



PLEASE SILENCE ALL ELECTRONIC COMMUNICATION DEVICES. THANK YOU.

**NOTICE OF POSSIBLE QUORUM OF THE BUCKEYE CITY COUNCIL
A MAJORITY OF THE CITY COUNCIL MAY ATTEND THE REGULAR MEETING OF THE
BUCKEYE PLANNING AND ZONING COMMISSION BUT NO LEGAL ACTION CAN OR WILL BE
TAKEN BY THE CITY COUNCIL.**

**CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
APRIL 8, 2025
AGENDA**

**City Council Chambers
530 East Monroe Avenue
Buckeye, AZ 85326
6:00 p.m.**

****Live streaming will be available via YouTube****

The doors will be open to the public at least 15 minutes prior to the start time of the meeting.

Accessibility for all persons with disabilities will be provided upon request. Please telephone your accommodation request (623) 349-6911, 72 hours in advance if you need a sign language interpreter or alternate materials for a visual or hearing impairment.

Voting Members will either attend in person or by telephone conference call or video presentation. Items listed may be considered in any order.

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

2. MINUTES

- 2.A** [Approval of minutes from the March 25, 2025 Planning and Zoning Commission regular meeting.](#)
Staff Liaison: Keri Hernandez, Management Assistant, khernandez@buckeyeaz.gov (623) 349-6211

3. REGULAR AGENDA

- 3.A** [Conduct a public meeting and approve a Preliminary Plat for Vistas at Buckeye \(Case No. PLZS-24-0004\) establishing 363 single-family lots on approximately 109 acres, generally located at the northwest corner of the 231st Avenue Alignment and Broadway Road.](#)
Staff Liaison: Sean Banda, Senior Planner, sbanda@buckeyeaz.gov, (623) 349-6215

4. COMMENTS FROM THE PUBLIC

Any members of the audience may comment on non-agenda items. However, State Open Meeting Law does not permit the Commission to discuss items not specifically on the agenda. The Commission may direct inquiries to City staff.

Action Required: None

5. **PLANNING MANAGER REPORT AND SUMMARY OF CURRENT EVENTS**

6. **PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS**

Any regular or alternate Commissioner or Council Liaison may present a brief summary on current events

Action Required: *None; there will be no discussion, deliberation, proposals, or legal action.*

7. **ADJOURNMENT**

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 04/08/25	AGENDA ITEM: 2.A. MINUTES
DATE PREPARED: 04/02/25	DISTRICT NO.:
STAFF LIAISON: Keri Hernandez, Management Assistant, khernandez@buckeyeaz.gov (623) 349-6211	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Minutes

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members)
Approval of minutes from the March 25, 2025 Planning and Zoning Commission regular meeting.

SUMMARY

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[3.25.2025.PZC.MinutesDRAFT.pdf](#)



CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
MARCH 25, 2025

City Council Chambers
530 East Monroe Avenue
Buckeye, AZ 85326

****Recording of this meeting is available via YouTube****

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

Chairperson Ted Burton called the meeting to order at 6:00 p.m.

Members present: Chair Ted Burton, Commissioner Rebecca Puppe, Commissioner Gina Ragsdale, Commissioner Deanna Kupcik, Commissioner Donald Bassler, Commissioner Sebastian Trupiano, Alternate Charles Hester seated for District 4, Alternate Les Manuel, Alternate Douglas McDonald

Members absent: Vice Chair Anthony DiMascio, Alternate Ryan Belshee

Staff present: Planning Manager Ken Galica, Planner II Patricia Cooley, Principal Planner Mandy Woods, Assistant City Attorney Tosca Henry, Management Assistant Keri Hernandez.

2. MINUTES

2A. APPROVAL OF MINUTES FROM THE MARCH 11, 2025 PLANNING AND ZONING COMMISSION REGULAR MEETING.

A motion was made by Commissioner Kupcik and seconded by Commissioner Trupiano to approve minutes as presented. Approval 7-0. Motion carried.

3. REGULAR AGENDA

3A. AT&T NEW SINGULAR WIRELESS PCS – CONDITIONAL USE PERMIT (PLZU-24-0006)

Planner II Patricia Cooley presented and was available to answer questions from the Commission. Commissioner Ragsdale asked if there will be anything between Buckeye Marketplace and the structure depicted in the presentation. Ms. Cooley indicated that staff is not aware of any applications for that space at this time.

Commissioner Trupiano asked if the presented design of the Broadleaf Elm keeps with the character of the area. Ms. Cooley referred in her presentation, a photo of the surrounding area and stated that it should fit in as close as possible for what is offered on the market for that existing tree-line.

A public hearing opened at 6:10 p.m.

With there being no comments from the public, the public hearing closed at 6:10 p.m.

A motion was made by Commissioner Puppe and seconded by Commissioner Ragsdale to recommend approval to City Council subject to conditions 'a – e' as presented. Approval 7-0. Motion carried.

3B. SWC VERRADO WAY AND YUMA ROAD – MINOR GENERAL PLAN AMENDMENT (PLZU-24-0004)

Principal Planner Mandy Woods presented and was available to answer questions from the Commission.

Commissioner Trupiano asked if improvements will be made to the intersection of Verrado Way and Yuma Road.

City Traffic Engineer John Willett indicated that there is currently a CIP project in the review process that will make improvements to that intersection and will be carried out in conjunction with or prior to the project presented. Mr. Willett also indicated that the main objective for the intersection will be to have three lanes from all directions.

A public hearing was opened at 6:32 p.m.

Buckeye resident Terri Mayfield spoke of her concerns with water rights, sewer lines and potential future type of residences for this project.

Applicant Jeff Blilie presented and was able to answer questions from the Commission.

With there being no further comments from the public, the public hearing closed at 6:39 p.m.

A motion was made by Commissioner Ragsdale and seconded by Commissioner Kupcik to recommend approval to City Council as presented. Approval 7-0. Motion Carried.

3C. SWC VERRADO WAY AND YUMA ROAD PLANNER AREA DEVELOPMENT – REZONE (PLZZ-24-0005)

Principal Planner Mandy Woods presented and was available to answer questions from the Commission.

A public hearing was opened at 6:41 p.m.

With there being no comments from the public, the public hearing closed at 6:41 p.m.

A motion was made by Commissioner Trupiano and seconded by Commissioner Ragsdale to recommend approval to City Council subject to conditions 'a – aa' as presented. Approval 7-0. Motion Carried.

3D. LAND 85 (FORMERLY KNOWN AS BUCKEYE 225) – COMPREHENSIVE SIGN PLAN (CSP) (PLZSP-24-0027)

Planning Manager Ken Galica presented and was available to answer questions from the Commission.

Commissioner Puppe asked why the name of the project was changed. Mr. Galica indicated that the name change may have been based on the location of the project being adjacent to SR85.

Commissioner Kupcik asked if the main sign would include individual addresses for the users. Mr. Galica informed the Commission that the addresses going on the main sign have not yet been determined.

Commissioner Trupiano asked if each of the buildings in this project would be subdivided. Mr. Galica indicated that multiple users per building is possible.

A motion was made by Commissioner Kupcik and seconded by Commissioner Bassler to approve subject to conditions 'a – c' as presented. Approval 7-0. Motion Carried.

4. COMMENTS FROM THE PUBLIC

None.

5. PLANNING MANAGER REPORT AND SUMMARY OF CURRENT EVENTS

Ken Galica informed the Commission that they will receive an email requesting feedback on the Community Services Parks and Recreation Master Plan draft. This plan will be on the Planning and Zoning Commission agenda in May to recommend City Council approval. Mr. Galica indicated that there will be a Commission meeting on April 8, 2025.

6. PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS

Commissioner Kucik informed the Commission and public of the Buckeye Valley Chamber of Commerce Quarterly Breakfast taking place on Wednesday, March 26, 2025 and will have an Economic Development update presentation. Ms. Kupcik announced that from 2:00 p.m. – 6:00 p.m. on Saturday, March 29, 2025, a food festival will take place at the southeast corner of Yuma and Watson behind the Quick Quack Car Wash.

7. ADJOURNMENT

With there being no further business, Chair Burton adjourned the meeting at 6:58 p.m.

Ted Burton, Chairperson

ATTEST:

Keri Hernandez, Management Assistant

I hereby certify that the foregoing is a true and correct copy of the Planning and Zoning Commission Regular Meeting held on the 25th day of March 2025. I further certify that a quorum was present.

Keri Hernandez, Management Assistant

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 04/08/25	AGENDA ITEM: 3.A. Vistas at Buckeye - Preliminary Plat
DATE PREPARED: 04/02/25	DISTRICT NO.: 2
STAFF LIAISON: Sean Banda, Senior Planner, sbanda@buckeyeaz.gov, (623) 349-6215	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Public Meeting / Non Consent - New Business

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members) Conduct a public meeting and approve a Preliminary Plat for Vistas at Buckeye (Case No. PLZS-24-0004) establishing 363 single-family lots on approximately 109 acres, generally located at the northwest corner of the 231st Avenue Alignment and Broadway Road.

SUMMARY

PROJECT DESCRIPTION:

The applicant, Zach Hilgart of Colliers Engineering & Design, is requesting approval of the Preliminary Plat for the project titled 'Preliminary Plat Vistas at Buckeye.' The project is generally located at the northwest corner of 231st Avenue alignment and Broadway Road. The proposed plat will establish 363 single-family lots and tracts for community open spaces on approximately 109 acres.

Please see attached staff report and exhibits for additional information and analysis.

BENEFITS:

This project will create additional single-family residential lots with a variety of lot types.

FUTURE ACTION:

None

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[PLZS-24-0004 Vistas at Buckeye Staff Report 04082025.docx](#)

[Exhibit A - PLZS-24-0004-Vicinity Map.pdf](#)

[Exhibit B - PLZS-24-0004 - Vistas at Buckeye Pre-Plat - Narrative.pdf](#)

[Exhibit C - PLZS-24-0004 Vistas at Buckeye Pre-plat - Preliminary Plat.pdf](#)

[Exhibit D - PLZS-24-0004 Vistas at Buckeye Pre-plat - Landscape Set.pdf](#)



PRELIMINARY PLAT

Report to the Planning and Zoning Commission

CASE NUMBER: PLZS-24-0004
TITLE: Vistas at Buckeye
MEETING DATE: April 8, 2025

Applicant: Zach Hilgart of Colliers Engineering & Design
Owner: Cowley Companies
Request: A Preliminary Plat for 363 single-family lots on approximately 109 acres
District: Council District 2
Location: Generally located at the northwest corner of 231st Avenue Alignment and Broadway Road
Site size: Approximately 109.21 gross acres
Gross Density: 3.3 dwelling units per acre
Public input: No input received
Recommendation: Approve, subject to Conditions a) through dd)

PROJECT DESCRIPTION

1. The applicant, Zach Hilgart of Colliers Engineering & Design, is requesting approval of the Preliminary Plat for the project titled 'Preliminary Plat Vistas at Buckeye.' The project is generally located at the northwest corner of 231st Avenue Alignment and Broadway Road.
2. The preliminary plat includes 363 detached single-family lots on approximately 109 acres with a gross density of 3.3 dwelling units per acre (du/ac). It features a mix of four (4) single-family lot sizes ranging from 45 feet to 63 feet wide. These lots are designed to front the three (3) strategically placed neighborhood parks.

AREA CONTEXT

3. The area is currently agricultural land and is surrounded by a mix of uses from agricultural land, a new residential subdivision, trailer park, church and cemetery.
4. *Table 1: Existing Land Use, General Plan Designation, and Zoning District*

	LAND USE	GENERAL PLAN	ZONING
Subject Property	Agricultural	Neighborhood	Planned Residential (PR)
North	Church and undeveloped commercial	Neighborhood	Maricopa County (R-43) Commercial Center (CC)
South	County Rural Subdivision	Neighborhood	Maricopa County (R-43) Planned Residential (PR)
East	Agricultural/Cemetery	Neighborhood	Rural Residential (RR)
West	Residential Monroe Ranch, trailer park and County rural subdivision	Neighborhood	Maricopa County (R-43) Planned Residential (PR)

PUBLIC PARTICIPATION

5. As of February 2024, the code was amended to eliminate notice requirements for preliminary plats.

BACKGROUND

4. January 17, 2006: Ordinance 17-06 was adopted by Town Council to annex the property.
5. April 4, 2006: Ordinance 25-06 was adopted by Town Council to rezone the property from Rural Residential (RR) to Planned Residential (PR).

ANALYSIS

6. The General Plan Land Use Map specifies the subject area in the Neighborhood District which is designed to be developed with a broad range of residential types and densities, inclusive of both single-family and multi-family communities. The proposed single-family residential subdivision is consistent with the Neighborhood designation.
7. The subject property has been zoned Planned Residential (PR) since 2006. For properties zoned PR, setbacks are established by the Preliminary Plat. The proposed setbacks, shown in Table 2 below, are in-line with contemporary building and development standards.
8. *Table 2: Vistas at Buckeye Development Standards:*

Parcel	Lots	Typ. Lot Size	Setbacks: Front	Side	Rear
1	64	45' x 115' Min. 5175 sf	10' (front living area, front porch and side loaded garage) 18' (front loaded garage)	5' (each side) 10' between units	20'
2	104	53' x 120' Min. 6360 sf	10' (front living area, front porch and side loaded garage) 18' (front loaded garage)	5' (each side) 13' between units	20'
3	96	63' x 120' Min. 7560 sf	10' (front living area, front porch and side loaded garage) 18' (front loaded garage)	5' (each side) 13' between units	20'
4	99	45' x 115' Min. 5175 sf	10' (front living area, front porch and side loaded garage) 18' (front loaded garage)	5' (each side) 10' between units	20'

**Setback to the front face of a garage to the nearest sidewalk edge is 20-feet*

9. The subject property has a unique shape which impacts lotting, access, and circulation design options. With an understanding of the site's limitations, the designer worked with staff dating to the project's pre-application meeting to develop a subdivision design that meets City requirements but also prioritizes urban design principals by fronting homes onto community open spaces and parks.
10. HOA-maintained landscaped tracts are thoughtfully incorporated throughout the development, providing both open space and recreational amenities. The Development Code requires 25% open space for the overall development, these landscaped areas cover approximately 28.11 acres, representing 32.8% of the subject preliminary plat.
11. A comprehensive trail system is planned throughout the development. The trail system links the three amenitized parks and created unobstructed pedestrian circulation through the entirety of the project and even includes a pedestrian gate to the adjacent Monroe Ranch.

12. This project is located adjacent to Sundance Regional Park, one of Buckeye's Regional Parks. While proximity to the park does not contribute to the project's open space requirements, it provides an additional benefit to future residents of this development.
13. The primary access to the development will be from Watson Road and Elwood Street to the west, and from Broadway Road via 231st Avenue to the south. As part of this project, half-street improvements adjacent to the property will be made, including the necessary turn lanes as specified in the Traffic Impact Analysis or in accordance with the City of Buckeye Engineering Design Standards, whichever requirement is more stringent. All streets within the development will be public, and construction will adhere to the City of Buckeye's standard street cross-section specifications.
14. The Preliminary Plat establishes the approved thematic design elements for walls and monument signs throughout Vistas at Buckeye. The conceptual landscape and wall plan details the design and placement of theme walls, view walls, entry features, and other community amenities. Final specifications will be determined upon completion of the final landscaping plans.
15. City of Buckeye will be the provider of both water and sewer services to the site. The project will connect to an existing 16-inch waterline located in Watson Road and an existing 12-inch sewer line in Broadway Road. The developer will be responsible for completing all improvements required to allow the City to adequately serve the lots within the community.
16. Fire and Police services to the future community will be provided by the City of Buckeye. The closest fire station to the proposed plat is the Sundance Fire Station 702 located approximately 2 miles away on Rainbow Road. The nearest police station is within the Sundance Crossing municipal complex west of the southwest corner of Yuma Road and Dean Road, approximately 2.5 miles (as the crow flies) from the site.
17. The project is located within the Buckeye Union High School District and Buckeye Elementary School District. The applicant is required to provide a signed Certificate of Adequate School Facilities related to the proposed Vistas at Buckeye Subdivision.

RECOMMENDATION

18. Staff recommends the Planning and Zoning Commission approve Case PLZS-24-0004, Vistas at Buckeye Preliminary Plat, subject to Conditions a) through dd) for the following reasons:
 - Conformance with General Plan
 - Conformance with Development Code
 - No outstanding issues for reviewing departments including Engineering, Fire, Public Works, Community Services, Police, Water Resources, and Development Services.

Project Specific Conditions/Stipulations

- a) The property owner/s shall work with Roosevelt Irrigation District (RID) to determine any and all easements needed to convey offsite flows. The property owner/s shall work with RID to abandon the current blanket easement.

General

- b) Preliminary Plat approval is valid for a period of three (3) years, in accordance with the Development Code. The Preliminary Plat approval may be administratively extended by additional 12 month periods from the date of expiration if, in the opinion of the director, satisfactory progress has been made towards the completion of the final plat for the next phase of subdivision development.
- c) The property owner(s) and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- d) Development of the property shall be in general conformance with the, preliminary plat, titled "Vistas at Buckeye", consisting of "15" pages, dated "January 2025", and stamp received "January 7, 2025", except as modified by the following conditions/stipulations.
- e) This project is subject to a Parkway Maintenance Improvement District (MID) formed pursuant to Arizona Revised Statute § 48-574 and in accordance with City of Buckeye Ordinance 42-06. This will include a legal and exhibit of the ownership parcel.
- f) This project is subject to Street Light Improvement District (SLID) in accordance with City of Buckeye Ordinance 43-05. This shall be established prior to the recordation of the first Final Plat, Minor Subdivision, MOD, or any other related land division. This will include a gross boundary legal and exhibit of the ownership parcels for the following APN's _504-22-021A, 504-22-029A, 504-22-031, 504-22-035A, 504-22-035B, 504-22-036, 504-22-037.
- g) All existing overhead power lines less than 69 kV capacity, or any other overhead utilities within the project area or along its boundaries, shall be installed underground.
- h) All existing irrigation facilities located on the site shall be abandoned, relocated, or installed underground. Any District-owned facilities to be located within the right-of-way shall be located near the rear of the right-of-way and the right-of-way shall be extended at least five (5) feet, unless otherwise determined by the City. Any additional easements for District-owned facilities shall be placed outside of the right-of-way and the public utilities easement.
- i) All trash shall be collected through a City of Buckeye licensed trash hauler, including construction debris. Trash enclosures shall be in accordance with City of Buckeye Standards.

Streets

- j) The Property Owner/Developer shall be responsible for the dedication and construction of all half-street right-of-way and improvements, at no cost to the City, for Broadway

Road. Improvements are required on Watson Road to provide a southbound Left turn lane to serve Elwood Street that feeds this development. Full street improvements are required for Elwood Street & 231st Avenue and are to be extended out to Watson Road past the adjacent parcel (504-22-030A) and extend to this property's east property line. All improvements are based on City of Buckeye standards.

- k) The Property Owner/Developer shall submit a Map of Dedication (MOD) or other appropriate subdivision type to the City of Buckeye dedicating right-of-way for functionally classified roadways when requested to do so by the City. Such right-of-way may be requested by the City to be dedicated in advance of development to permit the construction of needed City infrastructure to adjacent sites.

Water / Wastewater

- l) The Property Owner/Developer shall allocate any surface water rights to the City prior to the issuance of any building permits.
- m) Prior to Final Plat approval, the Property Owner/Developer shall produce a Certificate of Assured Water Supply issued by the Arizona Department of Water Resources (ADWR), covering all lots and parcels created, defined, or depicted on said plat. The certificate must be consistent with all Arizona Department of Water Resources ADWR rules and regulations. In the event the City has been designated an assured water provided prior to Final Plat approval, and the ADWR has not yet issued a Certificate or Certificates of Assured Water Supply for the subdivision, a Certificate or Certificates of Assured Water Supply will not be required by the City. The City may instead require as a condition to Final Plat approval that the Property Owner/Developer provide the City with other evidence demonstrating that there is sufficient volume and quality of water necessary to serve the demands at the subdivision such as a physical availability determination issued by the ADWR along with supporting documentation or that the Property Owner/Developer provide the City with a copy of an analysis of assured water supply, with supporting documentation, issued by the ADWR for the subdivision.

Fire

- n) The Buckeye Fire Chief and City Engineer shall determine the number, location, and types of all fire hydrants.
- o) Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
- p) All buildings shall be equipped with a fire protection system as required by City of Buckeye Ordinance 03-22.
- q) Where two (2) fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half ($\frac{1}{2}$) of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

- r) Residential developments where the number of dwelling units exceeds 10 shall be provided with two (2) separate and approved fire apparatus access roads.

Public Works

- s) All landscaped areas within the public rights of way shall be delegated to the adjacent property owner, homeowners' association or other property maintenance association, and shall be designed and sealed by a landscape architect licensed by the Arizona Board of Technical Registration. The City Public Works Department shall review all irrigation plans for material selection only within the city right of way; therefore, the landscape architect shall coordinate with the Public Works Department early in the design to ensure the most efficient means of landscape irrigation that will reduce both long term maintenance costs and keep watering to the absolute minimum required for healthy growth of landscaping along the roadways of the City of Buckeye.
- t) Shrubbery in the right of way shall not obstruct any regulatory signage or sight distance triangle as defined in the Engineering Development Standards; therefore, shall be trimmed to less than two (2) feet from ground level.
- u) Landscaping within the public-right-of-way will require:
 - a. All landscaped areas, except those intentionally maintained with native plants, shall include an automatic irrigation system.
 - b. All native plant landscaping plans shall include an establishment maintenance plan that ensures long term growth of all plantings.
 - c. Water-efficient systems (e.g., drip, mini-spray, bubbler-type, or similar drip systems) shall be used whenever feasible. Low-flow sprinkler heads with matched precipitation rates shall be used when spray or rotor-type heads are specified for watering shrubs and ground cover areas.
 - d. Multi-program weather sensing controllers with separated valves and circuits shall be used when the project contains more than one type of landscape treatment (e.g., lawn, ground cover, shrub, tree areas), or a variety of solar aspects.
 - e. Soil moisture-sensing devices and rain sensors shall be used on all projects within public rights of way and in landscape tracts. The use of satellite based controllers is encouraged.
 - f. Root barriers shall be designed and incorporated for all trees that are in the public right of way to ensure vertical root growth and avoid adjacent curb, sidewalk or pavement upheaval due to tree roots.
 - g. Linear Root barriers shall be used along public improvements that are only on one (1) side of a tree.
 - h. Surround Root barriers shall be used when a tree is within the sidewalk or within a median.

- i. Tree canopies extending into the right of way shall be trimmed to the following minimum standards: 18 feet over any public roadway, seven (7) feet over any public sidewalk.

Transportation/Traffic

- v) Prior to submittal of Final Civil Plans and Construction Documents and any permitting, a Traffic Impact Analysis is required to be submitted and approved. All requirements of the Traffic Impact Analysis shall be reflected on the approved construction drawings.
- w) The development is responsible for construction of Elwood Street including the north side next to parcel APN 504-22-030A.
- x) On S. 231st Ave, near Broadway Road in front of parcels 1,2 and 3, NO PARKING SIGNS shall be installed on both sides of the road.
- y) Prior to the issuance of the first permit for the property, the Property Owner/Developer shall pay a pro rata share cost of up to nine (9) regional future traffic signals to be installed within this section of land. The pro rata share is based on a ratio of the project acreage to the developable acreage within the section. The sectional contribution is to be based on the following allocation of costs: (i) 25 percent share of four (4) possible signals at arterial street intersections; (ii) 50 percent share of four (4) possible signals at half-mile collector street intersections or project entries; and (iii) 100 percent share of one (1) possible signal internal to this project. The cost shall be based on an anticipated signal cost as determined by the City.
- z) All medians required for controlling site access shall be constructed with this development.
- aa) In the event that access to and within the project is deemed a threat to public safety and security by the City, the City has broad authority to take such action as it deems necessary to address such a threat until such time as the Property Owner/Developer eliminates the safety concerns to the City's satisfaction. The Property Owner/Developer is responsible for revising the roadway and access layout to alleviate the City's concerns with respect to public safety and security. Any such changes will be considered a minor change to existing site plan approvals and shall be approved by the City.
- bb) Half-street improvements including Rights-of-Way dedication shall be required along the entire parcel frontage as part of this development, including the installation of ITS conduit per the City standards. ITS conduits (2 7-way micro-ducts) must be installed along Broadway Road and Watson Road per City standards, including any necessary splice boxes.
- cc) On major local or local streets with a running length longer than 1200', traffic mitigation must be shown on the plat. Traffic mitigation can include elements such as chicanes and footballs and must be implemented with initial design. These traffic mitigation strategies may require no parking signs in areas where the traffic mitigation elements make on-street parking unsafe or unfeasible.

dd) Four-legged intersections will require 2 way stop signs at a minimum and all way stops at higher volume intersections.

