



COURTROOM
1 MUNICIPAL PLAZA
BEACON, NY 12508

**August 20, 2024
7:00 PM
Zoning Board of Appeals Agenda**

The Zoning Board of Appeals will meet on Tuesday, August 20, 2024, at 7:00 p.m., in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York.

Approval of the July 16, 2024, minutes

Regular Meeting

1. Consider a request for an extension of variance approval previously granted for property at 359 Cherry Street (Tax Grid No. 5954-16-876329), submitted by Eva Garcia.
2. Review and public hearing for the application submitted by Travis and Barbara Fisher, 60 Teller Avenue, Tax Grid No. 30-5954-44-980701-00, in the R1-5 Zoning District, to allow the construction of an above ground pool and deck, which requires relief from the following: Section 223-17.D. to allow for a 7.5 ft rear yard setback (20 ft required) and Section 223-17.D. to allow for a 8 ft side yard setback (10 ft required)
3. Review and public hearing for the application submitted by Cindy Hayes, 20 Water Street, Tax Grid No. 30-6054-38-179698-00, in the R1-5 Zoning District, to allow the construction of an open deck in the rear yard in connection with the proposed renovation and repair of the existing home, which requires relief from the following: Section 223-17.D. to allow for an 11 ft 9 in. rear yard setback (20 ft required)

City of Beacon Zoning Board of Appeals Agenda
08/20/2024

Title:

Consider a request for an extension of variance approval previously granted for property at 359 Cherry Street (Tax Grid No. 5954-16-876329), submitted by Eva Garcia.

ATTACHMENTS

[359 Cherry ZBA 8.20.24 Request for Ext.pdf](#)

To:

Mr. Jordan Haug, Chairman
City of Beacon Zoning Board of Appeals

From:

Ms. Eva Garcia [Applicant]
359 Cherry Street
Beacon, NY 12508

Date: 23 July 2024

Subject: Request for extension

1. I am writing to you in your capacity as the Chair of the Zoning Board of Appeals of the City of Beacon.
2. Reference is made to Resolution [the Resolution] dated 28 October 2023, issued by the City of Beacon Zoning Board of Appeals, regarding the variance granted to me to construct rear additions on property located at 359 Cherry Street in the RI-40 Zoning District, parcel ID#5954-16-876329 on the tax map of the City of Beacon.
3. In the Resolution it is indicated that a building permit was to be obtained within six months from the date of the Resolution, and that construction was to commence within six months following the date of issuance of the building permit. Despite all best efforts put forward to comply with these timeframes, an extension is required at the time of writing this letter. The reasons leading to this request are outlined below:
 - i) While all efforts were made by parties involved to adhere to the indicated timeframes in the Resolution, and construction drawings were submitted in February 2024 with the application for the building permit, additional time was needed to address and find solutions to the comments provided by the building inspector following his review of the drawings. At this time, a new set of revised drawings are ready to be submitted to the building inspector, should you grant this request.
 - ii) Additionally, active efforts were made to obtain quotes from contractors, as to be ready to commence construction promptly following issuance of the building permit. Unfortunately, we were not able to anticipate the complexity of this process at a time of high demand of contractors in Beacon, with most contractors not available to look at new project and work on quotes until after the summer.

- iii) Due to some unforeseen circumstances impacting my personal situation, I am forced to put the project on hold for a short period of time, as to attend to a family emergency abroad.
- 4. In light of the above, I am respectfully asking the members of the ZBA to consider granting an extension of six months to obtain the building permit, and an extension of six months to the six months established to commence construction following issuance of the permit.
- 5. With many thanks for your consideration.

Sincerely,



Eva Garcia [Applicant]

City of Beacon Zoning Board of Appeals Agenda
08/20/2024

Title:

Review and public hearing for the application submitted by Travis and Barbara Fisher, 60 Teller Avenue, Tax Grid No. 30-5954-44-980701-00, in the R1-5 Zoning District, to allow the construction of an above ground pool and deck, which requires relief from the following: Section 223-17.D. to allow for a 7.5 ft rear yard setback (20 ft required) and Section 223-17.D. to allow for a 8 ft side yard setback (10 ft required)

ATTACHMENTS

[60 Teller ZBA 8.20.24 app.pdf](#)

[60 Teller denial ltr 7.30.24.pdf](#)

[60 Teller ZBA 8.20.24 G-1 plot plan.pdf](#)

[60 Teller ZBA 8.20.24 S-1 deck elev_details_foundation.pdf](#)

[60 Teller ZBA 8.20.24 supplemental submission email.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: Travis & Barbara Fisher

ADDRESS: 60 Teller Ave

Beacon NY 12508

TELEPHONE: 917 952 1429

E-MAIL: travis w fisher@gmail.com

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

PROPERTY LOCATION: 60 Teller Ave

ZONING DISTRICT: R1-S

TAX MAP DESIGNATION: SECTION 5954

BLOCK 44 LOT 990701

Section of Zoning Code appealed from or Interpretation desired:

223-17 attachment 1 schedule of dimensional regulations

Reason supporting request:

the pool & deck will be more usable at the rear of the yard and
should not detract from neighbors even with a smaller setback

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

lot survey, site plan, pool system details

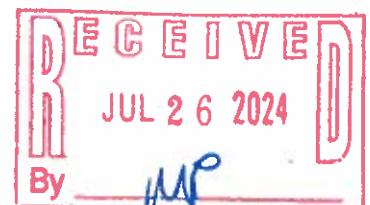
Date: 7/26/2024

[Signature]
Owner's Signature

[Signature]
Applicant's Signature

Fee Schedule

AREA VARIANCE	\$ 250—
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250
ESCROW FEE:	\$1000—
I & I INSPECTION:	\$50—



APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Travis + Barbara Fisher

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

60 Teller Ave , 69 Spring St.

Applicant Address: 60 Teller Ave , Beacon NY 12508

Project Address: 60 Teller Ave

Project Tax Grid # 5954-44-980701

Type of Application _____

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Travis Fisher, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon NO
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon _____
3. ALL tax payments due to the City of Beacon are current NO
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon _____
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon _____
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current _____



Signature of Owner

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO

X

YES

Initial

MP

✓

KLW

✓

KLW

Application #

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://beaconny.gov/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A

Name of Applicant: Travis & Barbara FisherAddress of Applicant: 60 Teller Ave Beacon NY 12508Telephone Contact Information: 917 952 1429

SECTION B. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Travis & Barbara Fisher	60 Teller Ave	917 952 1429	Purchased May 2006	May 2006 Dutchess County

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

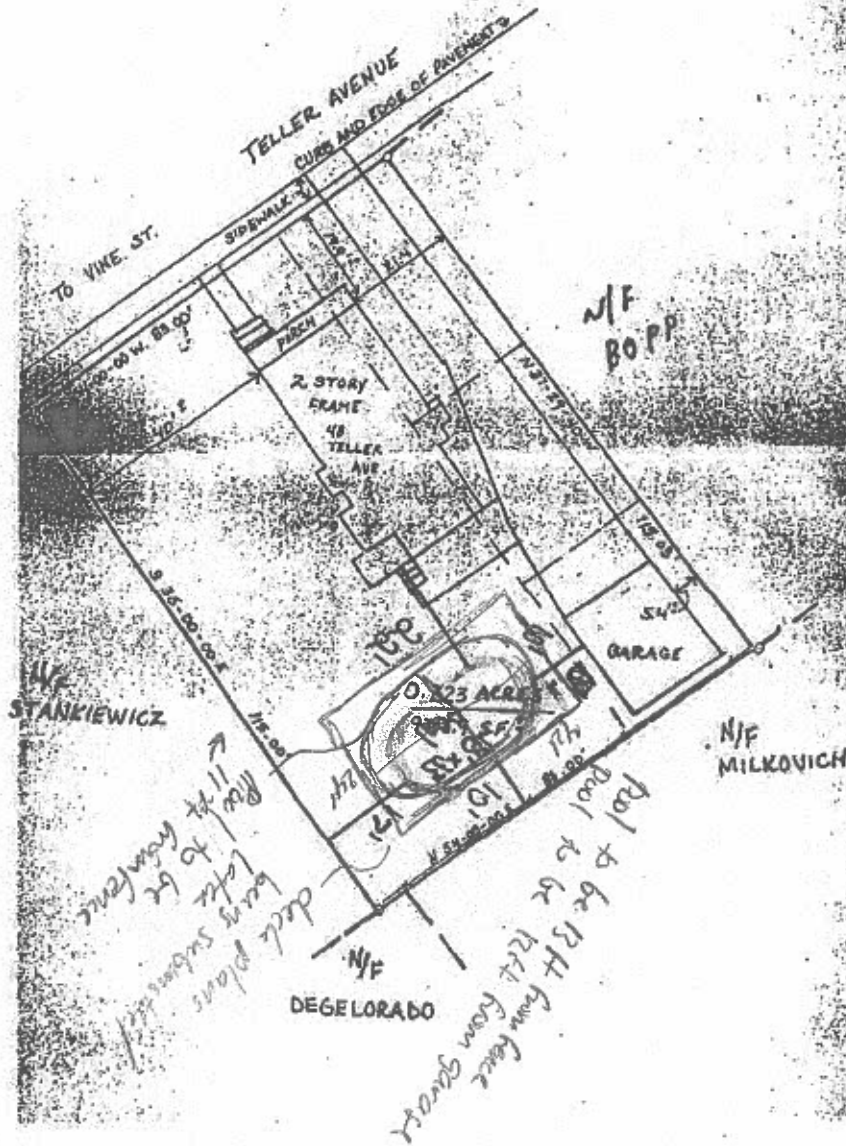
NO

I, Travis Fisher being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Travis Fisher

(Signature) 

1-20
NO. 6-2



DRAWING INDEX:

G.01 TITLE SHEET/ZONING/PLOT PLAN
A.01 EXG./DEMO/PROPOSED/NOTES

SCOPE OF WORK

THIS APPLICATION AND THE ACCOMPANYING DRAWINGS
ARE TO ADDRESS THE DESIGN AND CONSTRUCTION OF A
POOL DECK TO SURROUND AN ABOVE-GROUND POOL IN
THE REAR YARD.

PROJECT INFO:

ZONE: R1-5
USE GROUP: 1-FAMILY
CONSTRUCTION CLASS: 5-B

EXISTING FLOOR AREA TOTAL: 1840 SF
PROPOSED FLOOR AREA: 0 SF
TOTAL FLOOR AREA: 1840 SF (no change)

EXISTING LOT SIZE: 9583 SF

*NOTE: BUILDING FOOTPRINT SHALL NOT
CHANGE WITH THIS PROJECT.

