



CITY OF CHARLES TOWN

PLANNING COMMISSION

AGENDA • AUGUST 26, 2024

**Commission/Board
Meeting**

CITY HALL

7:00 PM

101 E Washington Street, Charles Town, WV 25414

1. CALL TO ORDER

2. APPROVAL OF MINUTES

2.1 : DRAFT Minutes of July 22, 2024

1. [7.22.24 PC MINUTES_DRAFT.pdf](#)

3. UNFINISHED BUSINESS

3.1 : *Commission Review: SLD2024-05 - Huntfield Phase 3B Final Plan Amendment*

1. [Staff Report.pdf](#)

2. [_Application.pdf](#)

3. [_Parking_Exhibit.pdf](#)

4. [_Phase_3B_Revision_Update.pdf](#)

5. [_September_2023_change_request.pdf](#)

6. [_City_of_Charles_Town_Letter_to_DRA.pdf](#)

7. [_2006-05-22_Planning_Commission_Minutes.pdf](#)

8. [Huntfield COA Revised.pdf](#)

9. [Huntfield Zones Map.pdf](#)

4. NEW BUSINESS

4.1 : **Public Hearing:** *WV2024-03 - Tri-State Waiver from Sidewalk Requirements*

1. [Staff Report.pdf](#)

2. [Application.pdf](#)

3. [Sketch Plan.pdf](#)

4.2 : **Public Hearing:** *SLD2024-02 - Tri-State Preliminary Plan*

-APPLICANT REQUESTS ITEM BE TABLED

4.3 : **Public Hearing:** *ZMA2024-03 - Ann Street Planned Unit Development*

-APPLICANT REQUESTS ITEM BE TABLED

1. [Staff Report.pdf](#)

2. [Application.pdf](#)

3. [Narrative.pdf](#)

4. [Sketch Plan.pdf](#)

5. ADJOURNMENT

6. NOTICE: The Public May View the Meeting Live by Clicking on the Event Link at:

<https://www.charlestownwv.us/government/agendas-and-minutes/>



Planning Commission

101 East Washington Street

Charles Town, WV 25414

Meeting: 08/26/24

Department: Planning

Commission

Category: Report

Initiator:

SCHEDULED

AGENDA ITEM (ID #)

DRAFT Minutes of July 22, 2024

ATTACHMENTS:

- [1. 7.22.24 PC MINUTES_DRAFT.pdf](#)



CITY OF CHARLES TOWN

PLANNING COMMISSION

AGENDA • JULY 22, 2024

Committee Meeting

CITY HALL

6:00 PM

101 E Washington Street, Charles Town, WV 25414

1. CALL TO ORDER SPECIAL WORK SESSION AT 6:02 PM

Present: Ann Paonessa - Chair
Jessica Derr
Zakhary Dunning
Jeff Hynes
Kevin Long

James Newman, City Staff - Zoning Administrator
Kim Crosson, City Staff - Absent

2. APPROVAL OF MINUTES

2.1: Work Session Minutes of June 24, 2024

RESULT:	Approved
MOVER:	Long
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

**2.2: Regular Session Minutes of June 24, 2024 approved subject to the following:
Page 2, correct projection to project**

RESULT:	Approved
MOVER:	Derr
SECONDER:	Long
AYES:	Derr, Dunning, Hynes, Long, Paonessa

3. UNFINISHED BUSINESS

None

4. NEW BUSINESS

4.1: SLD2024-04 – Tractor Supply Final Plans Amendment

Staff gave presentation

John Maus, Applicant's architect – provided details regarding shade structure and confirmed the shade device is retractable

Motion to open public hearing

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Dunning
AYES:	Derr, Dunning, Hynes, Long, Paonessa

No Comment.

Motion to close public hearing.

RESULT:	Approved
MOVER:	Long
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Motion to approve Tractor Supply Final Plans Amendment

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.2: SLD2024-05 – Huntfield Phase 3B Final Plans Amendment

Staff gave presentation

Matt Stare, Applicant Representative – Provided an overview of purposed changes and discussed prior revision approval. Stated no changes to density or road layout.

PC Discussion and questions

Matt Stare, Applicant Representative – Provided details regarding driveways being like those along Union Ridge or longer. Discussed parking.

PC Discussion and questions

Matt Stare, Applicant Representative – Agreeable to meeting with residents, and have reached a proffer agreement to be reviewed by City Council.

Motion to open public hearing

RESULT:	Approved
MOVER:	Derr
SECONDER:	Hynes
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Julia Rice, Charles Town WV – Keep garages in rear with alley access. Shouldn't have primary façade be garage doors. Keep it New Urbanist. Alleyways are part of urban design.

Judie Price, Charles Town, WV – New Urbanist design is attractive and neighborly. Concerned about the impact on traffic calming if median and on street parking are removed.

Anthony Burmeister, Charles Town, WV – New Urbanist style and medians are attractive. Concerned about parking. Concerned about trash and debris if alleys are removed.

Motion to close public hearing

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Matt Stare, Applicant Representative – Current proffers allow for 40% of units to be frontloaded. Removing the median allows for left turns from driveways.

Motion to table SLD2024-05 Huntfield Phase 3B Final Plans Amendment until CoA revisions are complete.

RESULT:	Approved
MOVER:	Dunning
SECONDER:	Hynes
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.3: BR2024-11 – Tate Manor Bond Release Request

Staff gave presentation

Motion to open public hearing

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Long
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Michelle McDonald, President of HOA – Questions regarding inspections of stormwater ponds, easement ownership and tax liens.

Louis Brown, Charles Town, WV – Questions regarding easement ownership and road access to other developments. Requesting clarity regarding what exactly is trying to be accessed.

Staff spoke in response to public inquiries and questions.

Motion to close public hearing

RESULT:	Approved
MOVER:	Derr
SECONDER:	Dunning
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Matt Stare, Applicant Representative – Spoke about stormwater ponds and inspection process.

PC requested checklist from Kimley-Horn

Motion to recommend approval of BR2024-11 – Tate Manor Bond Release Request
subject to: Kimley-Horn to provide checklist

RESULT:	Approved
MOVER:	Derr
SECONDER:	Long
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.4: BR2024-10 – Hillside Townhomes Bond Initiation

Staff gave presentation.

Motion to recommend approval of BR2024-10 – Hillside Townhomes Bond Initiation

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Long
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.5: SLD2024-02 - Tri-State Sketch Plan Completeness Review

Motion to remove SLD2024-02 - Tri-State Sketch Plan Completeness Review from the table

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Staff gave presentation.

Motion to find application for SLD2024-02 - Tri-State Sketch Plan Completeness Review
complete

PC Discussion

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.6: WV2024-01 – Tri-State Parking Waiver Request

Staff gave presentation.

PC Discussion and questions.

Motion to open public hearing

RESULT:	Approved
MOVER:	Long
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

No comment.

PC Discussion and questions

Chris Hill, Applicant – Spoke in response to questions and inquiries regarding parking

Motion to close public hearing

RESULT:	Approved
MOVER:	Long
SECONDER:	Dunning
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Motion to approve WV2024-01 – Tri-State Parking Waiver Request made by Derr

Amended motion to approve WV2024-01 – Tri-State Parking Waiver Request

Motion to approve WV2024-01 – Tri-State Parking Waiver Request subject to the following:
a condition that 24 parking spaces shall be set aside for resident parking only and shall be visibly marked or provided with signage to meet that affect.

PC Discussion and Questions

RESULT:	Approved
MOVER:	Derr
SECONDER:	Hynes
AYES:	Derr, Dunning, Hynes, Long, Paonessa

4.7: SLD2024-02 – Tri-State Sketch Plan Review

Staff presentation.

Motion to open public hearing

RESULT:	Approved
MOVER:	Dunning
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

No comment.

Motion to close public hearing

RESULT:	Approved
MOVER:	Dunning
SECONDER:	Hynes
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Motion to recommend approval of SLD2024-02 – Tri-State Sketch Plan Review

PC Discussion and questions

RESULT:	Approved
MOVER:	Derr
SECONDER:	Hynes

AYES:	Derr, Dunning, Hynes, Long, Paonessa
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4.8: TXA2023-09 – Neighborhood Residential Uses Update

Motion to open public hearing

RESULT:	Approved
MOVER:	Derr
SECONDER:	Hynes
AYES:	Derr, Dunning, Hynes, Long, Paonessa

No comment.

Motion to close public hearing

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Motion to recommend approval of SLD2024-02 – Tri-State Sketch Plan Review

PC Discussion and questions

Amended motion to recommend approval of SLD2024-02 – Tri-State Sketch Plan Review subject to the following: Amend motion to provide a definition of 'PA' and what an 'Accessory Use' is.

RESULT:	Approved
MOVER:	Hynes
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Motion to adjourn

RESULT:	Approved
MOVER:	Long
SECONDER:	Derr
AYES:	Derr, Dunning, Hynes, Long, Paonessa

Meeting adjourned at 8:48 pm.



Planning Commission

101 East Washington Street

Charles Town, WV 25414

Meeting: 08/26/24

Department: Planning

Commission

Category: Report

Initiator:

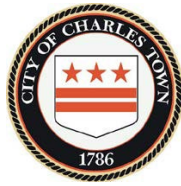
SCHEDULED

AGENDA ITEM (ID #)

Commission Review: SLD2024-05 - Huntfield Phase 3B Final Plan Amendment

ATTACHMENTS:

- [1. Staff Report.pdf](#)
- [2. _Application.pdf](#)
- [3. _Parking_Exhibit.pdf](#)
- [4. _Phase_3B_Revision_Update.pdf](#)
- [5. _September_2023_change_request.pdf](#)
- [6. _City_of_Charles_Town_Letter_to_DRA.pdf](#)
- [7. _2006-05-22_Planning_Commission_Minutes.pdf](#)
- [8. Huntfield COA Revised.pdf](#)
- [9. Huntfield Zones Map.pdf](#)



Final Plans Change Review
SLD2024-05

Date: For the August 26, 2024 Planning Commission meeting

Applicant: Matthew Stare on behalf of DR Acquisitions LLC

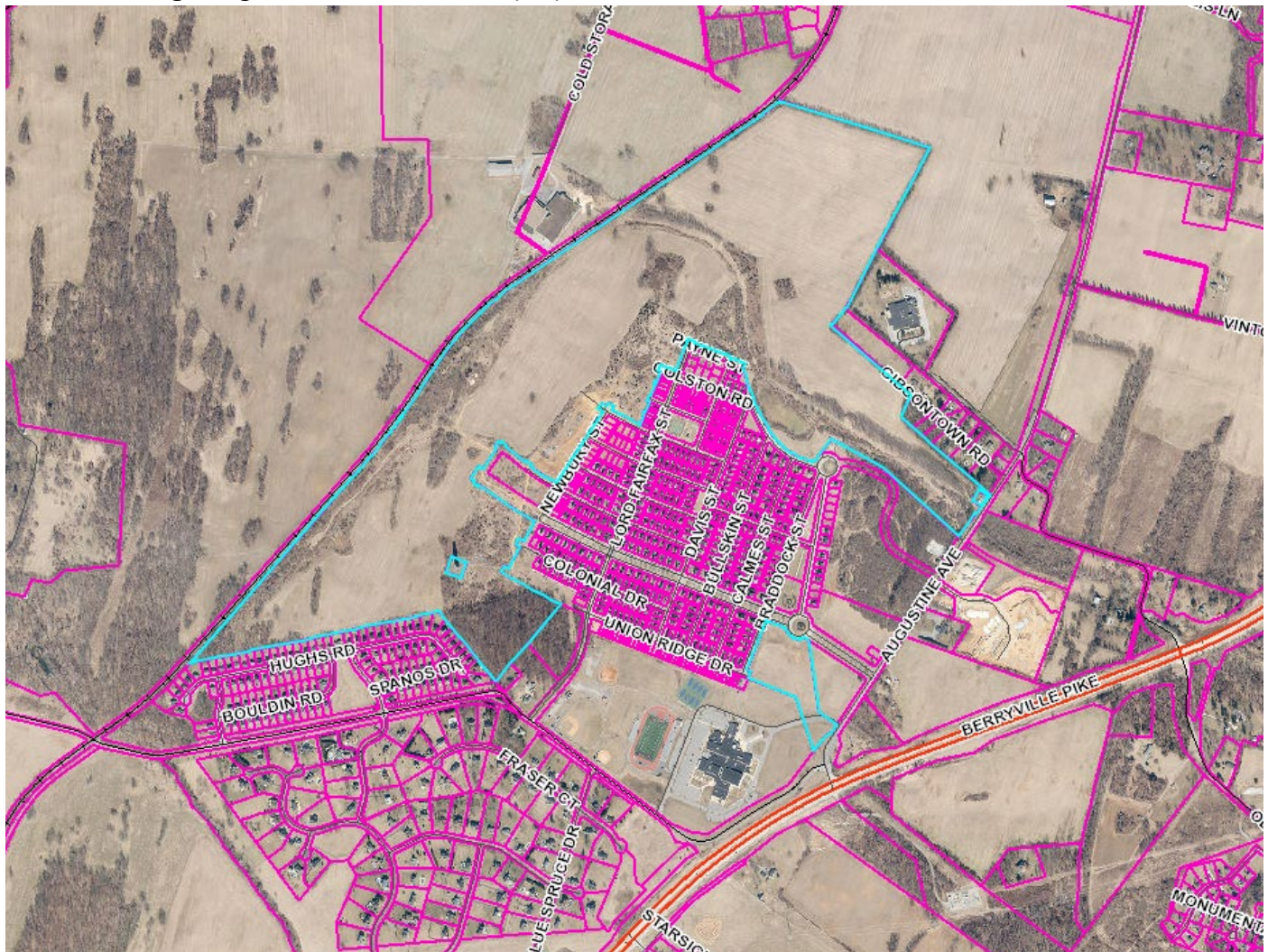
Property Owner: DR Acquisitions LLC

Report by: James Newman, City Planner, Zoning/Subdivision Administrator.

Proposal: Change of plans

Property Location: TD 03 / Map: 11 / Pcl: 1.

Current Zoning: Neighborhood Residential (NR)



PROJECT OVERVIEW

Request by DR Acquisitions to modify a final plan for Huntfield Phase 3B. The changes alter the road design by removing medians and on-street parking; changing the parking access to dwellings from rear access to front-load garages; changing an alley from an access road to open space; and adjusting sidewalk location, amongst other changes.

PLANNING COMMISSION

This item was approved by the Planning Commission on May 22, 2006. In a letter dated May 23, 2021, then City manager Darryl Hennessy stated that *“the City will honor previously approved plans for partially developed project phases...”*. Both the Planning Commission minutes and that letter are attachments to this staff report.

As the City has chosen to honor the 2006 plans, and because the applicant is making changes to those plans, a public hearing is required.

The Planning Commission considered the proposed revisions at their meeting on August 28, 2023. There were three public comments, two opposed and one with questions. The Commission discussed the item and table action to the September 25 meeting, at which time the request for change approval was denied by the Commission.

The Commission held a new hearing for these revisions on July 22, 2024. Three members of the public spoke during comment period, with a focus on maintaining the traditional design of the neighborhood. The Commission voted to table action on this until proposed Conditions of Annexation revisions had been adopted by City Council.

FINAL PLAN – APPLICATION REVIEW DIVERGENCE - UPDATE

This item is presented to the public and the Planning Commission under Subdivision Ordinance Section 1332.09, Amendment of Approved Final Plan and Plats, and specially under section 2. That Code language states:

“1. If the amendments and changes proposed in an application to amend would, if proposed in an original S/LD Application to be made to land existing in the condition reflected in the approved Final Plat, constitute a Minor Subdivision/Land Development (such as creation of a Utility Lot or a merger of lots), then the Subdivision Administrator may approve, approve with conditions, or deny the proposed amendment. The proposed amendment will be approved if it meets all requirements of this Ordinance. Upon such approval, the revised Final Plat shall be stamped and signed on behalf of the Planning Commission and thereafter recorded as the Final Record Plat.

2. If the amendments and changes proposed in an application do not qualify for approval by the Subdivision Administrator under the test in Section 1332.09(B)(1), then the Planning Commission shall consider the application to amend after a publicly-noticed public hearing. The Planning Commission may approve, approve with conditions, or deny the proposed amendment. The proposed amendment will be approved if it meets all requirements of this Ordinance. Upon such approval, the revised Final Plat shall be stamped and signed on behalf of the Planning Commission and thereafter recorded as the Final Record Plat.”

SUBDIVISION/LAND DEVELOPMENT ORDINANCE CRITERIA

1. Section 1333.01.C *Blocks shall have a maximum perimeter boundary length of 2,050 feet and the block layout should uphold the pattern of existing blocks where applicable.*

Lord Fairfax Street has a consistent pattern of block design. The road is two lanes divided by a vegetated median. There is on-street parking on both sides of the road, and curb cuts exist only for alley access.

The proposed changes would bring a variety of curb cuts to this block. However, since the last time this application was reviewed by the Planning Commission (September 2023), the applicant has modified the plans to include additional on-street parking on Abigail and Westmoreland Streets, and shifted on-street parking from the south side of Newbury St. to the north side of Newbury St.

The median is still proposed to be removed, which, while not keeping in character with Lord Fairfax Street overall, is complementary with the adjacent block which also lacks a median.

2. Section 1333.02.C.3.D. *Neighborhood Center Streets link neighborhoods with collector Streets. They are similar to Minor Collector Streets, but with greater emphasis on traffic calming measures and lower speeds. Direct access to abutting Lots is permitted. Street parking is permitted.*

Lord Fairfax Street functions as a neighborhood center street. In comparison, Berryville Pike is a primary street, Augustine Avenue is a major collector street, Prospect Hill Boulevard is a minor collector street, Lord Fairfax is a neighborhood center street.

Per Table 1333.02, on-street parking is required on both sides of a neighborhood center street. Even if Lord Fairfax were considered a lower impact *neighborhood street*, it would be required to have on-street parking on one side of the road.

Considering that the proposed plans specifically remove on-street parking from single-family (eastern) side of the road, and that the townhome (western) side of the road will be perforated with curb cuts for the proposed front-loading units, on-street parking on that street will be limited to non-existent.

On-street parking serves an important purpose. Besides providing additional room for vehicle storage, it also serves as a traffic calming measure. When combined with the originally design median, on-street parking reduces the width of the travel, which can force drivers to lower their speeds. Lower vehicle speeds allows for a safer pedestrian environment, which is especially useful in a residential designed neighborhood with lots of residents.

The applicant proposed mitigation for this is the provision of eight additional parking spaces on Abigail Street and six additional spaces on Westmoreland Street. Assuming each parallel parking space is 22 ft wide per the Ordinance, the amount of on-street parking being lost on Lord Fairfax is approximately 21 spaces, so the proposed changes would lead to a net loss of 8 on-street parking spaces.

The applicant states that the townhome units can be pushed back allowing for driveway parking therefore adding 33 parking spaces

ADDITIONAL CHANGES

In the September 2023 revisions, the seven townhomes at the intersection of Brandywine St. and Abigail St. were designed to have the rear access alley removed and the units made to frontload. The applicant has removed those revisions so the units are rear loaded with alley access as originally planned.

CONDITIONS OF ANNEXATION

City Council approved revision to the Conditions of Annexation on August 19, 2024.

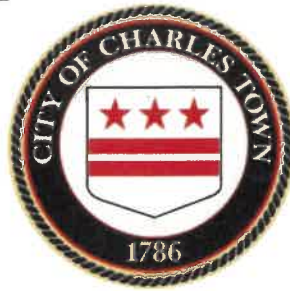
CONCLUSION

The proposed changes would remove a median and on-street parking from Lord Fairfax Street, and add additional on-street parking to Abigail St. and Westmoreland St. The townhomes facing Newbury St. and Lord Fairfax St. would be converted from rear load to front-load, with driveways.

RECOMMENDATION

Approval.

S/LD Application No. _____



RECEIVED

JUN 14 2024

BY: V6

SUBDIVISION AND LAND DEVELOPMENT APPLICATION

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

ARTICLE 1332, SUBDIVISION AND LAND DEVELOPMENT APPLICATION & APPROVAL REQUIREMENTS

To assist the Subdivision Administrator in the review of a Subdivision and Land Development (S/LD) Application, the Applicant must utilize this form to supply the City with the information prescribed under Section 1332.03 of the Charles Town Subdivision Ordinance. The submission of this form, along with the prescribed information and required fees, shall serve as the Applicant's S/LD Application as required by Ordinance Section 1332.03.

1. DATE June 13th, 2024

2. APPLICATION TYPE ☐ Minor Subdivision | Final S/LD Plan

☒ Major Subdivision Development*

- Preliminary S/LD Plan and Final Plat

☐ Major Land Development**

- Preliminary S/LD Plan

☐ Major Subdivision and Land Development***

- Preliminary S/LD Plan and Final Plat

*Conventional Subdivision – A Preliminary Plan and Plat Approval and a Final Plan and Plat Approval is required.

**No Division/Merger of Land – A Preliminary Plan and Plat Approval is required for the submission of a building or multiple buildings on one lot where there is no subdivision of land (commonly referred to as a site plan).

***A Preliminary Plan and Plat Approval and a Final Plan and Plat Approval is required for the submission of a building or multiple buildings that will require the merger, adjustment or subdivision of land.

3. APPLICANT'S NAME* Matthew Stare - DR Aquisitions

Address: 7945 Wormans Mill Rd. Frederick, MD 21701

Telephone Number (240)420-6046 Ext 2031 Fax Number ()

Email Address mstare@drbgroup.com

4. PROPERTY OWNER'S NAME Matthew Stare - DR Aquisitions

Address: 7945 Wormans Mill Rd. Frederick, MD 21701

Telephone Number (240) 420-6046 Ext 2031 Fax Number ()

Email Address mstare@drbgroup.com

5. LEGAL DESCRIPTION OF THE SUBJECT PROPERTY (list all parcels that apply)

Property Address: _____

Tax Map # and Parcel: 03 11000100000000

Deed Book and Page #: _____

Property Area in Square Feet or Acres: 284.98 Acres

6. DESCRIPTION OF PROJECT AND PROPOSED USE(S) OF THE PROPERTY:

Residential

7. DESCRIPTION OF THE EXISTING (OR FORMER) USE(S) OF THE PROPERTY AND CURRENT ZONING:

PUD

*Applicants include: Property owner(s), Engineer(s), Surveyor(s), or Consultant(s)

8. ARE THERE ANY ANTICIPATED WAIVERS OR VARIANCES? IF YES, PROVIDE DETAILS.

None

9. PARCEL HISTORY (List all pending or previously approved applications on the subject parcels inventoried above, including previous site plan applications if this application is a site plan amendment)

Application No.	Project Name and Phase	Status	Approval Date
	Huntfield, Phase 3B	Approved	5/22/2006

10. HAS THE PROPERTY BEEN THE SUBJECT OF ANY COURT ACTION?

☐ Yes (Please specify nature of all proceedings and current status and attach any documents showing court decisions, etc.)

☒ No

11. PLAN/PLAT SUBMISSION TO OTHER AGENCIES (Documentation of all required approvals must be attached to this Application or submitted prior to Preliminary S/LD Application approval)

Agency (Specify others as applicable)	Submittal Date	Approval/Permit Issued	Date of Approval/Issuance
City of Charles Town			
City of Charles Town			
Utility Board			
Jefferson County			
Planning and Zoning Department			
Jefferson County			
Addressing Office			
Jefferson County			
Board of Education			
WV Department of Environmental Protection			
WV Department of Transportation, Division of Highways			
WV State Historic Preservation Office			
WV Office of Environmental Health Services			
U.S. Army Corps of Engineers			

12. FEE CALCULATION (Per Fee Schedule)

AMOUNT PAID \$ 200.00

APPLICANT CERTIFICATION

I certify that, to the best of my knowledge, the submitted information and statements are true and correct. I also certify that I have received and read Section 1332.03 of the Charles Town S/LD Ordinance and relevant provisions of the Charles Town City Code.

Signature of Applicant

 Date 6/13/2024

Signature of Property Owner (If different than Applicant)

_____ Date _____

Please submit an original completed Application and specified number of Plan/Plat (Three (3) copies at 24" x 36", Adobe PDF format, and Five (5) copies at 11" x 17") copies to the following:

Subdivision Administrator
City of Charles Town
101 E. Washington Street
Charles Town, WV 25414

FOR CITY USE ONLY

Application Number: _____ Date Application Received: _____

Fee: \$ _____ Paid: \$ _____ Check No. _____

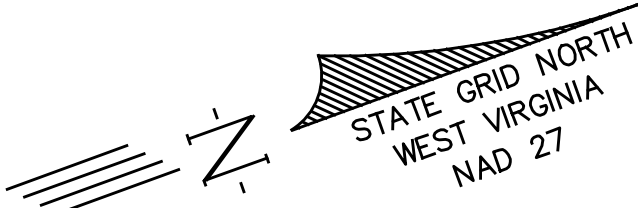
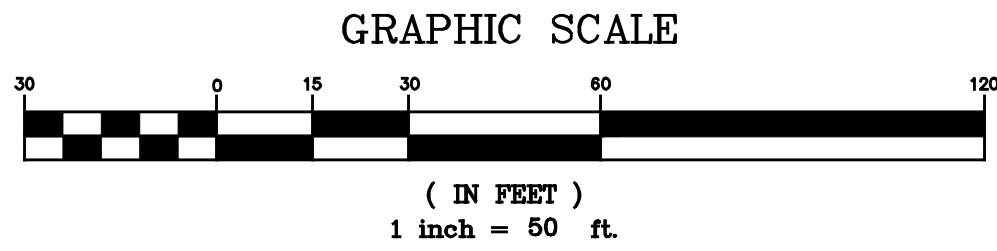
Receipt No. _____

Subdivision Administrator Approval: _____ Date: _____

Planning Commission Approval: _____ Date: _____

Comments/Conditions: _____

	PARKING COMPS			
	APPROVED		PROPOSED	
	LOT COUNT	PARKING COUNT	LOT COUNT	PARKING COUNT
STREET PARKING	-	106	-	90
SFA FRONT LOAD (2/LOT)	-	-	33	66
SFA REAR LOAD (1/LOT)	48	48	15	15
SFD FRONT LOAD (2/LOT)	19	38	19	38
SFD REAR LOAD (1/LOT)	7	7	7	7
TOTAL		199		216
REQUIRED 1.8*#LOTS		133		133



SEE SHEET 06 FOR
MATCHLINE

Converted back
to rear loaded

Existing road profile
- No Median

Added Parking

Access easment
- Same width as
approved pans

Front of units can
be pushed back to
allow for nose to
tail parking adding
33 parking spaces
to the above
graph

PLAN DATE

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

205 FIRST ROAD, SUITE 105

PURCELLVILLE, VIRGINIA 20132

PHONE: (703) 994-4047

MRAGTA.COM

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HUNTFIELD PARKING EXHIBIT

SCALE: 1"=30'

SHEET
1
OF
1

DATE: 2024-04-15

C.I. = 2'

REVISIONS

No.	DATE	DESCRIPTION

CONSTRUCTION PLANS AND PROFILES

REVISION TO SITE PLAN STPL 2004-0006

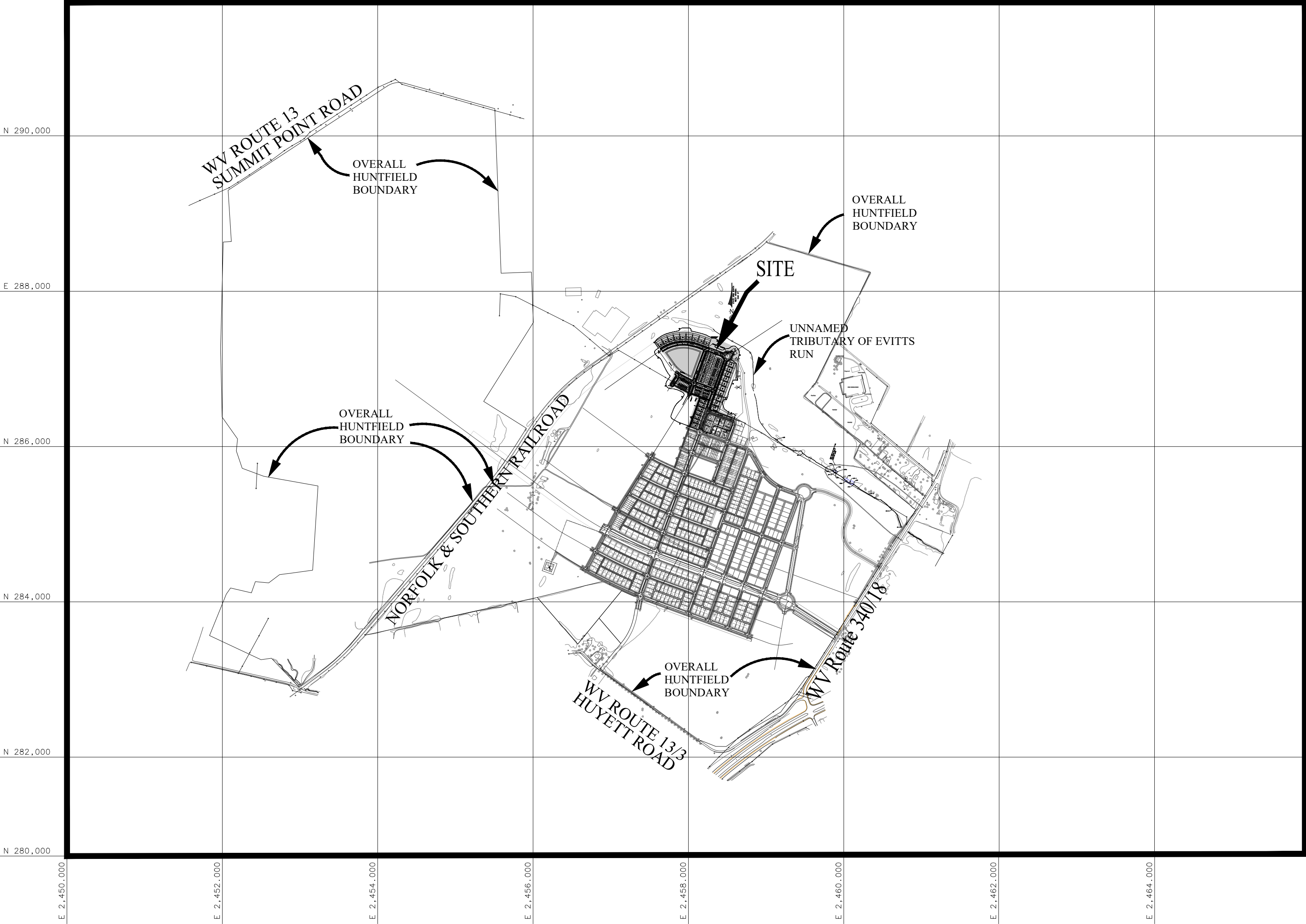
LOTS 467-550, PHASE 3B

CHARLES TOWN CORPORATION

JEFFERSON COUNTY, WV

GENERAL NOTES

- THIS SET OF DRAWINGS PERTAINS TO PHASE 3B OF HUNTFIELD, WHICH CONSISTS OF A TOTAL SITE AREA OF 22.6 ACRES. PHASE 3B CONTAINS 3,5329 ACRES OF OPEN SPACE, 36 SFD LOTS AND 48 SFA LOTS FOR A COMBINED TOTAL OF 84 RESIDENTIAL LOTS. REFERENCE WAS MADE TO THE SCHEMATIC PLAN "HUNTFIELD OVERALL COMPOSITE SCHEMATIC PLAN" (SCHM 2004-0002) APPROVED APRIL 12, 2005. NOTE THAT THE "HUNTFIELD COMPOSITE SCHEMATIC" IS COMPOSED OF SEVERAL SITE PLANS. THIS SET OF PLANS PERTAINS TO A SMALL SECTION OF THE SCHEMATIC. THESE PLANS SHALL BE IN CONFORMANCE WITH THE APPROVED SCHEMATIC PLAN & ALL ZONING REQUIREMENTS INCLUDING THOSE MODIFIED IN THE HUNTFIELD PROFFERS. ALL OPEN SPACE, RESIDENTIAL, AND COMMERCIAL REQUIREMENTS SHALL CORRESPOND TO THOSE SET FORTH IN THE SCHEMATIC.
- THE PROPERTY DELINEATED HEREON IS A PORTION OF PARCEL 1, AS SHOWN ON CHARLES TOWN CORPORATION TAX ASSESSMENT MAP 11, DEED BOOK 949, PAGE 203, WHICH IS LOCATED AMONG THE LAND RECORDS OF JEFFERSON COUNTY
- BOUNDARY INFORMATION, SHOWN HEREON, WAS OBTAINED FROM A PLAT SHOWING HUNTFIELD, LC PROPERTY AS RECORDED IN THE OFFICE OF THE CLERK OF THE COUNTY COMMISSION OF JEFFERSON COUNTY, WEST VIRGINIA, IN PLAT BOOK 19, PAGE 49.
- TOPOGRAPHIC INFORMATION WAS OBTAINED FROM APPALACHIA SURVEY OF WEST VIRGINIA, LLC. BASIS FOR SURVEY WAS NAD'27-NAVD'88.
- THE PROPERTY SHOWN HEREON WAS ACQUIRED BY HUNT FIELD, AS RECORDED IN THE OFFICE OF THE CLERK OF THE COMMISSION OF JEFFERSON COUNTY, WEST VIRGINIA IN DEED BOOK 949, PAGE 203.
- THE HOMEOWNER'S ASSOCIATION INC. WILL BE RESPONSIBLE FOR THE MAINTENANCE OF STORM WATER DETENTION/DRAINAGE FACILITIES AND EASEMENTS. IN ADDITION THEY SHALL BE RESPONSIBLE FOR MAINTENANCE OF SIDEWALKS & STREET LIGHTS. THE WEST VIRGINIA DEPARTMENT OF HIGHWAY IS NOT RESPONSIBLE FOR MAINTENANCE OF SIDEWALKS AND STREET LIGHTS.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF CHARLES TOWN, WVDOH AND SANITATION AUTHORITY STANDARDS AND SPECIFICATIONS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE 1993 "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS".
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITY WHICH MAY BE REQUIRED BY THE CODE OF WEST VIRGINIA OR ANY OTHER ORDINANCE ENACTED BY THE CITY OF CHARLES TOWN.
- STANDARD GUARDRAILS AND HANDRAILS SHALL BE INSTALLED AT HAZARDOUS LOCATIONS AS DETERMINED DURING FINAL FIELD INSPECTION BY CITY OF CHARLES TOWN ANDR WVDOT.
- ALL UNDERGROUND UTILITIES WITHIN STREET RIGHT-OF-WAYS SHALL BE INSTALLED TO THE REQUIRED DISTANCE BEYOND THE RIGHT-OF-WAY LINE PRIOR TO THE INSTALLATION OF ANY SUBBASE MATERIAL, CURB AND GUTTER, OR SIDEWALK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF UTILITY OVERBLASTING FOR FUTURE EXTENSIONS WITH ALL ADJACENT SECTIONS.
- THESE PLANS MAKE NO REPRESENTATION AS TO SUBSURFACE CONDITIONS AND THE PRESENCE OF SUBSURFACE WATER OR THE NEED FOR SUBSURFACE DRAINAGE FACILITIES.
- ANY WELLS OR SEPTIC FIELDS WITHIN THE LIMITS OF THE SITE WILL BE ABANDONED IN ACCORDANCE WITH STATE AND LOCAL HEALTH DEPARTMENT REQUIREMENTS AND REGULATIONS PRIOR TO RECORD PLAT APPROVAL.
- THE SECTION DELINEATED HEREON CONTAINS NO KNOWN ARCHEOLOGICAL OR HISTORICAL LANDMARKS.
- CONTRACTORS SHALL ARRANGE FOR THE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE CONSTRUCTION INCLUDING TEST HOLES TO PHYSICALLY LOCATE UNDERGROUND UTILITIES AS NECESSARY.
- STREET SIGNS AND STOP SIGNS SHALL BE INSTALLED AT ALL INTERSECTIONS AND BE IN COMPLIANCE WITH ALL APPLICABLE ZONING AND CODIFIED ORDINANCE FOR THE CITY OF CHARLES TOWN.
- FINAL HOUSE AND ACCESSORY LOCATIONS ARE SUBJECT TO APPROVAL AT BUILDING PERMIT SUBMISSION.
- PARKING FOR THIS SITE PLAN WILL BE IN COMPLIANCE WITH ALL REQUIRED REGULATIONS.
- WETLAND INFORMATION OBTAINED FROM WETLAND DELINEATION REPORT PREPARED BY GREENHORNE AND O'MARA, INC. DATED JULY 14, 2000.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OR CONSTRUCTION OF ALL AREAS OR SITE IMPROVEMENTS SHOWN ON THE SITE PLAN, INCLUDING STREET SIGNS, TRAFFIC SIGNS, OPEN SPACE, RECREATIONAL FACILITIES, STORMWATER FACILITIES, SIDEWALKS, AND OTHER FACILITIES SHOWN ON THIS SITE PLAN.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING ALL IMPROVEMENTS AND AREAS UNTIL CONVEYANCE OF THE IMPROVEMENTS TO THE HOME OWNERS ASSOCIATION OR OTHER ENTITY. UPON RELEASE FROM THE ASSOCIATED PERFORMANCE RELATED BOND OR OTHER FORM OF SURETY BOND POSTED WITH THE CITY OR COUNTY, ALL OPEN SPACE PARCELS, ALLEYS, AND OTHER COMMON ELEMENTS SHALL BE CONVEYED TO HUNTFIELD COMMUNITY ASSOCIATION, INC AT WHICH TIME THE ASSOCIATION SHALL BE RESPONSIBLE FOR THE UPKEEP OF SUCH PARCELS. REFERENCE ARTICLE IV, SECTION 4.1, 4.2 AND 4.3 OF THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE HUNTFIELD COMMUNITY ASSOCIATION, INC, WHICH WAS RECORDED FEBRUARY 14, 2003 IN DEED BOOK 970 AT PAGE 154.
- THE OWNER MUST BOND ALL REQUIRED SITE IMPROVEMENTS PRIOR TO THEIR CONSTRUCTION.
- ALL STREETS SHOWN WITHIN THIS PLAN WITH THE EXCEPTION OF LORD FAIRFAX STREET ARE DEFINED AS LOCAL ROADS PER THE CRITERIA LISTED IN SECTION 906.05 (B) (1) OF THE AMENDMENT TO THE ZONING ORDINANCE OF THE CITY OF CHARLES TOWN WITH REGARD TO ARTICLE EIGHT-A NEIGHBORHOOD RESIDENTIAL (NR) AS ADOPTED MONDAY AUGUST 17, 1998. LORD FAIRFAX STREET IS DEFINED AS A COLLECTOR ROAD.
- ALL STREETS ARE TO BE DEDICATED TO THE CITY OF CHARLES TOWN PER ARTICLE 8A (E) (3) OF THE AMENDMENT TO THE ZONING ORDINANCE OF THE CITY OF CHARLES TOWN AS ADOPTED AUGUST 17, 1998. CONVEYANCE OF THE STREETS TO THE CITY WILL OCCUR UPON RELEASE FROM THE ASSOCIATED PERFORMANCE RELATED BOND OR OTHER FORM OF SURETY BOND POSTED WITH THE CITY OR COUNTY.
- THE CONTRACTOR SHALL OBTAIN A COPY OF THE MOST RECENT CHARLES TOWN UTILITY BOARD WATER AND SEWER SPECIFICATIONS AND INSTALL AND TEST THE LINES ACCORDING TO THESE STANDARDS. APPLICABLE CITY OF CHARLES TOWN STANDARD DETAILS FOR FIRE HYDRANTS, THRUST BLOCKING, WATER METERS, DROP MANHOLES, SANITARY LATERALS, AND PIPE TRENCHING SHALL BE USED DURING THE INSTALLATION OF THESE LINES.



VICINITY MAP

SCALE : 1"= 1000'

OWNER / DEVELOPER

DR AQUISITIONS, LLC
7945 WORMANS MILL RD.
FREDERICK, MD, 21701

REVISION NARRATIVE
-TOWNHOUSE UNITS ON LOTS 494-533 CONVERTED TO FRONT LOAD
-REMOVAL OF ALLEY 3B31 AND PORTION OF 3C32
-REMOVAL OF MEDIAN ALONG LORD FAIRFAX STREET
-REMOVAL OF PARKING ALONG NEWBURY STREET
-ADJUSTMENT OF ALL UTILITIES, INFRASTRUCTURE, PROFILES, AND COMPUTATIONS ASSOCIATED WITH THESE CHANGES

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE SEALED PLANS REASONABLY MEET OR EXCEED MINIMUM ACCEPTABLE ENGINEERING STANDARDS AND THOSE STATE AND COUNTY CODE PROVISIONS APPLICABLE ON SAID DATE.

JON K. ERICKSON, PE
MORRIS & RITCHIE ASSOCIATES

SURVEYOR'S CERTIFICATION

THE PERIMETER AND ALL LOT BOUNDARIES SHOWN HERON HAVE BEEN ESTABLISHED BY A NETWORK OF TRAVERSE CONTROL HAVING A RELATIVE ERROR OR CLOSURE OF 1 : 7,500 OR BETTER.

JON K. ERICKSON, PE
MORRIS & RITCHIE ASSOCIATES

STATEMENT OF ACCEPTANCE

THE DEVELOPER, IN SIGNING THIS PLAT, AGREES TO ABIDE BY ALL CONDITIONS, TERMS, AND SPECIFICATIONS PROVIDED HEREON.

