE & BATTERY INFO.

SHEET NUMBER

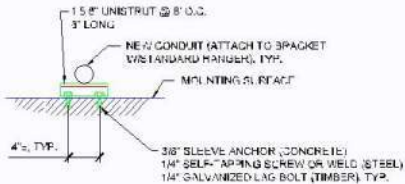
E20

DRAWN BY: G-K BY: APV BY: SB

TMO Signatory Level: L06

NLG-115130





3 SURFACE MOUNTED CONDUIT

2 NOT USED

1 NOT USED

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T-Mobile

100 S BROADWAY DENVER, CO 80209

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CONSTRUCTION SERVICES LLC

SITE NAME

BLOOMINGTONDREDSGOTT

SITE ADDRESS

REPL

SITE ADDRESS

10810 BLOOMINGTON

SITE ADDRESS

FERRY RD.

SITE ADDRESS

BLOOMINGTON, MN 55438

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Professional Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature

Typed or Printed Name: KENNETH DREDSGOTT

Date: 03/25/25 Location: Bloomington, MN

SHEET TITLE

ELECTRICAL DETAILS

SHEET NUMBER

E3.0

DRAWN BY

CHK BY

APP BY

SR

S3

SR

TMO Signatory Level: 1.06

NLG-115130

110



GENERAL CONSTRUCTION NOTES

1. THE FACILITY IS AN UNOCCUPIED WAREHOUSE FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAM/RATIO OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF THIS CONTRACTOR SHALL VERIFY IF ANY SITE AND RE-RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
5. CONSTRUCTION SHALL CONFLICT LOCAL ORDINANCES, HO LINE AND HOUSING ORDER TO PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (IF A SPECIFICALLY INDICATED OTHERWISE) OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
7. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL NECESSARY AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE/JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTING, FIELD SUPERVISOR AND WITH THE AGENCIES AUTHORIZED TO INSURE ANIMAL.
9. DETAILS ARE INTENDED TO SHOWING RESULT OF DESIGN. FIELD MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
10. REPRESENTATIONS OF THE ARCHITECT/ENGINEER IN THESE FOUNDATION, PLAT OF SURVEY DRAWING SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLAT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRUTH AND CORRECTNESS OF THE PLAT OF SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY ERRORS TO NOTIFY THE ARCHITECT/ENGINEER.
11. WEATHER PROTECTING AND/OR FLASHING TO BE PROVIDED BY CONTRACTOR AS REQUIRED.
12. CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT THE EXISTING WEATHERPROOFING MEMBRANE AND FINISH SYSTEM. VERIFY ALL OWNER REQUIREMENTS PRIOR TO COMMENCING WORK. IF AN AREA OF ROOF TO BE COVERED BY THE PROPOSED CONSTRUCTION, PROVIDE ROOF PROTECTION ON ALL ROOF. (RAIN-GUARD) PROTECTION AREAS, AND MINIMIZE ANY DAMAGE TO THE MANUFACTURER'S WARRANTY WRITTEN SPECIFICATIONS. VERIFY ACCEPTABLE ROOFING CONTRACTORS WHICH WILL UPHOLD THE CURRENT ROOF WARRANTY WITH THE BUILDING MANAGEMENT.

STRUCTURAL NOTES

1. DESIGN AND CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE APPROVED EDITION OF THE IBC EDITION AND ALL OTHER APPLICABLE STATE CODES, ORDINANCES, AND REGULATIONS. IN CASE OF CONFLICT BETWEEN THE CODES, STANDARDS AND REGULATIONS SPECIFICATIONS, GENERAL NOTES AND/OR MANUFACTURER'S REQUIREMENTS, USE THE MOST STRINGENT PROVISION.
2. IT IS THE EXPRESS INTENT OF THE PARTIES INVOLVED IN THIS PROJECT THAT THE CONTRACTOR OR SUBCONTRACTOR OR INDEPENDENT CONTRACTOR OR THEIR RESPECTIVE EMPLOYEES SHALL EXPLICITLY THE ARCHITECT, THE ENGINEER, THE CONSTRUCTION MANAGER, THE OWNER, AND THEIR AGENTS, FROM ANY LIABILITY WHATSOEVER AND HOLD THEM HARMLESS AGAINST LOSS, DAMAGES, LIABILITY OR ANY OTHER ANNOYANCE IN ANY MATTER FROM THE WORKING, OR NEGLIGENCE, OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, OR THE CONTRACTING FOR VARIOUS METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FAILURE TO CONFORM TO THE STATE'S SUPERVISING ACT IN CONNECTION WITH THE WORK.
3. DO NOT SCALE DRAWINGS.
4. VERIFY ALL EQUIPMENT MOUNTING DIMENSIONS PER MANUFACTURER DRAWINGS.
5. SUBMIT ONE SET AND TWO PRINTS OF ALL STRUCTURAL SHOP DRAWINGS, MARKED UP SETS SHALL BE RETURNED.

STRUCTURAL STEEL NOTES

1. CHANNELS, ANGLES AND PLATES SHALL BE ASTM A36 MATERIAL, UNLESS NOTED OTHERWISE.
2. SQUARE AND RECTANGULAR TUBE STEEL HSS SECTIONS SHALL BE ASTM A500, GRADE B, (Fy = 43 ksi) MATERIAL.
3. ROUNDED PIPE SECTIONS SHALL BE ASTM A53, GRADE B, (Fy = 55 ksi) MATERIAL.
4. DESIGN, FABRICATION AND Erection SHALL BE IN ACCORDANCE WITH THE ALSO SPECIFICATION FOR THE DESIGN, FABRICATION AND Erection OF STRUCTURAL STEEL FOR BUILDINGS WITH COMMENTARY AND THE CODE OF STANDARD PRACTICE.
5. ALL STEEL SHALL HAVE ONE COAT OF SHOP PRIMER, DO NOT PAINT AREAS WITHIN 6" OF BOLTS, WELDS OR HARD SURFACES.
6. ROADS SHALL BE HIGH STRENGTH ROADS, A505 CONFORMING TO ASTM SPECIFICATIONS. ALL CONNECTIONS SHALL HAVE A MINIMUM OF 2" RIGIDITY.
7. WELDING SHALL BE CONDUCTED BY CERTIFIED WELDERS AND SHALL CONFORM TO THE AWS CODES FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION.
8. WELDS SHALL BE MADE USING E70XX ELECTRODES AND SHALL BE 3/16" MINIMUM UNLESS OTHERWISE NOTED.
9. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1 (D1.1) SPECIFICATION (WPS) AS PER AWS D1.1, D1.3 AND D1.4.
10. ONLY PRE-QUALIFIED WELDING PROCEDURES SHALL BE USED.
11. UNLESS SPECIFICALLY ADDRESSED IN THE SPECIFICATIONS OR THE DETAILS, ALL STEEL ITEMS PERMANENTLY EXPOSED TO EARTH OR WEATHER SHALL BE CORROSION RESISTANT BY GALVANIZING OR BY THE USE OF STAINLESS STEEL.
12. ALL FIELD WELDS ON GALVANIZED MATERIAL SHALL BE DRUGWASHED WITH A ZINC-RICH PAINT.

FRP NOTES

1. ALL FRP MATERIAL SHALL BE EXTREME SERIES SEC OR EQUIVALENT, PRODUCED BY THE PULTRUSION METHOD.

2. ALL ADHESIVE RESIN SHALL BE EPOXY WITH A CURE RATE OF AN EQUIVALENT ADHESIVE RESIN THAT IS COMPATIBLE WITH THE RESIN MATRIX USED IN THE STRUCTURAL SHAPES.
3. ALL FRP CONNECTIONS SHALL BE FULLY WELDED AT EACH SIDE WITH A 1/4" PLATE AND A MINIMUM OF (2) 3/8" DIAMETER HATHAS HP-505W5 PER MEMBER.
4. ISOLAST NUTS AND BOLTS SHALL BE TIGHTENED TO A TIGHT-TIGHT FIT PLUS AN ADDITIONAL 1/2 TURN, PRIOR TO BEING LOCKED WITH EPOXY.
5. ALL FRP BOLTS, BRACKET AND NUTS SHALL BE FULLY WELDED WITH 1/4" PLATE AND HP-505W5 PER MEMBER.
6. ALL FIELD CUT AND DRILLED HOLES SHALL BE REINFORCED WITH A CATALYZED EPOXY RESIN COMPATIBLE WITH THE MANUFACTURER'S ORIGINAL RESIN.

STANDARDS FOR ALL CONCRETE WORK

1. ALL CONCRETE WORK SHALL CONFORM WITH ACI 308.1 LATEST, DETAIL REINFORCING IN CONFORMANCE WITH ALL SPEC LATEST.
2. NO SPALLS OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. REPAIR SPALLS WHERE PERMITTED SHALL BE A MINIMUM OF 30 BAR DIAMETERS.
3. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING IN POSITIONS SHOWN ON DRAWINGS.
4. WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS SHALL BE TIED TOGETHER.
5. CURR AFTER FINISHING CONCRETE, KEEP MOIST FOR 7 DAYS AFTER POURING.
6. CONTACT STRUCTURAL WITH 95% PROPORTION DENSITY PRIOR TO PLACING CONCRETE UNDER SLABS.
7. ALL CRACKS ON ALL CORNERS AND EDGES.
8. ALL CONCRETE SHALL BE PORTLAND TYPE 1 (EMMENT) WITH A MINIMUM OF 28 DAY STRENGTH OF 3000 PSI, 4" SLUMP AND A MINIMUM AIR ENTRAINMENT OF 4%.
9. ALL REINFORCING STEEL SHALL BE GRAD 60, ALL REINFORCING MATERIALS CONFORM TO ASTM A 615.

ELECTRICAL NOTES

1. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD VERIFICATION.
2. THESE PLANS ARE DIAGRAM/RATIO ONLY, AND NOT TO BE SCALED.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATING SYSTEM. EMBEDDED IN CONCRETE AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE OR EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITERS LABORATORY AND SHALL BEAR THE INSPECTION LABEL. IF WORKING SUBJECT TO SUCH APPROVAL. MATERIALS SHALL BE USED WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NFPA.
5. ALL CONDUIT INSTALLED SHALL BE SURFACE MOUNTED UNLESS OTHERWISE NOTED.
6. ELECTRICAL CONTRACTOR SHALL CARRY OUT HIS WORK WITH ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL CODES AND OSHA.
7. ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY ELECTRICAL PERMITS, AND PAY ALL REQUIRED FEES.
8. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF NO LESS THAN ONE YEAR AFTER THE DATE OF JOB COMPLETION. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE DEFECTIVE DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
9. ALL CONDUIT ON V (2) (3) SHALL HAVE A PULL WIRE OR ROPE, AND TRIPLE TAPE.
10. PROVIDE TIE OFF WITH ONE SET OF COMPLETE DIMENSIONS AND CIRCUITS, WITHIN 10 WORKING DAYS OF PROJECT COMPLETION. ELECTRICAL AS BUILT DRAWINGS, SHOWING ACTUAL LOCATION OF CONDUITS.
11. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO PROJECT MANAGER AT JOB COMPLETION.
12. USE 1/4" WIRE CONNECTORS ON ALL MULTI-CORRECTION WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE. ALL CONDUCTORS SHALL BE COPPER.
13. THE EXTERIOR GROUND RING SHALL BE TESTED PER CODE SPECIFICATIONS AND SHALL HAVE A RESISTANCE TO EARTH OF 5 OHMS OR LESS, IF NOT NOTIFIED ENGINEER.
14. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT-CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
15. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDING AS REQUIRED BY ALL APPLICABLE CODES.
16. PATCH, PEPAIR, AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
17. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES OR PENETRATIONS TO PROVIDE FOR PIPING OR CONDUITS, DRILLING SHALL BE IN THE MIDDLE OF THE WALL. UNDERSTOOD THAT CONDITIONS AND REPAIRS WILL NOT BE DRILLED INTO, CUT, OR DAMAGED UNDER ANY CIRCUMSTANCES.
18. LOCATION OF TENDONS IN REAR WALLS ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE STAMPED BY THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. DRILLING SHALL BE IN THE MIDDLE OF THE WALL. UNDERSTOOD THAT CONDITIONS AND REPAIRS WILL NOT BE DRILLED INTO, CUT, OR DAMAGED UNDER ANY CIRCUMSTANCES.

19. PENETRATIONS IN PIPE RATED WALLS SHALL BE STOPPED IN ACCORDANCE WITH APPLICABLE LOCAL BUILDING CODES, USING LISTED MATERIALS.
20. ELECTRICAL CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL PICK-UP COSTS SHALL BE PAID BY THE CONTRACTOR.
21. ELECTRICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CALCULATIONS ON ALL NON-SPECIFIED ORIGINAL MATERIALS AND EQUIPMENT TO PROJECT MANAGER PRIOR TO COMMENCEMENT OF THE WORK.
22. UPON COMPLETION OF WORK, CONDUCT CONTINUITY AND SHORT CIRCUIT, AS WELL AS, GROUNDING (E.G.T. GROUNDING) (E.G.T. SHALL BE PROVIDED BY MANUFACTURER) AND ADVISORY WITHIN 10 REPORT SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL.
23. OBTAIN PERMITS DAILY OF ALL OTHERS STOPPING FROM WORK AND LEAVE WORK PERMITS IN A COMPLETE AND UNDAMAGED CONDITION.
24. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED WITH POLYSEAL SEALANT.
25. ALL 42 INCH DARE COPPER DOWNLEADS TO BE PROTECTED BY 1/2" PVC PIPE AND SECURED.
26. COMPRESSION FITTINGS TO BE USED ON ALL CONDUITS (NO SET SCREWS).
27. ALL 42 STRAND COPPER WITH 100% INSULATION TO BE ATTACHED TO CORROSION PROTECTIVE ATTACHED WITH NUTS, BOLTS AND STAR WASHERS TYPICAL AND NO OX GREASE BETWEEN NUTS AND BOLT BAR.
28. ALL ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED CONDUIT WITH WEATHERPROOF FITTINGS.

GROUNDING

1. ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING MANUFACTURER, T-MOBILE GROUNDING AND BONDING STANDARDS, AND THE NATIONAL ELECTRICAL CODE.
2. PROVIDE ELECTRICAL GROUNDING AND BONDING SYSTEM INDICATED WITH ASSEMBLY OF MATERIALS INCLUDING GROUNDING ELECTRODES, BONDING JUNCTIONS AND ADDITIONAL ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
3. ALL GROUNDING CONDUCTORS SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND WITH GRADUAL BEND AS REQUIRED. GROUNDING CONDUCTORS SHALL NOT BE LOCATED OR SHARPLY BENT. ROUTE GROUNDING CONNECTIONS AND CONDUCTORS TO GROUND IN THE SHORTEST AND STRAIGHTEST PATHS POSSIBLE TO MINIMIZE TRANSIENT VOLTAGE RISKS. BUILDINGS AND NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND WHERE THE MAIN.
4. GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE. THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOF TOP, OWNERS AND WATER COVERS GROUND RING TO THE EXISTING GROUNDING SYSTEM. THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 4 AWG COPPER. ROOF TOP GROUNDING SHALL BE ROUNDED TO THE EXISTING GROUNDING SYSTEM. THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND GROUNDING MAIN WATER LINE, PETROLEUM OR NON-PETROLEUM METAL PIPING ONLY.
5. TIGHTEN GROUNDING AND BONDING CONNECTORS INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS. (WHERE MANUFACTURER'S TORQUE REQUIREMENTS ARE NOT AVAILABLE, TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL TO ASSURE PERMANENT AND EFFECTIVE GROUNDING. CONNECTIONS SHALL VERIFY THE LOCATION OF GROUNDING. TIGHTENING IS TO THE EXISTING.
6. ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE MADE BY THE GROUNDING SYSTEM. EXOTHERMIC WELD PROCESS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
7. ALL GROUNDING CONNECTIONS SHALL BE INSPECTED FOR TIGHTNESS. EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BY THE INSPECTOR HAVING JURISDICTION BEFORE BEING PERMANENTLY CONCEALED.
8. APPLY CORROSION RESISTANCE FINISH TO FIELD CONNECTIONS AND PLACES WHERE FACTORY APPLIED PROTECTIVE COATINGS HAVE BEEN DESTROYED.
9. A SEPARATE CONTINUOUS INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED ALL FEEDER AND BRANCH CIRCUITS.
10. TYPICAL 1/2" ATTD GROUNDING BUSININGS WITH A RARE 3/4" GROUNDING CONDUCTOR TO A GROUND BUS.
11. DIRECT BURIED GROUNDING CONDUCTORS SHALL BE INSTALLED AT A NOMINAL DEPTH OF 36" MINIMUM BELOW GRADE, OR 8" BELOW THE FROST LINE, USE THE GREATER OF THE TWO DISTANCES.
12. ALL GROUNDING CONDUCTORS EMBEDDED IN OR PENETRATING CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT.
13. THE INSTALLATION OF GROUNDING SYSTEM SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. RETURN STAIR TIE FROM TIE LACING AND DRIFTATION LINES, INSTALL PROTECTIVE BOXES WITH GRADE.
14. DRIVE GROUND RODS UNTIL TOPS ARE A MINIMUM DISTANCE OF 36" DEPTH OR 8" BELOW FROST LINE USING THE GREATER OF THE TWO DISTANCES.
15. IF COAX ON THE ICE BRIDGE IS MORE THAN 6" FROM THE GROUND SURFACE, THE BASE OF THE TOWER, A SECOND GROUND ROD SHALL BE NEEDED AT THE END OF THE ICE BRIDGE, TO GROUND THE COAX CABLE GROUNDING KIT'S AND INLINE ARRESTORS.
16. CONTRACTOR SHALL REPAIR AND/OR REPLACE EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.

PRESENTED BY

T-Mobile

100 S BROADWAY DENVER, CO 80202

UCI

CONSTRUCTION SERVICES LLC

SITE NAME

BLOOMINGTON DREDS SCOTT

REPL

SITE ADDRESS

10801 BLOOMINGTON

FERRY ROAD

BLOOMINGTON, MN 55438

SITE COUNTY

HENNEPIN COUNTY

SHEET ID

A1P0957C

REVISIONS			
Rev.	Date	Description	By
0	08/18/24	ISSUE CONSTRUCTION	GW
1	08/26/25	FINAL STAMPED	GW
2			
3			
4			
5			
6			
7			

STAMPING SIGNATURE LINE

Professional Engineer  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: *Ryan Thomas Gaudin*  
Typed or Printed Name: Ryan Thomas Gaudin  
License Number: 63863

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN1.0

DRAWN BY: GW  
CHECK BY: GW  
APPROVED BY: CA

TMO Signatory Level: 06  
NLG-115130

111



# MONOPOLE REINFORCEMENT DRAWINGS

## SITE INFORMATION

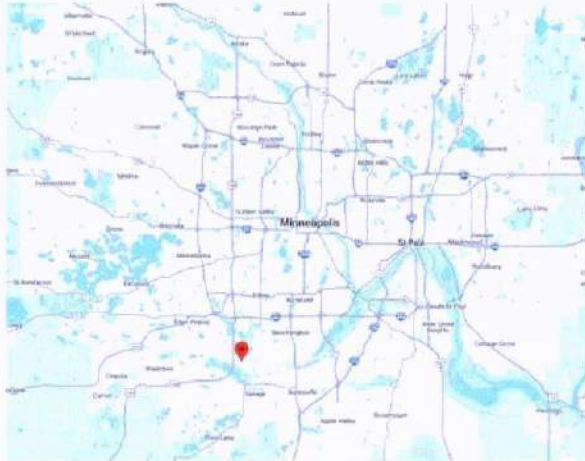
**SITE NAME:** Bloomingtonredscott Repl

**SITE NUMBER:** A1P0967C

### SITE ADDRESS:

10801 Bloomington Ferry Rd

Bloomington, MN 55438, Hennepin County



## PROJECT CONTACTS

### 1) TOWER OWNER

City of Bloomington  
1800 W. Old Shakopee Rd  
Bloomington, MN 55431

### 2) CONSTRUCTION MANAGER

Unknown

### 3) ENGINEER OF RECORD (EOR)

Shawn D. Cook, P.E.  
4795308627  
Shawn.Cook@atowereng.com  
4710 Portofino Dr.  
Longmont, CO 80503

## TOWER INFORMATION

**TOWER MANUFACTURER:** Unknown  
**TOWER HEIGHT/TYPE:** 74 FT  
**TOWER LOCATION:** LAT: 44.8085  
LONG: -93.3883  
**ATE ID:** #: 038970750008

## CODE COMPLIANCE

THIS REINFORCEMENT DESIGN IS BASED ON THE REQUIREMENTS OF TIA STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES USING:

**TIA CODE:** TIA-222-H

**BASIC WIND SPEED:** 109

**ICE THICKNESS:** 1.50

**WIND SPEED WITH ICE:** 50

**SERVICE LOAD WIND SPEED:** 60

**EXPOSURE CATEGORY:** C

## DRAWINGS INCLUDED

SHEET NUMBER	DESCRIPTION
S-1	TITLE PAGE
S-2	MODIFICATION INSPECTION CHECKLIST
S-3	NOTES
S-4	NG2 BOLT NOTES AND DETAILS
S-5	FORGBOLT NOTES AND DETAILS
S-6	AJAX BOLT SPECIFICATIONS
S-7	BASE PLATE WELD DETAIL
S-8	ELEVATION
S-9	REINFORCEMENT LAYOUT
S-10	REINFORCEMENT DETAILS
S-11	EXTENSION DETAILS
S-12	DETAILS

### General Notes



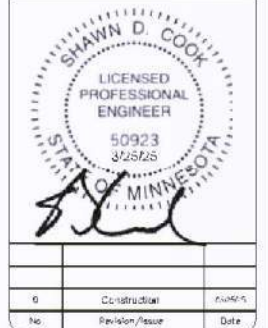
4710 Portofino Drive  
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### Report Prepared For:



4751 Fox St  
Denver, CO 80216

### ENGINEER'S PROFESSIONAL SEAL



**Project Name and Address:**  
A1P0967C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

**Draw Title:**  
**TITLE PAGE**

**Project:** 038970750008  
**Date:** 03/25/2025  
**Drawn By:** BLU  
**Checked By:** SC  
**Sheet:** S-1

TMD Signatory Level: L06  
NLG-115130

## MODIFICATION INSPECTION NOTES

### MI CHECKLIST

CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY GC)	REPORT ITEM
<b>PRE-CONSTRUCTION</b>	
X	MI CHECKLIST DRAWING
X	EOR APPROVAL
NA	FABRICATION INSPECTION
X	FABRICATOR CERTIFIED WELD INSPECTION
X	MATERIAL TEST REPORT (MTR)
NA	FABRICATOR NOISE INSPECTION
X	NOTICE TO PROCEED (NTP) BASE PLATE
X	PACKING SLIPS

#### ADDITIONAL TESTING AND INSPECTIONS:

Name

### CONSTRUCTION

X	CONSTRUCTION INSPECTIONS
NA	FOUNDATION INSPECTIONS
NA	CONCRETE COMP. STRENGTH AND SLUMP TESTS
X	POST-INSTALLED ANCHOR ROD VERIFICATION
NA	BASE PLATE GROUT VERIFICATION
X	CONTRACTORS CERTIFIED WELD INSPECTION AND MTR REPORTS
NA	EARTHWORK LIFT AND DENSITY
X	ON SITE COLD GALVANIZING VERIFICATION
NA	WIRE TENSION REPORT
X	GC AS BUILT DOCUMENTS

#### ADDITIONAL TESTING AND INSPECTIONS:

Name

### POST-CONSTRUCTION

X	MI INSPECTOR RECLINE OR RECORD DRAWING(S)
X	POST-INSTALLED ANCHOR ROD PULL OUT TESTING
X	PHOTOGRAPHS

#### ADDITIONAL TESTING AND INSPECTIONS:

Name

NOTE: X DENOTES A DOCUMENT REQUIRED FOR THE MI REPORT  
NA DENOTES A DOCUMENT THAT IS NOT REQUIRED FOR THE MI REPORT

### GENERAL

THE MODIFICATION INSPECTION (MI) IS A VISUAL INSPECTION OF TOWER MODIFICATIONS AND A REVIEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY THE MODIFICATION DRAWINGS, AS DESIGNED BY THE ENGINEER OF RECORD (EOR).

THE MI IS TO CONFIRM INSTALLATION CONFIGURATION AND WORKMANSHIP ONLY AND IS NOT A REVIEW OF THE MODIFICATION DESIGN ITSELF. NOR DOES THE MI INSPECTOR TAKE OWNERSHIP OF THE MODIFICATION DESIGN. OWNERSHIP OF THE STRUCTURAL MODIFICATION DESIGN EFFECTIVENESS AND INTEGRITY REMAINS WITH THE EOR AT ALL TIMES.

TO ENSURE THAT THE REQUIREMENTS OF THE MI ARE MET, IT IS VITAL THAT THE GENERAL CONTRACTOR (GC) AND THE MI INSPECTOR BEGIN COMMUNICATIONS AND COORDINATION AS SOON AS A PURCHASE ORDER (PO) IS RECEIVED. IT IS EXPECTED THAT EACH PARTY WILL BE PROACTIVE IN REACHING OUT TO THE OTHER PARTY. IF CONTACT INFORMATION IS NOT KNOWN, CONTACT THE EOR OR CONSTRUCTION MANAGER.

### MI INSPECTOR

THE MI INSPECTOR IS REQUIRED TO CONTACT THE GC AS SOON AS RECEIVING A PO FOR THE MI TO, AT A MINIMUM:

- REVIEW THE REQUIREMENTS OF THE MI CHECKLIST
- WORK WITH THE GC TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE INSPECTIONS, INCLUDING FOUNDATION INSPECTIONS

THE MI INSPECTOR IS RESPONSIBLE FOR COLLECTING ALL GC INSPECTION AND TEST REPORTS, REVIEWING THE DOCUMENTS FOR ADHERENCE TO THE CONTRACT DOCUMENTS, CONDUCTING THE FIELD INSPECTIONS, AND SUBMITTING THE MI REPORT TO THE EOR.

### GENERAL CONTRACTOR

THE GC IS REQUIRED TO CONTACT THE MI INSPECTOR AS SOON AS RECEIVING A PO FOR THE MODIFICATION INSTALLATION OR "TURNKEY" PROJECT TO, AT A MINIMUM:

- REVIEW THE REQUIREMENTS OF THE MI CHECKLIST
- WORK WITH THE MI INSPECTOR TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE MI INSPECTIONS, INCLUDING FOUNDATION INSPECTIONS
- BETTER UNDERSTAND ALL INSPECTION AND TESTING REQUIREMENTS

THE GC SHALL PERFORM AND RECORD THE TEST AND INSPECTION RESULTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MI CHECKLIST.

### RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS AND SUGGESTIONS ARE OFFERED TO ENHANCE THE EFFICIENCY AND EFFECTIVENESS OF DELIVERING AN MI REPORT:

- IT IS SUGGESTED THAT THE GC PROVIDE A MINIMUM OF 5 BUSINESS DAYS NOTICE, PREFERABLY 10, TO THE MI INSPECTOR OR AS TO WHEN THE SITE WILL BE READY FOR THE MI TO BE CONDUCTED.
- THE GC AND MI INSPECTOR COORDINATE CLOSELY THROUGHOUT THE ENTIRE PROJECT.
- WHEN POSSIBLE, IT IS PREFERRED TO HAVE THE GC AND MI INSPECTOR ON-SITE TOGETHER FOR ANY GUY WIRE TENSIONING OR RE-TENSIONING OPERATIONS.
- IT MAY BE BENEFICIAL TO INSTALL ALL TOWER MODIFICATIONS PRIOR TO CONDUCTING THE FOUNDATION INSPECTIONS TO ALLOW THE FOUNDATION AND MI INSPECTIONS TO COMMENCE WITH ONE SITE VISIT.
- WHEN POSSIBLE, IT IS PREFERRED TO HAVE THE GC AND MI INSPECTOR ON-SITE DURING THE MI TO HAVE ANY DEFICIENCIES CORRECTED DURING THE INITIAL MI. THEREFORE, THE GC MAY CHOOSE TO COORDINATE THE MI CAREFULLY TO ENSURE ALL CONSTRUCTION FACILITIES ARE AT THEIR DISPOSAL WHEN THE MI INSPECTOR IS ON-SITE.

### CANCELLATION OR DELAYS IN SCHEDULED MI

IF THE GC AND MI INSPECTOR AGREE TO A DATE ON WHICH THE MI WILL BE CONDUCTED, AND EITHER PARTY CANCELS OR DELAYS, THE EOR SHALL NOT BE RESPONSIBLE FOR ANY COSTS, FEES, LOSS OF PROFITS AND/OR OTHER FINANCIAL DAMAGES RELATED TO THE CANCELLATION OR DELAY INCURRED BY EITHER PARTY, NOR FOR ANY TRAVEL AND LODGING COSTS OF KEEPING EQUIPMENT ON-SITE, ETC. IF THE EOR CONTRACTS DIRECTLY FOR A THIRD PARTY MI INSPECTIONS, THERE MAY BE MADE IN THE EVENT THAT THE DELAY/CANCELLATION IS CAUSED BY WEATHER OR OTHER CONDITIONS THAT MAY COMPROMISE THE SAFETY OF THE PARTIES INVOLVED.

### CORRECTION OF FAILING MI'S

IF THE MODIFICATION INSTALLATION WOULD FAIL THE MI-CALLED MI'S, THE GC SHALL WORK WITH THE EOR TO COORDINATE A REMEDIATION PLAN IN ONE OF TWO WAYS:

- CORRECT FAILING ISSUES TO COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE ORIGINAL CONTRACT DOCUMENTS AND COORDINATE A SUPPLEMENTAL
- OR, REANALYZE THE MODIFICATION REINFORCEMENT USING THE AS-BUILT CONDITION

### REQUIRED PHOTOS

BETWEEN THE GC AND THE MI INSPECTOR THE FOLLOWING PHOTOGRAPHS, AT A MINIMUM, ARE TO BE TAKEN AND INCLUDED IN THE MI REPORT:

- PRE-CONSTRUCTION GENERAL SITE CONDITION
- PHOTOGRAPHS DURING THE REINFORCEMENT MODIFICATION CONSTRUCTION/ERECTION AND INSPECTION
  - RAW MATERIALS
  - PHOTOS OF ALL CRITICAL DETAILS
  - FOUNDATION MODIFICATIONS
  - WELD PREPARATION
  - RO INSTALLATION
  - FINAL INSTALLED CONDITION
  - SURFACE COATING REPAIR
- POST-CONSTRUCTION PHOTOGRAPHS
- FINAL FIELD CONDITION

PHOTOS OF CRITICAL MODIFICATIONS TAKEN ONLY FROM THE GROUND SHALL BE CONSIDERED INADEQUATE.

General Notes



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Report Prepared For:



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Denver, CO 80216

ENGINEER OF RECORD SEAL



Project Name and Address:  
A1P0867C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

### MODIFICATION INSPECTION CHECKLIST

Project	0344920250008	Sheet	S-2
Date	03/25/2025		
Drawn By	BL	Checked By	

TMO Signatory Level: L06  
NLG-115130



## GENERAL NOTES

1. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST BE EXPERIENCED IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED, THAT HE IS PROPERLY LICENSED, AND THAT HE IS PROPERLY REGISTERED TO DO THE WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
2. THE GENERAL NOTES AND TYPICAL DETAILS ARE APPLICABLE TO ALL PARTS OF THE STRUCTURE AND SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS AND PROJECT SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS FROM ALL AUTHORITIES HAVING JURISDICTION FOR THIS PROJECT AND SHALL NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER 24 HOURS IN ADVANCE OF THE BEGINNING OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
5. ERECT GUARDS AND BARRIERS PER APPLICABLE LABOR AND CONSTRUCTION SAFETY REGULATIONS.
6. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, POSSIBLE INTERFERENCES, AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER OF RECORD (EOR) AND FIELD PERSONNEL IMMEDIATELY. ANY AND ALL FIELD DISCREPANCIES SHALL BE APPROVED AND DOCUMENTED BY THE EOR PRIOR TO FIELD IMPLEMENTATION.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR TWO (2) YEARS FROM THE DATE OF COMPLETED CONSTRUCTION.
8. USE ONLY THE LATEST EDITIONS OF ANY APPLICABLE CODES, STANDARDS, OR REGULATIONS MENTIONED IN THE FOLLOWING NOTES AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
9. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AWS, ASTM, AISC, AND AISC STANDARDS AS REFERENCED IN THE APPLICABLE CODES.
10. STRUCTURAL ELEMENTS SHOWN ON THESE DRAWINGS ARE DESIGNED IN ACCORDANCE WITH APPLICABLE BUILDING CODES STANDARDS. ALL CONSTRUCTION, EXCEPT WHERE NOTED OTHERWISE, SHALL COMPLY WITH THOSE CODES/STANDARDS.
11. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FLAWS AND DEFECTS, AND IN CONFORMANCE WITH THE DRAWINGS. ANY AND ALL SUBSTITUTIONS MUST BE FULLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
12. ALL MANUFACTURER'S HARDWARE ASSEMBLY INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS A RESPONSIBLE PARTY FOR ENSURING THAT ALL CONSTRUCTION PROCEEDS MEET THE REQUIREMENTS OF OSHA, THE OWNER, AND ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS.
14. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITIES, INCLUDING WORK SCHEDULE AND MATERIAL ACCESS, WITH THE RESIDENT LEASING AGENT.
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SAFEGUARD ALL EXISTING STRUCTURES OR BURIED SERVICES AFFECTED BY THIS CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR TEMPORARILY RELOCATING ANY LINES OR STRUTS AS NECESSARY TO COMPLETE THE REQUIRED WORK.
16. STRUCTURAL DEFENSES FOR THE COMPLETE CONDITION ONLY. THE CONTRACTOR MUST BE AWARE THAT THE REMOVAL OF ANY STRUCTURAL COMPONENT OF AN EXISTING TOWER HAS THE POTENTIAL TO CAUSE THE PARTIAL OR COMPLETE COLLAPSE OF THE STRUCTURE. ALL NECESSARY PRECAUTIONS MUST BE TAKEN TO ENSURE STRUCTURAL INTEGRITY, INCLUDING, BUT NOT LIMITED TO, ENGINEERING ASSESSMENT OF CONSTRUCTION STRESSES WITH INSTALLATION MAXIMUM WIND SPEED AND OR TEMPORARY BRACING AND SHORING.
17. DO NOT SCALE DRAWINGS.
18. FOR THIS ANALYSIS AND MODIFICATION, THE TOWER HAS BEEN ASSUMED TO BE IN GOOD CONDITION WITHOUT ANY DEFECTS. IF THE CONTRACTOR OBSERVES ANY INDICATION OF AN EXISTING STRUCTURAL DEFECT, CONTACT THE ENGINEER OF RECORD IMMEDIATELY.
19. MODIFICATION WORK SHALL BE COMPLETED IN CALM WIND CONDITIONS / OR APPROPRIATE WIND SPEED FOR THE TYPE OF MODIFICATION WORK TO BE INSTALLED.
20. THE CLIMBING FACILITIES SAFETY CLIMB AND ALL PARTS THEREOF SHALL NOT BE INJECTED, MODIFIED OR ALTERED WITHOUT THE EXPRESS APPROVAL OF THE ENGINEER OF RECORD.

## STRUCTURAL STEEL NOTES

1. DESIGN, FABRICATION, ERECTION, ALTERATION AND MAINTENANCE SHALL CONFORM TO THE FOLLOWING, UNLESS NOTED OTHERWISE: (UNLESS NOTED OTHERWISE)
  - A. AISC 360: STRUCTURAL STANDARD FOR STEEL BUILDINGS AND ANTENNAS
  - B. AISC 360: INSTALLATION, ALTERATION, AND MAINTENANCE OF STEEL BUILDINGS AND ANTENNAS
  - C. AISC 360: MANUAL OF STEEL CONSTRUCTION
2. ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: (UNLESS NOTED OTHERWISE)
  - A. STRUCTURAL STEEL: ASTM A572 GRADE 50 (FY = 50 KSI)
  - B. ALL BOLTS: ASTM A325 TYPE 1 (24-POINTED HIGH-STRENGTH BOLTS)
  - C. ALL NUTS: ASTM A308 CARBON AND ALLOY STEEL NUTS
  - D. ALL WAS: (IF NOT SPECIFIED) ASTM A308
3. HOLES SHALL NOT BE FLAME CUT IN STEEL UNLESS APPROVED BY THE ENGINEER OF RECORD.
4. ALL FASTENERS SHALL NOT BE REUSED.
5. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED ASTM A325 BOLTS.
6. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
7. HOT-SPOT GALVANIZING: ALL ITEMS, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE GALVANIZED PER ASTM A123, ASTM A153, OR ASTM A593, AS APPLICABLE.

8. AFTER FINAL INSPECTION, ALL EXPOSED STRUCTURAL STEEL AS THE RESULT OF THIS SCOPE OF WORK INCLUDING WELDS, FIELD DRILLED HOLES, AND SHAPED MEMBERS (WHERE ACCESSIBLE) SHALL BE CLEANED AND COATED WITH TWO COATS OF ZINC-RICH OR A PROVED EQUAL ZINC RICH PRIMER COAT GALVANIZING APPLIED BY BRUSH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROTECTIVE DOCUMENTATION IS REQUIRED TO BE SUBMITTED TO THE INSPECTOR.

## WELDING NOTES

1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE AWS D1.1/D1.1M, "STRUCTURAL WELDING CODE-STEEL".
2. ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.
3. ALL ARC WELDING SHALL BE DONE IN ACCORDANCE WITH A "CUTTING AND WELDING SAFETY PLAN" AND AWS D1.1 (LATEST EDITION). THE CONTRACTOR IS RESPONSIBLE FOR THE "CUTTING AND WELDING PLAN". THIS SHALL INCLUDE A CERTIFIED WELDING INSPECTOR (CWI) FOR ACCEPTANCE OF ALL WELDING OPERATIONS. PRE-HEATING, POST-HEATING, IF ACCEPTANCE CRITERIA OF AWS D1.1, THE CWI SHALL WORK WITH THE CONTRACTOR TO DETERMINE THE INTERACTION NEEDED TO COMPLY WITH THE WELDING INSPECTION. THE CERTIFIED WELDING INSPECTION IS THE RESPONSIBILITY OF THE CWI.
4. FOR ALL WELDING, USE E60XX ELECTRODES FOR SMAW PROCESS AND E60XX ELECTRODES FOR FCAW PROCESS, UNLESS NOTED OTHERWISE.
5. SURFACES TO BE WELDED SHALL BE FREE FROM SCALE, SLAG, RUST, MOISTURE, GREASE OR ANY OTHER FOREIGN MATERIAL THAT WOULD INTERFERE WITH WELDING. GRIND THE SURFACE ADJACENT TO THE WELD FOR A DISTANCE OF 2" MINIMUM ALL AROUND. ENSURE BOTH AREAS ARE 100% FREE OF ALL GALVANIZING.
6. DO NOT WELD ON THE "TEMPERATURE" OF THE STEEL IN THE VICINITY OF THE WELD. WELDING SHALL BE DONE AT A TEMPERATURE BETWEEN 32°F AND 120°F. PRE-HEAT AND MAINTAIN THE STEEL IN THE VICINITY OF THE WELD AREA AT 70°F DURING THE WELDING PROCESS.
7. DO NOT WELD ON WET OR PROTECT-COVERED SURFACES & PROVIDE ADEQUATE PROTECTION FROM HIGH WINDS.
8. FULL PENETRATION WELDS IN THE VICINITY OF THE BASE OF THE TOWER ARE REQUIRED TO BE 100% INSPECTED BY UT IN ACCORDANCE WITH AWS D1.1.
9. PARTIAL PENETRATION AND RILET WELDS IN THE VICINITY OF THE BASE OF THE TOWER ARE REQUIRED TO BE 50% INSPECTED BY UT IN ACCORDANCE WITH AWS D1.1.

## FOUNDATION NOTES

1. CONCRETE AND REINFORCEMENT INSTALLATION SHALL CONFORM TO THE MOST RECENT EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
2. INSTALLATION OF CONCRETE DURING COLD WEATHER CONDITIONS SHALL BE PERFORMED IN ACCORDANCE WITH ACI 308.1-90 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETE.
3. REINFORCEMENT SHALL BE REFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A630 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS FULLY APPROVED IN WRITING BY THE ENGINEER OF RECORD.
4. WELDING IS PROHIBITED ON REINFORCING STEEL AND ANCHORAGE.
5. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF AT LEAST 4000 PSI AT 28 DAYS.
6. CONCRETE COVER FROM EXPOSED SURFACE OF CONCRETE TO SURFACE OF REINFORCEMENT SHALL NOT BE LESS THAN 3 INCHES. ALL REINFORCING SHALL BE LOCALLY SHAGGED UNLESS NOTED OTHERWISE.
7. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.
8. CARE SHALL BE TAKEN DURING INSTALLATION OF DOWELS SO THAT EXISTING REINFORCING STEEL AND ANCHOR RODS ARE NOT DAMAGED. CONTRACTOR SHALL USE X-RAY OR OTHER ENGINEER APPROVED NON-DESTRUCTIVE MEANS TO LOCATE EXISTING REINFORCING STEEL AND ANCHOR RODS. CONTACT ENGINEER IMMEDIATELY IF EXISTING STEEL IS ENCOUNTERED.
9. ALL EXISTING CONCRETE TO WHICH NEW CONCRETE WILL BE ATTACHED SHALL BE CLEANED OF ALL DIRT WITH A STIFF WIRE BRUSH AND COATED WITH A CONCRETE BONDING AGENT, WHERE THE NEW CONCRETE WILL BE PLACED.
10. DOWEL HOLES MUST BE CLEANED BEFORE INSERTING EPOXY AND DOWELS. INSTALL DOWELS IN ACCORDANCE WITH THE EPOXY BEING USED.
11. REINFORCING BARS SHALL BE TIED WITH THE WIRE AT ALL INTERSECTIONS. REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS AND STANDOFFS PLACED NO MORE THAN 4 INCHES ON CENTER.
12. CONCRETE SHALL BE PLACED AS SOON AS PRACTICAL AFTER EXCAVATING TO AVOID DISTURBANCE OF BEARING AND SIDE WALL SURFACES.
13. CONCRETE SHALL BE CONSOLIDATED BY VIBRATION.
14. EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4-INCH BY 3/4-INCH.
15. STRUCTURAL BACKFILL MUST BE COMPACTED IN 8 INCH TO 12 INCH LOOSE LIFTS TO A 95% OF MAXIMUM DRY DENSITY AT WITHIN 10% OF 95% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM 1557. BACKFILL MUST BE CLEAN AND FREE OF ORGANIC AND FROTHY MATERIALS.
16. WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND SAFETY REGULATIONS. THE FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE LOCAL BUILDING OFFICIALS FOR ANY INSPECTIONS THAT MAY BE REQUIRED.
17. SUMP PUMPS OR OTHER DEWATERING EQUIPMENT MAY BE REQUIRED TO KEEP THE EXCAVATION DRY WHILE INSTALLING.
18. EXCAVATING MAY BE DIFFICULT DUE TO SITE OBSTRUCTIONS. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY MEASURES TO PROTECT EXISTING STRUCTURES, FOUNDATIONS AND UTILITIES DURING EXCAVATION AND CONSTRUCTION OF THE FOUNDATION.

**DETAIL DRAWINGS SHALL GOVERN  
OVER ANY VARIANCE FROM THIS SHEET**

General Notes



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(479) 530-8627  
www.atowereng.com

Report Prepared For:



CONSTRUCTION SERVICES, LLC

4751 Fox St  
Denver, CO 80216

ENGINEER OF RECORD SEAL



No.	Revision/Issue	Date
0	Construction	03/25/25

Project Name and Address  
A1P0867C  
Bloomington/Redscoff Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

Sheet No.

**NOTES**

Project	03/25/20250008	Sheet	S-3
Date	03/25/2025		
Drawn By	BU	Checked By	SC

TMO-Structural Level 1.06  
NLG-115130





**NOTE: SPLICE CONNECTIONS REQUIRE ADDITIONAL CONSIDERATION WHEN SELECTING PART ASSEMBLIES**

1. ALL SHOP AND FIELD DRILLED HOLES SHALL BE NOMINAL 30mm DIAMETER. THE MAXIMUM HOLE DIAMETER PERMITTED IS 1 3/16".
2. NewGen2™ COMPLETE ASSEMBLY SHALL BE MAGNII 505 COATED PER ASTM F2533 AS APPROPRIATE.
3. INSTALL PER MANUFACTURER'S INSTRUCTIONS

ALLFASTENERS  
959 LAKE ROAD  
MEDINA, OHIO, USA 44256  
PHONE: 440-232-6060  
WEBSITES: [WWW.ALLFASTENERS.COM](http://WWW.ALLFASTENERS.COM) [WWW.ATTOWER.COM](http://WWW.ATTOWER.COM)



UCI<sup>2</sup>  
CONSTRUCTION SERVICES, LLC

0	Construction	1995
1	Revision/Issue	Date

A1P0967C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

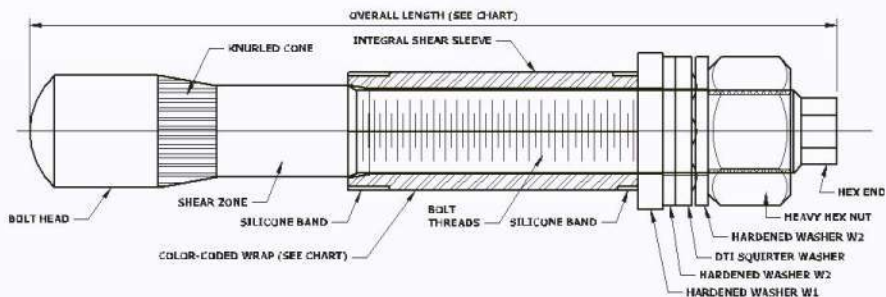
## NG2 BOLT NOTES AND DETAILS

Request 03849202500008		Sheet <b>S-4</b>
Date 03/25/2025		
Drawn By BU	Checked By SC	

TMQ Signatory Level: L06  
NLG-115150

FORGBolt™ NOTE SHEET: A325/PC8.8 LANDSCAPE VERSION DATE 01/29/2015; Rev. 1.0 04/23/2015

- NOTES:**
1. ALL STRUCTURAL BOLTS SHALL BE INSTALLED AND TIGHTENED TO THE PRETENSIONED CONDITION ACCORDING TO THE REQUIREMENTS OF THE AISC 'SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS', DEC. 31, 2009.
  2. ALL STRUCTURAL BOLTS SHALL BE INSPECTED ACCORDING TO THE REQUIREMENTS OF THE AISC 'SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS', DEC. 31, 2009.

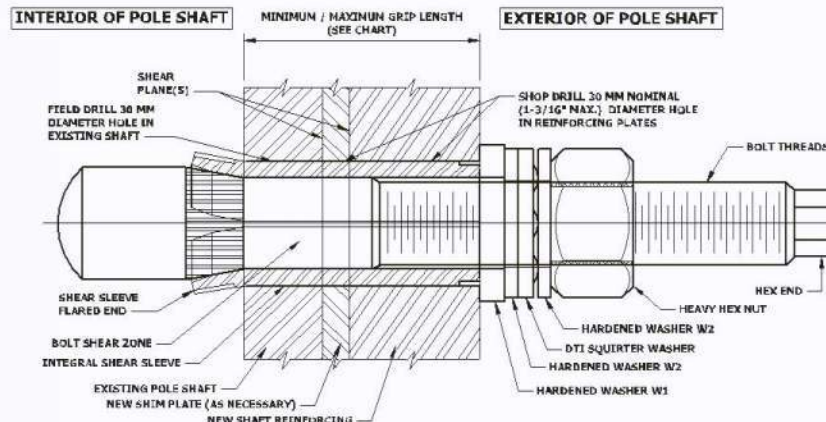


## PRE-INSTALLED FORGBolt™ ASSEMBLY DETAIL

1

### BOLT HOLE NOTES:

1. ALL SHOP-DRILLED HOLES SHALL BE NOMINAL 30 MM DIAMETER. THE MAXIMUM SHOP-DRILLED HOLE DIAMETER PERMITTED IS 1-3/16".
2. ALL FIELD-DRILLED HOLES SHALL BE NOMINAL 30 MM DIAMETER. THE MAXIMUM FIELD-DRILLED HOLE DIAMETER PERMITTED IS 30 MM.



## INSTALLED FORGBolt™ ASSEMBLY DETAIL

2

### DISTRIBUTOR CONTACT:

**Sky Climber Telecom**  
 PHONE: 720-987-4051  
 EMAIL: towerbids@skyclimber.com  
 WEB: www.skyclimbertelecom.com

**CONTAINS PROPRIETARY INFORMATION PATENT PENDING**

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FORGBolt™		AISC Group A Material: ASTM A325 and PC8.8 (Tensile Stress, Fu = 120 ksi minimum)				
GROUP	FORGBolt™ Size (mm)	Overall Length (inches)	Estimated Weight Each (lbs)	Grip Range (inch)	Comment	Color Code
FORGBolt™ A325 - PC8.8	1 135	5.31	1.3	3/8" to 1"	--	RED
	2 160	6.30	1.6	3/4" to 1-1/2"	--	GREEN
	3 195	7.68	1.9	1-1/4" to 2-1/4"	--	BLUE
	4 260	10.24	2.6	2" to 3-1/2"	Splice Bolt	YELLOW
	5 365	14.37	3.6	3-1/2" to 5-1/2"	Flange Jump Bolt	ORANGE
	6 440	17.32	4.3	5-1/2" to 8-1/2"	Flange Jump Bolt	BLACK
<b>DTI Note</b>		Each Group A (A325/PC8.8) FORGBolt™ assembly shall have a 'Squitter' DTI that is compatible with a M20-PC8.8 bolt.				

## FORGBolt™ Installation

**Follow all Manufacturer/Distributor Recommendations for Installation, Tightening, and Inspection.**

1. FIELD DRILL HOLES TO 30 MM DIAMETER.
2. SELECT CORRECT BOLT SIZE FOR INSTALLATION GRIP (REFER TO PLANS).
3. INSERT BOLT ASSEMBLY THROUGH HOLES IN SHAFT REINFORCING PLATES AND SEAT THE HARDENED WASHER W1 FLUSH AGAINST OUTSIDE OF PLATE.
4. HAND TIGHTEN NUT TO FINGER TIGHT.
5. TIGHTEN NUT TO PRETENSIONED CONDITION AND UNTIL DTI SHOWS PROPER INDICATION.
6. PROPERLY DOCUMENT AND INSPECT BOLT TIGHTENING PER PLAN REQUIREMENTS.



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ENGINEER OF RECORD SEAL



Project Name and Address:  
 A1P0867C  
 Bloomingtonredscott Repl  
 10801 Bloomington Ferry Rd  
 Bloomington, MN 55438  
 Hennepin County

**FORGBOLT NOTES AND DETAILS**

Project: 0344520250008  
 Date: 03/25/2025  
 Drawn By: BLU  
 Checked By: SC  
**S-5**

TMO Signatory Level: L06  
 NLG-115130



# AJAX

## FASTENERS

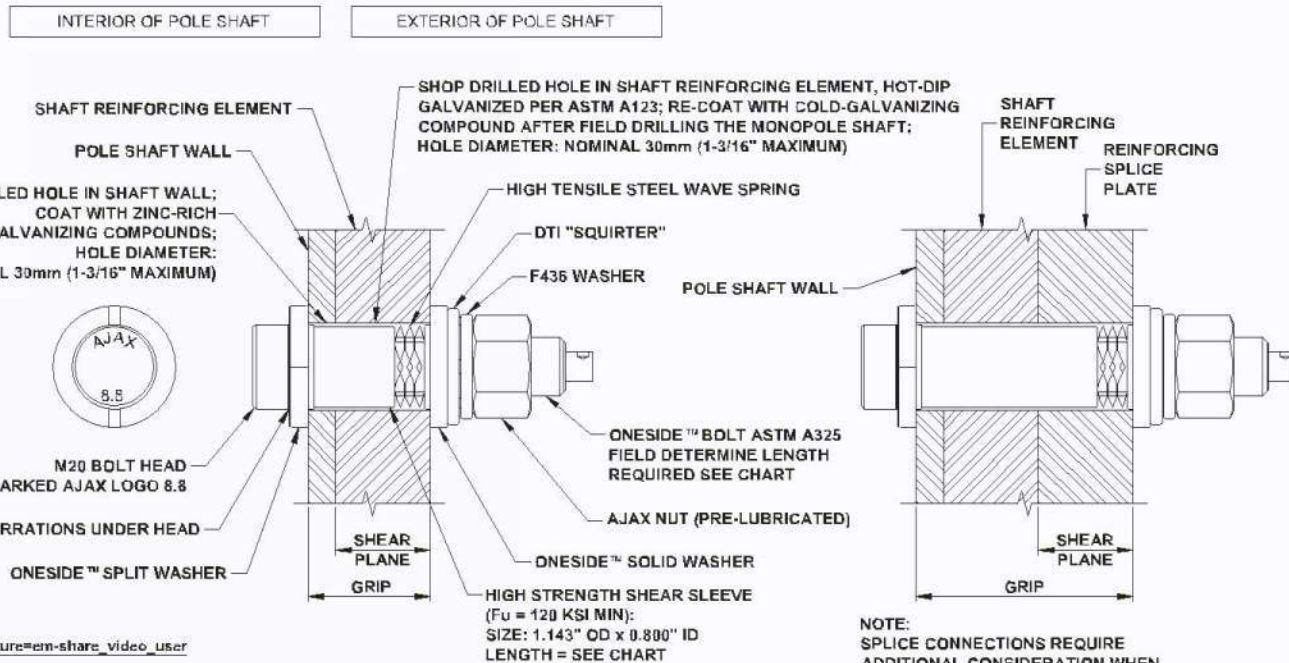
### ONESIDE™

PATENT US 7,373,708B2

MANUFACTURER INSTALLATION VIDEO



[https://www.youtube.com/watch?v=ZGBS0eLrZsw&feature=em-share\\_video\\_user](https://www.youtube.com/watch?v=ZGBS0eLrZsw&feature=em-share_video_user)



## AJAX ONESIDE BOLT DETAIL

CODE	SIZE	COLOR	SLEEVE LENGTH	GRIP	GRIP IMP
OSBA20.65-6	M20 x 65	ORANGE	8.0 (0.238")	12.5 / 20.0	0.500" / 0.787"
OSBA20.95-14	M20 x 95	BLACK	14.0 (0.551")	20.0 / 32.0	0.787" / 1.259"
OSBA20.95-22	M20 x 95	GREEN	22.0 (0.866")	30.0 / 50.0	1.181" / 1.968"
OSBA20.95-30	M20 x 95	YELLOW	30.0 (1.181")	40.5 / 50.0	1.595" / 1.968"
OSBA20.135-39	M20 x 135	BLUE	39.0 (1.535")	49.0 / 77.0	1.929" / 3.031"
OSBA20.135-48	M20 x 135	BROWN	48.0 (1.889")	60.5 / 77.0	2.375" / 3.031"
OSBA20.135-57	M20 x 135	PURPLE	57.0 (2.244")	67.0 / 90.0	2.637" / 3.543"
OSBA20.165-76	M20 x 165	RED	75.0 (3.000")	87.0 / 120.0	3.425" / 4.724"
OSBA20.250	M20 x 250	SILVER	MTD	121.0 / 211.0	4.724" / 8.310"

MANUFACTURER  
AJAX FASTENERS  
SALES + TECH: [ONESIDE@AJAXFAST.COM.AU](mailto:ONESIDE@AJAXFAST.COM.AU)

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PHONE (530) 647-8225  
FAX (530) 647-8229

### BOLT ASSEMBLY AND INSTALLATION:

1. BOLT MUST BE PURCHASED PRE-ASSEMBLED.
2. FOLLOW BOLT AND DTI MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.

### INSPECTION:

1. A MINIMUM OF 4 OUT OF 5 SQUIRTER® DTI PROTRUSIONS SHALL BE ENGAGED IN ANY AJAX/DTI BOLT ASSEMBLY IN THE REINFORCING MEMBERS. A FEELER GAGE MAY BE USED TO VERIFY PROTRUSION COMPRESSION.
2. INSPECTIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

Accelerated  
Tower  
Engineering

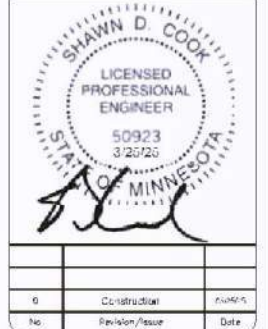
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CONSTRUCTION SERVICES, LLC

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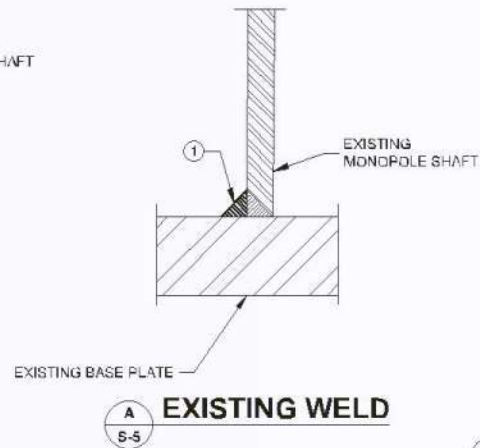
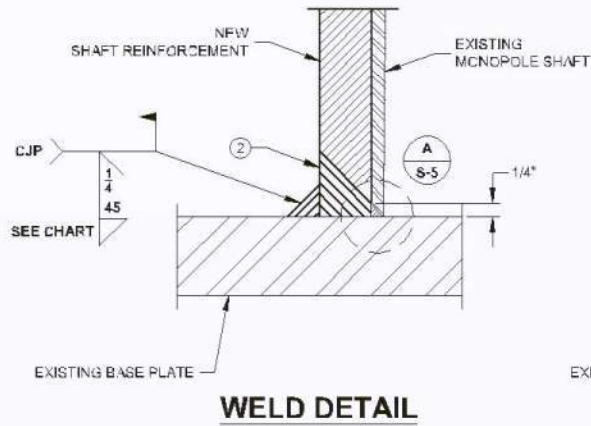
Project Name and Address  
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Bloomington, MN 55438  
Hennepin County

Draw Title  
AJAX ONESIDE™ BOLT  
SPECIFICATIONS AND  
TIGHTENING  
PROCEDURE

Project: 0344920250008  
Date: 03/25/2025  
Drawn By: BLU  
Checked By: SC  
Sheet: S-6

TMO Signatory Level: L06  
NLG-115130

## OPTION 1

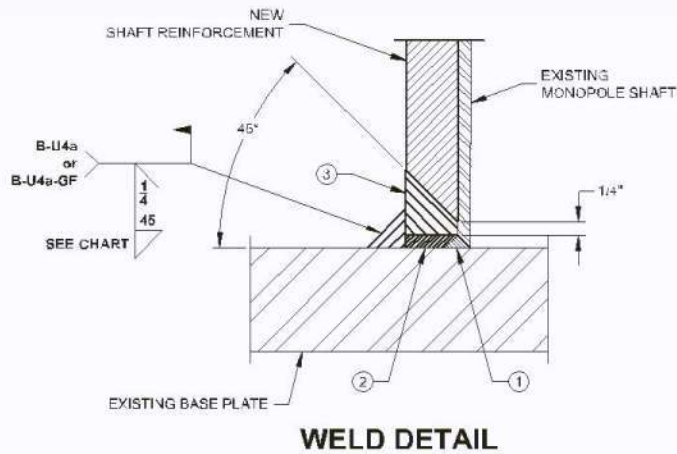


### NOTES:

- 1) GRIND EXISTING FILLET WELD FLUSH TO BASE PLATE & POLE FOR THE WIDTH OF THE REINFORCEMENT PLATE PLUS 1/4" ON EACH SIDE (DO NOT OVER GRIND)
- 2) PERFORM CJP WELD WITH REINFORCING FILLET WELD USING POLE AS BACKING BAR

REINFORCING PLATE SIZE	MINIMUM REINFORCING FILLET WELD
3/4" x 4"	1/4"
1" x 4 1/2"	1/4"
1" x 6"	3/8"
1 1/4" x 5 1/2"	1/2"
1 1/4" x 8 1/2"	5/8"

## OPTION 2



### NOTES:

- 1) CLEAN EXISTING WELD FROM GALVANIZING
- 2) BUILD A PLATFORM WITH WELD AT THE SAME HEIGHT OF THE EXISTING FILLET WELD (TO REDUCE THE AMOUNT OF WELD TO BUILD THE PLATFORM, IT IS ALLOWABLE TO PARTIALLY GRIND THE HEIGHT OF THE EXISTING FILLET WELD TO A 1/4" MINIMUM)
- 3) PERFORM CJP WELD WITH REINFORCING FILLET WELD USING POLE AS BACKING BAR

### General Notes



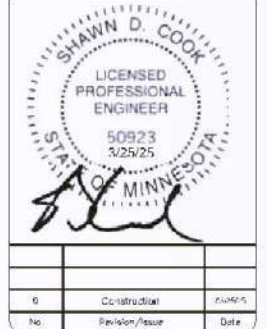
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ENGINEER of RECORD SEAL



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Hennepin County

Sheet No.  
**BASE PLATE WELD DETAIL**

Project: 0344920250008  
Date: 03/25/2025  
Drawn By: BLU  
Checked By: SC  
**S-7**

TMO Signatory Level: L06  
NLG-115130

## POLE SPECIFICATIONS

POLE SHAPE TYPE:	10-8 JdJ POLYGON
INFEET:	0.125 IN/F
SHAFT STEEL:	A675 A36
BASE PL STEEL:	A572 A36
ANCHOR RODS:	F55 A55

### POLE MODIFICATION SCHEDULE

	ELEVATION (FT)	MODIFICATION	REFERENCE SHEET
A	0.0	Added Anchor Bolts	5-0
B	0.5-10.5	Shift Reinforcement	0-8
C	10.5-55.1	Shift Reinforcement	3-8
D	57.2-74.2	Reduce Extension	5-12

## SHAFT SECTION DATA

SHAFT SECTION	SECTION LENGTH (FT)	PLATE THICKNESS (IN)	LAP SPURCE (FT)	DIAMETER ACROSS PLATE	
				@ TOP (IN)	@ BOT. (IN)
1	7.54	1.3975	5.00	12.750	12.750
2	15.20	1.3625	.72	12.230	11.130
3	63.10	1.3625	5.00	13.511	20.160

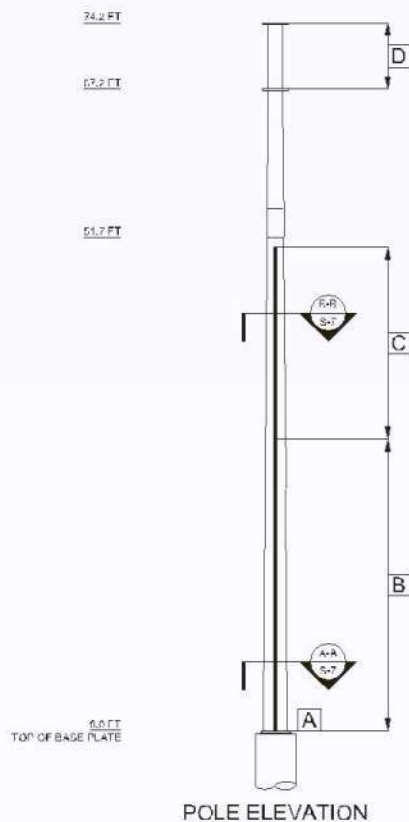
NOTE: DIMENSIONS SHOWN DO NOT INCLUDE GALVANIZING TOLERANCES

## REINFORCING SCHEDULE

[illegible]

## NOTES FOR (66 KSI) MATERIAL

1. DO NOT WELD WITHOUT A PERMIT FROM THE BOR.
2. ALL SHIMS TO BE MADE OF ASTM A36 STEEL.
3. ALL FLAT PLATE REINFORCEMENT IS TO BE INSTALLED CENTERED ON ITS DESIGNATED FLAT, UNCL.
4. AS AN ALTERNATIVE TO USING G1 WASHERS, ALL BOLTS MAY BE PRETENSIONED PER THE AISI 1706-01 METHOD.