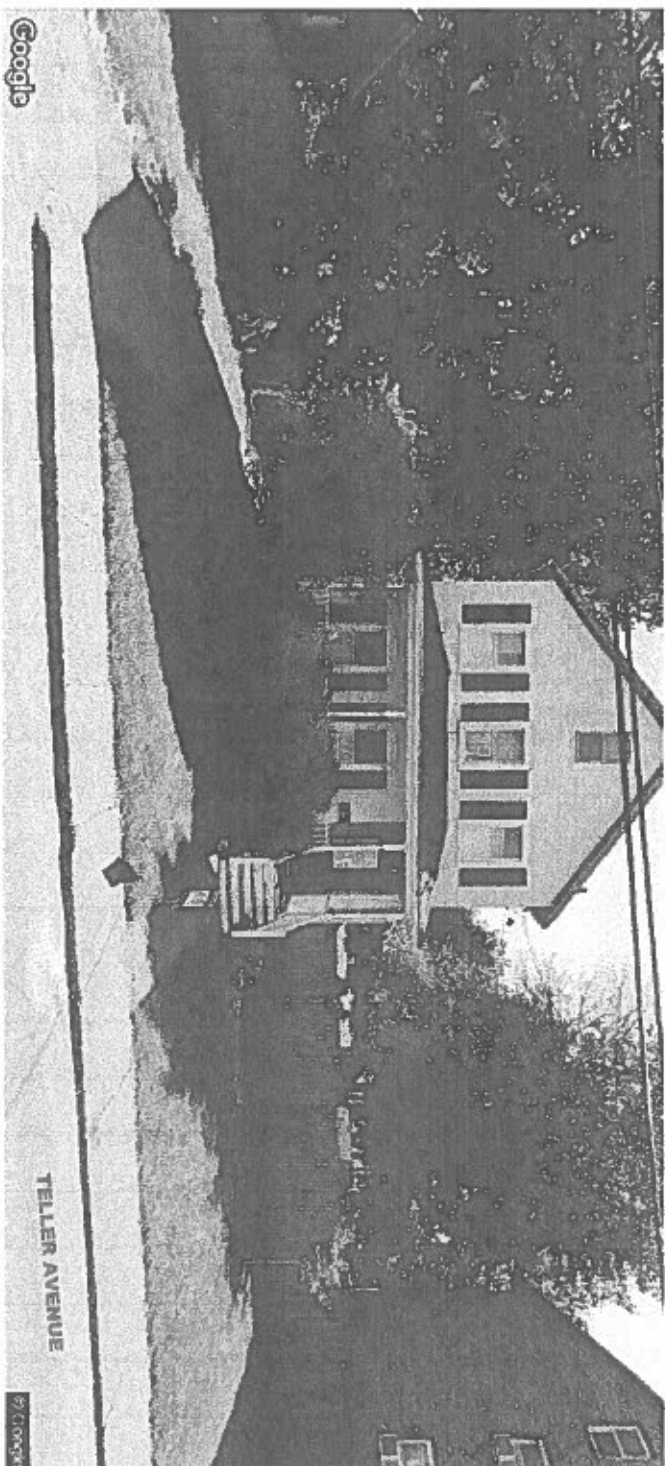
**LOT & BULK
REGULATIONS:**

TOWN: BEACON, NY 12508
ZONE: R1-5
LOT SIZE: 233 ACRES
MIN. LOT SIZE: 5000 SF

FISHER POOL DECK
60 TELLER AVENUE

BEACON, NY 12508

MIN. SIDE YARD: 10' from property line
MIN. REAR YARD: 20' from property line
MAX HEIGHT: 35'
MAX. LOT COVERAGE: 40%
MAX. STORIES: 2 $\frac{1}{2}$



Google

© Google

EXISTING FRONT of HOUSE
N.T.S.

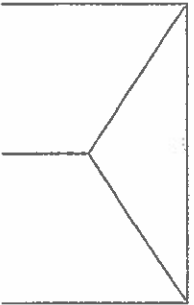
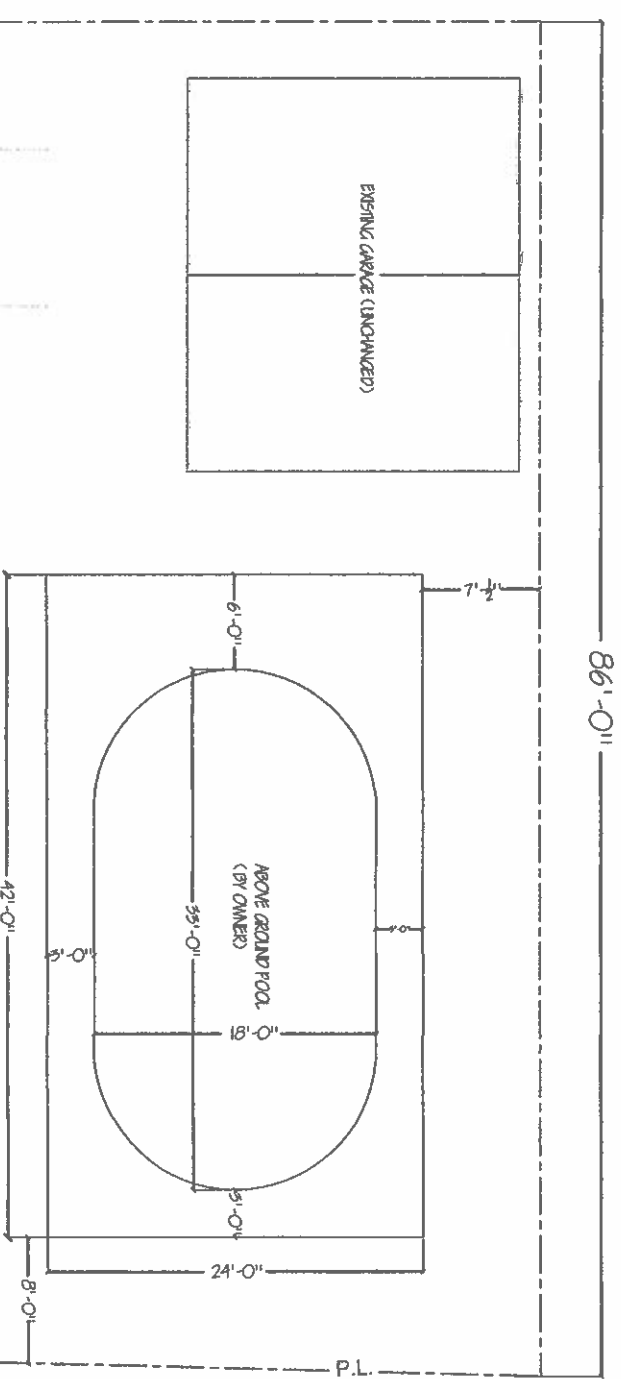
FISHER POOL DECK

60 TELLER AVENUE
BEACON, NY 12508

SUBMISSIONS:

DATE: 4/29/2024
ISSUED TO: CONTRACTOR

REVISIONS:



MM



TELLER AVENUE

LOADS:

GROUND SNOW LOAD	1st FLOOR LOADS			WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	EXPOSURE CLASS	HEATING DEGREE DAYS	ZONE
	LIVE	DEAD	TOPPED			WEATHERING	FROSTLINE DEPTH	TERMINATE	DECAY						
30 LB/SF	40 psf	30 psf	40 psf	100/mph	C	SEVERE	42"	MED. TO HEAVY	SLIGHT TO MODERATE	7° F	YES	NONE	B (1.05)	5750	5

27 MEADOW STREET
NEWBURGH, NY 12550
PHONE: (914) 213-3838

STUDIO SPIRIG
ARCHITECTURE



ELIZABETH J. SPIRIG, R.A.
NY STATE LICENSE #036212
REGISTRATION EXPI. 03/31/2024

FISHER-PROJECT
TITLE-PAGE
PROJECT NUMBER: FISH0424
ISSUED:
DRAWN BY: E. SPIRIG

G.01

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE, SECTION R507 - EXTERIOR DECKS.
2. BEFORE BEGINNING THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR MAKING SUCH INVESTIGATIONS CONCERNING PHYSICAL CONDITIONS (SURFACE AND SUBSURFACE) AT OR CONTIGUOUS TO THE SITE WHICH MAY AFFECT PERFORMANCE AND COST OF THE WORK.
3. AS THE WORK PROGRESSES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS WHICH ARE IN CONFLICT OR OTHERWISE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS AND SHALL NOT PROCEED WITH SUCH WORK UNTIL THE CONFLICT IS SATISFACTORILY RESOLVED.
4. ALL DIMENSIONS, ELEVATIONS, AND OTHER REFERENCES TO EXISTING STRUCTURES, SURFACE, AND SUBSURFACE CONDITIONS ARE APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS, ELEVATIONS, ANGLES WITH EXISTING CONDITIONS AND WITH DRAWINGS BEFORE PROCEEDING WITH ANY WORK.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE SHORING, BRACING, AND BARRICADES AS MAY BE REQUIRED FOR THE PROTECTION OF EXISTING PROPERTY, CONSTRUCTION WORKERS, AND FOR PUBLIC SAFETY.
7. SHOP DRAWINGS, CONCRETE MIX DESIGNS, TEST REPORTS, AND OTHER SUBMITTALS PERTAINING TO ANY STRUCTURAL WORK SHALL BE FORWARDED TO THE ARCHITECT FOR REVIEW BEFORE FABRICATION AND/OR INSTALLATION IS MADE. SHOP DRAWINGS SHALL INCLUDE ANY ERECTION DRAWINGS REQUIRED AND COMPLETE DETAILS OF CONNECTIONS AS WELL AS MANUFACTURER'S SPECIFICATION DATA WHERE APPROPRIATE. ALL SHOP DRAWINGS SHALL BE CHECKED BY THE CONTRACTOR.
8. WHERE DETAILS ARE NOT INDICATED, THEY SHALL BE CONSIDERED TYPICAL AND APPLY AT SAME AND SIMILAR CONDITIONS.
9. COORDINATE ALL DRAWINGS (ARCHITECTURAL, MECHANICAL, ELECTRICAL, FRAMING, STRUCTURAL, ETC.) FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.
10. CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IN THE CONTRACT DOCUMENT SET. CONTRACTOR SHALL COORDINATE ALL WORK SHOWN IN THE SET OF DRAWINGS. THE CONTRACTOR SHALL SUPPLY A COMPLETE SET OF DRAWINGS TO ALL SUBCONTRACTORS AND RELATED PARTIES.
11. THE CONTRACTOR SHALL EXAMINE ALL THE DRAWINGS AND SPECIFICATIONS FOR THE INFORMATION THAT AFFECTS THEIR WORK.
12. CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, AND EQUIPMENT TO COMPLETE THE JOB ALL IN ACCORDANCE WITH LOCAL AND STATE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK.
13. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND ALL INSPECTIONS REQUIRED AND SHALL ALSO PAY ANY FEES REQUIRED FOR THE GENERAL CONSTRUCTION, PLUMBING, ELECTRICAL, AND HVAC. PERMITS SHALL BE PAID FOR BY THE RESPECTIVE SUBCONTRACTORS.
14. CONTRACTOR SHALL MAINTAIN A CURRENT SET OF DRAWINGS AND SPECIFICATIONS ON SITE AT ALL TIMES AND INSURE DISTRIBUTION OF CURRENT DRAWINGS TO ANY SUBCONTRACTORS AND OTHER RELEVANT PARTIES AS SOON AS THEY ARE MADE AVAILABLE. THE CONTRACTOR SHALL FURNISH AN "AS-BUILT" SET OF DRAWINGS (IF REQUIRED) TO OWNER UPON COMPLETION OF PROJECT.
15. LOCATION OF EQUIPMENT, AND WORK SUPPLIED BY OTHERS THAT IS DIAGRAMMATICALLY INDICATED ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE LOCATIONS AND DIMENSIONS SUBJECT TO STRUCTURAL CONDITIONS AND WORK OF THE SUBCONTRACTORS.
16. DRAWINGS INDICATE THE MINIMUM STANDARDS, BUT IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL INDICATE THIS IN HIS WORK AND SHALL RECTIFY THE

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.

