



PLEASE SILENCE ALL ELECTRONIC COMMUNICATION DEVICES. THANK YOU.

NOTICE OF POSSIBLE QUORUM OF THE CITY OF BUCKEYE PLANNING AND ZONING COMMISSION OR OTHER COUNCIL APPOINTED BOARD: PLEASE NOTE THAT THERE MAY BE A QUORUM PRESENT BUT THERE WILL BE NO VOTING TAKING PLACE BY THE CITY PLANNING AND ZONING COMMISSION OR OTHER COUNCIL APPOINTED BOARD AT THIS MEETING.

**CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
JULY 27, 2021
AGENDA**

**City Council Chambers
530 E. Monroe Ave.
Buckeye, AZ 85326
Live streaming of this meeting will be available via YouTube
6:00 PM**

Accessibility for all persons with disabilities will be provided upon request. Please telephone your accommodation request (623) 349-6911, 72 hours in advance if you need a sign language interpreter or alternate materials for a visual or hearing impairment.

Voting Members will either attend in person or by telephone conference call or video presentation. Items listed may be considered in any order

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL**
- 2. MINUTES**
- 2.A** [Approval of minutes from the July 13, 2021 Planning and Zoning Commission regular meeting.](#)
- 3. REGULAR AGENDA**
- 3.A** [Recommendation to approve a Preliminary Plat for 90 duplex lots in the Planned Community \(PC\) Zoning District and Verrado Community Master Plan \(CMP\) Zoning Overlay District.](#)
Staff Liaison: Sean Banda, Senior Planner, sbanda@buckeyeaz.gov (623) 349-6215
- 4. COMMENTS FROM THE PUBLIC**
Any members of the audience may comment on non-agenda items. However, State Open Meeting Law does not permit the Commission to discuss items not specifically on the agenda. The Commission may direct inquiries to City staff.
Action Required: None
- 5. DEPUTY DIRECTOR OF PLANNING REPORT AND SUMMARY OF CURRENT EVENTS**
- 6. ADJOURNMENT**

7. PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS

Any regular or alternate Commissioner or Council Liaison may present a brief summary on current events

Action Required: *None; there will be no discussion, deliberation, proposals, or legal action.*

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 07/27/21	AGENDA ITEM: 2.A. MINUTES
DATE PREPARED: 07/15/21	DISTRICT NO.:
STAFF LIAISON:	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Minutes

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members)
Approval of minutes from the July 13, 2021 Planning and Zoning Commission regular meeting.

SUMMARY

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[07.13.2021.PZC.MinutesDRAFT.pdf](#)



CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
JULY 13, 2021

City of Buckeye
530 East Monroe Avenue
Buckeye, AZ 85326

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

Chairperson Trullinger called the meeting to order at 6:00 p.m.

Members present: Commissioner Preston Hundley, Vice Chairperson Deanna Kupcik, Chairperson Charles Trullinger, Alternate Ted Burton seated for At Large District, Alternate Rebecca Puppe seated for District 1, Alternate Jennie Ragsdale, Alternate Douglas McDonald seated for District 4, Alternate Larry Draves seated for District 5, Alternate Nick Hudec, Commissioner Ed Sumner joined at 6:04 p.m.

Members absent: Commissioner Thomas Marcinko, Commissioner Alan Ladd, Commissioner Anthony DiMascio, Alternate Christopher Thurlby,

Staff present: Senior Planner Randy Proch, Deputy Director of Planning Adam Copeland, Management Assistant Keri Hernandez, City Attorney Shiela Schmidt, Council Liaison Craig Heustis

2. APPROVAL OF MINUTES FROM THE JUNE 22, 2021 PLANNING AND ZONING COMMISSION REGULAR MEETING.

A motion was made by Vice Chairperson Kupcik and seconded by Chairperson Trullinger to approve minutes as presented. Approval 7-0. Motion carried.

3. REGULAR AGENDA

3A. VERRADO WAY AND ROOSEVELT STREET REZONE (PLZZ-21-00016)

Senior Planner Randy Proch presented and was available to answer questions from the Commission. The applicant was in agreement with the conditions a-b as presented.

Commissioner Sumner asked if there is a tenant anticipated for this property. Mr. Proch indicated that there is not a tenant planned at this time.

Council Liaison Heustis inquired if the project would be expanded further east. Mr. Proch informed the Commission that the eastern property in question is not included in this application, and may be planned in a separate project.

A public hearing was opened at 6:18 p.m.

With there being no comments from the public, the public hearing was closed at 6:18 p.m.

A motion was made by Vice Chairperson Kupcik and seconded by Alternate McDonald to approve as presented with conditions 'a-b'. Approval 7-0. Motion carried.

5. COMMENTS FROM THE PUBLIC

None

6. DEPUTY DIRECTOR OF PLANNING REPORT AND SUMMARY OF CURRENT EVENTS

Deputy Director of Planning Adam Copeland expressed his excitement to work with the Commission in his new role with the City of Buckeye. Mr. Copeland informed the board members would be able to

attend the meetings in person if they choose to do so, and the virtual participation would continue to be available.

7. PLANNING AND ZONING COMMISSION SUMMARY OF CURRENT EVENTS

Commission members and Council Liaison extended congratulations to Adam Copeland on his recent appointment as Deputy Director of Planning.

8. ADJOURNMENT

A motion was made by Chairperson Trullinger and seconded by Vice Chairperson Kupcik to adjourn at 6:24 p.m. Motion carried.

Charles Trullinger, Chairperson

ATTEST:

Keri Hernandez, Management Assistant

I hereby certify that the foregoing is a true and correct copy of the Planning and Zoning Commission Regular Meeting held on the 13th day of July, 2021. I further certify that a quorum was present.

Keri Hernandez, Management Assistant

CITY OF BUCKEYE
Regular Planning & Zoning Commission
PLANNING ACTION REPORT

MEETING DATE: 07/27/21	AGENDA ITEM: 3.A. PLZV-20-00029-Verrado Heritage District Parcel 4.805-Preliminary Plat
DATE PREPARED: 07/20/21	DISTRICT NO.: 6
STAFF LIAISON: Sean Banda, Senior Planner, sbanda@buckeyeaz.gov (623) 349-6215	
DEPARTMENT: Development Services	AGENDA ITEM TYPE: Public Hearing / Non Consent - New Business

ACTION/MOTION: (This language identifies the formal motion to be made by the Voting Members) Recommendation to approve a Preliminary Plat for 90 duplex lots in the Planned Community (PC) Zoning District and Verrado Community Master Plan (CMP) Zoning Overlay District.

SUMMARY

Items related to a project or facility location must include an attached vicinity map for Council Review.

ATTACHMENTS:

[PLZV-20-00029-VerradoParcel 4.805-Staff Report.docx](#)

[PLZV-20-00029-Vicinity Map.docx](#)

[PLZV-20-00029 - Verrado 4.805 Pre-Plat Narrative](#)

[PLZV-20-00029 VERRADO_LANDSCAPE.pdf](#)

[PLZV-20-00029 Verrado_PREPLAT](#)



PRELIMINARY PLAT

Report to the Planning and Zoning Commission

CASE NUMBER: PLZV-20-00029
TITLE: Verrado Heritage District Parcel 4.805
MEETING DATE: July 27, 2021

Applicant: Alex Caraveo, CVL Consultants, Inc.
Owner: David Nilsen, DMB White Tank, LLC
Request: A Preliminary Plat for 90 duplex lots in the Planned Community (PC) Zoning District and Verrado Community Master Plan (CMP) Zoning Overlay District.
District: 6
Location: Located at the northeast corner of Verrado Way and Thomas Road.
Site size: Approximately 8.25 acres
Density: 11 du/ac
Public input: NA
Recommendation: Approve with conditions

AREA CONTEXT

Table 1: Existing Land Use, General Plan Designation, and Zoning District

	LAND USE	GENERAL PLAN	ZONING
Subject Property	Undeveloped	Master Planned Community	PC, Planned Community
North	Heritage District Phase 2	Master Planned Community	PC, Planned Community
South	Heritage District Phase 3 South	Master Planned Community	PC, Planned Community
East	Heritage District Parcel 4.807	Master Planned Community	PR, Planned Residential
West	Heritage District Phase 2 West/Heritage Park/ Fire Station 3	Master Planned Community	PC, Planned Community

PUBLIC PARTICIPATION SUMMARY:

1. The applicant sent out an updated “Notice of Application” to all property owners within 300 feet of all property lines of the subject property on July 12, 2021.
2. No public comment was received at the time this staff report was written.

Table 2: Public Notice

Notification Element	Date
Published	NA
Site Posted	NA
Mailing to Property Owners w/in 300'	July 12, 2021

BACKGROUND:

3. Annexation and relevant case history
 - a. A99-11 – Annexation into the Town of Buckeye – Approved by Town Council in 1999
 - b. CMP99-22 - Verrado Community Master Plan – Approved by Town Council on November 2, 1999
4. The preliminary plat proposed is one of the few remaining parcels of Heritage District.

5. The overall theming and design of this plat is consistent with the other phases in this character district.

ANALYSIS:

6. Conformance with General Plan: The City of Buckeye Imagine Buckeye 2040 General Plan designates this property as Master Planned Community. Verrado is developing consistent with this general plan designation.
7. Land Use: The property is zoned Planned Community and is governed by a Community Master Plan Zoning Overlay District, known simply as the Verrado CMP, which was adopted in 1999 with an accompanying development agreement. The Verrado CMP covers 8,816 acres and includes seven Planning Units. Densities range from 0-35 du/ac. Commercial sites allowing neighborhood retail, office space, major retail, public facilities, etc. are included within the CMP area.
8. The approved Master Plan Land Use Budget allows a total of 14,080 residential units, 1,000 Resort Rooms, and 4,234,550 square feet of Commercial/Mixed-Use space. Per the approved CMP, all parks will be privately owned and maintained unless otherwise dedicated to the City of Buckeye Regional parks such as the East District Park in this plat get conveyed to CFD as public park. This Preliminary Plat lies within the approved Verrado CMP area and has been reviewed against the standards established. This application meets all requirements of the approved Verrado CMP. The proposed plat is consistent with the Verrado CMP and generally consistent with the required Planning Unit Environmental Design Plans.
9. All the setbacks are more restrictive than the Residential High Development Option allowance.

Setback and Lot Data

Table 3: Verrado Heritage District-Parcel 4.805

Verrado CMP Land Use Designation – Residential High

Lots:	90
Standard Lot Sizes	25.8'x 81.6'
Average Lot Sizes	2,162 sf
Minimum Front Setbacks	8' for porch or balconies
	10' for livable

Minimum Rear Setback	5'
Minimum Side Setback	0'; Where a side yard setback is provided, it must be a minimum of 5'
Maximum Lot Coverage	65%

Schools

10. Verrado has two existing elementary schools and a middle school in the Litchfield Elementary School District. Verrado also has a high school (adjacent to the proposed plat) that is part of the Agua Fria Union High School District. This development is directly across the street from Heritage Elementary.

Circulation

11. All street widths and designs conform to the approved Verrado CMP, Master Circulation Plan, and updated Planning Unit Circulation and Streets Plan. The City Engineer and Fire Department have reviewed and approved the proposed street sections. Vehicular access to the proposed preliminary plat is primarily from local streets accessed from Verrado Way and Thomas Road. This plat is also accessed from private drives throughout the development.

Fire

12. The subject property will be served by the City of Buckeye. The closest City of Buckeye fire station to the subject property is Fire Station 3 located across from the proposed plat at 2582 N Verrado Way within the Verrado Master Planned Community. In addition a future fire station is planned on a parcel located on the southwest corner of Verrado Way and Highlands Park Drive. The fire department has reviewed the access and circulation and approved the preliminary plat.

Open Space/Recreation

13. Open Space/Recreation within this Preliminary Plat consists of trails and open space that is part of the larger network of trails for the Heritage District and the rest of Verrado. However, there is a centralized tract that will be used for a neighborhood park. There is also a larger community park across from the proposed plat as well as baseball fields at Heritage Elementary known as Redmond Park.

Landscaping

14. All final landscaping will be required to be reviewed and approved in accordance with Planning Unit Environmental Design Plan for Verrado Heritage District according to the Verrado CMP.

Infrastructure

15. Water: EPCOR Water Company will be the water provider. An 8-inch water line will be extended to provide service to the site.
16. Sewer: EPCOR Water Company provides sewer service to the site. An 8-inch sewer line is designed to convey wastewater to the southwest section of the site where it will outfall to the existing gravity sewer in West Thomas Road.

RECOMMENDATION:

17. Staff recommends the Planning and Zoning Commission motion for approval with conditions a-x, for the following reasons:
 - Conformance with General Plan
 - Conformance with the Verrado Community Master Plan
 - No outstanding issues from reviewing departments (Development Services, Engineering, Fire, Police, Public Works, Community Services and Water Resources)
- a. Development of this project shall be in conformance with the Preliminary Plat entitled "Preliminary Plat For Verrado Heritage Parcel 4.805" consisting of six (6) sheets, dated June 7, 2021, except as modified by the following stipulations.
- b. Development of the property shall be in general conformance to the project narrative report entitled "Verrado Heritage Parcel 4.805" consisting of eight (8) sheets, dated April 1, 2021, except as modified by the following stipulations.
- c. Preliminary plat approval is valid for a period of two (2) years. For a preliminary plat that identifies phases, the preliminary plat shall remain valid for a period not to exceed two (2) years from the date of recording of any final plat that conforms to the approved preliminary plat. The Development Services Director or Designee may grant a one-time extension of 12 months, if in the opinion of the Director; satisfactory progress has been made towards completion of the final plat or for the next phase of subdivision development.

- d. The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- e. The number of residential units/lots depicted on the preliminary plat shall not increase greater than ten (10) percent than what was depicted on the preliminary plat to be considered to be in conformance with the preliminary plat.
- f. Any change to the Development Option or changes to lot or product type within any final plat of any portion of the preliminary plat are acceptable provided overall number of lots proposed in the preliminary plat is not exceeded by 10%.
- g. Final details of the park amenities will be determined with the final landscape submittal.
- h. The following root barrier requirements shall be followed:
 - 1. Root barriers shall be designed and incorporated for all trees that are in the public right of way to ensure vertical root growth and avoid adjacent curb, sidewalk or pavement upheaval due to tree roots.
 - 2. Linear root barriers shall be used along public improvements that are only on one side of a tree.
 - 3. Surround root barriers shall be used when a tree is within the sidewalk or within a median.
- i. All addressing must be reviewed and approved by the City of Buckeye Fire Marshal, prior to issuing building permits.
- j. The Buckeye Fire Chief and City Engineer shall determine the number, location, and types of all fire hydrants.
- k. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
- l. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

- m. Residential developments where the number of dwelling units exceeds 20 shall be provided with two separate and approved fire apparatus access roads.
- n. The City of Buckeye adopted Fire Code amendment referencing the residential fire sprinkler requirement note will need to be on the final plat.
- o. Minimum fire flow is 1500gpm for duration of 2 hours and or meet the requirements per IFC 2012 Appendix "B" Section B105 based on the size and building classification.
- p. All street names shall be subject to final approval by the City of Buckeye and shall conform to the Maricopa County grid alignment/Phoenix street name and hundred block grid system.
- q. Prior to Final Plat approval, the Property Owner/Developer will be required to submit for review and approval a complete package of construction drawings consisting of but not limited to wash crossing plans and report, paving, storm drain, grading, erosion & sediment control, water, sewer, street lighting, and landscaping plans, address map, and final drainage, water, and sewer reports per the requirements set forth in the Engineering Design Standards (EDS).
- r. Prior to Final Plat approval, the Property Owner/Developer shall provide a Certificate of Assured Water Supply issued by the Arizona Department of Water Resources (ADWR), covering all lots and parcels created, defined, or depicted on said plat. The certificate must be consistent with all ADWR rules and regulations.
- s. All streets, sidewalks, parks, and other common areas, shall be sufficiently illuminated to ensure the safety and security of persons and property.
- t. The Property Owner/Developer shall submit an electronic CAD and GIS file with full construction documents of the development to the City Engineer upon final approval in order to maintain current street records and assist in emergency dispatch and response.
- u. The civil plans submitted with the Preliminary Plat approval are conceptual in nature, and additional comments will be forth coming at the time of construction drawing submittal.
- v. Water and sewer design shall be per EPCOR requirements.
- w. Final drainage design shall be determined at final engineering and construction documents.

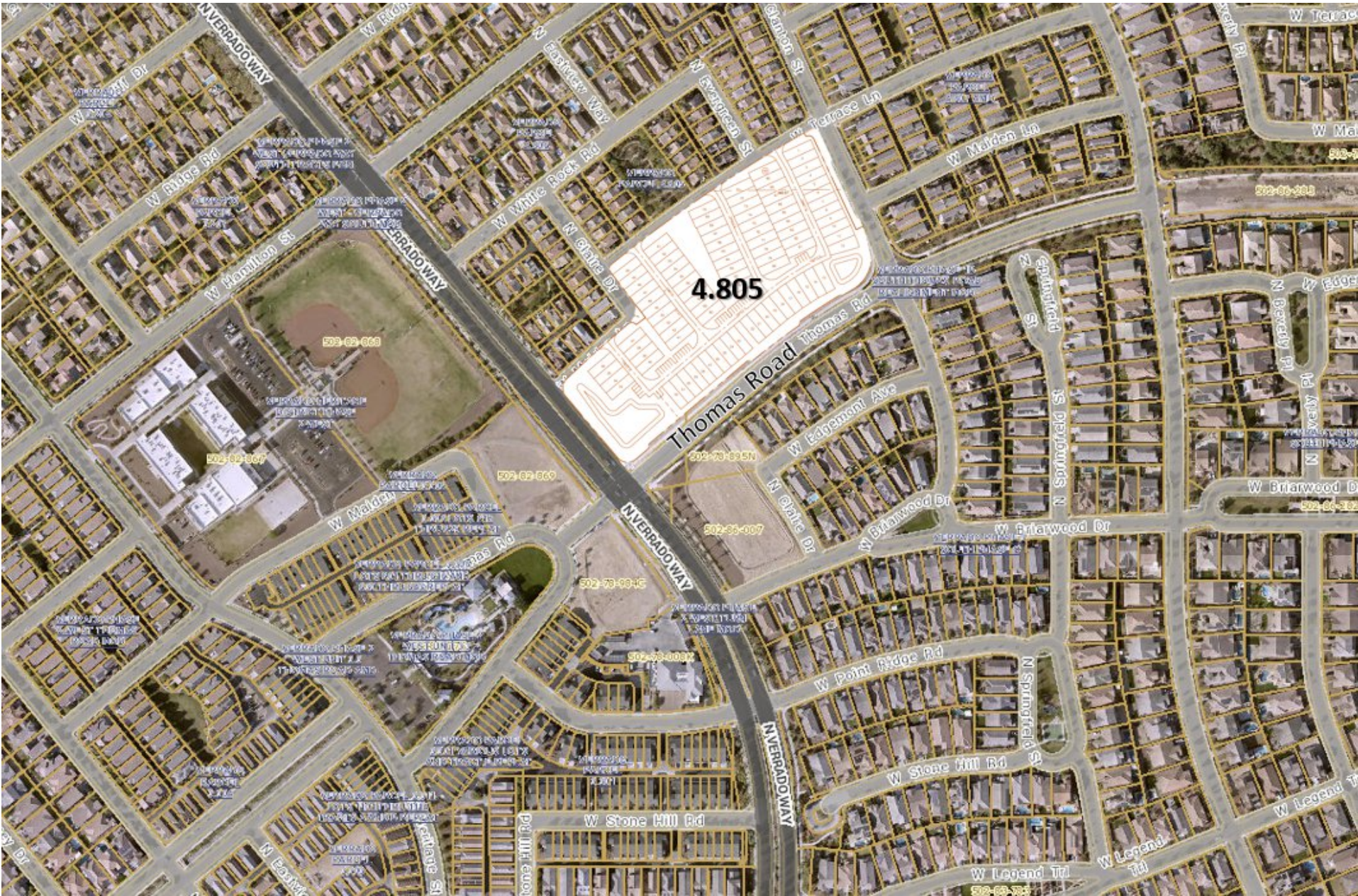
- x. A modified traffic statement will be required that summarizes the anticipated trip generation for the project and evaluates the operation of the intersection of Verrado Way/Thomas Road.

ATTACHMENTS

- Vicinity Map (Aerial Photo)
- Applicant's Narrative
- Preliminary Plat

Prepared By:
Sean Banda, Senior Planner

Reviewed By:
Bart Wingard, Principal Planner



SITE

WEST THOMAS ROAD

NORTH VERRADO WAY

WEST MCDOWELL ROAD

2nd Submittal
PLZV-20-00029

RECEIVED

05 APR 2021

CITY OF BUCKEYE by: SS

December 7, 2020
Revised: April 1, 2021

Verrado Heritage Parcel 4.805

Located northeast of the intersection of
North Verrado Way and West Thomas Road
City of Buckeye, Arizona

Preliminary Plat Narrative

Case #: PLZM-20-00111



4550 N 12th Street
Phoenix, AZ 85014

CVL Job No: 1-01-01441-01

Preliminary Plat Narrative

for

Verrado Heritage Parcel 4.805

December 7, 2020
Revised: April 1, 2021

Owner/Developer

Richmond American Homes

16427 North Scottsdale Road Suite 300
Scottsdale, Arizona 85254
Attn: Kirsten Beard
Phone: 602-525-4723
Email: kirsten.beard@mdch.com

Planning/Civil Engineering Consultant

CVL Consultants

4550 North 12th Street
Phoenix, Arizona 85014-4291
Attn: Alex Caraveo
Phone: 602-285-4972
Email: acaraveo@cvlci.com

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1. Introduction

Richmond American Homes is proposing Verrado Heritage Parcel 4.805, a single-family attached residential neighborhood located northeast of the intersection of North Verrado Way and West Thomas Road within the Verrado Master Planned Community in Buckeye, Arizona. The purpose of this request is to submit, process, and obtain preliminary plat approval.

2. Description of Request

Verrado Heritage Parcel 4.805 is located on two parcels of land within the City of Buckeye (City), containing approximately 8.23 gross acres. The parcels are identified on the Maricopa County Assessor's map as parcels 502-78-891R and 502-78-894L and located in Sections 30 and 31, Township 2 North and Range 2 West of the Gila and Salt River Baseline and Meridian, Maricopa County, Arizona.