General Notes



4710 Portofino Drive  
Longmont, CO 80503  
(479) 530-8627  
[www.atowereng.com](http://www.atowereng.com)

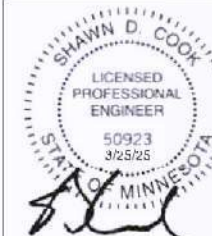
Report Prepared For:



UCI 2  
CONSTRUCTION SERVICES, LLC

4751 Fox St  
Denver, CO 80216

ENGINEER of RECORD SEAL



0	Construction	none
No	Revision/Issue	Date

Project Name and Address

A1P0967C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

Page 186

ELEVATION

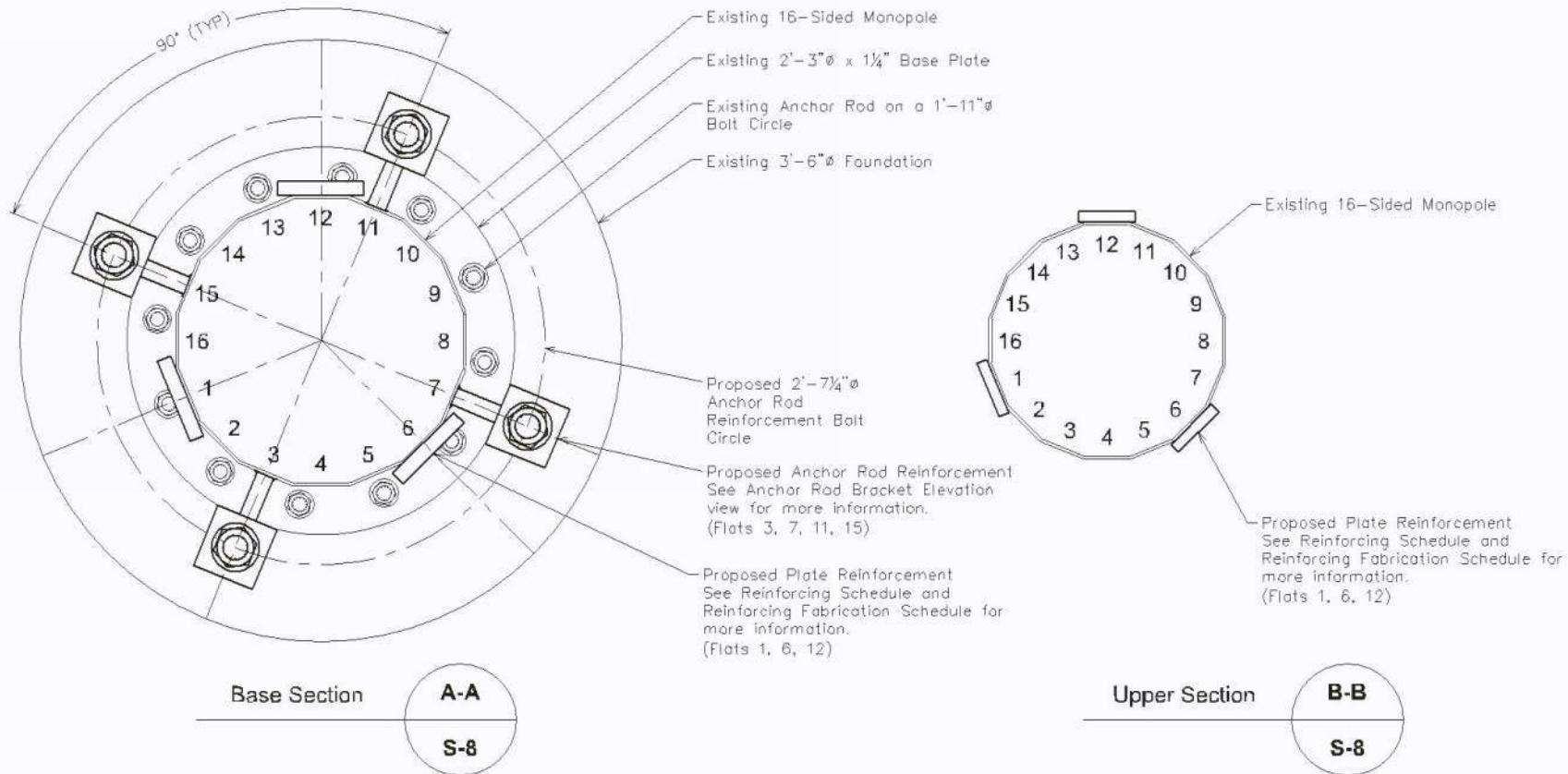
Project: 038420250008  
Date: 03/25/2025

S-8

IMQ Signatory Level: L06

NLG-115150





Note(s):

- 1) Existing safety line on flat 1. Remove and replace per details on Sheet S-11.
- 2) Existing climbing on flats 4 and 14.
- 3) Existing port hole on flats 8 through 10 at the base of the tower.
- 4) Proposed Plate Reinforcement hardware not shown for clarity.

General Notes

**Accelerated Tower Engineering**

4710 Portofino Drive  
Longmont, CO 80503  
(479) 530-8627  
www.atowereng.com

Report Prepared For:

**UCI<sup>2</sup>**  
CONSTRUCTION SERVICES, LLC

4751 Fox St  
Denver, CO 80216

ENGINEER'S SEAL

SHAWN D. COOK  
LICENSED PROFESSIONAL ENGINEER  
50923  
3/25/25  
STATE OF MINNESOTA

No.	Revision/Issue	Date
0	Construction	3/25/25

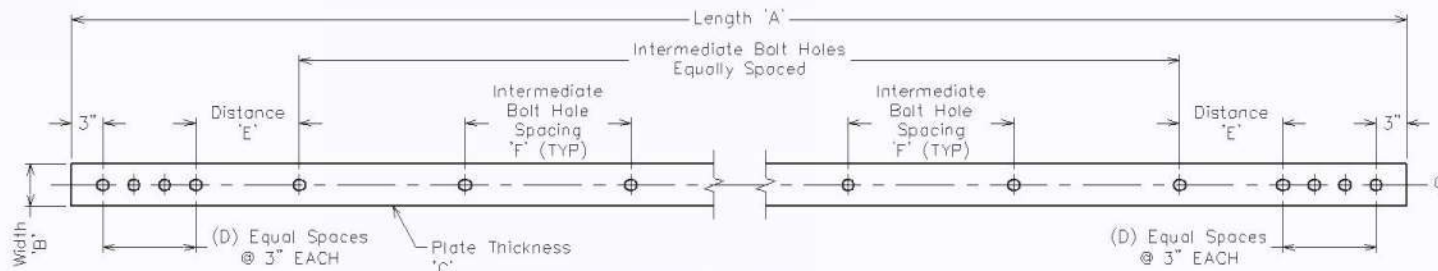
Project Name and Address

A1P0867C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

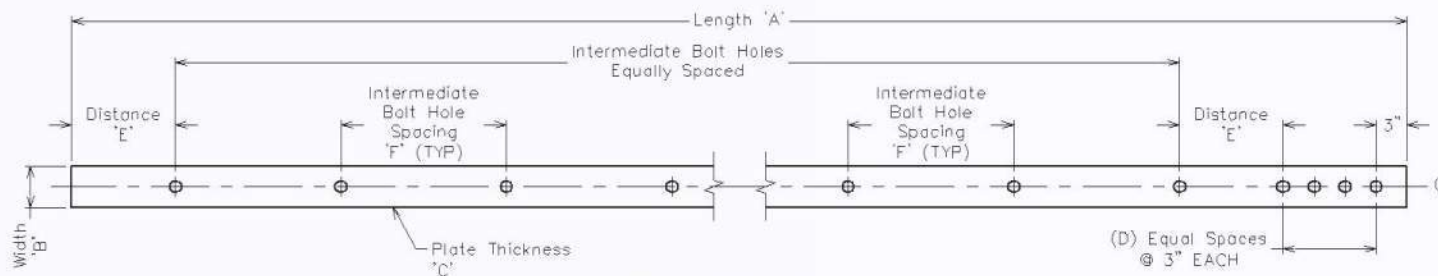
Sheet Title

**REINFORCEMENT LAYOUT**

Project	03849-20250008	Sheet	<b>S-9</b>	
Date	03/25/2025			
Drawn By	BL	Checked By		SC
TMO Signatory Level: L06 NLG-115150				



**STANDARD REINFORCING DETAIL**



**WELDED REINFORCING DETAIL**

**REINFORCING FABRICATION SCHEDULE**

PART NUMBER	TYPE	'A' LENGTH	'B' WIDTH	'C' THICK	'D' BOLT SPACES	'E' DIST.	'F' DIST.
PL0750400STD	Standard	20'-0"	4"	3/4"	5	1'-2"	1'-4"
PL1000500STD	Standard	30'-0"	6"	1"	8	1'-2"	1'-4"

**Notes:**

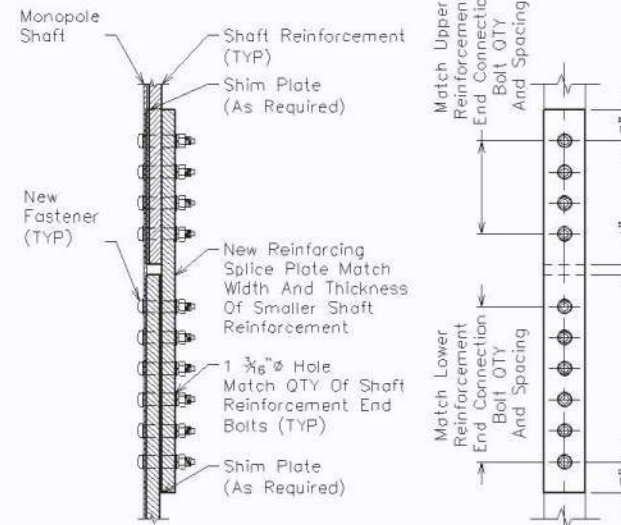
1. All holes to be drilled, do not burn or punch.
2. Tolerances:

Fractions  $\pm \frac{1}{16}$ "

Angles  $\pm \frac{1}{2}$ "

Decimals  $\pm 0.010$ "

3. Reinforcement and Splice Plates shall be ASTM A572 -Gr 65.
4. Shim Plates shall be ASTM A36.
5. All material shall be hot-dip galvanized per ASTM A123.



**REINFORCING SPLICE PLATE DETAIL**  
(TYP For All Adjoining Reinforcement)

**General Notes**



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**Report Prepared For:**



4751 Fox St  
Denver, CO 80216

**ENGINEER'S PROFESSIONAL SEAL**



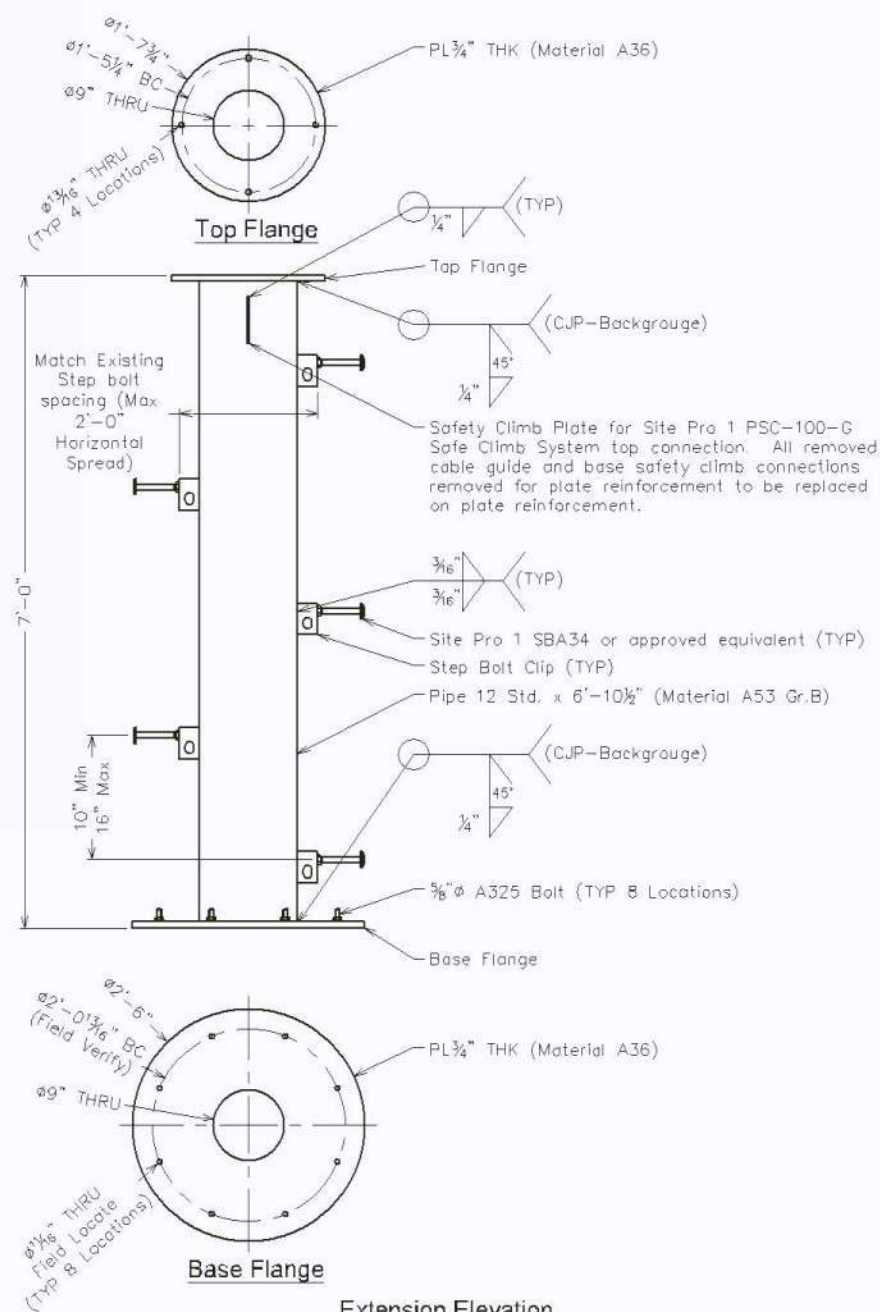
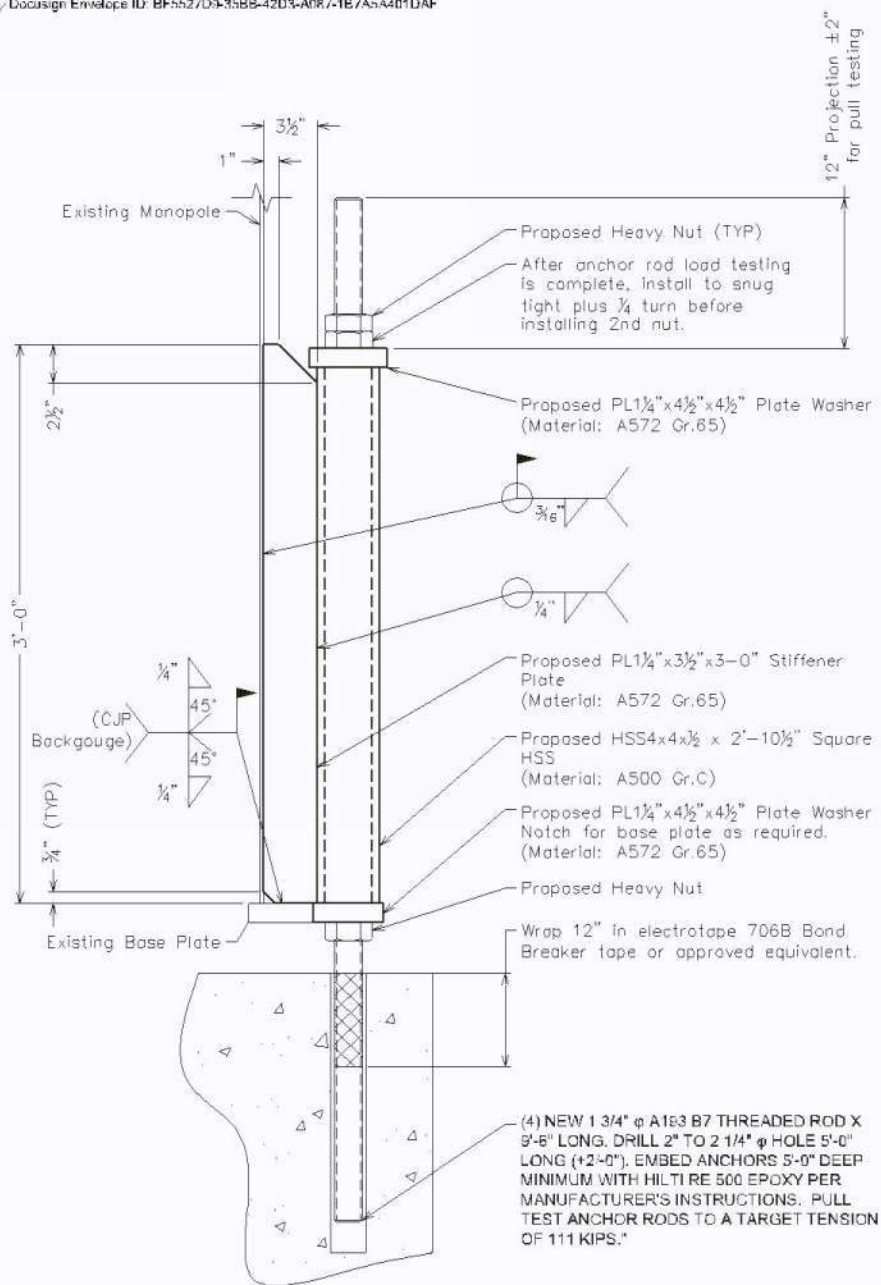
No.	Revision/Issue	Date
0	Construction	3/25/23

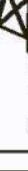
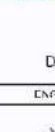

**Project Name and Address:**  
A1P0867C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

**REINFORCEMENT DETAILS**

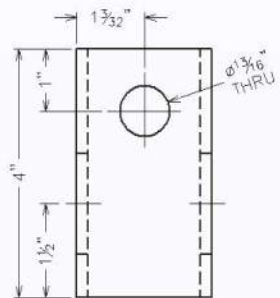
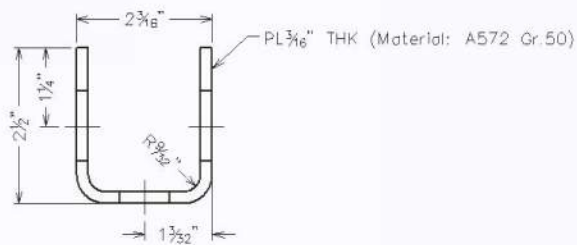
Project: 03449-20250008	Sheet: S-10
Date: 03/25/2025	Drawn By: BLU
Checked By: SC	

TMO Signatory Level: L06  
NLG-115130

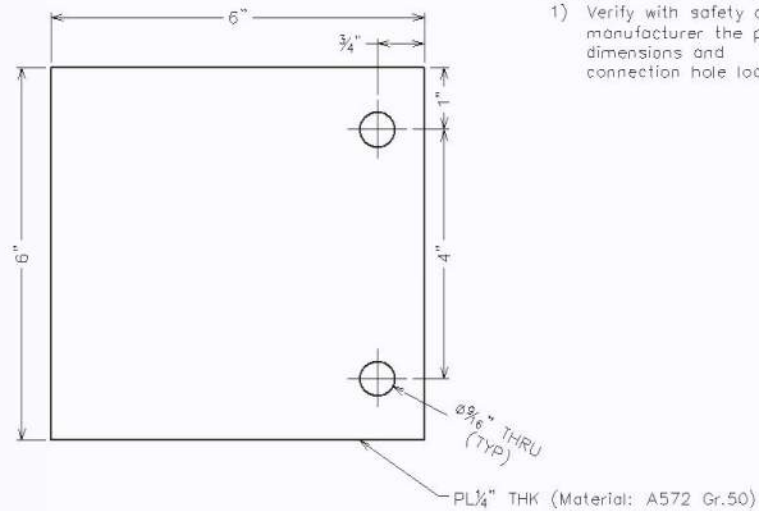
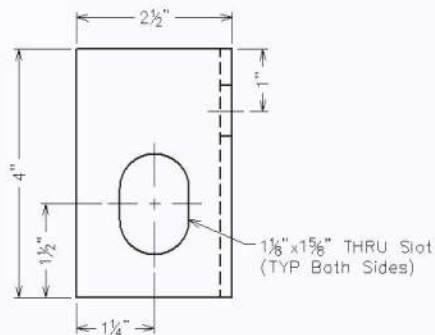


General Notes		
 <div style="display: inline-block; vertical-align: middle; text-align: left;"> <h1 style="margin: 0;">Accelerated Tower Engineering</h1> <p style="margin: 10px 0;">4710 Portofino Drive Longmont, CO 80503 (479) 530-8627 www.atowereng.com</p> </div>		
Report Prepared For:		
 <p style="margin: 10px 0;"><b>UCI</b><sup>2</sup></p> <p style="margin: 0 0 0 100px;">CONSTRUCTION SERVICES, LLC</p> <p style="margin: 10px 0;">4751 Fox St Denver, CO 80216</p>		
ENGINEER OF RECORD SEAL		
		
9	Construction	4/26/25
No.	Revision/Issue	Date
Project Name: 010 403906 <b>A1P0967C</b> Bloomingtonredscall Repl 10601 Bloomington Ferry Rd Bloomington, MN 55438 Hennepin County		
Sheet Title <div style="text-align: center; font-weight: bold; font-size: 1.2em;">EXTENSION DETAILS</div>		
Project Number: 038920250008		S-11
Date: 03/25/2025		
Drawn By: BU	Checked By: SC	
TMO Signatory Level: L66 NLG-115150		





Step Bolt Clip



Safety Climb Plate

Note(s):  
1) Verify with safety climb manufacturer the plate dimensions and connection hole locations.

General Notes

**Accelerated Tower Engineering**

4710 Portofino Drive  
Longmont, CO 80503  
(479) 530-8627  
www.atowereng.com

Report Prepared For:

**UCI<sup>2</sup>**  
CONSTRUCTION SERVICES, LLC

4751 Fox St  
Denver, CO 80216

ENGINEERED TO DESIGN

SHAWN D. COOK  
LICENSED PROFESSIONAL ENGINEER  
50923  
3/25/25  
STATE OF MINNESOTA

0	Construction	5/15/25
No	Revision/Issue	Date

Project Name and Address

A1P0867C  
Bloomingtonredscott Repl  
10801 Bloomington Ferry Rd  
Bloomington, MN 55438  
Hennepin County

Draw Title

**DETAILS**

Project	0384920250008	Sheet	<b>S-12</b>
Date	03/25/2025		
Drawn By	BLU	Checked By	

TMO Signatory Level: L06  
NLG-115130

TMO Site ID: A1P0967C  
Market: MWR-MN

### EXHIBIT E-1 – RENT SCHEDULE

<b>Year</b>	<b>Annual Rent</b>
2026	\$51,659.02
2027	\$54,241.97
2028	\$56,954.06
2029	\$59,801.77
2030	\$62,791.86
2031	\$65,931.45
2032	\$69,228.02
2033	\$72,689.42
2034	\$76,323.89
2035	\$80,140.09
2036	\$84,147.09
2037	\$88,354.45
2038	\$92,772.17
2039	\$97,410.78
2040	\$102,281.32
2041	\$107,395.38
2042	\$112,765.15
2043	\$118,403.41
2044	\$124,323.58
2045	\$130,539.76
2046	\$137,066.75
2047	\$143,920.08
2048	\$151,116.09
2049	\$158,671.89
2050	\$166,605.49
2051	\$174,935.76

**T-Mobile Bloomington Ferry-Dred Scott Lease  
TMO Site #: A1P967**

**COMMUNICATIONS SITE  
LEASE AGREEMENT**

**THIS COMMUNICATIONS SITE LEASE AGREEMENT** (hereinafter referred to as the "Lease") is entered into this 8th day of January, 2007, by and between the **CITY OF BLOOMINGTON**, a Minnesota municipal corporation located at 1800 West Old Shakopee Road, Bloomington, Minnesota 55431 (hereinafter referred to as the "Landlord"), and **T-Mobile Central LLC**, a Delaware Limited Liability Company, doing business as T-Mobile, whose mailing address is 8550 Bryn Mawr Avenue Suite 100, Chicago, IL 60631 (hereinafter referred to as the "Tenant").

**FOR GOOD AND VALUABLE CONSIDERATION, THE PARTIES AGREE AS FOLLOWS:**

1. **Property and Premises.** Subject to the following terms and conditions, Landlord leases to Tenant the use of a portion of the real property (the "Property") described in Exhibit A. Tenant's use of the Property is subject to all existing easements and shall be limited to that portion of the Property, together with the appurtenant non-exclusive Access Easement set forth in Paragraph 9(h) of this Lease and the appurtenant non-exclusive utility easement set forth in Paragraph 9 (g) of this Lease, described and depicted in attached Exhibit B (collectively referred to hereinafter as the "Premises"). The primary purpose of Landlord's ownership of the Property is ballfield and park. The Premises are located at 10810 Bloomington Ferry Road (Dred Scott Playfields) – (Property Identification Number 2111631430002), Bloomington, MN 55438.
2. **Term.** The initial term of this Lease shall be five years, commencing on the earlier of January 31, 2007 or the date that Tenant receives a building permit for the Antenna Facilities (as defined below) (the "Commencement Date"), and ending on the date immediately preceding the fifth (5<sup>th</sup>) anniversary of the Commencement Date.
3. **Permitted Use.** The Premises may be used by Tenant only for the transmission and reception of PCS and cellular telephone and radio communication signals and for the construction, maintenance, operation, repair and replacement of related facilities, structures, and equipment, including a 70-foot tall Cor-ten steel pole, approved by the Landlord and supporting antennas and ballfield lights, all on a concrete base (hereinafter "Monopole") and radio transmitting and receiving antennas and electronic equipment cabinets (collectively referred to hereinafter as "Antenna Facilities").
4. **Location and Design of Facilities, Structures or Equipment.** The location and design of the Tenant's facilities, structures, and equipment, including the Monopole and Antenna Facilities, on the Premises must be in accordance with Exhibit B and must be approved by the

Landlord prior to installation or construction, and such approval will not be unreasonably withheld, conditioned or delayed. All installation or construction by the Tenant on the Premises must be in accordance with Exhibits C and D, and in compliance with all applicable City, state and federal regulations and codes. Prior to installation, the Tenant must obtain all necessary approvals from governmental agencies, including the State of Minnesota and City of Bloomington. Any facility, structure, equipment or other type of improvement, including the Monopole and Antenna Facilities, installed by the Tenant on the Premises must be installed and maintained at its sole expense.

**5. Emergency Response and Cessation of Use Due to Interference.** Any facility, structure, equipment or other type of improvement, including the Monopole and Antenna Facilities, installed by the Tenant on the Premises must be of a type and installed in such a manner as not to cause any diminution in the quality of the communication signal, transmission or reception (hereinafter "interference") of any governmental communication equipment installed by the Landlord or other public agency now or in the future. If any such interference is alleged by the Landlord and it provides reasonable evidence that such interference is likely caused by the Tenant's use or operation of the Premises or any facilities, structures, equipment or other types of improvements installed thereon by the Tenant, it shall become the immediate and affirmative duty of the Tenant to diligently pursue a cure to remove the interference.

The parties agree that such reasonable evidence of interference that is likely caused by Tenant's use or operation of the Premises warrants an emergency response and the Notices provision in Paragraph 15 shall not apply. Rather, Landlord shall provide notice of reasonable evidence that the interference is likely caused by the Tenant's use or operation of the Premises verbally by telephone, by facsimile or by e-mail, whichever is determined by the Landlord to be the most immediate method of conveying such notice of reasonable evidence to Tenant. Notice of reasonable evidence of Tenant's interference shall be phone, faxed, or e-mailed to the following:

<u>Tim Flodin</u>	, T-Mobile Emergency Responder
<u>612-703-0742</u>	, Telephone Number
<u>952-833-4252</u>	, Facsimile Number
<u>timothy.flodin@t-mobile.com</u>	, E-mail address

Upon providing notice of reasonable evidence that any interference is likely caused by Tenant's use or operation of the Premises, Tenant shall send a qualified technician or representative to the Premises within eight (8) hours from the time that the notice of reasonable evidence is provided by Landlord. The required eight (8) hour emergency response time under these circumstances is applicable 24 hours a day, 7 days a week. The qualified technician or representative shall be capable of assessing the situation and eliciting the necessary response, including any repairs, alterations or modifications to Tenant's Antenna Facilities.

If such interference cannot be cured within twenty-four (24) hours after the notice provided for in this Paragraph 5, the Tenant shall immediately cease using or operating the Premises or any of its facilities, structures, equipment or other types of improvements installed thereon until such interference is cured to the reasonable satisfaction of Landlord.

6. **Rent.**

a. **Basic Rent:** As rent, Tenant shall pay Landlord SEVENTEEN THOUSAND ONE HUNDRED NINETY-NINE DOLLARS (\$17,199.00) annually (hereinafter referred to as "Rent"). Rent shall be payable January 1 of each year. Rent for calendar year 2007 shall be payable on the Commencement Date of this Lease and shall be of an amount pro-rated based on the number of days between the Commencement Date and the end of calendar year 2007. The Rent shall increase each calendar year by five percent (5%) compounded (e.g., the annual rent for calendar year 2008 shall be \$18,059.00, and for calendar year 2009 it shall be \$18,961.95).

b. **Additional Equipment:** Tenant may not add additional facilities, structures, equipment or other types of improvements, including equipment cabinets and/or antennas beyond those shown on Exhibit C without the prior written approval of the Landlord, which approval shall not be unreasonably withheld, conditioned or delayed. This provision shall not apply to replacement equipment of similar size and visual impact resulting from technology changes or repairs. There shall be additional Rent charged for any additional facilities, structures, equipment or other types of improvements, including equipment cabinets and/or antennas that are installed on the Premises by the Tenant based upon the proportional increase in the amount and visual impact of new facilities, structures, equipment or other types of improvements installed relative to the equipment or antennas shown in Exhibit C or approved by the Landlord at the time of the execution of this Lease.

c. **Co-location:** Tenant may not agree to allow co-location of additional antennas or equipment on the Premises by another provider.

d. **Taxes:** In addition to Rent, and in accordance with Section 12, below, Tenant agrees to timely pay its share of any taxes, real or personal, required as a result of this Lease.

7. **Renewal.** Tenant shall have the right to extend this Lease for four (4) additional five-year terms ("Renewal Terms"). Each Renewal Term shall be on the same terms and conditions as set forth herein except that the Rent shall be increased each calendar year as provided for in Paragraph 6 (a) of this Lease.

8. **Interference.** Tenant shall not use the Premises in any way that interferes with the use of the Property by Landlord, or other tenants or licensees of Landlord having pre-existing rights to the Property. Landlord shall not use, nor shall Landlord permit its tenants, licensees, employees, invitees or agents to use, the Premises in a manner that

substantially interferes with the Tenant's permitted use of the property pursuant to Paragraph 3 of this Lease. Substantial interference, as defined herein, shall be deemed a Default, pursuant to Paragraph 11 (e), of this Lease by the interfering party, who shall, upon written notice from the other party, be responsible for its immediate termination.

9. **Improvements; Utilities; Access.**

a. **Installation:** Tenant shall have the right, at its sole expense, to erect and maintain on the Premises facilities, structures, equipment or other types of improvements, including the Monopole and Antenna Facilities. However, the location, specifications and design of the facilities, structures, equipment or other types of improvements installed must have the written approval of the Landlord prior to installation. The installation and construction thereof must be in accordance with Exhibits C and D and in compliance with all applicable City, state and federal regulations and codes. The Landlord's approval shall not be unreasonably withheld, conditioned or delayed and shall be deemed given as to those items listed in Exhibit C hereto. Tenant shall cause all construction to occur lien-free. Installation shall occur between October 15<sup>th</sup> and April 1<sup>st</sup> to avoid interference with the recreation and athletic programs scheduled at the Property.

b. **Damage During Installation/ Punchlist Items:** Any damage done to the Premises during installation or during operations must be repaired at Tenant's sole expense within twenty (20) days after written notification of damage. Tenant shall complete its initial installation in a timely fashion. Landlord shall inspect Tenant's initial installation, and any subsequent operating changes made by Tenant, and shall notify Tenant of any punch list items that must be completed. Tenant shall complete all punch list items within thirty (30) days after receipt of written notification by the Landlord. Failure to complete the punch list items shall constitute a Default and Landlord shall be entitled to terminate this Lease as provided in Paragraph 11 (a) hereof.

c. **Property Rights to Structures, Equipment or Other Improvements Installed:** Tenant shall have the right to replace or upgrade the Antenna Facilities as provided in Paragraphs 4, 6(b) and 9(a) of this Lease at any time during the term of the Lease. The Antenna Facilities shall remain the exclusive property of Tenant. Tenant must remove the Antenna Facilities, but not the Monopole or ballfield lights following any termination of this Lease. Landlord waives any and all lien rights it may have, statutory or otherwise, concerning the Antenna Facilities or any portion thereof, exclusive of the Monopole. The Antenna Facilities shall be deemed personal property for the purposes of this Lease, regardless of whether any portion is deemed real or personal property under applicable law, and Landlord consents to Tenant's right to remove all or any portion of the Antenna Facilities, exclusive of the Monopole, from time to time in Tenant's sole discretion and without Landlord's consent.

d. **Additional Frequencies:** Prior to adding additional transmitter or receiver frequencies on the premises, Tenant agrees to notify the Landlord of the modified frequencies if outside Tenant's licensed frequency range so that the Landlord

can perform the necessary interference studies to ensure that the modified frequencies will not cause harmful radio interference to any Public Safety Communications System or any other existing Property leases. Tenant will be required to pay the reasonable costs for said study or studies, which will be performed by a professional communications engineer selected by the Landlord.

e. **Site Maintenance and Restoration:** It is the sole obligation of the Tenant, at Tenant's own expense, to maintain the Premises, and its Antenna Facilities, Monopole and access drive, now or hereafter located thereon in a commercially reasonable condition and repair in compliance with all applicable FCC rules and regulations and good engineering practices during the term of this Lease. Upon termination of this Lease, the Premises shall be returned to Landlord restored to substantially the same condition as on the Commencement Date, with the exception of reasonable wear and tear. However, Tenant shall not remove the Monopole, which, along with the ballfield lights affixed thereto, shall become the exclusive property of the Landlord and Landlord will thereafter be solely responsible for any and all costs relating the operation, maintenance, repair and replacement of such items, including, without limitation, utility service charges.

f. **Tenant's Use of and Payment for Utilities:** Tenant shall be solely responsible for the payment of any and all additional utility charges due to Tenant's use, including any additional charges due to its use of existing telephone lines or the later installation of additional telephone lines. As to existing telephone lines, the Landlord's use has priority and in the event of a conflict, Tenant shall be responsible for installing new lines at its own expense. Tenant, subject to the prior written approval of the Landlord, shall have the right to install other utilities on the Premises, at Tenant's own expense, and to improve the present utilities on the Premises (including, but not limited to the installation of emergency power generators, subject to conditions outlined in Paragraphs 6(b) and 9(a)). Landlord agrees to grant an appurtenant non-exclusive easement to place utilities on, or to bring utilities across the Property in order to service the Premises and the Antenna Facilities. The utilities installed by the Tenant must not interfere with the Landlord's use of the Property or that of Landlord's other tenants, licensees, employees, invitees, agents or guests and must be relocated at Tenant's expense if they interfere with future Property use by Landlord. Landlord shall not be responsible for any damages which occur as a result of interruption of utility services.

g. **Access Easement:** As partial consideration for Rent paid under this Lease, Landlord hereby grants Tenant an appurtenant non-exclusive easement ("Access Easement") for ingress, egress, and access (including access described in Paragraph 1 hereof) to the Premises adequate to service the Premises and the Antenna Facilities at all times during the term of this Lease or any Renewal Term. Upon notice, Landlord shall have the right, at Landlord's sole expense, to relocate the Access Easement to Tenant, provided such new location shall not materially interfere with Tenant's operations. Any Access Easement provided hereunder shall have the same term as this Lease.



h. **Access to Premises:** Both parties hereto shall have twenty-four (24) hours a day, seven (7) days a week access to the Premises at all times during the term of this Lease and any Renewal Term. Tenant's vehicles accessing the Premises must be confined to the hard surfaced maintenance driveway and vehicle turnaround as described and depicted in Exhibit C, except as approved by the Landlord. In no event will Landlord, its employees, agents or contractors remove, relocate, modify, alter or otherwise tamper with Tenant's Antenna Facilities.

i. **Nuisance Abatement:** Tenant agrees that if its use of the Premises or any of the facilities, structures, equipment or other types of improvements installed thereon (exclusive of the Siren) produces noise levels that cause a disturbance to the surrounding neighbors of the Property, Tenant will at its own expense install noise mitigating equipment or a buffer to meet State noise standards.

10. **Default.** Any of the following occurrences, conditions, or acts shall be deemed a "Default" under this Lease:

a. If Tenant fails to pay amounts due under this Lease within thirty (30) days of its receipt of written notice that such payments are overdue; or

b. If either party fails to observe or perform its obligations under this Lease and does not cure such failure within the time provided in Paragraph 11 of this Lease without, however, limiting any other rights available to the parties pursuant to any other provisions of this Lease.

c. Except as expressly limited hereby, Landlord and Tenant shall have such remedies for the Default of the other party hereto as may be provided at law or equity following written notice of such Default.

11. **Termination.** Except as otherwise provided herein, this Lease may be terminated without any penalty or further liability as follows:

a. **Default:** Upon sixty (60) days' written notice in the event of a Default (as defined above and in Paragraph 9 (c)), which Default is not cured within sixty (60) days of receipt of written notice of Default to the reasonable satisfaction of both parties;

b. **Tenant Inability to Obtain Essential Governmental Approvals:** Upon sixty (60) days' written notice by Tenant, if Tenant is unable to obtain or maintain any license, permit or other governmental approval essential or necessary to the construction and/or operation of the Antenna Facilities or Tenant's business;

c. **Destruction or Damage to Property:** Upon thirty (30) days' written notice if the Premises or the Antenna Facilities are destroyed or damaged so as in Tenant's reasonable judgment to substantially and adversely affect the effective use of the Antenna Facilities;

d. **Sale or Re-Development of Property or Discontinuation of its Use as a Baseball Field:** Upon one (1) year's written notice by Landlord, if its Council decides to sell or redevelop the Property and/or discontinue use of the Property for a Baseball Field;

e. **Unabated Interference:** Upon sixty (60) days' written notice by Landlord if it determines that Tenant's use or operation of the Premises or any facility, structure, equipment, or improvement placed thereon by Tenant, including the Antenna Facilities, jeopardizes use of the Property as a Baseball Field or is the cause of any interference, as defined in Paragraph 5 of this Lease, to a governmental communication system and Tenant fails to cure such interference within twenty-four (24) hours of the notice from the Landlord resulting in cessation of use under Paragraph 5 of this Lease, and thereafter Tenant is unable to provide clear and convincing evidence and assurances reasonably acceptable to the Landlord that a resumption of use will not result in further jeopardy or interference;

f. **Tenant's Failure to Comply with Applicable Laws or Conditions of Approval:** Upon sixty (60) days' written notice by Landlord if it reasonably determines that Tenant has failed to comply with applicable ordinances, or state or federal law, or any conditions attached to government approvals granted thereunder, including compliance with existing or subsequently adopted Federal standards relating to radio transmissions, and the failure to comply is not cured within sixty (60) days of receipt of written notice of failure to comply, and after a public hearing before the Landlord's Council;

g. **Condemnation:** In the event the whole of the Premises is taken by eminent domain, this Lease shall terminate as of the date title to the Premises vests in the condemning authority. In the event that a portion of the Premises is taken by eminent domain, either party shall have the right to terminate this Lease as of the date of title transfer, by giving thirty (30) days' written notice to the other party. In the event of any taking under the power of eminent domain, Tenant shall not be entitled to any portion of the award paid for the taking and the Landlord shall receive full amount of such award. Tenant hereby expressly waives any right or claim to any portion thereof from Landlord. Although all damages, whether awarded as compensation for diminution in value of the leasehold or to the fee of the Premises, shall belong to Landlord, Tenant shall have the right to claim and recover from the condemning authority, but not from Landlord, such compensation as may be separately awarded or recoverable by Tenant on account or any and all damage to Tenant's business and any costs or expenses incurred by Tenant in moving/removing its equipment, personal property, Antenna Facilities, and leasehold improvements. In the event that Landlord receives notification of any condemnation proceedings affecting the Property, Landlord shall provide notice of the proceedings to Tenant within thirty (30) days; or

h. **Tenant Termination Right:** Upon two (2) years written notice by Tenant if the Premises are or become unacceptable under Tenant's design or engineering

specifications for its Antenna Facilities or the communications system to which the Antenna Facilities belong.

i. **Tenant's Duties Upon Lease Termination:** Upon termination of this Lease, Tenant shall, within ninety (90) days thereof, remove all of its facilities, structures, equipment or other types of improvements installed, with the exception of the Monopole, but including Antenna Facilities, from the Premises. Tenant, at its expense, agrees to return the Premises to its original condition, ordinary wear and tear excepted. Tenant shall not be required to remove from the Property or the Premises any underground utilities. Any of Tenant's property remaining on the Premises ninety (90) days after the expiration or the termination of this Lease shall be removed by Landlord at Tenant's cost and expense and shall become the property of Landlord free of any claim by Tenant or any person claiming through Tenant.

j. **Notice of Termination:** The parties shall give notice of termination in accordance with Paragraph 15, below. All Rent paid for the Lease prior to said termination date shall be retained by Landlord.

12. **Taxes.** Tenant must pay any personal property taxes assessed on, or any portion of such taxes attributable to, the facilities, structures, equipment or other types of improvements installed thereon, including the Antenna Facilities. Tenant must timely pay, as additional Rent, any property taxes or payment in lieu of taxes levied against the Premises (excluding any additional taxes that relates to the period prior to the Commencement Date) which is directly attributable to Tenant's use of the Premises, and Landlord agrees to furnish proof of such taxes to Tenant, if requested.

13. **Insurance.**

a. **Workers' Compensation:** The Tenant must maintain Workers' Compensation insurance in compliance with all applicable statutes. The policy shall also provide Employer's Liability coverage with limits of not less than \$500,000 Bodily Injury each accident, \$500,000 Bodily Injury by disease, policy limit, and \$500,000 Bodily Injury by disease, each employee.

b. **General Liability:** The Tenant must maintain an occurrence form commercial general liability coverage. Tenant may self-insure for the amounts and types of insurance required by this Section 13(b). If Tenant elects to self-insure, Tenant shall notify Landlord of its intent to self-insure, and shall receive Landlord's prior written approval, which approval shall not be unreasonably withheld.

Such coverage shall include, but not be limited to, bodily injury, property damage -- broad form, and personal injury, for the hazards of Premises/Operation, broad form contractual liability, independent contractors, and products/completed operations.

The Tenant must maintain aforementioned commercial general liability coverage with limits of liability not less than \$1,000,000 each occurrence; \$1,000,000

personal and advertising injury; \$2,000,000 general aggregate, and \$2,000,000 products and completed operations aggregate. These limits may be satisfied by the commercial general liability coverage or in combination with an umbrella or excess liability policy, provided coverage afforded by the umbrella or excess policy are no less than the underlying commercial general liability coverages.

Tenant will maintain Completed Operations coverage for a minimum of two years after the construction is completed.

c. **Automobile Liability:** The Tenant must carry Automobile Liability coverage. Coverage shall afford total liability limits for Bodily Injury Liability and Property Damage Liability in the amount of \$1,000,000 per accident. The liability limits may be afforded under the Commercial Policy, or in combination with an Umbrella or Excess Liability Policy provided coverage of rides afforded by the Umbrella Excess Policy are not less than the underlying Commercial Auto Liability coverage.

Coverage shall be provided by Bodily Injury and Property Damage for the ownership, use, maintenance or operation of all owned, non-owned and hired automobiles.

The Commercial Automobile Policy shall include at least statutory personal injury protection, uninsured motorists and underinsured motorists coverages.

d. **Tenant Property Insurance:** The Tenant must keep in force for the duration of the Lease a policy covering damages to its property at the Premises. The amount of coverage shall be sufficient to replace the damaged property, loss of use and comply with any ordinance or law requirements.

e. **Adjustment to Insurance Coverage Limits:** The Tenant's coverage limits set forth herein shall be increased at the time of any Renewal Term by twenty-five percent (25%) over the preceding term or Renewal Term. Alternatively, instead of such periodic coverage limit increases, during the entire term of this Lease Tenant may maintain an umbrella or excess liability insurance policy with a combined single limit of \$5,000,000.00 per occurrence, and Landlord will be named as an additional insured under such policy.

f. **Additional Insured - Certificate of Insurance:** The Tenant shall provide, prior to tenancy, evidence of the required insurance in the form of a Certificate of Insurance issued by a company (rated B+ (VIII) or better), licensed to do business in the State of Minnesota, which includes all coverages required in this Section 11. Tenant will list the Landlord as an Additional Insured on the General Liability and Commercial Automobile Liability Policies. The Certificate(s) shall also provide the coverage may not be cancelled, non-renewed, or materially changed without thirty (30) days prior written notice to the Landlord.

#### **14. Defense and Indemnification.**

a. **General:** Tenant agrees to defend, indemnify and hold harmless Landlord and its elected officials, officers, employees, agents, and representatives, from and against any and all claims, costs, losses, expenses, demands, actions, or causes of action, including reasonable attorneys' fees and other costs and expenses of litigation, which may be asserted against or incurred by Landlord or for which Landlord may be liable in the performance of this Lease, except those which arise solely from negligence, willful misconduct, or other fault of Landlord, its employees, agents or contractors. Tenant shall defend, indemnify and hold Landlord, its agents, employees and officials harmless against all claims arising out of Tenant's use of the Premises, including its installation, operation, use, maintenance, repair, removal, or presence of Tenant's facilities, structures, equipment or other types of improvements, including Antenna Facilities, on the Premises.

b. **Hazardous Materials:** Without limiting the scope of Paragraph 14 (a) above, Tenant will be solely responsible for and will defend, indemnify, and hold Landlord, its agents, officials and employees harmless from and against any and all claims, costs, and liabilities, including reasonable attorney's fees and costs, arising out of or in connection with the cleanup or restoration of the Premises associated with the Tenant's use of Hazardous Materials. For the purposes of this Lease, "Hazardous Materials" shall be interpreted broadly and specifically includes, without limitation, asbestos, fuel, batteries or any hazardous substance, waste, or materials as defined in any federal, state, or local environmental or safety law or regulations including, but not limited to, CERCLA.

c. **Tenant's Warranty:** Tenant represents and warrants that its use of the Premises will not generate and Tenant will not store or dispose of on the Premises, nor transport to or over the Premises, any Hazardous Materials, unless Tenant specifically informs Landlord thereof in writing twenty-four (24) hours prior to such storage, disposal or transport, or otherwise as soon as Tenant becomes aware of the existence of Hazardous Materials on the Premises. The obligations of this Section 12 shall survive the expiration or other termination of this Lease.

d. **Landlord's Warranty.** To the best of its knowledge, Landlord warrants and represents to Tenant that there are no Hazardous Materials on the Property in violation of any applicable laws.

15. **Notices.** All notices, requests, demands and other communications hereunder shall be in writing and shall be deemed given if personally delivered, sent by certified mail, return receipt requested, or sent by overnight carrier to the following addresses:

If to Landlord, to:

Randy Quale, Manager of Parks and Recreation  
City of Bloomington

1800 West Old Shakopee Road  
Bloomington, Minnesota 55431-3027  
(952) 563-8876

with a copy to:

Jennifer Tichey, Associate City Attorney  
City of Bloomington  
1800 West Old Shakopee Road  
Bloomington, Minnesota 55431-3027  
(952) 563-8781

If to Tenant, to:

T-Mobile Central LLC.  
8550 W. Bryn Mawr Ave, Suite 100  
Chicago, IL 60631  
Attn: Lease Administrator (Minneapolis)

with copy to:

T-Mobile USA, Inc.  
12920 SE 38<sup>th</sup> Street  
Bellevue, WA 98006  
Attn: PCS Lease Administration

**16. Limitation of Liability.** Notwithstanding anything to the contrary in this Lease, in no event will Landlord be liable to Tenant for, or indemnify Tenant, against, punitive, indirect, incidental, special or consequential damages, including, without limitation, loss of profits, income or business opportunities.

**17. Quiet Enjoyment, Title and Authority.** Landlord warrants that (i) it has full right, power and authority to execute this Lease; (ii) it has good and unencumbered title to the Premises free and clear of any liens or mortgages, except those disclosed to Tenant which will not interfere with Tenant's right to or use of the Premises; (iii) the Premises constitute a legal lot; and (iv) execution and performance of this Lease will not violate any laws, ordinances, covenants, or the provisions of any mortgage, lease or other agreement binding on Landlord.

Landlord covenants that at all times during the term of this Lease, Tenant's quiet enjoyment of the Premises or any part thereof shall not be disturbed as long as Tenant is not in default beyond any applicable grace or cure period.

**18. Assignment.** This Lease, or rights thereunder, may not be sold, assigned, or transferred at any time by Tenant except to Tenant's parent, affiliates, or subsidiaries, or to any entity which acquires all or substantially all of the Tenant's assets in the market



defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition, or other business reorganization. As to other parties, this Lease may not be sold, assigned, or transferred without the written consent of the Landlord, such consent not to be unreasonably withheld, conditioned or delayed. For purposes of this Paragraph, an "affiliate", "parent" or "subsidiary" means an entity in which Tenant owns greater than a fifty percent (50%) interest. Landlord hereby consents to the assignment by Tenant of its rights under this Lease as collateral to any entity which provides financing for the purchase of the equipment to be installed at the Premises. Upon assignment, Tenant shall be relieved of all obligations under this Lease.

19. **Successors and Assigns; Binding Effect.** This Lease shall run with the Property, and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives and assigns.

20. **Miscellaneous.**

a. **Disputes:** Any claim, controversy or dispute arising out of this Lease not resolved within thirty (30) days following notice of the dispute, shall be submitted first and promptly to mediation. Each party shall bear its own costs of mediation. If mediation does not result in settlement within forty-five (45) days after the matter was submitted to mediation, either party may exercise its legal or equitable remedies and may commence such action prior to the expiration of the applicable statute of limitations. The prevailing party in any litigation shall be entitled to its reasonable attorneys fees and court costs.

b. **Estoppel Information:** Each party agrees to furnish to the other, within sixty (60) days after request, such truthful estoppel information as the other may reasonably request.

c. **Complete Lease; Amendments:** This Lease constitutes the entire agreement and understanding of the parties, and supersedes all offers, negotiations and other agreements. There are no representations or understandings of any kind not set forth herein. Any amendments to this Lease must be in writing and executed by both parties. Exhibits A through E are incorporated into this Lease by reference. No provision of this Lease will be deemed waived by either party unless expressly waived in writing by the waiving party. No waiver shall be implied by delay or any other act or omission of either party. No waiver by either party of any provisions of this Lease shall be deemed a waiver of such provision with respect to any subsequent matter relating to such provision. This Lease may be executed in multiple counterparts, each of which will be deemed an original, but all of which together will constitute a single instrument.

d. **Broker's Fees:** If either party is represented by a real estate broker in this transaction, that party shall be fully responsible for any fee due such broker, and shall hold the other party harmless from any claims for commission by such broker.

e. **Memorandum of Lease:** Each party agrees to cooperate with the other in executing any documents necessary to protect its rights or use of the Premises. A Memorandum of Lease may be recorded in place of this Lease, by either party.

f. **Governing Law:** The laws of the State of Minnesota shall govern all questions and interpretations concerning the validity and construction of this Lease and the legal relations between the undersigned parties and performance under it without regard to the principles of conflicts of law. The language of this Lease is and shall be deemed the result of negotiation between the undersigned parties and their respective legal counsel and shall not be strictly construed for or against either party. Each party agrees that any action arising out of or in connection with this agreement shall be brought solely in the courts of the State of Minnesota, Fourth Judicial District, or the United States District Court for the District of Minnesota.

g. **Severability:** If any term of this Lease is found to be void or invalid, such invalidity shall not affect the remaining terms of this Lease, which shall constitute in full force and effect.

h. **Signatures / Execution:** Each person executing this Lease on behalf of a party hereto represents and warrants that such person is duly and validly authorized to do so on behalf of such party, with full right and authority to execute this Lease and to bind such party with respect to all of its obligations hereunder. This Lease may be executed in counterparts, each of which shall be deemed an original, but all of which taken together shall constitute but one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Lease, the date and year first written above.

CITY OF BLOOMINGTON (LANDLORD)

DATED: 1/8/2007 By: [Signature]  
Its Mayor

DATED: 1/8/2007 By: [Signature]  
Its City Manager

Reviewed and approved by the City Attorney.

[Signature]  
City Attorney

T-MOBILE CENTRAL LLC (TENANT)

DATED: 12/15/06 By: [Signature]  
Its: Director - Engr. & ops.

**List of Exhibits**

Exhibit A – Property Description

Exhibit B – Premises Description

Exhibit C – Plans Depicting the Site, Monopole and Antenna Facilities

Exhibit D – City Council Conditions of Approval

**Exhibit A**  
**Property Description**

Address: 10810 Bloomington Ferry Road (southwest corner of West Old Shakopee Road and Bloomington Ferry Road)

Property Identification Number: 2111631430002

Description: Lot 1, Block 1, Dred Scott Playfield

**Exhibit B**  
**Premises Description**

The Premises includes a 10 foot by 20 foot lease area for the Monopole and Antenna Facilities as well as a 10 foot wide access easement across an existing bituminous path and a 5 foot wide utility easement adjacent to the existing bituminous path.

A diagram of the Premises is included in Exhibit C.



**Exhibit C**  
**Plans Depicting the Site, Monopole and Antenna Facilities**

See attached plans and specifications.

**Exhibit D**  
**Conditions of Approval**

1. The Tenant must obtain administrative zoning approval for a minor revision to final site and building plans;
2. The Tenant must obtain all necessary building permits for Monopole and Antenna Facilities;
3. The Tenant must employ equipment and antenna system design that minimizes the out of band signal mixing within their equipment and must allow the City and County to spot test for interference, including switching between transmit and standby modes;
4. The Tenant shall notify the Bloomington Police Department that service is about to commence at least ten (10) days prior to the commencement of service;
5. Tenant must obtain written Landlord approval of any alterations or revisions to Exhibit C before, after or during construction;
6. Electrical, telephone, fiber and other utility services must be underground and located as approved by the Landlord;
7. No trees or shrubs may be removed without authorization from the Landlord;
8. Access to the construction site must be coordinated through the Parks and Recreation Manager;
9. The staging and storage of construction materials (if any) must be approved by the Parks and Recreation Manager;
10. The Cor-ten steel Monopole must be approved by the Landlord and must closely match other ballfield light poles in the park; and
11. All Tenant antennas and mounts must be painted to match the color of the Monopole.

# T-Mobile

## GENERAL NOTES

1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
2. THE CONTRACTOR SHALL VISIT THE JOB SITE TO REVIEW THE SCOPE OF WORK AND EXISTING JOB SITE CONDITIONS, INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, SERVICE, AND OVERALL COORDINATION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE, OR EQUIPMENT, SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE TOWER OR BUILDING OWNER, OR OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REPAIR, ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
6. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BRICK CLEAN CONDITION AT THE END OF EACH DAY.
7. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTY DURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONNECTION WITH THE EXECUTION OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED PER U.S.C.
10. ALL CONSTRUCTION WORK SHALL CONFORM TO THE U.S.C. AND ALL OTHER GOVERNING CODES, ALONG WITH THE GOVERNING RESTRICTIVE CODES.
11. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL LOCAL CODE REGULATIONS AND STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (DISA) REQUIREMENTS. REFER TO THE CODES SECTION OF THIS SHEET.
12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, LICENSES AND INSURANCES NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO THE OWNER.
13. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE, AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS OFF-PLAN OR PERFORM ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAVE BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
14. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS WITH THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS PRIOR TO EXECUTING THE WORK IN QUESTION.



DETAIL NUMBER

DETAIL

DRAWING ON WHICH ORIGINAL DETAIL WAS DRAWN



SECTION NUMBER

SECTION

DRAWING ON WHICH ORIGINAL SECTION WAS DRAWN

## SCOPE OF SUPPLY

\* THE FOLLOWING TABLE DELINEATES THE RESPONSIBILITIES OF DIFFERENT PARTIES INVOLVED IN COMPLETING THIS PROJECT. THE SITE SPECIFIC SCOPE OF WORK WILL PRECEDE ANY DISCREPANCIES FOUND ON THIS SCOPE OF SUPPLY.

