



PLEASE SILENCE ALL ELECTRONIC COMMUNICATION DEVICES. THANK YOU.

NOTICE OF POSSIBLE QUORUM OF THE CITY OF BUCKEYE PLANNING AND ZONING COMMISSION OR OTHER COUNCIL APPOINTED BOARD: PLEASE NOTE THAT THERE MAY BE A QUORUM PRESENT BUT THERE WILL BE NO VOTING TAKING PLACE BY THE CITY PLANNING AND ZONING COMMISSION OR OTHER COUNCIL APPOINTED BOARD AT THIS MEETING.

**CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
FEBRUARY 22, 2022
AGENDA**

**City Council Chambers
530 E. Monroe Ave.
Buckeye, AZ 85326
Live stream available via YouTube
6:00 PM**

Accessibility for all persons with disabilities will be provided upon request. Please telephone your accommodation request (623) 349-6911, 72 hours in advance if you need a sign language interpreter or alternate materials for a visual or hearing impairment.

Voting Members will either attend in person or by telephone conference call or video presentation. Items listed may be considered in any order

IMPORTANT INFORMATION REGARDING PUBLIC PARTICIPATION:

This meeting will be open to the public. Adherence to COVID-19 safety measures are recommended. If you would like to make a public comment, either in person or remotely, please review the information on the City's website and complete and submit the comment form found here: <https://www.buckeyeaz.gov/government/city-clerk/meeting-agendas-minutes/meetings-agendas-minutes>

At Large	District 1	District 2	District 3	District 4	District 5	District 6
Ted Burton <i>Vice Chair</i>	Alan Ladd	Preston Hundley	Deanna Kupcik <i>Chair</i>	Anthony DiMascio	Ed Sumner	Nick Hudec
Charles Hester <i>(Alternate)</i>	Rebecca Puppe <i>(Alternate)</i>	Jennie Ragsdale <i>(Alternate)</i>	Darwin Meighen <i>(Alternate)</i>	Douglas McDonald <i>(Alternate)</i>	Larry Draves <i>(Alternate)</i>	Sebastian Trupiano <i>(Alternate)</i>
<i>Council Liaison:</i> Craig Heustis						

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

2. MINUTES

2.A [Approval of minutes from the February 8, 2022 Planning and Zoning Commission regular meeting.](#)

Staff Liaison: Keri Hernandez, Management Assistant, khernandez@buckeyeaz.gov (623) 349-6211

3. REGULAR AGENDA

3.A [State Route 85 \(SR85\) Corridor - GPA \(PLZU-22-00001\)](#) For discussion only; no action required.

Staff Liaison: Ken Galica, Principal Planner, kgalica@buckeyeaz.gov, (623) 349-6214

3.B [Crimson Canyon - Site Plan \(PLZSP-21-00061\)](#) Recommendation to approve a 323,840 square foot industrial building one half mile west of the southwest corner of Miller Road and Durango Street.

Staff Liaison: Randy Proch, AICP, Senior Planner, rproch@buckeyeaz.gov, (623) 349-6293

4. COMMENTS FROM THE PUBLIC

Any members of the audience may comment on non-agenda items. However, State Open Meeting Law does not permit the Commission to discuss items not specifically on the agenda. The Commission may direct inquiries to City staff.

Action Required: None

5. DEPUTY DIRECTOR OF PLANNING REPORT AND SUMMARY OF CURRENT EVENTS

6. PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS

Any regular or alternate Commissioner or Council Liaison may present a brief summary on current events

Action Required: None; there will be no discussion, deliberation, proposals, or legal action.

7. ADJOURNMENT

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 02/22/22	AGENDA ITEM: 2.A. Approval of Minutes
DATE PREPARED: 02/17/22	DISTRICT NO.:
STAFF LIAISON: Keri Hernandez, Management Assistant, khernandez@buckeyeaz.gov (623) 349-6211	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Minutes

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members)
Approval of minutes from the February 8, 2022 Planning and Zoning Commission regular meeting.

SUMMARY

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[2.08.2022.PZC.MinutesDRAFT.pdf](#)



CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
FEBRUARY 8, 2022

City of Buckeye

530 East Monroe Avenue

Buckeye, AZ 85326

****Audio recording of this meeting is available on YouTube**

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

Chairperson Kupcik called the meeting to order at 6:00 p.m.

Members present: Vice Chairperson Ted Burton, Commissioner Alan Ladd, Chairperson Deanna Kupcik, Commissioner Anthony DiMascio, Commissioner Nick Hudec, Alternate Rebecca Puppe, Alternate Jennie Ragsdale seated for District 2, Alternate Darwin Meighen, Alternate Larry Draves seated for District 5, Alternate Sebastian Trupiano.

Members absent: Commissioner Preston Hundley, Commissioner Ed Sumner, Alternate Charles Hester, Alternate Douglas McDonald

Staff present: Deputy Director of Planning Adam Copeland, Principal Planner Hobart Wingard, Management Assistant Keri Hernandez, City Attorney Shiela Schmidt.

2. MINUTES

2A. APPROVAL OF MINUTES FROM THE JANUARY 25, 2022 PLANNING AND ZONING COMMISSION REGULAR MEETING.

A motion was made by Commissioner Hudec and seconded by Commissioner Ladd to approve minutes as presented. Approval 7-0. Motion carried.

3. REGULAR AGENDA

3A. FIVE BELOW – COMPREHENSIVE SIGN PLAN (PLZDR-21-00083)

Principal Planner Hobart Wingard presented and was available to answer questions from the Commission.

Applicant Damiane indicated that all conditions have been agreed upon.

Commissioner Hudec inquired how the proposed signage compares to the surrounding area signage.

Mr. Wingard informed the Commission that a large amount of industrial with a retail component, is not planned for Miller Road.

Alternate Draves inquired of the size of the sign requested and why it is significantly larger than what the city code exceptions allow.

Damien indicated that the owner feels that the size of the proposed sign is appropriate for the size of the existing building.

Deputy Director of Planning Adam Copeland informed the Commission that a comprehensive sign plan is developed to maintain uniformity in signage, and in this particular case, to indicate a retail component with the industrial area.

Vice Chair Burton spoke of his concerns with potential future signage of the same size for other commercial in the city, and asked if there is possibility of sign size reduction.

APEX Sign Group representative Tracey Diehl spoke of her concerns with the opposition of the sign presented and requested the board to table until further discussion with Five Below can take place.

Council Liaison Heustis spoke of his concern with allowing the height of the proposed sign and going against the city guidelines set in place.

Chairperson Kupcik asked if this sign would be illuminated around the clock, and what the sign height is of those along the I-10 on Watson Road. Ms. Diehl indicated that the sign would comply in accordance with city ordinance. Mr. Copeland informed the Commission that the signs in question along Watson Road and Miller Road have gone through a Comprehensive Sign Plan and vary in range from 15-20 feet, and the pylon signs visible from the freeway extend up to almost 80 feet. Mr. Copeland informed the Commission that this particular sign is different from what the city has seen in the past, being an industrial building with a retail component.

A motion was made by Alternate Draves and seconded by Vice Chairperson Burton to table the item. Approval to table 7-0. Motion carried.

4. COMMENTS FROM THE PUBLIC

None.

5. DEPUTY DIRECTOR OF PLANNING REPORT AND SUMMARY OF CURRENT EVENTS

Adam Copeland presented a report on development activity in the city.

6. PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS

Commissioner Hudec requested to have the City Traffic Engineer present in the near future, to inform the public and Commission on problematic traffic issues and circulation throughout the city. Mr. Hudec announced the upcoming Hopefest that supports first responders.

Alternate Trupiano spoke of his concern with problematic traffic and roadways throughout the city. Commissioner Ladd commended a new business in the downtown area geared toward family activities and games.

Chairperson Kupcik reminded the Commission that the Veteran's Lift-Up would be taking place on February 26, 2022 at Odyssey School.

7. ADJOURNMENT

A motion was made by Vice Chairperson Burton and seconded by Alternate Ragsdale to adjourn at 6:55 p.m. Motion carried.

Deanna Kupcik, Chairperson

ATTEST:

Keri Hernandez, Management Assistant

I hereby certify that the foregoing is a true and correct copy of the Planning and Zoning Commission Regular Meeting held on the 8th day of February 2022. I further certify that a quorum was present.

Keri Hernandez, Management Assistant

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 02/22/22	AGENDA ITEM: 3.A. Introduction to City-initiated Major General Plan Amendment (GPA) for State Route 85 (SR85) corridor - PLZU-22-00001
DATE PREPARED: 02/17/22	DISTRICT NO.: District 1
STAFF LIAISON: Ken Galica, Principal Planner, kgalica@buckeyeaz.gov, (623) 349-6214	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Public Meeting / Non Consent - New Business

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members) State Route 85 (SR85) Corridor - GPA (PLZU-22-00001) For discussion only; no action required.

RELEVANT GOALS:

GOAL 3: A Well-Planned Urban Community

ADDITIONAL RELEVANT GOALS:

GOAL 2: Enhanced Economic Well-Being and Vitality

SUMMARY

PROJECT DESCRIPTION:

The City of Buckeye Development Services Department has initiated Application PLZU-22-00001, an application for a Major General Plan Amendment concerning approximately 2,648.9 acres in the vicinity of State Route 85 (SR85). Two non-contiguous areas are subject to the proposed application, as illustrated on the attached map exhibits. The northern area is bounded by Broadway Road on the north, the 263rd Avenue alignment on the east, Baseline Road on the south, and Turner Road on the west; the southern area is bounded by MC85 on the north, Rooks Road on the east, Hazen Road on the south, and SR85 on the west. Properties subject to the request are owned by 34 different entities, are a mix of land that has been incorporated and unincorporated land under jurisdiction of Maricopa County, and feature multiple different zoning designations.

The present Imagine Buckeye General Plan 2040 Land Use Map designations for the properties subject to the Major GPA are as follows:

- Approximately 2,118.8 acres are designated Neighborhood. The Neighborhood designation is applied to areas that are expected to develop with a broad range of residential types and densities, including single-family attached, single-family detached, and multi-family homes. Other land uses that support and contribute to the livability of neighborhoods, such as neighborhood scaled shops, parks, recreational facilities, religious institutions, offices, and educational uses are also permitted in the Neighborhood designation.
- Approximately 530.1 acres of land are designated Business Commerce (BC). The BC category denotes areas with access to major streets and transit opportunities that are reserved for development of community and regional commercial, professional office, and business park

uses.

The proposal will amend the Imagine Buckeye General Plan 2040 Land Use Map, changing the land use designation of the entire 2,648.9 acres to Employment. The Employment designation denotes areas that are intended to develop with light industrial and business parks uses that contribute to the local and regional economies; industrial uses are to be buffered and/or separated from existing or planned residential uses. With approval of the request, properties in the corridor would be eligible, through separate processes, to annex (if needed) and rezone to districts that would support future development of the corridor with light industrial and commerce park type uses with a character most similar to that of the Loop 303 corridor in the City of Goodyear.

In addition to the map revision described above, the proposed City-initiated Major General Plan Amendment will revise the definition of the Employment designation contained on Page 2-14 of the General Plan 2040. The proposed text, provided as an attachment to this notice, further emphasizes and strengthens the City's expectation that any industrial development that is located within one-quarter (1/4) mile of existing and/or planned residential uses will incorporate design measures intended to minimize impacts on residents and neighborhoods. The proposed text amendment will apply citywide.

FUTURE ACTION:

The request is considered a Major General Plan Amendment because it involves more than 160 acres. The process for this Major General Plan Amendment includes the following:

- A 60-day review period during which the Planning and Zoning Commission, City Council, surrounding jurisdictions, school districts, and relevant State and County agencies can review the request and provide initial feedback that can be incorporated into the proposal.
- A neighborhood meeting at which time all interested persons may learn about the proposal, ask questions of the applicant or staff, and/or comment on the request. The date, time, and location of the neighborhood meeting is yet to be determined.
- Introductory work sessions with the Planning and Zoning Commission, scheduled for February 22, 2022, and the City Council, scheduled for April 5, 2022.
- Two public hearings held by the Planning and Zoning Commission, who will then make a recommendation to the City Council. The first of these two hearings will take place at a to-be-determined off-site location as required by state statute; the second hearing will take place in the City Council Chambers. The dates and times of the future Planning and Zoning Commission meetings are tentatively scheduled for April 26, 2022 and May 10, 2022.
- One public hearing held by City Council to occur in the City Council Chambers. The date and time of the future City Council meeting tentatively scheduled for May 17, 2022. Two-thirds (2/3) majority vote of the Council is required for approval.

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[SR85 Corridor Major GPA - 60 Day Notice Memo to PZ.pdf](#)

[SR85 Corridor Major GPA - Existing & Proposed Land Use Maps.pdf](#)

[SR85 Corridor Major GPA - Existing & Proposed Employment Land Use Definition.pdf](#)



DATE: February 22, 2022

TO: Planning and Zoning Commission

FROM: Ken Galica, Principal Planner

THROUGH: Adam Copeland, Deputy Director of Planning

SUBJECT: SR85 Corridor Major General Plan Amendment – Application PLZU-22-00001

This memorandum serves as notification of the 60 day review period for General Plan Amendment Application PL-19-0054 pursuant to Section 9-461.06.C of the Arizona Revised Statutes.

The City of Buckeye Development Services Department has initiated Application PLZU-22-00001, an application for a Major General Plan Amendment concerning approximately 2,648.9 acres in the vicinity of State Route 85 (SR85). Two non-contiguous areas are subject to the proposed application, as illustrated on the attached map exhibits. The northern area is bounded by Broadway Road on the north, the 263rd Avenue alignment on the east, Baseline Road on the south, and Turner Road on the west; the southern area is bounded by MC85 on the north, Rooks Road on the east, Hazen Road on the south, and SR85 on the west. Properties subject to the request are owned by 34 different entities, are a mix of land that has been incorporated and unincorporated land under jurisdiction of Maricopa County, and feature multiple different zoning designations.

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- Approximately 530.1 acres of land are designated Business Commerce (BC). The BC category denotes areas with access to major streets and transit opportunities that are reserved for development of community and regional commercial, professional office, and business park uses.

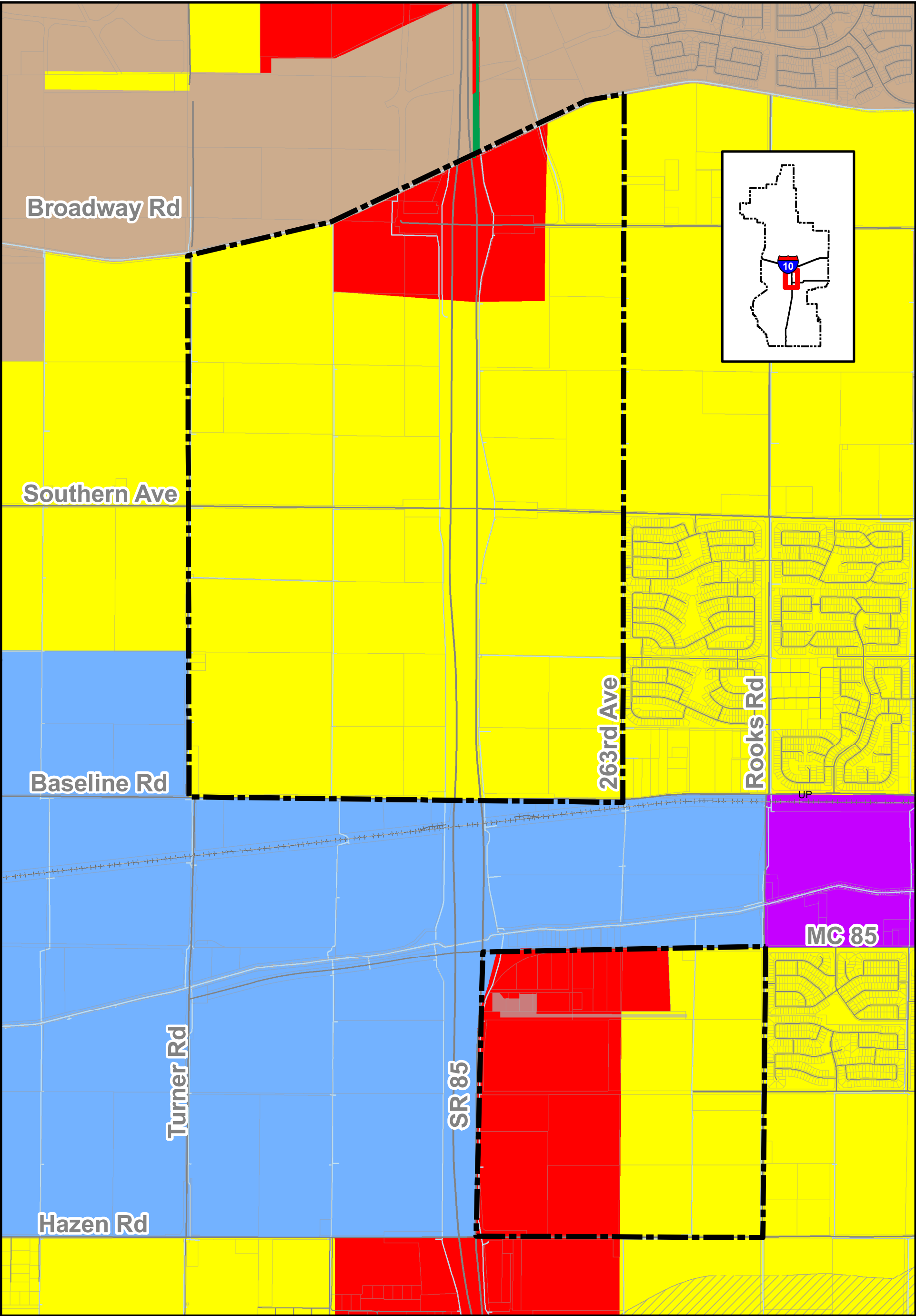
The proposal will amend the Imagine Buckeye General Plan 2040 Land Use Map, changing the land use designation of the entire 2,648.9 acres to Employment. The Employment designation denotes areas that are intended to develop with light industrial and business parks uses that contribute to the local and regional economies; industrial uses are to be buffered and/or separated from existing or planned residential uses. With approval of the request, properties in the corridor would be eligible, through separate processes, to annex (if needed) and rezone to districts that would support future development of the corridor with light industrial and commerce park type uses with a character most similar to that of the Loop 303 corridor in the City of Goodyear.

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- A neighborhood meeting at which time all interested persons may learn about the proposal, ask questions of the applicant or staff, and/or comment on the request. The date, time, and location of the neighborhood meeting is yet to be determined.
- Introductory work sessions with the Planning and Zoning Commission, scheduled for February 22, 2022, and the City Council, scheduled for April 5, 2022.
- Two public hearings held by the Planning and Zoning Commission, who will then make a recommendation to the City Council. The first of these two hearings will take place at a to-be-determined off-site location as required by state statute; the second hearing will take place in the City Council Chambers. The dates and times of the future Planning and Zoning Commission meetings are tentatively scheduled for April 26, 2022 and May 10, 2022.
- One public hearing held by City Council to occur in the City Council Chambers. The date and time of the future City Council meeting tentatively scheduled for May 17, 2022. Two-thirds (2/3) majority vote of the Council is required for approval.

