



COURTROOM
1 MUNICIPAL PLAZA
BEACON, NY 12508

September 17, 2024
7:00 PM
Zoning Board of Appeals Agenda

The Zoning Board of Appeals will meet on Tuesday, September 17, 2024, at 7:00 p.m., in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York.

Approval of the August 20, 2024, minutes

Regular Meeting

1. Consider a request for an extension of variance approval previously granted for property at 152-158 Fishkill Avenue (Tax Grid No. 6054-29-041801 and 6054-29-042814), submitted by 152-158 Fishkill Avenue LLC.
2. Review and public hearing for the application submitted by Elkin Cardona, 10 Duncan Street, Tax Grid No. 30-6054-47-320543-00, in the R1-5 Zoning District, to allow the construction of an in-ground pool, which requires relief from the following: Section 223-17.D. to allow for a 10 ft rear yard setback (20 ft required)
3. Review and public hearing for the application submitted by Peter Augello, 127 Catherine Street, Tax Grid No. 30-5954-44-976746-00, in the R1-5 Zoning District, to allow the construction of a new covered front porch, which requires relief from the following: Section 223-17.D. to allow for an 8 ft 5 ¼ in. side yard setback (10 ft required)

City of Beacon Zoning Board of Appeals Agenda
09/17/2024

Title:

Consider a request for an extension of variance approval previously granted for property at 152-158 Fishkill Avenue (Tax Grid No. 6054-29-041801 and 6054-29-042814), submitted by 152-158 Fishkill Avenue LLC.

ATTACHMENTS

[152-154 Fishkill ZBA91724 ext request \(6173727.2\).pdf](#)



445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

Taylor M. Palmer
tpalmer@cuddyfeder.com

August 27, 2024

VIA E-MAIL AND HAND DELIVERY

Chairman Jordan Haug
and Members of the Zoning Board of Appeals
City of Beacon
One Municipal Plaza
Beacon, New York 12508

Re: Request for Extension of Variance Approval
Premises: 152-158 Fishkill Avenue, Beacon, New York
Tax Parcel IDs: 6054-29-042814 & 6054-29-041801

Dear Chairperson Haug and Members of the Zoning Board of Appeals:

On behalf of 152-158 Fishkill Avenue LLC ("Applicant"), we are writing to request placement on the next Zoning Board of Appeals ("ZBA") meeting Agenda in order to request an extension of the Area Variance Approval Resolution that was issued by this Board on July 18, 2023 for the proposed retaining wall height for the project (the "ZBA Resolution").¹

Specifically, the Applicant respectfully requests a six (6)-month extension of the ZBA Resolution, thus extending until March 12, 2025, the date by which the Applicant must obtain a Building Permit.² We understand that the Applicant continues to work diligently towards obtaining a Building Permit, which efforts include, but are not limited to, preparing a stormwater control facility maintenance agreement, for review by City Staff (the City Attorney previously approved the draft of the necessary Land Banked Parking Agreement). See **Exhibit B** – draft Stormwater Agreement. At this time, the Applicant advises that they are still developing the necessary construction drawings to submit for the forthcoming Building Permit Application once the subdivision plat is signed by the Planning Board Chairman and subsequently filed in the Office of the Dutchess County Clerk.

We look forward to discussing this extension request at the Board's next available meeting Agenda. In the meantime, should the ZBA or City Staff have any questions or comments with

¹ On July 18, 2023, the Zoning Board of Appeals granted a variance permitting retaining wall heights up to 15.4 feet. The ZBA granted a 6-month extension through September 12, 2024, a copy of which is enclosed as **Exhibit A**.

² Note: There are no changes proposed to the parameters of the Project, nor have there been any material changes to the facts and circumstances that existed when the ZBA Resolution was adopted. See St. Onge v. Donovan, 71 N.Y.2d 507 (N.Y. 1988) (holding that variances run with the land); see also Dill-Hill Realty Corp v. Schultz, 53 A.D.2d 263 (3d Dep't 1976).



August 27, 2024
Page 2

regard to the foregoing, please do not hesitate to contact me. Thank you in advance for your time and consideration of this extension request.

Very truly yours,

A handwritten signature in black ink, appearing to be "T. Palmer", written over a horizontal line.

Taylor M. Palmer

Enclosures

cc: George Alissandratos, Esq., ZBA Attorney

Exhibit A

Received by office of the City Clerk 3/22/2024
--

CITY OF BEACON
ZONING BOARD OF APPEALS

RESOLUTION

152-158 Fishkill Avenue

Parcel ID #s 6054-29-041801 and 6054-29-042814

WHEREAS, an application has been made to the City of Beacon Zoning Board of Appeals by 152-158 Fishkill Avenue, LLC (the “Applicant”) for a six (6)-month extension of the approval resolution previously granted by the Zoning Board of Appeals dated July 18, 2023 and filed in the Office of the City Clerk on July 20, 2023 (Resolution 2023-11) (the “July 2023 Approval Resolution”), a copy of which is annexed hereto as Exhibit “A”; and

WHEREAS, by its own language, the July 2023 Approval Resolution was set to expire on January 18, 2024; and

WHEREAS, the Board intended to condition the expiration of the July 2023 Approval Resolution upon the date of obtaining the last land use approval for the project; and

WHEREAS, the project obtained Preliminary and Final Subdivision Plat Approval, as well as Site Plan Approval, at the Planning Board’s September 12, 2023 meeting; and

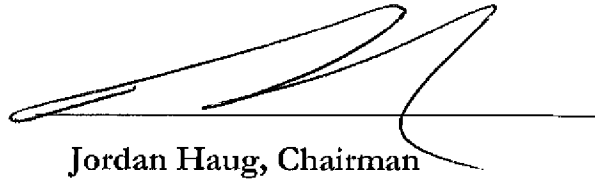
WHEREAS, in accordance with the intention of the Board, and given the Planning Board’s September 12, 2023 approvals, the July 2023 Approval Resolution was set to expire on March 12, 2024 (i.e., six (6) months from the Planning Board approvals); and

WHEREAS, the Applicant appeared before the Zoning Board of Appeals at its March 19, 2024 meeting and explained its request for a six (6)-month extension to the July 2023 Approval Resolution.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Board of Appeals hereby grants a six (6)-month extension of the July 2023 Approval Resolution.

BE IT FURTHER RESOLVED, that this resolution shall have an effective date of March 12, 2024.

Dated: March 20, 2024



Jordan Haug, Chairman

Chairman Haug called the roll:

<u>Motion</u>	<u>Second</u>	<u>Zoning Board Member</u>	<u>Aye</u>	<u>Nay</u>
		Stowe Boyd	ABSENT	
		Judy Smith	X	
		Jordan Haug	X	
X		Montos Vakirtzis	X	
	X	Elaine Ciaccio	X	
Motion Carried:			4	0

Exhibit B

**STORMWATER CONTROL FACILITY
MAINTENANCE AGREEMENT AND EASEMENT**

WHEREAS, the **CITY OF BEACON** (“Municipality”), and **152-158 FISHKILL AVENUE LLC** (“Facility Owner”) desire to enter into this agreement (the “Agreement”), dated this ____ day of _____, 2024, to provide for the long term maintenance and continuation of stormwater control measures approved by the Municipality for certain real property located at 152-158 Fishkill Avenue, Beacon, New York, and designated on the Tax Map of the City of Beacon as Parcel IDs 6054-29-041801 and 6054-29-042814, and shown on a subdivision map entitled “Subdivision Plat – Lot Line Consolidation Plan”, prepared by Heritage Land Surveying, P.C., dated August 16, 2023 and filed in the Office of the Dutchess County Clerk on _____, 2024, as Filed Map No. _____, 2024 (the “Subdivision Map”), and further described by metes and bounds in Schedule A annexed hereto (the “Premises”); and

WHEREAS, this Agreement is provided in connection with a mixed-use, multi-family residential development project (the “Project”), which received Preliminary and Final Subdivision Plat Approval and Site Plan Approval from the City of Beacon Planning Board (the “Planning Board”) by Resolution adopted September 12, 2023 and dated September 22, 2023 (the “Resolution”), based on Site Plan drawings consisting of 18 sheets entitled “Site Plan & Lot Meger for 152-158 Fishkill Avenue” prepared by Arden Consulting Engineers, PLLC dated February 27, 2023 and last revised August 27, 2023 (“Approved Project Plans”), which Approved Project Plans include certain stormwater management facilities and stormwater control measures (collectively, the “Facility”) required to be constructed and maintained in accordance with the Approved Project Plans, the approved Stormwater Pollution Prevention Plan (“SWPPP”) dated June 23, 2023 and last revised August 15, 2023, and the Inspection & Maintenance Notes (“IMS Plan”) from Sheet 16 of the Approve Drawings; and

WHEREAS, the Municipality and the Facility Owner desire that the Facility be built in accordance with the Approved Project Plans and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity in order to ensure optimum performance of the Facility;

NOW, THEREFORE, IN WITNESS WHEREOF, the Municipality and the Facility Owner agree as follows:

1. This Agreement binds the Municipality and the Facility Owner, its successors and assigns, to the maintenance provisions depicted in the Approved Project Plans and described in the IMS Plan, which is included in Schedule B of this Agreement.
2. The Facility Owner shall maintain, clean, repair, and replace the Facility and keep the Facility in continuous operation in accordance with the Approved Project Plans, the SWPPP, and IMS Plan as necessary to ensure optimum performance of the stormwater control measures to design specifications. The stormwater control measures shall include, if applicable, but shall not be limited to, the following items located at the Premises: isolator chambers to separate solids from the runoff.
3. The Facility Owner hereby grants unto the Municipality, its successors and assigns a perpetual easement and right-of-way to enter upon the Premises in order to access the Facility at reasonable times and in a reasonable manner for periodic inspection by the Municipality to ensure that the Facility is maintained in proper working condition and meets the design standards established by the Approved Plans, SWPPP, and IMS Plan.
4. The Facility Owner shall be responsible for all expenses related to the maintenance of the Facility and shall establish a means for the collection and distribution of expenses among parties for any commonly owned facilities, as applicable, except as otherwise set forth hereinafter.
5. The Facility Owner shall provide for the periodic inspection of the Facility in accordance with the Approved Plans, SWPPP, and IMS Plan, and shall have the facilities inspected on a yearly basis by a Professional Engineer licensed by the State of New York, to determine the condition and integrity of the stormwater control measures. The inspecting professional shall prepare and submit to the Municipality within 30 days of the inspection but not later than June 1 of each year, a written report

of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.

6. The Facility Owner shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the Facility except in accordance with written approval of the Municipality which approval shall not be unreasonably withheld, delayed or conditioned.
7. The Facility Owner shall promptly undertake necessary repairs and replacement of the Facility at the direction of the Municipality or in accordance with the recommendations of the inspecting professional.
8. The Facility Owner hereby covenants that it is seized of the Premises in fee simple and has full authority to execute this Agreement; shall do nothing in the Premises which would prevent, impede or disturb the full use and intended purpose of this Agreement; and shall execute and deliver any further documents reasonably necessary to assure the benefits of this Agreement to the Municipality.
9. This Agreement shall not confer unto the Municipality any duty or obligation to repair or maintain the Facility. Further, the Municipality's acceptance of any rights pursuant to this Agreement shall not be deemed as the acceptance of any duty or obligation to repair or maintain the Facility, except that any damage to the Facility caused by the Municipality's negligence during inspections or otherwise shall be restored, repaired or otherwise remedied by the Municipality at the Municipality's sole cost.
10. This Agreement shall be recorded in the Office of the County Clerk, County of Dutchess as a condition of final site plan approval and as a condition to the issuance of a building permit.
11. If ever the Municipality determines that the Facility Owner has failed to construct or maintain the Facility in accordance with the Approved Project Plan, SWPPP or IMS Plan, or has failed to undertake corrective action specified by the Municipality or by

the inspecting engineer, the Municipality shall provide the Facility Owner with written notice via certified mail, return receipt requested, specifying such failure. Copies of any written notices to the Facility Owner shall be contemporaneously provided to the Fee Owner, if different from the Facility Owner, via certified mail, return receipt requested. The written notice shall provide that the Facility Owner has fifteen (15) days to cure any defect and/or failure specified therein. In the event the failure cannot be cured within fifteen (15) days, the Facility Owner shall advise the Municipality as to same in writing within fifteen (15) days of receipt of the Municipality's notice to cure. The Facility Owner shall be afforded the opportunity to request a reasonable time frame to cure said failure/defect if the Facility Owner so desires. If the Facility Owner fails to provide written notice requesting an extension of time to cure a failure/defect and the Facility Owner does not cure said failure/defect, the Municipality is authorized to undertake such steps as are reasonably necessary for the preservation, continuation or maintenance of the Facility and to affix the expenses thereof as a lien against the Premises.

12. In the event the Municipality exercises its rights hereunder, it shall return the Premises to a reasonably similar condition as it existed prior to the exercise of such rights.
13. All notice and demands shall be made in writing and delivered by certified mail, return receipt requested, with postage pre-paid thereon, addressed as follows:

City of Beacon:
City Administrator
City Hall
1 Municipal Plaza
Beacon, New York 12508

Facility Owner:
152-158 Fishkill Avenue LLC
152-158 Fishkill Avenue
Beacon, New York 12508
Attn: Angela Ingham

With a copy to:
Keane & Beane, P.C.

With a copy to:
Cuddy & Feder LLP

445 Hamilton Avenue, Ste 1500
White Plains, New York 10601
Attn: Jennifer Gray, Esq.

445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
Attn: Taylor M. Palmer, Esq.

14. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of which, when taken together, shall constitute one and the same instrument.

Signature pages follow.

IN WITNESS WHEREOF, the Facility Owner and the Municipality have each executed this Agreement as of the date first herein above set forth.

CITY OF BEACON

By: _____

Name:

Title:

152-158 FISHKILL AVENUE LLC

By: _____

Name:

Title:

STATE OF NEW YORK)
) SS.:
COUNTY OF _____)

On the ____ day of _____, 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public – State of New York

STATE OF NEW YORK)
) SS.:
COUNTY OF _____)

On the ____ day of _____ 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public – State of New York

Record & Return:

Keane & Beane, P.C.
445 Hamilton Avenue, Ste 1500
White Plains, New York 10601
Attn: Jennifer Gray, Esq.

Section: 6054
Block: 29
Lot(s): 041801
County: Dutchess

Section: 6054
Block: 29
Lot(s): 042814
County: Dutchess

Schedule A

Description of Premises

Schedule B

Inspection and Maintenance Notes

Step 1) Inspect Isolator Row Plus For Sediment

A. Inspection Ports (If Present)

- A.1. Remove/Open Lid On Nyloplast Inline Drain
- A.2. Remove And Clean Flexstorm Filter If Installed
- A.3. Using A Flashlight And Stadia Rod, Measure Depth Of Sediment And Record On Maintenance Log
- A.4. Lower A Camera Into Isolator Row Plus For Visual Inspection Of Sediment Levels (Optional)
- A.5. If Sediment Is At, Or Above, 3" (80 Mm) Proceed To Step 2. If Not, Proceed To Step 3.

