



CITY OF BEACON, NEW YORK
COURTROOM, CITY HALL
1 MUNICIPAL PLAZA
BEACON, NY 12508

July 20, 2021

7:00 PM

Zoning Board of Appeals Agenda

Regular Meeting

1. Review and hold public hearing on application submitted by Katharine Baker & Gamble Staempfli, 10 Herbert Street, Tax Grid No. 30-6054-30-135856-00, R1-5 Zoning District, for relief from Section 223-17(E) to construct an addition with an 8.8 ft. rear yard setback (20 ft. required)
2. This item removed from agenda at the request of the applicant - will be postponed until August.Â Â Continue review and public hearing on application submitted by Scott Herring & Lauren Johnson, 20 Paye Street, Tax Grid No. 30-5954-15-730297-00, R1-10 Zoning District, for relief from Section 223-17(E) to construct a one-story 1-1/2 car garage with 21.11 ft. front yard setback (25 ft. required)Â and 9.4 ft. side yard setback (15 ft. required)
3. Review and hold public hearing on application submitted by Kristine Allen, 7 Violet Drive, Tax Grid No. 30-6054-02-508868-00, R1-10 Zoning District, for relief from Section 223-17(E) for a second story addition over an existing one-story single family house with 12.8 ft. side yard setback (15 ft. required) and 28.6 rear yard setback (35 ft. required)
4. Review and hold public hearing on application submitted by Beacon 248 Holdings, LLC, 248 Tioronda Avenue, Tax Grid No.'s 30-5954-16-993482-00 & 30-6054-45-012574-00, FCD Zoning District, for relief from Section 223-31.1(B) to allow construction of the residential buildings to take place before, and not concurrently with, construction of the project's commercial building
5. Review and hold public hearing on application submitted by Ian Panteleone, 30 Fowler Street, Tax Grid No. 30-5954-44-980648-00, R1-5 Zoning District, for relief from Section 223-10(C)(1) to increase the non-conforming use of the two-family residence AND Section 223-17(E) to allow for construction of a second story addition over an existing one-story structure with an 8.1 ft. side yard setback (10 ft. required)

City of Beacon Zoning Board of Appeals Agenda
07/20/2021

Title:

Review and hold public hearing on application submitted by Katharine Baker & Gamble Staempfli, 10 Herbert Street, Tax Grid No. 30-6054-30-135856-00, R1-5 Zoning District, for relief from Section 223-17(E) to construct an addition with an 8.8 ft. rear yard setback (*20 ft. required*)

ATTACHMENTS

[10 Herbert Street Application.pdf](#)

[10 Herbert Street EAF.pdf](#)

[10 Herbert Street Site Plan.pdf](#)

July 2021

3

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: Katharine Baker & Gamble StaempfliADDRESS: 10 Herbert StreetTELEPHONE: 917-291-1421E-MAIL: carysands@gmail.com

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: Aryeh Siegel ArchitectADDRESS: 84 Mason CircleTELEPHONE: 845-838-2490E-MAIL: ajs@ajsarch.comPROPERTY LOCATION: 10 Herbert StreetZONING DISTRICT: R1-5TAX MAP DESIGNATION: SECTION 6054BLOCK 30 LOT 135856

Section of Zoning Code appealed from or Interpretation desired:

Variance to allow construction of an addition to a single family residence with a rear yard setback of 8.8 feet where 20 feet is permitted.

Section 223.17(E) for a rear yard setback of 8.8 ft. (20 ft. required)

Reason supporting request:

This structure replaces an existing garage, which has a rear yard setback of 8.8 feet. The new structure proposes to maintain this existing setback.

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Site Plan, Survey, Plans and ElevationsDate: June 29, 2021**Fee Schedule**

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

Katharine Baker
Owner's Signature

Katharine Baker
Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Katharine Baker & Gamble Staempfli

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 10 Herbert Street

Project Address: 10 Herbert Street

Project Tax Grid # 6054-30-135856

Type of Application Special Use Permit & Zoning Variance

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Katharine Baker, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

- | | |
|---|-------------------------------------|
| 1. No violations are pending for ANY parcel owned by me situated within the City of Beacon | ☒ |
| 2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon | ☐ |
| 3. ALL tax payments due to the City of Beacon are current | ☒ |
| 4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon | ☐ |
| 5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon | ☐ |
| 6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current | ☒ |

Gamble Staempfli/Katharine Baker

Digitally signed by Katharine Baker
Date: 2021.03.20 18:38:43 -0400
Adobe Acrobat version: 2021 001.20145

Signature of Owner

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	☒	☐	<u>EB</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	☐	☒	<u>ST</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	☒	☐	<u>ST</u>

Paid 3-31-2021
EB

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: Katharine Baker & Gamble StaempfliAddress of Applicant: 10 Herbert Street, Beacon NY 12508Telephone Contact Information: 917-291-1421 / 917-742-4278**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Katharine Baker	10 Herbert St, Beacon NY 12508	917-291-1421	10/20/2017	Dutchess County Clerk's Office Beacon NY
Gamble Staempfli	10 Herbert St., Beacon NY	917-742-4278	10/20/2017	Dutchess County Clerk's Office, Beacon NY

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES☒ NO

YES

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, Katharine Baker being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Katharine Baker

Katharine Baker

(Signature) Katharine Baker

Digitally signed by Katharine Baker
Date: 2021.05.28 14:08:28 -0400
Adobe Acrobat Version: 2021.001.20146