Enclosure: Existing and Proposed General Plan Land Use Map Exhibits
Existing and Proposed General Plan Text (Excerpt of Employment land use definition)

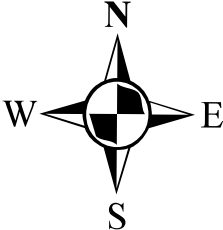


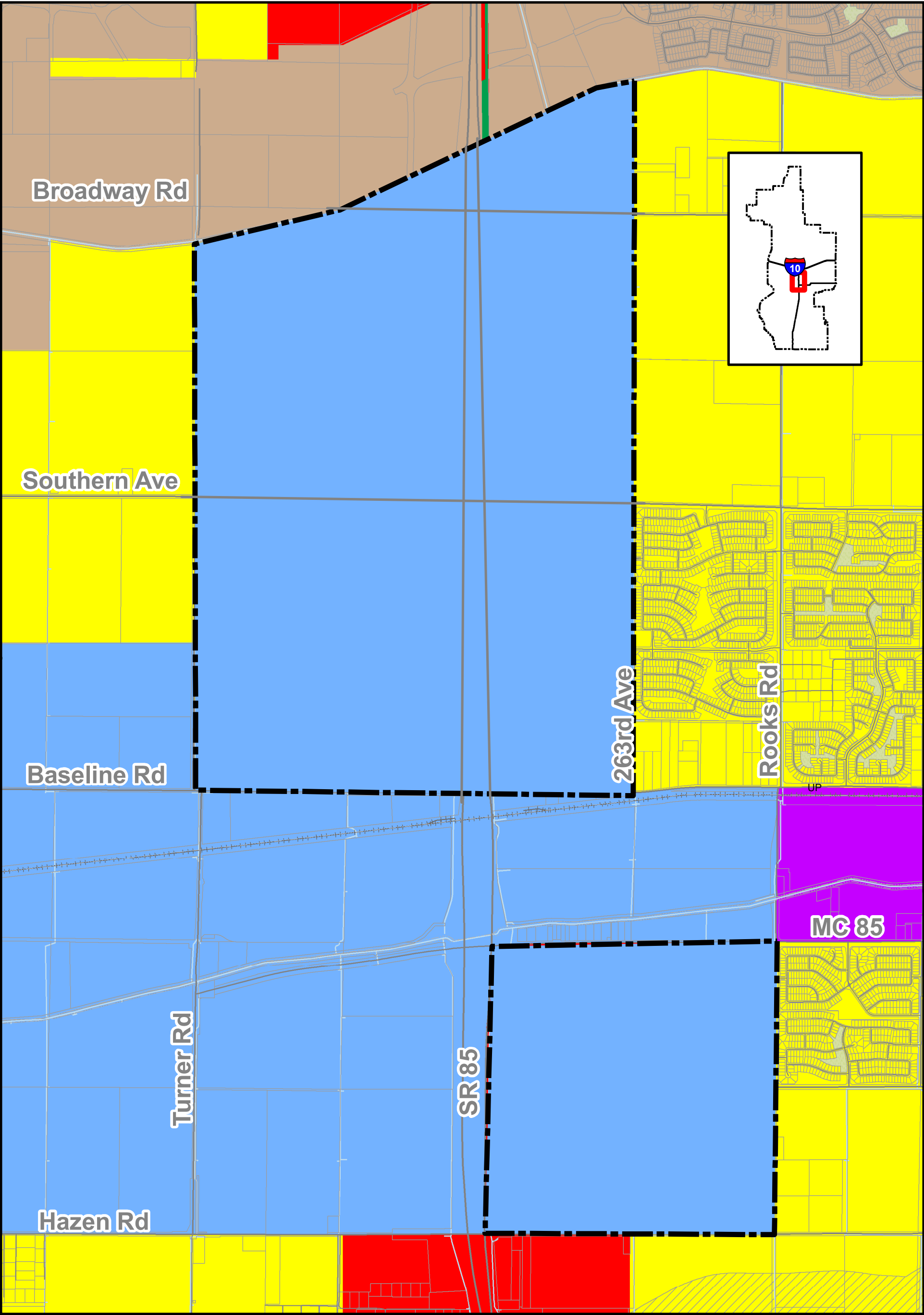


BUCKEYE, AZ

General Plan Existing Land Use

	Amendment Area		Neighborhood
	Activity Center		Open Space
	Business Commerce		Master Planned Community
	Employment		



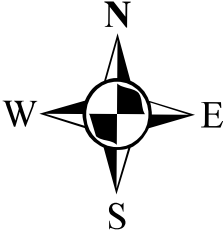




BUCKEYE, AZ

General Plan Proposed Land Use

 Amendment Area	 Neighborhood
 Activity Center	 Open Space
 Business Commerce	 Master Planned Community
 Employment	



EXISTING EMPLOYMENT LAND USE DEFINITION

Employment	E	Employment denotes areas of development that have a focus on employment opportunities that contribute to the overall local and regional economy. This may include industrial uses, such as warehouses and manufacturing facilities, as well as business parks. Industrial uses should be buffered and / or separated from existing or planned residential uses. Planned Area Developments (PAD) within a larger center to accommodate ancillary business services and eating and retail establishments may also be appropriate in this land use designation. Uses within the Employment designation should have vehicular access to major arterials. Zoning districts consistent with this land use designation are: I-1, I-2, BP. *Employment designations closer than 1/2 mile to the Neighborhood designation will be limited to I-1, BP, and PO.
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PROPOSED EMPLOYMENT LAND USE DEFINITION

Employment	E	Employment denotes areas of development that have a focus on employment opportunities that contribute to the overall local and regional economy. This may include industrial uses, such as warehouses and manufacturing facilities, as well as business parks. Industrial uses should be buffered and/or separated from existing or planned residential uses. Planned Area Developments (PAD) within a larger center to accommodate ancillary business services and eating and retail establishments may also be appropriate in this land use designation. Uses within the Employment designation should have vehicular access to major arterials. Underlying zoning districts consistent with this land use designation are: 1-1, I-2, BP, and PO. Employment Transition Area Property featuring an Employment land use within a quarter mile of a Neighborhood land use is considered the Employment Transition Area (ETA). Development within the ETA is intended to develop in accordance with the Employment designation, but with added emphasis on minimizing impacts to nearby existing and/or future residential uses by presenting an upscale, business park-like appearance from the perspective of adjacent arterial streets, parkways, and freeways. Development within this designation is expected to inwardly orient outdoor storage and/or service areas or, if not feasible, fully screen and buffer those areas from the perspective of adjacent streets. Every effort should be made to minimize impacts from heavy truck traffic on adjoining neighborhoods (existing or planned) by designing collector street or on-site circulation systems to limit usage of adjacent arterial streets, parkways, or freeways and strategically locating access points to reduce conflicts with routine neighborhood traffic. Application of a Planned Area Development (PAD) or Community Master Plan (CMP) overlay may be required for properties with this designation to establish development standards, performance standards, and/or design criteria to ensure the goals within the ETA are met. Underlying zoning districts consistent with this land use designation are: 1-1, BP, and PO, though certain primarily indoor I-2 uses such as heavy manufacturing may be considered as part of the required Planned Area Development (PAD) or Community Master Plan (CMP) if appropriate design measures and performance criteria are incorporated.
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CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 02/22/22	AGENDA ITEM: 3.B. Crimson Canyon Site Plan (PLZSP-21-00061)
DATE PREPARED: 02/17/22	DISTRICT NO.: 3
STAFF LIAISON: Randy Proch, AICP, Senior Planner, rproch@buckeyeaz.gov, (623) 349-6293	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Public Meeting / Non Consent - New Business

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members) Crimson Canyon - Site Plan (PLZSP-21-00061) Recommendation to approve a 323,840 square foot industrial building one half mile west of the southwest corner of Miller Road and Durango Street.

RELEVANT GOALS:

GOAL 2: Enhanced Economic Well-Being and Vitality

ADDITIONAL RELEVANT GOALS:

GOAL 3: A Well-Planned Urban Community

SUMMARY

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[PLZSP-21-00061 Crimson Canyon Site Plan - Staff Report.docx](#)

1. [PLZSP-21-00061 Crimson Canyon Vicinity Map.pdf](#)

2. [PLZSP-21-00061 Crimson Canyon Zoning Map.pdf](#)

3. [PLZSP-21-00061 Crimson Canyon Site Plan and Elevations.pdf](#)

4. [PLZSP-21-00061 Crimson Canyon Landscape Plan.pdf](#)

5. [PLZSP-21-00061 Crimson Canyon Correspondence.pdf](#)



SITE PLAN

Report to the Planning and Zoning Commission

CASE NUMBER: PLZSP-21-00061
TITLE: Crimson Canyon
MEETING DATE: February 22, 2022

Applicant/Owner: Danny Macias, LGE Design Group
Request: A Site Plan for a 323,840 industrial building
District: District 3
Location: One half mile west of the southwest corner of Miller Road and Durango Street
Site size: 21.6 acres
Public input: Input received
Recommendation: Approve with conditions

PROJECT DESCRIPTION

1. The applicant, Danny Macias with LGE Design Group, is requesting a Site Plan approval for the project known as Crimson Canyon, located on a 21.6-acre site approximately one half mile west of the southwest corner of Miller Road and Durango Street. The project will include one 323,840 square foot industrial building sited in the middle of the property, surrounded by truck parking on the west and east sides, customer and employee parking on the north side, and landscape and retention on the south and west side as a buffer to the adjacent residential community.

AREA CONTEXT

2. The subject property is located approximately one half mile west of the southwest corner of Miller Road and Durango Street, as shown in Attachment 1. The property is rectangular, and located between the WestPark community to the west and south, and the Buckeye Elementary School District offices and bus parking facility to the east. Across Durango Street to the north, is Empire Rental, a contracting yard, as notated in Table 1 below.

Table 1: Existing Land Use, General Plan Designation, and Zoning District

	LAND USE	GENERAL PLAN	ZONING
Subject Property	Vacant	Business Commerce	General Commerce (GC)
North	Empire Rental	Business Commerce	General Commerce (GC)
South	WestPark community	Master Planned Community	Planned Community (PC)
East	Buckeye Elementary School District Offices	Neighborhood	General Commerce (GC)
West	WestPark community	Master Planned Community	Planned Community (PC)

PUBLIC PARTICIPATION

3. The applicant has advertised in accordance with Section 8 of the Development Code via mailed notice to those property owners within 300 feet of the subject site. The required notifications are further notated in Table 2 below.
4. In addition, while not required, a virtual Neighborhood Meeting was held in accordance with Section 8.2.2. of the Buckeye Development Code. The meeting was well attended by approximately eight residents. The comments are summarized in the Analysis section below, which includes additional feedback received after the meeting date.

Table 2: Public Notice

Notification Element	Date
Notice of Application Mailing to Property Owners within 300 feet	10/26/2021
Virtual Neighborhood Meeting Notice	11/11/2021
Virtual Neighborhood Meeting	11/30/2021

BACKGROUND

5. 2000: Annexation & Zoned General Commerce (GC) District: Ord. 12-00; Approved 4/4/2000

ANALYSIS

Development Code

6. The subject property is zoned General Commerce (GC), as shown on Attachment 2, which is in line with the General Plan designation of Business Commerce. The proposed site meets all development standards, including building height, required parking and landscape improvements, and architectural detailing.

Circulation

7. The Site Plan, as shown on Attachment 3, contains two access points along Durango Street. These locations work harmoniously with the adjacent Empire Rentals site to the north and Buckeye Elementary School District (BESD) site to the east, which each contain respective driveways in the area. An additional emergency access gate is located in the southeast portion of the site, which provides appropriate fire protection for the proposed site and BESD property to the east. No access points will connect to the adjacent WestPark community to the west and south of the site.

Site Design

8. The site includes one freestanding industrial building in the center of the property, with employee and guest parking located on the north side, which fronts Durango Street. The façade of the building extends beyond the dock bay doors on both ends, and along with landscape and wall improvements, helps screen the loading area. The site contains a

perimeter block wall for security and screening purposes. A sightline exhibit is included on page 4 of Attachment 3.

9. As shown on Attachment 4, the area adjacent to the WestPark community on the west and south side contains a bulk of the landscape improvements in order to provide additional buffering and screening to the adjacent use. The south side additionally includes a tiered wall system with inaccessible rip-rap (large rocks) to discourage any trespassing concerns.

Infrastructure

10. Water and sewer are provided by the City of Buckeye and to be constructed by the developer as per the terms of the water and sewer reports, adhering to the latest City of Buckeye design standards and conditions.
11. The site contains a water line traversing through the site that connects Durango Street to the WestPark community. The proposal will ensure proper easement and accessibility for maintenance and repair concerns.
12. The development will construct the half-street and associated turn lanes along the Durango Street frontage.

Public Comments

13. A number of comments from the adjacent resident and WestPark HOA have been received regarding the proposal, which have been included as shown on Attachment 5. The community of WestPark has experienced OHV (Off-Highway Vehicle) use along their open space tract, which abuts the Crimson Canyon southern property line. The applicant has provided several updates and possible solutions to the HOA to help deter the issue from continuing. Due to the change in finished grade and utility lines traversing the site from Durango Street to the adjacent WestPark community, the proposal did not place the perimeter wall along the shared property line. Therefore, the existing elevation grade outside the perimeter wall and WestPark community are the same. As discussed above, the use of rip-rap will help mitigate any potential unwelcomed access. At this time, the applicant and HOA continue to correspond regarding additional options between the two private property owners. The proposal has met all required Development Code requirements and additional dialog between the two sides would be outside the purview of this review and approval process.

RECOMMENDATION

14. Staff recommends the Planning and Zoning Commission motion for approval with conditions a. – ii. of PLZSP-21-00061 for the following reasons:

- Conformance with General Plan
 - Conformance with Development Code
 - No outstanding issues for reviewing departments (Engineering, Fire, Public Works, Community Services, Police, Water Resources, and Development Services)
 - All outstanding neighborhood concerns have been mitigated to the extent possible
- a. Development of the property shall be in general conformance to the Site Plan entitled, “PLZSP-21-00061 Crimson Canyon Site Plan and Elevations”, consisting of nine (9) pages, dated December 21, 2021, and stamped received December 22, 2021.
 - b. Development of the site shall be in general conformance with the Landscape Plan entitled “PLZSP-21-00061 Crimson Canyon Landscape Plan”, consisting of one (1) page, dated November 22, 2021, and stamped received December 22, 2021.
 - c. Site Plan approval is valid for a period of two (2) years, in accordance with the Development Code. All requests for time extensions must be in writing to the Director prior to the expiration.
 - d. The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
 - e. Prior to issuance of first construction permit, final landscaping and irrigation plans, including all site lighting improvements, shall be reviewed and approved by the City of Buckeye.
 - f. The Property Owner/Developer shall submit for review and approval a complete package of construction drawings consisting of, but not limited to, paving, storm drain, grading, drainage, erosion & sediment control, water, sewer, landscaping and all associated design reports per the requirements set forth in the Engineering Design Standards (EDS).
 - g. All streets, sidewalks, and other common areas, shall be sufficiently illuminated to ensure the safety and security of persons and property.
 - h. The Property Owner/Developer shall submit an electronic CAD and GIS file with full construction documents of the development to the City Engineer upon final approval in order to maintain current street records and assist in emergency dispatch and response.

- i. The Site Plan, conceptual utility plan, and conceptual grading & drainage plans were reviewed to a conceptual plan level of detail only. Construction level comments will be forthcoming at the time of construction drawing submittal.
- j. Developer shall be responsible for the operation and maintenance of the parking lot.
- k. At the time of improvement plan submittal, the Property Owner/Developer shall provide a comprehensive Drainage Master Plan or Report, which addresses all on-site and off-site drainage requirements and issues. The Drainage Master Plan shall also identify the method by which existing 100-year floodplains will be mitigated.
- l. Drainage report shall address first flush requirements per Flood Control District Drainage Policies and Standards for Maricopa County.
- m. The drainage design shall comply with City of Buckeye Engineering Standards and either adequately retain, route through, or route around the site any pre-existing upstream offsite flows in a manner such that it is consistent with the historical pattern of flow.
- n. All drywells installed must meet the requirements set forth in EDS DM500 6.4.
- o. No water easement shall be located within the inside of the property. The water line within the property boundary shall remain private.
- p. A second connection is required to the public water system (other than Durango) for redundancy. As shown on the plan, the connection to the Westpark subdivision is the closest alternative to meet this requirement. Per the current adopted fire code, the looping criteria for your on-site fireline requires two points of connection to public water system separated by no less than $\frac{1}{2}$ the diagonal of the most extreme measurement of the property.
- q. Isolation valve shall be installed between the two connections on the water main located on Durango St. meeting fire code requirements.
- r. This subdivision is subject to a Street Light Improvement District (SLID) in accordance with City of Buckeye Ordinance 43-05. The SLID shall be established prior to the recordation of the first final civil permit as determined in the SLID guidelines and submitted with the first final civil permit or before.
- s. All landscaped areas within the public rights of way, whether to be maintained by the City of Buckeye or if delegated to the adjacent property owner, homeowners' association or other property maintenance association, shall be designed and sealed by a landscape architect licensed by the Arizona Board of Technical Registration. (The above described MID requirement ensures protection of the city in case maintenance of the ROW landscaping is not kept up or is abandoned by the responsible owner.) The City Public Works Department shall review all irrigation plans for material selection only; therefore, the landscape architect shall coordinate with the Public Works Department early in the design to ensure the most efficient means of landscape irrigation that will

reduce both long term maintenance costs and keep watering to the absolute minimum required for healthy growth of landscaping along the roadways of the City of Buckeye.

- t. Artificial or synthetic turf shall be allowed on all surfaces where turf can be used. No individual or association may impose private covenants, conditions, restrictions, deed clauses or other agreements between parties which prevent individuals from utilizing artificial or synthetic turf as an alternative to any landscaping where turf can be used. The quality of the artificial or synthetic turf may be subject to the requirements of individuals or associations.
- u. No new natural turf shall be installed in a public right-of-way or median. Areas with up to 10,000 square feet of turf within a public right-of-way at gateways, entrances to major communities, or special landscaping designs approved by the city's development services department are exempt from the restrictions of this stipulation.
- v. Shrubbery in the right of way shall not obstruct any regulatory signage or sight distance triangle as defined in the Engineering Development Standards; therefore, shall be trimmed to less than 2'-0".
- w. Landscaping within the public-right-of-way will require:
 - 1. All landscaped areas, except those intentionally maintained with native plants, shall include an automatic irrigation system.
 - 2. All native plant landscaping plans shall include an establishment maintenance plan that ensures long term growth of all plantings.
 - 3. Establishment maintenance plan shall be sealed by a registered Landscape Architect.
 - 4. Water-efficient systems (e.g., drip, mini-spray, bubbler-type, or similar drip systems) shall be used whenever feasible. Low-flow sprinkler heads with matched precipitation rates shall be used when spray or rotor-type heads are specified for watering shrubs and ground cover areas.
 - 5. Multi-program weather sensing controllers with separated valves and circuits shall be used when the project contains more than one type of landscape treatment (e.g., lawn, ground cover, shrub, tree areas), or a variety of solar aspects.
 - 6. Soil moisture-sensing devices and rain sensors shall be used on all projects within public rights of way and in landscape tracts. The use of satellite based controllers is encouraged.
 - 7. Root barriers shall be designed and incorporated for all trees that are in the public right of way to ensure vertical root growth and avoid adjacent curb, sidewalk or pavement upheaval due to tree roots.
 - 8. Linear Root barriers shall be used along public improvements that are only on one side of a tree.