B. All Isolator Plus Rows

- B.1. Remove Cover From Structure At Upstream End Of Isolator Row Plus
- B.2. Using A Flashlight, Inspect Down The Isolator Row Plus Through Outlet Pipe
 - I) Mirrors On Poles Or Cameras May Be Used To Avoid A Confined Space Entry
 - Ii) Follow Osha Regulations For Confined Space Entry If Entering Manhole
- B.3. If Sediment Is At, Or Above, 3" (80 Mm) Proceed To Step 2. If Not, Proceed To Step 3.

Step 2) Clean Out Isolator Row Plus Using The Jetvac Process

- A. A Fixed Culvert Cleaning Nozzle With Rear Facing Spread Of 45" (1.1 M) Or More Is Preferred
- B. Apply Multiple Passes Of Jetvac Until Backflush Water Is Clean
- C. Vacuum Structure Sump As Required

Step 3) Replace All Covers, Grates, Filters, And Lids; Record Observations And Actions.

Step 4) Inspect And Clean Basins And Manholes Upstream Of The Stormtech System.

Notes

1. Inspect Every 6 Months During The First Year Of Operation. Adjust The Inspection Interval Based On Previous Observations Of Sediment Accumulation And High Water Elevations.
2. Conduct Jetting And Vactoring Annually Or When Inspection Shows That Maintenance Is Necessary

City of Beacon Zoning Board of Appeals Agenda
09/17/2024

Title:

Review and public hearing for the application submitted by Elkin Cardona, 10 Duncan Street, Tax Grid No. 30-6054-47-320543-00, in the R1-5 Zoning District, to allow the construction of an in-ground pool, which requires relief from the following: Section 223-17.D. to allow for a 10 ft rear yard setback (20 ft required)

ATTACHMENTS

[10 Duncan ZBA 9.17.24 app.pdf](#)

[10 Duncan denial ltr 8.16.24 AMENDED.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: Elk. O CardonaADDRESS: 10 Duncan StreetTELEPHONE: 646 407 9239Beacon NY 12508E-MAIL: ecardona.nyc@gmail.com

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

PROPERTY LOCATION: _____

ZONING DISTRICT: R1-5TAX MAP DESIGNATION: SECTION 6054BLOCK 47 LOT 320543

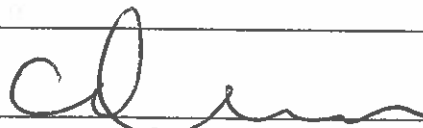
Section of Zoning Code appealed from or Interpretation desired:

223-17D

Reason supporting request:

Insufficient setback distance from back property line

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Date: 8/26/24

Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250 —
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250
ESCROW FEE:	\$1000 —
I & I INSPECTION:	\$50 —

Applicant's Signature

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: _____

Elkin D Cardona

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: _____

10 Duncan Street Beacon NY 12508

Project Address: _____

10 Duncan Street Beacon NY 12508

Project Tax Grid # _____

Type of Application _____

request for variance on construction of inground pool

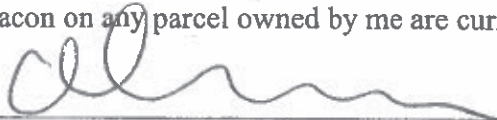
Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, _____

Elkin D Cardona

_____, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon _____
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon _____
3. ALL tax payments due to the City of Beacon are current _____
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon _____
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon _____
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current _____



Signature of Owner

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

X

YES

Initial

MP

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

—

✓

KLM

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

—

✓

KLM

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://beaconny.gov/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A

Name of Applicant:

Elkin J Cardona

Address of Applicant:

10 Duncan Street Beacon NY 12504

Telephone Contact Information:

646 407 9239

SECTION B. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Angelica DEPERA	10 Duncan St Beacon NY	646 264-2463	2020	

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon?

☐ YES

☒ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐ YES

☒ NO

I, Elvin D. Gordon being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Elvin D. Gordon

(Signature) 



Photo

**antonia_homely**

🎵 Cottonwood Firing Squad - I'm Glad Yer Doin' Well. ...

**1,136 likes**

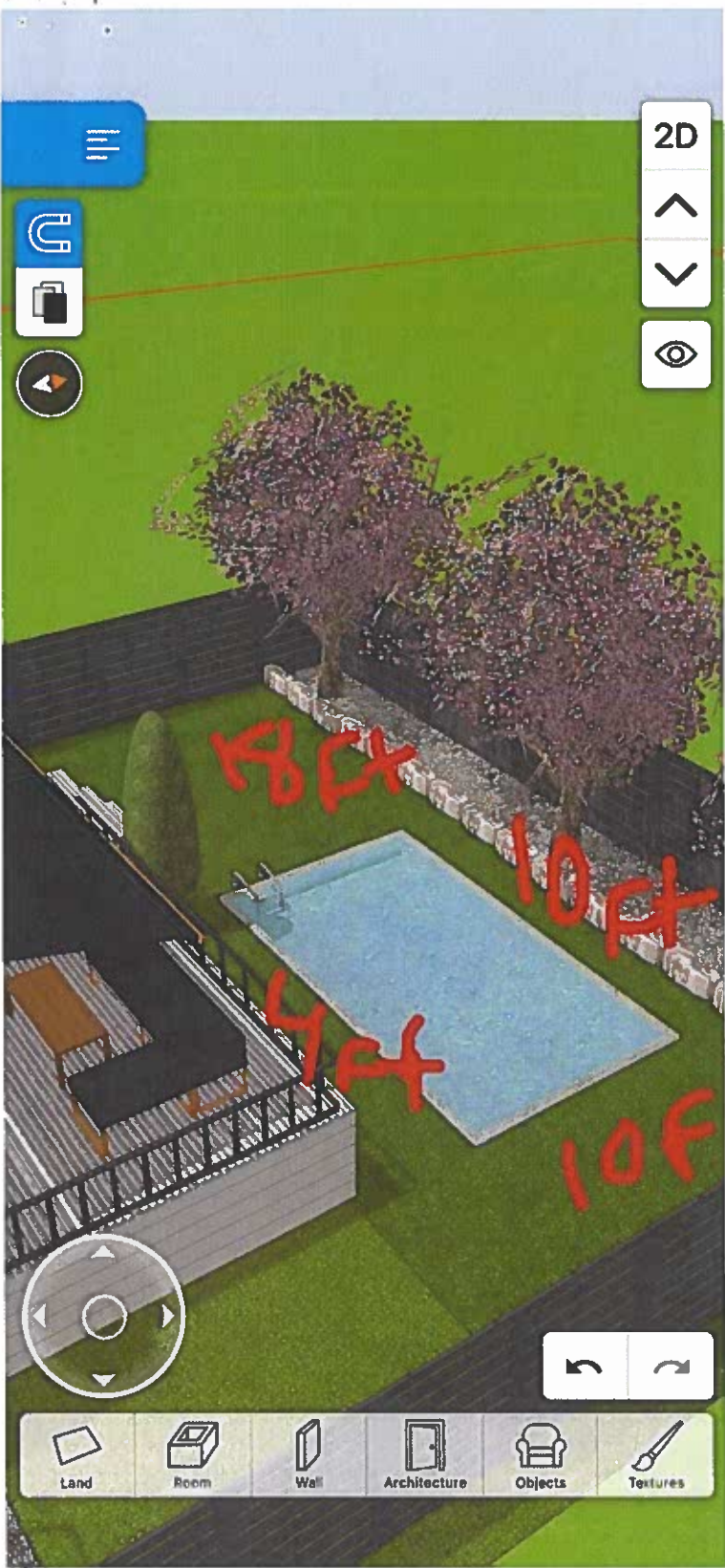
antonia_homely Ce petit cocon, on s'y sent vraiment bien et aime recevoir nos amis et notre famille ici 💕

Un peu moins présente en ce moment, notre été est très chargé et j'essaie de profiter de tout ces moments pour aussi pouvoir me poser enfin après une année vraiment bien remplie 🥰

[#amenagementexterieur](#) [#jardinpaysager](#) [#gardendesign](#)
[#terrasse](#) [#piscine](#)

View all 49 comments







SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.

2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-divisor 2, of the New York State Education Law.

3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.

4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveying adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

5. The certifications herein are not transferable.

6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.

7. Subject to the findings of a current title search.

8. Subject to covenants, easements, restrictions, conditions and agreements of record.

9. Subject to any right, title or interest the public may have for highway use.

10. Bearings and North shown herein are referenced to NAD 83-NIT East using NTSNET R/W GPS.

FILED MAP REFERENCE

Survey shown herein depicts lot(s) 68 as shown on a map entitled "Map of Lands of John J. Manell Esq. Known as Prospect Square" prepared by S. Scofield and filed in the Dutchess County Clerk's office on January 1, 1875 as Map No. 785.

DEED REFERENCE

Control # 02-2006-4170
Lynn Martinez
To
Kathleen Coonan
05/25/2006

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-6054-47-320543

AREA

3,000 Square Feet
0.115 Acres

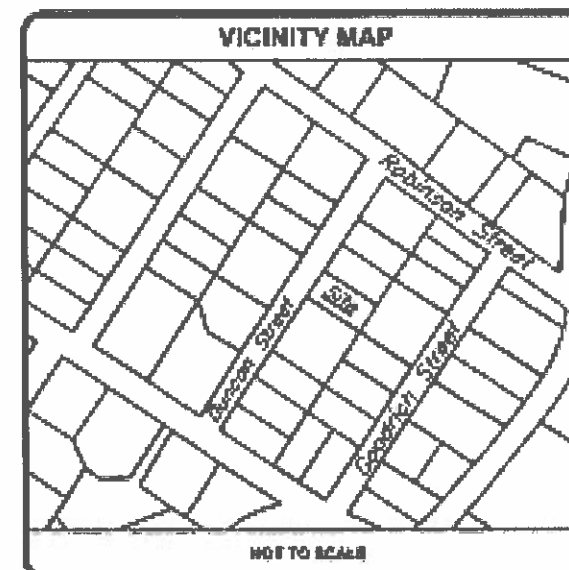
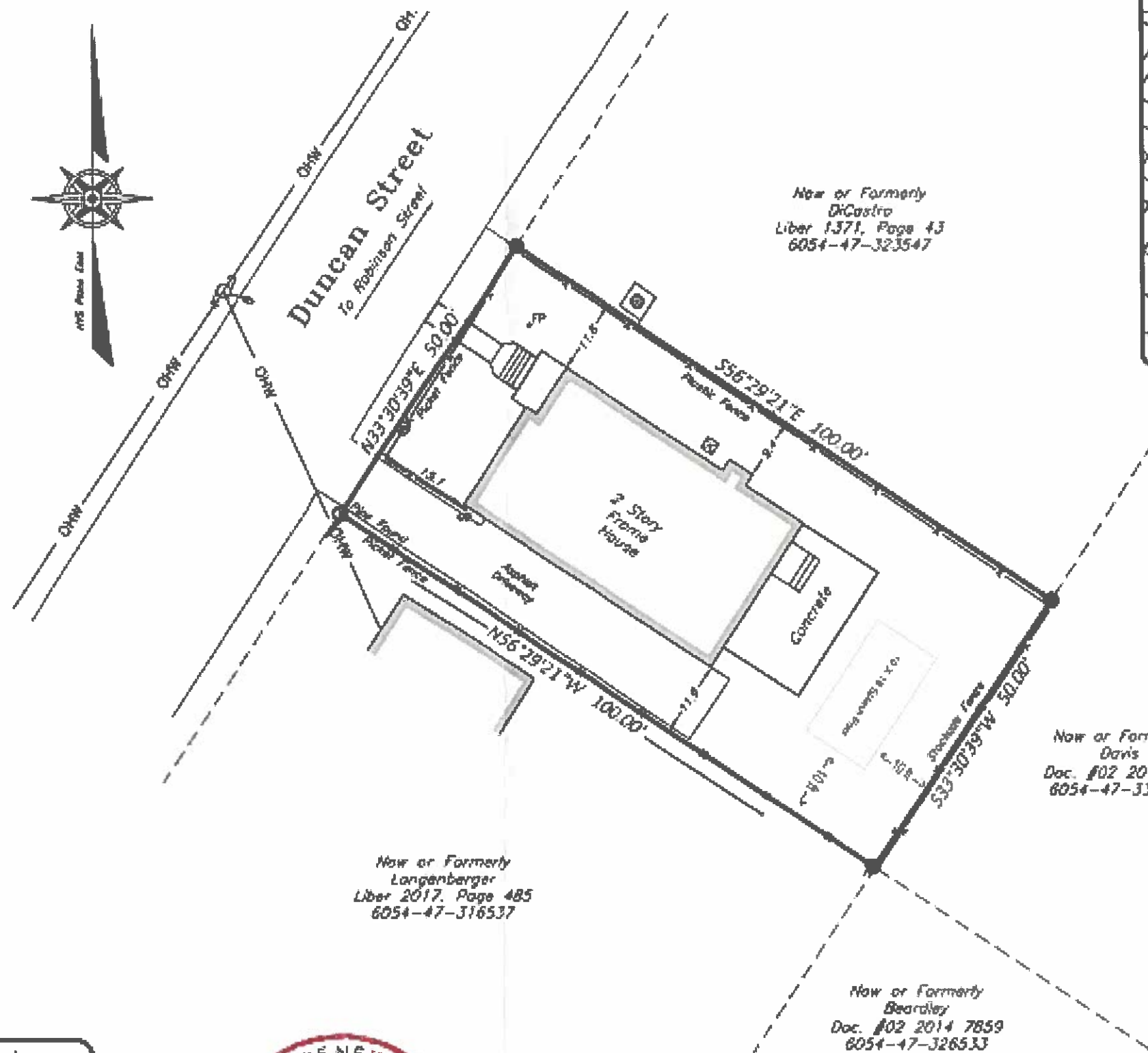
Rev. July 13, 2020 - Final As-Built



831 ROUTE 52, SUITE 20, FISHKILL, NY 12524
845.445.6590



Brendon Johnson, PLS
PLS No. 50919



Now or Formerly
DiCastro
Liber 1371, Page 43
6054-47-323547

Now or Formerly
Davis
Doc. #02 2013 92
6054-47-330539

Now or Formerly
Beardley
Doc. #02 2014 7859
6054-47-326533

10 DUNCAN STREET

SURVEY OF PROPERTY PREPARED FOR DILELLO HOMES

CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

Map No.	6054-47-320543
Address	10 Duncan St
Date	LLC
Scale	1"=20'
Project No.	20-001
Project Name	
Sheet	1 OF 1



CITY OF BEACON New York Building Department

Bruce Flower
Building Inspector

845-838-5020
Email: bflower@beaconny.gov

August 16, 2024

Elkin Cardona
10 Duncan St.
Beacon, NY 12508

Dear Mr. Cardona,

I have received your application to build an in-ground pool on the property at 10 Duncan St (Grid #6054-47-320543) which is in the R1-5 Zoning District. The required setbacks for the pool must meet the same setbacks as the principal structure on the property as noted in section 223-13 M.