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: 10 Herbert Street Accessory Apartment							
Project Location (describe, and attach a location map): 10 Herbert Street							
Brief Description of Proposed Action: Construct a one story accessory building to replace the existing garage.							
Name of Applicant or Sponsor: Katharine Baker & Gamble Staempfli		Telephone: 917-291-1421 E-Mail: carysands@gmail.com					
Address: 10 Herbert Street							
City/PO: Beacon	State: NY	Zip Code: 12508					
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td>☒</td> <td>☐</td> </tr> </table>	NO	YES	☒	☐
NO	YES						
☒	☐						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City Council - Special Use Permit Building Department - Building Permit			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td>☐</td> <td>☒</td> </tr> </table>	NO	YES	☐	☒
NO	YES						
☐	☒						
3.a. Total acreage of the site of the proposed action? 0.23 acres							
b. Total acreage to be physically disturbed? 0 acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.23 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. ☒ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO ☐	YES ☒	N/A ☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO ☐	YES ☒
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO ☒	YES ☐
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO ☒	YES ☐
b. Are public transportation service(s) available at or near the site of the proposed action?		☒	☐
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		☒	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO ☐	YES ☒
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO ☐	YES ☒
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO ☐	YES ☒
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO ☒	YES ☐
b. Is the proposed action located in an archeological sensitive area?		☒	☐
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO ☒	YES ☐
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		☒	☐
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☐ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO ☒	YES ☐
16. Is the project site located in the 100 year flood plain?		NO ☒	YES ☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☒ NO ☐ YES		NO ☐	YES ☒
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		☒ NO ☒ YES	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Katharine Baker and Gamble Stamepfi</u>		Date: <u>March 23, 2021</u>
Signature: <u>Katharine Baker</u> <u>Gamble Stamepfi</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____ Name of Lead Agency _____ Date	
_____ Print or Type Name of Responsible Officer in Lead Agency _____ Title of Responsible Officer	
_____ Signature of Responsible Officer in Lead Agency _____ Signature of Preparer (if different from Responsible Officer)	

PRINT

617.20
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Name of Applicant or Sponsor: Katharine Baker & Gamble Staempfli		Telephone: 917-291-1421	
		E-Mail: carysands@gmail.com	
Address: 10 Herbert Street			
City/PO: Beacon		State: NY	Zip Code: 12508
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☒
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City Council - Special Use Permit Building Department - Building Permit			YES ☒
3.a. Total acreage of the site of the proposed action?			0.23 acres
b. Total acreage to be physically disturbed?			0 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			0.23 acres
4. Check all land uses that occur on, adjoining and near the proposed action. ☒ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO ☐	YES ☒	N/A ☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
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9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO ☐	YES ☒	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO ☐	YES ☒	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO ☐	YES ☒	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO ☒	YES ☐	
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13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO ☒	YES ☐	
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16. Is the project site located in the 100 year flood plain?	NO ☒	YES ☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☒ NO ☐ YES	NO ☐	YES ☒	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	☒ NO ☒ YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	☒	☐
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	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Katharine Baker and Gamble Stameppli		Date: March 23, 2021
Signature: <u>Katharine Baker</u> <u>[Signature]</u>		

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3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing:		
a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

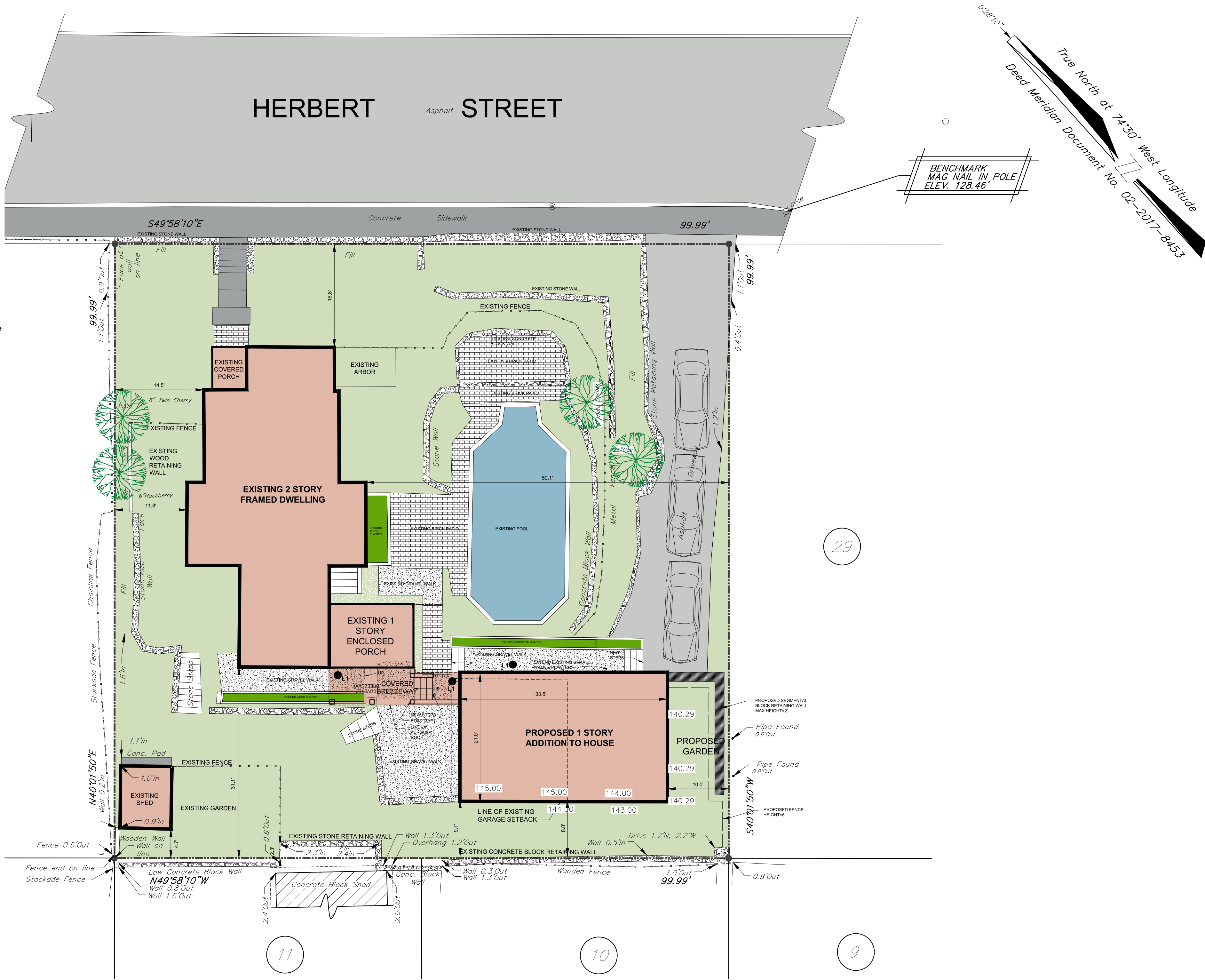
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

PRINT

[illegible]