9. Surround Root barriers shall be used when a tree is within the sidewalk or within a median.
 10. Tree canopies extending into the right of way shall be trimmed to the following minimum standards: 18'-0" over any public roadway, 7'-0" over any public sidewalk.
- x. All trash shall be collected through a City of Buckeye licensed trash hauler, including construction debris. Trash enclosures shall be in accordance with City of Buckeye standards.
 - y. Prohibited Trees: The following trees are prohibited from any landscaping plans in accordance with Chapter 9 of City Code (Section 9-10):
 1. Male Mulberry Tree (*Morus Alba*).
 2. Olive Tree (*Olea Europea*).
 3. Additionally, North Indian Rosewood Trees (*Dalbergia Sissoo*) shall not be planted within the rights of way (and are suggested not be planted within the property) due to their destructive and invasive root structure
 - z. Storm Drainage: The City of Buckeye is permitted as a Phase 2 MS4 and is now subject to more stringent standards for stormwater discharge. All stormwater plans must now meet the requirements of the City of Buckeye's MS4 permit as issued by ADEQ (Permit Number AZG2016-002).
 - aa. Prior to issuance of a Certificate of Occupancy, the owner shall obtain an Emergency Cross-Access easement to the adjacent parcel (504-26-005C) as depicted on the Crimson Canyon Site Plan and Elevations attachment.
 - bb. The Buckeye Fire Chief and City Engineer shall determine the number, location, and types of all fire hydrants.
 - cc. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
 - dd. All buildings shall be equipped with a fire protection system as required by City of Buckeye Ordinance 20-13.
 - ee. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.
 - ff. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
 - gg. All buildings and structures will require fire sprinklers, fire alarm and offsite monitoring. An automatic sprinkler system shall be installed throughout all occupancies in

accordance with NFPA 13 and NFPA72 Installation of Sprinkler Systems and Fire Alarms Systems and Fire Department Interpretation and Applications Manual.903.2.1.

- hh. Knox Boxes are required for each front door, and Fire Riser Room.503.6.6 Keyed access. The lock box, padlock or key switch, must be an approved model utilized by the Buckeye Fire Department. Lock Box ordering can be obtained at www.knoxbox.com any electric gates, will require a separate FD permit.
- ii. 3310.3 Access road and signage. During construction, approved signs shall be located to direct emergency responders into and through the construction site as required by the Fire Code Official.

ATTACHMENTS

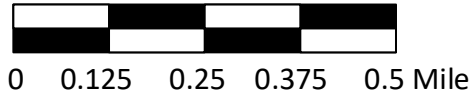
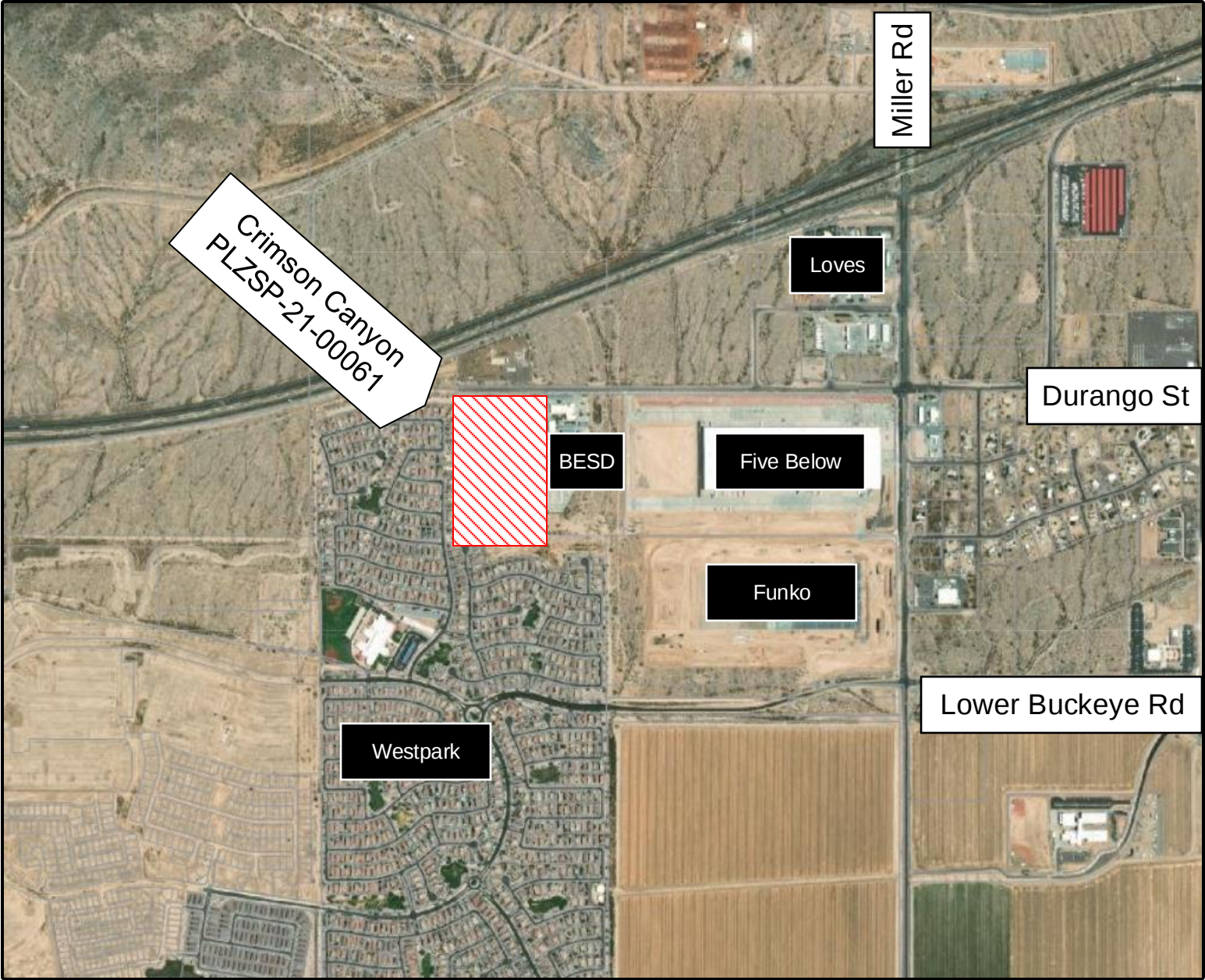
- 1. Vicinity Map
- 2. Zoning Map
- 3. Site Plan
- 4. Landscape Plan

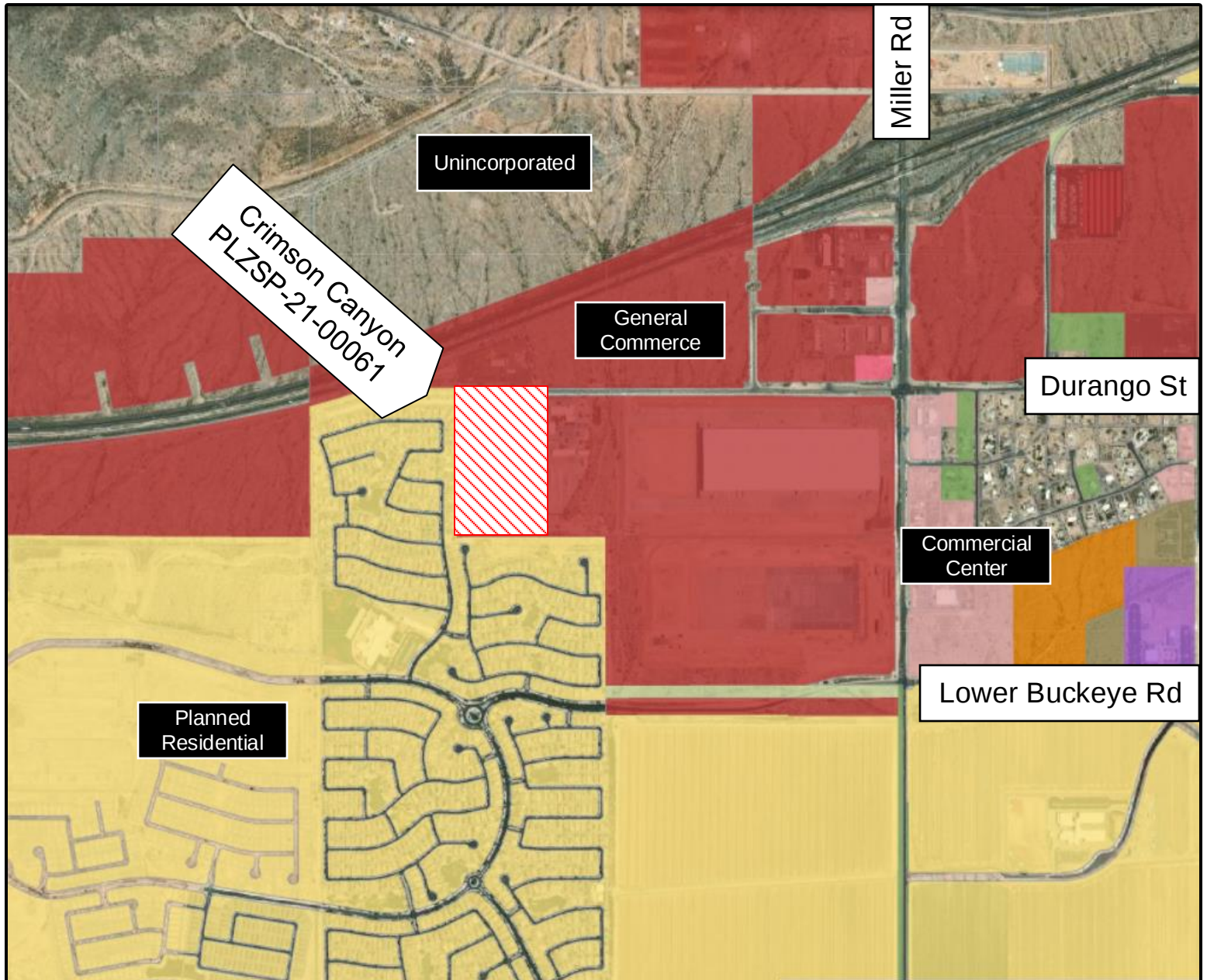
Prepared by:

Randy Proch, AICP, Senior Planner

Reviewed by:

Adam Copeland, Deputy Director of Planning

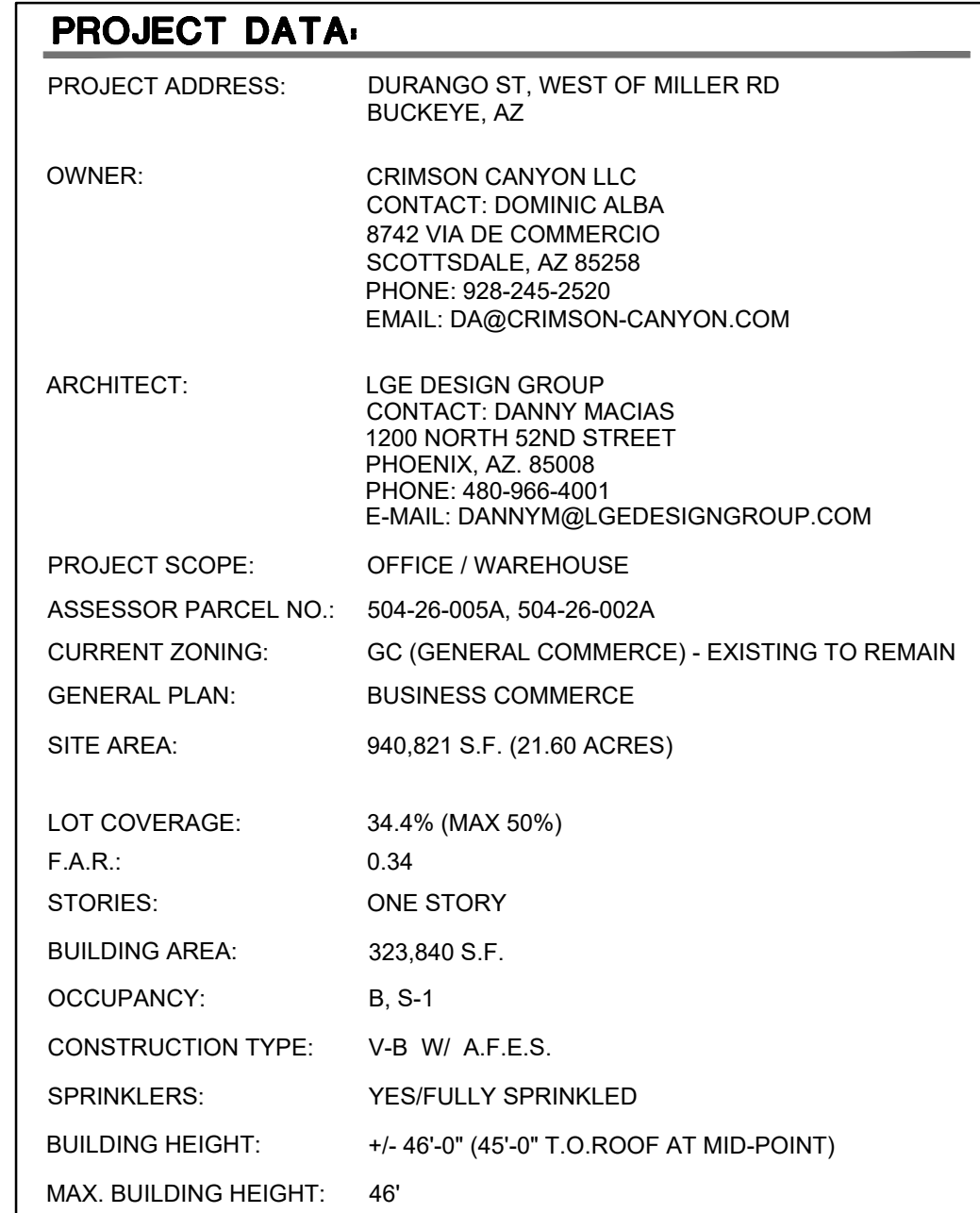




0 0.125 0.25 0.375 0.5 Mile

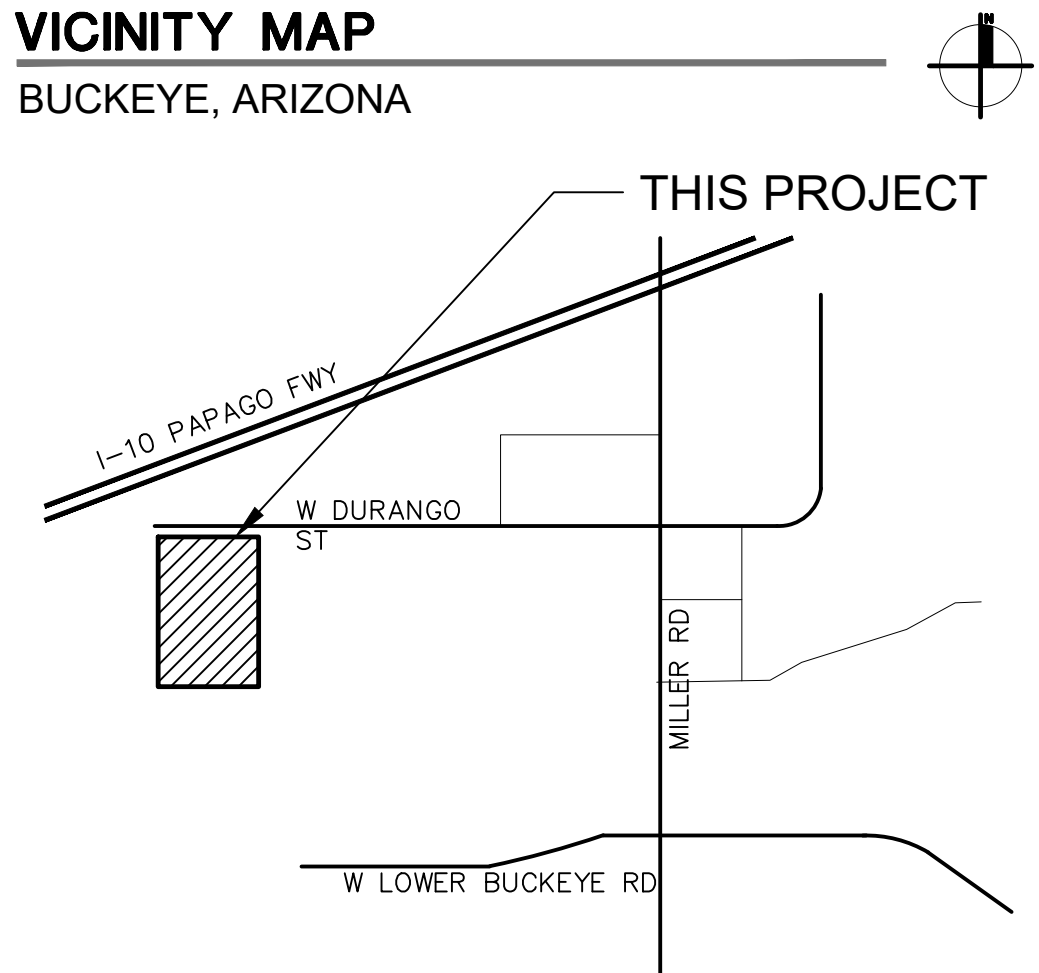


**2nd REVIEW
RECEIVED
DEC 22 2021
CITY OF BUCKEYE
PLANNING & ZONING
WD**



VEHICULAR PARKING CALCS:			
PARKING REQUIRED			
USE	SQUARE FT.	FACTOR	TOTAL
OFFICE	+/- 15,000 S.F.	1 / 300 S.F.	50 SPACES
WAREHOUSE	308,840 S.F.	1 / 1250 S.F.	247 SPACES
TOTAL PARKING REQUIRED:			297 SPACES
PARKING PROVIDED			
TOTAL SPACES			328 SPACES
ACCESSIBLE PARKING CALCS:			
TOTAL PARKING OF 301 TO 400 SPACES REQUIRES 8 ACCESSIBLE SPACES			
REQUIRED:			8 SPACES
PROVIDED:			8 SPACES
PARKING/BUILDING RATIO:		1.01 CARS PER 1,000 S.F.	