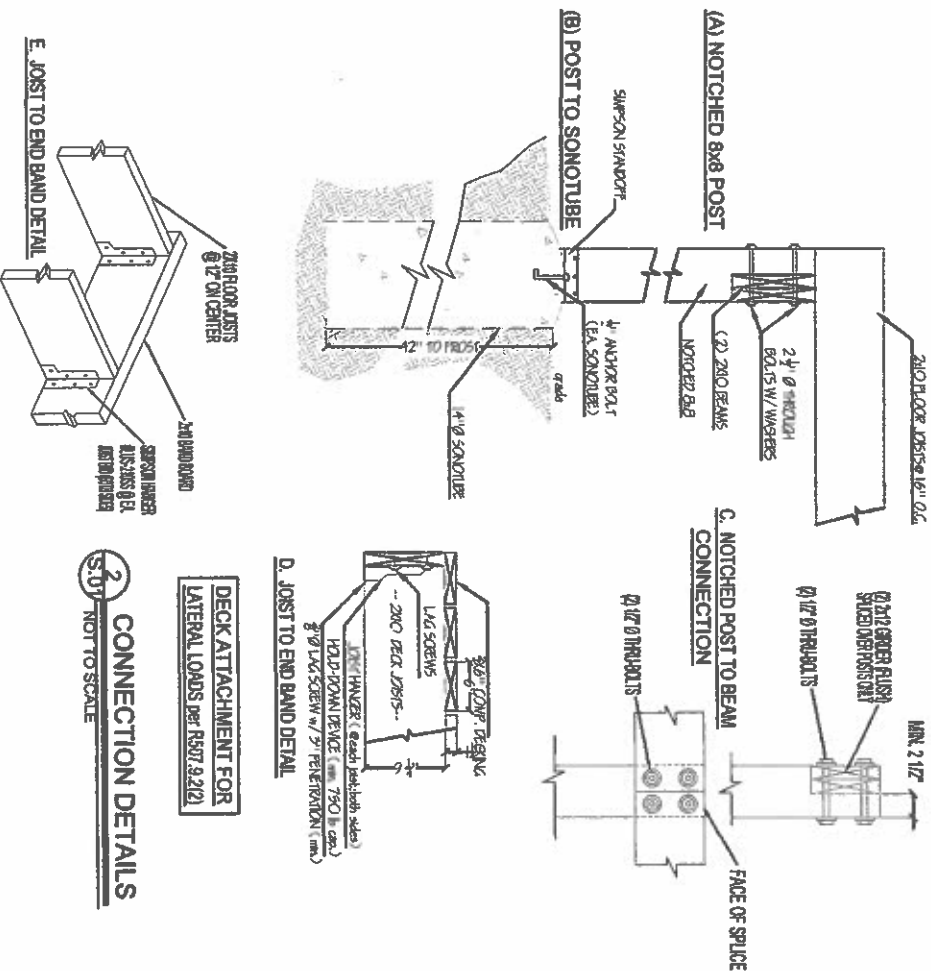
17. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

18. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE SAFETY FROM THE TIME THE JOB IS COMMENCED UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER.

19. IF THE BUILDING WILL BE OCCUPIED DURING THE COURSE OF THIS PROJECT, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY AND ALL ACTIVITIES THAT MAY DISRUPT DAILY BUILDING OPERATIONS.

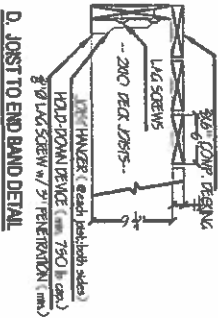
20. ANY DAMAGE CAUSED TO ANY EXISTING STRUCTURE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY REPAIRS REQUIRED FOR EXISTING STRUCTURES IF DAMAGED DURING CONSTRUCTION ACTIVITIES.

VIEW OF
NOT TO SCALE

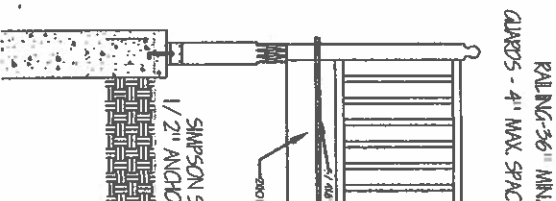


2 CONNECTION DETAILS
NOT TO SCALE

DECK ATTACHMENT FOR
LATERAL LOADS PER RS07.2.2(2)



F. SIMPSON HANGER REQUIRED DETAIL, GROUND



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and the other two are the same as in the previous case.

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FISHER POOL DECK

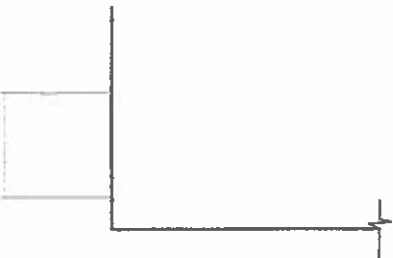
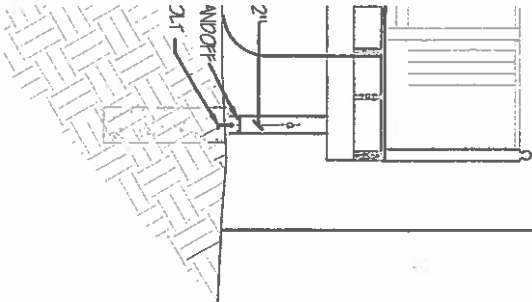
60 TELLER AVENUE
BEACON, NY 12508

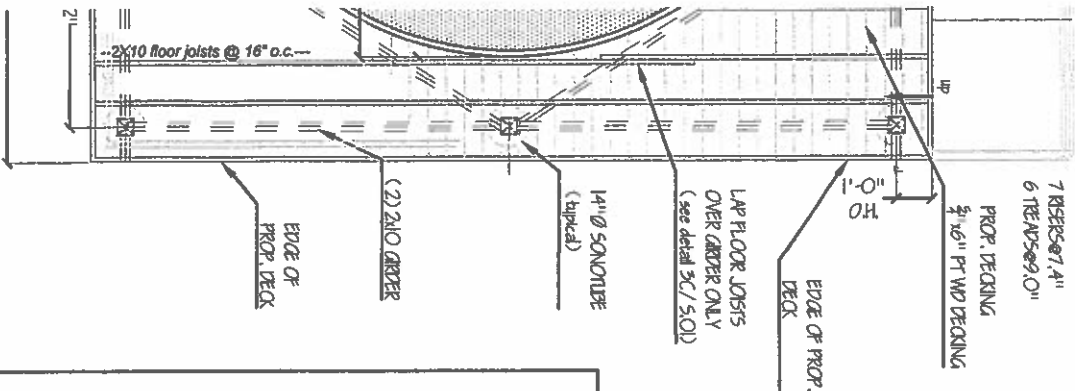
SUBMISSIONS:

DATE: 4/29/2024

ISSUED TO: CONTRACTOR

REVISIONS:





EXISTING GARAGE
(UNCHANGED)

STUDIO SPIRIG
ARCHITECTURE

27 MEADOW STREET
NEWBURGH, NY 12550
PHONE: (914) 213-3838



ELIZABETH J. SPIRIG, R.A.
NY STATE LICENSE #036212
REGISTRATION EXP. 6/30/2024

FISHER-PROJECT
ELEV. DETAILS FOUNDATION

PROJECT NUMBER: FISH0424

ISSUED:

DRAWN BY: E. SPIRIG

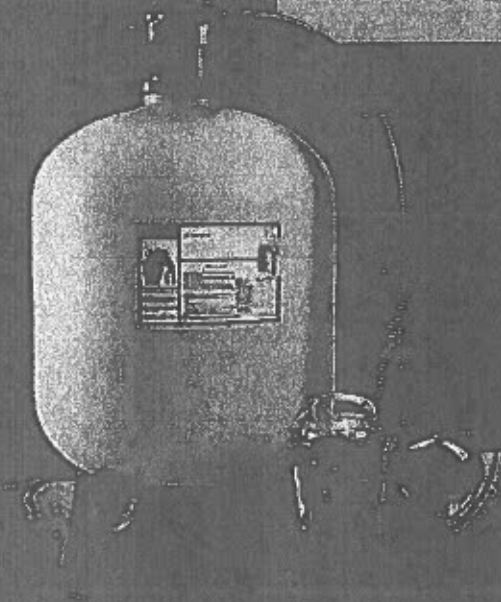
S.01



SAND DOLLAR SYSTEM

SAND DOLLAR[®]

SAND FILTER SYSTEM



SO CLEAN, CLEAR AND EASY

We've combined the efficient Sand Dollar filter with the powerful and economical Dynamo[™] Aboveground Pool Pump to create this high performance system for aboveground pools. With its rugged construction, highly efficient design and hydraulically matched components, this system provides all the clean, crystal clear water your pool requires. Plus, it's built with long-term reliability in mind, and it's incredibly simple to operate and maintain.



SAND DOLLAR FILTER FEATURES:

- Special internal filter design keeps the sand bed level—critical for consistent performance and extended filter cycles
- One-piece thermoplastic filter tank for exceptional strength, corrosion resistance and long life.
- Filter design ensures that water is exposed to maximum sand surface area for optimum filtration performance and efficient backwashing

DYNAMO PUMP FEATURES:

- Constructed with fiberglass-reinforced components for superior strength, reliability and longevity
- Large pump strainer basket extends time between cleanings
- See-thru strainer pot lid for easy inspection and cleaning
- Self-priming pump design protects internal components and ensures long life.

SAND DOLLAR

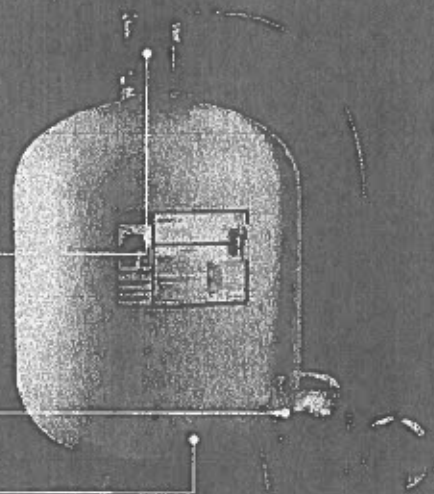
SAND FILTER SYSTEM

6 function multiport valve for easy control of all filter functions.

- Filter
- Backwash
- Rinse
- Waste
- Closed
- Recirculate

Large strainer basket with see-thru lid for easy inspection and cleaning

One-piece thermoplastic tank for exceptional strength



Model Number	Filter Area Sq. Ft.	Filter Diameter	Required Sand ¹ (lbs.)	Flow Rate ² (GPM)	Turnover Capacity-Res. (Gallons)		
					8 hrs.	10 hrs.	12 hrs.
SD 35	14	16"	100	35	16,400	21,000	25,200
SD 40	18	19"	150	40	19,200	24,000	28,800
SD 60	23	22"	250	60	28,800	36,000	43,200

¹Use standard #20 silica sand

²Maximum flow rate

ENGINEERED FOR SIMPLE OPERATION

Pool filter operation doesn't come any easier than this. The Sand Dollar Hi-Flow™ Valve puts all filter functions right at your fingertips—just rotate the handle to the desired position and the Sand Dollar filter does the rest for sure and simple operation.