EXHIBITS

Exhibit A - Vicinity Map

Exhibit C – Project Narrative

Exhibit D – Preliminary Plat

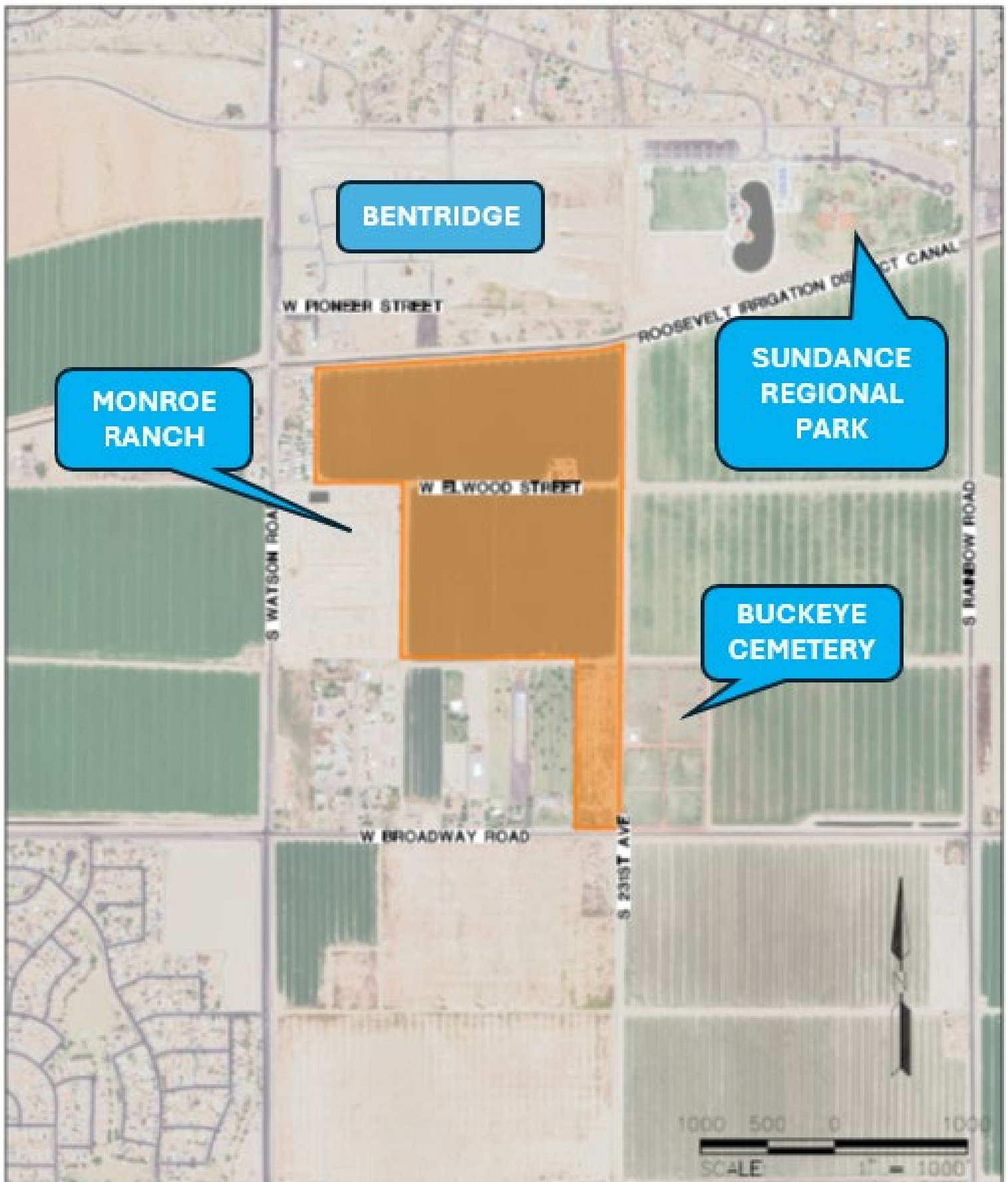
Exhibit E – Conceptual Landscape

Prepared by:

Sean Banda, Senior Planner

Reviewed by:

Ken Galica, Planning Manager



PROJ.NO.: 2292	VISTAS AT BUCKEYE WATSON RD & BROADWAY RD BUCKEYE, AZ	 HILGARTWILSON 2141 E. HIGHLAND AVE., STE. 250 PHOENIX, AZ 85016 P. 602.490.0535 / F. 602.368.2436
DATE: MAR 2024		
SCALE: 1" = 1000'		
DRAWN BY: RM	EXHIBIT A – VICINITY MAP	
CHECKED BY: RM		

PROJECT NARRATIVE
FOR
VISTAS AT BUCKEYE

PAC#: PLZM-23-00043
2R PLZS-24-0004

WATSON ROAD AND BROADWAY ROAD

BUCKEYE, ARIZONA

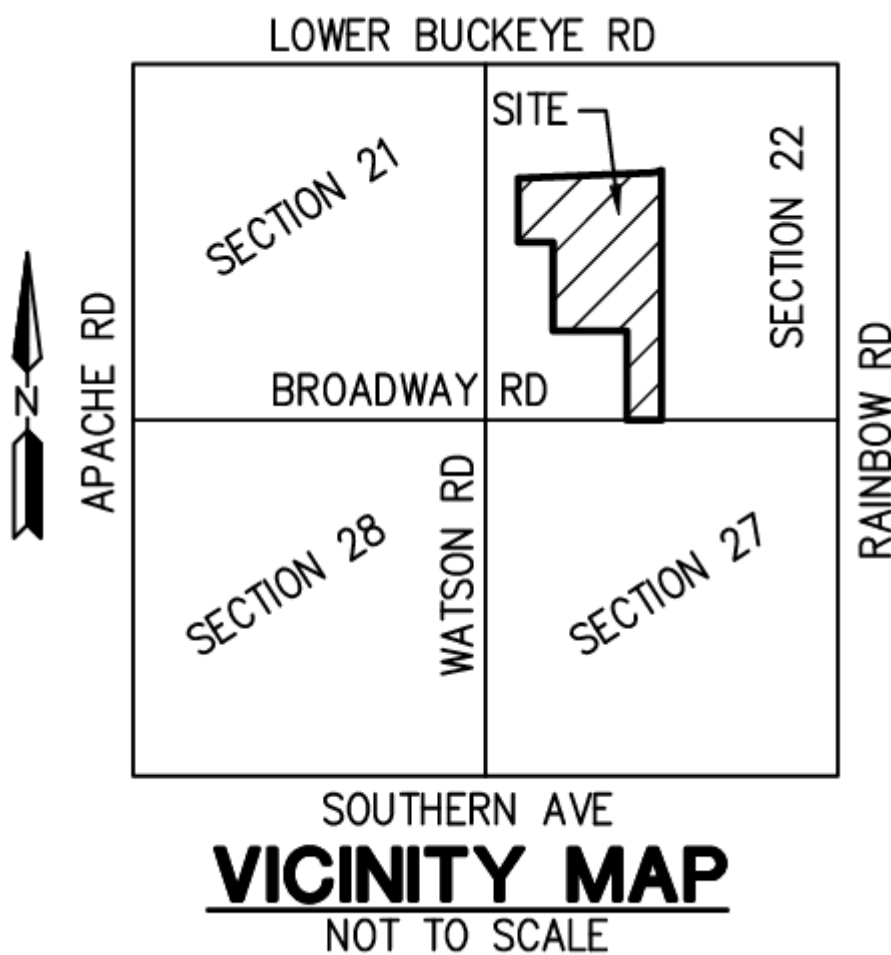
March 1, 2024

Rev: June 6, 2024

Rev: July 30, 2024

Prepared For:
Cowley Companies
1242 E. Jackson St.
Phoenix, AZ 85034

Prepared by:
HILGARTWILSON
2141 E. Highland
Avenue, Suite 250
Phoenix, AZ 85016
Phone: (602) 490-0535



1.0 PURPOSE OF REQUEST

Vistas at Buckeye is located in Buckeye, Arizona, near the intersection of Watson Road and Broadway Road. The Project is 109 acres located in a portion of the west half of Section 22, Township 1 North, Range 3 West of the Gila and Salt River Baseline and Meridian. The Project encompasses Maricopa County Assessor's Parcel Numbers 504-22-021A, -029A, -031, -035A, -035B, -036, and -037. The property is bounded by Broadway Road on the south, residential properties on the east, Watson Road on the west, and the Roosevelt Irrigation District Main Canal on the north.

The Preliminary Plat is for the development known as Vistas at Buckeye. The proposed Vistas at Buckeye development is a 363 lot, single-family residential development. The development is divided into four parcels, per the **Site Summary Table** below:

Site Summary Table						
Parcel No	Number of Lots	Typical Lot Size	Number of Tracts	Gross Parcel Area (AC) (Excludes ROW)	Open Space (AC)	Open Space (%)
1	64	45' x 115'	7	13.22	5.37	40.6
2	104	53' x 120'	9	24.23	7.82	32.3
3	96	63' x 120'	8	21.94	2.64	12.0
4	99	45' x 115'	11	26.09	12.28	47.1
Total	363	-	35	85.48	28.11	32.9

2.0 SURROUNDING LAND USES

Vistas at Buckeye is currently agricultural land. Surrounding Land uses include vacant residential land (RU-43) to the north, agricultural (RR) to the east, agricultural and single-family (RU-43) to the south, and to the west is a mix of agricultural (PR) and (RU-43) and directly adjacent is the Monroe Ranch Subdivision, currently under construction. Additionally, there is an existing mobile home park (R-5).

3.0 ROADWAY SYSTEM

Main access to the development will be provided via Watson Road and Elwood Street on the West and Broadway Road via 231st Ave from the south. Half-street improvements will be provided as a part of this project with adequate turn lanes as defined within the Traffic Impact Analysis or City of Buckeye Engineering Design Standards, whichever is greater. 231st Avenue is a local street, Elwood Street is a collector, and Watson Road and Broadway Road are Major Arterials. All streets intersection with an arterial street will be at minimum a



residential entrance or higher classification. All streets will be public streets and sections will be constructed per the City of Buckeye standard street cross sections.

4.0 WATER SYSTEM

Vistas at Buckeye will have a looped water system comprised of 8-inch onsite water lines internal to the Project. The on-site water system will connect to the proposed 12-inch main within Elwood Street and extend and tie-in to the existing 16-inch water main in Watson Road. There will be an internal 8-inch water connection to the adjacent Monroe Ranch Subdivision currently under construction. The Vistas at Buckeye project does not require offsite water improvements; however, a 16-inch water main is proposed in the Broadway Road rights-of-way for the length of the half-street in support of the city's future project. Fire hydrants will be placed at requisite spacing throughout the Project. The Project is located within the City of Buckeye water service area.

4.1 Well Sites

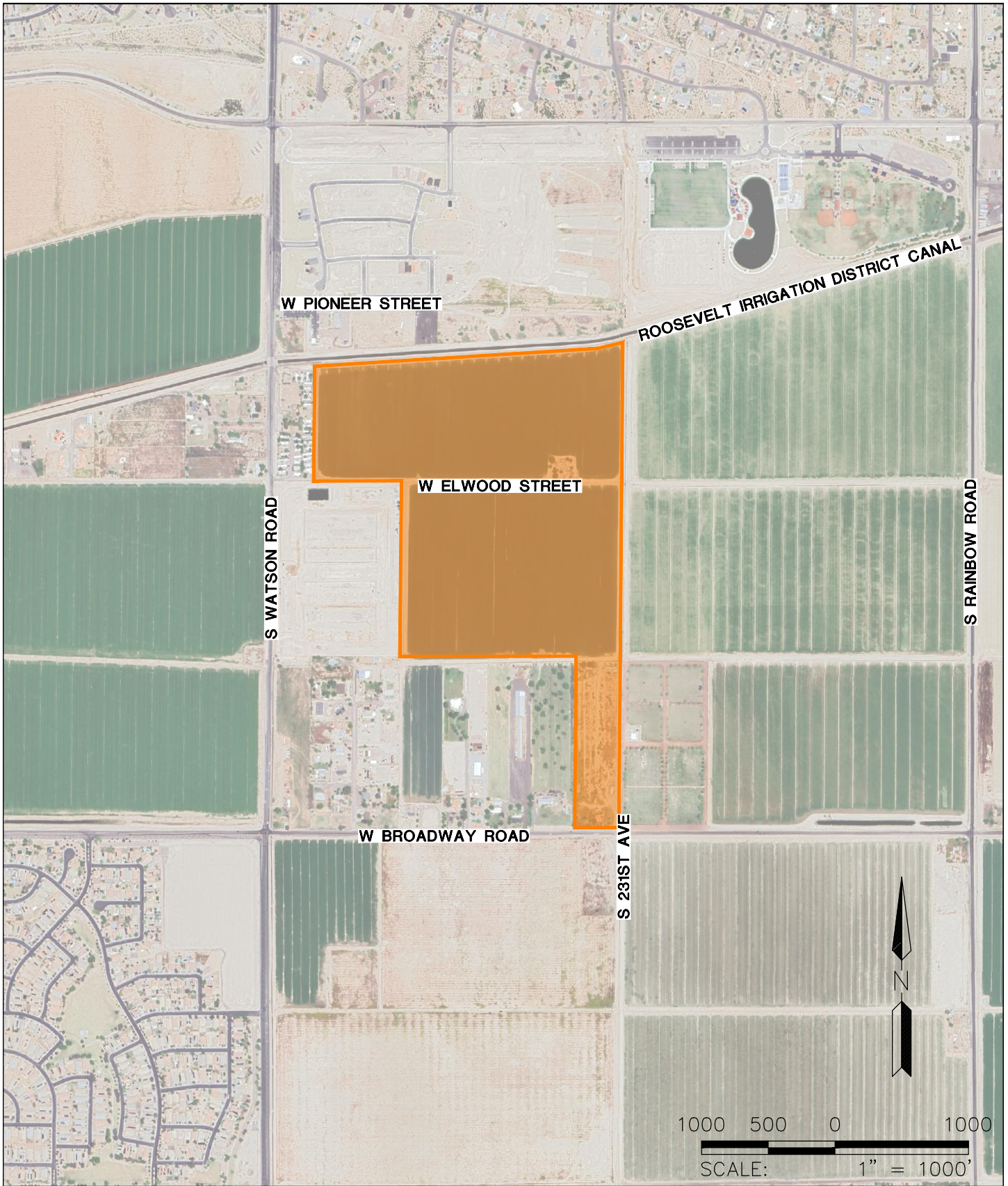
Within this project a well site will be dedicated to the City of Buckeye with a minimum square footage of 22,500. This well site covers the existing well and associated appurtenances. During the PAC it was discussed that two well sites be provided, and the second well site for the area is provided in the Monroe Ranch Subdivision, immediately adjacent.

5.0 WASTEWATER SYSTEM

Wastewater flows throughout the site will be collected and conveyed via a proposed network of 8-inch gravity sewer internal to the Project and a proposed offsite 12-inch gravity sewer main that will extend from the intersection of 231st Avenue to the intersection of Broadway Road and Watson Road where it will tie in to the existing 12-inch stub from the manhole and ultimately the 15-inch gravity main. The 12-inch sewer main within Broadway Road described above will be designed and constructed by the Project. A 12-inch stub at the east end of the project is provided for future projects to the east may connect to, provided pipe capacity is available. The network of 8-inch and 12-inch gravity sewer lines will include manholes placed at requisite spacing throughout the Project. The Project is within the City of Buckeye sewer service area.