BUCKEYE, ARIZONA



CRIMSON CANYON

LGE | **DESIGNBUILD**

[illegible]

SHEET TITLE:
PRELIMINARY SITE PLAN

ISSUE DATE: 12/21/21

DRAWN BY:

CHECKED BY: BJM

PROJECT No.:

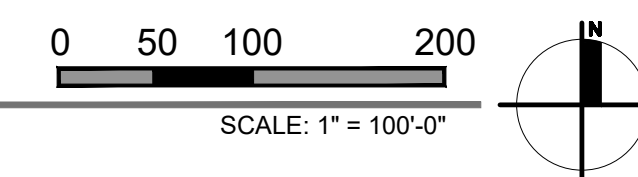
SHEET:

A1.1.1

DURANGO STREET, WEST OF MILLER ROAD
BUCKEYE, AZ

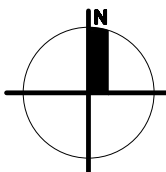
12/21/21
BJM
25
SITE PLAN RESUBMITTAL - 12/21/2021

PRELIMINARY SITE PLAN





SCALE: 1" = 300'-0"



1. EMPIRE SOUTHWEST LLC
Parcel Number: 504-26-016N
Mailing Address: 1725 S COUNTRY CLUB DR MESA AZ 85210

2. BUCKEYE ELEMENTARY SCHOOL DIST # 33
Parcel Number: 504-26-005C
Mailing Address: 25555 W DURANGO ST BUCKEYE AZ 85326

3. WESTPARK COMMUNITY ASSOCIATION
Parcel Number: 504-60-527
Mailing Address: 4645 E COTTON GIN LOOP PHOENIX AZ 85040

4. WESTPARK COMMUNITY ASSOCIATION
Parcel Number: 504-60-464
Mailing Address: 4645 E COTTON GIN LOOP PHOENIX AZ 85040

5. GARCIA GUSTAVO
504-60-599
25748 W ELIZABETH AVE BUCKEYE AZ 85326

6. BAKER CHARLES/RAELENE
504-60-598
25740 W ELIZABETH AVE BUCKEYE AZ 85326

7. RIVERS NICHOLAS ANDREW/IAI
504-60-597
25732 W ELIZABETH AVE BUCKEYE AZ 85326

8. NEAL DANIELLE L
504-60-596
2055 E CENTENNIAL CIR TEMPE AZ 85284

9. ALVAREZ GENESIS N
2087 S 257TH DR BUCKEYE AZ 85326
504-60-595

10. CADENA JUAN A MOZQUEDA/CORDOVA PATRICIA M
2099 S 257TH DR BUCKEYE AZ 85326
504-60-594

11. RED GROUND EQUITIES LP
504-60-593
4500 N 32ND ST SUITE 200 PHOENIX AZ 85018

12. SENG PAMELA/CHRISTINE ANN
2131 S 257TH DR BUCKEYE AZ 85326
504-60-592

13. BELL TREVOR A
2147 S 257TH DR BUCKEYE AZ 85326
504-60-591

14. BLANDINO GEORGE/MARIA L
2161 S 257TH DR BUCKEYE AZ 85326
504-60-590

15. ALLENBACK ALEX J JR
PO BOX 1338 WILLOW CREEK CA 95573
504-60-589

16. GREG & KIM COX TRUST
PO BOX 268 GILA BEND AZ 85337
504-60-588

17. DE AVILA ALAN
25741 W HESS AVE BUCKEYE AZ 85326
504-60-587

18. GILBERT SHAWN ALLEN/TADLOCK KRISTINA MARIE
25749 W HESS AVE BUCKEYE AZ 85326
504-60-586

19. BEAZER PRE-OWNED HOMES LLC
23975 PARK SORRENTO SUITE 300 CALABASAS CA 91302
504-60-660

20. TAH 2018-1 BORROWER LLC
1508 BROOKHOLLOW DR SANTA ANA CA 92705
504-60-661

21. 25733 WEST ELIZABETH LLC
16426 E KINGSTREE BLVD FOUNTAIN HILLS AZ 85268
504-60-662

22. PATTON MICHAEL
2242 LINDEN RD HIAWATHA KS 66434
504-60-581

23. MURPHY SHANTEL A/JEREMY
25738 W HESS AVE BUCKEYE AZ 85326
504-60-582

24. FISCHER PETER P
25728 W HESS AVE BUCKEYE AZ 85326
504-60-583

25. HERTEL DIETRICH H
25752 W ASHLEY DR BUCKEYE AZ 85326
504-60-552

26. CORTES MARTIN/MARTHA
25744 W ASHLEY DR BUCKEYE AZ 85326
504-60-551

27. LERMA ANTHONY/MORNINGSTAR MARISSA
25736 W ASHLEY DR BUCKEYE AZ 85326
504-60-550

28. CHAMBERS SHAWN/JENNIFER
25728 W ASHLEY DR BUCKEYE AZ 85326
504-60-549

29. LOPEZ SILVESTRE
2255 S 257TH DR BUCKEYE AZ 85326
504-60-548

30. QUATTARA DADJO ABDOLAYE/ROSELINE GREENE
2269 S 257TH DR BUCKEYE AZ 85326
504-60-547

31. BLUK TRUST
31400 AVENIDA DEL REPOSO TEMECULA CA 92591
504-60-546

32. AMERICAN HOMES 4 RENT TRS LLC
23975 PARK SORRENTO SUITE 300 CALABASAS CA 91302
504-60-545

33. TRIPI ANTHONY C/JANICE M
2319 S 257TH DR BUCKEYE AZ 85326
504-60-544

34. REYES HERRERA FAMILY REVOCABLE TRUST
2335 S 257TH DR BUCKEYE AZ 85326
504-60-543

35. STARDOM REAL ESTATE LLC
3506 N 24TH ST PHOENIX AZ 85016
504-60-542

36. RODRIGUEZ MELESIO
319 CROCKET ST OGLESBY IL 61348
504-60-541

37. DIAZ ERNEST JR/CARMEN
2375 S 257TH DR BUCKEYE AZ 85326
504-60-540

38. MALLET KATHARINA ROCHELLE
25753 W ASHLEY DR BUCKEYE AZ 85326
504-60-560

39. FURCO TIMOTHY/ROBINETTE HANNAH
25745 W ASHLEY DR BUCKEYE AZ 85326
504-60-561

40. SANTOS ANTHONY JKERRY A
25737 W ASHLEY DR BUCKEYE AZ 85326
504-60-562

41. JEFFRIES WILLIAM E/DEBORAH A
25754 W GIBSON LN BUCKEYE AZ 85326
504-60-565

42. CRANDALL MICHAEL/DAWN
25746 W GIBSON LN BUCKEYE AZ 85326
504-60-564

43. PHARES TRENTON DEWEY/JORDAN MARIE
25738 W GIBSON LN BUCKEYE AZ 85326
504-60-563

44. TALAVERA AGUSTINA V
25832 W GLOBE AVE BUCKEYE AZ 85326
504-60-537

45. ANAYA ULYSSES/MARIA D DE
25747 W GIBSON LN BUCKEYE AZ 85326
504-60-538

46. PADDAK WILLIAM KEITH/ROSALIE MARIE
25739 W GIBSON LN BUCKEYE AZ 85326
504-60-539

47. ALCALA RICARDO SANCHEZ/ARANA LORETO GARCIA
25748 W WATKINS ST BUCKEYE AZ USA 85326
504-60-757

48. LOW DOUGLAS/CAROLYN
25740 W WATKINS ST BUCKEYE AZ 85326
504-60-756

49. MORGAN ADAM D
25732 W WATKINS ST BUCKEYE AZ 85326
504-60-755

50. FEELER RAYMOND D JR/NANCY JO
25749 W WATKINS ST BUCKEYE AZ 85326
504-60-752

51. ERIC AKIRA NAKASHIMA LIVING TRUST/
MIOK ESTHER CHO LIVING TRUST
94-222 MAHINAHOUL P. MILLANI HI 96789-2113
504-60-753

52. TWITCHELL WILLIAM R II
25731 W WATKINS ST BUCKEYE AZ 85326
504-60-754

53. ARIZAGA MANUEL A/ANA S
25742 W RIPLE RD BUCKEYE AZ USA 85326
504-60-734

54. SANCHEZ ERIC/ANA GABRIELA
25734 W RIPLE RD BUCKEYE AZ 85326
504-60-733

55. FUTURE STEP INVESTMENTS LLC
7749 E CAMINO DEL MONTE SCOTSDALE AZ 85255
504-60-732

56. NUNEZ JOSEPH R/LAURA S
2422 S 257TH AVE BUCKEYE AZ 85326
504-60-483

57. JENKINS DAVID D/TIFFANY
2436 S 257TH AVE BUCKEYE AZ 85326
504-60-484

58. BOOHER MATTHEW/CHRISTI
2452 S 257TH AVE BUCKEYE AZ 85326
504-60-485

59. RUIZ ISRAEL
2474 S 257TH AVE BUCKEYE AZ USA 85326
504-60-486

60. CRUZ SERGIO/NORBERTO
2495 S 257TH AVE BUCKEYE AZ 85326
504-60-487

61. ZERFAS BRIAN KEITH
2429 S 257TH AVE BUCKEYE AZ 85326
504-60-482

62. LARA MARGARITO/PATRICIA M
2447 S 257TH AVE BUCKEYE AZ 85326
504-60-481

63. MORA MARTIN/GUADALUPE
6122 ROCKNE AVE WHITTIER CA 90606
504-60-480

64. LARSON JOSHUA
2485 S 257TH AVE BUCKEYE AZ 85326
504-60-479

65. MORALES FAMILY TRUST
25640 W RIPLE RD BUCKEYE AZ 85326
504-60-476

66. ROMERO MARCELLA M
25642 W RIPLE RD BUCKEYE AZ 85326
504-60-475

67. GIBSON THOMAS F/SALLY A
25634 W RIPLE RD BUCKEYE AZ 85326
504-60-474

68. LOWRY CHRISTOPHER TIMOTHY
25626 W RIPLE RD BUCKEYE AZ 85326
504-60-473

69. SANSON WILLIAM E/CONNIE J
25518 W RIPLE RD BUCKEYE AZ 85326
504-60-472

70. DAVID R TEEPLE AND BARBARA A TEEPLE TRUST
2510 W RIPLE RD BUCKEYE AZ 85326
504-60-471

71. BARNETT OREN S
25602 W RIPLE RD BUCKEYE AZ 85326-2955
504-60-470

72. BUSH TATIANA M
25588 W RIPLE RD BUCKEYE AZ 85326
504-60-469

73. LAROCHE MARTIN J/KRISTINE M
25572 W RIPLE RD BUCKEYE AZ 85326
504-60-468

74. BERUMEN DANNY/SANDRA E
2462 S 255TH DR BUCKEYE AZ 85326
504-60-460

75. BAYARDO ROSALINDA/LETICIA
2478 S 255TH DR BUCKEYE AZ 85326
504-60-461

76. KAUFMAN STEVEN F/SAUNDRA J
2496 S 255TH DR BUCKEYE AZ 85326
504-60-462

[illegible]

SHEET TITLE:
CONTEXT PLAN

ISSUE DATE: 12/21/2012

DRAWN BY:

CHECKED BY: BJM

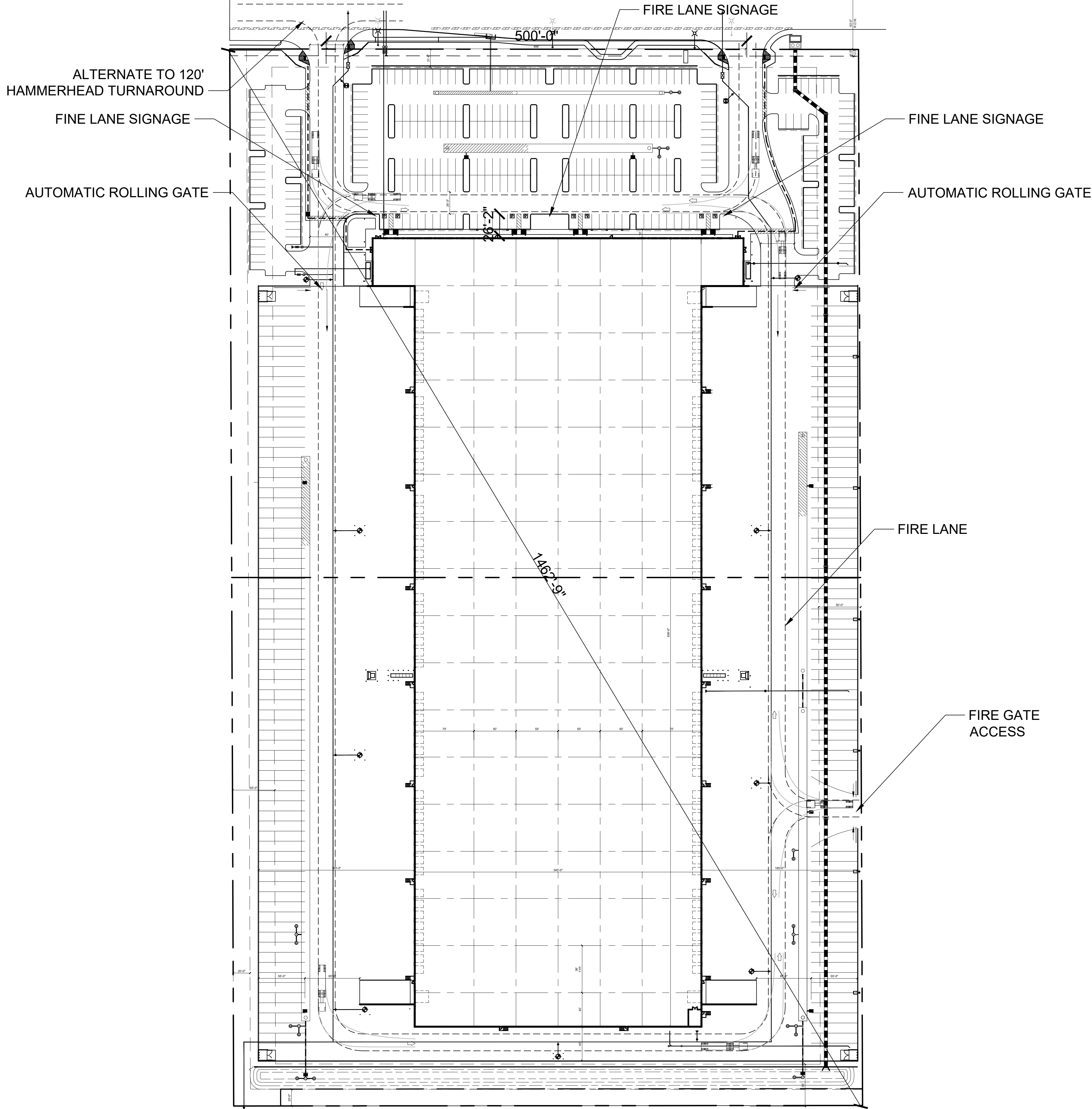
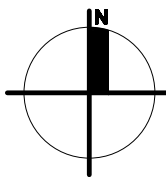
PROJECT No.:

SHEET:

A1.1.2

MASTER FIRE ACCESS PLAN

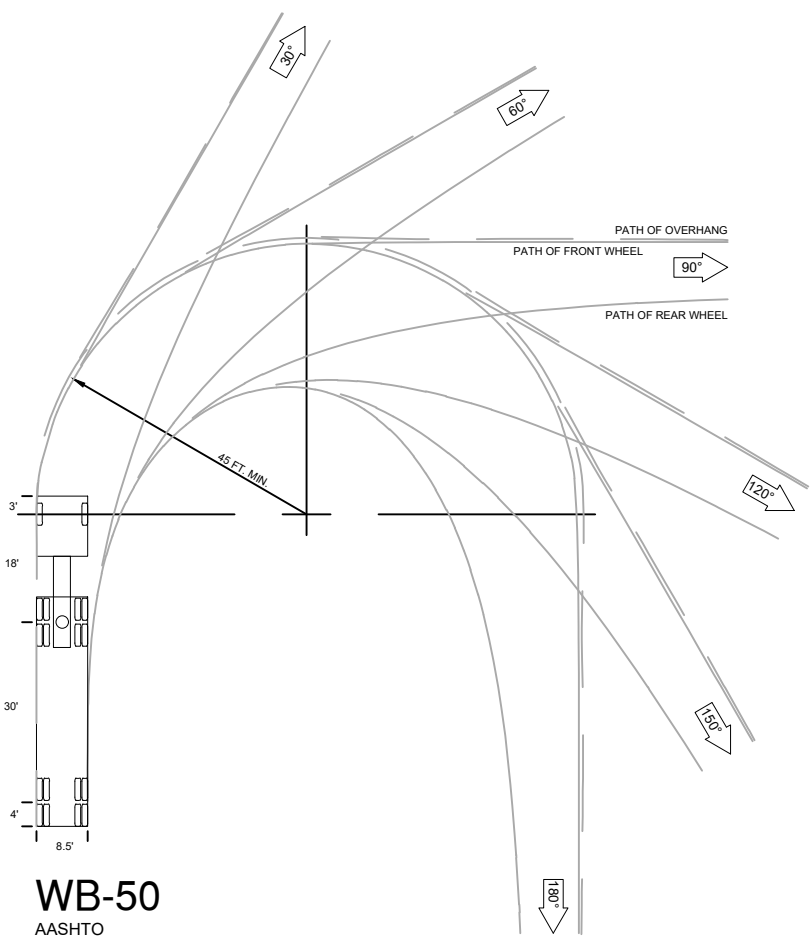
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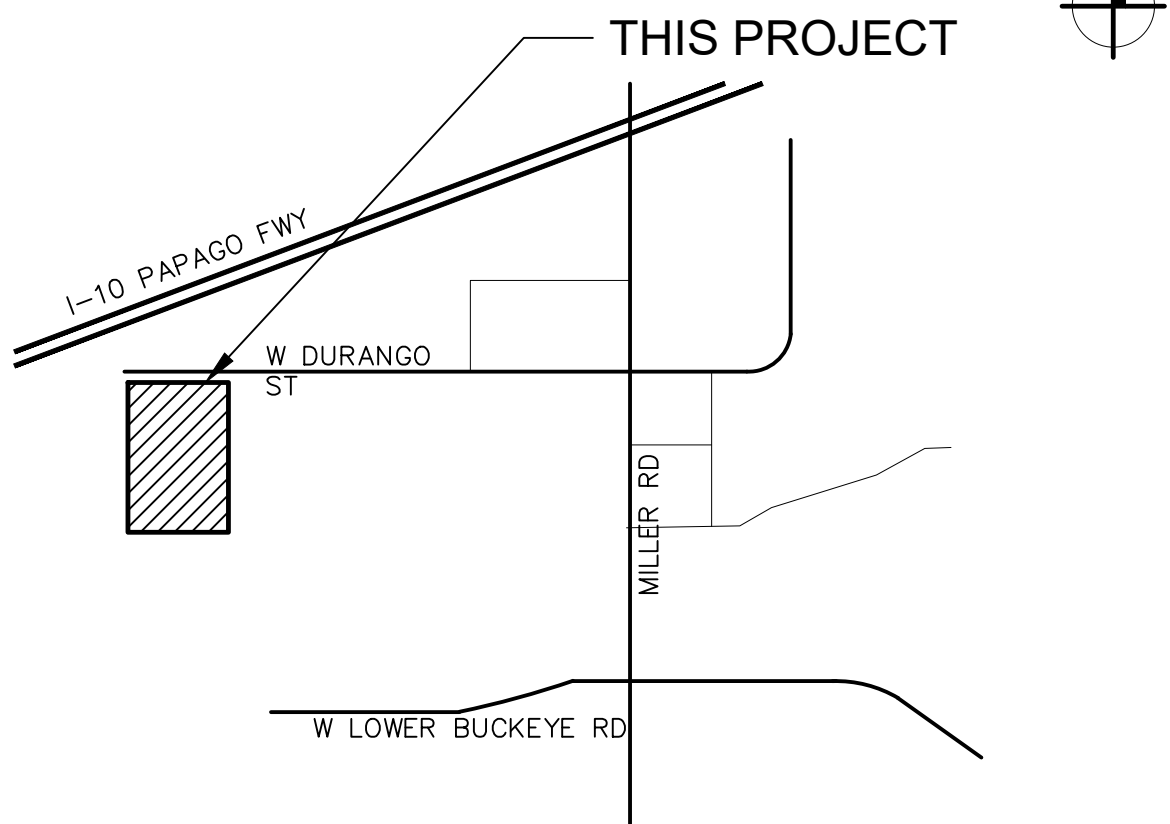
FIRE NOTES

NOTE:
BUILDING ACCESS DOORS ARE PROVIDED ALONG THE PERIMETER OF THE BUILDING AND ARE SPACED NO MORE THAN 100'-0" APART, SEE SHEET G1.1.2.