DRB AQUISITIONS, LLC
7945 WORMANS MILL ROAD
FREDERICK, MD, 21701

SITE PLAN APPROVED

DATE: _____

PLANNING COMMISSION
CITY OF CHARLES TOWN, WV

SITE PLAN APPROVED

DATE: _____

JEREMY CAMP
ZONING ADMINISTRATOR AND CITY PLANNER
CITY OF CHARLES TOWN, WV

SHEET INDEX

- COVER
- STATUS
- 2A. STATUS
- OVERALL GRADING PLAN
- GRADING PLAN
- GRADING PLAN
- PLAN & PROFILE - Newbury Street & Brandywine Street
- PLAN & PROFILE - Lord Fairfax Street
- PLAN & PROFILE - Westmoreland Way
- PLAN & PROFILE - Abigail Street
- PLAN & PROFILE - Payne Street
- PLAN & PROFILE - Continental Circle & Misc. Profiles
- PLAN & PROFILE - Alley 4B32 & 4B31
- PLAN & PROFILE - Alley 4C34 & 4C32
- STORM SEWER PROFILES
- STORM SEWER PROFILES
- STORM SEWER COMPUTATIONS
- OVERALL DRAINAGE DIVIDES
- EROSION & SEDIMENT CONTROL PLANS
- E&S DETAILS
- E&S DETAILS
- LANDSCAPE PLANS
- PRELIMINARY RECORD PLAT
- PHASE LOCATION & PROPERTY ADJOINER MAP
- MISC. DETAILS

APPLICATION #	ASSOCIATED PROJECT	STATUS	APPROVAL DATE
STPL 2002-0001	HUNTFIELD, PHASE 1 SCHEMATIC	APPROVED	2/11/2002
SBRO 2002-0001	HUNTFIELD, PHASE 1 (SITE PLAN)	APPROVED	6/24/2002
RPOC 2003-0001	HUNTFIELD, PHASE 1 RECORD PLAT	APPROVED	7/29/2002
	HUNTFIELD, PHASE 1 (RECORD PLAT CORRECTION)	APPROVED	Recorded 9/9/03
	HUNTFIELD, REVISED PHASE 1A2A SCHEMATIC	APPROVED	10/22/2002
SPAM 2003-001	HUNTFIELD, PHASE 1 REVISED (SITE PLAN AMENDMENT)	APPROVED	5/28/2003
SBRO 2003-0001/RPAM 2003-0001	HUNTFIELD, PHASE 1 REVISED (RECORD PLAT AMENDMENT)	APPROVED	6/16/2003
SCHM 2003-0003	HUNTFIELD, COMPOSITE SCHEMATIC 1	APPROVED	5/28/2003
SPAM 2003-0002	HUNTFIELD, PHASE 1 BLOCK 1 REVISION (SITE PLAN AMENDMENT)	APPROVED	10/27/2003
RPAM 2003-0002	HUNTFIELD, PHASE 1 BLOCK 1 REVISION (RECORD PLAT AMENDMENT)	APPROVED	10/27/2003
STPL 2003-0001	HUNTFIELD, PHASE 2A (SITE PLAN)	APPROVED	5/28/2003
SBRO 2003-0002	HUNTFIELD, PHASE 2A RECORD PLAT	APPROVED	3/30/2004
SCHM 2003-0001	HUNTFIELD, PHASE 2B SCHEMATIC	APPROVED	2/24/2003
STPL 2003-0006	HUNTFIELD, PHASE 2B (SITE PLAN)	APPROVED	8/5/2004
SBRO 2004-0002	HUNTFIELD, PHASE 2B SECTION 1A RECORD PLAT	APPROVED	5/24/2004
SBRO 2004-0002	HUNTFIELD, PHASE 2B SECTION 1B RECORD PLAT	APPROVED	10/25/2004
STPL 2003-0009	HUNTFIELD, PHASE 3A (SITE PLAN)	APPROVED	5/24/2004
SBRO 2004-0003	HUNTFIELD, PHASE 3A SECTION 1 RECORD PLAT	APPROVED	5/24/2004
SBRO 2004-0003	HUNTFIELD, PHASE 3A SECTION 2 RECORD PLAT	APPROVED	6/28/2004
STPL 2004-0006	HUNTFIELD, PHASE 3B (SITE PLAN)	APPROVED	5/22/2006
STPL 2009-0005	HUNTFIELD, PHASE 3A BLOCK 29 REVISION	APPROVED	12/18/2009

NOTES: 1) HUNTFIELD COMPOSITE SCHEMATIC 1 (SCHM 2003-0003) REPLACED PREVIOUSLY APPROVED HUNTFIELD SCHEMATICS.
2) THE DATE LISTED FOR THE PHASE 2B SITE PLAN APPROVAL CORRESPONDS TO THE DATE THAT THE REVISED DEPARTMENT OF HIGHWAYS PERMIT WAS ISSUED WHICH COVERED THE OUTSTANDING LOTS IN HUNTFIELD 2B.

CONTACT "MISS UTILITY" AT

1-800-245-4848

BEFORE ANY CONSTRUCTION PER CITY OF CHARLES TOWN WATER DEPARTMENT ORDINANCE

PLANDATE	GENERAL NOTE #1	AMENDED
01/13/04		
12/30/04		
05/16/06		
No.	DATE	DESCRIPTION
		REVISIONS

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132
PHONE (703) 994-1047
MRAGTA.COM

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Cover Sheet

HUNTFIELD

Phase 3B

CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: AS SHOWN C.I. N/A DATE: JANUARY 2004

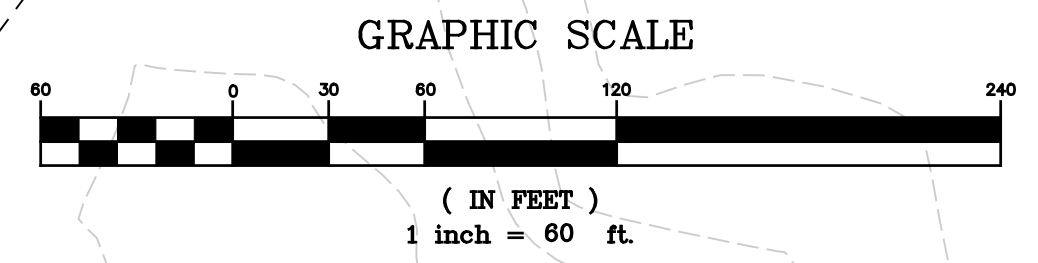
SHEET
1
OF
25

PP-20048

LEGEND

- WATERMAIN FITTINGS (SEE CHART ON SHEET 3)

- | | |
|---|-------------------------|
|  | WATERLINE EASEMENT |
|  | SANITARY EASEMENT |
|  | INGRESS/EGRESS EASEMENT |
|  | STORMWATER EASEMENT |
|  | STORMWATER MANHOLE |
|  | SANITARY MANHOLE |



WEST VIRGINIA
STATE GIRL NORTH

PLAN DATE	DESCRIPTION
01/13/04	
01/20/04	
02/21/06	
05/16/06	

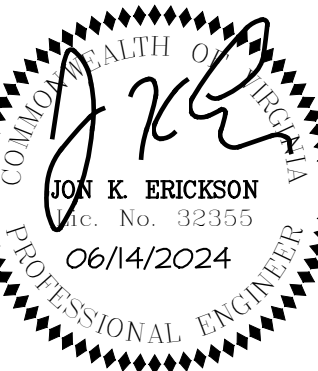
MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

205 HIRSH ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132

PHONE: (703) 994-4000
 MDACTA.COM

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Overall Grading Plan

HUNTFIELD

Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

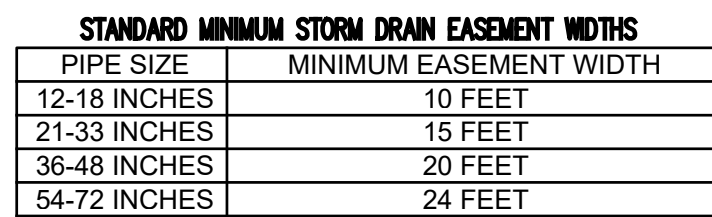
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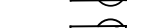
C.I. = 2"

SCALE: 1"=60'

SHEET
3
OF
25

PP-20048



	PROPOSED STORM DRAIN		WATERLINE EASEMENT		EXISTING TREE
	EXISTING STORM DRAIN		SANITARY EASEMENT		RIPRAP
	PROPOSED CONTOUR		INGRESS/EGRESS EASEMENT		TRAFFIC BARRICADE
	PROPOSED CONTOUR		STORMWATER EASEMENT		UTILITY PREBLAST
	EXISTING SANITARY SEWER		STORMWATER MANHOLE		PROPOSED SIDEWALK
	PROPOSED SANITARY SEWER		SANITARY MANHOLE		PROPOSED HANDICAP RAMP
	EXISTING WATER LINE				STREET LIGHT
	PROPOSED WATER LINE				STREET SIGN
	EXISTING TREE LINE				STOP SIGN
	PROPOSED LIMITS OF CLEARING & GRADING (LOC)				
	WATER METER CROCK				
	PROPOSED FIRE HYDRANT				
	CURB & GUTTER				
	ASPHALT MOLDED SWALE				
	ALLEY PAVEMENT				
	EXISTING TREE				



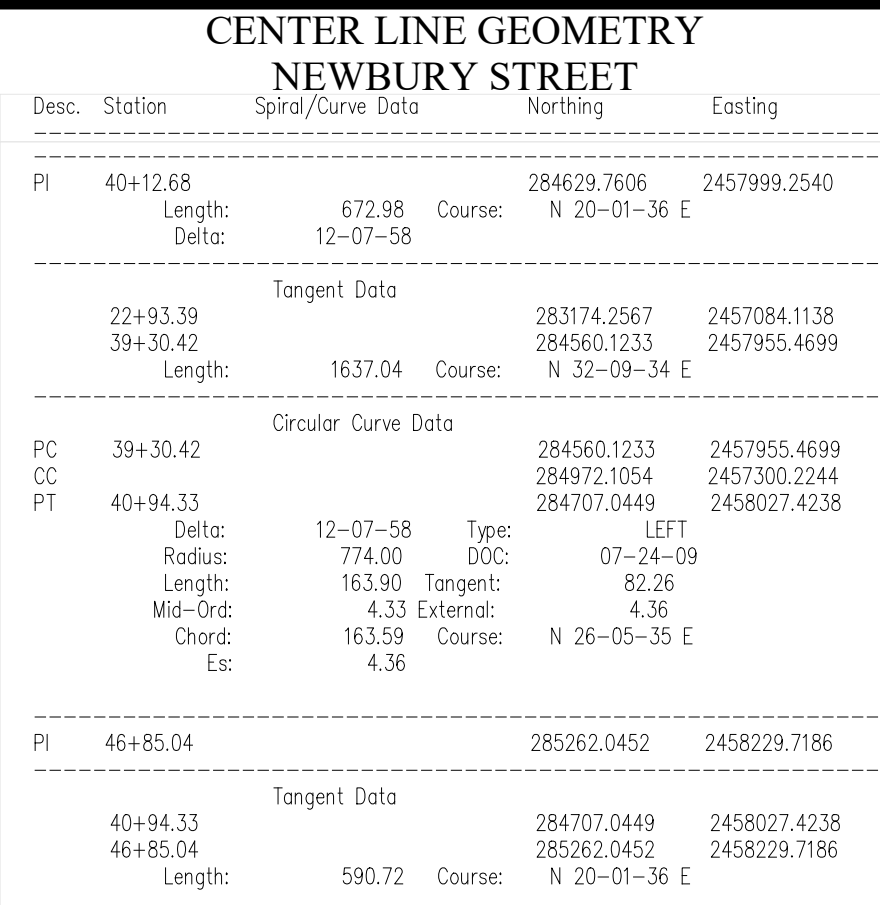
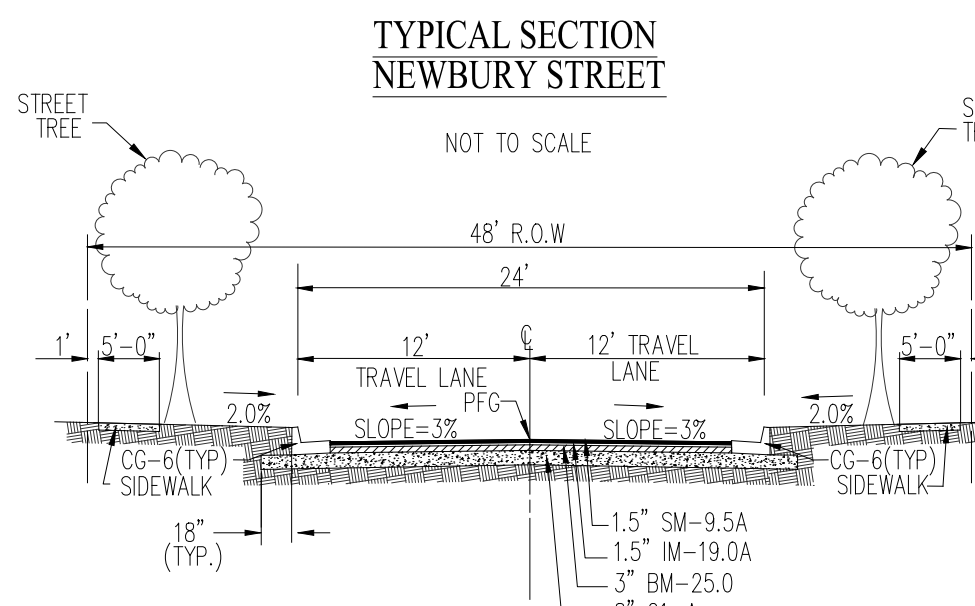
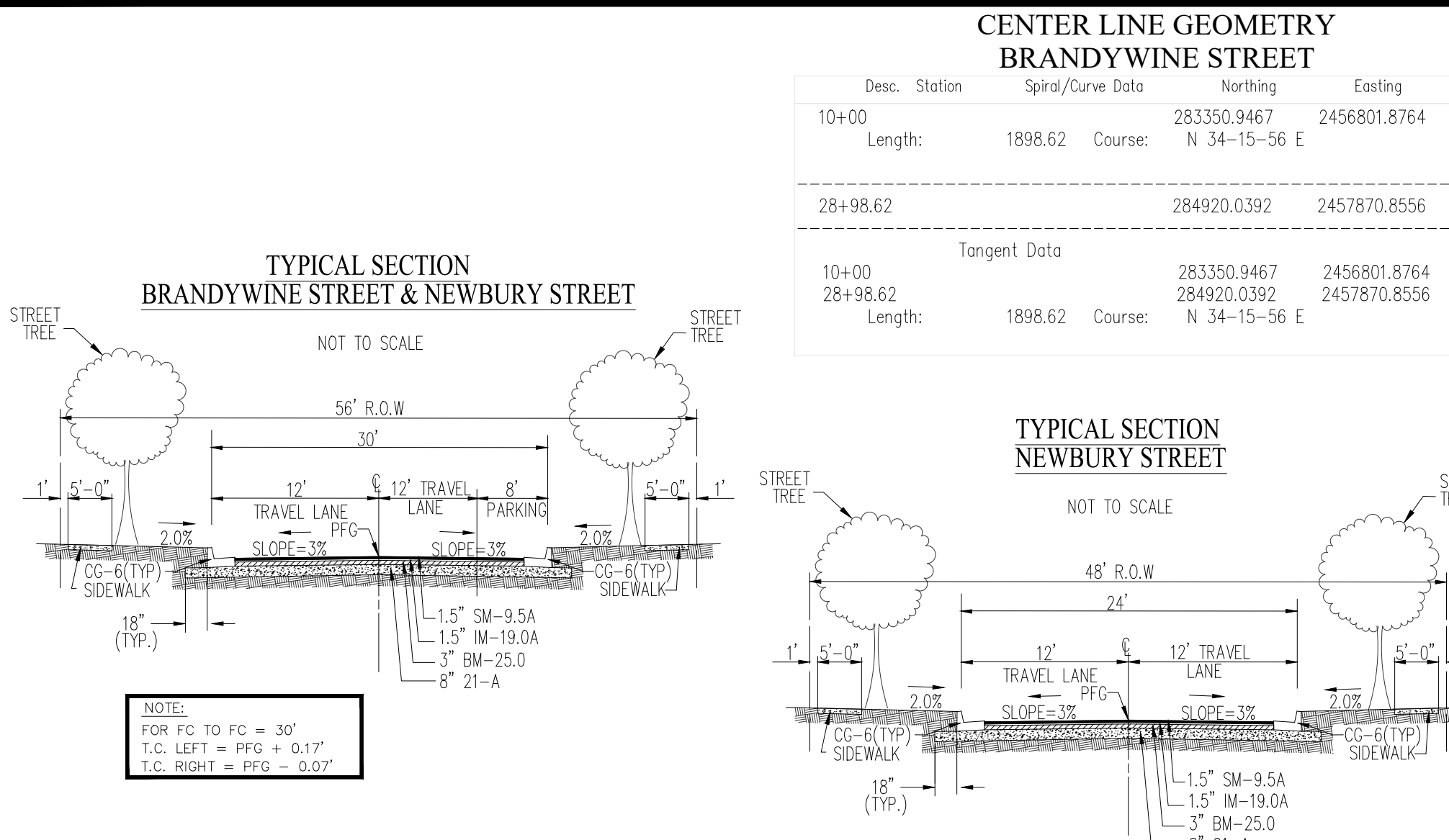
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132
PHONE: (703) 904-4047



DATE: JANUARY 2004

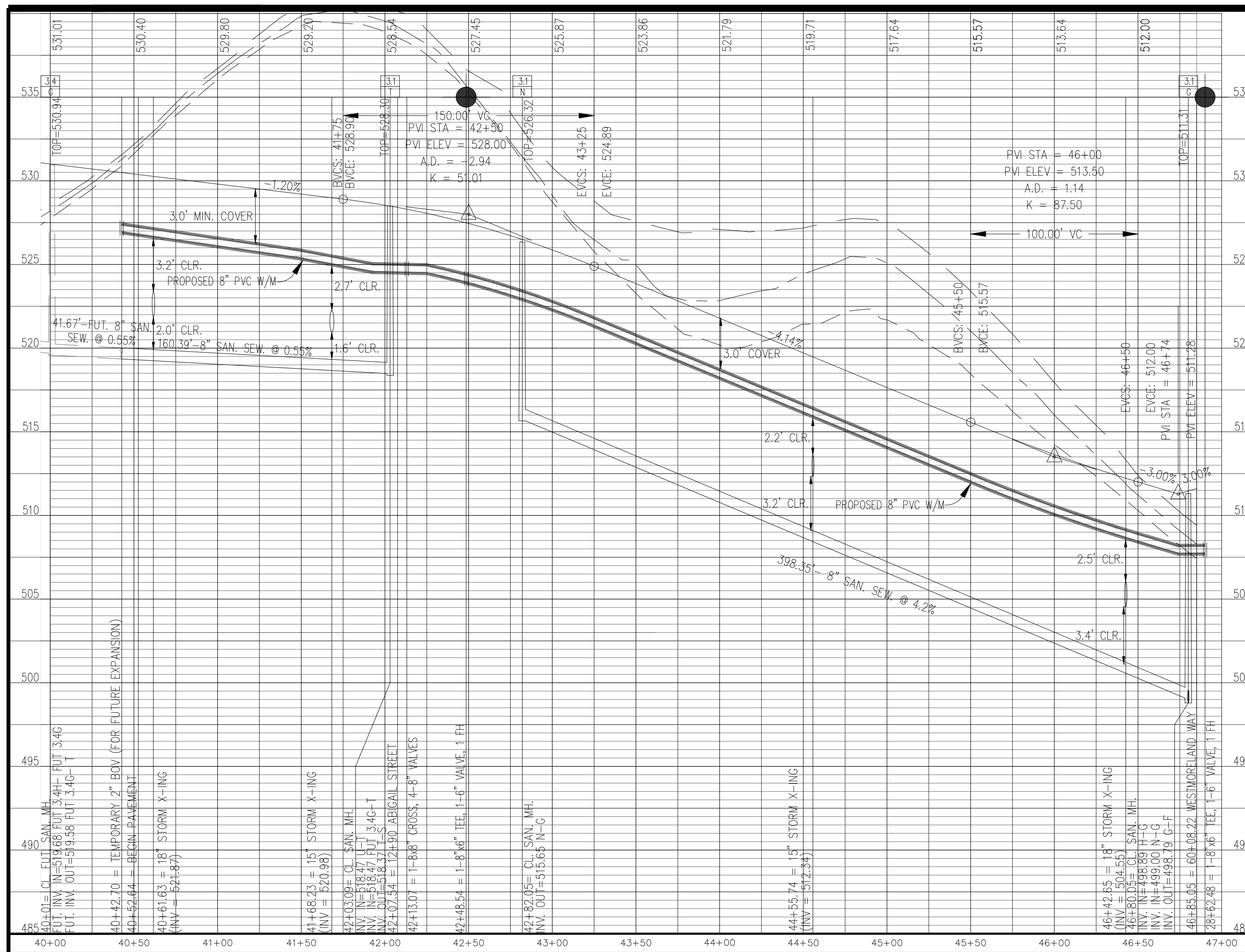
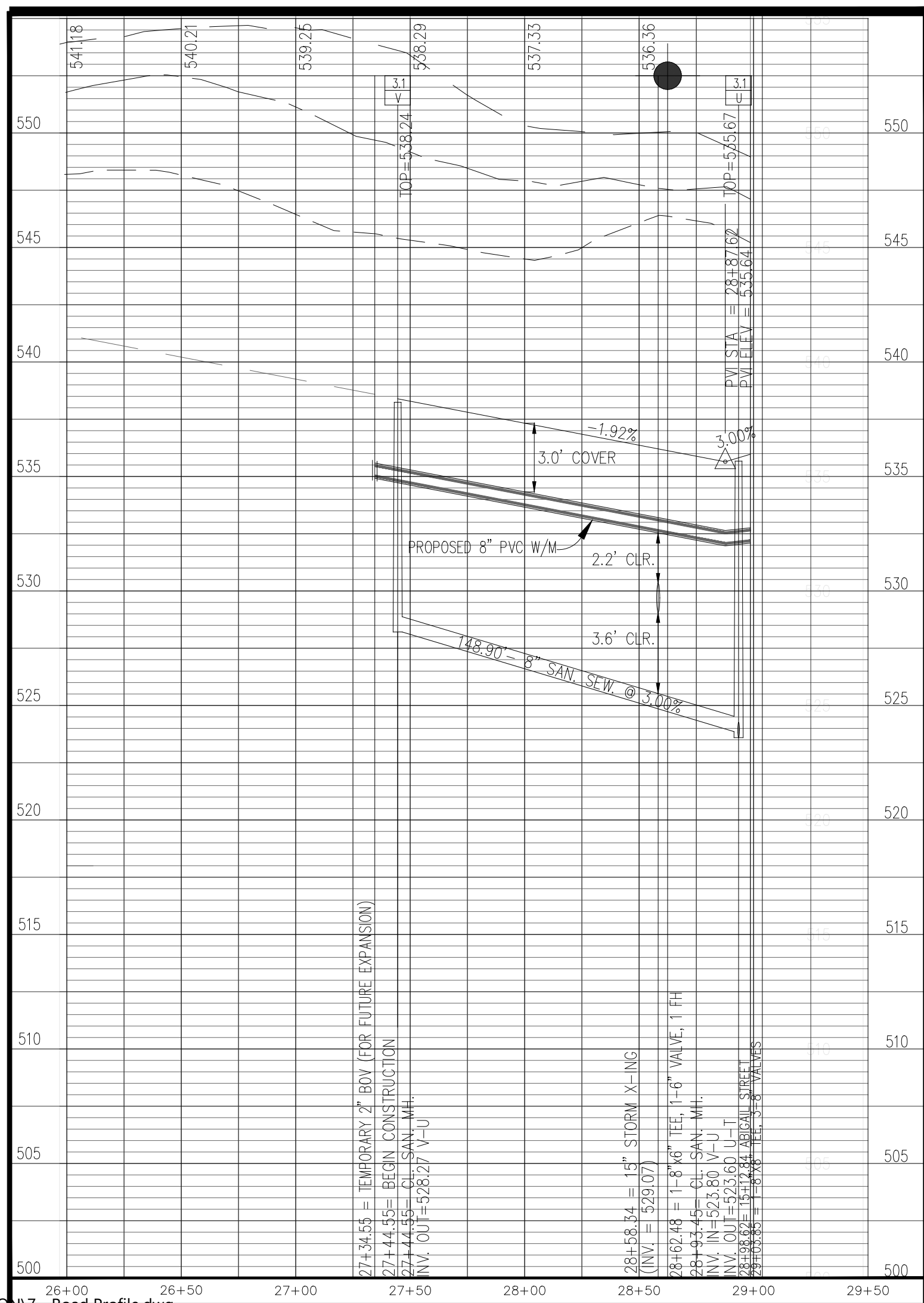
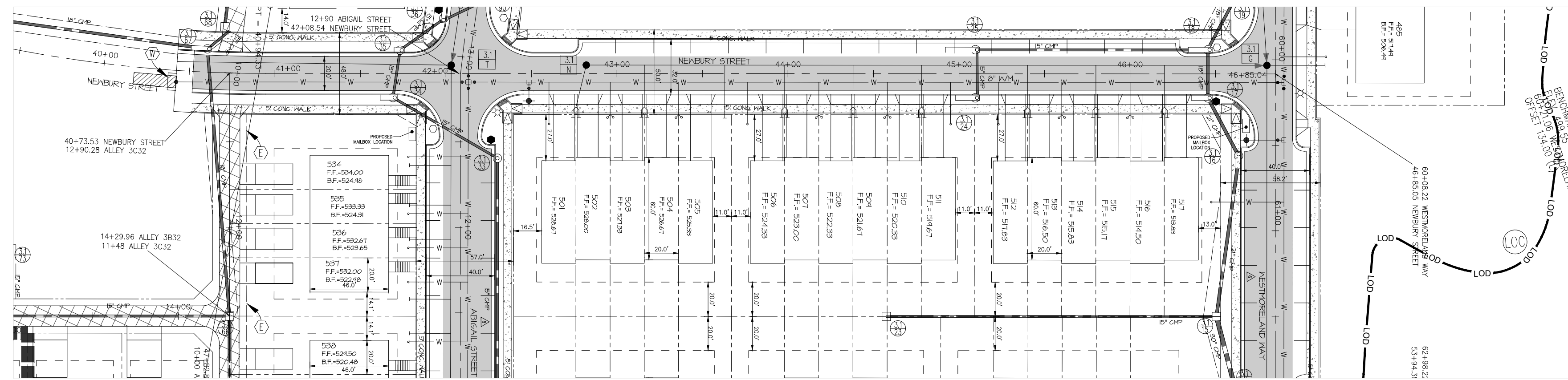
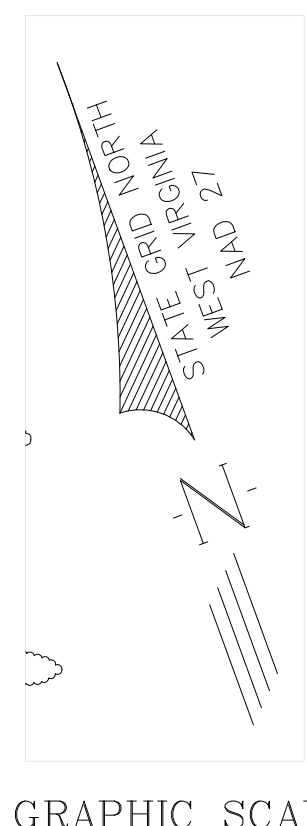
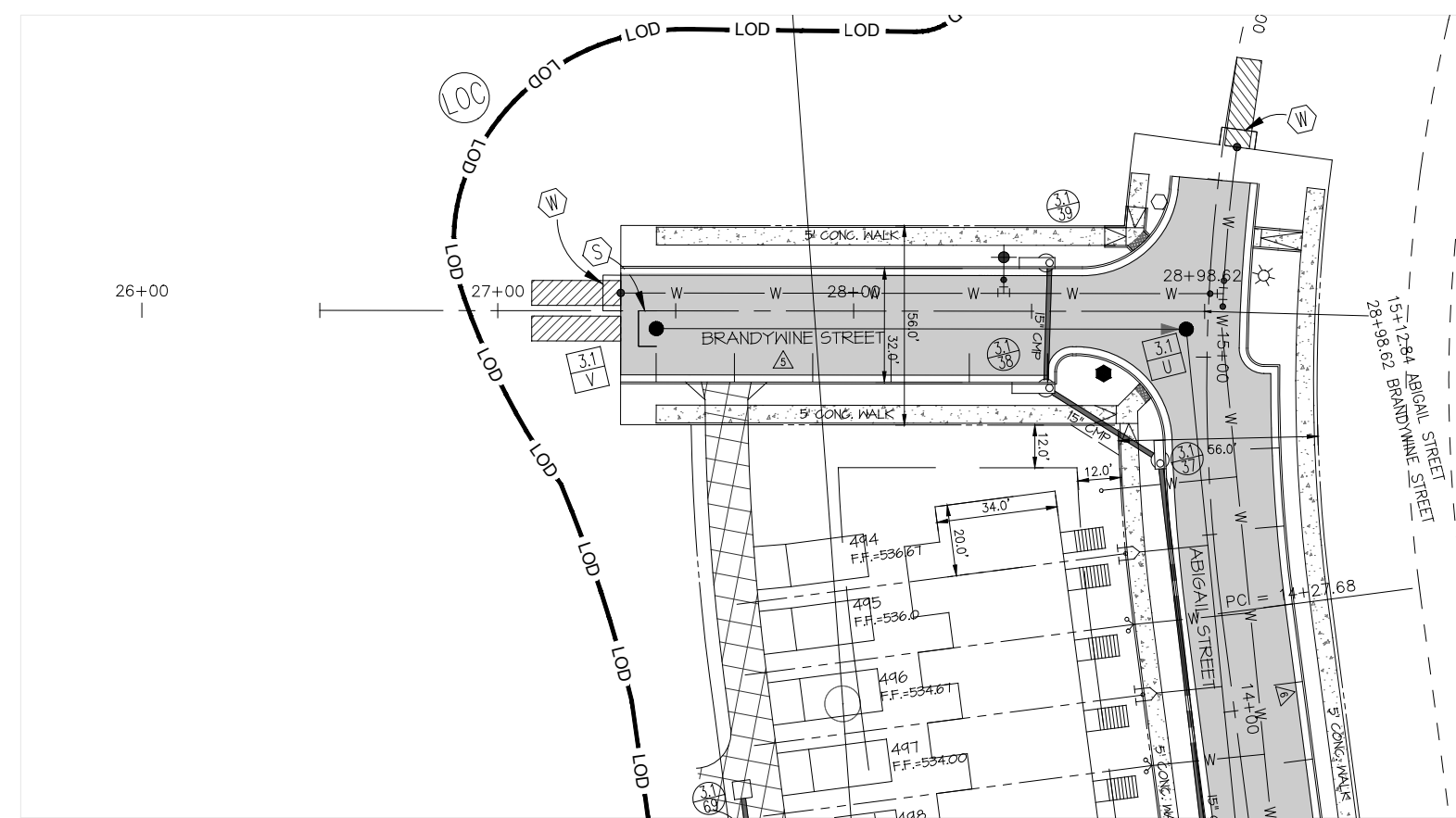
PP-20048

DESCRIPTION	REVISIONS

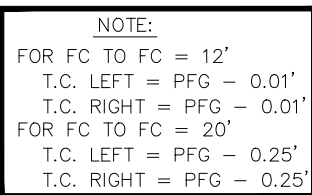


SANITARY LATERAL COMPUTATIONS

Lot	Station	DS MH / MH	US	Slope (%)	Overall Length (FT)	Invert @ Main	Invert of Lateral @ Main	Riser Height	End Riser Station	Invert @ End of Riser	Vertical Band Station	Invert @ Bottom Vert. Band	Stack Height	Invert @ Top Vert. Band	Invert @ End of Lateral	Finished Grade @ End Lat.	Slab Elevation (FT.)
517	0+60.00	N / G		2.08%	28.5	503.73	504.33	N/A			0+21.35	504.77	4.00	508.77	509.05		513.83
518	0+60.00	N / G		2.08%	28.5	503.73	504.33	N/A			0+21.35	504.77	4.50	509.27	509.55		514.5
519	1+00.00	N / G		2.08%	28.5	504.86	505.18	N/A			0+21.35	505.82	4.50	510.12	510.40		518.17
514	1+00.00	N / G		2.08%	28.5	504.86	505.18	N/A			0+21.35	505.82	5.00	510.62	510.90		515.83
513	1+00.00	N / G		2.08%	28.5	504.86	505.18	N/A			0+21.35	505.82	4.00	511.57	511.85		516.5
512	1+00.00	N / G		2.08%	28.5	506.54	507.13	N/A			0+21.35	507.57	5.00	512.57	512.85		517.83
511	2+02.00	N / G		2.08%	28.5	508.88	509.47	N/A			0+21.35	509.91	4.50	514.41	514.69		519.67
510	2+02.00	N / G		2.08%	28.5	508.88	509.47	N/A			0+21.35	509.91	5.50	515.41	515.69		520.33
509	2+02.00	N / G		2.08%	28.5	510.26	510.85	N/A			0+21.35	511.30	5.50	516.80	517.08		521.67
508	2+02.00	N / G		2.08%	28.5	510.26	510.85	N/A			0+21.35	511.30	6.00	517.30	517.58		522.33
507	2+02.00	N / G		2.08%	28.5	512.03	512.82	N/A			0+21.35	513.07	5.00	518.07	518.35		523.00
506	2+02.00	N / G		2.08%	28.5	513.73	514.83	N/A			0+21.35	514.77	4.50	519.27	519.55		524.33
505	3+17.00	N / G		2.08%	28.5	513.73	514.83	N/A			0+21.35	514.77	5.50	520.27	520.55		525.33
504	3+04.00	N / G		2.08%	28.5	515.03	516.52	N/A			0+21.35	516.97	4.50	521.47	521.75		526.37
503	3+04.00	N / G		2.08%	28.5	515.03	516.52	N/A			0+21.35	516.97	5.50	522.47	522.75		527.33
502	3+08.00	N / G		2.08%	28.5	516.34	516.93	N/A			0+21.35	517.37	5.50	522.87	523.15		528.00
501	3+08.00	N / G		2.08%	28.5	516.34	516.93	N/A			0+21.35	517.37	6.50	523.87	524.15		528.67



Lot	Station	DS		US		Slope (%)	Overall Length (FT)	Invert (ft)	Invert of Lateral (ft)	Riser Height	Riser Stations	Inv. @ End of Riser	Vertical Bench Height	Inch @ Bottom	Stack Height	Inch @ Top	Inv. @ End of Lateral	Finished Grade @ End Lat.	Shab Elevation (ft)
		M	H	M	H														
484	0+29.93	M	E			2.08%	18.5	420.04	420.04	N/A		0+29.93	420.74	2.5		501.74	501.74	501.50	
518	0+35.00	M	E			2.08%	18.5	420.24	420.24	N/A		0+35.00	420.94	2.5		501.74	501.74	501.57	
519	0+35.00	M	E			2.08%	18.5	420.04	420.04	N/A		0+35.00	420.74	2.5		501.74	501.74	501.57	
520	0+75.00	M	E			2.08%	18.5	420.32	420.32	N/A		0+75.00	421.02	7.5	501	501.74	501.52	506.33	
521	0+75.00	M	E			2.08%	18.5	420.32	420.32	N/A		0+75.00	421.02	7.5	501	501.74	501.52	507.00	
522	1+153.00	M	E			2.08%	18.5	426.51	426.50	N/A		0+75.00	426.20	8.5	501	501.74	501.98	507.67	
523	1+153.00	M	E			2.08%	18.5	426.51	426.51	N/A		0+75.00	426.20	8.5	501	501.74	501.98	507.67	
524	1+274.84	M	E			2.08%	4.9	426.50	426.11	N/A		0+22.86	426.50	0.0	426.50	426.50	509.67	509.67	
524	1+274.84	M	E			2.08%	18.5	426.69	426.47	N/A		0+22.86	427.69	8.0	504	504.96	504.96	509.67	
542	1+477.84	M	E			2.08%	4.9	426.48	427.22	N/A		0+22.86	427.89	1.5	429	429.19	429.47	504.00	
525	1+477.84	M	E			2.08%	18.5	427.69	428.05	N/A		0+75.00	428.25	7.0	525.25	525.53	510.33	510.33	
526	1+477.84	M	E			2.08%	18.5	427.69	428.05	N/A		0+75.00	428.25	7.5	525.25	525.53	511.00	511.00	
481	2+13.84	M	E			2.08%	4.9	428.27	429.23	N/A		0+22.86	429.70	2.0	501	501.74	502.04	507.00	
527	2+37.36	M	E			2.08%	18.5	428.14	429.53	N/A		0+22.86	429.70	7.5	501	501.74	501.51	512.33	

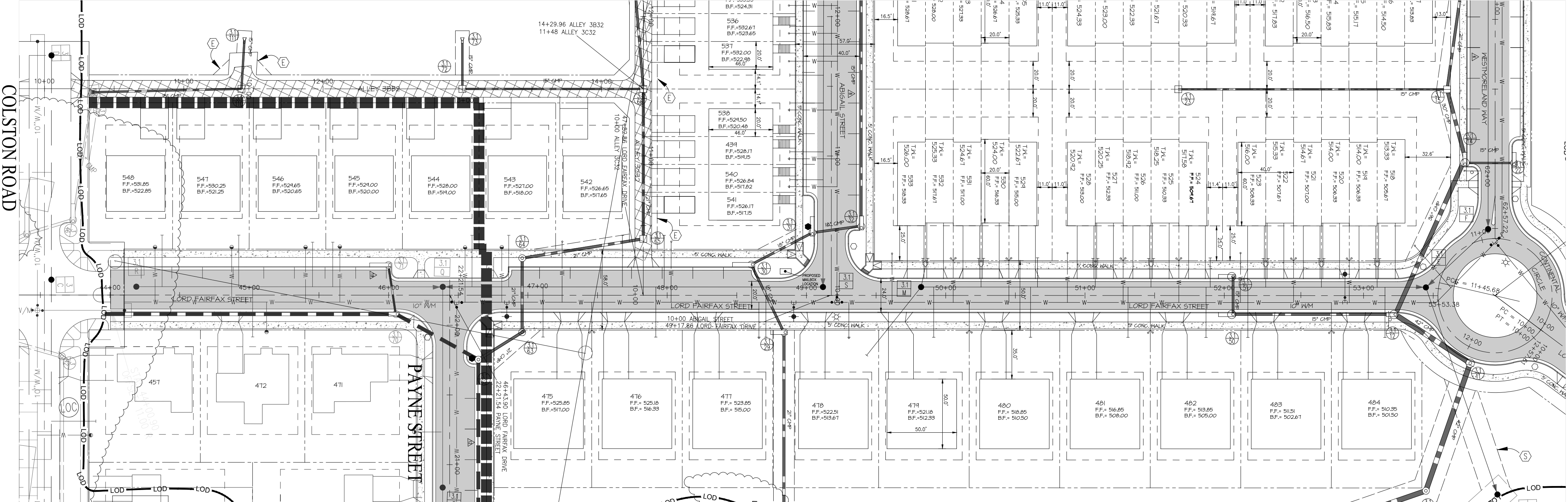


Desc.	Station	Spiral/Curve Data	Northing	Easting
PI	53+53.38		285124.2196	2458488.1455

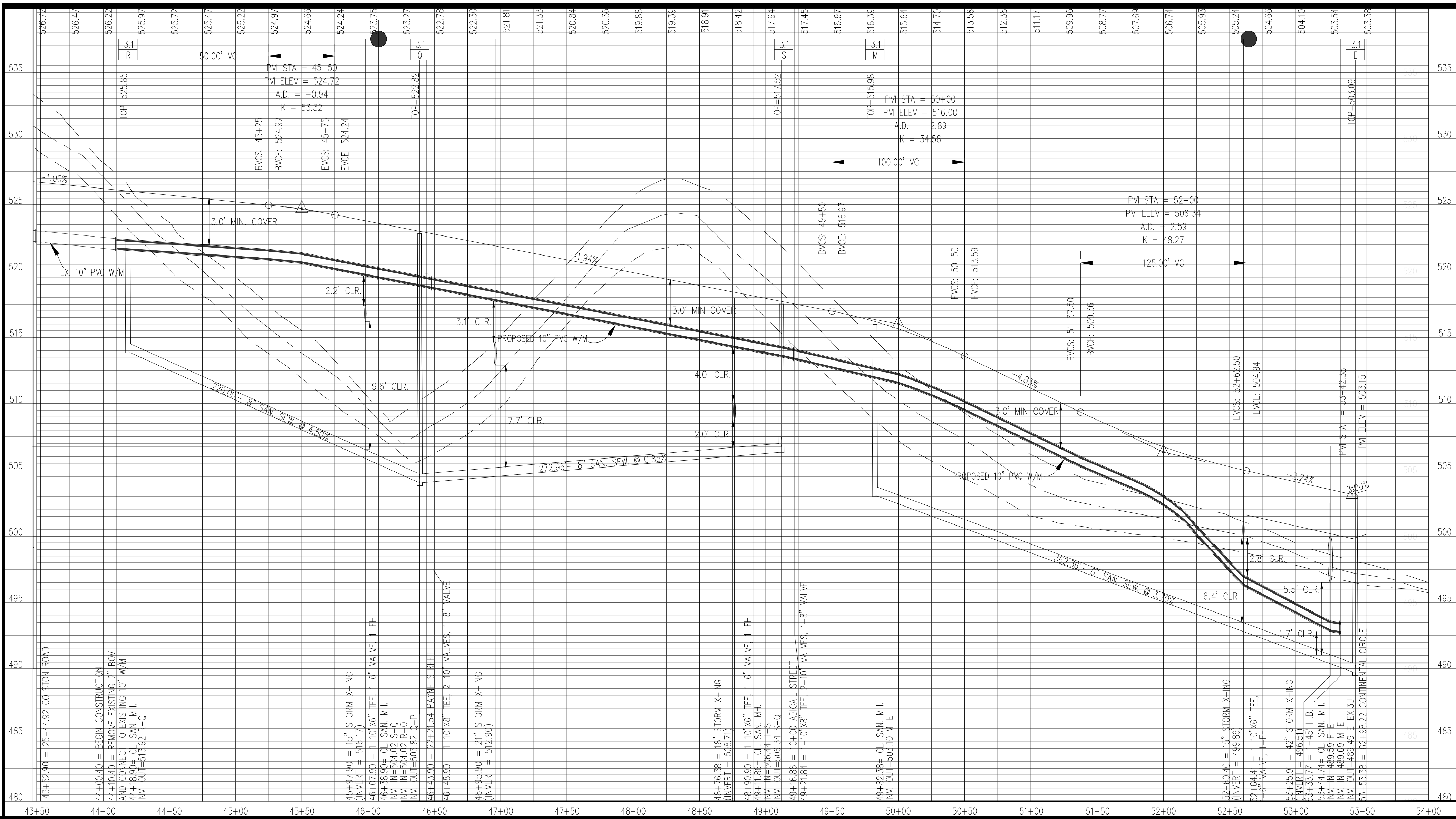
	22+02.42	Tangent Data	282163.7820	2457409.0808
	53+53.38		285124.2196	2458488.1455
	Length:	3150.36	Course:	N 20-01-36 E

Lot	Station	DS	Mer / MH	Shoe	Overall Length (FT)	Invert (ft)	Invert of Lateral (ft)	Riser Height	End Riser Station	Inr. of End Riser	Vertical Separation Bottom Invert	Inr. of Bottom Invert	Stack Height	Inr. of Top Invert	End of Lateral	Finished Grade End Lot	Final Elevation FT	Slope Elevation
525	2+37.38	M	F	E	2.085	15.5	496.94	496.55	N/A		-0+07.55	496.73	8.5		507.73		\$15.00	
526	2+78.84	M	F	E	2.085	15.5	500.68	501.50	N/A		-0+07.55	499.73	8.5		509.76	506.13	\$15.00	
530	2+83.84	M	F	E	2.085	49	500.86	501.88	N/A		-0+26.66	501.26	2.5		504.85	511.54		\$15.00
480	2+86.84	M	F	E	2.085	15.5	502.88	502.88	N/A		-0+26.66	502.35	8.5		511.26	512.54		\$15.00
531	3+19.38	M	F	E	2.085	15.5	502.88	502.88	N/A		-0+07.55	502.75	8.5		507.73		\$15.00	
479	3+53.38	M	F	E	2.085	49	503.63	504.65	N/A		-0+26.66	504.92	2.5		507.42	513.06		\$12.33
532	3+82.42	M	F	E	2.085	15.5	503.69	504.08	N/A		-0+26.66	504.28	8.5		512.78	513.06		\$12.33
533	3+82.42	M	F	E	2.085	15.5	503.69	504.08	N/A		-0+26.66	504.28	9.0		513.28	513.06		\$11.33
534	3+82.42	M	F	E	2.085	49	503.69	504.08	N/A		-0+26.66	504.28	8.5		512.88	513.06		\$11.33
541	1+88.98	S	F	Q	2.095	15.5	508.61	509.38	N/A		-0+17.75	509.75	2.5		512.55	512.53		\$18.33

Lot	Station	DS MH / UH	Slope (%)	Overall Length (FT)	Invert (+/-)	Invert of Lateral (+/-)	Riser Height	End Riser Station	Invt. @ End of Riser	Vertical Bend Station	Invt. @ Bottom Vertical Bend	Stack Height	Invt. @ Top Vertical Bend	Invt. @ End of Lateral	Finished Grd. @ End Lot	Basement Elevation (+/-)
546	0+210.0	Q / R	2.20%	32.0	508.23	508.98	N/A					6.00	514.27	514.85		515.00
547	+1+86.50	Q / R	2.20%	32.0	510.62	511.37	N/A		+0+40.5	511.98	3.00	514.98	515.63	516.26		516.50
547	+1+95.50	Q / R	2.20%	54.0	512.82	513.57	N/A		+0+18.5	511.75	4.00	515.75	516.43	516.89		517.25
548	+2+51.00	Q / S	2.10%	32.0	513.03	513.78	N/A		+0+18.5	514.23	6.00	519.23	519.84	520.45		520.75
548	+2+11.00	Q / S	2.20%	32.0	504.20	504.95	N/A		+0+18.5	505.34	9.00	514.34	514.62	514.90		519.00
543	+0+73.38	Q / S	2.20%	32.0	504.43	505.18	N/A		+0+18.5	505.56	7.00	512.56	512.84	513.04		518.00
475	+1+02.00	Q / S	2.20%	54.0	504.89	505.64	N/A		+0+18.5	506.48	4.00	510.48	510.75	511.04		516.00
475	+1+29.98	Q / S	2.20%	32.0	505.12	505.87	N/A		+0+18.5	506.25	6.00	512.25	512.54	512.84		517.65
547	+1+25.62	Q / S	2.20%	54.0	505.25	506.00	N/A		+0+18.5	506.82	3.00	510.82	511.09	511.36		516.00
547	+1+98.98	Q / S	2.20%	32.0	505.38	506.13	N/A		+0+18.5	506.51	6.00	512.51	512.79	513.07		517.15
547	+2+32.00	Q / S	2.20%	54.0	506.00	506.75	N/A		+0+18.5	507.59	1.00	510.59	508.87	513.58		
547	+5+51.00	Q / R	2.20%	54.0	506.32	507.07	N/A		+0+18.5	507.91	5.00	512.91	513.19	513.48		518.25
546	+0+79.00	Q / R	2.20%	32.0	507.56	508.31	N/A		+0+18.5	508.71	6.00	514.71	514.99	515.26		519.00
547	+0+71.00	Q / R	2.20%	32.0	507.61	508.36	N/A		+0+18.5	509.55	6.00	515.55	515.83	516.10		519.00



LORD FAIRFAX STREET



- ### EASEMENT LEGEND
- | | |
|---|--|
|  | DENOTES COMMON SHARED EASEMENT |
|  | DENOTES PUBLIC ACCESS EASEMENT |
|  | DENOTES INGRESS-EGRESS EASEMENT |
|  | DENOTES SIGHT DISTANCE EASEMENT |
|  | DENOTES STORM DRAIN EASEMENT |
|  | DENOTES SANITARY SEWER EASEMENT
10' WIDE UNLESS OTHERWISE NOTED |
|  | DENOTES WATER MAIN EASEMENT
10' WIDE UNLESS OTHERWISE NOTED |

LEGEND

EXISTING EASEMENT

-  DENOTES COMMON SHARED EASEMENT
 DENOTES PUBLIC ACCESS EASEMENT
 DENOTES INGRESS-EGRESS EASEMENT
 DENOTES SIGHT DISTANCE EASEMENT
 DENOTES STORM DRAIN EASEMENT
 DENOTES SANITARY SEWER EASEMENT
 10' WIDE UNLESS OTHERWISE NOTED
 DENOTES WATER MAIN EASEMENT
 10' WIDE UNLESS OTHERWISE NOTED

LEGEND:

- | | |
|---|--------------------------------|
|  | PROPOSED CURB |
|  | PROPOSED ROLL CURB |
|  | PROPOSED HANDICAP RAMP |
|  | PRE-BLAST FOR FUTURE UTILITIES |
|  | WATER METER |
|  | STREET LIGHT |
|  | STREET SIGN |
|  | STOP SIGN |
|  | ALLEY PAVEMENT |

- | | | |
|-----|---------------|---|
| (2) | NO PARKING | LEGEND |
| (3) | PRIVATE DRIVE |  -EX. GRADE 35' LEFT |
| (A) | FIRE LANE "A" | |
| (B) | FIRE LANE "B" |  -EX. GRADE @ C |
| (C) | FIRE LANE "C" | EX. GRADE 35' RIGHT |

REVISIONS		DESCRIPTION
No.	DATE	
1	4/10/06	SANITARY LATERAL COMPUTATIONS AMENDED
2	5/16/06	AMENDED ROAD CROSS-SECTION
3	5/16/06	ADDED CURB INLET NOTE

MORRIS & RITCHIE ASSOCIATES, INC.

INNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132
PHONE: (703) 994-4047
MRAGTA.COM

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Plan & Profile - Lord Fairfax Street

HUNTFIELD
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

DATE: JANUARY 2004

SCALE: 1"=5'(V), 1"=50'(H) C.I. N/A

SHEET
8
OF
25

DD 200

PP-20048

Desc.	Station	Spiral/Curve Data	Northing	Easting
PI	10+00		285185.2545	2458536.4516
	Length:	798.99	Course: N 56-41-36 E	
PI	17+98.99		285623.9994	2459204.2043
Tangent Data				
	10+00		285185.2545	2458536.4516
	17+98.99		285623.9994	2459204.2043
	Length:	798.99	Course: N 56-41-36 E	

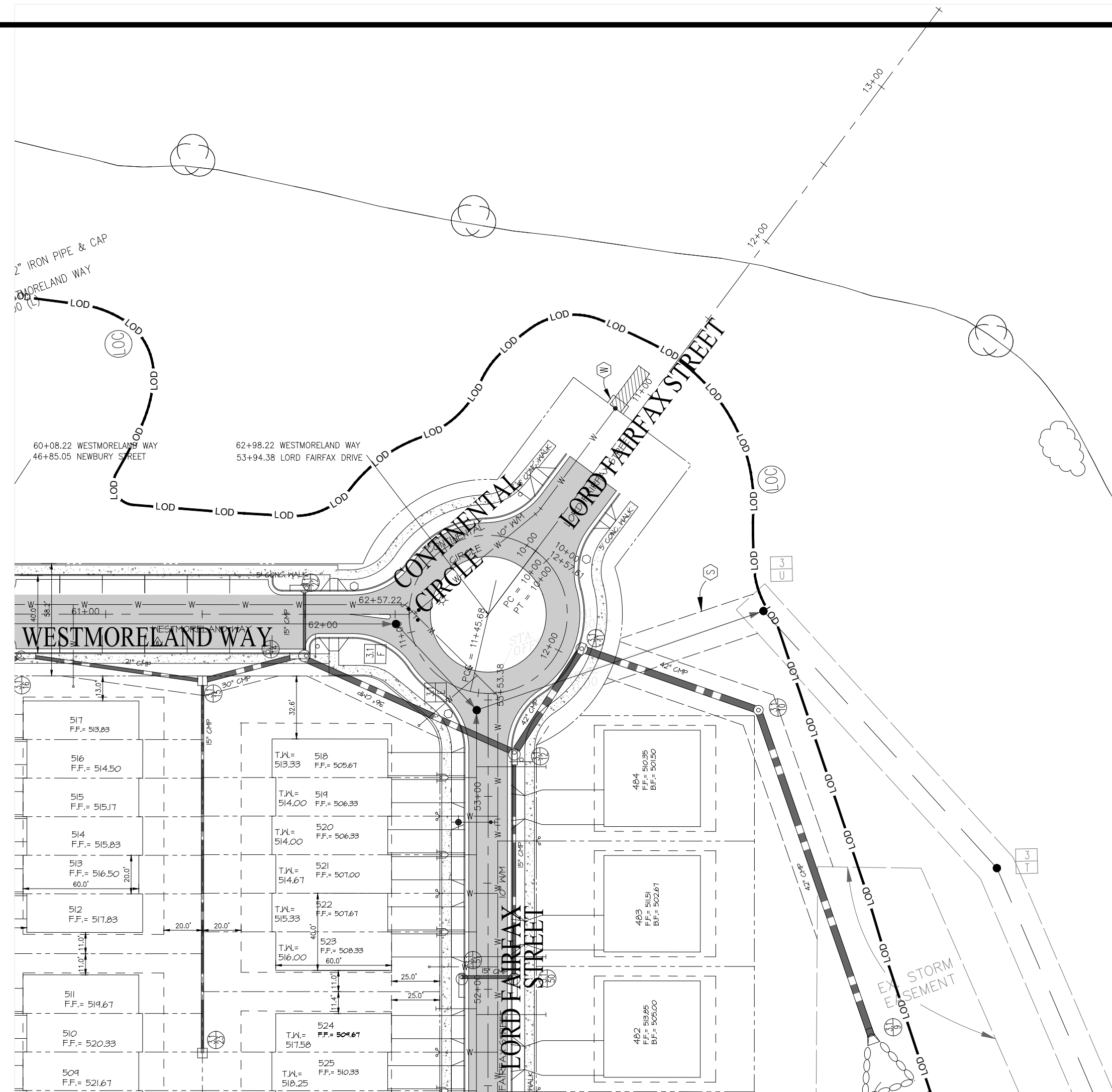
Desc.	Station	Spiral/Curve Data	Northing	Easting
PI	10+00		285185.2545	2458536.4516
	Length:	196.44	Course: S 33°-18'-24" E	
PI	8+03.56		285021.0850	2458644.3187
	Length:	0.00	Course: S 43°-56'-44" E	
	Delta:	10°-38'-20"		
Circular Curve Data				
PC	10+00		285185.2545	2458536.4516
CC			285162.7405	2458502.1862
PT	11+45.68		285128.3996	2458479.7875
	Delta:	203°-34'-44"	Type: LEFT	
	Radius:	41.00	DOC: 139°-44'-45"	
	Length:	145.68	Tangent: 196.44	
	Mid-Ord:	49.38	External: 241.67	
	Chord:	80.27	Course: S 44°-54'-13" W	
	Es:	159.67		
PI	13+42.11		285021.0850	2458644.3187
	Length:	196.44	Course: N 33°-18'-24" W	
	Delta:	169°-21'-40"		
Circular Curve Data				
PC	11+45.68		285128.3996	2458479.7875
CC			285162.7405	2458502.1862
PT	12+57.61		285185.2545	2458536.4516
	Delta:	156°-25'-16"	Type: LEFT	
	Radius:	41.00	DOC: 139°-44'-45"	
	Length:	111.93	Tangent: 196.44	
	Mid-Ord:	32.62	External: 159.67	
	Chord:	80.27	Course: N 44°-54'-13" E	
	Es:	159.67		
PI	12+57.61		285185.2545	2458536.4516

Category	Percentage
Never	0-25%
Sometimes	25-50%
Often	50-100%
Always	100-200%

(IN FEET)
1 inch = 50 ft.

[illegible]

NOTE:
FOR FC TO FC = 20'
T.C. LEFT = PFG + 0.17'
T.C. RIGHT = PFG + 0.77'



465	10+00	10+00 CONTINENTAL CIRCLE		465.3
470				
475				
480				
485				
490				
495				
500				
505				
510				
515				
	10+00	10+50	11+00	

[illegible]

10+00 = 10+00 LORD FAIRFAX STREET

10+18.58 = 10+18.55 W-02

10+88.28 = 10+81.66 W-01

10+90.64 = 62+57.22 WESTMORELAND WAY

11+10.09 = 12+02.08 SAN-01

11+42.71 = 11+84.59 SAN-01

11+49.37 = 10+25.88 W-01

11+55.04 = 51+53.38 LORD FAIRFAX STREET

12+57.61 = 10+00 LORD FAIRFAX STREET

HIGH POINT ELEV = 504.02
HIGH POINT STA = 10+76.21
PVI STA = 10+76.21
PVI ELEV = 504.27
A.D. = -2.00
K = 50.00

LOW POINT ELEV = 503.23
LOW POINT STA = 12+05
PVI STA = 12+05
PVI ELEV = 502.98
A.D. = 2.00
K = 50.00

BVC: 10+26.21
EVC: 11+26.21
BVC: 503.48
EVC: 12+45

100.00' VC

100.00' VC

1.00%
-1.00%
1.00%

	DENOTES COMMON SHARED EASEMENT
	DENOTES PUBLIC ACCESS EASEMENT
	DENOTES INGRESS-EGRESS EASEMENT
	DENOTES SIGHT DISTANCE EASEMENT
	DENOTES STORM DRAIN EASEMENT
	DENOTES STORM DRAIN EASEMENT W/CONSTANT WIDTH= X' , WHERE $X=10,15,20$ OR 24
	DENOTES SANITARY SEWER EASEMENT
	DENOTES WATER MAIN EASEMENT

EXISTING EASEMENT

- DENOTES COMMON SHARED EASEMENT
- DENOTES PUBLIC ACCESS EASEMENT
- DENOTES INGRESS-EGRESS EASEMENT
- DENOTES SIGHT DISTANCE EASEMENT
- DENOTES STORM DRAIN EASEMENT
- DENOTES STORM DRAIN EASEMENT
W=CONSTANT WIDTH=X,
WHERE X=10,15,20 OR 24
- DENOTES SANITARY SEWER EASEMENT
- DENOTES WATER MAIN EASEMENT

	SIGHT TRIANGLE
	PROPOSED CURB
	PROPOSED CG-12
	PROJECTED TRAFFIC COUNT
	LINE OF SIGHT
	WATER METER

EX. GRADE 100' LEFT
EX. GRADE @ C
EX. GRADE 100' RIGHT
APPROX. ROCK PROFILE

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 MIDST ROAD, SUITE 106

205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132

PHONE: (703) 994-4047
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Plan & Profile - Circle 27 & Misc. Profiles

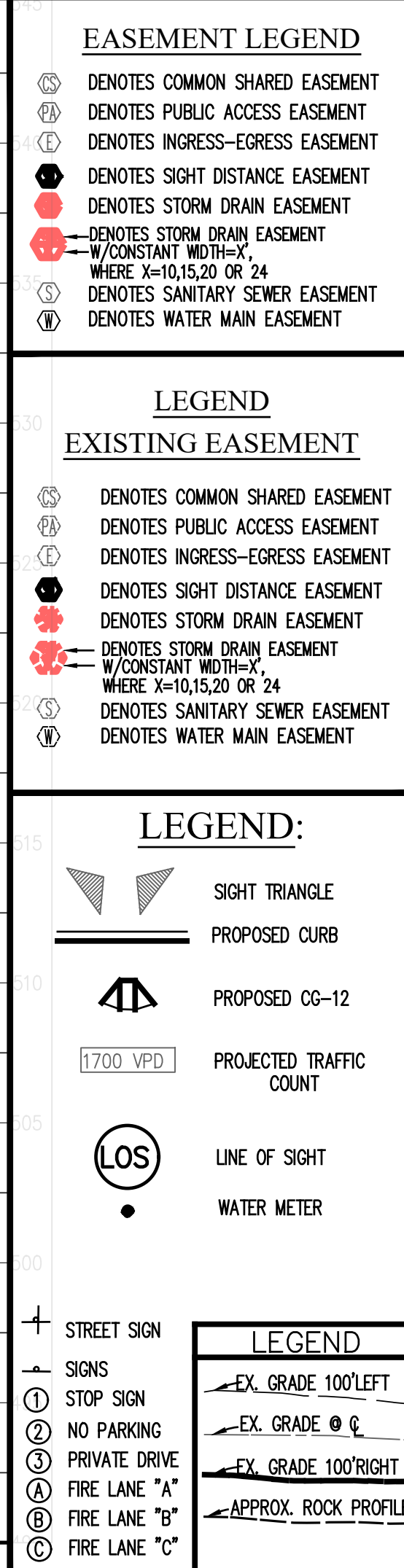
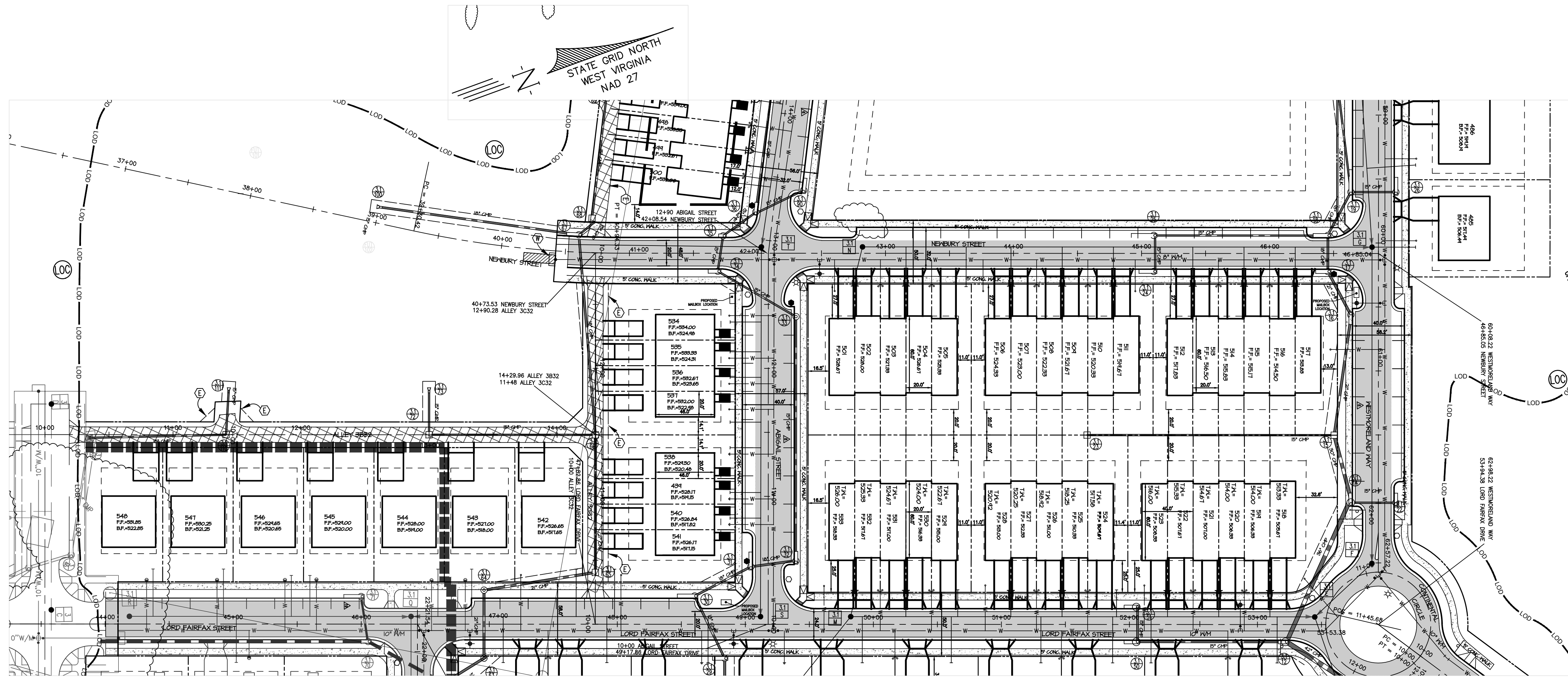
HUNTFIELD

Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

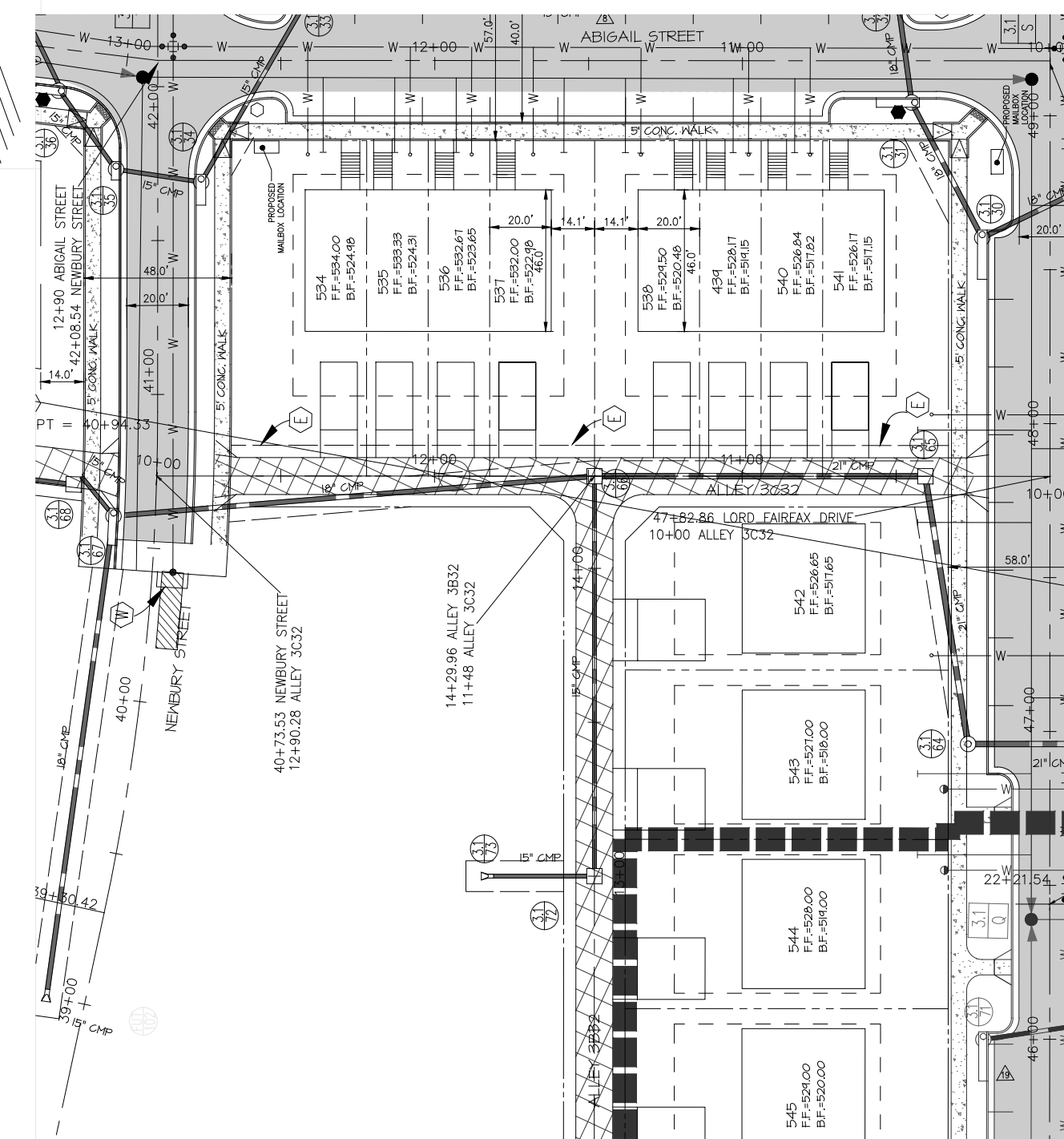
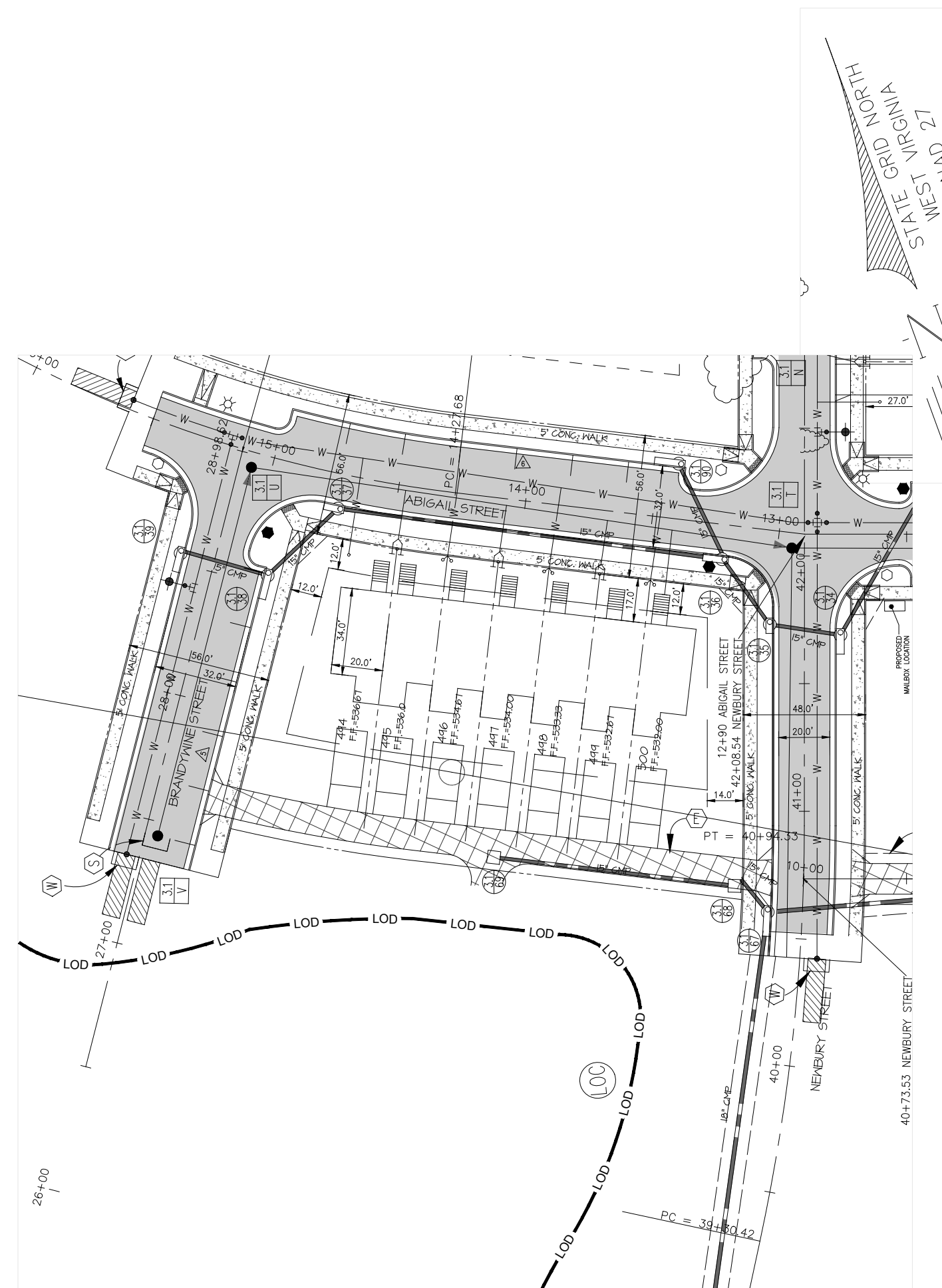
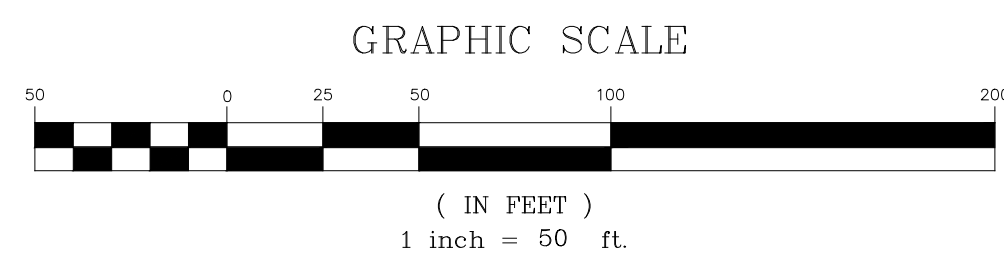
SCALE: (H) 1"=50' (V) 1"=5' C.I. N/A DATE: JANUARY 2004

SHEE
12
OF
25

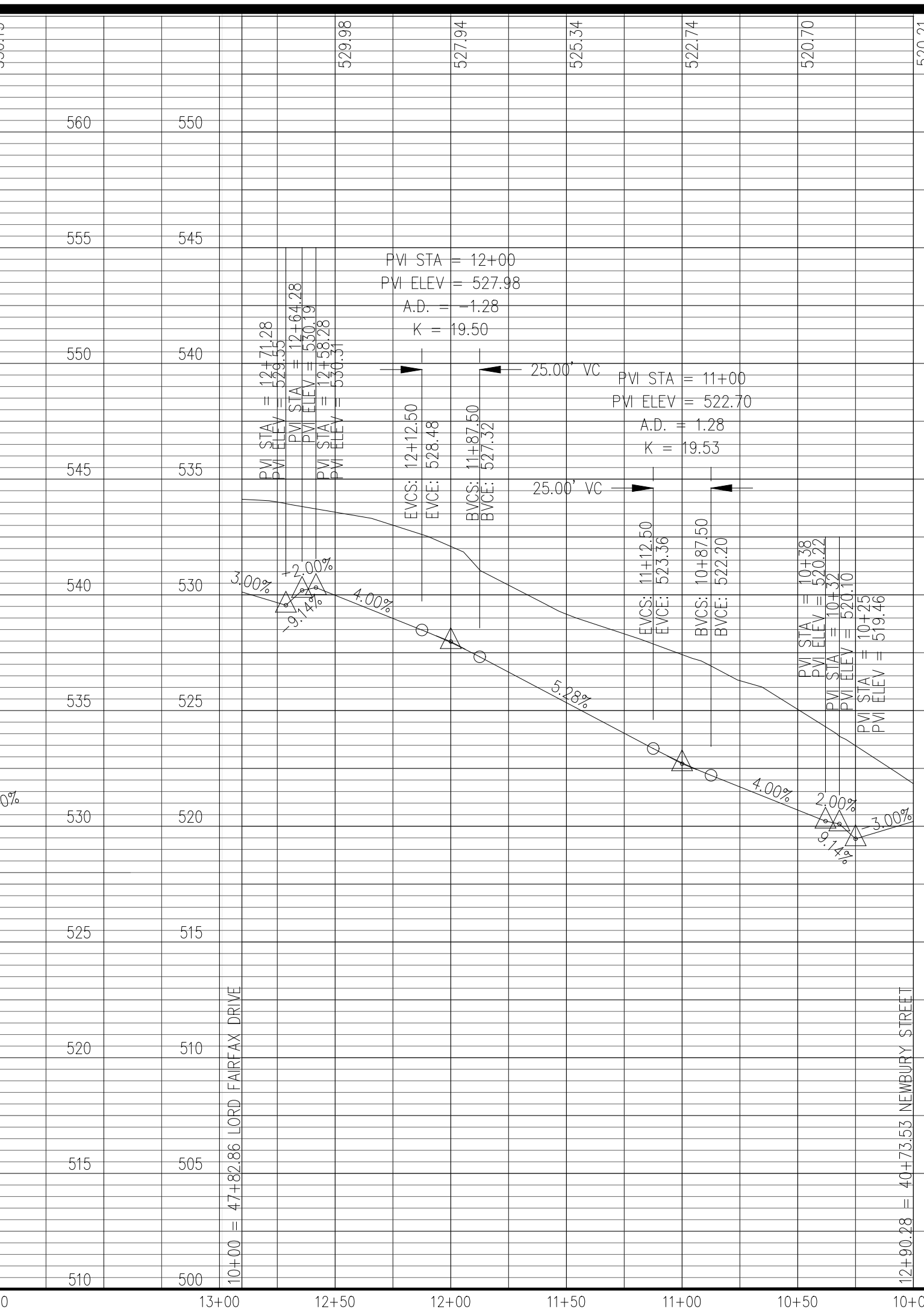
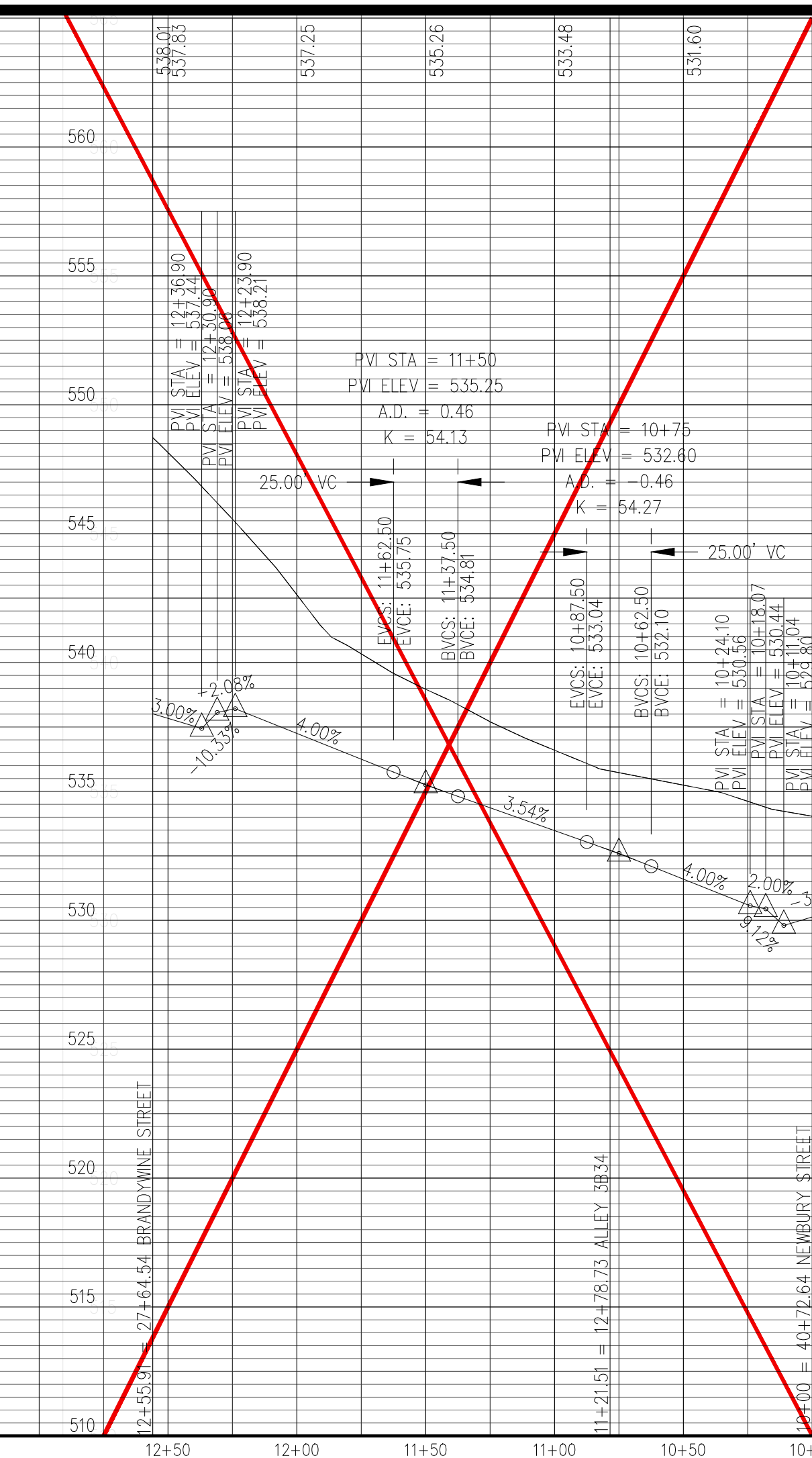
PP-20048



SHEET
13
OF
25
PP-20048



ALLEY 3C32



- ### EASEMENT LEGEND
- | | |
|--|--|
| | DENOTES COMMON SHARED EASEMENT |
| | DENOTES PUBLIC ACCESS EASEMENT |
| | DENOTES INGRESS-EGRESS EASEMENT |
| | DENOTES SIGHT DISTANCE EASEMENT |
| | DENOTES STORM DRAIN EASEMENT |
| | DENOTES STORM DRAIN EASEMENT
W/ $\frac{\text{CONSTANT WIDTH} \times X}{X}$,
WHERE X=10,15,20 OR 24. |
| | DENOTES SANITARY SEWER EASEMENT |
| | DENOTES WATER MAIN EASEMENT |

- LEGEND**

EXISTING EASEMENT

 -  DENOTES COMMON SHARED EASEMENT
 -  DENOTES PUBLIC ACCESS EASEMENT
 -  DENOTES INGRESS-EGRESS EASEMENT
 -  DENOTES SIGHT DISTANCE EASEMENT
 -  DENOTES STORM DRAIN EASEMENT
 -  DENOTES STORM DRAIN EASEMENT
W/CONSTANT WIDTH-X,
WHERE X=10,15,20 OR 24
 -  DENOTES SANITARY SEWER EASEMENT
 -  DENOTES WATER MAIN EASEMENT

- ### LEGEND:
- | | |
|---|-------------------------|
|  | SIGHT TRIANGLE |
|  | PROPOSED CURB |
|  | PROPOSED CG-12 |
|  | PROJECTED TRAFFIC COUNT |
|  | LINE OF SIGHT |
|  | WATER METER |

- STREET SIGN

SIGNS

① STOP SIGN

② NO PARKING

③ PRIVATE DRIVE

④ FIRE LANE "A"

⑤ FIRE LANE "B"

⑥ FIRE LANE "C"

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD SUITE 106

205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132

CELLVILLE, VIRGINIA 201
PHONE: (703) 994-4047

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Plan & Profile - Alley 3C32 & 3C34

HUNTFIELD

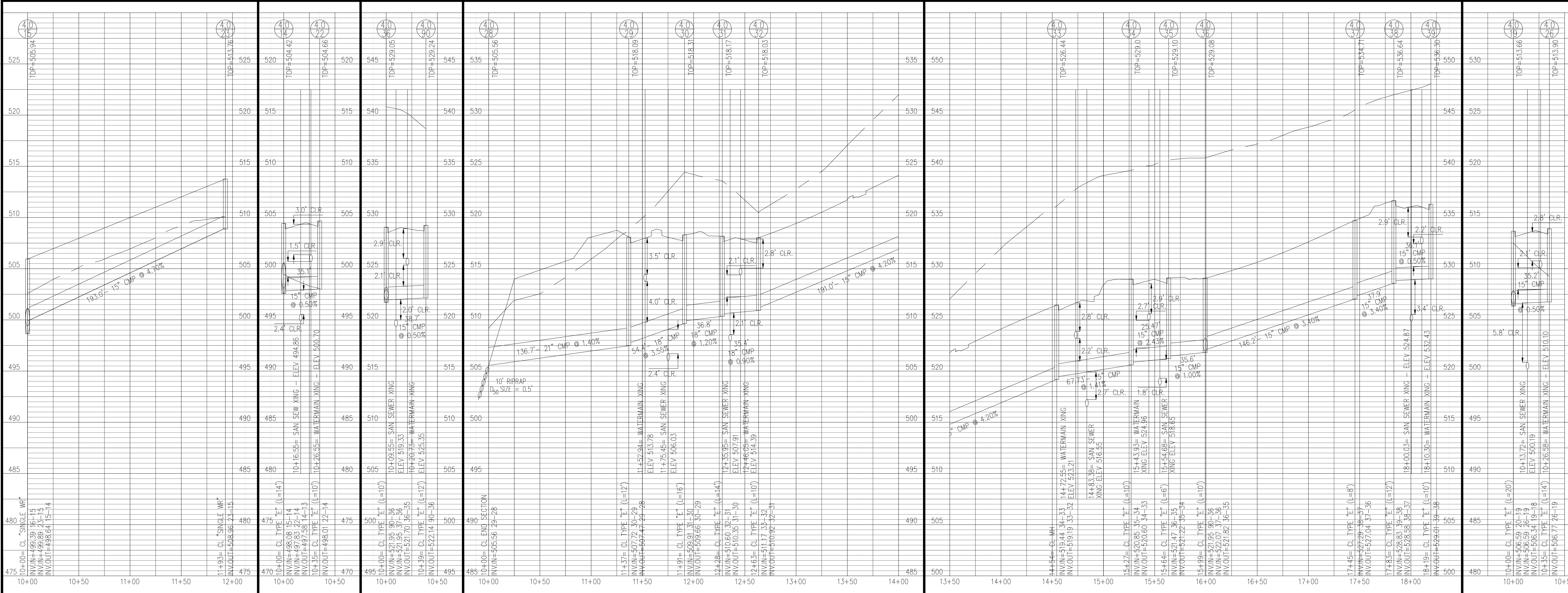
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: (H) 1"=50'(V) 1"=5' DATE: JANUARY 2004
JEFFERSON COUNTY, WEST VIRGINIA C/I N/A

DESCRIPTION	REVISIONS
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SHEET
14
OF
25

PP-20048



PP-20048

SHEET
15
OF
25

Storm Profiles
HUNTFIELD
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: (H) 1"=50' (V) 1"=5' C.I.