	Required Setbacks Main Structure			Existing Setbacks Main Building			Proposed Setbacks Addition			Maximum Cumulative Square Footage for All Accessory Buildings	Proposed Cumulative Square Footage for All Accessory Buildings	Maximum Square Footage Permitted For Accessory Apartment (and % based on total area of building)	Proposed Square Footage For Accessory Apartment (and % based on total area of principal building)	Proposed Building Coverage	Maximum Main Building Height	Existing Main Building Height	Proposed Addition Height	
	Front	Side	Rear	Front	Side	Rear	Front	Side	Rear									
Zoning District																		
R1-5	15'	10'	20'	16.8'	11.8'	31.1'	NA	10.0'	8.8' *	720 sf	84 sf existing shed	650 sf	650 sf	27% including pool and shed	2.5 Stories 35'	2.5 Stories 26' existing	15'	
					51.3'							30%	22%					

*Note that the proposed rear setback follows the line of the existing garage to be demolished and replaced by the proposed addition



Site Plan

Scale: 1" = 10'

Zoning Summary

Zoning District:	R1-5
Tax Map No.:	6054-30-135856
Lot Area:	9,998 square feet
Existing Building Footprint:	1,247 square feet
Total Proposed Building Area:	3,191 square feet, including existing house, existing shed, and existing pool
Proposed Accessory Apartment :	650 square feet
Historical Overlay District:	No
Parking Overlay District:	No
Existing Use:	Single Family Residential
Proposed Use:	Single Family Residential with Accessory Apartment and Studio

Parking & Loading

Use & Parking Requirements	Proposed Area	Parking Requirement
Residential		
2 spaces for each dwelling unit +1 space for accessory apartment	1 dwelling unit + 1 accessory apartment	3 parking spaces
Total Required Parking Spaces		3 Parking Spaces
Total Existing Parking Spaces		3 Parking Spaces

Notes:

3. Apartment size. The minimum floor area for an accessory apartment within a detached single-family dwelling shall be 400 square feet. The maximum floor area shall be 650 square feet, but in no case shall the floor area of the apartment exceed 30% of the total floor area of the dwelling building in which it is located.

The proposed Accessory Apartment area is 650 square feet. The total floor area of the dwelling is 3,191 square feet. The Accessory Apartment is approximately 22% of the total floor area of the dwelling building in which it is located. Therefore, the size of the accessory apartment complies with the maximum floor area and the maximum allowable percentage
2. Off-street parking. A minimum of one off-street parking space shall be provided for each accessory apartment in addition to the off-street parking required for other uses existing on the lot.

The required parking is provided in the existing driveway.
3. The Applicant will request a variance from the Zoning Board of Appeals to allow the addition to maintain the existing 8.8' rear yard setback that the existing garage currently has.
4. Note that exterior lighting fixtures located on the plans shall comply with the requirements of Section 223-14B, specifically:
 - a. The type, location, and shading of such lighting shall prevent the spillover of light onto any adjacent residential or multifamily property or direct glare onto any public sidewalk or street.
 - b. Such lighting shall use full cutoff fixtures that do not emit light above the horizontal plane into the night sky, except for lighting for short-term events or holidays, flagpole lighting, decorative light sources under 600 lumens, public parks and other public specialty lighting, as determined by the Building Inspector.
 - c. Color temperatures should be in the range of 2,400 to 4,000 Kelvin degrees.
 - d. The color rendering index should be in the range of 80 to 100.
 - e. Adaptive controls, such as dimmers, timers, and motion sensor shut-off lighting, should be used whenever appropriate.

Index of Drawings

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions & Demolition Plan
Sheet 3 of 4	Building Plan and Elevations
Sheet 4 of 4	Grading and Utility Plan

Special Use Permit - Accessory Apartment

Sheet 1 of 4 - Site Plan

10 Herbert Street

Beacon, New York
Scale: As Noted
March 16, 2021

Owner:
Katharine Baker & Gamble Staempfli
10 Herbert Street
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

City of Beacon Zoning Board of Appeals Agenda
07/20/2021

Title:

This item removed from agenda at the request of the applicant - will be postponed until August.

Continue review and public hearing on application submitted by Scott Herring & Lauren Johnson, 20 Paye Street, Tax Grid No. 30-5954-15-730297-00, R1-10 Zoning District, for relief from Section 223-17(E) to construct a one-story 1-1/2 car garage with 21.11 ft. front yard setback (*25 ft. required*) and 9.4 ft. side yard setback (*15 ft. required*)

ATTACHMENTS

City of Beacon Zoning Board of Appeals Agenda
07/20/2021

Title:

Review and hold public hearing on application submitted by Kristine Allen, 7 Violet Drive, Tax Grid No. 30-6054-02-508868-00, R1-10 Zoning District, for relief from Section 223-17(E) for a second story addition over an existing one-story single family house with 12.8 ft. side yard setback (*15 ft. required*) and 28.6 rear yard setback (*35 ft. required*)

ATTACHMENTS

[9 Violet Drive Application.pdf](#)

[9 Violet Drive House Plans.pdf](#)

[9 Violet Drive Site Plan.pdf](#)

[9 Violet Drive EAF.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: KRISTINE ALLEN

ADDRESS: 9 VIOLET AVE

TELEPHONE: 516-606-0674

E-MAIL: ZANAZZIK@HOTMAIL.COM

APPLICANT (if not owner): EDUARDO MAURO, ARCHITECT

ADDRESS: 1173 NOXON RD

LAGRANGE VILLE, NY 12540

TELEPHONE: 845-728-8751

E-MAIL: TOMORROWSARCHITECTURE@GMAIL.COM

REPRESENTED BY: ED MAURO OR ROB MUTSHEN ADDRESS: SAME

TELEPHONE: SAME

E-MAIL: SAME

PROPERTY LOCATION: 9 VIOLET AVE

ZONING DISTRICT: R1-10

TAX MAP DESIGNATION: SECTION 0654

BLOCK 02 LOT 508868

Section of Zoning Code appealed from or Interpretation desired:

LOOKING FOR APPROVAL TO INCREASE VERTICALLY THE SIDE YARD SETBACK FOR NEW ROOF FLOOR Section 223.17(E) for second story addition with 12.8 ft. side yard setback (15 ft. required)

Reason supporting request:

STRUCTURE IS NOT BEING INCREASED AT GRADE THE ADDITION IS ALL ABOVE EXISTING FOUNDATION & 1ST FLOOR

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

SITE PLAN NOTING EXISTING CONDITIONS AS WELL AS DRAWINGS TO SHOW NEW ROOF

Date: 06/24/2021

Kristine Allen
Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

[Signature]
Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: KRISTINE ALLEN