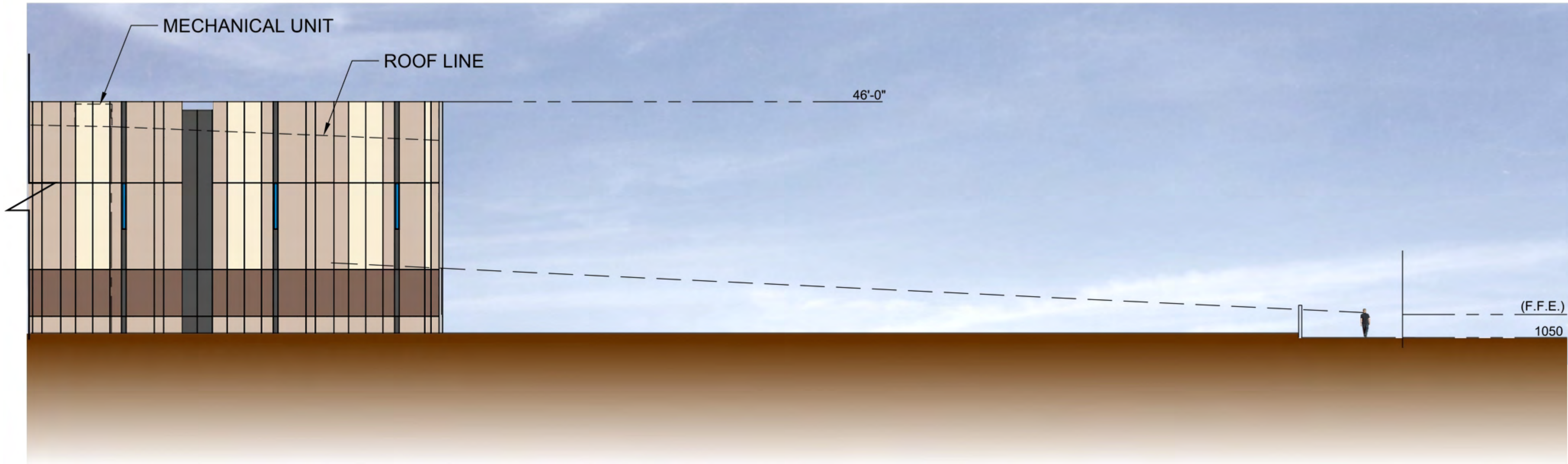
- NOTE:
1. FIRE LANES SIGNS PER CITY OF BUCKEYE WILL ADHERE TO STANDARD DETAIL SPECIFICATIONS (CITY OF BUCKEYE DETAIL NUMBER 31452, 10/A1.3.7).
 2. CURB, STREET OR DRIVEWAY WILL BE PAINTED RED TO INDICATE FIRE LANE AND LABELED "FIRE LANE NO PARKING" IN WHITE BLOCK LETTERS 3" INCHES IN HEIGHT WITH A 3/4" INCH STROKE, ON THE VERTICAL FACE OF THE CURB TO INDICATE A FIRE LANE.
 3. LETTERING SHALL NOT BE GREATER THAN 75'-0" APART AND SHALL BE POSTED AT THE BEGINNING AND END OF THE FIRE LANE.



VICINITY MAP
BUCKEYE, ARIZONA

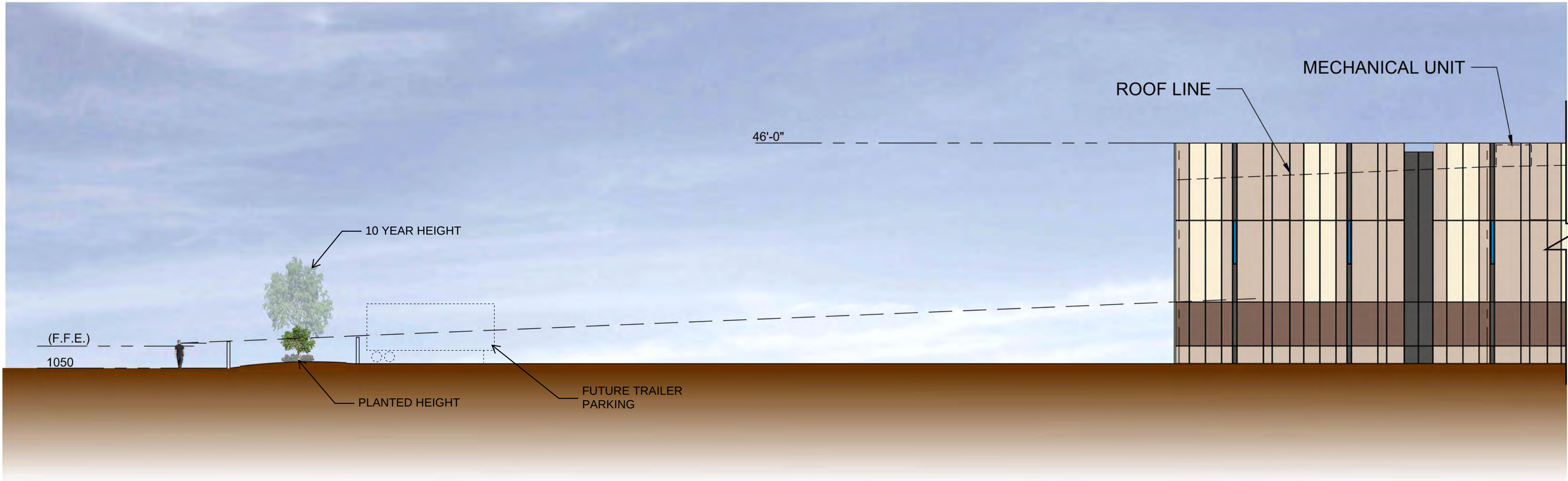


CITY APPROVALS



EAST PROPERTY LINE

SCALE: 1/16" = 1'-0"

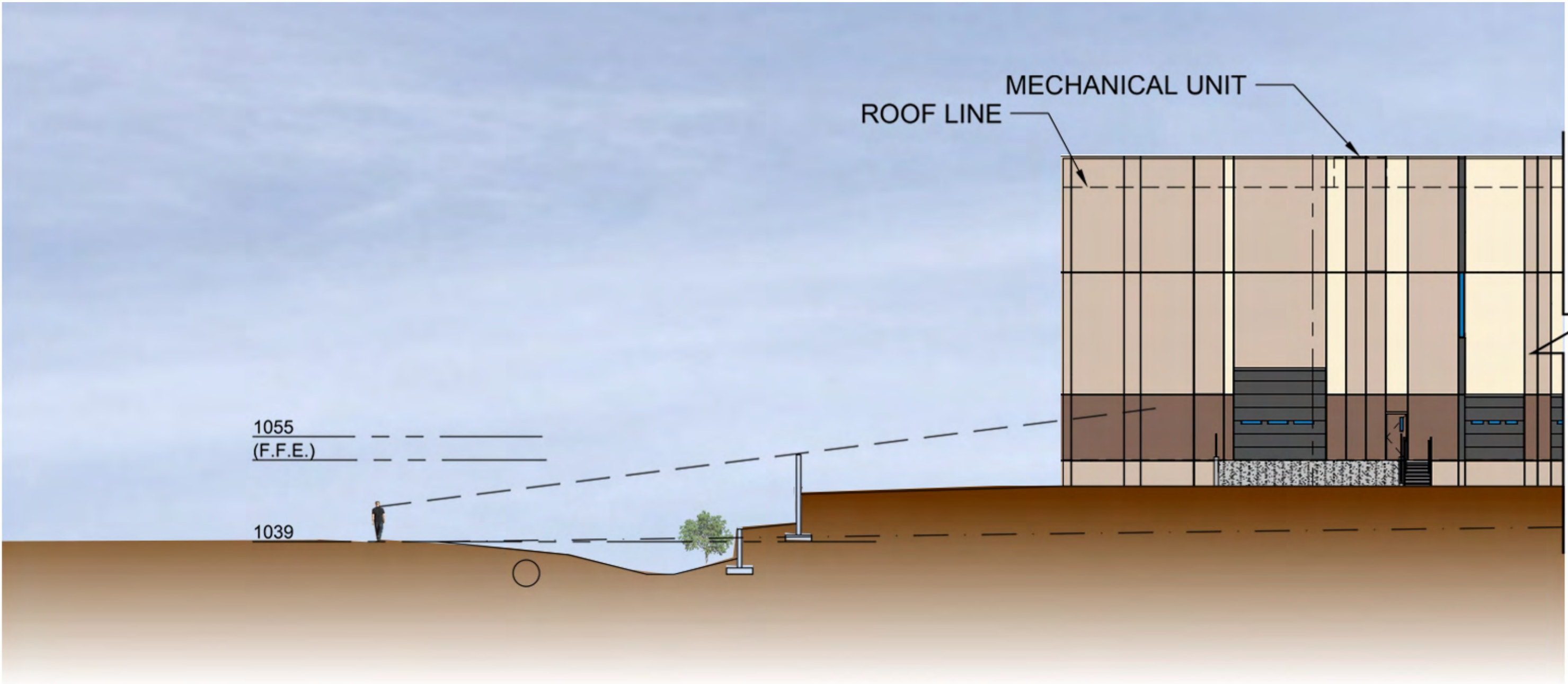


WEST PROPERTY LINE

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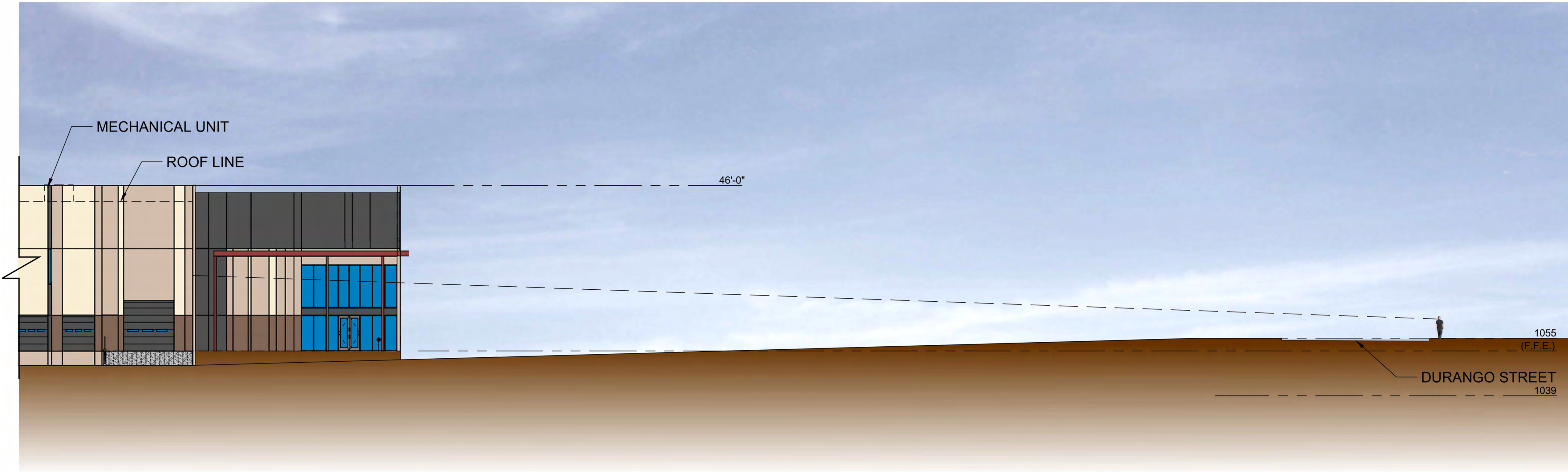
NUMBER	REVISION	DATE

SHEET TITLE:	
SITE LINE EXHIBITS	
ISSUE DATE:	10/26/2021
DRAWN BY:	MM
CHECKED BY:	DM
PROJECT No.:	
SHEET:	



SOUTH PROPERTY LINE

SCALE: 1/16" = 1'-0"

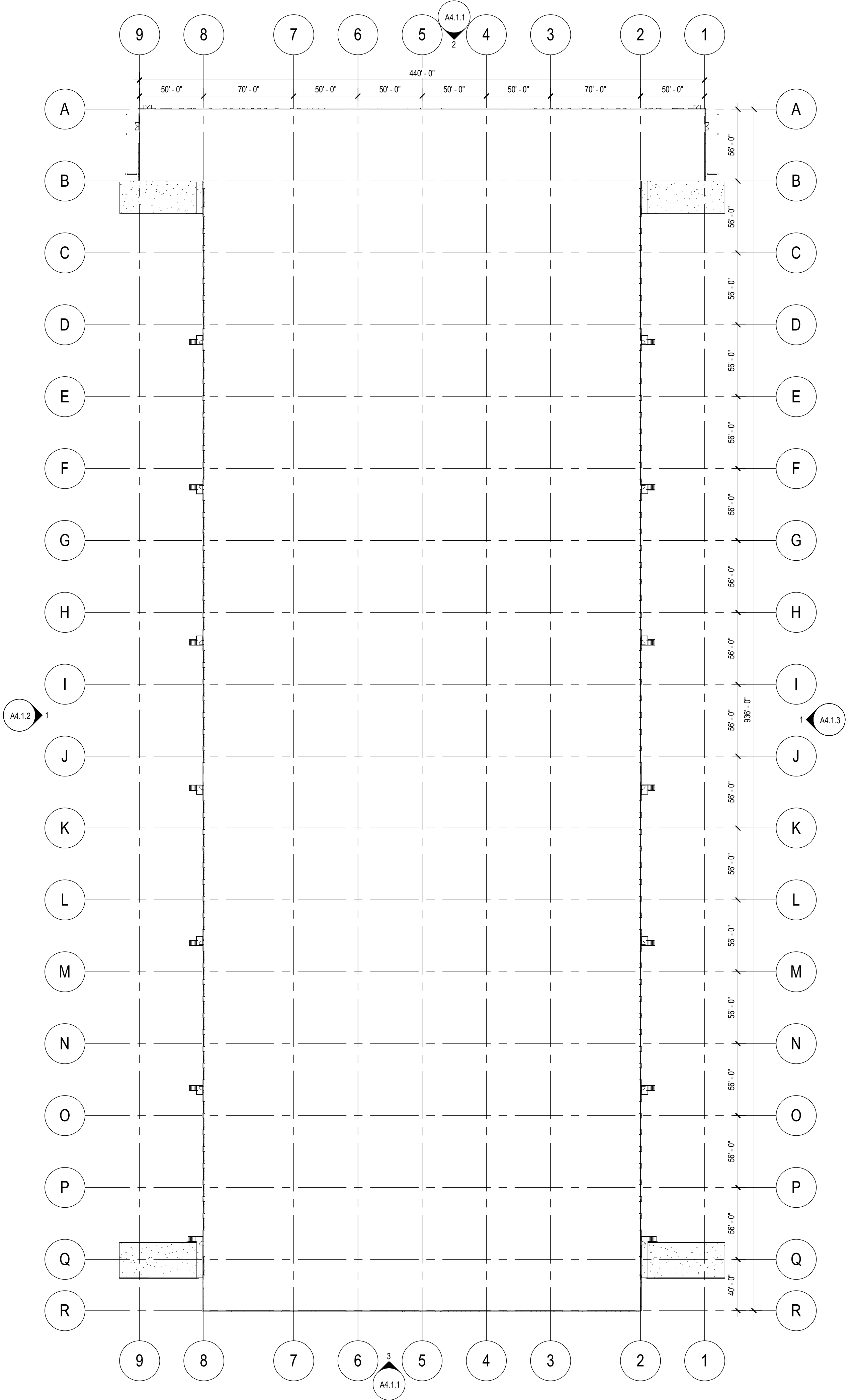


NORTH PROPERTY LINE

SCALE: 1/16" = 1'-0"

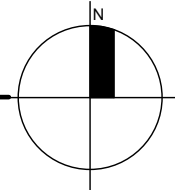
NUMBER	REVISION	DATE

SHEET TITLE:	
EXTERIOR ELEVATIONS	
ISSUE DATE:	10/26/2021
DRAWN BY:	MM
CHECKED BY:	DM
PROJECT No.:	
SHEET:	



1 LEVEL 1 - BASE PLAN

1" = 50'-0"



GENERAL SHEET NOTES

- A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
- B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO THE G2.X SERIES SHEETS LOCATED PER THE PROJECT SHEET INDEX.
- C. REFER TO THE A3.X SERIES SHEETS FOR THE REFLECTED CEILING PLANS.
- D. REFER TO THE A9.2.X SERIES SHEETS FOR PARTITION SYSTEMS TYPES AND DETAILS.
- E. REFER TO THE A9.3.X SERIES SHEETS FOR THE INTERIOR OPENING SCHEDULE(S), TYPES, AND DETAILS.
- F. REFER TO THE 'AF' SERIES SHEETS FOR INTERIOR FINISH INFORMATION.
- G. REFER TO THE 'AI' SERIES SHEETS FOR INTERIOR FURNISHING INFORMATION.