RAW LAND SITE				CO-LOCATION SITE			
ITEM	FURNISHED BY	INSTALLED BY		ITEM	FURNISHED BY	INSTALLED BY	
TOWER	T-MOBILE	CONTRACTOR	BTS PLATFORM	T-MOBILE	CONTRACTOR		
BTS PLATFORM	T-MOBILE	CONTRACTOR	BTS PLATFORM FOUNDATION	T-MOBILE	CONTRACTOR		
TOWER & BTS PLATFORM FOUNDATION	CONTRACTOR	CONTRACTOR	UIC (POWER/TELECO)	T-MOBILE	CONTRACTOR		
UIC (POWER/TELECO)	T-MOBILE	CONTRACTOR	BBU CABINET	T-MOBILE	IMPLEMENTATION		
BBU CABINET	T-MOBILE	IMPLEMENTATION	BTS CABINETS	T-MOBILE	CONTRACTOR		
BTS CABINETS	T-MOBILE	IMPLEMENTATION	ANTENNA	T-MOBILE	CONTRACTOR		
ANTENNA	T-MOBILE	CONTRACTOR	COAX CABLE	T-MOBILE	CONTRACTOR		
COAX CABLE	T-MOBILE	CONTRACTOR	JUMPER CABLES	T-MOBILE	CONTRACTOR		
JUMPER CABLES	T-MOBILE	CONTRACTOR	LNA (LOW NOISE AMPLIFIER)	T-MOBILE	CONTRACTOR		
LNA (LOW NOISE AMPLIFIER)	T-MOBILE	CONTRACTOR	GROUNDING KITS FOR COAX	T-MOBILE	CONTRACTOR		
GROUNDING KITS FOR COAX	T-MOBILE	CONTRACTOR	SITE GROUNDING MATERIALS	T-MOBILE	CONTRACTOR		
SITE GROUNDING MATERIALS	CONTRACTOR	CONTRACTOR	ANTENNA MOUNTING PIPE & BRACKET	T-MOBILE	CONTRACTOR		
ANTENNA MOUNTING PIPE & BRACKET	T-MOBILE	CONTRACTOR	WAVEGUIDE BRIDGE (EQPT TO TWR)	T-MOBILE	CONTRACTOR		
WAVEGUIDE BRIDGE (EQPT TO TWR)	T-MOBILE	CONTRACTOR	WAVEGUIDE LADDER (TOWER)	T-MOBILE	CONTRACTOR		
WAVEGUIDE LADDER (TOWER)	T-MOBILE	CONTRACTOR	FENCE	CONTRACTOR	CONTRACTOR		
FENCE	CONTRACTOR	CONTRACTOR	UNDERGROUND WORK	CONTRACTOR	CONTRACTOR		
UNDERGROUND WORK	CONTRACTOR	CONTRACTOR	POWER DISCONNECT & METER BOX	CONTRACTOR	CONTRACTOR		
POWER DISCONNECT & METER BOX	CONTRACTOR	CONTRACTOR	METER	CONTRACTOR	CONTRACTOR		
METER	UTILITY	UTILITY					

## CODES AND STANDARDS

ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING PUBLICATIONS:

1. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
2. ACI (AMERICAN CONCRETE INSTITUTE)
3. AISI (AMERICAN INSTITUTE OF STEEL CONSTRUCTION)
4. AWS (AMERICAN WELDING SOCIETY)
5. UBC (UNIFORM BUILDING CODES)
6. UDOT (MINNESOTA DEPARTMENT OF TRANSPORTATION)
7. ANSI (AMERICAN NATIONAL STANDARDS INSTITUTE)
8. IEEE (INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS)
9. NEC (NATIONAL ELECTRICAL CODE)
10. NEMA (NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION)
11. NESC (NATIONAL ELECTRICAL SAFETY COMMISSION)
12. OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION)
13. UL (UNDERWRITERS LABORATORIES, INC.)
14. APPLICABLE LOCAL CODES AND ORDINANCES

## LEGEND



DETAIL NUMBER

DETAIL

DRAWING ON WHICH ORIGINAL DETAIL WAS DRAWN

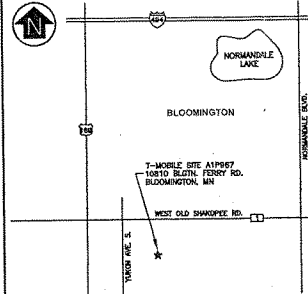


SECTION NUMBER

SECTION

DRAWING ON WHICH ORIGINAL SECTION WAS DRAWN

## VICINITY MAP



## PROJECT DATA

PROJECT AREA:  
INTERIOR LEASE SPACE:  
EXTERIOR LEASE SPACE: 10' x 20'  
PARCEL AREA:  
ZONING TYPE:  
LEGAL DESCRIPTION:  
BENCH MARK:  
BASIS OF BEARING:  
ELEVATION: 840 FEET  
DATE OF SURVEY:

## PROJECT TEAM

IMPROVEMENTS OWNER  
T-MOBILE MINNEAPOLIS, INC.  
C/O VOICESTREAM WIRELESS CORP.  
12220 SE 38th STREET  
BELLEVUE, WA 98008

SURVEYOR  
ESAU, FIELD & NOWAK  
7415 WATZLA BLVD.  
MINNEAPOLIS, MN 55425

SITE OWNER  
T-MOBILE MINNEAPOLIS, INC.  
1800 WEST 78th STREET  
SUITE 400  
EDINA, MN 55439

ARCHITECT/ENGINEER  
T-MOBILE MINNEAPOLIS, INC.  
1800 WEST 78th STREET  
SUITE 400  
EDINA, MN 55439

ZONING QUESTION & NOTIFICATIONS  
T-MOBILE MINNEAPOLIS, INC.  
1800 WEST 78th STREET  
SUITE 400  
EDINA, MN 55439

ELECTRICAL UTILITIES  
XCEL ENERGY

TELEPHONE UTILITIES  
QWEST

COORDINATES (ANTENNA LOCATION):  
LATITUDE: 45° 45' 45"  
LONGITUDE: 93° 22' 15"

ASSIGNOR'S PARCEL NUMBER:

TITLE REPORT IDENTIFICATION:

EASEMENT NOTES:

## SITE DIRECTIONS

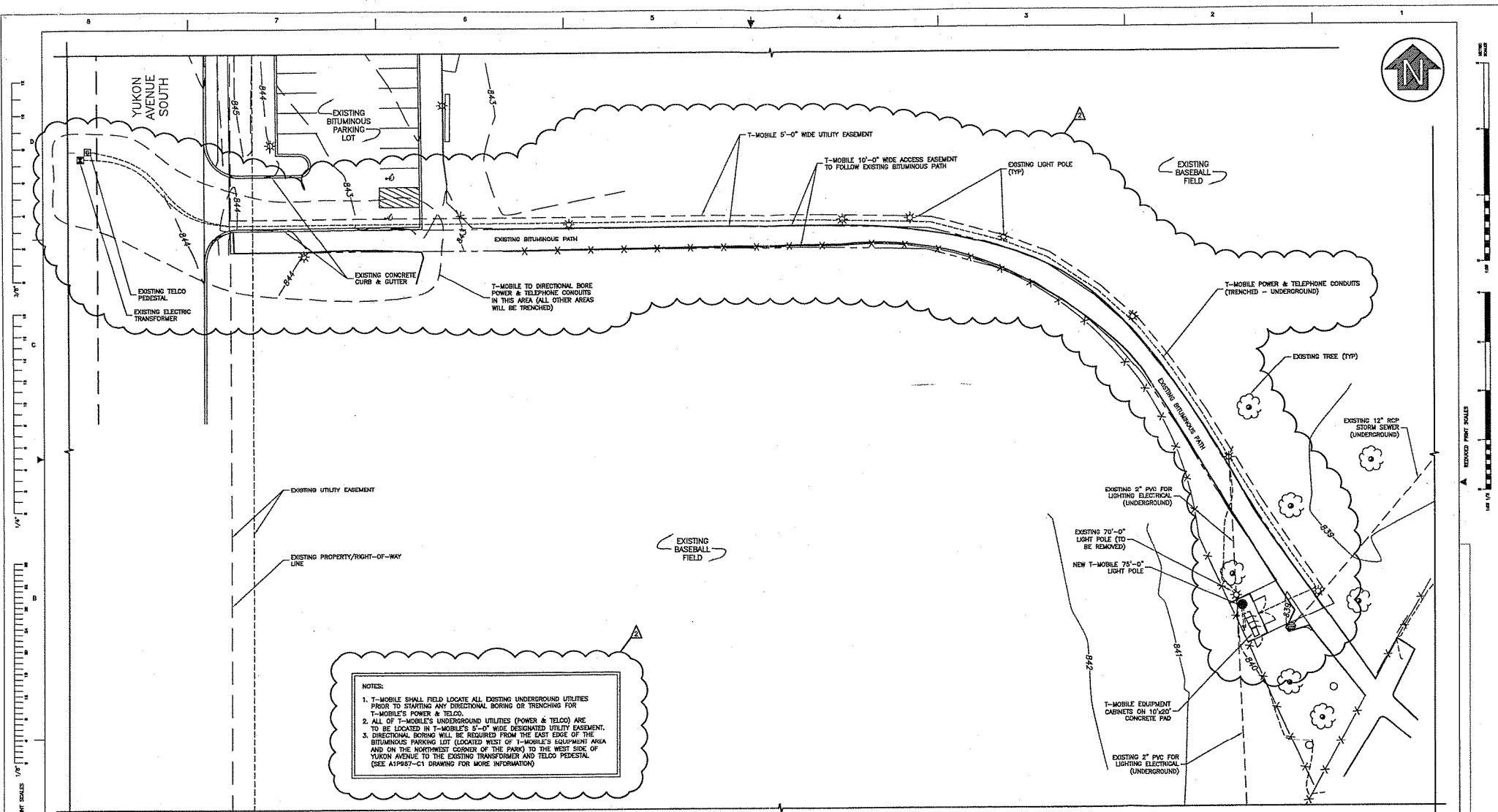
SITE DIRECTIONS:  
FROM I-494 & HWY. 169, GO SOUTH ON HWY 169 FOR APPROX. 4 MILES TO W. OLD SHAKOPEE RD./R 1; TURN LEFT ONTO W. OLD SHAKOPEE RD./R 1 AND GO EAST FOR 1/2 MILE TO YUKON AVE. S; TURN RIGHT AND GO SOUTH TO FIRST DRIVEWAY ON THE LEFT, EXISTING POLE IS BEHIND LEFT FIELD FENCE.

CALL 48 HOURS BEFORE DIGGING  
**GOPHER STATE ONE CALL**  
TOLL FREE AREA 661-454-2000  
MIN. TOLL FREE 1-800-252-1166

## DRAWING INDEX

AP1967-01	PROJECT INFORMATION AND GENERAL NOTES
AP1967-01	SITE PLAN
AP1967-02	FOUNDATION
AP1967-03	ANTENNA INFORMATION AND TOWER ELEVATION
AP1967-04	SECTIONS AND DETAILS
AP1967-05	POWER AND GROUNDING PLAN

STANDARD DRAWINGS:	
STANDARD - A15 (1)	STANDARD GEN & GEN S EQUIPMENT CABINETS
STANDARD - A15 (1)	PLAN & ELEVATION VIEWS
STANDARD - A25 (1)	STANDARD PERCELL EQUIPMENT CABINET PLAN & ELEVATION
STANDARD - A35 (1)	STANDARD SITE IMPROVEMENT SPECIFICATIONS
STANDARD - A45 (1)	FENCING SPECIFICATIONS
STANDARD - A55 (1)	FENCING SPECIFICATIONS
STANDARD - E15 (1)	STANDARD ELECTRICAL SPECIFICATIONS
STANDARD - E25 (1)	STANDARD ANTENNA & COAX GROUNDING SPECIFICATIONS
STANDARD - E35 (1)	STANDARD ANTENNA COAX INSTALLATION SPECIFICATIONS
STANDARD - E45 (1)	STANDARD-EQUIPMENT-BUILDING-WIRING SPECIFICATIONS
STANDARD - E55 (1)	STANDARD-GROUNDING-SPECIFICATIONS-FOR-GUPE-TOWERS
STANDARD - N15 (1)	STANDARD ELECTRICAL SPECIFICATIONS GENERAL
STANDARD - N25 (1)	STANDARD CONSTRUCTION SPECIFICATIONS GENERAL
STANDARD - N35 (1)	STANDARD CONSTRUCTION SPECIFICATIONS GENERAL
STANDARD - N45 (1)	STANDARD CONSTRUCTION SPECIFICATIONS GENERAL
STANDARD - N55 (1)	STANDARD EQUIPMENT PLATFORM FOUNDATION PLAN, SECTIONS, AND DETAILS
STANDARD - S25 (1)	STANDARD EQUIPMENT PLATFORM SPECIFICATIONS
STANDARD - S35 (1)	STANDARD EQUIPMENT PLATFORM EXTENSION, WELDING, BRIDGE SPECIFICATIONS
STANDARD - E45 (1)	STANDARD-EQUIPMENT-BUILDING-WIRING SPECIFICATIONS
STANDARD - E45 (1)	STANDARD-EQUIPMENT-BUILDING-WIRING SPECIFICATIONS
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STANDARD - E45 (1)	



**NOTES:**

1. T-MOBILE SHALL FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO STARTING ANY DIRECTIONAL BORING OR TRENCHING FOR T-MOBILE'S POWER & TELCO.
2. ALL OF T-MOBILE'S UNDERGROUND UTILITIES (POWER & TELCO) ARE TO BE LOCATED IN T-MOBILE'S 5'-0" WIDE DESIGNATED UTILITY EASEMENT.
3. DIRECTIONAL BORING WILL BE REQUIRED FROM THE EAST EDGE OF THE BITUMINOUS PARKING LOT (LOCATED WEST OF T-MOBILE'S EQUIPMENT AREA AND ON THE NORTHWEST CORNER OF THE PARK) TO THE WEST SIDE OF YUKON AVENUE TO THE EXISTING TRANSFORMER AND TELCO PEDESTAL. (SEE A1P967-C1 DRAWING FOR MORE INFORMATION)

**SITE PLAN**  
SCALE: 1" = 20'-0"

REV	DATE	REVISION DESCRIPTION	DESIGN	APPROVED	BY	IN	OP	INSTALL	REFERENCE DRAWINGS
1	10/10/06	ISSUED FOR CONSTRUCTION	CM	MM					
2	10/23/06	ADDED UTILITY EASEMENT	CM	MM					

**T-Mobile**  
MINNEAPOLIS MARKET

NOTICE: THIS DRAWING HAS NOT BEEN PUBLISHED AND IS THE SOLE PROPERTY OF T-MOBILE - MINNEAPOLIS MARKET AND IS LOANED TO THE BORROWER FOR THEIR CONFIDENTIAL USE ONLY, AND IN CONSIDERATION OF THE LOAN OF THIS DRAWING, THE BORROWER PROMISES AND AGREES TO RETURN IT UPON REQUEST AND AGREES THAT IT WILL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE OTHER THAN WHICH IT IS FURNISHED.

I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Michael Hackey*  
Michael Hackey  
11-9-06  
17852

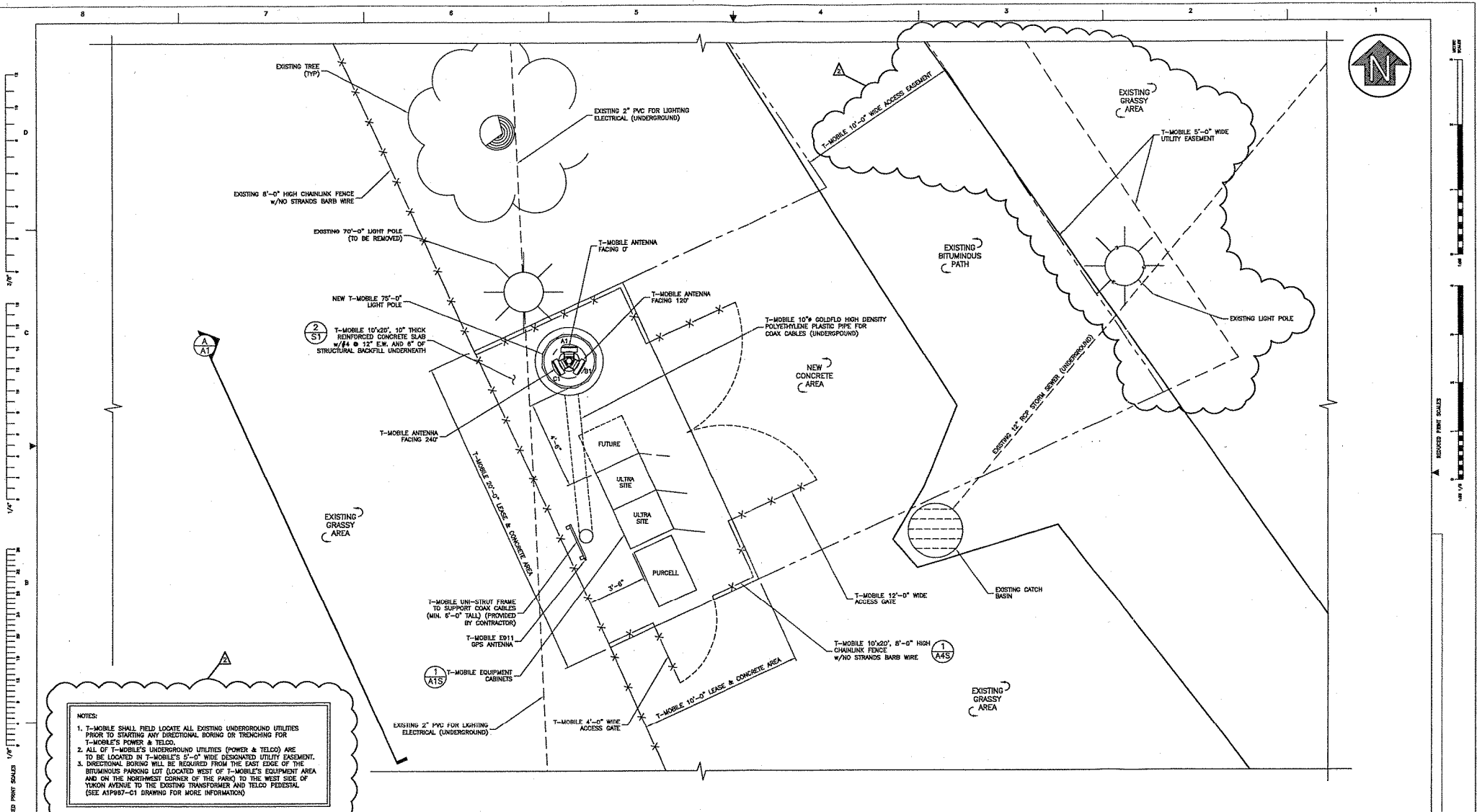
DESIGNED BY	DATE
R. RUDDY	10/10/06
CHECKED BY	DATE
C. MILLER	10/11/06
APPROVED BY	DATE
M. HACKEY	10/12/06
CLIENT APPROVAL	DATE

**BLOOMINGTON - DRED SCOTT FIELDS**  
**A1P967**  
**SITE PLAN**

10810 BLOOMINGTON FERRY RD.  
BLOOMINGTON, MINNESOTA

SCALE: AS NOTED  
DRAWING NUMBER: A1P967-C1  
REV: 2

MANUAL CHANGES MADE - YES ☐ NO ☐ DWG FILE UPDATED - YES ☐ NO ☐ MODEL UPDATED - YES ☐ NO ☐ CAD FILE NO.: A1P967C1.DWG



ENLARGED SITE PLAN  
SCALE: 3/8"=1'-0"

REV	DATE	REVISION DESCRIPTION	DRAWN	CHECKED	APPROVED	BY	FW	OP	INSTALL	REFERENCE DRAWINGS
1	10/10/06	ISSUED FOR CONSTRUCTION								
2	10/12/06	ADDED UTILITY EASEMENT								

**T-Mobile**  
MINNEAPOLIS MARKET

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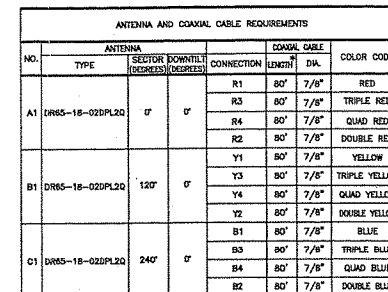
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Michael Hachey* Title: *Professional Engineer*  
Date: *11-9-06* Exp. No.: *17852*

PROJECT NO.  
DESIGNED BY: R. RUDDY DATE: 10/10/06  
CHECKED BY: C. MILLER DATE: 10/11/06  
APPROVED BY: M. HACHEY DATE: 10/12/06  
CLIENT APPROVAL: DATE:

BLOOMINGTON - DRED SCOTT FIELDS  
A1P967  
ENLARGED SITE PLAN  
10810 BLOOMINGTON FERRY RD.  
BLOOMINGTON, MINNESOTA  
SCALE: AS NOTED DRAWING NUMBER: A1P967-C2 REV: 2

MANUAL CHANGES MADE - YES ☐ NO ☐ DWG FILE UPDATED - YES ☐ NO ☐ MODEL UPDATED - YES ☐ NO ☐ CAD FILE NO.: A1P967C2.DWG



1. ANTENNA CABLE LENGTHS HAVE BEEN DETERMINED BASED ON THESE PLANS. CABLE LENGTHS LISTED ARE APPROXIMATE AND ARE NOT INTENDED TO BE USED FOR FABRICATION. DUE TO FIELD CONDITIONS ACTUAL ANTENNA CABLE LENGTHS REQUIRED MAY VARY FROM LENGTHS TABULATED.
2. ALL ANTENNA/COAX CABLES TO BE COLORED CODED AT THREE (3) LOCATIONS USING 1/2" WIDE PVC ELECTRICAL TAPE.
  - A. TOP OF TOWER (ANTENNA LEVEL)
  - B. BASE OF TOWER
  - C. AT SITE GABNET CONNECTION POINT
3. ANTENNA/COAX CABLES SHALL UTILIZE GROUND KITS CONNECTED AT THREE (3) POINTS OF TOWER AS FOLLOWS:
  - A. TOP OF TOWER (ANTENNA LEVEL) ONE END MECHANICALLY GROUND TO TOWER
  - B. BOTTOM OF TOWER, ONE END MECHANICALLY CONNECTED TO GROUND BAR
  - C. AT SITE GABNET CONNECTION POINT.
4. ANTENNAS FOR EACH SECTOR SHALL BE SPACED AT NOT LESS THAN 10'-0" APART.
5. ANTENNA SECTORS SHALL BE MEASURED WITH TRUE NORTH AS SHOWN ON THE PLANS.

E911 ANTENNA REQUIREMENTS					
NO.	ANTENNA		COAXIAL CABLE		
	TYPE	SECTOR (DEGREES)	LENGTH*	DA	COLOR CODE
1	GPS L1 (58532A)	--	20'	1/4"	--



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I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature [Signature] Typed or Printed Name MICHAEL HACHEY  
Date 11-9-06 Reg. No. 17852

DESIGNED BY R. RUDDY	DATE 10/10/08
CHECKED BY C. MILLER	DATE 10/11/08
APPROVED BY M. HACHEY	DATE 10/12/08
CLIENT APPROVAL	DATE

BLOOMINGTON - DRED SCOTT FIELDS  
A1P967  
ANTENNA INFO. & TOWER ELEVATION

10B10 BLOOMINGTON FERRY RD.  
BLOOMINGTON, MINNESOTA

SCALE	DRAWING NUMBER
AS NOTED	A1P967-A1

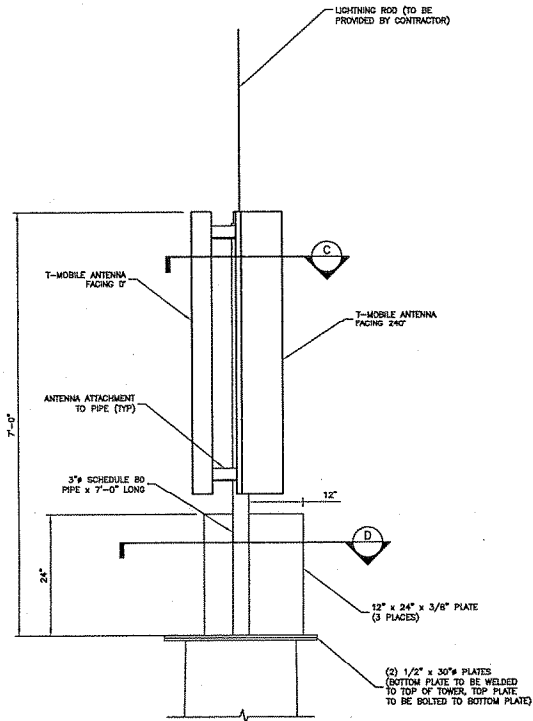
SCALE	DRAWING NUMBER
AS NOTED	A1P967-A1

3

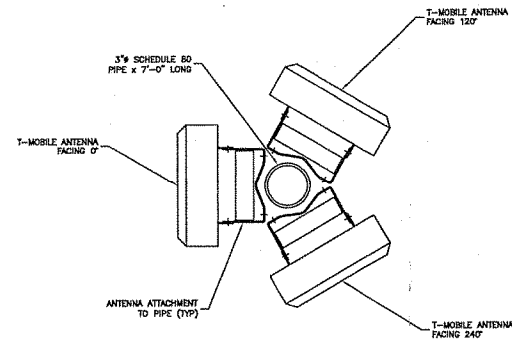
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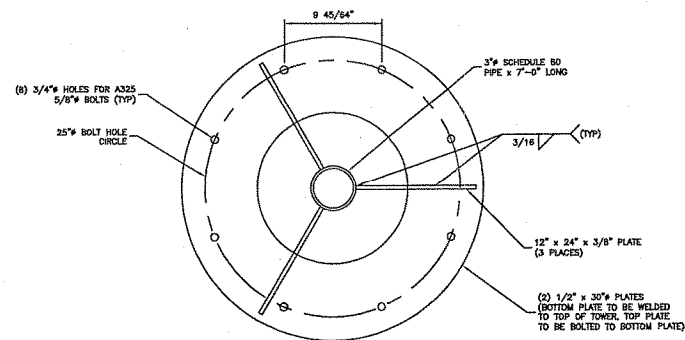




**3 A1 ANTENNA ENCLOSURE DETAIL**  
SCALE: 1"=1'-0"



**C SECTION**  
SCALE: 2"=1'-0"



**D SECTION**  
SCALE: 2"=1'-0"

REV	DATE	REVISION DESCRIPTION	DRAWN BY	CHECKED BY	APPROVED BY	RF	FN	OF	INSTALL	REFERENCE DRAWINGS
1	10/10/06	ISSUED FOR CONSTRUCTION	JUL CH	MM						
2	10/23/06	ADDED UTILITY EASEMENT	JUL CH	MM						

**T-Mobile**  
MINNEAPOLIS MARKET

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I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Michael Hachey  
11-9-06  
17902

PROJECT NO.	
DESIGNED BY	DATE
R. RUDDY	10/10/06
CHECKED BY	DATE
C. MILLER	10/11/06
APPROVED BY	DATE
M. HACHEY	10/12/06
CLIENT APPROVAL	DATE

**BLOOMINGTON - DRED SCOTT FIELDS**  
**A1P967**  
**SECTIONS AND DETAILS**

10810 BLOOMINGTON FERRY RD.  
BLOOMINGTON, MINNESOTA

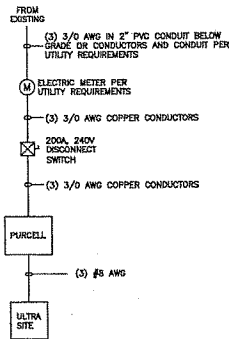
SCALE: AS NOTED  
DRAWING NUMBER: **A1P967-S2**

REV 2

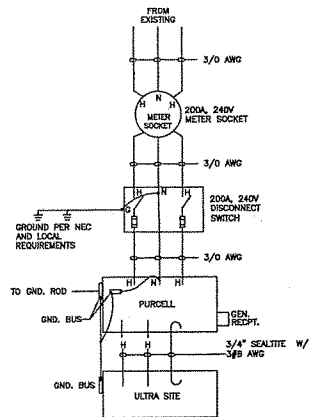
MANUAL CHANGES MADE - YES ☐ NO ☐ DWG FILE UPDATED - YES ☐ NO ☐ MODEL UPDATED - YES ☐ NO ☐ CAD FILE NO. A1P967S2.DWG

# NEW UTILITY SERVICE

## ONE - LINE DIAGRAM STANDARD (240V)



## WIRING DIAGRAM

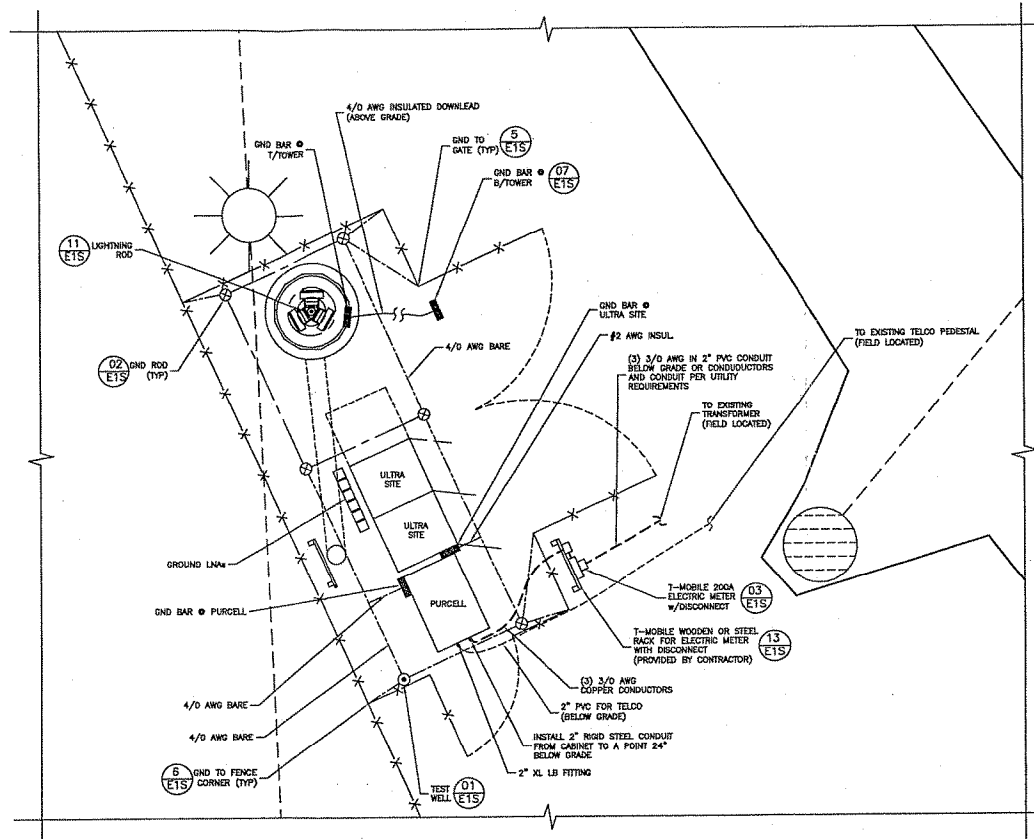


### NOTES:

- CONTRACTOR TO COORDINATE AND VERIFY UTILITY POWER REQUIREMENTS WITH UTILITY PRIOR TO ANY CONSTRUCTION WORK. SEE DRAWING T1 FOR UTILITY AND TELCO INFORMATION.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS NOTED OTHERWISE.

### ELECTRICAL NOTES:

- CONNECT COAX GROUND KITS TO MASTER GROUND BUS AT T/TOWER.
- CONNECT COAX GROUND KITS TO GROUND BUS AT T/TOWER.
- CONNECT LNA GROUND TO GROUND BUS AT T/TOWER.
- ALL GROUNDING CONNECTIONS TO BE MADE USING CRYOTHERMIC WELD PROCESS UNLESS OTHERWISE APPROVED BY DESIGNER.
- FOR GROUNDING OF EQUIPMENT SUPPORT STEEL, ICE BRIDGE/CANOPY AND WAVEGUIDE BRIDGE, SEE APPLICABLE PORTION OF DETAIL TYPE 2, STANDARD DWG. A10852-E2.
- ELECTRICAL CONTRACTOR TO PULL BONDING JUMPER @ PURCELL, ONLY IF DISCONNECT GROUND IS TIED TO GROUND FIELD INSTEAD OF SEPARATE GROUND ROD.



## POWER AND GROUNDING PLAN

SCALE: NONE

### NOTES:

- T-MOBILE SHALL FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO STARTING ANY DIRECTIONAL BORING OR TRENCHING FOR T-MOBILE'S POWER & TELCO.
- ALL OF T-MOBILE'S UNDERGROUND UTILITIES (POWER & TELCO) ARE TO BE LOCATED IN T-MOBILE'S 5'-0" WIDE DESIGNATED UTILITY CASEMENT.
- DIRECTIONAL BORING WELL IS REQUIRED FROM THE EAST EDGE OF THE BRUNNEN PARKING LOT (LOCATED WEST OF T-MOBILE'S EQUIPMENT AREA AND ON THE NORTHWEST CORNER OF THE PARK) TO THE WEST SIDE OF YUKON AVENUE TO THE EXISTING TRANSFORMER AND TELCO PEDESTAL. (SEE A1P967-C1 DRAWING FOR MORE INFORMATION)

REV	DATE	REVISION DESCRIPTION	DESIGN	APPROVED	BY	IN	OP	INITIAL	REFERENCE DRAWINGS
1	10/10/06	ISSUED FOR CONSTRUCTION	DRG						
2	10/23/06	ADDED UTILITY EASEMENT	DRG						

**T-Mobile**  
MINNEAPOLIS MARKET

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I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Master Electrician under the laws of the State of Minnesota.

Signature: \_\_\_\_\_ Title: \_\_\_\_\_  
Date: \_\_\_\_\_ Exp. Date: \_\_\_\_\_

PROJECT NO.  
DESIGNED BY: R. RUDY DATE: 10/10/06  
CHECKED BY: C. MILLER DATE: 10/11/06  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CLIENT APPROVAL: \_\_\_\_\_ DATE: \_\_\_\_\_

BLOOMINGTON - DRED SCOTT FIELDS  
A1P967  
POWER AND GROUNDING PLAN

10810 BLOOMINGTON FERRY RD.  
BLOOMINGTON, MINNESOTA

SCALE: AS NOTED DRAWING NUMBER: A1P967-E1 REV: 2

MANUAL CHANGES - YES ☐ NO ☐ DWG FILE UPDATED - YES ☐ NO ☐ MODEL UPDATED - YES ☐ NO ☐ CAD FILE NO.: A1P967E1.DWG



## Request for Council Action

Originator Information Technology	Item <b>3.13 Approve City View Amendment</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve amendment with City View in the amount of \$51,030.

Item created by: Amy Cheney, Information Technology

Item presented by: Amy Cheney, Chief Information Officer

Description:

The City uses Harris Computer Systems' City View solution for its permitting and licensing functions. Council approved an initial agreement with City View in 2014 for \$409,069.20. Since that time, there have been four amendments totaling \$154,829. These amendments allowed for additional functionality. The current amendment is to add Cannabis and Parking Structure license types, update workflows to utilize the public facing portal, and to develop additional notification letters for code enforcement and short-term rentals.

The amount of the amendment is \$51,030. The total amount of the initial agreement and amendments to date is \$614,928.20.

Funding for the current amendment is available in the Information Technology replacement fund.



## Request for Council Action

Originator City Clerk	Item <b>3.14 Resolution Establishing Precinct Boundaries and Polling Places for Elections.</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, and second by \_\_\_\_\_, to approve Resolution 2025-\_\_\_\_\_ Establishing Precinct Boundaries and Polling Places for Elections.

Item created by: Jamy Hanson, City Clerk

Item presented by: Jamy Hanson, City Clerk

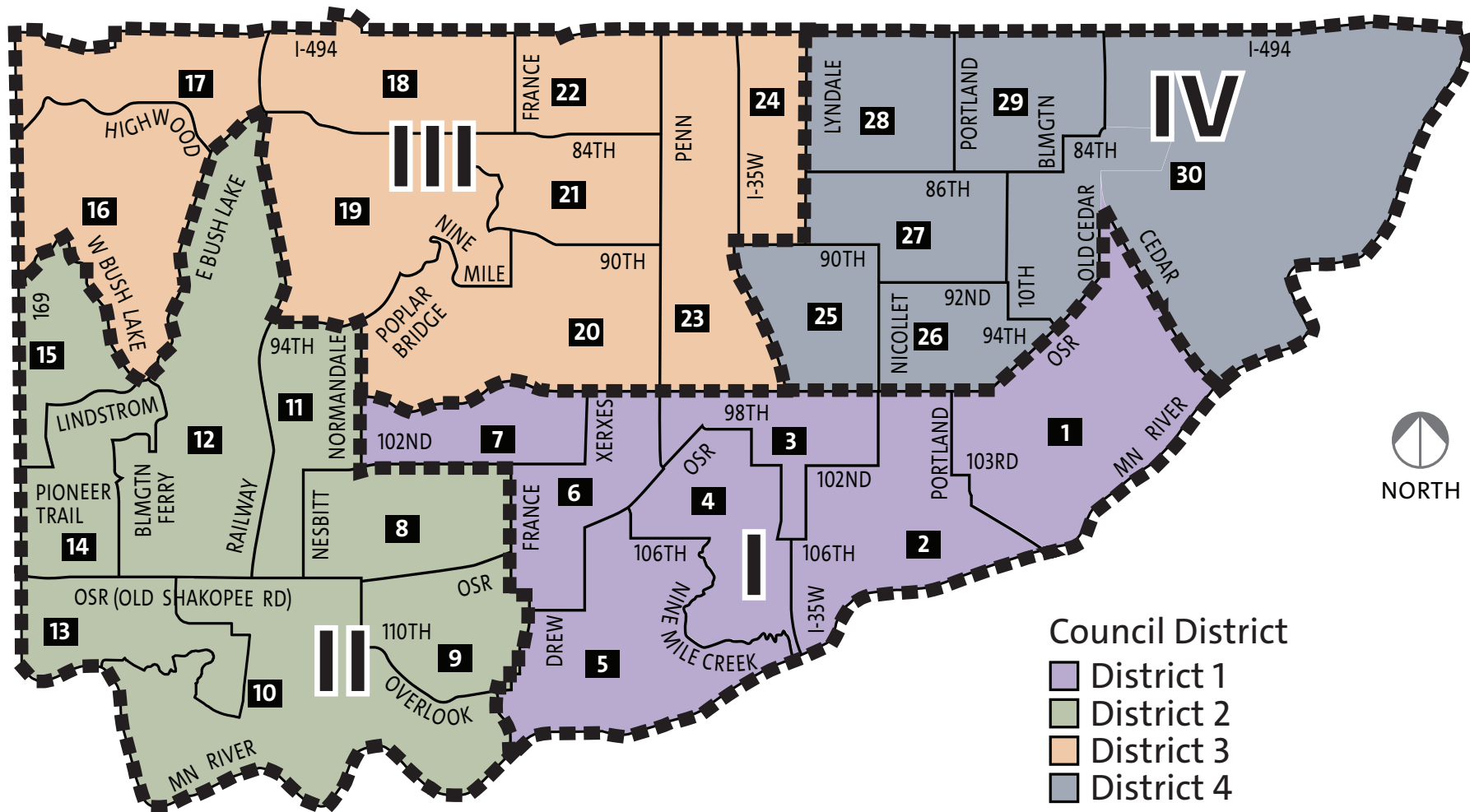
Description:

The polling place that serves Precinct 30, Cedar Valley Church, has become unavailable. Minnesota Statute 204B.16 allows cities to change polling place locations if the polling place becomes unavailable.

The proposed resolution would combine Precincts 30 and 31 into one, Precinct 30. The polling place will be Minnesota Valley National Wildlife Refuge, 3815 American Boulevard East. This will not change the balance of council districts.

Attachments:

[2025 Council District map.pdf](#)



## Bloomington Precincts

Visit [mnvotes.org](http://mnvotes.org) to find your polling place

All Bloomington polling places are accessible.  
See back for polling place listing.

8622A (07/2025)

## Voting assistance


is available to accommodate persons with disabilities. Ask election judges for assistance to:

- Help read or mark a ballot.
- Use a magnifying device.
- Use a chair at the voting booth.
- Vote at curbside.



# Bloomington Polling Places

## Addresses, entrances and parking

All Bloomington polling places are accessible.   
See reverse for detailed map.

PRECINCT	POLLING LOCATION	ENTRANCE/ PARKING LOT
1	ATONEMENT LUTHERAN CHURCH 601 East Old Shakopee Road	Southwest Entrance South Lot
2	GRACE COVENANT CHURCH 10201 Nicollet Avenue South	Southeast Entrance East Lot
3	ST. LUKE'S LUTHERAN CHURCH 1701 West Old Shakopee Road	Northeast Entrance North Lot
4	OAK GROVE PRESBYTERIAN CHURCH 2200 West Old Shakopee Road	Main Entrance Northeast Lot
5	MN VALLEY UNITARIAN UNIVERSALIST FELLOWSHIP 10715 Zenith Avenue South	Main Entrance North Lot
6	MT. HOPE LUTHERAN CHURCH 3601 West Old Shakopee Road	Main Entrance (S) South Lot
7	CROSSPOINT CHURCH 9801 France Avenue South	Main Entrance (E) East Lot
8	BLOOMINGTON COVENANT CHURCH 10150 Xerxes Avenue South	Main Entrance (E) East and North Lots
9	TRANSFIGURATION LUTHERAN CHURCH 11000 France Avenue South	Main Entrance (W) West Lot
10	MN MASONIC HERITAGE CENTER 11411 Masonic Home Drive	Main Entrance (W) West Lot
11	NORMANDALE HYLANDS UNITED METHODIST CHURCH 9920 Normandale Boulevard South	NE Entrance (Left Doors) North Lot
12	COMMUNITY OF THE CROSS LUTHERAN CHURCH 10701 Bloomington Ferry Road	Main Entrance (N) North Lot
13	FOUNDERS RIDGE (NEW) 6600 Auto Club Road	West Entrance West and North Lots
14	BLOOMINGTON LUTHERAN SCHOOL 10600 Bloomington Ferry Road	Main Entrance (S) South lot, ADA: East Side
15	HYLAND VISITORS CENTER 10145 Bush Lake Road	West Entrance West Lot
16	PEACE LUTHERAN CHURCH 8600 East Bush Lake Road	Main Entrance North Lot

PRECINCT	POLLING LOCATION	ENTRANCE/PARKING LOT
17	WESTWOOD COMMUNITY CHURCH 6301 Cecilia Circle	Main Entrance (W) Main Lot (W)
18	ST. STEPHEN LUTHERAN CHURCH 8400 France Avenue South	Main Entrance (W) West Lot
19	THE CHURCH OF ST. EDWARD'S 9401 Nesbitt Avenue South	SW Entrance-Upper Level Southwest Lot
20	ST. MICHAEL'S LUTHERAN CHURCH 9201 Normandale Boulevard	East Entrance East Lot
21	PENN LAKE LIBRARY (NEW) 8800 Penn Avenue South	South Entrance Southwest Lot
22	SOUTHTOWN BAPTIST CHURCH 2600 West 82nd Street	Main Entrance (W) Northwest Lot
23	BLOOMINGTON CITY HALL 1800 West Old Shakopee Road	West Entrance West Lot
24	CHRIST THE KING LUTHERAN CHURCH 8600 Fremont Avenue South	Southwest Entrance Southwest Lot
25	OXBORO EVANGELICAL FREE CHURCH 9431 Nicollet Avenue South	North Entrance North Lot
26	BLOOMINGTON LUTHERAN CHURCH 9350 Portland Avenue South	Main Entrance North Lot
27	ST. BONAVENTURE CATHOLIC CHURCH 901 East 90th Street (Social Hall)	Main Entrance East Lot
28	UNITY SOUTH CHURCH 7950 1st Avenue South	Main Entrance South Lot
29	PORTLAND AVENUE UNITED METHODIST CHURCH 8000 Portland Avenue South	Main Entrance West Lot
30	MN VALLEY NATIONAL WILDLIFE REFUGE BUILDING 3815 American Boulevard East	West Entrance Visitors Lot (W)

The City of Bloomington does not discriminate against or deny the benefits of its services, programs, or activities to a qualified person because of a disability. To make a request for a reasonable accommodation, ask for more information, or to file a complaint, contact the Community Outreach and Engagement Division, City of Bloomington, 1800 West Old Shakopee Road, Bloomington, MN 55431-3027; 952-563-8733, MN Relay 711.

**Visit [mnvotes.org](https://mnvotes.org) to find your polling place**



## Request for Council Action

Originator City Clerk	Item <b>3.15 On-Sale Liquor and Sunday Liquor License - Hilton Garden Inn at 1601 American Blvd E</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve an On-Sale Liquor and Sunday Liquor License for MOA Hospitality LLC, doing business as Hilton Garden Inn located at 1601 American Blvd E.

Item created by: Matt Brillhart, City Clerk

Item presented by: Matt Brillhart, Deputy City Clerk

Description:

MOA Hospitality LLC has applied for an On-Sale Liquor and Sunday Liquor License for the Hilton Garden Inn located at 1601 American Blvd East. This is an existing hotel that is changing ownership and management companies.

The City Clerk's office has reviewed the application and finds it to be in order for City Council approval. The license will be submitted to the State of Minnesota pending submittal of all required application & insurance documents.



## Request for Council Action

Originator City Clerk	Item <b>3.16 Special Event On-Sale Liquor License – St. Bonaventure Catholic Church Fall Festival</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the special event on-sale intoxicating liquor license for St. Bonaventure Catholic Church, 901 East 90<sup>th</sup> Street, on September 6, 2025.

Item created by: Matt Brillhart, City Clerk

Item presented by: Matt Brillhart, Deputy City Clerk

Description:

The City Council is asked to consider approval of a special event on-sale intoxicating liquor license application for:

St. Bonaventure Catholic Church

901 East 90<sup>th</sup> Street

The application is in conjunction with St. Bonaventure's Fall Festival being held on Saturday, September 6, 2025. The applicant is a qualifying non-profit organization. Staff has reviewed this license application pursuant to Bloomington City Code.



## Request for Council Action

Originator City Clerk	Item <b>3.17 Special Event On-Sale Liquor License for Wooden Hill Brewing Co. at Richardson Nature Center</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the special event on-sale liquor license for Wooden Hill Brewing Co. for an event at Richardson Nature Center on September 13, 2025.

Item created by: Matt Brillhart, City Clerk

Item presented by: Matt Brillhart, Deputy City Clerk

Description:

The City Council is asked to consider approval of a special event on-sale liquor license application for Wooden Hill Brewing Co. They will be serving alcohol at the *Bugs, Blankets and Bluegrass* event at Richardson Nature Center on Saturday, September 13, 2025. The applicant is a qualifying small brewer. Staff has reviewed this license application pursuant to Bloomington City Code.



## Request for Council Action

Originator Maintenance	Item <b>3.18 Resolution Authorizing the Purchase of Real Property Located at 9715 James Avenue</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution No. 2025-\_\_\_\_, a resolution authorizing the purchase of real property located at 9715 James Avenue South, Bloomington, MN 55431.

Item created by: Kalea Fischer, Maintenance

Item presented by: Tim Behrendt, Maintenance Superintendent

Mary Clare Mulcahy, Assistant City Attorney

Description:

At the June 30, 2025 City Council meeting, the Council, after meeting in closed session as permitted by state law, authorized City staff to negotiate the purchase price for commercial property adjacent to Public Works and located at 9715 James Avenue South, Bloomington, Minnesota 55431 ("Property"). The Property and subsequent demolition of the building on the Property is needed for the future salt shed, brine building and vehicle wash bays.

After the June 30, 2025 City Council meeting, City staff negotiated the purchase price of the Property with the sellers, as set forth in the Resolution, and staff recommend the City Council authorize the Mayor, City Manager, Chief Financial Officer, and City Attorney, or their designee(s) to execute the purchase agreement with the sellers.

Attachments:

[Resolution Authorizing Purchase of 9715 James Ave.docx](#)  
[2025-0908 - LOI - COB FJM - Executed.pdf](#)

**RESOLUTION NO. 2025 -**

**A RESOLUTION AUTHORIZING THE PURCHASE OF REAL PROPERTY LOCATED  
AT 9715 JAMES AVENUE SOUTH, BLOOMINGTON, MN 55431**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota; and

WHEREAS, the City Council met in closed session as permitted by state law on June 30, 2025, to consider the purchase, and subsequent demolition, of property adjacent to Public Works and located at 9715 James Avenue South, Bloomington, MN 55431 (“Property”); and

WHEREAS, the acquisition and subsequent demolition of the Property is needed for future construction of a salt shed, brine building, and vehicle wash bays; and

WHEREAS, after returning to open session after its closed session discussion on June 30, 2025, the City Council authorized City staff to proceed with the acquisition and subsequent demolition of the Property pursuant to the terms discussed in closed session and directed City staff to prepare a resolution for City Council action, as required by City Charter § 9.02; and

WHEREAS, after the June 30, 2025, City Council meeting, City staff negotiated a purchase price with FJM Merced Associates, L.P. (“Sellers”) to acquire the Property for \$4,900,000.00 (“Purchase Price”); and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON that based on the foregoing recitals and as required by State law and City Charter, that the Mayor, City Manager, Chief Financial Officer, and City Attorney, or their designee(s) are hereby authorized and directed to enter into a purchase agreement for the Property and to undertake all other required or necessary actions in furtherance of and as required by said purchase agreement and as set forth in this Resolution.

Passed and adopted this 4<sup>th</sup> day of August, 2025.

---

Mayor

ATTEST:

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Secretary to the Council





July 28, 2025

**City of Bloomington**

Attn: Mary Clare Mulcahy

Sent via email: [mmulcahy@bloomingtonmn.gov](mailto:mmulcahy@bloomingtonmn.gov)

**RE:           *LETTER OF INTENT TO SELL*  
                  9715 James Avenue South  
                  Bloomington, MN 55431**

Dear Mary Clare:

I am pleased to present, in response to your offer to purchase on 7/18/2025, the following Letter of Intent to Sell on behalf of FJM Merced Associates LP, who is prepared to close under the following terms and conditions. If the terms and conditions are acceptable, please sign below and initiate a Purchase Agreement for Seller's review.

- 1. PURCHASE PRICE:**                   \$4,900,000.00
  
- 2. PROPERTY DESCRIPTIONS:**           A land parcel of approximately 2.12 acres including a building consisting of approximately 58,116SF described using the following PID number: 16-027-24-24-0029.
  
- 3. EARNEST MONEY:**                   Buyer will place \$100,000.00 earnest money (the "Earnest Money") for the property into an earnest money trust/escrow account. Earnest Money shall be delivered within five days of execution of the Purchase Agreement. Upon expiration of the due diligence period, the earnest money will be non-refundable.
  
- 4. TERMS OF PAYMENT:**               Cash at closing.
  
- 5. CLOSING DATE:**                    The closing date ("Closing") is negotiable. However, it is understood it will be on or before thirty (30) days after the expiration of the due diligence period. Seller to have one (1) thirty (30) day option to extend closing date to accommodate Seller's potential tax deferred exchange, if required. If Seller exercises their option to extend the closing date, Seller to provide Buyer access to premises for use and/or operations if needed. Transaction to close in 2025.
  
- 6. CONVEYANCE:**                    Seller will convey the Property to Buyer by a limited warranty deed.



- 7. TITLE:** Seller shall provide a marketable fee simple title to Buyer.
- 8. INSPECTION PERIOD & CONTINGENCIES:** Buyer shall have thirty (30) days from mutual execution of a Purchase Agreement to satisfy or waive contingencies (due diligence).
- 9. MAINTENANCE:** Seller agrees that upon execution of this letter of intent that it shall maintain the Property in accordance with customary maintenance standards.
- 10. PRORATIONS, COST AND DEED TAXES:**
  - (a) All items customarily prorated in commercial transactions of this type shall be prorated at closing and shall, with regard to any such prorations as were based on estimate at closing, be reconciled after closing as soon as final information is available.
  - (b) Deed tax will be the sole responsibility of the Seller. Any pending Special Assessments on the property at the time of closing will be paid by Seller. Title search and commitment costs shall be paid by Seller and any title insurance premiums shall be paid by Buyer. Survey costs, if any, shall be paid by Buyer. Title company's closing fees for the purchase-sale escrow closing shall be split equally between Buyer and Seller.
- 11. BROKERAGE:** Tom Sullivan of Colliers International MN, LLC, represents the Seller, FJM Merced Associates LP. Buyer is not represented by a broker in this transaction.
- 12. GOOD FAITH NEGOTIATIONS:** Seller agrees that it shall negotiate in good faith with Buyer exclusively for a period of fifteen (15) calendar days from the date of acceptance of this Letter of Intent with a view to entering into a mutually acceptable, binding and enforceable Purchase Agreement consistent with the terms hereof and containing mutually agreed representations, warranties, covenants and conditions appropriate for the purchase.



If this letter of intent is acceptable, please acknowledge approval by signing in the space provided below and faxing or emailing the signed counterpart to me. This letter is intended only as an expression of the status of negotiations, and is not intended to be, contractually binding on either party, except for the “Good Faith Negotiations” section above and which shall be binding for the good faith negotiation period noted therein. This letter, including the terms herein and the good faith negotiation period, will not be effective until approved by the City Council of the City of Bloomington. Buyer will prepare and submit to Seller a draft Purchase Agreement embodying the terms hereof promptly after execution of this Letter of Intent.

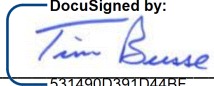
Sincerely,

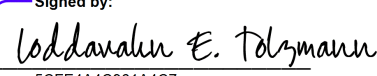
Tom Sullivan  
Colliers

**AGREED AND ACCEPTED:**

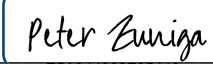
**BUYER:**

**City of Bloomington**

July 29, 2025  
\_\_\_\_\_  
DocuSigned by: Date  
By:   
531490D391D44BF...  
Tim Busse  
Its: Mayor

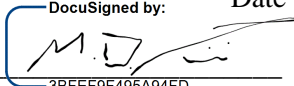
Signed by:  
By:   
5CFE4A4C961A4C7  
Loddavahn E. Tolzmann  
Its: Interim City Manager

Reviewed and approved by the Acting City Attorney

DocuSigned by:  
  
E5A344992F95448...  
Peter Zuniga

**SELLER:**

**FJM Merced Associates LP**

July 28, 2025  
\_\_\_\_\_  
DocuSigned by: Date  
By:   
3BFEF9F495A94FD...  
Its: Authorized Signatory



## Request for Council Action

Originator City Manager's Office	Item <b>3.19 Approval of City Council Meeting Minutes</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the city council meeting minutes as presented.

Item created by: Priyanka Rai, City Manager's Office

Item presented by: Priyanka Rai, Council Secretary

Description:

June 16, 2025 - Study Session Minutes  
July 14, 2025 - Listening Session Minutes  
July 14, 2025 - Regular Meeting Minutes  
July 14, 2025 - Special Meeting Minutes  
July 15, 2025 - Special Meeting Minutes  
July 28, 2025 - Study Session Minutes

Attachments:

[6-16-25 Study Session Minutes.pdf](#)  
[7-14-25 Listening Session.pdf](#)  
[7-14-25 Regular Meeting.pdf](#)  
[7-14-15 Special Meeting.pdf](#)  
[7-15-15 Special Meeting.pdf](#)  
[7-28-25 Study Session Minutes.pdf](#)

**City Council Regular Business Meeting**  
**Monday, June 16th, 2025 - 6:30 p.m.**  
**Bloomington Civic Plaza – Haeg Conference Room**  
**1800 W. Old Shakopee Road**  
**Bloomington, MN 55431**

**CALL TO ORDER**

Mayor Busse called the meeting to order at 6:30 p.m. and noted attendance.  
Present: Mayor Tim Busse and Councilmembers Jenna Carter, Chao Moua, Dwayne Lowman, Shawn Nelson (arrived 6:39pm), Lona Dallessandro and Victor Rivas (arrived 6:35pm).

All votes taken by voice vote.

Staff present: City Manager Elizabeth Tolzmann, City Manager Kathy Hedin, City Attorney Melissa Manderschied, Interim Council Secretary Kaytlyn Danielzuk, Priyanka Rai, and other staff.

**PLEDGE OF ALLEGIANCE**

Mayor Busse led the audience in the pledge of allegiance to the flag.

**1.0 Approval of Agenda**

Motion by Mayor Busse, seconded by Dallessandro to approve agenda as presented.  
Motion carried 7-0.

**2. INTRODUCTORY**

**2.1 2025 State Legislative Session Update**

No formal action required, for informational purposes only. City of Bloomington lobbyist Katy Sen provided an overview/update on the Legislative Session.

**2.2 External Auditor's Report on the 2024 Annual Financial Report**

Motion by Dallessandro, seconded by Carter to accept the City's Annual Comprehensive Financial Report for calendar year 2024. Motion carried 7-0.

**3. CONSENT BUSINESS**

*Councilmember **Moua** has the consent agenda. All motions carried 7-0.*

**3.1 2025 City of Bloomington Arts Grant Award Recommendations**

Motion by Moua, seconded by Carter, to approve the 2025 City of Bloomington Arts Grant Award recommendations for funding.

**3.2 Accept Bid & Award Contract – Civic Plaza Site Improvements & FS3 Concrete Repair Project**

Motion by Moua, seconded by Carter, to accept bid and award contract to Equity Builders & Construction Services, Inc. for Civic Plaza site improvements and Fire Station 3 concrete repair in the amount of \$498,764.00 and a 10% contingency (\$49,876.40) and to authorize Mayor and City Manager to enter into the related agreements.

**3.3 MSP Noise Oversight Committee Appointments**

Motion by Moua, seconded by Carter, to approve the reappointment of Councilmember Dwayne Lowman as the Noise Oversight Committee representative and Councilmember Victor Rivas and Environmental Health Manager Lynn Moore as alternates from June 26, 2025 through June 25, 2027.

**3.4 Approve Agreement and Appointment for Bond Counsel**

Motion by Moua, seconded by Carter, to name Kutak Rock as the City's Bond Counsel and to authorize the execution of the related agreement with Kutak Rock LLP as well as the termination of the related interim agreement with Kutak Rock for interim services.

- 3.5 On-Sale Liquor and Sunday Liquor License for Hyatt Place Minneapolis Airport South** Motion by Moua, seconded by Carter, to approve the On-Sale and Sunday Liquor License Renewal for Lord Vishnu Inc, doing business as Hyatt Place Minneapolis Airport South located at 7800 International Drive.
- 4. HEARINGS, RESOLUTIONS, AND ORDINANCES**
- 4.1 Resolutions Authorizing Issuance and Sale of Sales Tax Revenue Bonds, Series 2025A and GO Sales Tax Revenue Bonds, Series 2025B** Motion by Dallessandro, seconded by Moua to adopt Resolution No. 2025-66, authorizing the issuance and sale of Sales Tax Revenue Bonds, Series 2025A in the proposed aggregate principal amount of \$65,000,000. Motion carried 7-0.
- Motion by Dallesandro, seconded by Moua to adopt Resolution No. 2025-67, authorizing the issuance and sale of General Obligation Sales Tax Revenue Bonds, Series 2025B in the proposed aggregate principal amount of \$30,825,000. Motion carried 7-0.
- 5. ORGANIZATIONAL BUSINESS**
- 5.1 Study Item - Airport Parking Study** *Staff requested City Council's feedback on the zoning alternatives presented in the report, packet materials, and presentation. Please see agenda packet for additional information.*
- The Council provided insight and feedback regarding the high-volume of travelers at MSP, the regional commercial center of the South Loop district, and the area's natural resources. There were conversations discussing surface parking lots and how to balance the district's land use goals with parking.
- Additional discussion was had surrounding alternative parking structures and MAC's stance on the topic, as well as remote and satellite parking for nearby hotels. Remaining questions include details regarding CUPs, distance requirements, and other measures to reduce the number of hotels utilizing this parking option.
- 6.0 Adjournment** Motion to adjourn by Lowman, seconded by Moua. Motion carried 7-0. Meeting adjourned at 8:57pm.

*Kaytlyn Danielzuk*  
*Council Secretary*



**City Council Listening Session Meeting  
Monday, July 14, 2025 - 5:45 p.m.  
Bloomington Civic Plaza – Council Chambers  
1800 W. Old Shakopee Road  
Bloomington, MN 55431**

**CALL TO ORDER**

Mayor Busse called the meeting to order at 5:47 p.m. and noted attendance.

Present: Mayor Tim Busse and Councilmembers Jenna Carter, Chao Moua, Dwayne Lowman, Shawn Nelson, Lona Dallessandro, Victor Rivas

Staff present: Interim City Manager Kathy Hedin, Interim City Manager Elizabeth Tolzmann, City Attorney Melissa Manderschied, Council Secretary Priyanka Rai, and Administrative Assistant Kaytlyn Danielzuk

**LISTENING SESSION**

Michael List spoke about group home licensing process and zoning requirements.

**ADJOURNMENT**

Motion by Lowman, seconded by Rivas to adjourn. Motion carried 7-0.

The listening session adjourned at 6:01 pm.

City Council Regular Business Meeting  
Monday, July 14, 2025 - 6:30 p.m.  
Bloomington Civic Plaza - Council Chambers  
1800 W. Old Shakopee Road  
Bloomington, MN 55431

**CALL TO ORDER**

Mayor Busse called the meeting to order at 6:31 pm and noted attendance.

Present: Mayor Tim Busse and Councilmembers Jenna Carter, Chao Moua, Dwayne Lowman, Shawn Nelson, Lona Dallessandro and Victor Rivas

All votes taken by voice vote

Staff present: Interim City Managers Kathy Hedin and Elizabeth Tolzmann, City Attorney Melissa Manderschied, Council Secretary Priyanka Rai, and other staff

**PLEDGE OF ALLEGIANCE**

Mayor Busse led the audience in the pledge of allegiance to the flag.

**1.0 Approval of Agenda**

Motion by Mayor Busse, seconded by Carter to approve the agenda as listed. Motion carried 7-0.

**2. INTRODUCTORY****3. CONSENT BUSINESS**

*Councilmember **Lowman** has the consent agenda. Seconds by Moua 7-0*

**3.1 Natural Resources Participation Program Application - Bloomington Neighbors Nurture Nature (BNNN)**

Motion by Lowman, seconded by Moua to approve the Natural Resources Participation Program Community Project Proposal from Bloomington Neighbors Nurturing Nature, and to authorize the Mayor and City Manager to execute an agreement with Bloomington Neighbors Nurturing Nature.

**3.2 Resolution to Join Master Cooperative Agreement and Call Handling System 1 Consortium**

Motion by Lowman, seconded by Moua to adopt Resolution No. 2025-76 to join Master Cooperative Agreement for Planning and Coordinating Delivery of Emergency Communication Services and to Join Call Handling System 1 Consortium.

**3.3 Amendment to the 2025 City Council Calendar**

Motion by Lowman, seconded by Moua to adopt Resolution No. 2025 -77 to amend the 2025 City Council calendar.

**3.4 Encroachment Agreement Approval - 10100 Morgan Avenue South (PL202500063)**

Motion by Lowman, seconded by Moua to recommend acknowledging the attached Agreement as to Conditional Approval for Encroachment into Public Easements located at 10100 Morgan Avenue South.

**3.5 Encroachment Agreement Approval - 8009 Tierneys Woods Curve (PL202500062)**

Motion by Lowman, seconded by Moua to recommend acknowledging the attached Agreement as to Conditional Approval for Encroachment into Public Easements located at 8009 Tierneys Woods Curve.