223-13 M.

Swimming pools. All swimming pools shall be considered structures and shall set back from lot lines at least the minimum distance required for other principal buildings and structures in that district.

The setbacks required in the R1-5 Zone are 10feet from the side and 20 feet from the rear property lines. This application is being denied at this time due the lack of sufficient setback distance from the rear property line.

223-17. D Schedule of Dimensional Regulations

Rear Yard

Required rear yard setback 20'

Proposed rear yard setback 10'

The requested variance is 10'

You have the right to appeal this decision with the Zoning Board of Appeals. If you wish to appeal this decision, please contact the Zoning Board of Appeals Secretary regarding the application and instructions.

Sincerely,

Bruce Flower
Building Inspector

City of Beacon Zoning Board of Appeals Agenda
09/17/2024

Title:

Review and public hearing for the application submitted by Peter Augello, 127 Catherine Street, Tax Grid No. 30-5954-44-976746-00, in the R1-5 Zoning District, to allow the construction of a new covered front porch, which requires relief from the following: Section 223-17.D. to allow for an 8 ft 5 ¼ in. side yard setback (10 ft required)

ATTACHMENTS

[127 Catherine ZBA 9.17.24 app.pdf](#)

[127 Catherine St denial ltr 8.27.24 AMENDED.pdf](#)

[127 Catherine ZBA 9.17.24 plans.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: PETER V AUGELLO

ADDRESS: 127 Catherine ST

Beacon NY 12508

TELEPHONE: 845-742-7979

E-MAIL: Peter.vito@gmail.com

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

PROPERTY LOCATION: 127 Catherine ST

ZONING DISTRICT: R2-5

TAX MAP DESIGNATION: SECTION 5954

BLOCK 44 LOT 976746

Section of Zoning Code appealed from or Interpretation desired:

223-17 SideYARD

Reason supporting request:

Front Porch needs 10 feet, only 8 5 1/4
Need Variance for 1'-6 3/4"

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Plans & Survey

Date: 8/27/24

Peter V Augello

Owner's Signature

Peter V Augello

Applicant's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250
ESCROW FEE:	\$1000
I & I INSPECTION:	\$50

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Peter V. Augello

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

78 Rombout Ave

Applicant Address: 127 Catherine St

Project Address: 127 Catherine St

Project Tax Grid # _____

Type of Application _____

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Peter V. Augello, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon ✓
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon _____
3. ALL tax payments due to the City of Beacon are current ✓
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon _____
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon _____
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current ✓

Pet V Augello

Signature of Owner

Title if owner is corporation _____

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

X

✓

✓

MP

KLM

KLM

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://beaconny.gov/>**INDIVIDUAL DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A

Name of Applicant:

Peter V Augello

Address of Applicant:

127 Catherine St Beacon NY 12508

Telephone Contact Information:

845 742 7979**SECTION B.** List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES

☒ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐ YES

☒ NO

I, Peter V Augello being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Peter V. Augello

(Signature) Peter V Augello



CITY OF BEACON New York Building Department

Bruce Flower
Building Inspector

845-838-5020
Email: bflower@beaconny.gov

August 27, 2024

Peter V. Augello
127 Catherine Street
Beacon, NY 12508

Dear Mr. Augello,

I have received your application for an addition to the front of the second floor, conversion of the front porch to living space and a new front porch of your home located at 127 Catherine Street (Grid # 5954-44-976746) which is in the R1-5 Zoning District. The plan shows the new front covered porch will not have a proper side yard setback on the west side which does not conform to the current Schedule of Dimensional Regulations. The required setback for the side yard is 10'. As per the plot plan only 8'-5 1/4" is being provided on the east side yard.

223-17. D Schedule of Dimensional Regulations

Side Yard

Required side yard setback 10'

Proposed side yard setback 8'-5 1/4"

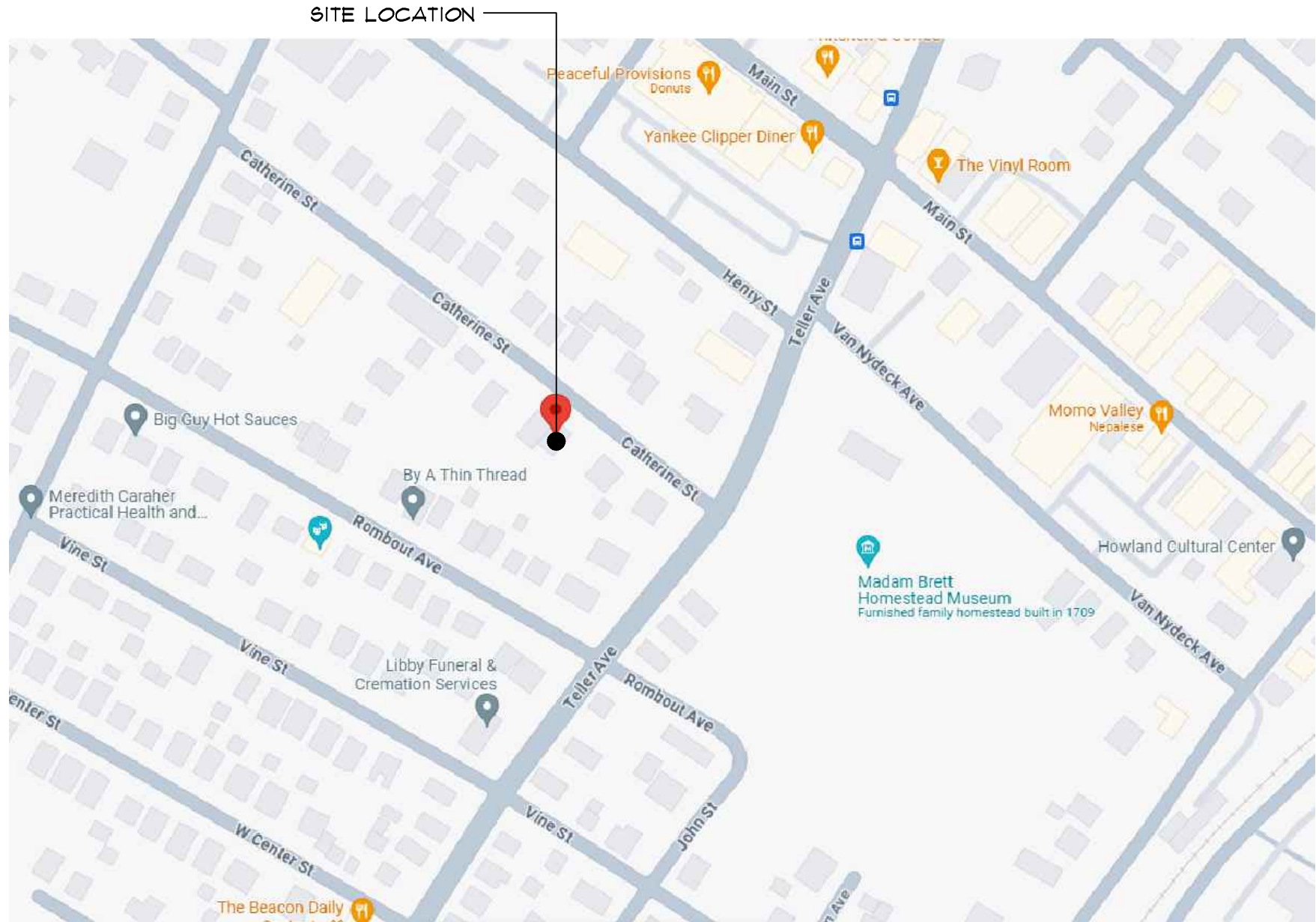
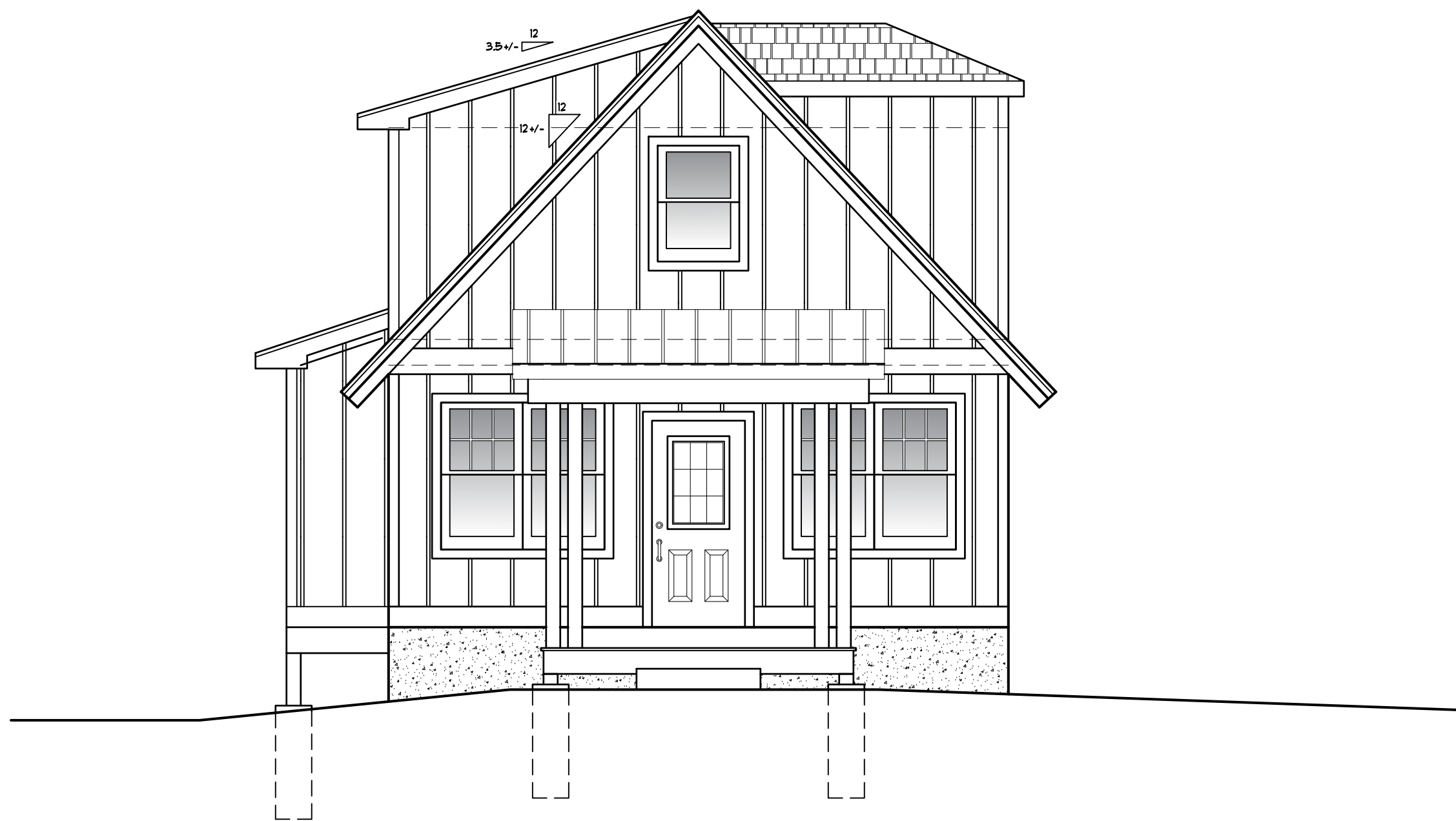
The requested variance is 1'-6 3/4"

You have the right to appeal this decision with the Zoning Board of Appeals. If you wish to appeal this decision, please contact the Zoning Board of Appeals Secretary regarding the application and instructions.

Sincerely,

Bruce Flower
Building Inspector

PROPOSED ADDITION FOR
PETE AUGELLO
127 CATHERINE STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK



1 SITE LOCATION
C-1 SCALE: N.T.S.

GENERAL NOTES & CODE DATA:

TABLE R301.2 (1) 2020 RCONYS CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SLOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	TOPOGRAPHIC (mph)	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPT	TERMITE					
40 P.S.F.	115	NO	NO	40 P.S.F.	B	SEVERE	42"	MODERATE TO HEAVY	13	YES	NO	576	51.6

2020 RESIDENTIAL CODE OF NEW YORK STATE TABLE N1102.1.2 (R402.1.2) INSULATION & FENESTRATION REQUIREMENTS BY COMPONENTS								
CLIMATE ZONE	FENESTRATION U-VALUE	SKYLIGHT U-VALUE	CEILING R-VALUE	WOOD FRAME R-VALUE	FLOOR R-VALUE	BASEMENT WALLS R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE R-VALUE
ZONE 5	U-30	U-55	R-49"	R-21	R-30	R-19	R-10, 2FT.	R-19

ALL WORK TO BE DONE IN ACCORDANCE WITH THE
2020 RESIDENTIAL CODE OF NEW YORK STATE

SINGLE-FAMILY, WOOD FRAMED TYPE 5b CONSTRUCTION

NOTES:

1) THE PLACEMENT OF THE PERIMETER CONCRETE
FOUNDATION WALL AND THE BASEMENT FLOOR
SLAB ON THE FOOTING WITHIN THE 7 DAYS AFTER
THE FOOTING IS POURED IS PERMITTED.

2) THE BACKFILL OF 3/4 HEIGHT AGAINST THE
PERIMETER FOUNDATION WALL WITHOUT THE FIRST
FLOOR DECK INSTALLED IS PERMITTED.

ALL MANDATORY ITEMS OF THE ENERGY CODE TO BE MET.
1) MIN. OF ONE PROGRAMMABLE THERMOSTAT TO BE
PROVIDED

2) AS PER N1102.1 - 90% OF NEW LIGHT FIXTURES SHALL BE
HIGH-EFFICACY

TO THE BEST OF MY KNOWLEDGE, BELIEF AND
PROFESSIONAL JUDGMENT OF THE UNDERSIGNED JOHN TILL
ARCHITECT, THE PLANS AND SPECIFICATIONS DEPICTED
ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE
APPLICABLE PROVISIONS OF THE 2020 RESIDENTIAL
CODE OF NEW YORK STATE AND NY'S ENERGY CODE 2020.