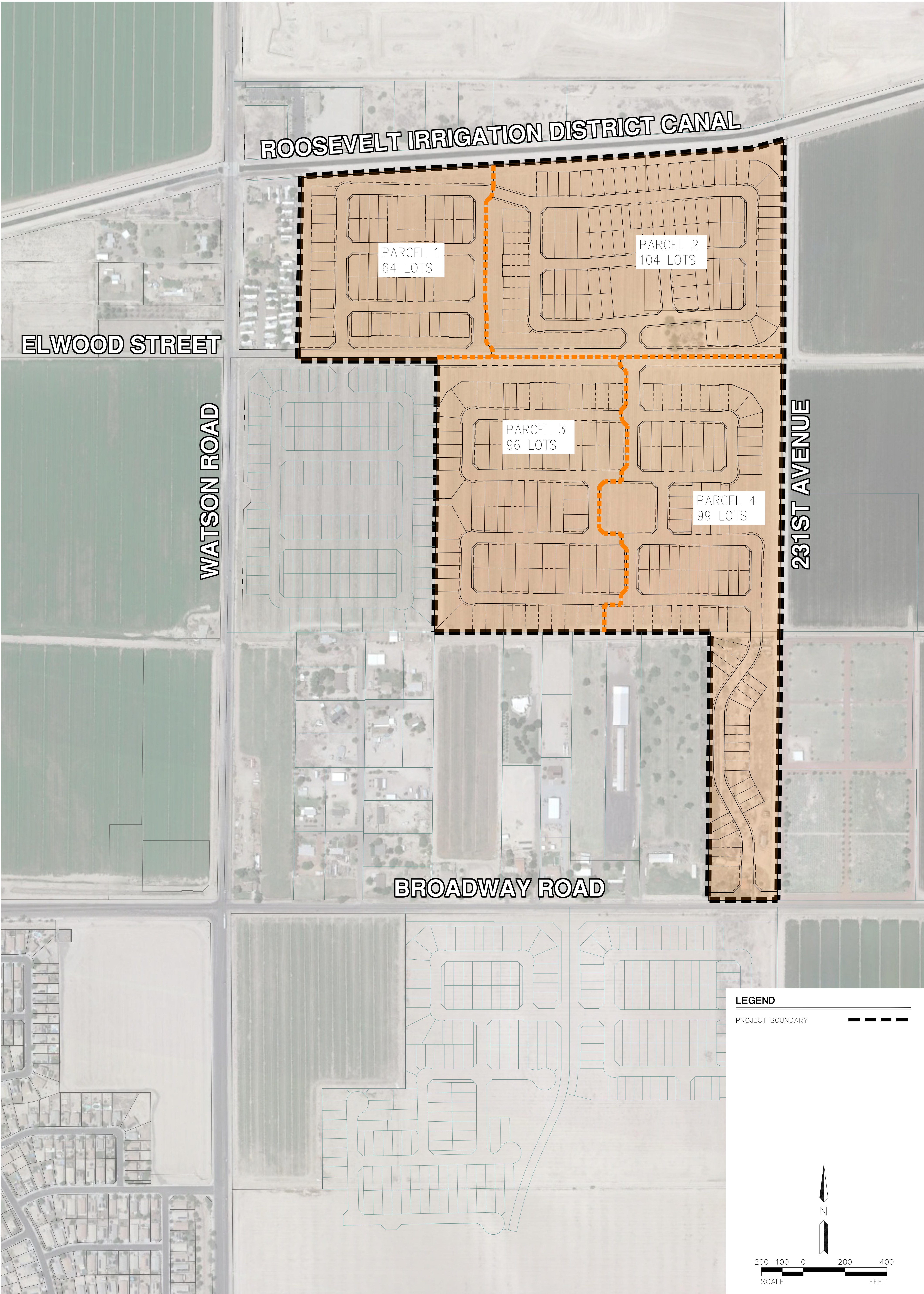
EXHIBITS



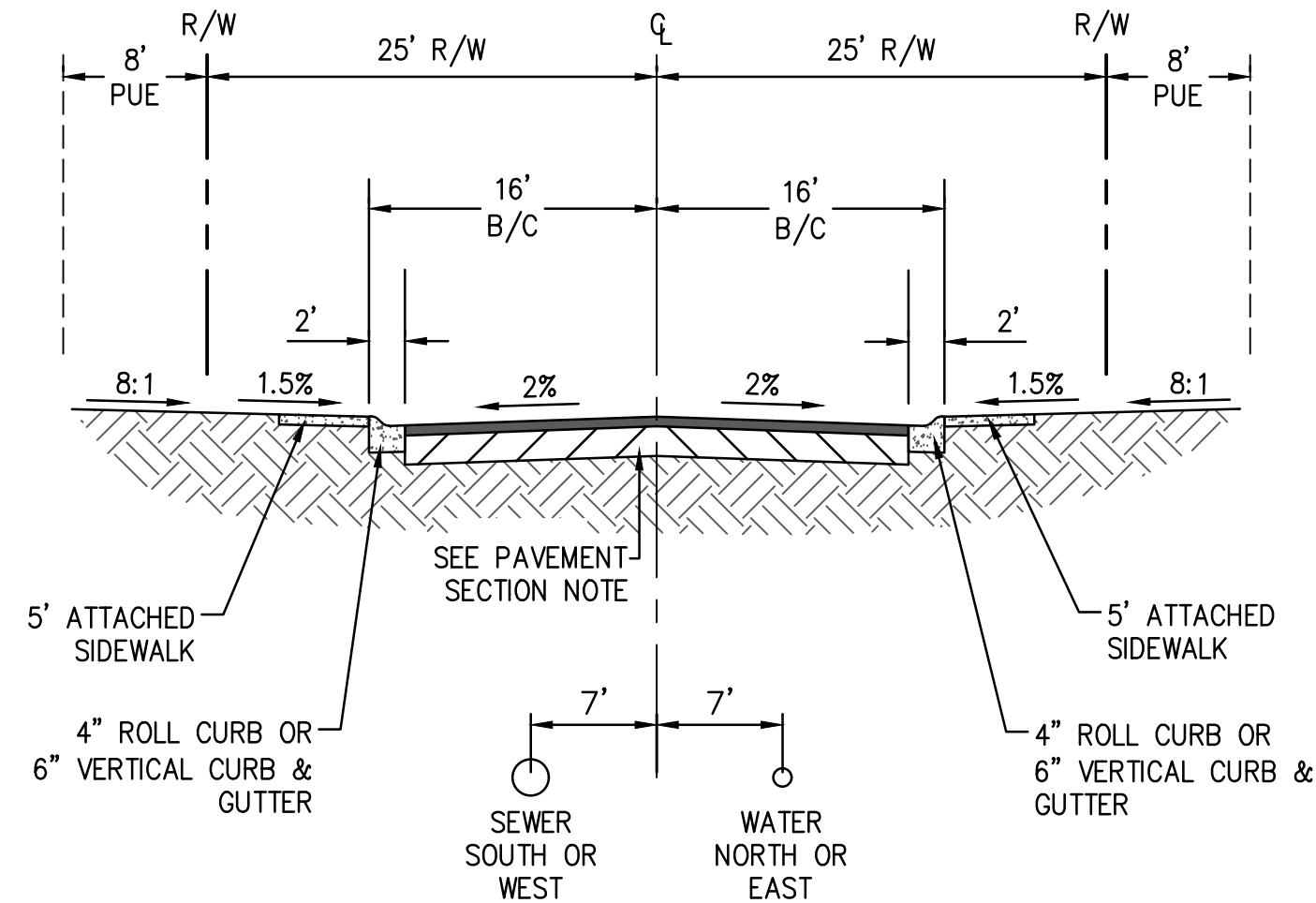
PROJ.NO.:	2292
DATE:	MAR 2024
SCALE:	1" = 1000'
DRAWN BY:	RM
CHECKED BY:	RM

VISTAS AT BUCKEYE
WATSON RD & BROADWAY RD
BUCKEYE, AZ
EXHIBIT A – VICINITY MAP

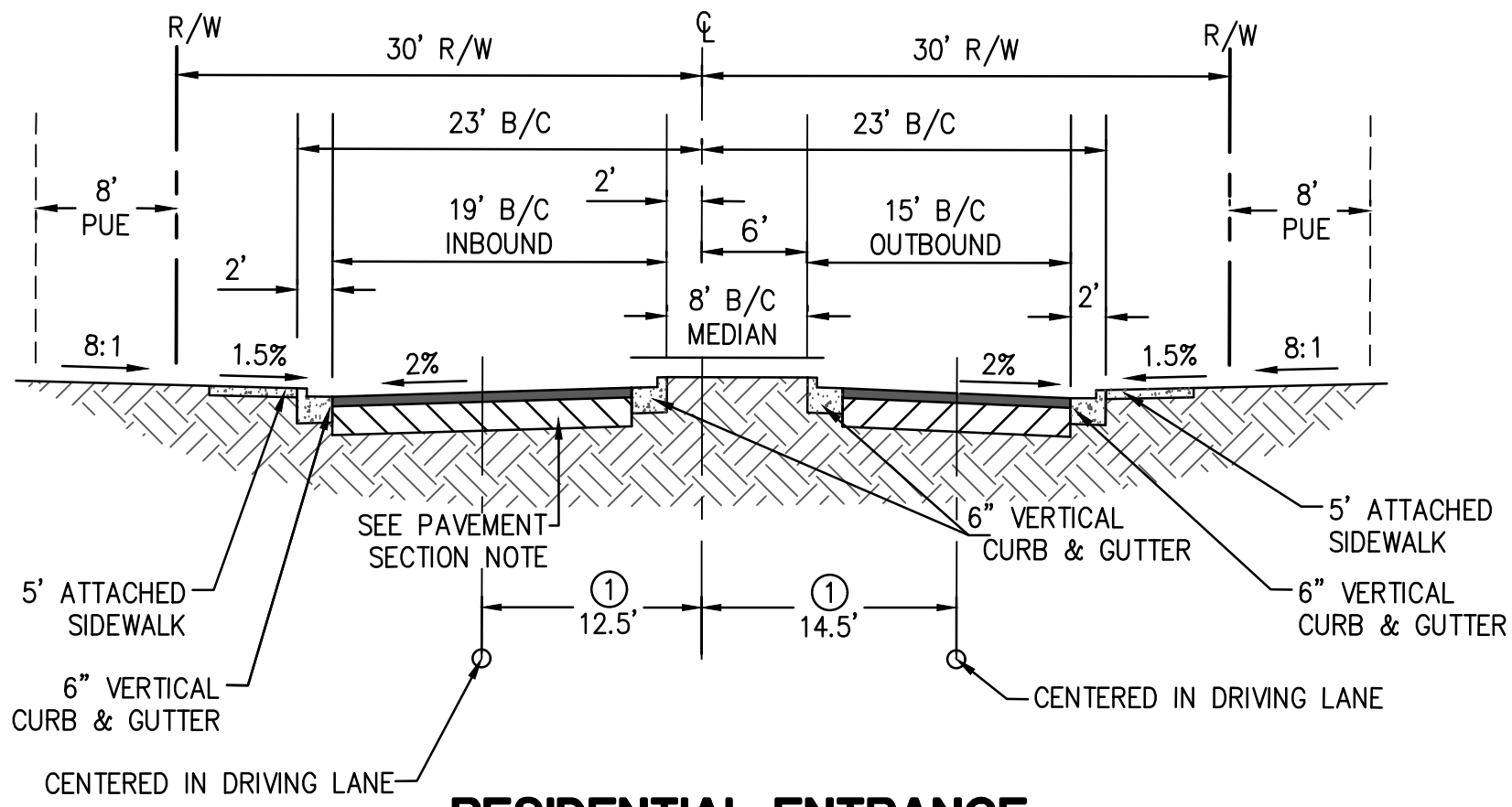

HILGARTWILSON
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436



SHT. OF	DWG. NO.	 HILGARTWILSON		VISTAS AT BUCKEYE		 HILGARTWILSON ENGINEER PLAN SURVEY MANAGE 2141 E. HIGHLAND AVE., STE. 250 P: 602.490.0535 / F: 602.368.2436 PHOENIX, AZ 85016 www.hilgartwilson.com	REV.:
		PROJ NO.: 2292		BROADWAY ROAD & WATSON ROAD			
		DATE: JUN 2024		CITY OF BUCKEYE, ARIZONA			
		SCALE: 1" = 200'		PROJECT SITE PLAN			
		DRAWN: AP					
		DESIGNED: HW					
APPROVED: MI							



LOCAL
COB 63170
N.T.S.

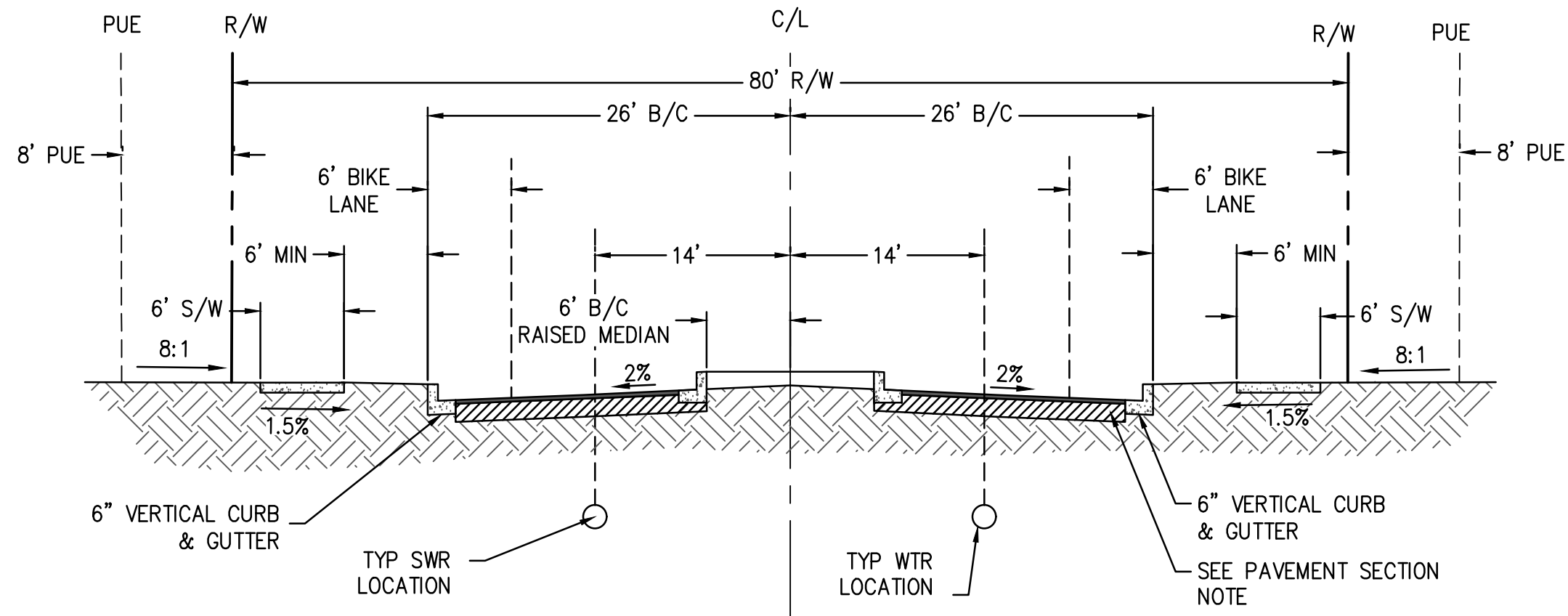


RESIDENTIAL ENTRANCE

COB 63190
(LOOKING OUTBOUND)
N.T.S.
① WATERLINE IF NORTH OR EAST OF CL.
SEWERLINE IF SOUTH OR WEST OF CL.

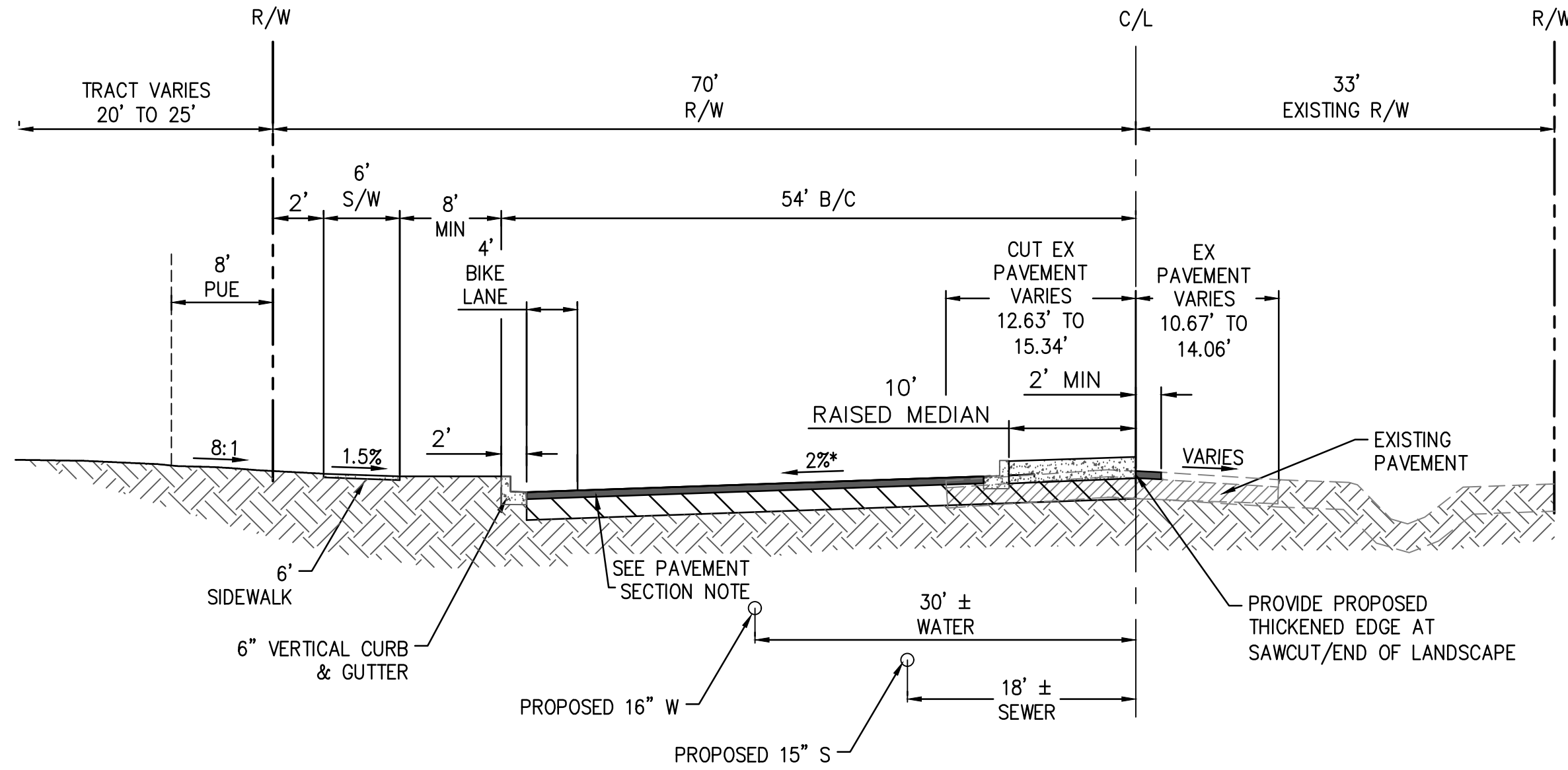
PAVING SECTION NOTE

PAVEMENT SECTION SHALL BE PER MINIMUM CITY OF BUCKEYE REQUIREMENTS OR APPROVED GEOTECHNICAL REPORT WHICHEVER IS GREATER.



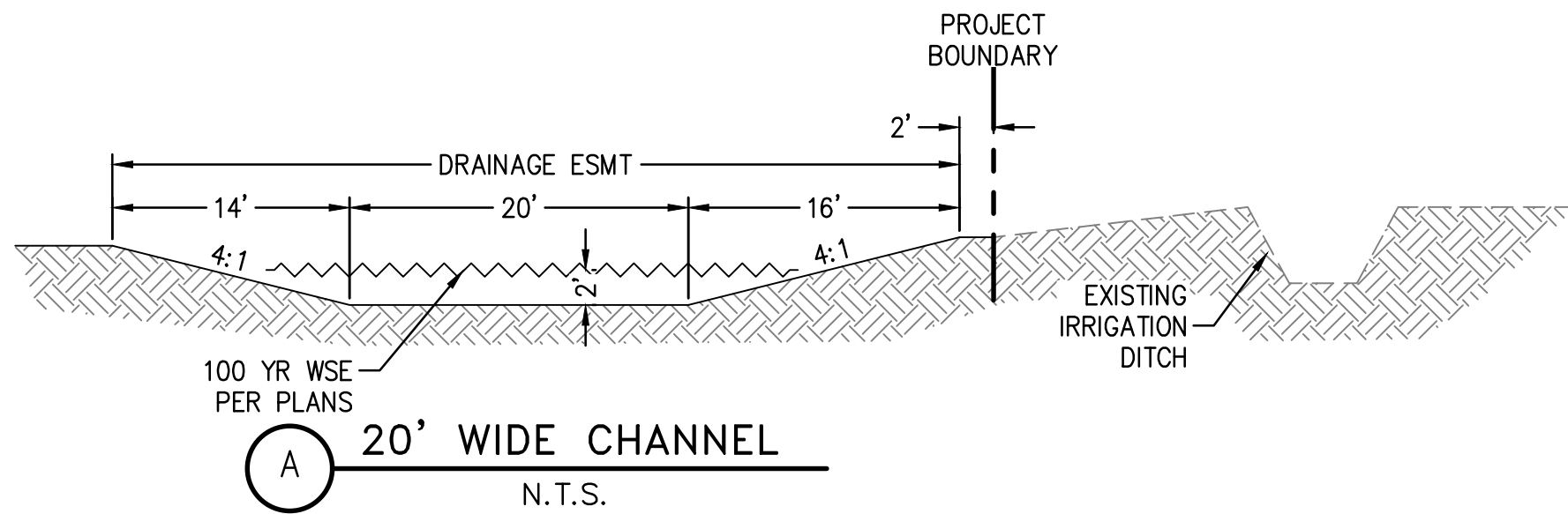
COLLECTOR

COB 63150
ELWOOD STREET (LOOKING EAST)
N.T.S.

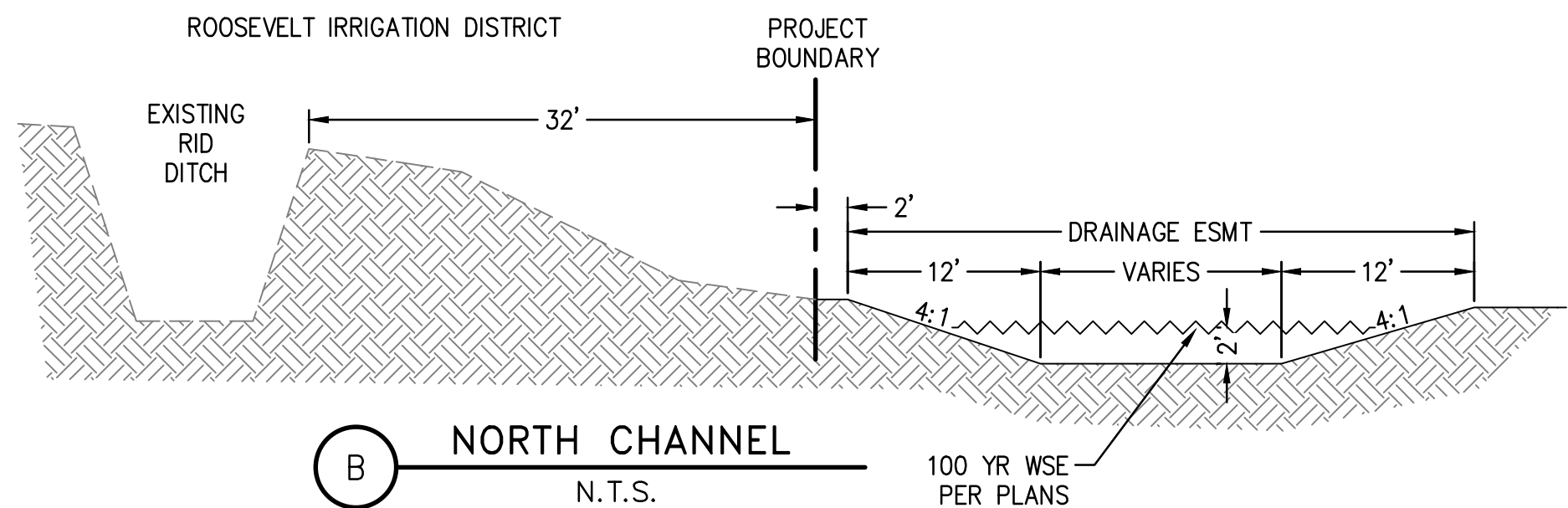


MAJOR ARTERIAL

COB 63120
BROADWAY RD (LOOKING EAST)
N.T.S.



20' WIDE CHANNEL
N.T.S.



NORTH CHANNEL
N.T.S.

REV.:

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436
www.hilgartwilson.com

EXPIRES 12/31/2025



VISTAS AT BUCKEYE

WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA

TYPICAL SECTIONS

HILGARTWILSON

PROJ NO.: 2292

DATE: JAN 2025

SCALE: N.T.S.

DRAWN: HW

DESIGNED: HW

APPROVED: ZH

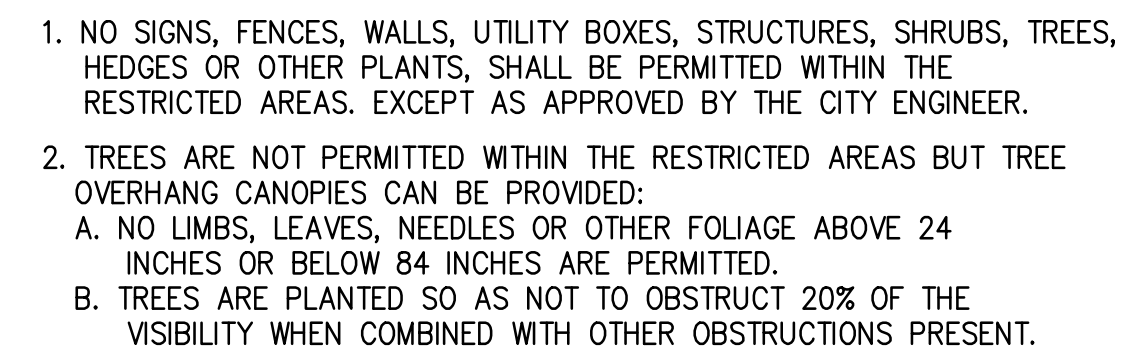
DWG. NO.

CV02

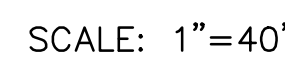
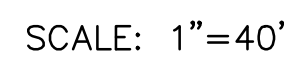
SHT. 2 OF 15

PLZS-24-0004





1. LOT WIDTHS NOTED ARE MINIMUM LOT WIDTHS MEASURED AT FRONT 18' SETBACK, OR AT REAR 20' SETBACK.
2. LOT DEPTHS ARE TYPICAL BUT MAY BE LESS AT CUL-DE-SACS, KNUCKLES OR OTHER CRITICAL LOCATIONS.
3. THE MINIMUM DRIVEWAY LENGTH IS 20 FEET MEASURED TO BACK OF SIDEWALK.
4. THE MINIMUM LOT AREA SHALL CONFORM TO THE FOLLOWING:
 - A) 45' X 115' SHALL HAVE A MINIMUM OF 5175 SF.
 - B) 53' X 120' SHALL HAVE A MINIMUM OF 6360 SF.
 - C) 63' X 120' SHALL HAVE A MINIMUM OF 7560 SF.



1. ROLL CURBING IS REQUIRED FOR ANY LOCATION WHERE THE VEHICLE CONTACTS OR CROSSES THE CURB.
2. THE DESIGN OR USE OF ANY ROLL CURBING IS REQUIRED TO BE IN COMPLIANCE WITH THE CITY OF BUCKEYE ENGINEERING DESIGN STANDARDS (DRAINAGE AND LOCATION REQUIREMENTS).
3. ARS "NO PARKING SIGNS WILL BE REQUIRED AT CURB RETURNS WHEN THE WB-50 TURNING MOVEMENT DETAILS ON THIS SHEET SHOW A POTENTIAL FOR CONFLICT WITH A PARKED VEHICLE."