**3.6 Bloomington Ice Garden (BIG) - School**

Motion by Lowman, seconded by Moua to approve an agreement, together with any modifications or amendments thereto, with Bloomington Public Schools for lease

- |             |  |  |
|-------------|--|--|
|             | <b>District Locker Room Lease Agreement</b>  | of dedicated boys and girls high school hockey team locker rooms at the Bloomington Ice Garden, subject to an initial contribution payment and annual lease payments.  |
| <b>3.7</b>  | <b>Approve purchase of John Deere 324P Wheel Loader</b>  | Motion by Lowman, seconded by Moua to approve the purchase of a 2025, John Deere 324P Wheel Loader.  |
| <b>3.8</b>  | <b>Agreement to Replace Firewall</b>   | Motion by Lowman, seconded by Moua to approve agreement to acquire a firewall solution in the amount of \$179,968.76.  |
| <b>3.9</b>  | <b>Authorize and Direct Staff to Set Just Compensation and Make Offers for Easement Acquisition and Approve Eminent Domain Resolution for City Project 2024-110</b>              | <p>Motion by Lowman, seconded by Moua to authorize and direct staff to set Just Compensation and make offers for easement acquisition for the 2024-110 Normandale Boulevard PMP Trail and Sidewalk Improvement Project.</p> <p>Motion by Lowman, seconded by Moua to adopt Eminent Domain Resolution, Resolution No. 2025-82 for the 2024-110 Normandale Boulevard PMP Trail and Sidewalk Improvement Project.</p> |
| <b>3.10</b> | <b>Approve Correction of Just Compensation List for Normandale Boulevard PMP Trail and Sidewalk Improvement Project</b>  | Motion by Lowman, seconded by Moua to approve the correction of Just Compensation list for the Normandale Boulevard PMP Trail and Sidewalk Improvement Project.  |
| <b>3.11</b> | <b>Resolution Authorizing Signing of Memorandums of Agreement and Accepting Easements for Normandale Blvd PMP Trail and Sidewalk Improvement Project (City Project 2024-110)</b> | Motion by Lowman, seconded by Moua to adopt resolution no. 2025-78, a resolution authorizing signing of Memorandums of Agreement and accepting easements for the Normandale Blvd PMP Trail and Sidewalk Project (City Project 2024-110).   |
| <b>3.12</b> | <b>Resolution Authorizing Application for and Execution of a State Grant Agreement with Budget Adjustment (Community Crime Intervention and Prevention Program)</b>              | Motion by Lowman, seconded by Moua to approve Resolution no. 2025-79 authorizing application for and execution of a Community Intervention and Prevention Program grant agreement with the State of Minnesota, Department of Public Safety and making related budget adjustments.  |

- 3.13 Approval of City Council Meeting Minutes** Motion by Lowman, seconded by Moua to approve the city council meeting minutes as presented.
- 4. HEARINGS, RESOLUTIONS, AND ORDINANCES**
- 4.1 Public Hearing: Resolutions Awarding the Sale of Taxable Sales Tax Revenue Bonds, Series 2025A and GO Sales Tax Revenue Bonds, Series 2025B** Motion by Dalessandro, seconded by Moua to adopt Resolution No. 2025-80 authorizing the issuance of sales tax revenue bonds, Series 2025A, in the original aggregate principal amount of \$63,500,000; fixing their form and specifications; and providing for the execution and delivery thereof and the security therefor. Motion carried 7-0.
- Motion by Dalessandro, seconded by Moua to adopt Resolution No. 2025-81 authorizing the issuance of general obligation sales tax revenue bonds, Series 2025B, in the original aggregate principal amount of \$28,125,000; fixing their form and specifications; and providing for the execution and delivery thereof and the security therefor. Motion carried 7-0.
- 4.2 Public Hearing: Ordinances Amending Chapter 20 - CenterPoint Energy and Excel Energy Franchise Fees** Mayor Busse opened the public hearing at 7:08 pm, one person testified.
- Motion by Lowman, seconded by Moua to close the public hearing at 7:13 pm. Motion carried 7-0.
- Motion for CenterPoint Energy:
- No increase in 2026.** Motion by Lowman, seconded by Moua to make no change and direct staff to return in spring 2026 to consider future fee changes. Motion carried 7-0.
- Motion for Xcel Energy:
- No increase in 2026.** Motion by Lowman, seconded by Moua to make no change and direct staff to return in spring 2026 to consider future fee changes. Motion carried 7-0
- 5. ORGANIZATIONAL BUSINESS**
- 5.1 Bloomington Ice Garden Update** Information only. No requested action.
- 5.2 Sidewalk Plowing Reduction Evaluation Update and Plan** Councilmembers expressed concerns about insufficient information to vote on the proposed plan. Directed staff to provide a more detailed breakdown of the costs associated with plowing sidewalks across the city and a deeper understanding of the impact on residents regarding proposed changes.
- Motion by Lowman, seconded by Dalessandro, to authorize the new City of Bloomington Sidewalk Plowing Plan. Motion failed 0-7.

- 5.3

City Council  
Policy/Issue Updates

Mayor Busse summarized the City Council Listening Session held at 5:45 pm.  
Mayor Busse and Interim City Manager Kathy Hedin provided the night’s policy and issue update.
6.

ADJOURNMENT

Motion by Moua, seconded by Dalessandro to adjourn the meeting. Motion carried 7-0.  
Mayor Busse adjourned the meeting at 8:58 pm.

*Priyanka Rai*  
*Council Secretary*

**City Council Special Meeting  
Monday, July 14, 2025  
Bloomington Civic Plaza  
1800 W. Old Shakopee Road  
Chadwick Conference Room  
Bloomington, MN 55431**

**1. CALL TO ORDER**

Mayor Busse called the meeting to order at 12:40 pm.

Present: Mayor Tim Busse and Councilmembers Jenna Carter, Chao Moua, Dwayne Lowman, Shawn Nelson, Lona Dallessandro and Victor Rivas

Others present: Greg Nelson, Mosaic Public Partners

**2. ORGANIZATIONAL  
BUSINESS**

**2.1 City Manager Interviews**

Panel briefing.

Interview 1: Zach Walker

Interview 2: Kathy Hedin

Interview 3: Cindy Steinhauser

Interview 4: Noah Schuchman

Motion by Dallessandro, seconded by Rivas to authorize and direct consultant to offer invitations to Zach Walker and Kathy Hedin to advance to a second interview for the city manager position on July 15, 2025, and to take further actions consistent with this motion. Motion carried 7-0.

For finalist interviews, the first interview will be at 7:00 pm, second interview at 8:00 pm on July 15 in Chadwick Conference Room.

**3. ADJOURNMENT**

Motion by Carter, seconded by Moua to adjourn the special meeting. Motion carried 7-0. Mayor Busse adjourned the meeting at 5:42 pm.

*Priyanka Rai  
Council Secretary*

**City Council Special Meeting  
Tuesday, July 15, 2025  
Bloomington Civic Plaza  
1800 W. Old Shakopee Road  
Chadwick Conference Room  
Bloomington, MN 55431**

**1. CALL TO ORDER**

Mayor Busse called the meeting to order at 7:00 pm.

Present: Mayor Tim Busse and Councilmembers Jenna Carter, Chao Moua, Dwayne Lowman, Shawn Nelson, Lona Dallessandro and Victor Rivas

Others present: Greg Nelson, Mosaic Public Partners

**2. ORGANIZATIONAL  
BUSINESS**

**2.1 City Manager Interviews**

Interview 1:  
Zach Walker

Interview 2:  
Kathy Hedin

Motion by Busse, seconded by Lowman to authorize and direct consultant to take further actions consistent with the discussion. Motion carried 4-3.

Vote: Ayes – 4 (Busse, Lowman, Moua, Nelson) Nays– 3 (Carter, Dalessandro, Rivas)

Executive Committee will work with and direct consultant to begin negotiations with Zach Walker.

**3. ADJOURNMENT**

Motion by Moua, seconded by Carter to adjourn the special meeting. Motion carried 7-0. Mayor Busse adjourned the meeting at 9:24 pm.

*Priyanka Rai  
Council Secretary*



**City Council Study Session  
Monday, July 28, 2025 - 6:30 pm  
Bloomington Civic Plaza – Council Chambers  
1800 W. Old Shakopee Road  
Bloomington, MN 55431**

**CALL TO ORDER**

Mayor Busse called the meeting to order at 6:35 pm and noted attendance.

Present: Councilmembers Dwayne Lowman, Lona Dallessandro and Victor Rivas  
Mayor Tim Busse, and Councilmembers Jenna Carter and Chao Moua arrived late at 6:34 pm

Absent: Councilmember Shawn Nelson

All votes taken by voice vote.

Staff present: City Manager Kathy Hedin, City Manager Elizabeth Tolzmann, Council Secretary Priyanka Rai, and other staff

**1.0 Approval of Agenda**

Motion by Mayor Busse, seconded by Dalessandro to approve agenda as presented.  
Motion carried 6-0.

**2. INTRODUCTORY**

**3. CONSENT BUSINESS**

**4. HEARINGS,  
RESOLUTIONS, AND  
ORDINANCES**

**5. ORGANIZATIONAL  
BUSINESS**

**5.1 Bloomington Ferry Road  
Corridor Visioning Study**

Engineering staff is undertaking a corridor visioning study for Bloomington Ferry Road from Ensign/Veness Road to Dred Scott Park/110th Street, aiming to create a roadway that better serves current and future users. The study will work with roadway users and the community to identify a shared vision for the corridor, focusing on safety, multimodal facilities, access, operational efficiency, and environmental resiliency. The presentation included background data, project goals, and next steps. No formal action was taken.

**5.2 Solid Waste Rates**

Public Works staff worked with Skumatz Economic Research Associates to develop 2026 solid waste rate scenarios, including enhanced rate differentials and a new every-other-week garbage service level. Staff presented preliminary rate modeling and service options for Council's consideration. No formal action was taken.

**5.3 Liquor License Discussion**

City Clerk staff discussed options to address the increase in liquor license compliance check failures, and potential changes to ensure timely receipt of liquor license renewal applications and payments. No formal action was taken.

**6.0 Adjournment**

Motion to adjourn by Lowman, seconded by Dalessandro. Motion carried 6-0.  
Meeting adjourned at 8:41 pm.

*Priyanka Rai*  
*Council Secretary*



## Request for Council Action

Originator Police Department	Item <b>3.20 Amendment to the Intent to Piggyback off Cooperative Procurement State of MN NASPO PA Contract No. 247327 (Axon Enterprises, Inc.)</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve the first amendment to the Intent to Piggyback off Cooperative Procurement State of MN NASPO PA Contract No. 247327 with Axon Enterprises, Inc.

Item created by: Emily Herman, Police Department

Item presented by: Deputy Chief Kim Clauson on behalf of Police Chief Booker Hodges

Description:

The City approved the Intent to Piggyback off Cooperative Procurement State of MN NASPO PA Contract No. 247327 on Monday, November 25, 2024, for the purpose of having Axon provide products and services to its police department. In June of 2025, the city approved a quote for the purchase of Axon Outpost Cameras utilized with the Automated License Plate Readers Program. The amendment to this contract allows for the addition of "Outpost" language to the existing contract. All documents are available for viewing in the Police Administration Office.



## Request for Council Action

Originator Police Department	Item <b>3.21 State of Minnesota Joint Powers Agreement for Bomb Disposal Unit Services</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve a Joint Powers Agreement with the State of Minnesota, acting through its Commissioner of Public Safety on behalf of the State Fire Marshal for Bomb Disposal Unit services.

Item created by: Emily Herman, Police Department

Item presented by: Deputy Chief Kim Clauson on behalf of Police Chief Booker Hodges

Description:

The Bloomington Police Department is requesting City Council approval of a JPA with the State of Minnesota to provide Bomb Disposal Unit services throughout the state. This agreement will be in effect from the date the State obtains all required signatures until June 30, 2030, or until all obligations have been satisfactorily fulfilled.

The state will reimburse the city up to but not exceeding \$50,000 during each state fiscal year; providing for a total reimbursable obligation not to exceed \$250,000. The following accounts from prior services will remain in place.

Revenue Account 145207-43401 State Grant, \$250,000  
Expenditure Account 145207-50040 Officer Overtime \$250,000

The funds have been accounted for; therefore, a budget adjustment is not required. A copy of the JPA can be found in the Police Administration Office.



## Request for Council Action

Originator Public Health	Item <b>3.22</b>  <b>Resolution to Accept Public Health Emergency Preparedness Grant Funds from the Minnesota Department of Health</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt Resolution No. 2025-\_\_\_\_\_ to accept Response Sustainability Grant Funds from the Minnesota Department of Health

Item created by: Selma Avdic, Public Health

Item presented by: Nick Kelley, Public Health Administrator

Description:

The City Council is requested to accept Public Health Emergency Preparedness Grant Funds from the Minnesota Department of Health (MDH). MDH is awarding \$24,147.00 for a twelve-month period for Cities Readiness Initiative (CRI). MDH is also awarding \$20,124.00 for a four-month period for Public Health Emergency Preparedness (PHEP). There may be additional funds coming from MDH for PHEP duties in November after the federal budget is determined. If awarded the standard full amount, Bloomington Public Health may be awarded up to \$84,519.00. The revenues will be coded to 160217-43101. No budget adjustment is needed.

The grant term started July 1, 2024 through June 30, 2029.

Attachments:

[PHEP Resolution.docx](#)

**RESOLUTION NO. 2025 -**

**RESOLUTION ACCEPTING PUBLIC HEALTH EMERGENCY PREPAREDNESS  
GRANT FUNDS FROM MINNESOTA DEPARTMENT OF HEALTH AND MAKING  
RELATED BUDGET ADJUSTMENTS**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota (“City”); and

WHEREAS, City Charter Section 6.06 authorizes the Mayor and City Manager, with the City Attorney, to sign and execute contracts, bonds, and instruments in the name of the City; and

WHEREAS, City Charter Section 7.08 requires the City Council to act by resolution to alter the approved budget; and

WHEREAS, Minnesota Statutes Section 465.03, requires a city to act by resolution adopted by a two-thirds majority of its members to accept a grant or devise of real or personal property and expressing the terms in full; and

WHEREAS, Minnesota Department of Health has granted up to \$84,519 of its grant funding to the City for Public Health Emergency Preparedness and Cities Readiness Initiatives; and

WHEREAS, the City Council has determined that it is in the City’s best interests to accept these funds and to make the necessary budget adjustments to the approved budget.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA, based on the foregoing recitals and as required by State Law and City Charter, that the Mayor, City Manager, Chief Financial Officer, and City Attorney, or their designee(s), are hereby authorized and directed to take any and all actions required to accept the grant funds for and on behalf of the City and to make any and all necessary related budget adjustments to the approved budget of the City.

Passed and adopted this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
Secretary to the Council



## Request for Council Action

Originator City Clerk	Item <b>3.23 Off-Sale Liquor License for Shree Laxmi Properties LLC doing business as Perrier Wines &amp; Liquors</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve an Off-Sale Liquor License for Shree Laxmi Properties LLC doing business as Perrier Wines & Liquors located at 7700 W Old Shakopee Road, Suite 150.

Item created by: Matt Brillhart, City Clerk

Item presented by: Matt Brillhart, Deputy City Clerk

Description:

Shree Laxmi Properties LLC has applied for an Off-Sale Liquor License for Perrier Wines & Liquors located at 7700 W Old Shakopee Road, Suite 150. This is an existing liquor store that is changing ownership. Licensing staff have reviewed the application and find it in order for approval.





## Request for Council Action

Originator Human Resources	Item <b>3.24</b>  <b>Resolution: Amendment to the 2024 Full-Time Non-Union and Part-Time, Temporary and Seasonal Compensation Plans</b>
Agenda Section CONSENT BUSINESS	Date August 4, 2025

Requested Action:

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to adopt Resolution No. 2025-\_\_\_\_\_, amending the Full-Time Non-Union and Part-Time, Temporary and Seasonal Compensation Plan.

Item created by: Steven Barrett, Human Resources

Item presented by: Steven Barrett, Human Resources Manager

Description:

The City is proposing the following amendments to the Full-Time Compensation Plan: (1) Changing the classification of Target Market Program Coordinator, Grade 8, to Small Business Procurement Program Coordinator; (2) Moving the Recreation Manager classification from Grade 13 to Grade 12; (3) Creating the new classification of Analytics and Strategy Manager (Parks and Recreation), Grade 14; and (4) Creating the new classification of Strategy, Policy and Performance Manager, Grade 13. All these positions were approved as part of the 2025 budget.

The City is also proposing the following amendment to the Part-Time Seasonal Compensation Plan: changing the classification of Lead Senior Peer Breastfeeding Counselor, to WIC Senior Peer Breastfeeding Counselor to more accurately reflect the position.

Attachments:

[2025-08-04 \(2\) City Council resolution - full-time and temporary part-time.docx](#)

**RESOLUTION NO. 2025 - \_\_\_\_\_**

**A RESOLUTION TO AMEND THE COMPENSATION PLAN FOR  
FULL-TIME, NON-UNION EMPLOYEES, AND PART-TIME, TEMPORARY AND SEASONAL EMPLOYEES FOR  
THE CITY OF BLOOMINGTON**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota ("City"); and

WHEREAS, Chapter 2, Section 2.64 of the Bloomington City Code states that the City Council shall establish a Compensation Plan for all City employees; and Section 2.65 establishes that the City Council may modify the Compensation Plan by resolution; and

WHEREAS, from time to time it is necessary and appropriate for the City Council to amend the Compensation Plans for full-time non-union employees; and temporary, part-time, and seasonal employees; and

WHEREAS, a number of modifications to the Compensation Plan for Full-Time, Non-Union Employees are needed to reflect new classifications and pay grades, including:

- (1) Changing the classification of Target Market Program Coordinator, Grade 8, to Small Business Procurement Program Coordinator, and
- (2) Moving the Recreation Manager classification from Grade 13 to Grade 12, and
- (3) Creating the new classification of Analytics and Strategy Manager (Parks and Recreation), Grade 14; and
- (4) Creating the new classification of Strategy, Policy and Performance Manager, Grade 13; and

WHEREAS, in the Part-Time, Temporary and Seasonal Compensation Plan, the classification of Lead Senior Peer Breastfeeding Counselor is being changed to WIC Senior Peer Breastfeeding Counselor to more accurately reflect the position;

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA that the attached Compensation Plan for Full-Time, Non-Union Employees of the City of Bloomington are hereby amended.

Passed and adopted in regular session this 4<sup>th</sup> day of August, 2025.

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Mayor

ATTEST:

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Secretary to the Council



## Board Agenda Item

Originator Community Development	Item <b>4.1 Public Hearing: Prevailing Wage Ordinance Amendments</b>
Agenda Section HEARINGS, RESOLUTIONS, AND ORDINANCES	Date August 4, 2025

### Requested Action:

MOTION by \_\_\_\_\_, SECONDED by \_\_\_\_\_, APPROVING ORDINANCE NO. 2025-\_\_\_\_\_, AN ORDINANCE AMENDING PREVAILING WAGE DEFINITIONS AND EXCEPTIONS THEREBY AMENDING CHAPTER 23 OF THE CITY CODE.

MOTION by \_\_\_\_\_, SECONDED by \_\_\_\_\_, APPROVING RESOLUTION NO. 2025-\_\_\_\_\_, A RESOLUTION DIRECTING SUMMARY PUBLICATION OF ORDINANCE NO. 2025 -\_\_\_\_ AN ORDINANCE AMENDING PREVAILING WAGE DEFINITIONS AND EXCEPTIONS THEREBY AMENDING CHAPTER 23 OF THE CITY CODE.

Item presented by: Sarah Abe, HRA Administrator

### Description:

At the June 30 meeting, the City Council discussed some recommended adjustments to the City's prevailing wage ordinance. The recommendations are primarily administrative in nature but include two proposed policy changes, one to allow for exemptions to the ordinance based on unique circumstances and one to exempt housing projects up to 20 units. The attached staff report details the specifics of those recommendations.

The proposed ordinance has been posted on the City's Public Hearing Notices page at <https://www.bloomingtonmn.gov/notices>, on Let's Talk Bloomington, and sent directly to various stakeholders.

The motion before the Council is to approve all the proposed changes. Should the Council decide to not to approve either of the policy recommendations, it could move to strike that section from the motion. For example, if the Council recommended approving all changes except the waiver clause, it would motion to approve the resolution "excluding section 23.36c."

Section 23.36c: Allowing the ability to approve a waiver under the required conditions

Section 23.36d: Exempting housing projects up to 20 units

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Attachments:

[Staff Report  
Ordinance  
Resolution of Summary Publication  
Presentation.pptx](#)

## **Background**

This is a follow up to the June 30 work session discussion at the City Council around changes recommended to the prevailing wage ordinance.

On June 17, 2024, the Bloomington City Council passed a local prevailing wage ordinance affecting certain city-funded construction projects. Prevailing wage requires that employees working on city-funded construction projects be paid wage rates that are comparable to wages paid for similar work in the area where the project is located. Effective as of June 27, 2024, Bloomington's ordinance stipulates that prevailing wages must be paid on City funded construction projects when the estimated total cost of the project exceeds \$175,000, regardless of the dollar amount of funding provided by the City. This ordinance applies also to projects with funding from the Port Authority and Housing and Redevelopment Authority (HRA).

There are several administrative amendments proposed as well as two policy recommendations, which are to 1) allow project-specific exemptions for unique conditions and 2) exempt housing projects up to 20 units. Two key questions around the policy changes are what specific criteria would be used to exempt projects, and if a project is exempt, what additional measures could the City/Port/HRA have in place to prevent wage theft or labor law violations.

## **Recommended changes to the ordinance**

The recommendations below are administrative adjustments that give more clarity and certainty to enforcement of the ordinance. The City's legal team administers this ordinance for the city and supports these administrative recommendations.

1. Add exemptions for housing development projects in accordance with federal Davis Bacon law. This would exempt housing projects under 8 units.
2. Clarify that pass-through funds and conduit bonds are exempt from this ordinance.
3. Authorize rulemaking. This authorization would allow staff to implement rules around administering the prevailing wage ordinance that comply with the general framework. This approach has been used before and is part of the City's Earned Sick and Safe Time ordinance.

The recommended policy changes under consideration are:

1. Allow the City Council to waive prevailing wage requirements when there are unique situations.
2. As an alternative to exempting 8 units (administrative adjustment #1 above), the Council could consider a policy change and exempt housing developments of 20 units or less.

### **Criteria for a waiver**

Following the work session discussion on June 30, staff developed a set of criteria to consider unique situations. The City Council may consider a waiver for a full project or a project phase if it meets both the following conditions:

- 1) The project is consistent with the Comprehensive Plan; and
- 2) The project demonstrates that it is financially infeasible due to unforeseen circumstances unique to the project or site, such as but not limited to substantial soil contamination.

Additionally, the project must meet one of the following conditions:

- 1) A previous development attempt on the site has failed due to site conditions;
- 2) The site has been vacant for at least 5 years; or
- 3) There is a unique hardship demonstrated on the site.

An example of when this could be applied is on the development project proposed by Enclave Companies at 3901 Minnesota Drive. Enclave has requested a waiver of its prevailing wage compliance for its proposed mixed use (apartment/commercial) development. Enclave discovered the site has significant soil remediation needs (estimated at \$5.5 - 7.1M). This site is the subject of multiple failed development attempts – most notably the Drury Hotel. Enclave engaged the City about potential subsidy for remediation. Based upon staff analysis, the project may be feasible with a Soils Condition Tax Increment Financing (TIF) district, which are used in rare occasions where soil remediation needs are substantial. If the City were to apply its prevailing wage requirements to the construction phase of the project this would add an additional \$6.7M in project costs per Enclave's estimation, making the project financially infeasible because there would not be enough Tax Increment Financing generated on the site to support the development gap. Enclave hopes to break ground in 2026. Enclave has provided with City with a letter with additional information about prevailing wage impacts to a similar project for comparison.

Should the City Council approve the ability to waive the prevailing wage ordinance, Enclave's request for a waiver would be evaluated with the developer's TIF application.

### **Preventing wage theft on non-prevailing wage projects**

For publicly assisted projects that have received a prevailing wage waiver, contractual measures could obligate suitable living wages on projects and compliance with labor regulations, including:

- Signed affidavits from the general contractor, developer, and any subcontractors on the project stipulating fair labor practices and compliance with labor law.
- Living wages must be paid to all workers on site. The developer or general contractor would be required to pay a minimum living wage for all prevailing wage eligible roles.



- Ability for the City or any delegated party the ability to conduct random onsite or payroll audits.
- Public postings on the job site with a City or labor union contact around labor law violations and who to reach out to with a complaint. The information could include information on how to report complaints and violations to the State, which is available on the State website and can be completed by a third party.

### **Stakeholder engagement**

Staff made efforts to inform interested parties of the proposed changes including:

- Developers
- Those who spoke at the previous Prevailing Wage Ordinance public hearing
- Contractors who have been subject to prevailing wage on projects in Bloomington

Staff also had a conversation with the North Central States Regional Council of Carpenters and discussed the proposed amendments at meetings of the HRA and Port Authorities at their respective July meetings. HRA and Port Commissioners reiterated the Council’s primary concerns of preventing wage theft on projects that are not subject to prevailing wage. Union representatives expressed concerns around allowing waivers and 20-unit exemption to the ordinance, but were not concerned about the proposed administrative changes. The public hearing notice was posted in the Sun Current and the text of the amendment was published on the Bloomington public hearing notice webpage on July 24. There also is a Let’s Talk page on this topic.

### **Ordinance changes**

The motion before the Council is to approve all the proposed changes. Should the Council decide to not approve the policy recommendations, it could move to strike that section from the motion.

Section	Amendment
23.36d	Exempting housing projects up to 20 units
23.36c	Allowing the ability to approve a waiver under the required conditions

For example, if the Council recommended approving all changes except the waiver clause, it would motion to approve the resolution “excluding section 23.36c.”

### **Next steps**

If the ordinance is approved, it would be effective when published in the Sun Current (typically 10 days after City Council approval). Developers seeking waivers would submit a written request and justification to the City. Staff will process such a request as they do with other requests for development assistance.

**ORDINANCE NO. 2025 -**

**AN ORDINANCE AMENDING PREVAILING WAGE DEFINITIONS  
AND EXCEPTIONS THEREBY AMENDING CHAPTER 23 OF THE  
CITY CODE**

The City Council of the City of Bloomington, Minnesota ordains:

Section 1. That Chapter 23 of the City Code is hereby amended by deleting those words that are contained in brackets and ~~[stricken through]~~ and adding those words that are underlined, to read as follows:

**CHAPTER 23: LABOR**

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**ARTICLE II: PREVAILING WAGE**

\*\*\*

**§ 23.31 DEFINITIONS.**

**(a) TERMS.** For the purposes of this article, the following words and phrases have the meanings ascribed to them in this section:

***APPRENTICESHIP PROGRAM*** means a bona fide apprenticeship program registered with the U.S. Department of Labor or recognized by a governmental agency of the State of Minnesota.

\*\*\*

***CITY*** means the City of Bloomington, the Housing and Redevelopment Authority in and for the City of Bloomington, and the Port Authority of the City of Bloomington.

***CITY FUNDS*** means contract payments, grants, loans, loan guarantees, tax increment financing, tax abatements, tax credits, lease payments, loan payments, contract for deed payments, revenue from bonds, or any other financial assistance. *City funds* does not mean (1) conduit public bond financing or (2) pass-through funding wherein the City is allocated funds and as grantee distributes those funds to sub-grantees, and the grantor does not require prevailing wage.

***COMPLIANCE OFFICER*** means those positions designated by the City Manager to investigate complaints pertaining to this article on behalf of the City.

***COVERED PERSONS*** means contractors, subcontractors, holders of interests in real property, agents, or other persons regardless of the form of business entity used by the Covered Person, including but not limited to individuals, sole proprietorships and independent contractors, performing all or part of the work on Projects.

***DEPARTMENT*** means the department, division, or office of the City designated to undertake a Project.

***PHASE*** means one of the numerous stages of the development process that converts land into a suitable location and results in a completed development.

***PREVAILING WAGE RATE*** shall have the meaning contained in Minnesota Statutes, Section 177.42, Subd. 6, as determined from time to time by the Minnesota Department of Labor and

Industry for the area where the Project is located. The Minnesota Department of Labor and Industry shall determine the prevailing wage rate in accordance with Minnesota Statutes, Sections 177.41-177.44, and applicable rules promulgated thereto, including but not limited to Minnesota Rules Parts 5200.1000-5200.1120.

**PREVAILING HOURS OF LABOR** means the hours of labor per day and per week worked within the area by a larger number of workers of the same class than are employed within the area for any other number of hours per day and per week. The prevailing hours of labor may not be more than eight hours per day or more than 40 hours per week.

**PROJECT(S)** means any construction work, demolition work, or repair work on any roads, bridges, sewers, streets, alleys, parks, parkways, buildings, removal of public nuisances or any other improvement of public or private property where (a) the Project is financed in whole or in part with City Funds and (b) the estimated cost of the Project exceeds \$175,000.

\*\*\*

#### **§ 23.34 MONITORING AND COMPLIANCE.**

(a) *Submission of certified payroll records.* Each covered person must furnish copies of certified payroll records for all work performed on the Project no later than 14 calendar days after each pay period to the Department.

(b) *Compliance Officer.* The Compliance Officer will investigate all complaints and monitor compliance upon receipt of a complaint regarding violations of this article. The Compliance Officer may request additional records reasonably required to monitor compliance or investigate complaints regarding this article. Upon request made by the Compliance Officer, each covered person shall promptly provide additional records reasonably required to monitor compliance with this article. Each covered person shall permit the Compliance Officer physical access to the site where the project is located at any time for the purpose of monitoring compliance with this article.

(c) *Rulemaking.* The City Attorney's Office may promulgate appropriate rules to implement, administer, and enforce this article. Such rules shall (1) be consistent with this article and may be relied on to determine rights and responsibilities under this article; and (2) establish procedures for fair, efficient, and cost-effective implementation and enforcement of this article. Any rules or revisions to published rules shall be published, maintained, and made available to the public at least 30 days prior to their effective date.

\*\*\*

#### **§ 23.36 EXCEPTIONS.**

(a) **APPRENTICESHIP PROGRAM.** This article does not apply to apprentices working on Projects pursuant to a bona fide registered Apprenticeship Program for work performed in their trade. A trainee and a helper are not exempt under this provision; the Covered Person must assign the trainee or helper a job classification that is the “same or most similar” to the work being performed and compensate the trainee or helper for the actual work performed regardless of the trainee’s or helper’s skill.

(b) **DAVIS-BACON ACT.** For housing developments, this article follows the same exemptions found in the federal Davis-Bacon Act as further set forth in the rules.

(c) **PHASE OR PROJECT WAIVER.** Upon receipt of a written request from a Covered Person or Department, the City Council may approve by resolution a waiver of the requirements of this article for a Phase of a Project or for a Project. When requesting the waiver of a Phase of a Project, other Phases of the Project must be in harmony with the purpose and intent of this article. Prior to approval, the City Council must make written findings (1-2) that:

(1) the Project is consistent with the Comprehensive Plan; and

(2) The Covered Person has established that the Project is financially infeasible for the Covered Person due to unforeseen circumstances unique to the site and not created by the Covered Person, such as but not limited to substantial soil contamination;

and at least one of the following (3-5):

(3) The Covered Person has established that previous efforts to undertake a project on the site have failed due to circumstances unique to the site; or

(4) The site of the Project has been vacant for at least five (5) years; or

(5) The Covered Person has established the existence of an unusual hardship unique to the Project and that this waiver addresses that unusual hardship.

(d) **CERTAIN HOUSING DEVELOPMENTS.** For housing developments of 20 units or less, this article does not apply.

Section 2. Effective Date. This Ordinance is effective upon publication.

Passed and adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Secretary to the Council

APPROVED:

\_\_\_\_\_  
City Attorney

**RESOLUTION NO. 2025 -**

**A RESOLUTION DIRECTING SUMMARY PUBLICATION OF  
ORDINANCE NO. 2025 - \_\_\_\_ AN ORDINANCE AMENDING PREVAILING  
WAGE DEFINITIONS AND EXCEPTIONS THEREBY AMENDING CHAPTER 23  
OF THE CITY CODE**

WHEREAS, the City Council of the City of Bloomington is the official governing body of the City of Bloomington, Minnesota (“City”); and

WHEREAS, Section 3.08 of the Bloomington City Charter provides as follows:

**SEC. 3.08. SIGNING AND PUBLICATION OF ORDINANCES AND RESOLUTIONS.**

Every ordinance or resolution passed by the council must be signed by the mayor or by the acting mayor, attested by the secretary of the council and filed and preserved by the secretary. Every ordinance and any resolutions requested by the mayor or by two other members of the council must be published at least once in the official newspaper. The council, by a two-thirds vote of all of its members, can direct publication of only the title and a summary of an ordinance, if the council approves the text of the summary and determines that it would clearly inform the public of the intent and effect of the ordinance. The summary must comply with the requirements of Minnesota Statutes Section 331A.01, subd. 10 and give notice that a full copy of the ordinance is available for inspection during regular office hours at the city clerk’s office. As provided by law, an ordinance can incorporate by reference a statute of Minnesota, a state administrative rule or a regulation, a code, or ordinance or part thereof without publishing the material referred to in full.

; and

WHEREAS, the City Council at its regular meeting on August 4, 2025, enacted the attached ordinance amending Chapter 23 of the City Code, relating to prevailing wage to amend definitions and exceptions to the requirements.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLOOMINGTON, MINNESOTA, that the following title and summary of the ordinance be published in the official newspaper. The City Council determines that the

following summary would clearly inform the public of the intent and effect of the ordinance enacted:

NOTICE OF SUMMARY  
PUBLICATION OF ORDINANCES

On August 4 2025, at its regular meeting, the Bloomington City Council enacted an ordinance (No. 2025-\_\_\_\_) amending Chapter 23 of the City Code, relating to prevailing wage to amend definitions and exceptions to the requirements. The specific title of the ordinance enacted was: **“AN ORDINANCE AMENDING PREVAILING WAGE DEFINITIONS AND EXCEPTIONS THEREBY AMENDING CHAPTER 23 OF THE CITY CODE”**. The full ordinance is available to the public for inspection at the Bloomington City Clerk’s Office, 1800 West Old Shakopee Road, Bloomington, Minnesota 55431, (952) 563-8700, during the hours of 8:00 a.m. and 4:30 p.m. and online at [www.blm.mn/code](http://www.blm.mn/code).

Passed and adopted this 4th day of August, 2025.

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Mayor

ATTEST:

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Secretary to the Council

# Bloomington's Prevailing Wage Ordinance Discussion

Sarah Abe, Housing and Redevelopment Authority Administrator

City Council

August 4, 2025



**BLOOMINGTON.**  
tomorrow. together. •

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# Background

- Follow up to June 30 work session
- Bloomington's prevailing wage ordinance was adopted June 17, 2024
- Requires prevailing wages to be paid when the total project cost exceeds \$175,000, regardless of the amount of City/HRA/Port funding

# Changes under consideration

## 1. Administrative Amendments

1. Exempt housing projects under 8 units
2. Clarify pass-through and conduit bond funding is exempt
3. Authorize rulemaking

## 2. Policy Amendment

1. Waive requirements in extreme situations
2. Exempt housing projects of 20 units or less



# Proposed criteria for a waiver

- Must meet both the following conditions:
  - The project is consistent with the Comprehensive Plan; and
  - The project demonstrates that it is financially infeasible due to unforeseen circumstances unique to the project or site, such as but not limited to substantial soil contamination.
- Must also meet one of the following conditions:
  - A previous development attempt on the site has failed due to site conditions;
  - The site has been vacant for at least 5 years; or
  - There is a unique hardship demonstrated on the site.

# Preventing wage theft

- Contractual controls to include with waiver
  - Signed affidavits from the General Contractor, developer, and subs
  - Require living wages for all prevailing wage eligible roles
  - Ability for the City or any delegated party the ability to conduct random onsite or payroll audits
  - Public postings on the job site with a City or labor union contact around workers rights



# Example: Drury site (3901 Minnesota Drive)

- This site has had 3 proposals since 2017
- Enclave proposed a cash-flowing development project
- Recently, site was determined to have extensive pollution cleanup estimated at \$5.5-7.1M
- Ordinance amendment: Council could apply prevailing wage to only the soil remediation phase of the project



# Stakeholder engagement

- Informed interested parties of the proposed changes including:
  - Developers
  - Those who spoke at the previous Prevailing Wage Ordinance public hearing
  - Contractors who have been subject to prevailing wage on projects in Bloomington
- Met with the North Central States Regional Council of Carpenters
- Discussions at HRA and Port meetings
- Public Hearing notice posted in the Sun Post
- Published on webpage
- Let's Talk page

# Next Steps

- If approved, Ordinance will be posted in the Sun Current and effective after 10 days of posting
- Waivers would be considered by City Council on case-by-case basis, if requested by developers



Motion \_\_\_\_\_, Second \_\_\_\_\_, Approving Ordinance No. 2025-\_\_\_\_\_ An Ordinance Amending Prevailing Wage Definitions And Exceptions Thereby Amending Chapter 23 Of The City Code.

- Could move to strike any specific changes from the ordinance language
  - 23.36d - Exempting housing projects up to 20 units
  - 23.36c - Allowing the ability to approve a waiver under the required conditions

Second motion --->



- Motion \_\_\_\_\_, Second \_\_\_\_\_, Approving A Resolution Directing Summary Publication Of Ordinance No. 2025 - \_\_\_\_ An Ordinance Amending Prevailing Wage Definitions And Exceptions Thereby Amending Chapter 23 Of The City Code.



## Drury site (3901 Minnesota Drive)

- Developer asserts that prevailing wage ordinance adds \$6.7M to total project costs (in addition to soils costs)
- Developer asserts that subsidy needed increases to approx. \$13.8M
- Total amount exceeds TIF estimates

Cost	Development Gap	Potential Source
Soil Remediation	\$5.5-\$7.1M	TIF
Prevailing Wage	\$6.7M	N/A - exceeds TIF estimated
Total	\$13.8M	



RENDERING - FRANCE & MINNESOTA DR

KW CONCEPTUAL RENDERING Enclave - 3901 MINNESOTA DRIVE APARTMENTS



# The challenges

- Administrative
  - Prevailing wage law is complex and detailed, and not every specific detail can be communicated through an ordinance
  - Ex. The St. Paul ordinance that Bloomington's is modelled on has multiple administrative guides
- Policy
  - Added difficulty for small and local contractors to administer prevailing wage
    - goals against goals of contracting locally
  - Leads to increased project costs



## Request for Council Action

Originator Parks and Recreation	Item <b>5.1 Community Health and Wellness Center 50% Design Development Update</b>
Agenda Section ORGANIZATIONAL BUSINESS	Date August 4, 2025

Requested Action:

Information only. No action requested.

Item created by: Linda Batterson, Parks and Recreation

Item presented by: Ann Kattreh, Parks and Recreation Director

Leah Hughes, Deputy Director Parks and Recreation  
Dakota Kenyon, Community Health and Wellness Center Manager  
Tim Guyette, Sr. Project Manager, HGA Architects  
Wade Cooper, Engineering Principal, HGA Architects  
Monte Hillman, VP – Environmental Resiliency, Compliance & Investment, SIG Earth

Description:

### DESCRIPTION:

The Community Health and Wellness Center (CHWC) entered the design development phase in April 2025. Since then, HGA Architects, in collaboration with City of Bloomington staff, contracted vendors, and community stakeholders, has been refining the building's layout, finishes, and fixtures with a focus on enhancing user experience. Input collected throughout this phase has been essential in ensuring the facility is functional, cost-effective, and aligned with community needs.

Regular design workshops with HGA, Tegra, and City staff have focused on refining spaces and selecting specific design elements, finishes and materials for each program area. Concurrently, HGA and JE Dunn have been conducting ongoing cost evaluations to ensure that the evolving design remains within budget parameters. At the 50% design development milestone, JE Dunn provided a cost estimate for hard construction costs that remained within the project's targeted range.

### Sustainability and Energy Strategy

In pursuit of LEED certification and long-term energy efficiency, the project team completed an Energy Design Assistance session with Willdan. Based on projected energy cost savings, a bundle of energy-saving strategies was selected for integration into the design. The team also continues to collaborate with Sustainable Investment

Group (SIG) to align design features with eligibility requirements for the Inflation Reduction Act (IRA) Direct Pay Program, which could yield an estimated \$5–\$7 million in clean energy tax credits. This work ensures a balance between sustainability, fiscal responsibility, operational efficiency, and community service expectations.

### **Project Budget Summary:**

The CHWC team continuously evaluates budget data throughout the design development process to ensure alignment between the evolving design and the overall project budget. As the building design progresses and additional market feedback is received, CHWC updates will continue to present a range of cost estimates reflective of the current design phase.

- Total Project Budget: \$101.8M
- Soft Costs (e.g., professional fees, furniture, equipment): \$12M–\$14M
- Hard Costs (e.g., demolition, construction, permit fees): \$82M–\$87M
- Contingencies and Escalation: \$6M–\$8M

### **Potential Budget Impacts:**

- Tariffs: \$1.5M is allocated for potential tariffs on materials such as steel and aluminum. While currently estimated at 2%, impacts could reach 4%.
- IRA Direct Pay Program: The CHWC project is positioned to receive federal reimbursements for qualifying energy initiatives, including full geothermal and solar integration, with funding anticipated 2–3 years post-construction.

### **Site Plan and Traffic Study Update**

In coordination with the City’s Engineering Division and consultants from Bolton & Menk, a comprehensive traffic and parking study was completed for the proposed redevelopment of Creekside Park. The study evaluated intersection safety, traffic operations, parking demand, and site circulation. Based on a five-year crash history, all intersections were found to operate within normal safety thresholds. Even with the increased traffic from the redevelopment, traffic operations are expected to remain acceptable, with only minor delays anticipated. Estimated parking demand was determined using data from comparable facilities and national parking standards, the anticipated number of facility staff and projected daily use. The proposed 326 stalls are expected to meet the demand. Recommendations to enhance circulation, pedestrian safety, and event overflow parking were based on the site layout, projected use patterns, and traffic engineering best practices.

Following Bolton & Menk’s recommendations, the HGA explored creating a parking lot connection and an additional site access along Penn Avenue. An addendum to the study analyzed this revised site plan and found that traffic would be more evenly distributed, with 47% entering from Penn Avenue and 53% from Newton Avenue. Previously, most traffic was expected to use Newton Avenue. On July 16, 2025, the CHWC project team and City Engineering staff met with Hennepin County to discuss the site plan. A follow-up meeting will be scheduled to review and refine access from Penn Avenue. Any revisions will be subject to Hennepin County’s review and approval.

### **Pro Forma and Operational Planning**

The CHWC project team continues to collaborate with PROS Consulting to refine the facility’s operating pro forma. Key updates include revised cost allocations for personnel and updated program revenue assumptions. Additionally, staff are evaluating the potential benefits of internally operating the café space, rather than leasing to a third-party vendor. These efforts support the City’s goal of achieving 90% cost recovery through efficient and sustainable operations.

## Indoor Play Area Development

A contract has been executed with an indoor play equipment vendor, and planning is underway in partnership with HGA to design the indoor play space. Final layout and specifications will be determined between now and the conclusion of design development at the end of August 2025.

## Community Engagement

In partnership with the Community Outreach and Engagement Division (COED), Parks and Recreation staff coordinated a focus group with organizations that serve individuals with disabilities. The 19 participants represented a range of organizations, including senior living facilities, adult day services, Bloomington Public Schools, and the Adaptive Recreation and Learning Exchange (ARLE). This targeted engagement demonstrates the City's commitment to inclusive and accessible design. In addition, an accessibility survey was available to the public on the Let's Talk Bloomington and Bloomington Forward websites from July 7 to July 20.

## Creekside Transition and Interim Program Delivery

With Creekside Community Center officially closed as of May 30 to prepare for demolition, the city has prioritized seamless program continuity for older adults. Programming has resumed as of June 16 at Logan Lodge and Bloomington Center for the Arts.

Continued Creekside classes and programs during the interim include card groups, fitness classes, needleworking, crafting programs, music groups, special events and educational seminars. 100% of these programs carried over during the interim will transition to the new CHWC when it opens in 2027, alongside expanded offerings for older adults and new amenities. For the remaining programs and activities requiring alternate arrangements, staff continue to identify and work through creative and engaging solutions.

Staff are actively working on creative solutions for remaining programs, including:

- **Woodshop:** In partnership with Eden Prairie, Creekside woodshop users can access their senior center's facilities. The city will subsidize orientation and the first three months of participation.
- **Boutique:** A customized mobile display unit, developed in partnership with senior volunteers has arrived and is currently being showcased at Civic Plaza before transitioning to the CHWC.
- **Lapidary (Rock Shop):** The City of Bloomington has partnered with Twin Cities Maker, a 501(c)(3) nonprofit makerspace based in Minneapolis, MN, to transfer ownership of all equipment, tools, and stones from the lapidary studio at Creekside Community Center. Twin Cities Maker provides community access to tools, equipment, and educational resources across a wide range of creative disciplines, including woodworking, blacksmithing, metal fabrication, 3D printing, electronics, stained glass, and more. As part of this partnership agreement, the lapidary studio will continue to operate as part of Twin Cities Maker's services. In exchange for the items, Twin Cities Maker will offer all Bloomington residents and former users of the Creekside Lapidary Studio their first three months of standard membership for the price of one—a \$170 discount—through the end of 2025. Additionally, existing needs-based membership rates of \$65/month and \$30/month will remain available to ensure financial accessibility for all members, including Bloomington residents. Up to three volunteer shop managers will be eligible to have their membership dues waived.
- **Table Tennis/Ping Pong:** Table Tennis will take place at Substance Church-Southside Campus gym at 6820 Auto Club Rd, Bloomington, MN 55438 through a partnership and rental agreement with the city. Specific dates and times for table tennis programs will be available soon.

## Creekside Timeline:

- Abatement Concludes: August 2025
- Demolition Begins: September 2025
- Site Preparation for CHWC Construction: Fall 2025



## Naming & Sponsorship

The Parks and Recreation Department has contracted with The Superlative Group to explore naming rights and sponsorship opportunities for the Community Health and Wellness Center as well as all City parks and recreational facilities. This partnership aims to identify strategic opportunities that generate long-term revenue and community partnerships in support of City services and amenities. On Friday, July 18, The Superlative Group visited Bloomington to begin their initial assessment and engagement process. During their visit, they toured key Parks and Recreation facilities — Dwan Golf Course, Bloomington Family Aquatic Center, Bloomington Center for the Arts and Bloomington Ice Garden — and received an overview of the proposed plans for the Community Health and Wellness Center.

## Project Milestones

- Following the 50% design development milestone, a formal Design Review Committee (DRC) application was submitted in alignment with the City's review process. A public hearing is scheduled for the August 25 City Council meeting.
- In June, staff participated in a virtual walk-through hosted by HGA. The walk-through allowed teams to experience the building layout in a 3D environment, providing valuable insights on circulation, visibility, and accessibility, helping to inform final design decisions.

## Next Steps

### 1. Complete Design Development Phase:

- Continue to refine architectural drawings and align cost estimates
- Finalize zoning and platting for the Creekside site
- Launch Phase 1 naming and sponsorship efforts
- Continue aligning operational planning with pro forma updates

### 2. Budget Management:

- Monitor IRA developments and tariff impacts
- Explore potential value engineering opportunities relevant to the current design
- Collaborate with HGA & JE Dunn to generate updated cost estimates (Bid Package 1 due: 8/25/25)

### 3. Equipment Procurement:

- Indoor Play – On Call Services
- Fitness – Johnson Fitness

### 4. Sustainability Funding and Resource Coordination

- Continue engagement with Xcel Energy and CenterPoint Energy EDA program for energy modeling.
- Contract with SIG Earth to map sustainability funding opportunities and align design specifics and maximize funding opportunities.
- Prioritize LEED sustainability credits to maximize sustainability outcomes within the project's budget constraints.

## Key Dates

- Planning Commission – Parking & Traffic Study Public Hearing: August 7, 2025 (2 of 2)
- City Council – DRC Public Hearing: August 25, 2025

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Attachments:

[CHWC First Floor Plan - 50% DD](#)  
[CHWC Second Floor Plan - 50% DD](#)  
[CHWC Site Plan](#)  
[CHWC Traffic and Parking Study](#)

CHWC Parking and Traffic Study Addendum  
CHWC Energy Design Assistance Results Report  
CHWC Energy Design Assistance Results Report Memo  
CHWC Update Presentation - CC 50% DDv3

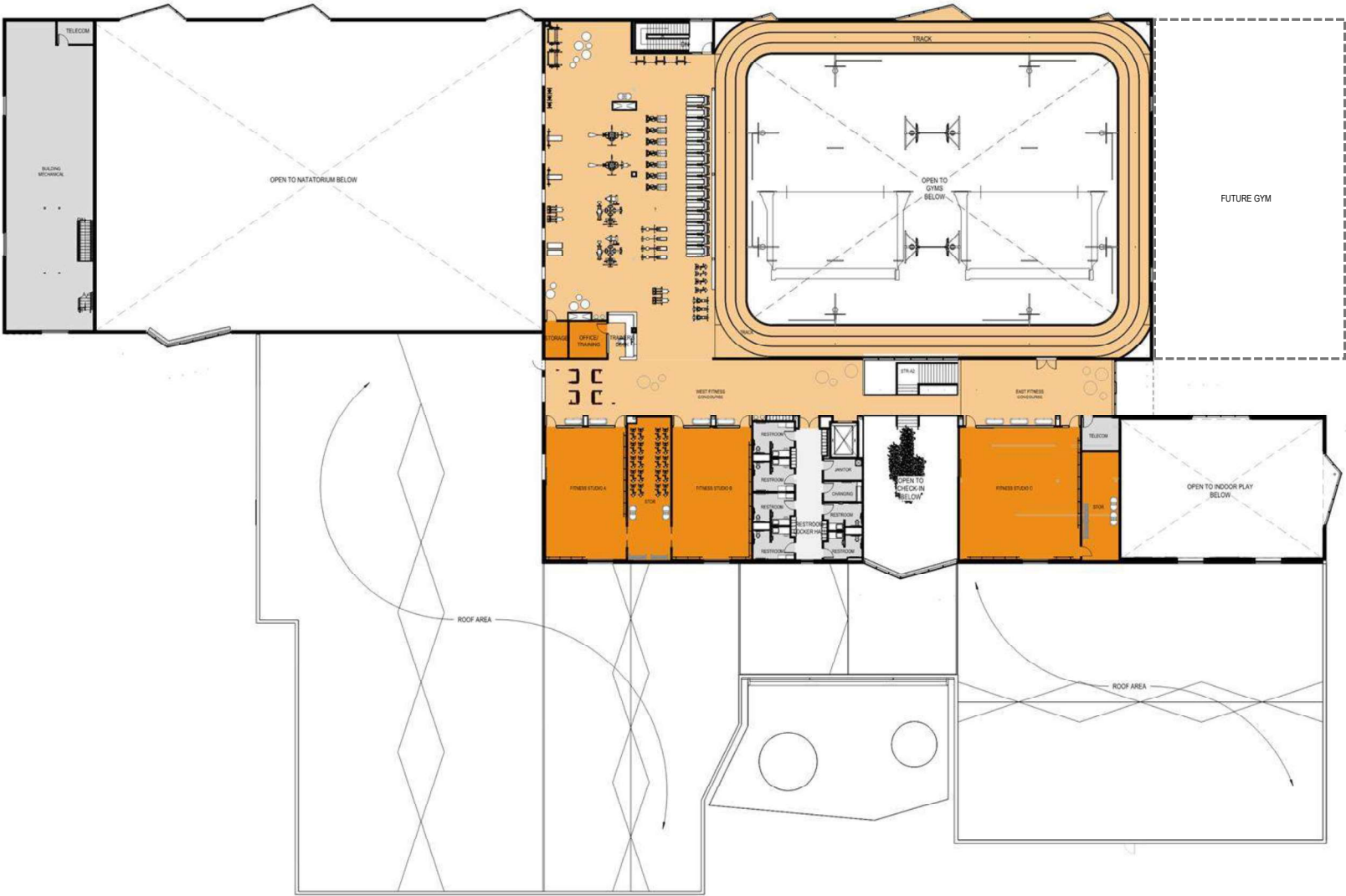
# FIRST FLOOR PLAN

- COMMONS
- MULTIPURPOSE/EVENTS
- INDOOR PLAY
- KIDS CLUB
- PARKS + REC OFFICE
- GYMNASIUM/FITNESS
- AQUATICS
- PUBLIC HEALTH ADMIN
- WIC/CLINIC
- SUPPORT/MECHANICAL



# SECOND FLOOR PLAN

- FITNESS/CARDIO
- SUPPORT/MECHANICAL





NOT FOR CONSTRUCTION

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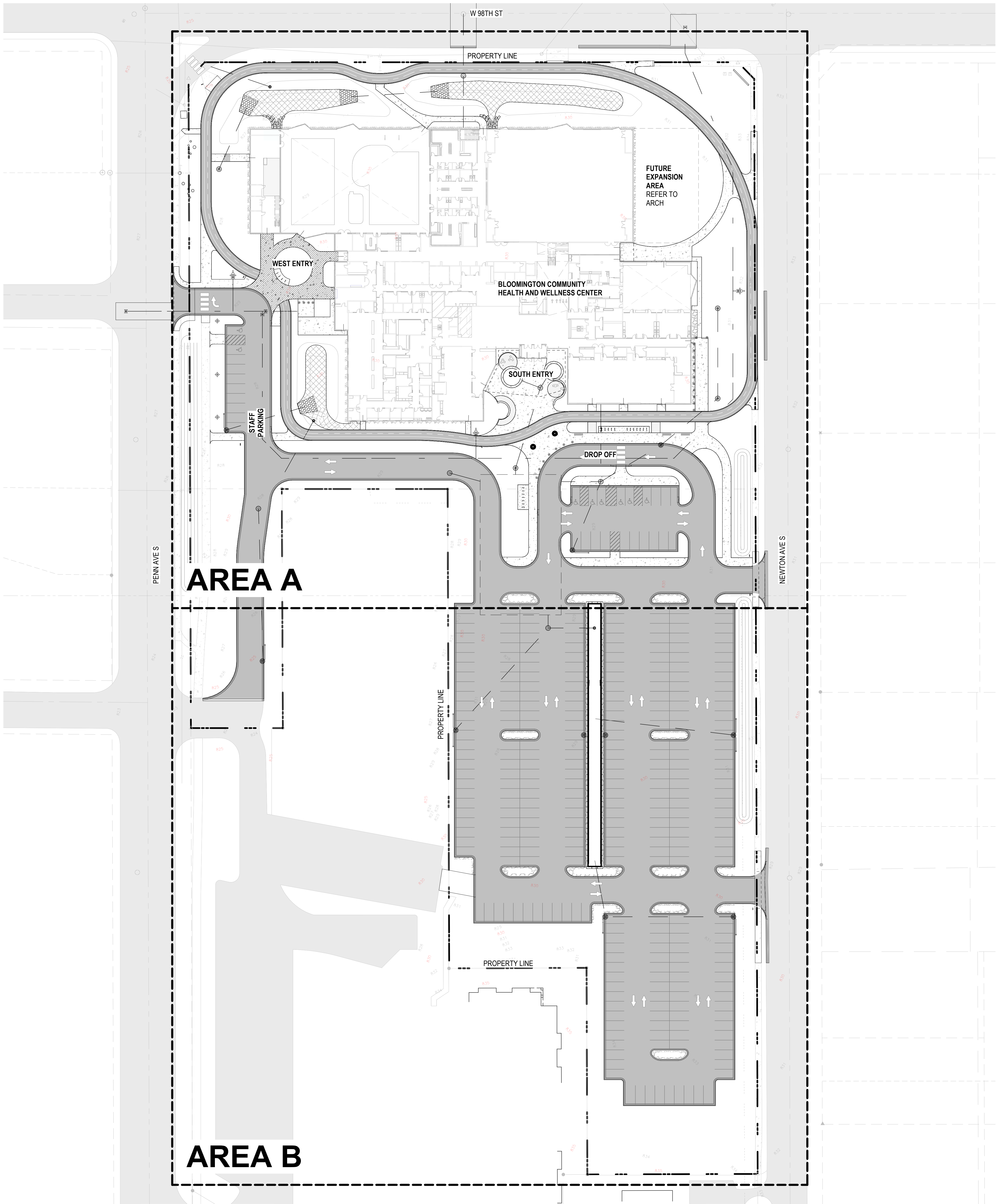
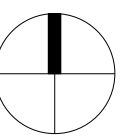
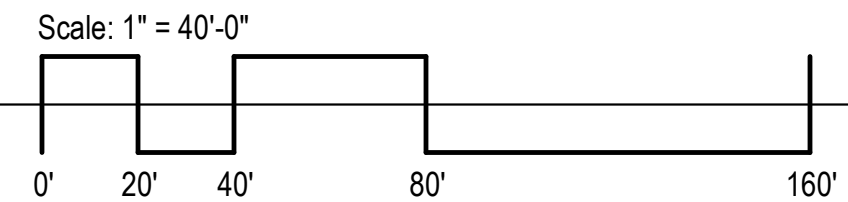
GA NO: 2064-008-0

# OVERALL LANDSCAPE REFERENCE PLAN

DATE: JUNE 18, 2023

## RC REVIEW

# L010



1 OVERALL LANDSCAPE REFERENCE PLAN  
1" = 40'-0"



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## MEMORANDUM

**Date:** May 23, 2025  
**To:** Brian Hansen  
**From:** Kelsey E. Larsen, P.E., PTOE  
Bryan T. Nemeth, P.E., PTOE  
**Subject:** Community Health and Wellness Center Traffic and Parking Study  
City of Bloomington, MN  
Project No.: 25X138461000

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

By: Kelsey Larsen  
Kelsey E. Larsen, P.E., PTOE  
License No. 57829

Date: May 23, 2025

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## Introduction

A traffic and parking study is being completed to analyze the parking needs, traffic operations and any needed mitigation with the proposed redevelopment of the existing Creekside Community Center located at 9801 Penn Avenue, City of Bloomington, MN. The proposed redevelopment would construct a 108,000 square foot Community Health and Wellness Center, replacing the 25,137 square foot existing Creekside Community Center, which currently serves as a senior center, and provides daytime services such as crafts, exercise activities, and discussion groups. The building will be at most 108,000 square feet in size but the design is still in progress so the exact size is unknown. The new facility would include a family aquatics center, gymnasium, community rooms, kids club, party rooms, office space, and house Bloomington Public Health. This memorandum analyzes the operational and safety impacts, parking demand, and reviews the site and layout and circulation of the proposed development. The location of the study with proposed Community Center and Parking space are shown in **Figure 1**.



**Figure 1: Location Map**



*Google Maps Courtesy*

## Existing Conditions

### Data Collection

To support traffic operations analysis, 13 hours of intersection turning movement data (6:00 AM to 7:00 PM) was collected at ten intersections surrounding the Creekside Community Center in April 2025.

The ten intersections include:

- W 98<sup>th</sup> Street and Penn Avenue S
- Penn Avenue S and Jones Pl
- Penn Avenue S and Ivy Ln
- W 98<sup>th</sup> Street and Creekside Community Center Access
- W 98<sup>th</sup> Street and Newton Avenue S
- W 100<sup>th</sup> Street and Newton Avenue S
- W 100<sup>th</sup> Street and Morgan Avenue S
- W Old Shakopee Road and Morgan Avenue S
- W Old Shakopee Road and Penn Avenue S
- Newton Avenue S and Creekside Community Center Access



Peak hour turning movement count figures are included in the **Appendix**. The AM peak hour was found to be from 7:30 – 8:30 AM and the PM peak hour was found to be from 4:30 – 5:30 PM. The peak hours are for the adjacent roadway network, not the existing facility.

### **Safety Analysis**

A crash review was completed for the ten intersections where data was collected to see if there are any existing crash issues that could worsen with the additional traffic the proposed redevelopment creates. Crash data from the last five years (2020-2024) was collected using the Minnesota Department of Transportation's (MnDOT) Crash Mapping Analysis Tool (MnCMAT2).

**Table 1** provides details on total crashes by crash severities by location. There were no reported crashes at the intersections of W 98th St and the existing Creekside Community Center Access, Newton Ave S and the existing Creekside Community Center Access, and W 100th St and Newton Ave S. From 2020 to 2024, a total of 22 crashes were reported at the intersections surrounding the Creekside Community Center. The majority of the crashes occurred at the intersections of W 98th St at Penn Ave S and Old Shakopee Road S at Penn Ave S. There was one fatal crash reported at W Old Shakopee Road and Morgan Avenue S. The fatal crash was a single vehicle run off road crash with speeding as a factor. Crash data is classified by severity:

- K – Fatal
- A – Serious Injury
- B – Minor Injury
- C – Possible Injury
- PDO – Property Damage Only

**Table 1: Crash Severities (2020-2024)**

Intersection	Total Crashes	Crash Severity				
		K	A	B	C	PDO
W 98th Street and Penn Avenue S	7	0	0	2	3	2
Penn Avenue S and Jones Pl	1	0	0	1	0	0
Penn Avenue S and Ivy Ln	3	0	0	0	0	3
W 98th Street and Newton Avenue S	1	0	0	0	1	0
W 100th Street and Morgan Avenue S	1	0	0	0	0	1
W Old Shakopee Road and Morgan Avenue S	3	1	0	0	1	1
W Old Shakopee Road and Penn Avenue S	6	0	0	1	0	5

A comparison of the crash rate and the critical rate was completed to determine if there is a safety issue at any intersection in the project area. The total crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside of the expected normal range. The critical index reports the magnitude of this difference and a critical index of less than one indicates that the intersection is operating within the normal range. **Table 2** summarizes the crash rate analysis.

**Table 2: Safety Analysis Summary (2020-2024)**

Intersection	Traffic Control	Total Crashes	Crash Rate (per MEV)	Critical Crash Rate (per MEV)	Critical Index
W 98th Street and Penn Avenue S	Signal	7	0.22	1.02	0.21
Penn Avenue S and Jones Pl	Two-Way Stop	1	0.11	0.53	0.21
Penn Avenue S and Ivy Ln	Two-Way Stop	3	0.33	0.71	0.46
W 98th Street and Newton Avenue S	Two-Way Stop	1	0.04	0.37	0.12
W 100th Street and Morgan Avenue S	Uncontrolled	1	1.32	2.35	0.56
W Old Shakopee Road and Morgan Avenue S	Two-Way Stop	3	0.10	0.34	0.30
W Old Shakopee Road and Penn Avenue S	Signal	6	0.18	1.01	0.17

The critical index was found to be less than one for all intersections indicating that the intersections are all found to operate within the normal range compared to similar intersections statewide.

With one fatal injury crash in the last five years, the fatal and serious injury critical index is 0.94 at the W Old Shakopee Road and Morgan Avenue S intersection. There were no other fatal or serious injury crashes reported at any other intersections in the last five years. Looking back at the last ten years, there was a fatal crash at the intersection of Newton Ave S and W 98<sup>th</sup> St in 2019. The crash involved a pedestrian crossing W 98<sup>th</sup> St and a westbound vehicle. Both the pedestrian and the driver were impaired.