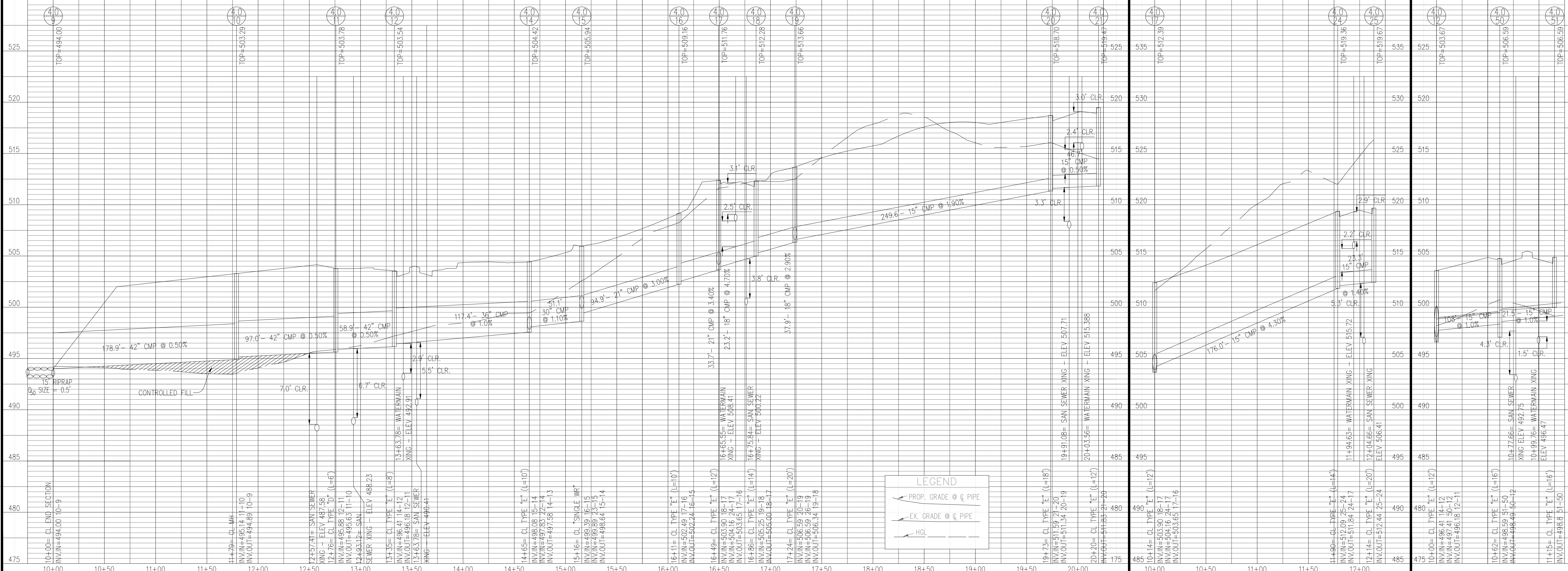
DATE: JANUARY 2004



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ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD, SUITE 105
PURCELLVILLE, VIRGINIA 20132
PHONE (703) 894-0477
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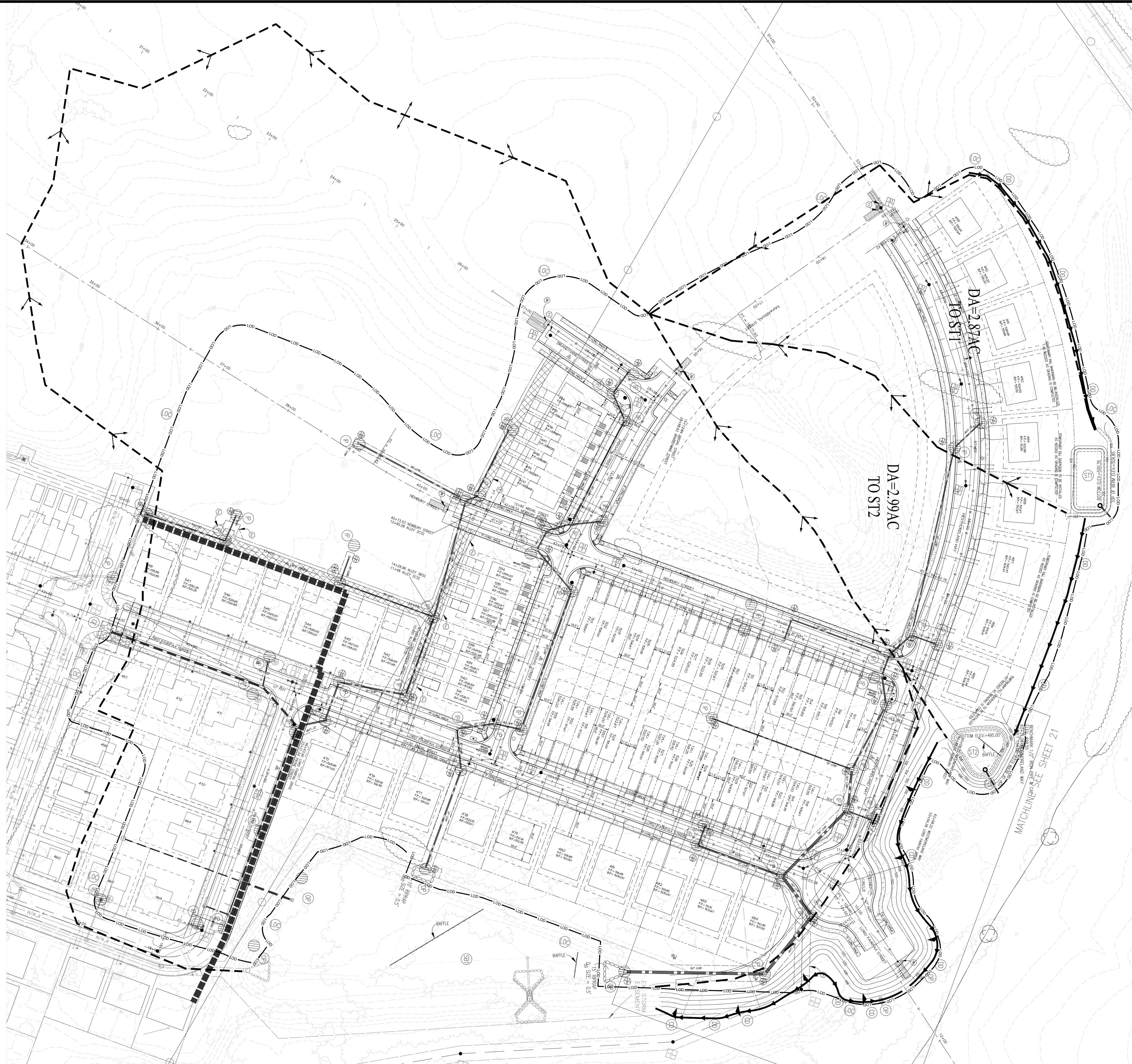
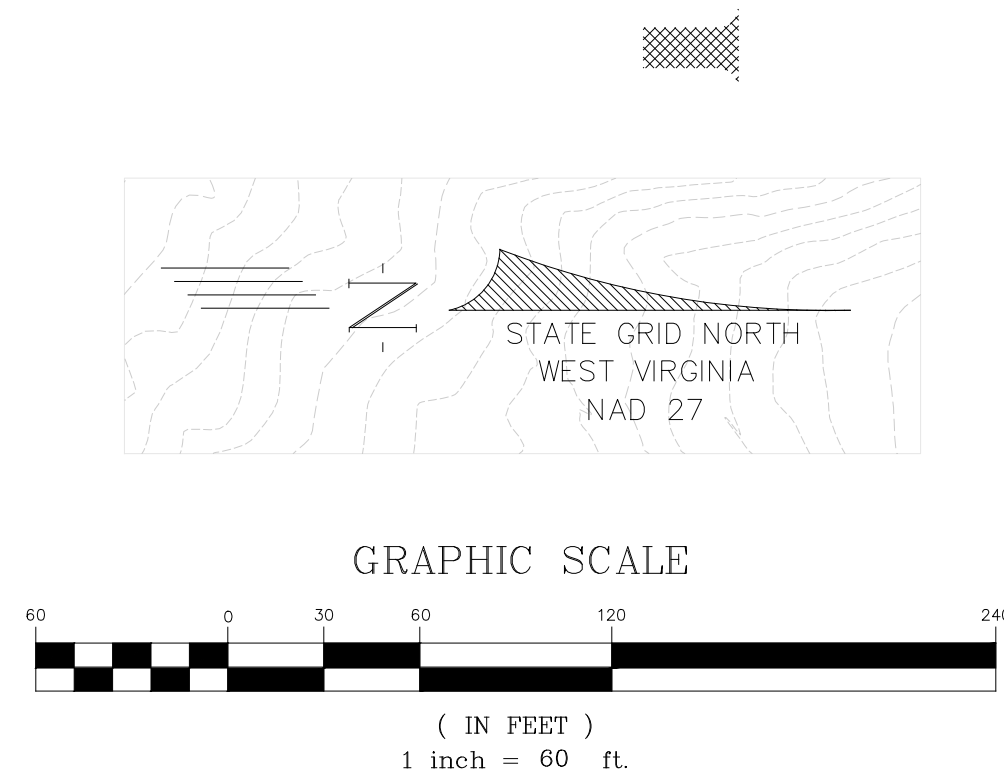
PLAN DATE		STORM PROFILES REWORKED FOR CHANGES	
01/13/04		1	4/10/06
12/20/04			
06/26/06			
No.	DATE	DESCRIPTION	
		REVISIONS	





3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
	STORM DRAIN INLET PROTECTION	IP	
3.18	OUTLET PROTECTION	OP	
3.20	ROCK CHECK DAM	CD	
3.09	DIVERSION DIKE	DD	
3.05	SILT FENCE	SF	
	LIMITS OF CLEARING	LOC	
	DRAINAGE DIVIDE		
	DIVERSION DIKE OUTLET PROTECTION		

- | | |
|---|-------------------------|
|  | WATERLINE EASEMENT |
|  | SANITARY EASEMENT |
|  | INGRESS/EGRESS EASEMENT |
|  | STORMWATER EASEMENT |
|  | STORMWATER MANHOLE |
|  | SANITARY MANHOLE |



SHEET 19 OF 25	PP-20048	Erosion & Sediment Control Plans	HUNTFIELD Phase 3B CHARLES TOWN CORPORATION JEFFERSON COUNTY, WEST VIRGINIA	SCALE: 1"=60'	C.I. = 2'	DATE: JANUARY 2004		MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS AND LANDSCAPE ARCHITECTS 205 HURST ROAD, SUITE 106 PURCELLVILLE, VIRGINIA 20132 PHONE: (703) 994-4047 MRA@TAG.COM Copyright 2012 Morris & Ritchie Associates, Inc.	PLANNING DATE	1. 02/21/06	TEMPORARY FILL DIVERSION NOTE AND DIVERSION
									01/13/04 12/20/04 02/21/06 05/16/06	2. 02/21/06	DIKE OUTLET PROTECTION ADDED 505' AND 503' ELEVATION SPOTS ADDED TO EMBANKMENT
									No.	DATE	DESCRIPTION
REVISIONS											

BASIN # 1 LOCATION PER PLAN

BASIN VOLUME DESIGN

DRAINAGE AREA = 35.03 Ac.

WET STORAGE

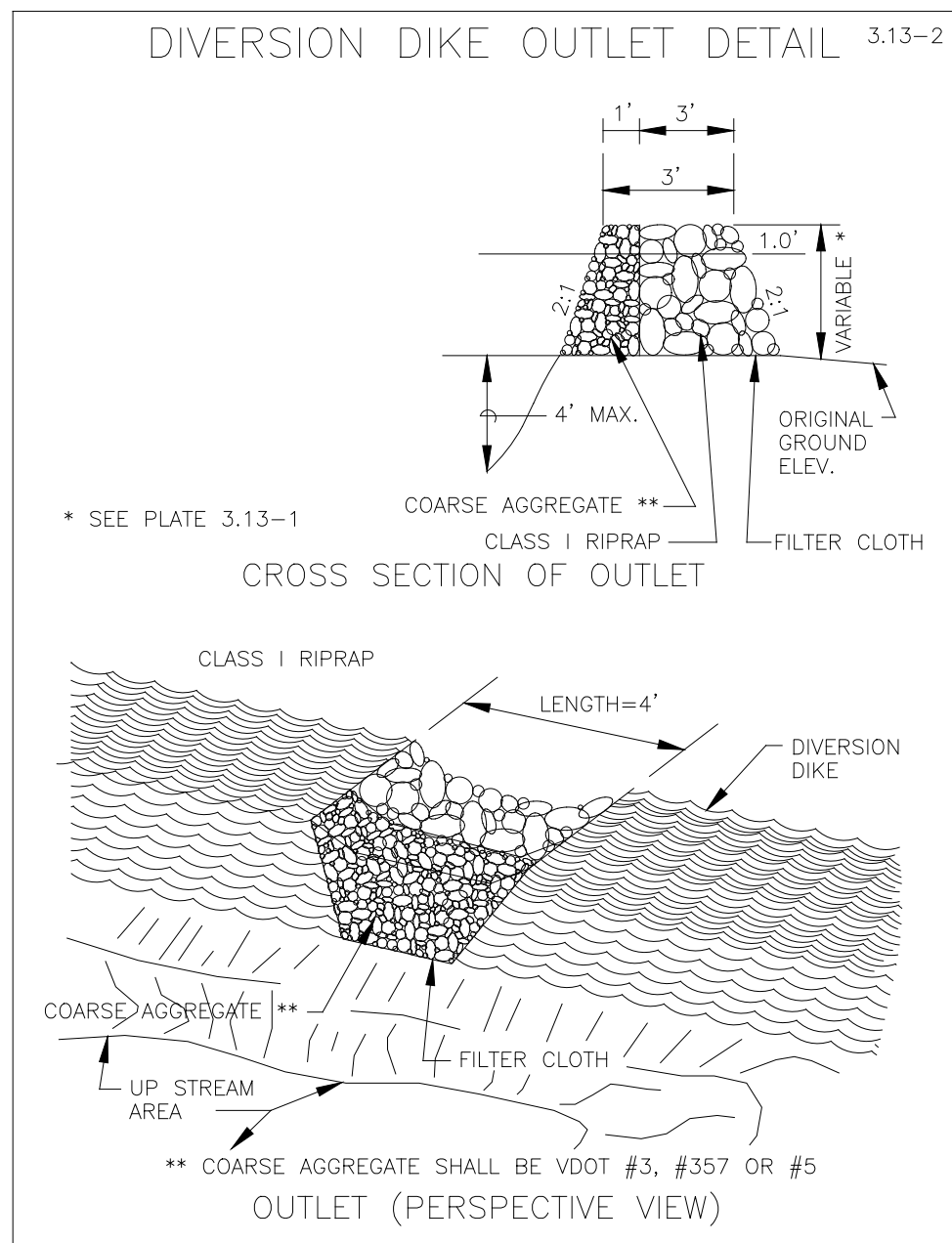
1. MINIMUM REQUIRED VOLUME = 67 cu. yds. x TOTAL DRAINAGE AREA (ACRES).
67 cu. yds. x 35.03 Acres = 2,347 cu. yds.
2. AVAILABLE BASIN VOLUME = 2,481 cu. yds AT ELEVATION 496.20 (FROM STORAGE - ELEVATION CURVE)
3. EXCAVATE 2,481 cu. yds. TO OBTAIN REQUIRED VOLUME.*
* ELEVATION CORRESPONDING TO REQUIRED VOLUME = INVERT OF THE DEWATERING ORIFICE.
4. AVAILABLE VOLUME BEFORE CLEANOUT REQUIRED.
33 cu. yds. x 35.03 Acres = 1,156 cu. yds.
5. ELEVATION CORRESPONDING TO CLEANOUT LEVEL = 495.20 Ft.
(FROM STORAGE - ELEVATION CURVE)
6. DISTANCE FROM INVERT OF THE DRAINING ORIFICE TO CLEANOUT LEVEL = 1.0 Ft.
(MIN. = 1.0 Ft.)

DRY STORAGE

7. MINIMUM REQUIRED VOLUME = 67 cu. yds. x TOTAL DRAINAGE AREA (ACRES).
67 cu. yds. x 35.03 Acres = 2,347 cu. yds.
8. TOTAL AVAILABLE BASIN VOLUME AT CREST OF RISER = 4,856 cu. yds AT
ELEVATION 497.50. (FROM STORAGE - ELEVATION CURVE)
9. DIAMETER OF DEWATERING ORIFICE = 4 IN.
10. DIAMETER OF FLEXIBLE TUBING = 6 IN. (DIAMETER OF DEWATERING
ORIFICE PLUS 2 INCHES).

NOTES:

- 1) REFERENCE "E&S DETAILS" SHEET OF THE HUNTFIELD PHASE 3A PLANS FOR PRIMARY & EMERGENCY SPILLWAY DESIGN AND DETAILS.
- 2) REFERENCE THE "PROJECT DESCRIPTION" SECTION OF THE EROSION & CONTROL NARRATIVE ON THIS SHEET FOR AN EXPLANATION OF THE PRE-DEVELOPMENT AREA USED FOR STORAGE CALCULATIONS.
- 3) THE MINIMUM BERM HEIGHT FOR THE 9+/- AC DRAINAGE AREA IS 50'.



TRAP ID	TOTAL DRAINAGE AREA	STORAGE REQUIRED	STORAGE PROVIDED	WET STORAGE			DRY STORAGE			EXCAVATED DEPTH	REFRM HEIGHT	TOP BERM WIDTH	RISER(Hr)/ OUTLET(Ho) HEIGHT	BOTTOM ELEVATION	WET STORAGE ELEVATION	DRY STORAGE ELEVATION	TOP OF BERM ELEVATION	SIDE SLOPES	OUTLET TYPE	PIPE INV. IN.	PIPE INV. OUT	WEIR / PIPE LENGTH	PIPE SLOPE		
				DEPTH D1	AREA A1	VOLUME V1	DEPTH D2	AREA A2	VOLUME V2																
				(ft.)	(sq. ft.)	(cu. ft.)	(ft.)	(sq. ft.)	(cu. ft.)																
	(Acres)	(cu.ft.)	(cu. ft.)							(ft.)	(ft.)	(ft.)	(ft.)									(ft.)	(%)		
ST1	2.87	10384	10685	2.00	3155	5364	5192	1.50	3940	5321	5192	2.00	2.50	4.00	1.50	500.35	502.35	503.85	504.85	2:1	PIPE	502.35	502.00	20	1.75%
ST2	2.99	10818	12442	2.00	3244	5515	5409	2.00	3683	6927	5409	2.00	3.00	4.00	2.00	495.00	497.00	499.00	500.00	2:1	PIPE	497.00	496.00	35	2.86%

$$V1 = 0.85 \times D1 \times A1$$
$$V2 = [(A1 + A2)/2] \times D2$$

NOTES:

1. TOTAL DRAINAGE AREA IS USED TO DETERMINE THE STORAGE VOLUME REQUIRED.
2. TOTAL DRAINAGE AREAS LESS THAN ONE ACRE ARE ALLOWED TO USE GRAVEL OUTLET STRUCTURES. TOTAL DRAINAGE AREAS FROM ONE TO THREE ACRES ARE TO USE RISER PIPE OUTLET STRUCTURES.
3. THE REQUIRED STORAGE VOLUME IS BASED UPON 1.34 CU. YD. PER ACRE (OR 3618 CU. FT. PER ACRE).
4. TOTAL DRAINAGE AREA (IN ACRES) IS USED TO DESIGN THE OUTLET STRUCTURE OF THE TRAP.
5. CONSTRUCTION OF SEDIMENT TRAPS SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK.

STORAGE – ELEVATION TABLE

Total Pond Volume (BMP Calcs)							
ELEVATION (ft)	AREA (ft ²)	AVERAGE AREA (ft ²)	INT (ft)	VOL (ft ³)	ACCUM. VOL. (ft ³)	ACCUM. VOL. (ac.-ft)	ACCUM. VOL. (yds)
492.50	0		0	0	0	0.0000	0
492.60	55	27	0.10	3	3	0.0001	0.10
493.00	1,336	695	0.40	278	281	0.0064	10.40
493.50	5,131	3,234	0.50	1,617	1,898	0.0436	70.28
494.00	10,879	8,005	0.50	4,002	5,900	0.1354	218.52
494.50	18,081	14,480	0.50	7,240	13,140	0.3017	486.67
495.00	26,376	22,229	0.50	11,114	24,254	0.5568	898.31
495.20	29,803	28,090	0.20	5,618	29,872	0.6858	1,106.38
495.50	34,538	32,171	0.30	9,651	39,523	0.9073	1,463.83
496.00	41,345	37,942	0.50	18,971	58,494	1.3428	2,166.45
496.10	42,543	41,944	0.10	4,194	62,689	1.4391	2,321.80
496.20	43,687	43,115	0.10	4,311	67,000	1.5381	2,481.48
496.50	46,795	45,241	0.30	13,572	80,572	1.8497	2,984.16
497.00	50,888	48,842	0.50	24,421	104,993	2.4103	3,888.63
497.50	53,625	52,257	0.50	26,128	131,121	3.0101	4,856.35
498.00	55,677	54,651	0.50	27,326	158,447	3.6374	5,868.40
498.50	57,712	56,695	0.50	28,347	186,794	4.2882	6,918.30
499.00	59,732	58,722	0.50	29,361	216,155	4.9622	8,005.74
499.50	61,735	60,734	0.50	30,367	246,522	5.6594	9,130.44
500.00	63,723	62,729	0.50	31,365	277,886	6.3794	10,292.09

CONSTRUCTION SEQUENCING

1. CONSTRUCTION SHALL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. INSTALL THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
3. INSTALL INLET PROTECTION FOR EXISTING SEWER INLETS AS SHOWN.
4. CONSTRUCT DIVERSION DIKES AROUND PERIMETER AND PLACE CHECK DAMS AS SHOWN.
5. INSTALL TEMPORARY Baffles AT EXISTING STORMWATER MANAGEMENT POND AND IN TEMPORARY SEDIMENT TRAP (ST1) AS SHOWN.
6. CONSTRUCT DIVERSION EMBANKMENT AS SHOWN ON SHEET 19 TO DIVERT FLOW INTO THE EXISTING POND (TO SERVE AS SEDIMENT BASIN).
7. CONSTRUCT TEMPORARY SEDIMENT BASINS AS SHOWN.
8. PROVIDE TEMPORARY SEEDING AND MULCHING TO ALL EARTHEN PERIMETER CONTROLS IMMEDIATELY FOLLOWING GRADING.
9. CLEAR REMAINING SITE, IN PHASES NECESSARY TO STAGE CONSTRUCTION.
10. START RE-VEGETATION AS AREAS ARE BROUGHT TO GRADE OR STAND IDLE FOR MORE THAN (14) DAYS.
11. UPON INSTALLATION OF PROPOSED STORM SEWER PIPE, INSTALL INLET AND OUTLET PROTECTION.
12. STABILIZE THE REMAINDER OF THE DISTURBED AREA WITH PERMANENT SEEDING.
13. WHEN THE SITE WORK IS COMPLETE AND APPROVAL HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS.
14. UPON COMPLETE STABILIZATION OF THE RESPECTIVE AREAS, FLUSH THE STORM DRAIN SYSTEM TO REMOVE ACCUMULATED SEDIMENT.
15. UPON COMPLETION OF CONSTRUCTION AND STABILIZATION OF THE SITE, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM FACILITY AND THE ELEVATIONS SHALL BE RETURNED TO THE DESIGN GRADES AND ELEVATIONS. AN AS-BUILT DRAWING OF THE STORMWATER MANAGEMENT FACILITY SHALL BE CREATED UPON COMPLETE STABILIZATION.

MAINTENANCE

ALL MEASURES ARE TO BE INSPECTED DAILY BY THE SITE SUPERINTENDENT. ANY DAMAGED CONTROLS SHALL BE REPAIRED AND/OR REPLACED BY THE CLOSE OF THE DAY. NO CONTROLS ARE TO BE REMOVED WITHOUT THE APPROVAL OF THE SITE INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR PENALTIES CAUSED BY HIS FAILURE TO COMPLY WITH THE EROSION AND SEDIMENT CONTROL PROGRAM OR THE DIRECTION OF THE SITE INSPECTOR. THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY CHANGES TO THIS PROGRAM.

1. THE CHECK DAM WILL BE CHECKED REGULARLY FOR SEDIMENT AND CLEANED WHEN NECESSARY.
2. THE GRAVEL OUTLETS WILL BE CHECKED REGULARLY FOR SEDIMENT BUILDUP, WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS CLOGGED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED OR REPLACED.

3. THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.

4. THE SEEDED AREA WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREA SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.

STRUCTURAL PRACTICES

1. SILT FENCE BARRIER - 3.05
A TEMPORARY BARRIER CONSISTING OF A SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED.
2. TEMPORARY CONSTRUCTION ENTRANCE - 3.02
A GRAVEL PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE TO REDUCE THE MUD TRANSPORTED ONTO PUBLIC ROADS AND OTHER PAVED AREAS.

3. ROCK CHECK DAM - 3.20
SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A SWALE OR DRAINAGE DITCH TO REDUCE THE VELOCITY OF CONCENTRATED FLOWS, REDUCING EROSION OF THE SWALE OR DITCH. LIMITED TO USE IN SMALL OPEN CHANNELS WHICH DRAIN 10 ACRES OR LESS; SHOULD NOT BE USED IN LIVE STREAMS.

4. CULVERT INLET PROTECTION - 3.08
A SEDIMENT FILTER LOCATED AT THE INLET TO STORM SEWER CULVERTS WHICH PREVENTS SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED BY THE CULVERT. IT ALSO PROVIDES EROSION CONTROL AT CULVERTS DURING THE PHASE OF A PROJECT WHERE ELEVATIONS AND DRAINAGE PATTERNS ARE CHANGING, CAUSING ORIGINAL CONTROL MEASURES TO BE INEFFECTIVE.

5. OUTLET PROTECTION - 3.18
THE INSTALLATION OF PAVED AND/OR RIP-RAP CHANNEL SECTIONS AND/OR STILLING BASINS BELOW STEEL SECTION DRAIN OUTLETS TO REDUCE EROSION SECTION FROM SCOURING AT OUTLETS AND TO REDUCE FLOW VELOCITIES BEFORE STORMWATER ENTERS RECEIVING CHANNELS BELOW THESE OUTLETS.

VEGETATIVE PRACTICES

1. PERMANENT SEEDING - 3.32
ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER BY PLANTING SEED ON ROUGH GRADING AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE OR WHERE PERMANENT, LONG LIVED VEGETATIVE COVER IS NEEDED ON FINE GRADING AREAS.

2. TEMPORARY SEEDING - 3.31
ALL DENUDED AREAS, WHICH WILL BE LEFT DORMANT FOR EXTENDED PERIODS OF TIME, SHALL BE SEEDDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. SELECTION OF THE SEED MIXTURE WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED.

3. EROSION CONTROL BLANKET - 3/36 OR MULCH - 3/35
EROSION CONTROL BLANKETS WILL BE INSTALLED OVER FILL SLOPES, WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION AND TO ALLOW SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS AND WILL BE APPLIED AS A SECOND STEP IN THE SEEDING OPERATION.

EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THIS SET OF PLANS PERTAINS TO THE CONSTRUCTION OF SINGLE FAMILY HOMES, TOWNHOMES, AND THE ASSOCIATED ROADS AND PARKING AREAS. APPROXIMATELY 22.6 ACRES WILL BE DISTURBED FOR THE CONSTRUCTION HUNTFIELD SECTION 3B.

NOTE THAT THE TEMPORARY SEDIMENT BASIN (SB1) WAS PREVIOUSLY CONSTRUCTED WITH THE HUNTLEIGH PHASE 3A PLANS, AND IT WAS DESIGNED TO SERVE AS A TEMPORARY SEDIMENT BASIN DURING THE CONSTRUCTION OF BOTH PHASE 3A AND PHASE 3B. UPON COMPLETION OF CONSTRUCTION AND STABILIZATION OF THE AREAS UPSTREAM OF PHASE 3A AND PHASE 3B, THE POND WILL FUNCTION AS A PERMANENT STORMWATER MANAGEMENT POND FOR HUNTLEIGH PHASE 3A AND AS A SEDIMENTATION BASIN FOR THE POND DESIGN AREAS REQUIRED FOR WHICH TO CONVERT IT FROM A TEMPORARY SEDIMENT BASIN TO A PERMANENT STORMWATER MANAGEMENT POND (PLYWOOD IS INSTALLED OVER A SECTION OF THE WEIR AND A TEMPORARY BARREL AND RISER STRUCTURE ARE INSTALLED DURING THE E&S PHASE). REFERENCE THE "EROSION & SEDIMENT CONTROL DETAILS" SHEET OF THE HUNTLEIGH PHASE 3A PLANS FOR DETAILS ON REQUIRED MODIFICATIONS.

THE TEMPORARY SEDIMENT BASIN AS DESIGNED WITH THE PHASE 3A PLANS WAS BASED ON A TOTAL DRAINAGE AREA TO THE POND OF 35.05 ACRES, WHICH IS THE PRE-DEVELOPMENT DRAINAGE AREA ASSOCIATED WITH PHASE 3A AND PHASE 3B. REFERENCE THE "POND TC AND COMPUTATIONS" SHEET OF THE HUNTFIELD PHASE 3A PLANS FOR PRE-DEVELOPMENT DRAINAGE DIVIDES TO THE TEMPORARY SEDIMENT BASIN. THE SEDIMENT BASIN COMPS SHOWN IN THIS PLAN ARE THOSE SHOWN ON THE "EROSION & SEDIMENT CONTROL DETAILS" SHEET OF THE PHASE 3A PLANS.

SURROUNDING PROPERTY & EXISTING SITE CONDITIONS

SIMILAR DEVELOPMENTS, WHICH WILL BE REFERRED TO AS HUNTFIELD, PHASE I, PHASE 2A, PHASE 2B AND PHASE 3A ARE LOCATED TO THE EAST AND SOUTHEAST OF THE PROPOSED SITE. THE REMAINDER OF THE SURROUNDING LAND IS UNDEVELOPED, AND IS USED PREDOMINANTLY FOR CROP PLANTING. IN GENERAL, THE LAND IS RELATIVELY FLAT AND DRAINS TO THE EAST INTO A FLOODPLAIN. REFERENCE SHEET 2 FOR INFORMATION CONCERNING THE SOIL TYPES LOCATED IN THE PROPOSED SITE.

GENERAL E&S REQUIREMENTS

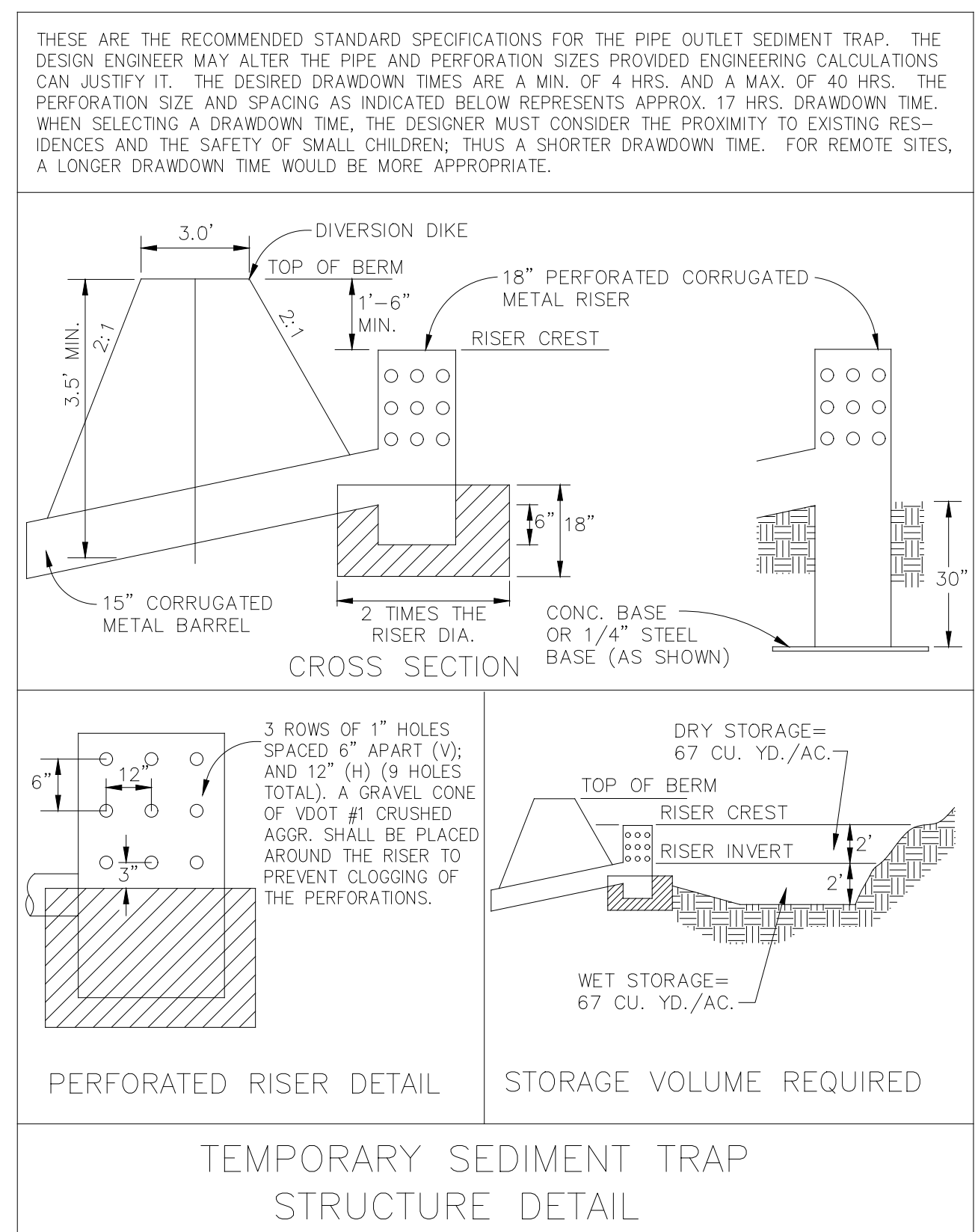
- 1) TOPSOIL SHALL BE STRIPPED FROM GRADED AREAS AND STOCKPILED IN A BERM ALONG THE NORFOLK & SOUTHERN RAILROAD PER THE "CORRECTIVE ACTION PLAN". ALL STOCKPILES MUST BE STABILIZED BY TEMPORARY VEGETATION WITHIN 7 CALENDAR DAYS. ALL DISTURBED AREAS SHALL BE STABILIZED WITH FAST GERMINATING TEMPORARY VEGETATION WITHIN SEVEN DAYS AFTER GRADING.