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

N/A

List all properties in the City of Beacon that you hold a 5% interest in:

N/AApplicant Address: 9 VIOLET AVEProject Address: 9 VIOLET AVEProject Tax Grid # 6054-02-508868Type of Application AREA SETBACK

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, KRISTINE ALLEN, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon NONE
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon NONE
3. ALL tax payments due to the City of Beacon are current YES
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon NO
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon NO
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current N/A



Signature of Owner



Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

eb

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

—

✓ga

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

—

✓ga

Application #

CITY OF BEACON**1 Municipal Plaza, Beacon, NY****Telephone (845) 838-5000 • <http://cityofbeacon.org/>****INDIVIDUAL DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: KRISTINE ALLENAddress of Applicant: 9 VIOLET AVETelephone Contact Information: 516-606-0674**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
KRISTINE ALLEN	9 VIOLET AVE	516-606-0674		

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, _____ being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) KRISTINE ALLEN

(Signature) 

Tomorrow's Architecture, pllc
Edward Mauro, Architect

22

June 22, 2021

City of Beacon
Zoning Board of Appeals
1 Municipal Plaza
Beacon, NY

Re: 9 Violet Avenue
SBL: 6054 - 02 - 508868, Zone - R1 - 10

To Whom It May Concern:

This letter is to authorize Edward Mauro or Associate of Tomorrow's Architecture to act as agent on my behalf in all matters pertaining to the renovation and Addition of my home.

Please grant him access to my files and allow them to sign applications and represent me in all interaction with the Building Department, Zoning Board of Appeals, Planning Board, Architectural Review Board and Health Departments etc...

Thank you for your consideration. If you have any questions, please feel free to contact me at my e-mail address below.