With all intersections found to operate within the normal range there is no evidence that additional trips from the proposed redevelopment would create or contribute to a safety issue at the nearby intersections.

The crash worksheets for all intersections are included in the **Appendix**.

### **Operational Analysis**

The traffic operation analysis included an evaluation of existing intersection delay and Level of Service (LOS). LOS results are described using letters ranging from A to F. These letters serve to describe a range of operating conditions for different types of facilities. Levels of Service are calculated based on the Highway Capacity Manual (HCM) 7th Edition, which defines the LOS, based on control delay. Control delay is the delay experienced by vehicles slowing down as they are approaching the intersection, the wait time at the intersection, and the time for the vehicle to speed up through the intersection and enter into the traffic stream. The average intersection control delay is a volume weighted average of delay experienced by all motorists entering the intersection on all intersection approaches. The delay threshold for unsignalized intersections is lower for each LOS compared to signalized intersections, which accounts for the fact that road users expect a higher level of service when at a stop-controlled intersection. The control delay is modeled within the analysis software, Synchro/SimTraffic. LOS D is commonly taken as an acceptable design year LOS.

An operational analysis is being undertaken to determine if traffic from the proposed redevelopment has the potential to create unacceptable delay or congestion at nearby intersections.

The existing AM and PM peak hours were analyzed to understand how the nearby intersection operate today. The existing operations are shown in **Table 3**. Old Shakopee Rd is shown as the eastbound and westbound approaches for the intersections of Old Shakopee Road at Penn Ave S and Morgan Ave S.

**Table 3. Existing Traffic Operational Analysis**

Intersection	Approach	AM Peak Hour					PM Peak Hour				
		Traffic Delay (sec/veh)					Traffic Delay (sec/veh)				
		Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)
		L	T	R			L	T	R		
Penn Avenue & 98th Street (Signalized, Hennepin County)	EB	35 - D	33 - C	14 - B	33 - C	25 - C	28 - C	28 - C	17 - B	28 - C	28 - C
	WB	30 - C	29 - C	2 - A	25 - C		42 - D	37 - D	2 - A	33 - C	
	NB	20 - C	20 - C	6 - A	19 - B		34 - C	24 - C	5 - A	22 - C	
	SB	27 - C	24 - C	9 - A	21 - C		36 - D	30 - C	15 - B	28 - C	
Penn Avenue & Jones Pl (Stop)	EB	9 - A	-	-	9 - A	1 - A	5 - A	-	5 - A	5 - A	1 - A
	NB	2 - A	0 - A	-	1 - A		-	0 - A	-	0 - A	
	SB	-	2 - A	2 - A	2 - A		-	2 - A	1 - A	2 - A	
Penn Avenue & Ivy Lane (Stop)	EB	5 - A	-	3 - A	4 - A	1 - A	8 - A	-	3 - A	4 - A	1 - A
	WB	5 - A	-	3 - A	5 - A		6 - A	-	4 - A	6 - A	
	NB	-	1 - A	1 - A	1 - A		3 - A	1 - A	2 - A	2 - A	
	SB	2 - A	0 - A	0 - A	1 - A		2 - A	0 - A	0 - A	1 - A	
Old Shakopee Road & Penn Avenue (Signalized, Hennepin County)	EB	51 - D	4 - A	1 - A	14 - B	14 - B	52 - D	6 - A	1 - A	12 - B	13 - B
	WB	58 - E	10 - B	7 - A	11 - B		61 - E	12 - B	9 - A	12 - B	
	NB	36 - D	49 - D	6 - A	25 - C		52 - D	60 - E	7 - A	40 - D	
	SB	51 - D	-	6 - A	31 - C		47 - D	6 - A	13 - B	22 - C	
Creekside Community Center Access & 98th Street (Stop)	EB	-	2 - A	-	2 - A	1 - A	-	3 - A	3 - A	3 - A	2 - A
	WB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	NB	-	-	6 - A	6 - A		-	-	5 - A	5 - A	
Newton Avenue & 98th Street (Stop)	EB	-	0 - A	0 - A	0 - A	0 - A	3 - A	0 - A	0 - A	1 - A	1 - A
	WB	3 - A	0 - A	0 - A	1 - A		6 - A	0 - A	0 - A	1 - A	
	NB	10 - B	-	3 - A	6 - A		17 - C	-	6 - A	11 - B	
	SB	-	-	-	-		14 - B	-	3 - A	9 - A	
Newton Avenue & Creekside Community Center Access (Stop)	EB	2 - A	-	-	2 - A	0 - A	4 - A	-	2 - A	4 - A	1 - A
	NB	2 - A	0 - A	-	1 - A		-	0 - A	-	0 - A	
	SB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	
Newton Avenue & 100th Street (Stop)	EB	-	-	2 - A	2 - A	0 - A	4 - A	-	-	4 - A	1 - A
	WB	-	-	0 - A	0 - A		-	-	0 - A	0 - A	
	NB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	SB	2 - A	0 - A	0 - A	1 - A		2 - A	0 - A	0 - A	1 - A	
Morgan Avenue & 100th Street (Stop)	EB	1 - A	0 - A	0 - A	1 - A	0 - A	-	0 - A	-	0 - A	0 - A
	WB	1 - A	0 - A	-	1 - A		2 - A	-	0 - A	1 - A	
	NB	-	0 - A	-	0 - A		-	1 - A	-	1 - A	
	SB	2 - A	0 - A	0 - A	1 - A		-	0 - A	0 - A	0 - A	
Old Shakopee Road & Morgan Avenue (Stop)	SB	22 - C	-	4 - A	8 - A	1 - A	35 - E	-	6 - A	12 - B	2 - A
	EB	9 - A	2 - A	-	3 - A		13 - B	3 - A	-	4 - A	
	WB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	

**Existing AM Peak Delay:**

- All movements operate with LOS D or better except the westbound left turn at Old Shakopee Rd and Penn Ave S which operates with LOS E.
- The intersection of Penn Ave S at W 98<sup>th</sup> St operates with LOS C. All other intersections operate with LOS B or better.

**Existing PM Peak Delay:**

- The westbound left and northbound through movements at Old Shakopee Rd and Penn Ave S operate with LOS E.

- The southbound left at Old Shakopee Rd and Morgan Ave S operates with LOS E.
- All other movements operate with LOS D or better.
- The intersection of Penn Ave S at W 98<sup>th</sup> Street operates with LOS C. All other intersections operate with LOS B or better.

Full operations tables which show average and maximum vehicle queuing are shown in the **Appendix**. The existing peak hour queue results show a few movements where the maximum queue blocks a turn lane at the two signalized intersections, however, no excessive queuing is observed. All maximum queues at the signalized intersections are 325 feet or less and all maximum queues at the stop-controlled intersections are 100 feet or less.

## Build Analysis

### Trip Generation

The Institute of Transportation Engineers (ITE) Trip Generation Manual (11<sup>th</sup> Edition) was used to determine the weekday peak hour and daily trips with the proposed redevelopment. The ITE Trip Generation Manual is an industry standard for estimating traffic volumes associated with various land uses. The maximum total proposed building area of 108,000 square feet was used to estimate the anticipated trip generation. The building was evaluated using two separate land use classifications. The portion of the building that will house Bloomington Public Health was analyzed as a "Government Office" land use (ITE Code 730), while the remainder of the building was considered a "Recreational Community Center" land use (ITE Code 495). These two land uses were found to be the most similar land use types for the proposed building. The total trips generated for the proposed Community Health and Wellness Center in Bloomington are shown in **Table 4** below.

**Table 4. Trip Generation for Proposed Community Health and Wellness Center**

Land Use	AM Peak		PM Peak		Weekday (Daily)	
	Entering	Exiting	Entering	Exiting	Entering	Exiting
Recreational Center	125	64	116	131	1,423	1,423
Government Office	23	8	4	12	105	105
<i>TOTAL</i>	<i>148</i>	<i>72</i>	<i>120</i>	<i>143</i>	<i>1,528</i>	<i>1,528</i>

A 13-hr count was completed at Morgan Ave and W 100th St which provides access to the existing Public Health building. The peak hour and daily turning movement counts collected at the intersection were compared to the trip generation shown in **Table 4** for the Bloomington Public Health portion of the building. The trip generation was confirmed to be higher and in line with the counts collected at Morgan Ave and W 100th St giving us confidence in the estimated trip generation for this proposed use.

The existing Creekside Community Center peak hour and daily entering and exiting trips were determined so that the number of new trips the proposed redevelopment would add to the surrounding roadway network could be determined. There are currently three accesses to the Creekside Community Center. People can access the existing site at a driveway off W 98<sup>th</sup> St, a driveway off Newton Ave S, and shared driveway at Penn Ave S and Ivy Ln. While 13-hour count data was not collected at the existing driveway off Newton Ave S, video footage was collected and reviewed so that the peak hour and daily driveway counts could be determined. The driveway at Penn Ave S and Ivy Ln is shared with the

Presbyterian Homes of Bloomington and a parking lot for the existing Creekside Park to the south. Since the access is shared half the trips using this access were assumed to be traffic associated with the Creekside Community Center. The existing peak hour trips associated with the existing Community Center is shown in **Table 5**.

**Table 5. Existing Trip Count\* for Existing Creekside Community Center**

AM Peak		PM Peak		Weekday (Daily)	
Entering	Exiting	Entering	Exiting	Entering	Exiting
24	10	16	18	247	182

\*Trip count determined by summing the existing vehicles entering/exiting at the three access points to the existing site.

The daily trips by driveway location at the existing Creekside Community Center are shown in **Table 6**.

**Table 6. Existing Daily Trips by Access Location at the Creekside Community Center**

Location	Enter	Exit
W 98th St/Creekside Access	53	32
Penn Ave/Ivy Ln	105	67
Newton Ave/Creekside Access	89	83

**Table 7** below shows the total additional trips that will be added to the project area with the proposed Community Health and Wellness Center redevelopment.

**Table 7. New Trips Added with Redevelopment**

AM Peak		PM Peak		Weekday (Daily)	
Entering	Exiting	Entering	Exiting	Entering	Exiting
124	62	104	125	1,281	1,346

**Table 8** below shows the existing trips that today utilize the W 98<sup>th</sup> St/Creekside Access and the Penn Ave/Ivy Ln intersection that will be rerouted due to access changes with the proposed redevelopment.

**Table 8. Rerouted Trips with Redevelopment**

AM Peak		PM Peak		Weekday (Daily)	
Entering	Exiting	Entering	Exiting	Entering	Exiting
14	9	9	8	158	99

### **Trip Distribution**

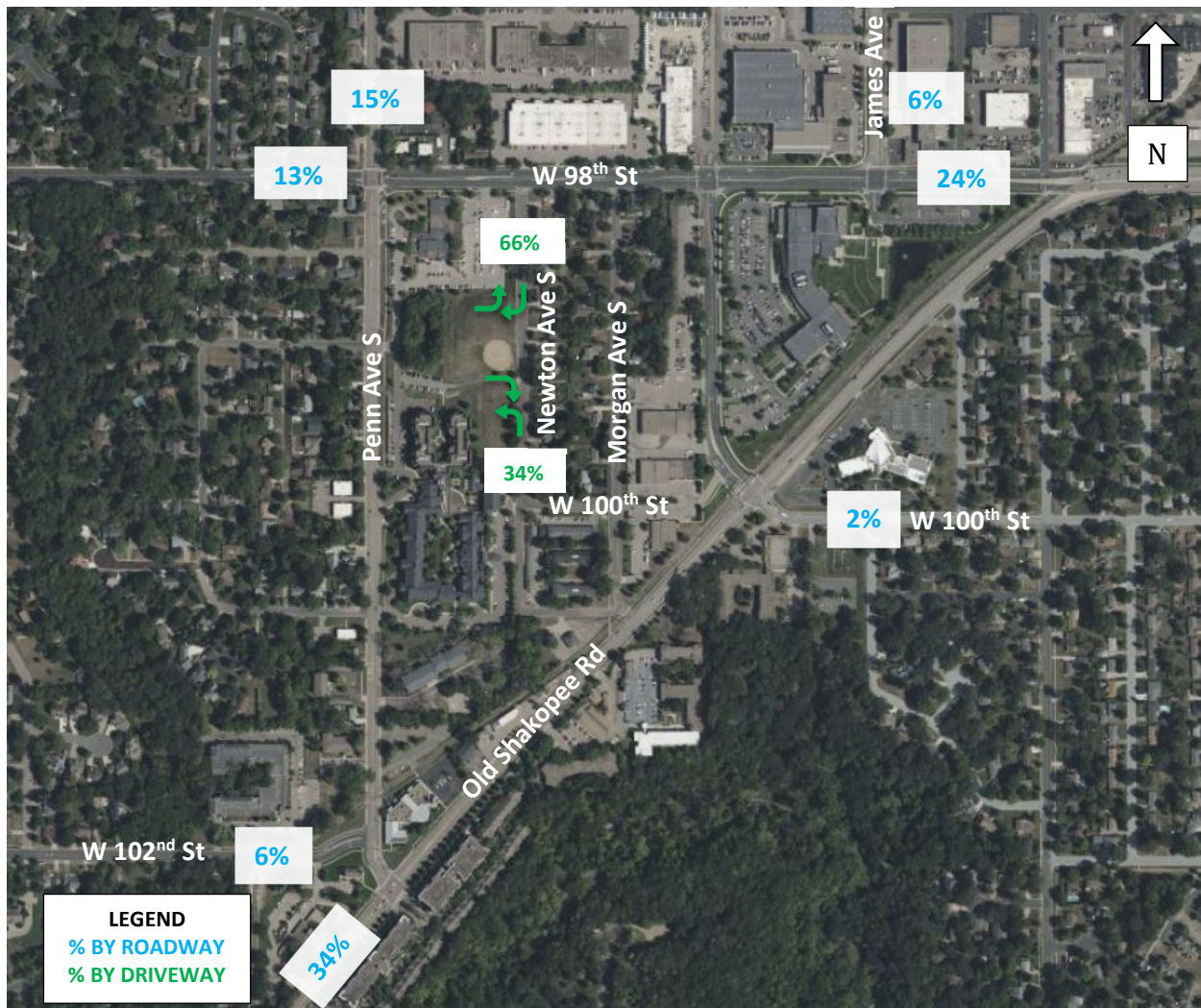
The proposed site plan has access for staff parking off Penn Ave S and access for all other patrons at two driveways along Newton Ave S. The existing trips for the Creekside Community Center were re-routed to use the proposed accesses off Newton Ave S. The additional trips with the redevelopment of the community center were distributed to the surrounding roadway network based on existing annual average daily traffic (AADT) information. The peak hour trip distribution was assumed to include only patrons (no staff) to be conservative and have all traffic utilizing the accesses off Newton Ave S. From the existing AADTs the following trip distribution was assumed for how patrons would enter and exit the proposed Community Health and Wellness Center:



- A combined 66% will enter/exit at the north driveway along Newton Ave S using the Newton Ave S/W 98<sup>th</sup> St intersection. This will include vehicles entering/existing from the following surrounding roadways:
  - James Ave north of 98<sup>th</sup> St (6%)
  - W 98<sup>th</sup> St east and west of the project area (37%)
  - Penn Ave S north of W 98<sup>th</sup> St (15%)
  - W 100<sup>th</sup> St east of Old Shakopee Rd (2%)
  - W 102<sup>nd</sup> St west of Penn Ave S (6%)
- 34% will enter/exit at the south driveway along Newton Ave S using the Morgan Ave/Old Shakopee Rd intersection and W 100<sup>th</sup> St to access the site. This will include vehicles entering/existing from Old Shakopee Road west of the project area

See **Figure 2** for a more detailed breakdown of the trip distribution percentages that the assumptions were based on.

**Figure 2: Trip Distribution**



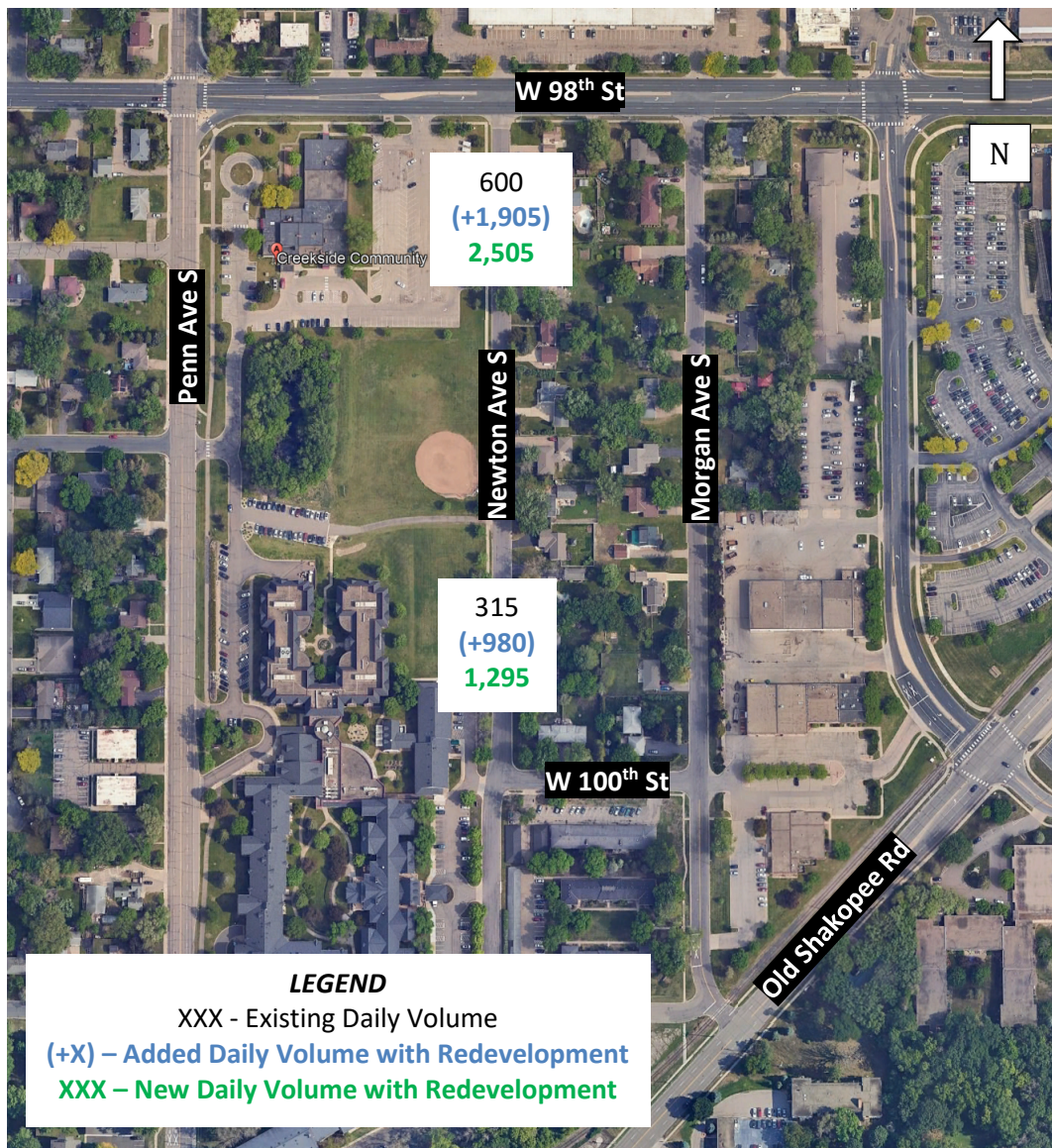
Google Maps Courtesy



The build peak hour turning movement counts are shown in the **Appendix**.

**Figure 3** shows the existing daily volumes along Newton Ave S, the daily trips added with the proposed redevelopment, and the total of daily trips anticipated under the build condition.

**Figure 3: Existing and Projected Trips along Newton Ave S**



### **City Code Analysis**

The Bloomington City Code 21.302.06(b)(7)(A) states that “The establishment of a new institutional use or the expansion of an existing institutional use that creates traffic levels above the following thresholds as documented by a traffic study prepared by a qualified, independent traffic engineering professional under the supervision of the city is prohibited unless the City Council finds that the negative impacts,



reasonably attributable to the proposed institutional use, on surrounding residential uses can be sufficiently mitigated to levels consistent with residential livability and pedestrian and motorist safety:

(i) Adds 300 or more trips per day to a local residential street at least once per week on a regular basis;

(ii) Adds 100 or more new trips per day on a local residential street, such that the total trips on that local residential street add up to a total of over 1,000 trips per day at least once per week on a regular basis; or

(iii) The proposed use or expansion is expected to produce 100 or more trips per hour on a local residential street during the peak hour of trip generation for the proposed site, at least once per week on a regular basis.”

These thresholds are analyzed below.

*Threshold i and ii:*

**Figure 3** shows the increase in trips per day ranges from 980 – 1,905 along Newton Ave S with the proposed redevelopment. Since the development adds more than 300 trips and the total daily volume along the residential roadways increases to over 1,000 daily vehicles, thresholds i and ii are exceeded.

*Threshold iii:*

The total number of trips entering and exiting that will be new or rerouted trips added to Newton Ave S as shown in **Tables 7** and **8** sums to over 100 trips per hour as shown in **Table 9** below, exceeding the threshold iii criteria.

**Table 9. New and Rerouted Trips with Redevelopment**

AM Peak		PM Peak	
Entering	Exiting	Entering	Exiting
138	71	113	133

Since the traffic levels were found to be above all three thresholds, mitigation measures need to be considered. This is further discussed in the recommendations section of the report.

**Build Operational Analysis**

The build condition analyzed access as shown on the existing site layout included in the **Appendix**. As previously mentioned, the proposed site plan has an additional access point to the Community Health and Wellness Center added along Newton Ave S, removes the existing driveway at W 98<sup>th</sup> St, and restricts access off Penn Ave S to staff parking only. No signal timing adjustments were assumed. The build operations are shown in **Table 10**.

**Table 10. Build Traffic Operational Analysis**

		AM Peak Hour				PM Peak Hour					
		Traffic Delay (sec/veh)				Traffic Delay (sec/veh)					
Intersection	Approach	Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)
		L	T	R			L	T	R		
Penn Avenue & 98th Street (Signalized, Hennepin County)	EB	34 - C	33 - C	16 - B	33 - C	27 - C	30 - C	29 - C	19 - B	29 - C	28 - C
	WB	30 - C	34 - C	4 - A	29 - C		38 - D	36 - D	2 - A	31 - C	
	NB	23 - C	21 - C	5 - A	19 - B		30 - C	22 - C	7 - A	20 - C	
	SB	30 - C	23 - C	9 - A	23 - C		37 - D	29 - C	15 - B	27 - C	
Penn Avenue & Jones Pl (Stop)	EB	5 - A	-	-	5 - A	1 - A	6 - A	-	4 - A	6 - A	1 - A
	NB	1 - A	0 - A	-	1 - A		-	0 - A	-	0 - A	
	SB	-	2 - A	1 - A	2 - A		-	2 - A	1 - A	2 - A	
Penn Avenue & Ivy Lane (Stop)	EB	8 - A	-	3 - A	4 - A	1 - A	8 - A	-	3 - A	5 - A	1 - A
	WB	4 - A	-	4 - A	4 - A		6 - A	-	4 - A	6 - A	
	NB	-	1 - A	2 - A	2 - A		6 - A	1 - A	2 - A	2 - A	
	SB	3 - A	0 - A	0 - A	1 - A		2 - A	0 - A	0 - A	1 - A	
Old Shakopee Road & Penn Avenue (Signalized, Hennepin County)	EB	52 - D	5 - A	-	14 - B	14 - B	53 - D	6 - A	-	12 - B	13 - B
	WB	60 - E	10 - B	8 - A	11 - B		52 - D	12 - B	9 - A	12 - B	
	NB	77 - E	101 - F	4 - A	47 - D		59 - E	65 - E	8 - A	38 - D	
	SB	54 - D	19 - B	6 - A	34 - C		48 - D	3 - A	14 - B	23 - C	
Newton Avenue & 98th Street (Stop)	EB	7 - A	3 - A	3 - A	4 - A	2 - A	7 - A	4 - A	3 - A	5 - A	4 - A
	WB	4 - A	1 - A	1 - A	2 - A		6 - A	0 - A	0 - A	1 - A	
	NB	16 - C	0 - A	6 - A	11 - B		22 - C	1 - A	11 - B	17 - C	
	SB	-	-	-	-		19 - C	-	4 - A	11 - B	
Newton Avenue & CHWC Access Northside (Stop)	EB	4 - A	-	-	4 - A	1 - A	4 - A	-	-	4 - A	2 - A
	NB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	SB	-	0 - A	0 - A	0 - A		-	1 - A	0 - A	1 - A	
Newton Avenue & CHWC Access Southside (Stop)	EB	-	-	3 - A	3 - A	1 - A	-	-	3 - A	3 - A	1 - A
	NB	2 - A	0 - A	-	1 - A		2 - A	0 - A	-	1 - A	
	SB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
Newton Avenue & 100th Street (Stop)	EB	4 - A	-	1 - A	3 - A	1 - A	5 - A	-	-	5 - A	1 - A
	WB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	
	NB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	SB	2 - A	0 - A	0 - A	2 - A		2 - A	0 - A	0 - A	2 - A	
Morgan Avenue & 100th Street (Stop)	EB	1 - A	0 - A	0 - A	1 - A	1 - A	-	0 - A	0 - A	0 - A	1 - A
	WB	2 - A	-	-	2 - A		2 - A	-	0 - A	1 - A	
	NB	2 - A	1 - A	1 - A	2 - A		2 - A	1 - A	-	2 - A	
	SB	2 - A	0 - A	0 - A	1 - A		-	0 - A	0 - A	0 - A	
Old Shakopee Road & Morgan Avenue (Stop)	SB	26 - D	0 - A	3 - A	4 - A	2 - A	37 - E	-	8 - A	11 - B	3 - A
	EB	10 - B	2 - A	-	3 - A		13 - B	3 - A	-	4 - A	
	WB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	

**Build Delay:**

- Traffic operations remain similar to the existing condition with the additional traffic and access changes proposed.
- During the AM and PM peak hour the northbound left and through movements show worsening LOS from LOS D to LOS E or F at the intersection of Old Shakopee Rd and Penn Ave S. However, this is a minor volume approach with only 5-18 vehicles during the peak hours and no volume added due to the proposed redevelopment. Therefore, this change in delay can be attributed to the randomness of when vehicles arrive along this approach in the traffic model, not a result of the proposed redevelopment.
- All other movement delay remains similar to the existing condition with delay anticipated to increase by at most six seconds during both peak hours.
- Even at the intersection of Newton Ave S and W 98<sup>th</sup> St, with the number of northbound left turning vehicles increasing from 3 to 24 during the AM peak hour and from 9 to 53 during the

PM peak hour, delay is anticipated to remain acceptable at LOS C. The northbound left vehicles anticipated to wait on average 16 seconds per vehicle during the AM peak hour and 22 seconds per vehicle during the PM peak hour. The nearby traffic signals help create gaps in traffic for the side street vehicles to traverse the intersection.

Full operations tables which show average and maximum vehicle queuing are shown in the **Appendix**. The build peak hour queue results are similar to the existing condition with no excessive queuing observed. All maximum queues at the signalized intersection are 375 feet or less and all maximum queues at the stop-controlled intersections are 125 feet or less.

## Parking Analysis

### Field Based Parking Demand

To estimate the expected parking demand for the redeveloped Bloomington Community Center, parking counts were conducted at two comparable community facilities: Eagan Community Center and Brooklyn Center Community Center during peak weekday and weekend hours. The peak weekday and weekend hours were provided by staff at each respective community center. These nearby community centers were selected since they offer similar amenities to the proposed Bloomington Community Health and Wellness Center. It should be noted that ongoing renovation at the Eagan Community Center was not impacting usage at the time parking data was collected.

Similarly, weekday parking counts were also conducted at the current Creekside Community Center and the Bloomington Public Health Center to evaluate existing demand. **Table 11** summarizes the parking data collected on the other facilities. For each facility, the number of parked vehicles was counted during observed peak periods, and the corresponding parking demand ratio (vehicles per 1,000 square feet) was calculated based on the facility's gross floor area. Since Bloomington Public Health is moving completely from the existing facility to the proposed Community Health and Wellness Center a parking demand ratio was not calculated but it should be noted that the size of the building is roughly equivalent to the portion of the building they will occupy at the new site.

**Table 11. Parking Count for Similar Facilities**

Location	Day	Number of Parked Cars	Gross Floor Area (Sq Ft)	Car per 1,000 Sq Ft
Eagan Community Center	Weekend	145	60,000	2.417
	Weekday	31		0.517
Brooklyn Center Community Center	Weekend	52	44,909	1.158
	Weekday	84		1.870
Creekside Community Center	Weekday	76	25,137	3.023
		89		3.541
Bloomington Public Health	Weekday	29	N/A	N/A
		26		N/A

In order to estimate the peak parking demand for the proposed Community Health and Wellness Center the site was divided into three uses based on the current site plan:

- Public Health: 9,200 sq ft
- Community Rooms: 13,100 sq ft
- Remaining Community Health and Wellness Center: 85,700 sq ft

Using the observed parking ratios from **Table 11**, estimated parking demand was calculated by applying the calculated rates to the planned building areas with the exception of Public Health. For Public Health the peak parking demand was found to be 29, therefore 29 parking stalls were the assumed parking demand for this use at the proposed site. The parking rate found at the existing Creekside Community Center was applied to the area of the planned community rooms (with some additional area for general building spaces such as bathrooms, hallways, storage, etc.) at the new facility. The parking rate of the nearby community centers was applied to the remainder of the proposed Community Health and Wellness Center building area. Additionally, since the existing Creekside Community Center is only open during the week, the weekend parking demand was calculated based on the total building size (108,000 sq ft) minus the building size planned for Public Health since at the new facility the community rooms could still be used on the weekends when the building is open. The results are shown in **Table 12**.

**Table 12. Parking Demand based on Similar Locations**

Location	Day	Calculation	Parking Demand
Eagan Community Center	Weekend	$2.42 \times (85.7 + 13.1)$	239
	Weekday	$0.52 \times 85.7$	45
Brooklyn Center Community Center	Weekend	$1.16 \times (85.7 + 13.1)$	115
	Weekday	$1.87 \times 85.7$	161
Creekside Community Center	Weekday	$3.54 \times 13.1$	47
Public Health	Weekday	No calculation. Parking demand from existing site used.	29

### Weekend Parking Demand

On weekends, only the Community Health and Wellness Center will be operational, as the Public Health Center is expected to be closed. To ensure a conservative estimate, the highest observed weekend parking ratio, 2.42 spaces per 1,000 sq ft (from Eagan Community Center) was applied to the planned building area of 85,700 sq ft and community room area of 13,100 sq ft. This results in a total estimated weekend parking demand of 239 spaces.

### Weekday Parking Demand

During weekdays, all three uses of the redeveloped facility will be in use. The highest observed weekday demand for a community center, 161 spaces (based on the Brooklyn Center Community Center) was used as the base. This was added to the observed weekday demand at the existing Creekside Community Room (47 spaces) and the Public Health Center (29 spaces). The combined total adds up to an estimated weekday parking demand of 237 spaces.

**Table 13** shows the final estimated parking demand based on the similar sites under the study.

**Table 13. Parking Demand Based on Similar Sites**

Day	Parking Demand
Weekend	239
Weekday	237

### **ITE Parking Demand**

The peak hour parking demand for the proposed redevelopment project was also estimated using the Institute of Transportation Engineers (ITE) Parking Generation Manual, 6th Edition. The same two land uses referenced for trip generation were considered. This includes "Government Office" land use (ITE Code 730) which was assume for the 9,200 sq ft of the building allocated to Public Health while the remainder of the building was considered a "Recreational Community Center" land use (ITE Code 495).

Based on the ITE Parking Generation Manual, the anticipated peak hour parking demand was calculated for both weekday and weekend conditions. **Table 14** shows the estimated parking demand for the proposed site.

**Table 14. Parking Demand based on ITE Parking Generation Manual**

Day	Parking Demand
Weekends	177
Weekdays	200

## **Site Layout and Circulation Review Analysis**

### **Parking:**

- City Code requires 467 parking spaces to be provided for the Community Health and Wellness Center.
- The applicant is proposing to provide 353 parking spaces, which is a deviation of 24% from the code required parking supply.
- The parking demand based on similar sites and ITE Parking Generation shows a peak parking demand of 239 parking spaces, therefore the 353 proposed parking spaces are expected to satisfy the peak parking demand for both weekday and weekend traffic. It is anticipated that the additional parking will assist with parking needs during special events.

### **Pedestrians:**

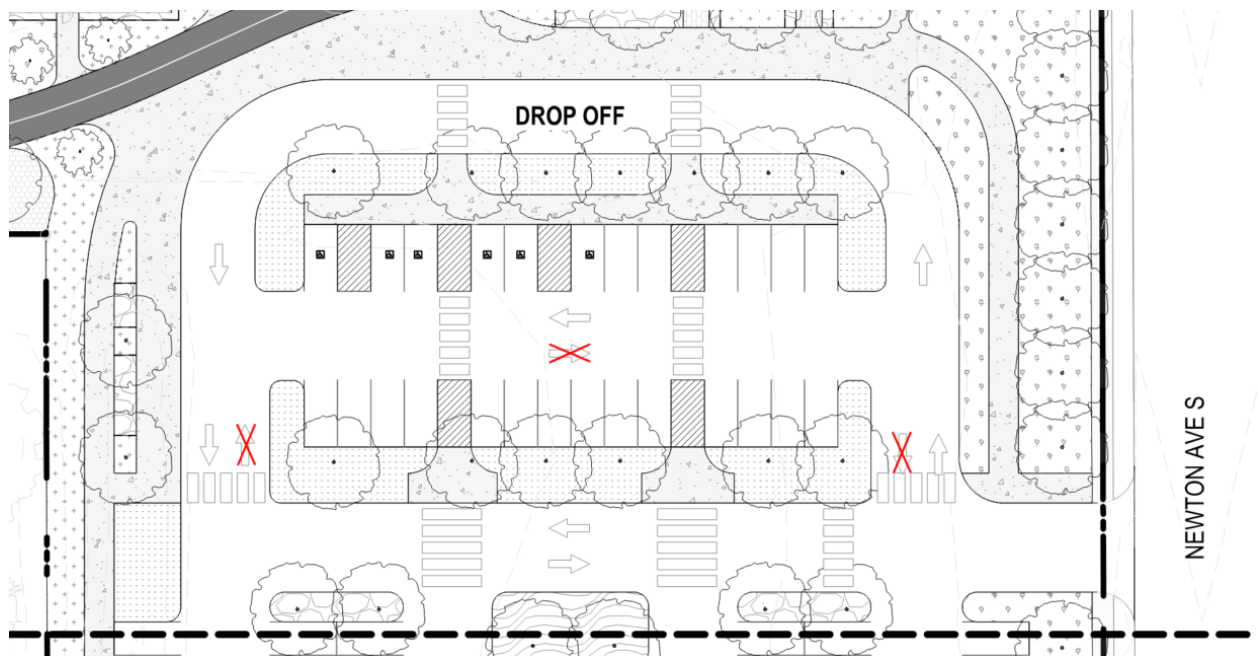
- The proposed site plan shows pedestrian accommodations surrounding the building, connecting to the existing bus stop along W 98<sup>th</sup> St, and marked crossings at key locations in within the parking lots.
- ADA accessible pedestrian ramps and truncated domes are recommended where the marked crossings from the parking lot tie into the proposed sidewalk.

### **Internal Circulation:**

- The parking lot layout and access locations create streamlined access and circulation throughout the site, however, the approximately 24 ft wide connection to the existing parking lot on the

southwest side of the proposed parking lot is likely to be used as a cut through route for traffic destined for or coming from Penn Ave S. This connection is used today for emergency response vehicles and was requested to remain open with the planned redevelopment.

- To limit usage of this connection it is recommended that the connection be constructed as a trail, narrowing the width to 10 ft, with design “S” curb along the edge of the connection with the proposed parking lot so that it is not seen as a continuous route through the parking lot. Truncated domes should also be added to further enhance the trail like appearance of the connection.
- While the changes to the parking lot connection listed above should limit usage of this as a cut through route, it is recommended that an official parking lot connection be added where the trail is shown today between the staff and general use parking lots. With landscaping removed in this area, the trail connection could be moved north, closer to the building, to accommodate the parking lot connection. Without an official connection, the cut through is likely to be used, especially after events when delays are anticipated to be higher with everyone exiting along Newton Ave S. Additionally, without an official connection the designed staff parking area is likely to be utilized by patrons.
- With a connection between the lots, it is recommended to modify the drop-off area on the north side of the east parking lot as shown below for better traffic circulation.



## Conclusion

### Trip Generation/Distribution

- Trips generated from the proposed redevelopment were dispersed to the multiple entrances and exits of the Community Health and Wellness Center based on current traffic patterns. The table below shows the number of trips the redevelopment is anticipated to add during the AM and PM peak hour on a typical weekday.

AM Peak		PM Peak		Weekday (Daily)	
Entering	Exiting	Entering	Exiting	Entering	Exiting
124	62	104	125	1,281	1,346

### Safety

- A five-year crash analysis indicated that all intersections operate within the normal range compared to similar intersections statewide. With all intersections found to operate within the normal range there is no evidence that additional trips from the proposed redevelopment would create or contribute to a safety issue at the nearby intersections.

### Existing Traffic Operations

- All intersections operate with LOS C or better during the AM and PM peak hours.
- The existing peak hour queue results show a few movements where the maximum queue blocks a turn lane at the signalized intersections, however, no excessive queuing is observed. All maximum queues at the signalized intersection are 325 feet or less and all maximum queues at the stop controlled intersections are 100 feet or less.

### Build Traffic Operations

- Traffic delay and queuing remains similar to the existing condition with the additional traffic and access changes proposed. This indicates that the additional traffic added with the proposed redevelopment is not anticipated to have a negative impact on the surrounding roadway network, therefore, no mitigation is needed to keep operations acceptable.

### Parking Demand

- Parking demand for the redevelopment was estimated based on similar nearby sites and the ITE Parking Generation Manual. The table below shows the number of parking spaces required during the weekdays and weekends.

Day	Parking Demand	
	Similar Sites	ITE Parking Generation Manual
Weekends	239	177
Weekdays	232	200



- The parking demand based on similar sites and ITE Parking Generation shows a peak parking demand of 239 parking spaces, therefore the 353 proposed parking spaces are expected to satisfy the peak parking demand for both weekday and weekend traffic. It is anticipated that the additional parking will assist with parking needs during special events.

## Recommendations

The following recommendations are proposed in conjunction with the Community Health and Wellness Center redevelopment:

### ***Geometric Modifications:***

- Modify the emergency vehicle connection between the existing and proposed parking lots with the following changes made:
  - Construct the connection as a trail, narrowing the width to 10 ft, with design “S” curb along the edge of the connection with the proposed parking lot so that it is not seen as a continuous route through the parking lot. Add truncated domes on either side of the connection to further enhance the trail like appearance of the connection.
- Provide an official parking lot connection on the north side of the general use parking lot over to the staff parking lot to promote use of this connection over the emergency vehicle only parking lot connection. This would require the landscaping removed in this area and the trail connection would need to be moved north, closer to the building, to accommodate the parking lot connection.
- Install curb bump outs along Newton Ave S at both proposed access points to the proposed Community Health and Wellness Center to calm traffic as a mitigation measure to address livability concerns with the increased volume the proposed development is anticipated to generate.
- Modify the drop-off area on the north side of the east parking lot for better traffic circulation eliminating eastbound traffic from the parking area drive aisle south of the drop off, eliminating southbound traffic from the parking area south of the drop off area on the east side of the parking lot, and eliminating northbound traffic to the parking area south of the drop off area on the west side of the parking lot.

### ***Traffic Control or Signage Changes:***

- Add a stop sign to the westbound approach at W 100<sup>th</sup> St and Newton Ave S. There is an existing stop sign for the private driveway which ties into this intersection as the west leg to the intersection, so a stop sign is recommended on the east intersection leg for consistency.
- The intersection of W 100<sup>th</sup> St and Morgan Ave S is currently uncontrolled. Since there are no existing safety concerns and since volumes are low it is recommended to keep the intersection uncontrolled, but the intersection should be monitored to ensure a crash issue does not arise with the additional traffic anticipated at this intersection with the proposed redevelopment.
- Add signage at the emergency vehicle connection between the existing and proposed parking lot to limit the usage of this connection by general traffic.

***Parking:***

- Although the proposed 353 parking stalls are anticipated to provide sufficient parking for the proposed site it is recommended that the no parking restrictions on the west side of Newton Ave S be removed to accommodate more parking for large events at the proposed Community Health and Wellness Center to avoid people parking along Newton Ave S illegally or parking on other nearby roadways. Parking should be restricted to only certain hours when the Community Health and Wellness Center is open.
- Allowing parking along Newton Ave S is also recommended as a mitigation measure to address livability concerns by providing traffic calming.

**Pedestrian Accommodations:**

- Add ADA accessible pedestrian ramps and truncated domes at all marked pedestrian connections to and within the parking lot.

## Appendix

# Intersection Safety Screening

Intersection: W 98th Street and Penn Avenue S

*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	17,644
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	2	Lighting	Lit
Possible Injury (C)	3	Traffic Control	Signal
Property Damage (PDO)	2		
Total Crashes	7		

*Annual crash cost* = \$267,200

*Statewide comparison* = Signal, Low Volume ( $\leq 20K$ )

Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	0.217	Observed	0.000
Statewide Average	0.644	Statewide Average	1.209
Critical Rate	1.020	Critical Rate	5.240
<b>Critical Index</b>	<b>0.21</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate  $\div$  critical crash rate).*

*The observed total crash rate for this period is 0.22 per MEV; this is 79% below the critical rate. Based on similar statewide intersections, an additional 26 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*

# Intersection Safety Screening

Intersection: Penn Avenue S and Jones PI

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*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	4,875
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	1	Lighting	Lit
Possible Injury (C)	0	Traffic Control	Thru-Stop
Property Damage (PDO)	0		
Total Crashes	1		

*Annual crash cost = \$76,000*

*Statewide comparison = Thru/STOP, Urban*

Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	0.112	Observed	0.000
Statewide Average	0.145	Statewide Average	0.414
Critical Rate	0.530	Critical Rate	8.800
<b>Critical Index</b>	<b>0.21</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.11 per MEV; this is 79% below the critical rate. Based on similar statewide intersections, an additional 4 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*

# Intersection Safety Screening

Intersection: Penn Avenue S and Ivy Lane

*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	4,985
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	0	Lighting	Lit
Possible Injury (C)	0	Traffic Control	Thru-Yield
Property Damage (PDO)	3		
Total Crashes	3		

*Annual crash cost = \$10,800*

*Statewide comparison = All Intersections*

Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	0.330	Observed	0.000
Statewide Average	0.240	Statewide Average	0.670
Critical Rate	0.710	Critical Rate	9.640
<b>Critical Index</b>	<b>0.46</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.33 per MEV; this is 54% below the critical rate. Based on similar statewide intersections, an additional 4 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*

# Intersection Safety Screening

Intersection: W 98th Street and Newton Avenue S

*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	12,394
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	0	Lighting	Lit
Possible Injury (C)	1	Traffic Control	Thru-Stop
Property Damage (PDO)	0		
Total Crashes	1		

*Annual crash cost = \$36,000*

*Statewide comparison = Thru/STOP, Urban*

Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	0.044	Observed	0.000
Statewide Average	0.145	Statewide Average	0.414
Critical Rate	0.370	Critical Rate	4.360
<b>Critical Index</b>	<b>0.12</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.04 per MEV; this is 88% below the critical rate. Based on similar statewide intersections, an additional 8 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*



# Intersection Safety Screening

Intersection: W 100th Street and Morgan Avenue S

*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	416
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	0	Lighting	Lit
Possible Injury (C)	0	Traffic Control	Uncontrolled
Property Damage (PDO)	1		
Total Crashes	1		

*Annual crash cost = \$3,600*

*Statewide comparison = All Intersections*

Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	1.316	Observed	0.000
Statewide Average	0.240	Statewide Average	0.670
Critical Rate	2.350	Critical Rate	78.530
<b>Critical Index</b>	<b>0.56</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 1.32 per MEV; this is 44% below the critical rate. Based on similar statewide intersections, an additional 1 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*

# Intersection Safety Screening

Intersection: W Old Shakopee Road and Morgan Avenue S

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*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity	
Fatal (K)	1
Incapacitating Injury (A)	0
Minor Injury (B)	0
Possible Injury (C)	1
Property Damage (PDO)	1
Total Crashes	3

Intersection Characteristics	
Entering Volume	16,007
Environment	Urban
Lighting	Lit
Traffic Control	Thru-Stop

*Annual crash cost* = \$719,600

*Statewide comparison* = Thru/STOP, Urban

Total Crash Rate	
Observed	0.103
Statewide Average	0.145
Critical Rate	0.340
<b>Critical Index</b>	<b>0.30</b>

Fatal & Serious Injury Crash Rate	
Observed	3.421
Statewide Average	0.414
Critical Rate	3.650
<b>Critical Index</b>	<b>0.94</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.10 per MEV; this is 70% below the critical rate. Based on similar statewide intersections, an additional 7 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 3.42 per 100 MEV; this is 6% below the critical rate. The intersection operates within the normal range.*

# Intersection Safety Screening

Intersection: W Old Shakopee Road and Penn Avenue S

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*Statewide Averages based on 2019-2023 crashes*

Crashes by Crash Severity		Intersection Characteristics	
Fatal (K)	0	Entering Volume	18,727
Incapacitating Injury (A)	0	Environment	Urban
Minor Injury (B)	1	Lighting	Lit
Possible Injury (C)	0	Traffic Control	Signal
Property Damage (PDO)	5		
Total Crashes	6		

*Annual crash cost = \$94,000*

*Statewide comparison = Signal, Low Volume (<=20K)*

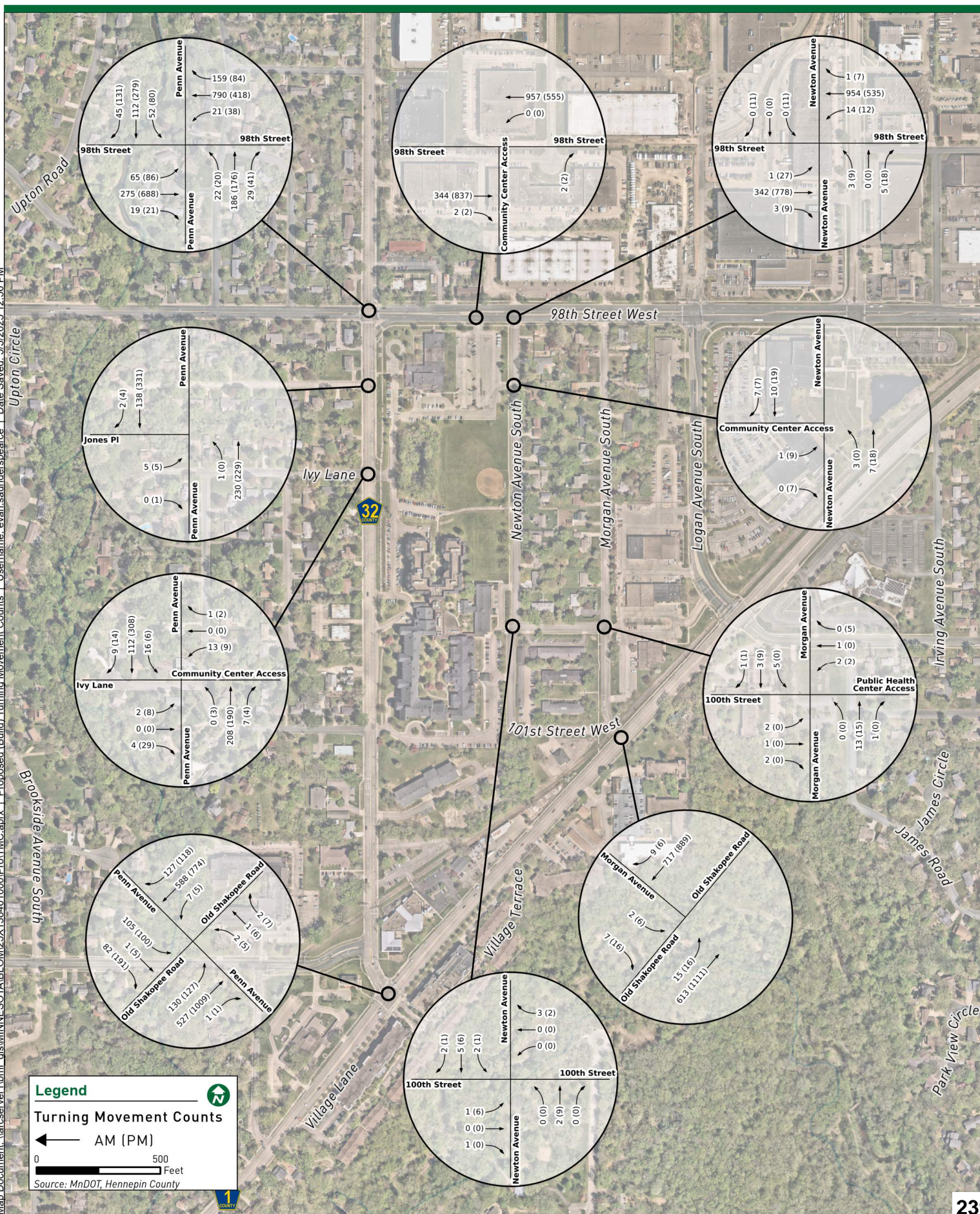
Total Crash Rate		Fatal & Serious Injury Crash Rate	
Observed	0.175	Observed	0.000
Statewide Average	0.644	Statewide Average	1.209
Critical Rate	1.010	Critical Rate	5.080
<b>Critical Index</b>	<b>0.17</b>	<b>Critical Index</b>	<b>0.00</b>

*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.18 per MEV; this is 83% below the critical rate. Based on similar statewide intersections, an additional 29 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*







		AM Peak Hour - Existing Condition																
		Traffic Volumes (veh)						Traffic Delay (sec/veh)				Traffic Queuing (feet)						
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized)	EB	65	275	19	359	35 - D	33 - C	14 - B	33 - C	25 - C	-	150	225	150	225	-	100	200
	WB	21	790	159	970	30 - C	29 - C	2 - A	25 - C		-	200	325	200	325	220	25	100
	NB	22	186	29	237	20 - C	20 - C	6 - A	19 - B		-	50	125	75	150	-	75	150
	SB	52	112	45	209	27 - C	24 - C	9 - A	21 - C		-	75	175	75	175	-	50	150
Penn Avenue & Jones Pl (Stop)	EB	5	-	-	5	9 - A	-	-	9 - A	1 - A	-	25	50	-	-	-	25	50
	NB	1	230	-	231	2 - A	0 - A	-	1 - A		-	-	-	-	-	-	-	-
	SB	-	150	2	152	-	2 - A	2 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	2	-	4	6	5 - A	-	3 - A	4 - A	1 - A	-	25	50	25	50	-	25	50
	WB	13	-	1	14	5 - A	-	3 - A	5 - A		-	25	50	25	50	-	25	50
	NB	-	251	7	258	-	1 - A	1 - A	1 - A		-	-	-	0	25	-	0	25
	SB	16	113	9	138	2 - A	0 - A	0 - A	1 - A		-	25	50	25	50	-	-	-
Old Shakopee Road & Penn Avenue (Signalized)	EB	130	527	1	658	51 - D	4 - A	1 - A	14 - B	14 - B	175	125	200	75	225	-	50	150
	WB	7	590	127	724	58 - E	10 - B	7 - A	11 - B		115	25	50	100	250	-	100	250
	NB	2	1	2	5	36 - D	49 - D	6 - A	25 - C		-	25	50	25	50	-	25	50
	SB	105	1	82	188	51 - D	-	6 - A	31 - C		-	100	175	50	100	-	50	100
Creskide Community Center Access & 98th Street (Stop)	EB	-	357	2	359	-	2 - A	-	2 - A	1 - A	-	-	-	-	-	-	-	-
	WB	-	957	-	957	-	0 - A	-	0 - A		-	-	-	0	25	-	-	-
	NB	-	-	2	2	-	-	6 - A	6 - A		-	-	-	-	-	-	25	50
Newton Avenue & 98th Street (Stop)	EB	1	348	3	352	-	0 - A	0 - A	0 - A	0 - A	120	0	25	-	-	-	-	-
	WB	14	954	1	969	3 - A	0 - A	0 - A	1 - A		50	25	50	-	-	-	-	-
	NB	3	1	5	9	10 - B	-	3 - A	6 - A		-	25	50	25	50	-	25	50
	SB	-	-	-	0	-	-	-	-		-	-	-	-	-	-	-	-
Newton Avenue & Creskide Community Center Access (Stop)	EB	1	-	-	1	2 - A	-	-	2 - A	0 - A	-	25	25	-	-	-	25	25
	NB	3	9	-	12	2 - A	0 - A	-	1 - A		-	-	-	-	-	-	-	-
	SB	-	11	7	18	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	1	-	1	2	-	-	2 - A	2 - A	0 - A	-	25	25	25	25	-	25	25
	WB	-	-	3	3	-	-	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	2	-	2	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	2	8	2	12	2 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Morgan Avenue & 100th Street (Stop)	EB	2	1	2	5	1 - A	0 - A	0 - A	1 - A	0 - A	-	-	-	-	-	-	-	-
	WB	2	1	-	3	1 - A	0 - A	-	1 - A		-	-	-	-	-	-	-	-
	NB	-	23	1	24	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	5	3	1	9	2 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Old Shakopee Road & Morgan Avenue (Stop)	SB	2	-	7	9	22 - C	-	4 - A	8 - A	1 - A	-	25	50	-	-	-	25	50
	EB	15	619	-	634	9 - A	2 - A	-	3 - A		-	25	75	25	75	-	-	-
	WB	-	717	9	726	-	0 - A	0 - A	0 - A		-	-	-	0	25	-	-	-

		PM Peak Hour - Existing Condition																
		Traffic Volumes (veh)							Traffic Delay (sec/veh)			Traffic Queuing (feet)						
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized)	EB	86	688	21	795	28 - C	28 - C	17 - B	28 - C	28 - C	-	225	325	225	325	-	175	300
	WB	38	433	84	555	42 - D	37 - D	2 - A	33 - C		-	150	250	150	250	-	-	-
	NB	20	176	41	237	34 - C	24 - C	5 - A	22 - C		-	75	125	75	150	-	75	150
	SB	80	279	131	490	36 - D	30 - C	15 - B	28 - C		-	150	250	150	250	-	125	225
Penn Avenue & Jones Pl (Stop)	EB	5	-	1	6	5 - A	-	5 - A	5 - A	1 - A	-	25	50	-	-	-	25	50
	NB	-	230	-	230	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	335	4	339	-	2 - A	1 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	8	-	29	37	8 - A	-	3 - A	4 - A	1 - A	-	25	50	25	50	-	25	50
	WB	9	-	2	11	6 - A	-	4 - A	6 - A		-	25	50	25	50	-	25	50
	NB	3	246	4	253	3 - A	1 - A	2 - A	2 - A		-	25	50	25	50	-	-	-
	SB	6	312	14	332	2 - A	0 - A	0 - A	1 - A		-	25	25	25	25	-	0	25
Old Shakopee Road & Penn Avenue (Signalized)	EB	127	1009	1	1137	52 - D	6 - A	1 - A	12 - B	13 - B	175	100	200	100	225	-	100	225
	WB	5	782	118	905	61 - E	12 - B	9 - A	12 - B		115	25	50	125	225	-	125	225
	NB	5	6	7	18	52 - D	60 - E	7 - A	40 - D		-	25	75	25	75	-	25	50
	SB	100	55	191	346	47 - D	6 - A	13 - B	22 - C		-	75	200	75	200	-	75	200
Creskide Community Center Access & 98th Street (Stop)	EB	-	837	2	839	-	3 - A	3 - A	3 - A	2 - A	-	-	-	-	-	-	-	-
	WB	-	561	-	561	-	0 - A	-	0 - A		-	-	-	0	25	-	-	-
	NB	-	-	2	2	-	-	5 - A	5 - A		-	-	-	-	-	-	25	25
Newton Avenue & 98th Street (Stop)	EB	27	803	9	839	3 - A	0 - A	0 - A	1 - A	1 - A	120	25	50	0	25	-	-	-
	WB	12	535	7	554	6 - A	0 - A	0 - A	1 - A		50	25	25	-	-	-	-	-
	NB	9	-	18	27	17 - C	-	6 - A	11 - B		-	25	50	25	50	-	25	50
	SB	11	-	11	22	14 - B	-	3 - A	9 - A		-	25	75	25	75	-	25	75
Newton Avenue & Creskide Community Center Access (Stop)	EB	9	-	1	10	4 - A	-	2 - A	4 - A	1 - A	-	25	50	-	-	-	25	50
	NB	-	20	-	20	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	19	7	26	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	6	-	-	6	4 - A	-	-	4 - A	1 - A	-	25	50	25	50	-	25	50
	WB	-	-	2	2	-	-	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	9	-	9	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	1	19	1	21	2 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Morgan Avenue & 100th Street (Stop)	EB	-	1	-	1	-	0 - A	-	0 - A	0 - A	-	-	-	-	-	-	-	-
	WB	2	-	5	7	2 - A	-	0 - A	1 - A		-	0	25	0	25	-	0	25
	NB	-	22	-	22	-	1 - A	-	1 - A		-	-	-	-	-	-	-	-
	SB	-	9	1	10	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Old Shakopee Road & Morgan Avenue (Stop)	SB	6	-	16	22	35 - E	-	6 - A	12 - B	2 - A	-	25	50	-	-	-	25	50
	EB	16	1111	-	1127	13 - B	3 - A	-	4 - A		-	25	100	25	100	-	-	-
	WB	-	889	6	895	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-



NOT FOR  
CONSTRUCTION

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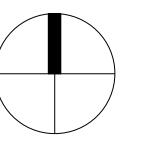
GA NO: 2064-008-00