- 6 function, 1 1/2" multiport valve features pressure gauge and manual air relief for easy, safer monitoring and service.
- Combination water and sand drain makes servicing and winterizing fast and easy.
- System is designed for quiet, energy-efficient performance.

AVAILABLE FROM:



1620 HAWKINS AVE. SANFORD, NC 27330 800.631.7133 WWW.PENTAIRPOOL.COM

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pumps • filters • heaters • heat pumps • automation • lighting • cleaners • sanitizers • water features • maintenance products

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DYNAMO®

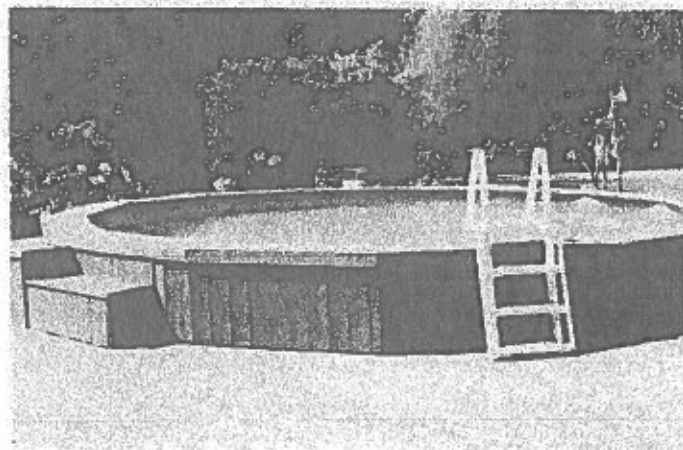


DYNAMO®

ABOVEGROUND PUMPS

QUIET, EFFICIENT AND SUPER-RELIABLE PERFORMANCE

Dynamo pumps are an example of excellence in hydraulic engineering for that elusive combination of high efficiency and longevity. The key is an internal design evolved and refined over the past 40 years. The result is the ability to minimize friction and turbulence as water moves through the pump. Other pumps simply work harder, consume more energy and make more noise.



By contrast, Dynamo pumps are so efficient they typically require lower horsepower motors to deliver required flow—this slashes energy costs. Superior efficiency also translates directly into quieter operation. Put a Dynamo pump to work on your pool for maximum performance and value over the long term.

FEATURES INCLUDE:

- Diffuser and impeller provide excellent pressure performance across a wide range of desired flow rates—the hydraulic efficiency keeps operating costs at a minimum.
- Self-priming design protects internal components and ensures long life.
- Components are constructed from fiberglass-reinforced material for superior strength, durability and resistance to aging and the elements.
- Three horsepower ratings available to precisely match up with your pool's circulation needs.

DYNAMO™

ABOVEGROUND PUMPS

Transparent lid with large, comfortable handle allows easy drain basket inspection and cleaning.

Large drain basket extends time between cleanings.

Easy access drain plugs for quick service and winterizing.

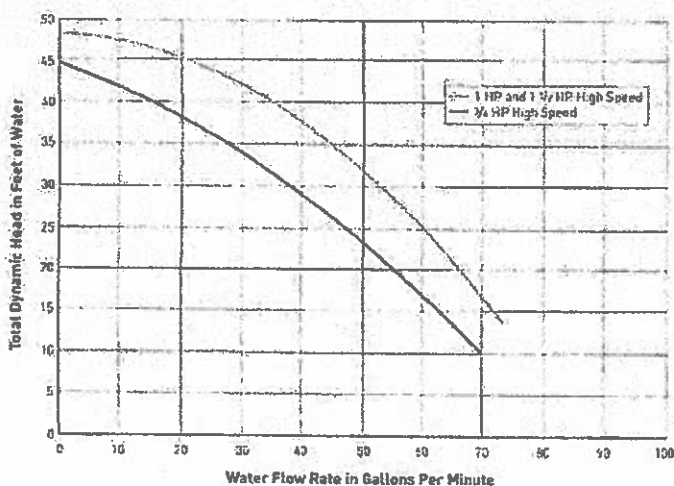


DELIVERS BIG PERFORMANCE IN A COMPACT SIZE

You can depend on Dynamo pumps year after year because they are designed to perform and built to last. These pumps feature durable components of fiberglass-reinforced thermoplastic to resist corrosion and fatigue for extended service life.

- Available in a variety of models to meet your exact requirements—single-speed with cord and on/off switch; single-speed with cord, base and on/off switch; single- or two-speed without cord.
- Every Dynamo pump is performance and pressure tested prior to shipment to ensure superior quality.

PERFORMANCE CURVE



AVAILABLE FROM:



1670 HAWKINS AVE. SANFORD, NC 27330 800.831.7123 WWW.PENTAIRPUMP.COM

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pumps • filters • heaters • heat pumps • automation • lighting • cleaners • sanitizers • water features • maintenance products

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"SAFETY BUOY" ABOVE GROUND POOL ALARM

MODEL PGRM-SB
MADE IN THE USA

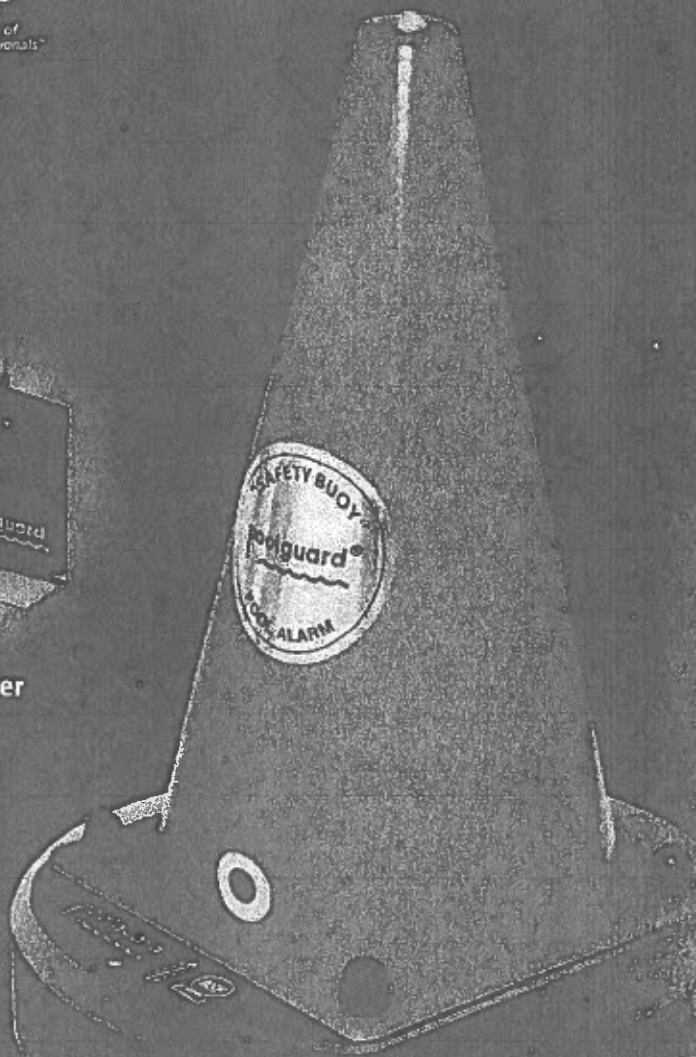


poolguard®

PBM INDUSTRIES, INC.

ASTM NSF CE

In House
Remote Receiver



- Floats in Pool
- Battery Powered
- Low Battery Indicator
- Completely Portable
- Substrate Detection
- Meets Barrier Laws
- Easy To Use
- Automatic Noise
- Affordable Price
- Patent Pending

See back for more details & information about the Poolguard "Safety Buoy" Above Ground Pool Alarm, Call us at 1-800-242-7163, or visit our website.

www.poolguard.com

REV. 1/2015



MODEL PGRM-SB

NEW Above Ground Floating Pool Alarm NEW Sub Surface Sensing Technology

- The Poolguard "Safety Buoy" functions are controlled by the units Red Key.
- Silent Installation and Removal Feature: By using the Red Key, The "Safety Buoy" can be installed or removed from your pool without the alarm sounding.
- Tamper Proof: If the Red Key is not used, the "Safety Buoy" will sound an alarm if its removed from your pool.
- Constant Protection: Once the "Safety Buoy" is installed in your pool it is always on and cannot be turned off.
- Sleep Mode: The Poolguard "Safety Buoy" must be removed from your pool when you swim. Use the Red Key to enter Sleep Mode and place the "Safety Buoy" on its storage stand away from pool activity.
- The Poolguard "Safety Buoy" comes with an in house remote receiver that has a range up to 200 ft., and comes with a 12 volt power supply.
- The Poolguard poolside alarm works with a 9-volt battery (not included), with a battery life of approximately one year.
- Low Battery Function: The "Safety Buoy" system will beep once approximately every 10 seconds when the 9 volt battery is low.
- New sensing technology provides less chance of false alarms due to wind, rain or small objects such as sticks or toys entering the water.
- Works with Above Ground pools 30' in diameter and up to 18' X 36'.
- The Poolguard "Safety Buoy" has been tested and certified by NSF International to the ASTM Standard Safety Specification for Residential Pool Alarms, ASTM F2208-08.
- Ideal for above ground pools, soft sided portable pools and spas.
- Poolguard "Safety Buoy" is designed to detect intrusions similar to a one year old child.
- "Poolguard "Safety Buoy" is the only floating Pool Alarm on the market that uses Sub Surface Detection Technology".

1 Year Warranty - - - No.1 In Customer Service
1-800-242-7163



CITY OF BEACON

New York

Building Department

Bruce Flower
Building Inspector

845-838-5020
Email: bflower@beaconny.gov

July 30, 2024

Travis Fisher
60 Teller Ave
Beacon, NY 12508

Dear Mr. Fisher,

I have received your application to build an above ground pool with a deck on the property at 60 Teller Ave (Grid #5954-44-980701) which is in the R1-5 Zoning District. The required setbacks for the pool must meet the same setbacks as the principal structure on the property as noted in section 223-13 M. The setbacks required in the R1-5 Zone are 10 feet from the side and 20 feet from the rear property lines. This application is being denied at this time due to the lack of sufficient setback distance from the side and rear property lines.

223-17. D Schedule of Dimensional Regulations

Rear Yard

Required side yard setback 20'

Proposed side yard setback 7.5'

The requested variance is 12.5'

Side Yard

Required side yard setback 10'

Proposed side yard setback 8'

The requested variance is 2'

You have the right to appeal this decision with the Zoning Board of Appeals. If you wish to appeal this decision, please contact the Zoning Board of Appeals Secretary regarding the application and instructions.

Sincerely,

Bruce Flower
Building Inspector

DRAWING INDEX:

- G.01 TITLE SHEET/ZONING/PLOT PLAN
- A.01 EX'G./DEMO/PROPOSED/NOTES

SCOPE OF WORK

THIS APPLICATION AND THE ACCOMPANYING DRAWINGS ARE TO ADDRESS THE DESIGN AND CONSTRUCTION OF A POOL DECK TO SURROUND AN ABOVE-GROUND POOL IN THE REAR YARD.