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LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
1	7,110	0.163
2	7,237	0.166
3	8,656	0.199
4	6,608	0.152
5	5,577	0.128
6	5,400	0.124
7	5,400	0.124
8	5,400	0.124
9	7,418	0.170
10	5,508	0.126
11	5,400	0.124
12	5,400	0.124
13	5,400	0.124
14	5,400	0.124
15	7,372	0.169
16	6,099	0.140
17	5,400	0.124
18	5,400	0.124
19	6,134	0.141
20	7,485	0.172
21	10,847	0.249
22	5,606	0.129
23	5,618	0.129
24	5,641	0.129
25	5,664	0.130
26	5,687	0.131
27	5,710	0.131
28	5,733	0.132
29	5,756	0.132
30	5,779	0.133
31	5,802	0.133
32	8,262	0.190
33	8,307	0.191
34	8,353	0.192
35	8,398	0.193
36	8,443	0.194
37	8,488	0.195
38	8,533	0.196
39	8,578	0.197
40	8,623	0.198
41	8,623	0.198
42	16,857	0.387
43	15,275	0.351
44	7,812	0.179
45	7,875	0.181
46	7,875	0.181
47	7,727	0.177
48	19,108	0.439
49	7,777	0.179
50	7,875	0.181
51	7,875	0.181
52	7,875	0.181

LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
53	7,875	0.181
54	7,875	0.181
55	7,875	0.181
56	8,387	0.193
57	8,400	0.193
58	8,388	0.193
59	8,206	0.188
60	7,759	0.178
61	7,759	0.178
62	7,759	0.178
63	7,759	0.178
64	7,759	0.178
65	7,759	0.178
66	7,759	0.178
67	7,759	0.178
68	7,808	0.179
69	8,206	0.188
70	8,206	0.188
71	7,808	0.179
72	7,759	0.178
73	7,759	0.178
74	7,759	0.178
75	7,759	0.178
76	7,759	0.178
77	7,759	0.178
78	7,759	0.178
79	7,759	0.178
80	8,206	0.188
81	5,888	0.135
82	5,693	0.131
83	5,693	0.131
84	5,693	0.131
85	5,693	0.131
86	5,693	0.131
87	5,693	0.131
88	5,693	0.131
89	5,693	0.131
90	5,699	0.131
91	5,888	0.135
92	5,888	0.135
93	5,699	0.131
94	5,693	0.131
95	5,693	0.131
96	5,693	0.131
97	5,693	0.131
98	5,693	0.131
99	5,693	0.131
100	5,693	0.131
101	5,693	0.131
102	5,888	0.135
103	5,625	0.129
104	5,625	0.129

LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
105	5,625	0.129
106	5,625	0.129
107	6,275	0.144
108	6,325	0.145
109	6,325	0.145
110	6,275	0.144
111	5,625	0.129
112	5,625	0.129
113	5,625	0.129
114	5,476	0.126
115	5,272	0.121
116	5,400	0.124
117	5,400	0.124
118	5,400	0.124
119	5,399	0.124
120	6,664	0.153
121	8,575	0.197
122	9,015	0.207
123	5,739	0.132
124	5,625	0.129
125	5,625	0.129
126	5,850	0.134
127	5,850	0.134
128	5,625	0.129
129	5,625	0.129
130	5,850	0.134
131	6,475	0.149
132	5,950	0.137
133	6,000	0.138
134	6,000	0.138
135	6,000	0.138
136	6,000	0.138
137	6,000	0.138
138	6,000	0.138
139	5,914	0.136
140	5,914	0.136
141	6,000	0.138
142	6,000	0.138
143	6,000	0.138
144	6,000	0.138
145	6,000	0.138
146	6,000	0.138
147	5,950	0.137
148	7,875	0.181
149	7,875	0.181
150	7,875	0.181
151	7,875	0.181
152	7,875	0.181
153	7,875	0.181
154	7,777	0.179
155	15,230	0.350
156	7,760	0.178

LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
157	7,875	0.181
158	7,875	0.181
159	8,239	0.189
160	12,267	0.282
161	11,825	0.271
162	8,179	0.188
163	7,875	0.181
164	7,875	0.181
165	7,875	0.181
166	8,190	0.188
167	8,190	0.188
168	7,875	0.181
169	7,875	0.181
170	7,875	0.181
171	8,190	0.188
172	8,815	0.202
173	8,297	0.190
174	7,652	0.176
175	7,652	0.176
176	7,652	0.176
177	7,652	0.176
178	7,652	0.176
179	7,652	0.176
180	7,652	0.176
181	7,652	0.176
182	7,652	0.176
183	8,227	0.189
184	8,227	0.189
185	7,652	0.176
186	7,652	0.176
187	7,652	0.176
188	7,652	0.176
189	7,652	0.176
190	7,652	0.176
191	7,652	0.176
192	7,652	0.176
193	7,652	0.176
194	8,297	0.190
195	6,990	0.160
196	6,673	0.153
197	6,733	0.155
198	6,648	0.153
199	6,847	0.157
200	6,533	0.150
201	6,533	0.150
202	6,848	0.157
203	6,736	0.155
204	7,580	0.174
205	7,201	0.165
206	6,995	0.161
207	6,490	0.149
208	7,194	0.165

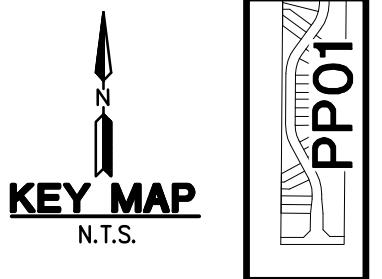
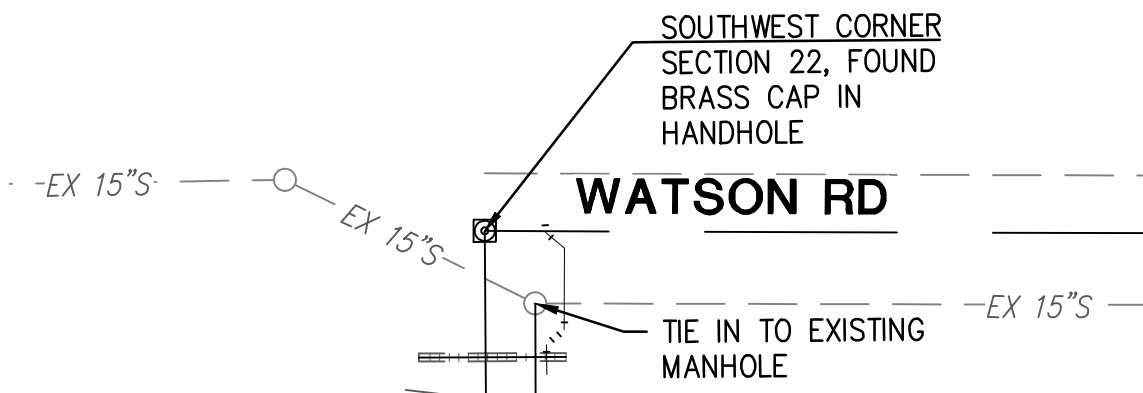
LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
209	7,583	0.174
210	6,622	0.152
211	6,490	0.149
212	6,990	0.160
213	6,995	0.161
214	6,495	0.149
215	6,550	0.150
216	6,741	0.155
217	6,678	0.153
218	6,489	0.149
219	6,989	0.160
220	6,608	0.152
221	6,726	0.154
222	6,603	0.152
223	6,489	0.149
224	6,489	0.149
225	6,489	0.149
226	6,489	0.149
227	6,489	0.149
228	6,489	0.149
229	6,489	0.149
230	6,938	0.159
231	7,592	0.174
232	6,882	0.158
233	6,489	0.149
234	6,989	0.160
235	6,996	0.161
236	6,496	0.149
237	6,608	0.152
238	6,733	0.155
239	6,614	0.152
240	6,490	0.149
241	6,490	0.149
242	6,490	0.149
243	6,490	0.149
244	6,490	0.149
245	6,490	0.149
246	6,490	0.149
247	6,490	0.149
248	6,891	0.158
249	7,599	0.174
250	6,939	0.159
251	6,996	0.161
252	6,598	0.151
253	6,625	0.152
254	6,360	0.146
255	6,700	0.154
256	6,883	0.158
257	6,890	0.158
258	6,890	0.158
259	6,625	0.152
260	6,625	0.152

LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
261	6,625	0.152
262	6,890	0.158
263	6,890	0.158
264	6,625	0.152
265	6,625	0.152
266	6,651	0.153
267	7,165	0.164
268	7,132	0.164
269	6,893	0.158
270	10,356	0.238
271	10,748	0.247
272	6,512	0.149
273	6,625	0.152
274	6,625	0.152
275	6,625	0.152
276	6,625	0.152
277	6,625	0.152
278	6,625	0.152
279	6,625	0.152
280	6,625	0.152
281	6,660	0.153
282	9,086	0.209
283	9,880	0.227
284	8,290	0.190
285	6,492	0.149
286	6,881	0.158
287	6,563	0.151
288	7,887	0.181
289	6,892	0.158
290	6,731	0.155
291	6,731	0.155
292	6,731	0.155
293	6,996	0.161
294	6,996	0.161
295	6,731	0.155
296	6,731	0.155
297	6,996	0.161
298	7,645	0.176
299	5,976	0.137
300	5,679	0.130
301	5,405	0.124
302	5,405	0.124
303	5,405	0.124
304	5,640	0.129
305	5,640	0.129
306	5,405	0.124
307	5,175	0.119
308	5,175	0.119
309	5,400	0.124
310	5,994	0.138
311	5,665	0.130
312	5,586	0.128

LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)
313	5,334	0.122
314	5,370	0.123
315	5,396	0.124
316	5,625	0.129
317	5,625	0.129
318	5,400	0.124
319	5,400	0.124
320	5,400	0.124
321	5,625	0.129
322	5,625	0.129
323	5,400	0.124
324	5,400	0.124
325	5,577	0.128
326	5,584	0.128
327	5,637	0.129
328	5,175	0.119
329	5,175	0.119
330	5,175	0.119
331	5,175	0.119
332	5,175	0.119
333	5,175	0.119
334	5,175	0.119
335	5,175	0.119
336	5,638	0.129
337	5,638	0.129
338	5,175	0.119
339	5,175	0.119
340	5,175	0.119
341	5,175	0.119
342	5,175	0.119
343	5,175	0.119
344	5,175	0.119
345	5,638	0.129
346	5,638	0.129
347	5,175	0.119
348	5,175	0.119
349	5,175	0.119
350	5,175	0.119
351	5,175	0.119
352	5,175	0.119
353	5,175	0.119
354	5,175	0.119
355	5,175	0.119
356	5,175	0.119
357	5,175	0.119
358	5,175	0.119
359	5,175	0.119
360	5,175	0.119
361	5,175	0.119
362	5,175	0.119
363	5,638	0.129

TRACT TABLE			
TRACT	AREA (SQ.FT)	AREA (ACRES)	USE
TRACT KK	900	0.0207	COMMON AREA
TRACT JJ	900	0.0207	COMMON AREA
TRACT L	1,462	0.0336	COMMON AREA
TRACT M	1,462	0.0336	COMMON AREA
TRACT CC	1,900	0.0436	COMMON AREA
TRACT GG	1,900	0.0436	COMMON AREA
TRACT EE	1,900	0.0436	COMMON AREA
TRACT F	2,000	0.0459	COMMON AREA
TRACT E	2,000	0.0459	COMMON AREA
TRACT D	2,000	0.0459	COMMON AREA
TRACT Q	2,000	0.0459	COMMON AREA
TRACT H	2,000	0.0459	COMMON AREA
TRACT T	2,050	0.0471	COMMON AREA
TRACT Z	2,050	0.0471	COMMON AREA
TRACT V	2,050	0.0471	COMMON AREA
TRACT X	2,050	0.0471	COMMON AREA
TRACT J	2,100	0.0482	COMMON AREA
TRACT I	2,100	0.0482	COMMON AREA
TRACT N	2,392	0.0549	COMMON AREA
TRACT O	3,075	0.0706	COMMON AREA
TRACT P	3,075	0.0706	COMMON AREA
TRACT MM	6,637	0.1524	COMMON AREA & IRRIGATION ESMT
TRACT C	13,391	0.3074	COMMON AREA & DRAINAGE
TRACT DD	13,721	0.3150	COMMON AREA & DRAINAGE
TRACT Y	15,313	0.3515	COMMON AREA
TRACT G	18,283	0.4197	COMMON AREA
TRACT II	18,619	0.4274	COMMON AREA, DRAINAGE, WATER ESMT
TRACT A	19,156	0.4398	COMMON AREA & DRAINAGE
WELL SITE	22,504	0.5166	CITY OF BUCKEYE WELL SITE
TRACT LL	29,734	0.6826	COMMON AREA
TRACT HH	38,416	0.8819	COMMON AREA & DRAINAGE
TRACT FF	44,225	1.0153	COMMON AREA & DRAINAGE
TRACT S	46,656	1.0711	COMMON AREA & DRAINAGE
TRACT U	57,415	1.3181	COMMON AREA & DRAINAGE
TRACT K	68,342	1.5689	COMMON AREA & DRAINAGE
TRACT R	83,222	1.9105	COMMON AREA & DRAINAGE
TRACT AA	96,568	2.2169	COMMON AREA & DRAINAGE
TRACT BB	102,592	2.3552	COMMON AREA & DRAINAGE
TRACT W	111,682	2.5639	COMMON AREA & DRAINAGE
TRACT B	373,451	8.5733	COMMON AREA, DRAINAGE, IRRIGATION ESMT

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S00°29'17"W	295.52'
L2	N28°09'35"W	192.99'
L3	N00°29'17"E	265.73'
L4	S36°25'03"W	162.09'
L5	S00°35'33"W	467.41'

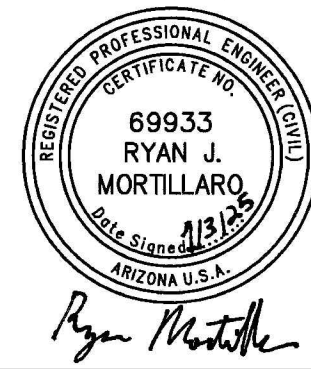


REV.:



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ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250 | P: 602.490.0535 / F: 602.368.2436
PHOENIX, AZ 85016
www.hilgartwilson.com

EXPIRES 12/31/2025



VISTAS AT BUCKEYE

WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA

PRELIMINARY PLAT

HI! GABRIEL SON

PROJ NO.:	2292
-----------	------

DATE: JAN 2025
COAL F. 4" CO'

SCALE: 1" = 60'
DRAWN: HW

DESIGNED: HW
APPROVED: ZH

DWG. NO.

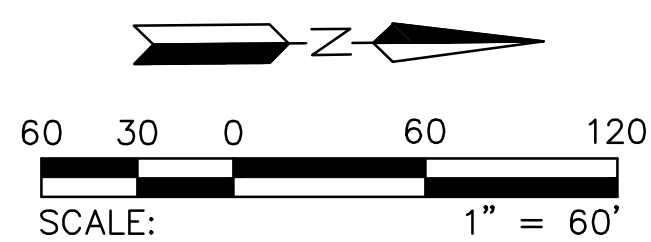
PP01

SHT. 5 OF 15

PLZS-24-0004

LEGEND

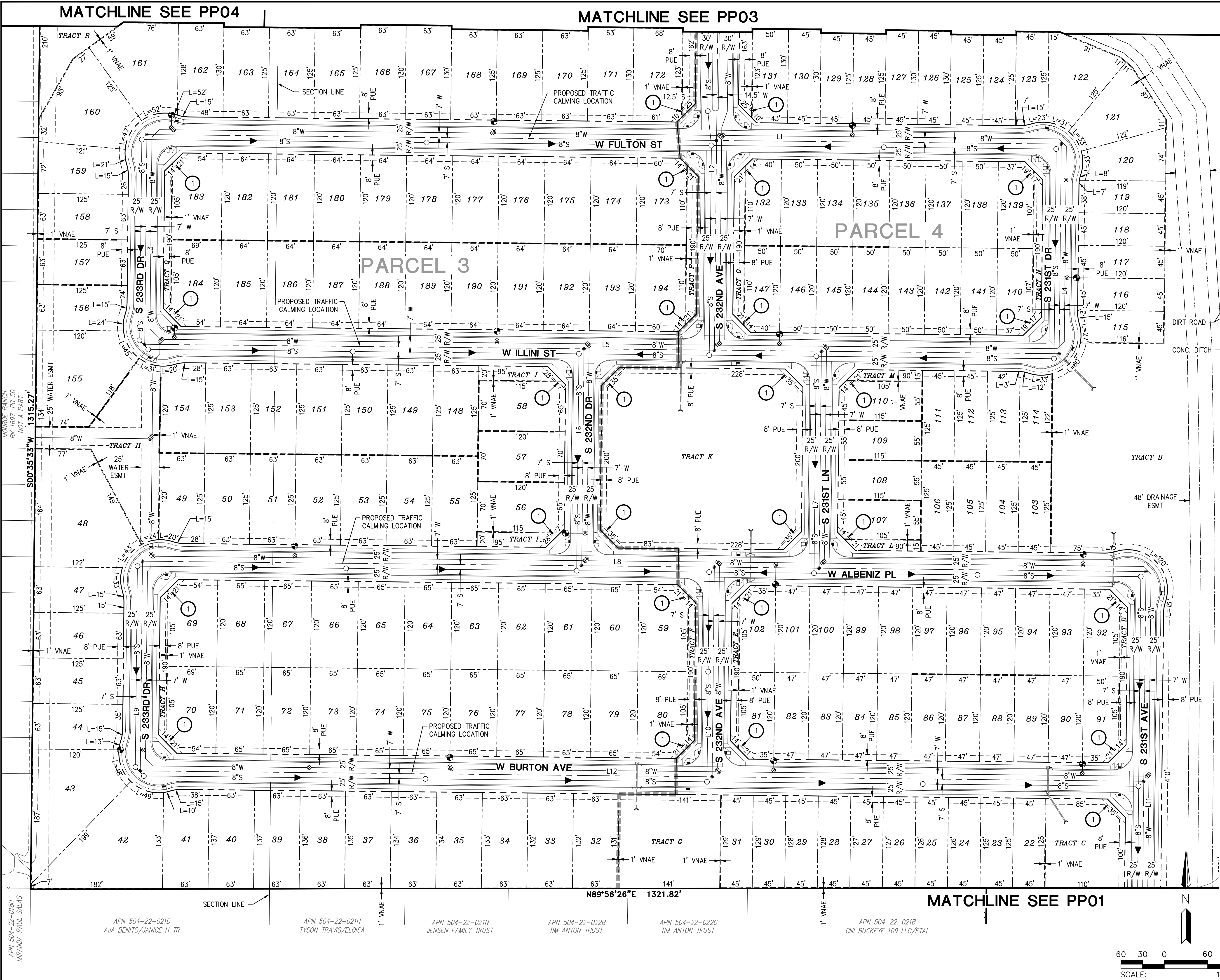
-  PARCEL BOUNDARY
 RIGHT-OF-WAY
 LOT/TRACT LINE
 CENTERLINE
 EASEMENT LINE
 MONUMENT
 MATCHLINE
 FIRE HYDRANT
 WATER VALVE
 SEWER MANHOLE
 SIGHT VISIBILITY TRIANGLE
 SEE DETAIL ON SHEET DT01



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APN 504-22-018H
MIRANDA RAUL SALAS

LOWMOON RANCH
BK 1897, PG 50
NOT A PART



KEY MAP
N.T.S.

PP04 PP03
PP02
PP01

APN 504-22-023D
BROADWAY 220 LLC

APN 504-22-023E
BROADWAY 220 LLC

LEGEND

- PARCEL BOUNDARY
- RIGHT-OF-WAY
- LOT/TRACT LINE
- CENTERLINE
- EASEMENT LINE
- MONUMENT
- MATCHLINE
- FIRE HYDRANT
- WATER VALVE
- SEWER MANHOLE
- SIGHT VISIBILITY TRIANGLE
SEE DETAIL ON SHEET D701

60 30 0 60 120
SCALE: 1" = 60'

60 30 0 60 120
SCALE: 1" = 60'

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811
CALL 811 or click Arizona811.COM

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PHOENIX, AZ 85016
www.hilgartwilson.com

EXPIRES 12/31/2025

RYAN J. MORTILLARO
REGISTERED PROFESSIONAL ENGINEER
69933
STATE OF ARIZONA
1/13/2025

VISTAS AT BUCKEYE
WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA

PRELIMINARY PLAT

HILGARTWILSON

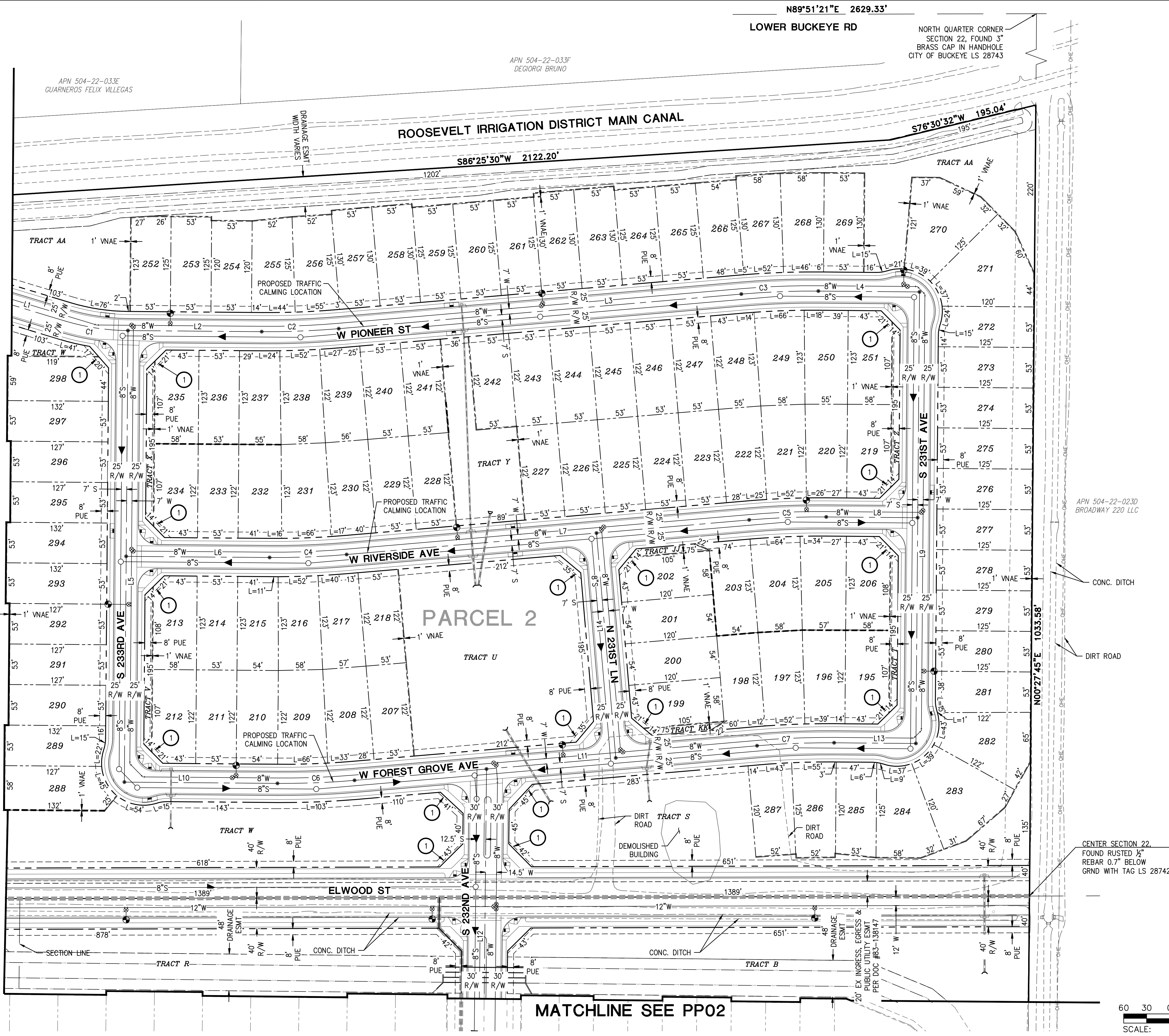
PROJ NO.:	2292
DATE:	JAN 2025
SCALE:	1" = 60'
DRAWN:	HW
DESIGNED:	HW
APPROVED:	ZH

DWG. NO. **PP02**

SHT. 6 OF 15

PL25-24-0004

MATCHLINE SEE PP04



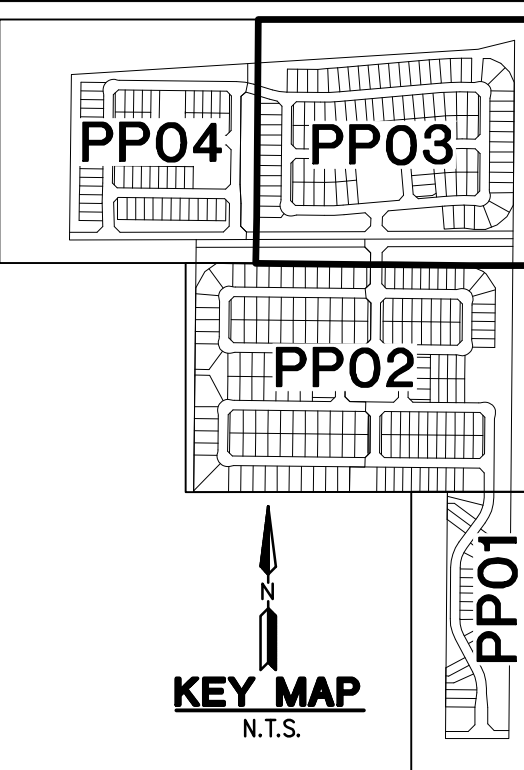
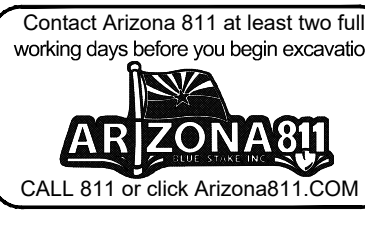
MATCHLINE SEE PP02

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S73°10'05"E	102.87'
L2	S89°32'15"E	174.79'
L3	N85°05'28"E	528.06'
L4	S89°32'15"E	132.20'
L5	N00°27'45"E	590.00'
L6	S89°32'15"E	187.46'
L7	N85°05'28"E	528.06'
L8	S89°32'15"E	119.53'
L9	N00°27'45"E	590.00'
L10	S89°32'15"E	200.13'
L11	N85°05'28"E	528.06'
L12	S00°35'33"W	740.16'
L13	S89°32'15"E	106.86'
L14	N04°54'32"W	294.89'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	292.00'	16°22'10"	83.43'
C2	1075.00'	5°22'17"	100.78'
C4	1075.00'	5°22'17"	100.78'
C5	1075.00'	5°22'17"	100.78'
C6	1075.00'	5°22'17"	100.78'
C7	1075.00'	5°22'17"	100.78'