# OVERALL LANDSCAPE PLAN

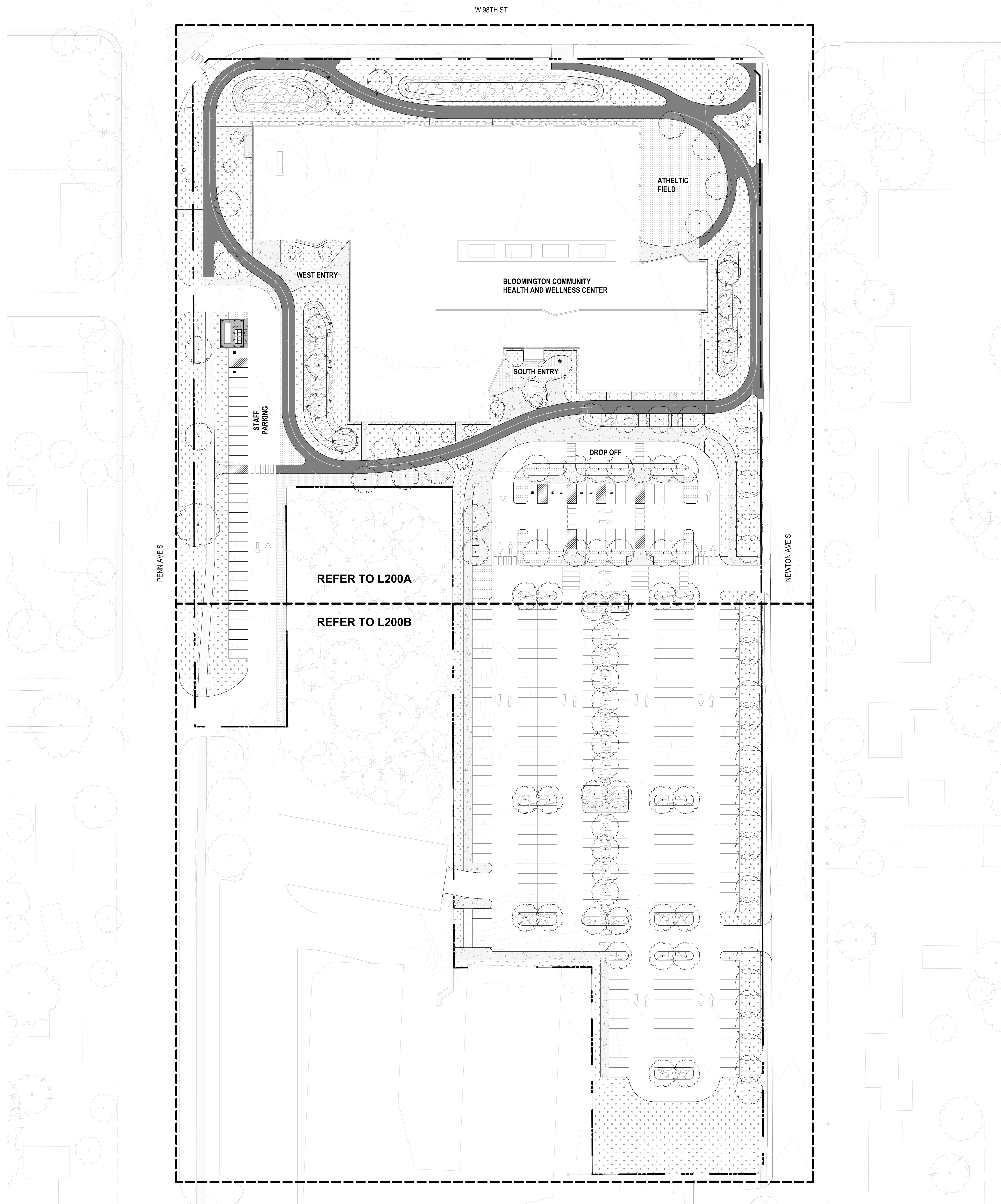
TE: FEBRUARY 27, 2025

### 100% SCHEMATIC DESIGN

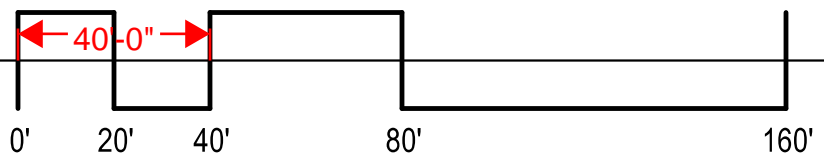
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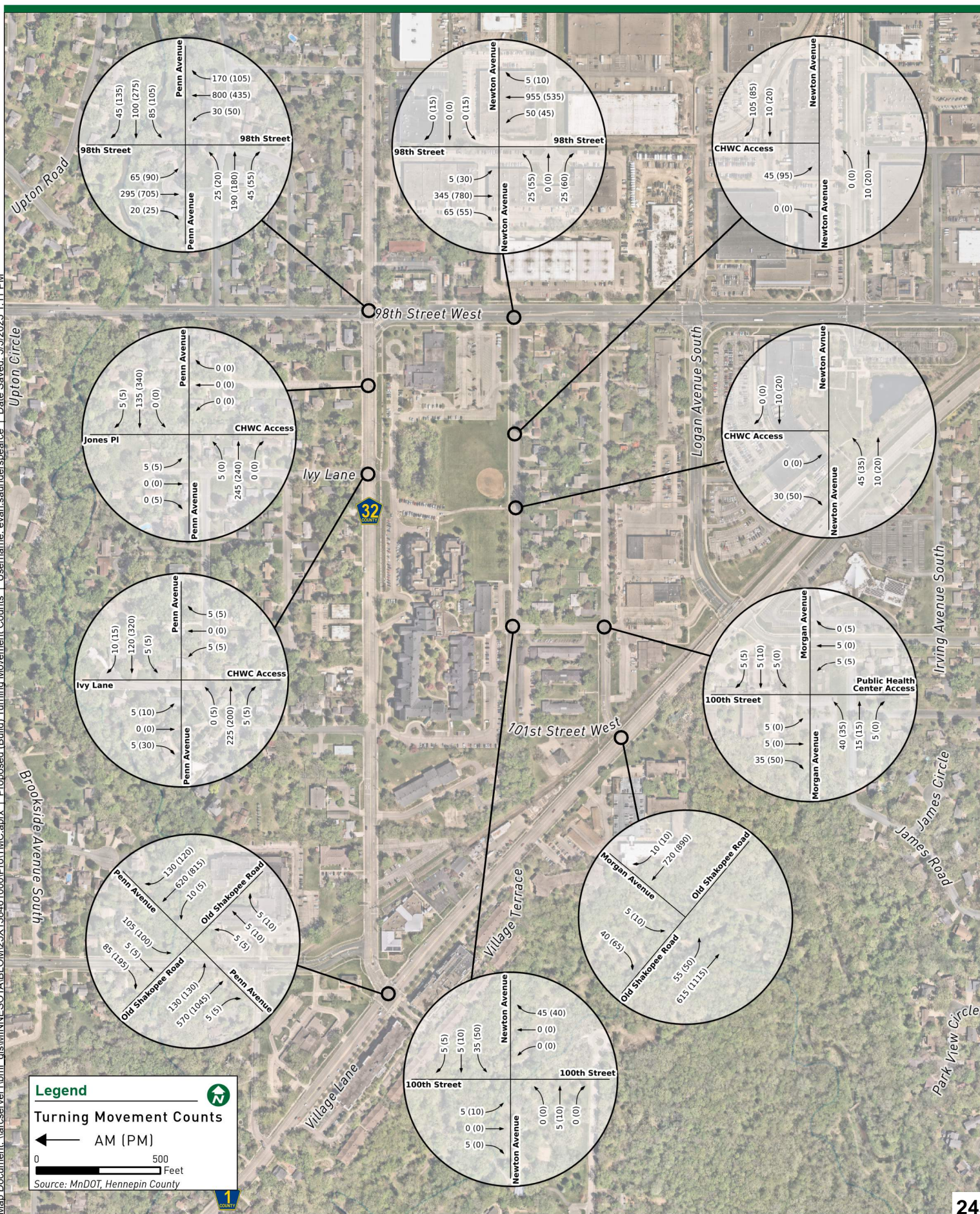
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Scale: 1" = 40'-0"









		AM Peak Hour - Build Condition																
		Traffic Volumes (veh)						Traffic Delay (sec/veh)				Traffic Queuing (feet)						
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized)	EB	65	292	17	374	34 - C	33 - C	16 - B	33 - C	27 - C	-	150	225	150	225	-	100	200
	WB	26	804	167	997	30 - C	34 - C	4 - A	29 - C		-	225	375	225	375	220	25	225
	NB	22	192	42	256	23 - C	21 - C	5 - A	19 - B		-	75	150	75	150	-	75	150
	SB	83	98	45	226	30 - C	23 - C	9 - A	23 - C		-	100	175	100	175	-	50	150
Penn Avenue & Jones Pl (Stop)	EB	5	-	-	5	5 - A	-	-	5 - A	1 - A	-	25	50	25	50	-	25	50
	NB	1	244	-	245	1 - A	0 - A	-	1 - A		-	-	-	-	-	-	-	-
	SB	-	143	2	145	-	2 - A	1 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	2	-	4	6	8 - A	-	3 - A	4 - A	1 - A	-	25	75	25	75	-	25	75
	WB	5	-	1	6	4 - A	-	4 - A	4 - A		-	25	50	25	50	-	25	50
	NB	-	259	5	264	-	1 - A	2 - A	2 - A		-	-	-	-	-	-	-	-
	SB	5	120	9	134	3 - A	0 - A	0 - A	1 - A		-	25	50	25	50	-	0	25
Old Shakopee Road & Penn Avenue (Signalized)	EB	130	566	1	697	52 - D	5 - A	-	14 - B	14 - B	175	125	225	100	225	-	50	150
	WB	7	636	127	770	60 - E	10 - B	8 - A	11 - B		115	25	100	100	250	-	100	250
	NB	2	1	2	5	77 - E	101 - F	4 - A	47 - D		-	25	50	25	50	-	25	50
	SB	105	2	82	189	54 - D	19 - B	6 - A	34 - C		-	100	225	50	125	-	50	125
Newton Avenue & 98th Street (Stop)	EB	1	367	65	433	7 - A	3 - A	3 - A	4 - A	2 - A	120	25	25	25	25	-	25	25
	WB	50	954	1	1005	4 - A	1 - A	1 - A	2 - A		50	25	50	-	-	-	-	-
	NB	24	4	24	52	16 - C	0 - A	6 - A	11 - B		-	50	100	50	100	-	50	100
	SB	-	-	-	0	-	-	-	-		-	-	-	-	-	-	-	-
Newton Avenue & CHWC Access Northside (Stop)	EB	41	-	-	41	4 - A	-	-	4 - A	1 - A	-	25	75	-	-	-	25	75
	NB	-	7	-	7	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	33	105	138	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & CHWC Access Southside (Stop)	EB	-	-	29	29	-	-	3 - A	3 - A	1 - A	-	25	50	-	-	-	25	50
	NB	42	36	-	78	2 - A	0 - A	-	1 - A		-	0	25	0	25	-	-	-
	SB	-	10	-	10	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	1	-	1	2	4 - A	-	1 - A	3 - A	1 - A	-	25	50	25	50	-	25	50
	WB	-	19	42	61	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	2	-	2	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	31	25	2	58	2 - A	0 - A	0 - A	2 - A		-	0	25	0	25	-	0	25
Morgan Avenue & 100th Street (Stop)	EB	2	18	31	51	1 - A	0 - A	0 - A	1 - A	1 - A	-	-	-	-	-	-	-	-
	WB	2	1	-	3	2 - A	-	-	2 - A		-	0	25	0	25	-	0	25
	NB	39	61	1	101	2 - A	1 - A	1 - A	2 - A		-	25	50	25	50	-	25	50
	SB	5	3	1	9	2 - A	0 - A	0 - A	1 - A		-	25	25	25	25	-	25	25
Old Shakopee Road & Morgan Avenue (Stop)	EB	2	1	36	39	26 - D	0 - A	3 - A	4 - A	2 - A	-	25	50	-	-	-	25	50
	NB	54	627	-	681	10 - B	2 - A	-	3 - A		-	50	100	50	100	-	-	-
	SB	-	717	9	726	-	0 - A	0 - A	0 - A		-	-	-	25	25	-	25	25

		PM Peak Hour - Build Condition																
		Traffic Volumes (veh)					Traffic Delay (sec/veh)					Traffic Queuing (feet)						
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized)	EB	86	701	21	808	30 - C	29 - C	19 - B	29 - C	28 - C	-	225	350	225	350	-	200	325
	WB	46	452	104	602	38 - D	36 - D	2 - A	31 - C		-	175	250	175	250	220	0	25
	NB	20	183	51	254	30 - C	22 - C	7 - A	20 - C		-	75	150	75	175	-	75	175
	SB	101	273	131	505	37 - D	29 - C	15 - B	27 - C		-	150	250	150	250	-	125	225
Penn Avenue & Jones Pl (Stop)	EB	5	-	1	6	6 - A	-	4 - A	6 - A	1 - A	-	25	50	25	50	-	25	50
	NB	-	242	-	242	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	340	4	344	-	2 - A	1 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	8	-	29	37	8 - A	-	3 - A	5 - A	1 - A	-	25	50	25	50	-	25	50
	WB	5	-	2	7	6 - A	-	4 - A	6 - A		-	25	50	25	50	-	25	50
	NB	3	246	4	253	6 - A	1 - A	2 - A	2 - A		-	25	50	25	50	-	-	-
	SB	5	322	14	341	2 - A	0 - A	0 - A	1 - A		-	25	25	25	25	-	-	-
Old Shakopee Road & Penn Avenue (Signalized)	EB	127	1043	-	1170	53 - D	6 - A	-	12 - B	13 - B	175	125	200	125	225	-	100	200
	WB	5	846	118	969	52 - D	12 - B	9 - A	12 - B		115	25	50	150	275	-	150	275
	NB	5	6	7	18	59 - E	65 - E	8 - A	38 - D		-	25	75	25	75	-	25	50
	SB	100	61	191	352	48 - D	3 - A	14 - B	23 - C		-	100	200	75	175	-	75	175
Newton Avenue & 98th Street (Stop)	EB	27	780	55	862	7 - A	4 - A	3 - A	5 - A	4 - A	120	25	50	25	25	-	25	25
	WB	44	535	7	586	6 - A	0 - A	0 - A	1 - A		50	25	75	0	25	-	0	25
	NB	53	3	58	114	22 - C	1 - A	11 - B	17 - C		-	50	125	50	125	-	50	125
	SB	11	-	11	22	19 - C	-	4 - A	11 - B		-	25	75	25	75	-	25	75
Newton Avenue & CHWC Access Northside (Stop)	EB	93	-	-	93	4 - A	-	-	4 - A	2 - A	-	50	75	-	-	-	50	75
	NB	-	23	-	23	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	20	85	105	-	1 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Newton Avenue & CHWC Access Southside (Stop)	EB	-	-	50	50	-	-	3 - A	3 - A	1 - A	-	50	50	-	-	-	50	50
	NB	34	53	-	87	2 - A	0 - A	-	1 - A		-	25	25	25	25	-	-	-
	SB	-	25	-	25	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	6	-	-	6	5 - A	-	-	5 - A	1 - A	-	25	50	25	50	-	25	50
	WB	-	0	36	36	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	9	-	9	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	50	42	1	93	2 - A	0 - A	0 - A	2 - A		-	25	25	25	25	-	25	25
Morgan Avenue & 100th Street (Stop)	EB	-	26	49	75	-	0 - A	0 - A	0 - A	1 - A	-	-	-	-	-	-	-	-
	WB	2	-	5	7	2 - A	-	0 - A	1 - A		-	0	25	0	25	-	0	25
	NB	34	53	-	87	2 - A	1 - A	-	2 - A		-	25	50	25	50	-	25	50
	SB	-	9	1	10	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Old Shakopee Road & Morgan Avenue (Stop)	EB	6	-	65	71	37 - E	-	8 - A	11 - B	3 - A	-	25	75	-	-	-	25	75
	NB	50	1123	-	1173	13 - B	3 - A	-	4 - A		-	50	125	50	125	-	-	-
	SB	-	889	6	895	-	0 - A	0 - A	0 - A		-	-	-	0	25	-	0	25



## MEMORANDUM

**Date:** June 17, 2025  
**To:** Brian Hansen  
**From:** Kelsey E. Larsen, P.E., PTOE  
Bryan T. Nemeth, P.E., PTOE  
**Subject:** Community Health and Wellness Center Traffic and Parking Study (Modified Site Plan)  
City of Bloomington, MN  
Project No.: 25X138461000

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

By: Kelsey Larsen  
Kelsey E. Larsen, P.E., PTOE  
License No. 57829

Date: June 17, 2025

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### Introduction

An addendum to the original traffic and parking study is being completed to analyze the traffic operations and any needed mitigation with a modified site plan for the proposed redevelopment of the existing Creekside Community Center located at 9801 Penn Avenue, City of Bloomington, MN. This memorandum contains updated trip distribution, build condition operations, site layout and circulation review analysis, and recommendations with the modified site plan. For the full analysis please see the "Community Health and Wellness Center Traffic and Parking Study" dated May 23, 2025.

The modified site plan has full access at Penn Ave S and Ivy Lane, a right-out only access at Penn Ave S and Jones Pl, and two full accesses off Newton Ave S. There is limited parking on the west side of the property with only 13 parking stalls proposed. The remaining 310 parking stalls are on the southeast side of the property and are more easily accessible via the accesses off Newton Ave S. However, the modified site plan now shows a connection between the parking lots so vehicles can enter the site from either Penn Ave S or Newton Ave S and get to either parking area. The modified site plan is included in the **Appendix**.

## Build Analysis

### Trip Distribution

With an official parking lot connection proposed, the trip distribution was updated. The existing trips for the Creekside Community Center that utilize the W 98<sup>th</sup> St access were re-routed to use the proposed accesses off Newton Ave S. The existing trips that access the Creekside Community Center via Penn Ave S or Newton Ave S were assumed to remain at the current driveways with accesses proposed along both roadways.

The additional trips with the redevelopment of the community center were distributed to the surrounding roadway network based on existing annual average daily traffic (AADT) information. From the existing AADTs the following trip distribution was assumed for how patrons would enter and exit the proposed Community Health and Wellness Center:

- A combined 53% will enter/exit at the driveways along Newton Ave S using the Newton Ave S/W 98<sup>th</sup> St intersection. This will include vehicles entering/exiting from the following surrounding roadways:
  - James Ave north of 98<sup>th</sup> St (6%)
  - W 98<sup>th</sup> St east of the project area (24%)
  - 75% of the traffic to/from W 98<sup>th</sup> St west of the project area (9.75%)
  - 75% of the traffic to/from Penn Ave S north of W 98<sup>th</sup> St (11.25%)
    - The majority of traffic to/from W 98<sup>th</sup> St west of the project area and Penn Ave S north of W 98<sup>th</sup> St were assumed to access the site via Newton Ave S since the main parking area is directly adjacent to Newton Ave S, however with the parking lot connection some traffic was assumed to use the Penn Ave S accesses.
  - W 100<sup>th</sup> St east of Old Shakopee Rd (2%)
- A combined 47% will enter/exit at the driveways along Penn Ave S. This will include vehicles entering/exiting from the following surrounding roadways:
  - Old Shakopee Road west of the project area (34%)
  - W 102<sup>nd</sup> St west of Penn Ave S (6%)
  - 25% of the traffic to/from W 98<sup>th</sup> St west of the project area (3.75%)
  - 25% of the traffic to/from Penn Ave S north of W 98<sup>th</sup> St (3.25%)

See **Figure 1** for a more detailed breakdown of the trip distribution percentages that the assumptions were based on.

**Figure 1: Trip Distribution**



Google Maps Courtesy

The build peak hour turning movement counts are shown in the **Appendix. Tables 1 and 2** below summarize the new trips added and the rerouted trips with the redevelopment during the peak hours and overall day.

**Table 1. New Trips Added with Redevelopment**

Location	AM Peak		PM Peak		Weekday (Daily)	
	Entering	Exiting	Entering	Exiting	Entering	Exiting
Newton Ave S	66	33	55	66	679	713
Penn Ave S	58	29	49	59	602	632
Total	124	62	104	125	1,281	1,346



**Table 2. Rerouted Trips with Redevelopment**

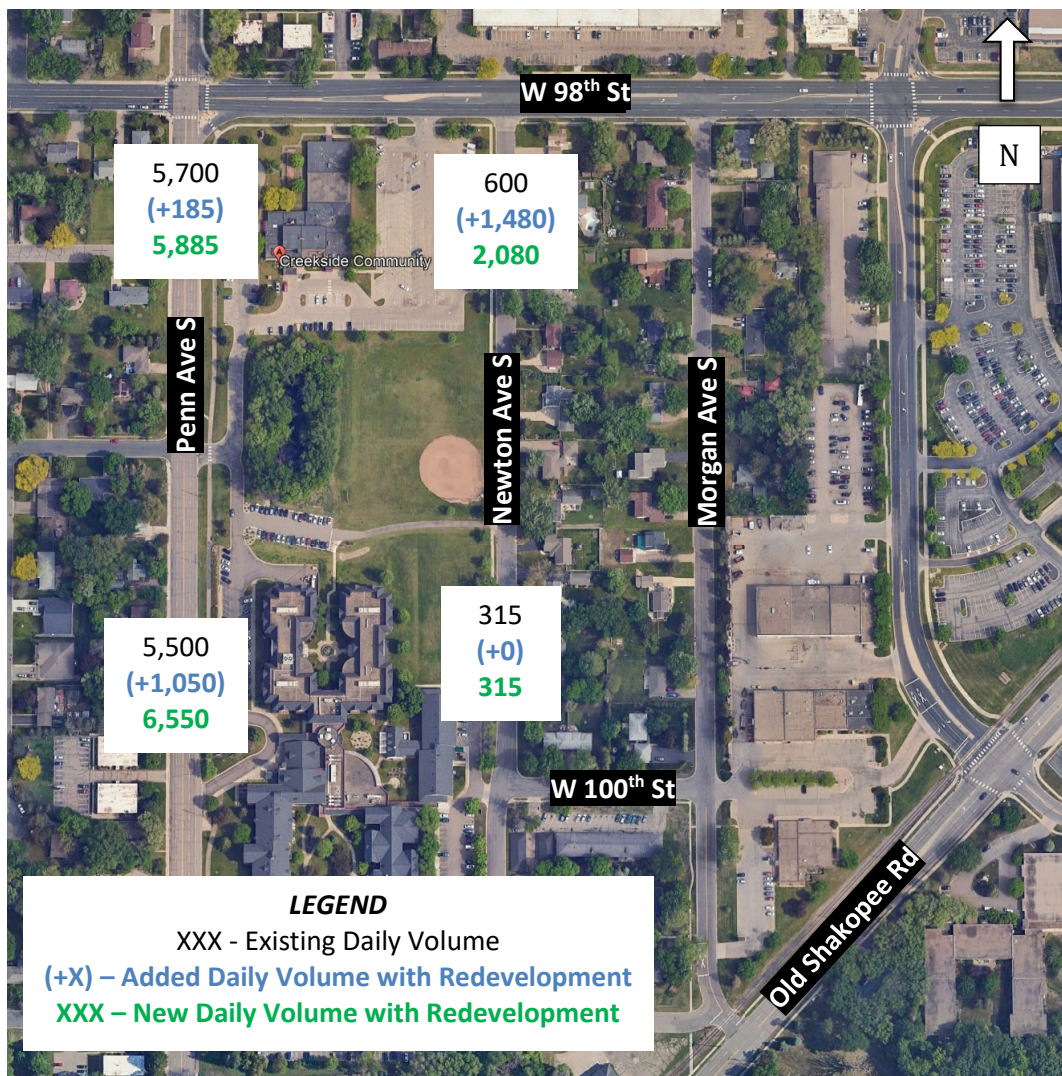
Location	AM Peak		PM Peak		Weekday (Daily)	
	Entering	Exiting	Entering	Exiting	Entering	Exiting
Newton Ave S	2	2	2	2	53	32

**Table 3. Total Trips Added along Newton Ave S with Redevelopment**

Location	AM Peak			PM Peak			Weekday (Daily)		
	Entering	Exiting	Total	Entering	Exiting	Total	Entering	Exiting	Total
Newton Ave S	68	35	103	57	68	125	732	745	1,477

**Figure 2** shows the existing daily volumes along Newton Ave S and Penn Ave S, the daily trips added with the proposed redevelopment, and the total of daily trips anticipated under the build condition.

**Figure 2: Existing and Projected Trips along Newton Ave S and Penn Ave S**





### **City Code Analysis**

The Bloomington City Code 21.302.06(b)(7)(A) states that “The establishment of a new institutional use or the expansion of an existing institutional use that creates traffic levels above the following thresholds as documented by a traffic study prepared by a qualified, independent traffic engineering professional under the supervision of the city is prohibited unless the City Council finds that the negative impacts, reasonably attributable to the proposed institutional use, on surrounding residential uses can be sufficiently mitigated to levels consistent with residential livability and pedestrian and motorist safety:

- (i) Adds 300 or more trips per day to a local residential street at least once per week on a regular basis;
- (ii) Adds 100 or more new trips per day on a local residential street, such that the total trips on that local residential street add up to a total of over 1,000 trips per day at least once per week on a regular basis; or
- (iii) The proposed use or expansion is expected to produce 100 or more trips per hour on a local residential street during the peak hour of trip generation for the proposed site, at least once per week on a regular basis.”

These thresholds are analyzed below.

#### *Threshold i and ii:*

**Figure 3** shows an increase of 1,480 trips per day along Newton Ave S with the proposed redevelopment. Since the development adds more than 300 trips and the total daily volume along the residential roadways increases to over 1,000 daily vehicles, thresholds i and ii are exceeded.

#### *Threshold iii:*

The total number of trips entering and exiting that will be new or rerouted trips added to Newton Ave S as shown in **Table 3** sum to over 100 trips per hour, exceeding the threshold iii criteria.

Since the traffic levels were found to be above all three thresholds, mitigation measures need to be considered. This is further discussed in the recommendations section of the report.

### **Build Operational Analysis**

The build condition operational analysis was analyzed with the modified site layout and updated trip distribution. The peak hour build operations are shown in **Table 4**.

**Table 4. Build Traffic Operational Analysis**

		AM Peak Hour					PM Peak Hour				
		Traffic Delay (sec/veh)					Traffic Delay (sec/veh)				
		Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)
L	T	R	L	T			R				
Penn Avenue & 98th Street (Signalized, Hennepin County)	EB	34 - C	33 - C	18 - B	33 - C	25 - C	32 - C	31 - C	20 - C	31 - C	29 - C
	WB	32 - C	29 - C	3 - A	25 - C		38 - D	37 - D	2 - A	31 - C	
	NB	19 - B	21 - C	6 - A	20 - C		27 - C	22 - C	7 - A	20 - C	
	SB	29 - C	21 - C	8 - A	21 - C		39 - D	30 - C	15 - B	29 - C	
Penn Avenue & Jones Pl (Stop)	EB	6 - A	-	-	6 - A	1 - A	9 - A	-	3 - A	8 - A	2 - A
	WB	-	-	4 - A	4 - A		-	-	4 - A	4 - A	
	NB	-	0 - A	-	0 - A		-	1 - A	-	1 - A	
	SB	-	2 - A	1 - A	2 - A		-	2 - A	1 - A	2 - A	
Penn Avenue & Ivy Lane (Stop)	EB	3 - A	-	3 - A	3 - A	2 - A	7 - A	-	4 - A	5 - A	2 - A
	WB	6 - A	-	2 - A	6 - A		6 - A	-	4 - A	6 - A	
	NB	-	2 - A	2 - A	2 - A		5 - A	1 - A	2 - A	2 - A	
	SB	3 - A	0 - A	0 - A	1 - A		2 - A	0 - A	0 - A	1 - A	
Old Shakopee Road & Penn Avenue (Signalized, Hennepin County)	EB	50 - D	4 - A	1 - A	16 - B	15 - B	52 - D	6 - A	4 - A	13 - B	14 - B
	WB	66 - E	11 - B	8 - A	11 - B		49 - D	15 - B	11 - B	15 - B	
	NB	59 - E	-	5 - A	23 - C		41 - D	59 - E	9 - A	37 - D	
	SB	50 - D	62 - E	6 - A	29 - C		44 - D	4 - A	13 - B	20 - C	
Newton Avenue & 98th Street (Stop)	EB	-	3 - A	3 - A	3 - A	2 - A	7 - A	4 - A	3 - A	5 - A	3 - A
	WB	4 - A	1 - A	0 - A	2 - A		7 - A	0 - A	0 - A	1 - A	
	NB	18 - C	0 - A	5 - A	9 - A		17 - C	0 - A	9 - A	12 - B	
Newton Avenue & CHWC Access Northside (Stop)	EB	4 - A	-	-	4 - A	1 - A	4 - A	-	3 - A	4 - A	1 - A
	NB	2 - A	0 - A	-	1 - A		-	0 - A	-	0 - A	
	SB	-	1 - A	0 - A	1 - A		-	1 - A	0 - A	1 - A	
Newton Avenue & CHWC Access Southside (Stop)	EB	4 - A	-	-	4 - A	2 - A	4 - A	-	-	4 - A	2 - A
	NB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	SB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	
Newton Avenue & 100th Street (Stop)	EB	-	-	2 - A	2 - A	0 - A	4 - A	-	-	4 - A	1 - A
	WB	-	-	0 - A	0 - A		-	-	0 - A	0 - A	
	NB	-	0 - A	-	0 - A		-	0 - A	-	0 - A	
	SB	1 - A	0 - A	0 - A	1 - A		2 - A	0 - A	0 - A	1 - A	
Morgan Avenue & 100th Street (Stop)	EB	1 - A	0 - A	0 - A	1 - A	1 - A	-	0 - A	-	0 - A	0 - A
	WB	2 - A	0 - A	-	1 - A		2 - A	-	0 - A	1 - A	
	NB	-	0 - A	0 - A	0 - A		-	0 - A	-	0 - A	
	SB	2 - A	0 - A	0 - A	1 - A		-	0 - A	0 - A	0 - A	
Old Shakopee Road & Morgan Avenue (Stop)	SB	21 - C	-	3 - A	10 - B	1 - A	30 - D	-	5 - A	11 - B	2 - A
	EB	9 - A	2 - A	-	3 - A		13 - B	2 - A	-	3 - A	
	WB	-	0 - A	0 - A	0 - A		-	0 - A	0 - A	0 - A	

**Build Delay:**

- Traffic operations remain similar to the existing condition with the additional traffic and access changes proposed. All movements continue to operate with LOS E or better.
- During the AM peak hour, the northbound left delay increases by 23 seconds at the intersection of Old Shakopee Rd and Penn Ave S. However, this is a minor volume movement with only 2 vehicles during the AM peak hour, and no volume added due to the proposed redevelopment. Therefore, this change in delay can be attributed to the randomness of when vehicles arrive along this approach in the traffic model, not a result of the proposed redevelopment.
- All other movement delays remain similar to the existing condition with delay anticipated to increase by at most eight seconds during both peak hours.

Full operations tables which show average and maximum vehicle queuing are shown in the **Appendix**. The build peak hour queue results are similar to the existing condition with no excessive queuing

observed. All maximum queues at the signalized intersection are 350 feet or less and all maximum queues at the stop-controlled intersections are 100 feet or less.

## Site Layout and Circulation Review Analysis

### Parking:

- City Code requires 467 parking spaces to be provided for the Community Health and Wellness Center.
- The applicant is proposing to provide 323 parking spaces, which is a deviation of 30% from the code required parking supply.
- The parking demand based on similar sites and ITE Parking Generation shows a peak parking demand of 239 parking spaces. This analysis is in the “Community Health and Wellness Center Traffic and Parking Study” dated May 23, 2025. The 323 proposed parking spaces are expected to satisfy the peak parking demand for both weekday and weekend traffic. It is anticipated that the additional parking will assist with parking needs during special events.

### Pedestrians:

- The proposed site plan shows pedestrian accommodations surrounding the building and connecting to the existing bus stop along W 98<sup>th</sup> St.
- ADA accessible pedestrian ramps and truncated domes are recommended where the parking lot ties into the proposed sidewalk.
- A marked crosswalk is recommended in the parking lot through the drop off area, northernmost parking lot area, and the main drive aisle in line with the northernmost access off Newton Ave S similar to what was shown on the previous site plan to create a clear pedestrian route from the parking lot to the main entrance of the building.

### Internal Circulation:

- The parking lot layout and access locations create streamlined access and circulation throughout the site. The parking lot connection for emergency vehicles on the southwest side of the proposed parking lot which connects the parking lot to the existing parking lot for Presbyterian Homes is unlikely to be used as a cut through route for traffic destined for or coming from Penn Ave S with the official parking lot connection, however, the following changes are recommended to further limit usage of this connection.
  - Narrow the width of the connection to 10 ft
  - Install design “S” curb along the edge of the connection
  - Install truncated domes to further enhance the trail like appearance of the connection
- Under the existing condition there are stop signs at the current Creekside Community Center accesses, the Presbyterian Homes accesses, and along Jones Pl and Ivy Ln at Penn Ave S. Therefore, for consistency throughout the project area stop signs are recommended at the following locations with the proposed redevelopment:
  - At the proposed accesses along Newton Ave S
  - At the proposed right-out access at Penn Ave S and Jones Pl

- Along the parking lot connection for westbound traffic at the west end of the connecting roadway and for southbound traffic at the east end of the connecting roadway

## Conclusion

### Trip Distribution

- With the modified site plan, traffic from Old Shakopee Rd and W 102<sup>nd</sup> St west of Penn Ave S are anticipated to access the site via the accesses off Penn Ave S along with 25% of the traffic from Penn Ave S north of W 98<sup>th</sup> St and W 98<sup>th</sup> St west of Penn Ave S. This resulted in a total of 47% of traffic to and from the Community Health and Wellness Center using the accesses off Penn Ave S while 53% of traffic is assumed to utilize the accesses off Newton Ave S.
- The increase in traffic to Newton Ave S from the redevelopment is anticipated to exceed the thresholds outlined by City Code 21.302.06(b)(7)(A) so mitigation measures are recommended to address livability concerns by providing traffic calming.

### Build Traffic Operations

- Traffic delay and queuing remains similar to the existing condition with the additional traffic and access changes proposed. This indicates that the additional traffic added with the proposed redevelopment is not anticipated to have a negative impact on the surrounding roadway network, therefore, no mitigation is needed to keep operations acceptable.

### Parking Demand

- The parking demand based on similar sites and ITE Parking Generation shows a peak parking demand of 239 parking spaces, therefore the 323 proposed parking spaces are expected to satisfy the peak parking demand for both weekday and weekend traffic. It is anticipated that the additional parking will assist with parking needs during special events.

## Recommendations

The following recommendations are proposed in conjunction with the Community Health and Wellness Center redevelopment:

### ***Geometric Modifications:***

- Modify the emergency vehicle connection between the existing and proposed parking lots with the following changes made:
  - Construct the connection as a trail, narrowing the width to 10 ft, with design “S” curb along the edge of the connection. Add truncated domes on either side of the connection to further enhance the trail like appearance of the connection.
- Install curb bump outs along Newton Ave S at both proposed access points to the proposed Community Health and Wellness Center to calm traffic as a mitigation measure to address livability concerns with the increased volume the proposed development is anticipated to generate.

***Traffic Control/Signage Changes:***

- Install stop signs at the proposed accesses along Newton Ave S
- Install a stop sign at the proposed right-out access at Penn Ave S and Jones Pl
- Install stop signs for traffic along the parking lot connection for westbound traffic at the west end of the connecting roadway and for southbound traffic at the east end of the connecting roadway

***Parking:***

- Although the proposed 323 parking stalls are anticipated to provide sufficient parking for the proposed site it is recommended that the no parking restrictions on the west side of Newton Ave S be removed to accommodate more parking for large events at the proposed Community Health and Wellness Center to avoid people parking along Newton Ave S illegally or parking on other nearby roadways. Parking should be restricted to only certain hours when the Community Health and Wellness Center is open.
- Allowing parking along Newton Ave S is also recommended as a mitigation measure to address livability concerns by providing traffic calming.

***Pedestrian Accommodations:***

- Add ADA accessible pedestrian ramps and truncated domes at all pedestrian connections to and within the parking lot.
- Add a marked crosswalk in the parking lot through the drop off area, northernmost parking lot area, and the main drive aisle in line with the northernmost access off Newton Ave S similar to what was shown on the previous site plan to create a clear pedestrian route from the parking lot to the main entrance of the building.

# Appendix



CIVIL ENGINEER

FIRM NAME  
ADDRESS LINE 1  
ADDRESS LINE 2  
TELEPHONE

LANDSCAPE ARCHITECT

FIRM NAME  
ADDRESS LINE 1  
ADDRESS LINE 2  
TELEPHONE

## STRUCTURAL ENGINEER

FIRM NAME  
ADDRESS LINE 1  
ADDRESS LINE 2  
TELEPHONE

MECHANICAL/ELECTRICAL/  
PLUMBING ENGINEER

FIRM NAME  
ADDRESS LINE 1  
ADDRESS LINE 2  
TELEPHONE



9801 PENN AVE S,  
BLOOMINGTON, MN  
55431

NOT FOR  
CONSTRUCTION

[illegible]

ISSUANCE HISTORY - THIS SHEET

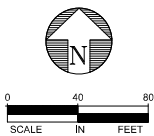
HGA NO: 2064-008-00

## OVERALL SITE PLAN

DATE: MAY 22, 2025

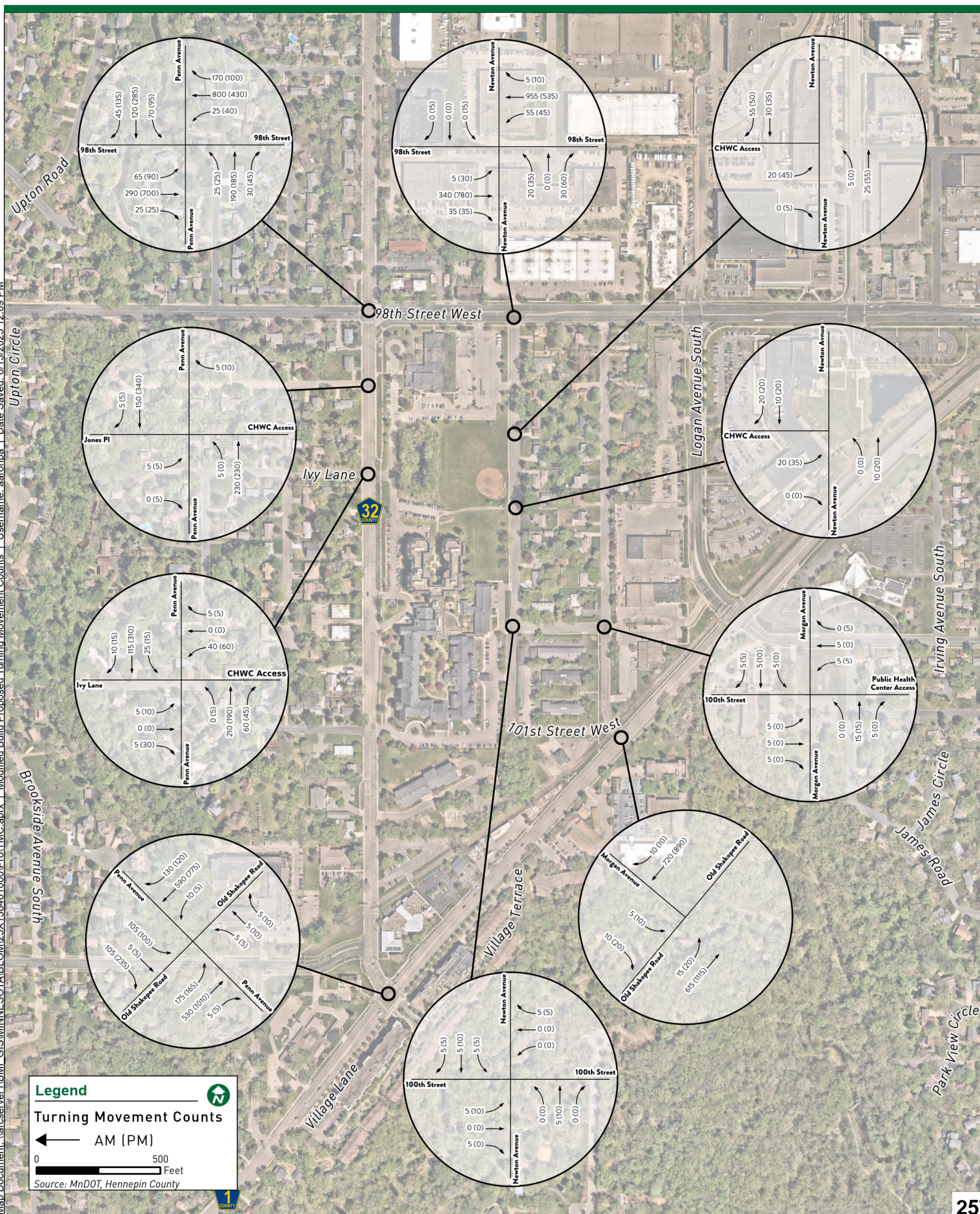
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C002



**NOTES:**  
1. SEE SHEET C001 FOR CIVIL NOTES AND LEGEND.







		AM Peak Hour - Build Condition																
		Traffic Volumes (veh)				Traffic Delay (sec/veh)				Traffic Queuing (feet)								
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized, Hennepin County)	EB	65	287	23	375	34 - C	33 - C	18 - B	33 - C	25 - C	-	150	250	150	250	-	100	200
	WB	21	796	166	983	32 - C	29 - C	3 - A	25 - C		-	200	300	200	300	220	0	25
	NB	24	188	29	241	19 - B	21 - C	6 - A	20 - C		-	75	150	75	150	-	75	150
	SB	66	117	45	228	29 - C	21 - C	8 - A	21 - C		-	75	150	75	150	-	50	125
Penn Avenue & Jones Pl (Stop)	EB	5	-	-	5	6 - A	-	-	6 - A	1 - A	-	25	50	25	50	-	25	50
	WB	-	-	4	4	-	-	4 - A	4 - A		-	25	50	25	50	-	25	50
	NB	1	230	-	231	-	0 - A	-	0 - A		-	0	25	0	25	-	-	-
	SB	-	160	2	162	-	2 - A	1 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	2	-	4	6	3 - A	-	3 - A	3 - A	2 - A	-	25	50	25	50	-	25	50
	WB	38	-	1	39	6 - A	-	2 - A	6 - A		-	25	75	25	75	-	25	75
	NB	-	245	56	301	-	2 - A	2 - A	2 - A		-	0	25	0	25	-	-	-
	SB	25	113	9	147	3 - A	0 - A	0 - A	1 - A		-	25	75	25	75	-	0	25
Old Shakopee Road & Penn Avenue (Signalized, Hennepin County)	EB	172	527	1	700	50 - D	4 - A	1 - A	16 - B	15 - B	175	125	225	75	225	-	50	125
	WB	7	590	127	724	66 - E	11 - B	8 - A	11 - B		115	25	75	125	250	-	125	250
	NB	2	1	2	5	59 - E	-	5 - A	23 - C		-	25	50	25	50	-	25	50
	SB	105	1	103	209	50 - D	62 - E	6 - A	29 - C		-	100	200	50	125	-	50	125
Newton Avenue & 98th Street (Stop)	EB	1	356	31	388	-	3 - A	3 - A	3 - A	2 - A	120	0	25	-	-	-	-	-
	WB	54	954	1	1009	4 - A	1 - A	0 - A	2 - A		50	25	75	-	-	-	-	-
	NB	16	5	27	48	18 - C	0 - A	5 - A	9 - A		-	50	100	50	100	-	50	100
	SB	-	-	-	0	-	-	-	-		-	-	-	-	-	-	-	-
Newton Avenue & CHWC Access Northside (Stop)	EB	19	-	-	19	4 - A	-	-	4 - A	1 - A	-	25	50	-	-	-	25	50
	NB	3	26	-	29	2 - A	0 - A	-	1 - A		-	0	25	0	25	-	-	-
	SB	-	38	55	93	-	1 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Newton Avenue & CHWC Access Southside (Stop)	EB	18	-	-	18	4 - A	-	-	4 - A	2 - A	-	25	50	-	-	-	25	50
	NB	-	12	-	12	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	11	20	31	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	1	-	1	2	-	-	2 - A	2 - A	0 - A	-	25	25	25	25	-	25	25
	WB	-	-	3	3	-	-	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	2	-	2	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	2	8	2	12	1 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Morgan Avenue & 100th Street (Stop)	EB	2	1	2	5	1 - A	0 - A	0 - A	1 - A	1 - A	-	-	-	-	-	-	-	-
	WB	2	1	-	3	2 - A	0 - A	-	1 - A		-	-	-	-	-	-	-	-
	NB	-	23	1	24	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
	SB	5	3	1	9	2 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Old Shakopee Road & Morgan Avenue (Stop)	SB	2	-	7	9	21 - C	-	3 - A	10 - B	1 - A	-	25	50	-	-	-	25	50
	EB	15	619	-	634	9 - A	2 - A	-	3 - A		-	25	75	25	75	-	-	-
	WB	-	717	9	726	-	0 - A	0 - A	0 - A		-	-	-	25	25	-	25	25

		PM Peak Hour - Build Condition																
		Traffic Volumes (veh)				Traffic Delay (sec/veh)				Traffic Queuing (feet)								
Intersection	Approach	Demand Volumes				Movement (Delay - LOS)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Left Turn			Through		Right Turn		
		L	T	R	Total	L	T	R			Storage	Avg	Max	Avg	Max	Storage	Avg	Max
Penn Avenue & 98th Street (Signalized, Hennepin County)	EB	86	698	24	808	32 - C	31 - C	20 - C	31 - C	29 - C	-	225	350	225	350	-	200	325
	WB	38	448	98	584	38 - D	37 - D	2 - A	31 - C		-	150	275	150	275	220	0	25
	NB	24	188	41	253	27 - C	22 - C	7 - A	20 - C		-	75	150	75	150	-	75	125
	SB	92	283	131	506	39 - D	30 - C	15 - B	29 - C		-	150	250	150	250	-	125	225
Penn Avenue & Jones Pl (Stop)	EB	5	-	1	6	9 - A	-	3 - A	8 - A	2 - A	-	25	50	25	50	-	25	50
	WB	-	-	9	9	-	-	4 - A	4 - A		-	25	50	25	50	-	25	50
	NB	-	232	-	232	-	1 - A	-	1 - A		-	-	-	-	-	-	-	-
	SB	-	342	4	346	-	2 - A	1 - A	2 - A		-	-	-	-	-	-	-	-
Penn Avenue & Ivy Lane (Stop)	EB	8	-	29	37	7 - A	-	4 - A	5 - A	2 - A	-	25	50	25	50	-	25	50
	WB	58	-	2	60	6 - A	-	4 - A	6 - A		-	50	75	50	75	-	50	75
	NB	3	240	45	288	5 - A	1 - A	2 - A	2 - A		-	25	50	25	50	-	-	-
	SB	13	315	14	342	2 - A	0 - A	0 - A	1 - A		-	25	50	25	50	-	-	-
Old Shakopee Road & Penn Avenue (Signalized, Hennepin County)	EB	162	1009	1	1172	52 - D	6 - A	4 - A	13 - B	14 - B	175	125	225	125	225	-	100	225
	WB	5	800	118	923	49 - D	15 - B	11 - B	15 - B		115	25	50	150	300	-	150	300
	NB	5	6	7	18	41 - D	59 - E	9 - A	37 - D		-	25	50	25	50	-	25	50
	SB	100	73	233	406	44 - D	4 - A	13 - B	20 - C		-	75	175	100	200	-	100	200
Newton Avenue & 98th Street (Stop)	EB	27	779	33	839	7 - A	4 - A	3 - A	5 - A	3 - A	120	25	50	25	25	-	25	25
	WB	45	535	7	587	7 - A	0 - A	0 - A	1 - A		50	25	75	-	-	-	-	-
	NB	35	2	60	97	17 - C	0 - A	9 - A	12 - B		-	50	100	50	100	-	50	100
	SB	11	-	11	22	26 - D	-	5 - A	17 - C		-	50	100	50	100	-	50	100
Newton Avenue & Creekside Community Center Access (Stop)	EB	42	-	1	43	4 - A	-	3 - A	4 - A	1 - A	-	25	75	-	-	-	25	75
	NB	-	58	-	58	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	35	48	83	-	1 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Creekside Community Center Access & 98th Street (Stop)	EB	35	-	-	35	4 - A	-	-	4 - A	2 - A	-	25	50	-	-	-	25	50
	NB	-	22	-	22	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	26	17	43	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Newton Avenue & 100th Street (Stop)	EB	6	-	-	6	4 - A	-	-	4 - A	1 - A	-	25	50	25	50	-	25	50
	WB	-	0	2	2	-	-	0 - A	0 - A		-	-	-	-	-	-	-	-
	NB	-	9	-	9	-	0 - A	-	0 - A		-	0	25	0	25	-	0	25
	SB	1	18	1	20	2 - A	0 - A	0 - A	1 - A		-	-	-	-	-	-	-	-
Morgan Avenue & 100th Street (Stop)	EB	-	1	-	1	-	0 - A	-	0 - A	0 - A	-	-	-	-	-	-	-	-
	WB	2	-	5	7	2 - A	-	0 - A	1 - A		-	-	-	-	-	-	-	-
	NB	-	22	-	22	-	0 - A	-	0 - A		-	-	-	-	-	-	-	-
	SB	-	9	1	10	-	0 - A	0 - A	0 - A		-	-	-	-	-	-	-	-
Old Shakopee Road & Morgan Avenue (Stop)	SB	6	-	16	22	30 - D	-	5 - A	11 - B	2 - A	-	25	50	-	-	-	25	50
	EB	16	1123	-	1139	13 - B	2 - A	-	3 - A		-	25	100	25	100	-	-	-
	WB	-	889	6	895	-	0 - A	0 - A	0 - A		-	-	-	0	25	-	0	25

# Results Report

## Bloomington Community Health and Wellness Center Bloomington, MN

## ENERGY DESIGN ASSISTANCE



June 4, 2025  
20250082

### **Xcel Energy**

414 Nicollet Mall, 6th Floor | Minneapolis, MN 55401  
[xcelenergy.com/BusinessNewConstruction](https://www.xcelenergy.com/BusinessNewConstruction)

and

### **CenterPoint Energy**

505 Nicollet Mall, 4th Floor | Minneapolis, MN 55402  
[CenterPointEnergy.com](https://www.CenterPointEnergy.com)

Prepared by



[www.willdan.com](https://www.willdan.com)

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## Process Overview

The program process follows a clear methodology of information gathering, collaboration, and analysis in an integrated setting of formal meetings. The project team will work together to understand how the building will use energy and where cost-effective savings can be realized through design.



### Enrollment

- Complete the screening form online
- Connect with the appropriate rebate or incentive program



### Analysis

- Conference call and email(s) with an energy consultant
- Review scope of work and goals
- Confirm use and size of building
- Determine mechanical system options
- Create list of strategies
- Energy analysis based on building characteristics
- Implementation costs, payback periods, rebate estimates



### Results

- **Review baseline and strategies**
- **Review and develop bundles**
- **Complex strategies may be eligible for additional analysis**
- **Project team selects a bundle**



### Verification

- Receive a Bundle Requirements Document that provides a guideline to reach your goal and projected rebate
- On-site verification of strategies
- Energy consultant issues report



### Incentives

- Xcel Energy and CenterPoint Energy issues incentives for the strategies implemented in your project based on findings of the verification report



## Energy Design Assistance Incentives

### Incentives to Owner

A one-time incentive payment occurs following project completion, occupancy, and verification of strategies.

- Energy Design Assistance incentives are based on how much energy is saved, based on the model:
  - \$500 per peak coincident demand (PCKW) saved compared to the baseline
    - Project must save at least 5% of peak demand to qualify for the kW incentive
  - \$0.04 per annual electricity (kWh) saved compared to the baseline
    - Project must save at least 5% of annual electricity consumption to qualify for the kWh incentive
  - \$5.00 per dekatherm gas saved for projects in CenterPoint Energy's gas territory
    - Project must save at least 5% of the annual gas consumption to qualify for the dekatherm incentive

## Incentive to Design Team

The Energy Design Assistance program also provides an incentive to the design team for the following activities:

- Participation at formal meetings
- Transfer of building architectural/engineering design information to Willdan
- Development of applicable energy conservation strategies' incremental costs (incremental as compared to a baseline building)
- Completion and forward of Construction Documents to Willdan

Please note that the incentive is not intended to cover actual system(s) design or re-design associated with energy conservation strategies.

The design team incentive is a maximum dollar amount based on project square footage as determined below. A one-time, lump sum payment to the design team lead will be made by Xcel Energy. To receive this incentive, the design team lead must complete the Design Team Incentive Request application and submit it along with an aggregate invoice for the design team's time. Contact the Xcel Energy account manager for a copy of the application.

**Submission deadline:** This Design Incentive Application must be submitted after the Bundle Requirements Document has been issued, but prior to the completion of the construction project.

Two checks, valued at up to the amount listed below, will be issued for projects involving both Xcel Energy and CenterPoint Energy.

Building Size (sf)	Design Team Incentive
< 49,999	\$4,000
50,000 – 99,999	\$8,000
<b>100,000 – 399,999</b>	<b>\$10,000</b>
> 400,000	\$12,000

## Continuing Education Credits for Participants

This Energy Analysis and Design Workshop may be self-reported for 2 general continuing education (CE) hours towards your professional credentials to the appropriate professional organization, pending any particular self-reporting requirements.

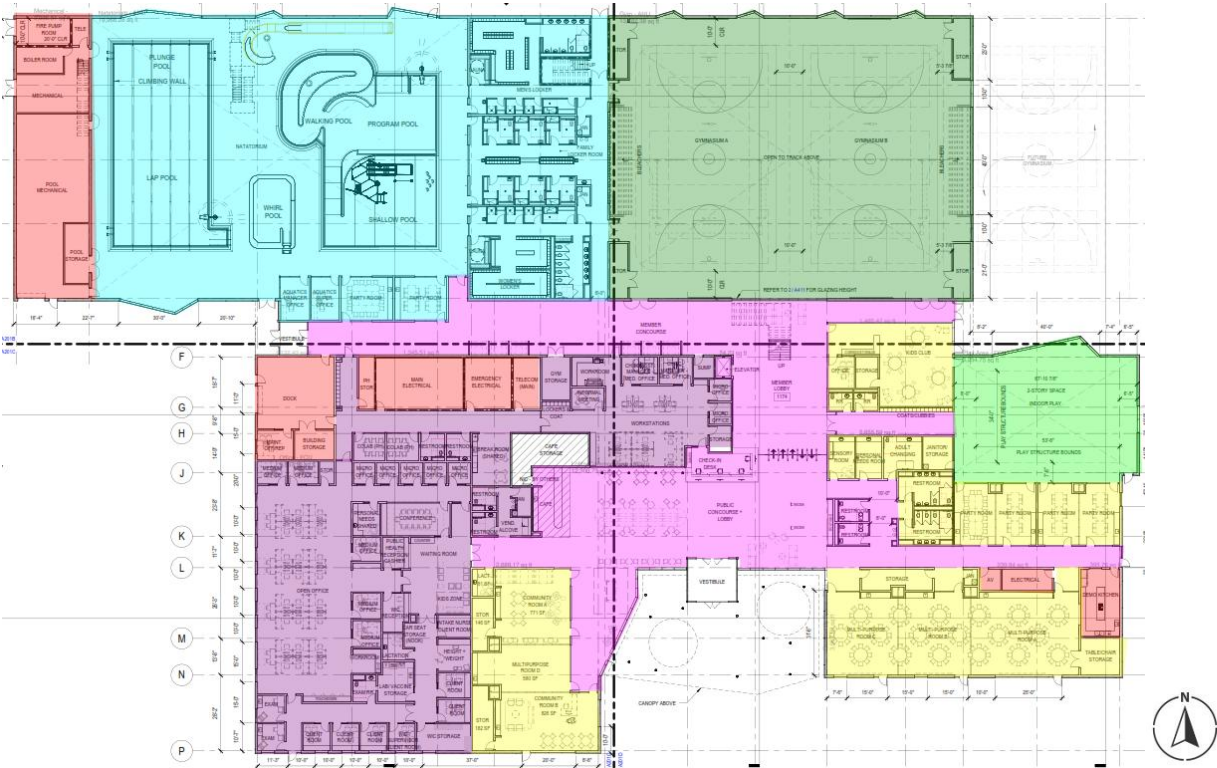
In order to qualify, individuals must participate in the Final Results Meeting. If interested in receiving the course completion certificate, please contact Ken Weber and Willdan will track meeting attendance.



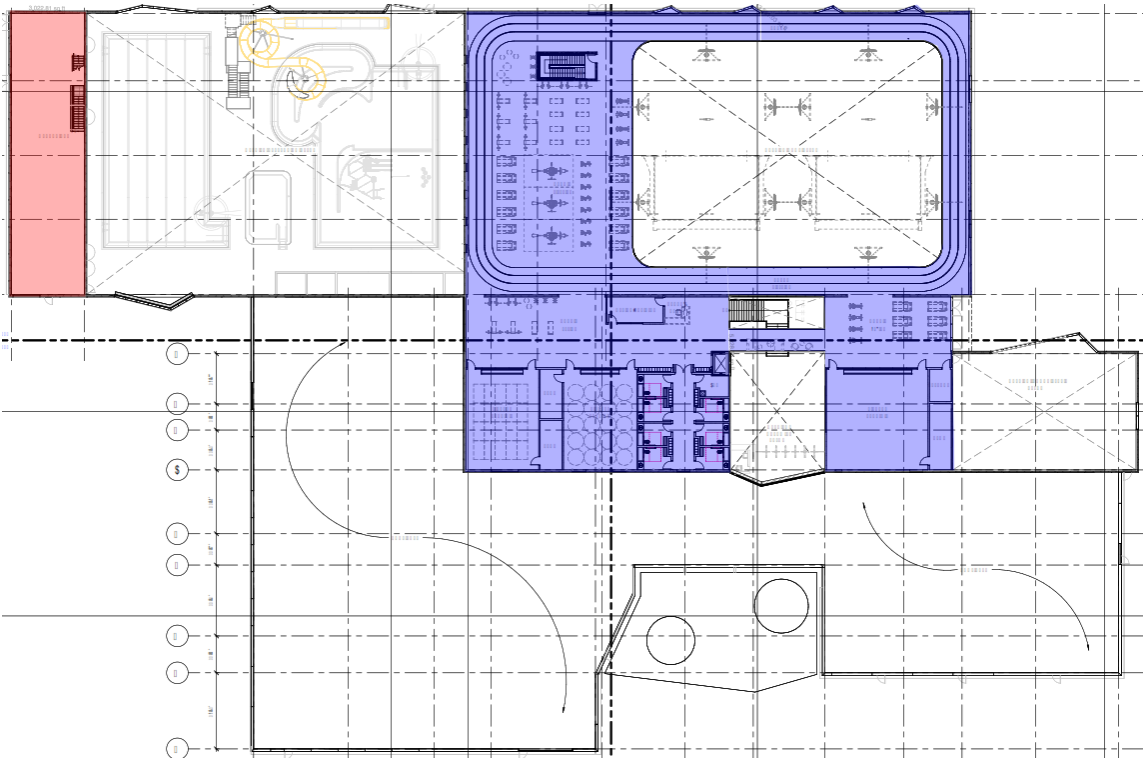
## Building Summary

Building Summary		
Location	Bloomington, MN	
Narrative	Recreation Center new construction	
Space Asset Areas	Area	Number of Stories
Natatorium	19,970 ft²	1
Fitness	19,970 ft²	1
Gymnasium	13,780 ft²	1
Office	12,830 ft²	1
Mechanical/Utility	8,770 ft²	2
Lobby/Common	13,330 ft²	1
Play area	3,250 ft²	1
Multipurpose rooms	10,500 ft²	1
Total	102,400 ft²	2
Exterior lighting	≈146,790 sf of exterior parking	
Systems Summary		
Envelope	Wall assembly – R-value: R-18 Roof assembly – R-value: R-35	
Glazing	Some curtain wall, and some storefront – code minimum	
Lighting	LED, applicable controls including daylight harvesting	
Plug/Process	Typical for space, training kitchen	
Service Water Heating	Gas for major areas, electric at point of use	
Elevator	1, MRL, traction	
Hours of Operation	M-F – 5a to 10p Sat and Sun – 8a – 8p	
HVAC Scenario A: Ground Coupled	<b>Natatorium, Fitness and Gymnasium:</b> Ground coupled water to water heat pumps with VAV distribution <b>Office, Lobby/Commons, Multipurpose and Play area:</b> Ground coupled water to water heat pumps serving fan coil units, ventilation air provided by DOAS unit with ground coupled heat pumps <b>Mechanical/Utility:</b> single zone air handler with electric coil	
Utilities		
Electric Utility	Xcel Energy	
Gas Utility	CenterPoint Energy	
Schedule		
Construction Documents Complete	03/31/2026	
Construction Start	04/01/2026	
Occupancy	04/01/2027	
Baseline Reference	ASHRAE 90.1-2019, Energy Cost Budget Method	
Other Notes		

# Building Plans



Level 1



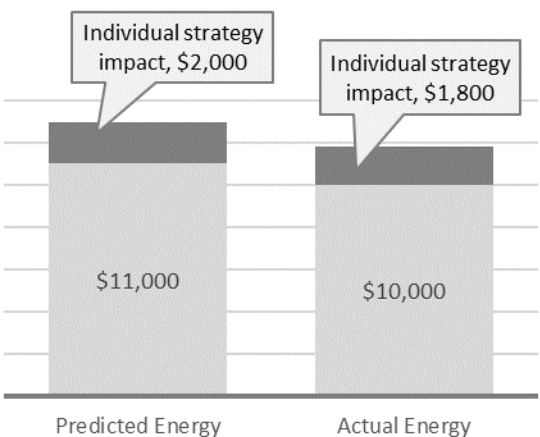
Level 2

# Key Terms and Concepts

## Comparative Analysis

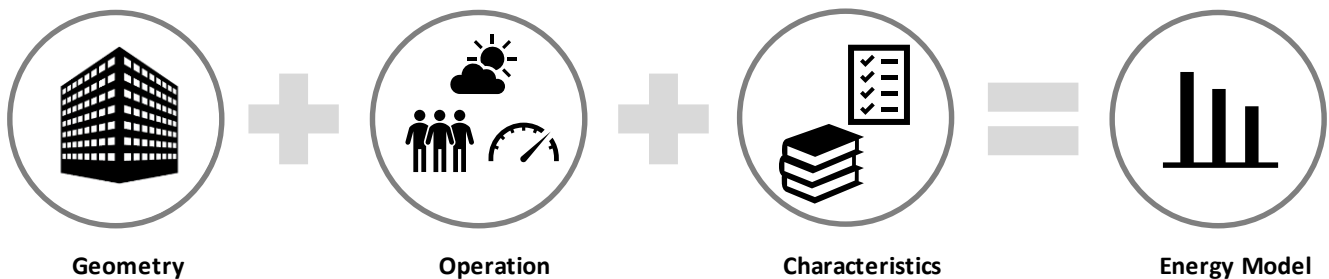
The building model provides insight into overall energy consumption; however, it is primarily designed to forecast savings. Like an MPG rating on a car, a comparative analysis can provide information on which options provide the most relative energy savings, but the actual operation and weather will have significant impacts on the overall energy consumption.

The predicted energy use of a building will be different than the actual energy use, due to assumptions and unknown characteristics. But the magnitude of an individual strategy impact will be similar in both cases and can be used to identify strategies with the greatest impact.



## Energy Model

The energy model, using the simulation engine of DOE2, is used for comparative analysis of the building envelope, lighting, mechanical, and control options.

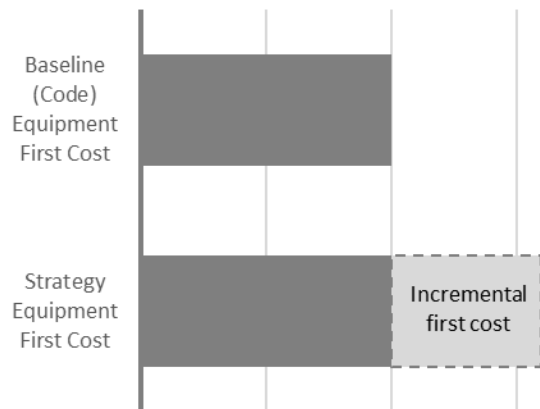


**Baseline Energy Model:** Used to establish a starting point for comparison. The **Geometry** is customized to the current project location, layout, use and size, and system. The **Operation** of weather, utility rates, plug loads, and expected occupancy are set based on the location, building type, and feedback from the project team. The **Characteristics** are defined by the program protocol (informed in large part by ASHRAE Standard 90.1) which prescribes minimum criteria values for envelope R-value, lighting power densities, HVAC equipment efficiencies and more.

**Strategy Energy Model:** Begins to incorporate aspects of the proposed design into the **Characteristics** portion of the energy model. The **Geometry** and **Operation** parts remain the same, but changes are made to the characteristics to see what the energy impacts are of improving things like the R-value in the wall or roof, reducing the lighting power in a particular space, or adding an airside total heat recovery system. The energy use of the Strategy Energy Model is subtracted from the energy use of the Baseline Energy Model to determine the amount of savings the strategy generates.