TABLE R605.2020 RCONYS MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)	
USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS W/ LIMITED STORAGE	20
HABITABLE ATTICS 4 ATTICS SERVED W/ FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

LIST OF DRAWINGS

C-1 COVER SHEET

ARCHITECTURAL

A-1 FOUNDATION PLAN

FIRST FLOOR PLAN

A-2 SECOND FLOOR PLAN

ROOF PLAN

A-3 EXTERIOR ELEVATIONS

A-4 BUILDING SECTIONS

A-5 GENERAL NOTES

A-6 EXISTING FLOOR PLANS
EXISTING ELEVATIONS

LIST OF CONTACTS

ARCHITECT

JOHN E. TILL ARCHITECT
296 MAIN STREET
CORNWALL, NY 125187
EMAIL: JOHNTILL1@VERIZON.NET
PHONE : (845) 534-8120

JOHN
E.
TILL
ARCHITECT

296 MAIN STREET
CORNWALL, NEW YORK 12518
PHONE/ FAX # 845.534.8120



PROPOSED ADDITION FOR
PETE AUGELLO
127 CATHERINE STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK

Revisions:

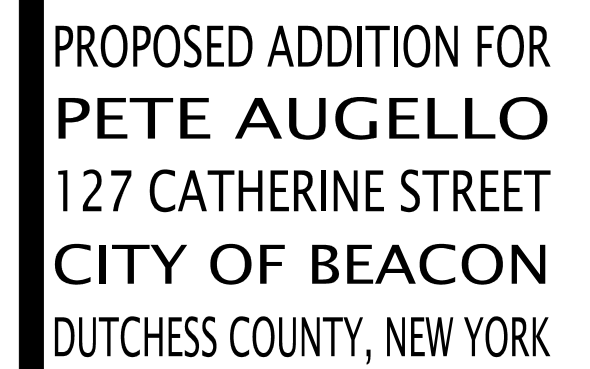
Project No. AUG 2401
Date: 07-30-24
Drawn By: TB
Reviewed By: JT

Sheet Number:

C-1

296 MAIN STREET
CORNWALL, NEW YORK 12518
PHONE/ FAX # 845.534.8120

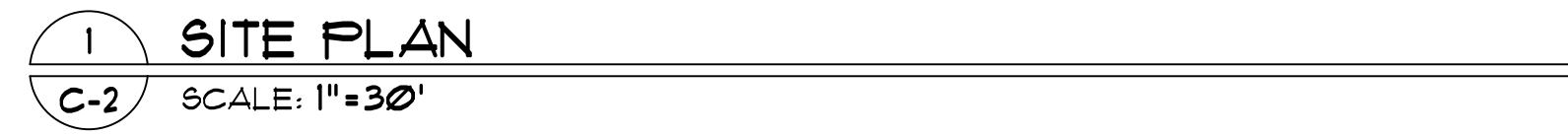
296 MAIN STREET
CORNWALL, NEW YORK 12518
PHONE/ FAX # 845.534.8120



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Sheet Number:

C-2

* PROJECT REQUIRES SIDE YARD VARIANCE

JOHN
E.
TILL
ARCHITECT

296 MAIN STREET
CORNWALL, NEW YORK 12518
PHONE/ FAX # 845.534.8120



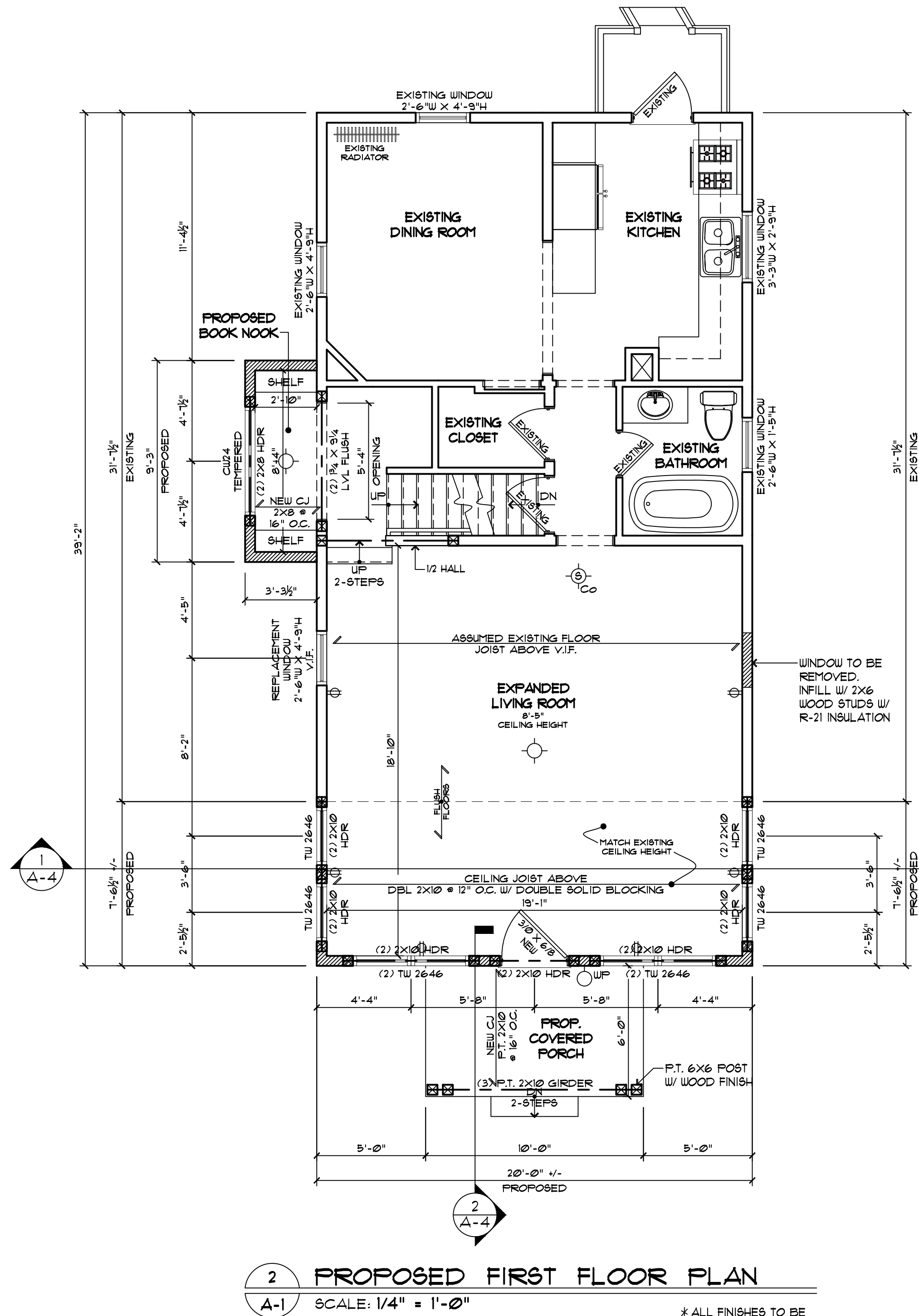
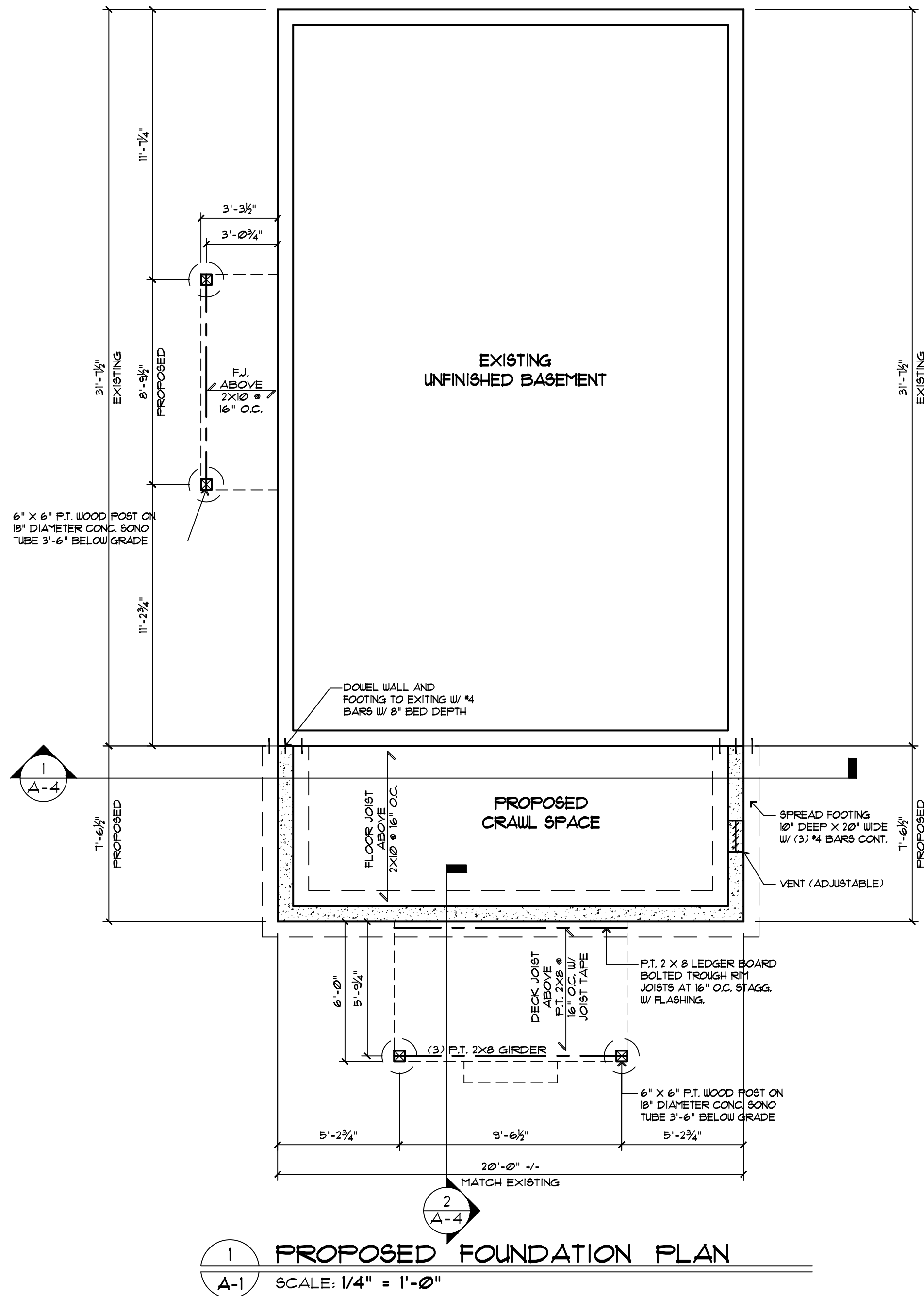
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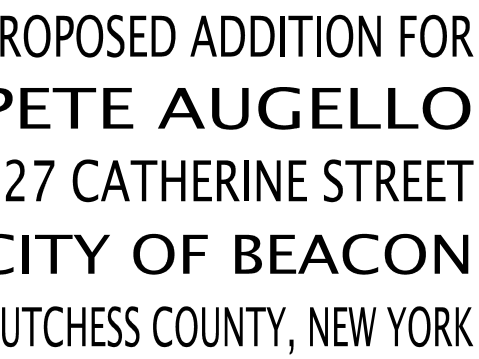
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A-1



WALL TYPE LEGEND	
WALL	DESCRIPTION
[Solid Line]	EXISTING WALL TO REMAIN
[Dashed Line]	EXISTING WALL TO BE REMOVED
[Hatched Pattern]	NEW WOOD STUD WALL
[Stippled Pattern]	NEW CONCRETE WALL

ELECTRICAL SYMBOLS LEGEND	
[Symbol]	DUPLEX OUTLET ALL OUTLETS TO BE ARC FAULT PROTECTED.
[Symbol]	GROUND-FAULT CIRCUIT-INTERRUPTER
[Symbol]	EXTERIOR OUTLET IN WATERPROOF BOX W/ LID
[Symbol]	EXTERIOR WALL MOUNTED SURFACE INCANDESCENT LIGHT FIXTURE W/ WEATHERPROOF COVER AS SELECTED BY OWNER
[Symbol]	CEILING MOUNTED SURFACE INCANDESCENT LIGHT FIXTURE AS SELECTED BY OWNER
[Symbol]	SMOKE- CEILING MOUNTED ALL SMOKE DETECTORS TO BE HARD WIRED AND INTERCONNECTED
[Symbol]	SMOKE/ CARBON MONOXIDE DETECTOR- CEILING MOUNTED ALL SMOKE AND CO DETECTORS TO BE HARD WIRED AND INTERCONNECTED



WALL TYPE LEGEND	
WALL	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WOOD STUD WALL
	NEW CONCRETE WALL

- ## ELECTRICAL SYMBOLS LEGEND
- 
 - DUPLEX OUTLET
ALL OUTLETS TO BE ARC FAULT PROTECTED.
 - 
 - GROUND-FAULT CIRCUIT-INTERRUPTER
 - 
 - EXTERIOR OUTLET IN WATERPROOF BOX W/ LID
 - 
 - EXTERIOR WALL MOUNTED SURFACE
INCANDESCENT LIGHT FIXTURE W/
WEATHERPROOF COVER
AS SELECTED BY OWNER
 - 
 - CEILING MOUNTED SURFACE
INCANDESCENT LIGHT FIXTURE AS
SELECTED BY OWNER
 - 
 - SMOKE- CEILING MOUNTED
ALL SMOKE DETECTORS TO
BE HARD WIRED AND
INTERCONNECTED
 - 
 - SMOKE/ CARBON MONOXIDE
DETECTOR- CEILING MOUNTED
ALL SMOKE AND CO DETECTORS TO
BE HARD WIRED AND
INTERCONNECTED