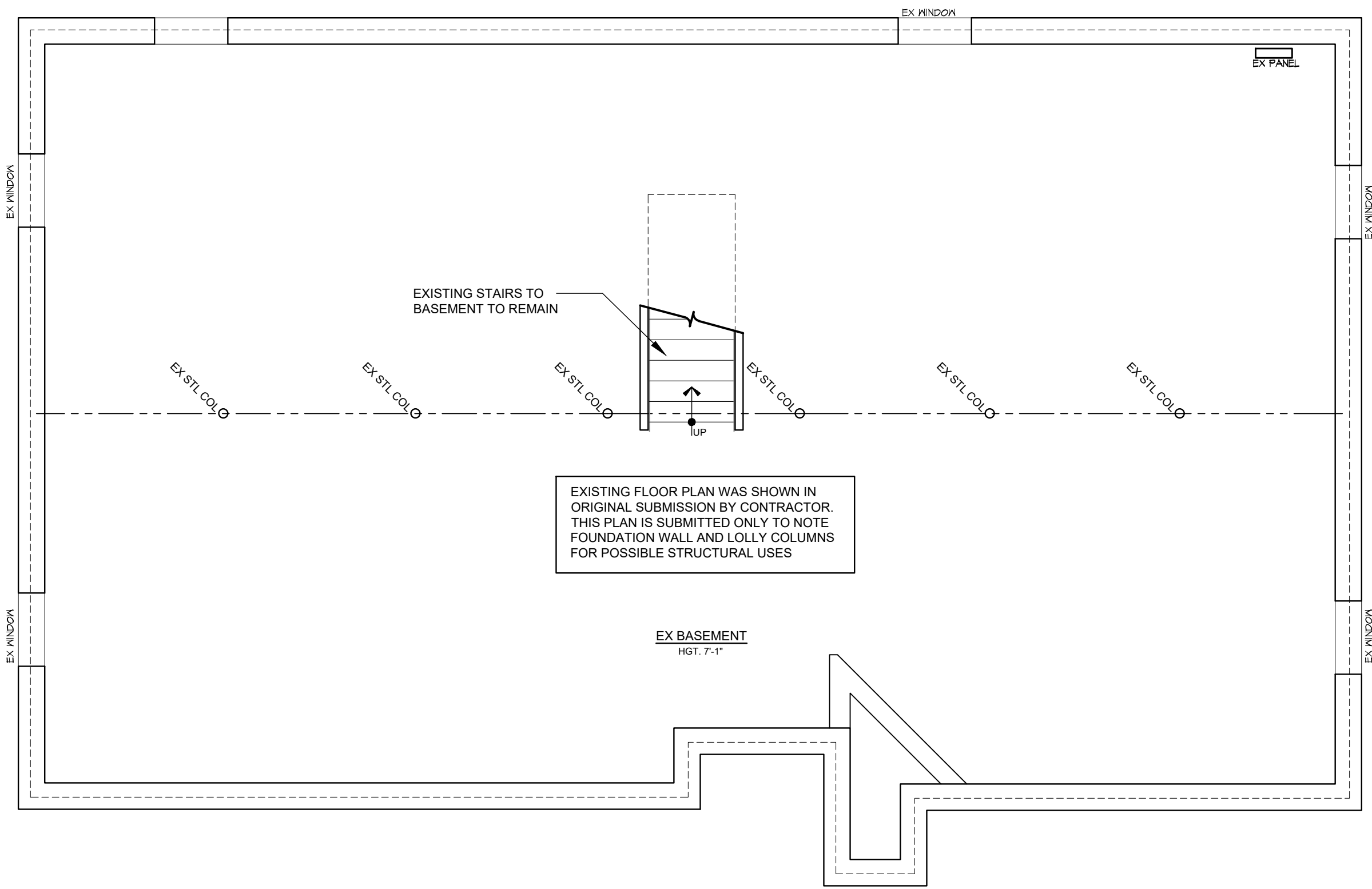
Kristine Allen

Email: zanazzik@hotmail.com

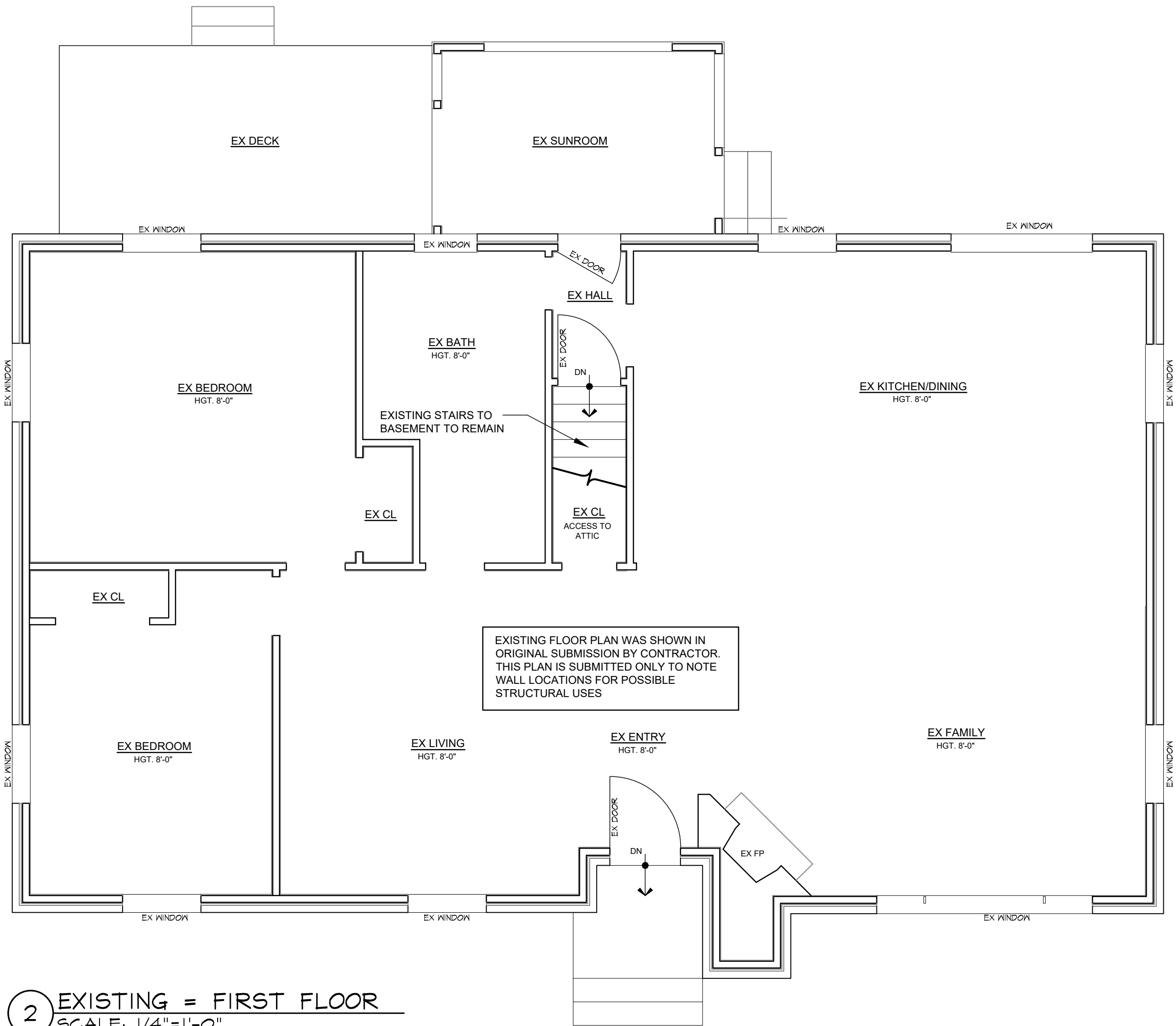


Sincerely,

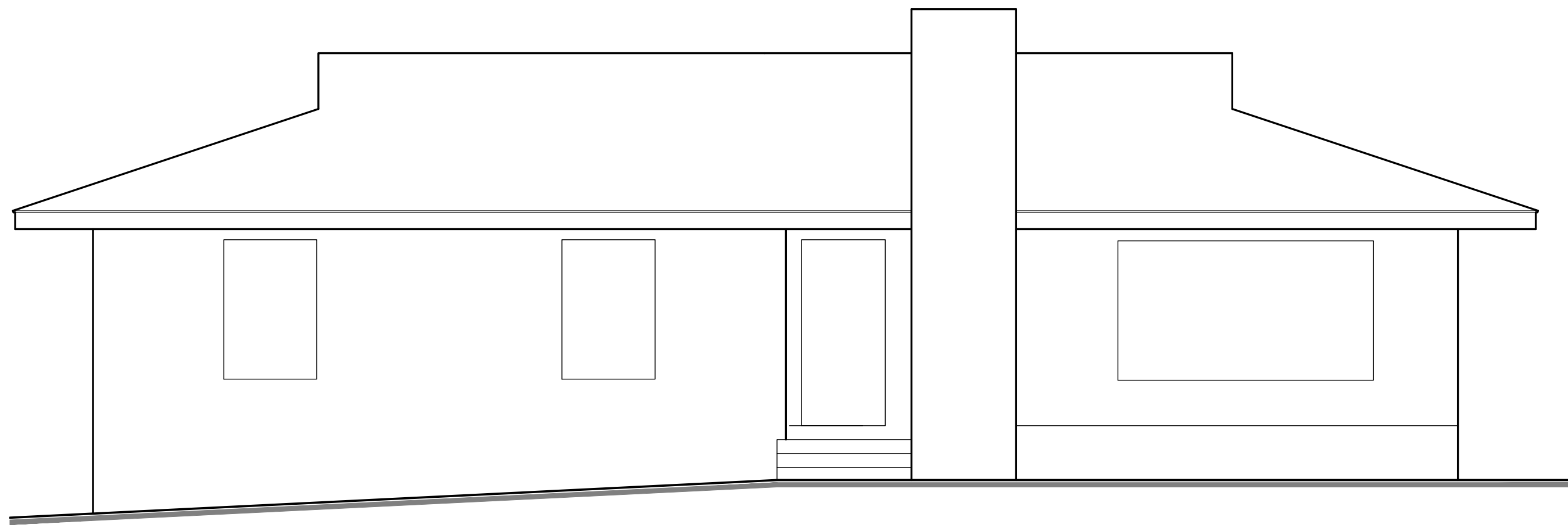