CRIMSON CANYON

BUCKEYE, AZ

LGE DESIGNGROUP

NUMBER REVISION DATE

SHEET TITLE: GROUND LEVEL FLOOR PLAN

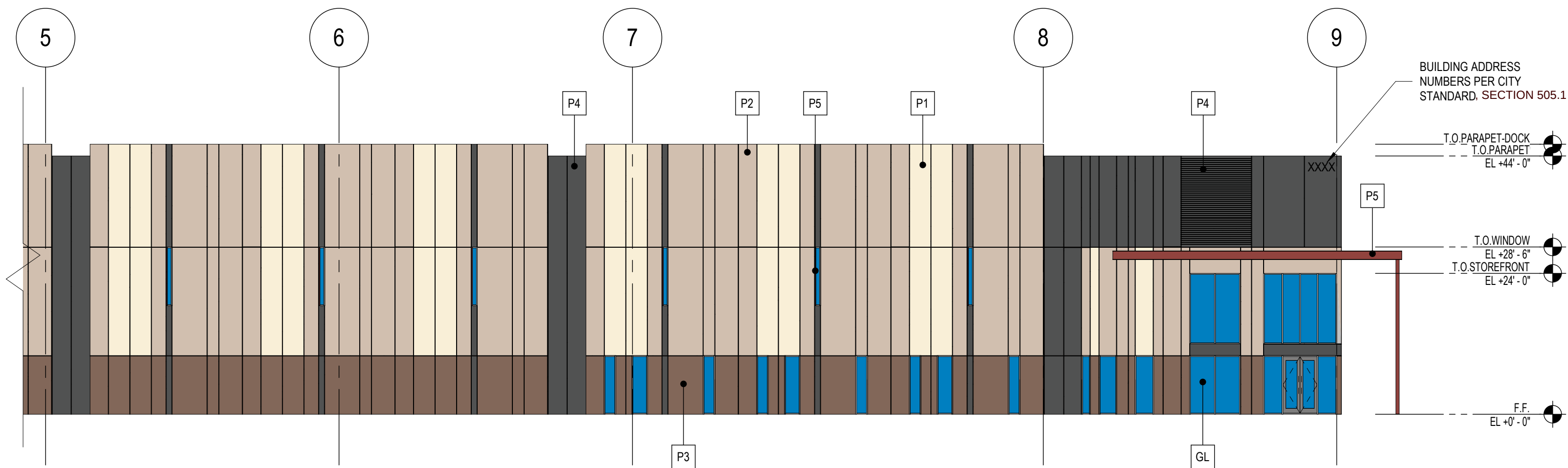
ISSUE DATE: Issue Date

DRAWN BY: START Sheet

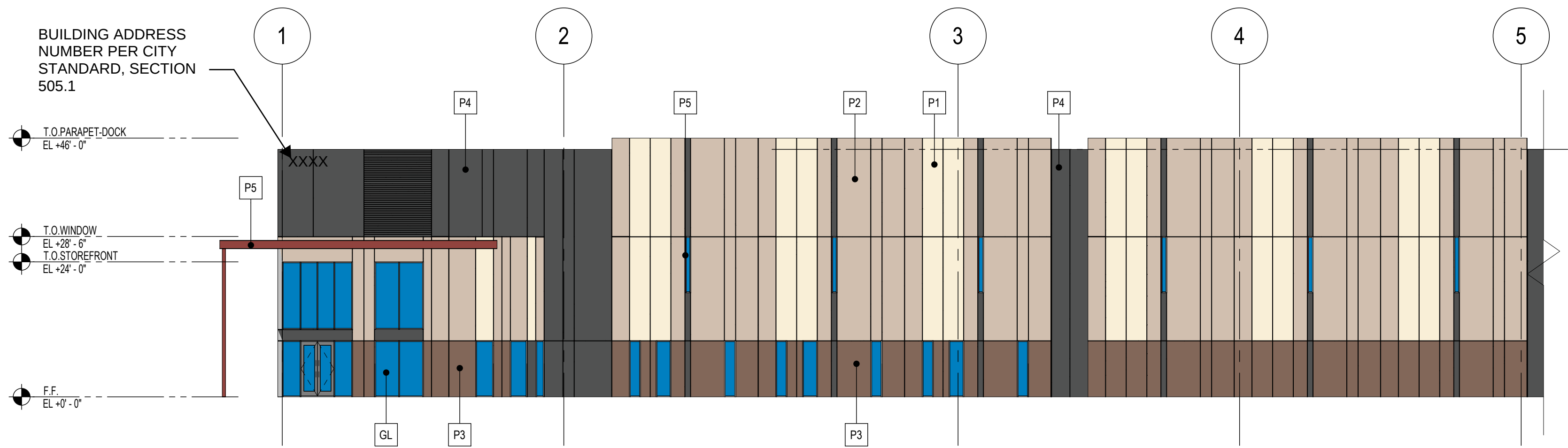
CHECKED BY: Checker

PROJECT No: [edit project number here]

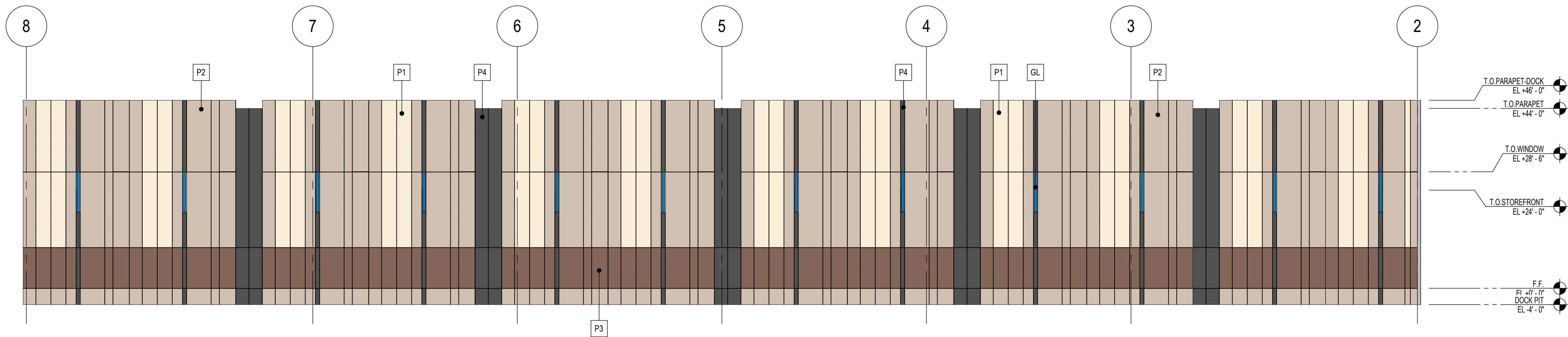
A2.1.1



1 NORTH EAST
1/16" = 1'-0"



2 NORTH WEST
1/16" = 1'-0"



3 South
1/16" = 1'-0"

GENERAL SHEET NOTES

- REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
- REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.
- REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- REFER TO THE A5.4.X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.

MATERIALS

MATERIAL/FINISHES SCHEDULE

KEY: DESCRIPTION:

EXTERIOR WALLS:

- | | |
|----|--|
| CT | CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" "V" SCORE LINES-PAINTED. REFER TO LAYOUT FOR THICKNESS INFORMATION |
|----|--|

CANOPY KEY:

KEY: DESCRIPTION:

- | | |
|----|--|
| SC | TUBE STEEL FRAMED CANOPY WITH ANGLED INFILLS AT 1'-0" O.C. |
|----|--|

GLAZING KEY:

MATERIAL- DESCRIPTION:

- | | |
|--------|--|
| FRAMES | ALUMINUM STOREFRONT FRAMES (SEALANT JOINT VERTS) - ARCADIA ANODIZED ALUMINUM - COLOR: BLACK (AB-8) |
| AL | |

- | | |
|----------|--|
| EXTERIOR | SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE (SHGC=.18, U=.27) |
| G1 | |

NOTE: ALL GLAZING TO COMPLY WITH IBC 2405.

PAINT KEY:

KEY: DESCRIPTION:

- | | |
|----|--|
| P1 | DUNN EDWARDS - (PARCHMENT PAPER) DE5329 (LVR 86) |
| P2 | DUNN EDWARDS - (DRY CREEK) DE6122 (LVR 55) |
| P3 | DUNN EDWARDS - (WANDERING ROAD) DE6076 (LVR 16) |
| P4 | DUNN EDWARDS - (CAVERNOUS) DE6364 (LVR 8) |
| P5 | DUNN EDWARDS - (RED CRAFT) DET423 (LVR 10) |

PAINTING NOTES:

- SEALANTS FOR THE PROJECT TO BE MEDIUM GRAY COLOR - NO WHITE OR OFF WHITE COLORS.
- PANTNER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PANTNER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION
- SEE DOOR SCHEDULE FOR ROLL UP DOOR INFORMATION
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

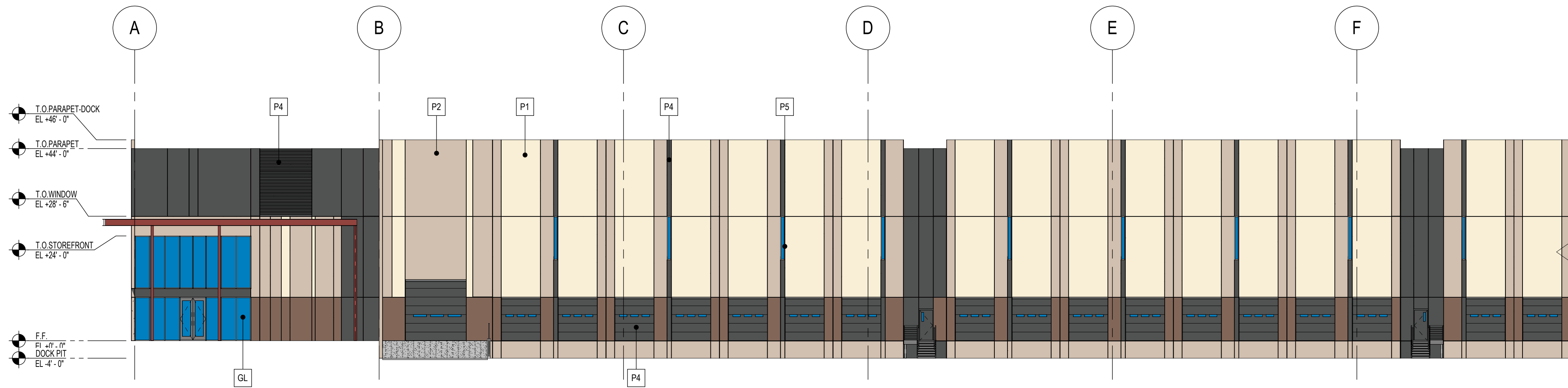
ISSUE DATE: Issue Date

DRAWN BY: START Sheet

CHECKED BY: Checker

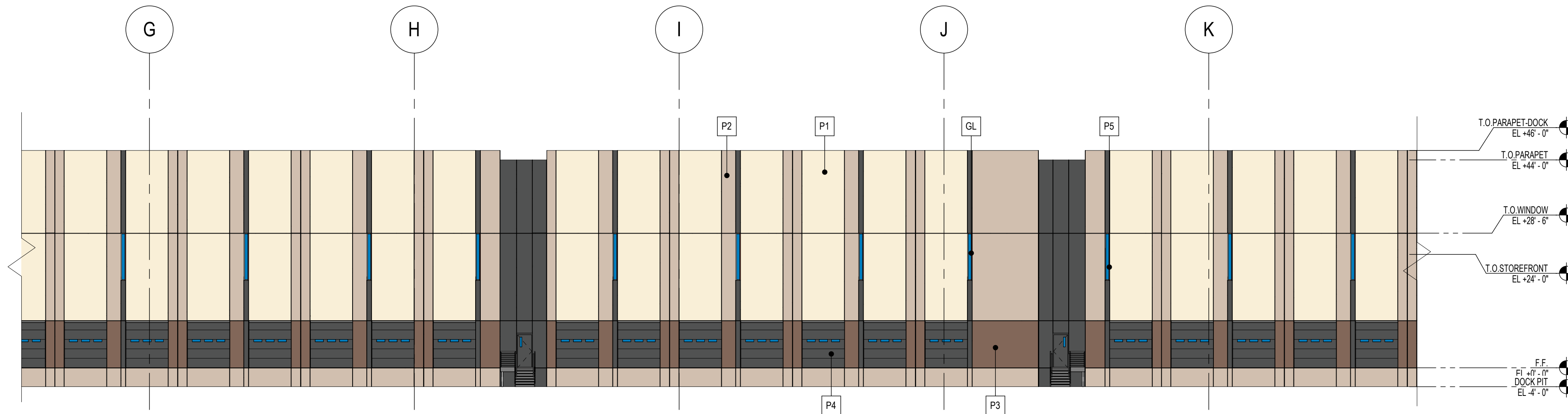
PROJECT No: [edit project number here]

A4.1.1



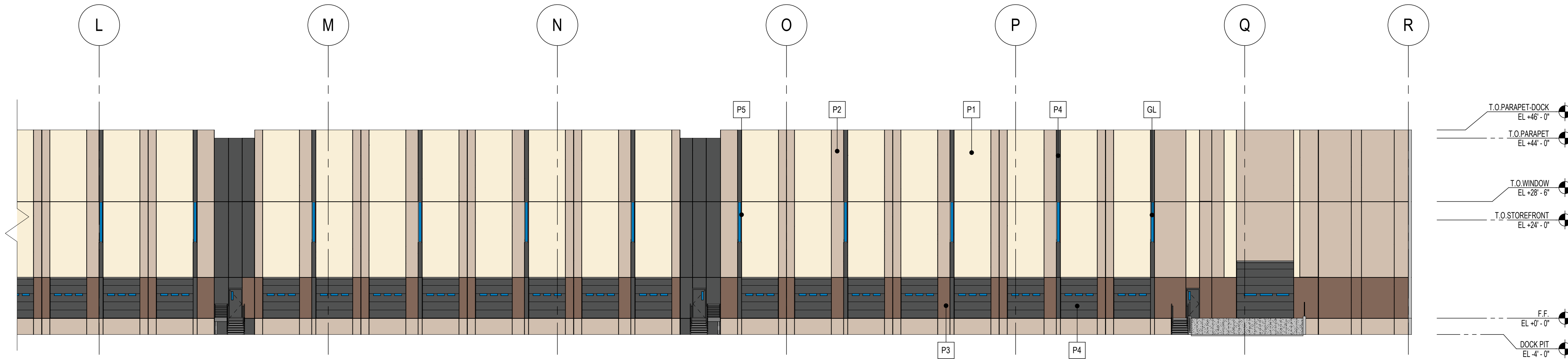
1 West - Dependent 3

1/16" = 1'-0"



2 West - Dependent 2

1/16" = 1'-0"



3 West - Dependent 1

1/16" = 1'-0"

GENERAL SHEET NOTES

- REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
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- REFER TO THE A5.4.X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.

MATERIALS

MATERIAL/FINISHES SCHEDULE

KEY: DESCRIPTION:

EXTERIOR WALLS:

- | CT | CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" "V" SCORE LINES-PAINTED. REFER TO LAYOUT FOR THICKNESS INFORMATION |
|----|--|
|----|--|

CANOPY KEY:

KEY: DESCRIPTION:

- | SC | TUBE STEEL FRAMED CANOPY WITH ANGLED INFILLS AT 1'-0" O.C. |
|----|--|
|----|--|

GLAZING KEY:

MATERIAL- DESCRIPTION:

- | FRAMES | ALUMINUM STOREFRONT FRAMES (SEALANT JOINT VERTS) - ARCADIA ANODIZED ALUMINUM - COLOR: BLACK (AB-8) |
|--------|--|
|--------|--|

- | EXTERIOR | SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE (SHGC=.18, U=.27) |
|----------|--|
|----------|--|

NOTE: ALL GLAZING TO COMPLY WITH IBC 2405.

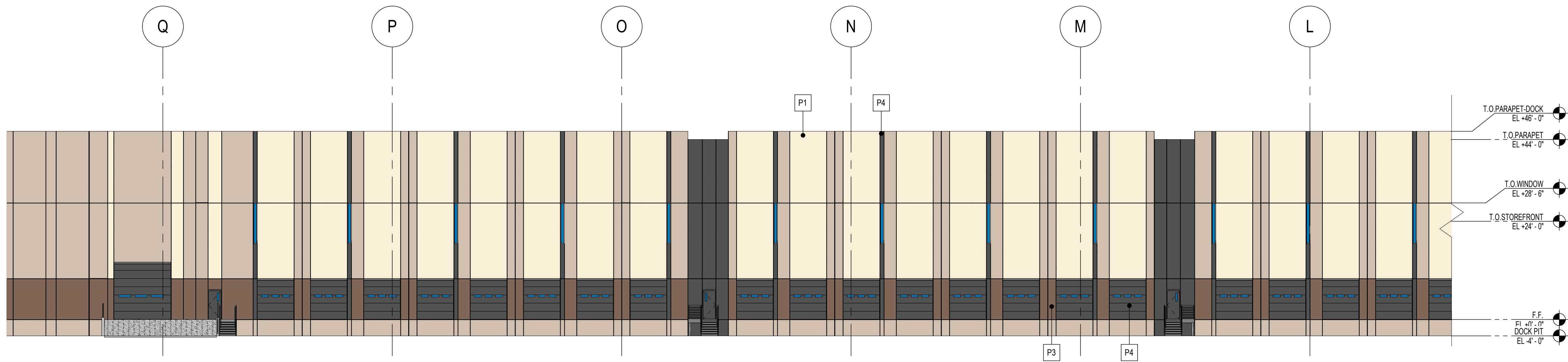
PAINT KEY:

KEY: DESCRIPTION:

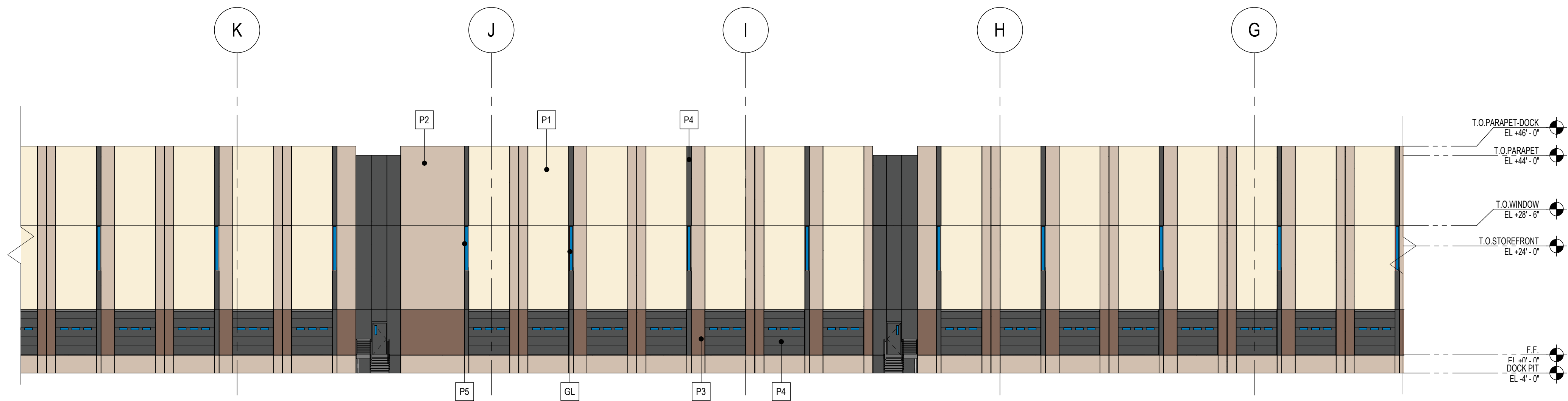
- | P1 | DUNN EDWARDS - (PARCHMENT PAPER) DE5329 (LRV 86) |
|----|--|
| P2 | DUNN EDWARDS - (DRY CREEK) DE6122 (LRV 55) |
| P3 | DUNN EDWARDS - (WANDERING ROAD) DE6076 (LRV 16) |
| P4 | DUNN EDWARDS - (CAVERNOUS) DE6364 (LVR 8) |
| P5 | DUNN EDWARDS - (RED CRAFT) DET423 (LVR 10) |