Verrado Heritage Parcel 4.805 is a residential neighborhood with approximately 90 alley-loaded duplex units and a typical lot size of 25.85' x 81.6' for a gross density of 10.94 dwelling units per acre. The community will provide 2.60 acres or approximately 32% of the development as open space. Access to the neighborhood will be provided from the existing West Maiden Lane and West Terrace Lane along the northern boundary of the parcel. West Maiden Lane provides direct connection to the nearest arterial road, North Verrado Way. The neighborhood will be developed as a single phase.

The provided preliminary plat addresses all relevant site issues, restraints, challenges, and requirements such as site access, site vehicular circulation and traffic, site drainage and retention, site utilities, site open space and other required site improvements.

3. Landscape

The proposed landscape, theme walls, lighting, and open space for Verrado Heritage Parcel 4.805 are designed for consistency with the Verrado CMP and the Planning Unit Environmental Design Plan for the Heritage Character District.

The landscape concept for Verrado Heritage Parcel 4.805 will adhere to the Town Landscape Theme used throughout the "traditional" neighborhoods surrounding the center of each district, which are filled with signature streets and formative neighborhood parks. The landscape theme in this area is based on formal arrangements of street trees, large mass plantings of ground covers, appropriate use of turf, and a simple, more formal landscape character.

4. Existing Conditions

Verrado Heritage Parcel 4.805 is located northeast of the intersection of North Verrado Way and West Thomas Road within the Verrado Master Planned Community in Buckeye, Arizona. The proposed community is bound on all sides by existing roads: West Thomas Road to the south, West Terrace Lane and West Maiden Lane to the north, North Verrado Way and Claire Drive to the west, and North Clanton Street to the east.

The property consists of approximately 8.23 acres of vacant desert land identified as parcels 502-78-891R and 502-78-894L and located in Sections 30 and 31, Township 2 North and Range 2 West of the Gila and Salt River Baseline and Meridian, Maricopa County, Arizona. The site is rectangular in shape and slopes southeast at approximately 2.5%.

5. Relationship to Surrounding Properties

The properties surrounding the Verrado Heritage Parcel 4.805 neighborhood are as follows:

Direction	Use	Zoning
North	Verrado Parcel 4.805 (MCR# 775-46)	PC
East	Verrado Parcel 4.807 AMD (MCR# 1254-09)	PC
South	On east side: Verrado Phase 3 South Phase C (MCR# 1166-44) On west side: vacant residential land	PC
West	Verrado Heritage District Phase 2 West (MCR# 1208-39)	PC

6. Conformance to Land Use and Zoning

The development of Verrado Heritage Parcel 4.805 is a continuation of the previously approved Verrado CMP (CMP-99-22). The intent of this preliminary plat is to meet the requirements of the Verrado Community Master Plan approved by the City on November 17, 1999 and incorporated by reference into that certain pre-annexation and development agreement by and between the City and DMB White Tank LLC, an Arizona limited company, recorded in the official records of Maricopa County as Document No. 99-10771208, including all major and minor amendments thereto.

The property is within the Buckeye General Plan's Master Planned Community land use category and is zoned Planned Community (PC) by the Verrado CMP (CMP-

99-22). The Verrado CMP Land Use Designation for the proposed neighborhood is Residential High - Platted Lots.

The proposed preliminary plat is consistent with the development standards, density, signage, street pattern, and landscape theme established by the approved Verrado CMP and is in compliance with the land use and zoning designation of the community.

7. Development Standards

Verrado Heritage Parcel 4.805 adheres to the following development standards established by the Verrado CMP (CMP-99-22):

Development Standards	
Parcel:	4.805
Builder:	Richmond American Homes
Standard Lot Size	25.85' x 81.6' Alley-Loaded
Verrado CMP Land Use Designation	Residential High - Platted Lots
Min. Front Building Setbacks	8' for Porch or Balcony Structures
	10' for Liveable Structures
Min. Side Building Setbacks	5'/0'
Min. Distance between Buildings on Adjacent Lots	10'
Min. Rear Building Setback	4'
Detached Accessory Structures	Not Allowed
Maximum Lot Coverage	65%
Min. Setback on a Corner Lot	10'

8. Accessibility and Circulation

The site is located southeast of the intersection of North Verrado Way and West Thomas Road. Entrance to Verrado Heritage Parcel 4.805 will be from private alleys connecting to the existing West Maiden Lane and West Terrace Lane along the northern boundary of the parcel. West Maiden Lane provides direct access to North Verrado Way, an arterial road, which connects south to Interstate 10. The private alleys are 24' in width as detailed on the preliminary plat.

9. Utilities and Services

The following outlines the utility service providers:

UTILITIES TABLE

Utility	Provider
Water	EPCOR
Wastewater	EPCOR
Electric	Arizona Public Service
Gas	Southwest Gas Corporation
Telephone/Cable	CenturyLink/Cox Communications
Solid Waste	City of Buckeye

10. Community Facilities and Services

The following outlines the community service providers:

COMMUNITY SERVICES TABLE

Service	Provider
School	Litchfield Elementary School District Agua Fria Union High School District
Police	City of Buckeye
Fire	City of Buckeye

11. Drainage

The Maricopa County, Arizona and Incorporated Areas Flood Insurance Rate Map (FIRM), Map Number 04013C2110L, Map Revised October 16, 2013, indicates the subject site falls within Zone X (shaded).

Zone X (shaded) is defined by FEMA as: “Areas of moderate flood hazard from the principal source of flood in the area, determined to be within the limits of one percent and 0.2 percent annual chance floodplain.”

Offsite flows of 37 cfs from the north is currently intercepted along Maiden Lane and conveyed via stormdrain to an earthen swale that runs south on the site. This swale is proposed to be replaced with a series of 30” RGRCP stormdrain pipes. The retention basins are designed to retain storm water from the 100-year, 2-hour storm and all stormwater storage facilities will be designed to drain within 36 hours by a combination of infiltration and drywells or gravity bleed-offs.

For detailed information, a drainage report in conformance with all applicable City Engineering Design Standards and specifications is provided with this submittal.

12. Water Facilities

The community is within the EPCOR water service area. EPCOR water and wastewater systems exist in the area and are proposed to serve the development with required infrastructure improvements. An 8" ductile iron pipe waterline distribution system will be provided throughout the project.

For detailed information, a water report in conformance with all applicable City Engineering Design Standards and specifications is provided with this submittal.

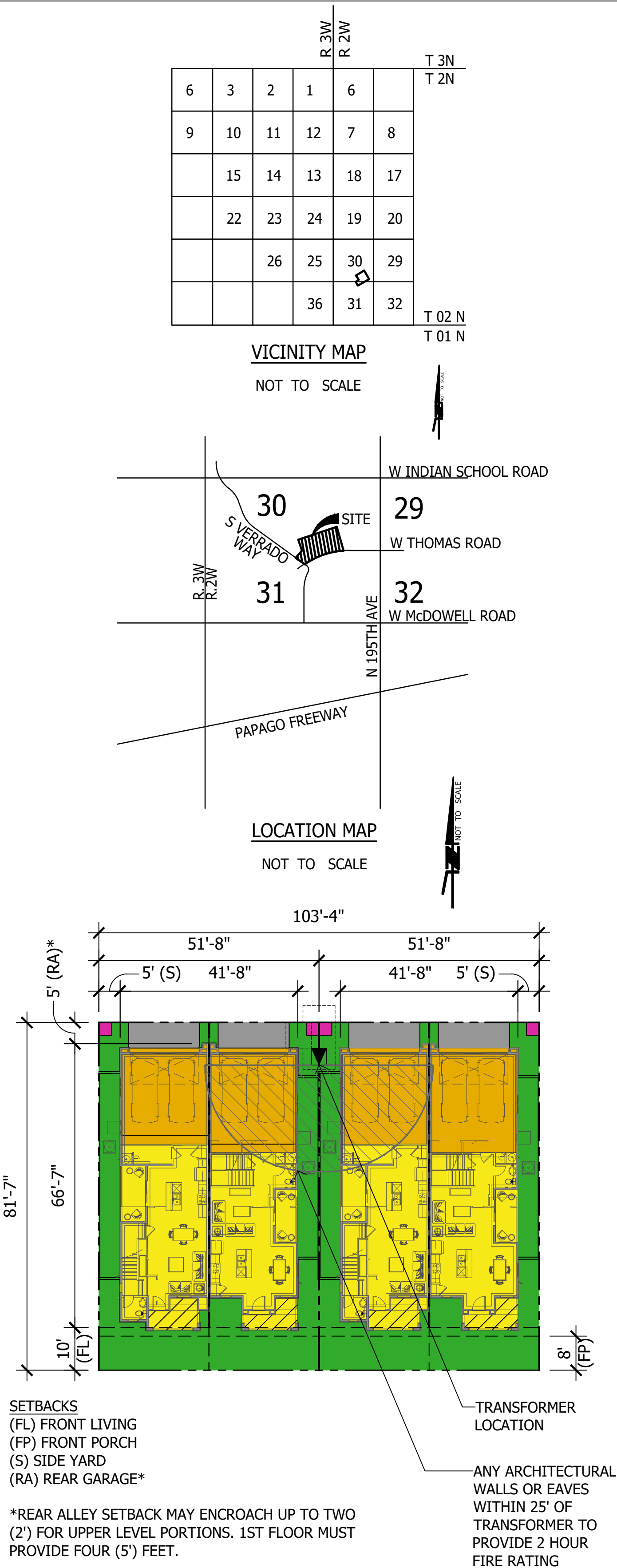
13. Wastewater Facilities

The Project Site is within the EPCOR sewer service area. EPCOR water and wastewater systems exist in the area and are proposed to serve the development with required infrastructure improvements. The Verrado Heritage Parcel 4.805 sanitary sewer network has been sized to accommodate average and peak daily flows. The proposed sanitary sewer network will be composed of 8-inch gravity sewer pipe.

For detailed information, a sewer report in conformance with all applicable City Engineering Design Standards and specifications is provided with this submittal.

14. Conclusion

Verrado Heritage Parcel 4.805 is a neighborhood that provides compatibility with existing planned and proposed development in the area and upholds the intent of the Verrado CMP. The development team believes that this request represents an appropriate and favorable planning of the site that positively contributes to the Verrado community. We look forward to our continued coordination with staff in the processing of this new neighborhood in the City of Buckeye.

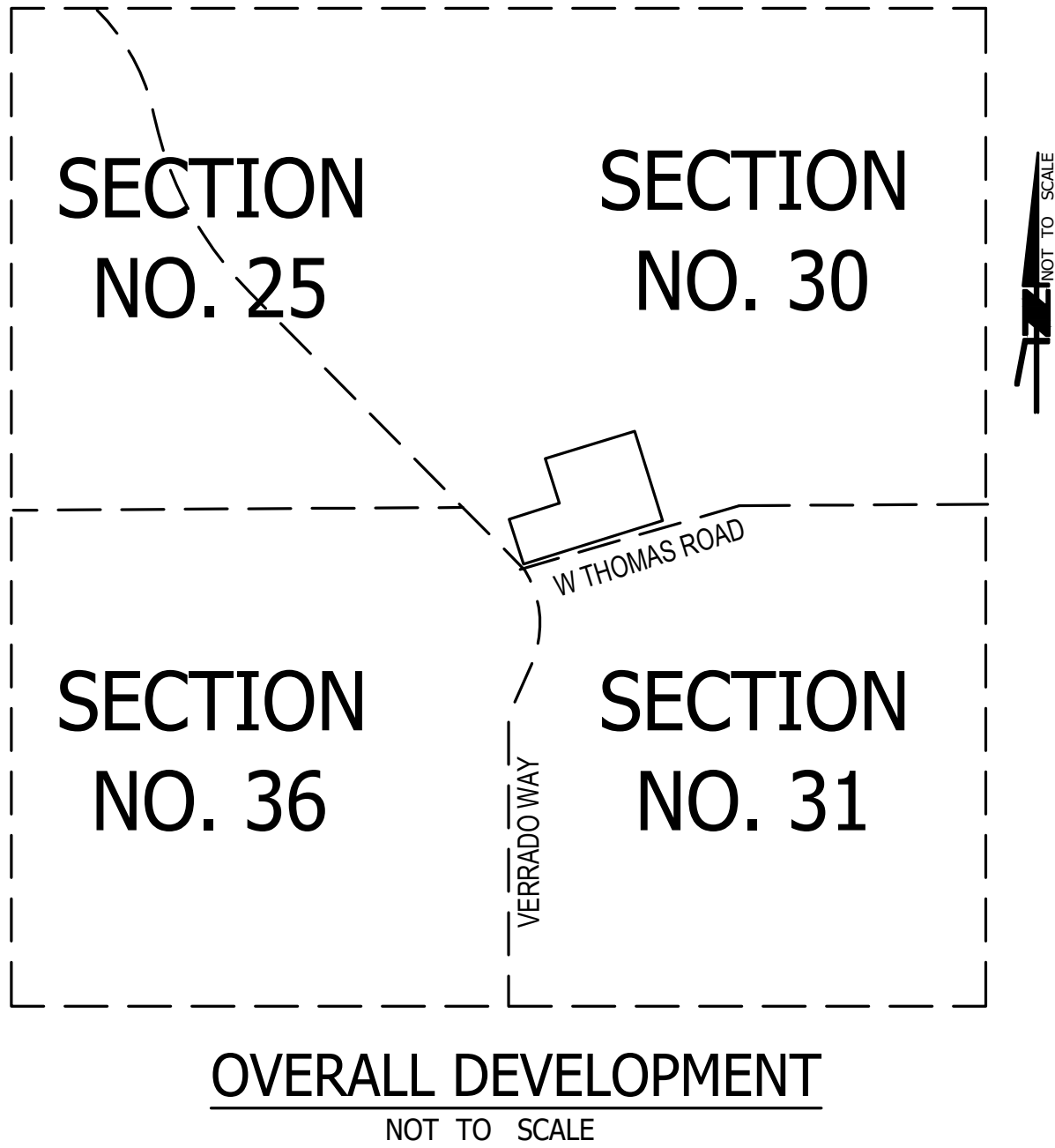


PRELIMINARY LANDSCAPE PLANS

FOR

VERRADO HERITAGE PARCEL 4.805

A PORTION OF LAND IN THE SOUTHEAST QUARTER OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



ADDITIONAL NOTES

1. SITE VISIBILITY RESTRICTION NOTE: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPE (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE SIGHT VISIBILITY LINES.
2. NO BOULDERS ARE TO BE INSTALLED IN THE PUE, ROW, OR WITHIN 6' OF THE BACK OF CURB.
3. DRAINAGE RESTRICTION NOTE: NO STRUCTURE OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF STORM WATER MAY BE CONSTRUCTED, PLANTED, OR ALLOWED TO GROWN WITHIN DRAINAGE EASEMENT OR DRAINAGE CONVEYANCE WAYS.
4. WATER PROVIDER: CITY OF BUCKEYE.
5. IT IS THE RESPONSIBILITY OF THE HOA TO TRIM TREES IN THEIR PROPERTY AND OR THE ADJACENT ROADWAY TO ALLOW FOR AN 18 FOOT HEIGHT CLEARANCE, OVER THE ROADWAY.

SHEET INDEX

PG #	SHEET LABEL	DESCRIPTION
1	LA CV	LANDSCAPE COVER SHEET
2	LA2.0A	WALL PLANS
3	LA2.0B	CIRCULATION PLAN
4	LA3.0	OVERALL PLANTING PLAN
5-6	LA6.1-LA6.2	CONSTRUCTION DETAILS

CLIENT / OWNER DEVELOPER:

RICHMOND AMERICAN HOMES
KIRSTEN BEARD
16427 N. SCOTTSDALE ROAD, SUITE 175
SCOTTSDALE, AZ 85254
602-522-4723
kristen.beard@mdch.com

CONSULTANT TEAM:

LANDSCAPE ARCHITECT	CIVIL ENGINEER
ABLA, LLC	COE & VAN LOO CONSULTANTS, INC.
ANDY BARON	VEANETTE JUAREZ HANSON, P.E.
310 E. RIO SALADO PARKWAY	4550 N. 12TH ST.
TEMPE, AZ 85281	PHOENIX, AZ 85014
480-530-0077	602-285-4760
andy.baron@ablstudio.com	vhanson@cvtci.com

BENCHMARK:

NW CORNER SECTION 31
SW CORNER SECTION 30
T.2N. R.2W.
FOUND G.I.O. BRASS CAP

BASIS OF BEARING:

BASIS OF BEARING FOR THIS SURVEY IS NORTH 40°10'49" WEST ALONG THE MONUMENT LINE OF VERRADO WAY BETWEEN THOMAS ROAD AND MAIDEN LANE ACCORDING TO BOOK 612 OF MAPS, PAGE 39, MARICOPA COUNTY RECORDS.

GENERAL PERMITTING NOTES

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF BUCKEYE DESIGN STANDARDS. IF THERE IS A CONFLICT, THE CITY OF BUCKEYE STANDARDS WILL GOVERN.
2. THE APPROVAL OF THE PLANS IS VALID FOR ONE (1) YEAR FROM THE DATE OF THE CITY ENGINEER'S SIGNATURE. IF AN ENCR OACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN ONE (1) YEAR, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR RE-APPROVAL.
3. A CITY OF BUCKEYE INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF BUCKEYE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY THE CITY 24 HOURS PRIOR TO THE INSPECTION BY CALLING (623) 349-6248.
4. CITY PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. A CITY PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER ALL FEES HAVE BEEN PAID AND THE PERMIT HAS AN APPROVED MARICOPA COUNTY ENVIRONMENTAL SERVICES DUST PERMIT AND AN APPROVED STORM WATER POLLUTION PREVENTION PLAN ATTACHED. THE SWPPP SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
5. COPIES OF ALL PERMITS AND MOST RECENT APPROVED PLANS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS AND PLANS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL PROPER PERMIT DOCUMENTATION AND/OR PLANS ARE OBTAINED. ALL OF THESE REQUIREMENTS APPLY TO ONSITE GRADING AND IMPROVEMENT PLANS.

MANAGING LANDSCAPE ARCHITECT ANDY BARON	PROJECT COORDINATOR TOM DURANT	CHECKED MP	CHECKED	DRAWING SCALES AS NOTED
		DRAFTED MP, LC	DRAFTED	
DESIGN LAYOUT AB		FIELD SURVEY		
PRELIMINARY LANDSCAPE PLANS "NOT FOR CONSTRUCTION"				
LANDSCAPE ARCHITECT INFORMATION: ABLA 310 E. RIO SALADO PARKWAY TEMPE, ARIZONA 85281 OFFICE: 480-530-0077 WEB: ABLASTUDIO.COM				
PROJECT PLAN STICKER				
VERRADO HERITAGE PARCEL 4.805 PRELIMINARY LANDSCAPE PLANS				
PRELIMINARY LANDSCAPE PLANS				
REVISIONS:				
1				
2				
3				
LANDSCAPE ARCHITECT INFORMATION				
ABLA 310 E. RIO SALADO PARKWAY TEMPE, ARIZONA 85281 WEB: ABLASTUDIO.COM		RICHMOND AMERICAN HOMES		
COB PERMITTING APPROVED SEAL		COB ENGINEERING APPROVED SEAL		
		SUBMITTAL: Cover Sheet		
(POSSIBLE AS-BUILT SEAL)		DESIGN SEAL		
ORIGINAL PLAN DATE 06.17.2021		LATEST REVISION DATE		
PROJECT NUMBER 209-015-20		SHEET NUMBER LA CV 1 of 6		
COB PERMIT #		PLZ # 20-00029		

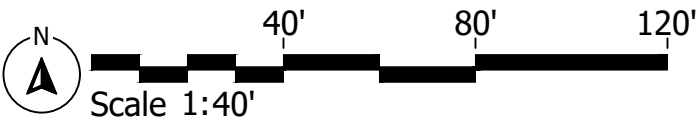
I:\SERVER\ABLA\Projects\Richmond American Homes\Verrado\Pre-Plat\02a-Walls_VHP4-805.dwg