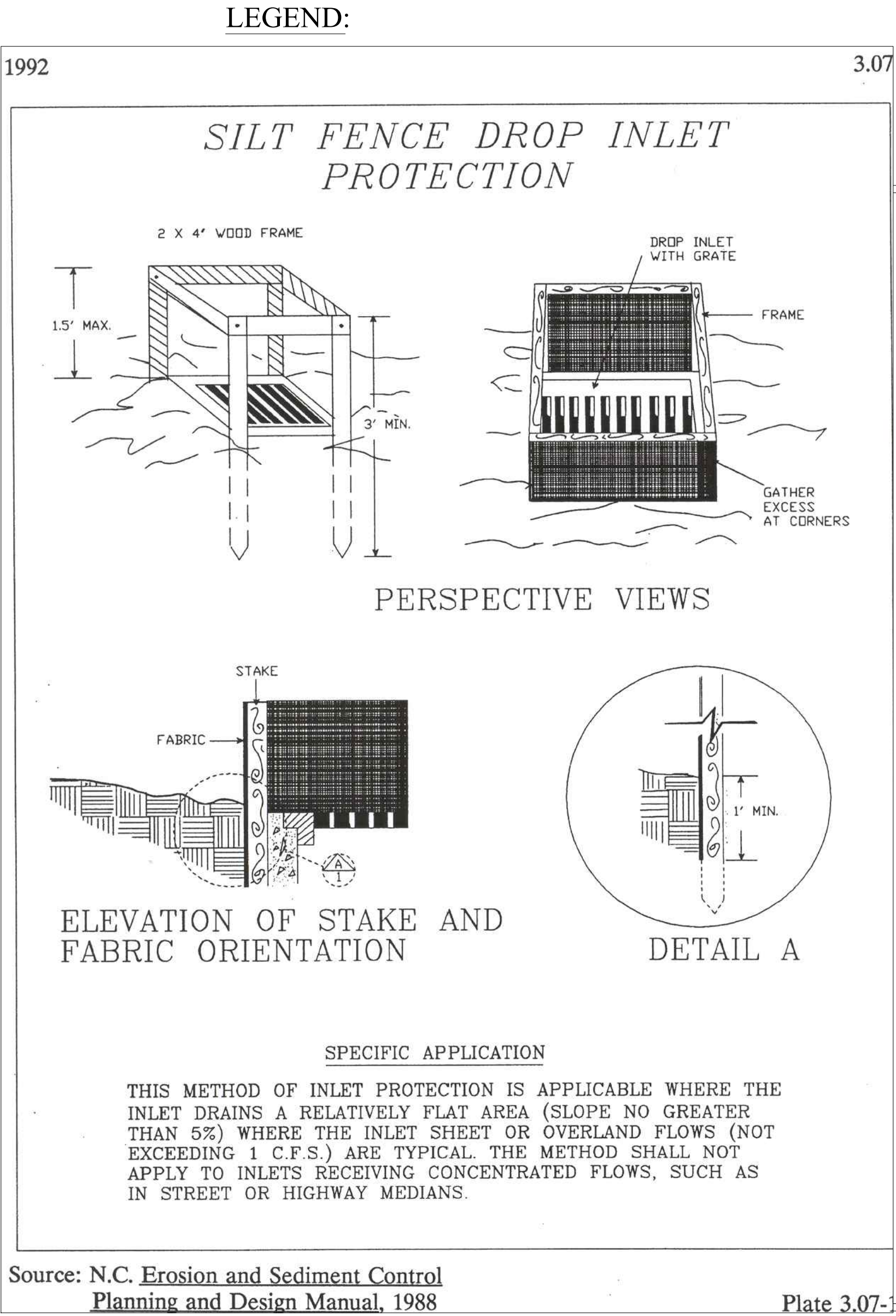
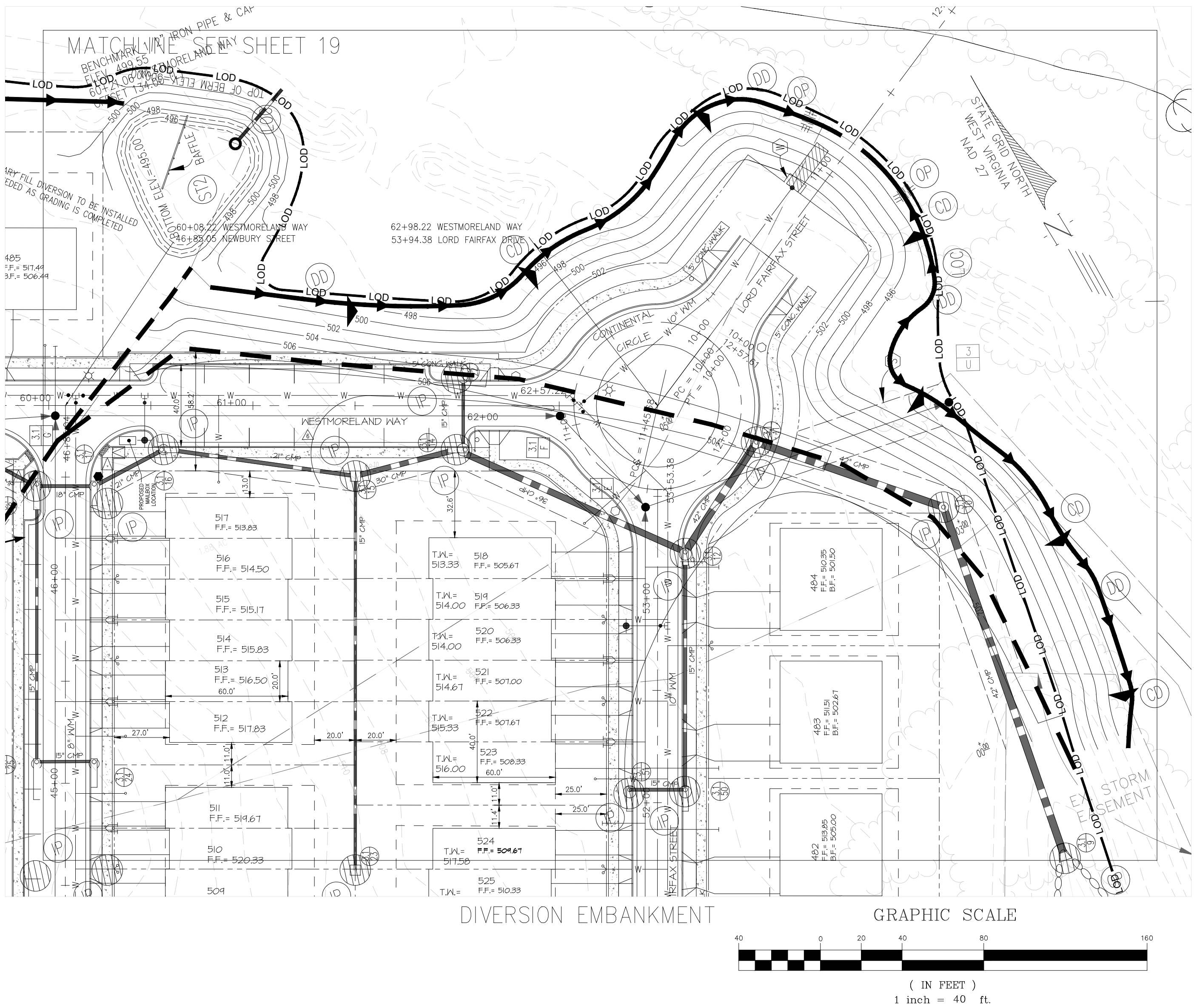
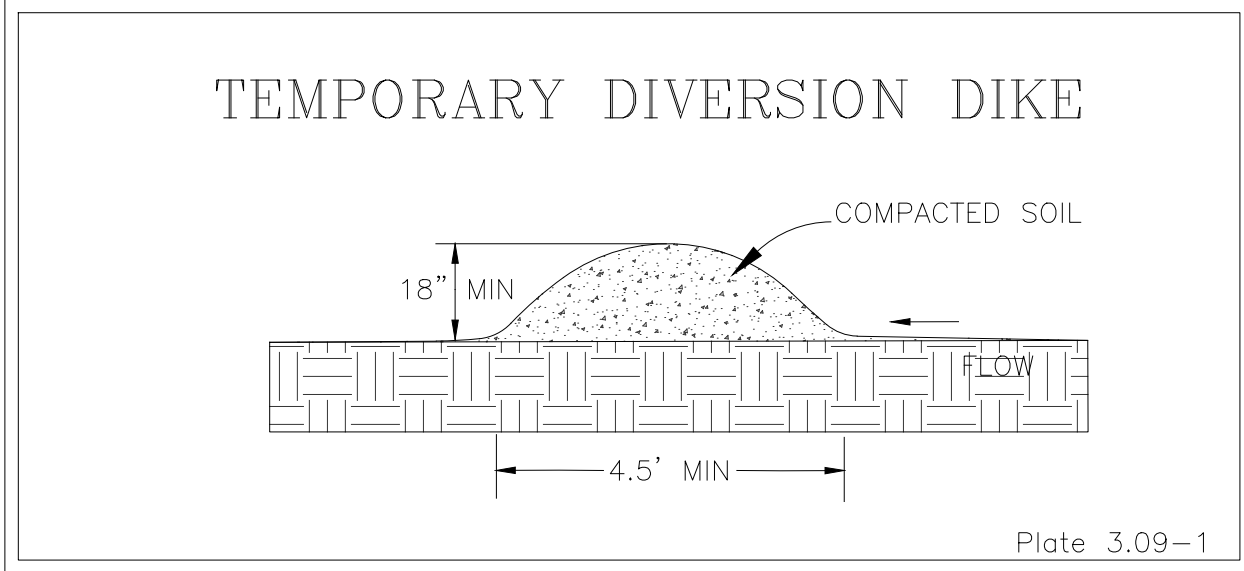
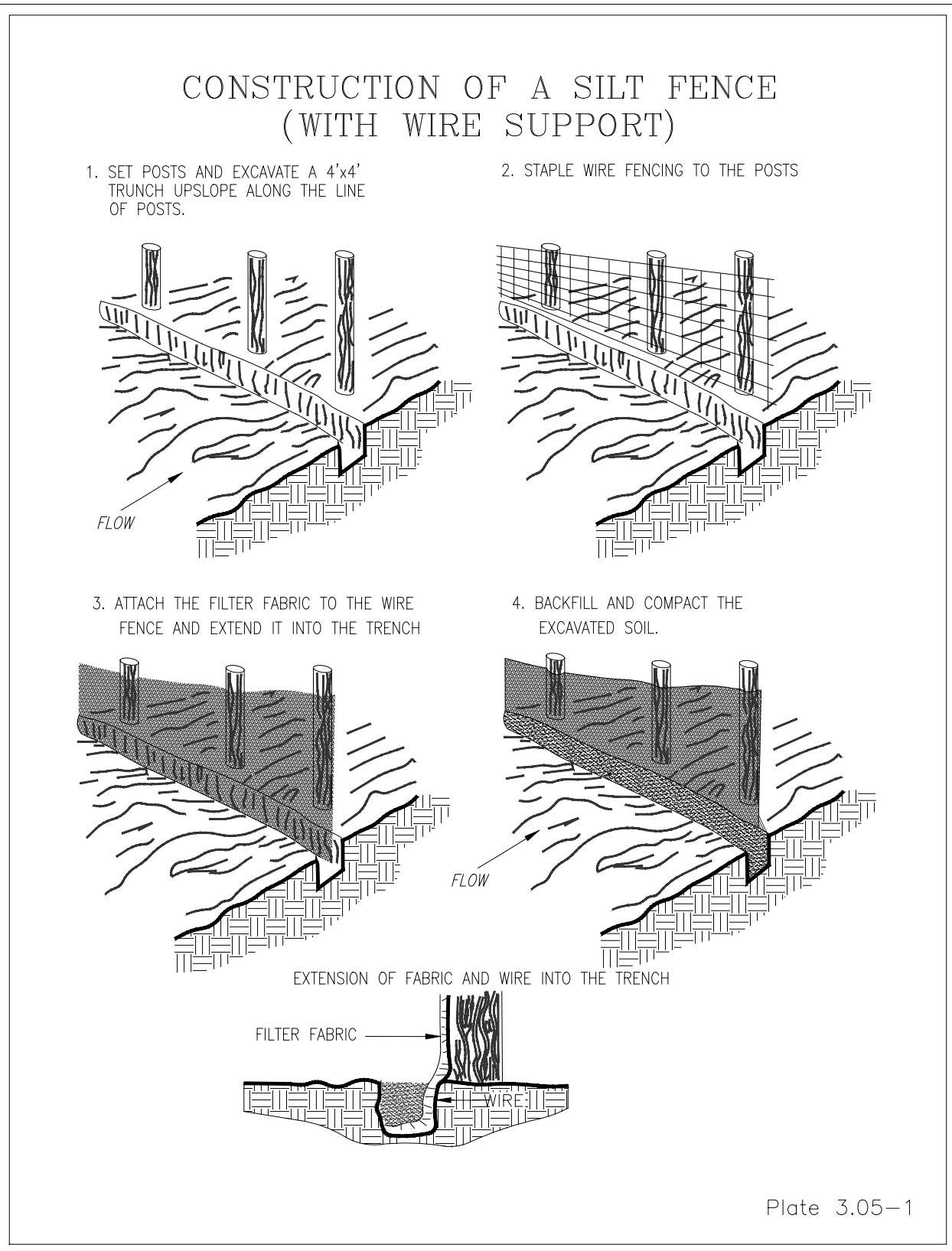
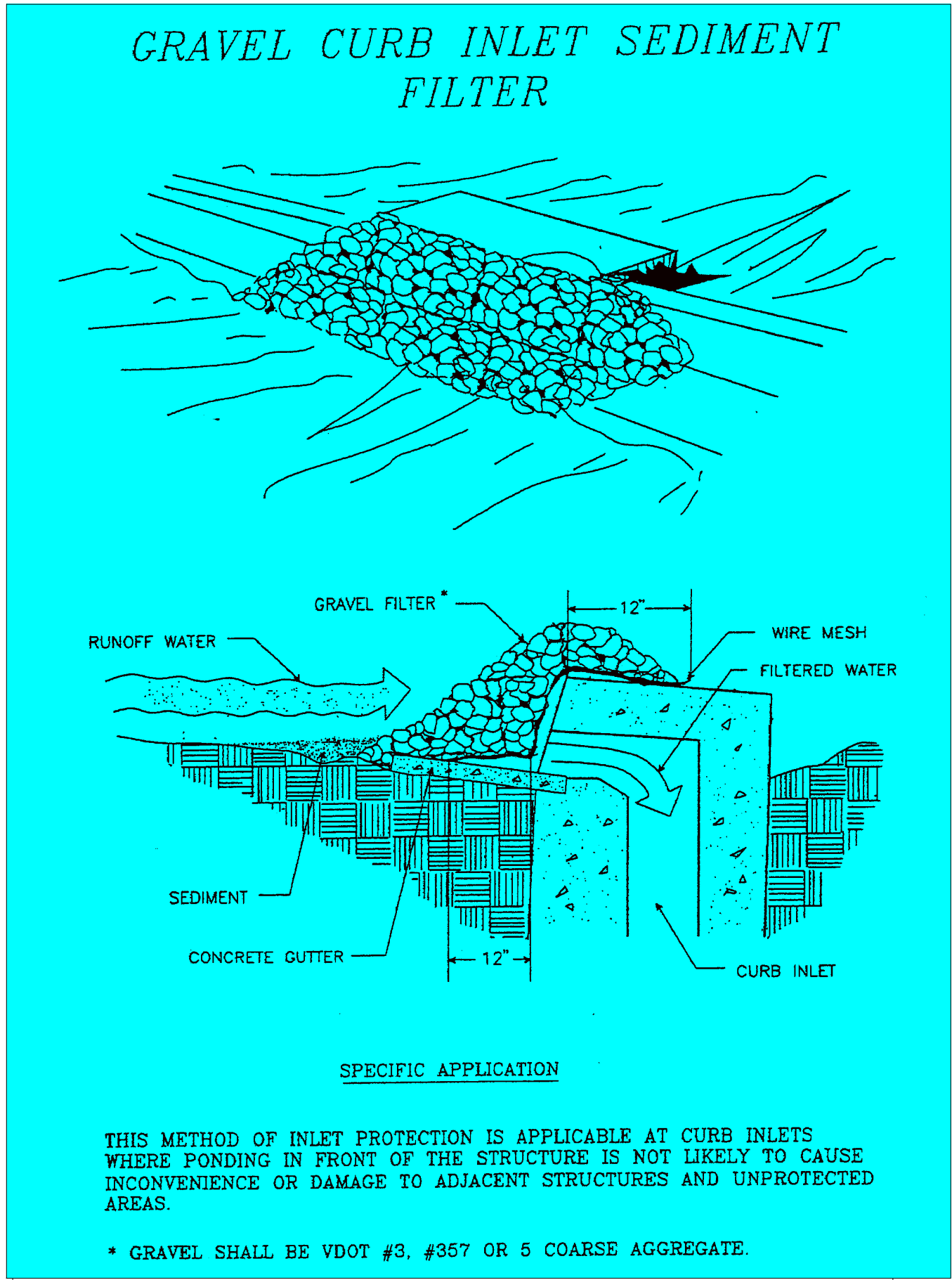
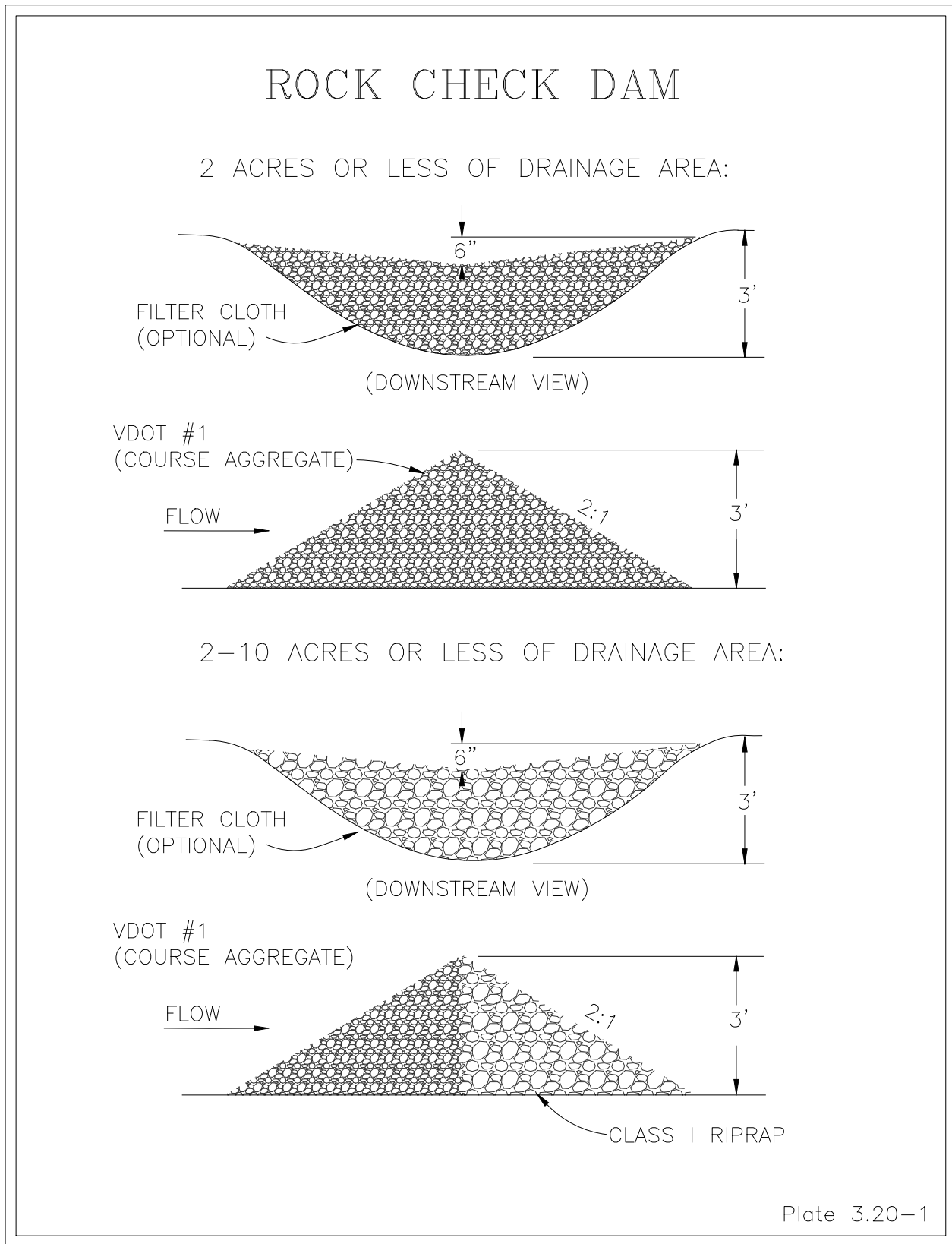
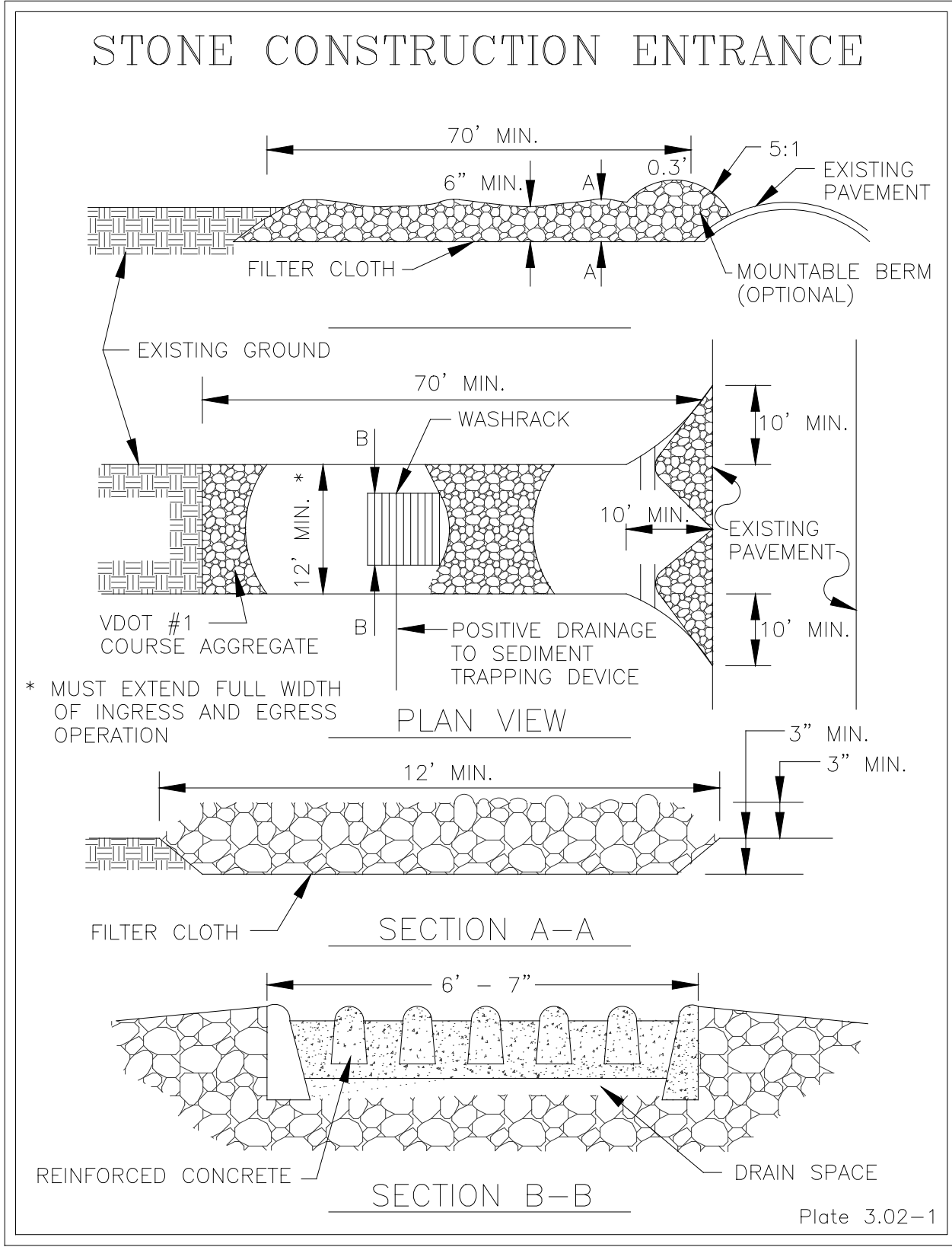
- 2) ALL VEGETATIVE STABILIZATION SHALL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL AND RE-SEEDED AS NEEDED.

- 3) ALL E&S MEASURES AND CONTROL DEVICES DESCRIBED HEREON SHALL CONFORM TO SECTIONS 3 THROUGH 5 OF THE "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS". THE JEFFERSON COUNTY INSPECTOR HAS THE AUTHORITY TO ADD OR DELETE EROSION AND SEDIMENT CONTROLS AS NEEDED IN THE FIELD AND AS SITE CONDITIONS WARRANT.

- 4) AS MENTIONED IN THIS PROJECT DESCRIPTION, THE TEMPORARY SEDIMENT BASIN CONSTRUCTED FOR HUNTFIELD PHASE 3A WAS DESIGNED TO FUNCTION AS THE TEMPORARY SEDIMENT BASIN FOR PHASE 3B AS WELL. UPON COMPLETION OF PHASE 3A AND PHASE 3B, THE TEMPORARY SEDIMENT POND SHALL FUNCTION AS THE PERMANENT STORMWATER MANAGEMENT FACILITY FOR BOTH PHASES. DURING THE CONSTRUCTION OF PHASE 3A, MODIFICATIONS WERE MADE TO THE STORMWATER MANAGEMENT FACILITY, WHICH ALLOWED IT TO FUNCTION AS A TEMPORARY SEDIMENT BASIN. (PLYWOOD WAS INSTALLED OVER A SECTION OF THE WEIR, AND A BARREL AND RISER STRUCTURE WAS INSTALLED.) REFERENCE HUNTFIELD PHASE 3A &S NARRATIVE. THESE MODIFICATIONS WILL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION OF PHASE 3B. UPON STABILIZATION OF THE UPSTREAM AREAS, THE AFOREMENTIONED MODIFICATIONS SHALL BE REMOVED, AND ADDITIONAL MODIFICATIONS SHALL BE MADE, WHICH ALLOW THE POND TO FUNCTION AS THE PERMANENT STORMWATER MANAGEMENT FACILITY. REFERENCE HUNTFIELD PHASE 3A PLANS FOR DETAILS.

CONSTRUCTION SCHEDULE	
Erosion & Sediment Controls and SWM	January, 2007
Clearing & Rough Grading	January, 2007 to May, 2007
Site Utilities	February, 2007 to May, 2007
Base Paving	May, 2007
Model Home Construction	January, 2007 to September, 2007
Sales	Beginning March, 2007, (on-going)
House Construction	April, 2007 – September, 2007





REVISIONS	
No.	DATE

PLAN DATE	DESCRIPTION
01/13/04	
12/20/04	
07/16/06	
06/16/06	

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
305 HIRST ROAD, SUITE 105
PURCELLVILLE, VIRGINIA 20132
PHONE (703) 894-4047
MRAGTA.COM

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COMMONWEALTH OF VIRGINIA
JON K. ERICKSON
Lic. No. 32355
06/14/2024
PROFESSIONAL ENGINEER

E&S Details
HUNTFIELD
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: AS SHOWN
C.I. = N/A
DATE: JANUARY 2004

SHEET
21
OF
25
PP-20048



STREET TREE AND LANDSCAPE PLANTING LIST

NEIGHBORHOOD CONNECTOR STREET
Plantanus x acerfolia 'Bloodgood' – Bloodgood London Plane (PAB)
Quercus phellos – Willow Oak (QP)
Ulmus Parviflora – Lacebark Elm (UP)

RESIDENTIAL NEIGHBORHOOD STREET
Fraxinus pennsylvanica 'Patmore' – Patmore Ash (FPP)
Quercus phellos – Willow Oak (QP)
Acer rubrum 'October Glory' – October Glory' Red Maple (ARO)

SHRUBS
Clethra alnifolia – Summersweet hummingbird (CA)
Fothergilla gardeni – Fothergilla (FG)
Ilex glabra – 'Shamrock' Inkberry (IGS)
Rhus aromatica – Gro-Low Sumac (ROG)

LANDSCAPE CALCULATIONS

Non-Impervious Areas	
Area from property lines to edge of sidewalk:	0.19
Area from edge of sidewalk to edge of roads:	0.82
Open Space Parcel B-1	3.26
	4.27 Acres

Area for Landscaping Computations	4.27 Acres
	186001.2 Sq.Ft.

Landscape Requirements:	
Trees – 1 per 2000 Sq.Ft	= 93 Trees
Shrubs – 3 per 2000 Sq.Ft.	= 279 Shrubs

Landscape Provided:	93 Trees
	279 Shrubs

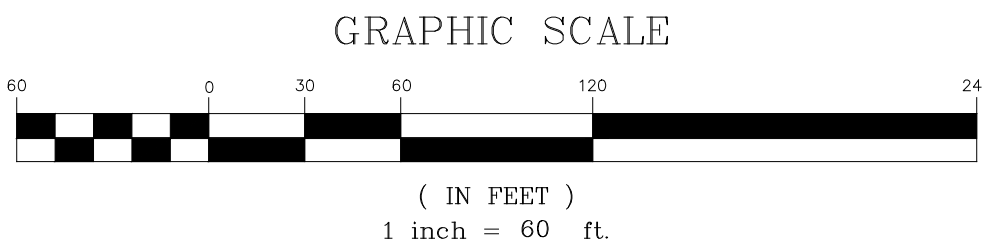
See note 6 in General Notes.

GENERAL NOTES FOR LANDSCAPING

- LANDSCAPING FOR ALL ROADS STUBBED OUT FOR FUTURE EXPANSION TO BE PROVIDED WITH FUTURE PLANS.
- AT THE TIME OF PLANTING, ALL TREES MUST BE A MINIMUM OF 8" IN HEIGHT AND 2.5" IN CALIBER.
- TREES TO BE PLANTED IN A UNIFORM MANNER SUCH THAT EACH STREET CONTAINS TREES OF A SINGLE SPECIES SELECTED FROM THE TABLE PROVIDE ABOVE.
- THIS LANDSCAPE PLAN IS DESIGNED TO BE A PRELIMINARY PLAN FOR LANDSCAPE ARCHITECTS TO IMPROVE UPON.
- ALL OPEN SPACE AREAS SHOWN ARE TO BE COVERED WITH GRASS. HOWEVER, THIS LANDSCAPE PLAN IS A PRELIMINARY PLAN (SEE NOTE 4). OTHER GROUND COVERING MAY BE SUBSTITUTED UPON FINAL DESIGN OF THE LANDSCAPE PLAN BY THE LANDSCAPE ARCHITECT. HOWEVER, THE GROUND COVERING MUST BE APPROVED BY THE CITY OF CHARLES TOWN PRIOR TO PLANTING.
- SHRUBS TO BE PROVIDED IN INTERIOR LOT SPACE PER AGREEMENT WITH THE CITY OF CHARLES TOWN

LEGEND:

W	WATERLINE EASEMENT	SD	STORMWATER EASEMENT
S	SANITARY EASEMENT	3.1 6.8	STORMWATER MANHOLE
E	INGRESS/EGRESS EASEMENT	3.1 T	SANITARY MANHOLE



LANDSCAPING PLANS
HUNTFIELD
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA

DATE: JANUARY 2004
C.I. = 2'

SHEET
22
OF
25
PP-20048

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
205 HIRST ROAD, SUITE 106
PURCELLVILLE, VIRGINIA 20132
PHONE: (703) 994-4047
MRAGTACOM

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PLAN DATE
01/13/04
12/20/04
02/26/06
05/16/06

11/18/05 LANDSCAPE CALCULATIONS AMENDED: TREES
REPOSITIONED (NO LONGER IN OPEN SPACE,
ETC.)

NO. DATE DESCRIPTION
REVISIONS

OPEN SPACE	AREA (AC)
3B-1	3.2635

# SFA	# SFD
LOTS	LOTS
48	36

STANDARD STORM DRAIN
MINIMUM EASEMENT WIDTHS

PIPE SIZE	MINIMUM EASEMENT WIDTH
12-18 INCHES	10 FEET
21-33 INCHES	15 FEET
36-48 INCHES	20 FEET
54-72 INCHES	24 FEET

*COMMERCIAL	AREA (AC)
Parcel	Lot 485
	0.1515

*Note:
A minimum of 10% of the total site area shall be provided as Commercial Area per the zoning ordinance.
Additional Commercial Area not shown in this site plan shall be recorded & developed under separate site plan(s) and record plat(s).

LEGEND:

SECTION 3B

TOWNHOME REGION

TOWNHOME REGION
FUTURE PHASE 3D



WATERLINE EASEMENT



SANITARY EASEMENT



INGRESS/EGRESS EASEMENT



STORMWATER EASEMENT



STORMWATER MANHOLE



SANITARY MANHOLE

Zoning Information

District

Neighborhood Residential

Modified as set forth in the proffers for the Huntfield Development in "Letter of Clarification / Huntfield Proffer Statement Dated March 28, 2002" & the Amendment to the Huntfield Proffers dated May 3, 2004.

Proposed Uses

SFD - Single Family Detached Units

SFA - Single Family Attached Units (Town Homes (TH))

NC - Neighborhood Commercial

OS - Open Space

Notes:

- Per "Letter of Clarification/Huntfield Proffer Statement" dated March 28, 2002:
 - Minimum lot width shall be reduced to 50 feet at the street.
 - Minimum lot area shall be reduced to 5,000 square feet.
 - Front yard setback shall be 25 feet from the edge of pavement.
 - Encroachment within the front yard setback shall be no more than 30% or 8.34 feet. (Note: The 30% value appears to be a typographical error in the proffers that should be 33%).
 - Side yard setbacks shall be reduced to 5 feet minimum.
 - No setback from the property line for accessory structures shall be required.
 - Minimum paving width shall be 24 feet.
- Per the City of Charles Town Zoning Ordinance, maximum area occupied by accessory structures to be less than 25% of the rear yard. Actual area occupied by accessory structure will be based on final selection of townhome product.
- Per the City of Charles Town Zoning Ordinance, impervious site area not to exceed requirements shown in the table below. Actual impervious site area to be based on final selection of town home and SFD house types.
- Max height not to exceed 3 stories or 45 ft per the Amended Huntfield Proffers dated May 3, 2004. Actual height based on final selection of house type.
- Play/teen lots located in the Active Use parcel to be in conformance with the City of Charles Town Zoning Ordinance. Equipment not to be sited, in, on, or under: seasonally wet soils, utility lines, on or in drainage courses, stormwater detention areas, flood plains, or on slopes over five (5) percent.
- Per the Amended Huntfield Proffers dated May 3, 2004, front loading garages may be used for not more than 40% of the total number of garages proposed in the development.
- Per the Amended Huntfield Proffers dated May 3, 2004, the width of townhome lots shall be a mix of 16' to 24' lots.
- Total number of on-street parking spaces provided = 80 spaces (48 spaces for town home parking + 32 spaces for public parking). All parking spaces to be 22' x 8' as specified by the City of Charles Town Zoning Ordinance.

SFD Units

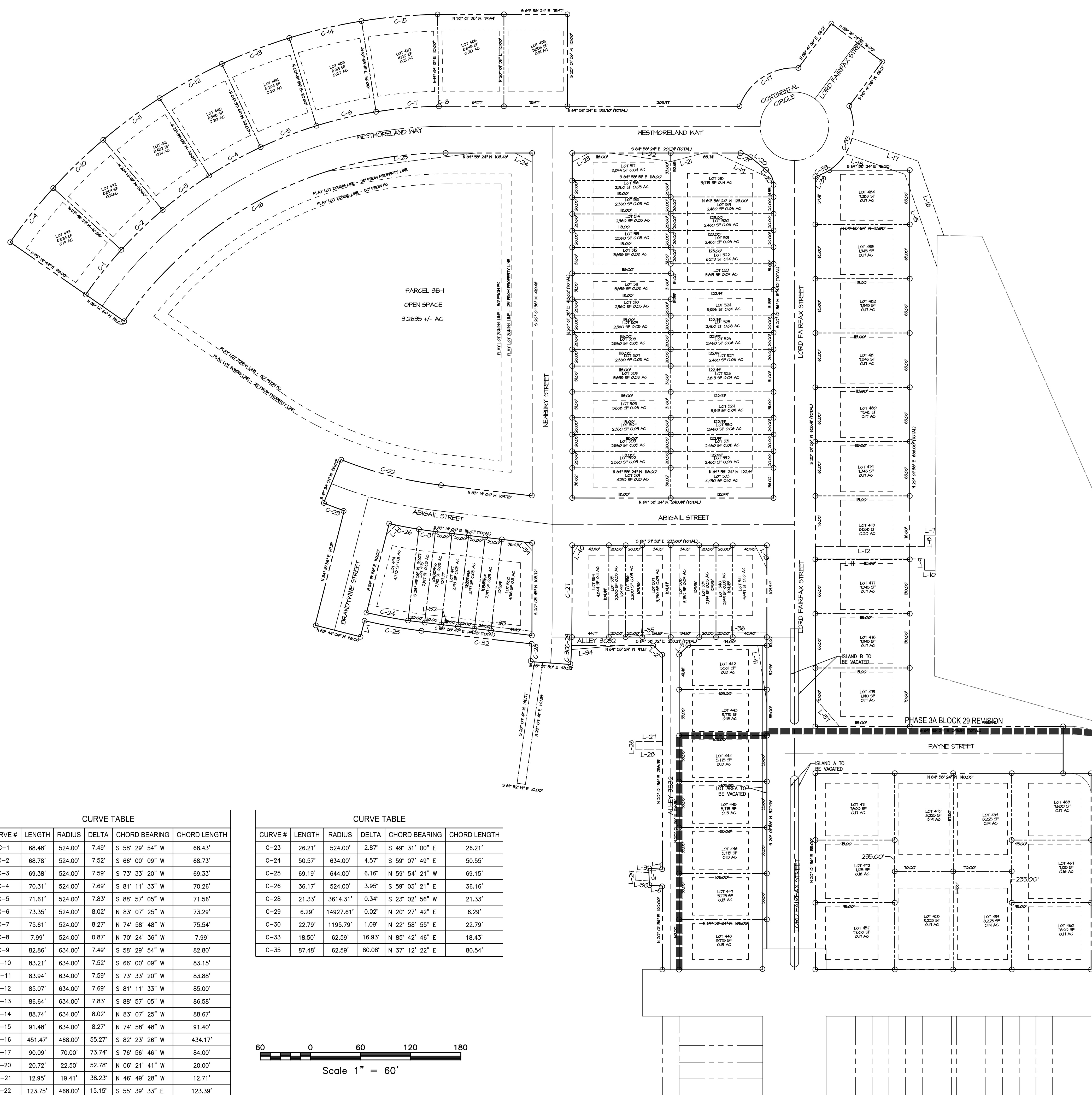
* indicates items modified in proffers - see notes

*Lot Size	Required	Provided
Min. (sf)	5000	6000
*Lot Width		
Min. (ft)	50	52
Impervious Site Coverage		
Max. Gross Site Area Covered (%)	70	See note 3
Access Drives & Parking		
Min. Parking per SFD	1	1
Assumes 1 parking space per garage/parking pad		
*Max Height		
Not to Exceed (stories/ft)	3/45	See note 4
*Front Setbacks	25	25
*Side Setbacks	5	5
Rear Setbacks	20	20
*Accessory Structures - See note 2		
No Setback Requirements - see note 1 (f).		
Corner Lots		
Shall have 2 fronts, 1 side, and 1 rear yard.		

SFA Units (Town homes)

* indicates items modified in proffers - see notes

Net Land Area (Ac)	Required	Provided
TH Development Area (Ac)	> 5	8.6 Ac.
Net Land Area per TH (H2/TH)	3,500 min.	4803
Max Density (Units/Ac)	10	9.1
Minimum Lot Size (sf)	2,000	2000
Tract Frontage		
Note: All parcels are considered interior parcels.		
Min. Width Interior Parcel (ft)	100	110 Min.
*Min. TH Lot Width		
Interior Lots - See note 7	*16' to 24'	20
Ends Lots - Added Width Requ'd for Sideyards	31'	Min.
TH Row Length (Units)		
Town homes per Row (Min)	3	4
Town homes per Row (Max)	10	7
*Max Height		
Not to Exceed (stories/ft)	3/45	See note 4
*Front Setbacks	25	25
*Side Setbacks	10	10
At End of Every Townhouse row (ft)		
Rear Setbacks	20	20
Minimum Depth (ft)		
*Accessory Structures		
Location	Rear Yard	Rear Yard
Max. Area Occupied by Structure (% Rear Yard)	25%	See Note 2
* No setback requirements - see note 1(f)		
Access Drives & Parking		
Parking per TH (spaces/lot)	1.8	2.1
Garage Parking / Parking Pad (spaces)		48
Assumes 1 parking space per garage/parking pad		
Street Parking (spaces) - See note 8		52
Impervious Site Coverage		
Max. Gross Site Area Covered (%)	80	See Note 3
Play Lots - Siting & Design (See Note 5)		
Min. Setback from On-Site Buildings (ft)	15	n/g
Min. Setback from Property Line (ft)	25	n/g
Min. Setback from Street/Parking Lots (ft)	50	n/g
Min. Playlot Area per 20 Units (sf)	400	n/g
Max. Area Per Playlot (sf)	750	n/g
Refuse Storage & Collection		
Requirement - Adequate provision shall be made for storage & collection of refuse. Area must be screened & dumpsters placed on concrete pads.		
Provided - Trash collection may occur along the road which the Town Home lot fronts.		

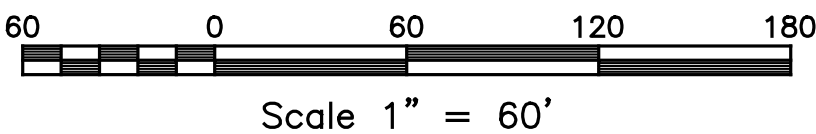


CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C-1	68.48'	524.00'	7.49'	S 58° 29' 54" W	68.43'
C-2	68.78'	524.00'	7.52'	S 66° 00' 09" W	68.73'
C-3	69.38'	524.00'	7.59'	S 73° 33' 20" W	69.33'
C-4	70.31'	524.00'	7.69'	S 81° 11' 33" W	70.26'
C-5	71.61'	524.00'	7.83'	S 88° 57' 05" W	71.56'
C-6	73.35'	524.00'	8.02'	N 83° 07' 25" W	73.29'
C-7	75.61'	524.00'	8.27'	N 74° 58' 48" W	75.54'
C-8	7.99'	524.00'	0.87'	N 70° 24' 36" W	7.99'
C-9	82.86'	634.00'	7.49'	S 58° 29' 54" W	82.80'
C-10	83.21'	634.00'	7.52'	S 66° 00' 09" W	83.15'
C-11	83.94'	634.00'	7.59'	S 73° 33' 20" W	83.88'
C-12	85.07'	634.00'	7.69'	S 81° 11' 33" W	85.00'
C-13	86.64'	634.00'	7.83'	S 88° 57' 05" W	86.58'
C-14	88.74'	634.00'	8.02'	N 83° 07' 25" W	88.67'
C-15	91.48'	634.00'	8.27'	N 74° 58' 48" W	91.40'
C-16	451.47'	468.00'	55.27'	S 82° 23' 28" W	434.17'
C-17	90.09'	70.00'	73.74'	S 76° 56' 46" W	84.00'
C-20	20.72'	22.50'	52.78'	N 06° 21' 41" W	20.00'
C-21	12.95'	19.41'	38.23'	N 46° 49' 28" W	12.71'
C-22	123.75'	468.00'	15.15'	S 55° 39' 33" E	123.39'

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C-23	26.21'	524.00'	2.87'	S 49° 31' 00" E	26.21'
C-24	50.57'	634.00'	4.57'	S 59° 07' 49" E	50.55'
C-25	69.19'	644.00'	6.16'	N 59° 54' 21" W	69.15'
C-26	36.17'	524.00'	3.95'	S 59° 03' 21" E	36.16'
C-28	21.33'	3614.31'	0.34'	S 23° 02' 56" W	21.33'
C-29	6.29'	14927.61'	0.02'	N 20° 27' 42" E	6.29'
C-30	22.79'	1195.79'	1.09'	N 22° 58' 55" E	22.79'
C-33	18.50'	62.59'	16.93'	N 85° 42' 46" E	18.43'
C-35	87.48'	62.59'	80.08'	N 37° 12' 22" E	80.54'



11/18/05 ZONING NOTE #8 CHANGED TO REFLECT 22'x8' ON-STREET PARKING

PLAN DATE01/13/0401/30/0412/27/0605/16/06

REVISIONS

No. DATE

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

205 HIRST ROAD, SUITE 108

PURCELLVILLE, VIRGINIA 20132

PHONE (703) 994-4047

MRAGTA.COM

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PRELIMINARY RECORD PLAT

HUNTFIELD

Phase 3B

CHARLES TOWN CORPORATION

JEFFERSON COUNTY, WEST VIRGINIA

DATE: JANUARY 2004

SCALE: 1"=60'

C.I. n/a

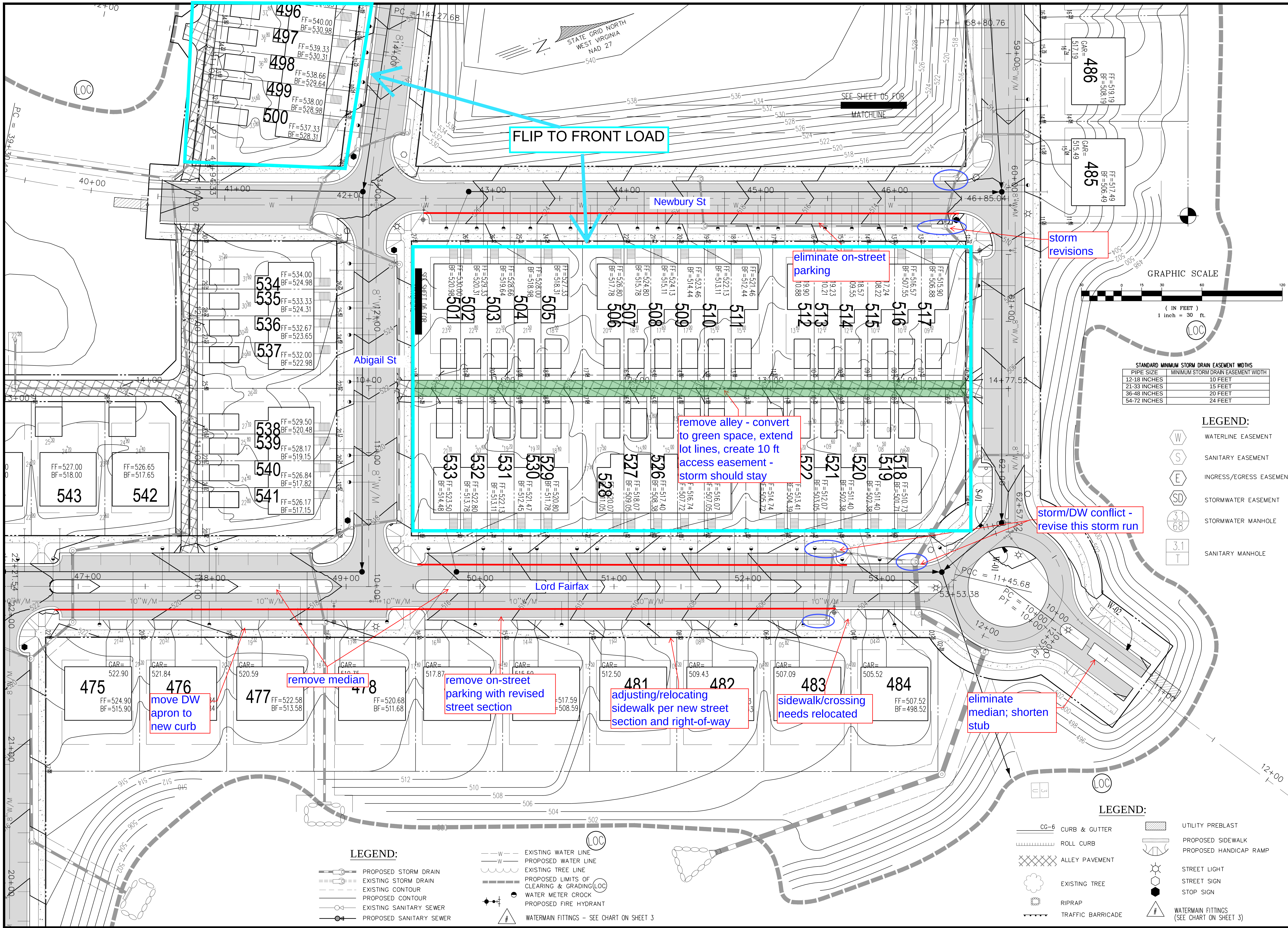
SHEET

23

OF

25

PP-20048



LEGEND:

- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER

- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING TREE LINE
- PROPOSED LIMITS OF CLEARING & GRADING
- WATER METER CROCK
- PROPOSED FIRE HYDRANT

WATERMAIN FITTINGS - SEE CHART ON SHEET 3

LEGEND:

- CG-6 CURB & GUTTER
- ROLL CURB
- ALLEY PAVEMENT
- EXISTING TREE
- RIPRAP
- TRAFFIC BARRICADE

- UTILITY PREBLAST
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- STREET LIGHT
- STREET SIGN
- STOP SIGN
- WATERMAIN FITTINGS (SEE CHART ON SHEET 3)

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

PIPE SIZE	MINIMUM STORM DRAIN EASEMENT WIDTH
12-18 INCHES	10 FEET
21-33 INCHES	15 FEET
36-48 INCHES	20 FEET
54-72 INCHES	24 FEET

LEGEND:

- WATERLINE EASEMENT
- SANITARY EASEMENT
- INGRESS/EGRESS EASEMENT
- STORMWATER EASEMENT
- STORMWATER MANHOLE
- SANITARY MANHOLE

PLAN DATE
01/13/04
12/20/04
02/21/06
05/16/06

11/18/05 LANE WIDTHS CHANGED TO 12' ON-STREET
PARKING WIDTH CHANGED TO 8'