# Incremental Costs



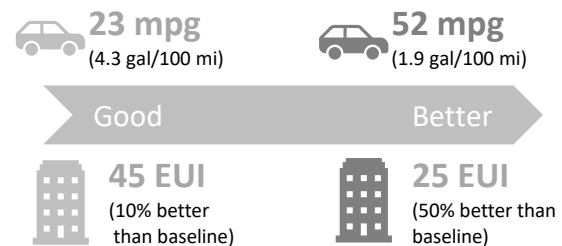
Incremental costs are intended to capture the additional cost, beyond the baseline case, that the project incurs by implementing the strategy. For example, an air-cooled chiller operating at Baseline conditions may cost \$100,000, while a more energy efficient air-cooled chiller costs \$160,000. \$60,000 would be the incremental cost associated with the improved air-cooled chiller.

As a part of this assistance Willdan provides default incremental costs based on a variety of industry sources.

# Energy Use Intensity (EUI)

EUI refers to Energy Use Intensity and is often measured in BTU per square foot per year. Since EUI is normalized both on size and timeframe, it provides the team with a good comparison between projects and their baseline. A lower value of EUI is a lower energy usage and better performance.

$$EUI = \frac{\text{Electrical Energy} + \text{Gas Energy}}{\text{Building Area}} = \frac{\text{Annual kWh} \times 3.412 + \text{Annual therms} \times 100}{\text{Total gross square feet}} \text{ kBTu/sf/yr}$$



A more efficient option will use less energy under similar operation.

# Energy Conservation Bundles

Alternatives developed by the project team to maximize project goals which may include energy performance, simple payback, or long-term functionality.

Bundles are often configured and labeled in one of these ways:

	Bundle 1	Bundle 2	Bundle 3
opt 1:	Design	Design +	Max
opt 2:	VE	Design	Design +
opt 3:	Design	+Lighting alternate	+Envelope alternates +Lighting alternates
opt 4:	Design	+Alternate 1	+Alternate 2



This analysis should not be construed as correcting or overriding previous decisions or recommendations of the project team. The assistance is analytical in nature, using tools and methods not normally part of the customary design contract. The project team remains responsible for the implementation of strategies and final engineering of systems as well as for determining costs of various strategies.



## Energy Analysis – Baseline and HVAC Scenarios

The table below summarizes the baseline and proposed HVAC system configurations for the building spaces. It compares the baseline scenario with the proposed, detailing the primary heating and cooling systems used in each space.

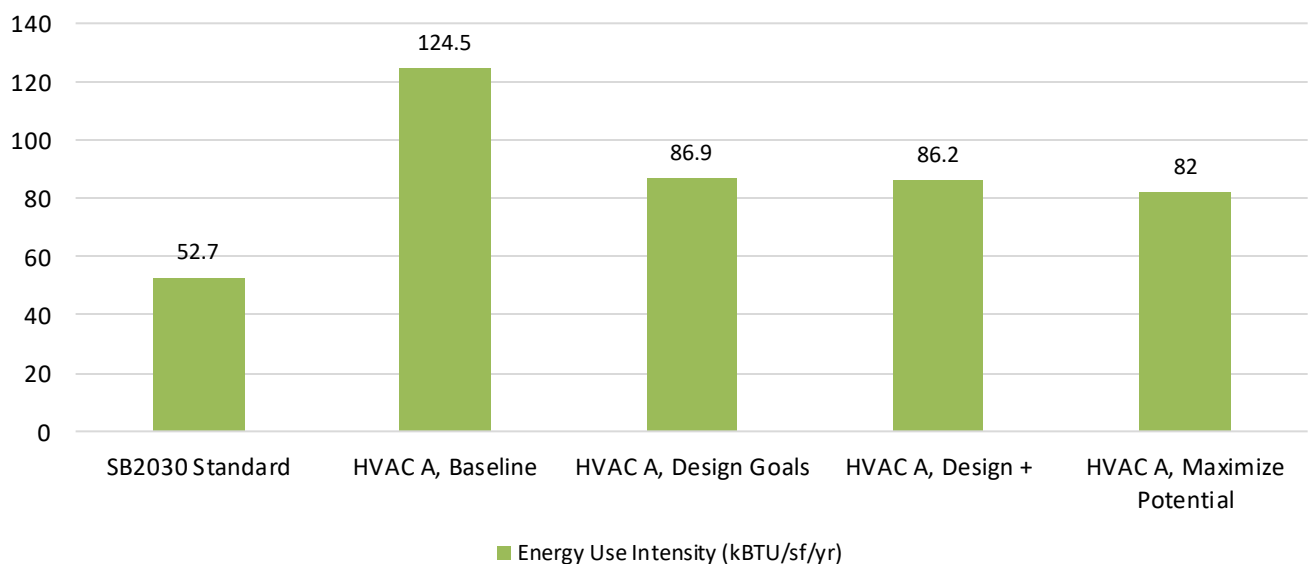
Space	Baseline A	HVAC A (Proposed)
<b>Natatorium, Fitness and Gymnasium</b>	WSHP w/ water-to-air HP heating and cooling	Ground-coupled water-to-water heat pumps with VAV distribution
<b>Office, Lobby/Common, Play Area and Multipurpose Rooms</b>	WSHP w/ water-to-air HP heating and cooling	Ground coupled water to water heat pumps serving fan coil units, ventilation air provided by DOAS unit with ground coupled heat pumps
<b>Mechanical/Utility</b>	Single zone AHU w/ ASHP, electric backup, no cooling	Single zone AHU w/ electric coil

# Energy Analysis – SB 2030

The SB 2030 Energy Standard is the energy conservation requirement of the MN B3 Criteria. It establishes the conservation goal by applying an 90% reduction in energy use intensity (EUI) and carbon emissions intensity (CO<sub>2</sub>e) to a similar building in operation in 2003. For more information, visit <https://www.b3mn.org/2030energystandard/>.

## Preliminary SB2030 Energy Standard Targets

- EUI – 52.7 kBTU/ft<sup>2</sup>/yr
- CO<sub>2</sub> – 7.7 lbs/ft<sup>2</sup>/yr

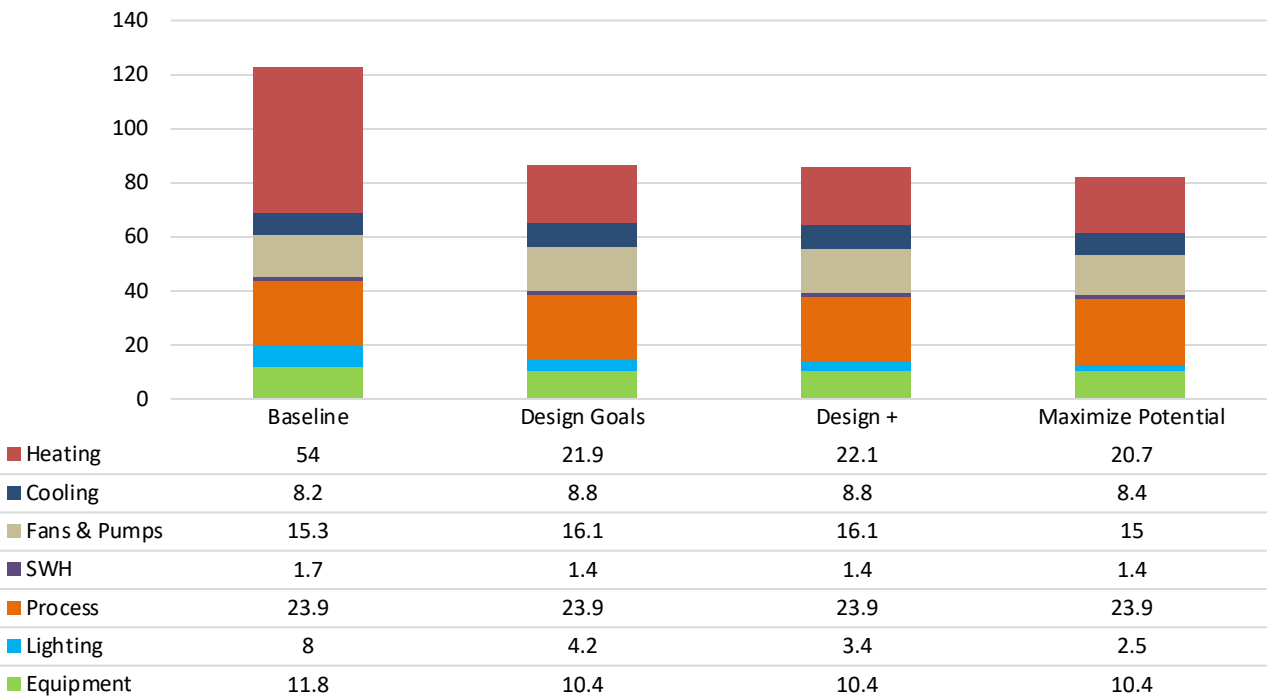


## Key Points

- **Substantial Efficiency Improvement from Baseline:** The HVAC A design goals achieve a 30% reduction in Energy Use Intensity (EUI) compared to the baseline (86.9 vs. 124.5 kBTU/sf/yr), highlighting a significant efficiency gain through design improvements—even though additional reductions are needed to meet the SB2030 target of 52.7 kBTU/sf/yr.
- **Design Optimization Potential:** Progression from initial design goals (86.9 EUI) to the maximized design scenario (82 EUI) demonstrates that targeted system enhancements can yield meaningful energy reductions, though further strategies are required to close the gap to SB2030.

# Energy Analysis - Draft Annual Energy by End Use

This analysis presents a breakdown of annual energy use by end use category for the project, comparing baseline performance to progressively more efficient design strategies. It illustrates how targeted design improvements—such as reducing heating, domestic hot water, and fan energy—contribute to overall energy savings.

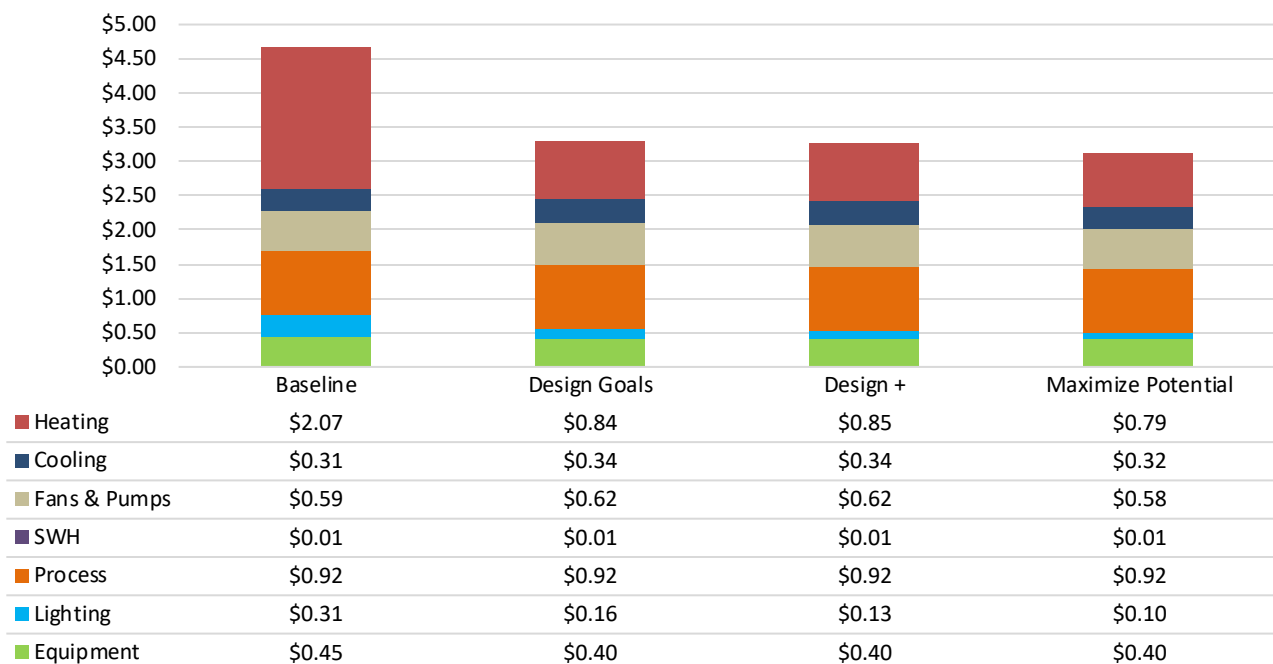


## Key Points

- **Heating Load Sees Largest Reduction Across All Bundles:** Heating energy use drops from 54.0 kBtu/ft²/yr in the Baseline to 21.9 kBtu/ft²/yr in the Design Goals bundle—a 59% reduction. Maximize Potential further reduces heating to 20.7 kBtu/ft²/yr, marking heating as the most significant source of energy savings.
- **Total Energy Use Decreases by Over 30%:** Total energy drops from approximately 138.9 kBtu/ft²/yr in the Baseline to 88.7 kBtu/ft²/yr in the Maximize Potential scenario—representing a ~36% reduction. The reductions are primarily due to heating, lighting, and equipment efficiencies.
- **Lighting and Equipment Loads Show Consistent Decline:** Lighting energy use falls from 8.0 kBtu/ft²/yr in the Baseline to 2.5 kBtu/ft²/yr in Maximize Potential. Equipment use drops from 11.8 to 10.4 kBtu/ft²/yr across the same span, reflecting incremental savings from efficient equipment and possible operational controls.
- Pool heating energy is accounted for within the process load category of the energy model

# Energy Analysis - Draft Annual Energy Cost

This analysis illustrates annual energy costs by energy type for the project, comparing baseline conditions to design goal improvements. Significant cost reductions are observed in design scenarios, driven primarily by lower electricity consumption.



## Key Points

- **Heating Costs Drive Savings:** Heating costs drop significantly from \$2.07/ft² in the Baseline to \$0.84/ft²–\$0.85/ft² across the design bundles—accounting for the largest portion of total cost reduction.
- **Design Goals Achieve Over 30% Cost Savings:** Energy costs are reduced from \$4.66/ft² in the Baseline to \$3.29/ft² in the Design Goals scenario—a 29%–30% savings, primarily through reductions in heating, lighting, and equipment energy use.
- **Lighting and Equipment Costs Decline Modestly but Consistently:** Lighting drops from \$0.31/ft² to \$0.16/ft², and equipment from \$0.45/ft² to \$0.40/ft², reflecting gains from efficient technologies and load control strategies.

## Energy Analysis – DRAFT Bundle Summary Results

Three bundles have been pre-populated with energy efficiency strategies to facilitate discussion during the results meeting using the following guidelines:

- **Bundle 1 – Design Goals:** Represents the current design as understood from the project team and available documentation.
- **Bundle 2 – Design+:** Builds upon the base design with additional energy-saving strategies.
- **Bundle 3 – Maximize Potential:** Working towards the highest feasible performance by layering on the most impactful efficiency measures.

These preliminary strategy selections can be found in Appendix A. These selections are expected to be revised during the results meeting after discussion with the design team. Updated results will be published in the meeting minutes.

### Bundled Annual Savings

Bundle Description	Peak kW Savings	% Peak kW Savings	kWh Savings	% kWh Savings	Gas Savings (dekatherm)	% Gas Savings	Energy Cost Savings
<b>HVAC A</b>							
1 - Design Goals	32.3	6%	1,120,211	30%	33	18%	\$169,401
2 - Design +	36.5	7%	1,140,463	31%	33	18%	\$171,674
3 - Max. Potential	46.6	9%	1,256,284	49%	67	44%	\$186,389

### Simple Payback with Incentive

Bundle Description	Energy Cost Savings	Incremental First Cost	Centerpoint Gas Incentive	Xcel Electric Incentive	Total Incentive	ROI	Payback (yrs)
<b>HVAC A</b>							
1 - Design Goals	\$169,401	\$458,649	\$165	\$60,958	\$61,123	37%	2.3
2 - Design +	\$171,674	\$554,183	\$165	\$63,869	\$64,034	31%	2.9
3 - Max. Potential	\$186,389	\$701,604	\$335	\$73,551	\$73,886	27%	3.4

### Energy Use Intensity

Bundle Description	EUI (kBtu/ft <sup>2</sup> /yr)
<b>HVAC A</b>	
Baseline	124.5
1 - Design Goals	86.90
2 - Design +	86.20
3 - Max. Potential	82.00





## Verification

This report concludes the design phase of the Energy Design Assistance program. The next stage will be verification, a process that seeks to assure that one of the bundles is implemented.

The verification process is designed to assist the project team in knowing whether or not the strategies are installed as expected. If strategies are not found as expected, notification is given to the design team so corrections can be made. If the installed strategies differ from what was identified in the selected bundle, the incentive amount will be adjusted.

The process will be laid out in detail in the coming weeks, but it will generally include the following:

- Project team makes a bundle selection.
- A Bundle Requirements Document will be sent to the project team, tailored to the selected bundle strategies.

### *Upon Construction Completion*

- When the building is completed and occupied, installation of the selected strategies will be verified using project submittals and an onsite visit to the building.
- A draft Verification Report, documenting the installed strategies will be issued to the design team.
- The incentive payment will be issued to the owner based on the final Verification Report.

## Appendix A. Detailed Strategy Results

### Results for HVAC A

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Mechanical									
DOAS									
DOAS fan power at 0.45 W/cfm	0.4	2,399	0	\$239	\$1,046	4.4			x
Facility									
Heating water system pump head at 62.82 ft	0	1,230	0	\$108	\$4,981	46.1			
Chilled water system pump head at 72.74 ft	1.2	6,759	0	\$684	\$4,981	7.3			
VFD on building heating water pump	0	4,597	0	\$391	\$3,744	9.6	x	x	x
VFD on building chilled water pump	0	24,923	0	\$2,548	\$3,869	1.5	x	x	x
Natatorium - AHU									
Fan system power at 1.17 BHP/1000cfm	1.2	4,645	0	\$444	\$2,618	5.9			
Fan system power at 1.04 BHP/1000cfm	2.3	9,203	0	\$877	\$5,610	6.4			
Sensible heat recovery	3.3	52,507	0	\$2,988	\$14,845	5.0			
Total heat recovery	0.4	77,533	0	\$2,954	\$14,304	4.8	x	x	x
Destratification fans in high bay spaces for Natatorium	-3.6	13,181	0	\$1,403	\$30,672	21.9			
Fitness - AHU									
Fan system power at 1.17 BHP/1000cfm	0.9	2,521	0	\$244	\$2,618	10.7			
Fan system power at 1.04 BHP/1000cfm	1.9	5,029	0	\$485	\$5,610	11.6			
Sensible heat recovery	0	14,741	0	-\$1,406	\$14,845	n/a			
Total heat recovery	1.8	12,945	0	-\$4,977	\$14,304	n/a	x	x	x
Destratification fans in high bay spaces for Fitness	-0.7	19,319	0	\$2,157	\$30,672	14.2			
Demand control ventilation for Fitness	0.9	71,397	0	\$14,118	\$8,298	0.6			x
Gymnasium - AHU									
Fan system power at 1.17 BHP/1000cfm	1.6	3,827	0	\$394	\$1,806	4.6			
Fan system power at 1.04 BHP/1000cfm	3.2	7,597	0	\$778	\$3,871	5.0			
Sensible heat recovery	0.4	19,243	0	-\$90	\$10,613	n/a			
Total heat recovery	1.8	3,288	0	-\$4,065	\$12,201	n/a	x	x	x
Destratification fans in high bay spaces for Gymnasium	1.1	41,159	0	\$3,999	\$21,165	5.3			
Occupancy sensor control of zone temperature for Gymnasium	2.8	18,046	0	\$1,775	\$3,450	1.9			
Demand control ventilation for Gymnasium	1.4	155,649	0	\$30,684	\$5,726	0.2			x
Office - WSHP FCU									
Electronically commutated motor	0.8	2,320	0	\$202	\$1,890	9.4	x	x	x
Fan system power at 0.45 W/cfm	0.8	2,449	0	\$197	\$841	4.3			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Fan system power at 0.40 W/cfm	1.6	4,844	0	\$413	\$1,802	4.4			
Destratification fans in high bay spaces for Office	-0.4	10,114	0	\$1,388	\$19,706	14.2			
Occupancy sensor control of zone temperature for Office	0.1	2,634	0	\$381	\$3,212	8.4			
Demand control ventilation for Office	0.3	6,499	0	\$1,280	\$5,331	4.2			x
Lobby/Common - WSHP FCU									
Electronically commutated motor	0.8	2,414	0	\$202	\$1,963	9.7	x	x	x
Fan system power at 0.45 W/cfm	0.8	2,525	0	\$211	\$874	4.1			
Fan system power at 0.40 W/cfm	1.6	5,004	0	\$419	\$1,872	4.5			
Destratification fans in high bay spaces for Lobby/Common	-0.4	10,387	0	\$1,430	\$20,474	14.3			
Occupancy sensor control of zone temperature for Lobby/Common	0.1	2,711	0	\$393	\$3,338	8.5			
Demand control ventilation for Lobby/Common	0.3	6,750	0	\$1,333	\$5,539	4.2			x
Play Area - WSHP FCU									
Electronically commutated motor	0.5	1,132	0	\$97	\$479	4.9	x	x	x
Fan system power at 0.45 W/cfm	0.2	612	0	\$53	\$213	4.0			
Fan system power at 0.40 W/cfm	0.5	1,206	0	\$104	\$457	4.4			
Destratification fans in high bay spaces for Play area	-0.1	13,415	0	\$1,526	\$4,992	3.3			
Occupancy sensor control of zone temperature for Play area	0.3	4,542	0	\$485	\$814	1.7			
Demand control ventilation for Play area	1.2	69,053	0	\$11,983	\$1,351	0.1			x
Community Spaces - WSHP FCU									
Electronically commutated motor	0.6	1,890	0	\$166	\$1,546	9.3	x	x	x
Fan system power at 0.45 W/cfm	0.7	2,070	0	\$175	\$688	3.9			
Fan system power at 0.40 W/cfm	1.3	4,117	0	\$357	\$1,475	4.1			
Destratification fans in high bay spaces for Multipurpose rooms	-0.3	8,755	0	\$1,183	\$16,127	13.6			
Occupancy sensor control of zone temperature for Multipurpose rooms	0.1	2,252	0	\$327	\$2,629	8.0			
Demand control ventilation for Multipurpose rooms	0.2	5,310	0	\$1,046	\$4,363	4.2			x
Architectural									
Natatorium									
Wall R-24	0.2	4,657	0	\$576	\$3,325	5.8			x
Roof R-36	0.3	5,426	0	\$701	\$8,437	12.0	x	x	
Roof R-40	0.5	8,945	0	\$1,163	\$15,541	13.4			x
Roof R-50	0.8	15,332	0	\$1,995	\$33,303	16.7			
Roof R-60	1.1	19,561	0	\$2,545	\$51,064	20.1			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
White roof	1.5	-3,714	0	-\$332	\$535	n/a			
Fitness									
Wall R-24	0.2	2,718	0	\$388	\$2,388	6.2			x
Roof R-36	0.5	4,929	0	\$726	\$8,437	11.6	x	x	
Roof R-40	0.8	8,132	0	\$1,190	\$15,541	13.1			x
Roof R-50	1.4	13,871	0	\$2,012	\$33,303	16.6			
Roof R-60	1.8	17,679	0	\$2,573	\$51,064	19.8			
White roof	2.1	-1,515	0	-\$176	\$535	n/a			
Gymnasium									
Wall R-24	0.3	3,150	0	\$336	\$2,762	8.2			x
Roof R-36	0.3	3,371	0	\$383	\$5,822	15.2	x	x	
Roof R-40	0.5	5,649	0	\$718	\$10,724	14.9			x
Roof R-50	0.9	9,794	0	\$1,320	\$22,980	17.4			
Roof R-60	1.1	12,495	0	\$1,715	\$35,236	20.5			
White roof	1.3	-1,942	0	-\$157	\$535	n/a			
Office									
Wall R-24	0.1	1,558	0	\$236	\$1,686	7.1			x
Roof R-36	0.2	2,250	0	\$395	\$5,420	13.7	x	x	
Roof R-40	0.2	3,658	0	\$668	\$9,985	14.9			x
Roof R-50	0.4	6,024	0	\$1,148	\$21,396	18.6			
Roof R-60	0.5	7,468	0	\$1,396	\$32,807	23.5			
White roof	0.7	-144	0	-\$61	\$535	n/a			
Lobby/Common									
Wall R-24	0.1	1,593	0	\$239	\$1,730	7.2			x
Roof R-36	0.2	2,329	0	\$411	\$5,632	13.7	x	x	
Roof R-40	0.3	3,780	0	\$692	\$10,374	15.0			x
Roof R-50	0.4	6,223	0	\$1,195	\$22,230	18.6			
Roof R-60	0.6	7,714	0	\$1,448	\$34,085	23.5			
White roof	0.7	-144	0	-\$60	\$535	n/a			
Play area									
Wall R-24	0.1	1,401	0	\$200	\$1,341	6.7			x
Roof R-36	0	813	0	\$109	\$1,373	12.6	x	x	
Roof R-40	0.1	1,352	0	\$187	\$2,529	13.5			x
Roof R-50	0.1	2,318	0	\$336	\$5,420	16.1			
Roof R-60	0.2	2,970	0	\$430	\$8,310	19.3			
White roof	0.2	-359	0	-\$35	\$535	n/a			
Multipurpose rooms									
Wall R-24	0.1	1,364	0	\$210	\$1,474	7.0			x
Roof R-36	0.1	1,888	0	\$325	\$4,436	13.6	x	x	
Roof R-40	0.2	3,074	0	\$540	\$8,171	15.1			x
Roof R-50	0.3	5,063	0	\$943	\$17,510	18.6			
Roof R-60	0.4	6,299	0	\$1,152	\$26,849	23.3			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
White roof	0.5	-112	0	-\$32	\$535	n/a			
Mechanical/Utility									
Wall R-24	0	1,995	0	\$273	\$2,386	8.7			x
Roof R-36	0	888	0	\$118	\$1,853	15.7	x	x	
Roof R-40	0	1,492	0	\$200	\$3,413	17.1			x
Roof R-50	0	2,520	0	\$351	\$7,313	20.8			
Roof R-60	0	3,212	0	\$451	\$11,213	24.9			
Lighting									
Facility									
Exterior tradable site lighting reduced to 8.38 kW	0	3,058	0	\$373	\$1,567	4.2	x		
Exterior tradable site lighting reduced to 7.45 kW	0	6,115	0	\$733	\$3,134	4.3		x	
Exterior tradable site lighting reduced to 6.52 kW	0	9,173	0	\$1,103	\$4,701	4.3			x
Exterior tradable site lighting reduced to 5.58 kW	0	12,230	0	\$1,474	\$6,267	4.3			
Exterior tradable site lighting reduced to 4.65 kW	0	15,287	0	\$1,841	\$7,834	4.3			
Exterior tradable site lighting reduced to 3.72 kW	0	18,345	0	\$2,208	\$9,401	4.3			
Exterior tradable site lighting reduced to 2.79 kW	0	21,403	0	\$2,577	\$10,968	4.3			
Exterior tradable site lighting reduced to 1.86 kW	0	24,460	0	\$2,946	\$12,535	4.3			
Exterior lighting, automatic daylight shutoff, 100% turndown	0	10,192	0	\$860	\$738	0.9			
Natatorium									
Dimming daylighting control, 100% of daylightable area	0.7	1,474	0	\$125	\$0	0.0	x	x	x
Lighting power in Natatorium reduced to 0.68 W/ft²	1.2	2,417	0	\$238	\$1,480	6.2			
Lighting power in Natatorium reduced to 0.61 W/ft²	2.4	4,767	0	\$473	\$2,960	6.3			
Lighting power in Natatorium reduced to 0.53 W/ft²	3.7	7,141	0	\$701	\$4,346	6.2			
Lighting power in Natatorium reduced to 0.46 W/ft²	4.5	9,399	0	\$926	\$5,636	6.1			
Lighting power in Natatorium reduced to 0.38 W/ft²	5.4	11,614	0	\$1,148	\$6,831	6.0	x		
Lighting power in Natatorium reduced to 0.30 W/ft²	5.9	13,831	0	\$1,367	\$7,931	5.8		x	
Lighting power in Natatorium reduced to 0.23 W/ft²	6.9	16,022	0	\$1,587	\$8,936	5.6			x
Lighting power in Natatorium reduced to 0.15 W/ft²	7.6	18,184	0	\$1,801	\$9,846	5.5			
Lighting power in Natatorium reduced to 0.08 W/ft²	8.4	20,338	0	\$2,018	\$10,661	5.3			
High-end trim, 10% lighting power reduction	1.2	2,417	0	\$238	\$1,310	5.5			x
Fitness									
Dimming daylighting control, 100% of daylightable area	0.8	1,106	0	\$89	\$0	0.0	x	x	x
Lighting power in Fitness reduced to 0.65 W/ft²	1.3	2,861	0	\$229	\$1,480	6.5			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Fitness reduced to 0.58 W/ft²	2.5	5,638	0	\$450	\$2,960	6.6			
Lighting power in Fitness reduced to 0.50 W/ft²	3.8	8,386	0	\$674	\$4,346	6.4			
Lighting power in Fitness reduced to 0.43 W/ft²	5.1	11,092	0	\$886	\$5,636	6.4			
Lighting power in Fitness reduced to 0.36 W/ft²	6	13,689	0	\$1,092	\$6,831	6.3	x		
Lighting power in Fitness reduced to 0.29 W/ft²	7.3	16,238	0	\$1,220	\$7,931	6.5		x	
Lighting power in Fitness reduced to 0.22 W/ft²	8.7	18,728	0	\$1,415	\$8,936	6.3			x
Lighting power in Fitness reduced to 0.14 W/ft²	10	21,219	0	\$1,599	\$9,846	6.2			
High-end trim, 10% lighting power reduction	1.3	2,861	0	\$229	\$1,310	5.7			x
Gymnasium									
Dimming daylighting control, 100% of daylightable area	0.7	1,354	0	\$111	\$0	0.0	x	x	x
Lighting power in Gymnasium reduced to 0.68 W/ft²	0.8	1,439	0	\$117	\$1,021	8.7			
Lighting power in Gymnasium reduced to 0.61 W/ft²	1.6	2,842	0	\$262	\$2,043	7.8			
Lighting power in Gymnasium reduced to 0.53 W/ft²	2.4	4,137	0	\$368	\$2,999	8.1			
Lighting power in Gymnasium reduced to 0.46 W/ft²	3.3	5,464	0	\$476	\$3,889	8.2			
Lighting power in Gymnasium reduced to 0.38 W/ft²	4.1	6,806	0	\$567	\$4,714	8.3	x		
Lighting power in Gymnasium reduced to 0.30 W/ft²	4.9	8,018	0	\$668	\$5,473	8.2		x	
Lighting power in Gymnasium reduced to 0.23 W/ft²	5.7	9,275	0	\$768	\$6,166	8.0			x
Lighting power in Gymnasium reduced to 0.15 W/ft²	6.2	10,577	0	\$869	\$6,794	7.8			
Lighting power in Gymnasium reduced to 0.08 W/ft²	7	11,819	0	\$967	\$7,357	7.6			
High-end trim, 10% lighting power reduction	0.8	1,439	0	\$117	\$904	7.7			x
Office									
Dimming daylighting control, 100% of daylightable area	0.8	1,822	0	\$138	\$0	0.0	x	x	x
Occupancy sensor controls, 75% of space	0.2	924	0	\$71	\$540	7.6			
Occupancy sensor controls, 100% of space	0.4	1,820	0	\$149	\$1,206	8.1			
Vacancy sensor controls, 75% of space	0.4	1,557	0	\$124	\$540	4.4			
Vacancy sensor controls, 100% of space	0.7	2,640	0	\$213	\$1,206	5.7			
Lighting power in Office reduced to 0.58 W/ft²	0.5	1,506	0	\$111	\$951	8.6			
Lighting power in Office reduced to 0.51 W/ft²	0.9	2,984	0	\$224	\$1,902	8.5			
Lighting power in Office reduced to 0.45 W/ft²	1.4	4,411	0	\$333	\$2,792	8.4			
Lighting power in Office reduced to 0.38 W/ft²	1.9	5,814	0	\$440	\$3,621	8.2			
Lighting power in Office reduced to 0.32 W/ft²	2.4	7,203	0	\$544	\$4,389	8.1	x		

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Office reduced to 0.26 W/ft²	2.8	8,547	0	\$667	\$5,096	7.6		x	
Lighting power in Office reduced to 0.19 W/ft²	3.3	9,867	0	\$769	\$5,741	7.5			x
Lighting power in Office reduced to 0.13 W/ft²	3.8	11,178	0	\$868	\$6,326	7.3			
High-end trim, 10% lighting power reduction	0.5	1,506	0	\$111	\$841	7.6			x
Lobby/Common									
Dimming daylighting control, 100% of daylightable area	0.8	1,862	0	\$140	\$0	0.0	x	x	x
Occupancy sensor controls, 75% of space	0.2	965	0	\$81	\$561	6.9			
Occupancy sensor controls, 100% of space	0.4	1,904	0	\$152	\$1,253	8.2			
Lighting power in Lobby/Common reduced to 0.58 W/ft²	0.5	1,572	0	\$119	\$988	8.3			
Lighting power in Lobby/Common reduced to 0.51 W/ft²	1	3,122	0	\$233	\$1,976	8.5			
Lighting power in Lobby/Common reduced to 0.45 W/ft²	1.5	4,623	0	\$348	\$2,901	8.3			
Lighting power in Lobby/Common reduced to 0.38 W/ft²	2	6,095	0	\$458	\$3,762	8.2			
Lighting power in Lobby/Common reduced to 0.32 W/ft²	2.5	7,555	0	\$567	\$4,560	8.0	x		
Lighting power in Lobby/Common reduced to 0.26 W/ft²	3	8,968	0	\$684	\$5,294	7.7		x	
Lighting power in Lobby/Common reduced to 0.19 W/ft²	3.5	10,355	0	\$804	\$5,965	7.4			x
Lighting power in Lobby/Common reduced to 0.13 W/ft²	4	11,720	0	\$909	\$6,572	7.2			
High-end trim, 10% lighting power reduction	0.5	1,572	0	\$119	\$874	7.3			x
Play area									
Dimming daylighting control, 100% of daylightable area	0.3	550	0	\$43	\$0	0.0	x	x	x
Lighting power in Play area reduced to 0.68 W/ft²	0.1	269	0	\$23	\$241	10.5			
Lighting power in Play area reduced to 0.61 W/ft²	0.2	521	0	\$44	\$482	10.9			
Lighting power in Play area reduced to 0.53 W/ft²	0.3	795	0	\$66	\$707	10.7			
Lighting power in Play area reduced to 0.46 W/ft²	0.4	1,072	0	\$90	\$917	10.2			
Lighting power in Play area reduced to 0.38 W/ft²	0.5	1,330	0	\$117	\$1,112	9.5	x		
Lighting power in Play area reduced to 0.30 W/ft²	0.6	1,602	0	\$137	\$1,291	9.4		x	
Lighting power in Play area reduced to 0.23 W/ft²	0.7	1,869	0	\$158	\$1,454	9.2			x
Lighting power in Play area reduced to 0.15 W/ft²	0.8	2,123	0	\$183	\$1,602	8.8			



Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Play area reduced to 0.08 W/ft <sup>2</sup>	0.9	2,397	0	\$205	\$1,735	8.5			
High-end trim, 10% lighting power reduction	0.1	269	0	\$23	\$213	9.3			x
Multipurpose rooms									
Dimming daylighting control, 100% of daylightable area	0.8	1,868	0	\$162	\$155	1.0	x	x	x
Occupancy sensor controls, 75% of space	0.2	754	0	\$65	\$442	6.8			
Occupancy sensor controls, 100% of space	0.3	1,485	0	\$138	\$987	7.2			
Lighting power in Multipurpose rooms reduced to 0.58 W/ft <sup>2</sup>	0.4	1,205	0	\$92	\$778	8.5			
Lighting power in Multipurpose rooms reduced to 0.51 W/ft <sup>2</sup>	0.8	2,388	0	\$195	\$1,556	8.0			
Lighting power in Multipurpose rooms reduced to 0.45 W/ft <sup>2</sup>	1.1	3,528	0	\$287	\$2,285	8.0			
Lighting power in Multipurpose rooms reduced to 0.38 W/ft <sup>2</sup>	1.5	4,633	0	\$372	\$2,963	8.0			
Lighting power in Multipurpose rooms reduced to 0.32 W/ft <sup>2</sup>	1.9	5,732	0	\$457	\$3,592	7.9	x		
Lighting power in Multipurpose rooms reduced to 0.26 W/ft <sup>2</sup>	2.3	6,800	0	\$541	\$4,170	7.7		x	
Lighting power in Multipurpose rooms reduced to 0.19 W/ft <sup>2</sup>	2.6	7,858	0	\$622	\$4,699	7.6			x
Lighting power in Multipurpose rooms reduced to 0.13 W/ft <sup>2</sup>	3	8,897	0	\$698	\$5,177	7.4			
High-end trim, 10% lighting power reduction	0.4	1,205	0	\$92	\$689	7.5			x
Mechanical/Utility									
Occupancy sensor controls, 25% of space	0.2	589	0	\$46	\$455	9.9			
Occupancy sensor controls, 50% of space	0.4	1,172	0	\$92	\$911	9.9			
Occupancy sensor controls, 75% of space	0.6	1,788	0	\$142	\$1,366	9.6			
Occupancy sensor controls, 100% of space	0.8	2,426	0	\$191	\$1,821	9.5			
Vacancy sensor controls, 25% of space	0.3	712	0	\$56	\$455	8.1			
Vacancy sensor controls, 50% of space	0.5	1,424	0	\$114	\$911	8.0			
Vacancy sensor controls, 75% of space	0.8	2,174	0	\$172	\$1,366	7.9			
Vacancy sensor controls, 100% of space	1.1	2,932	0	\$227	\$1,821	8.0			
Lighting power in Mechanical/Utility reduced to 0.68 W/ft <sup>2</sup>	0.4	962	0	\$75	\$650	8.7			
Lighting power in Mechanical/Utility reduced to 0.60 W/ft <sup>2</sup>	0.9	1,921	0	\$153	\$1,300	8.5			
Lighting power in Mechanical/Utility reduced to 0.52 W/ft <sup>2</sup>	1.3	2,921	0	\$222	\$1,908	8.6			
Lighting power in Mechanical/Utility reduced to 0.45 W/ft <sup>2</sup>	1.7	3,926	0	\$309	\$2,475	8.0			
Lighting power in Mechanical/Utility reduced to 0.38 W/ft <sup>2</sup>	2.1	4,936	0	\$393	\$3,000	7.6	x		

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Mechanical/Utility reduced to 0.30 W/ft <sup>2</sup>	2.6	5,920	0	\$471	\$3,483	7.4		x	
Lighting power in Mechanical/Utility reduced to 0.23 W/ft <sup>2</sup>	3	6,019	0	\$477	\$3,925	8.2			x
High-end trim, 10% lighting power reduction	0.4	962	0	\$75	\$575	7.7			x
Plug/Process									
Facility									
Traction elevator, machine roomless	12.6	40,769	0	\$3,864	\$29,544	7.6	x	x	x
Service Water Heating									
Facility									
90% SWH efficiency	0	0	252	\$191	\$1,487	7.8			
95% SWH efficiency	0	0	332	\$257	\$2,251	8.8	x	x	x
Gas fired on-demand SWH	0	0	187	\$143	\$4,629	32.4			

## Appendix B. Key Model Inputs

### Core Definition

Space Asset Area	Type	Area (ft <sup>2</sup> )	Floors	Units	Arrangement	Flr/Flr Height (ft)
<a href="#">Natatorium</a>	Gymnasium	19,970	1	n/a	Adjacent / Grade	20.0
<a href="#">Fitness</a>	Fitness	19,970	1	n/a	Adjacent / Grade	12.0
<a href="#">Gymnasium</a>	Gymnasium	13,780	1	n/a	Adjacent / Grade	20.0
<a href="#">Office</a>	Office	12,830	1	n/a	Adjacent / Grade	12.0
<a href="#">Mechanical/Utility</a>	Maintenance/Repair	8,770	2	n/a	Adjacent / Grade	12.0
<a href="#">Lobby/Common</a>	Office	13,330	1	n/a	Adjacent / Grade	12.0
<a href="#">Play area</a>	Gymnasium	3,250	1	n/a	Adjacent / Grade	20.0
<a href="#">Multipurpose rooms</a>	Office	10,500	1	n/a	Adjacent / Grade	12.0

### Schedules

Space Asset Area	People Density (ft <sup>2</sup> /person)	Daily Use							Hours per Day			Core Use Start Time	Partial Day Max Use Fraction	Applicable Months
		S	M	T	W	T	F	S	Full	Partial	Fans			
<a href="#">Natatorium</a>	33.0	●	●	●	●	●	●	●	7	3	24	8 am	0.5	12
<a href="#">Fitness</a>	100.0	●	●	●	●	●	●	●	7	3	18	11 am	0.5	12
<a href="#">Gymnasium</a>	33.0	●	●	●	●	●	●	●	7	3	18	11 am	0.5	12
<a href="#">Office</a>	200.0	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12
<a href="#">Mechanical/Utility</a>	143.0	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12
<a href="#">Lobby/Common</a>	200.0	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12
<a href="#">Play area</a>	33.0	●	●	●	●	●	●	●	7	3	18	11 am	0.5	12
<a href="#">Multipurpose rooms</a>	200.0	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12

● Full Use

● Partial Use

● No Use

## Thermostat

Space Asset Area	Heating Set Point (°F)		Cooling Set Point (°F)	
	Occupied	Unoccupied	Occupied	Unoccupied
<u>Natorium</u>	80	80	80	80
<u>Fitness</u>	70	60	75	80
<u>Gymnasium</u>	70	60	75	85
<u>Office</u>	70	60	75	80
<u>Mechanical/Utility</u>	60	60	80	80
<u>Lobby/Common</u>	70	60	75	80
<u>Play area</u>	70	60	75	85
<u>Multipurpose rooms</u>	70	60	75	80

## Ventilation Requirements

Space Asset Area	Outside Air Per Person (ft <sup>3</sup> /min/person)	Outside Air Per Area (ft <sup>3</sup> /min/ft <sup>2</sup> )	Exhaust Flow Per Area (ft <sup>3</sup> /min/ft <sup>2</sup> )	Air Changes (ACH)	
				Occupied	Unoccupied
<u>Natorium</u>	0.0	0.48	0.00	n/a	n/a
<u>Fitness</u>	20.0	0.06	0.00	n/a	n/a
<u>Gymnasium</u>	20.0	0.18	0.00	n/a	n/a
<u>Office</u>	5.0	0.06	0.00	n/a	n/a
<u>Mechanical/Utility</u>	0.0	0.00	1.50	n/a	n/a
<u>Lobby/Common</u>	5.0	0.06	0.00	n/a	n/a
<u>Play area</u>	20.0	0.18	0.00	n/a	n/a
<u>Multipurpose rooms</u>	5.0	0.06	0.00	n/a	n/a

## Other Loads

Space Asset Area	Equipment Power Density (W/ft <sup>2</sup> )	Process Load		Service Hot Water	
		Load (Btu/hr/ft <sup>2</sup> )	Fuel Source	Consumption Flow/person (gal/day/person)	Consumption Miscellaneous Flow (gal/day)
<u>Natorium</u>	0.50	29.07	Electric	0.3	0.0
<u>Fitness</u>	0.50	0.00	Gas	0.3	0.0
<u>Gymnasium</u>	0.50	0.00	Gas	0.3	0.0
<u>Office</u>	0.75	0.00	Gas	1.0	0.0
<u>Mechanical/Utility</u>	1.00	0.22	Gas	1.0	0.0
<u>Lobby/Common</u>	0.75	0.00	Gas	1.0	0.0
<u>Play area</u>	0.50	0.00	Gas	0.3	0.0
<u>Multipurpose rooms</u>	0.75	0.00	Gas	1.0	0.0

## Utility Rates

Fuel	Utility	Conversion factor	Rate
Electric	Xcel Energy	n/a	2025 - General Service Rate, A14
Gas	CenterPoint Energy	n/a	2025 - CenterPoint Gas

## Appendix C. Glazing Property Details

The following glazing strategy properties are shown here for reference. All strategies may not be shown in this report.

Frame	Glazing	Unit U-value	COG U-value*	SHGC	VT
Metal frame					
	high solar gain	0.42	0.30	0.38	0.70
	medium solar gain, high transparency	0.42	0.29	0.29	0.62
	medium solar gain	0.42	0.30	0.29	0.39
	low solar gain	0.42	0.30	0.19	0.20
	high solar gain w/ argon	0.38	0.25	0.37	0.70
	medium solar gain w/ argon, high transparency	0.38	0.25	0.29	0.62
	medium solar gain w/ argon	0.38	0.25	0.29	0.39
	low solar gain w/ argon	0.38	0.25	0.19	0.20
Improved metal frame**					
	high solar gain	0.36	0.30	0.38	0.70
	medium solar gain, high transparency	0.36	0.29	0.29	0.62
	medium solar gain	0.36	0.30	0.29	0.39
	low solar gain	0.36	0.30	0.19	0.20
Non-metal frame					
	high solar gain	0.32	0.30	0.38	0.70
	medium solar gain, high transparency	0.32	0.29	0.29	0.62
	medium solar gain	0.32	0.30	0.29	0.39
	low solar gain	0.32	0.30	0.19	0.20
	high solar gain w/ argon	0.28	0.25	0.37	0.70
	medium solar gain w/ argon, high transparency	0.28	0.25	0.29	0.62
	medium solar gain w/ argon	0.28	0.25	0.29	0.39
	low solar gain w/ argon	0.28	0.25	0.19	0.20
Triple pane metal frame					
	high solar gain triple pane	0.29	0.16	0.33	0.60
	medium solar gain triple pane, high transparency	0.29	0.16	0.25	0.53
	medium solar gain triple pane	0.29	0.16	0.24	0.34
	low solar gain triple pane	0.29	0.16	0.14	0.18
	high solar gain triple pane w/ argon	0.26	0.13	0.32	0.60
	medium solar gain triple pane w/ argon, high transparency	0.26	0.13	0.25	0.53
	medium solar gain triple pane w/ argon	0.26	0.13	0.24	0.34
	low solar gain triple pane w/ argon	0.26	0.13	0.14	0.18
Triple pane non-metal frame					
	high solar gain triple pane	0.19	0.16	0.33	0.60
	medium solar gain triple pane, high transparency	0.19	0.16	0.25	0.53
	medium solar gain triple pane	0.19	0.16	0.24	0.34
	low solar gain triple pane	0.19	0.16	0.14	0.18
	high solar gain triple pane w/ argon	0.16	0.13	0.32	0.60
	medium solar gain triple pane w/ argon, high transparency	0.16	0.13	0.25	0.53
	medium solar gain triple pane w/ argon	0.16	0.13	0.24	0.34
	low solar gain triple pane w/ argon	0.16	0.13	0.14	0.18

\* COG U-value shown for reference only. Unit U-value will be used for verification. It includes the impacts of the frame design in addition to the COG-U value of the selected glazing.

\*\* Improved metal frame values are typically achieved by increasing the thermal break from 3/8" to 3/4"

## Appendix D. Project Participants

Name	Company
Leah Hughes	City of Bloomington
Dakota Kenyon	City of Bloomington
Emma Struss	City of Bloomington
Wade Cooper	Hammel, Green and Abrahamson, Inc.
Matt Eiden	Hammel, Green and Abrahamson, Inc.
Chad Eslinger	Hammel, Green and Abrahamson, Inc.
Megan Gahlman	Hammel, Green and Abrahamson, Inc.
Tim Guyette	Hammel, Green and Abrahamson, Inc.
Amanda Henderson	Hammel, Green and Abrahamson, Inc.
Anastasia Jacklitch	Hammel, Green and Abrahamson, Inc.
Leah Wirgau	Hammel, Green and Abrahamson, Inc.
Andy Zyskowski	Hammel, Green and Abrahamson, Inc.
Adam Burr	Xcel Energy
Grant Dhein	CenterPoint Energy
Eddie Galindo	Willdan
Ken Weber	Willdan

**For program information:**

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## MEMORANDUM

**To:** Emma Struss, City of Bloomington

**From:** Ken Weber

**Project:** Xcel Energy and CenterPoint Energy  
Energy Design Assistance  
Bloomington Community Health and Wellness Center, Bloomington, MN

**Project No.:** 20250082

**Date:** June 11, 2025

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**Summary:** The purpose of the results meeting on June 4, 2025 was to review the Energy Design Assistance program and energy savings associated with the Bloomington Community Health and Wellness Center project. Willdan presented results at the meeting.

Willdan collaborates with the project team to explore and quantify alternative materials and systems with the goal of selecting design strategies that are cost effective and have the highest value. Energy analysis results are used to determine custom incentives from Xcel Energy and CenterPoint Energy. The project team reviewed the strategy results and associated incremental cost information provided by Willdan and assembled bundles of strategies based on current design and group discussion.

**Bundle 1 WAS SELECTED as the target bundle.**

Additional changes to the bundle selection can be made and will be captured during the verification phase.

**Item: Model updates and requested information**

- Project size has been adjusted to 106,000 ft<sup>2</sup>, with space added to multipurpose rooms – *see Appendix B (pg.17)*
- Building schedules have been updated – *see Appendix B (pg.17)*
- Window strategies have been added to the Strategy Results for reference – *see Appendix A (pg.7)*
- The design team selected energy-efficiency strategies for bundle 1 to represent the current design.

**Action:** Please see below. Once the requested information below is provided, Willdan will incorporate the updated efficiencies and issue revised results, incentives, and payback calculations.

- **Wade Cooper** will provide lighting power densities by space type. The current target bundle assumes a 30% reduction. **Ken Weber will follow up with Wade in July.**
- **Chad Eslinger** to provide mechanical system efficiencies for each space type, specifically cooling EER, and heating COP.
- **Chad Eslinger** to provide cutsheets or product information for the water-to-water heat pumps.

**Item: Incremental Cost Information**

Incremental cost information is needed to evaluate paybacks of strategies that are an improvement over the baseline, if paybacks are of interest to the owner and project team.

**Action:** Project team to confirm or update incremental costs and return to Willdan if applicable.

# Bundle Results Summary

## Bundled Annual Savings

Bundle Description	Peak kW Savings	% Peak kW Savings	kWh Savings	% kWh Savings	Gas Savings (dekatherm)	% Gas Savings	Energy Cost Savings
<b>HVAC A</b>							
1 - Design Goals	32.3	6%	1,120,211	30%	33	18%	\$169,401
2 - Design +	36.5	7%	1,140,463	31%	33	18%	\$171,674
3 - Max. Potential	46.6	9%	1,256,284	49%	67	44%	\$186,389

## Simple Payback with Incentive

Bundle Description	Energy Cost Savings	Incremental First Cost	Centerpoint Gas Incentive	Xcel Electric Incentive	Total Incentive	ROI	Payback (yrs)
<b>HVAC A</b>							
1 - Design Goals	\$169,401	\$458,649	\$165	\$60,958	\$61,123	37%	2.3
2 - Design +	\$171,674	\$554,183	\$165	\$63,869	\$64,034	31%	2.9
3 - Max. Potential	\$186,389	\$701,604	\$335	\$73,551	\$73,886	27%	3.4

## Energy Use Intensity

Bundle Description	EUI (kBtu/ft <sup>2</sup> /yr)
<b>HVAC A</b>	
Baseline	124.5
1 - Design Goals	86.90
2 - Design +	86.20
3 - Max. Potential	82.00

Detailed strategy results are shown in the appendix.

**Item: Natural Gas Service and Incentives**

CenterPoint Energy's Energy Design Assistance gas conservation incentives are available to retail natural gas customers of CenterPoint Energy.

**Action:** **Owner** to contact CenterPoint Energy with further questions regarding gas service regulation and related energy conservation incentive availability.

**Item: Owner Incentive**

The Energy Design Assistance program provides an incentive to the owner to help reduce the upfront costs associated with the addition of energy-saving strategies evaluated and verified by the program. The owner incentive is not intended to cover all increases in construction costs.

**Emma Struss** was identified as the recipient of the owner incentive.

**Action: Xcel Energy and CenterPoint Energy** to provide **Emma Struss** with the owner incentive following occupancy and program verification.

**Item: Design Team Incentive**

The design team may submit a Design Team Incentive Request application to **Xcel Energy and CenterPoint Energy** for the following activities: (1) participation at formal meetings; (2) transfer of building architectural/engineering design information; and (3) development of applicable energy conservation strategies' incremental costs (incremental as compared to the base building design). Please note that the design team incentive is not intended to cover actual system(s) design or re-design associated with energy conservation strategies.

**Action:** None

**Item: Continuing Education (CE) Hours**

The **Energy Analysis and Design Workshop** may be self-reported for 2 general continuing education (CE) hours towards your professional credentials to the appropriate professional organization, pending any particular self-reporting requirements. In order to qualify, individuals must participate in the Results Meeting. Dakota Kenyon expressed interest in receiving CE hours.

**Action:** None. CE certificate sent to Dakota Kenyon on 6/4/25.

**Item: Verification Phase**

Verification, a process that seeks to assure that one of the bundles is implemented, will be laid out in detail in the coming weeks but will generally include the following:

- Owner notifies Willdan of the bundle selection.
- Willdan sends a Bundle Requirements Document to the project team tailored to the selected bundle strategies.
- Willdan verifies installed strategies when the building is completed and occupied and sends a Verification Report to the design team for review prior to sending the final report to Xcel Energy and CenterPoint Energy.
- **Xcel Energy and CenterPoint Energy** provides the incentive payment to the owner based on the Verification Report.

The purpose of the verification phase is to assist the project team and **Xcel Energy and CenterPoint Energy** toward realizing the energy conservation goals of the program and increasing the likelihood that the incentive proposed during the design phase is achieved upon completion of the project.