JOHN
E.
TILL
ARCHITECT

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CORNWALL, NEW YORK 12518
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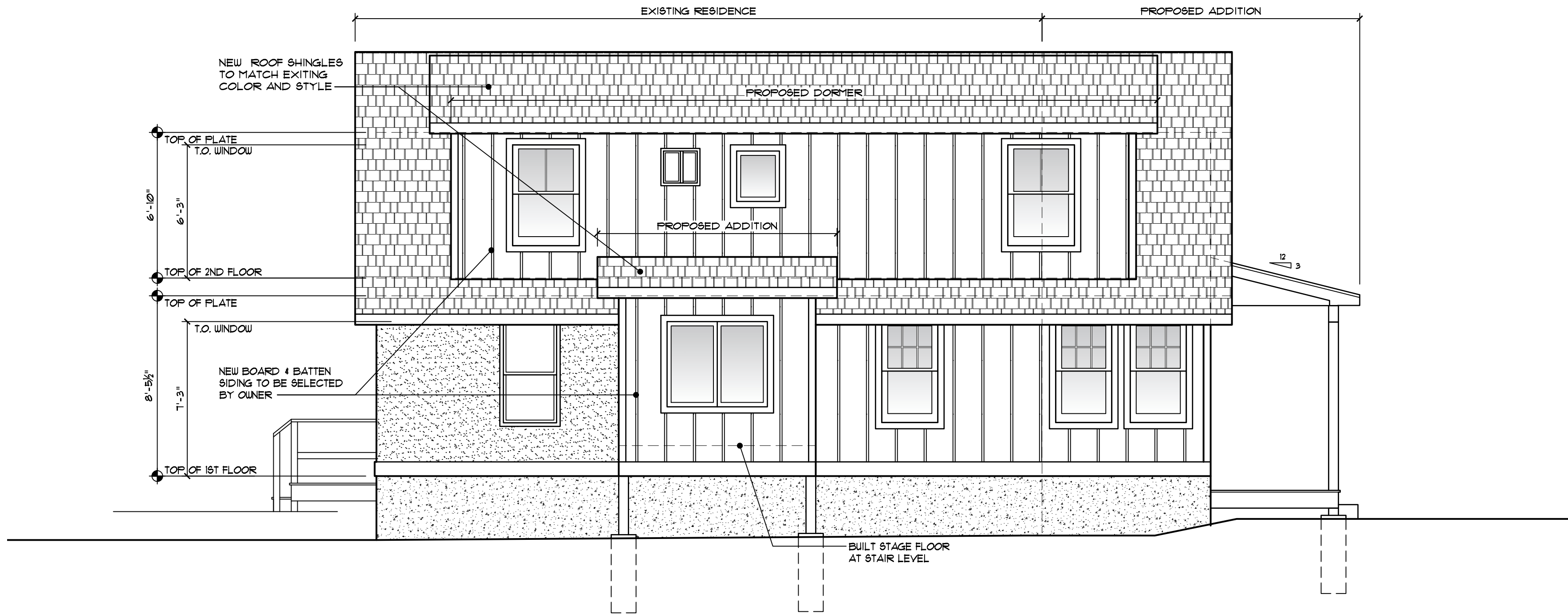
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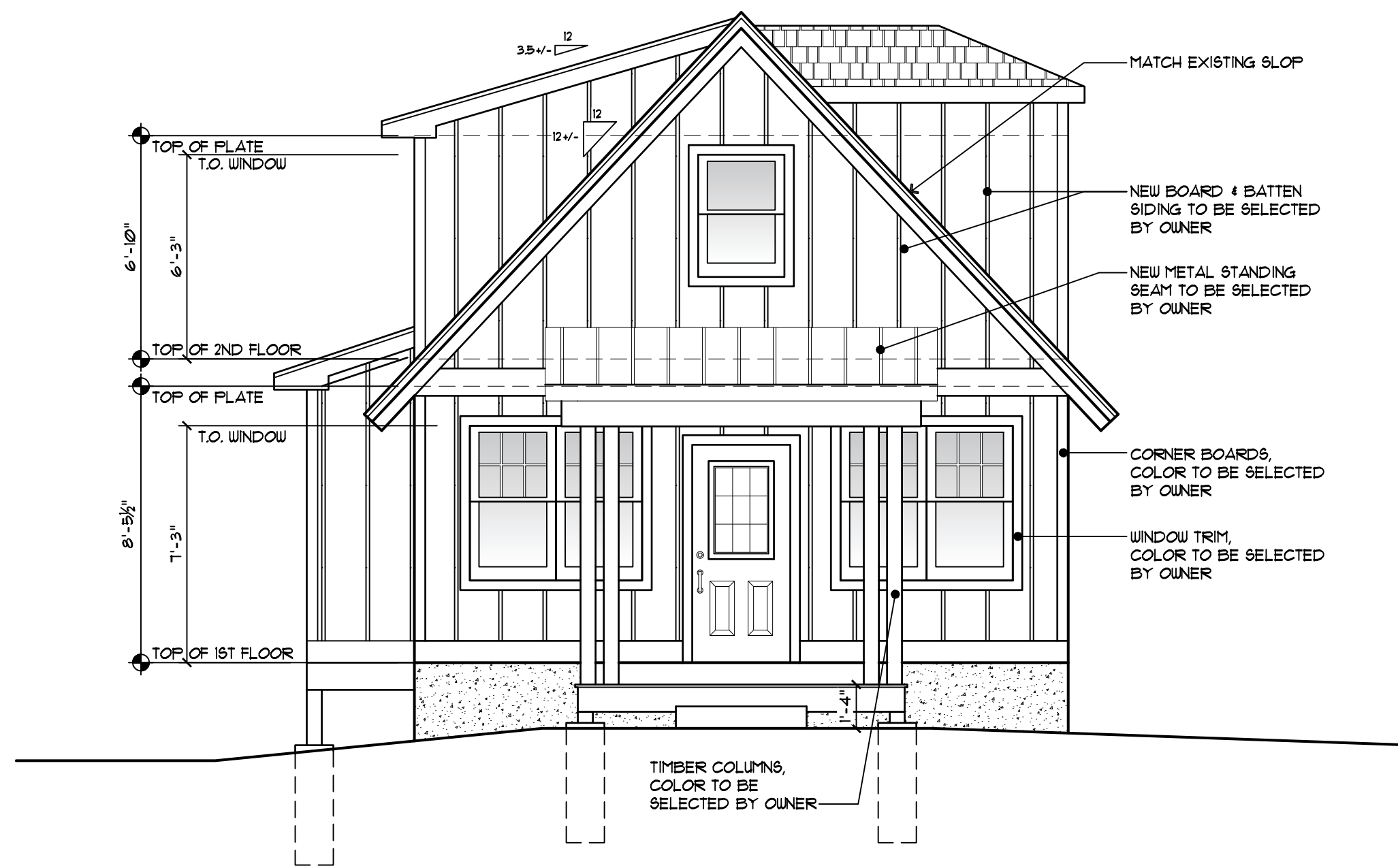
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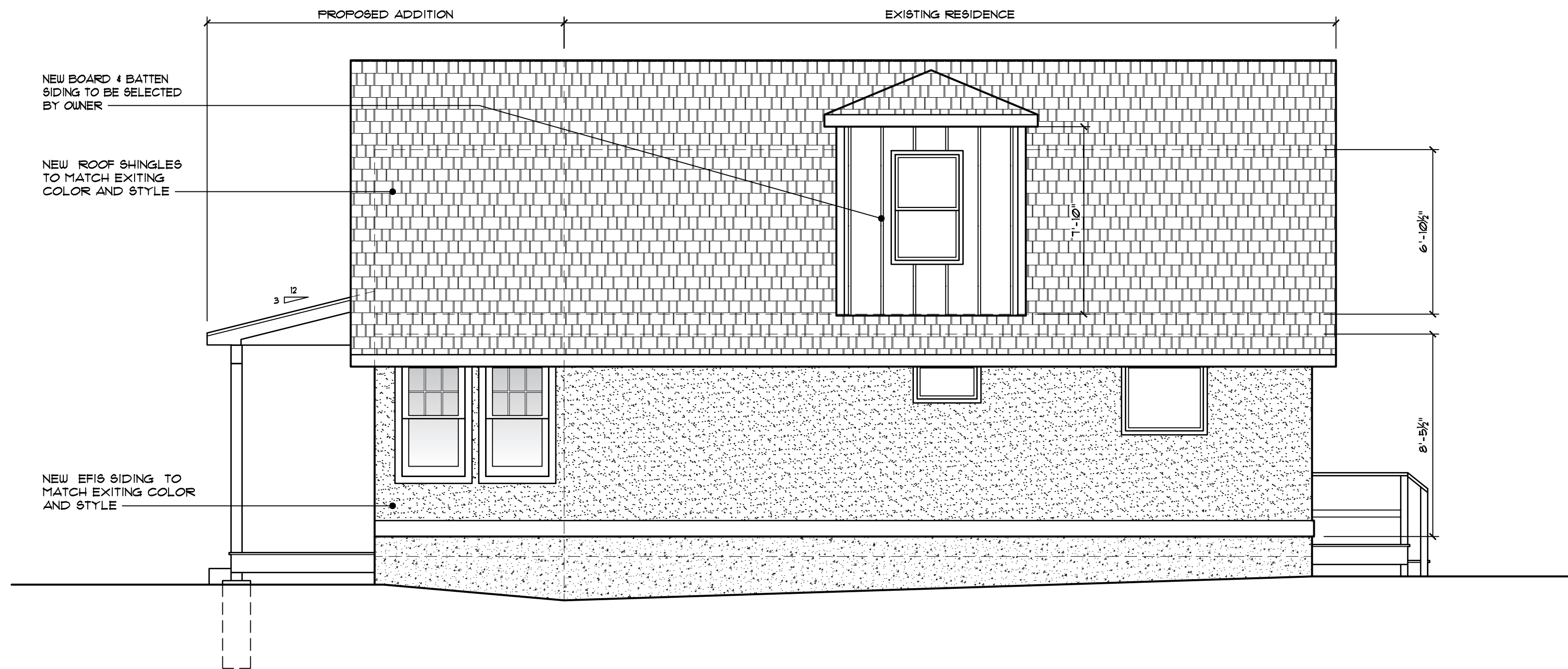
A-3



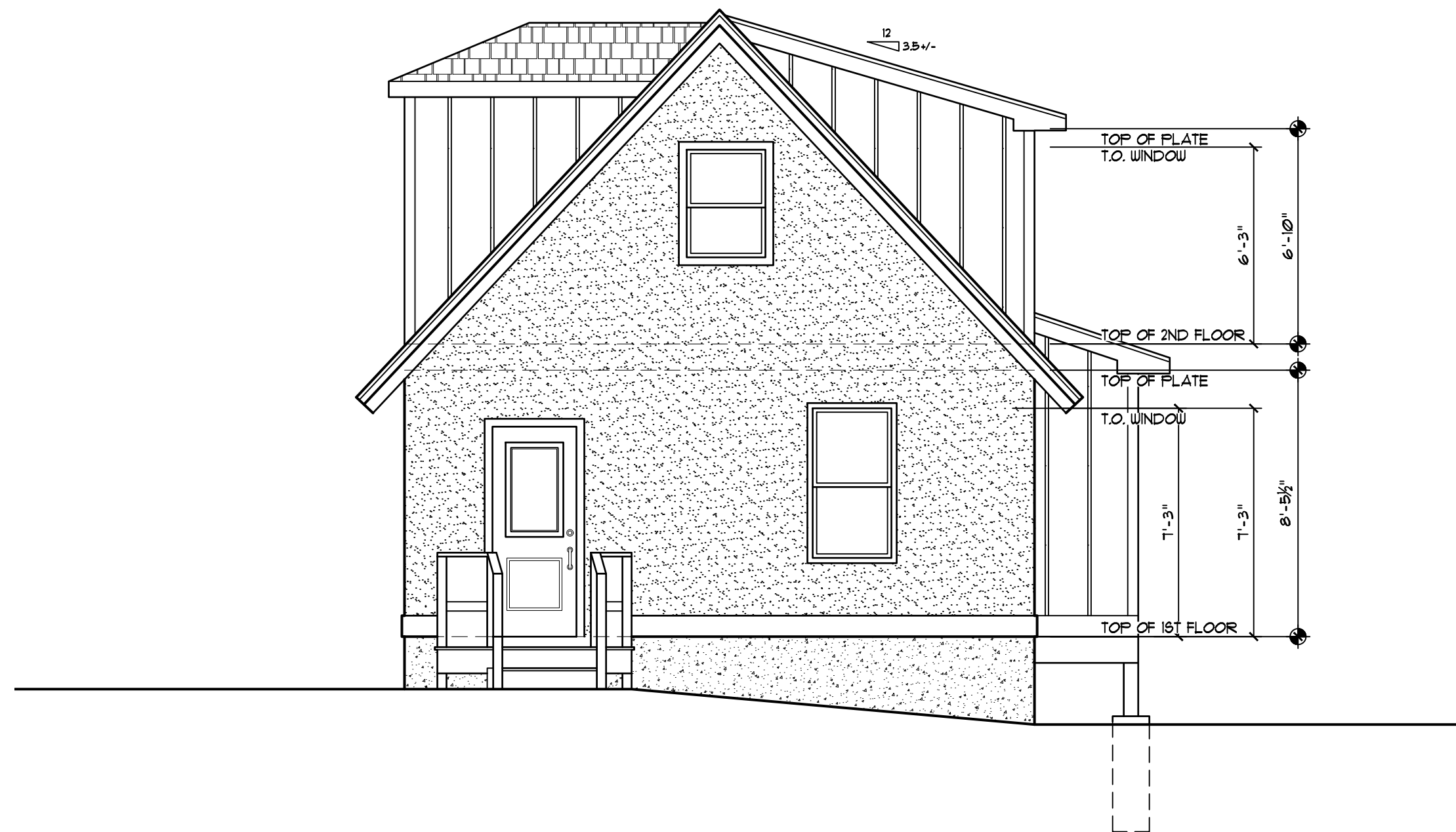
1 PROPOSED LEFT SIDE ELEVATION
A-3 SCALE: 1/4" = 1'-0"