LEGEND

- PARCEL BOUNDARY
- RIGHT-OF-WAY
- LOT/TRACT LINE
- CENTERLINE
- EASEMENT LINE
- MONUMENT
- MATCHLINE
- FIRE HYDRANT
- WATER VALVE
- SEWER MANHOLE
- SIGHT VISIBILITY TRIANGLE
- SEE DETAIL ON SHEET DT01



REV:

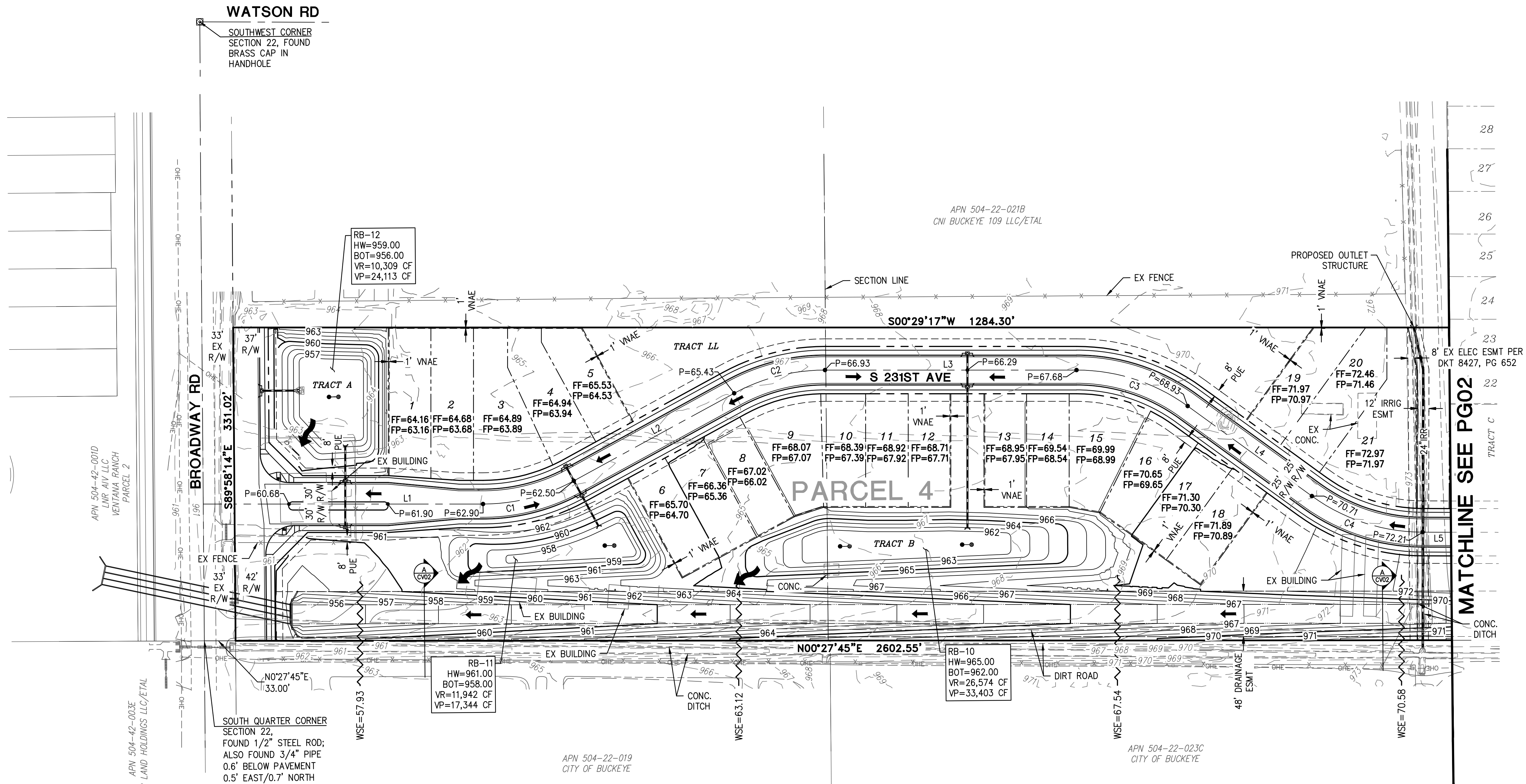
HILGARTWILSON
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EXPIRES 12/31/2025
69933
RYAN J. MORTILLARO
REGISTERED PROFESSIONAL ENGINEER
ARIZONA
Ryan Mortillaro

VISTAS AT BUCKEYE
WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA
PRELIMINARY PLAT

HILGARTWILSON
PROJ NO.: 2292
DATE: JAN 2025
SCALE: 1" = 60'
DRAWN: HW
DESIGNED: ZH
APPROVED:
DWG. NO.
PP03
SHT. 7 OF 15
PLZS-24-0004

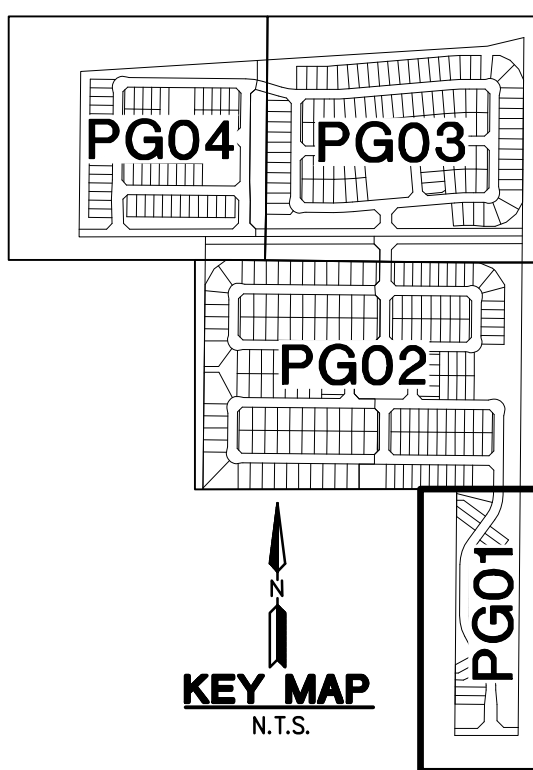
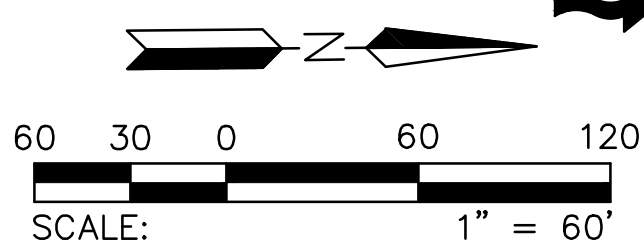
LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S00°29'17"W	295.52'
L2	N28°09'35"W	192.99'
L3	N00°29'17"E	265.73'
L4	S36°25'03"W	162.09'
L5	S00°35'33"W	467.41'



LANDSCAPE PATHS WILL BE GRADED IN WITH PROPER CROSS SLOPES AND LONGITUDINAL SLOPES AT FINAL DESIGN.

LEGEND

- | | |
|----|----------------------------|
| | PARCEL BOUNDARY |
| | RIGHT-OF-WAY |
| | LOT/TRACT LINE |
| | CENTERLINE |
| | EASEMENT LINE |
| | MONUMENT |
| | MATCHLINE |
| | RETAINING WALLS |
| | STREET GRADE |
| | FLOW DIRECTIONAL INDICATOR |
| HP | HIGH POINT |
| LP | LOW POINT |
| | DUAL CHAMBER DRYWELL |
| | OUTFALL ARROW |



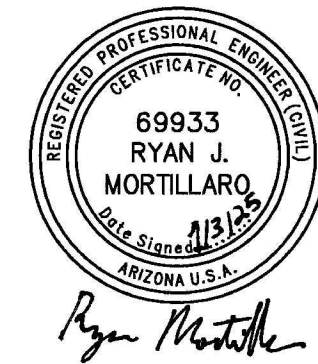
REV.:



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EXPIRES 12/31/2025



VISTAS AT BUCKEYE

WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA

CONCEPTUAL GRADING

NO. 117

NO.: 2292

JAN 2025

$$\equiv: 1'' = 60',$$

MH: HW

IGNED: HW

DWG. NO.

PG01

SHT. 9 OF 15

PLZS-24-0004



LINE TABLE		
NO.	DIRECTION	LENGTH
L1	N89°24'27\"W	1264.83'
L2	S00°35'33\"W	740.16'
L3	S00°35'33\"W	290.00'
L4	N89°24'27\"W	1388.00'
L5	N00°35'33\"E	290.00'
L6	N89°24'27\"W	1264.83'
L7	N00°35'33\"E	300.00'
L8	N00°35'33\"E	300.00'
L9	N89°24'27\"W	1388.00'
L10	S00°35'33\"W	290.00'
L11	S00°35'33\"W	290.00'
L12	S00°35'33\"W	421.43'

CURVE TABLE		
NO.	RADIUS	DELTA
C1	500.00'	16°25'34\"

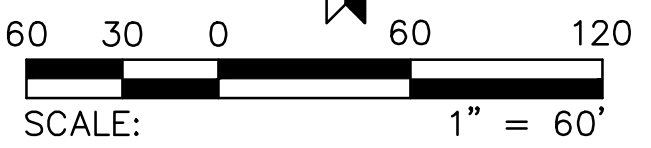
- LEGEND**
- PARCEL BOUNDARY
 - RIGHT-OF-WAY
 - LOT/TRACT LINE
 - CENTERLINE
 - EASEMENT LINE
 - MONUMENT
 - MATCHLINE
 - RETAINING WALLS
 - 0.40% STREET GRADE
 - FLOW DIRECTIONAL INDICATOR
 - HP HIGH POINT
 - LP LOW POINT
 - DUAL CHAMBER DRYWELL
 - OUTFALL ARROW

MATCHLINE SEE PG01

APN 504-22-021B
CNI BUCKEYE 109 LLC/ETAL

STORM WATER RUNOFF WILL BE DRAINED FROM ROADWAY BY USE OF CATCH BASINS AND/OR SCUPPERS (TO BE DETERMINED AT FINAL DESIGN)

LANDSCAPE PATHS WILL BE GRADED IN WITH PROPER CROSS SLOPES AND LONGITUDINAL SLOPES AT FINAL DESIGN.



REV: _____

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EXPIRES 12/31/2025

VISTAS AT BUCKEYE
WATSON ROAD AND BROADWAY ROAD
BUCKEYE, ARIZONA

CONCEPTUAL GRADING

HILGARTWILSON
PROJ NO.: 2292
DATE: JAN 2025
SCALE: 1\" = 60\"
DRAWN: HW
DESIGNED: ZH
DWG. NO.
PG02
SHT. 10 OF 15
PLZS-24-0004



APPR	PIZS-24-0004
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STORM WATER RUNOFF WILL BE DRAINED FROM ROADWAY
BY USE OF CATCH BASINS AND/OR SCUPPERS
(TO BE DETERMINED AT FINAL DESIGN)

LANDSCAPE PATHS WILL BE GRADED IN WITH PROPER
CROSS SLOPES AND LONGITUDINAL SLOPES AT FINAL
DESIGN.

- Contact Arizona 811 at least two full working days before you begin excavating.
- ARIZONA811**
CALL 811 or click Arizona811.COM

EXPIRES 12/31/2025

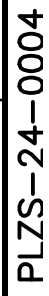


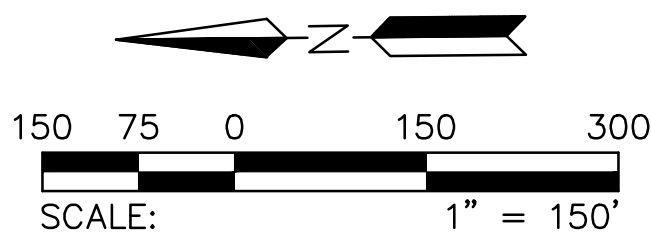
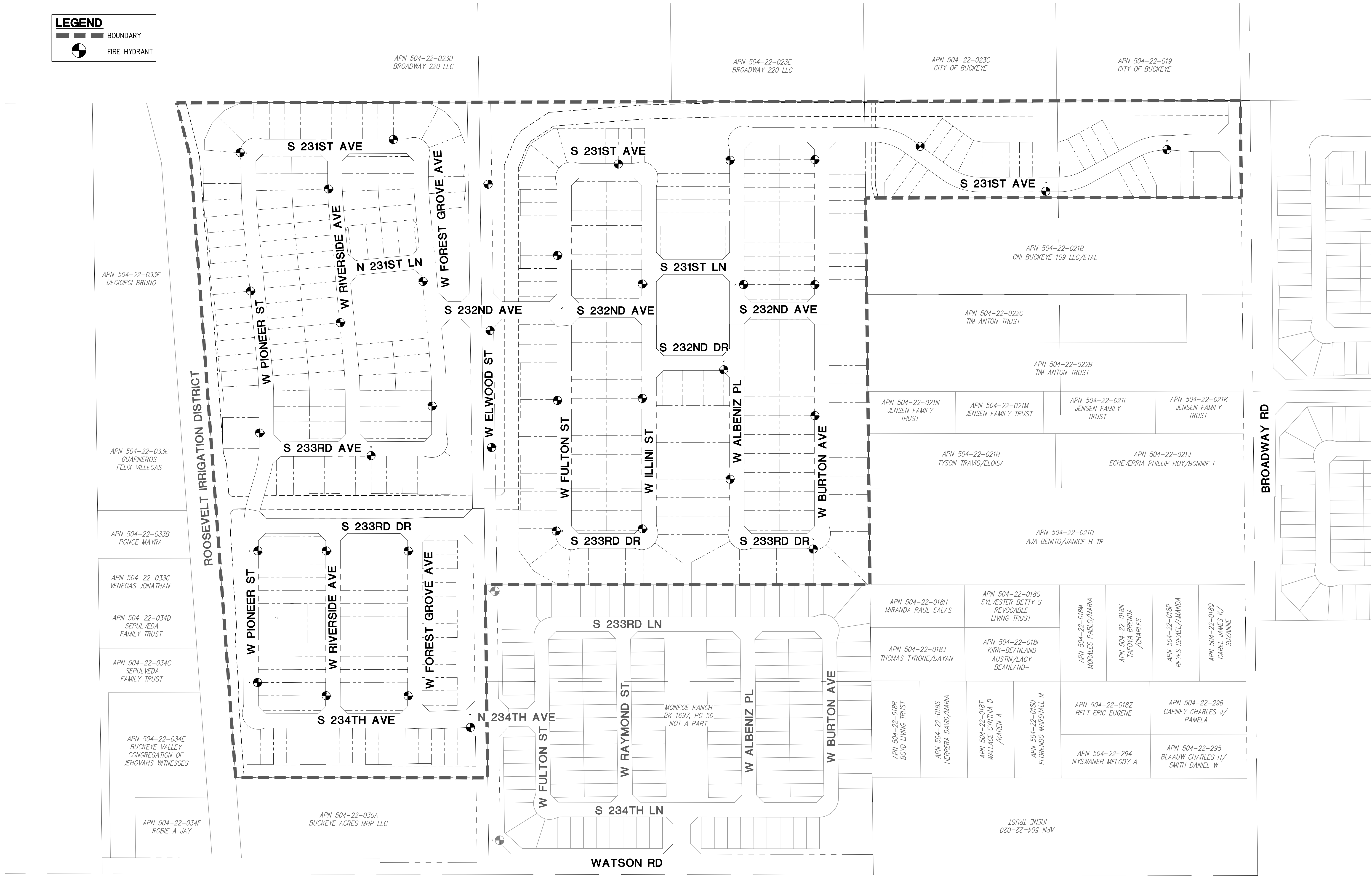
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
CERTIFICATE NO.
69933
RYAN J. MORTILLARO
Date Signed 1/3/25
ARIZONA U.S.A.

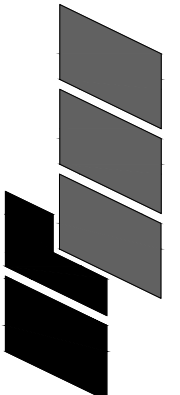
CONCEPTUAL GRADING

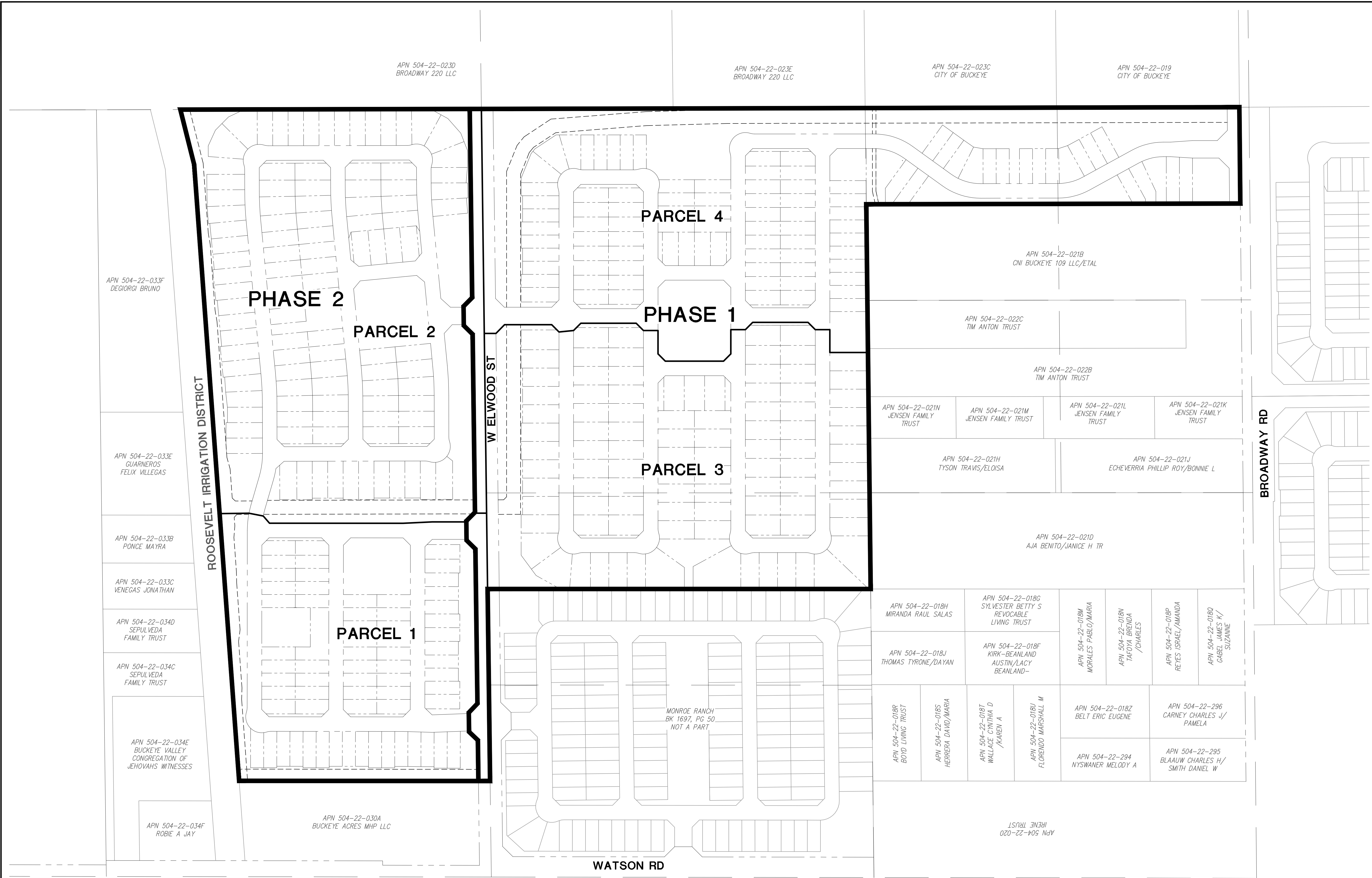
HT. 12 OF 15

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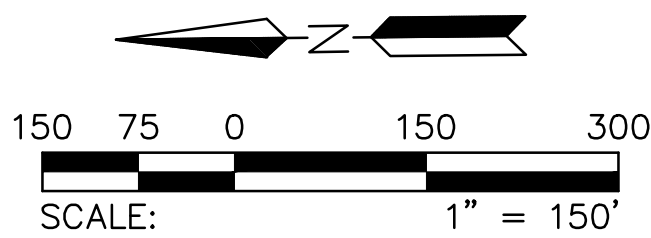




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EXPIRES 12/31/2025		 <i>Ryan Mortillaro</i>	
VISTAS AT BUCKEYE WATSON ROAD AND BROADWAY ROAD BUCKEYE, ARIZONA		FIRE HYDRANT MAP	
HILGARTWILSON	PROJ NO.: 2292	DATE: JAN 2025	SCALE: 1" = 150'
		DRAWN: HW	DESIGNED: HW
			APPROVED: ZH
		DWG. NO.	SHT. 14 OF 15
		FH01	PLZS-24-0004



NOTE:
PHASE 1 AND PHASE 2 WILL BE BUILT CONCURRENTLY



HILGARTWILSON PROJ NO.: 2292 DATE: JAN 2025 SCALE: 1" = 150' DRAWN: HW DESIGNED: HW APPROVED: ZH		HILGARTWILSON ENGINEER PLAN SURVEY MANAGE 2141 E. HIGHLAND AVE., STE. 250 PHOENIX, AZ 85016 P: 602.490.0535 / F: 602.368.2436 www.hilgartwilson.com	
VISTAS AT BUCKEYE WATSON ROAD AND BROADWAY ROAD BUCKEYE, ARIZONA		PHASING MAP	
PH01 SHT. 15 OF 15		PLZS-24-0004	

REV: _____

EXPIRES 12/31/2025

69933
RYAN J.
MORTILLARO
1/13/2025
ARIZONA 811
Professional Engineer Seal

SR PLZS-24-0004 RECEIVED JAN 7 2025 WD



CONCEPTUAL PLANT PALETTE

TREES (60% - 24" BOX, 35% - 36" BOX, 5% - 48" BOX)
MULGA (ACACIA ANEURA)
FOOTHILLS PALO VERDE (PARKINSONIA MICROPHYLLA)
BLUE PALO VERDE (PARKINSONIA FLORIDA)
DESERT MUSEUM PALO VERDE (PARKINSONIA HYBRID)
MASTIC TREE (PISTACIA LENTISCUS)
HERITAGE LIVE OAK (QUERCUS VIRGINIANA 'HERITAGE')
RIO SALADO MESQUITE (PROSOPIS SP. 'RIO SALADO')
SHRUBS (5 GAL. MIN)
BOUGAINVILLEA (BOUGAINVILLEA SPECIES)
DESERT BIRD OF PARADISE (CAESALPINIA SPECIES)
FAIRY DUSTER (CALLIANDRA SPECIES)
BRITTLEBUSH (ENCELIA FARINOSA)
EMU BUSH (EREMOPHILA SPECIES)
TEXAS SAGE (LEUCOPHYLLUM SPECIES)
DEERGRASS (MUHLENBERGIA SPECIES)
JOJOBA (SIMMONDSIA CHINENSIS)
BAJA RUELLIA (RUELLIA PENINSULARIS)
YELLOW BELLS (TECOMA SPECIES)
CREOSOTE BUSH (LARREA TRIDENTATA)

ACCENTS (5 GAL. MIN)
AGAVE (AGAVE SPECIES)
CARNEGIEA GIGANTEA (SAGURAO CACTUS).
DESERT SPOON (DASYLIRION WHEELERI)
BARREL CACTUS (FEROCACTUS WISLIZENI)
GIANT HESPERALOE (HESPERALOE FUNIFERA)
RED YUCCA (HESPERALOE PARVIFLORA)
PRICKLEY PEAR (OPUNTIA SPECIES)
YUCCA (YUCCA SPECIES)
GROUNDCOVER (5 GAL. MIN)
LANTANA (LANTANA SPECIES)
TRIANGLE LEAF BURSAGE (AMBROSIA DELTOIDEA)
DESERT MARIGOLD (BAILEYA MULTIRADIATA)
DECOMPOSED GRANITE
5/8" SCREENED - 2" DEPTH MIN.
'APACHE BROWN' COLOR BY KALAMAZOO MATERIALS
TURF
'MIDIRON' HYBRID BERMUDA SOD (OR
HYDROSEED VAR. BLACKJACK)

NOTE: PRELIMINARY PLANTING PLAN IS ONLY SHOWING TREE PLANT MATERIAL. FULL PLANTING PLAN WILL BE PROVIDED AT CONSTRUCTION DOCUMENTATION STAGE. ALL TREE MATERIAL TO BE PLACED OUTSIDE OF THE P.U.E.