**Item:**        **Next Steps**

**Action:**    Upon bundle selection, **Willdan** will prepare the Bundle Requirements Document.



## Building Summary

Building Summary		
Location	Bloomington, MN	
Narrative	Recreation Center, new construction	
Space Asset Areas	Area	Number of Stories
Natatorium	19,970 ft²	1
Fitness	19,970 ft²	1
Gymnasium	13,780 ft²	1
Office	12,830 ft²	1
Mechanical/Utility	8,770 ft²	2
Lobby/Common	13,330 ft²	1
Play area	3,250 ft²	1
Multipurpose rooms	14,100 ft²	1
Total	106,000 ft²	2
Exterior lighting	≈146,790 sf of exterior parking	
Systems Summary		
Envelope	Wall assembly – R-value: R-18 Roof assembly – R-value: R-35	
Glazing	Some curtain wall, and some storefront – code minimum	
Lighting	LED, applicable controls including daylight harvesting	
Plug Loads	Typical for space, training kitchen	
Service Water Heating	Gas for major areas, electric at point of use	
Elevator	1, MRL, traction	
Hours of Operation	M-F – 5a to 10p Sat and Sun – 8a – 8p	
HVAC Scenario A: Ground Coupled	<b>Natatorium, Fitness and Gymnasium:</b> Ground coupled water to water heat pumps with VAV distribution <b>Office, Lobby/Commons, Multipurpose and Play area:</b> Ground coupled water to water heat pumps serving fan coil units, ventilation air provided by DOAS unit with ground coupled heat pumps <b>Mechanical/Utility:</b> single zone air handler with electric coil	
Utilities		
Electric Utility	Xcel Energy	
Gas Utility	CenterPoint Energy	
Schedule		
Construction Documents Complete	03/31/2026	
Construction Start	04/01/2026	
Occupancy	04/01/2027	
Baseline Reference	ASHRAE 90.1-2019, Energy Cost Budget Method	
Other Notes		

## Appendix A. Detailed Strategy Results

### Results for HVAC A

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Mechanical									
DOAS									
DOAS fan power at 0.45 W/cfm	0.4	2,356	0	\$238	\$1,141	4.8			x
Facility									
Heating water system pump head at 62.82 ft	0	1,228	0	\$111	\$5,639	50.8			
Chilled water system pump head at 72.74 ft	1.5	7,478	0	\$756	\$5,172	6.8			
VFD on building heating water pump	0	4,600	0	\$393	\$3,965	10.1	x	x	x
VFD on building chilled water pump	0	26,285	0	\$2,719	\$3,939	1.4	x	x	x
Natatorium - AHU									
Fan system power at 1.17 BHP/1000cfm	1.8	6,948	0	\$618	\$2,618	4.2			
Fan system power at 1.04 BHP/1000cfm	3.6	13,860	0	\$1,229	\$5,610	4.6			
Sensible heat recovery	4.1	30,562	0	\$1,152	\$14,845	12.9			
Total heat recovery	-0.6	38,038	0	-\$660	\$14,304	n/a	x	x	x
Destratification fans in high bay spaces for Natatorium	-4.9	1,453	0	\$261	\$30,672	100+			
Fitness - AHU									
Fan system power at 1.17 BHP/1000cfm	1.2	3,300	0	\$313	\$2,618	8.4			
Fan system power at 1.04 BHP/1000cfm	2.4	6,569	0	\$626	\$5,610	9.0			
Sensible heat recovery	-0.5	7,633	0	-\$2,031	\$14,845	n/a			
Total heat recovery	2.3	-6,157	0	-\$6,910	\$14,304	n/a	x	x	x
Destratification fans in high bay spaces for Fitness	-0.7	12,269	0	\$1,582	\$30,672	19.4			
Demand control ventilation for Fitness	1.1	18,321	0	\$3,303	\$8,298	2.5	x	x	x
Gymnasium - AHU									
Fan system power at 1.17 BHP/1000cfm	1.9	4,990	0	\$476	\$1,806	3.8			
Fan system power at 1.04 BHP/1000cfm	3.8	10,041	0	\$949	\$3,871	4.1			
Sensible heat recovery	-0.3	26,173	0	\$632	\$10,613	16.8			
Total heat recovery	2.8	9,549	0	-\$3,535	\$12,201	n/a	x	x	x
Destratification fans in high bay spaces for Gymnasium	-0.6	20,841	0	\$2,537	\$21,165	8.3			
Occupancy sensor control of zone temperature for Gymnasium	2.5	10,940	0	\$1,168	\$3,450	3.0			
Demand control ventilation for Gymnasium	1.7	40,315	0	\$6,971	\$5,726	0.8	x	x	x



Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Office - WSHP FCU									
Electronically commutated motor	0.8	1,587	0	-\$85	\$1,890	n/a	x	x	x
Fan system power at 0.45 W/cfm	0.8	1,747	0	-\$72	\$841	n/a			
Fan system power at 0.40 W/cfm	1.5	3,454	0	\$71	\$1,802	25.4			
Destratification fans in high bay spaces for Office	-0.4	9,479	0	\$1,238	\$19,706	15.9			
Occupancy sensor control of zone temperature for Office	0.1	1,895	0	-\$590	\$3,212	n/a			
Demand control ventilation for Office	0.3	7,025	0	\$1,354	\$5,331	3.9			x
Lobby/Common - WSHP FCU									
Electronically commutated motor	0.8	2,957	0	\$248	\$1,963	7.9	x	x	x
Fan system power at 0.45 W/cfm	0.8	3,024	0	\$253	\$874	3.5			
Fan system power at 0.40 W/cfm	1.6	6,022	0	\$505	\$1,872	3.7			
Destratification fans in high bay spaces for Lobby/Common	-0.5	8,015	0	\$1,247	\$20,474	16.4			
Occupancy sensor control of zone temperature for Lobby/Common	0.1	2,356	0	\$396	\$3,338	8.4			
Demand control ventilation for Lobby/Common	0.1	1,694	0	\$193	\$5,539	28.7			x
Play Area - WSHP FCU									
Electronically commutated motor	0.5	1,269	0	\$107	\$479	4.5	x	x	x
Fan system power at 0.45 W/cfm	0.3	676	0	\$58	\$213	3.7			
Fan system power at 0.40 W/cfm	0.5	1,359	0	\$116	\$457	3.9			
Destratification fans in high bay spaces for Play area	-0.1	10,740	0	\$1,296	\$4,992	3.9			
Occupancy sensor control of zone temperature for Play area	0.3	3,914	0	\$436	\$814	1.9			
Demand control ventilation for Play area	1.3	40,848	0	\$8,422	\$1,351	0.2	x	x	x
Community Spaces - WSHP FCU									
Electronically commutated motor	0.8	2,098	0	\$174	\$2,077	11.9	x	x	x
Fan system power at 0.45 W/cfm	0.8	2,237	0	\$187	\$924	4.9			
Fan system power at 0.40 W/cfm	1.7	4,449	0	\$369	\$1,981	5.4			
Destratification fans in high bay spaces for Multipurpose rooms	-0.5	10,391	0	\$1,496	\$21,656	14.5			
Occupancy sensor control of zone temperature for Multipurpose rooms	0.1	2,408	0	\$406	\$3,530	8.7			
Demand control ventilation for Multipurpose rooms	0.3	6,943	0	\$1,395	\$5,859	4.2	x	x	x

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Architectural									
Natatorium									
Wall R-24	0.2	4,527	0	\$572	\$3,325	5.8			x
Roof R-36	0.3	3,921	0	\$589	\$8,437	14.3	x	x	
Roof R-40	0.6	6,507	0	\$978	\$15,541	15.9			x
Roof R-50	0.9	11,063	0	\$1,666	\$33,303	20.0			
Roof R-60	1.2	13,966	0	\$2,109	\$51,064	24.2			
White roof	1.9	605	0	\$27	\$535	19.8	x	x	x
Glazing high solar gain, metal frame	-0.1	-11,466	0	-\$1,445	-\$8	n/a			
Glazing medium solar gain, metal frame	2.6	-14,700	0	-\$1,777	\$1,321	n/a			
Glazing low solar gain, metal frame	5.4	-20,588	0	-\$2,348	\$1,321	n/a			
Glazing high solar gain w/ argon, metal frame	0.2	-5,892	0	-\$746	\$790	n/a			
Glazing medium solar gain w/ argon, metal frame	2.7	-8,538	0	-\$1,022	\$2,119	n/a			
Glazing low solar gain w/ argon, metal frame	5.4	-14,141	0	-\$1,563	\$2,119	n/a			
Glazing high solar gain, improved metal frame	0	-2,819	0	-\$355	\$5,309	n/a			
Glazing low solar gain, improved metal frame	5.5	-10,882	0	-\$1,164	\$6,639	n/a			
Glazing high solar gain triple pane, metal frame	1.9	6,390	0	\$815	\$26,578	32.6			
Glazing medium solar gain triple pane, metal frame	4.4	3,407	0	\$509	\$27,907	54.8			
Glazing low solar gain triple pane, metal frame	6.5	-2,451	0	-\$58	\$27,907	n/a			
Fitness									
Wall R-24	0.2	2,724	0	\$357	\$2,388	6.7			x
Roof R-36	0.5	3,855	0	\$618	\$8,437	13.7	x	x	
Roof R-40	0.8	6,350	0	\$1,031	\$15,541	15.1			x
Roof R-50	1.3	10,706	0	\$1,798	\$33,303	18.5			
Roof R-60	1.6	13,421	0	\$2,282	\$51,064	22.4			
White roof	2.1	423	0	-\$38	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.2	-6,004	0	-\$702	-\$5	n/a			
Glazing medium solar gain, metal frame	1.4	-8,289	0	-\$973	\$841	n/a			
Glazing low solar gain, metal frame	3.3	-11,715	0	-\$1,344	\$841	n/a			
Glazing high solar gain w/ argon, metal frame	0.1	-3,165	0	-\$261	\$503	n/a			
Glazing medium solar gain w/ argon, metal frame	1.5	-5,150	0	-\$547	\$1,349	n/a			
Glazing low solar gain w/ argon, metal frame	3.4	-8,410	0	-\$908	\$1,349	n/a			
Glazing high solar gain, improved metal frame	0	-1,411	0	-\$12	\$3,379	n/a			
Glazing low solar gain, improved metal frame	3.5	-6,793	0	-\$629	\$4,225	n/a			
Glazing high solar gain triple pane, metal frame	1.2	3,017	0	\$404	\$16,917	41.9			

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Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Glazing medium solar gain triple pane, metal frame	2.8	941	0	\$156	\$17,763	100+			
Glazing low solar gain triple pane, metal frame	4.7	-2,561	0	-\$221	\$17,763	n/a			
Gymnasium									
Wall R-24	0.3	2,857	0	\$444	\$2,762	6.2			x
Roof R-36	0.3	2,809	0	\$469	\$5,822	12.4	x	x	
Roof R-40	0.6	4,649	0	\$798	\$10,724	13.4			x
Roof R-50	1	8,114	0	\$1,371	\$22,980	16.8			
Roof R-60	1	10,303	0	\$1,740	\$35,236	20.3			
White roof	1.3	518	0	-\$3	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.3	-7,140	0	-\$1,189	-\$7	n/a			
Glazing medium solar gain, metal frame	2.1	-7,615	0	-\$1,313	\$1,098	n/a			
Glazing low solar gain, metal frame	5.2	-9,574	0	-\$1,581	\$1,098	n/a			
Glazing high solar gain w/ argon, metal frame	-0.1	-3,493	0	-\$544	\$656	n/a			
Glazing medium solar gain w/ argon, metal frame	2.3	-3,813	0	-\$643	\$1,760	n/a			
Glazing low solar gain w/ argon, metal frame	5.4	-5,450	0	-\$883	\$1,760	n/a			
Glazing high solar gain, improved metal frame	-0.1	-1,620	0	-\$247	\$4,410	n/a			
Glazing low solar gain, improved metal frame	5.5	-3,457	0	-\$595	\$5,515	n/a			
Glazing high solar gain triple pane, metal frame	1.7	5,096	0	\$706	\$22,079	31.3			
Glazing medium solar gain triple pane, metal frame	4.2	4,582	0	\$589	\$23,183	39.4			
Glazing low solar gain triple pane, metal frame	6.3	2,837	0	\$320	\$23,183	72.4			
Office									
Wall R-24	0.1	1,394	0	\$176	\$1,686	9.6			x
Roof R-36	0.1	2,299	0	\$302	\$5,420	17.9	x	x	
Roof R-40	0.2	3,740	0	\$554	\$9,985	18.0			x
Roof R-50	0.4	6,247	0	\$907	\$21,396	23.6			
Roof R-60	0.5	7,886	0	\$1,125	\$32,807	29.2			
White roof	0.7	-387	0	-\$299	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.2	-8,536	0	-\$1,067	-\$10	n/a			
Glazing medium solar gain, metal frame	1.4	-11,457	0	-\$1,630	\$1,584	n/a			
Glazing low solar gain, metal frame	3.3	-16,665	0	-\$1,827	\$1,584	n/a			
Glazing high solar gain w/ argon, metal frame	0.1	-4,438	0	-\$1,351	\$946	n/a			
Glazing medium solar gain w/ argon, metal frame	1.5	-6,902	0	-\$1,237	\$2,540	n/a			
Glazing low solar gain w/ argon, metal frame	3.3	-11,673	0	-\$2,438	\$2,540	n/a			
Glazing high solar gain, improved metal frame	0	-2,134	0	-\$1,103	\$6,364	n/a			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Glazing low solar gain, improved metal frame	3.4	-9,139	0	-\$1,692	\$7,957	n/a			
Glazing high solar gain triple pane, metal frame	1.2	4,412	0	\$672	\$31,857	47.4			
Glazing medium solar gain triple pane, metal frame	2.6	1,960	0	\$701	\$33,451	47.7			
Glazing low solar gain triple pane, metal frame	4.4	-3,110	0	-\$424	\$33,451	n/a			
Lobby/Common									
Wall R-24	0.1	1,500	0	\$233	\$1,730	7.4			x
Roof R-36	0.1	1,615	0	\$361	\$5,632	15.6	x	x	
Roof R-40	0.2	2,640	0	\$578	\$10,374	17.9			x
Roof R-50	0.4	4,349	0	\$933	\$22,230	23.8			
Roof R-60	0.6	5,454	0	\$1,078	\$34,085	31.6			
White roof	0.7	336	0	-\$12	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.2	-9,144	0	-\$1,378	-\$10	n/a			
Glazing medium solar gain, metal frame	1.4	-11,165	0	-\$1,652	\$1,625	n/a			
Glazing low solar gain, metal frame	3.3	-15,101	0	-\$2,161	\$1,625	n/a			
Glazing high solar gain w/ argon, metal frame	0.1	-4,625	0	-\$682	\$971	n/a			
Glazing medium solar gain w/ argon, metal frame	1.5	-6,172	0	-\$958	\$2,605	n/a			
Glazing low solar gain w/ argon, metal frame	3.4	-9,691	0	-\$1,389	\$2,605	n/a			
Glazing high solar gain, improved metal frame	0	-2,179	0	-\$328	\$6,528	n/a			
Glazing low solar gain, improved metal frame	3.4	-6,974	0	-\$977	\$8,163	n/a			
Glazing high solar gain triple pane, metal frame	1.2	5,440	0	\$813	\$32,680	40.2			
Glazing medium solar gain triple pane, metal frame	2.7	4,121	0	\$568	\$34,315	60.4			
Glazing low solar gain triple pane, metal frame	4.5	589	0	\$87	\$34,315	100+			
Play area									
Wall R-24	0.1	1,323	0	\$183	\$1,341	7.3			x
Roof R-36	0	770	0	\$108	\$1,373	12.7	x	x	
Roof R-40	0.1	1,278	0	\$176	\$2,529	14.4			x
Roof R-50	0.1	2,141	0	\$303	\$5,420	17.9			
Roof R-60	0.2	2,708	0	\$390	\$8,310	21.3			
White roof	0.2	-241	0	-\$31	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.1	-3,476	0	-\$520	-\$3	n/a			
Glazing medium solar gain, metal frame	0.6	-4,861	0	-\$690	\$533	n/a			
Glazing low solar gain, metal frame	1.3	-6,904	0	-\$904	\$533	n/a			
Glazing high solar gain w/ argon, metal frame	0	-1,842	0	-\$283	\$318	n/a			
Glazing medium solar gain w/ argon, metal frame	0.6	-3,034	0	-\$421	\$855	n/a			

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Glazing low solar gain w/ argon, metal frame	1.3	-5,020	0	-\$643	\$855	n/a			
Glazing high solar gain, improved metal frame	0	-844	0	-\$138	\$2,141	n/a			
Glazing low solar gain, improved metal frame	1.3	-4,041	0	-\$495	\$2,677	n/a			
Glazing high solar gain triple pane, metal frame	0.5	1,586	0	\$233	\$10,719	46.0			
Glazing medium solar gain triple pane, metal frame	1	379	0	\$88	\$11,255	100+			
Glazing low solar gain triple pane, metal frame	1.8	-1,664	0	-\$127	\$11,255	n/a			
Multipurpose rooms									
Wall R-24	0.1	1,570	0	\$237	\$1,796	7.6			x
Roof R-36	0.2	2,538	0	\$449	\$5,957	13.3	x	x	
Roof R-40	0.3	4,184	0	\$757	\$10,973	14.5			x
Roof R-50	0.5	6,960	0	\$1,318	\$23,514	17.8			
Roof R-60	0.6	8,671	0	\$1,619	\$36,054	22.3			
White roof	0.8	-253	0	-\$104	\$535	n/a	x	x	x
Glazing high solar gain, metal frame	-0.2	-9,736	0	-\$1,528	-\$10	n/a			
Glazing medium solar gain, metal frame	1.5	-12,799	0	-\$1,998	\$1,687	n/a			
Glazing low solar gain, metal frame	3.4	-18,220	0	-\$2,638	\$1,687	n/a			
Glazing high solar gain w/ argon, metal frame	0.1	-5,089	0	-\$744	\$1,008	n/a			
Glazing medium solar gain w/ argon, metal frame	1.6	-7,560	0	-\$1,185	\$2,705	n/a			
Glazing low solar gain w/ argon, metal frame	3.5	-12,532	0	-\$1,847	\$2,705	n/a			
Glazing high solar gain, improved metal frame	0	-2,422	0	-\$343	\$6,778	n/a			
Glazing low solar gain, improved metal frame	3.5	-9,709	0	-\$1,379	\$8,475	n/a			
Glazing high solar gain triple pane, metal frame	1.2	5,111	0	\$770	\$33,931	44.1			
Glazing medium solar gain triple pane, metal frame	2.7	2,626	0	\$362	\$35,628	98.4			
Glazing low solar gain triple pane, metal frame	4.3	-2,567	0	-\$269	\$35,628	n/a			
Mechanical/Utility									
Wall R-24	0	1,964	0	\$282	\$2,386	8.5			x
Roof R-36	0	868	0	\$119	\$1,853	15.6	x	x	
Roof R-40	0	1,433	0	\$201	\$3,413	17.0			x
Roof R-50	0	2,464	0	\$357	\$7,313	20.5			
Roof R-60	0	3,126	0	\$471	\$11,213	23.8			
Lighting									
Facility									
Exterior tradable site lighting reduced to 8.38 kW	0	3,227	0	\$385	\$1,567	4.1	x		
Exterior tradable site lighting reduced to 7.45 kW	0	6,454	0	\$765	\$3,134	4.1		x	
Exterior tradable site lighting reduced to 6.52 kW	0	9,681	0	\$1,146	\$4,701	4.1			x

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Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Exterior tradable site lighting reduced to 5.58 kW	0	12,910	0	\$1,530	\$6,267	4.1			
Exterior tradable site lighting reduced to 4.65 kW	0	16,136	0	\$1,915	\$7,834	4.1			
Exterior tradable site lighting reduced to 3.72 kW	0	19,364	0	\$2,293	\$9,401	4.1			
Exterior tradable site lighting reduced to 2.79 kW	0	22,591	0	\$2,676	\$10,968	4.1			
Exterior tradable site lighting reduced to 1.86 kW	0	25,818	0	\$3,062	\$12,535	4.1			
Exterior lighting, automatic daylight shutoff, 100% turndown	0	8,493	0	\$717	\$738	1.0	x	x	x
Natatorium									
Dimming daylighting control, 100% of daylightable area	0.8	1,480	0	\$121	\$0	0.0	x	x	x
Lighting power in Natatorium reduced to 0.68 W/ft²	1.3	5,456	0	\$473	\$1,480	3.1			
Lighting power in Natatorium reduced to 0.61 W/ft²	2.7	10,893	0	\$948	\$2,960	3.1			
Lighting power in Natatorium reduced to 0.53 W/ft²	4.1	16,270	0	\$1,415	\$4,346	3.1	x		
Lighting power in Natatorium reduced to 0.46 W/ft²	5.4	21,537	0	\$1,873	\$5,636	3.0		x	
Lighting power in Natatorium reduced to 0.38 W/ft²	6.8	26,788	0	\$2,329	\$6,831	2.9			x
Lighting power in Natatorium reduced to 0.30 W/ft²	8.1	32,074	0	\$2,793	\$7,931	2.8			
Lighting power in Natatorium reduced to 0.23 W/ft²	9.5	37,263	0	\$3,241	\$8,936	2.8			
Lighting power in Natatorium reduced to 0.15 W/ft²	10.8	42,374	0	\$3,684	\$9,846	2.7			
Lighting power in Natatorium reduced to 0.08 W/ft²	11.8	47,465	0	\$4,127	\$10,661	2.6			
High-end trim, 10% lighting power reduction	1.3	5,456	0	\$473	\$1,310	2.8			x
Fitness									
Dimming daylighting control, 100% of daylightable area	0.8	1,359	0	\$106	\$0	0.0	x	x	x
Lighting power in Fitness reduced to 0.65 W/ft²	1.3	4,943	0	\$396	\$1,480	3.7			
Lighting power in Fitness reduced to 0.58 W/ft²	2.7	9,814	0	\$787	\$2,960	3.8			
Lighting power in Fitness reduced to 0.50 W/ft²	4	14,641	0	\$1,380	\$4,346	3.1	x		
Lighting power in Fitness reduced to 0.43 W/ft²	5.3	19,431	0	\$1,771	\$5,636	3.2		x	
Lighting power in Fitness reduced to 0.36 W/ft²	6.6	24,168	0	\$2,155	\$6,831	3.2			x
Lighting power in Fitness reduced to 0.29 W/ft²	8	28,855	0	\$2,532	\$7,931	3.1			
Lighting power in Fitness reduced to 0.22 W/ft²	9.3	33,465	0	\$2,916	\$8,936	3.1			
Lighting power in Fitness reduced to 0.14 W/ft²	10.6	38,038	0	\$3,232	\$9,846	3.0			
High-end trim, 10% lighting power reduction	1.3	4,943	0	\$396	\$1,310	3.3			x
Gymnasium									
Dimming daylighting control, 100% of daylightable area	0.7	1,431	0	\$116	\$0	0.0	x	x	x

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Gymnasium reduced to 0.68 W/ft²	1	3,391	0	\$273	\$1,021	3.7			
Lighting power in Gymnasium reduced to 0.61 W/ft²	1.9	6,800	0	\$541	\$2,043	3.8			
Lighting power in Gymnasium reduced to 0.53 W/ft²	2.7	10,153	0	\$813	\$2,999	3.7	x		
Lighting power in Gymnasium reduced to 0.46 W/ft²	3.6	13,534	0	\$1,089	\$3,889	3.6		x	
Lighting power in Gymnasium reduced to 0.38 W/ft²	4.6	16,785	0	\$1,349	\$4,714	3.5			x
Lighting power in Gymnasium reduced to 0.30 W/ft²	5.6	20,236	0	\$1,624	\$5,473	3.4			
Lighting power in Gymnasium reduced to 0.23 W/ft²	6.5	23,583	0	\$1,877	\$6,166	3.3			
Lighting power in Gymnasium reduced to 0.15 W/ft²	7.5	26,942	0	\$2,145	\$6,794	3.2			
Lighting power in Gymnasium reduced to 0.08 W/ft²	8.5	30,138	0	\$2,404	\$7,357	3.1			
High-end trim, 10% lighting power reduction	1	3,391	0	\$273	\$904	3.3			x
Office									
Dimming daylighting control, 100% of daylightable area	0.8	1,274	0	-\$111	\$0	n/a	x	x	x
Occupancy sensor controls, 75% of space	0.2	649	0	-\$163	\$540	n/a			
Occupancy sensor controls, 100% of space	0.4	1,270	0	-\$115	\$1,206	n/a	x	x	x
Vacancy sensor controls, 75% of space	0.4	1,075	0	-\$130	\$540	n/a			
Vacancy sensor controls, 100% of space	0.7	1,834	0	-\$71	\$1,206	n/a			
Lighting power in Office reduced to 0.58 W/ft²	0.5	1,034	0	-\$136	\$951	n/a			
Lighting power in Office reduced to 0.51 W/ft²	0.9	2,043	0	-\$58	\$1,902	n/a			
Lighting power in Office reduced to 0.45 W/ft²	1.4	3,047	0	\$19	\$2,792	100+	x		
Lighting power in Office reduced to 0.38 W/ft²	1.9	4,013	0	\$96	\$3,621	37.7		x	
Lighting power in Office reduced to 0.32 W/ft²	2.3	4,981	0	\$176	\$4,389	24.9			x
Lighting power in Office reduced to 0.26 W/ft²	2.8	5,930	0	\$248	\$5,096	20.5			
Lighting power in Office reduced to 0.19 W/ft²	3.3	6,877	0	-\$148	\$5,741	n/a			
Lighting power in Office reduced to 0.13 W/ft²	3.7	7,772	0	-\$80	\$6,326	n/a			
High-end trim, 10% lighting power reduction	0.5	1,034	0	-\$136	\$841	n/a			x
Lobby/Common									
Dimming daylighting control, 100% of daylightable area	0.9	2,334	0	\$189	\$0	0.0	x	x	x
Occupancy sensor controls, 75% of space	0.1	1,818	0	\$126	\$561	4.5			
Occupancy sensor controls, 100% of space	0.3	3,538	0	\$241	\$1,253	5.2	x	x	x
Lighting power in Lobby/Common reduced to 0.58 W/ft²	0.6	2,755	0	\$243	\$988	4.1			



Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Lobby/Common reduced to 0.51 W/ft <sup>2</sup>	1.2	5,484	0	\$485	\$1,976	4.1			
Lighting power in Lobby/Common reduced to 0.45 W/ft <sup>2</sup>	1.7	8,174	0	\$712	\$2,901	4.1	x		
Lighting power in Lobby/Common reduced to 0.38 W/ft <sup>2</sup>	2.3	10,827	0	\$950	\$3,762	4.0		x	
Lighting power in Lobby/Common reduced to 0.32 W/ft <sup>2</sup>	2.9	13,423	0	\$1,178	\$4,560	3.9			x
Lighting power in Lobby/Common reduced to 0.26 W/ft <sup>2</sup>	3.5	15,946	0	\$1,442	\$5,294	3.7			
Lighting power in Lobby/Common reduced to 0.19 W/ft <sup>2</sup>	4.1	18,389	0	\$1,651	\$5,965	3.6			
Lighting power in Lobby/Common reduced to 0.13 W/ft <sup>2</sup>	4.6	20,766	0	\$1,862	\$6,572	3.5			
High-end trim, 10% lighting power reduction	0.6	2,755	0	\$243	\$874	3.6			x
Play area									
Dimming daylighting control, 100% of daylightable area	0.3	610	0	\$52	\$0	0.0	x	x	x
Lighting power in Play area reduced to 0.68 W/ft <sup>2</sup>	0.1	334	0	\$30	\$241	8.0			
Lighting power in Play area reduced to 0.61 W/ft <sup>2</sup>	0.2	693	0	\$62	\$482	7.8			
Lighting power in Play area reduced to 0.53 W/ft <sup>2</sup>	0.3	1,049	0	\$93	\$707	7.6	x		
Lighting power in Play area reduced to 0.46 W/ft <sup>2</sup>	0.4	1,392	0	\$120	\$917	7.6		x	
Lighting power in Play area reduced to 0.38 W/ft <sup>2</sup>	0.5	1,707	0	\$154	\$1,112	7.2			x
Lighting power in Play area reduced to 0.30 W/ft <sup>2</sup>	0.6	2,029	0	\$180	\$1,291	7.2			
Lighting power in Play area reduced to 0.23 W/ft <sup>2</sup>	0.7	2,367	0	\$211	\$1,454	6.9			
Lighting power in Play area reduced to 0.15 W/ft <sup>2</sup>	0.8	2,682	0	\$240	\$1,602	6.7			
Lighting power in Play area reduced to 0.08 W/ft <sup>2</sup>	0.9	2,975	0	\$256	\$1,735	6.8			
High-end trim, 10% lighting power reduction	0.1	334	0	\$30	\$213	7.1			x
Multipurpose rooms									
Dimming daylighting control, 100% of daylightable area	0.8	1,652	0	\$127	\$0	0.0	x	x	x
Occupancy sensor controls, 75% of space	0.2	842	0	\$69	\$593	8.6			
Occupancy sensor controls, 100% of space	0.4	1,652	0	\$130	\$1,325	10.2	x	x	x
Lighting power in Multipurpose rooms reduced to 0.58 W/ft <sup>2</sup>	0.5	1,420	0	\$104	\$1,045	10.0			
Lighting power in Multipurpose rooms reduced to 0.51 W/ft <sup>2</sup>	1.1	2,819	0	\$215	\$2,090	9.7			
Lighting power in Multipurpose rooms reduced to 0.45 W/ft <sup>2</sup>	1.6	4,196	0	\$316	\$3,068	9.7	x		
Lighting power in Multipurpose rooms reduced to 0.38 W/ft <sup>2</sup>	2.1	5,537	0	\$420	\$3,979	9.5		x	

Strategy	Annual Savings				Incremental First Cost	Payback (yrs)	1 : Design Goals	2 : Design +	3 : Max. Potential
	Peak kW	kWh	Gas (Therm)	Energy Cost					
Lighting power in Multipurpose rooms reduced to 0.32 W/ft <sup>2</sup>	2.7	6,863	0	\$525	\$4,823	9.2			x
Lighting power in Multipurpose rooms reduced to 0.26 W/ft <sup>2</sup>	3.2	8,153	0	\$626	\$5,600	8.9			
Lighting power in Multipurpose rooms reduced to 0.19 W/ft <sup>2</sup>	3.7	9,421	0	\$719	\$6,310	8.8			
Lighting power in Multipurpose rooms reduced to 0.13 W/ft <sup>2</sup>	4.3	10,670	0	\$815	\$6,952	8.5			
High-end trim, 10% lighting power reduction	0.5	1,420	0	\$104	\$925	8.9			x
Mechanical/Utility									
Occupancy sensor controls, 25% of space	0	176	0	\$13	\$455	35.0			
Occupancy sensor controls, 50% of space	0.1	350	0	\$21	\$911	43.4			
Occupancy sensor controls, 75% of space	0.1	539	0	\$39	\$1,366	35.0			
Occupancy sensor controls, 100% of space	0.2	734	0	\$53	\$1,821	34.4	x	x	x
Vacancy sensor controls, 25% of space	0.1	208	0	\$16	\$455	28.5			
Vacancy sensor controls, 50% of space	0.1	433	0	\$31	\$911	29.4			
Vacancy sensor controls, 75% of space	0.2	657	0	\$50	\$1,366	27.3			
Vacancy sensor controls, 100% of space	0.2	863	0	\$60	\$1,821	30.4			
Lighting power in Mechanical/Utility reduced to 0.68 W/ft <sup>2</sup>	0.1	299	0	\$22	\$650	29.5			
Lighting power in Mechanical/Utility reduced to 0.60 W/ft <sup>2</sup>	0.1	583	0	\$43	\$1,300	30.2			
Lighting power in Mechanical/Utility reduced to 0.52 W/ft <sup>2</sup>	0.2	861	0	\$60	\$1,908	31.8	x		
Lighting power in Mechanical/Utility reduced to 0.45 W/ft <sup>2</sup>	0.3	1,177	0	\$103	\$2,475	24.0		x	
Lighting power in Mechanical/Utility reduced to 0.38 W/ft <sup>2</sup>	0.4	1,514	0	\$137	\$3,000	21.9			x
Lighting power in Mechanical/Utility reduced to 0.30 W/ft <sup>2</sup>	0.4	1,828	0	\$177	\$3,483	19.7			
High-end trim, 10% lighting power reduction	0.1	299	0	\$22	\$575	26.1			x
Plug/Process									
Facility									
Traction elevator, machine roomless	12.6	40,768	0	\$3,970	\$29,544	7.4	x	x	x
Service Water Heating									
Facility									
90% SWH efficiency	0	0	238	\$185	\$1,539	8.3			
95% SWH efficiency	0	0	314	\$244	\$2,331	9.6	x	x	x
Gas fired on-demand SWH	0	0	207	\$161	\$4,629	28.8			

## Appendix B. Key Model Definitions

### Core Definition

Space Asset Area	Type	Area (ft <sup>2</sup> )	Floors	Units	Arrangement	Flr/Flr Height (ft)
<u>Natatorium</u>	Gymnasium	19,970	1	n/a	Adjacent / Grade	20.0
<u>Fitness</u>	Fitness	19,970	1	n/a	Adjacent / Grade	12.0
<u>Gymnasium</u>	Gymnasium	13,780	1	n/a	Adjacent / Grade	20.0
<u>Office</u>	Office	12,830	1	n/a	Adjacent / Grade	12.0
<u>Mechanical/Utility</u>	Maintenance/Repair	8,770	2	n/a	Adjacent / Grade	12.0
<u>Lobby/Common</u>	Office	13,330	1	n/a	Adjacent / Grade	12.0
<u>Play area</u>	Gymnasium	3,250	1	n/a	Adjacent / Grade	20.0
<u>Multipurpose rooms</u>	Office	14,100	1	n/a	Adjacent / Grade	12.0

### Schedules

Space Asset Area	People Density (ft <sup>2</sup> /person)	Daily Use							Hours per Day			Core Use Start Time	Partial Day Max Use Fraction	Applicable Months
		S	M	T	W	T	F	S	Full	Partial	Fans			
<u>Natatorium</u>	33.0	●	●	●	●	●	●	●	17	15	24	5 am	1	12
<u>Fitness</u>	100.0	●	●	●	●	●	●	●	17	15	18	5 am	1	12
<u>Gymnasium</u>	33.0	●	●	●	●	●	●	●	17	15	18	5 am	1	12
<u>Office</u>	200.0	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12
<u>Mechanical/Utility</u>	n/a	●	●	●	●	●	●	●	9	4	16	8 am	0.25	12
<u>Lobby/Common</u>	200.0	●	●	●	●	●	●	●	17	15	18	5 am	1	12
<u>Play area</u>	33.0	●	●	●	●	●	●	●	12	10	18	8 am	1	12
<u>Multipurpose rooms</u>	200.0	●	●	●	●	●	●	●	9	5	16	8 am	0.8	12

- Full Use
- Partial Use
- No Use

## Thermostat

Space Asset Area	Heating Set Point (°F)		Cooling Set Point (°F)	
	<i>Occupied</i>	<i>Unoccupied</i>	<i>Occupied</i>	<i>Unoccupied</i>
<u>Natatorium</u>	80	80	80	80
<u>Fitness</u>	70	60	75	80
<u>Gymnasium</u>	70	60	75	85
<u>Office</u>	70	60	75	80
<u>Mechanical/Utility</u>	60	60	80	80
<u>Lobby/Common</u>	70	60	75	80
<u>Play area</u>	70	60	75	85
<u>Multipurpose rooms</u>	70	60	75	80

## Ventilation Requirements

Space Asset Area	Outside Air Per Person (ft <sup>3</sup> /min/person)	Outside Air Per Area (ft <sup>3</sup> /min/ft <sup>2</sup> )	Exhaust Flow Per Area (ft <sup>3</sup> /min/ft <sup>2</sup> )	Air Changes (ACH)	
				<i>Occupied</i>	<i>Unoccupied</i>
<u>Natatorium</u>	0.0	0.48	0.00	n/a	n/a
<u>Fitness</u>	20.0	0.06	0.00	n/a	n/a
<u>Gymnasium</u>	20.0	0.18	0.00	n/a	n/a
<u>Office</u>	5.0	0.06	0.00	n/a	n/a
<u>Mechanical/Utility</u>	0.0	0.00	1.50	n/a	n/a
<u>Lobby/Common</u>	5.0	0.06	0.00	n/a	n/a
<u>Play area</u>	20.0	0.18	0.00	n/a	n/a
<u>Multipurpose rooms</u>	5.0	0.06	0.00	n/a	n/a

## Other Loads

Space Asset Area	Equipment Power Density (W/ft <sup>2</sup> )	Process Load		Service Hot Water	
		Load (Btu/hr/ft <sup>2</sup> )	Fuel Source	Consumption Flow/person (gal/day/person)	Consumption Miscellaneous Flow (gal/day)
<u>Natorium</u>	0.50	29.07	Electric	0.3	0.0
<u>Fitness</u>	0.50	0.00	Gas	0.3	0.0
<u>Gymnasium</u>	0.50	0.00	Gas	0.3	0.0
<u>Office</u>	0.75	0.00	Gas	1.0	0.0
<u>Mechanical/Utility</u>	0.00	0.00	Gas	1.0	0.0
<u>Lobby/Common</u>	0.75	0.00	Gas	1.0	0.0
<u>Play area</u>	0.50	0.00	Gas	0.3	0.0
<u>Multipurpose rooms</u>	0.75	0.00	Gas	1.0	0.0

## Utility Rates

Fuel	Utility	Conversion factor	Rate
Electric	Xcel Energy	n/a	2025 - General Service Rate, A14
Gas	CenterPoint Energy	n/a	2025 - CenterPoint Gas

## Copies:

Attendees shown in **bold**.

Name	Company
<b>Leah Hughes</b>	<b>City of Bloomington</b>
<b>Dakota Kenyon</b>	<b>City of Bloomington</b>
Emma Struss	City of Bloomington
<b>Wade Cooper</b>	<b>Hammel, Green and Abrahamson, Inc.</b>
Matt Eiden	Hammel, Green and Abrahamson, Inc.
<b>Chad Eslinger</b>	<b>Hammel, Green and Abrahamson, Inc.</b>
Megan Gahlman	Hammel, Green and Abrahamson, Inc.
<b>Tim Guyette</b>	<b>Hammel, Green and Abrahamson, Inc.</b>
Amanda Henderson	Hammel, Green and Abrahamson, Inc.
Anastasia Jacklitch	Hammel, Green and Abrahamson, Inc.
<b>Julie Hagstrom</b>	<b>Hammel, Green and Abrahamson, Inc.</b>
Leah Wirgau	Hammel, Green and Abrahamson, Inc.
<b>Andy Zyskowski</b>	<b>Hammel, Green and Abrahamson, Inc.</b>
<b>Allison Decker</b>	<b>Xcel Energy</b>
<b>Adam Burr</b>	<b>Xcel Energy</b>
Grant Dhein	CenterPoint Energy
<b>Eddie Galindo</b>	<b>Willdan</b>
<b>Ken Weber</b>	<b>Willdan</b>

### For program information:

877-938-1588 or [weidt.energydesignassistance@willdan.com](mailto:weidt.energydesignassistance@willdan.com)

The background of the slide is a photograph of Normandale Lake. The water is calm, reflecting the sky and the surrounding green trees. In the foreground, a purple iris flower is in bloom, with its long green leaves extending upwards. The sky is filled with soft, white clouds.

# HGA

## **City of Bloomington**

### Community Health and Wellness Center

City Council Meeting - 50% DD: August 4, 2025



# AGENDA

---

1. Project Charter
2. Sustainability Update
3. Process Timeline
4. Design Update



# Project Charter

VISION

*A modern, inclusive facility serving recreation, fitness and health activities and community programs for residents of all ages and backgrounds throughout the region.*

GUIDING PRINCIPLES

- 1. Welcoming & Equitable space for all
- 2. Safe, Barrier Free and Equitable Access
- 3. Reflects & Celebrates the Diverse Community
- 4. Supports Community Public Health + Wellness
- 5. Layers of Local
- 6. Flexible, Functional and Collaborative Spaces
- 7. Facility has a Regional Draw
- 8. Fiscally + Operationally responsible ( 100% Cost Recovery)
- 9. Unique, iconic design

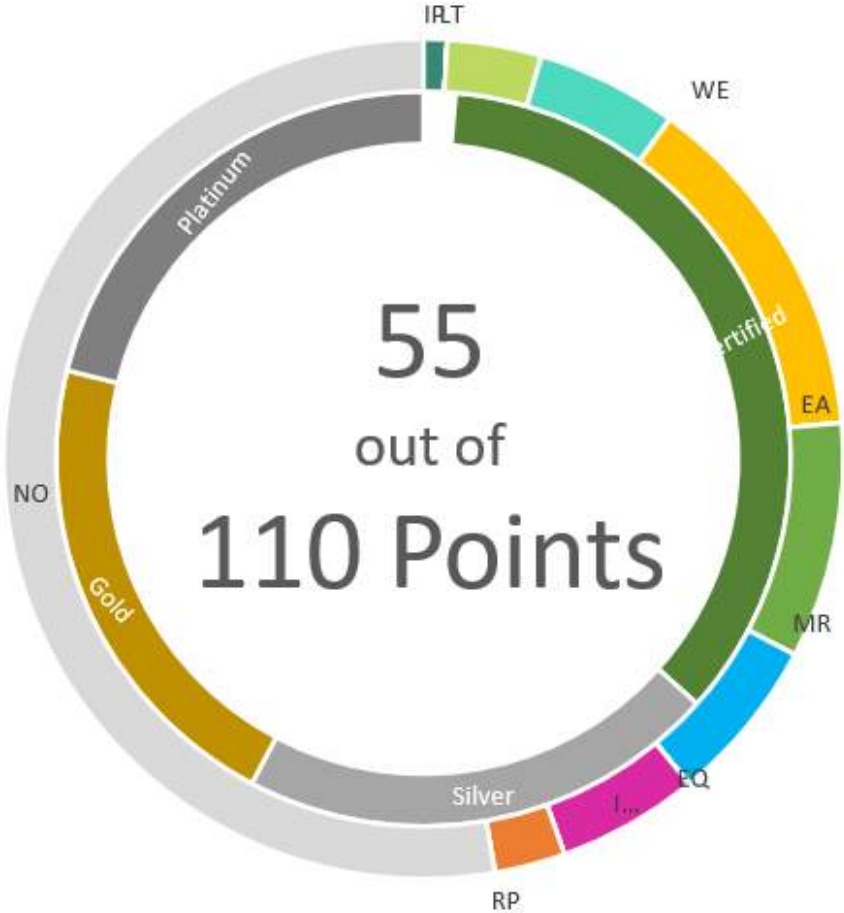
SCOPE/PROGRAM	PROJECT GOALS	SCHEDULE	BUDGET
<ul style="list-style-type: none"><li>• Aquatics</li><li>• Fitness</li><li>• Gymnasiums</li><li>• Program and Event Space</li><li>• Senior Programs</li><li>• Kids Club</li><li>• Indoor Play</li><li>• Public Health</li><li>• Community Center Admin</li><li>• Common Areas</li><li>• Building Support</li></ul>	<p><b>SUSTAINABILITY GOALS</b></p> <ul style="list-style-type: none"><li>1. Geothermal and Photovoltaics</li><li>2. LEED Certification</li></ul> <p><b>EQUITY GOALS</b></p> <ul style="list-style-type: none"><li>1. Inclusive Locker Rooms and Restrooms</li></ul>	<p>Programming/Concept May 2024 – Aug 2024</p> <p>Schematic Design Sept 2024 – Feb 2025</p> <p>Design Development (DD/GMP) Mar 2025– Aug 2025</p> <p>Construction Documents Sept 2025 – Dec 2026</p> <p>Construction Est. Q4 2025 – Q2 2027</p>	<p>Total Project Budget: \$101.8M</p> <p>Soft Costs (Professional Fees, Furniture, Equipment) : \$12M - \$14M</p> <p>Hard Costs (Demolition, New Construction, Permit Fees): \$82M - \$87M</p> <p>Project Contingencies and Escalation: \$6M - \$8M</p>

# Sustainability Update

# LEED Scorecard

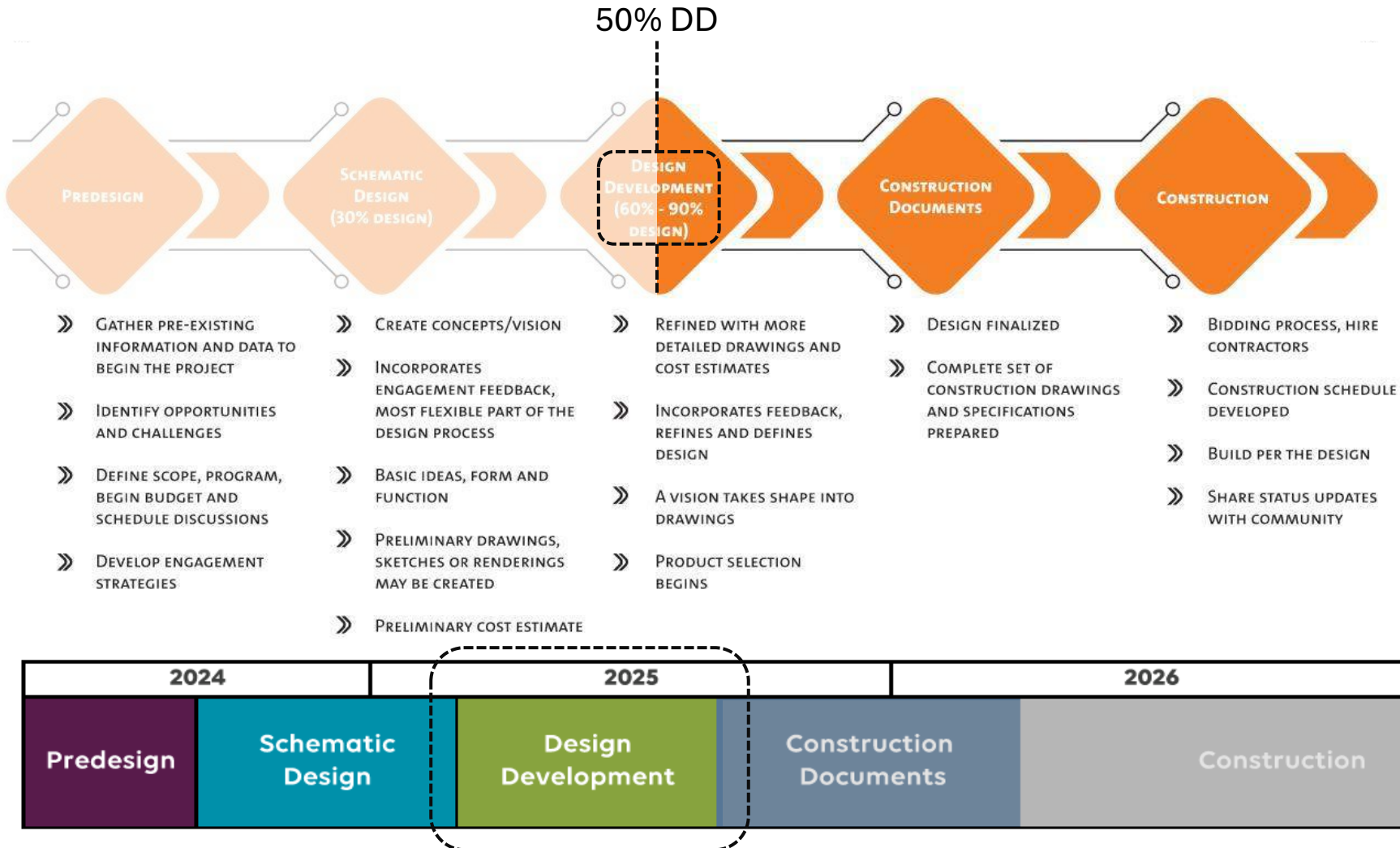
Credit Category	Projected possible Points	Total points in category
Integrative Process (IP)	1	1
Location + Transportation (LT)	2	16
Sustainable Sites (SS)	4	10
Water Efficiency (WE)	6	11
Energy + Atmosphere (EA)	15	33
Materials + Resources (MR)	10	13
Indoor Environmental Quality (EQ)	7	16
Innovation in Design (ID)	6	6
Regional Priority (RP)	4	4

\*Assumptions to note: 10 points were assumed for Optimized Energy Performance + 2 points for renewable energy to make an early guess at how the Geothermal and PV would support this project. Energy modeling would be needed to refine these numbers.



# Process Timeline

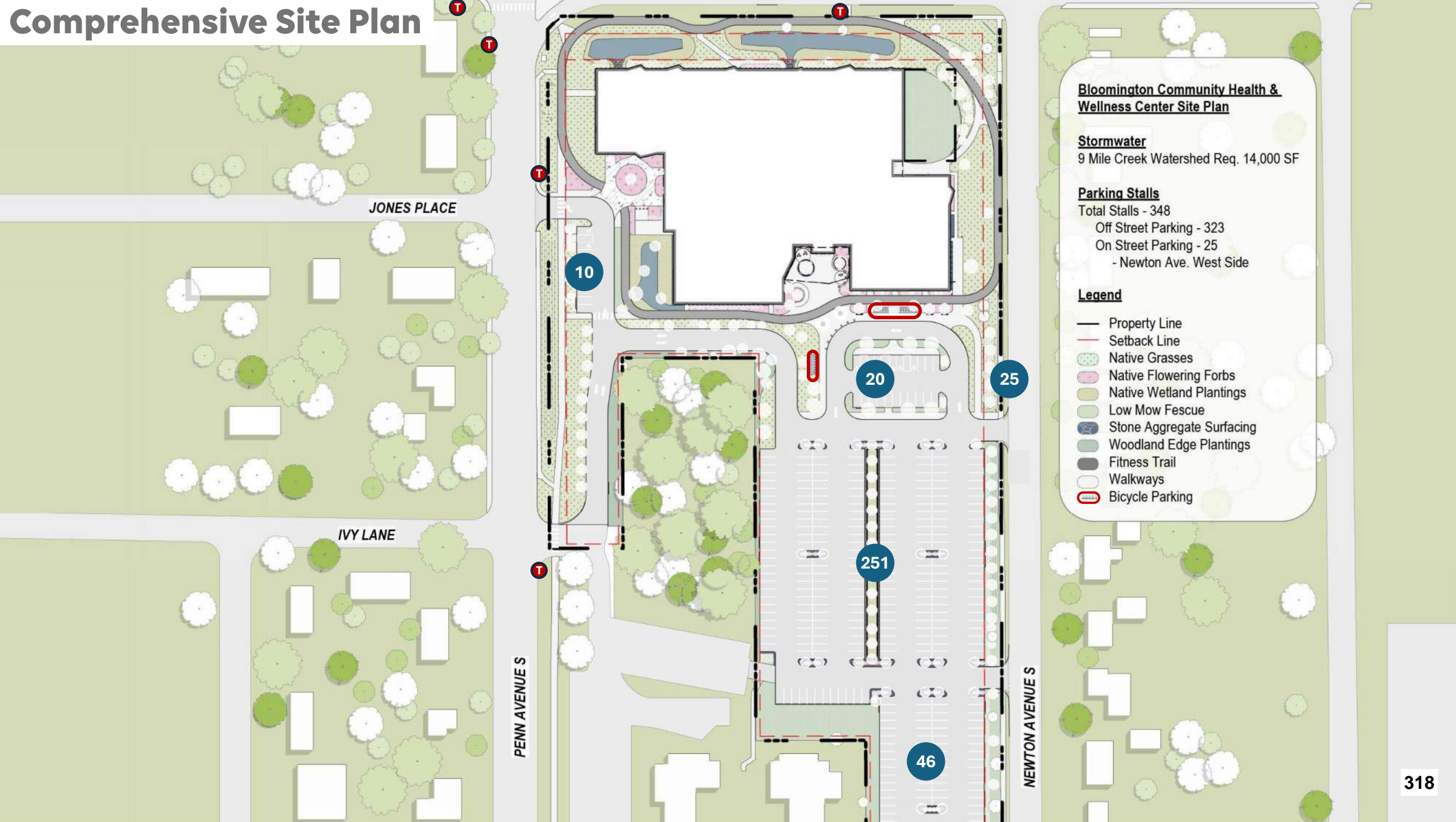
# PLANNING AND DESIGN PHASES





# Design Update

# Comprehensive Site Plan





# Enlarged Plan & Experiences



1 Green Parking



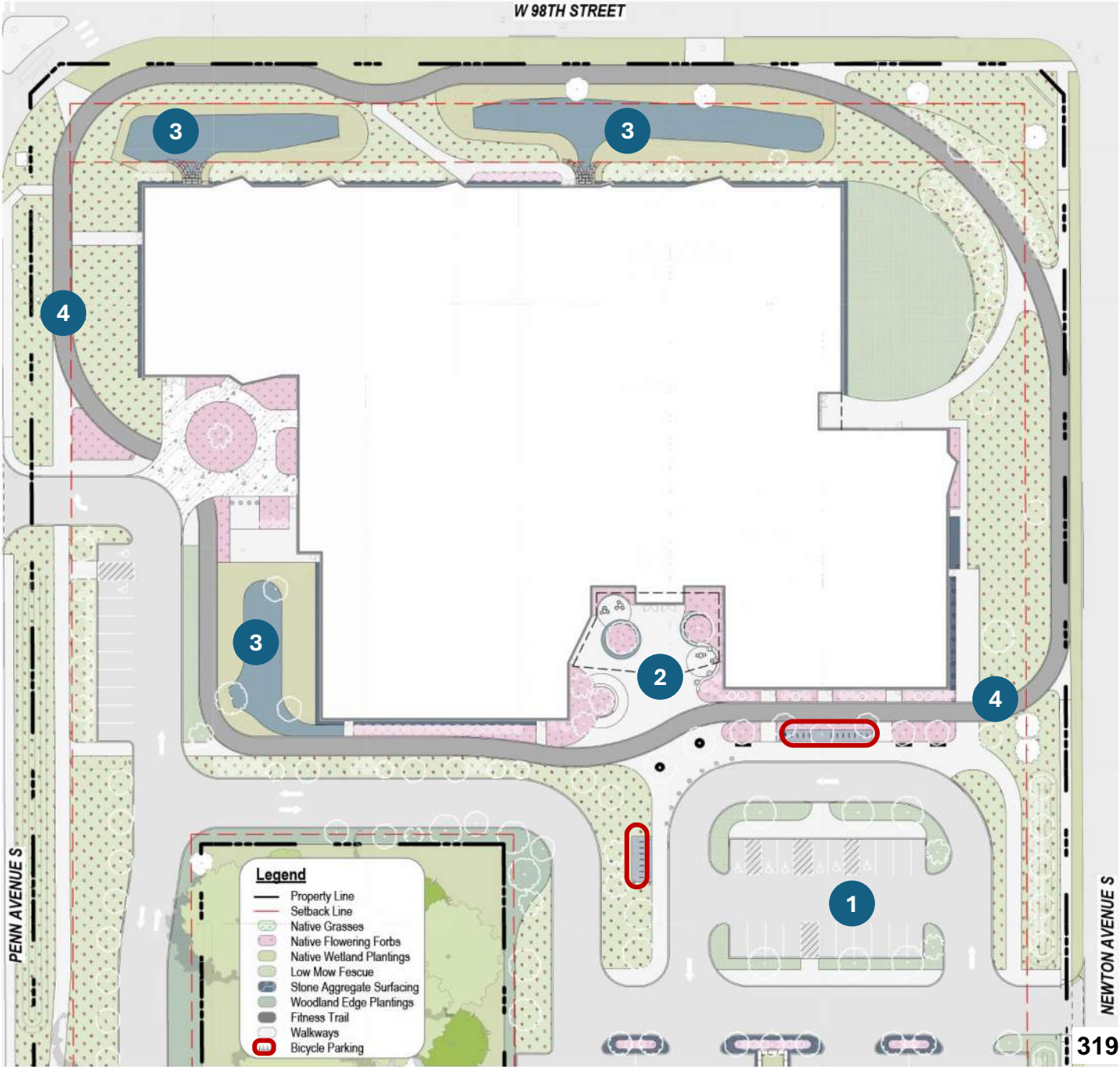
2 Entry Plaza



3 Stormwater Infiltration Basins



4 Fitness Trail Loop



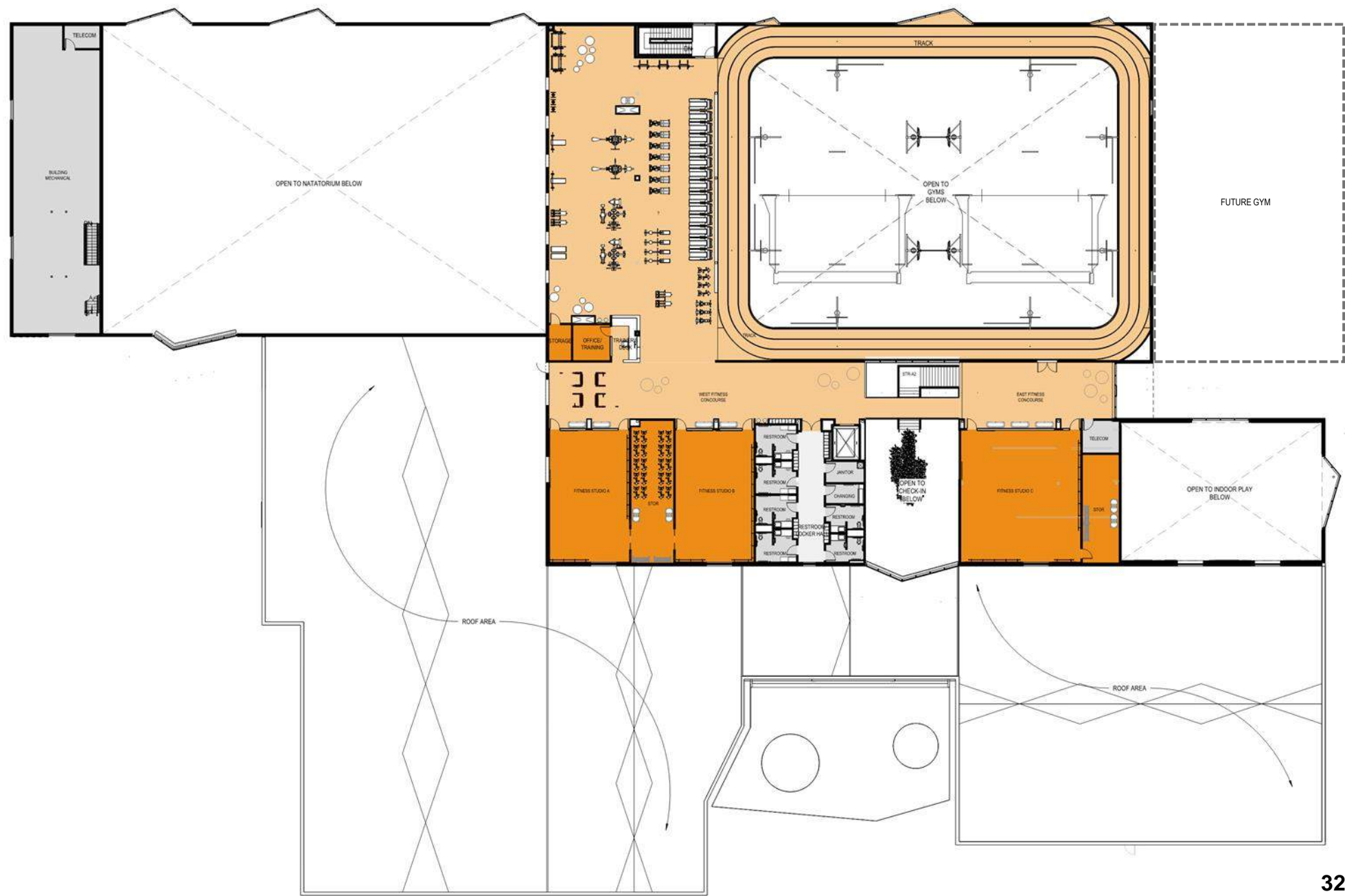


## FIRST FLOOR PLAN



# SECOND FLOOR PLAN

- FITNESS/CARDIO
- SUPPORT/MECHANICAL





# MATERIAL PALETTE – ELEMENTAL + REFINED



Textured precast



Wood



Glass - Light



Glass - Connection



Light + texture



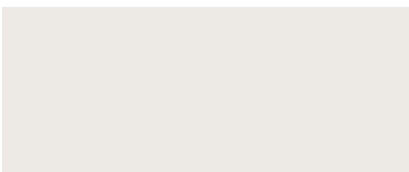
Native Landscape<sub>322</sub>



# INTERIOR MATERIAL PALETTE



Flooring



Accent Colors



Pattern



Wood



Acoustic elements



Texture





**98th + Newton – Looking SW**



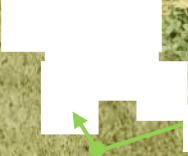


**98th + Penn – Looking SE**





**Main Entrance**







**Lobby + Check-in Desk**







**Multipurpose/Events**

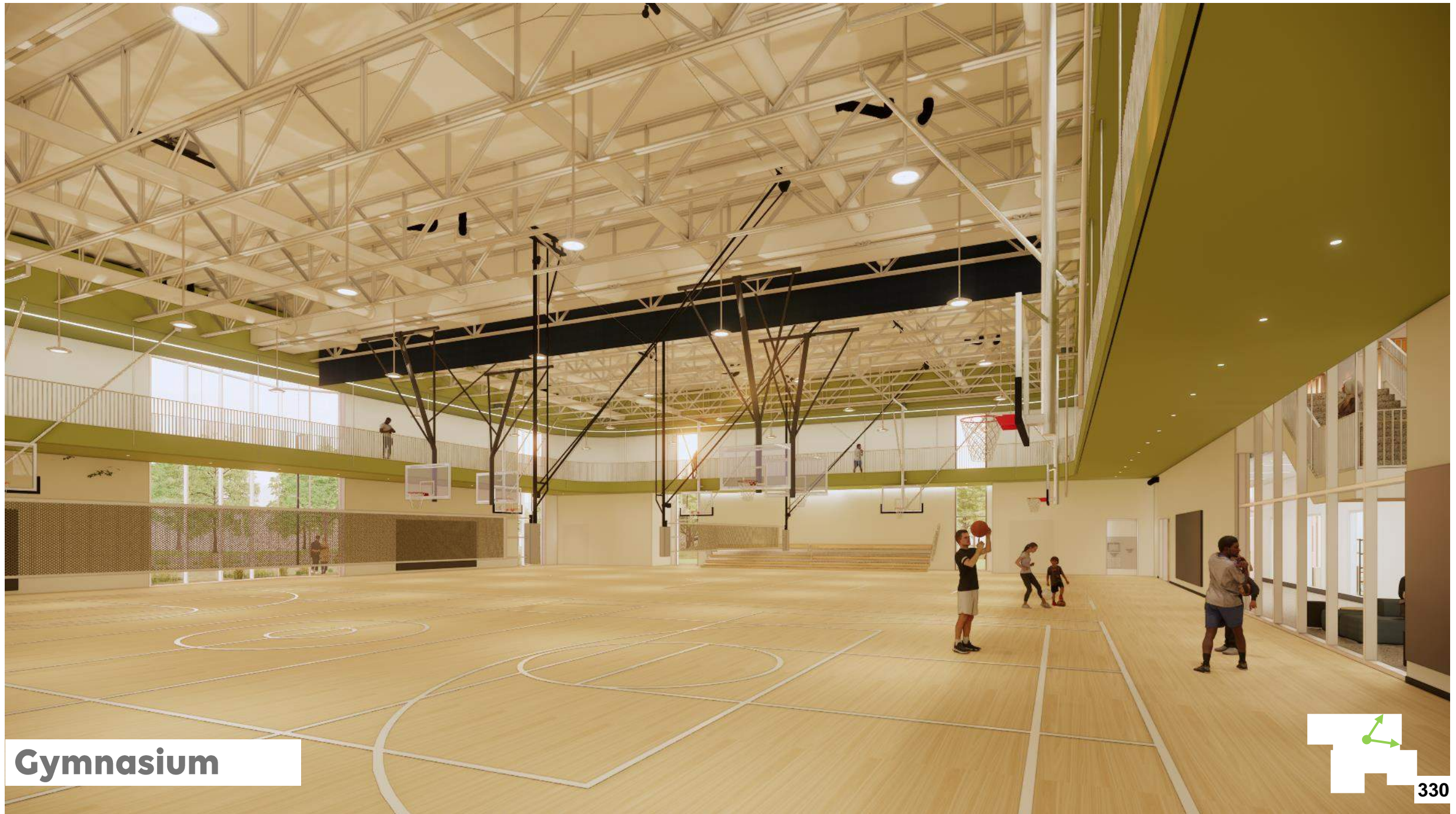




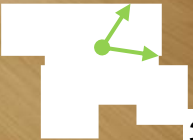


Gymnasium





**Gymnasium**







**Cardio/Fitness**







**Natatorium**



# Next Steps

# Next Steps

- **August**
  - City Council Update
  - Issue 100% Design Development (DD)
  - City Council Hearing
- **September**
  - Commence Construction Documents (CDs)
- **October**
  - Finalize GMP
  - Creekside Demolition
- **November**
  - Commence Construction



## Request for Council Action

Originator City Manager's Office	Item <b>5.2 City Council Policy &amp; Issue Update</b>
Agenda Section ORGANIZATIONAL BUSINESS	Date August 4, 2025

Requested Action:

Item created by: Priyanka Rai, City Manager's Office

Item presented by: City Manager Kathy Hedin

Description:

- Updates to Council by the City Manager
- Council issue identification





July 28, 2025

**City of Bloomington**

Attn: Mary Clare Mulcahy

Sent via email: [mmulcahy@bloomingtonmn.gov](mailto:mmulcahy@bloomingtonmn.gov)

**RE:            *LETTER OF INTENT TO SELL*  
                 9715 James Avenue South  
                 Bloomington, MN 55431**

Dear Mary Clare:

I am pleased to present, in response to your offer to purchase on 7/18/2025, the following Letter of Intent to Sell on behalf of FJM Merced Associates LP, who is prepared to close under the following terms and conditions. If the terms and conditions are acceptable, please sign below and initiate a Purchase Agreement for Seller's review.

- 1. PURCHASE PRICE:**                      \$4,900,000.00
- 2. PROPERTY DESCRIPTIONS:**                      A land parcel of approximately 2.12 acres including a building consisting of approximately 58,116SF described using the following PID number: 16-027-24-24-0029.
- 3. EARNEST MONEY:**                      Buyer will place \$100,000.00 earnest money (the "Earnest Money") for the property into an earnest money trust/escrow account. Earnest Money shall be delivered within five days of execution of the Purchase Agreement. Upon expiration of the due diligence period, the earnest money will be non-refundable.
- 4. TERMS OF PAYMENT:**                      Cash at closing.
- 5. CLOSING DATE:**                      The closing date ("Closing") is negotiable. However, it is understood it will be on or before thirty (30) days after the expiration of the due diligence period. Seller to have one (1) thirty (30) day option to extend closing date to accommodate Seller's potential tax deferred exchange, if required. If Seller exercises their option to extend the closing date, Seller to provide Buyer access to premises for use and/or operations if needed. Transaction to close in 2025.
- 6. CONVEYANCE:**                      Seller will convey the Property to Buyer by a limited warranty deed.



- 7. TITLE:** Seller shall provide a marketable fee simple title to Buyer.
- 8. INSPECTION PERIOD & CONTINGENCIES:** Buyer shall have thirty (30) days from mutual execution of a Purchase Agreement to satisfy or waive contingencies (due diligence).
- 9. MAINTENANCE:** Seller agrees that upon execution of this letter of intent that it shall maintain the Property in accordance with customary maintenance standards.
- 10. PRORATIONS, COST AND DEED TAXES:**
  - (a) All items customarily prorated in commercial transactions of this type shall be prorated at closing and shall, with regard to any such prorations as were based on estimate at closing, be reconciled after closing as soon as final information is available.
  - (b) Deed tax will be the sole responsibility of the Seller. Any pending Special Assessments on the property at the time of closing will be paid by Seller. Title search and commitment costs shall be paid by Seller and any title insurance premiums shall be paid by Buyer. Survey costs, if any, shall be paid by Buyer. Title company's closing fees for the purchase-sale escrow closing shall be split equally between Buyer and Seller.
- 11. BROKERAGE:** Tom Sullivan of Colliers International MN, LLC, represents the Seller, FJM Merced Associates LP. Buyer is not represented by a broker in this transaction.
- 12. GOOD FAITH NEGOTIATIONS:** Seller agrees that it shall negotiate in good faith with Buyer exclusively for a period of fifteen (15) calendar days from the date of acceptance of this Letter of Intent with a view to entering into a mutually acceptable, binding and enforceable Purchase Agreement consistent with the terms hereof and containing mutually agreed representations, warranties, covenants and conditions appropriate for the purchase.





If this letter of intent is acceptable, please acknowledge approval by signing in the space provided below and faxing or emailing the signed counterpart to me. This letter is intended only as an expression of the status of negotiations, and is not intended to be, contractually binding on either party, except for the "Good Faith Negotiations" section above and which shall be binding for the good faith negotiation period noted therein. This letter, including the terms herein and the good faith negotiation period, will not be effective until approved by the City Council of the City of Bloomington. Buyer will prepare and submit to Seller a draft Purchase Agreement embodying the terms hereof promptly after execution of this Letter of Intent.

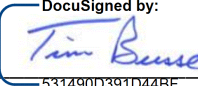
Sincerely,

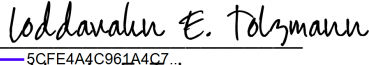
Tom Sullivan  
Colliers

# **AGREED AND ACCEPTED:**


## **BUYER:**

**City of Bloomington**

July 29, 2025  
Date  
DocuSigned by:  
By:   
531490D391D44BF...  
Tim Busse  
Its: Mayor

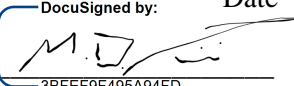
Signed by:  
By:   
5CFE4A4C961A4C7...  
Loddavahn E. Tolzmann  
Its: Interim City Manager

Reviewed and approved by the Acting City Attorney

DocuSigned by:  
  
E5A344992F95448...  
Peter Zuniga

## **SELLER:**

**FJM Merced Associates LP**

July 28, 2025  
Date  
DocuSigned by:  
By:   
3BFEF9F495A94FD...  
Its: Authorized Signatory