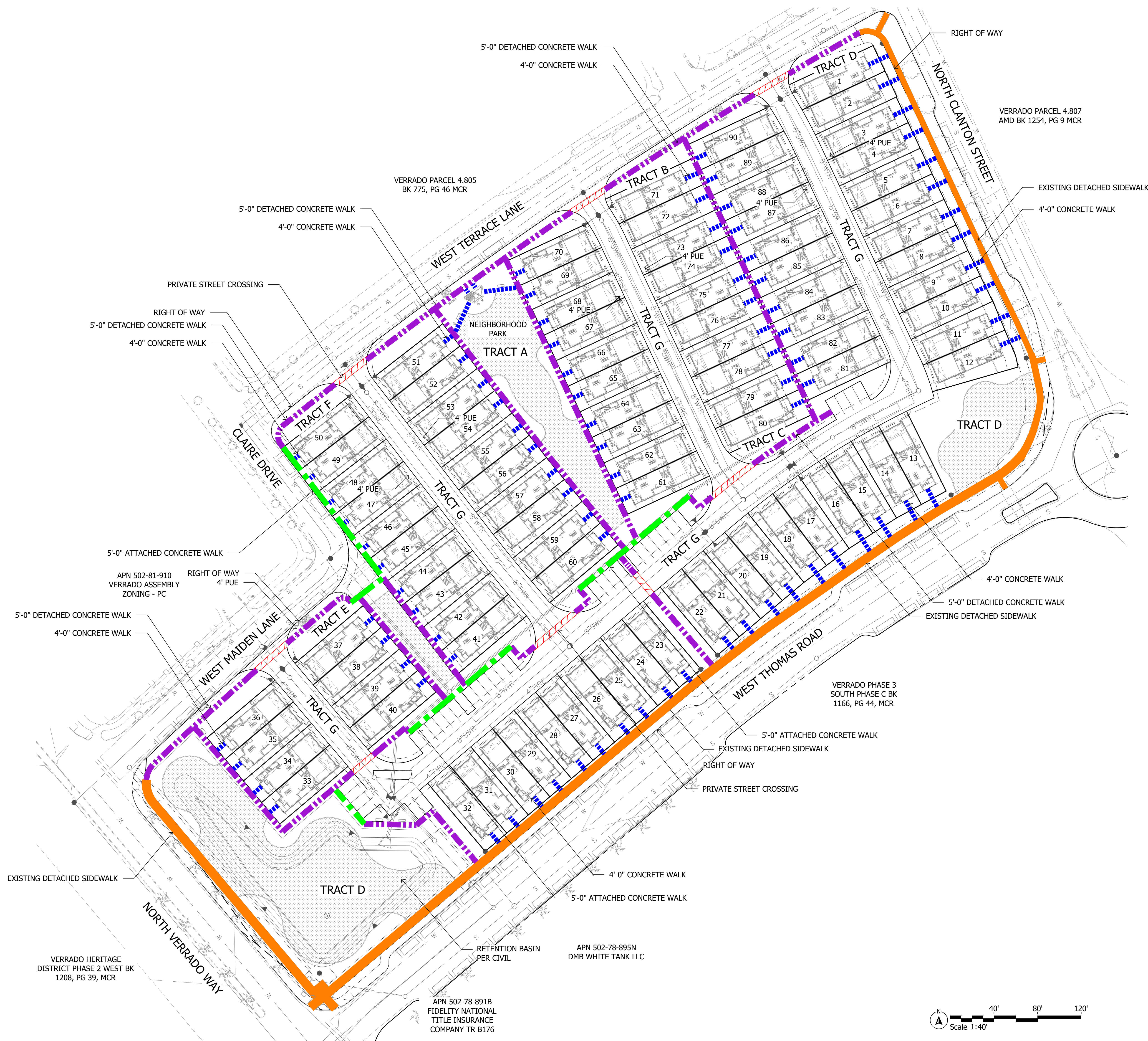
WALL LEGEND			
SYMBOL	DESCRIPTION	DETAIL	QTY.
	THEMATIC WALL	DETAIL 1, SHEET LA6.1	1,626 LF
	ALLEY WALL	DETAIL 3, SHEET LA6.1	429 LF
	COMMON WALL	DETAIL 2, SHEET LA6.1	1,490 LF
	MAILBOX KIOSK	DETAIL 6, SHEET LA6.1	3
	WING WALL RETURN	DETAIL 5, SHEET LA6.1	18
	PEDESTRIAN GATE	DETAIL 4, SHEET LA6.1	90

- GENERAL WALL NOTES
- THEMATIC WALLS TO TERMINATE A MINIMUM 8'-0" FROM SIDEWALK.
 - ALLEY WALLS TO TERMINATE A MINIMUM 8'-0" FROM ALLEY.
 - QUANTITIES SHOWN ARE FOR BIDDING AND PERMITTING PURPOSES ONLY, CONTRACTOR TO VERIFY.
 - CONTRACTOR TO VERIFY SIDEYARD RETURN LOCATIONS WITH HOMEBUILDER PRIOR TO CONSTRUCTION. (SIDEYARD RETURNS BUILT BY HOMEBUILDER)
 - CONTRACTOR TO INSTALL A 6" x 6" CONCRETE HEADER FROM END OF WALL CENTERED ON PROPERTY LINE TO BACK OF CURB OR SIDEWALK.
 - QUANTITIES SHOWN FOR TOTAL LENGTHS OF ALL WALL PLAN SHEETS

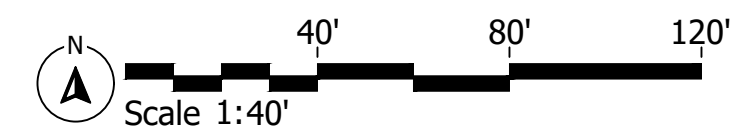
PRELIMINARY LANDSCAPE PLANS			
REVISIONS:			
1			
2			
3			
LANDSCAPE ARCHITECT INFORMATION			
310 E. RIO SALADO PARKWAY SUITE 400, PHOENIX, AZ 85029 WEB: ABLASTUDIO.COM			
COB PERMITTING APPROVED SEAL		COB ENGINEERING APPROVED SEAL	
(POSSIBLE AS-BUILT SEAL)		DESIGN SEAL	
ORIGINAL PLAN DATE 06.17.2021		LATEST REVISION DATE	
PROJECT NUMBER 209-015-20		SHEET NUMBER LA2.0A 2 of 6	
COB PLAN TRACKING #		COB PERMIT #	
SUBMITTAL: WALL PLAN		SCALE: 1" = 40'-0"	
PLZ #: 20-00029			



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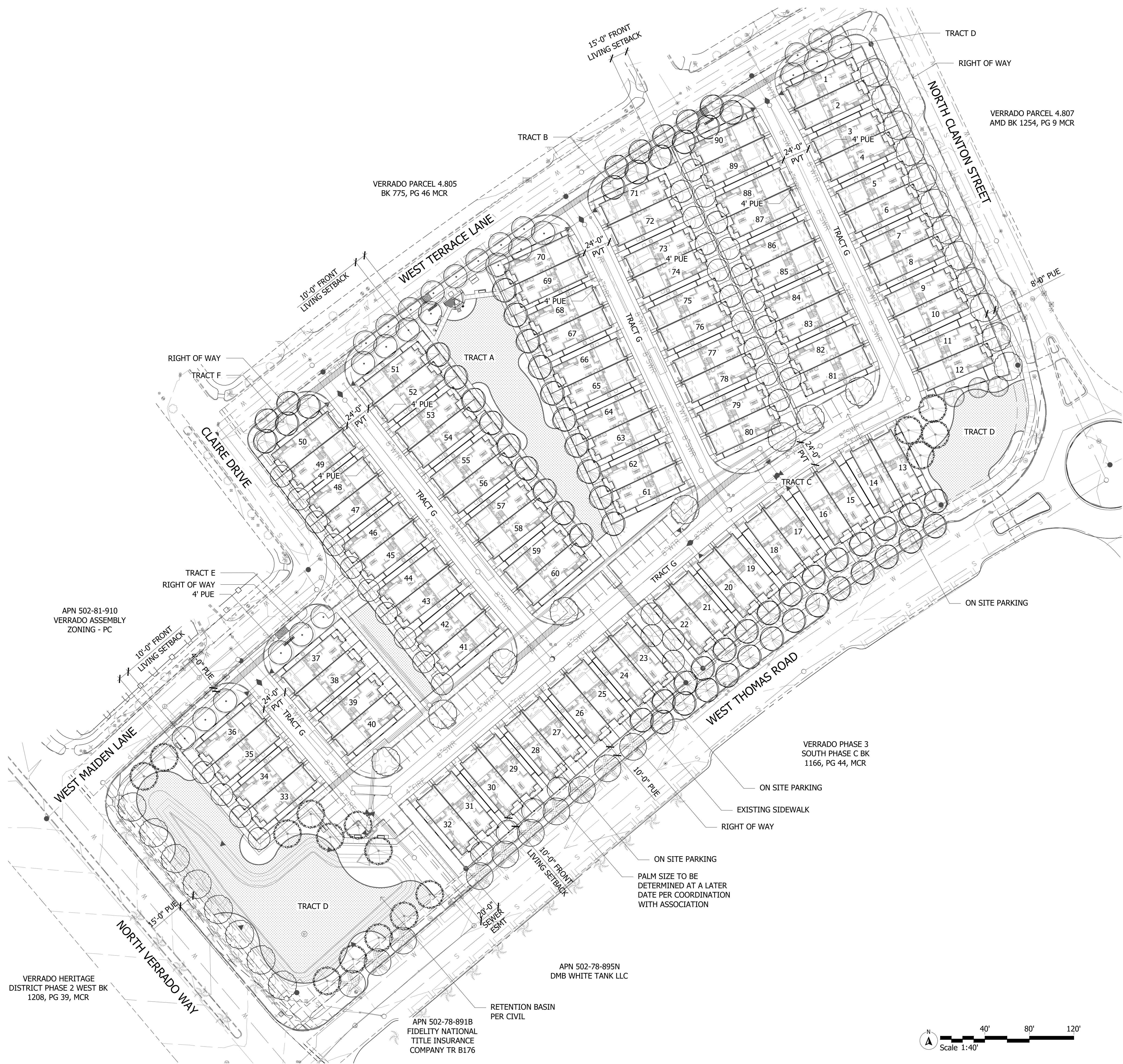


SIDEWALK LEGEND	
SYMBOL	DESCRIPTION
	EXISTING DETACHED SIDEWALK
	5'-0" DETACHED CONCRETE WALK
	5'-0" ATTACHED CONCRETE WALK
	4'-0" CONCRETE WALK
	PRIVATE STREET CROSSING



PRELIMINARY LANDSCAPE PLANS			
REVISIONS:			
1			
2			
3			
LANDSCAPE ARCHITECT INFORMATION			
310 E. RIO SALADO PARKWAY SUITE 200, AUSTIN, TEXAS 78746 PHONE: 512.440.8223 WEB: ABLASTUDIO.COM			
COB PERMITTING APPROVED SEAL		COB ENGINEERING APPROVED SEAL	
(POSSIBLE AS-BUILT SEAL)		DESIGN SEAL	
ORIGINAL PLAN DATE		LATEST REVISION DATE	
06.17.2021			
PROJECT NUMBER		SHEET NUMBER	
209-015-20		LA2.0B 3 of 6	
SUBMITTAL:		PLZ #: 20-00029	
CIRCULATION PLAN		SCALE: 1" = 40'-0"	
COB PLAN TRACKING #		COB PERMIT #	

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Plant Materials Legend

Tree	Size	Qty
Chitalpa tashkentensis		
Chitalpa	24" Box	30
Fraxinus velutina 'Rio Grande'	24" Box	36
Fan-Tex Ash		
Phoenix dactylifera		
Date Palm	TBD	10
Quercus virginiana		
Southern Live Oak	24" Box	62
Tipuana tipu		
Tipu Tree	24" Box	16
Ulmus parvifolia		
Evergreen Elm	24" Box	28
Vitex agnus-castus		
Chaste Tree	15 Gal	3
Existing Palm		
To Remain in Place	Existing	per plan
Existing Tree		
To Remain in Place	Existing	per plan
Size		
Groundcovers		
Convolvulus mauritanicus		
Ground Morning Glory	1 gal.	
Eremophila prostrata		
Outback Sunrise Eremophila	1 gal	
Lantana montevidensis		
Purple Trailing Lantana	1 gal.	
Rosmarinus officinalis 'Prostrate'		
Prostrate Rosemary	1 gal.	
Ruellia brittoniana 'Katie'		
Katie Ruellia	5 gal.	
Size		
Cacti/ Accents		
Dasyliion quadrangulatum		
Mexican Grass Tree	5 gal.	
Euphorbia rigida		
Gopher Plant	5 gal.	
Hesperaloe funifera		
Giant Hesperaloe	5 gal	
Muhlenbergia lindheimeri		
'Autumn Glow'	5 gal.	
Muhlenbergia rigens		
Deer Grass	1 gal.	
Pennisetum setaceum 'Rubrum'		
Purple Fountain Grass	1 gal.	
Portulacaria afra		
Elephant Food	5 gal.	
Yucca pallida	5 gal	
Pale Leaf Yucca		
Size		
Vines		
Bougainvillea 'Barbara Karst'		
Barbara Karst Bougainvillea	5 gal	
Rosa banksiae		
Lady Bank's Rose	5 Gal.	
Size		
Inerts		
Decomposed Granite 1/2" Screened		
Saddleback Brown		
Mid-Iron Hybrid		
Bermuda Turf		
Concrete Header		
Standard Color and Finish	6" Wide	
Size		
Small Shrubs		
Carissa grandiflora 'Green Carpet'	1 gal.	
Green Carpet Natal Plum		
Russelia equisetiformis		
Coral Fountain	5 gal.	

- NOTES:
- 13'-6" VERTICAL CLEARANCE TO BE MAINTAINED FOR ALL TREE CANOPIES ALONG EMERGENCY ACCES ROUTE
 - 6' UNOBSTRUCTED CLEARANCE TO BE MAINTAINED AROUND ALL FIRE HYDRANTS, STANDPIPES AND FD CONNECTIONS

PRELIMINARY LANDSCAPE PLANS

REVISIONS:

1

2

3

LANDSCAPE ARCHITECT INFORMATION

AB LA
310 E. RIO SALADO PARKWAY
SUITE 400, AUSTIN, TEXAS 78741
WEB: ABLASTUDIO.COM

RICHMOND
AMERICAN HOMES

COB PERMITTING APPROVED SEAL

COB ENGINEERING APPROVED SEAL

(POSSIBLE AS-BUILT SEAL)

DESIGN SEAL

ORIGINAL PLAN DATE
06.17.2021

LATEST REVISION DATE

PROJECT NUMBER
209-015-20

SHEET NUMBER
LA3.0 4 of 6

COB PLAN TRACKING #

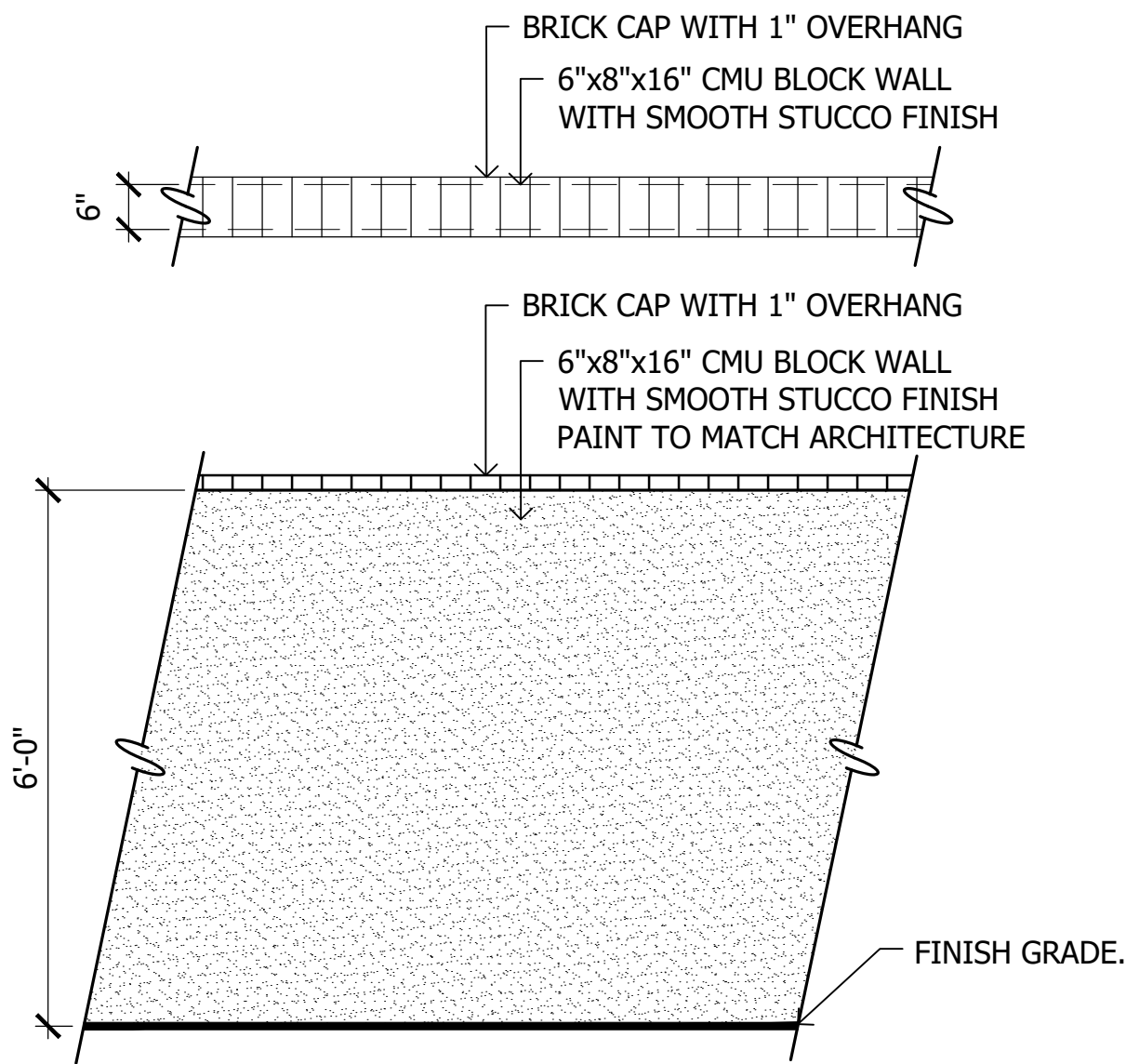
COB PERMIT #

PLZ #: 20-00029

SCALE: 1" = 40'-0"

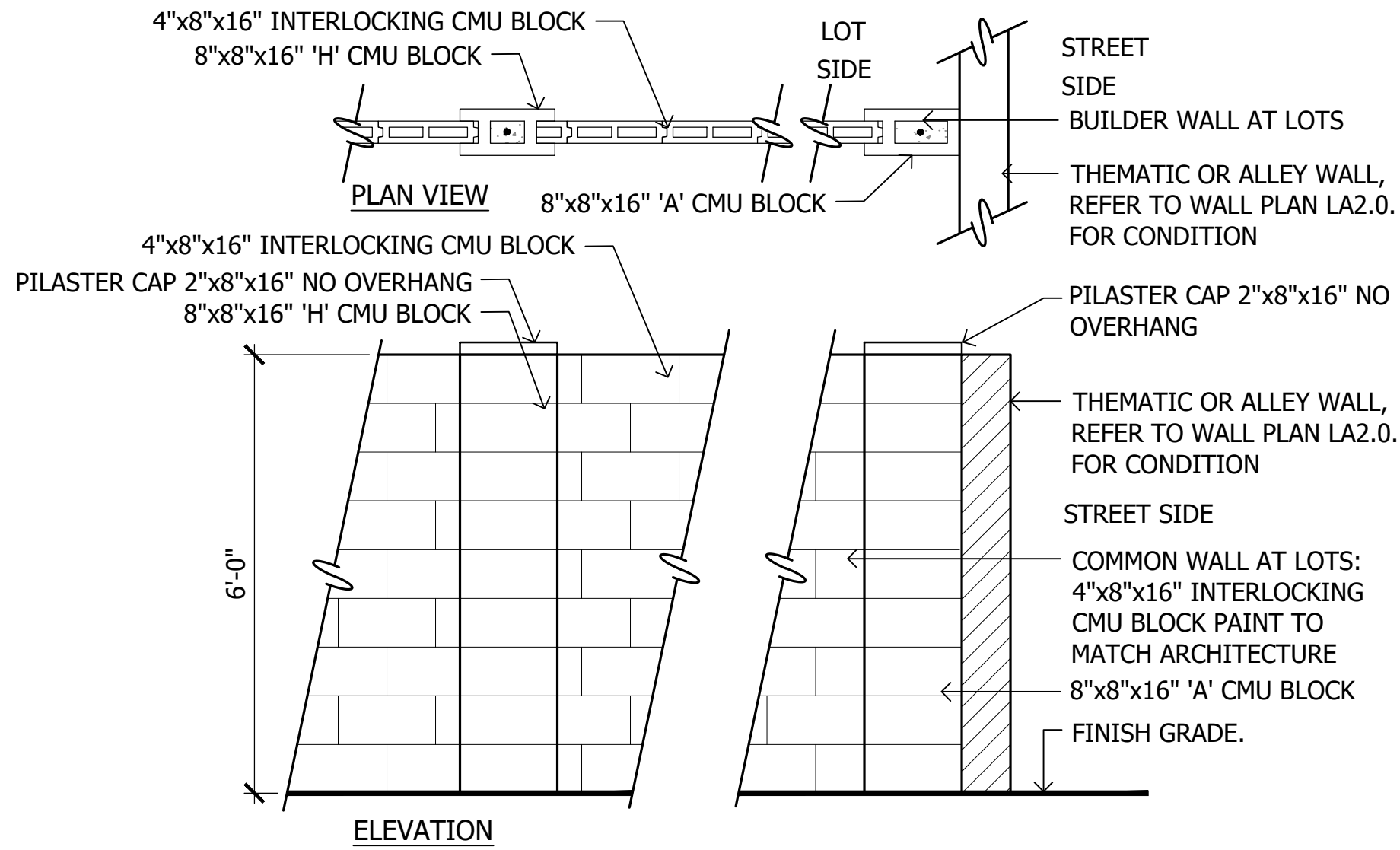
PLANTING PLAN

\\FSERVER\B\LA\Projects\Richmond American Homes\Verrado Heritage Parcel 4.805\Landscape\Pre-Plat\06-Details_VHP4-805.dwg