NOTE: CONCEPTUAL PLANT PALETTE ABOVE MAY BE MODIFIED BASED ON UTILITY COMPANY RESTRICTIONS, HOA RESTRICTIONS AND ON THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF CONSTRUCTION. ALL PLANT MATERIAL SUBSTITUTIONS MUST BE ON THE ADWR - AMA LOW WATER USE PLANT LIST. HYBRIDS & SUB-SPECIES OF THE PLANT MATERIAL LISTED ABOVE MAY BE SUBSTITUTED WITH LANDSCAPE ARCHITECT APPROVAL.

AMENITIES PROGRAMMING

- AMENITY AREA #1 (1.81 AC)**
- HALF BASKETBALL COURT
- RAMADAS
- LARGE TURF AREA
- GATHERING/SEATING AREA
- WALKING PATHS
- AMENITY AREA #2 (1.48 AC)**
-PLAY STRUCTURE (5-12)
-RAMADA
-LARGE TURF AREA
-GATHERING/SEATING AREA
- WALKING PATHS
- AMENITY AREA #3 (1.15 AC)**
-RAMADA
-LARGE TURF AREA
-GATHERING/SEATING AREA
- WALKING PATHS
- PASSIVE GATHERING AREAS**
- NATURAL TREE SHADE
- LARGE TURF AREA
- SEATING ELEMENT
- TRASH RECEPTACLE
- NOTE: ALL AMENITIES AREAS AND TRAILS ARE TO BE LIT.
- NOTE: ALL PLAY STRUCTURES AND TOT LOTS WILL BE COVERED WITH SHADE CANOPIES
- NOTE: GATHERING AREAS MAY INCLUDE ANY OF THE FOLLOWING: BBQ GRILL, PICNIC TABLE, BENCHES, FITNESS EQUIPMENT, BAG TOSS GAME, SHADE STRUCTURE AND/OR TRASH RECEPTACLES

NOTE: ROOT BARRIER(S):
- SHALL BE INCORPORATED FOR ALL TREES THAT ARE IN THE PUBLIC RIGHT OF WAY TO ENSURE VERTICAL ROOT GROWTH AND AVOID ADJACENT CURB, SIDEWALK OR PAVEMENT UNEAVEN DUE TO TREE ROOTS.
- LINEAR ROOT BARRIERS SHALL BE USED ALONG PUBLIC IMPROVEMENTS THAT ARE ONLY ON ONE SIDE OF A TREE.
- SURROUND ROOT BARRIERS SHALL BE USED WHEN A TREE IS WITHIN THE SIDEWALK OR WITHIN A MEDIAN.

NOTE: FINAL LANDSCAPE PLANS WILL HAVE SIGHT VISIBILITY TRIANGLES AND SITE DISTANCE LINES AT EVERY INTERSECTION PER CITY OF BUCKEYE ENGINEERING DESIGN STANDARDS SECTION 6-3.306 & 6-3.307 STREET PLANNING AND DESIGN CRITERIA

NOTE: MUST MAINTAIN (6) FEET CLEARANCE FROM ALL FIRE HYDRANTS IN ALL DIRECTIONS TO ANY LANDSCAPING. NO PLANT MATERIAL SHALL BE LOCATED BETWEEN THE HYDRANT AND CURB.

NOTE: HOA (OR RESPONSIBLE PARTY) SHALL TRIM TREES ON PROPERTY AND OVER THE ADJACENT ROADWAY TO ALLOW FOR AN (18) FOOT HEIGHT CLEARANCE ABOVE THE PAVEMENT.

RESIDENTIAL LANDSCAPING REQUIREMENTS:

MINIMUM PERCENTAGE OF PARCEL TO BE LANDSCAPED	0% TO 30% PER S.4.3.2
SITE ENHANCEMENT	1 TREE, 5 OTHER PLANTINGS PER 600 SQUARE FEET
SITE PERIMETER	1 TREE, 5 OTHER PLANTINGS PER 30 SQUARE FEET
LANDSCAPING INSIDE PARKING AREAS	1 TREE, 3 OTHER PLANTINGS PER LANDSCAPE ISLAND
BUILDING FOUNDATION	1 OTHER PLANTING PER 8 LINEAR FEET
ACCEPTABLE LANDSCAPE SURFACES	TURF, GRANITE, UNDISTURBED DESERT

TAX PARCEL NOTE:
VISTAS AT BUCKEYE PROPERTY CONSISTS OF THE FOLLOWING APN:

504-22-021A	504-22-035B
504-22-029A	504-22-029A
504-22-031	504-22-036
504-22-035A	504-22-037

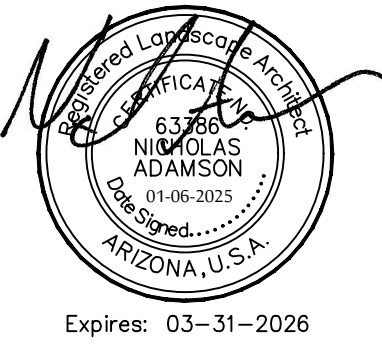
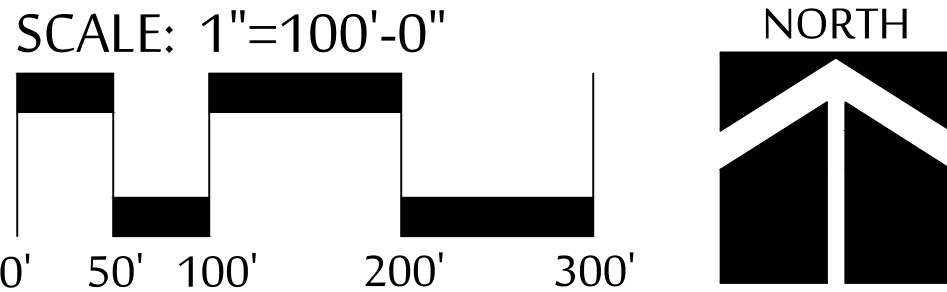


VISTAS AT BUCKEYE

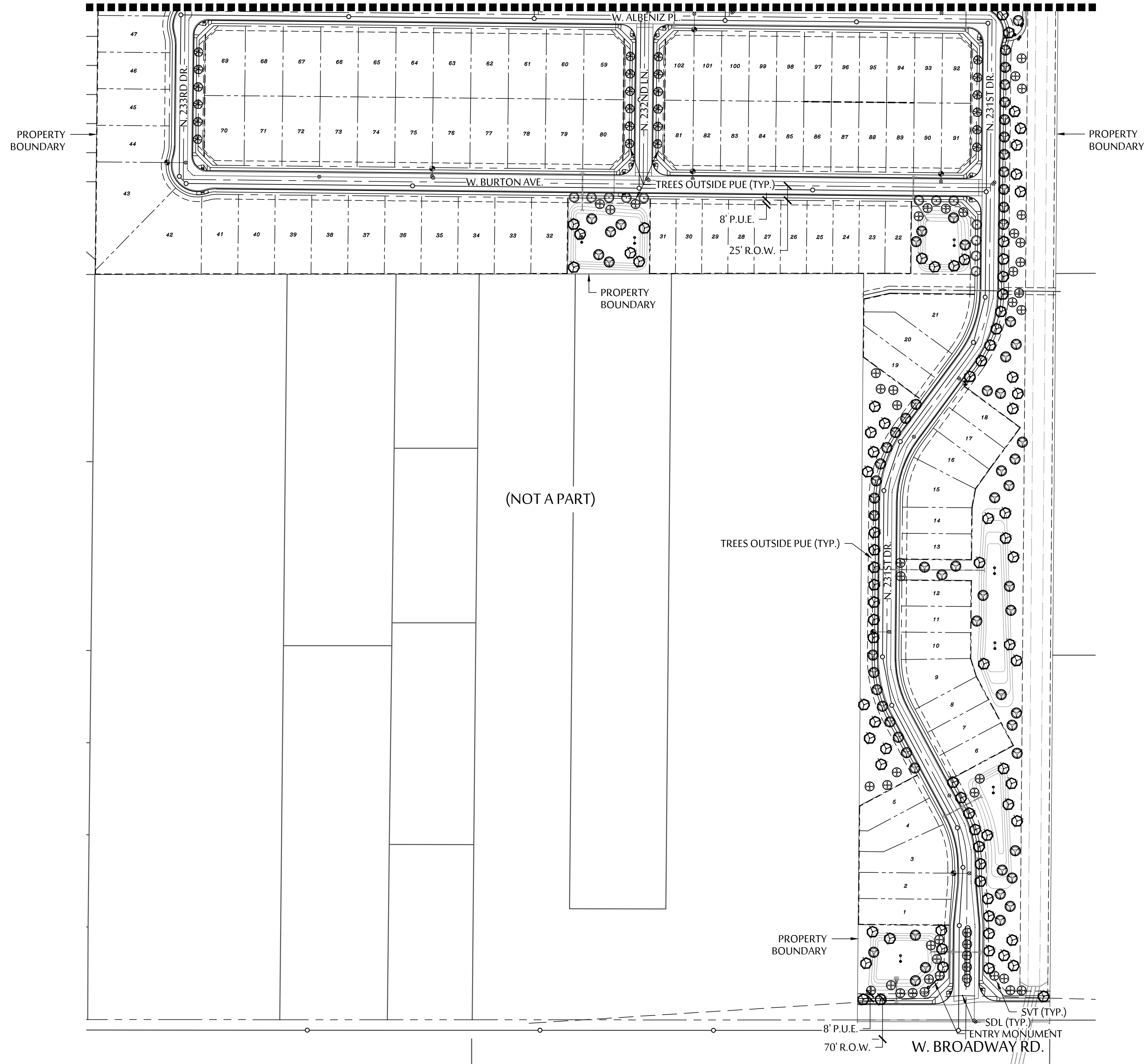
PRELIMINARY PLANTING PLAN

WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025

SHEET L1
PLZS-24-0004



MATCHLINE: SEE SHEET L3



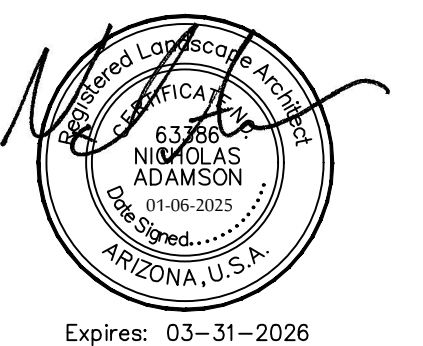
VISTAS AT BUCKEYE

PRELIMINARY PLANTING PLAN

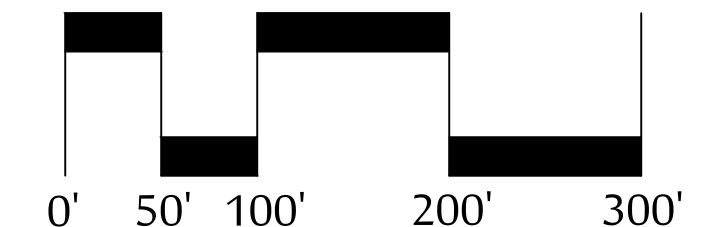
WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025

SHEET L2

PLZS-24-0004



SCALE: 1"=100'-0"



NORTH

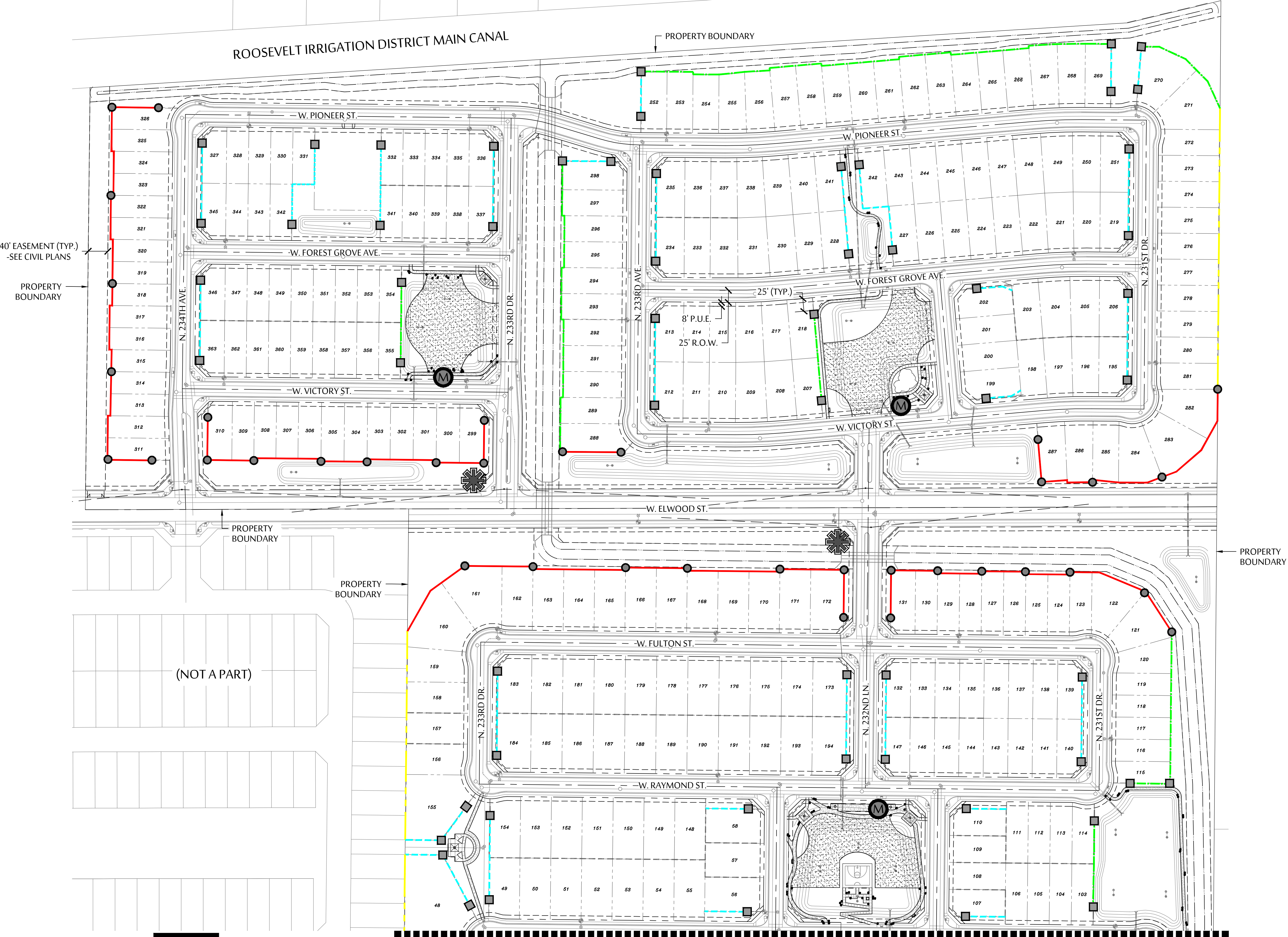


PRELIMINARY WALL PLAN LEGEND

	6' HT. PROJECT THEME WALL - SEE DETAIL 'B' ON SHEET L5	± 5,120 LN. FT.
	6' HT. SECONDARY THEME - SEE DETAIL 'C' ON SHEET L5	± 5,177 LN. FT.
	6' HT. PARTIAL VIEW FENCE - SEE DETAIL 'D' ON SHEET L5	± 3,656 LN. FT.
	6' HT. BUILDER WALL - SEE DETAIL 'E' ON SHEET L5	± 4,052 LN. FT.
ALL HOUSING UNIT REAR YARD WALLS NOT NOTED OR DESIGNATED ABOVE TO BE BUILDER WALLS - SEE DETAIL 'E' ON SHEET L5		
ALL EXISTING & FUTURE BUILDER WALL PAINT COLOR TO MATCH PROJECT THEME WALL COLORS		
	PROJECT THEME COLUMNS - SEE DETAIL 'B' ON SHEET L5	
	SECONDARY THEME COLUMNS - SEE DETAIL 'C' ON SHEET L5	
	PROJECT ENTRANCE / SIGN MONUMENT - SEE DETAILS 'A' ON SHEET L5	
	COMMUNITY MAILBOX CLUSTER	

NOTES:

1. ANY QUANTITIES SHOWN ON THIS SHEET ARE FOR CONVENIENCE ONLY. CONTRACTOR TO UTILIZE THE FINAL SITE PLAN TO VERIFY ALL QUANTITIES NECESSARY TO BID AND INSTALL WALLS, COLUMNS AND FENCING.
2. ALL FOOTINGS, WALLS, FENCES AND THEME COLUMNS ARE TO BE LOCATED OUTSIDE OF THE P.U.E., R.O.W., SIGHT VISIBILITY TRIANGLES AND FRONT YARD SETBACKS.
3. THEME COLUMNS AND/OR ENDS OF WALLS ARE TO BE 25'-0" OFF THE BACK OF THE R.O.W. SOME THEME COLUMNS MAY HAVE TO BE LOCATED 30' OFF THE BACK OF THE R.O.W. WHERE SIGHT VISIBILITY TRIANGLE EASEMENTS ARE PRESENT. CONTRACTOR TO INSTALL 6"x6" CONCRETE HEADER FROM THE FRONT OF THE COLUMN (OR END OF WALL) TO THE BACK OF THE SIDEWALK OR STREET FRONTAGE CURB.
4. SIGN REQUIRES A SEPARATE PERMIT. DETAILS ARE FOR INFORMATION ONLY.

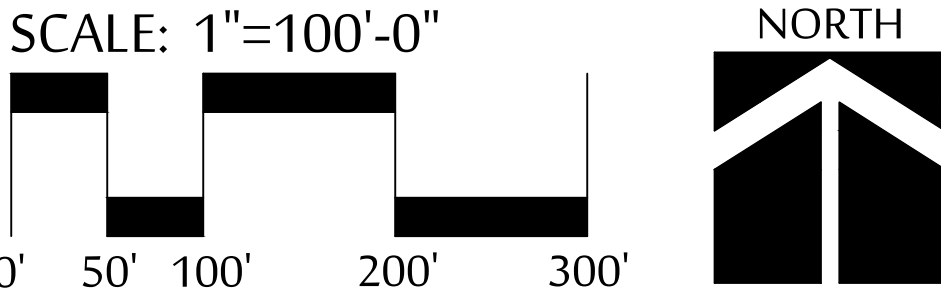
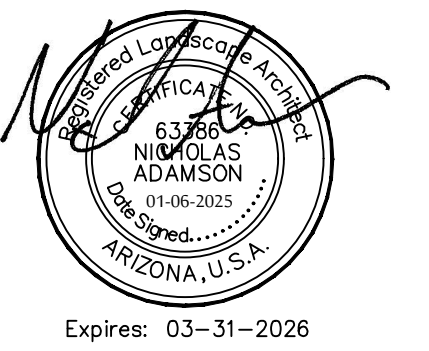


MATCHLINE: SEE SHEET L4

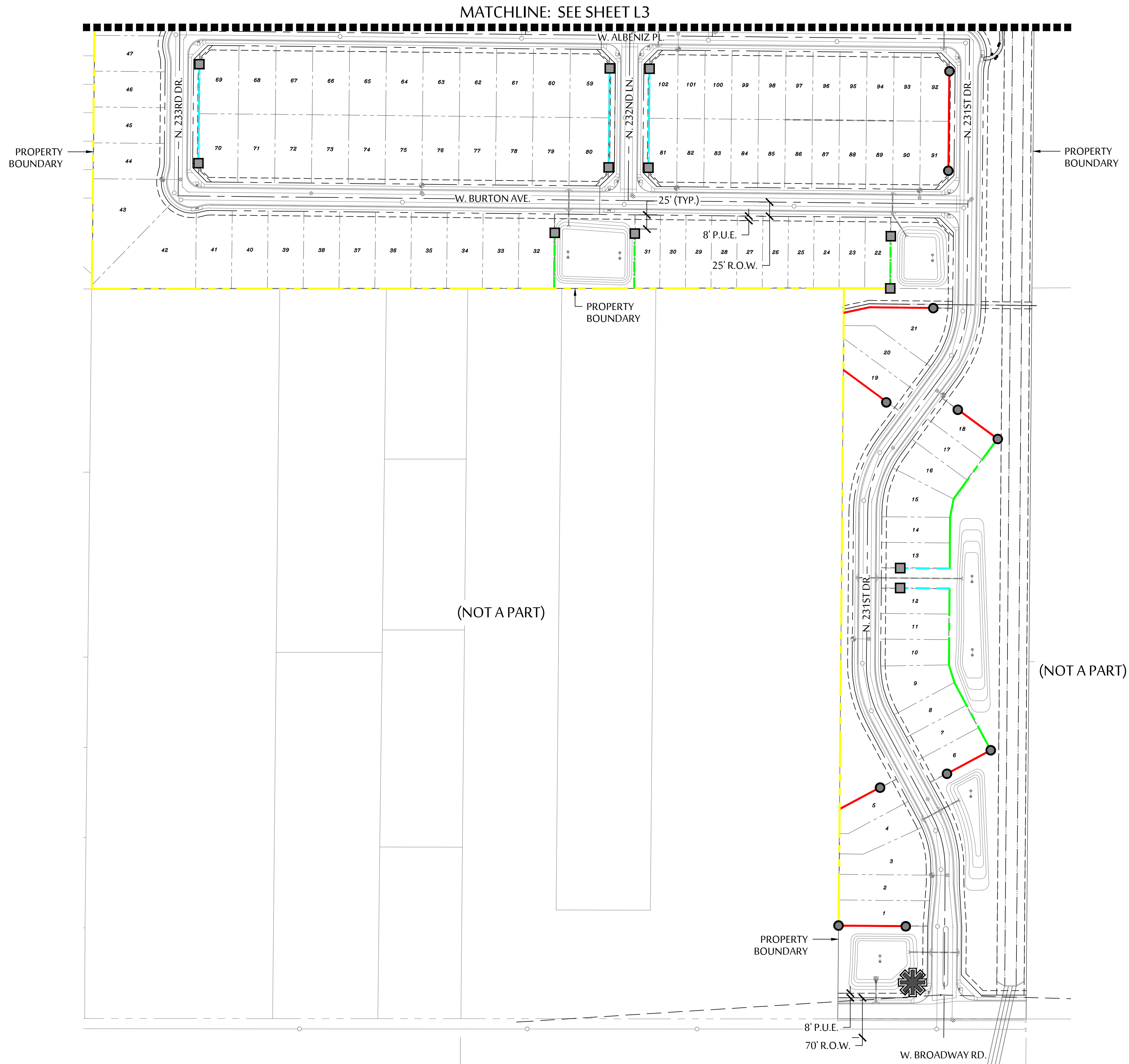
VISTAS AT BUCKEYE

PRELIMINARY WALL PLAN

WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025



SHEET L3
PLZS-24-0004



PRELIMINARY WALL PLAN LEGEND

	6' HT. PROJECT THEME WALL - SEE DETAIL 'B' ON SHEET L5
	6' HT. SECONDARY THEME - SEE DETAIL 'C' ON SHEET L5
	6' HT. PARTIAL VIEW FENCE - SEE DETAIL 'D' ON SHEET L5
	6' HT. BUILDER WALL - SEE DETAIL 'E' ON SHEET L5
	ALL HOUSING UNIT REAR YARD WALLS NOT NOTED OR DESIGNATED ABOVE TO BE BUILDER WALLS - SEE DETAIL 'E' ON SHEET L5
	ALL EXISTING & FUTURE BUILDER WALL PAINT COLOR TO MATCH PROJECT THEME WALL COLORS
	PROJECT THEME COLUMNS - SEE DETAIL 'B' ON SHEET L5
	SECONDARY THEME COLUMNS - SEE DETAIL 'C' ON SHEET L5
	PROJECT ENTRANCE / SIGN MONUMENT - SEE DETAILS 'A' ON SHEET L5
	COMMUNITY MAILBOX CLUSTER