2 4/10/06 LOTS 485-493 RE-GRADED

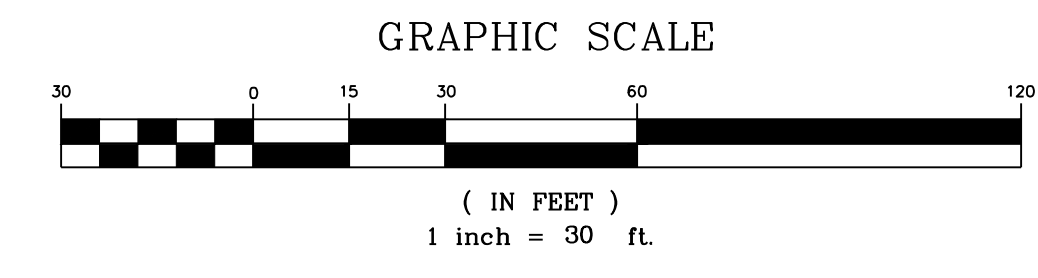
No. DATE DESCRIPTION REVISIONS

Urban Engineering & Associates, Inc.
CIVIL ENGINEERS, LANDSCAPE ARCHITECTS & LAND SURVEYORS
PEGASUS BUSINESS CENTER
600 PEGASUS COURT - SUITE 100 WICHSTER, VIRGINIA 22602
PHONE (540) 550-0211 FAX (540) 550-0210

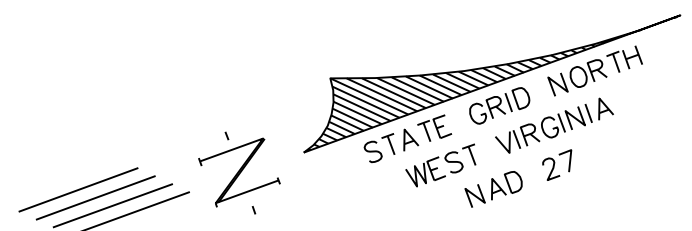
Grading Plan
HUNTFIELD
Phase 3B
CHARLES TOWN CORPORATION
JEFFERSON COUNTY, WEST VIRGINIA
C.I. = 2'

DATE: JANUARY 2004
SCALE: 1"=30'

SHEET
4
OF
25
PP-20048



STANDARD MINIMUM STORM DRAIN EASEMENT WIDTHS	
PIPE SIZE	MINIMUM EASEMENT WIDTH
12-18 INCHES	10 FEET
21-33 INCHES	15 FEET
36-48 INCHES	20 FEET
54-72 INCHES	24 FEET



LEGEND:

- PROPOSED STORM DRAIN

EXISTING STORM DRAIN

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER

EXISTING WATER LINE

PROPOSED WATER LINE

EXISTING TREE LINE

PROPOSED LIMITS OF CLEARING & GRADING

WATER METER CROCK

PROPOSED FIRE HYDRANT

CG-6

ASPHALT MOLDED SWALE

ALLEY PAVEMENT

EXISTING TREE
- WATERLINE EASEMENT

SANITARY EASEMENT

INGRESS/EGRESS EASEMENT

STORMWATER EASEMENT

STORMWATER MANHOLE

SANITARY MANHOLE
- EXISTING TREE

RIPRAP

TRAFFIC BARRICADE

UTILITY PREBLAST

PROPOSED SIDEWALK

PROPOSED HANDICAP RAMP

STREET LIGHT

STREET SIGN

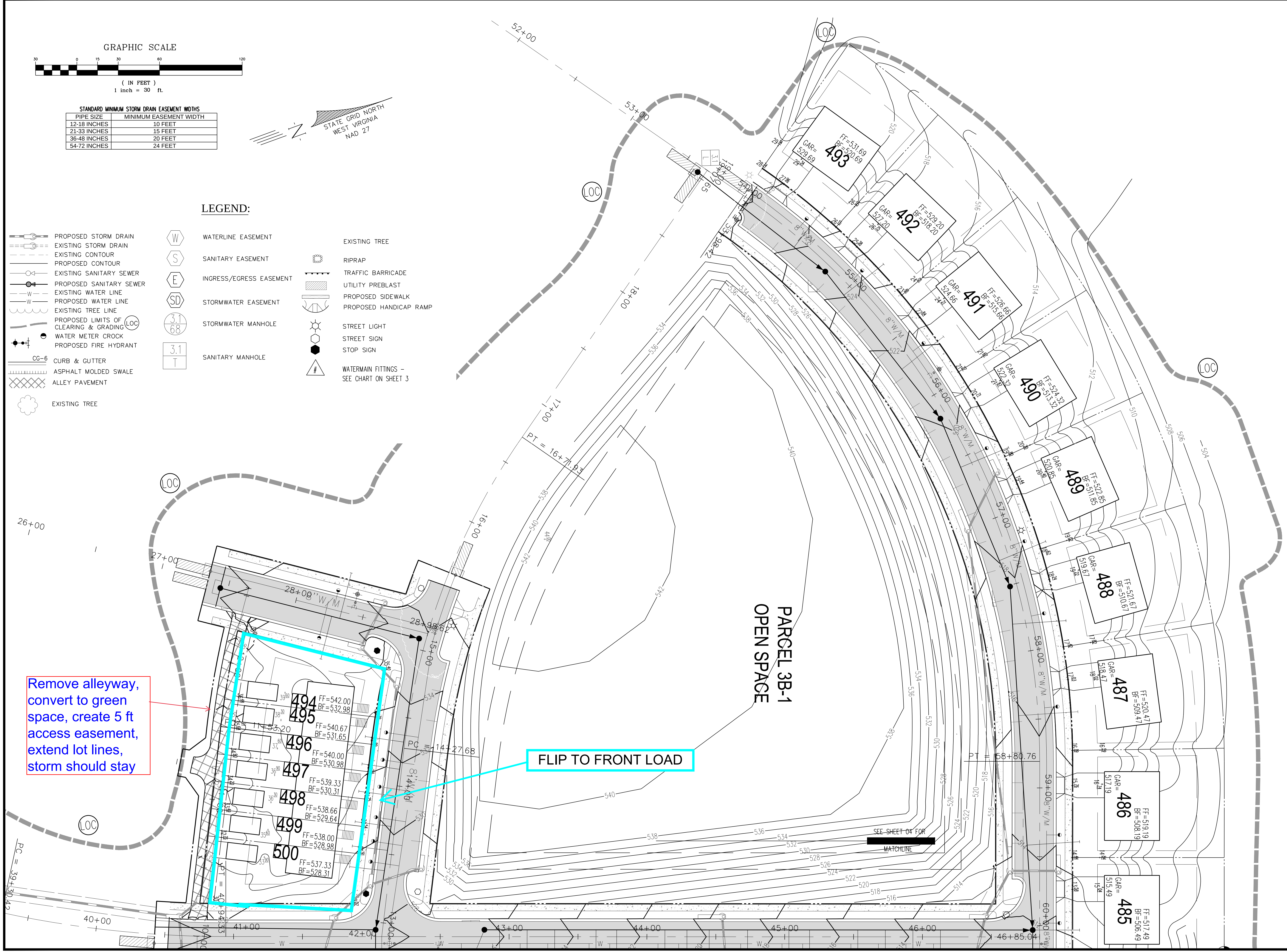
STOP SIGN

WATERMAIN FITTINGS - SEE CHART ON SHEET 3

Remove alleyway, convert to green space, create 5 ft access easement, extend lot lines, storm should stay

FLIP TO FRONT LOAD

PARCEL 3B-1
OPEN SPACE



Grading Plan

HUNTFIELD

Phase 3B

CHARLES TOWN CORPORATION

JEFFERSON COUNTY, WEST VIRGINIA

Urban Engineering & Associates, Inc.

CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS

PEGASUS BUSINESS CENTER

600 PEGASUS COURT - SUITE 101 WINCHESTER, VIRGINIA 22602

PHONE (540) 450-0211 FAX (540) 450-0210

DATE: JANUARY 2004

C.I. 2

SCALE: 1"=30'

SHEET 5 OF 25

PP-20048

PLAN DATE

01/13/04

12/20/04

02/21/06

05/16/06

11/18/05 LANE WIDTHS CHANGED TO 12'; ON-STREET

PARKING WIDTH CHANGED TO 8'

LOTS 485-493 RE-GRADED

REVISIONS

No.	DATE	DESCRIPTION
1		
2		



City of Charles Town

101 East Washington Street, P.O. Box 14, Charles Town, WV 25414
Phone: (304) 725-2311 ♦ Web: www.charlestownwv.us

May 23, 2021

Matthew R. Powell
VP Land and Acquisitions
DR Acquisitions, LLC
7945 Wormans Mill Road
Frederick, Maryland 21701

Dear Mr. Powell:

Thank you for the response to my initial interpretation/clarification letter to you dated May 7, 2021. I have reviewed the additional documents that you sent to me and am supplementing the City's initial response with this correspondence. I have used the same format as the original letter for ease of review and clarity.

Approved Plans that Include Partial Development

In my original response, I noted that the City will honor previously approved plans for partially developed project phases if DR Acquisitions can show evidence that Phases 3B and 3G-1 were approved prior to 2012. I have reviewed the Planning Commission minutes that you provided to me dated May 22, 2006, which shows clear evidence that the plans were approved. Moreover, I can match the date of this action with previously submitted plans for Phase 3B that are on file with the City that were signed by the project engineer and surveyor. Also, the submission of the materials marked "Record Plat" provide additional evidence of the plan's approval. As a result, the City will honor the previous approval for Phase 3B. That leaves Phase 3G-1 as the only phase from your original letter that neither party has yet to prove was approved by the City.

I have also reviewed the documents you sent to me related to the approval and recording of the Union Ridge townhome lots (Phase 2A-3) containing a signature from a City representative and the location of townhomes by lot number. As previously noted, we are prepared to release these building permits following the submission of acceptable documents. The only difference I see in the lot numbers you provided in your original letter and the additional details you recently submitted is that I do not see a lot number 909. We will need to sort through this detail before issuing that building permit.

Existing Bonds

In follow up correspondence you asked to discuss the bond process in more detail in a separate meeting. Until then, and only after written correspondence that clarifies our original position, the City will implement the bond process as outlined in my letter dated May 7, 2021.

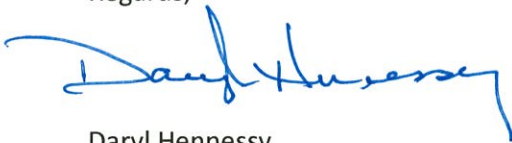
Proffer Amendments and Clarifications

The same is true for the proffered monetary obligations. You have asked to discuss this matter in more detail with City staff before submitting a separate written request to City Council that may include a request for some relief from the current proffered monetary obligations.

Finally, I appreciate the submission of a preliminary schematic master plan that outlines the location of additional land dedication for the Board of Education. As you note, we still need to ensure this is the preferred land for the BOE and further discussion on dedicated land for the City must still be discussed.

I continue to be enthusiastic about DR Acquisitions' interest in the Huntfield Subdivision and look forward to working with you, the community, and our elected officials to help move this project forward. I look forward to meeting with you soon to answer your additional questions about the bond process and the proffered monetary obligations. To schedule that meeting, I can be reached by telephone at (304) 274-3244 or by email at citymanager@charlestownwv.us. I look forward to hearing from you soon.

Regards,



Daryl Hennessy
City Manager

cc: Bob Trainor, Mayor
Kevin Tester, Ward 2 City Councilmember
Kristen Stolipher, CTUB General Manager
Rashedul Deepon, City Planner
Charles Town Building Permits Technician

DRAFT MINUTES: MAY 22, 2006 MEETING

TYPE OF MEETING: Regular Meeting

ATTENDEES: Planning Commission: Donald Clendening, Jeff Roth, Doug Viara, and Scott Coyle

Staff: Jeremy Camp and Joe Cosentini

General Public: Nancy Lutz, Frances Morgan, Aaron Amore.

Other Interested Parties: Todd Reynolds

OPENING OF THE MEETING

Chairman Scott Coyle opened the meeting for discussion among Planning Commission Members at approximately 7:00 PM. A motion by Commissioner Viara, seconded by Commissioner Roth and the Commission unanimously approved the minutes dated April 24, 2006 as presented.

New Business:

Public Hearings -

Consideration and discussion of the **Charles Town Comprehensive Plan** for potential recommendation to City Council or further consideration.

Chairman Coyle opened the public hearing for comments regarding the comprehensive plan.

Aaron Amore appeared and informed the Commission he believes the current draft of the comprehensive plan is a good start, but the Commission should take more time and develop a better plan.

Nancy Lutz appeared and informed the Commission that she was concerned about water and sewer issues which are not addressed in the plan.

Frances Morgan appeared and informed the Commission that she believes we live in a unique and historic area and that the Commission should work with the County to develop a regional plan.

Chairman Coyle informed the Commission that there were no other speakers and closed the public hearing.

Record Plat Application #2006-0004, **Huntfield, Union Ridge Town Homes.**

Director Camp informed the Commission that the review agencies have reviewed the application and he recommends approval of the record plat. Chairman Coyle opened the public hearing for comments regarding record plat application #2006-0004.

Aaron Amore appeared and asked the Commission what the bond estimate was for this project. Director Camp informed the Commission that the bond estimate was set at \$530,988.38 and will be on 4.3 acres. Mr. Amore asked the Commission what the traffic count would be for the area and what the addition of 56 townhomes would do to our sewer capacity. Director Camp informed the Commission that the review agencies took into account the traffic flow for the town

houses and that the recent upgrade to the sewer facilities added 1000 edu's.

Chairman Coyle informed the Commission that there were no other speakers and closed the public hearing. A motion by Commissioner Clendening, seconded by Commissioner Roth and upon discussion the Commission unanimously approved record plat applications #2006-0004, Huntfield, Union Ridge Town Homes.

Record Plat Application, #2006-0005, Huntfield Recreation Center.

Director Camp informed the Commission of what the Recreation Center will include and that it has been reviewed by the View Engineering and all the review agencies and that he does recommend approval. Chairman Coyle opened the public hearing for comments regarding the record plat application.

Nancy Lutz appeared and asked the Commission whether this facility would be open to the public or just to the residents of Huntfield. Director Camp informed the Commission that once the center is built it will be controlled by the HOA of Huntfield and ultimately up to them whether it is open to the public or not.

Aaron Amore appeared and asked the Commission if the roads of Huntfield would be dedicated to the City at some point in time or would they be private roads? Director Camp informed the Commission that the road would be dedicated to the City upon build out.

Chairman Coyle informed the Commission that there were no other speakers and closed the public hearing. Commissioner Clendening moved to approve the record plat, motion was not seconded. Director Camp informed the Commission that since this is a record plat and since all the requirements of the City have been met the Commission must approve the application. Upon discussion, a motion by Commissioner Clendening, seconded by Commissioner Viara and the Commission unanimously approved record plat application #2006-0005, Huntfield Recreation Center.

Site Plan Application, #2006-0006, Huntfield, Phase 3B.

Director Camp informed the Commission that there will be 35 single family homes and 48 townhouses. Director Camp informed the Commission that View Engineering has reviewed the site plan and it does meet all the requirements of the City and he recommends approval. Chairman Coyle opened the public hearing for comments regarding the site plan.

Nancy Lutz appeared and informed the Commission that she was concerned about the lack of another egress for this portion of Huntfield and asked if there were any plans for relief?

Aaron Amore appeared and informed the Commission of his concerns regarding the impact of City infrastructure with all of the new houses.

Chairman Coyle informed the Commission that there were no other speakers and closed the public hearing. Todd Reynolds, Urban Engineering, appeared before the Commission and explained that the Department of Highways has allotted a certain number of houses that can be built prior to an upgrade to Augustine Avenue.

He further stated that the DOH would not approve the site plan if the road system could not support the development. Upon discussion, a motion by Commissioner Clendening, seconded by Commissioner Roth and the Commission unanimously voted to approve site plan application #2006-0006, Huntfield, Phase 3B.

Old Business

Public Meeting -

Consideration and discussion of amendments to the **Charles Town Annexation Policy** for potential recommendation to City Council or further discussion.

Director Camp informed the Commission that the Council has directed the Commission to review the annexation procedures. Upon discussion, a motion by Commissioner Clendening, seconded by Commissioner Roth and the Commission unanimously voted to table the decision on the annexation policy until the next meeting.

Discussion -

Bonding Standards.

Director Camp informed the Commission that he has received concerns regarding the current bonding standards being used by the Commission. Currently the Commission uses Loudoun County standards and Director Camp informed the Commission that regardless of what direction the Commission chooses the standards should be put in writing. A motion by Commissioner Roth, seconded by Commissioner Viara and the Commission unanimously voted to allow Director Camp to do a study for bonding standards.

ADJOURNMENT

Chairman Coyle adjourned the meeting at approximately 8:00 p.m.

Huntfield List of Proffers

Proposed Proffer Amendment 3

Revision Date 07/31/24

Original Proffers: Jan 7, 2002

Resolution for Amendment of Proffers 1 - May 17, 2004

Proffer Amendment 2 - 08/01/2005

Proposed Proffer Amendment 3: DRAFT 7/31/24

- 1) EDUCATION- Huntfield, proffers to dedicate up to 17 acres of land to Jefferson County Board of Education. The land proposed to be donated to the Jefferson County Board of Education shall be identified via conceptual plan within one (1) year of the effective date of this document.
- 2) TRANSPORTATION- Huntfield, will maintain its commitment to participate with the West Virginia Division of Highways and other developments to pay for Huntfield's pro rata share of required road improvements directly attributable in part to Huntfield.
- 3) HISTORY- Huntfield proffers to provide any historic or archeologic reports and studies, as required by the State Historic Preservation Office, Division of Culture and History.
- 4) SOILS – Huntfield proffers to identify and remediate any known environmental conditions in any manner, method or process that meets or exceeds West Virginia Department of Environmental Protection (WVDEP) de minimus soils standards and provide the report/documentation to the purchaser indicating proper soil remediation no later than at each home settlement.
- 5) OVERALL PLANNING
 - a) Huntfield, proffers to actively participate with the City and adjacent landowners in the comprehensive planning, preservation, and development of the Old Route 340 corridor between Huntfield's boundaries and Evitt's Run.
 - b) Huntfield, proffers to construct a 8' hiker/biker trail in a location in accordance with the Master Plan and within a timeframe in accordance with the mutual agreement of the city and Huntfield.
 - i) A contiguous sidewalk system from Huntfield to the Augustine Avenue Trail shall be constructed.
 - c) Huntfield, proffers continued participation and coordination with the Eastern Panhandle Transportation Authority (EPTA) to provide bus service between Huntfield and downtown Charles Town, and any other major Charles Town developments. Huntfield, shall further present development sites plans which incorporate shuttle stops and other appropriate shuttle infrastructure in the Huntfield project."
 - d) Within 12 months of the full execution of this proffer amendment, Huntfield shall collect and distribute community information and future traffic volume projections and relevant data to the City, to incorporate into other/future traffic studies conducted by others.

Huntfield List of Proffers
Proposed Proffer Amendment 3
Revision Date 07/31/24

- i) Additionally, Huntfield shall cooperate with the City to provide all necessary construction easements or Right of Ways for current and future planned trails, walkways, and pedestrian crossings.
- e) Lord Fairfax Street shall be developed as an alternative access point pursuant to the Huntfield Overall Composite Schematic plan with City of Charles Town Planning Commission approval date of April 12, 2005 (PREL-20107).
- 6) OTHER CONTRIBUTIONS- To offset its proportionate share of the costs of capital improvements and operating expenses brought about by the development of Huntfield, Huntfield proffers to pay the city the following per unit proffer fees:
 - a) The City shall collect \$2,448 per single family, townhome or attached villa style dwelling unit, or any other style residence approved for permit, to be used for public facilities, infrastructure, and other improvements within the City. This monetary proffered fee shall be separate and exclusive of any County imposed Impact Fee. The City Fee shall be paid at Building Permit application for each dwelling unit.
 - b) Huntfield, proffers to dedicate to the City up to 10 (ten) acres of improved (utilities and hard surface road frontage) but vacant land, for the use and benefit of the City for the purpose of constructing, operating, and maintaining municipal facilities.
- 7) CONDITIONS OF DEVELOPMENT OF PHASE I – the foregoing proffers are conditioned upon the following:
 - a) Current plans being processed in the County will be administered under the NR Zoning Ordinance, and accepted as currently designed, by the City with the following conditions:
 - i) Minimum lot width shall be reduced to 50 feet at the street.
 - ii) Minimum lot area shall be reduced to 5,000 square feet.
 - iii) Front yard setback shall be 25 feet from the edge of pavement.
 - iv) Encroachment within the front yard setback shall be no more than 30 % or 8.34 feet.
 - v) Side yard setbacks shall be reduced to 5 feet minimum.
 - vi) No setback from the property line for accessory structures shall be required.
 - vii) Minimum paving width shall be 24 feet.
 - b) All plans submitted to the City for development within Huntfield beyond Phase I shall continue to be administered and processed under the NR Zoning Ordinance with the above-listed conditions until such time as the City has created and adopted the new zoning classification pursuant to its Resolution and Annexation Agreement.
- 8) CONDITIONS OF OVERALL DEVELOPMENT

City and Huntfield agree to the following performance, design standards, and modifications to the Neighborhood Residential zoning regulations:

Huntfield List of Proffers
Proposed Proffer Amendment 3
Revision Date 07/31/24

The foregoing proffers are further conditioned upon the following:

- a) To allow the development of not more than 3,200 homes with the Property, according to "Neo Traditional and New Urbanist Planning Concepts", all plans for the development of the Property now and in the future may be administered, at the option of Huntfield, under the Neighborhood Residential zoning classification with the following conditions:
- b) The minimum 200,000 square feet of commercial, retail or office space proffered by Huntfield shall satisfy all requirements for land are devoted to office and/or commercial. This agreement does not preclude Huntfield from developing commercial/retail/office space beyond the 200,000 square feet requirements;
- c) Huntfield will dedicate 15% of the total land area to open and recreational space. All active and passive recreational facilities provided in Huntfield shall be credited towards the 15% open space requirements specified herein. In addition, Huntfield will provide a minimum 50-foot buffer on either side of Bullskin Run measured from the edge of the stream bank and a landscaped 50-foot buffer along major highways (i.e. US Route 340, 340 Bypass, WV Route 9).
- d) Maximum Building Heights shall be as follows:
 - i) Single Family Detached - 45' (forty-five feet), but not more than (3) three stories
 - ii) Townhouse - 45' (forty-five feet), but no more than 4 (four) stories Multi-Family- 55' (fifty-five feet), but not more than 4 (four) stories
 - iii) Office, Commercial, Civic and Mixed Use – 60' (sixty feet), but not more than (5) five stories
- e) Minimum Lot Widths shall be as follows:
 - i) Single Family Detached - 50' (fifty-feet), however 45' (forty-five feet) for Active Adult Community (development)
 - ii) Townhouses – Mix of 16' (sixteen feet) to 24' (twenty-four feet);
- f) Minimum Lot Sizes shall be as follows:
 - i) Single Family Detached – 5,000 (five thousand square feet), however 4,500 (forty-five hundred square feet) for Active Adult Community (development)
 - ii) Townhouses – 1,600 square feet;
- g) Townhouse portions of development shall be permitted to have an area less than five acres;

Huntfield List of Proffers
Proposed Proffer Amendment 3
Revision Date 07/31/24

- h) Townhouse units shall be permitted at a maximum density of 16 units per net acre;
- i) Multi-family units, as defined in the City's zoning ordinances, shall be permitted within Huntfield consistent with the City of Charles Town Zoning and Subdivision Ordinance requirements.
- j) The minimum rear yard setback for units with attached rear-load garages shall be 10' (ten feet);
- k) Alleys may be dead-end streets when intersection would cause a curb cut on a collector street;
- l) Alleys may provide lot access and satisfy road frontage requirements when the lots served by those alleys front on open space;
- m) Cul-de-sac streets shall be permitted in limited instances and require approval by the Planning Commission. When allowed, the cul-de-sac terminus shall include a landscaped circle.
- n) The designated Village Center shall be permitted for Central Business District, General Commercial and Neighborhood Residential uses as defined in the present City of Charles Town Zoning Ordinance. The designed Neighborhood Centers shall be permitted for Office Residential, Neighborhood Residential and Neighborhood Commercial uses as defined in the present City of Charles Town Zoning Ordinance. Future changes in the existing Zoning Ordinances shall be made Applicable to this paragraph.
- o) In order to allow townhouses to be constructed with both decks and two-car garages, accessory buildings may occupy up to 40% of the rear yard of any townhouse lot.
- p) The development of gated communities (i.e. restricted access to specific neighborhoods) is not permitted, other than Active Adult Development.
- q) To enable Huntfield to perform its obligations under the Annexation Agreement, the City shall work cooperatively with Huntfield to ensure that Huntfield may obtain the amount of sewage treatment plant capacity needed to serve the Property at each stage of its development until built out.
- r) In addition to the proffered commitment to approach Pan Tran to provide bus services between Huntfield and downtown Charles Town, Huntfield shall cooperate with any efforts initiated by the City to provide transit services to Huntfield.
- s) Huntfield will submit a "Master Schematic Plan", to City Planning Commission prior to applicable approvals for Phase 4 of the development that incorporate the "Neo Traditional and New Urbanist Concepts" and an exhibit illustrating the location, total land area and

Huntfield List of Proffers

Proposed Proffer Amendment 3

Revision Date 07/31/24

public accessibility of proposed recreational and open space. Subsequent site plans submitted to support this Master Schematic Plan will provide the detailed design and concepts as they relate to street and block networks; an interconnected pedestrian sidewalk and trail system; landscape screening, buffers and design consideration to mitigate the visual impacts of parking lots; street and parking lot landscaping using the West Virginia Division of Forestry's Recommended Trees for City and Communities publication as the species guide; and design and pedestrian attributes as related to the Village Center, major civic and public use buildings should be located in or adjacent to the village and neighborhood centers or adjacent to the civic green, square or park in the village center. Public space components and civic buildings should terminate vistas whenever possible. Public and civic use buildings may front on open spaces such as parks and greens.

t) **Garage Configuration:**

The areas shaded and/or hatched and noted in Exhibit A as Zone 1, Zone 2, and Zone 3 are subject to specific garage configuration conditions as follows:

- i) Zone 1: The use of rear entry, alley access parking or rear-loading detached or attached garages for residential garage parking is required. The homes in Zone 1 must provide parking to the rear of the home as indicated in Exhibit A.
- ii) Zone 2: Single family attached or detached residential units with front loading garages or parking (defined as access from street facing front of the home) are permitted without a recessed garage requirement so long as a minimum 25' length minimum driveway is provided extending from back of sidewalk to the front of the garage. Zone 2 includes all land shown/illustrated within Exhibit A.
- iii) Zone 3: Single family attached or detached residential units with front loading garages or parking (defined as access from the street facing front of the home) are permitted without a recessed garage requirement so long as a minimum 25' length minimum driveway is provided extending from back of sidewalk to the front of the garage. Zone 3 includes all the land as noted (and not illustrated) within Exhibit A to include the remaining 481.25 deeded acres to the northwestern side of railroad tracks.
- iv) Single family attached or detached residential units with front loading garages or parking (defined as access from the street facing front of the home) shall not be permitted to front Prospect Hill Boulevard or Braddock Street.

v. **Community Pool and Associated Facilities:**

- v) Huntfield proffers the design, permitting, and construction of a community swimming pool, pool club house with bathroom facilities and associated parking lot in similar layout and conformance with the Huntfield Recreation Center preliminary plans (PP-20125).

Huntfield List of Proffers

Proposed Proffer Amendment 3

Revision Date 07/31/24

- (1) Community Pool shall be a minimum of 4,500+ /sf, inclusive of access steps, 3' shallow end and up to 8' deep end, and a 800+ /sf Children's pool.
- (2) Single Story Pool clubhouse (min 2,100/sf) with men's and women's restroom, locker room, and changing room facilities.
- (3) Parking area consistent with approved preliminary plans.
- (4) Pool and associated land and facilities shall be dedicated to HOA upon completion (defined as issuance of Use & Occupancy Permit) and before use by any residents. HOA shall furnish, supply, operate, and manage facilities from acceptance of facility without financial assistance or contribution from Developer or City.
- (5) The Pool, Clubhouse and all associated site work shall be complete, dedicated to the HOA, and able to be used by all residents within two (2) years of the effective date of this signed Proffer Amendment.
- (6) All basketball courts, recreational equipment and green space shall be built out consistent with the Huntfield Recreation Center preliminary plans (PP-20125). The construction of the basketball courts and recreational equipment shall commence no later than the time the pool dedication occurs to the HOA and completed and ready for usage within one (1) year.

9) ZONING YIELD

- a) Approved under the zoning shall be 3,200 residential units of single family detached, single family attached, multi-family, and 200,000 to 1,000,000 square feet commercial, retail, and office development. If desired, Huntfield may produce a market study identifying the potential to increase the total square footage of commercial, retail and office space beyond the required minimum of 200,000 square feet. In order to achieve the desired maximum commercial development of 1,000,000 square feet, the City acknowledges that Floor Area Ratios (FAR's) of greater than 1 or building heights of 75 feet may be considered by the City of Charles Town.
- b) Phasing of development or building permits – No phasing of development or building permits will be imposed with the exception of Article 10.a as outlined herein. (Subject to availability of adequate infrastructure facilities).

10) SEQUENCE OF DEVELOPMENT

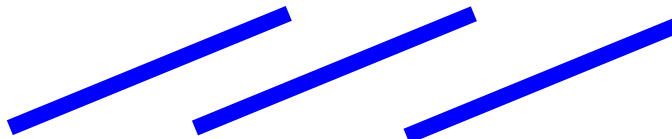
- a) All lots in Zone 1 as defined herein, shall have homes/residences constructed and fully built out prior to any residential construction is permitted to commence in Zone 3 (as defined herein). All land within Zone 2 is specifically excluded from this restriction.

Huntfield List of Proffers
Proposed Proffer Amendment 3
Revision Date 07/31/24

DRAFT

EXHIBIT 1

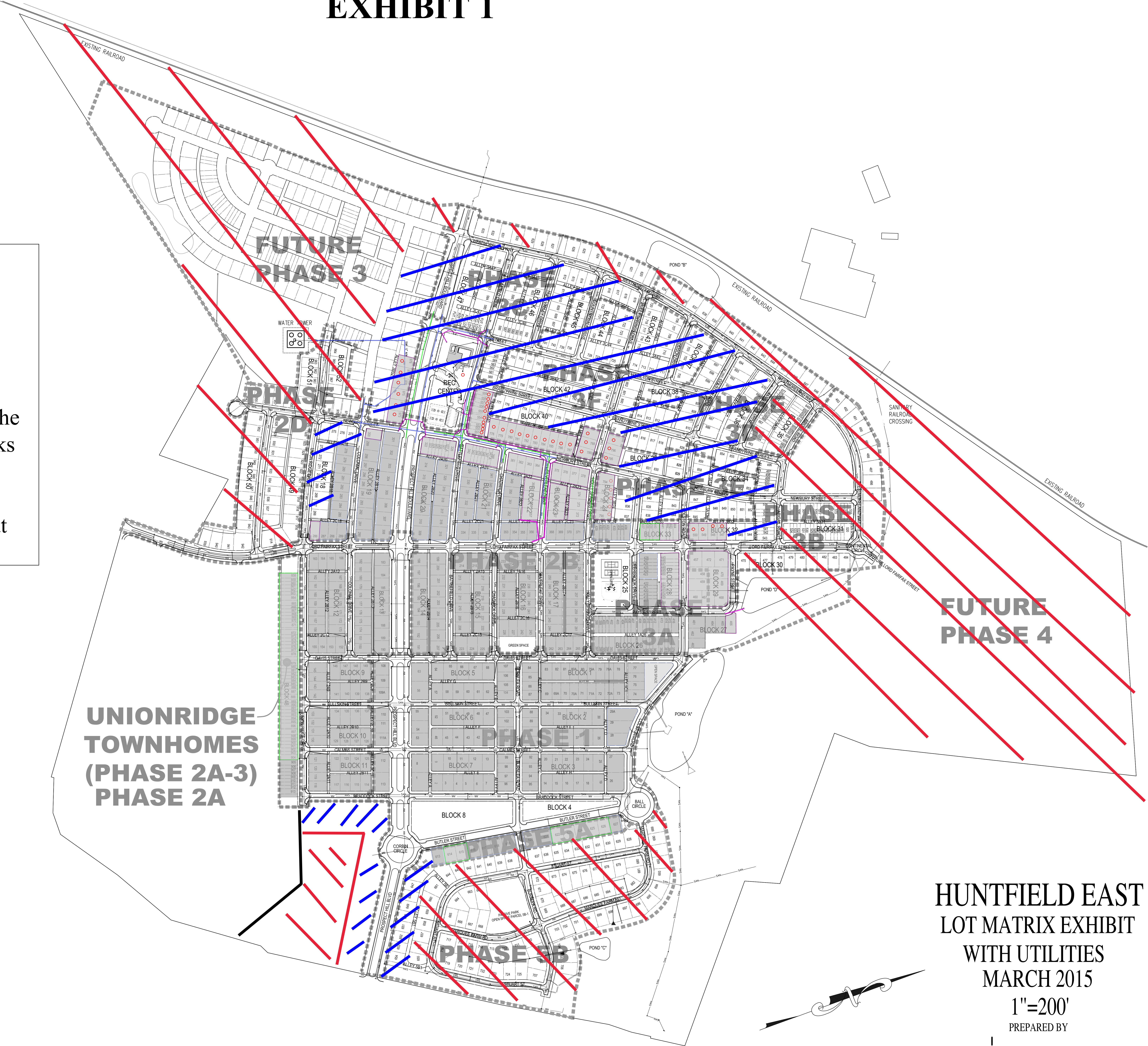
Legend

Zone 1 = 

Zone 2 = 

Zone 3 = Remaining 481.25 acres to the Northwestern side of the railroad tracks

Gray shaded
*previously developed and/or built out prior to the date of this amendment



HUNTFIELD EAST
LOT MATRIX EXHIBIT
WITH UTILITIES
MARCH 2015
1"=200'
PREPARED BY



Modified July 19, 2024 by DRB



Planning Commission

101 East Washington Street

Charles Town, WV 25414

Meeting: 08/26/24

Department: Planning

Commission

Category: Report

Initiator:

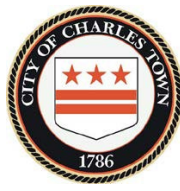
SCHEDULED

AGENDA ITEM (ID #)

Public Hearing: *WV2024-03* - Tri-State Waiver from Sidewalk Requirements

ATTACHMENTS:

- [1. Staff Report.pdf](#)
- [2. Application.pdf](#)
- [3. Sketch Plan.pdf](#)



Waiver Request
WV2024-03

Date: For the August 26 2024 Planning Commission meeting

Applicant: Chris Hill

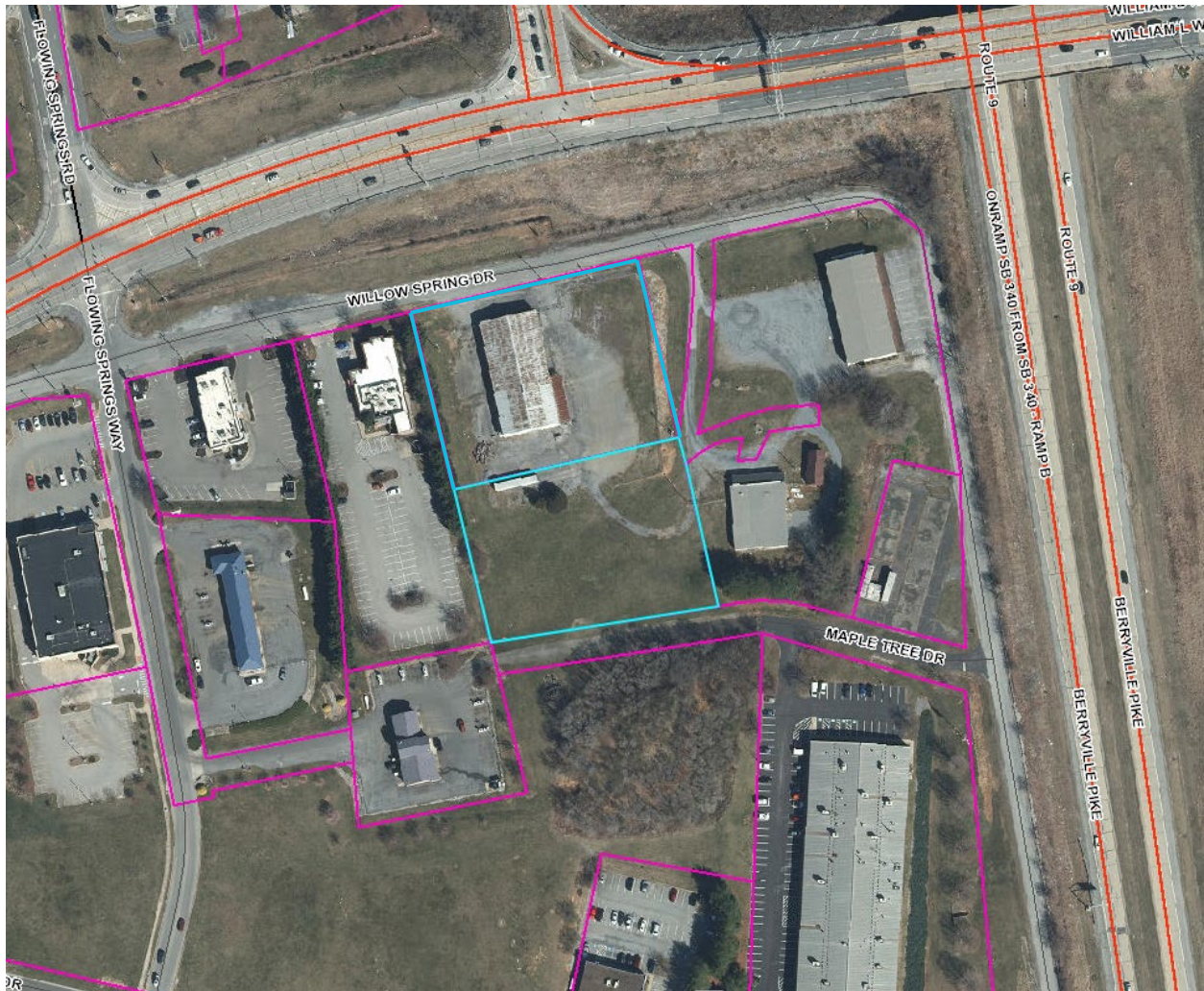
Property Owner: First Charles Town Group Inc.

Report by: James Newman, City Planner, Zoning/Subdivision Administrator.

Proposal: Waiver request from sidewalk requirements

Property Location: Willow Springs Road

Current Zoning: General Commercial



PROJECT OVERVIEW

Request for a waiver from sidewalk requirements.

PROPOSAL

The applicant proposes to build:

- A multipurpose recreational facility
- 20 apartments
- 5 commercial spaces of 2,300 sq. ft. each

The two parcels that make up the project have road frontage along Willow Springs Drive and Maple Tree Drive. Within the approved sketch plans the parcels have shared internal access but no sidewalks. Sidewalks are required at preliminary and final plan review unless a waiver is approved by the Commission.

REQUIREMENTS

Section 1333.09, Sidewalk & On-Street Parking Design Standards

Sidewalk and on-street parking design standards for the City of Charles Town shall be as follows:

- (A) Sidewalks and on-street parking shall be provided in accordance with the requirements specified in Table 1333.09. For in-fill development, provision of on-street parking and sidewalks on the opposite side of the road is not required, though sidewalks and required off-street parking shall be provided on the subject parcel(s) being developed.
- (B) Sidewalks shall be constructed of concrete. The minimum width shall be five (5) feet with weakened plane traverse joints at four (4) foot intervals, and no more than forty (40) feet between expansion joints. Concrete shall have a minimum depth of four (4) inches, and have a minimum PSI of 3,500.
- (C) All utility poles, traffic posts, water hydrants, fire hydrants, sign posts and any other object positioned with the sidewalk must be separated with a one-half inch expansion joint providing a clearance of six (6) inches.
- (D) Sidewalks shall be constructed in accordance with Standard Detail SW – 1.
- (E) Sidewalks shall not be constructed with a curb as a single integral unit.
- (F) Sidewalks and curbs shall be separated by at least six (6) feet. This shall be measured from the back of curb to the closest edge of the sidewalk.
- (G) Where sidewalks are a part of the Driveway or Access Drive, the sidewalk shall maintain grade, with no depression, except where necessary to tie into the entrance.

(H) Handicap ramps constructed in accordance with West Virginia DOH Standard Detail Book Volume #1, Standard Detail Sheet PVT7, shall be provided at all street intersections and sidewalks.

Table 1333.09 – Sidewalk and Parking Requirements for Major Subdivision/Land Developments

Land Use	Average Lot Size	Density du/acre	Sidewalk Requirement Street Frontage	On-street Parking Requirement
Residential	> 30,000 ft ²	1.46 or more	None	None
Residential	15,001 ft ² – 30,000 ft ²	2.90 – 1.45	One side of Street	One side of Street
Residential	12,001 – 15,000 ft ²	3 – 5.5	Both sides of Street	Both sides of Street
Residential	< 12,001 ft ²	> 5.51	Both sides	Both sides
Commercial	N/A	N/A	Yes	Yes

*Planning Commission may require sidewalks or on-street parking to ensure continuity of an existing pedestrian access or street pattern.

OTHER CRITERIA

Section 1333.02, Street Design Standards, Section L When required by the Planning Commission, curb, gutter, and sidewalks shall only be installed on the improved side of the public right-of-way

Section 1333.23, Parking and Loading Standard, Section G.3

Pedestrian Walkways. Walkways shall provide a connection to Building entrances from sidewalks and areas of concentrated parking (Standard Detail SW-1).

WAIVER REQUIREMENTS

Subdivision and Land Development Ordinance Section 1331.12.B provides the criteria for reviewing a waiver request. There are four criteria:

a. That the design of the project will provide public benefit such as a reduction in City maintenance cost, greater open space, parkland consistent with the City parks plan, or benefits of a similar nature;

There are no sidewalks along adjacent properties which the applicant could connect to. Additionally, the applicant states that the slope of the land is such that building a sidewalk along Willow Springs Drive to connect to properties closer to the intersection with Flowing Springs Way is a challenge with topography making that area unsuitable to building a sidewalk.

Sidewalks should be placed internally within the site to allow for ease of and safety for pedestrian access, especially if adjacent parcels are developed. While the *Americans with Disability Act* states that 5ft. is the preferred width, 4 ft. is an acceptable minimum.¹

b. The waiver, if granted, will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents;

The proposed waiver, while reasonable for Willow Springs and Maple Tree due to the lack of an existing or proposed network to connect to, is not reasonable within the confines of the proposed development. A sidewalk should be placed to allow for safe pedestrian access between the residential structure and the open space and tot lot.

c. That the waiver, if granted, will be in keeping with the intent and purpose of this Ordinance; and

The intent of the Ordinance is to provide for the “*improvement of the health, safety, comfort, morals, and general public welfare of Charles Town citizens.*”

Provision of sidewalks within the development enhance pedestrian safety and accessibility, both between buildings and to site amenities.

d. That the waiver, if granted, will result in a project of better quality and/or character.