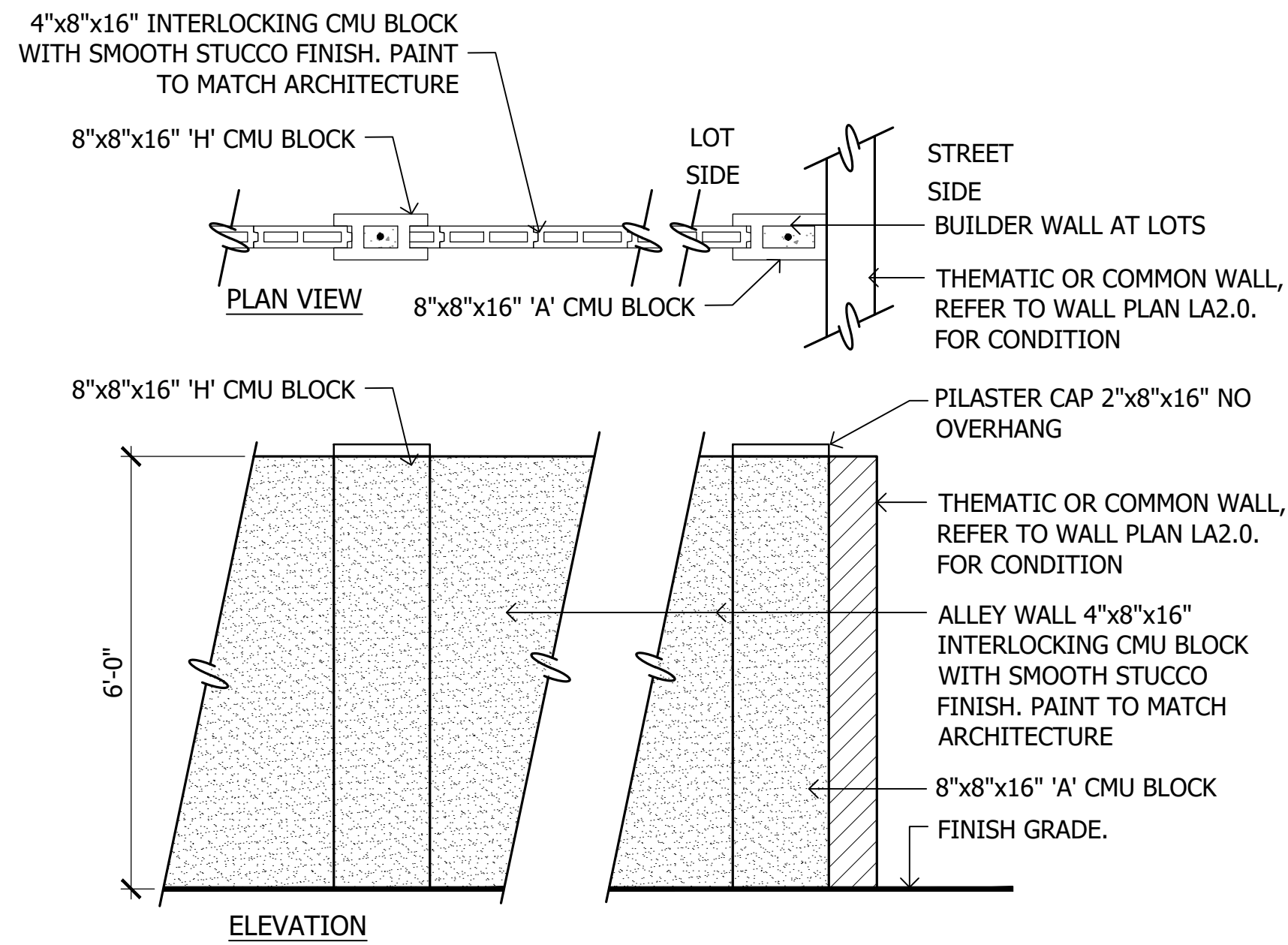
1 Thematic Wall

SCALE: 1/2"=1'-0"



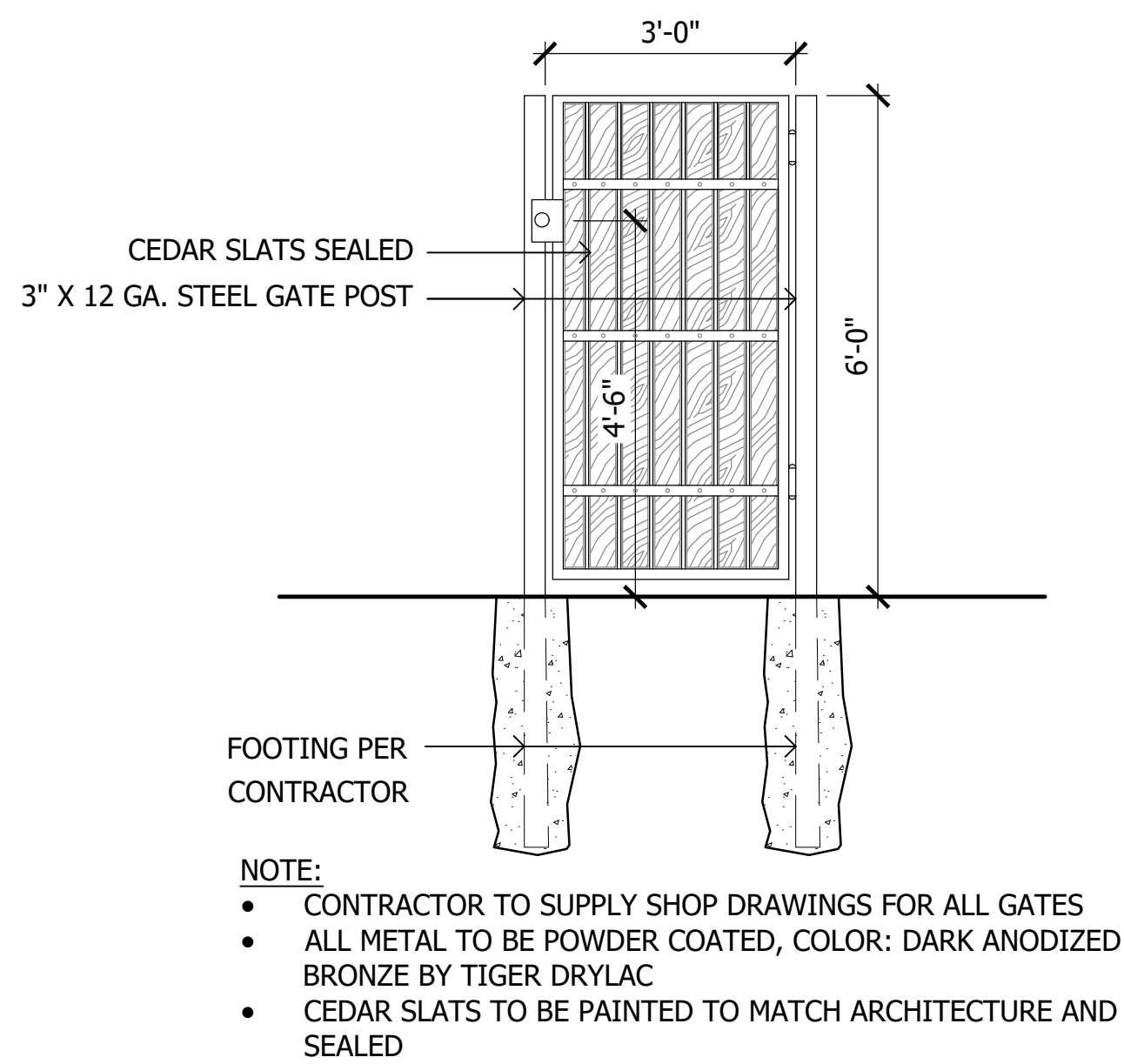
2 Common Wall

SCALE: 1/2"=1'-0"



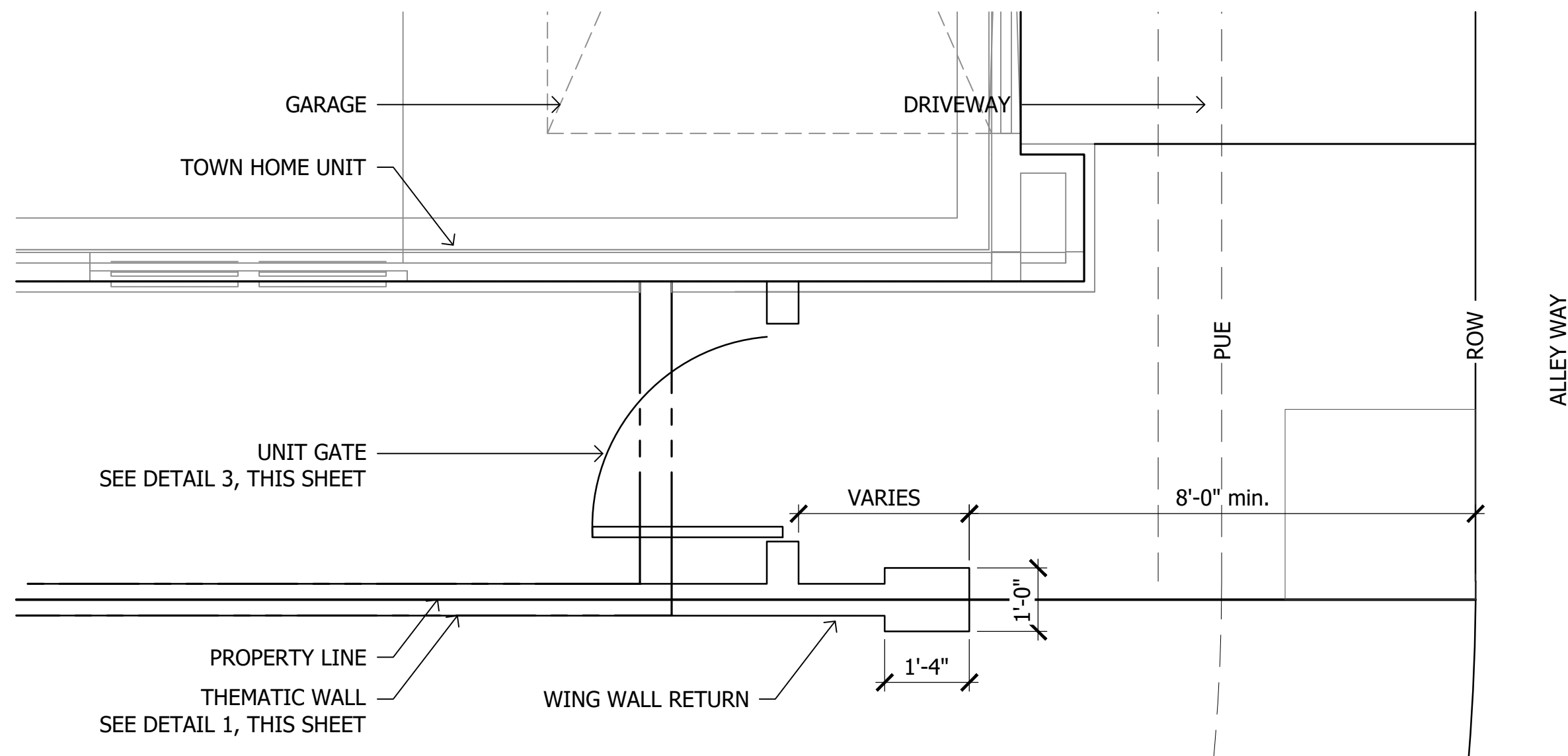
3 Alley Wall

SCALE: 1/2"=1'-0"



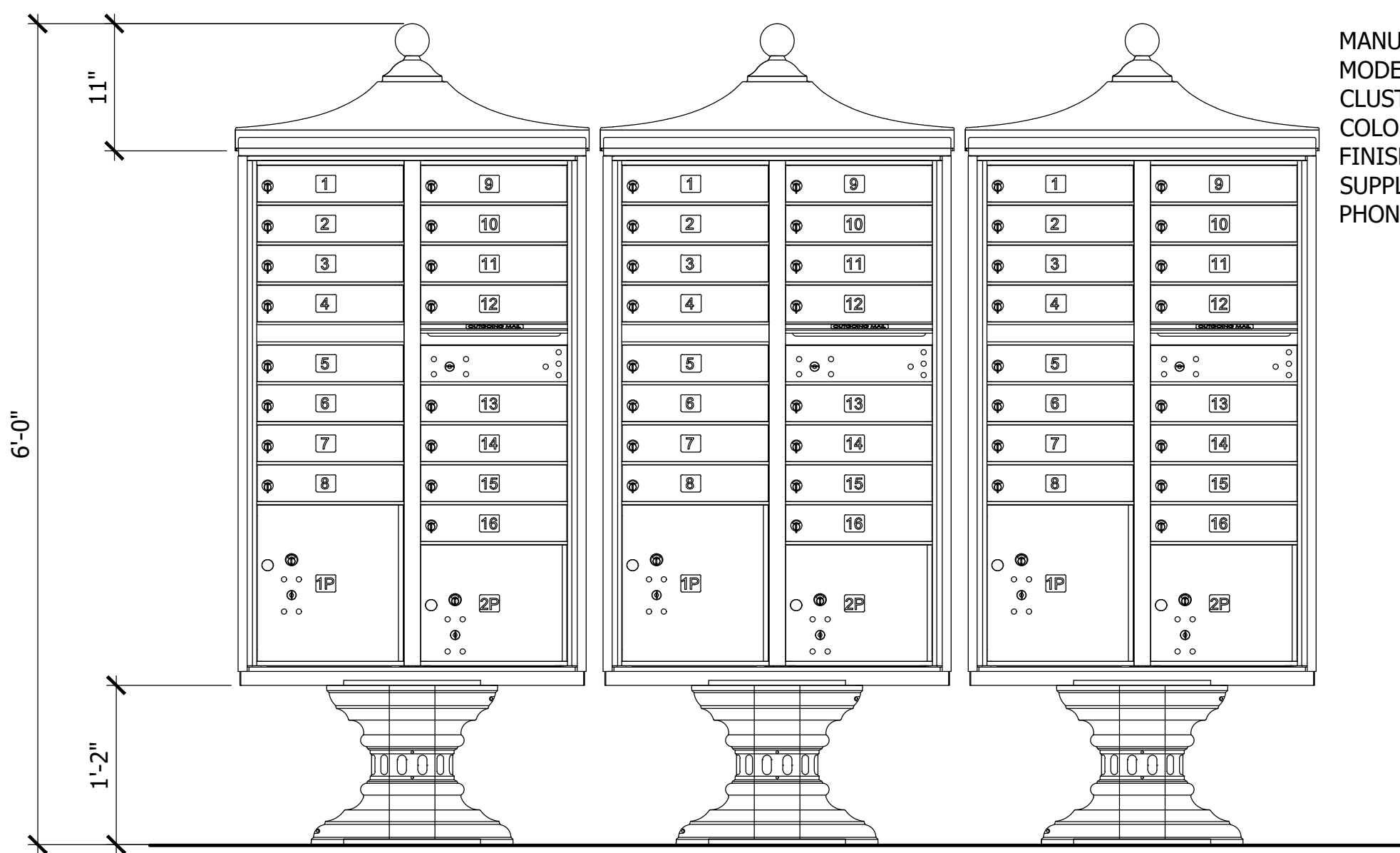
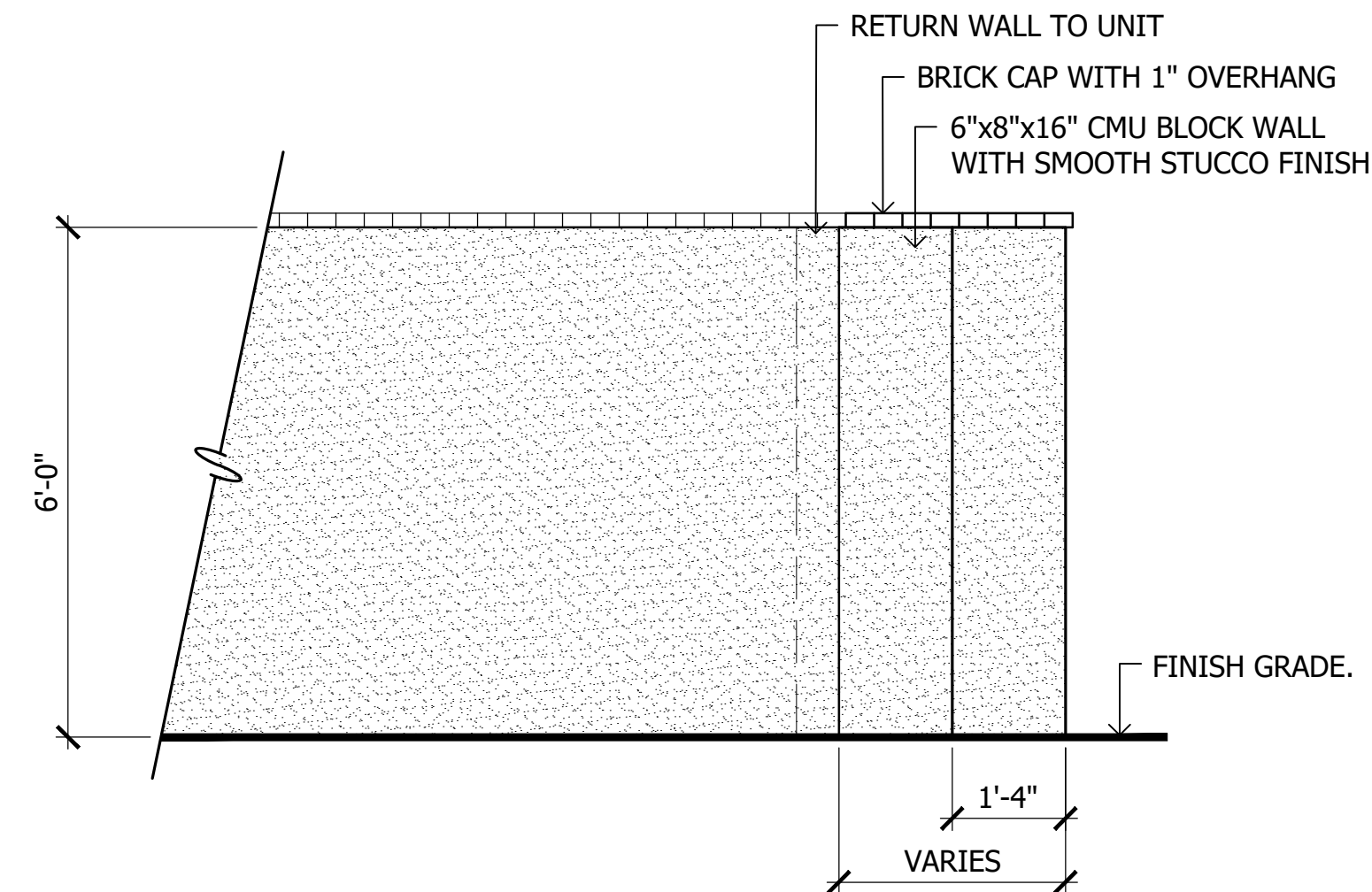
4 Unit Gate

SCALE: 1/2"=1'-0"



5 Wing Wall Return

SCALE: 1/2"=1'-0"



6 Mailbox Kiosk

SCALE: 1"=1'-0"

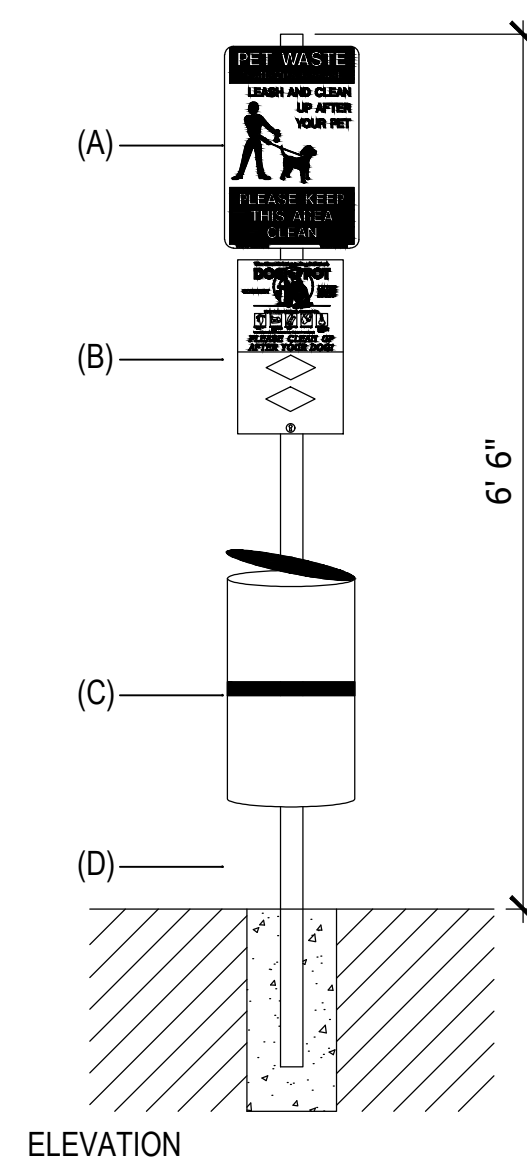
MANUF: SALISBURY INDUSTRIES
MODEL: 3316R REGENCY DECORATIVE
CLUSTER BOX UNIT
COLOR: BLACK
FINISH: POWDER COAT
SUPPLIER: MAILBOXES.COM
PHONE: 800-624-5269

- INCLUDES:
- ALUMINUM DOGIPOT PET SIGN, WITH MOUNTING HARDWARE
 - ALUMINUM DOGIPOT JUNIOR BAG DISPENSER (ITEM #1002-2), WITH MOUNTING HARDWARE
 - TWO KEYS FOR DISPENSER LOCKING FRONT ACCESS PANEL
 - TWO ROLLS OF OXO-BIODEGRADABLE DOGIPOT LITTER PICK UP BAGS (ITEM #1402), INSTALLED IN DOGIPOT JUNIOR BAG DISPENSER
 - 10 GALLOON STEEL TRASH RECEPTACLE (ITEM #1206A-L) WITH ATTACHED HINGED LID AND TRASH LINER BAG RETAINER BANDS, WITH MOUNTING HARDWARE
 - ONE OXO-BIODEGRADABLE DOGIPOT LINER TRASH BAGS (ITEM #1404)
 - 2"x2"x4'-8" GALVANIZED STEEL TELESCOPIC MOUNTING POST, WITH INSTALLATION HARDWARE
 - (A) DOGIPOT PET SIGN (ITEM #1203 / 1204):
 - H: 18" x W: 11.5"

COMPANY INFO
DOGIPOT, INC
PRO PET DISTRIBUTORS, INC

2100 PRINCIPAL ROW, SUITE 405
ORLANDO, FL, 32837
P: 866.364.4768
MODEL #: 1003-L

- (B) DOGIPOT PET SIGN (ITEM #1002-2):
- H: 15.5" x W: 9.4" x D: 3.25"
 - 12 GAUGE POWDER COATED FOREST GREEN ALUMINUM
 - WEIGHT: 7 LBS
 - 400 BAG CAPACITY
 - TWO DIAMOND BAD DISPENSER SLOTS
 - FRONT LOCKING ACCESS PANEL
 - CLEARLY POSTED INSTRUCTIONS
 - (C) STEEL TRASH RECEPTACLE WITH LID (ITEM #1206-L)
 - H: 23" x D: 11.5"
 - 16 GAUGE POWDER COATED FOREST GREEN STEEL
 - WEIGHT: 14.6 LBS
 - 10 GALLON CAPACITY WITH INTERIOR TRASH LINER BAG RETAINER BANDS
 - ATTACHED STAINLESS STEEL HINGED LID
 - ONE BOX 50 COUNT OXO-BIODEGRADABLE DOGIPOT LINER TRASH BAGS (ITEM #1404) INCLUDED
 - (D) TELESCOPIC GALVANIZED STEEL MOUNTING POST (ITEM #1301-P)
 - 2"x2"x8"
 - 11 GAUGE GALVANIZED STEEL
 - WEIGHT: 15 LBS
 - HOLE: FILL WITH 40 LBS "READY TO USE CEMENT"