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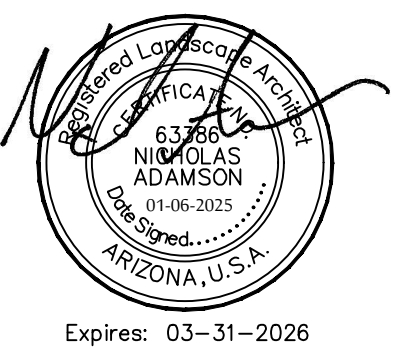


VISTAS AT BUCKEYE
PRELIMINARY WALL PLAN

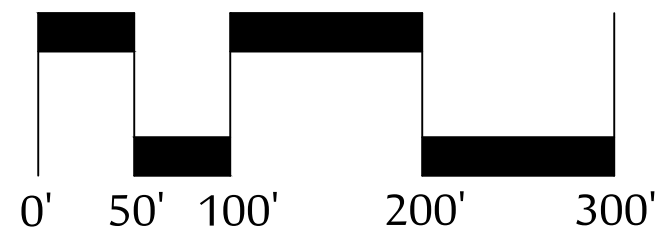
WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025

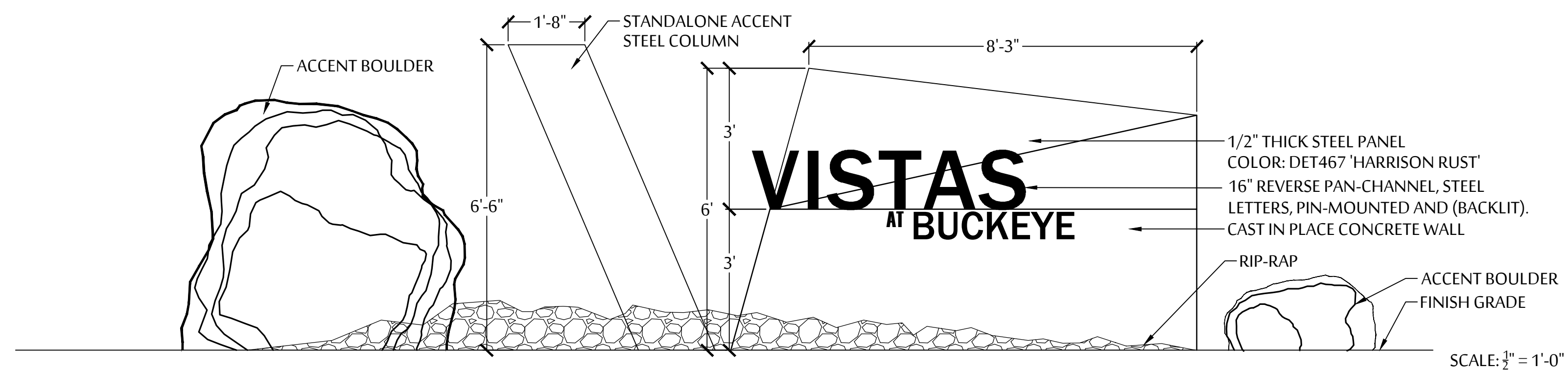
SHEET L4

PLZS-24-0004

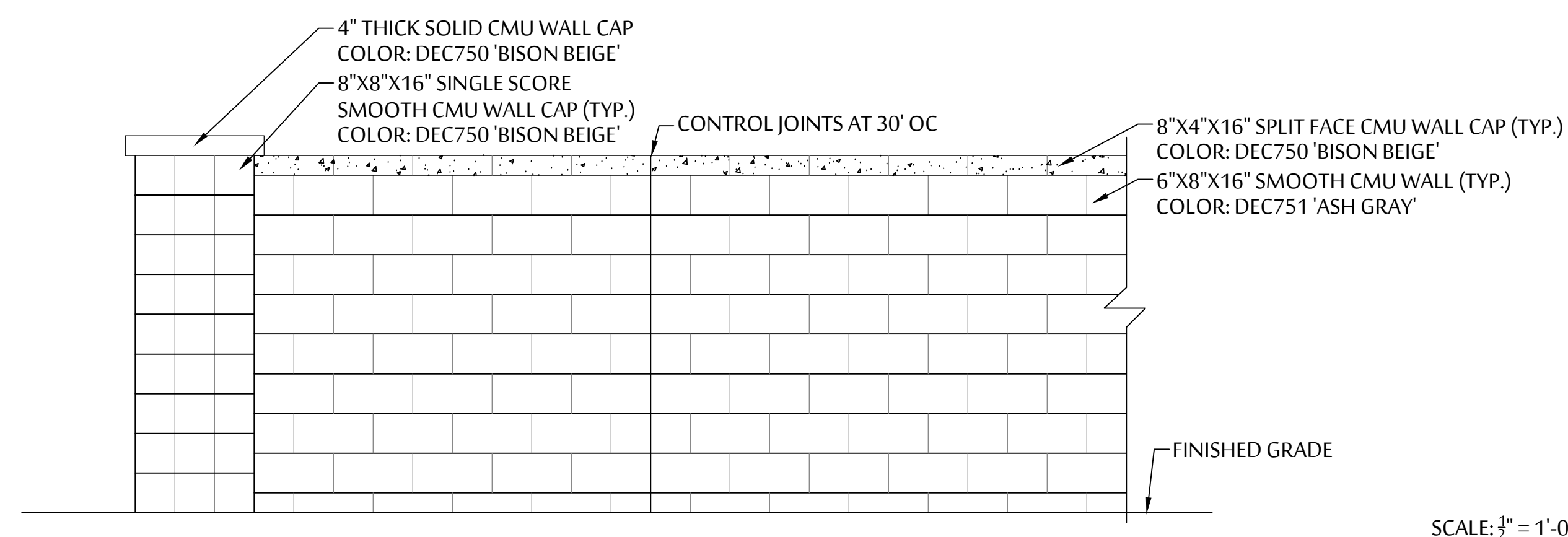


SCALE: 1"=100'-0"

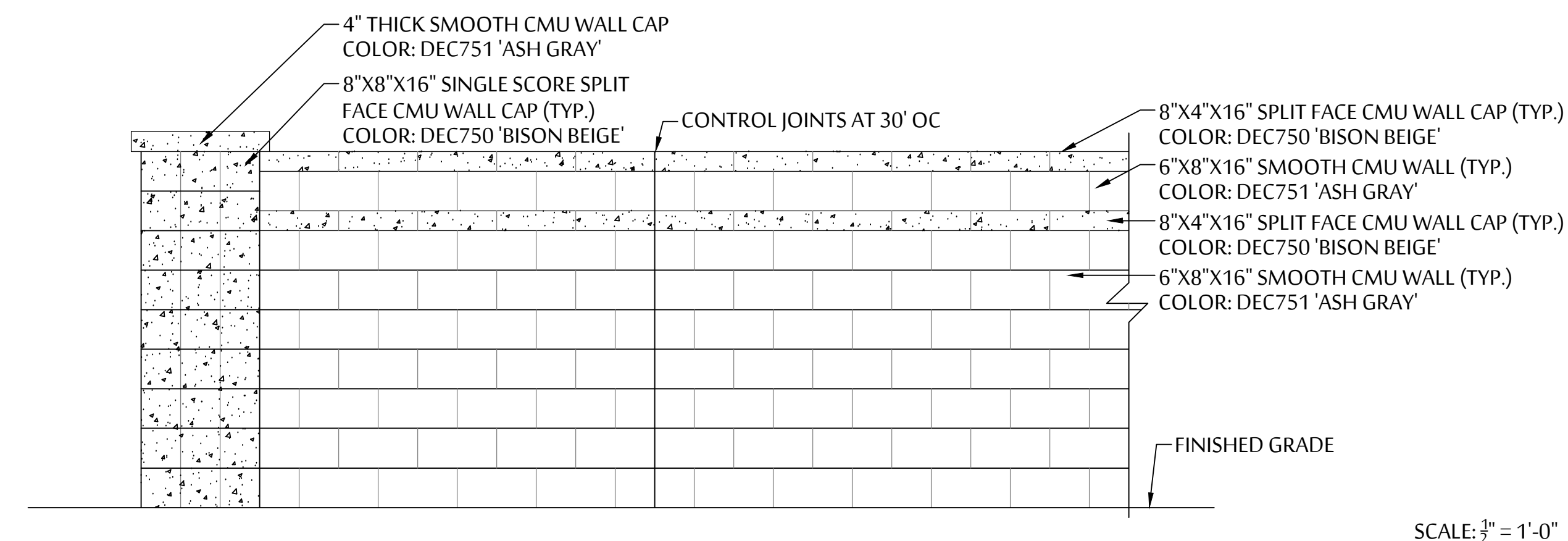




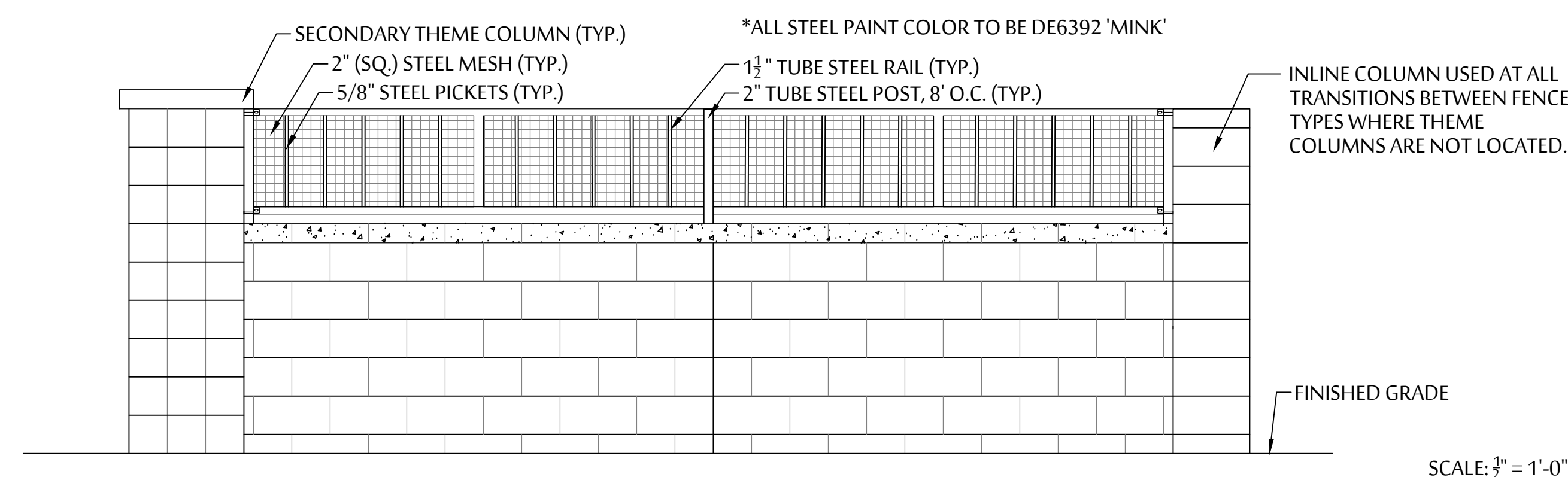
ENTRY MONUMENT SIGN



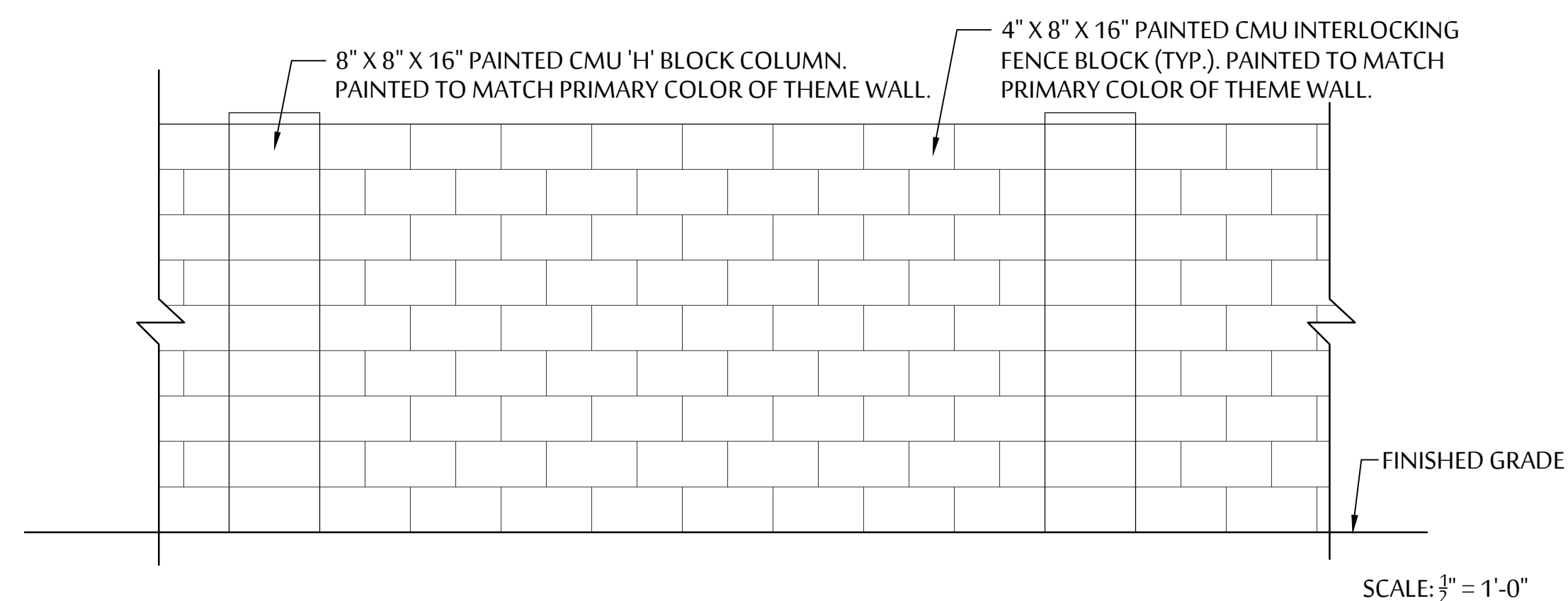
C SECONDARY THEME WALL



B THEME WALL



D PARTIAL VIEW FENCE



E BUILDER WALL



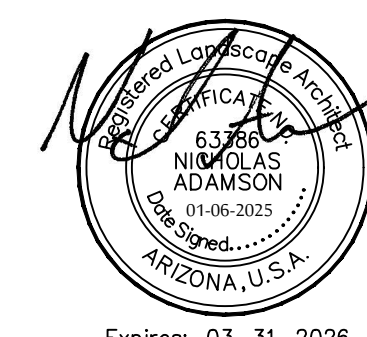
VISTAS AT BUCKEYE

PRELIMINARY DETAILS

WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025

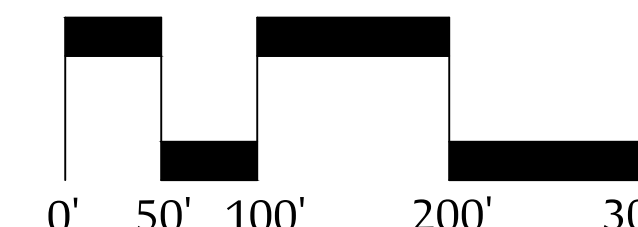
SHEET L5

PLZS-24-0004



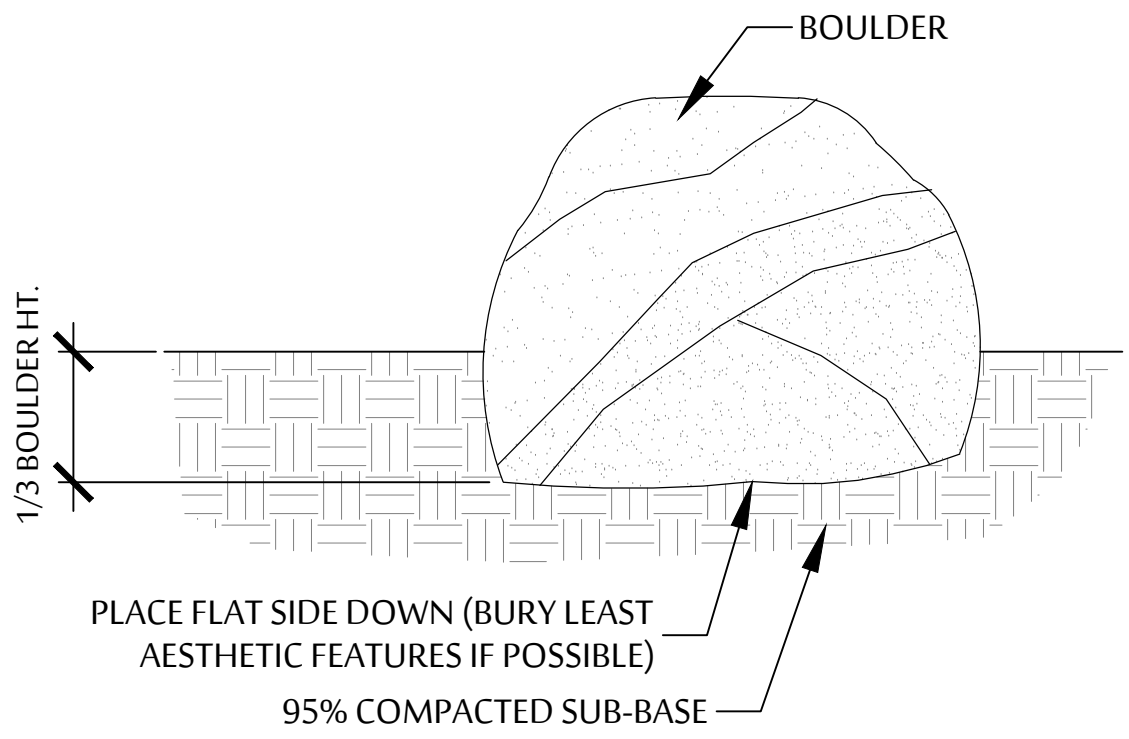
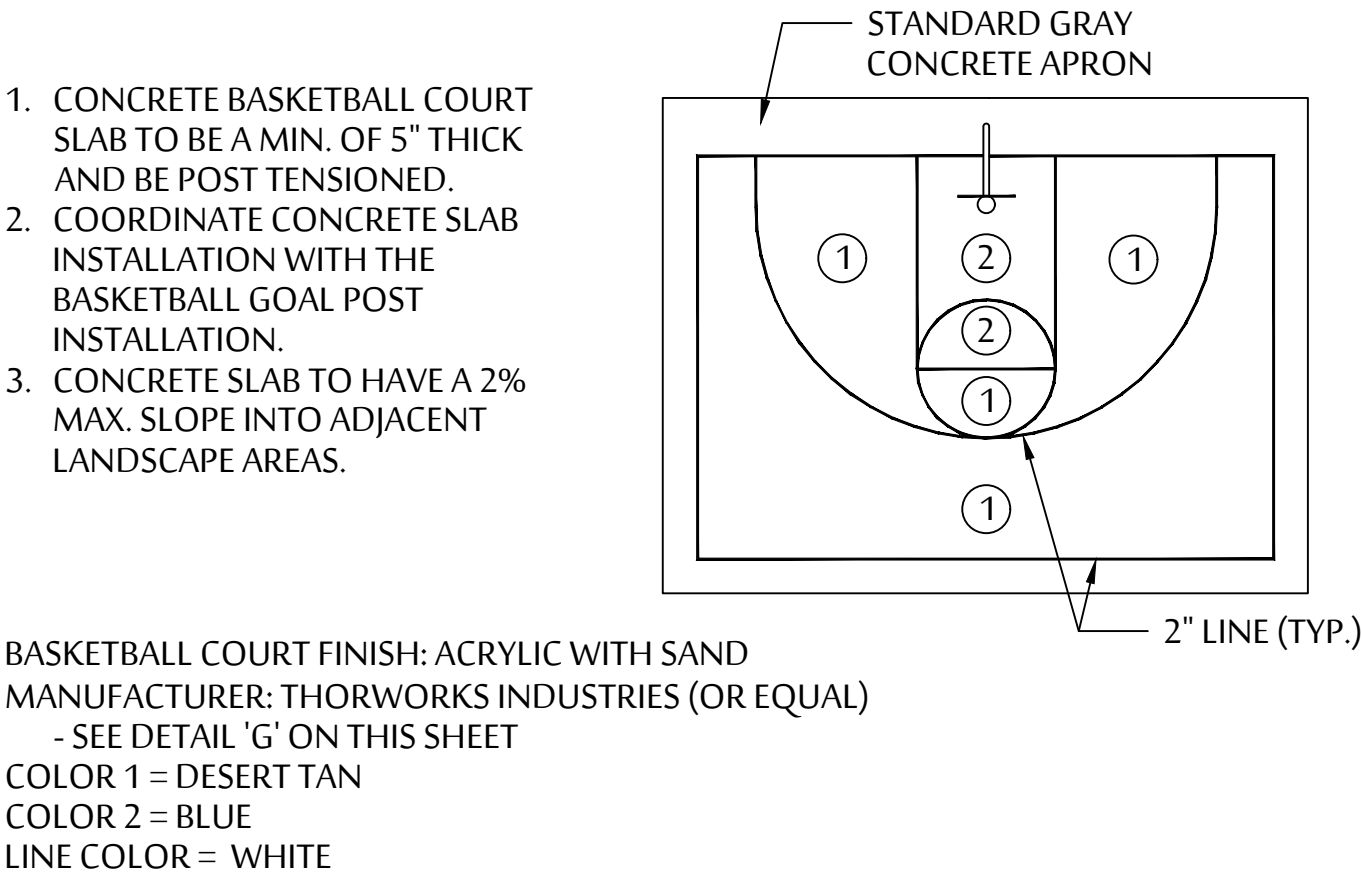
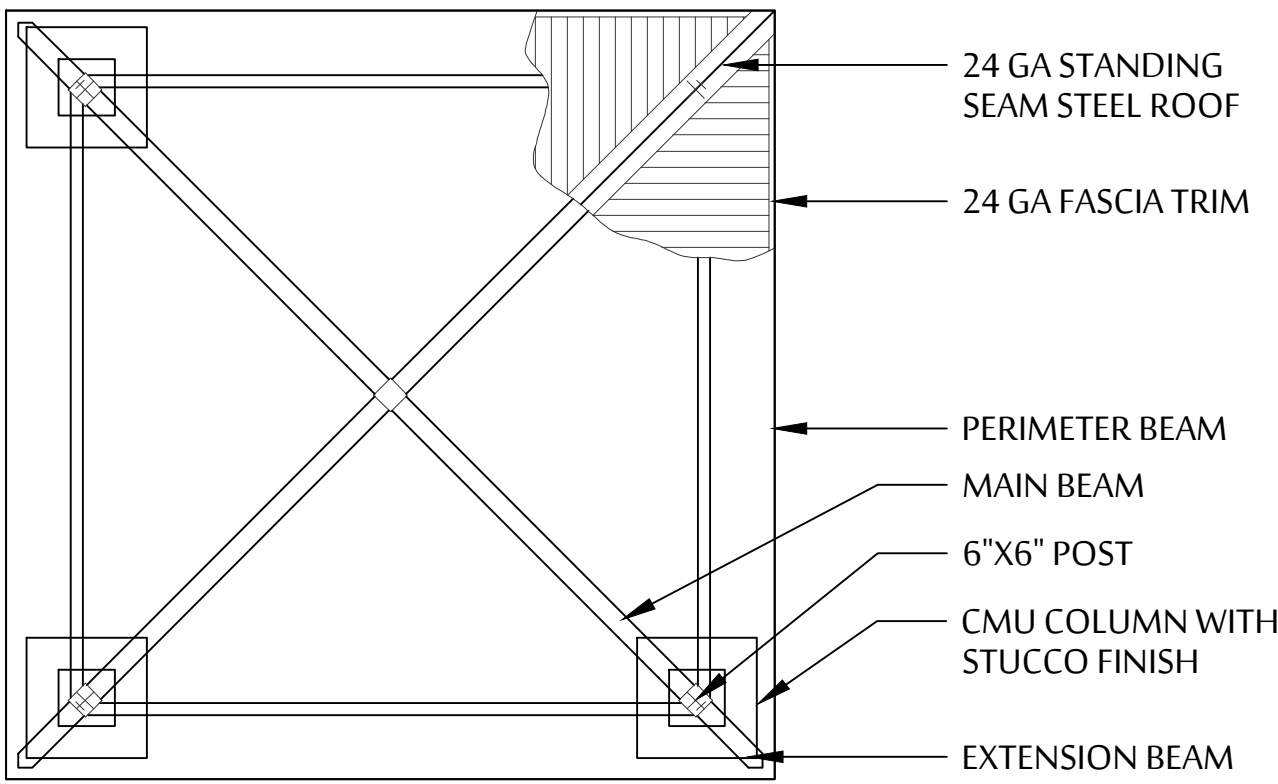
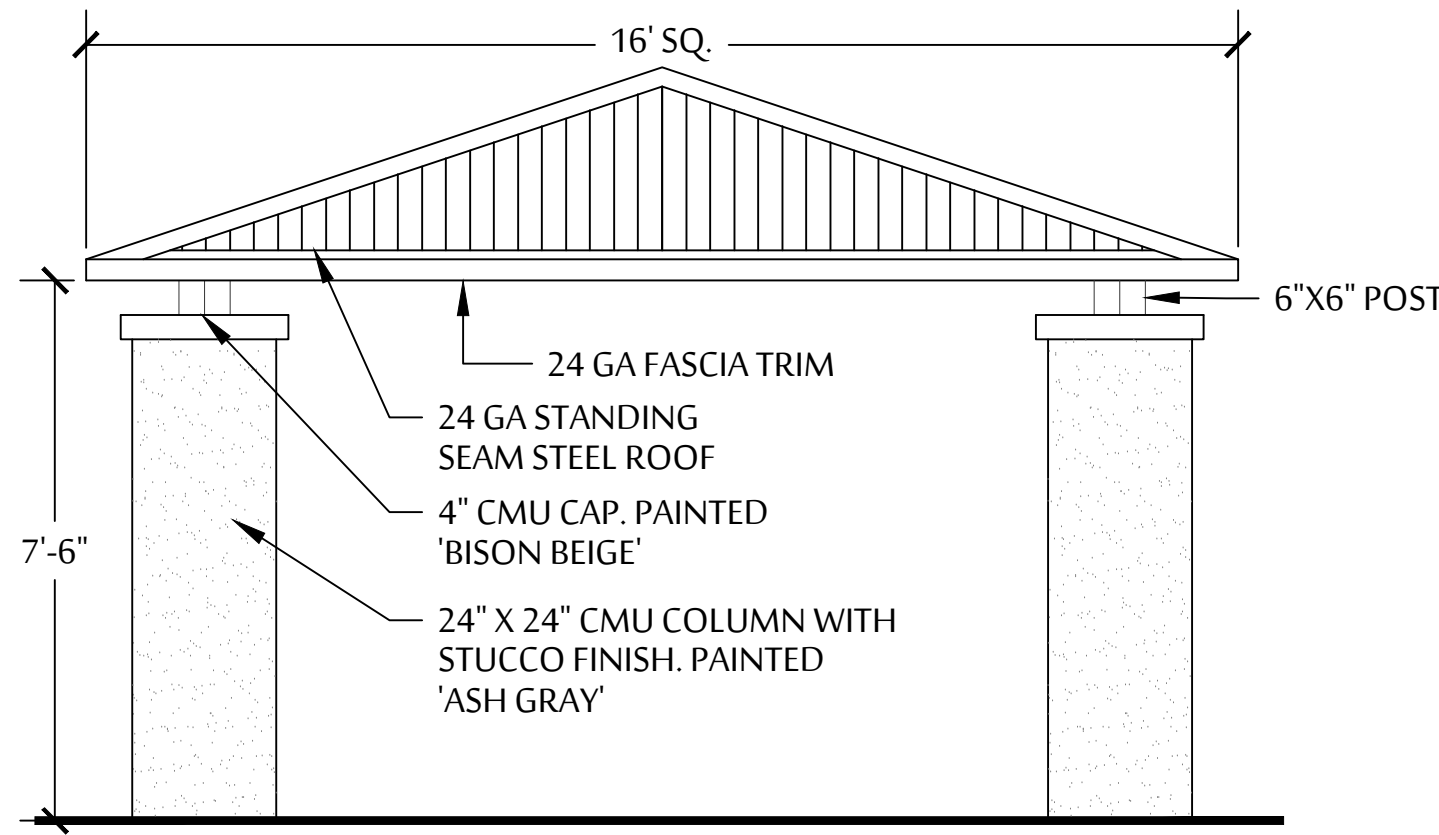
Expires: 03-31-202