PROJECT INFO:

ZONE: R1-5

USE GROUP: 1-FAMILY

CONSTRUCTION CLASS: 5-B

EXISTING FLOOR AREA TOTAL: 1840 SF

PROPOSED FLOOR AREA: 0 SF

TOTAL FLOOR AREA: 1840 SF (no change)

EXISTING LOT SIZE: 9583 SF

*NOTE: BUILDING FOOTPRINT SHALL NOT CHANGE WITH THIS PROJECT.

LOT & BULK REGULATIONS:

TOWN: BEACON, NY 12508

ZONE: R1-5

LOT SIZE: .233 ACRES

MIN. LOT SIZE: 5000 SF

MIN. SIDE YARD: 10' from property line

MIN. REAR YARD: 20' from property line

MAX HEIGHT: 35'

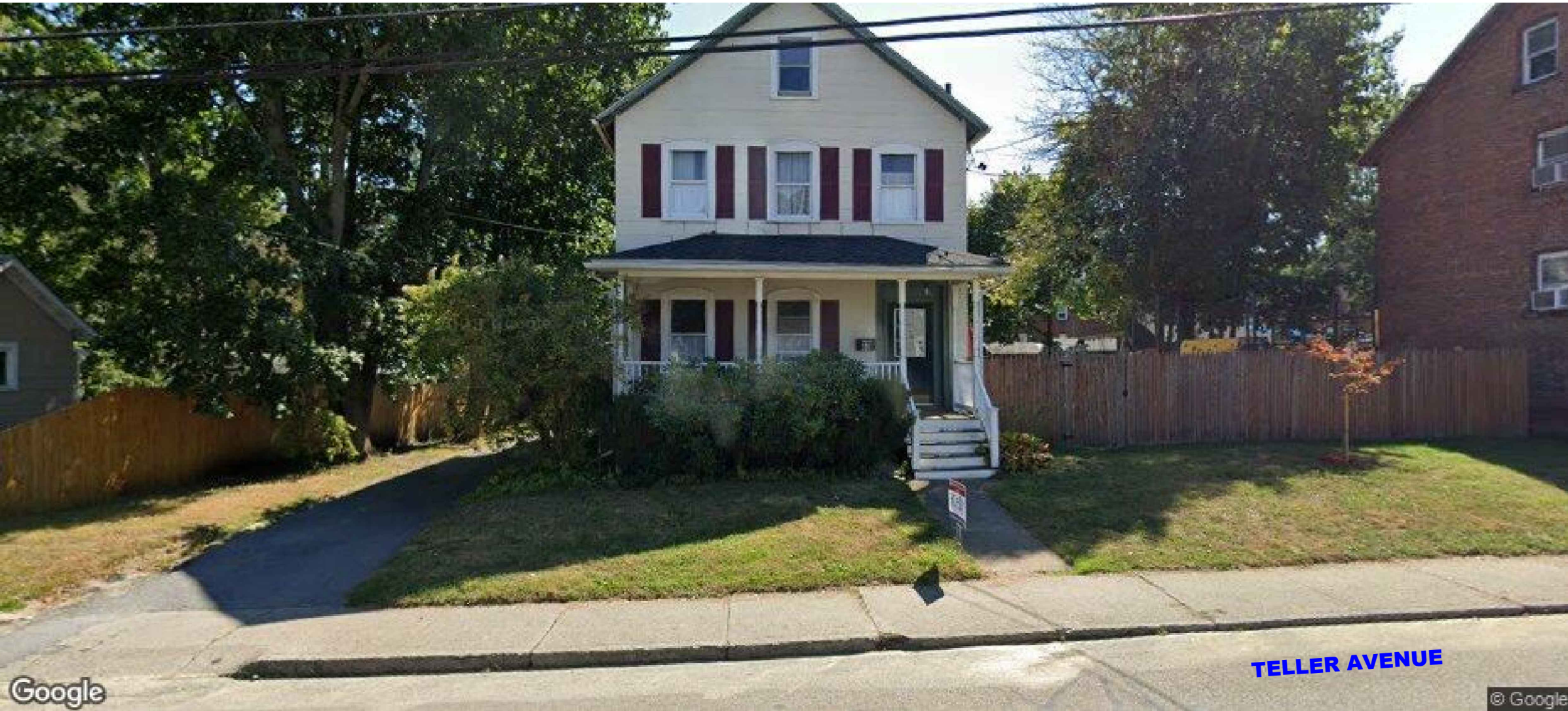
MAX. LOT COVERAGE: 40%

MAX. STORIES: 2 1/2

FISHER POOL DECK

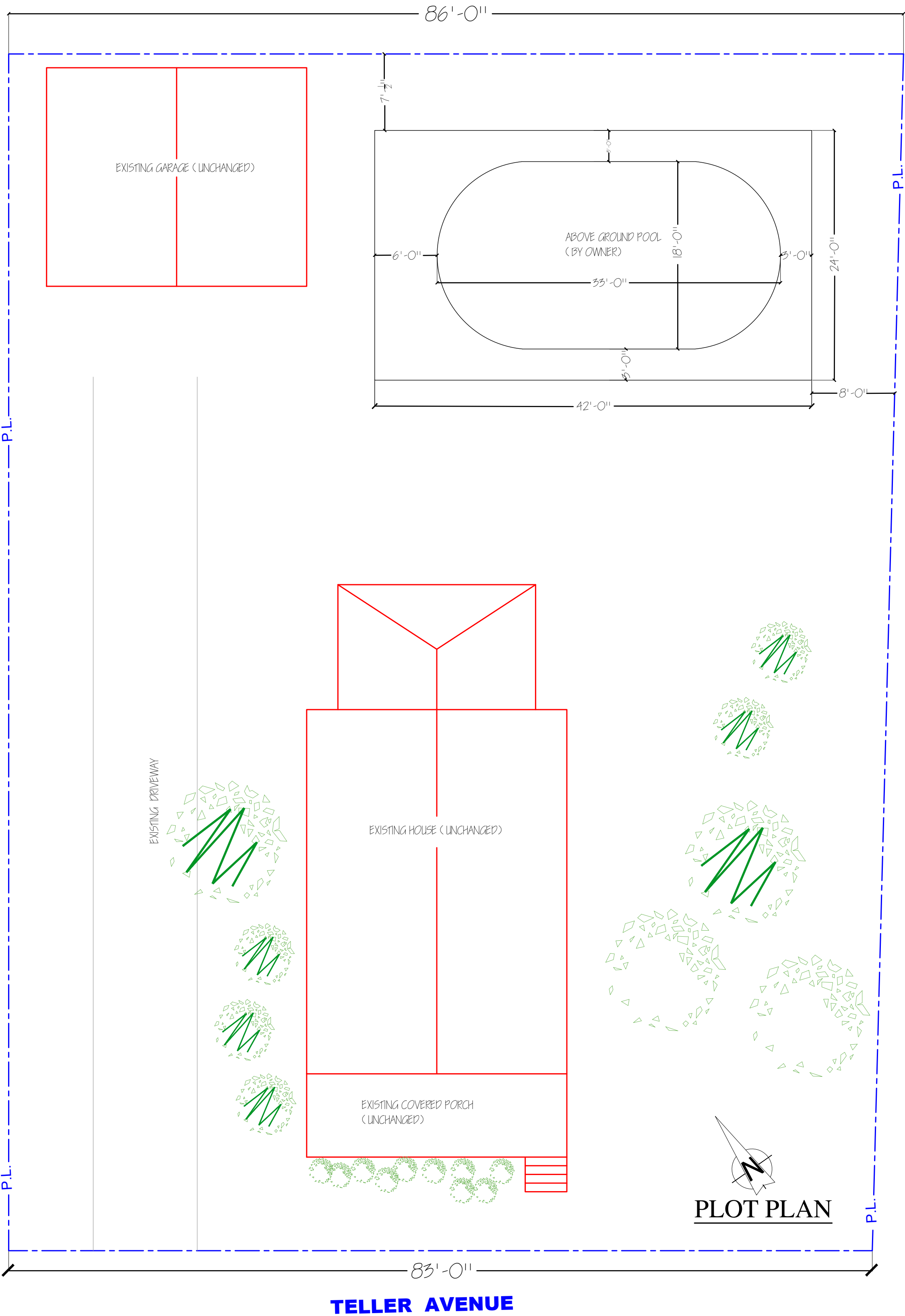
60 TELLER AVENUE

BEACON, NY 12508



EXISTING FRONT of HOUSE

N.T.S.



LOADS:

GROUND SNOW LOAD	1st FLOOR LOADS		2nd FLOOR LOADS		WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	EXPOSURE CLASS	HEATING DEGREE DAYS	ZONE
	LIVE 40 psf	SLEEPING 30 psf	LIVE 40 psf	OTHER 40 psf			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY						
30 LB/SF	DEAD 10psf	DEAD 10psf	DEAD 10psf	100/100 MPH	C	SEVERE	42"	MOD. TO HEAVY	SLIGHT TO MODERATE	7° F	YES	NONE	B (1.05)	5750	5	

FISHER POOL DECK

60 TELLER AVENUE
BEACON, NY 12508

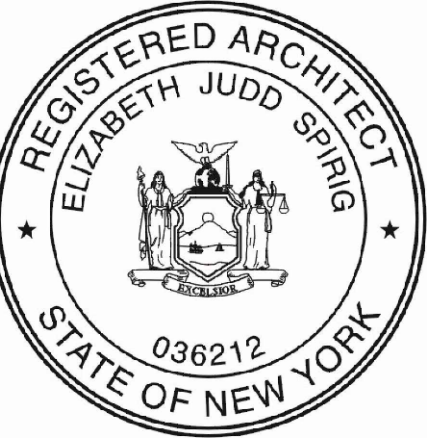
SUBMISSIONS:

DATE: 4/29/2024
ISSUED TO: CONTRACTOR

REVISIONS:

STUDIO SPIRIG
ARCHITECTURE

27 MEADOW STREET
NEWBURGH, NY 12550
PHONE: (914) 213-3838



ELIZABETH J. SPIRIG, R.A.
NY STATE LICENSE #036212
REGISTRATION EXP: 6/30/2024

FISHER-PROJECT
TITLE-PAGE

PROJECT NUMBER: FISH0424
ISSUED:
DRAWN BY: E. SPIRIG

G.01

From: [Travis Fisher](#)
To: [Barbara Fisher](#); [Mercedes Perez](#)
Subject: Regarding 60 Teller Ave for zoning board of appeals
Date: Tuesday, August 20, 2024 2:19:49 PM
Attachments: [image.png](#)
[image.png](#)
[image.png](#)
[image.png](#)
[image.png](#)

Hi Mercedes. I've prepared some remarks and additional supporting materials for tonight's meeting. I don't know if I missed a cutoff to get things distributed to the board prior to the meeting? Regardless I hope to present these remarks tonight. Regards, --Travis Fisher

Regarding our appeal for a variance for a pool and deck at 60 Teller Ave, I wanted to write more carefully a rationale regarding the justification for this variance.