7 Pet Waste Station

SCALE: NTS

PRELIMINARY LANDSCAPE PLANS			
REVISIONS:			
1			
2			
3			
LANDSCAPE ARCHITECT INFORMATION			
AB LA		RICHMOND AMERICAN HOMES	
310 E. RIO SALADO PARKWAY SUITE 405, ORLANDO, FL 32837 WEB: ABLASTUDIO.COM			
COB PERMITTING APPROVED SEAL		COB ENGINEERING APPROVED SEAL	
(POSSIBLE AS-BUILT SEAL)		DESIGN SEAL	
ORIGINAL PLAN DATE 06.17.2021		LATEST REVISION DATE	
PROJECT NUMBER 209-015-20		SHEET NUMBER LA6.1 5 of 6	
SUBMITTAL: DETAILS		SCALE: PER DETAIL	
COB PLANT TRACKING #		PLZ #: 20-00029	
COB PERMIT #		COB PERMIT #	

MANUF: PARK WAREHOUSE
MODEL: 622pt650
46" KENSINGTON SERIES
MOUNT: SURFACE MOUNT
COLOR: BLACK
PH: 877.344.9205



1 ADA Picnic Table
SCALE: NTS

MANUF: PARK WAREHOUSE
MODEL: 766be135
6' DOWNTOWN METAL STRAP
BENCH W/ BACK
MOUNT: SURFACE MOUNT
COLOR: BLACK
PH: 877.344.9205



2 6ft Bench
SCALE: NTS

MANUF: PARK WAREHOUSE
MODEL: 622tr120-1
FLARE TOP TRASH W/ DOOR
MOUNT: SURFACE MOUNT
COLOR: BLACK
PH: 877.344.9205



3 Trash Receptacle
SCALE: NTS

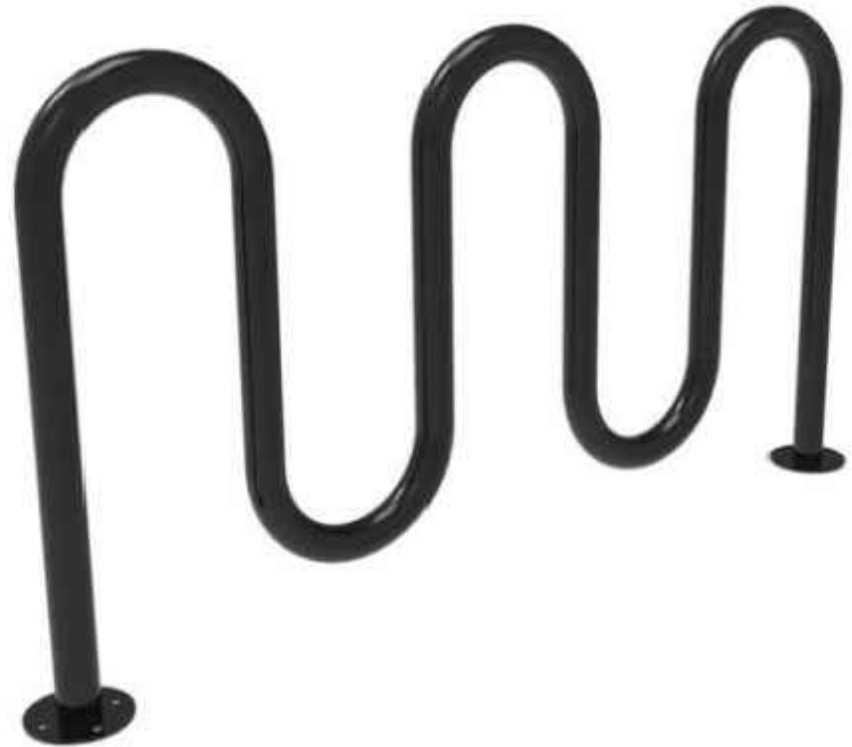


NOTE:
A MINIMUM CLEARANCE OF
5'-0" TO BE MAINTAINED
BETWEEN CHARCOAL GRILL
AND ANY ADJACENT
STRUCTURES

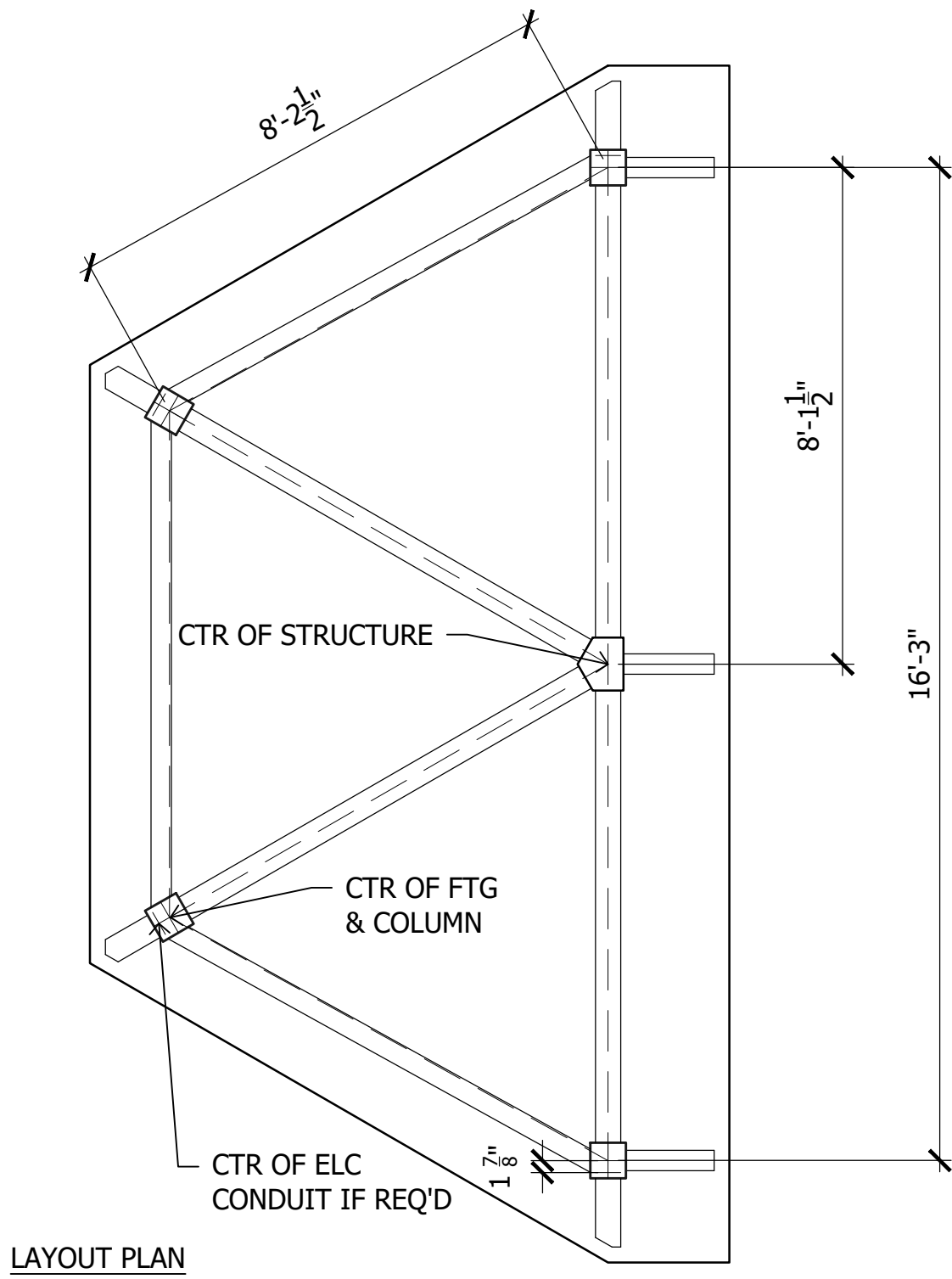


4 Charcoal Grill
SCALE: NTS

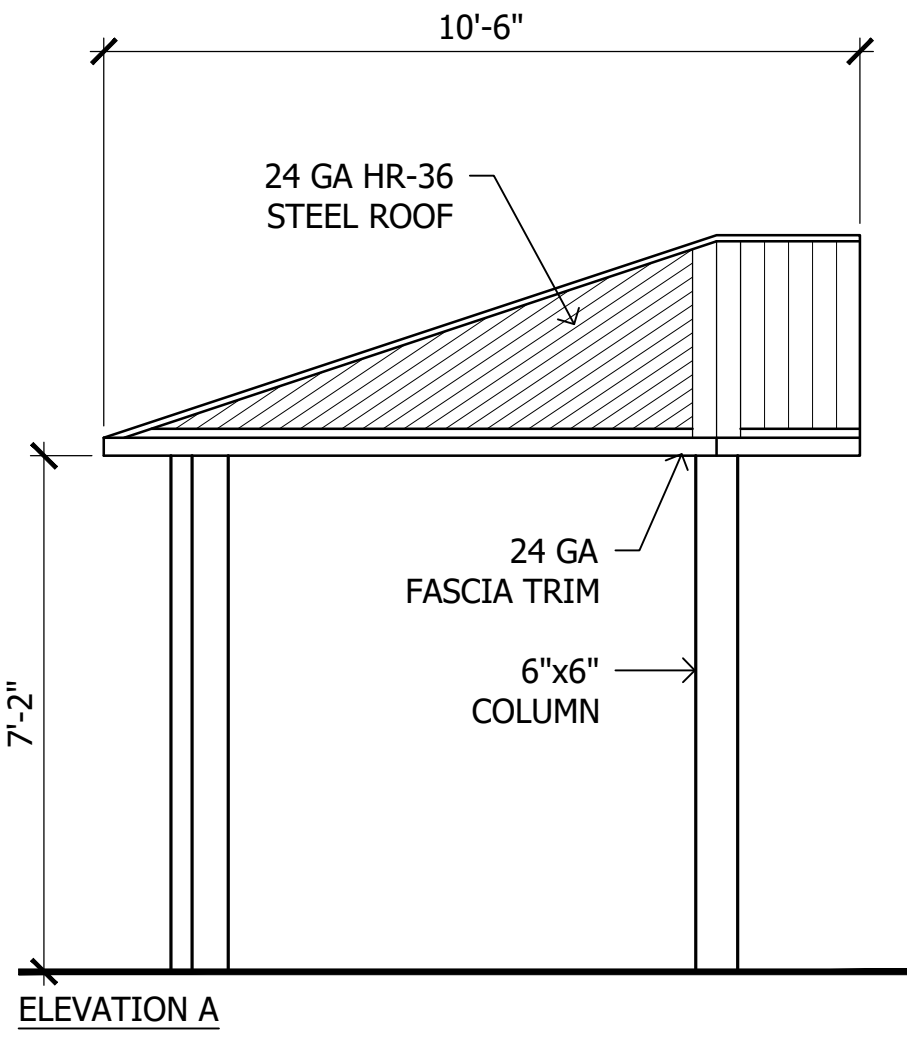
MANUF: PARK WAREHOUSE
MODEL: 766br110
7 WAVE BIKE RACK
MOUNT: SURFACE MOUNT
COLOR: BLACK
PH: 877.344.9205



5 Bike Rack
SCALE: NTS



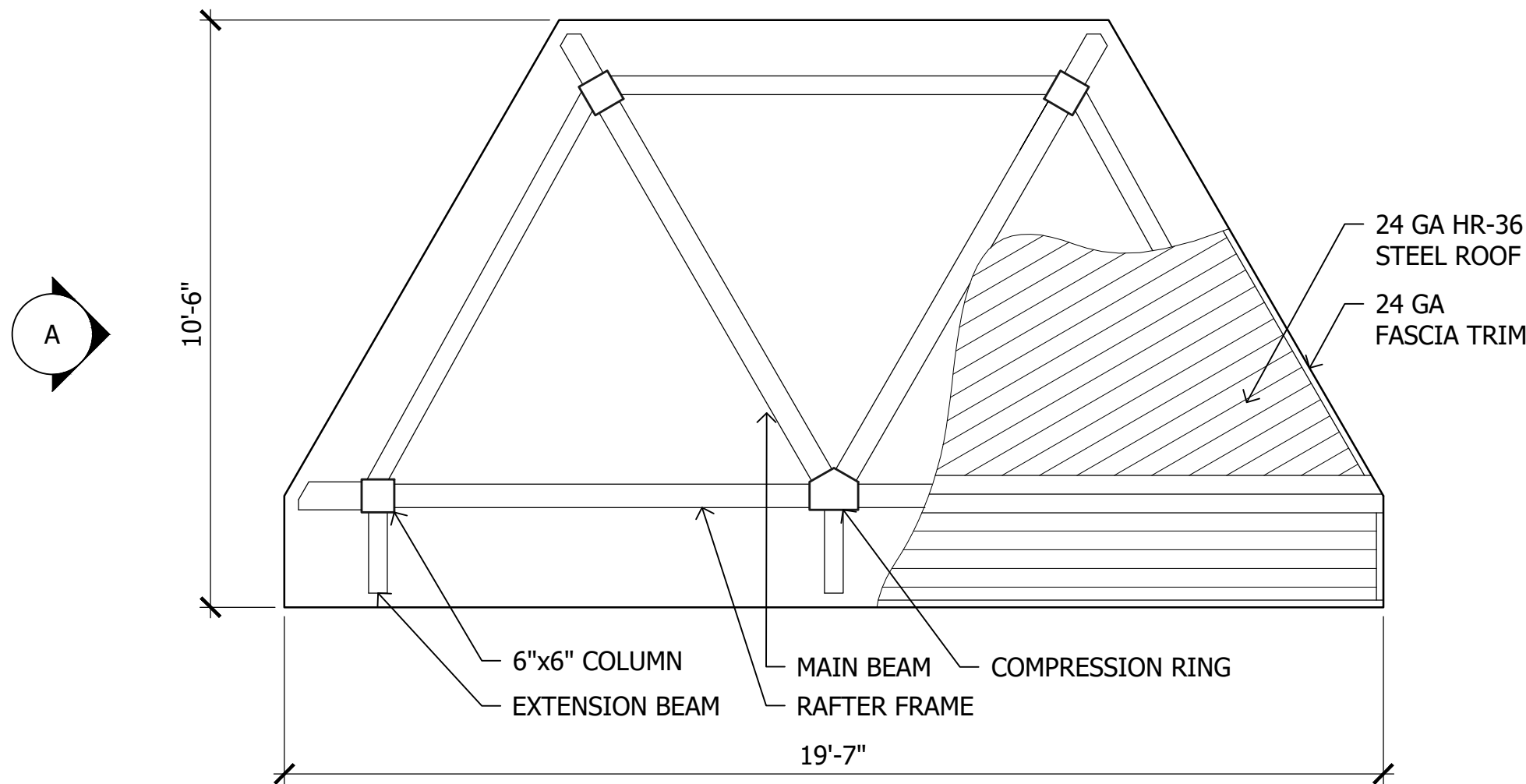
LAYOUT PLAN



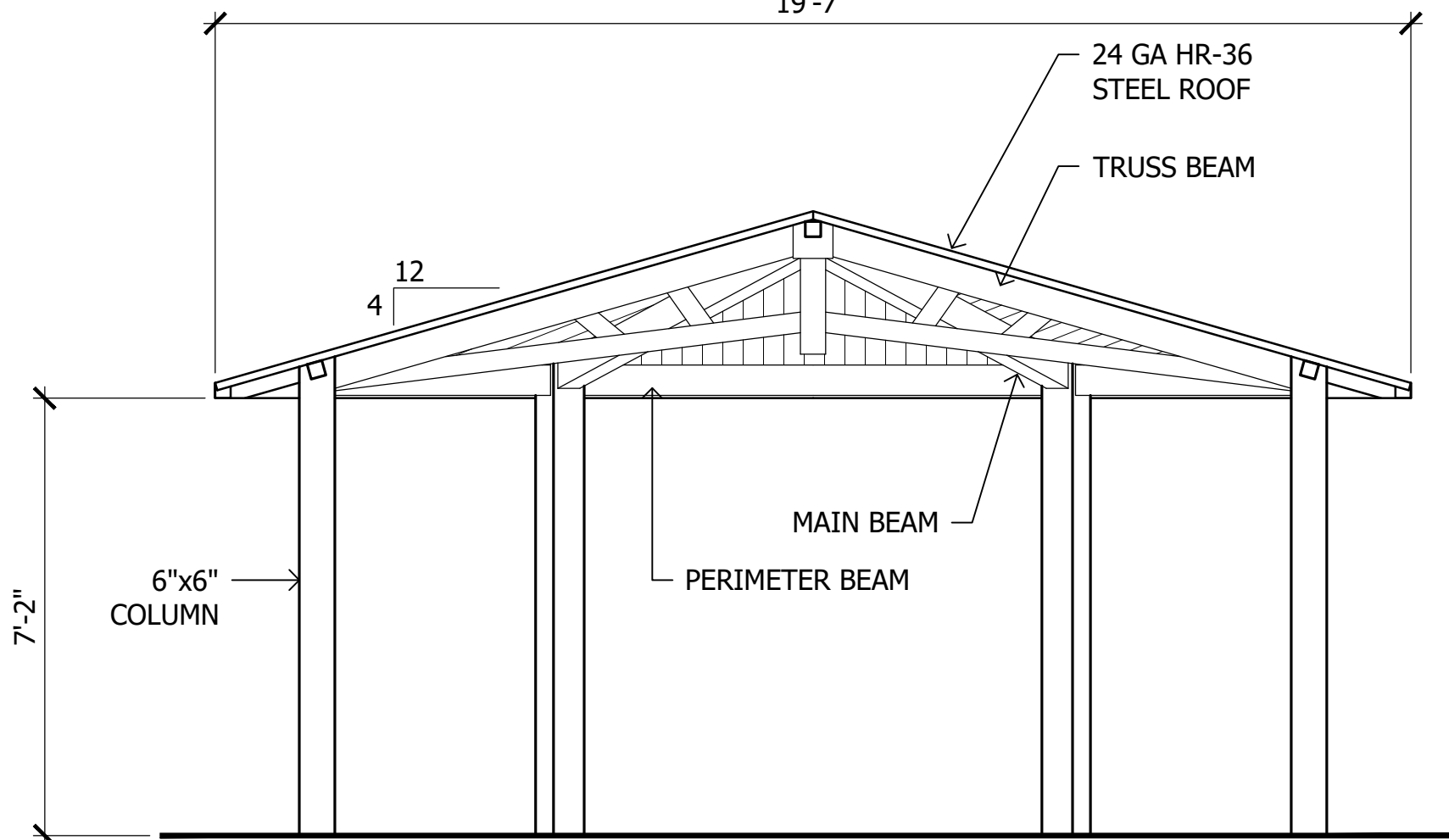
ELEVATION A

6 Ramada Classic Rec (Vienna Model)
SCALE: 3/8"=1'-0"

GENERAL NOTES
POWDER COAT ALL METAL COMPONENTS BLACK
ROOF COLOR TO BE TERRA-COTTA OR AS APPROVED BY OWNER



PLAN VIEW



ELEVATION B

PRELIMINARY LANDSCAPE PLANS			
REVISIONS:			
1			
2			
3			
LANDSCAPE ARCHITECT INFORMATION			
AB LA		RICHMOND AMERICAN HOMES	
310 E. RIO SALADO PARKWAY DENVER, COLORADO 80231 OFFICE: 303.733.8223 WEB: ABLASTUDIO.COM			
COB PERMITTING APPROVED SEAL		COB ENGINEERING APPROVED SEAL	
(POSSIBLE AS-BUILT SEAL)		DESIGN SEAL	
ORIGINAL PLAN DATE 06.17.2021		LATEST REVISION DATE	
PROJECT NUMBER 209-015-20		SHEET NUMBER LA6.2 6 of 6	
COB PLAN TRACKING #		SUBMITTAL: DETAILS SCALE: PER DETAIL	
		PLZ #: 20-00029	

LEGAL DESCRIPTION

A PORTION OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

THE TOTAL CONTAINING 8.23 ACRES, MORE OR LESS

FOR ADDITIONAL INFORMATION PLEASE REFERENCE THE REVISED ALTA SURVEY, WHICH HAS BEEN INCLUDED AS AN ATTACHMENT TO THIS PRELIMINARY PLAT SUBMITTAL

PROPERTY OWNERSHIP

THE PROJECT ENCOMPASSES TWO (2) PARCELS OF LAND: PARCELS 502-78-891R AND 502-78-894L PER MCR RECORDS. PLEASE SEE THE ALTA SURVEY FOR THE SUBJECT PROJECT FOR ADDITIONAL INFORMATION.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 40°10'49" WEST ALONG THE MONUMENT LINE OF VERRADO WAY BETWEEN THOMAS ROAD AND MAIDEN LANE, ACCORDING TO BOOK 612 OF MAPS, PAGE 39, MARICOPA COUNTY RECORDS.