On Maple Tree Drive, a lack of sidewalks is not a hindrance as the only adjacent uses are a car wash and a Ruby Tuesday parking lot to the west, and vacant parcels to the east. Those lots to the east may be home to future development, though currently there are no site plans for development of those vacant/under-utilized parcels.

On the Willow Springs side, there is no established sidewalk on the western/adjacent Ruby Tuesday parcel which this site could connect to. As with Maple Tree Drive, lots to the east may be home to future development, though currently there are no site plans for development of those vacant/under-utilized parcels.

CONCLUSION

The applicant is requesting a waiver from sidewalk requirements. The Ordinance requires sidewalks for on-street frontage within a commercial development and also within residential areas with a density greater than 5.51 units per acres. While the applicant’s concerns about connecting to parcels to the west are valid (due to issues with topography, nature of the uses, and lack of a sidewalk network), internal connections and connections to properties to the east should be provided.

¹ <https://www.access-board.gov/prowag/proposed/planning-and-design-for-alterations/chapter5/>

RECOMMENDATION

Approval subject to the following conditions:

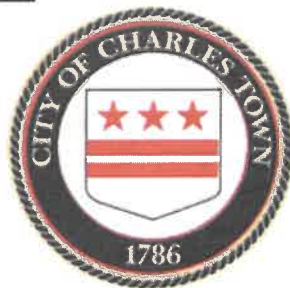
1. A minimum 4ft. wide sidewalk shall be constructed from either the proposed vehicle entrance on Willow Spring Drive or the one on Maple Tree Drive to the border with 551/623 Willow Springs Drive, also identified as Tax District 3/Map 15/Parcel 9.13.
2. A minimum 4ft wide sidewalk shall be constructed within the proposed development, and shall connect the apartments to the designated tot lot and open space.

Waiver Application No. _____

RECEIVED

JUL 25 2024

BY: Vb



WAIVER APPLICATION

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTION 1331.12, (V) REQUIREMENTS

To assist staff in the review of a waiver application to the Planning Commission (PC), the applicant must supply all of the information contained in this application form. This application must be signed by all owners of the real estate which is the subject of the application. The owners may designate one or more professional agents to represent them in the application process using the spaces provided on this form.

Incomplete applications will be subject to scheduling delay. Applicants are encouraged to meet with staff prior to filing. A public hearing will be scheduled within 45 days of the receipt of a completed application.

Approval of a waiver by the Planning Commission does not relieve the applicant from other requirements including, but not limited to, signs(s), building, zoning and use permits or site plans.

As part of this application, the following must be provided:

1. \$150.00 Application Fee.
2. A Completed Application.
3. As applicable, supporting documents included, but not limited to site plan or depiction of the requested Waiver.

It is the applicant's responsibility to make a good-faith effort to provide the Subdivision Administrator, as applicable, with a current list containing the accurate names and mailing addresses of all interested parties. For purposes of this provision, "interested parties" shall mean Landowners of Adjacent Property. The applicant shall provide the addresses in order to comply with Section 1331.12.B of the Subdivision Ordinance

Legal Notices

The following shall occur at least 15 days prior to the Public Hearing: notice of the hearing shall be advertised by the Planning Commission as a Class I legal advertisement in the local newspaper, posting of a sign upon the property, and letters to adjacent and confronting land owners within 100 feet of the subject property.

Definition of a Waiver

Adjustments that may be made to the requirements of this Ordinance to unusual site conditions in order to achieve a better design. Waivers may not be used to circumvent the process requirements of this Ordinance.

The Charles Town Subdivision Ordinance

To grant a Waiver as permitted in the Subdivision Ordinance, the Planning Commission makes findings as specified in Section 1331.12(B)(2).

In order to issue a Waiver, the Commission must make the following written findings regarding the Waiver sought and all of the following can be met:

A waiver request may be granted by the Planning Commission only when it shall be determined that:

1. That the design of the project will provide public benefit such as a reduction in City maintenance cost, greater open space, parkland consistent with the City parks plan, or benefits of a similar nature;
2. The waiver, if granted, will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents;
3. That the waiver, if granted, will be in keeping with the intent and purpose of this Ordinance; and
4. That the waiver, if granted, will result in a project of better quality and/or character.

Note:

Additional exhibits may be required by the Subdivision Administrator or Planning Commission such as a lot location survey or site plan showing existing and proposed Structures, easements, watercourses, curb cuts and description of the uses of adjacent property that are necessary to describe existing or proposed conditions.

1. DATE April 30, 2024

2. APPLICANT'S NAME* Mr. Chris Hill; Tri-State Improvements, LLC

Address: PO Box 1 Kearneysville, WV 25430

Telephone Number 410) 206-4791 Fax Number ()

Email Address chris@tristatewv.com

3. PROPERTY OWNER'S NAME First Charles Town Group

Address: PO Box 183 Charles Town, WV 25414

Telephone Number 304) 725-8250 Fax Number ()

Email Address Maria@fctwv.com

4. LEGAL DESCRIPTION OF THE SUBJECT PROPERTY (list all parcels that apply)

Property Address: 669 Willow Springs Drive

Tax Map # and Parcel: Charles Town Corporation T.M. 15 Parcel 9.26 & 9.27

Deed Book and Page #: Plat Book 20 Page 92

Property Area in Square Feet or Acres: 63, 011 SF and 56,904 SF

5. DESCRIPTION OF THE EXISTING (OR FORMER) USE(S) OF THE PROPERTY AND CURRENT ZONING:

Existing Property is vacant

Current zoning both parcels is General Commercial

Proposed zoning of rear vacant lot is Neighborhood Commercial; see attached re-zoning request

6. DESCRIPTION OF PROJECT AND PROPOSED USE(S) OF THE PROPERTY:

To renovate the existing vacant building into an indoor playground and build a new mixed-use commercial and residetial building with commercial rental space on ground floor and apartment on floors 2 and 3

*Applicants include: Property owner(s), Engineer(s), Surveyor(s), or Consultant(s)

7. DESCRIPTION OF ANY PROPOSED WORK TO BE DONE TO THE PROPERTY:

See above number 6

8. DESCRIPTION OF THE WAIVER REQUEST:

Requesting waiver from the sidewalk requirement. There are no sidewalks on the properties to either side of the parcels on both Maple Tree Drive and Willow Springs Drive, and as such there would be sidewalks leading to nowhere, thus causing potential routing of pedestrians into grass or roadways. Additionally, along Maple Tree drive in particular, and along Ruby Tuesdays adjoining lot, there is a relatively steep slope along the roadway and an existing ditch providing drainage, which would make construction difficult and non-standard.

9. LIST THE APPLICABLE SECTION(S) OF THE SUBDIVISION ORDINANCE FROM WHICH THE WAIVER IS REQUESTED:

Section 1333.09

10. JUSTIFICATION FOR THE REQUEST:

- A) Explain how the design of the project will provide public benefit such as a reduction in City maintenance costs, greater open space, parkland consistent with the City Parks Plan or benefits of a similar nature;

If granted, the waiver would keep from sidewalks being constructed to dead ends and with abnormal construction creating potential safety issues and misleading routes

- B) Explain how the waiver, if granted, will not adversely affect the public health, safety, welfare or the rights of adjacent property owners or residents;

If granted, we dont foresee any negative affects on public safety or health.

C) Explain how the waiver, if granted, will be in keeping with the intent and purpose of this Ordinance; and;

If granted, the waiver from sidewalks on road frontages would keep from routing people to dead ends and would keep from making adjoining properties looking incomplete since they dont have sidewalks in place

11. INTERESTED PARTY ADDRESSES, FOR PUBLIC NOTICE (including across street)
(Interested parties are defined as adjacent properties within 100 feet).

Owner	# and Street	City, State, Zip
First Charles Town Group	PO Box 183 Charles Town, WV	25414
Store Master Funding XIV	333 E. Broadway	Maryville, TN 37804

12. PARCEL HISTORY (List all pending or previously approved applications on the subject parcels inventoried above, including previous site plan applications if this application is a site plan amendment)

Application No.	Project Name and Phase	Status	Approval Date

13. HAS THE PROPERTY BEEN THE SUBJECT OF ANY COURT ACTION?

☐ Yes (Please specify nature of all proceedings and current status and attach any documents showing court decisions, etc.)

☒ No

APPLICANT CERTIFICATION

I certify that, to the best of my knowledge, the submitted information and statements are true and correct. I also certify that I have received and read Section 1331.12 of the Charles Town S/LD Ordinance and relevant provisions of the Charles Town City Code.

Signature of Applicant

[Signature] Date 7/25/24

Signature of Property Owner (If different than Applicant)

Mam G. Wase Sect/Treas Date 7/25/2024

Please submit an original completed Application and specified number of Site Plan copies to the following:

Subdivision Administrator
City of Charles Town
101 E. Washington Street
Charles Town, WV 25414

FOR CITY USE ONLY

Application Number: _____ Date Application Received: _____

Fee: \$ _____ Paid: \$ _____ Check No. _____

Receipt No. _____

Subdivision Administrator Approval: _____ Date: _____

Planning Commission Approval: _____ Date: _____

Comments/Conditions: _____



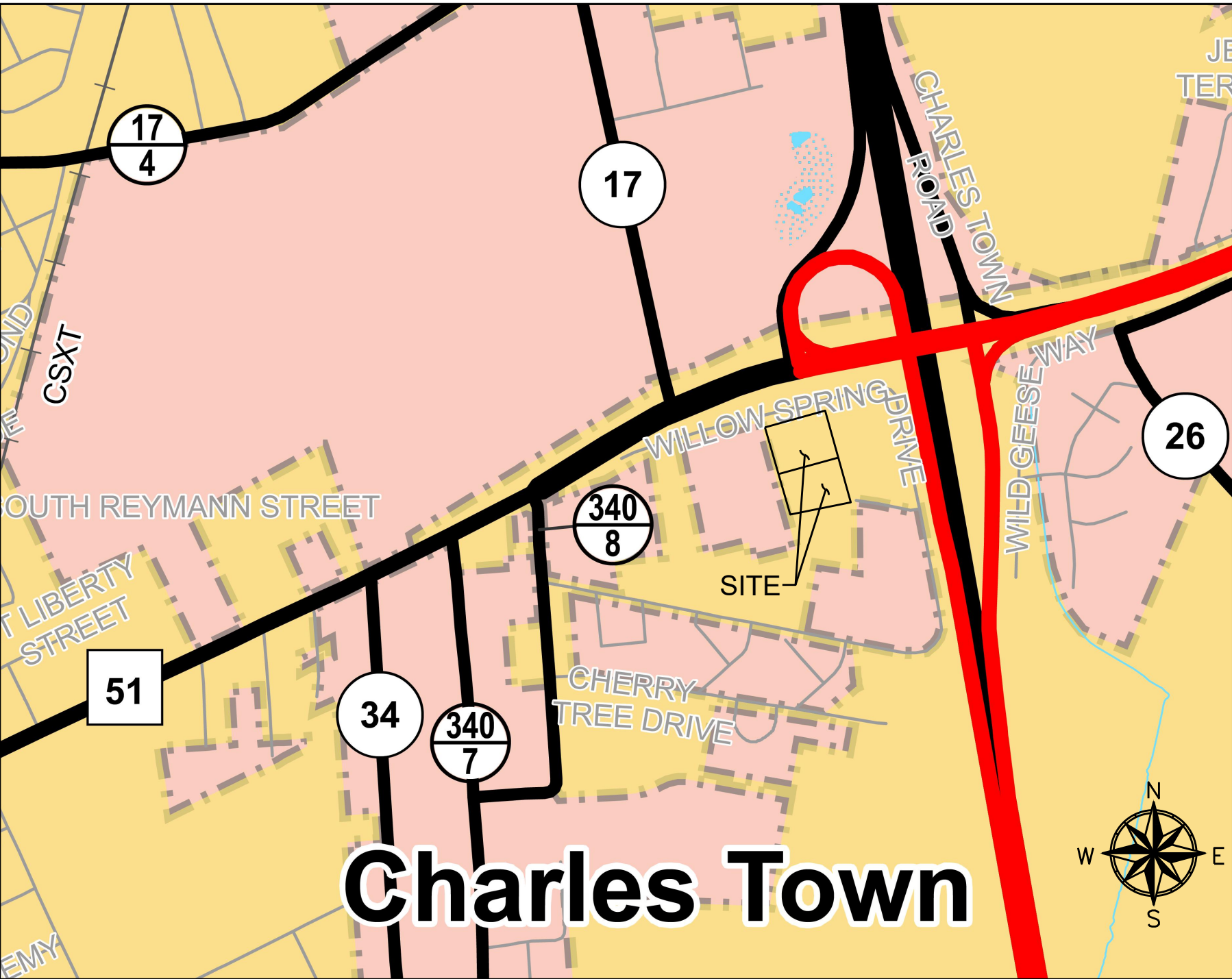
ALPHA ASSOCIATES, INC.
535 W. KING STREET
MARTINSBURG, WV 25401
PHONE: 304-264-0051
TOLLFREE: 877-264-0051
www.thinkALPHAfirst.com

SKETCH PLAN

FOR

TRI-STATE IMPROVEMENTS, LLC

INDOOR PLAYGROUND BUILDING RENOVATION & NEW MULTI-PURPOSE BUILDING



VICINITY MAP

SCALE: 1" = 600'

SITE INFORMATION

1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO RECORDED OR UNRECORDED RIGHT-OF-WAYS, EASEMENTS, RESTRICTIONS OR EXEMPTIONS NOT SHOWN HEREON.

2. THE CURRENT ZONING OF THE VACANT REAR PROPERTY IS GENERAL COMMERCIAL. THE PROPOSED ZONING IS NEIGHBORHOOD COMMERCIAL.

3. THE PROPOSED USE OF THE SITE IS TO RENOVATE THE EXISTING VACANT BUILDING INTO AN INDOOR PLAYGROUND AND BUILD A NEW MULTIPURPOSE COMMERCIAL AND RESIDENTIAL BUILDING WITH COMMERCIAL RENTAL SPACES ON THE GROUND LEVEL FLOOR AND APARTMENTS ON FLOORS 2 AND 3.

4. EXISTING BUILDING IS CURRENTLY 21' TALL WITH A PLANNED 2ND FLOOR. IT WILL BE INCREASED TO 33'. THE NEW MIXED USE BUILDING ON THE REAR LOT WILL BE 44' TALL.

5. SOURCE OF BOUNDARY INFORMATION: PLAT FOUND IN PLAT CABINET 20 PAGE 92.

6. THERE ARE NO KNOWN COVENANTS ON THESE PROPERTIES.

7. PROPERTY ADDRESS: 669 WILLOW SPRINGS DRIVE, CHARLES TOWN, WV 25414.

8. WATER UTILITY SERVICES WILL BE PROVIDED BY CTUB.

9. SANITARY SEWER SERVICES WILL BE PROVIDED BY CTUB.

10. CONTOUR DATA AND BOUNDARY INFORMATION WERE GENERATED FROM LIDAR DATA AVAILABLE FROM THE WV GIS CLEARING HOUSE HOSTED BY WVU.EDU

11. THIS PROPERTY IS LOCATED ON FEMA MAP PANEL 54037C0137E, EFFECTIVE DATE 12/18/2009, AND IS DESIGNATED AS ZONE "X", AN AREA TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOOD PLAIN.

12. THE SOILS ON THE SITE ARE AS FOLLOWS:
Ub - URBAN LAND
Uu - URBAN LAND - UDORTHENTS
UwC - URBAN LAND-HAGERSTOWN COMPLEX, 0 TO 15 PERCENT SLOPES

13. THERE ARE NO WETLANDS ON THE SITE PER THE US FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.

14. KNOWN EASEMENTS ARE SHOWN HEREON.

15. PROJECT LIMITS ARE NOT WITHIN 500' OF A STREAM.

16. NO RIGHT OF WAYS ARE PROPOSED WITH THIS PROJECT.

17. ALL PROPOSED UTILITY LINES SHALL BE UNDERGROUND.

18. CONTACT WVDOH A MINIMUM OF 24 HOURS PRIOR TO ANY WORK WITHIN THE WVDOH RIGHT OF WAY. (681)-320-2039

19. COORDINATE ALL UTILITY WORK WITHIN THE WVDOH RIGHT OF WAY WITH TOM CALDWELL. (681)-320-2040

20. THERE ARE NO FUTURE EASEMENTS OR RIGHTS OF WAYS TO CONNECT TO ADJOINING PROPERTIES.

ZONING ORDINANCE SUMMARY - NEIGHBORHOOD COMMERCIAL, PAR. 9.26 :

1. PROPOSED USE: PROPOSED BUILDING WILL BE MULTI-PURPOSE COMMERCIAL AND RESIDENTIAL WITH 5 - 2,300 SF COMMERCIAL SPACES AT GROUND LEVEL AND 12 RESIDENTIAL APARTMENTS ON FLOORS 2 AND 3.		
2. LANDSCAPING: IT WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/ DEVELOPER TO REPLACE ANY TREES THAT DIE. ALL LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER/ DEVELOPER.		
3. SITE LIGHTING WILL BE PROVIDED.		
4. USE REQUIREMENTS:	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	6,000 SF	56,904 SF
MAXIMUM LOT SIZE:	20,000 SF ±	56,904 SF
MAXIMUM DENSITY	NO REQUIREMENT	N/A
MINIMUM LOT WIDTH:	NO REQUIREMENT	
MAXIMUM STORIES:	3	3
MAXIMUM LOT COVERAGE (RESIDENTIAL)	80% (MAX)	76%
MAXIMUM LOT COVERAGE (COMMERCIAL)	90% (MAX)	76%
BUILDING SETBACKS		
FRONT:	5' (MIN)	5'
SIDE:	10' (MIN) (20' COMMERCIAL)	20'
REAR:	15' (MIN)	15'
5. PARKING TABULATIONS: - RESIDENTIAL APARTMENTS: 1.5 SPACES PER UNIT X 20 UNITS = 30 SPACES - PET SUPPLY STORE: 4.1 SPACES PER 1,000 SF = 48 SPACES (RETAIL EXAMPLE)		
TOTAL REQUIRED = 78		
TOTAL PROVIDED = 114 SPACES 114 X 4% = 4.56 - 5 HANDICAP SPACES REQUIRED TOTAL HANDICAP PROVIDED = 6		

ZONING ORDINANCE SUMMARY - GENERAL COMMERCIAL, PAR. 9.27:

1. PROPOSED USE: EXISTING VACANT BUILDING WILL BE REMODELED INTO AN INDOOR PLAYGROUND FACILITY		
2. LANDSCAPING: IT WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/ DEVELOPER TO REPLACE ANY TREES THAT DIE. ALL LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER/ DEVELOPER.		
3. SITE LIGHTING WILL BE PROVIDED.		
4. USE REQUIREMENTS:	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	NO REQUIREMENT	63,011 SF
MAXIMUM LOT SIZE:	NO REQUIREMENT	63,011 SF
MAXIMUM DENSITY	NO REQUIREMENT	N/A
MINIMUM LOT WIDTH:	NO REQUIREMENT	
MAXIMUM STORIES:	5	2
MAXIMUM LOT COVERAGE (COMMERCIAL)	90% (MAX)	63%
BUILDING SETBACKS:		
FRONT:	40' (MIN) (EX. BLDG IS GRANDFATHER)	40'
SIDE:	10' (MIN) (25' COMMERCIAL)	10'
REAR:	30' (MIN)	30'
5. PARKING TABULATIONS: RECREATIONAL COMMUNITY CENTER: 3 SPACES PER 1,000 SF X 12,000 SF = 36 SPACES (INDOOR PLAYGROUND)		
TOTAL REQUIRED = 36		
TOTAL PROVIDED = 114 SPACES 114 X 4% = 4.56 - 5 HANDICAP SPACES REQUIRED TOTAL HANDICAP PROVIDED = 6		

SKETCH PLAN

FOR

TRI-STATE IMPROVEMENTS, LLC
INDOOR PLAYGROUND BUILDING RENOVATION
& NEW MULTI-PURPOSE BUILDING

CHARLES TOWN CORP. T.M. 15 PARS. 9.26 & 9.27 P.B. 20 PG. 92
JEFFERSON COUNTY, WEST VIRGINIA

OWNER/DEVELOPER:
TRI-STATE IMPROVEMENTS,
LLC

ADDRESS:
PO BOX 1
KEARNEYSVILLE, WV 25430

PHONE:
410-206-4791

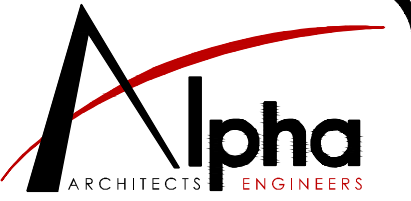
ATTN:
CHRIS HILL

PROJ. NO.: 2401013.00
DATE: 4/8/2024
REVISION 1: 4/29/2024

SHEET NO.:

1 OF 2

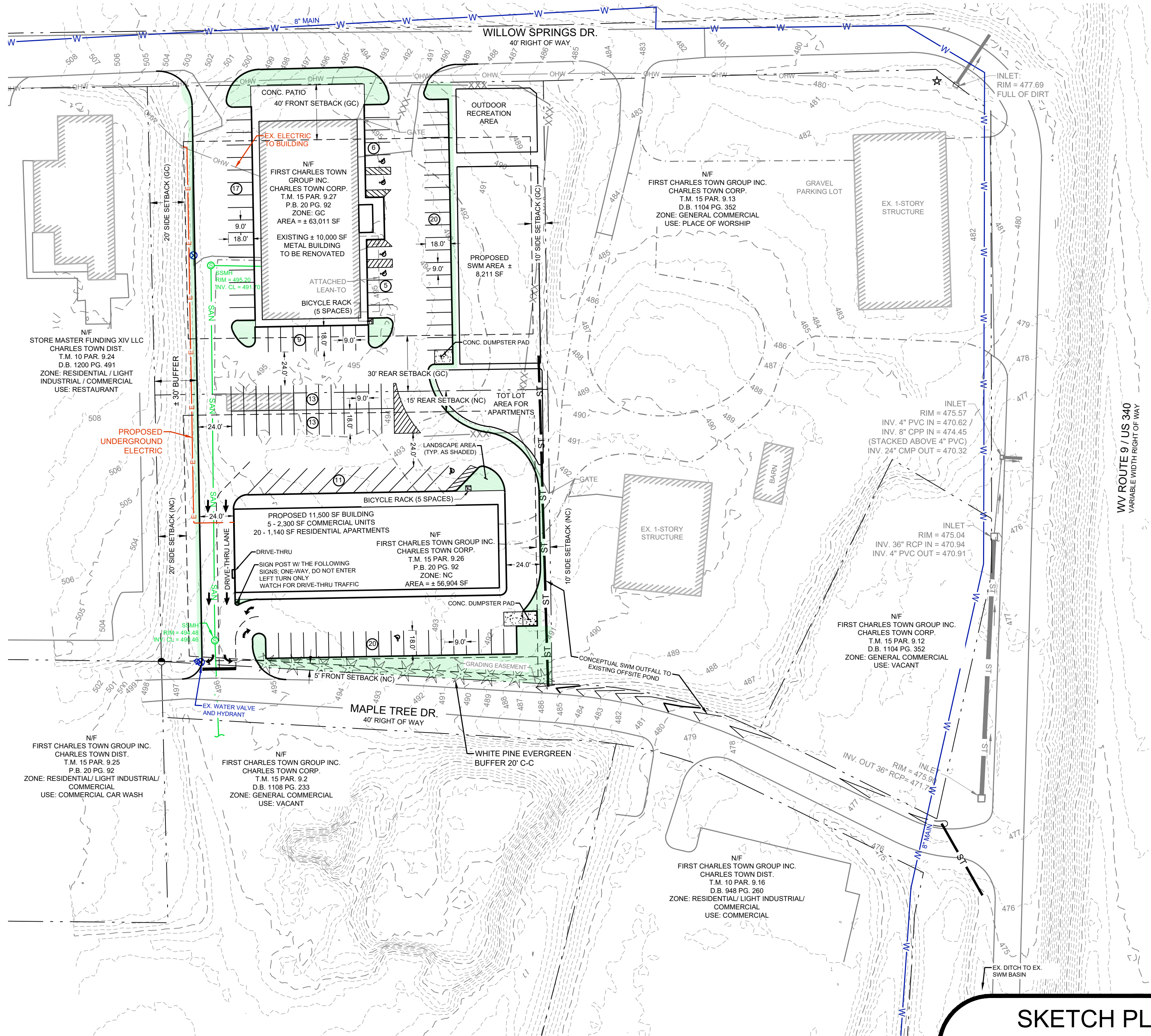
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ALPHA ASSOCIATES, INC.
535 W. KING STREET
MARTINSBURG, WV 25401
PHONE: 304-264-0051
TOLLFREE: 877-264-0051
www.thinkALPHAfirst.com

LEGEND

T.M.	TAX MAP NUMBER
PAR.	PARCEL NUMBER
D.B.	DEED BOOK
PG.	PAGE NUMBER
N/F	NOW OR FORMERLY
▲	SURVEY CONTROL POINT
●	5/8" REBAR WITH CAP FOUND
★	CONCRETE MONUMENT
⊙	REBAR FOUND
⊗	IRON PIPE FOUND
⊗	RAILROAD SPIKE SET
○	POINT
○	UTILITY POLE
⊙	SANITARY MANHOLE
⊙	STORM MANHOLE
⊙	TELEPHONE MANHOLE
⊙	WATER VALVE
⊙	WATER METER
⊙	FIRE HYDRANT
⊙	SANITARY CLEAN-OUT
⊙	SIGN
---	PROPERTY LINE
---	ADJOINER LINE
---	BUILDING OUTLINE
---	EDGE OF GRAVEL
---	5' CONTOUR INTERVAL
---	1' CONTOUR INTERVAL
---	CHAIN-LINK FENCE
---	SANITARY SEWER LINE
---	WATER LINE
---	STORM SEWER LINE
---	OVER HEAD WIRES
---	BUILDING SETBACK LINE
---	LANDSCAPE AREA



SKETCH PLAN

FOR
TRI-STATE IMPROVEMENTS, LLC
INDOOR PLAYGROUND BUILDING RENOVATION
& NEW MULTI-PURPOSE BUILDING

CHARLES TOWN CORP. T.M. 15 PARS. 9.26 & 9.27 P.B. 20 PG. 92
JEFFERSON COUNTY, WEST VIRGINIA

OWNER/DEVELOPER:
TRI-STATE IMPROVEMENTS,
LLC

ADDRESS:
PO BOX 1
KEARNEYSVILLE, WV 25430

PHONE:
410-206-4791

ATTN:
CHRIS HILL

PROJ. NO.: 2401013.00
DATE: 4/8/2024
REVISION 1: 4/29/2024

SHEET NO.:

2 OF 2

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Planning Commission

101 East Washington Street

Charles Town, WV 25414

Meeting: 08/26/24

Department: Planning

Commission

Category: Report

Initiator:

SCHEDULED

AGENDA ITEM (ID #)

**Public Hearing: *SLD2024-02* - Tri-State Preliminary Plan
-APPLICANT REQUESTS ITEM BE TABLED**

ATTACHMENTS:



Planning Commission

101 East Washington Street

Charles Town, WV 25414

Meeting: 08/26/24

Department: Planning

Commission

Category: Report

Initiator:

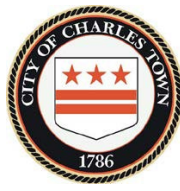
SCHEDULED

AGENDA ITEM (ID #)

Public Hearing: ZMA2024-03 - Ann Street Planned Unit Development -APPLICANT REQUESTS ITEM BE TABLED

ATTACHMENTS:

- [1. Staff Report.pdf](#)
- [2. Application.pdf](#)
- [3. Narrative.pdf](#)
- [4. Sketch Plan.pdf](#)



Zoning Map Amendment
ZMA2024-03

Date: For the August 26, 2024 Planning Commission meeting

Applicant: Mark Roper

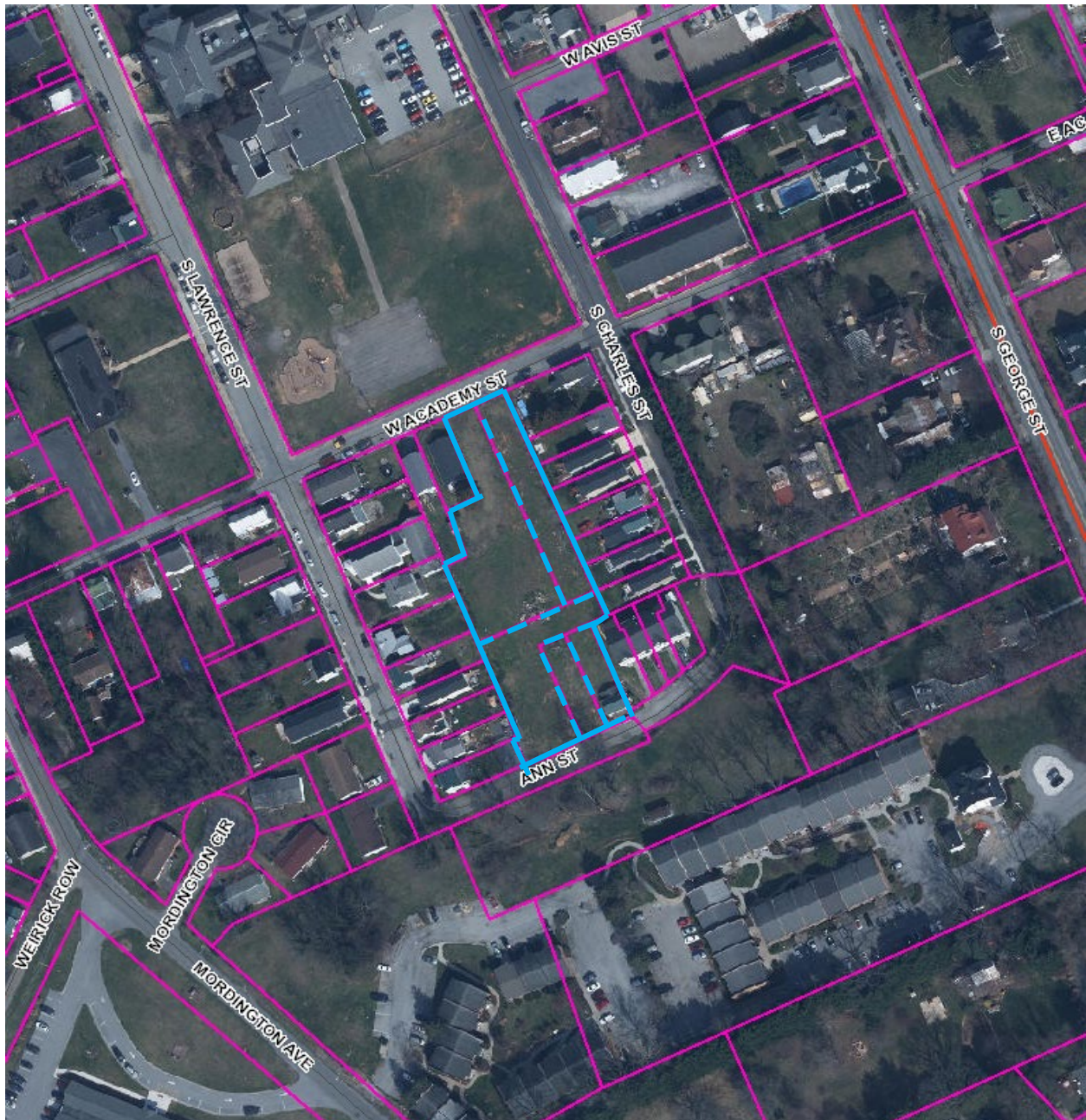
Property Owner: Mark Roper

Report by: James Newman, City Planner, Zoning/Subdivision Administrator.

Proposal: Rezoning from Old-Town Residential to Planned Unit Development.

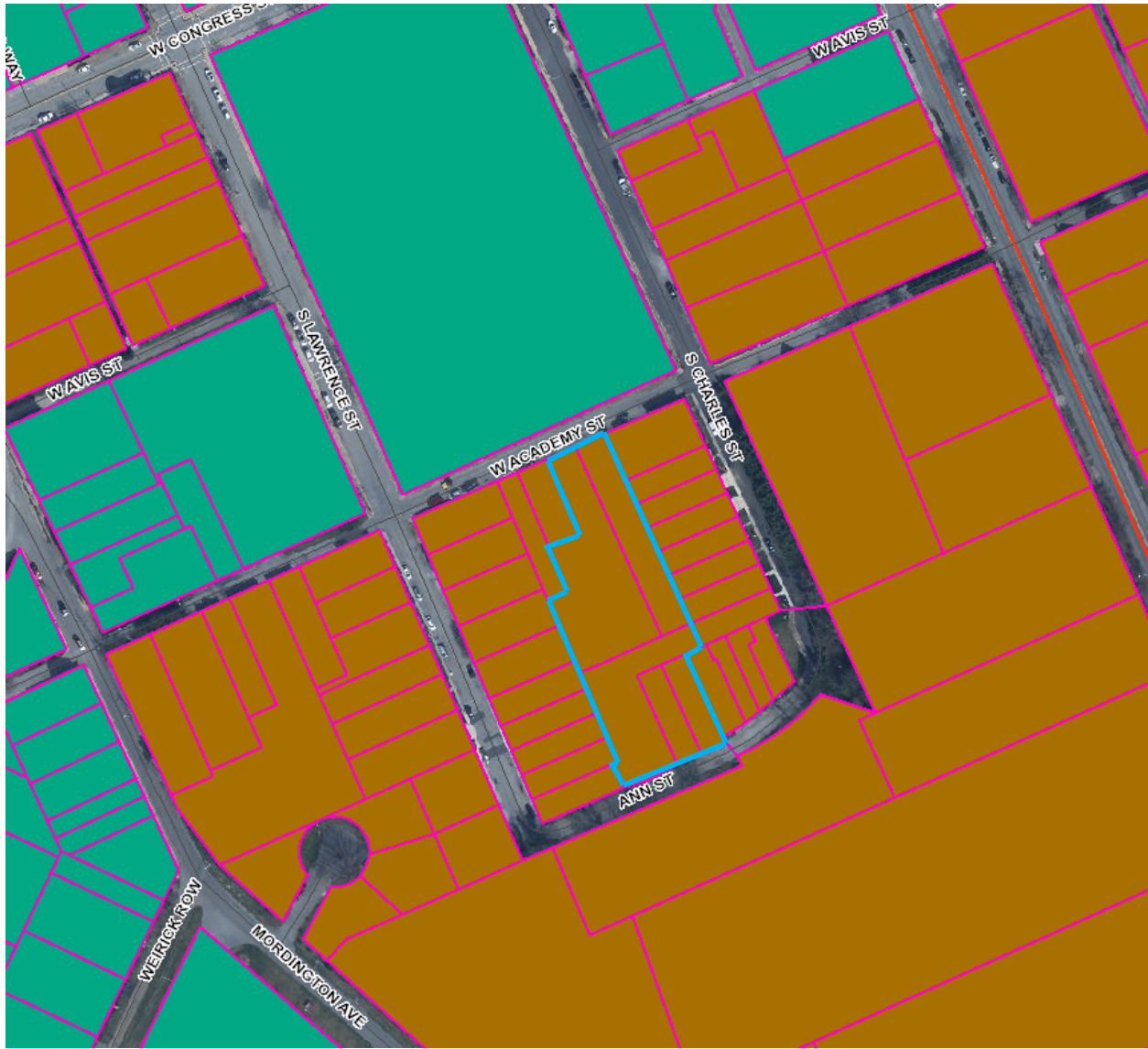
Property Location: Between W. Academy Street and Ann Street

Current Zoning: Old Town Residential



PROJECT OVERVIEW

A request to rezone approximately .81 acres/35,290 sq. ft. of land from Old-Town Residential to Planned Unit Development.



ZONING MAP

KEY

Brown – Old-Town Residential

Green – Old-Town Mixed-Use Commercial

DEVELOPMENT PURPOSE

The proposed rezoning area is .81 acres. The purpose of the rezoning is to develop the parcels into a development with one single family detached dwelling unit and nine townhomes. The existing Old Town Residential Zoning permits single-family detached units by-right and townhomes via a Special Use Permit. The proposed rezoning would permit both uses by-right.

PLANNED UNIT DEVELOPMENT (PUD) OVERVIEW

The Planned Unit Development is a unique zoning district. It acts as a separate Zoning District overlaid on to the existing underlying “fixed” Zoning District(s). The Uses, requirements, and standards approved for the PUD shall take precedence over inconsistent or conflicting provisions applicable to the underlying “fixed” Zoning District(s). In the event the PUD is abandoned or otherwise terminated, the underlying Zoning District(s) shall thereafter apply to the subject land.

The purpose is to **encourage and allow more creative and imaginative design** of land developments **than is possible under district zoning regulations**. Planned Unit Developments are intended to **allow substantial flexibility** in planning and designing a proposal. This flexibility often accrues in the form of relief from compliance with conventional Zoning Ordinance and Subdivision and Land Development Ordinance site and design requirements.

Ideally, this flexibility results in a development that is better planned, that contains **more amenities**, and ultimately a **development that is more desirable to live in** than one produced in accordance with typical Zoning Ordinance and subdivision controls. An intrinsic, and often neglected, premise upon which the approval of a PUD must be conditioned, is that while greater density or more lenient siting requirements may be granted, **the PUD should contain features not normally required of traditional developments**.

The PUD process is also intended to allow Infill Development or development of smaller parcels contiguous with existing developed areas of the City, where it may be appropriate to match existing Lot and block patterns, Street corridors and other existing conditions. **In instances of Infill Development**, particularly smaller parcels, **creative design emphasis** shall be placed **on architectural controls, landscaping and neighborhood compatibility, rather than** subdivision design or the creation of **large Open Spaces or common areas**.

EXISTING DEVELOPMENT CRITERIA

Old Town Residential Development zoning requirements:

Table 1322.11, OT-R District Bulk and Area Regulations

Maximum Density	
Minimum Lot Size	
Existing Lot of Record	No Minimum Lot Size
For Newly Created Lots the Following Standards Shall Apply:	
Single-Family Detached Dwelling	10,000 square feet
Duplex Dwelling	6,000 square feet
Multi-Family Dwelling	20,000 square feet
Townhouse Dwelling	2,000 square feet
Group Home	10,000 square feet
All Other	20,000 square feet
Minimum Lot Width	
Existing Lot of Record	No Minimum Lot Width ³
Single-Family Detached Dwelling	70 feet
Two-Family Dwelling	80 feet
Duplex Dwelling	40 feet
Multi-Family Dwelling	100 feet
Townhouse Dwelling	18 feet
Group Home	70 feet
All Other	100 feet
Minimum Front Yard Setback	20 feet or Front Setbacks shall vary no more than 10% from the average Setbacks of the three Adjacent Properties to each side. ⁵
Minimum Side Yard Setback	10 feet ¹
Minimum Rear Yard Setback	20 feet
Maximum Lot Coverage	70 percent
Minimum Building Height	Minimum = 24 feet or 1.5 stories
Maximum Building Height	35 feet (55 feet for Multi-Family) ²
Maximum Stories	3 stories (4 stories for Multi-Family)

(1) No Side Yard shall be required adjoining any Lot line that coincides with party-wall in an attached Dwelling or other Use.

(2) Multi-Family: 55 feet, 4 stories

(3) Width of lot shall be determined by ability to meet setbacks when a principle use is located on the lot.

(4) Legal Non-conforming Structures that are destroyed in fires and/or natural disaster are permitted to be rebuilt in their previous area and bulk configuration.

(5) In situations where there are not three (3) contiguous properties to either side of the subject property, where possible, reviewing the front setbacks in the next block on the same side of the street shall be considered. In locations where there are no structures in the contiguous block or if the block pattern change significantly, the intent and spirit of the Zoning Ordinance is to maintain consistency and compatibility within the block where the structure is to be located. Examining the front setbacks across the street from the subject parcel is a reasonable alternative in so much that compatibility within the block is maintained. Discretion in determining the front setback to achieve the character and compatibility resides within the duties of the Zoning Administrator.

PROPOSED DEVELOPMENT CRITERIA

Planned Unit Development proposed zoning requirements:

ANN STREET			
DEVELOPMENT STANDARDS	sf	acres	
PROPERTY AREA	35,290	0.81	
PRIVATE ROAD PARCEL	9,246	0.21	
SWM AREA	TBD	0.00	
NET BUILDABLE LAND AREA	26,044	0.60	
DATA TABLE FOR PLANNED UNIT DEVELOPMENT (PUD) ZONING			
SEC. 1322.11 OT-R DISTRICT BULK & AREA REGULATIONS	MIN. REQUIRED	MAX. ALLOWED	PROPOSED SFA (SFD)
EXISTING LOT OF RECORD ⁴			
Dwelling Units	N/A	N/A	1
Lot Size (sf)	N/A	N/A	3,394 SF
Lot Width ⁵ (ft)	N/A	N/A	36'
TOWNHOME LOTS			
Dwelling Units	N/A	N/A	10
Lot Size (sf)	2,000	N/A	2,000
Lot Width (ft)	18	N/A	18
BUILDING SETBACKS			
Front Yard ^{1,2} (ft)	20	N/A	20
Side Yard ^{3,6} (ft)	10	N/A	10
Rear Yard (ft)	10	N/A	Lot 1: 27', Lot 2: 11', Lot 3: 10', Lot 4: 29', Lot 5: 26', Lot 6: 23', Lot 7: 11', Lot 8: 20', Lot 9: 21', Lot 10: 21'
BUILDING HEIGHT (ft.)	24 feet or 1.5 stories	35	35
STORIES	N/A	3	3
Lot Coverage (%)	N/A	70	70
3,500 SF per SFA Unit			
SEC. 1333.23(J) & 1333.20(G) OFF-STREET PARKING REQUIREMENTS			
	RATE	REQUIRED	PROPOSED
TOWNHOME (Per du)			
Off-Street Parking Spaces	1.8	18	12
Additional Street Parking Spaces			
Total Parking Spaces		18	12
SINGLE FAMILY (Per du)			
Off-Street Parking Spaces	2.0	20	2
Additional Street Parking Spaces			
Total Parking Spaces		20	2

NOTES

*** Existing Parcel/ Lot

¹ In situations where there are not three (3) contiguous properties to either side of the subject property, where possible, reviewing the front setbacks in the next block on the same side of the street shall be considered.

² Front yard setback shall be measured from the face of the curb.

³ No Side yard shall be required adjoining any Lot line that coincides with party-wall in an attached Dwelling or other Use.