Edward Mauro, AIA



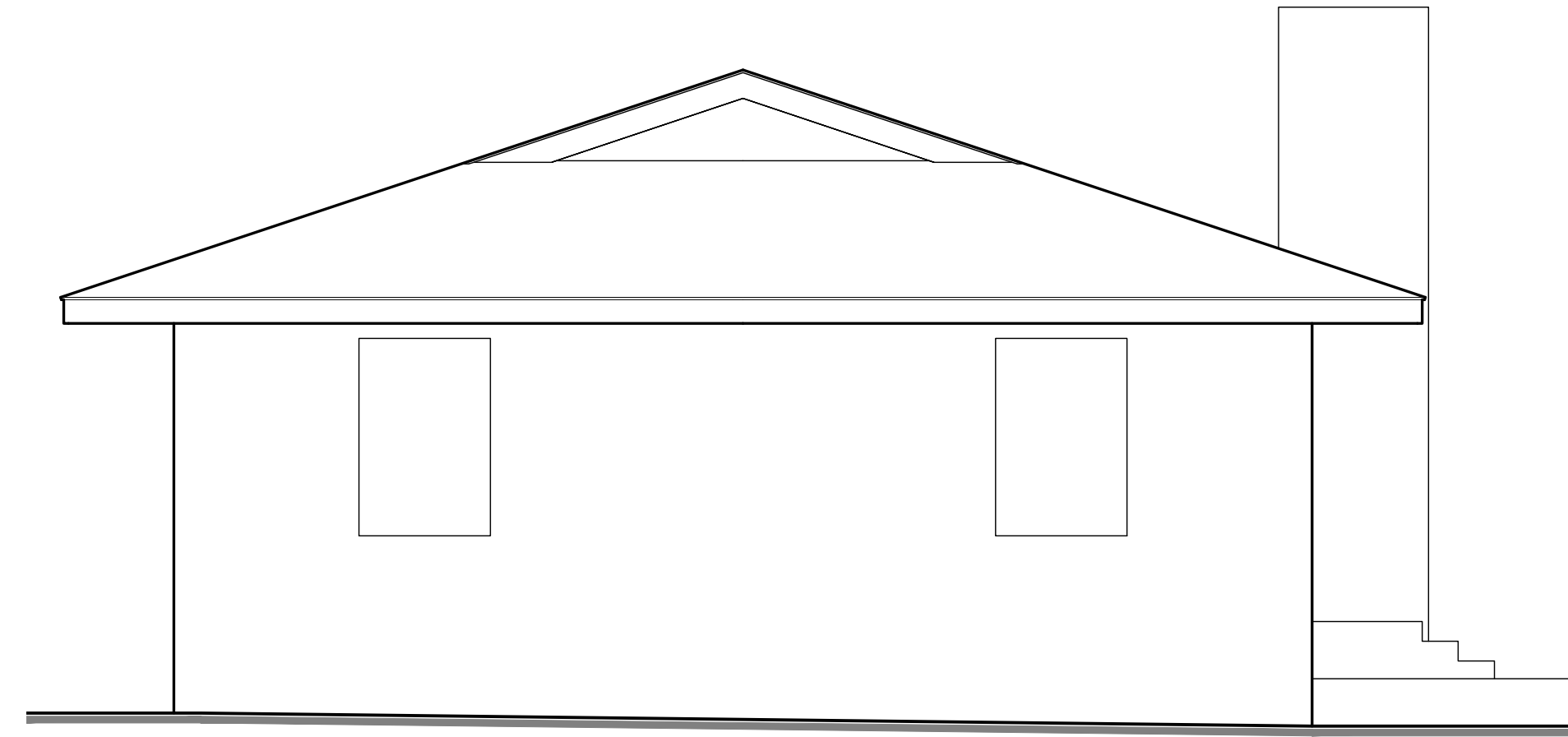
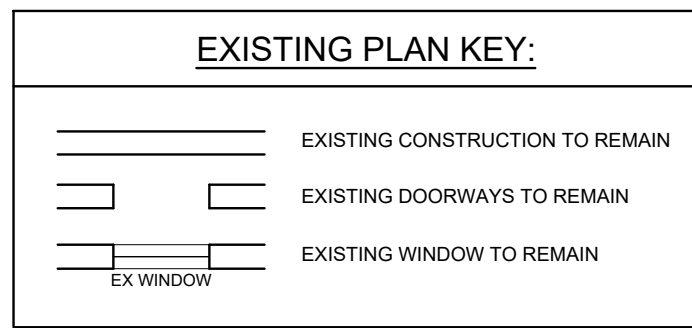
1 EXISTING = BASEMENT
SCALE: 1/4"=1'-0"