FLOOD ZONE CERTIFICATION

THIS IS TO CERTIFY THAT THIS PROPERTY IS LOCATED WITHIN THE ZONE "X" FLOOD HAZARD AREA PER FIRM MAP PANEL NUMBER 04013C-2110L DATED OCTOBER 16, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

ZONE "X" AS DEFINED BY FEMA IS:
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

PROJECT DESCRIPTION

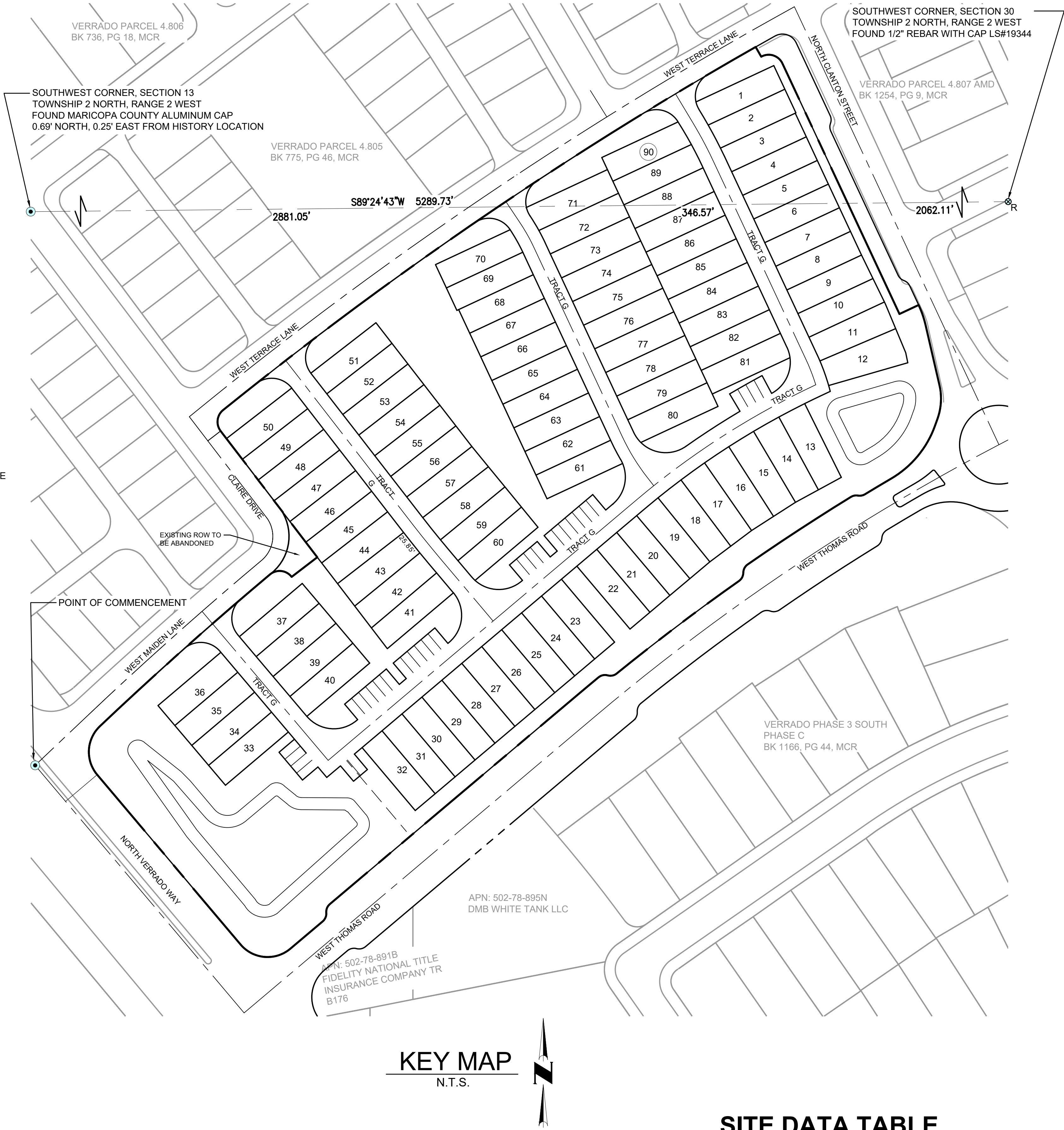
THE HOMES AT VERRADO PARCEL 4.805 DEVELOPMENT IS A PROPOSED 90 LOT TWO-STORY DUPLEX DEVELOPMENT LOCATED ON THE NORTHEAST CORNER OF NORTH VERRADO WAY AND THOMAS ROAD. THE PROJECT SITE ENCOMPASSES TWO (2) PARCELS OF LAND INCLUDING APN: 502-78-894L AND 502-78-894R, TOTALING APPROXIMATELY 8.23 GROSS ACRES.

SERVICE PROVIDERS

SEWER	EPCOR WATER
WATER	EPCOR WATER
TELEPHONE/CABLE	CENTURY LINK / COX COMMUNICATIONS
ELECTRICITY	ARIZONA PUBLIC SERVICE (APS)
GAS	SOUTHWEST GAS CORPORATION
POLICE	CITY OF BUCKEYE
FIRE	CITY OF BUCKEYE
SOLID WASTE	CITY OF BUCKEYE
SCHOOLS	LITCHFIELD ELEMENTARY SCHOOL DISTRICT, AND AGUA FRIA UNION HIGH SCHOOL DISTRICT

GENERAL NOTES:

- THE INTENT OF THIS PRELIMINARY PLAT IS TO MEET THE REQUIREMENTS OF THE VERRADO COMMUNITY MASTER PLAN APPROVED BY THE CITY OF BUCKEYE ON NOVEMBER 17, 1999 AND INCORPORATED BY REFERENCE INTO THAT CERTAIN PRE-ANNEXATION AND DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF BUCKEYE AND DMB WHITE TANK LLC. AN ARIZONA LIMITED COMPANY RECORDED IN THE OFFICIAL RECORDS OF MARICOPA COUNTY AS DOCUMENT NO. 99-10771208 (THE "CMP"), INCLUDING ALL MAJOR AND MINOR AMENDMENTS THERETO.
- THIS PRELIMINARY PLAT SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SET FORTH IN THE APPROVED POTABLE WATER AND MASTER WASTEWATER PLANS AS DESCRIBED IN VOLUMES 3.0A AND 3.0B OF THE PLANNING UNIT FOR THE PORTIONS OF PLANNING UNITS II, III, IV, AND V BOTH DATED 2/10/2006.
- WASTEWATER DISPOSAL FOR THE DEVELOPMENT WILL BE PROVIDED AT AN ON-SITE WATER RECLAMATION FACILITY "WRF" TO BE LOCATED NORTH OF MCDOWELL ROAD IN THE SE 1/4 OF SECTION 31, TOWNSHIP 2N, RANGE 2W, THE WASTEWATER WILL BE TREATED TO STATE AND COUNTY EFFLUENT REUSE WATER QUALITY STANDARDS FOR THE USE AS A GOLF COURSE IRRIGATION. AN ON-SITE RECHARGE FACILITY WILL BE CONSTRUCTED FOR RECHARGE OF EXCESS EFFLUENT. BOTH THE "WRF" AND RECHARGE FACILITIES ARE OWNED, OPERATED AND MAINTAINED BY EPCOR WATER INC., A PRIVATE WATER COMPANY.
- POTABLE WATER FOR THE DEVELOPMENT IS PROVIDED BY EPCOR WATER INC. FROM BOTH THE CENTRAL ARIZONA PROJECT SURFACE WATER TREATMENT PLANT AND DISTRIBUTION SYSTEM AND ON-SITE AND OFF-SITE PRODUCTIONS WELLS. IF NECESSARY TO MEET POTABLE DRINKING WATER STANDARDS, A BLENDING FACILITY OR WATER TREATMENT FACILITY IS LOCATED ON-SITE NORTH OF INDIAN SCHOOL ROAD IN THE SE 1/4 OF SECTION 20, TOWNSHIP 2N, RANGE 2W.
- THE DEVELOPER HAS APPLIED TO THE ARIZONA DEPARTMENT OF WATER RESOURCES FOR A CERTIFICATE OF ASSURED WATER SUPPLY FOR THE PROJECT.
- VERRADO HERITAGE DISTRICT, PARCEL 4.805, HAS BEEN SUBJECTED TO THE COVENANTS, CONDITIONS, RESTRICTIONS, AND OTHER PROVISIONS CONTAINED IN THE COVENANT FOR COMMUNITY FOR VERRADO RECORDED IN DOCUMENT NO. 2003-0531387, AS SAME MAY BE AMENDED FROM TIME TO TIME, AND PRIOR TO DEVELOPMENT WILL BE SUBJECTED TO THE COMMUNITY CHARTER FOR VERRADO RECORDED IN DOCUMENT NO. 2004-0015591, ALL LOTS IN THIS PARCEL WILL BECOME MEMBERS OF THE HOME OWNERS ASSOCIATION ESTABLISHED BY THE COMMUNITY OF VERRADO.
- THIS PRELIMINARY PLAT IS INTENDED TO COVER THE VERRADO HERITAGE DISTRICT, PARCEL 4.805. ALL OTHER PARCELS WILL HAVE TO BE SUBMITTED UNDER SEPARATE PRELIMINARY PLAT OR SITE PLAN SUBMITTALS AS REQUIRED BY THE CITY OF BUCKEYE.
- ALL SETBACKS SHALL CONFORM WITH THE VERRADO COMMUNITY MASTER PLAN, INCLUDING ALL MAJOR AND MINOR AMENDMENTS THERETO.
- ALL RESIDENTIAL STRUCTURES WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM.



KEY MAP
N.T.S.

SITE DATA TABLE

SITE DATA TABLE		
GROSS AREA (ACRES)	8.25	
NET AREA (ACRES)	8.25	
EXISTING ZONING	PC-Planned Community	
GROSS DENSITY	10.91/DU/AC	
PRIVATE DRIVE TRACT G (ACRES)	1.15	
OPEN SPACE PROVIDED (AC)	2.63	32%
CMP DEVELOPMENT OPTION:	RESIDENTIAL HIGH PLATTED LOTS	
PARCEL 4.805		
PRODUCT	MINIMUM LOT SIZE	YIELD
DUPLEX	25.85' x 81.6'	90
TOTAL		90
SMALLEST LOT AREA (SF)	2,052	
LARGEST LOT AREA (SF)	2,532	
AVERAGE LOT AREA (SF)	2,162	

PRELIMINARY PLAT
FOR
VERRADO HERITAGE
PARCEL 4.805

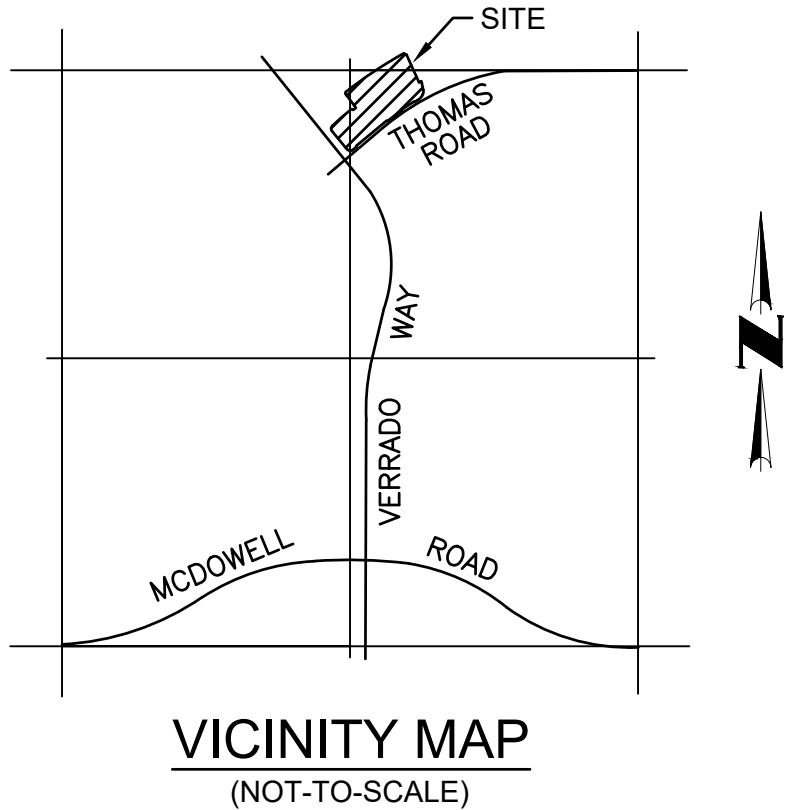
A PORTION OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER / DEVELOPER

RICHMOND AMERICAN HOMES
16427 N. SCOTTSDALE ROAD SUITE 300
SCOTTSDALE, AZ 85254
CONTACT: KIRSTEN BEARD
PHONE: (602) 525-4723
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PLANNER / SURVEYOR / ENGINEER

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LEGEND

	PROPOSED LOTS
	PROPOSED PRIVATE ALLEY
	PROPOSED CENTER LINE
	(V.N.A.E.) INDICATES VEHICULAR NON-ACCESS EASEMENT
	(P.U.E.) INDICATES PUBLIC UTILITY EASEMENT
	(A.E.) INDICATES ACCESS EASEMENT
	SEWER MANHOLE AND LINE
	STANDPIPE

SHEET INDEX

SHEET 01 - COVER SHEET / NOTES / KEY MAP / LEGAL DESCRIPTION / SITE DATA TABLE
SHEET 02 - TYPICAL LOT DETAILS / DEVELOPMENT STANDARDS / TYPICAL ROADWAY SECTIONS
SHEET 03 - WB-50 DETAILS
SHEET 04 - LOT AREA TABLE / TRACT AREA DETAIL / CURVE DATA TABLE / LINE DATA TABLE / BOUNDARY DATA TABLE
SHEET 05 - PRELIMINARY PLAT
SHEET 06 - STREET NAME MAP



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Civil Engineering, Water Systems, Wastewater Treatment, Land Planning, Energy, Land Survey, Landscape Architecture, Construction Management



SHEET
01 OF 06

CVL PROJECT #: 1-01-01441

DATE: 06/07/2021

PLZV-20-00029

A PORTION OF LAND LOCATED IN THE SOUTHEAST QUARTER OF
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The diagram illustrates a proposed subdivision layout with the following features and labels:

- PROPOSED LOTS:** Indicated by the top two horizontal lines.
- PROPOSED PRIVATE ALLEY:** Indicated by the third horizontal line from the top.
- PROPOSED CENTER LINE:** Indicated by a dashed horizontal line.
- 1' V.N.A.E.:** A 1-foot Vehicular Non-Access Easement, shown as a single dashed line.
- 8' P.U.E.:** An 8-foot Public Utility Easement, shown as a single solid line.
- 5' A.E.:** A 5-foot Access Easement, shown as a double solid line.
- SEWER MANHOLE AND LINE:** Represented by a circle on a horizontal line.
- STANDPIPE:** Represented by a triangle pointing upwards.

SHEET 01 - COVER SHEET / NOTES / KEY MAP / LEGAL DESCRIPTION / SITE DATA TABLE

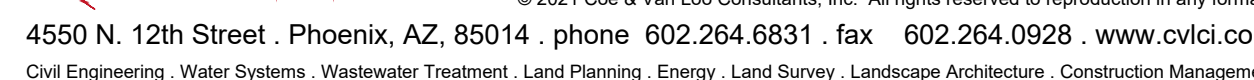
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SHEET 03 - WB-50 DETAILS

SHEET 04 - LOT AREA TABLE / TRACT AREA DETAIL / CURVE DATA TABLE / LINE DATA TABLE / BOUNDARY DATA TABLE

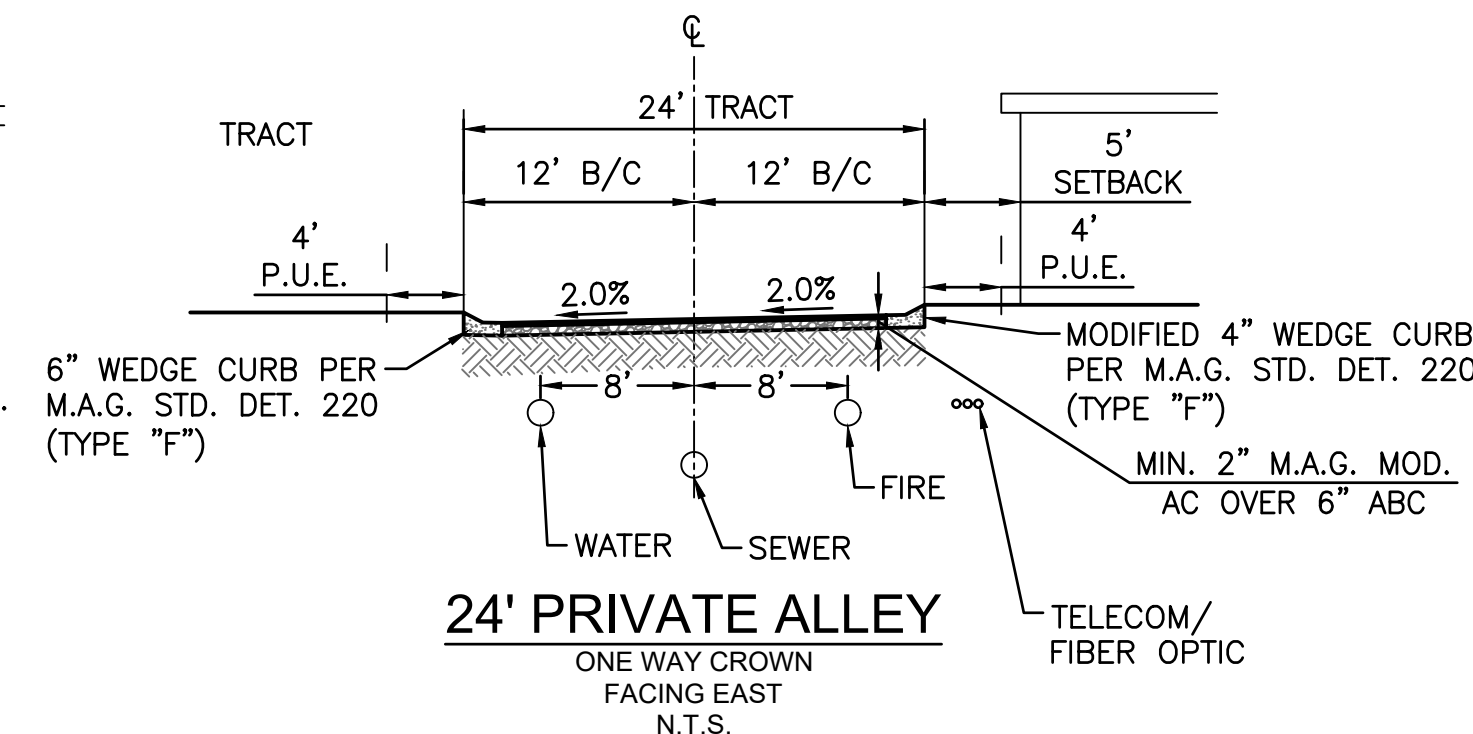
SHEET 05 - PRELIMINARY PLAT

SHEET 06 - STREET NAME MAP



CVL PROJECT #: 1-01-01441

DATE: 06/07/2021



PARCELS:	4.805
BUILDER:	Richmond American Homes
Standard Lot Size	23.85' x 81.6' Alley-Loaded
Verrado CMP Land Use Designation	Residential High - Platted Lots
Min. Front Building Setbacks	8' for Porch or Balcony Structures 10' for Liveable Structures
Min. Side Building Setbacks	5'0"
Min. Distance between Buildings on Adjacent Lots	10'
Min. Rear Building Setback	5'
Detached Accessory Structures	Not Allowed
Maximum Lot Coverage	65%
Min. Setback on a Corner Lot	10'