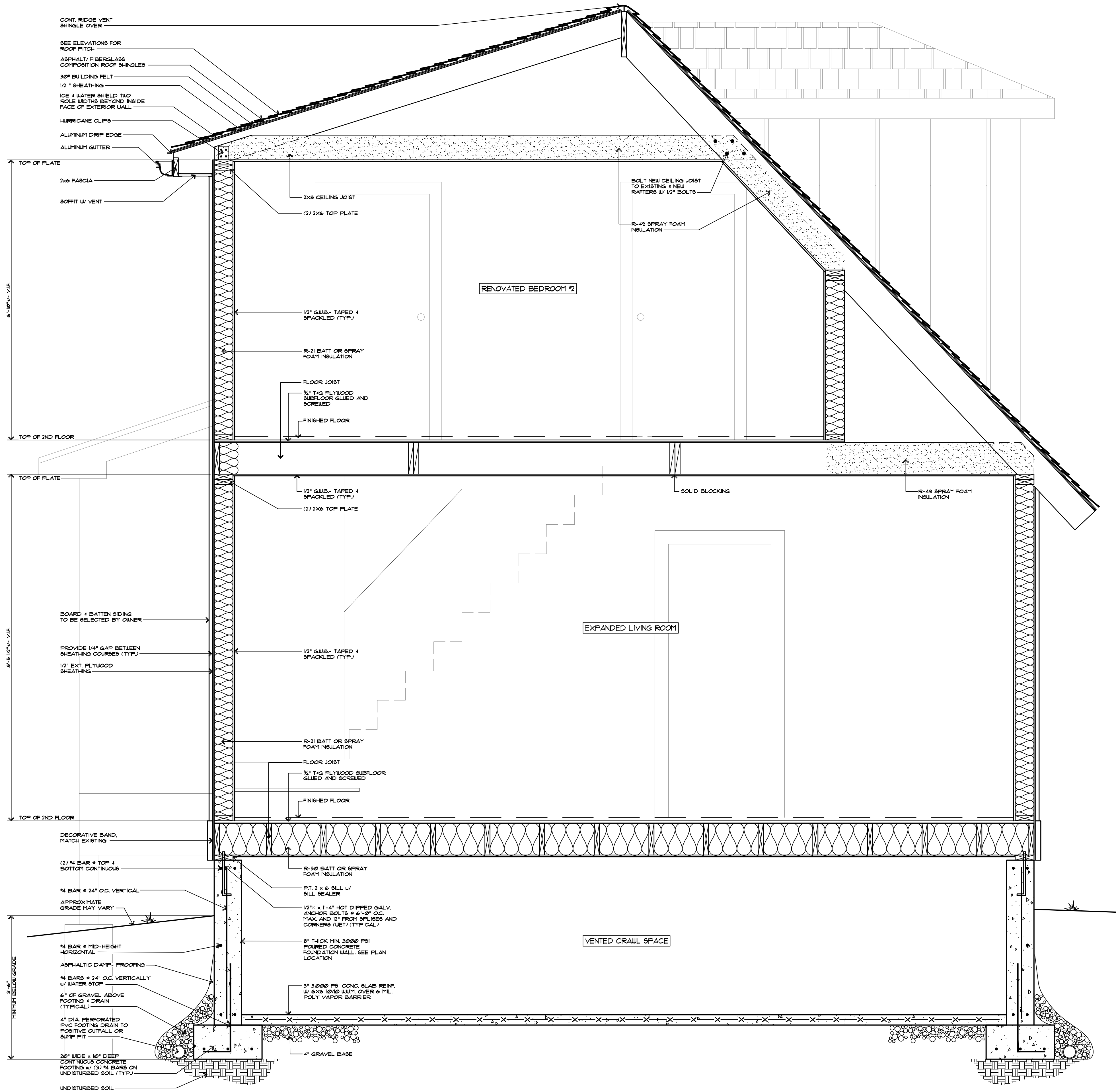
2 PROPOSED FRONT ELEVATION
A-3 SCALE: 1/4" = 1'-0"



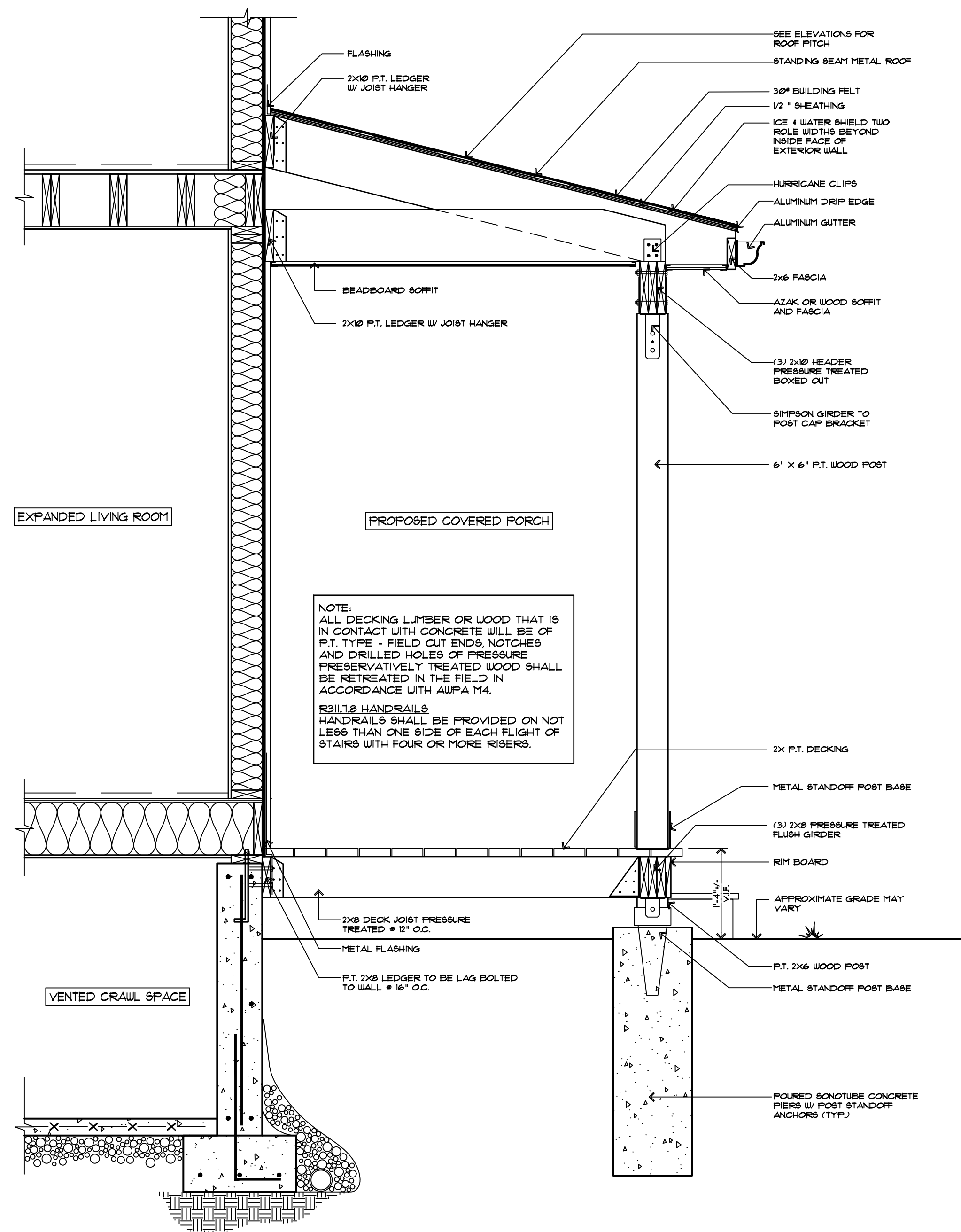
3 PROPOSED RIGHT SIDE ELEVATION
A-3 SCALE: 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
A-3 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A-4 SCALE: 3/4" = 1'-0"



2 FRONT PORCH SECTION
A-4 SCALE: 3/4" = 1'-0"

JOHN E. TILL ARCHITECT

296 MAIN STREET
CORNWALL, NEW YORK 12518
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SEAL



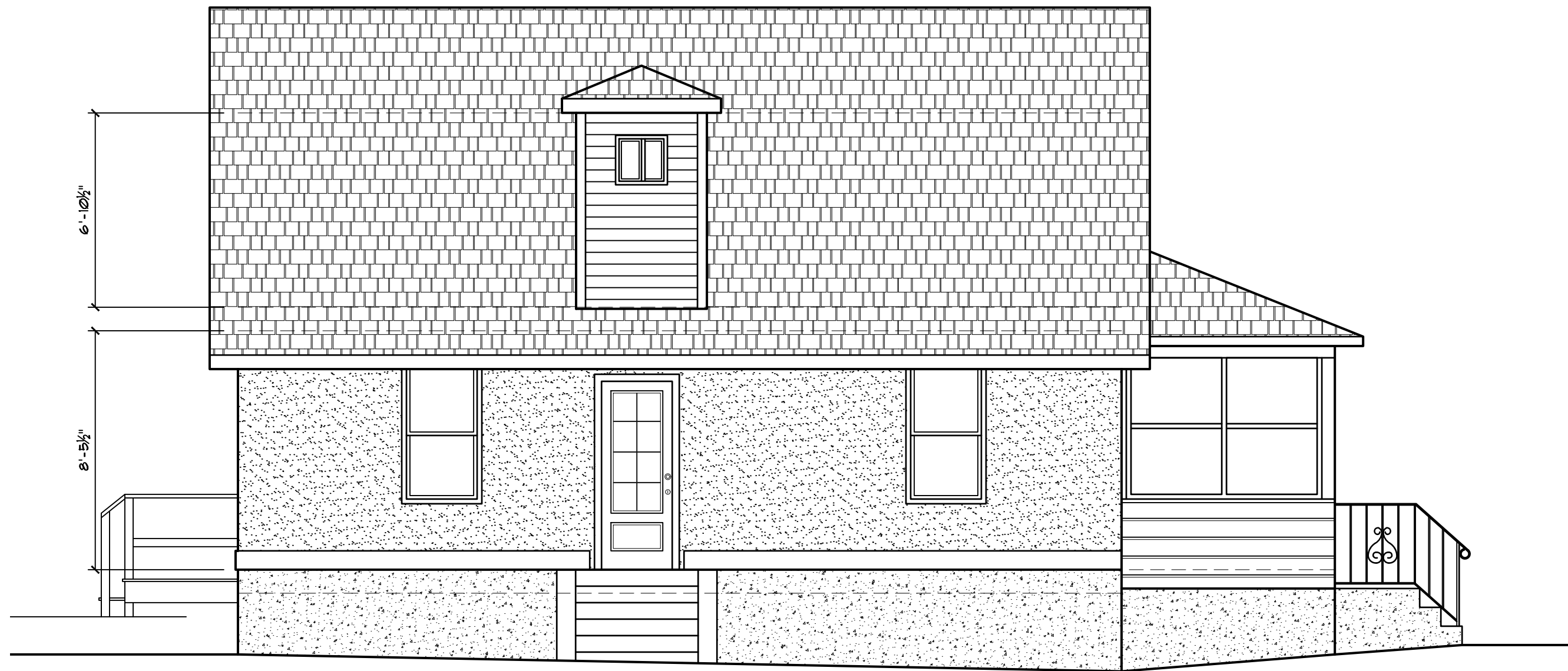
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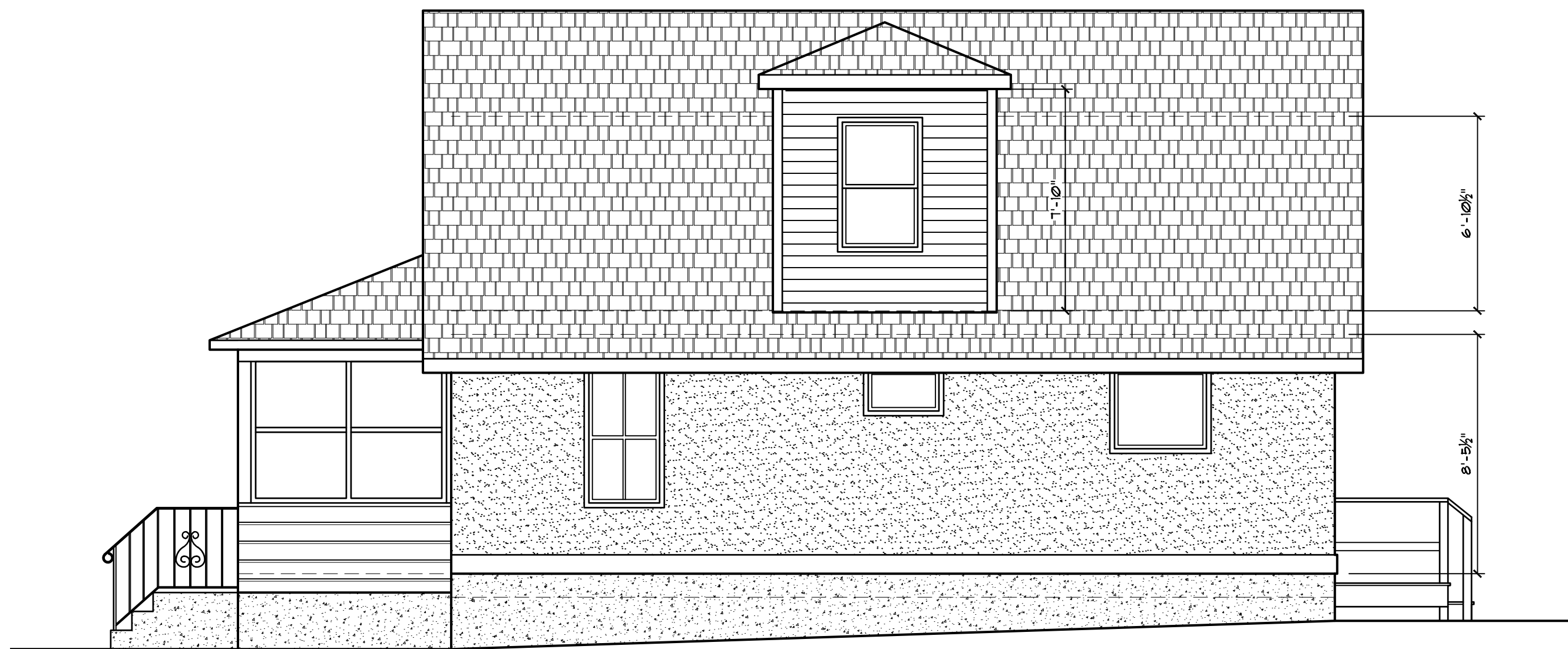
A-4