PAINTING NOTES:

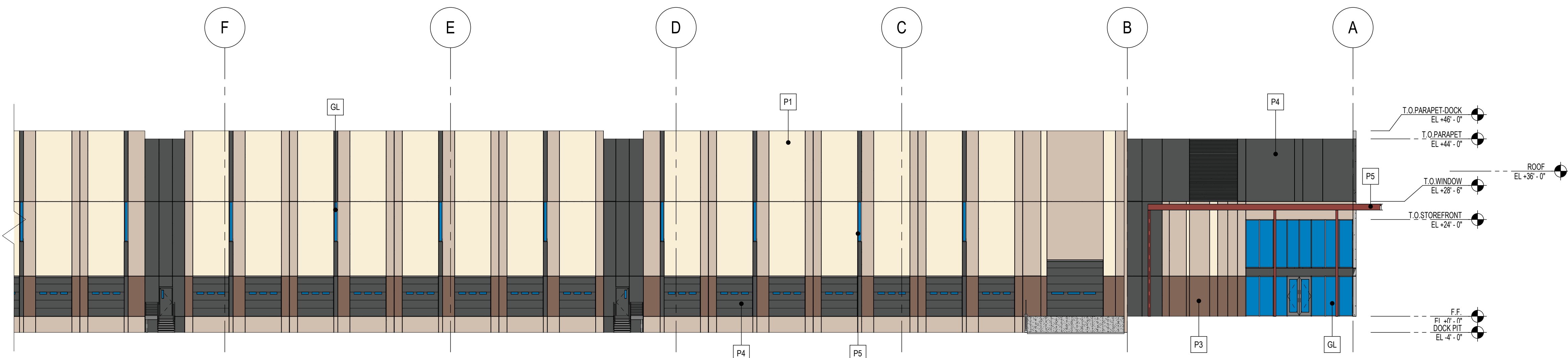
- SEALANTS FOR THE PROJECT TO BE MEDIUM GRAY COLOR - NO WHITE OR OFF WHITE COLORS.
- PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION
- SEE DOOR SCHEDULE FOR ROLL UP DOOR INFORMATION
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS



1 EAST - SECTION A
1/16" = 1'-0"



2 EAST - SECTION B
1/16" = 1'-0"



3 EAST - SECTION C
1/16" = 1'-0"

GENERAL SHEET NOTES

- A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
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- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO THE A5.4.X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.

MATERIALS

MATERIAL/FINISHES SCHEDULE

KEY: DESCRIPTION:

EXTERIOR WALLS:

- CT CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" "V" SCORE LINES-PAINTED. REFER TO LAYOUT FOR THICKNESS INFORMATION

CANOPY KEY:

KEY: DESCRIPTION:

- SC TUBE STEEL FRAMED CANOPY WITH ANGLED INFILLS AT 1'-0" O.C.

GLAZING KEY:

MATERIAL- DESCRIPTION:

- FRAMES ALUMINUM STOREFRONT FRAMES (SEALANT JOINT VERTS) - ARCADIA ANODIZED ALUMINUM - COLOR: BLACK (AB-8)

- EXTERIOR SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE (SHGC=.18, U=.27)

NOTE: ALL GLAZING TO COMPLY WITH IBC 2405.

PAINT KEY:

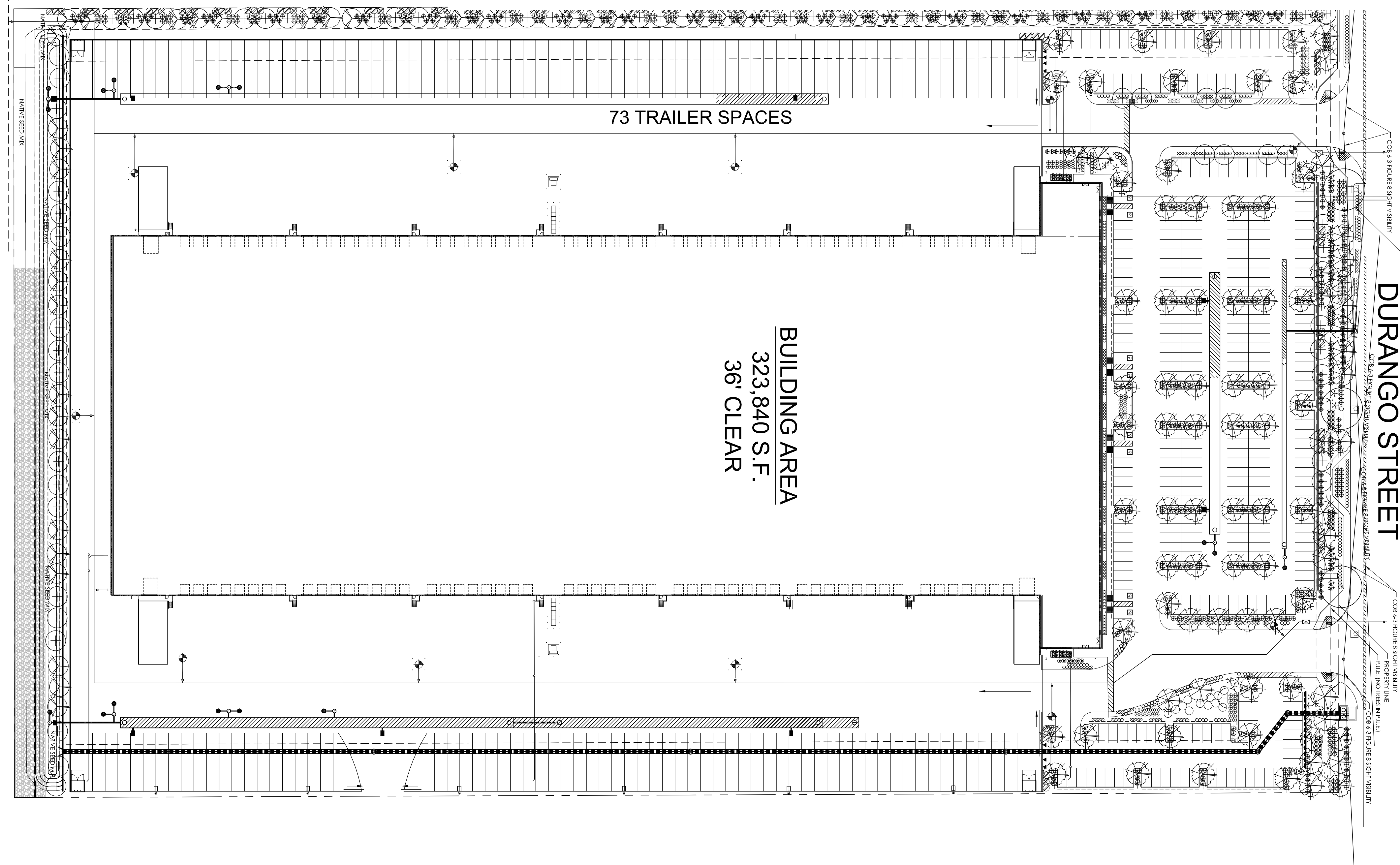
KEY: DESCRIPTION:

- P1 DUNN EDWARDS - (PARCHMENT PAPER) DE5329 (LRV 86)
P2 DUNN EDWARDS - (DRY CREEK) DE6122 (LRV 55)
P3 DUNN EDWARDS - (WANDERING ROAD) DE6076 (LRV 16)
P4 DUNN EDWARDS - (CAVERNOUS) DE6364 (LVR 8)
P5 DUNN EDWARDS - (RED CRAFT) DET423 (LVR 10)

PAINTING NOTES:

1. SEALANTS FOR THE PROJECT TO BE MEDIUM GRAY COLOR - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
3. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
4. SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION
5. SEE DOOR SCHEDULE FOR ROLL UP DOOR INFORMATION
6. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS

Attachment 4. Landscape Plan



*DENOTE TREES THAT REQUIRE ROOT BARRIER

LANDSCAPE LEGEND

- 

PISTACHE 'RED PUSH'
RED PUSH PISTACHE
24" BOX (90)
 - 

ACACIA SALICINA
WILLOW ACACIA
36" BOX (64)
 - 

QUERCUS VIRGINIANA
LIVE OAK
36" BOX (45)
 - 

LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON (262)
 - 

MUHLENBERGIA RIGENS
DEER GRASS
5 GALLON (96)
 - 

CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON (32)
 - 

TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (157)
 - 

HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (315)
 - 

DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (172)
 - 

AGAVE GEMMIFLORA
TWIN FLOWERED AGAVE
5 GALLON (73)
 - 

BOUGAINVILLEA 'BARBARA KARST'
BOUGAINVILLEA
5 GALLON (8)
 - 

LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (329)
 - 

LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON (101)
 - 

ACACIA REDOLENS
'DESERT CARPET'™
1 GALLON (13)

1" SCREENED IN PARKING LOT PLANTERS
1/2" SCREENED SADDLEBACK BROWN
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

6"-8" SADDLEBACK BROWN
RIP-RAP
SEE CIVIL DRAWINGS FOR DEPTH

DESIGNGROUP

P: 480.966.4001

**2nd REVIEW
RECEIVED
DEC 22 2021
TY OF BUCKEYE
ANNING & ZONING
WD**

CRIMSON CANYON

DURANGO STREET, WEST OF MILLEN ROAD
BUCKEYE, AZ

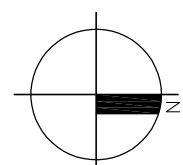
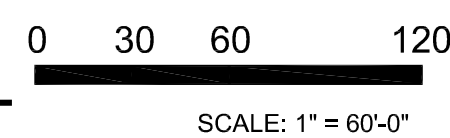
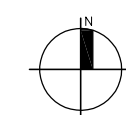
LGE | **DESIGNBUILD**

[illegible]

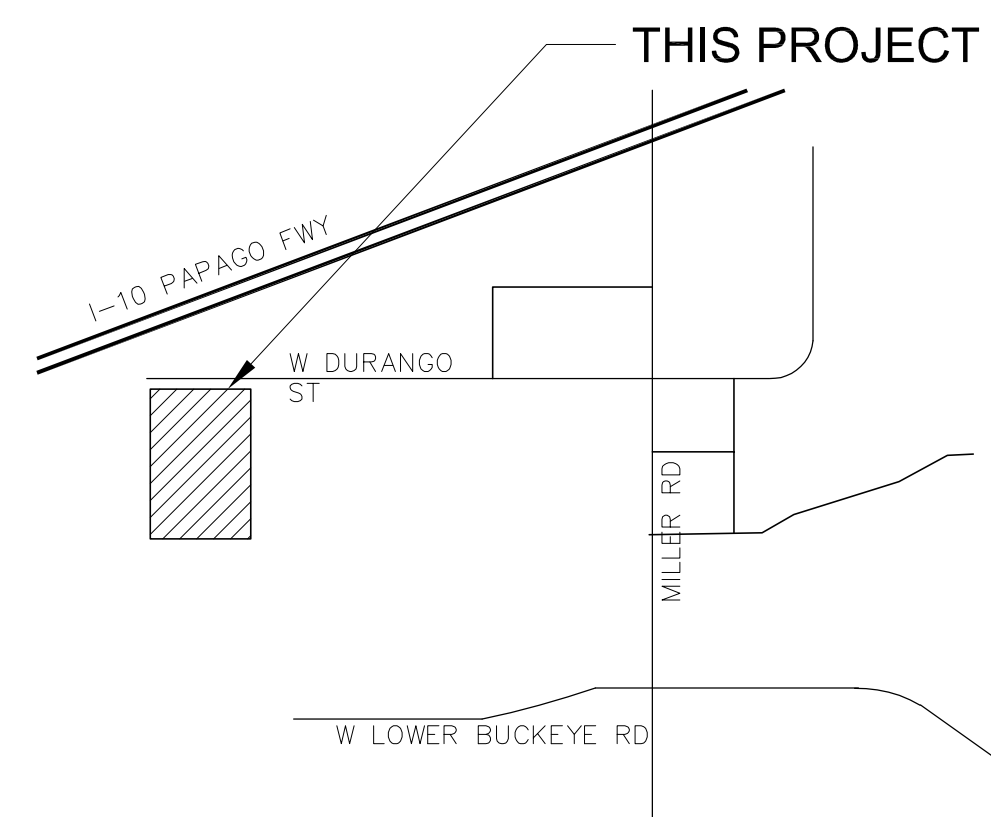
SHEET TITLE:	
LANDSCAPE PLAN	
SHEET DATE:	
	11.22.21
DRAWN BY:	
CHECKED BY:	
	BJM
PROJECT No.:	
SHEET:	

_a.01

LANDSCAPE PLAN

VICINITY MAP
BUCKEYE, ARIZONA

— THIS PROJECT



50% SET

1.22.21

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street , Suite 120
Scottsdale, Arizona 85258
P (602)265-0320

EMAIL: timmcqueen@tjmla.net

T.J. McQUEEN & ASSOC., INC. LANDSCAPE ARCHITECTURE (TJMLA) EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION & CONSENT FROM TJMLA.



Attachment 5. Correspondence

Randy Proch

From: billsansom1@gmail.com
Sent: Friday, December 24, 2021 09:49
To: Randy Proch
Cc: Michelle R. Hess; John Sheridan; Dave Teeple; Daniel Macias
Subject: Solution to Crimson Canyon West Park fencing problem

[NOTICE: This message originated outside of the City of Buckeye -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

This type of fencing is already in place along the west perimeter of West Park subdivision it would be faster easier and cheaper to install across the cul-de-sac at 2 57th Ave. and 2 58th Dr. Since this fence is already in place along the western boundary of west park subdivision additional permitting should not be required LGE still needs to fence the southwest corner and north west corner of the 20 foot setback. As a good neighbor gesture they should contribute to West Park for the construction of the fence on West Park property this fence is in the best interest of all concerned it would enhance the safety and security of the Crimson Canyon project



Sent from my iPhone

From: [Daniel G. Macias](#)
To: [Randy Proch](#)
Subject: FW: Crimson Canyon project : fencing
Date: Thursday, January 13, 2022 14:13:25
Attachments: [164E66E576164C3185F5341420044046.png](#)
[1F85B76413D148668E6200E0CEFAA54D.png](#)
[50D960EDE864436F847C6873D734B2E8.png](#)
[image001.png](#)
[image006.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)

[NOTICE: This message originated outside of the City of Buckeye -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]



Designing your vision. Building your future.

Danny Macias

Project Manager / Registered Architect

O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008



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From: Bill Sansom <billsansom1@gmail.com>
Sent: Wednesday, January 5, 2022 10:02 AM
To: Daniel G. Macias <dannym@lgedesigngroup.com>
Subject: RE: Crimson Canyon project : fencing

Mr. Macias,

Thank you for your reply to our concerns.

1. The vacant parcel has always been private property. It was posted "No Trespassing" yet the OHVs and dirt bikes raced all over it, raising clouds of dust, disturbing the peace, and sometimes nearly missing people who were walking across the property. The block wall may stop that within the walls, but concentrate it around the outside of the walls, and down into the flood retention basin directly behind my home, that is owned by Westpark.
2. Ground cover presently exists in the 20 feet wide set-back. It has not slowed the off road use at all. Do you plan to strip that set-back of the existing ground cover and then plant new? I believe a permanent Fence or

gated blockage across the 20 feet set-back on the northwest corner, at the current west end of Durango street, would better stop off road vehicle access.

3. I could not see the retention basin, you mentioned, in the drawing you provided, along the southern property line. A retention basin already exists at the location, within Westpark property boundary. Do you plan to restore that basin, or are you planning a new one? Some of the erosion wash outs along the banks of the present retention basin have been riprapped, which stopped the erosion and the off road vehicle use, but new erosion gullies continue to grow, and they will eventually channel on to Crimson Canyon project unless that basin is fully riprapped along the banks. I don't know what the project plan is for drainage off the building and paved lot within the walls, but it will have to go somewhere. I have photos that show the existing retention basin behind my home nearly bank full of water from storm run-off. What is going to happen to that run-off water after the project is built?
4. Boulders do not stop dirt bikes, they just provide a slalom course challenge.

Thank you for the offer of \$2,000 to Westpark for rail fencing. I hope they take you up on the offer. I also hope they actually install the rail fencing across the end of 257th Ave., and between the gap in walls along 258th drive, rather than use the donation elsewhere.

Construction of the Crimson Canyon Monolith brings many problems to Westpark residents, who will see this building looming over them, along with the noise disturbance. Your efforts - and ours - have done much to mitigate these problems. Thank you.

Bill Sansom

Sent from [Mail](#) for Windows

From: [Daniel G. Macias](#)

Sent: Tuesday, January 4, 2022 12:16 PM

To: [Michelle R. Hess](#); [Dave Teeple](#); [Bill Sansom](#)

Cc: [John Sheridan](#); [Pete & Dawn Walden](#); [jimgidley@gmail.com](#); [Randy Proch](#); [tlg0823@icloud.com](#); [Dominic Alba](#)

Subject: RE: Crimson Canyon project : fencing

Councilmember Hess and Neighbors:

The vacant parcel is currently used by OHVs and dirt bikes. This nuisance to the neighborhood will soon be alleviated by the development of the Crimson Canyon project.

1. The vacant parcel will become private property and will be subject to "No Trespassing".
2. The onsite improvements (trees, shrubs, ground cover, etc.) along the western edge of the property will obstruct and prohibit these vehicles from continued use along this path.
3. The southern edge of the Crimson Canyon property will become a graded retention basin (with riprap to prevent erosion). Vehicular traffic (OHVs and dirt bikes) in this area will be mitigated due to the shape of the basin, the slope of the edges of the basin and the riprap itself will create an uneven surface.
4. Crimson Canyon will install boulders within the southern property line that will further discourage the use of these vehicles.

The Developer cannot construct any other improvements beyond their property lines. As a gesture of good faith, the Developer is willing to make a \$2,000 contribution to the Westpark HOA for the purpose of constructing additional rail fencing on the Westpark property.

Thank you,



Designing your vision. Building your future.

Danny Macias

Project Manager / Registered Architect

O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008



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From: Michelle R. Hess <mrhess@buckeyeaz.gov>

Sent: Thursday, December 30, 2021 5:06 PM

To: Dave Teeple <dt2700@msn.com>; Bill Sansom <billsansom1@gmail.com>; Daniel G. Macias <dannym@lgedesigngroup.com>

Cc: John Sheridan <plumberj469@gmail.com>; Pete & Dawn Walden <waldenpj@msn.com>; jimgidley@gmail.com; Randy Proch <rproch@buckeyeaz.gov>; tlg0823@icloud.com

Subject: Re: Crimson Canyon project : fencing

Thank you gentleman. I just wanted to make sure that we visit all options. We will need to wait until Daniel returns on Monday to continue the conversations.