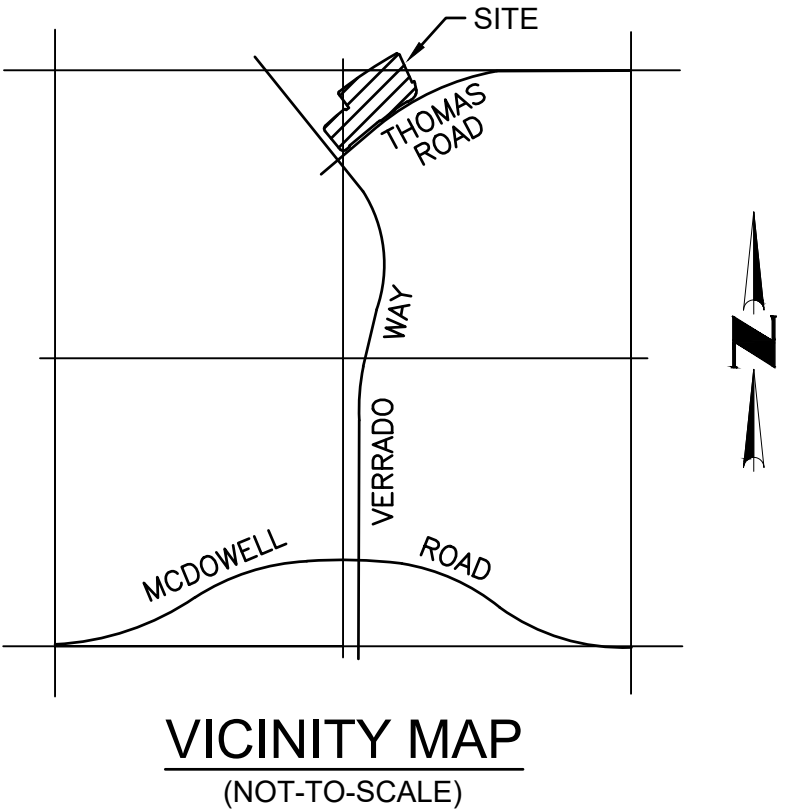


PRELIMINARY PLAT
FOR
VERRADO HERITAGE
PARCEL 4.805

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	PROPOSED PRIVATE ALLEY
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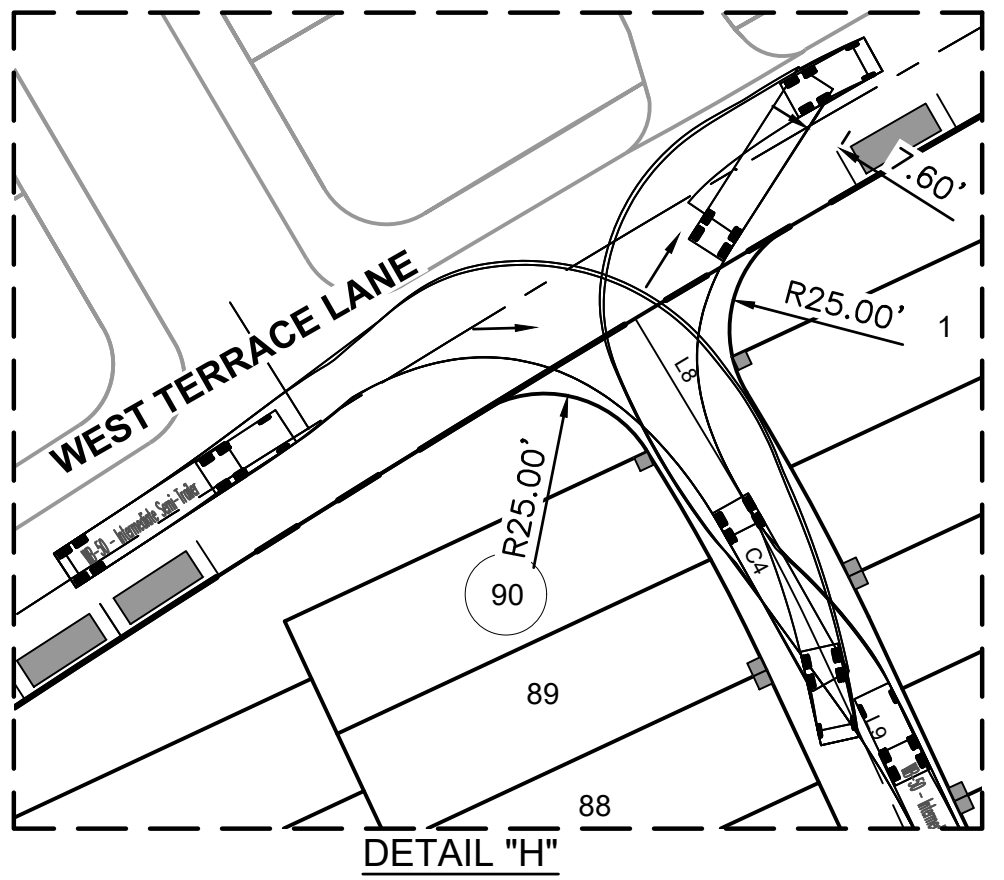
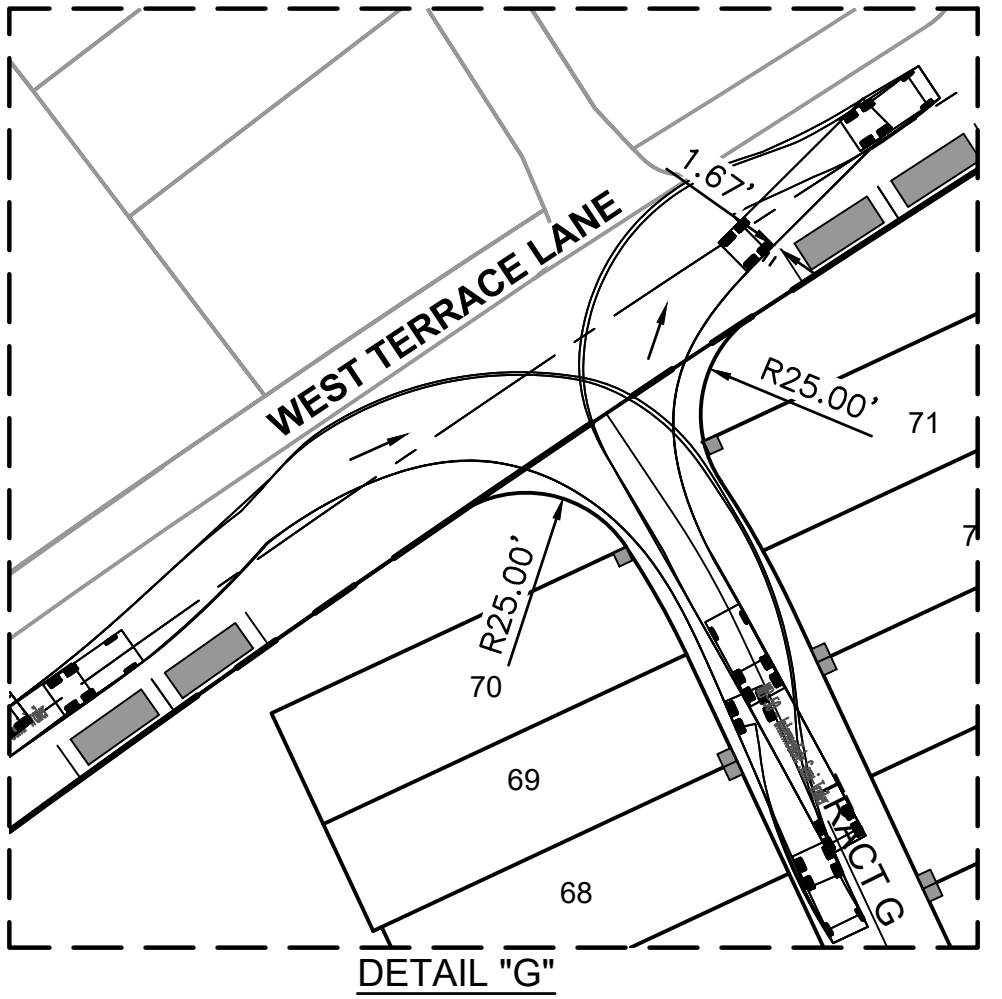
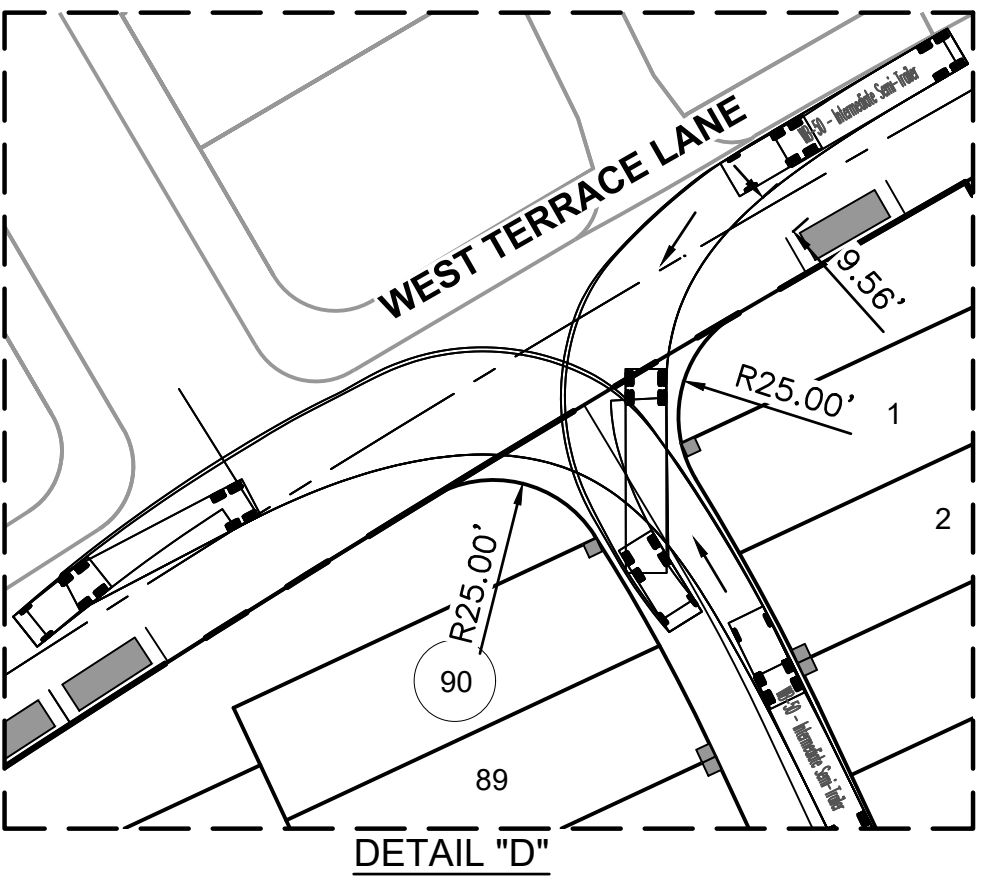
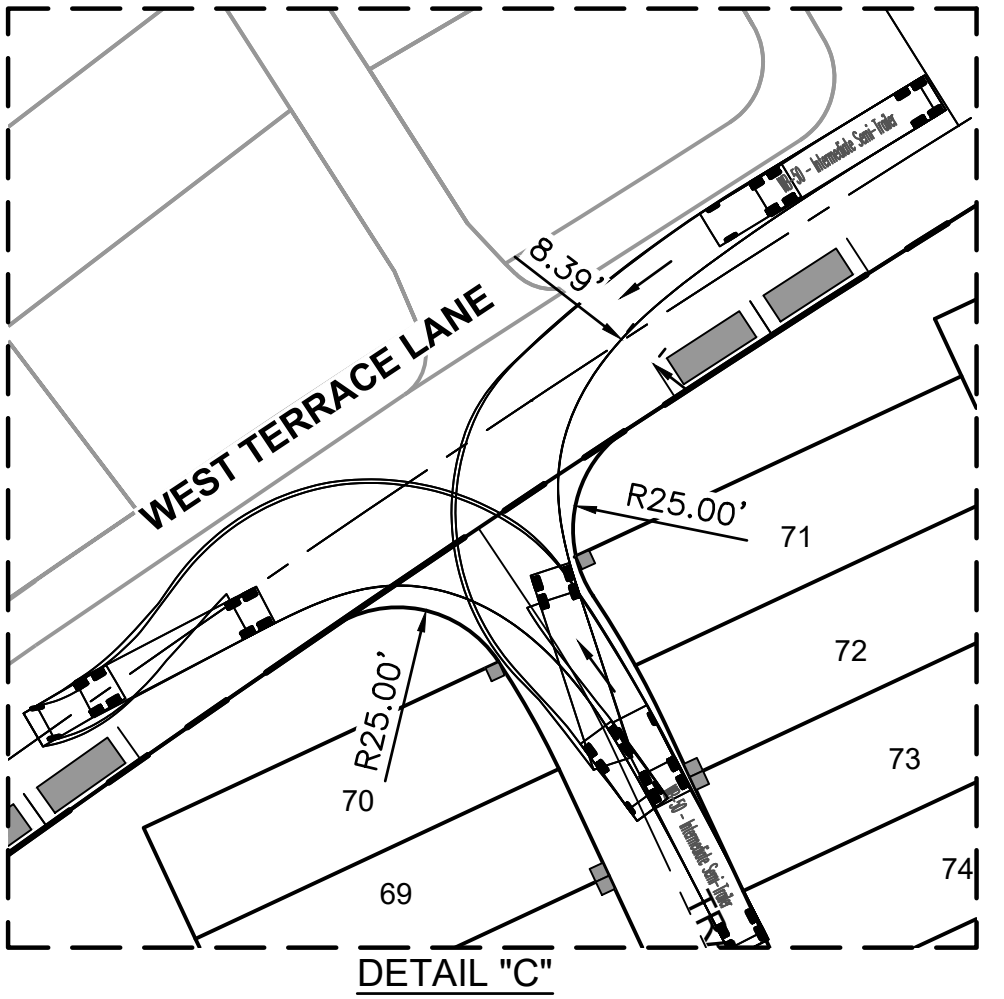
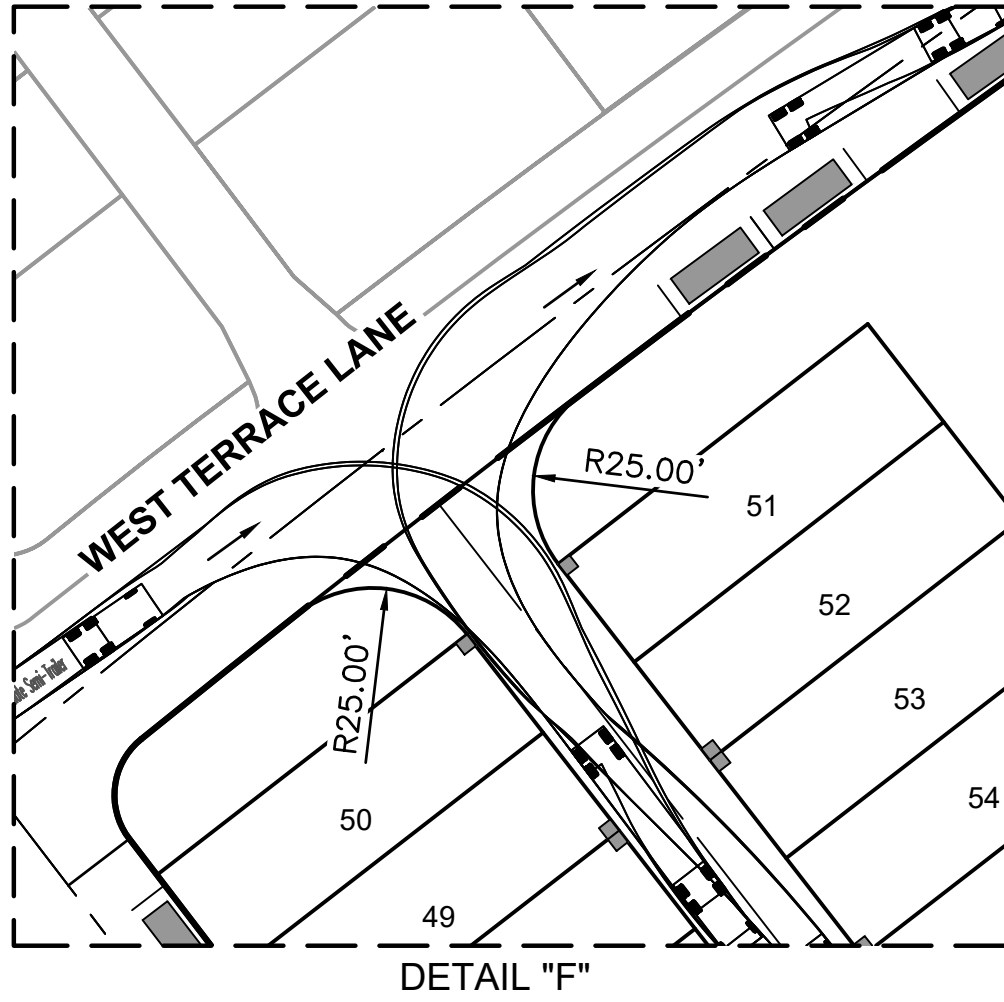
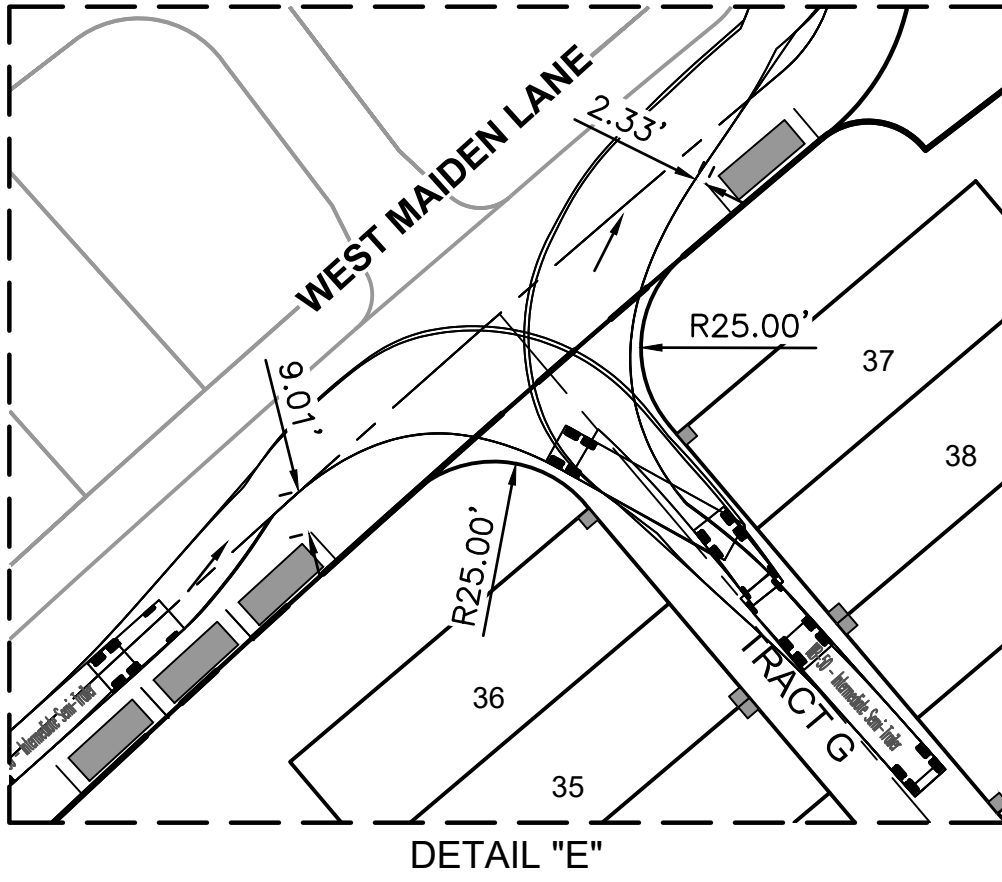
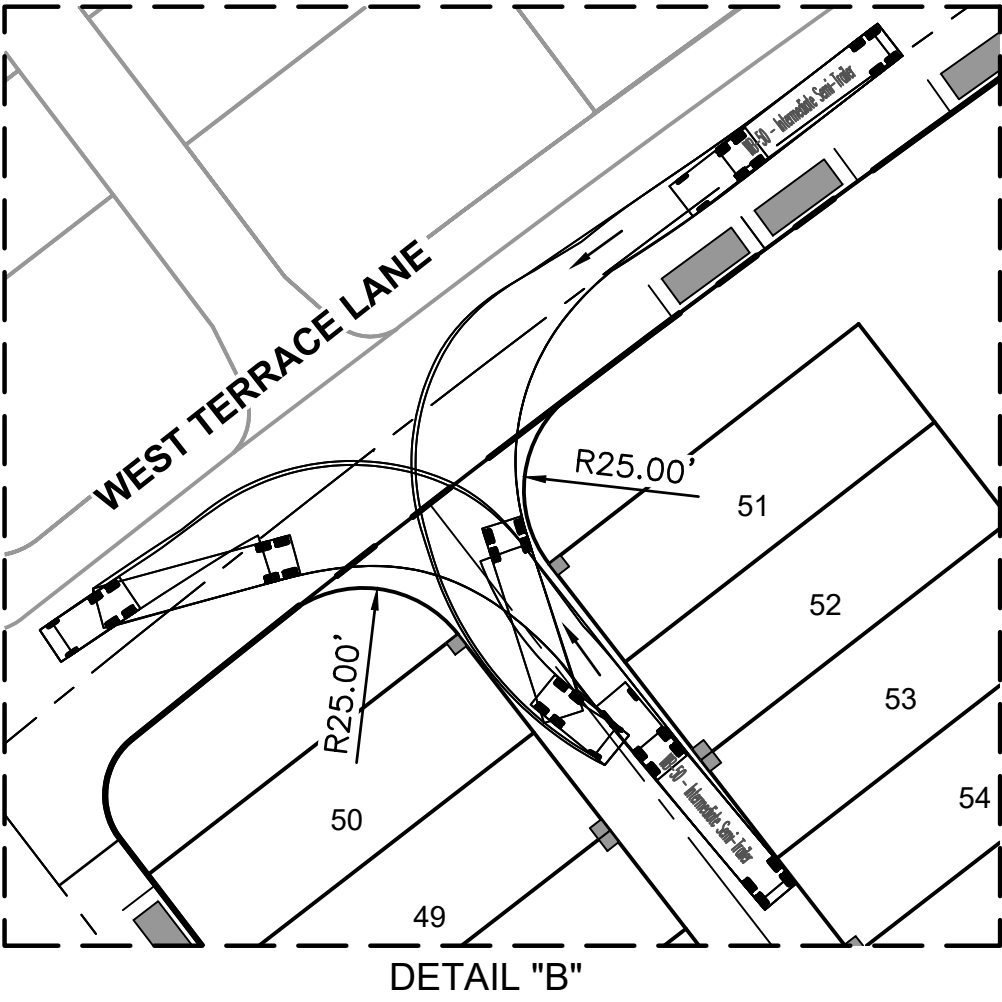
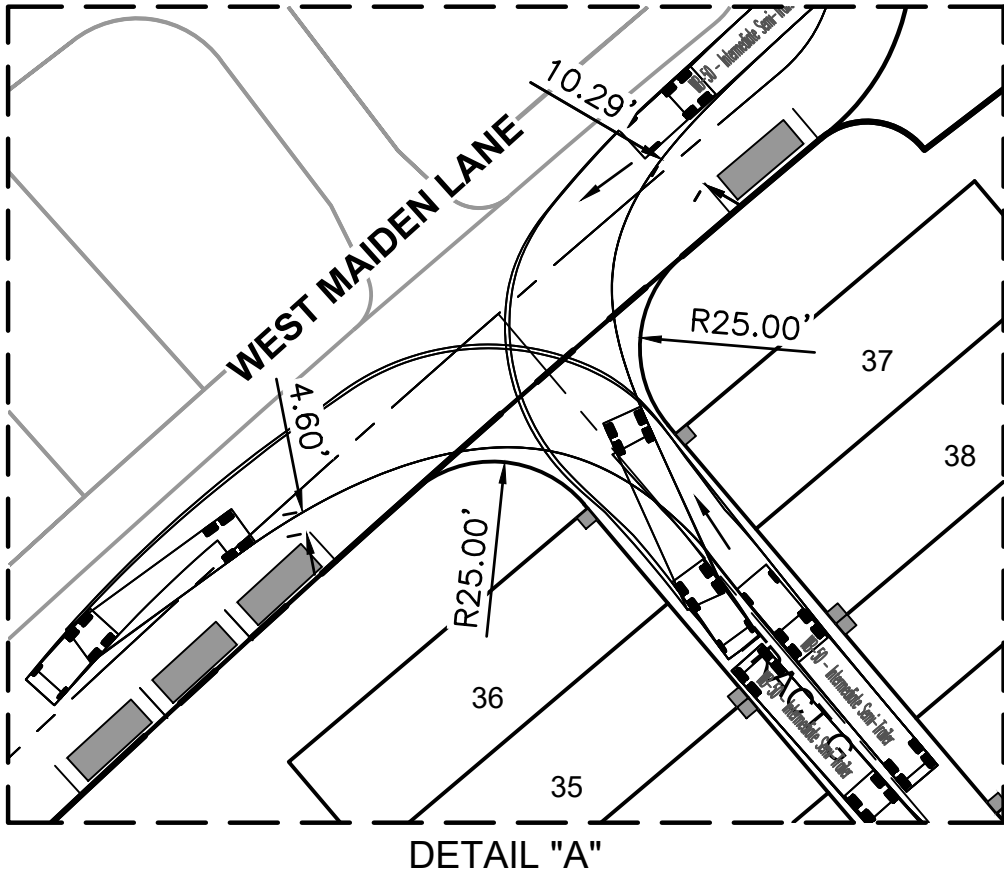
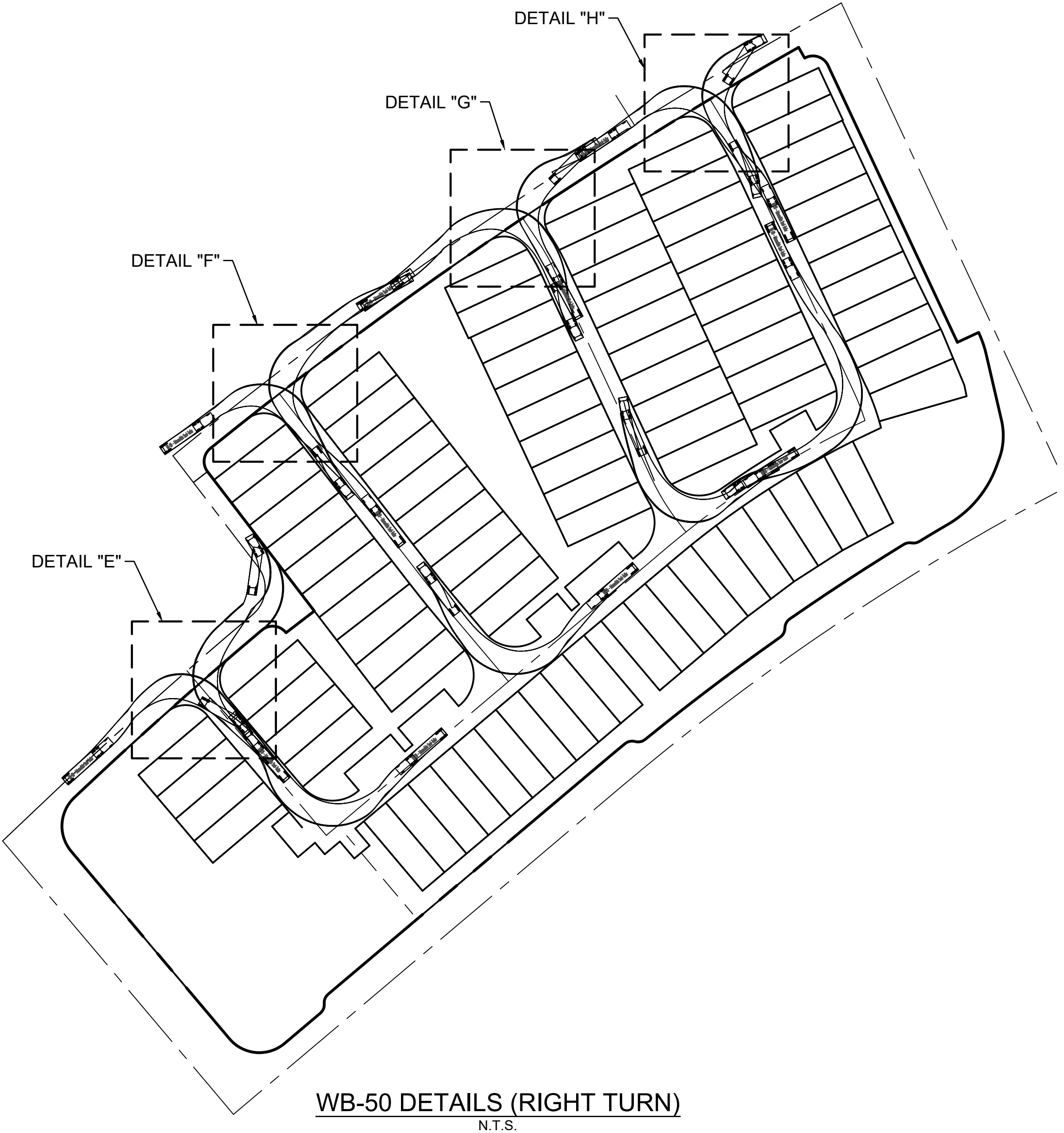
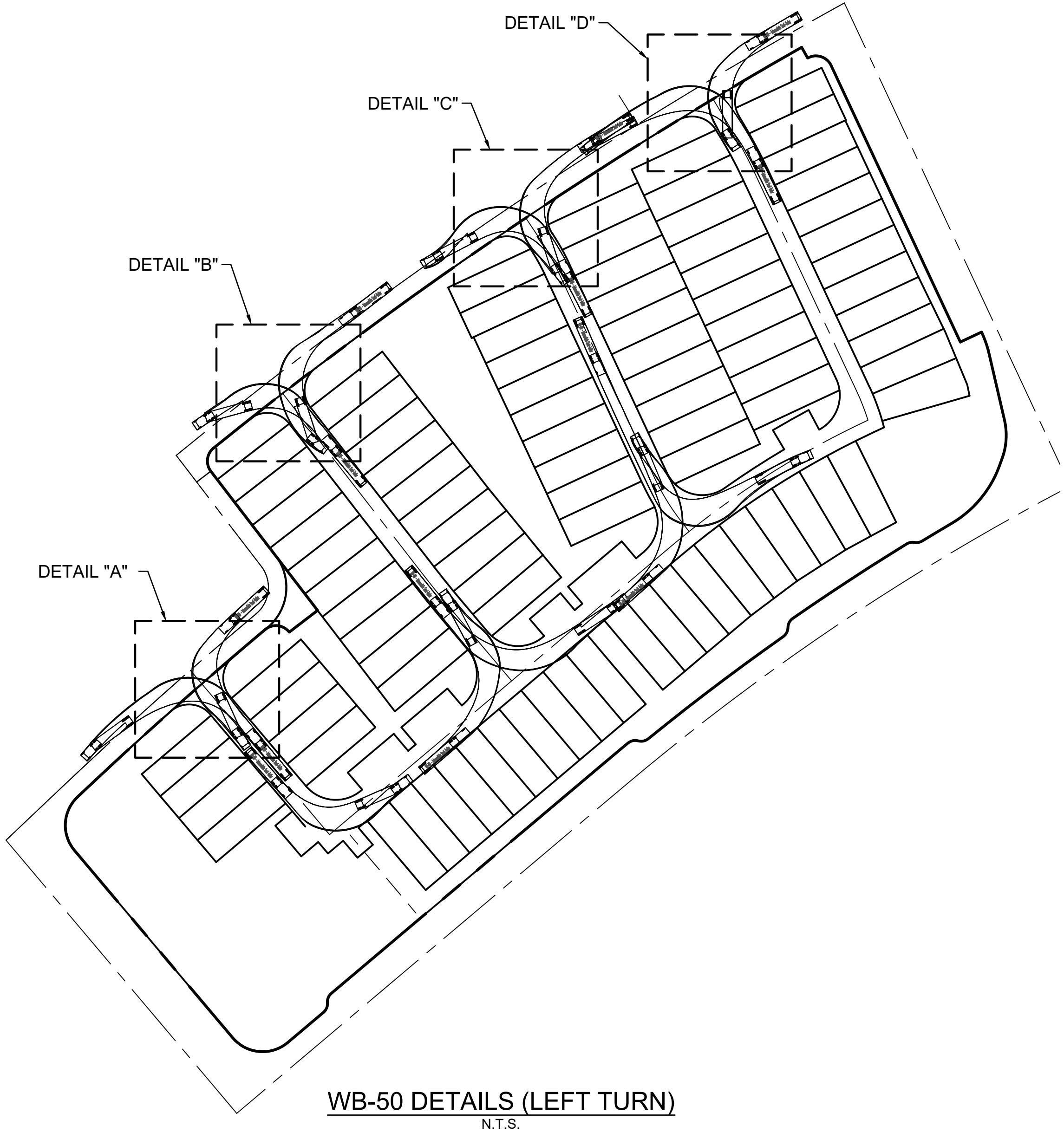