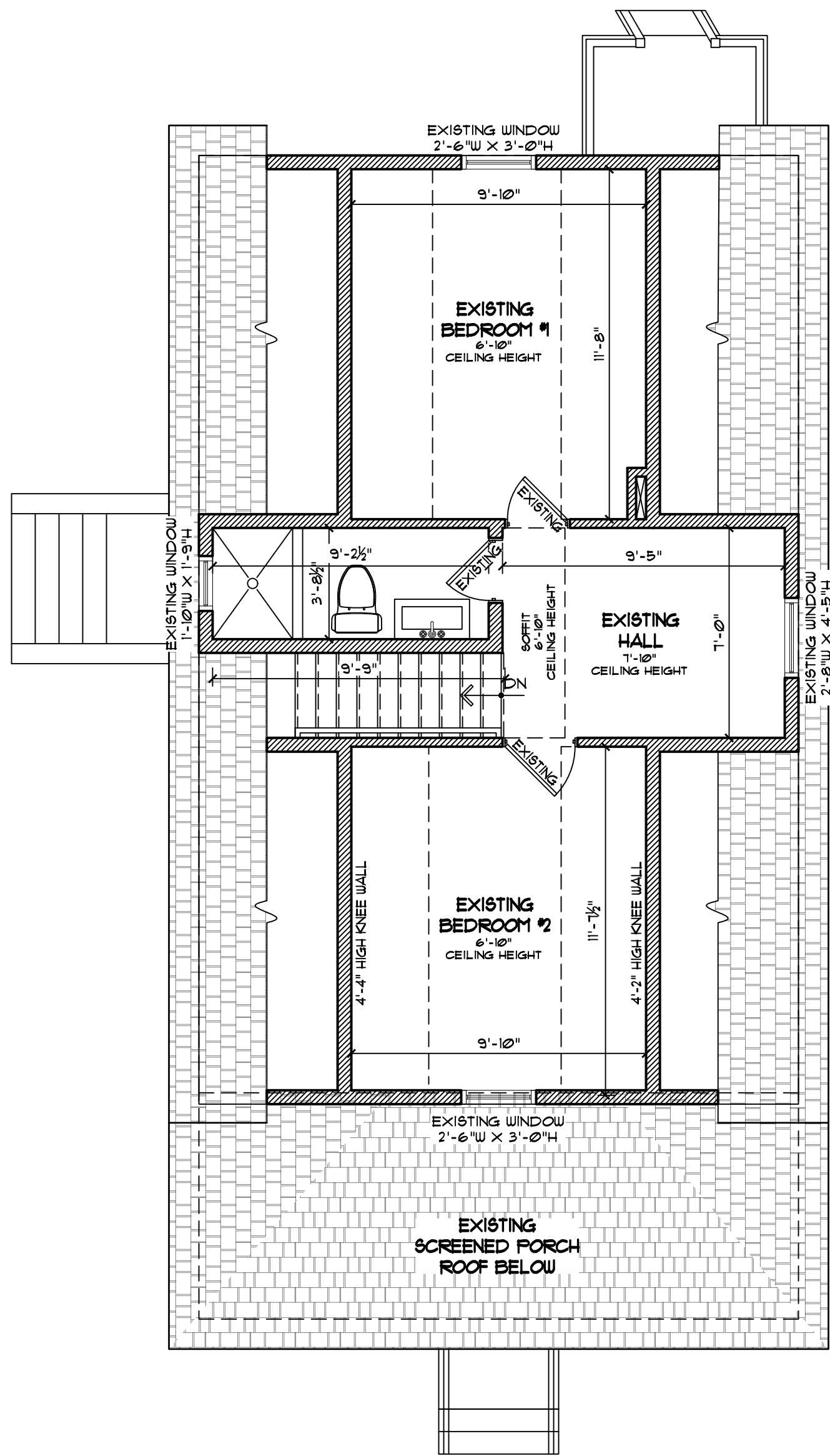
1 EXISTING LEFT SIDE ELEVATION
A-5 SCALE: 1/4" = 1'-0"



2 EXISTING REAR ELEVATION
A-5 SCALE: 1/4" = 1'-0"



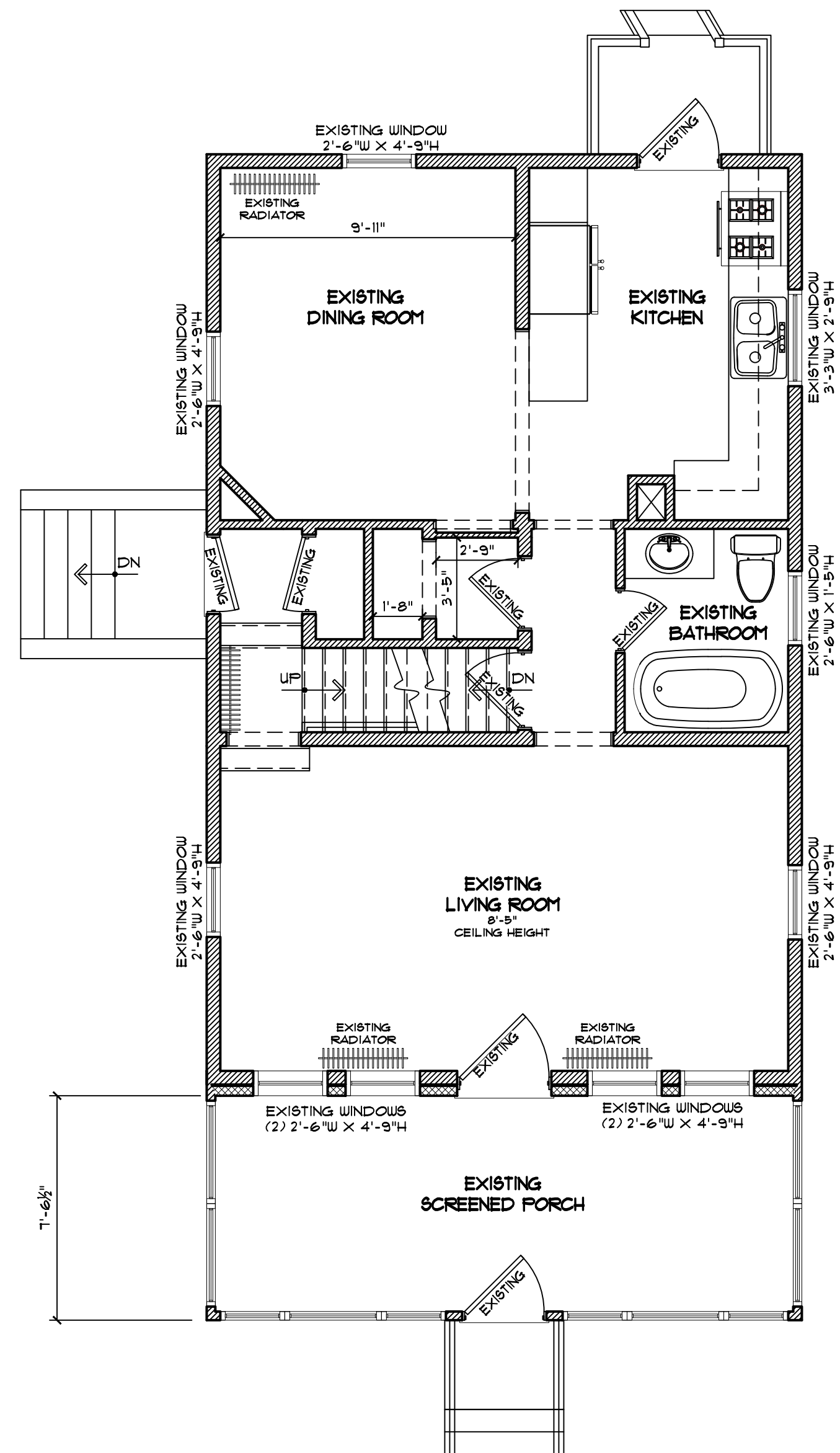
3 EXISTING RIGHT SIDE ELEVATION
A-5 SCALE: 1/4" = 1'-0"



4 EXISTING SECOND FLOOR PLAN
A-3 SCALE: 1/4" = 1'-0"



5 EXISTING FRONT ELEVATION
A-5 SCALE: 1/4" = 1'-0"



6 EXISTING FIRST FLOOR PLAN
A-5 SCALE: 1/4" = 1'-0"

JOHN E. TILL ARCHITECT

296 MAIN STREET
CORNWALL, NEW YORK 12518
PHONE/ FAX # 845.534.8120



PROPOSED ADDITION FOR
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A-5

BUILDING PLANNING

- 1) ALL CONSTRUCTION MEANS AND METHODS SHALL CONFORM TO THE LATEST EDITION OF THESE BUILDING CODES:
- A) 2020 RESIDENTIAL CODE OF NEW YORK STATE
 - B) 2020 PLUMBING CODE OF NEW YORK STATE, 2020 MECHANICAL CODE OF NEW YORK STATE, 2020 FUEL GAS CODE OF NEW YORK STATE
 - C) 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
 - D) LOCAL BUILDING ORDINANCES 2020
- 2) ALL HORIZONTAL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF FURRING. ALL VERTICAL DIMENSIONS ARE TO TOP OF SUBFLOORING OR FACE OF CEILING FRAMING.
- 3) ALL GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWER, AND ALL FIXED OR OPERABLE GLAZING PANELS WITHIN 24" OF A DOOR SHALL BE TEMPERED.
- 4) ALL WALLS OF GARAGE ADJACENT TO HOUSE SHALL BE FACED WITH ONE LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON GARAGE SIDE & ONE LAYER 1/2" TYPE "X" GIB ON HOUSE SIDE. GARAGE CEILING SHALL BE CONSTRUCTED WITH 5/8" TYPE "X" GYPSUM BOARD. ALL GIB, JOINTS FINISHED WITH ONE COAT TAPE AND SPACKLE, MIN. GARAGE DOOR INTO HOUSE SHALL BE "C" LABEL, 3/4" HR. FIRE RATED. THE ARCHITECT.
- 5) INTERIOR STAIRS TO HAVE MAX. 1-3/4" RISERS AND MIN. 10" TREADS & 1/4" NOSING. MINIMUM STAIR HEAD ROOM TO BE 6'-8". EXTERIOR STAIRS TO HAVE A MAX. 7" RISERS AND 11" TREADS
- 6) ALL PLUMBING LINES IN EXTERIOR WALLS OR IN CONCEALED AREAS OR EXPOSED UNHEATED AREA TO BE INSULATED WITH R-15 BATTS MIN.
- 7) DO NOT CUT, DRILL, REMOVE OR DAMAGE STRUCTURAL MEMBERS IN ANY WAY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- 8) DRILL WOOD WHICH IS LIKELY TO SPLIT BEFORE NAILING, REPLACE ALL SPLIT PIECES.
- 9) CABINETS /CASEWORK TO BE DESIGNED BY OTHERS. CABINET DESIGNER SHALL FIELD MEASURE AREA OF WORK AFTER DRYWALL INSTALLATION FOR PROPER FITTING.

FOUNDATION AND FOOTING NOTES

- CONCRETE WALL AND FOOTING MATERIAL: READY MIXED CONCRETE SHALL HAVE A 28 DAY MIN. COMPRESSIVE STRENGTH (F'C) OF 3000 P.S.I.
- CONCRETE SLAB MATERIAL: READY MIXED CONCRETE SHALL HAVE A 28 DAY MIN. COMPRESSIVE STRENGTH (F'C) OF 4000 P.S.I.
- FOOTING SHALL BE SUPPORTED ON UNDISTURBED SOIL WITH A PRESUMTIVE SOIL BEARING CAPACITY OF 3000 + PER SQ. FT.

FLOORS

- 1) STRUCTURAL STEEL (IF APPLICABLE) TO BE A36 AND RECEIVE ONE COAT OF RUST INHIBITIVE PAINT. ALL PLATES AND CONNECTIONS TO BE DESIGNED BY FABRICATOR.
- 2) ALL LUMBER MATERIALS SHALL BE NEW, SOUND, DRY MATERIAL FREE FROM DEFECTS AND IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED, AND SHALL BE OF THE SIZES INDICATED ON THE DRAWINGS.
- 3) ALL STUDS, SILLS AND POSTS SHALL BE SFRUCE-PINE-FIR ALLOWING 15% NO. 1 AND 25% NO. 2 GRADE.
- Minimum Stress

Fiber stress (Fb) = 1200 psi

Horizontal shear (Fv) = 95 psi

Modulus of Elasticity (E) = 1,500,000 psi
- 4) ALL BEAMS, JOISTS, RAFTERS AND HEADERS SHALL BE KD-NO. 1 DOUGLAS-FIR, 15% MAXIMUM MOISTURE CONTENT, DENIE NO. 2 GRADE OR BETTER (UNLESS DRAWINGS CALL FOR ENGINEERED LUMBER OF BETTER GRADE).
- Minimum Stress

Fiber stress (Fb) = 1450 psi

Horizontal shear (Fv) = 95 psi

Modulus of Elasticity (E) = 1,700,000 psi
- 5) OTHER FRAMING LUMBER TO BE NO. 2 SPF.

- 6) ALL WOOD IN CONTACT WITH CONCRETE OR GROUND SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE, 40 CCA PRESSURE PRESERVATIVE TREATED.
- 7) FLOOR JOISTS TO BE DOUBLED BELOW ALL INTERIOR PARTITIONS RUNNING PARALLEL TO THE JOIST FRAMING.
- 8) SUBFLOOR TO BE CDX PLYWOOD, TONGUE-AND-GROOVE, GLUED AND SCREWED. FLOOR AREAS SCHEDULED FOR CERAMIC TILE FINISH TO HAVE ADDITIONAL LAYER OF 1/2" CDX PLYWOOD SUBSTRATE INSTALLED, WITH 1/2" SUBSTRATE SHEETS RUNNING PERPENDICULAR TO SUBFLOOR SHEETS.
- 9) MINIMUM FLOOR JOIST BEARING SHALL BE AT LEAST 1 1/2" ON WOOD AND AT LEAST 3" ON MASONRY OR CONCRETE.
- 10) FLOOR JOISTS LARGER THAN 2X12 SHALL BE SUPPORTED LATEROALLY BY SOLID BLOCKING OR DIAGONAL WOOD OR METAL BRIDGING AT INTERVALS NOT EXCEEDING 8 FEET.
- 11) THE DIAMETER OF HOLES BORED INTO JOISTS SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST, TOP OR BOTTOM, OR TO ANY OTHER HOLE IN THE JOIST.
- 12) HEADER JOIST SPANS THAT EXCEED 4 FEET IN LENGTH SHALL BE CONSTRUCTED OF DOUBLE JOISTS. HEADER JOIST SPANS EXCEEDING 6 FEET SHALL BE FASTENED WITH HANGERS.
- 13) WOOD TRUSSES SHALL NOT BE CUT, NOTCHED, SPICED, OR OTHERWISE ALTERED. TRUSS DESIGN DRAWINGS PREPARED BY A LICENSED ENGINEER SHALL BE PROVIDED TO THE CODE ENFORCEMENT OFFICER PRIOR TO INSTALLATION.
- 14) DRAFTSTOPPING SHALL BE INSTALLED WHEN EITHER A CEILING IS SUSPENDED UNDER THE FLOOR FRAMING OR THE FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS. DRAFTSTOPPING SHALL BE 1/2" GIB, 3/8" WOOD STRUCTURAL PANELS, OR 3/8" TYPE 2-H-111 PARTICLE BOARD, AND SHALL DIVIDE THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQ. FT.
- 15) END JOINTS IN SUBFLOORING SHALL OCCUR OVER SUPPORTS.
- 16) PARTICLEBOARD USED FOR FLOOR UNDERLAYMENT SHALL BE MIN. 1/4" THICK AND SHALL CONFORM TO TYPE FBU.
- 17) ALL ENGINEERED LUMBER TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
- 18) ALL SPOTON (OR OTHER) FASTENERS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