Per the zoning statute, the zoning board must find in favor of the variance if, on balance, the benefits to the applicant outweigh any detriment it will cause to the health, safety, and welfare of the neighborhood. In this the zoning board is to consider five factors: neighborhood character, alternatives, substantiality, effect on physical or environmental conditions, and the extent to which the difficulty is self-created.

The benefit of the variance for us is to be able to install the pool and surrounding deck in a way which allows us the enjoyment of our yard. In order to situate the pool within the yard in a way which satisfies the zoned setbacks (20' from the rear property line and 10' from the side property line) we would have to have the pool butting against our existing deck on the house in a way which effectively disconnects the back yard and side yard. There would be a corridor of grass/flowerbed going around the rear fence and side fence to get from the driveway to the side yard. By positioning the pool more near the back fence, the corridor for movement becomes natural between back and side yards, allowing connected use of both.

Regarding the character of the neighborhood, this is a residential neighborhood populated by old housing stock which largely predates the zoning code. The setbacks envisioned by the code are not satisfied for any of the properties on our block. The existing build environment has each property largely using their full plot with much more minimal setbacks, and this has been the situation since long before any of the current property owners occupied those properties. Specifically, of the 6 houses on the block, 3 have garages and one has garage converted into an accessory dwelling. All of these structures are closer to property lines than the envisioned setbacks. Three of the 6 houses are closer to property lines than the envisioned setbacks.

We have a privacy fence situated by mutual agreement with George Coughlin at the back and Steve Burns on the side. At the back it is on the property line; on the side it is inside of a tree line near the property line. Across our back property line, George Coughlin's garage, hot tub, and gazebo are all closer than 20' from his back property line. Across the back corner Patrick Pisanelli has a toolshed near to on the corner. Across the side property line Steve Burns has a toolshed near to the property line; his house is closer than 10' from the property line and has a more recently added deck overlooking the fence also closer than 10' from the property line.

The point of the above discussion isn't to say that any of our neighbors is doing anything wrong! It's just the character of the neighborhood that existing uses don't generally satisfy the

setbacks specified in the zoning code.

Regarding alternatives, the main obvious alternative would be to situate the pool farther from the property line. As discussed above, this would be much less functional because of effectively cutting off our back yard from side yard for easy traversal.

Regarding the substantiality, we feel that the variance is still in line with other accepted features within the neighborhood.

Regarding the effect on physical or environmental conditions, the positioning of the pool at the back of our yard puts it adjacent to the toolsheds of Steve and Pat and across from some trees and overgrowth at the back of George's yard. There may be some minimal impact on the noise environment from the sound of children playing and so on. There are no tree removals, potential for erosion, impacts on species habitat, or similar.

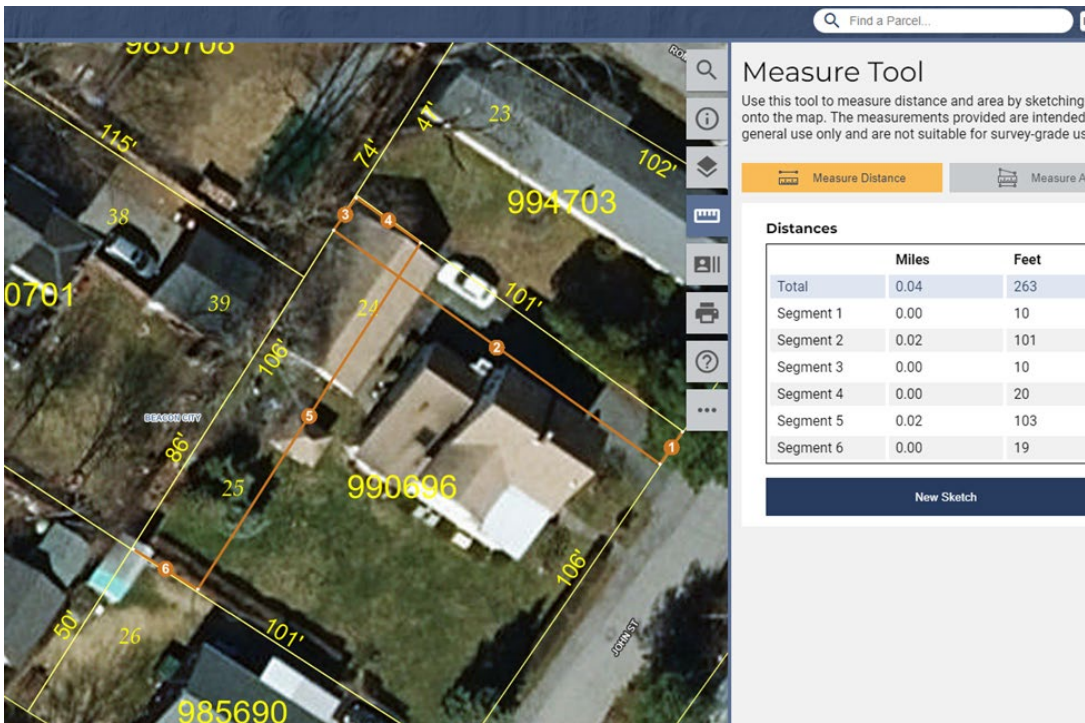
Regarding self-created difficulty, mostly we are just trying to fit a new feature into the existing built environment. The features of lot shape, existing structures, etc. are older and not a result of newly self-created difficulties.

With the above said, we are aware of a concern from one neighbor. George Coughlin has expressed reservations about the deck part of the project. He might one day re-landscape the trees and overgrowth, and then having an elevated deck across the fence would result in a reduction of the privacy that we have enjoyed from the privacy stockade fence. He doesn't think the pool has such an impact.

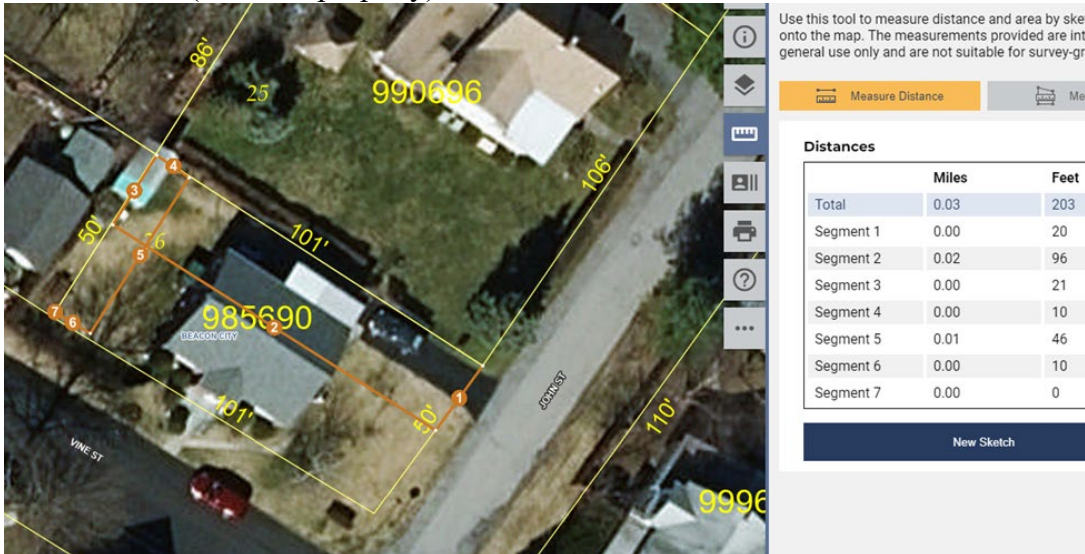
If the zoning board similarly feels there is a different balance between the benefits or impositions of the pool and deck, we would respectfully request that the zoning board consider approving the pool placement as its own item while we work towards an agreeable solution for the surrounding deck. The pool is an above-ground type and does not need a surrounding deck to satisfy the safety regulations.

I'm appending some more photos to help illustrate the points made above. First is an overview photo of our back yard from the upstairs house window. Also are areal photos from the county's property map web site, with their measurement tool used to illustrate 20' back yard and 10' side yard setbacks. The photos are misaligned by several feet -- this is not actual survey work -- but it may serve to illustrate the extent to which neighborhood character includes a pattern of reduced setbacks compared to the zoning code.

1. 60 Teller Ave proposed project area as of today:



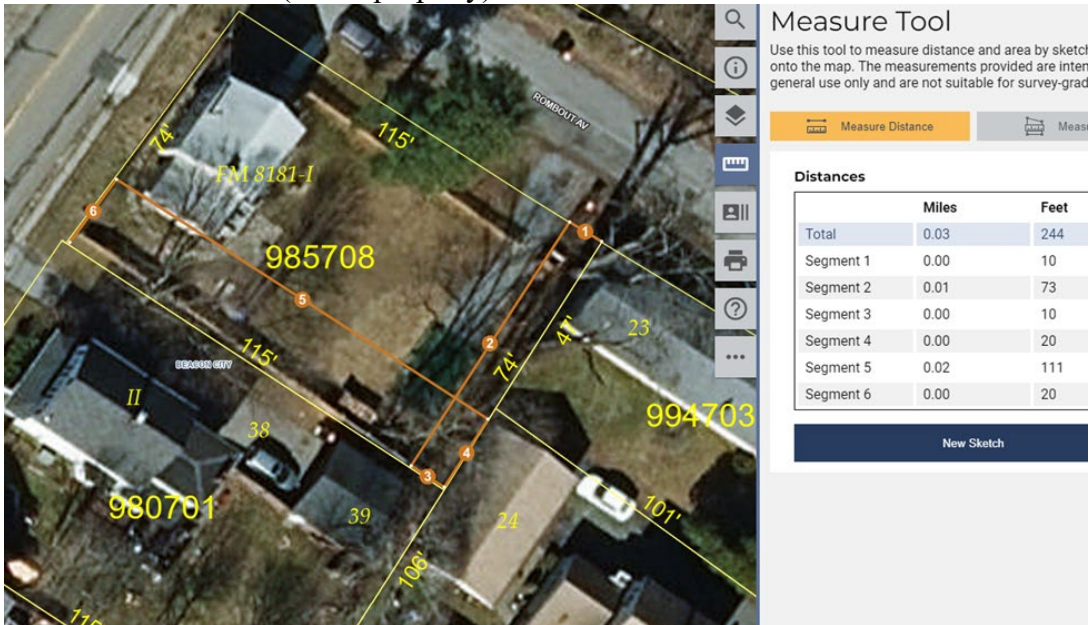
4. 76 Vine St. (Pisanelli property) illustrated 20' back and 10' side setbacks



5. 58 Teller Ave (Burns property) illustrated 20' back and 10' side setbacks



6. 281 Rombout Ave (Corsa property) illustrated 20' back and 10' side setbacks



City of Beacon Zoning Board of Appeals Agenda
08/20/2024

Title:

Review and public hearing for the application submitted by Cindy Hayes, 20 Water Street, Tax Grid No. 30-6054-38-179698-00, in the R1-5 Zoning District, to allow the construction of an open deck in the rear yard in connection with the proposed renovation and repair of the existing home, which requires relief from the following: Section 223-17.D. to allow for an 11 ft 9 in. rear yard setback (20 ft required)

ATTACHMENTS

[20 Water ZBA 8.20.24 app.pdf](#)

[20 Water St denial ltr 8.5.24.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: Cindy Hayes

ADDRESS: 42 N. Cedar Street, Beacon, NY 12508

TELEPHONE: (408) 828-0223

E-MAIL: cindy.hayes@compass.com

APPLICANT (if not owner):

ADDRESS:

TELEPHONE:

E-MAIL:

REPRESENTED BY: Jason Lichwick Architecture PLLC

ADDRESS: 387 Hooker Avenue, Ste 5, Poughkeepsie, NY

TELEPHONE: (845) 284-6344

E-MAIL: jason@JLArchitectureNY.com

PROPERTY LOCATION: 20 Water Street

ZONING DISTRICT: R1-5

TAX MAP DESIGNATION: SECTION 6054

BLOCK 38 LOT 179698

Section of Zoning Code appealed from or Interpretation desired:

Section 223-10 Nonconforming uses and structures.