SCALE: 1"=100'-0"



NORTH

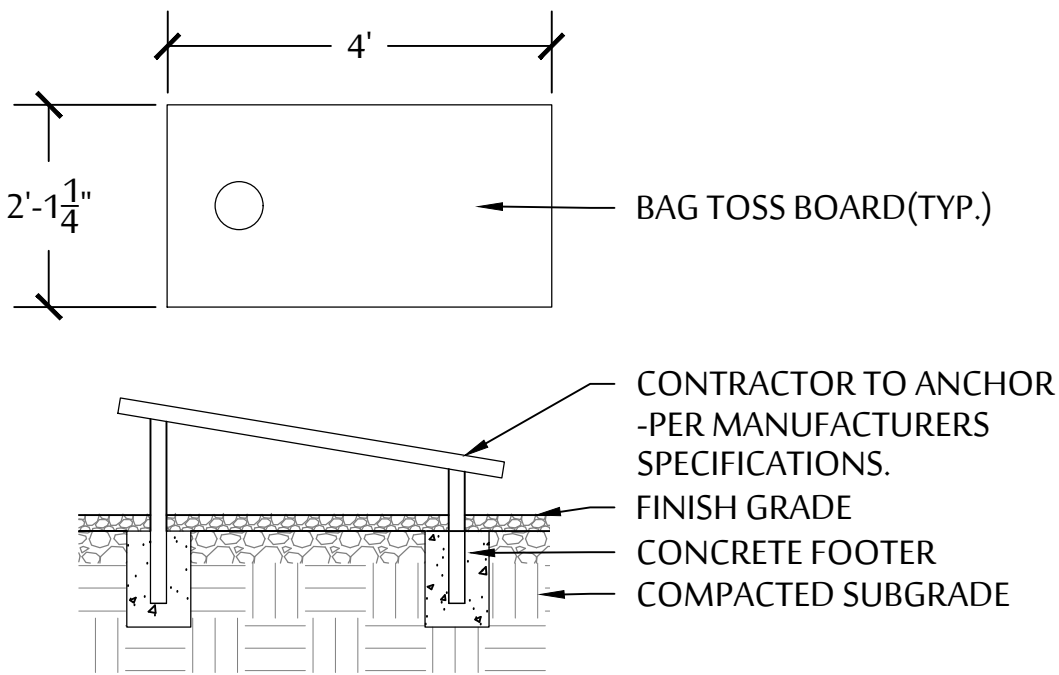
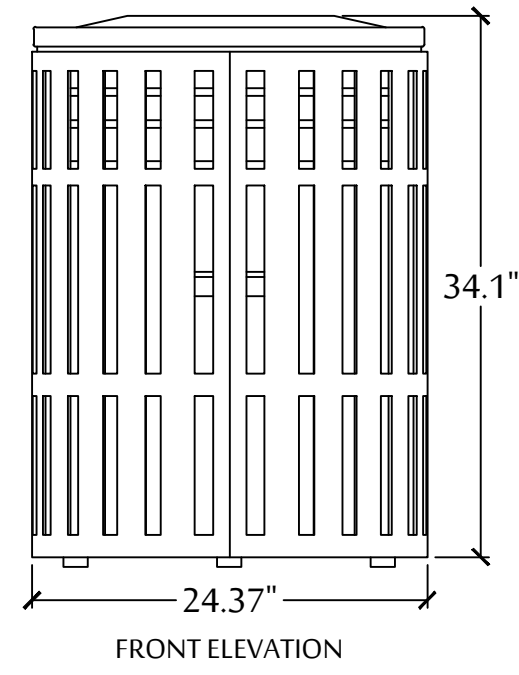
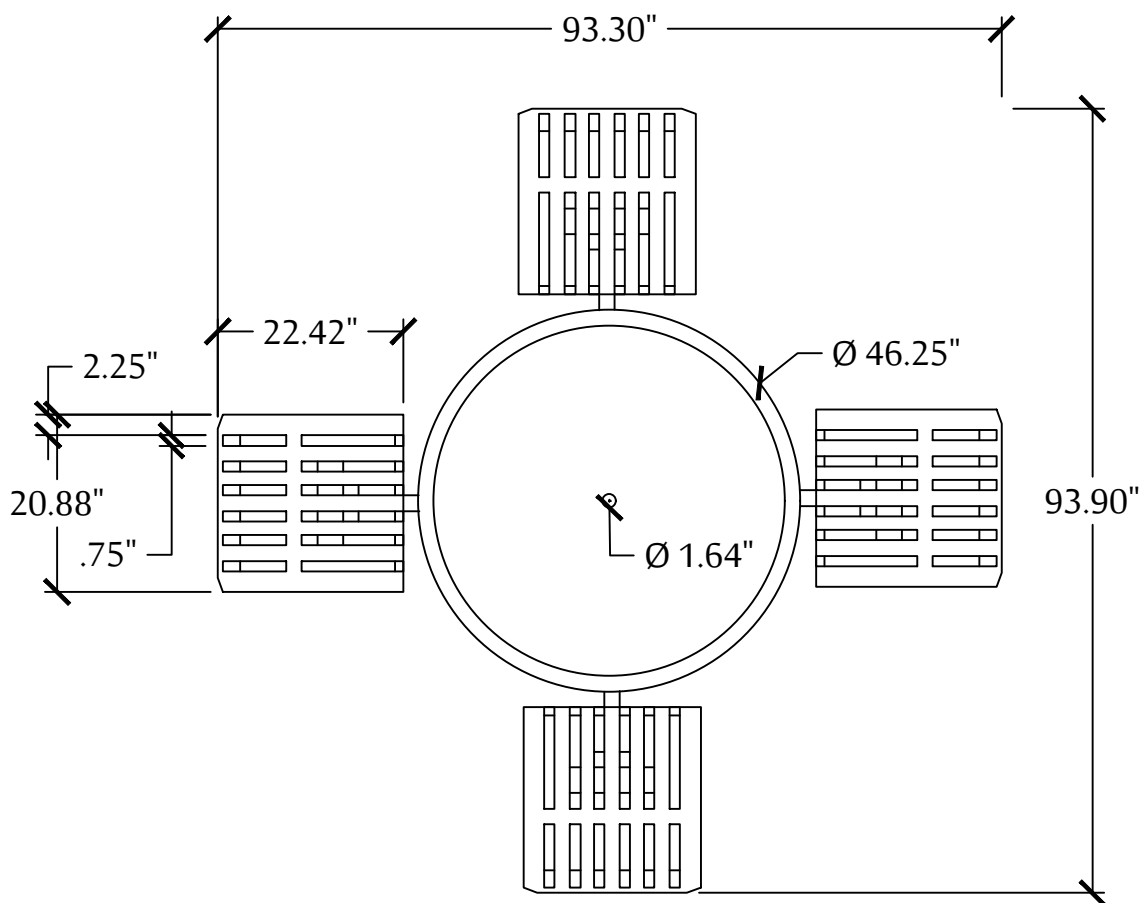
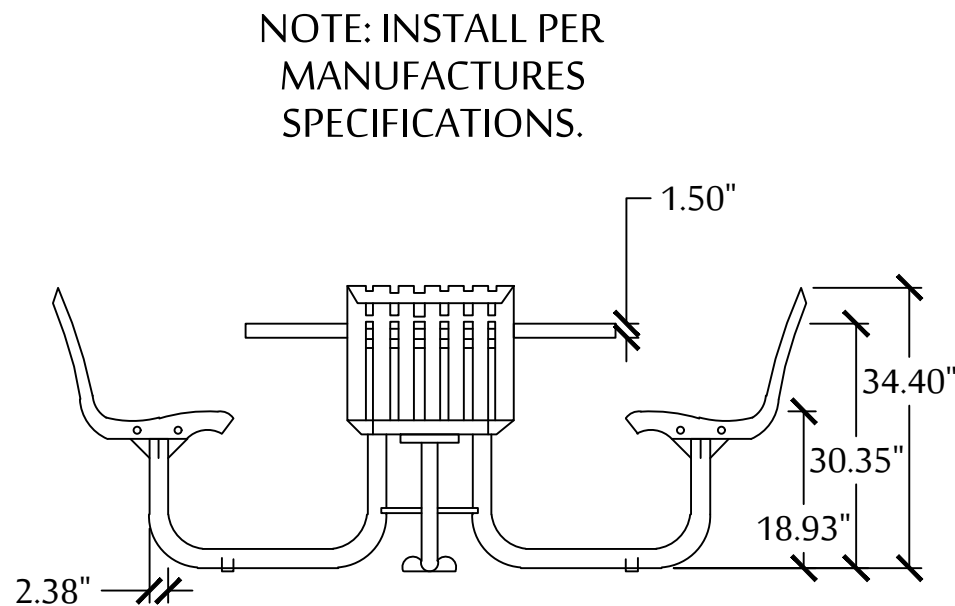
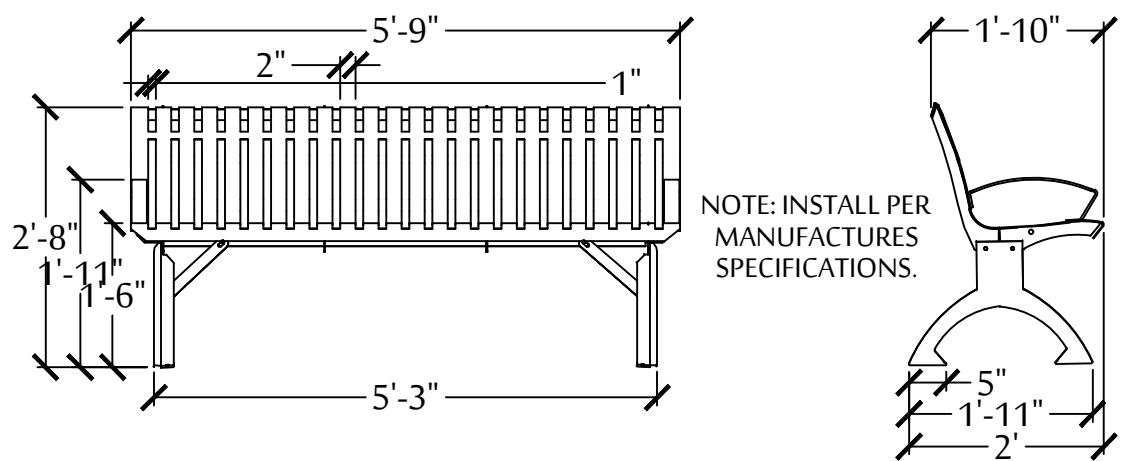




A SHADE RAMADA

B BASKETBALL COURT

C LANDSCAPE BOULDERS

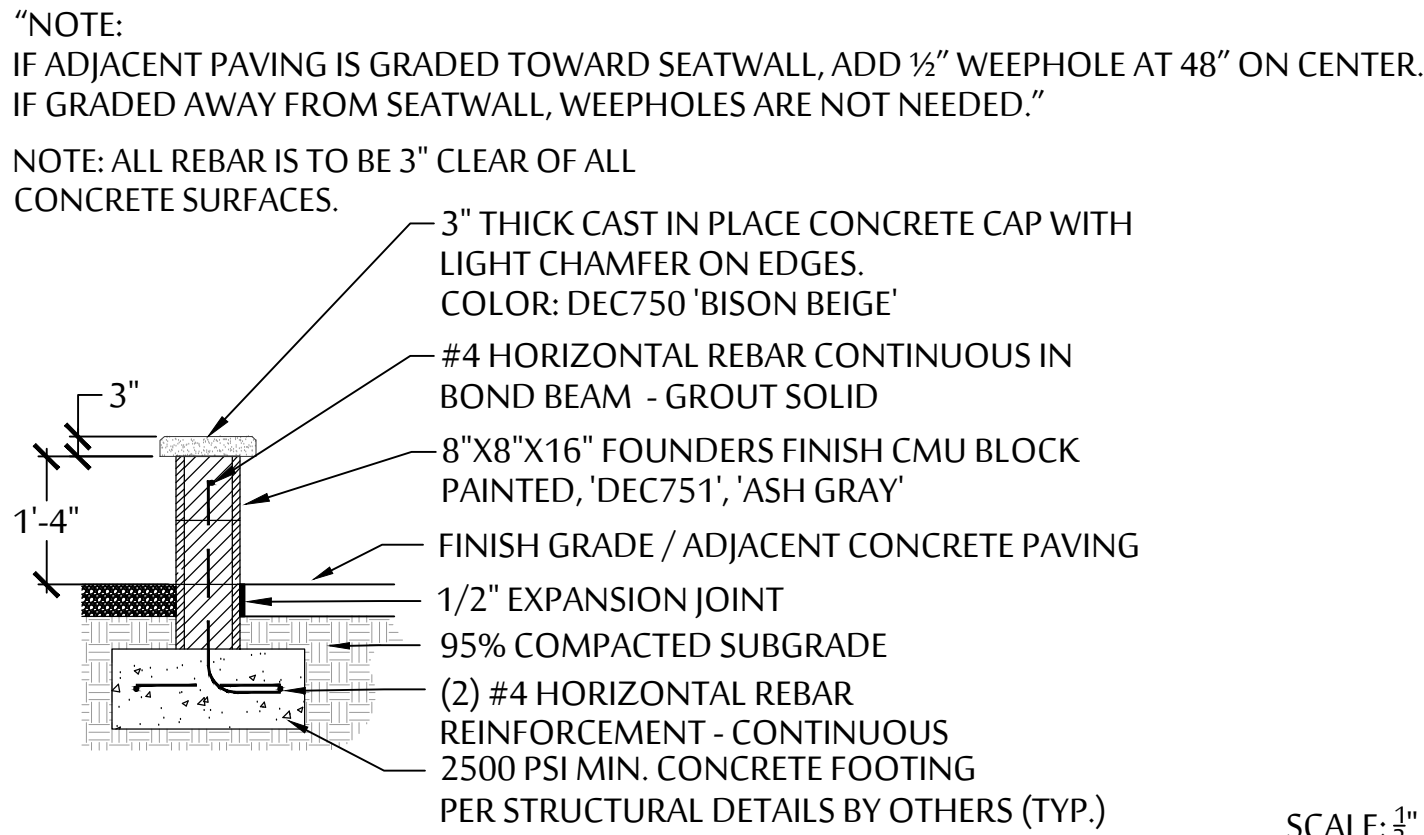


D 6' BENCH

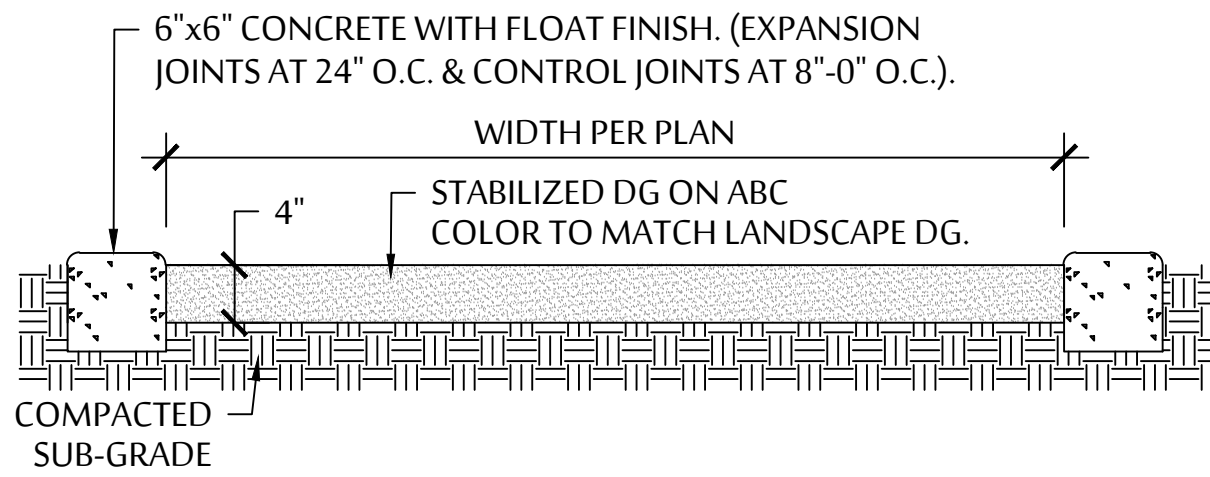
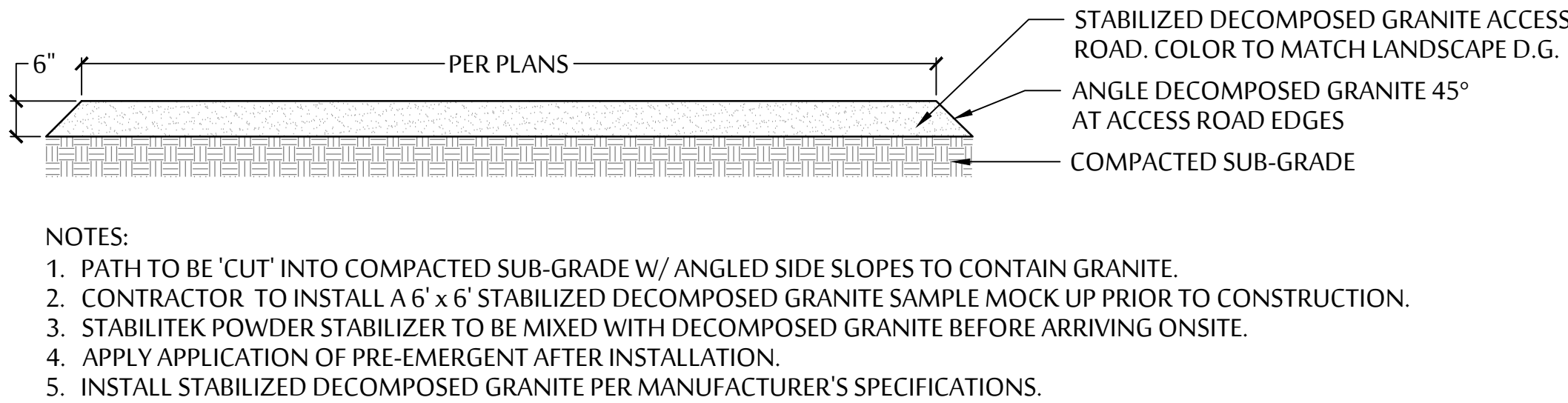
E PICNIC TABLE

F TRASH RECEPTACLE

G BAG TOSS



SCALE: 3/8" = 1'-0"



H AMENITY SEAT WALL

I EARTHEN TRAIL

J OPEN SPACE TRAIL



VISTAS AT BUCKEYE
PRELIMINARY DETAILS

WATSON ROAD & BUCKEYE ROAD, BUCKEYE, AZ
JANUARY 6, 2025

SHEET L6
PLZS-24-0004