SHEET
03 OF 06

CVL PROJECT #: 1-01-01441

DATE: 06/07/2021

PLZV-20-00029

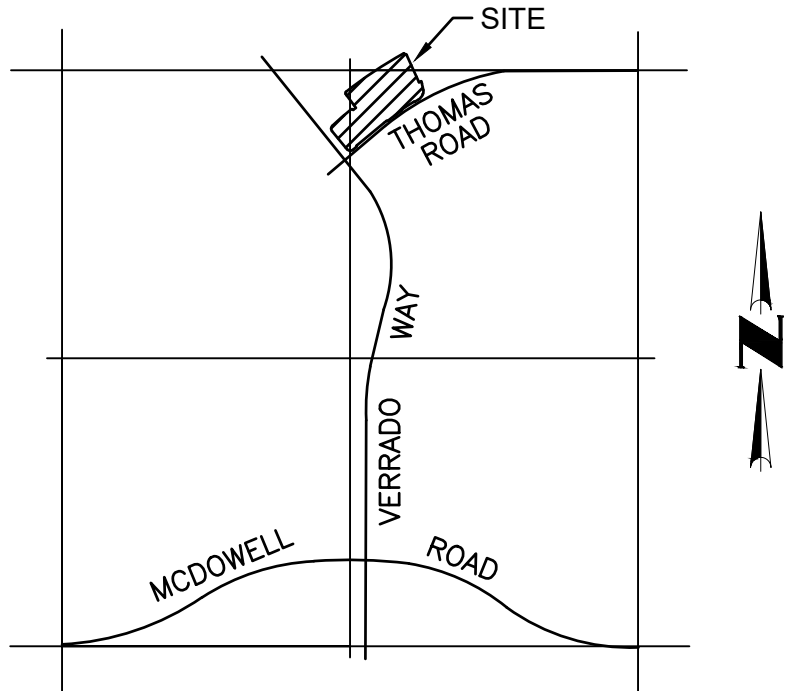


PRELIMINARY PLAT
FOR
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PARCEL 4.805

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VICINITY MAP
(NOT-TO-SCALE)

LEGEND

- PROPOSED LOTS
- PROPOSED PRIVATE ALLEY
- PROPOSED CENTER LINE
- 1" V.N.A.E. (V.N.A.E.) INDICATES VEHICULAR NON-ACCESS EASEMENT
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- SHEET 06 - STREET NAME MAP



SHEET
04 OF 06

CVL PROJECT #: 1-01-01441

DATE: 06/07/2021

PLZV-20-00029

LOT AREA TABLE	
LOT #	AREA (SQUARE FEET)
1	2,195
2	2,147
3	2,110
4	2,109
5	2,109
6	2,109
7	2,109
8	2,109
9	2,115
10	2,126
11	2,236
12	2,532
13	2,239
14	2,239
15	2,239
16	2,239
17	2,239
18	2,239
19	2,180
20	2,110
21	2,109
22	2,109
23	2,109
24	2,109
25	2,109

LOT AREA TABLE	
LOT #	AREA (SQUARE FEET)
26	2,109
27	2,109
28	2,109
29	2,109
30	2,109
31	2,109
32	2,109
33	2,110
34	2,110
35	2,110
36	2,110
37	2,110
38	2,109
39	2,110
40	2,109
41	2,199
42	2,224
43	2,233
44	2,138
45	2,134
46	2,130
47	2,127
48	2,123
49	2,119
50	2,115

LOT AREA TABLE	
LOT #	AREA (SQUARE FEET)
51	2,109
52	2,109
53	2,109
54	2,109
55	2,109
56	2,109
57	2,119
58	2,228
59	2,177
60	2,122
61	2,119
62	2,109
63	2,109
64	2,109
65	2,109
66	2,109
67	2,109
68	2,109
69	2,052
70	2,114
71	2,282
72	2,241
73	2,270
74	2,239
75	2,239

LOT AREA TABLE	
LOT #	AREA (SQUARE FEET)
76	2,239
77	2,239
78	2,239
79	2,239
80	2,230
81	2,233
82	2,239
83	2,239
84	2,239
85	2,239
86	2,239
87	2,239
88	2,239
89	2,233
90	2,191

TRACT AREA TABLE			
TRACT	AREA (SF)	AREA (ACRES)	DESCRIPTION
TRACT A	22101.69	0.507	OPEN SPACE/LANDSCAPE TRACT/DRAINAGE
TRACT B	3472.16	0.080	OPEN SPACE/LANDSCAPE TRACT
TRACT C	2768.15	0.064	OPEN SPACE/LANDSCAPE TRACT
TRACT D	74537.97	1.711	OPEN SPACE/LANDSCAPE TRACT/RETENTION
TRACT E	9842.91	0.226	OPEN SPACE/LANDSCAPE TRACT
TRACT F	1839.94	0.042	OPEN SPACE/LANDSCAPE TRACT
TRACT G	50180.67	1.152	PRIVATE DRIVE/WATER/SEWER
TOTAL	164743.46	3.782	

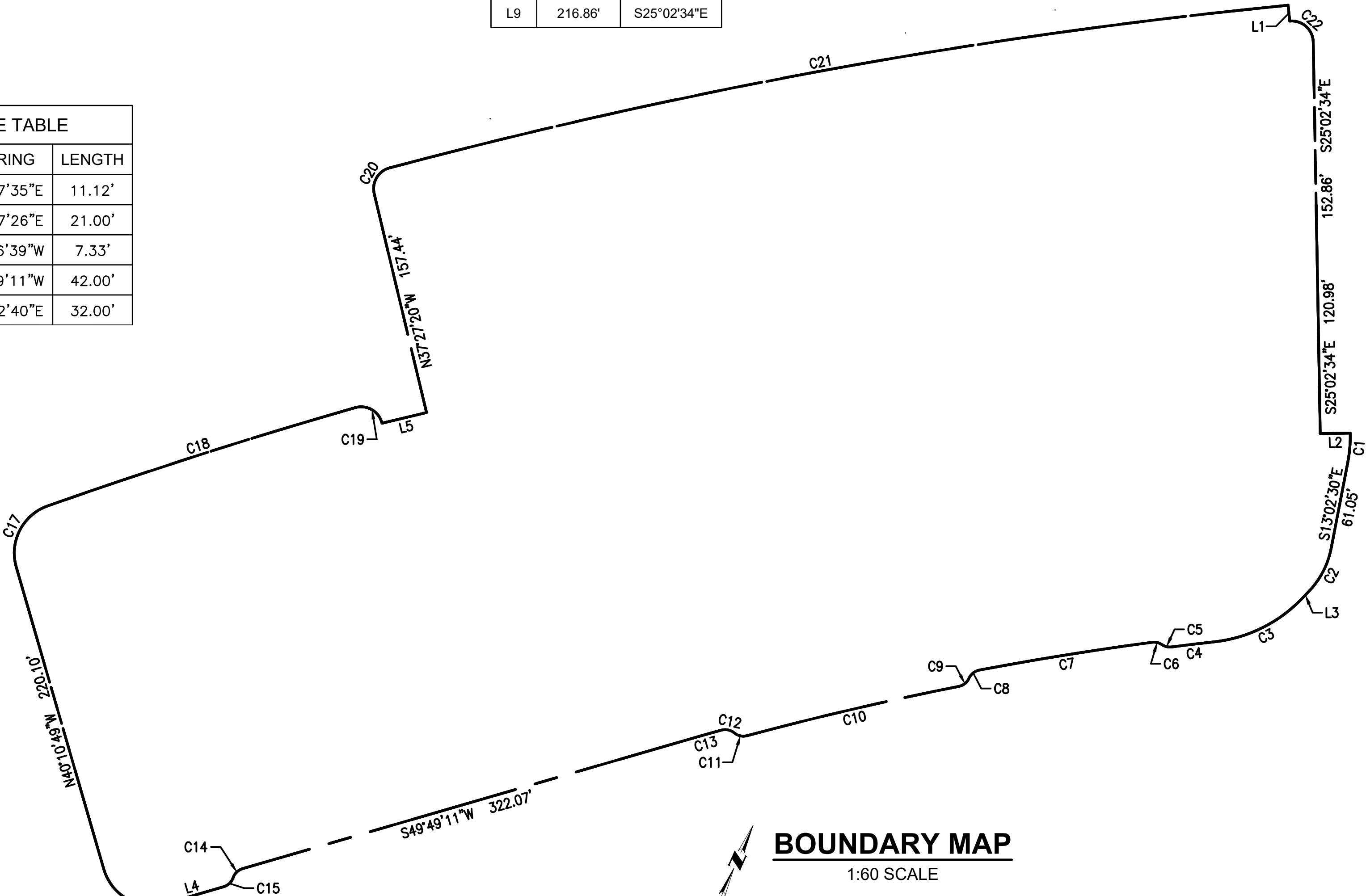
CENTERLINE CURVE TABLE						
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD-BEARING
C1	41.93'	1000.00'	002°24'09"	20.97'	41.93'	S38°58'44"E
C2	47.42'	210.00'	012°56'18"	23.81'	47.32'	S31°30'43"E
C3	28.76'	190.00'	008°40'21"	14.41'	28.73'	N29°22'45"W
C4	41.33'	400.00'	005°55'12"	20.68'	41.31'	N28°00'10"W
C5	26.94'	198.40'	007°46'44"	13.49'	26.92'	N21°09'12"W
C6	210.21'	800.00'	015°03'18"	105.71'	209.60'	S57°20'50"W

CENTERLINE TABLE		
NO.	LENGTH	BEARING
L1	193.35'	S40°15'18"E
L2	401.20'	S49°49'11"W
L3	81.90'	N40°10'49"W
L4	206.03'	N37°46'40"W
L5	10.40'	N37°58'52"W
L6	206.37'	N25°02'34"W
L7	24.99'	N33°42'55"W
L8	35.07'	S30°57'46"E
L9	216.86'	S25°02'34"E

BOUNDARY TABLES

CURVE TABLE						
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD-BEARING
C1	20.95'	100.00'	012°00'09"	10.51	20.91	S19°02'32"E
C2	34.08'	59.50'	032°49'09"	17.52	33.62	S03°22'05"W
C3	69.04'	99.50'	039°45'14"	35.97	67.66	S39°39'16"W
C4	30.48'	2222.50'	000°47'09"	15.24	30.48	S59°08'18"W
C5	7.20'	10.00'	041°14'24"	3.76	7.04	S79°21'56"W
C6	7.26'	10.00'	041°34'50"	3.80	7.10	S79°11'43"W
C7	122.26'	2227.50'	003°08'41"	61.14	122.24	S56°49'57"W
C8	9.62'	10.00'	055°05'50"	5.22	9.25	S27°42'17"W
C9	9.55'	10.00'	054°42'35"	5.17	9.19	S27°29'58"W
C10	151.88'	2219.00'	003°55'18"	75.97	151.85	S52°52'40"W
C11	9.55'	10.00'	054°41'24"	5.17	9.19	S78°15'43"W
C12	9.62'	10.00'	055°06'21"	5.22	9.25	S78°03'15"W
C13	26.27'	2227.50'	000°40'33"	13.14	26.27	S50°09'27"W
C14	9.58'	10.00'	054°54'10"	5.19	9.22	S22°22'06"W
C15	9.58'	10.00'	054°54'10"	5.19	9.22	S22°22'06"W
C16	54.98'	35.00'	090°00'00"	35.00	49.50	N85°10'49"W
C17	52.93'	35.00'	086°38'57"	33.01	48.03	N03°08'39"E
C18	225.80'	3784.24'	003°25'08"	112.94	225.77	N48°15'08"E
C19	24.24'	15.00'	092°36'20"	15.70	21.69	S83°44'49"E
C20	23.18'	15.00'	088°31'30"	14.62	20.94	N06°48'25"E
C21	639.13'	3935.48'	009°18'18"	320.27	638.43	N55°43'18"E
C22	24.76'	15.00'	094°35'01"	16.25	22.04	S72°20'05"E
C23	229.54'	3800.24'	003°27'38"	114.80	229.50	S48°16'23"W
C24	47.32'	31.00'	087°27'33"	29.65	42.86	N06°16'26"E
C25	724.95'	3951.48'	010°30'42"	363.50	723.93	S55°53'13"W
C26	688.13'	2200.00'	017°55'17"	346.90	685.33	S58°46'49"W

LINE TABLE		
NO.	BEARING	LENGTH
L1	S29°37'35"E	11.12'
L2	N64°57'26"E	21.00'
L3	S19°46'39"W	7.33'
L4	S49°49'11"W	42.00'
L5	N52°32'40"E	32.00'



BOUNDARY MAP

1:60 SCALE

PRELIMINARY PLAT
FOR
VERRADO HERITAGE
PARCEL 4.805

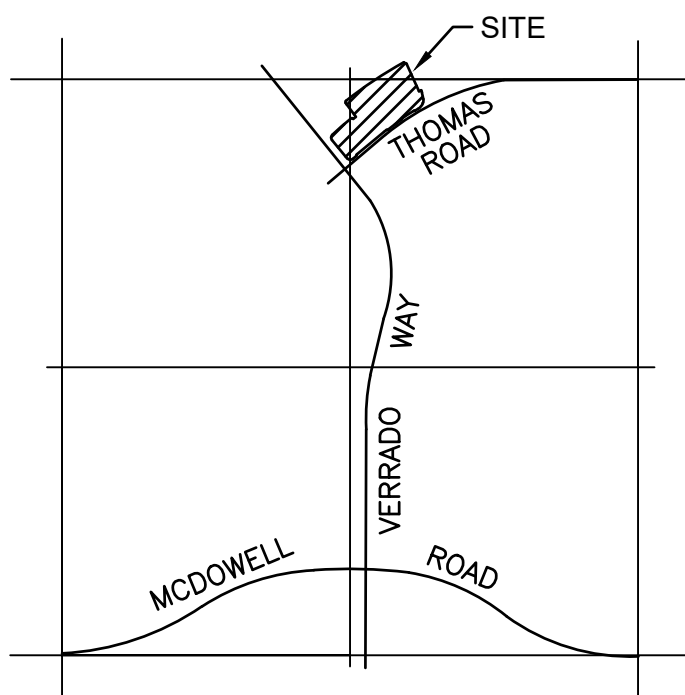
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05 OF 06
CVL PROJECT #: 1-01-01441

DATE: 06/07/2021

PLZV-20-00029