Reason supporting request:

Pre-Existing nonconforming lot. We would like to dormer the back side of the roof.

The existing roof height at the ridge line shall remain the same.

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Site plan, Survey, and elevation drawings

Date:

Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250
ESCROW FEE:	\$1000
I & I INSPECTION:	\$50

Applicant's Signature

Affidavit of Property Owner

N/A

42 N. Cedar Street, Beacon, NY 12508

Type of Application	Area Variance
---------------------	---------------

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon	True
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon	False
3. ALL tax payments due to the City of Beacon are current	True
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon	False
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon	False
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current	True

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<u>X</u>		<u>MP</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<u> </u>	<u>✓</u>	<u>KM</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<u> </u>	<u>✓</u>	<u>KM</u>

✓

FOR OFFICE USE ONLY

Application #

CITY OF BEACON**1 Municipal Plaza, Beacon, NY****Telephone (845) 838-5000 • <http://beaconny.gov/>****INDIVIDUAL DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: Cindy HayesAddress of Applicant: 14 Turkey Hill Road, CornwallTelephone Contact Information: (408) 828-0223**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Cindy & Josh Hayes	42 N. Cedar Street Beacon, NY 12508	(408) 828-0223		Dutchess Cty
Elaine & James Luk	530 E 72nd St, Apt 2E New York, NY 10021			

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES

☒ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐ YES

☒ NO

I, Cindy Hayes being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Cindy Hayes

(Signature) _____

FOR OFFICE USE ONLY

Application #

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://beaconny.gov/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-61.4 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.

IF AFFIANT IS A PARTNERSHIP, JOINT VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and Date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

--	--

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest, mortgage, encumbrance or other interest (recorded or unrecorded) in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

☐

YES

☐

NO

Name	Employer	Position

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES

☐ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

☐ YES

☐ NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address

SECTION H. If the applicant is not a record owner of the subject property, describe the applicant’s interest in the subject property and the relationship the applicant has to the record owner(s) of the subject property.

SECTION I. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application. Any sensitive or confidential information may be redacted from the contract prior to production.

SECTION J.

1. Where the record owner or contract vendee is a corporation, the following additional information shall be submitted:

Name of the Corporation	Telephone Contact Information
Principal Business Address	Place and Date of Incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

2. Please provide the following information for every incorporator, officer, director and shareholder of the corporation.

Name	Residence or business address	Telephone number

3. Have any shares of the stock of the corporation or of any stockholder been pledged, mortgaged or encumbered?

☐

YES

☐

NO

If so, please list the name and address of each person having, holding, owning or claiming any such interest.

Name	Address

SECTION K. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

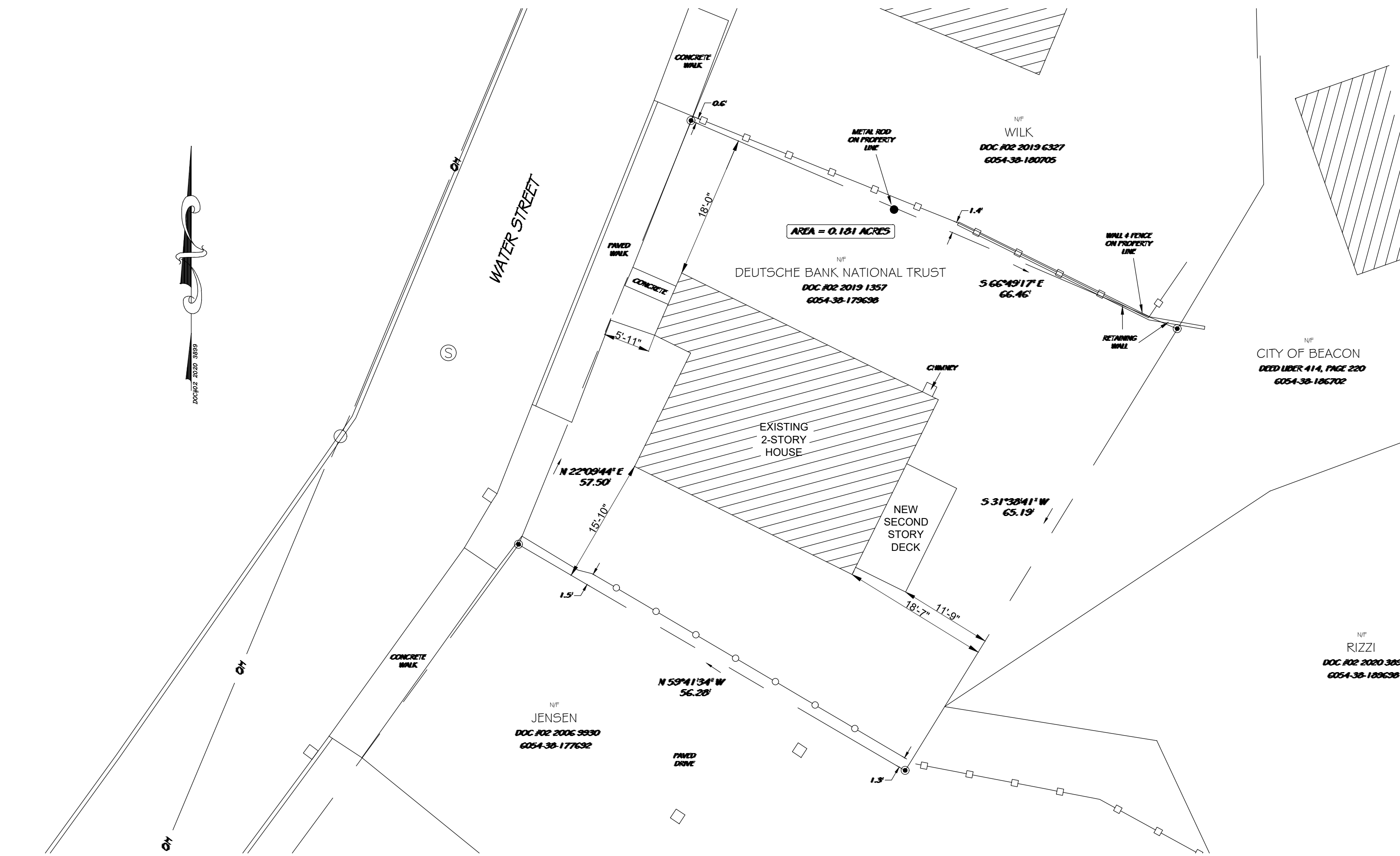
☐

NO

I, _____ being first duly sworn, according to law, deposes and says that I am (Title) _____, an active and qualified member of the _____, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) _____

(Signature) _____



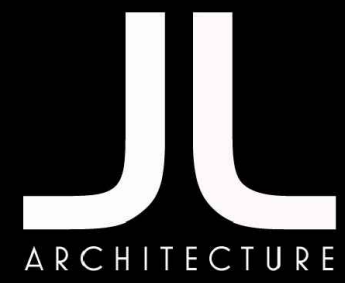
1 Site Plan
Scale: 1" = 10'-0"

NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY JOHN H. DECKER PLS, NYS LIC. # 050572 FOR CINDY AND JOSH HAYES DATED: JANUARY 31, 2024

BULK TABLE REQUIREMENTS			
ZONING INFORMATION	ZONE :	R1-5 (Residential)	
	Proposed Use :	Single Family Dwelling	
	Permitted with:	By Right	
MINIMUM REQUIREMENTS			
	Required	Provided	Variance
Lot Area	5,000 SF	7,884.36 SF	
Per Unit	5,000 SF	7,884.36 SF	
Lot Width	50 FT	57.5 FT +/-	
Lot Depth	100 FT	66.46 FT +/-	*33.54 FT +/-
YARD SETBACKS			
	Required	Existing	
Front	10 FT	5'-11" FT+/-	* 4'-1" FT+/-
Side	10 FT	15'-10" FT	
Rear	20 FT	11'-9" FT+/-	** 8'-3" FT+/-
MAXIMUM PERMITTED			
	Permitted	Existing	
Building Coverage	40% / 3,153.7 SF	10% / 788.4 SF	
Building Height	2½ STORIES / 35 FT	2 STORIES / 30'-6" +/- FT	

* INDICATES PRE-EXISTING NONCONFORMING CONDITION

** INDICATES VARIANCE REQ'D



JASON LICHWICK ARCHITECTURE PLLC
387 HOOVER AVENUE, SUITE 6
POUGHKEEPSIE, NEW YORK 12603
845.264.6844
jason@jlichwick.com

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. NOTE: DO NOT SCALE."