From: Dave Teeple <dt2700@msn.com>

Date: Thursday, December 30, 2021 at 1:11 PM

To: Michelle R. Hess <mrhess@buckeyeaz.gov>, Bill Sansom <billsansom1@gmail.com>, Daniel G. Macias <dannym@lgedesigngroup.com>

Cc: John Sheridan <plumberj469@gmail.com>, Pete & Dawn Walden <waldenpj@msn.com>, jimgidley@gmail.com <jimgidley@gmail.com>, Randy Proch <rproch@buckeyeaz.gov>, tlg0823@icloud.com <tlg0823@icloud.com>

Subject: Re: Crimson Canyon project : fencing

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Don't think that will solve the problems. We still have to limit access to stop this from becoming a thoroughfare.

Get [Outlook for iOS](#)

From: Michelle R. Hess <mrhess@buckeyeaz.gov>

Sent: Tuesday, December 28, 2021 12:16:11 PM

To: Bill Sansom <billsansom1@gmail.com>; Daniel G. Macias <dannym@lgedesigngroup.com>

Cc: Dave Teeple <dt2700@msn.com>; John Sheridan <plumberj469@gmail.com>; Pete & Dawn Walden

<waldenpj@msn.com>; jimgidley@gmail.com <jimgidley@gmail.com>; Randy Proch <rproch@buckeyeaz.gov>; tlg0823@icloud.com <tlg0823@icloud.com>

Subject: Re: Crimson Canyon project : fencing

Bill and David,

Did you see LGE's response regarding boulders along the property lines? What were the thoughts regarding that?

Michelle R. Hess

Buckeye Councilmember District 3

Phone: (623) 349-6943

Mobile: (623) 252-8339

Fax: (623) 349-6951

From: Bill Sansom <billsansom1@gmail.com>

Sent: Thursday, December 23, 2021 2:55 PM

To: Daniel G. Macias <dannym@lgedesigngroup.com>

Cc: Dave Teeple <dt2700@msn.com>; dannym@lgedesigngroup.com <dannym@lgedesigngroup.com>; John Sheridan <plumberj469@gmail.com>; Pete & Dawn Walden <waldenpj@msn.com>; jimgidley@gmail.com <jimgidley@gmail.com>; Randy Proch <rproch@buckeyeaz.gov>; tlg0823@icloud.com <tlg0823@icloud.com>; Michelle R. Hess <mrhess@buckeyeaz.gov>

Subject: RE: Crimson Canyon project : fencing

[NOTICE: This message originated outside of the City of Buckeye -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Here is the solution, if you are actually interested in one.

This 1 ½" square x 4 ft high (above grade) two rail boxed steel fencing is located at the end of Elizabeth Ave. in Westpark Subdivision. The posts are 10' between, and the top rail is 20' long sections. As you can see in the photos, the fence can follow any angle. The walk-thru offset would be constructed to prohibit dirt bike access. Flooding and drainage concerns would be eliminated. The rail fence would be easier, faster, and cheaper to construct than a block wall. It would be possible for Westpark to connect the block walls at the end of 257th Ave., cul-de-sac and 258th dr., prohibiting any vehicular access from that direction. Westpark should not need a permit to finish constructing a fence that must have already been approved, when the fence along the west side of Westpark was permitted.

LGE could use this same type of fencing, connecting their wall with Westpark wall, wholly on their property at the Northwest corner (Durango Street) and the southwest corner of 258th dr. The landscape boulders could be used along the Southeast corner of the project. LGE could also kick in a few bucks for the Westpark fencing as a good neighbor gesture, as they are creating the race track, by channeling OHV traffic thru the 20' wide set-back.

Bill Sansom

Sent from [Mail](#) for Windows

From: [Daniel G. Macias](#)

Sent: Tuesday, December 21, 2021 1:04 PM

To: [Randy Proch](#); [Michelle R. Hess](#); [Bill Sansom](#); [Morgan Maroney](#)

Cc: [John Sheridan](#); [April Selvidge](#); [Dave Teeple](#); tlg0823@icloud.com; [Pete & Dawn Walden](#)

Subject: RE: Crimson Canyon project : fencing

Councilmember Hess,

Our client is in favor of pursuing the solution of using the boulder option. This item has been a point of discussion in our ongoing meetings with the developer and the city.

1. Constructing a wall is not possible due to drainage and flooding concerns.
2. Fencing across two properties creates maintenance and liability concerns.

Currently, we do not have another solution in mind.



Designing your vision. Building your future.

Danny Macias

Project Manager / Registered Architect

O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008



Our AZ and TX offices will close at 10:30am MST December 23rd and reopen January 3rd. Happy Holidays from the LGE/Creation Team

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From: Randy Proch <rproch@buckeyeaz.gov>

Sent: Monday, December 20, 2021 7:00 AM

To: Michelle R. Hess <mrhess@buckeyeaz.gov>; Bill Sansom <billsansom1@gmail.com>; Daniel G. Macias <dannym@lgedesigngroup.com>; Morgan Maroney <morganm@lgedesigngroup.com>

Cc: John Sheridan <plumberj469@gmail.com>; April Selvidge <april.selvidge@cityproperty.com>; Dave Teeple <dt2700@msn.com>; tlg0823@icloud.com; Pete & Dawn Walden <waldenpj@msn.com>

Subject: RE: Crimson Canyon project : fencing

It looks like the LGE team was dropped off this conversation. I have cc'ed their team once more, so that they may respond to the ongoing conversation below.

Thanks, Danny/Morgan.

Randy Proch, AICP

Senior Planner

C: 623-986-0701

O: 623-349-6293

Remote Working – Monday, Tuesday

At Office – Wednesday, Thursday



From: Michelle R. Hess <mrhess@buckeyeaz.gov>
Sent: Saturday, December 18, 2021 18:37
To: Bill Sansom <billsansom1@gmail.com>; Randy Proch <rproch@buckeyeaz.gov>
Cc: John Sheridan <plumberj469@gmail.com>; April Selvidge <april.selvidge@cityproperty.com>; Dave Teeple <dt2700@msn.com>; tlg0823@icloud.com; Pete & Dawn Walden <waldenpj@msn.com>
Subject: Re: Crimson Canyon project : fencing

Mr. Macias,

I know that you and the HOA have been looking for solutions to these issues and are looking to partner to resolve some of these issues. Would you be able to weigh in on the discussions and provide perhaps some insights from the LGE side?

Thank you,
Michelle R. Hess
Buckeye Councilmember District 3
Phone: (623) 349-6943
Mobile: (623) 252-8339
Fax: (623) 349-6951

From: Bill Sansom <billsansom1@gmail.com>
Sent: Saturday, December 18, 2021 4:26 PM
To: Randy Proch <rproch@buckeyeaz.gov>
Cc: John Sheridan <plumberj469@gmail.com>; April Selvidge <april.selvidge@cityproperty.com>; Michelle R. Hess <mrhess@buckeyeaz.gov>; Dave Teeple <dt2700@msn.com>; tlg0823@icloud.com <tlg0823@icloud.com>; Pete & Dawn Walden <waldenpj@msn.com>
Subject: RE: Crimson Canyon project : fencing

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Randy, During construction, a temporary chain link sectioned fence should be installed that would block all form of vehicular traffic off 257th Dr. and 257th ave., at the cul-du-sac. No access to the crimson canyon project site should be allowed, except off of Durango Street. A permanent block wall should be placed between project wall and Westpark wall at the Northwest corner (Durango Street) and southwest corner of the project wall to block any kind of traffic along the 20' wide corridor. Westpark could easily solve the access problem with a permanent steel boxed rail barrier connecting the Westpark walls at 257th Ave., and 257th dr., using the same design as the tubular fencing along the west side of Westpark. That steel fence barrier fence could be designed to allow walk thru access, with a removable section over the sewer/water line.

The flood retention basin (directly behind my house) as well as the 20' wide corridor between block walls, has became an OHV and dirt bike race track. While the retention basin is on Westpark property, OHV traffic accesses it (mostly) thru Crimson Canyon Property, so this is a shared problem between landowners and one that could be solved cooperatively. I feel that a post and rail fence along the 95 foot Blue line, on your map, would solve the problem. If maintenance needed to be done on the utility lines than that section of fencing could be temporarily removed.

Its easy to find a problem with every solution – if you don't care about solving the problem.

Sincerely,
Bill Sansom

Sent from [Mail](#) for Windows

From: [Randy Proch](#)

Sent: Thursday, December 16, 2021 8:39 AM

To: [Bill Sansom](#)

Cc: [John Sheridan](#); [Dave Teeple](#); [April Selvidge](#); [Pete & Dawn Walden](#); [Jim Logan](#); [tlg0823@icloud.com](#); [Daniel G. Macias](#); [Morgan Maroney](#)

Subject: RE: Crimson Canyon project : fencing

Mr. Sansom,

I apologize for my delay in response. My graphic down below shows approximately where their perimeter wall will be in red. The applicant is interested in putting a fence between the two walls along the western side of their property to prevent access as you've noted below. The second area along the south side will be more difficult.

Because the open area is split between ownerships, it becomes more difficult to determine who/where fences are placed. Either the HOA must work on the Crimson Canyon property; or, Crimson Canyon comes onto the Westpark property. Once the fence is installed, should anything happen to it, who repairs/replaces it?

The other difficult part of this is that the area is used for storm retention and has water and sewer utility pipes running through their property and connecting into the street at the 257th Avenue cul-de-sac. Any fencing will require some level of access or "removeability" in order to maintain the pipes in good working order. No wall could be placed through their property and the Westpark open space, as it would essentially "dam" an area that water must flow through.

The boulder option will prevent side by sides. Dirt bikes unfortunately are as narrow as a bicycle or pedestrian.

I've looped back in the LGE team to this email thread to see if they have another solution that could work for both ownerships.

Thanks,
Randy

Randy Proch, AICP
Senior Planner
C: 623-986-0701
O: 623-349-6293

Remote Working – Monday, Tuesday
At Office – Wednesday, Thursday



From: Bill Sansom <billsansom1@gmail.com>

Sent: Friday, December 10, 2021 11:23

To: Randy Proch <rproch@buckeyeaz.gov>

Cc: John Sheridan <plumberj469@gmail.com>; Dave Teeple <dt2700@msn.com>; April Selvidge <april.selvidge@cityproperty.com>; Pete & Dawn Walden <waldenpj@msn.com>; Jim Logan

<jchico777@gmail.com>; tlg0823@icloud.com

Subject: RE: Crimson Canyon project : fencing

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Mr. Porch,

Thank you for addressing some of our concerns re; Crimson Canyon Project. I have some additional suggestions and comments.

1. High canopy drought tolerant trees should also be planted in the set-back area along the south and east side project wall. Thank you for stating that the western 20' foot separation will only be trees and shrubs, **no access**. I want to note that **no** ohv access is permitted now – but dirt bikes, and ohv traffic freely run all over the property, trees and rocks will not stop that. But a solid barrier will. Without a solid barrier at the northwest corner, the project is creating a 20 foot wide raceway for dirt bikes and sidexsides.
2. Thank you for stating that directional lighting will be installed. Also the higher the better for the block wall.
3. The blue line running south from project to 2429 S. 257th Ave., would be a good location to place a permanent wall (allowing only walk-thru access), after construction. During construction, a temporary fence should be placed diagonally from the south corner of block wall at 257th drive to the block wall at the corner of 2429 S. 257th ave. One only needs to look at the tire tracks ploughing through the gravel off the 257th Ave cul-de-sac to know that at least temporary fencing needs to be placed –But it should be done at the expense of the project contractor because temporary fencing will protect access to their project, while eliminating noise and dust traffic from casual vehicle use. Typically, construction activity installs preventative fencing to protect themselves from liability issues, theft, and vandalism.

My main concern here is that project walls appear to be channeling OHV use right up against Westpark boundary walls, and down into the flood retention basin directly behind my home, this has been a long standing sore spot for all Westpark residents that live along the walls. This is a good opportunity to correct that long standing problem. I want to be part of that solution.

Sincerely,

Bill Sansom

Billsansom1@gmail.com

Sent from [Mail](#) for Windows

From: [Randy Proch](#)

Sent: Thursday, December 9, 2021 3:24 PM

To: [Michelle R. Hess](#); [John](#); dt2700@msn.com; [Daniel G. Macias](#); billsansom1@gmail.com; jchico777@gmail.com; [Morgan Maroney](#)

Subject: RE: Crimson Canyon project

Mr. Teeple,

36" box trees will be used along the entire western property line in an area between the residents' backyard wall and the Crimson Canyon perimeter wall, which are 20 feet apart. The applicant did not want to alter or modify the existing walls of the homes, hence the secondary security wall within their own property. The 20-foot separation is the required landscape setback per the Buckeye Development Code, so the area between the walls will only be trees and shrubs, no access. Yes, LGE is also looking into raising the proposed wall height more than the 6-foot height shown on the first review of their plans, as noted by Councilmember Hess below. All lighting is required to have fully-shielded cut-off fixtures that shine light directly down.

Mr. Sheridan,

The southern security wall is set into their property, by about 55 feet from the property line. There is an existing sewer line (depicted in green below) that runs through their property from Durango Street and exits out into the 257th Avenue cul-de-sac. There is about 95' between their wall and the wall from 2429 S. 257th Avenue. This creates a tricky situation as neither wall is against the property line of the other owner.



I will defer to LGE to see how construction fencing will be handled and ensure no construction access is planned from the Westpark community. I will look into the process for permitting temporary fencing, though this is something LGE can plan for from the start of their process for grading and moving dirt. If you wanted to do farm fencing, please always start with <http://www.arizona811.com/> to make sure you do not hit any underground utilities. There is no cost for the companies to come out and mark all lines. I know there is still ongoing discussion about boulder relocation from their site against Durango Street and gifting those to the Westpark community, and should you wish to accept them, the LGE team can put those into your open space area.

If either of you have any further questions, please feel free to reach out to me.

Thanks,
Randy

Randy Proch, AICP
Senior Planner
C: 623-986-0701
O: 623-349-6293

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From: Michelle R. Hess <mrhess@buckeyeaz.gov>

Sent: Thursday, December 9, 2021 14:30

To: John <plumberj469@gmail.com>; dt2700@msn.com; Daniel G. Macias <dannym@lgedesigngroup.com>; billsansom1@gmail.com; jchico777@gmail.com; Randy Proch <rproch@buckeyeaz.gov>

Subject: Re: Crimson Canyon project

Hi John,

Thanks for the quick response. I will defer to Randy P from the city to see if this is something that we can do this or if it even requires anything from the city.

Michelle R. Hess

Buckeye Councilmember District 3

Phone: (623) 349-6943

Mobile: (623) 252-8339

Fax: (623) 349-6951

From: John <plumberj469@gmail.com>

Sent: Thursday, December 9, 2021 8:36 AM

To: Michelle R. Hess <mrhess@buckeyeaz.gov>; dt2700@msn.com <dt2700@msn.com>; Daniel G. Macias <dannym@lgedesigngroup.com>; billsansom1@gmail.com <billsansom1@gmail.com>; jchico777@gmail.com <jchico777@gmail.com>; Randy Proch <rproch@buckeyeaz.gov>

Subject: Re: Crimson Canyon project

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Hello Michelle

We do have all intentions to put up fencing in that area. However it was our intention to connect this fence from a wall on our property to the outside wall of the warehouse property. It is my intention to work with the City and Crimson Canyon to make this happen when the construction of the wall begins. I think that Dave is concerned about people entering the site while it is under construction from our property and we may very well need to address that if it is happening. I am asking in advance if there is anyway that we could get a temporary approval from the City to use 4' farmers fence in the area until the wall is completed ?. Westpark does have the capability of installing this type of fencing ourselves at a very low cost to our residents. Obviously this fence will be taken down when the wall and permanent fence are in place because it will no longer be needed.

Thanks

John Sheridan

On December 8, 2021, at 1:36 PM, "Michelle R. Hess" <mrhess@buckeyeaz.gov> wrote:

Good afternoon Mr. Teeple,

As you mention, I was a resident of Westpark, but moved just across Miller road now. I am still very much impacted by this project and invested in this for my residents and the overall area. We are doing the best we can from a legal stand point to lessen the impacts of these projects as best as we can.

I am including Randy Proach, from staff on this email to address the items that I cannot address. I believe the meeting was recorded and most of these issues were addressed. Randy, would we have access and ability to share that recording with the individuals in this email? In the meantime, let me answer as best as I can.

1. The property was zoned in April of 2000 as General Commerce (GC). I including the GC uses in a pdf. Since the property was entitled for all of the use listed in GC, it did not have to come to the City Council or the Planning and Zoning Commission for approval. Therefore, no one has actually "approved" this property, they have the land rights to do what they are doing. When Crimson Canyon begins looking at tenants, we intend to request a Letter of Operations and provide feedback then regarding additional controls we may be able to apply, such as hours of operations. The city will continue to work with them in the planning to be good neighbors.
2. If my memory serves me correct, the project is proposing 35inch box trees. In addition, the question was asked if they could also look into raising the block fence to assist in the view and blocking sound. LGE is going to look into the cost of accommodating that request and get back to us, but it seemed like that was something they may be able to do.
3. In regards to 257th, I believe they were trying to get some fencing put into place for that area in partnership with the HOA. JOHN, could you speak to this? If not, I reach back out to LGE and see where those conversations were left.

If you have any follow-up questions or would like a meeting with myself and staff, please let me know.

Thanks,
Michelle R. Hess
Buckeye Councilmember District 3
Phone: (623) 349-6943
Mobile: (623) 252-8339
Fax: (623) 349-6951

From: Dave Teeple <dt2700@msn.com>

Sent: Wednesday, December 8, 2021 12:16 PM

To: Michelle R. Hess <mrhess@buckeyeaz.gov>; Daniel G. Macias <dannym@lgedesigngroup.com>; Bill / Connie Sansom <billsansom1@gmail.com>; John Sheridan (plumberj469@gmail.com) <plumberj469@gmail.com>; Jim Logan <jchico777@gmail.com>

Subject: Crimson Canyon project

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Hi Michelle, My name is David Teeple and I am sending this concern I have regarding the new building that is supposed to go up West of the School district building on Durango St.

I could not attend the on line meeting with the builder as my wife was taken to the hospital that day.

I have several concerns:

- 1 I don't see how the city could approve having semi parking so close to residential properties (20Ft) I am told. The noise and air pollution will certainly present problems for the residents especially if they run 3 shifts at this place.
2. Without tall trees being used for landscaping, a 40 ft tall building is going to shine their lights right into our windows. I was told that they will only use small trees and shrubs.
3. The Cul du Sac at the end of 257th even though it is posted "No Trespassing" will become a freeway to workers who may live in Westpark and others who "just want to check things out"

As a former resident of WestPark I always thought you looked out for us in most ways. Can you address these issues and let me know why these things were not addressed and perhaps what can be done?

Thank you,
David R. Teeple

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