WALL COVERING

- 1) VINYL CLAPBOARD SIDING SHALL BE MIN. @235" THICK WITH LAPPED HORIZONTAL JOINTS. SIDING SHALL BE SECURED WITH 1 1/2" LONG @120" NAILS OVER PLYWOOD SHEATHING. SHEATHING PAPER IS NOT REQUIRED.
- 2) CAULK AND/ OR SEAL ALL EXPOSED EXTERIOR AND INTERIOR JOINTS DIRECTLY EXPOSED TO WEATHER, INFILTRATION, ADJUTING TWO MATERIALS OR SURFACES, SETTING BEDS, UNDER FLASHING, GAPS IN MATERIALS, ETC.
- 3) STONE VENEER TO BE CULTURED STONE SIMULATED STONE PRODUCT, MANUFACTURED BY STONE PRODUCTS CORPORATION OR EQUIVALENT. COLOR AND STYLE CHOICES AS PRESENTED BY DEVELOPER. INSTALL AS PER MANUFACTURERS SPECIFICATIONS INCLUDING THE USE OF METAL LATH AND APPLICATION COAT OVER WOOD STUDS/PLYWOOD. DIRECT MORTAR APPLICATION OVER CONCRETE FOUNDATION.
- WALL CONSTRUCTION
- 1) ALL STUDS SHALL BE 16" O.C. AND SHALL BE TOE NAILED UNLESS OTHERWISE NOTED.
- 2) DOUBLE TOP PLATES SHALL BE LAPPED AT CORNERS, WITH END JOINTS BEING OFFSET AT LEAST 24"
- 3) STUDS MAY BE NOTCHED MAX 25% OF ITS WIDTH IN A BEARING WALL, MAX 40% OF ITS WIDTH IN A NON-BEARING WALL.
- 4) ANY STUD MAY BE DRILLED/BORED TO A MAX OF 40% OF ITS WIDTH IF A MIN OF 5/8" IS MAINTAINED FROM STUD FACE, AND HOLE IS NOT LOCATED IN THE SAME SECTION AS A NOTCH/CUT.
- 5) FIREBLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- A) IN CONCEALED SPACES OF STUD WALLS/PARTITIONS AT THE FLOOR/CEILING LEVEL (MAX. 10' CONTINUOUS BAY).
 - B) IN CONCEALED HORIZONTAL FURRED SPACES AT 10'-0" MAX. INTERVALS.
 - C) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS AT SORRITS, DROP CEILINGES & COVE CEILINGES.
 - D) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF A RUN.
 - E) AT OPENINGS AROUND VENTS, PIPES & DUCTS AT CEILING AND FLOOR LEVEL.
- 6) FIREBLOCKING SHALL CONSIST OF 2X LUMBER OR BATTS/ BLANKETS OF MINERAL WOOL OR GLASS FIBER INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. UNFACED FIBERGLASS BATT INSULATION USED AS FIREBLOCKING SHALL FILL THE ENTIRE CROSS-SECTION OF THE WOOL CAVITY TO A MIN. HEIGHT OF 16". INSULATION SHALL BE PACKED TIGHTLY AROUND CONDUIT, PIPING, ECT. WHICH PENETRATES FIREBLOCKING.
- 7) EXTERIOR SHEATHING ("BRACED WALL PANEL CONSTRUCTION") SHALL BE EITHER:
- A) 1/2" APA-RATED PLYWOOD SHEATHING (STRUCTURAL PANEL SHEATHING)
 - B) 1/2" STRUCTURAL FIBERBOARD SHEATHING

- HORIZONTAL SHEATHING JOINTS SHALL OCCUR OF MIN. 2X BLOCKING.
- 8) BRACED WALL PANELS SHALL BEGIN NO MORE THAN 1/2 FEET FROM EACH END OF THE BRACED WALL LINE.
- 9) WOOD STRUCTURAL PANEL WALL SHEATHING MARKED "EXPOSURE 1" OR "EXTERIOR" ARE CONSIDERED WATER REPELLANT SHEATHING UNDER THE CODE.
- 10) CORROSION-RESISTANT FLASHING SHALL BE INSTALLED TO ENSURE PROPER RUNOFF AND WATERPROOFING AT THESE LOCATIONS:
- A) VALLEYS, MIN. 24" UP BOTH SLOPES
 - B) ALL ROOF/WALL INTERSECTIONS, MIN. 12" VERT.
 - C) ALL ROOF PENETRATIONS
 - D) WINDOW/DOOR HEADS
 - E) SILLS AND THRESHOLDS
 - F) MASONRY FRAME WALL INTERSECTIONS
 - G) OTHER AREAS AS PER PROPER CONSTRUCTION PRACTICE
- 11) UNLESS OTHERWISE NOTED, ALL WINDOW AND DOOR HEADERS SHALL BE AS FOLLOWS: EXTERIOR SHALL BE MINIMUM (2) 2X10'S, INTERIOR SHALL BE MINIMUM (2) 2X8'S.
- 12) WINDOW ROUGH OPENING HEAD HEIGHTS ARE TO BE SET SO THAT FINISHED DOOR AND WINDOW HEAD CASINGS ARE THE SAME HEIGHT.

PLUMBING FIXTURES

1) MINIMUM PIPE/TRAP SIZING:						
	COLD	HOT	TRAP	WASTE	VENT	
WATER CLOSET	1/2"	-	INTERNAL	3"	2"	
LAVATORIES	1/2"	1/2"	1 1/4"	2"	1 1/2"	
SINKS	1/2"	1/2"	1 1/2"	2"	1 1/2"	
BATH TUBS	1/2"	1/2"	1 1/2"	2"	1 1/2"	
SHOWERS	-	1/2"	2"	2"	1 1/2"	
DISHWASHERS	-	1/2"	1 1/4"	1 1/2"	1 1/2"	
BIDET	1/2"	3/8"	1 1/4"	2"	1 1/2"	

ROOF-CEILING CONSTRUCTION

- 1) ATTIC AND CRAWL SPACES SHALL BE VENTED IN PROPORTION OF ONE SQUARE FOOT OF FREE VENT AREA PER 300 SQUARE FEET OF HORIZONTALLY PROJECTED SPACE.

ROOF ASSEMBLIES

- 1) INSTALL CONTINUOUS SELF-SEALING ROOF UNDERLAYMENT (CE AND WATER SHIELD. INSTALL MIN. 3" WIDTH OF MATERIAL ALONG EACH EAVE, LEAVING SUFFICIENT PROJECTION FOR EDGE-CLAMPING OF THE GUTTER.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.10.1 RCNYS		
ROOF		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
BLOCKING BETWEEN CEILING JOIST, RAFTERS OR TRUSSES TO BE TOP PLATE OR OTHER FRAMING BELOW	3-8d COMMON (2 1/2" X @131") 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3/14 GAGE STAPLES, 1/16" CROWN	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	2-8d COMMON (2 1/2" X @131") 2-3" X @131" NAILS 2-3/14 GAGE STAPLES	EACH END, TOENAIL
	2-16d COMMON (3 1/2" X @162") 3-3" X @131" NAILS 3-3/14 GAGE STAPLES	END NAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON (3 1/2" X @162") • 6" O.C. 3" X @131" NAILS • 6" O.C. 3" X 1/4 GAGE STAPLES • 6" O.C.	FACE NAIL
CEILING JOIST TO TOP PLATE	3-8d COMMON (2 1/2" X @131") 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3" X 1/4 GAGE STAPLES, 1/16" CROWN	EACH JOIST, TOENAIL
CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPs OVER PARTITIONS (NO THRUST)	3-16d COMMON (3 1/2" X @131") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" X 1/4 GAGE STAPLES, 1/16" CROWN	FACE NAIL
CEILING JOIST ATTACHED TO PARALLEL RATER (HEEL JOINT)		FACE NAIL
COLLAR TIE TO RAFTER	3-10d COMMON (3 1/2" X @148") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	FACE NAIL
RAFTER OR ROOF TRUSS TO TOP PLATE	3-10 COMMON (3" X @148") 3-16d BOX (3 1/2" X @135") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	TOENAIL
ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTER OR ROOF RAFTER TO 2-INSH RIDGE BEAM	3-10d COMMON (3 1/2" X @148") 3-16d BOX (3 1/2" X @135") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	TOENAIL
WALL		
STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X @162") 10d BOX (3" X @128") 3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	24" O.C. FACE NAIL 16" O.C. FACE NAIL
STUD TO STUD AND ABUTTING STUDS AT INTERSECTION WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" X @162") 16d BOX (3 1/2" X @135") 3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL
BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON (3 1/2" X @162") 16d BOX (3 1/2" X @135")	16" O.C. EACH EDGE, FACE NAIL 12" O.C. EACH EDGE, FACE NAIL
CONTINUOUS HEADER TO STUD	4-8d COMMON (2 1/2" X @131") 4-10d BOX (3" X @128")	TOENAIL
TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" X @162") 10d BOX (3" X @128") 3" X @131" NAILS 3" 1/4 GAGE STAPLES, 1/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL
TOP PLATE TO TOP PLATE, AT EACH ENDS	8-16d COMMON (3 1/2" X @162") 12-10d BOX (3" X @128") 12-3" X @131" NAILS 12-3" 1/4 GAGE STAPLES, 1/16" CROWN	EACH SIDE OF EACH JOINT, FACE NAIL (MINIMUM 24" LAP, SPlice LENGTH EACH SIDE OF END JOINT
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL)	16d COMMON (3 1/2" X @162") 16d BOX (3 1/2" X @135") 3" X @131" NAILS 3" 1/4 GAGE STAPLES, 1/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	2-16d COMMON (3 1/2" X @162") 3-10d BOX (3 1/2" X @135") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	16" O.C. FACE NAIL
STUD TO TOP OR BOTTOM PLATE	4-8d COMMON (2 1/2" X @131") 3-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	TOENAIL
	2-16d COMMON (3 1/2" X @162") 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	END NAIL
TOP OR BOTTOM PLATE TO STUD	2-16d COMMON (3 1/2" X @162") 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	END NAIL
TOP PLATES, LAPs AT CORNERS AND INTERSECTIONS	2-16d COMMON (3 1/2" X @162") 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	FACE NAIL
1" BRACE TO EACH STUD AND PLATE	2-8d COMMON (2 1/2" X @131") 2-10d BOX (3" X @128") 2-3" X @131" NAILS 2-3" 1/4 GAGE STAPLES, 1/16" CROWN	FACE NAIL
1" X 6" SHEATHING TO EACH BEARING	2-8d COMMON (2 1/2" X @131") 2-10d BOX (3" X @128")	FACE NAIL
1" X 8" AND WIDER SHEATHING TO EACH BEARING	3-8d COMMON (2 1/2" X @131") 3-10d BOX (3" X @128")	FACE NAIL
FLOOR		
JOIST TO SILL, TOP PLATE, OR GIRDER	3-8d COMMON (2 1/2" X @131") FLOOR 3-10d BOX (3" X @128") 3-3" X @131" NAILS 3-3" 1/4 GAGE STAPLES, 1/16" CROWN	TOENAIL
RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW	8d COMMON (2 1/2" X @131") 10d BOX (3" X @128") 3" X @131" NAILS 3" 1/4 GAGE STAPLES, 1/16" CROWN	6" O.C. TOENAIL
1" X 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2 1/2" X @131") 2-10d BOX (3" X @128")	FACE NAIL
2" SUBFLOOR TO JOIST OR GIRDER 2" PLANKS (PLANK & BEAM-FLOOR & ROOF)	2-16d COMMON (3 1/2" X @162") 2-16d COMMON (3 1/2" X @162")	FACE NAIL EACH BEARING, FACE NAIL
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d COMMON (4" X @152") 10d BOX (3" X @128") 3" X @131" NAILS 3" 1/4 GAGE STAPLES, 1/16" CROWN	32" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES 24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" X @162") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	EACH JOIST OR RAFTER, FACE NAIL
JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON (3 1/2" X @162") 4-10d BOX (3" X @128") 4-3" X @131" NAILS 4-3" 1/4 GAGE STAPLES, 1/16" CROWN	END NAIL
BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2-8d COMMON (2 1/2" X @131") 2-10d BOX (3" X @128") 2-3" X @131" NAILS 2-3" 1/4 GAGE STAPLES, 1/16" CROWN	EACH END, TOE NAIL

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.10.1 RCNYS (CONT.)			
WOOD STRUCTURAL PANELS (WSP), SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
3/8"-1/2"	6d COMMON OR DEFORMED (2 1/2" X @113") (SUBFLOOR AND WALL	6	12
	8d BOX OR DEFORMED (2 1/2" X @113") (ROOF)	6	12
	2-3/8" X @113" NAIL (SUBFLOOR AND WALL)	6	12
	1-3/4" 16 GAGE STAPLE, 1/16" CROWN (SUBFLOOR AND WALL)	4	8
	2-3/8" X @113" NAIL (ROOF)	4	8
1/3/32"-3/4"	1-3/4" 16 GAGE STAPLE, 1/16" CROWN (ROOF)	3	6
	8d COMMON (2 1/2" X @131") 6d DEFORMED (2" X @113")	6	12
1/8" - 1-1/4"	2-3/8" X @113" NAIL 2" 16 GAGE STAPLE, 1/16" CROWN	4	8
1/8" - 1-1/4"	10d COMMON (3" X @148") 8d DEFORMED (2 1/2" X @131")	6	12
OTHER EXTERIOR WALL SHEATHING			
1/2" FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD) 1 1/4" 16 GAGE STAPLE WITH 7/16" 1" CROWN	3	6
25/32" FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD) 1 1/4" 16 GAGE STAPLE WITH 7/16" 1" CROWN	3	6
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
3/4" AND LESS	8d COMMON (2 1/2" X @131") 8d DEFORMED (2" X @113")	6	12
7/8"-1"	8d COMMON (2 1/2" X @131") 8d DEFORMED (2 1/2" X @131")	6	12
1-1/8" - 1-1/4"	10d COMMON (3" X @148") 8d DEFORMED (2 1/2" X @131")	6	12
PANEL SIDING TO FRAMING			
1/2" OR LESS	6d CORROSION-RESISTANT SIDING (1 1/4" X @106") 6d CORROSION-RESISTANT CASING (2" X @299")	6	12
5/8"	8d CORROSION-RESISTANT SIDING (2-3/8" X @128") 8d CORROSION-RESISTANT CASING (2 1/2" X @113")	6	12
INTERIOR PANELING			
1/4"	4d CASING (1 1/2" X @280") 4d FINISH (1 1/2" X @212")	6	12
3/8"	6d CASING (2" X @299") 6d FINISH (PANEL SUPPORTS AT 24 INCHES)	6	12

FOR 51: 1 INCH = 25.4 MM.

- a. NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON BOX OR CASING.
- b. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES N CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- c. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THE SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

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