WHOLE HOUSE RENOVATION

Cindy & Josh Hayes
S.B.L. 6054-38-179889
20 Water St
Beacon, New York, 12508

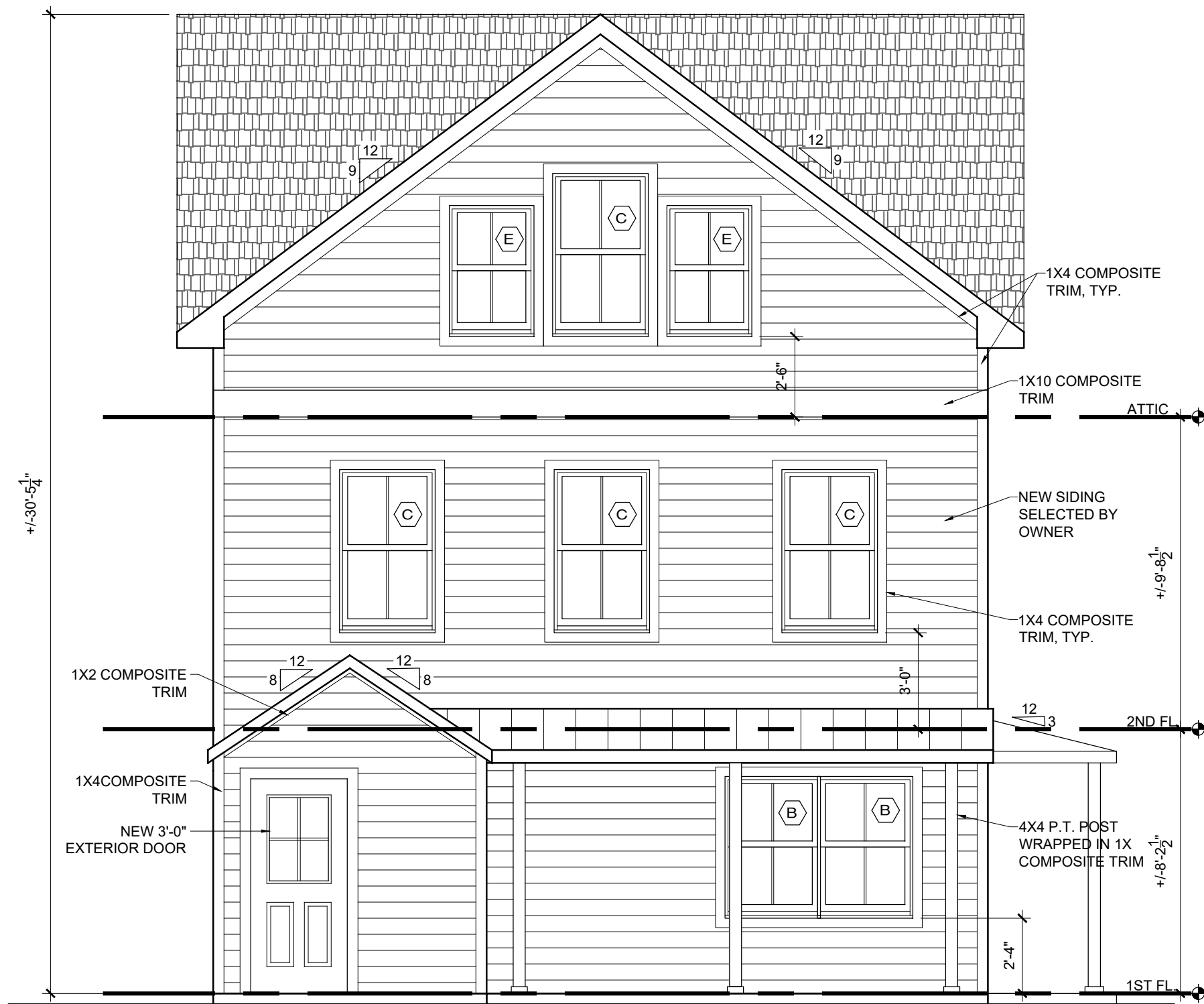
For Zoning Board of Appeals Review and Approval

Date: 07.24.2024

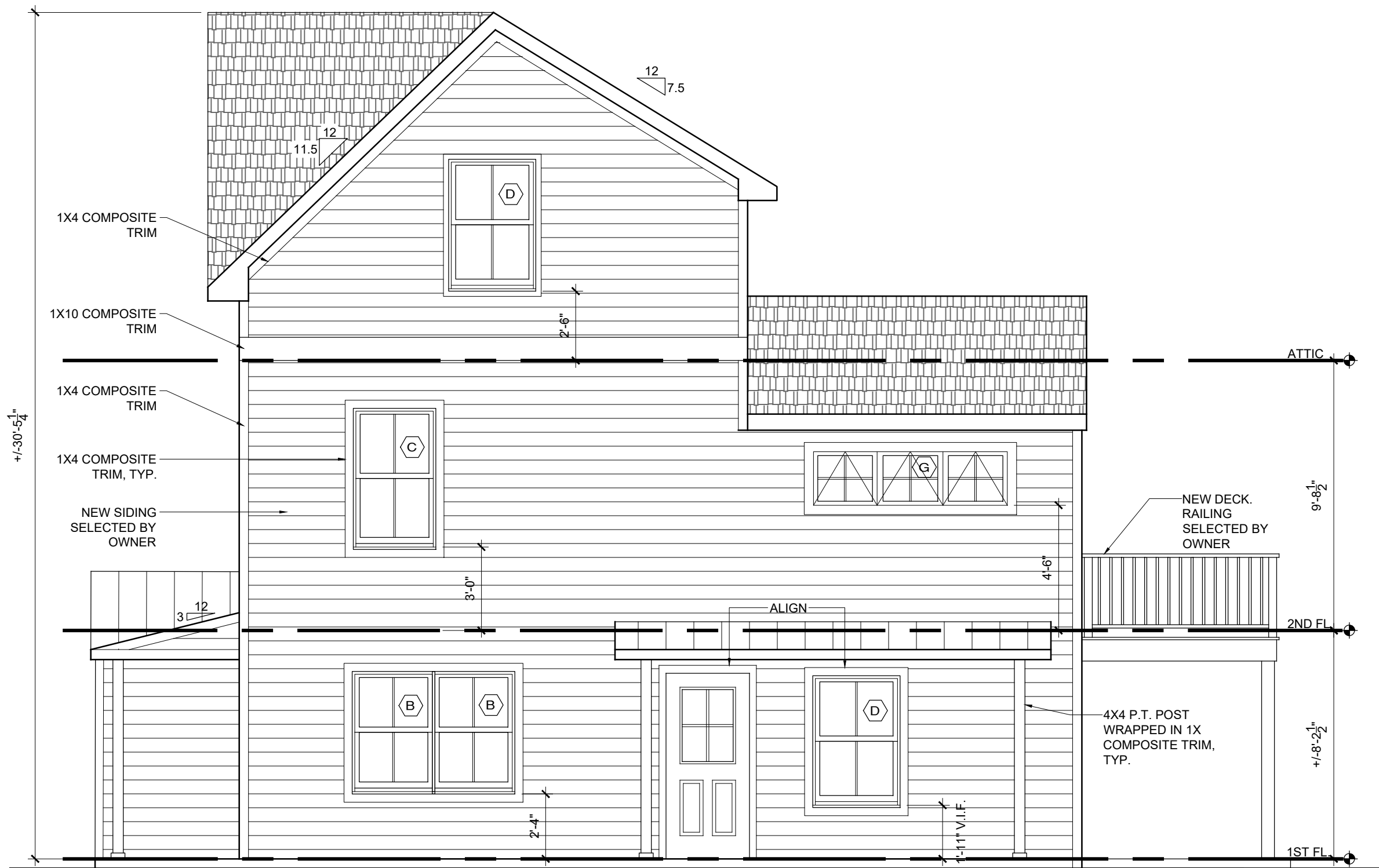
Revisions:

Drawn By: JL/HP

A2.1



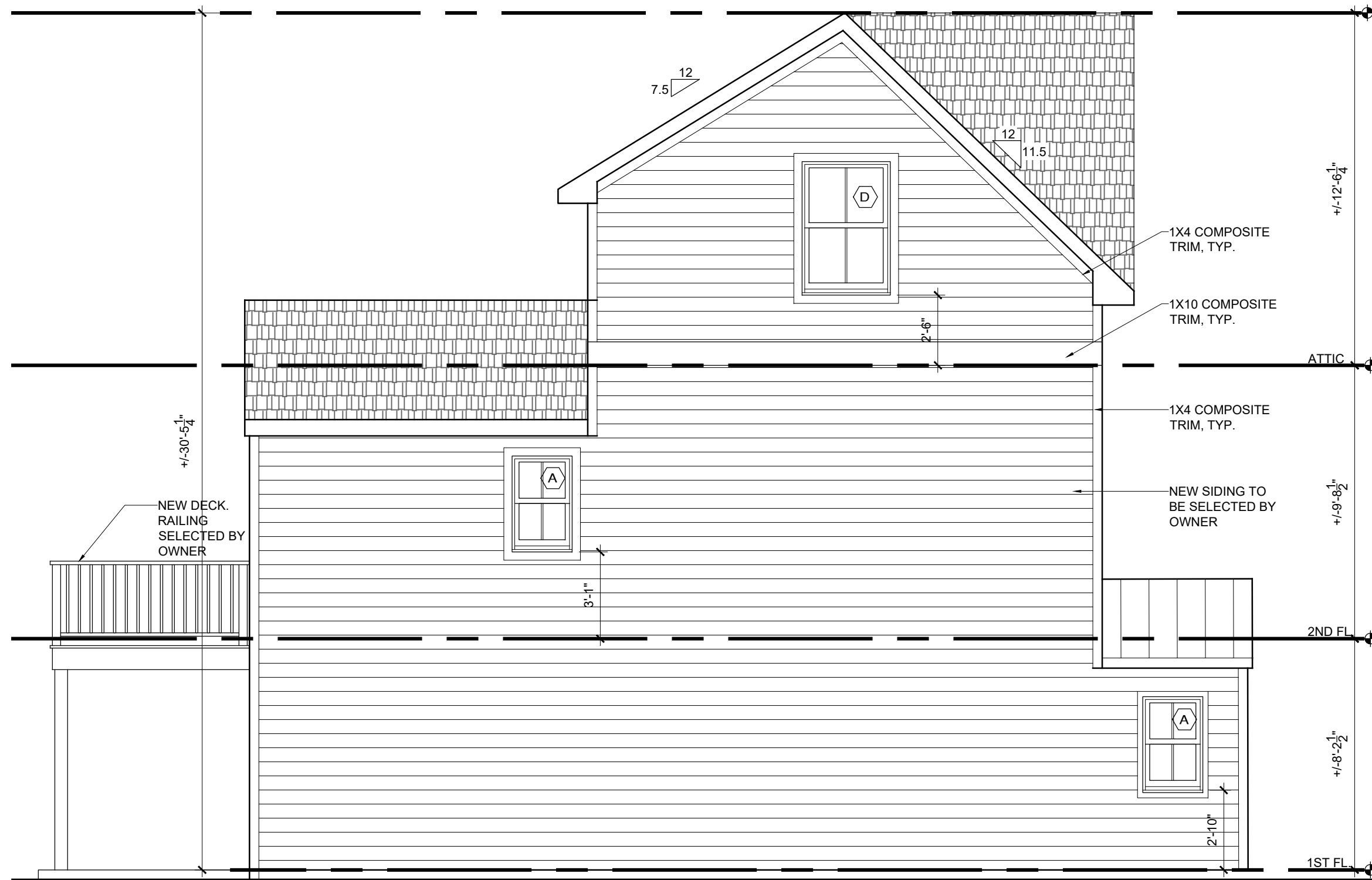
1 Proposed West Elevation
A2.1 Scale: 1/4" = 1'-0"



2 Proposed South Elevation
A2.1 Scale: 1/4" = 1'-0"



3 Proposed East Elevation
A2.1 Scale: 1/4" = 1'-0"



4 Proposed North Elevation
A2.1 Scale: 1/4" = 1'-0"



CITY OF BEACON

New York

Building Department

Bruce Flower
Building Inspector

845-838-5020
Email: bflower@beaconny.gov

August 5, 2024

Cindy Hayes
42 N. Cedar Street
Beacon, NY 12508

Dear Mrs. Hayes,

I have received your application for renovation and repair the existing existing home on the property located at 20 Water Street (Grid #6054-38-179698) which is in the R1-5 Zoning District. The rear overhang roof which is currently encroaching the setback area is being removed and being replaced with an open deck. This application is being denied at this time due to insufficient rear yard setback which is required to be 20' at the back of the home. As per the submitted plan only 11'-9" is being proposed at the rear of the home.

223-17. D Schedule of Dimensional Regulations

Required rear yard setback 20'
Proposed rear yard setback 11'-9"
The requested variance is 8'-3"

You have the right to appeal this decision with the Zoning Board of Appeals. If you wish to appeal this decision, please contact the Zoning Board of Appeals Secretary regarding the application and instructions.

Sincerely,

Bruce Flower
Building Inspector