⁴ One existing lots of record fronting on W. Academy Street

⁵ Width of lot shall be determined by ability to meet setbacks when a principle use is located on the lot.

⁶ For Lot 10, a 20' side setback is proposed since it is a corner lot.

CHANGES FROM OTR REQUIREMENTS

Lot	Front Setback (Feet)	Side Setback (Feet)	Rear Setback (Feet)	Lot Width (Feet)	Minimum Lot Size (Square Feet)
	Provided / Required	Provided / Required	Provided / Required	Provided / Required	Provided / Required
Lot 1	20 / 20	10 / 10	27 / 20	36 / 70	3,394 / 10,000
Lot 2	20 / 20	End unit 5 / 10	11 / 20	28.8 / 18	2,540 / 2,000
Lot 3	20 / 20	Internal Unit 0 / 0*	10 / 20	23.3 / 18	1,878 / 2,000
Lot 4	20 / 20	Internal Unit 0 / 0*	29 / 20	23.3 / 18	2,391 / 2,000
Lot 5	20 / 20	Internal Unit 0 / 0*	26 / 20	23.3 / 18	2,404 / 2,000
Lot 6	20 / 20	End unit 5 / 10	23 / 20	28.3 / 18	2,840 / 2,000
Lot 7	20 / 20	End unit 5 / 10	11 / 20	27.4 / 18	2,274 / 2,000
Lot 8	20 / 20	Internal Unit 0 / 0*	20 / 20	24.4 / 18	2,002 / 2,000
Lot 9	20 / 20	Internal Unit 0 / 0*	21 / 20	23.3 / 18	2,005 / 2,000
Lot 10	20 / 20	End unit 10 / 20**	21 / 20	32.4 / 18	3,775 / 2,000

*Internal units do not have a setback requirement for common shared walls

**End unit along a street, treated as a double front.

PUD SPECIFIC OBJECTIVES

Through proper planning and design, each PUD should include features which further, and are in compliance with, the following objectives:

1. *To allow for the design of developments that are architecturally and environmentally innovative, and that achieve better utilization of land than is possible through strict application of standard zoning and subdivision controls;*

No architectural renderings have been provided. The properties are not within the Historic District, so there are no specific zoning constraints on design or material beyond the setback and height restrictions.

2. *To encourage land development that, to the greatest extent possible, preserves natural vegetation, respects natural topographic and geologic conditions (including Karst geology) and refrains from adversely affective flooding, soil, drainage, and other natural ecologic conditions;*

The topography of the site has the high ground along W. Academy Street sloping down towards Ann Street. No diagrams have been provided showing the detailed topography of the site for grading work. There is no significant vegetation on site other than a couple of small trees. The view from West Academy Street can be seen on the following page:



3. *To combine and coordinate architectural styles, Building forms, and structural/visual relationships within an environment that allows mixing of different land Uses in an innovative and functionally efficient manner;*

No architectural renderings have been provided. The nine townhomes will be built in two rows: one row of four homes and the other with five homes. The minimum required is three with a maximum of ten. Townhomes are required to have facades which are different from abutting units.

4. *To provide for abundant, accessible, and property located public open and recreation space, private open and recreation space, schools, and other public and private facilities;*

Approximately 5,000 sq. ft. of open space are provided in the form of a playground with a playset. Additionally, the applicant will be paying a fee-in-lieu-of in the amount of \$500 per unit. The applicant states that the open space is to be maintained by the residents.

5. To promote the efficient Use of land resulting in networks of utilities, Streets and other infrastructure features that maximize the allocation of fiscal and natural resources;

The proposed development will result in a density of 8.1 units per acre with an average lot size of 2,550 sq. ft. The proposed development includes a 24 ft. wide through-street connecting W. Academy Street and Ann Street, with a 5 ft. wide sidewalk to be built on one side of the street. The applicant will also build a sidewalk on the south side of W. Academy Street to tie into the existing sidewalk infrastructure, completing the sidewalk network in that area. The development is a compact and efficient use of limited space to provide housing and road infrastructure.

6. To enable land developments to be, to the maximum extent practicable, compatible and congruous with adjacent and nearby land developments;

The proposed development is purely residential. Neighboring lots are slightly larger and wider than what is proposed. For buffering, the applicant proposed a fence behind the townhomes and playground. Each lot will be planted with one street tree; current requirements are for one tree every 50 feet. The narrow width of the townhome lots will result in more trees than if only the 'one every 50 ft' requirement was adhered to.

7. To ensure that development occurs at proper locations, away from environmentally sensitive areas, and on land physically suited to construction;

The proposed development is residential infill within an existing residential neighborhood. There are no known environmentally sensitive areas impacted by this development; an analysis of stormwater runoff will be performed for the preliminary plan should the plans proceed.

8. To allow unique and unusual land Uses to be planned for and located in a manner that ensures harmony with the surrounding community; and

The proposed uses are either permitted by -right in the OTR zoning district (single-family detached housing) or permitted via Special Use Permit (townhomes).

9. To create a method for the permanent preservation of Historic Structures and/or Landmarks.

While located just outside of the City's Historic District, the parcels are located within the National Register *Old Charles Town Historic District*. The parcels subject to the rezoning request are vacant and construction of the proposed development will not impact adjacent historical structures.

PUD SPECIFIC QUALIFICATIONS

1. A Planned Unit Development may be developed in any Zoning District if it:

a. Is within the City's Old Town Districts, no minimum lot size shall apply, and at least twenty (20) acres in size for undeveloped tracts located outside the City's Old Town Districts

This criterion is met, the property is zoned Old Town Residential.

b. Contains more than two (2) detached Buildings accommodating principal Uses; No minimum number of detached Buildings apply in the City's Old Town Districts;

This criterion is met, there is one detached single family home and two rows of townhomes.

c. Is initially under the same ownership or control;

Applicant appears to propose a Home Owners Association, which would maintain the common open area.

d. Is of a character that is compatible with, and contains such Uses that are needed in, the area of the proposed project. A market analysis substantiating the need for such Uses is encouraged.

No market analysis has been provided. The proposed development provides nine additional dwelling units within an existing urban neighborhood, and is a prime example of infill development.

2. Upon approval, a PUD acts as a separate Zoning District overlaid on to the existing underlying "fixed" Zoning District(s). The boundaries of the PUD shall be as specified in the approval. The Uses, requirements, and standards approved for the PUD shall take precedence over inconsistent or conflicting provisions applicable to the underlying "fixed" Zoning District(s). In the event the PUD is abandoned or otherwise terminated, the underlying Zoning District(s) shall thereafter apply to the subject land.

Applicant acknowledges that.

3. Uses permitted in a PUD may be any compatible residential, Commercial, or public Use or combination of Uses.

The proposed townhome and single family units are compatible with the existing residential uses.

4. Flexibility to suspend requirements imposed elsewhere is not conferred upon the PUD applicant as a matter of right but is in all cases subject to a finding by the Planning Commission that the objectives of these provisions will be served thereby.

The rezoning and sketch/preliminary plan process provide for public input and City review.

PUD REQUIREMENTS

1. Minimum Tract Size:

a. Within Old Town Districts: No minimum lot size.

This criterion is met.

4. Maximum Residential Density: 25 units per acre calculated on the Net Buildable Land Area; however, no Maximum Density applies to the Old Town Residential Districts.

This criterion is met, the property is zoned Old Town Residential.

5. Density Calculation: The density of a PUD shall be calculated from the Net Buildable Land Area; however, no Maximum Density applies to the Old Town Residential Districts.

This criterion is met, the property is zoned Old Town Residential.

6. Required Common Open Space: A minimum of twenty percent (20%) of the total usable land in residential Use in each phase shall be set aside for permanent common Open Space as defined herein.

This criterion is not met, per the applicant approximately 19% of the site is open space.

7. Quality of Design: To be granted the flexibility permitted hereunder, a Planned Unit Development must evidence a level of design and amenity exceeding that typical of conventional development. Among the features that may evidence such amenity are:

a. Amount and quality of landscaping;

Applicant proposed more street trees than required. Landscaping not shown on sketch plan.

b. Amount, quality, and interconnectedness of common Open Space;

Open space will have active uses (children's playground)

c. Provision of pedestrian or bicycle paths separated from Streets;

Sidewalk to be installed on one side of the proposed street, and sidewalk network along Academy to be completed.

d. Preservation of drainage ways and other natural features;

No natural drainageways shown on sketch plan.

e. Provision of common recreational facilities;

A common area is provided (playground).

f. Enclosed, underground, depressed, or outstandingly landscaped parking areas;

There will be 4 off-street parking spaces adjacent to the open space. Each dwelling unit will have a driveway and garage. No landscaping is shown on the plans.

g. Varied Building Setbacks or other measures to reduce monotony in design;

The townhomes meet the requirements for being offset from each other. The proposed side yard setbacks on some townhome units are less than the OTR 10 ft. minimum, hence the PUD request.

h. Other features as determined by the Planning Commission or City Council.

Covenants

Where individual parcels are to be later sold, adequate provision has been made in the form of deed restrictions, a declaration of common interest community, covenants, conditions, and restrictions, or the like for:

- 1. The preservation and maintenance of any Open Spaces, thoroughfares, utilities, water retention or detention areas, and other common elements not to be dedicated to the City or another public body;*

The applicant should create an HOA to maintain the open space and off-street parking.

- 2. Such control of the Use and exterior design of individual Structures, if any, as is necessary for continuing conformance to the PUD Plan, such provision to be binding on all future ownership and compliant with Chapter 36B of the West Virginia Code;*

ADDITIONAL CHANGES

The applicant is making the following changes to the townhome requirements of the Subdivision Ordinance:

Subdivision Ordinance, Section 1333.20, Townhouse Development Standards.

- Section 1333.20, Subsection (B) – Net Buildable Area
 - Required
 - Each lot shall be 2,000 square feet.
 - An additional 1,500 square feet for open space per lot.
 - Provided
 - Except for Lot 3, which will be 1,878 square feet, each lot will be 2,000 square feet or more.
 - Approximately an additional 500 square feet for open space per lot.
- Section 1333.20, Subsection (O) – Required Open Space
 - Required:
 - 1,500 sq. ft. of open space per townhome unit with a collective requirement of 30% open space.
 - 30% is approximately 7,813 sq. ft. of the site.
 - Provided:
 - Approximately 5,000 sq. ft. of open space with a child's playset.
 - This is 19% of the site for open space.
 - Approximately 500 square feet is provided per lot
 - This development is located within walking distance to several parks, Evitts Run Park, Jefferson Memorial Park, Perry Park, and the Skate Park.
 - Applicant will be providing a fee-in-lieu of open space of \$500.00 per unit per Section 1333.17, Park, Recreation and Open Space Amenity Standards.

Subdivision Ordinance Section 1333.02, Street Design Standards,

- Table 1333.02 – Minimum Street Design Standards
 - Required:
 - The right of way is the width of a street from the backside of one sidewalk all the way across the street to the back side of the other side of the street.
 - The right-of-way requirement for a minor street, "Neighborhood Street", 50 feet.
 - Provided is 29 feet right-of-way.
 - This includes two – 12-foot travel lanes and a 5-foot sidewalk along the townhome side of the street.
 - Note that a "Neighborhood Street" has 10-foot travel lanes, and 12-foot travel lanes are proposed.

REZONING GENERAL CRITERIA

City Council must find either that:

1. *The amendment is consistent with the City's Comprehensive Plan,*

The Comprehensive Plan describes this area as being for *Old Town Residential*. The purpose of the *Old Town Residential* land use in the 2040 Comprehensive Plan is:

*Properties with this future land use classification are located in the City's historic Old Town and are within close walking distance of the Downtown. The **primary function** of the Old Town Residential future land use is to **recognize and preserve the existing older residential neighborhoods** within the City that are **characterized** as having **smaller lots, smaller setbacks, traditional grid street pattern and access by street or alley**.*

The preservation of the Old Town residential neighborhoods are vital to promoting interaction among activities located within the entire Old Town District that includes the Old Town Mixed Use Commercial area. The purpose of such interaction is to further enhance business vitality, reduce vehicular traffic, increase access to and the use of transit services.

*Also, it can provide employment opportunities for residents close to home, ensure the compatibility among and between residential and Downtown Commercial Uses, and **ensure the appearance and effects of buildings and uses are harmonious** with the **traditional neighborhood character** of the area.*

The proposed use of the property and the proposed rezoning are in conformance with the Comprehensive Plan, which calls for residential development on reduced lots with compact setbacks.

2. *Or that the amendment is not consistent with the Comprehensive Plan but that there have been major changes of an economic, physical, or social nature within the area involved that were not anticipated when the Comprehensive Plan was adopted and that such major changes have substantially altered the basic characteristics of the area.*

The proposed rezoning amendment is in conformance with the Comprehensive Plan.

CONCLUSION

Applicant proposes to rezone .81 acres of land into a Planned Unit Development with an underlying zoning of Old Town Residential. The purpose is to build one detached home and nine townhomes, as well as road and open space. The proposed development is purely residential and located within an existing residential neighborhood. The Comprehensive Plan Future Land Use Map supports the development of the site as housing.

The following standards would be exceeded under the proposed rezoning:

- Street tree requirements (1 per 50 ft required resulting in 8 trees. Applicant would have at a minimum 10)
- Sidewalk requirements (applicant is only required to provide sidewalk along the road frontage affected, but will build an additional 50 feet of sidewalk to the east of the proposed road entrance along W. Academy and an additional 42 feet of sidewalk to the west of the proposed road entrance along W. Academy.)

The following standards would not be met under the proposed rezoning:

- Open space: 20% minimum required, only 19% provided.
- Street design: 50 ft. right of way required, 29 ft. wide ROW is provided. However, travel lanes are only required to be 10 ft. wide but applicant is proposed 12 ft. wide lanes, plus a 5 ft. wide sidewalk.

Additional details required:

- Clarify status of HOA.
- Provision of architectural renderings.
- Landscaping details.
- Overall, more details must be provided showing creative design of the units/development as a whole.

RECOMMENDATION

Table action to allow the applicant to revise their plans.

PUD Application No. _____



RECEIVED

JUL 01 2024

BY: VL

PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Zoning Ordinance Article 1322.15, Planned Unit Development (PUD)
Subdivision and Land Development Ordinance

Article 1332, Subdivision and Land Development Application
& Approval Requirements

To assist the Subdivision Administrator in the review of a Planned Unit Development (PUD) Application, the Applicant must utilize this form to supply the City with the information prescribed under Section 1322.15 of the Zoning Ordinance and Section 1332 of the Subdivision and Land Development Ordinance. The submission of this form, along with the prescribed information and required fees, shall serve as the Applicant's S/LD Application as required by Ordinance Section 1332.02.

1. DATE June 28, 2024

2. APPLICATION TYPE ☐ PUD | Phase _____

☒ PUD | Entire Application

3. APPLICANT'S NAME* Mark Roper

Address: 418 S. Samuel Street Charles Town, WV 25414

Telephone Number (304)724-8877 Fax Number ()

Email Address mrconstructionwv@gmail.com

4. PROPERTY OWNER'S NAME Mark Roper and M&A Investment Group LLC

Address: 418 S. Samuel Street Charles Town, WV 25414

Telephone Number (304)724-8877 Fax Number ()

Email Address mrconstructionwv@gmail.com

*Applicants include: Property owner(s), Engineer(s), Surveyor(s), or Consultant(s)

5. LEGAL DESCRIPTION OF THE SUBJECT PROPERTY (list all parcels that apply)

Property Address: Vacant - Academy St and Ann St. and one structure at 214 Ann St.

Tax Map # and Parcel: TM 4; Parcels 101, 102, 103, 105, and 106.

Deed Book and Page #: 476/353, 1299/428, 467/353, 848/322, and 1287/191.

Property Area in Square Feet or Acres: 0.81 acres or 35,290 sq. ft.

6. DESCRIPTION OF PROJECT AND PROPOSED USE(S) OF THE PROPERTY:

See attached.

7. DESCRIPTION OF THE EXISTING (OR FORMER) USE(S) OF THE PROPERTY AND CURRENT ZONING:

Vacant - Academy St. and Ann St. and one structure at 214 Ann St. (to be removed)

A vacant struture was removed at 216 Ann St.

Current zoning is Old Town Residential

8. BASE ZONING DISTRICT Old Town Residential

9. DESCRIBE HOW THE PUD WILL DIFFER FROM THE BASE ZONING DISTRICT?

	Base Zoning District	PUD
Density:	See attached.	See attached.
Lot Size:	See attached.	See attached.
Lot Width:	See attached.	See attached.
Setback – Front:	See attached.	See attached.
Setback – Side:	See attached.	See attached.
Setback – Rear:	See attached.	See attached.
Other:		

See attached.

S/LD Application No. _____

10. PARCEL HISTORY: (List all pending or previously approved applications on the subject parcels inventoried above, including previous site plan applications if this application is a site plan amendment)

Application No.	Project Name and Phase	Status	Approval Date
N/A			

11. HAS THE PROPERTY BEEN THE SUBJECT OF ANY COURT ACTION?

☐ Yes (Please specify nature of all proceedings and current status and attach any documents showing court decisions, etc.)

N/A

☒ No

S/LD Application No. _____

12. INTERESTED PARTY ADDRESSES, FOR PUBLIC NOTICE (including across street)
(Interested parties are defined as adjacent properties within 100 feet).

Owner	# and Street	City, State, Zip
See attached.		

13. FEE CALCULATION (Per Fee Schedule)

AMOUNT PAID

\$ 400.00

APPLICANT CERTIFICATION

I certify that, to the best of my knowledge, the submitted information and statements are true and correct. I also certify that I have received and read Section 1322.15 of the Zoning Ordinance and Section 1332 of the S/LD Ordinance.

Signature of Applicant

 Date 7-1-24

Signature of Property Owner (If different than Applicant)

_____ Date _____

Please submit an original completed Application and specified number of Plan copies to the following:

Subdivision Administrator
City of Charles Town
101 E. Washington Street
Charles Town, WV 25414

FOR CITY USE ONLY

Application Number: _____ Date Application Received: _____

Fee: \$ _____ Check No. _____ Receipt No. _____

Staff Approval: _____ Date: _____

Planning Commission Approval: _____ Date: _____

Comments: _____

Academy and Ann Street Infill Planned Unit Development
Supplemental information to the PUD Application

6. DESCRIPTION OF PROJECT AND PROPOSED USE(S) OF THE PROPERTY:

This is an urban infill project that will increase the amount and quality of housing stock in the core of the city. This new housing is within walking distance to downtown and will provide for additional consumers for the downtown commerce. The Comprehensive Plan for the city has an emphasis on a "Downtown First Focus." This project is in keeping with that vision. The proposed plan makes use of existing infrastructure, is walkable to downtown and an elementary school, supports revitalization of underutilized property, and encourages investment in the City.

2040 Historically Hip Comprehensive Plan

- This plan meets several policy goals of the Comprehensive Plan, which are noted below (emphasis added):
 - "In 2015, Jefferson County approved the Envision Jefferson 2035 Comprehensive Plan and Future Land Use Guide¹⁴. Many of the Plan goals, objectives, and implementation strategies align with Charles Town's desire to prioritize infill development and redevelopment, increase the density of development, and adaptively reuse existing buildings to better utilize existing land resources. (Page 54)"
 - Under the title of "Housing Needs for the Future", it states that:
 - "Opportunities for new and infill developments that incorporate affordable housing in mixed uses, higher densities, and traditional neighborhood design elements will be incentives to be examined." (Page 90)
 - "For a growing City with innovative tools obtained during the Home Rule Program and the typical Code Compliance aspects faced by most communities, Charles Town has the ability to create a housing and redevelopment agency that is proactive, addresses existing housing and infill in the urban core, and involved in new development arrangements in "greenfield" areas."
 - "As envisioned by this Comprehensive Plan, the City of Charles Town desires to strengthen and emphasize its identity as exemplified by the Downtown and its traditionally designed and compact Old Town neighborhoods. This plan's Downtown First Focus approach emphasizes the need to reinvest in the City's existing infrastructure and neighborhoods, and encourage new growth and development (including infill) within its Urban Growth Boundary (UGB)." (Page 131)
 - Implementation Strategy "3.1.5 – Undertake a small area plan with conceptual architectural details that encourages the expansion of the Downtown area by the development and redevelopment of new infill by promoting additional mixed use vertical building as identified in this Plan." (Page 168)
 - Implementation Strategy "4.2.1 – Place a priority on promoting and incentivizing new development investments in the Old Charles Town and Gateway Community Types where urban infrastructure exists to readily support revitalization and infill development." (Page 170)
 - Implementation Strategy "4.2.2 – Create small area plans for Downtown Charles Town, US 340 East Gateway, US 340 South Gateway area and Rt 9. A small area plan is any plan that addresses the issues of a portion of the City. Small area plans can cover three different geographic scales – neighborhood, corridor, and district regardless of the size of the area. Small area plans cover a specific geography that often has a cohesive set of characteristics. In addition to the above locations, criteria for prioritizing small area plans may include the following:
 - • Evidence of disinvestment and deteriorating housing
 - • Significant change is occurring or anticipated

- • Public facilities and/or physical improvements need to be addressed
- • Opportunities for substantial infill or redevelopment are present (Page 171)

Purpose of the Old Town Residential District as listed in the Zoning Ordinance.

- “Purpose. The purpose of the OT-R District is to recognize existing and older residential neighborhoods within the City of Charles Town that are characterized as having smaller Lots, smaller Setbacks, traditional grid Street pattern and access by Street or alley. These provisions for the OT-R District are designed to protect the character of these residential neighborhoods while permitting their maintenance and improvement.”
1. “Preserving and restoring the overall character of the Zoning District;
 2. Promoting a balance of land Uses;
 3. Promoting the opportunity for people to work, interact, shop, dine, and utilize business and public services in the vicinity of their residences;
 4. Promoting a positive pedestrian environment in the Zoning District;
 5. Facilitating integrated physical design; Promoting a high level of design quality; and
 6. Facilitating development proposals responsive to current and future market conditions;”

Proposed activity:

- Construction of a new public street from Academy Street to Ann Street
 - This new street will be 24 feet wide with a 5-foot sidewalk on one side from Academy Street to Ann St.
 - The street will allow for two-way travel.
 - The new street will meet the construction standards for a public street.
- Rear load access to the lots on S. Charles Street
 - All homes facing S. Charles St., addressed as 404-418 on S. Charles Street., do not have off street parking. There is no access to the front or rear of the lots for parking.
 - This new proposed street will allow for rear loaded parking on these lots, which could allow for off-street parking that does not exist currently.
- Sidewalk connection on Academy Street
 - Although not required, the applicant proposes to install a missing gap in the sidewalk on Academy Street that is beyond the limits of the applicant’s proposed development.
 - Where the new proposed street intersects with Academy Street, to the east, approximately 52 feet of new sidewalk will be installed, and to the west, approximately 40 feet of new sidewalk will be installed.
 - This will make a complete connection to the existing sidewalk network along Academy St. from S. Charles St to S. Lawerance St.
- 1 single family home lot and 9 new townhome lots.
 - Lot 1 will be a single-family home lot that fronts on Academy St.
 - Lots 2-10 will consist of townhome units and will front on the new street.
 - There will be two rows of townhomes.
 - A row of 5 townhomes (Lots 2-6)
 - A row of 4 townhomes (Lots 7-10)
 - There is no density requirements in the Old Town Residential zoning district.
- Architectural standards.
 - Site will meet the following requirements that:
 - “Townhouses abutting each other shall have complimentary but not identical facades.”
 - “No more than two abutting townhouses shall have a common roof line.”
 - This ensures that for each unit and row of units to be distinct for each other.

- Since there are only 2 rows of townhomes, one 5 units in length and one 4 units in length, this will not look like a long monotonous row of units.
- Open space with a child's playset.
 - As a percentage of the site, approximately 19% of open space is provided.
 - In the middle of the development, between lots 6 and 7, will be open space for the residents.
 - A child's playset will be provided.
 - This common space will be maintained by the lot owners.
- A \$500.00 fee-in-lieu of dedication of open space will be paid to the city.
- Parking.
 - Each unit will have 2 off-street parking spaces. One in the driveway and one in the garage.
 - 4 visitor spaces for the development will be located along the open space area.
 - A total of 25 spaces is provided, which exceeds the minimum requirement by 7 spaces.
- Street trees.
 - 1 street tree per lot and at least two in the common open space will be provided.
 - This is a much higher ratio than the required 1 street tree per 50 feet.
- Buffer.
 - A fence will be provided along the rear townhome lots 2-10 and the rear of the open space.
- Trash will be individually served per unit like other single-family homes.

9. DESCRIBE HOW THE PUD WILL DIFFER FROM THE BASE ZONING DISTRICT:

The Planned Unit Development is requesting modest modifications from the base zoning district, which is Old Town Residential. The Old Town Residential allows for townhomes and does not have a density requirement. Below are the modifications from both the zoning ordinance and the subdivision regulations.

The deviations from the strict standards are:

Zoning Ordinance, Table 1322.11, OT-R District Bulk and Area Regulations

Lots that do not conform to the strict standards are highlighted in yellow

Lot	Front Setback (Feet)	Side Setback (Feet)	Rear Setback (Feet)	Lot Width (Feet)	Minimum Lot Size (Square Feet)
	Provided / Required	Provided / Required	Provided / Required	Provided / Required	Provided / Required
Lot 1	20 / 20	10 / 10	27 / 20	36 / 70	3,394 / 10,000
Lot 2	20 / 20	End unit 5 / 10	11 / 20	28.8 / 18	2,540 / 2,000
Lot 3	20 / 20	Internal Unit 0 / 0*	10 / 20	23.3 / 18	1,878 / 2,000
Lot 4	20 / 20	Internal Unit 0 / 0*	29 / 20	23.3 / 18	2,391 / 2,000
Lot 5	20 / 20	Internal Unit 0 / 0*	26 / 20	23.3 / 18	2,404 / 2,000
Lot 6	20 / 20	End unit 5 / 10	23 / 20	28.3 / 18	2,840 / 2,000
Lot 7	20 / 20	End unit 5 / 10	11 / 20	27.4 / 18	2,274 / 2,000
Lot 8	20 / 20	Internal Unit 0 / 0*	20 / 20	24.4 / 18	2,002 / 2,000
Lot 9	20 / 20	Internal Unit 0 / 0*	21 / 20	23.3 / 18	2,005 / 2,000
Lot 10	20 / 20	End unit 10 / 20**	21 / 20	32.4 / 18	3,775 / 2,000

*Internal units do not have a setback requirement for common shared walls

**End unit along a street, treated as a double front.

Subdivision Ordinance, Section 1333.20, Townhouse Development Standards.

- Section 1333.20, Subsection (B) – Net Buildable Area
 - Required
 - Each lot shall be 2,000 square feet.
 - An additional 1,500 square feet for open space per lot.
 - Provided
 - Except for Lot 3, which will be 1,878 square feet, each lot will be 2,000 square feet or more.
 - Approximately an additional 500 square feet for open space per lot.
- Section 1333.20, Subsection (O) – Required Open Space
 - Required:
 - 1,500 sq. ft. of open space per townhome unit with a collective requirement of 30% open space.
 - 30% is approximately 7,813 sq. ft. of the site.
 - Provided:
 - Approximately 5,000 sq. ft. of open space with a child's playset.
 - This is 19% of the site for open space.
 - Approximately 500 square feet is provided per lot
 - This development is located within walking distance to several parks, Evitts Run Park, Jefferson Memorial Park, Perry Park, and the Skate Park.
 - Applicant will be providing a fee-in-lieu of open space of \$500.00 per unit per Section 1333.17, Park, Recreation and Open Space Amenity Standards.

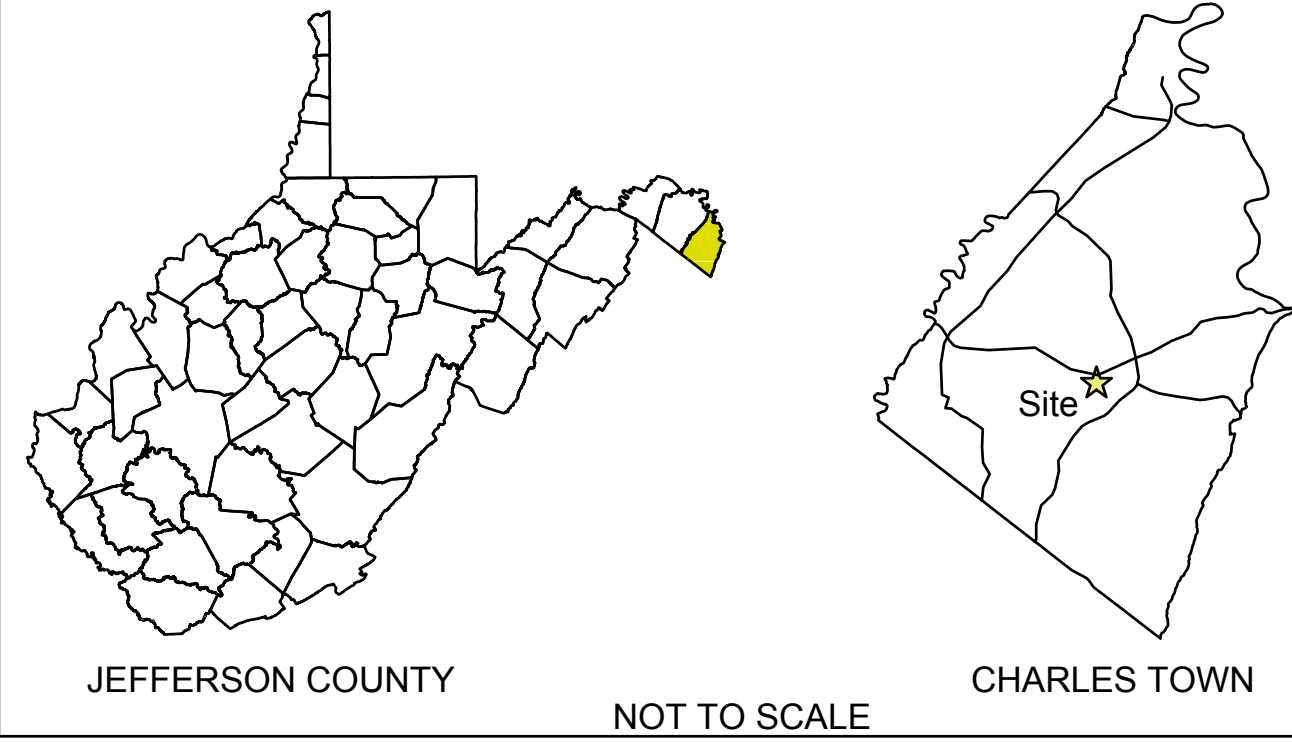
Subdivision Ordinance Section 1333.02, Street Design Standards,

- Table 1333.02 – Minimum Street Design Standards
 - Required:
 - The right of way is the width of a street from the backside of one sidewalk all the way across the street to the back side of the other side of the street.
 - The right-of-way requirement for a minor street, "Neighborhood Street", 50 feet.
 - Provided is 29 feet right-of-way.
 - This includes two – 12-foot travel lanes and a 5-foot sidewalk along the townhome side of the street.
 - Note that a "Neighborhood Street" has 10-foot travel lanes, and 12-foot travel lanes are proposed.

12. INTERESED PARTY ADDRESSES, FOR PUBLIC NOTICE

Owner	# and Street	City, State, Zip
OLIVER WILLIE M D & STANLEY P	400S CHARLES ST	CHARLES TOWN, WV 25414
ROBERTS JEAN ANN	404S CHARLES ST	CHARLES TOWN, WV 25414
PURDON JAMES	PO BOX 650695	STERLING, VA 20166
NICHOLS JACQUELINE & IRVIN SOLANO	410S CHARLES ST	CHARLES TOWN, WV 25414
OELSCHLAEGER NANCY	416S CHARLES ST	CHARLES TOWN, WV 25414
CLARK CARTY R & COURTNEY A HERNDON	418S CHARLES ST	CHARLES TOWN, WV 25414
MAYFIELD MITCHELL D & JENNIFER W	206W ANN ST	CHARLES TOWN, WV 25414
BOWMAN ERIC K	208 ANN ST	CHARLES TOWN, WV 25414
HILL KAREN J	210W ANN ST	CHARLES TOWN, WV 25414
HEFESTAY F J JR	212 ANN ST	CHARLES TOWN, WV 25414
CORBETT DEBRA R	128 EASTLAND DR	CHARLES TOWN, WV 25414
FERN ROBERT W	429S LAWRENCE ST	CHARLES TOWN, WV 25414
CURRY KIM L & TAMARA L	427S LAWRENCE ST	CHARLES TOWN, WV 25414
CASTELLANOS JUAN A & LETICIA C PENNA	417S LAWRENCE ST	CHARLES TOWN, WV 25414
EPISCOPAL RECTORY	PO BOX 368	CHARLES TOWN, WV 25414
DUOBERT JHAN	405S LAWRENCE ST	CHARLES TOWN, WV 25414
CHAPMAN RENTAL PROPERTIES LLC	PO BOX 121	CHARLES TOWN, WV 25414
BORJA JACOB S & JOSEPH Q IMLER SR	217W ACADEMY ST	CHARLES TOWN, WV 25414
MATZEK SARA	1039 SHENANDOAH RIVER DR	HARPERS FERRY, WV 25425
AMY ASSOCIATES WV LLC	26223 COLUMBIA LAKES DR	COLUMBIA, IL 62236
BOARD OF EDUCATION	110 MORNINGTON AVE	CHARLES TOWN, WV 25414

GENERAL LOCATION



ANN STREET LOTS

SKETCH PLAN
MAJOR SLD 2023-TBD

CHARLES TOWN CORP. DISTRICT (3) - MAP 4 - PARCELS 101, 105 & 106
CITY OF CHARLES TOWN, WEST VIRGINIA
ZONED OLD TOWN RESIDENTIAL (OT-R)

Plan Revisions

[illegible]

STATE & LOCAL PERMITS

<u>AGENCY</u>	<u>PERMIT #/APPROVAL DATE</u>

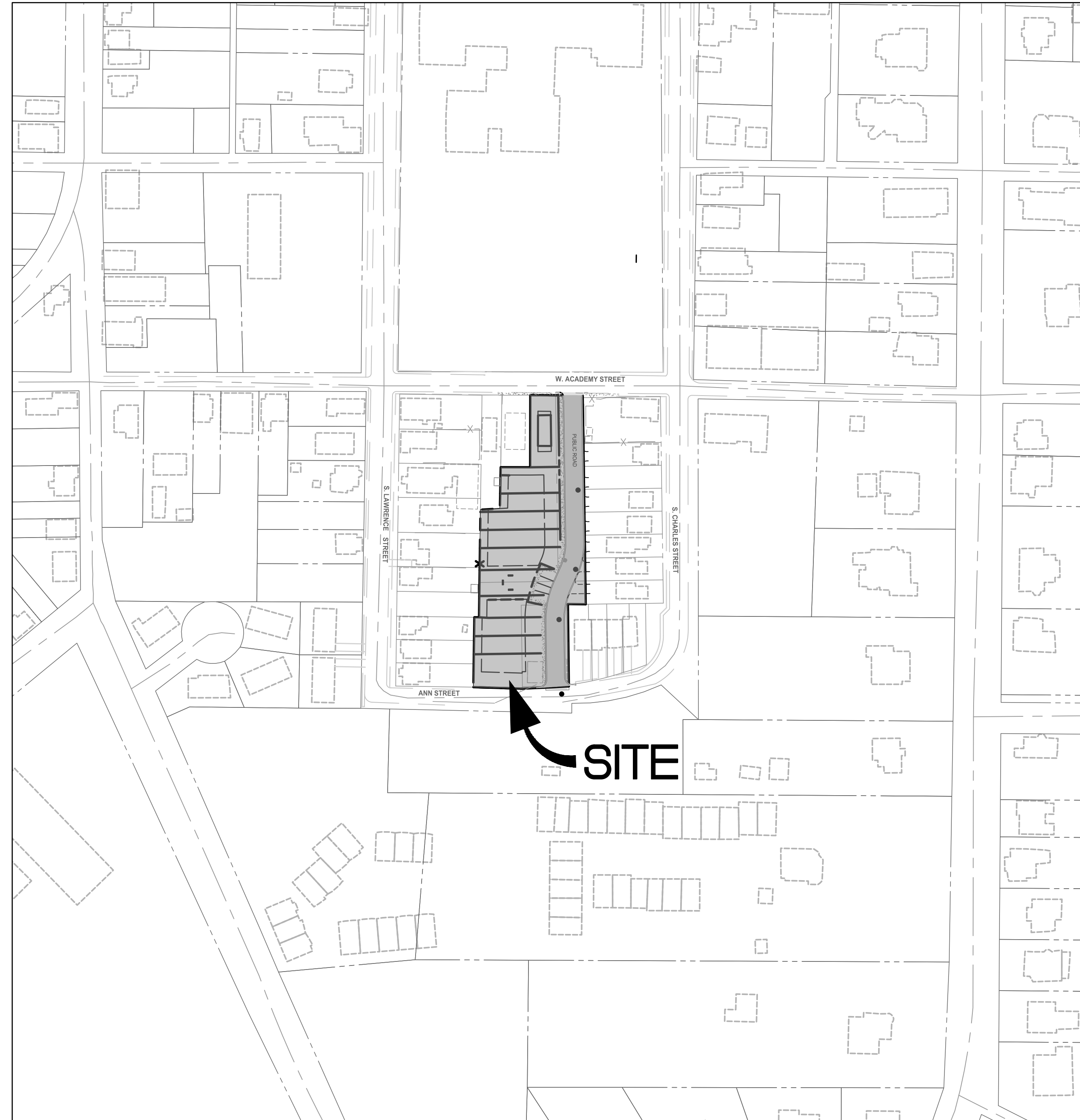
CALL "MISS UTILITY"

MISS UTILITY OF WEST VIRGINIA (MUWV) AT 811 OR 1-800-245-4848, 48 HOURS PRIOR TO THE START OF WORK. EXCAVATORS MUST NOTIFY ALL PUBLIC UTILITY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATING OR BLASTING AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL COUNTY REQUIREMENTS, WEST VIRGINIA CODE AND REGULATIONS.

UTILITY NOTICE (AS NEEDED)

Contractors shall notify all public utility operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition. Names and telephone numbers of the operators of underground utility lines appear below. These numbers shall also be used to serve in an emergency condition.

Water:	Charles Town Utility Board 832 S. George Street Charles Town, WV 25414 (304) 725-2316
Sewer:	Charles Town Utility Board 832 S. George Street Charles Town, WV 25414 (304) 725-2316
Power:	Potomac Edison P.O. Box 3615 Akron, OH 44309 (800) 686-0011
Phone:	Frontier Communications 1108 N. Mildred Street Ranson, WV 25438 (304) 728-8500
Soil Conservation:	Eastern Panhandle Conservation District 151 Aikens Center, Suite 2 Martinsburg, WV 25404 (304) 263-4376



WEST VIRGINIA STATE GRID NORTH
WV 83 NF

SHEET INDEX:

SK-1 - SKETCH PLAN COVER SHEET
SK-2 - SKETCH PLAN NOTES
SK-3 - SKETCH PLAN NOTES AND LEGEND
SK-4 - SKETCH PLAN

"This Sketch Plan was approved by the City of Charles Town, on the _____ day of _____, 20_____, subject to any conditions specified hereon.

This plan is vested and valid for one (1) year with the possibility of a one (1) year extension per Section 1332.03(C)(2)(F)(5) of the City of Charles Town Subdivision and Land development Ordinance.

All expenses incurred with respect to improvements for all utility services, paving, grading, landscaping, curbs, gutters, sidewalks, road lighting, road signs, flood protection devices, drainage structures and all other improvements that may be required shall be the responsibility of the subdivider and not the City.

Secretary of the Planning Commission _____ Date _____

"The developer, in signing this plat/plan, agrees to abide by all conditions, terms and specifications provided heron; and to complete all the improvements required by the Preliminary Plat and Plan or site plan."

Roper Rentals & Mark Roper Construction LLC 418 S. South Samuel Street Charles Town, WV 25414-134	Date
---	------

"The Engineer and/or Surveyor, in signing this plat/plan, attests to the best of his or her knowledge, is plan is complete and accurate."

Chris Lemon Date

VICINITY MAP

SCALE: 1" =100'

CIVIL ENGINEER:
IMEG

4601 FORBES BLVD #140
LANHAM, MD 20706
CONTACT: SYLKE KNUPPPEL, PE
PHONE: 240-296-1568
EMAIL: SYLKE.S.KNUPPPEL@IMEGCORP.COM

DEVELOPER
APPLICANT/OWNER
MARK ROPER CONSTRUCTION, LLC
418 SOUTH SAMUEL STREET
CHARLES TOWN, WEST VIRGINIA 25414
(304) 724-8877

4035 Ridge Top Rd., Suite 601
Fairfax, VA 22030 P 703.273.6820
engineering • surveying • land planning

SKETCH PLAN
ANN STREET LOTS

MAP 4 PARCEL 101, 103 & 106
CITY OF CHARLES TOWN, WEST VIRGINIA

[illegible]

PROJECT No.: 22099.002.00
DRAWING No.: 112159
DATE: 07/01/2024
SCALE: AS SHOWN
DESIGN: AHF
DRAWN: AHF
CHECKED: SSK

SHEET TITLE:

COVER SHEET

SHEET No.

SK-1

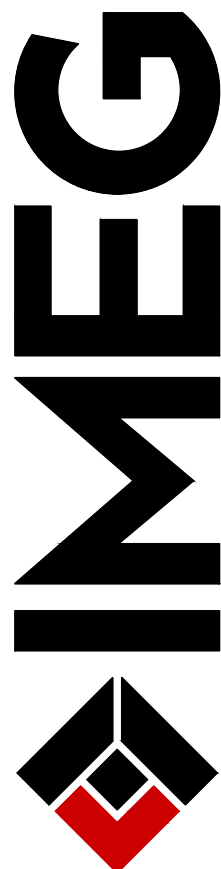
1

2

3

4

5



100

MAP 4 PARCEL 101, 105 & 106

CITY OF CHARLES TOWN, WEST VIRGINIA

PROJECT No.: 22099.002.00
DRAWING No.: 112159
DATE: 07/01/2024
SCALE: AS SHOWN
DESIGN: AHF
DRAWN: AHF
CHECKED: SSK

NOTES AND LEGEND

SK-3

MAP 4 PARCEL 101, 105 & 106
CITY OF CHARLES TOWN, WEST VIRGINIA

MARK	DATE	DESCRIPTION

PROJECT No.: 22099.002.00
DRAWING No.: 112159
DATE: 07/01/2024
SCALE: 1"=20'
DESIGN: AHF
DRAWN: AHF
CHECKED: SSK

SHEET TITLE

SKETCH PLAN

SHEET No.

SK-4