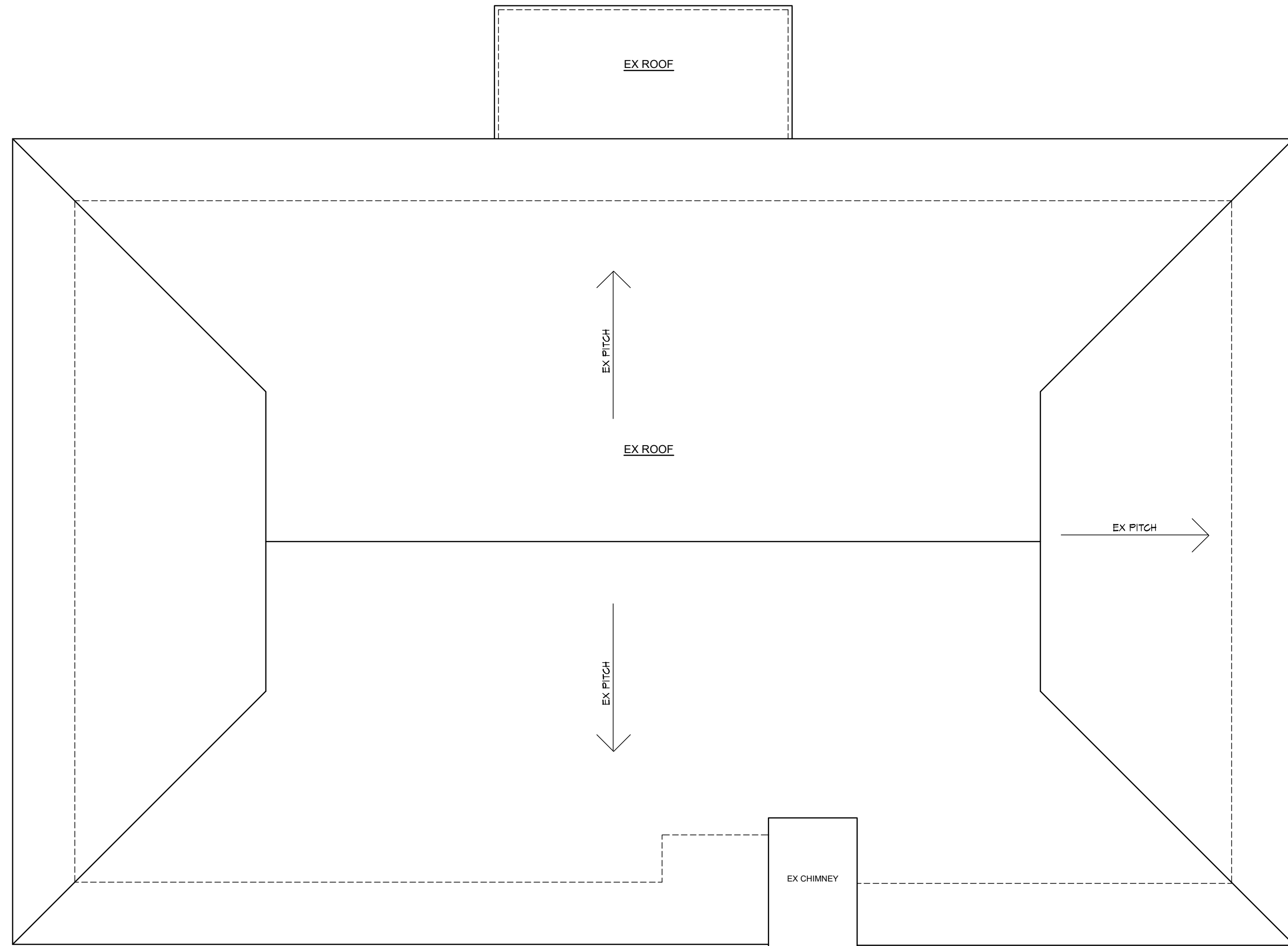
2 EXISTING = FIRST FLOOR
SCALE: 1/4"=1'-0"



4 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0" REAR SIDE SIMILAR



5 EXISTING SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 EXISTING = ROOF PLAN
SCALE: 1/4"=1'-0"



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
 1173 NOXON ROAD
 LAGRANGEVILLE, NY 12540
 PHONE - TEXT: 845.728.8751
 tomorrowsaarchitecture@gmail.com

REV	DATE	DESCRIPTION

RESIDENCE OF:
 ALLEN RESIDENCE
 9 VIOLET AVENUE
 BEACON, NY
 SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME: EXISTING PLANS EXISTING ELEVATIONS	ISSUE DATE 06.02.2020
	SCALE AS NOTED
	JOB NO.
	SHEET NO.

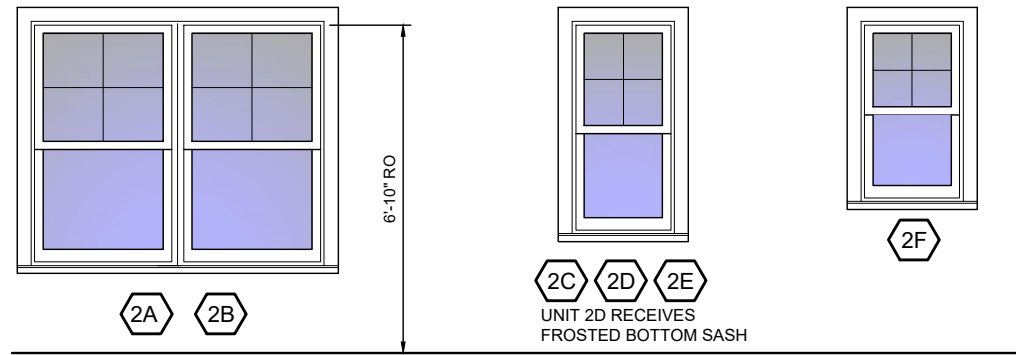
EX 1
 PAGE 1 OF 8

[illegible]

WINDOW AND EXTERIOR DOOR SCHEDULE						
TAG	MANUFACTURE	MODEL	ROUGH OPENING (width x height)	LIGHT PATTERN	LIGHT AND VENTILATION	REMARKS
2A	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW210410 - 2 EGRESS UNIT	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 10.45 sf each VENT 5.83 sf each CLEAR OPENING: 5.81sf	UNIT SPECIFIED MEETS SECOND FLOOR EGRESS UNIT REQUIREMENTS OF: 5.7 SF CLEAR OPENING 24" CLEAR HEIGHT 20" CLEAR WIDTH
2B	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW210410 - 2	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 10.45 sf each VENT 5.83 sf each CLEAR OPENING: 5.81sf	
2C	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	
2D	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042 BOTTOM SASH TO BE FROSTED. THIS IS THE BATHROOM UNIT	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	UNIT 2C RECEIVES FROSTED BOTTOM SASH. THIS IS A BATHROOM UNIT
2E	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	
2F	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2036	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 4.73 sf each VENT 2.79 sf each CLEAR OPENING: 2.77sf	

WINDOW & EXTERIOR DOOR SCHEDULE NOTES:

- ALL UNITS TO BE ANDERSEN 400 SERIES STYLE WINDOWS AND DOORS OR AS SELECTED.
- ALL GLAZING TO HAVE A U-VALUE OF 0.30 OR BETTER; LOW-E4 WITH A SHGC RATING OF 0.16.
- EXTERIOR COLOR - TO BE DETERMINED.
- INTERIOR - FACTORY WHITE PRIMED AND PAINTED.
- GRILLS - 3/4 FULL DIVIDED LIGHT WITH 5/8 SIERRA BRONZE FLAT GRILL AND 5/8 INTERIOR AND EXTERIOR GRILL
- INSECT SCREENS - TRUSCENE INSECT SCREEN
- HARDWARE STYLE: TO BE DETERMINED.
- ALL WINDOW UNITS INSTALLED WITHIN 18" OF ANY OPERATING DOOR UNIT OR FLOOR SURFACE TO HAVE TEMPERED GLAZING.
- ALL UNITS TO HAVE FACTORY INSTALLED NAILING FLANGE
- PROVIDE ALL RECOMMENDED MANUFACTURED METAL FLASHING AND JAMB EXTENSION.
- WINDOW AND DOOR UNITS CAN BE SUBSTITUTED HOWEVER ALL EGRESS UNITS MUST MEET EMERGENCY ESCAPE AND RESCUE OPENING SIZES:
5.0 S.F. CLEAR OPENING AT FIRST FLOOR AND BASEMENT
5.7 S.F. CLEAR OPENING AT SECOND FLOOR
24" CLEAR HEIGHT
20" CLEAR WIDTH
- ALL ROUGH OPENINGS AT WINDOWS AND DOORS SHALL HAVE COPPER PAN OR BITUMINOUS MEMBRANE FLASHING, AND ALL WINDOWS & DOORS SHALL BE INSTALLED EXPLICITLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
- COPPER PAN OR BITUMINOUS MEMBRANE FLASHING AT ALL WINDOW SILLS SHALL BE INSTALLED OVER A SLOPING SILL (USE CEDAR CLAPBOARD SET ON THE ROUGH SILL) TO PROVIDE POSITIVE DRAINAGE TO THE EXTERIOR.
- WRAP BOTH SIDES & THE SILL OF ALL WINDOWS & DOOR ROUGH OPENINGS WITH A 40 MIL BITUMINOUS "PEEL & STICK" MEMBRANE OR A BUTYL BASED FLASHING TAPE (SUCH AS MADE BY "CARLISLE", "GRACE", "VYCOR PLUS" OR "TYVEK" FLEX WRAP).
- ALL NAILING FLANGES SHALL BE EMBEDDED IN CAULK AND SHALL BE COVERED WITH 6" WIDE FLASHING TAPE (EXCEPT FOR THE BOTTOM FLANGE AND SILL).
- ALL VOIDS (SHIM SPACES) AROUND ALL WINDOW & DOOR FRAMES WITHIN THE ROUGH OPENING SHALL BE FILLED WITH LOW EXPANDING CLOSED CELL FOAM SPRAY INSULATION.

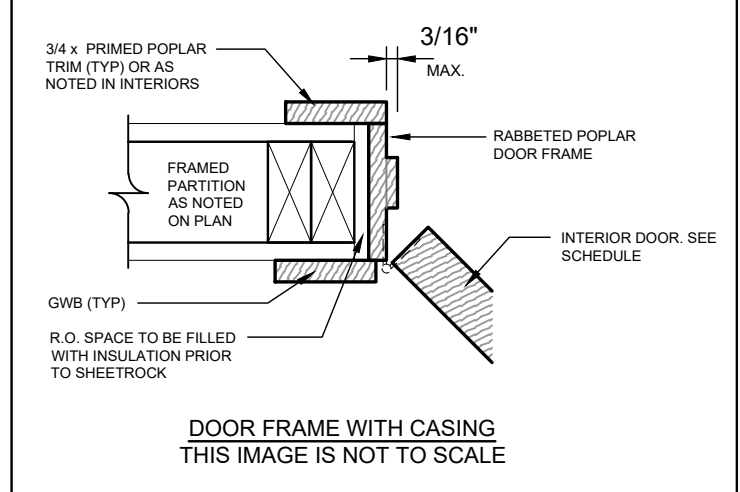
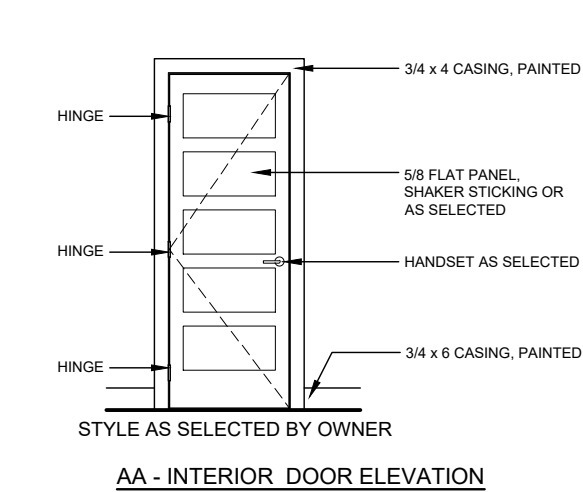


SECOND FLOOR

INTERIOR DOOR SCHEDULE										
TAG	WIDTH	HEIGHT	THICKNESS	MANUFACTURE	STYLE	FINISH	HARDWARE		REMARKS	
							MANUF.	SET		
SECOND FLOOR	200	2'-8"	6'-8"	1 3/8"	REEB OR EQUAL	AA OR AS SELECTED		AS SELECTED	PRIVACY	
	201	2'-8"	6'-8"	1 3/8"					PRIVACY	
	202	2'-6"	6'-8"	1 3/8"					CLOSET	
	203	2'-6"	6'-8"	1 3/8"					CLOSET	
	204	2'-6"	6'-8"	1 3/8"					BATH	
	205	2'-8"	6'-8"	1 3/8"	REEB OR EQUAL	AA OR AS SELECTED		AS SELECTED	PRIVACY	

INTERIOR DOOR SCHEDULE NOTES:

- INTERIOR DOORS SHALL BE BY REEB OR AS SELECTED
- FACTORY BORE WITH 2-3/8" BACK-SET.
- HARDWARE: AS SELECTED
- ALL STANDARD HEIGHT DOORS (UP TO 7'-0") SHALL BE PRE-HUNG WITH 1 1/2 PAIR, 4" SQUARE HINGES WITH BALL BEARING. 3-KNUCKLE LEAF ON THE JAMB SIDE. HARDWARE SELECTION TO BE DETERMINED.
- VERIFY ALL SIZES AND STYLES BEFORE ORDERING.
- POCKET DOORS TO HAVE HEAVY DUTY TRACKS BY JOHNSON HARDWARE 2060 SERIES, RATED UP TO 400 lbs WITH MORTISED EDGE PULL AS SELECTED BY OWNER. ALL POCKET DOORS TO BE INSTALLED IN 2x6 WALL.
- ALL DOORS TO BE 1-3/8" UNLESS OTHERWISE OTHERWISE NOTED



TYPICAL WINDOW OPENING FLASHING



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT - 845.728.8751
tomorrowssarchitecture@gmail.com

REV

DATE

DESCRIPTION

RESIDENCE OF:

ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:

GENERAL NOTES

ISSUE DATE

06.02.2020

SCALE

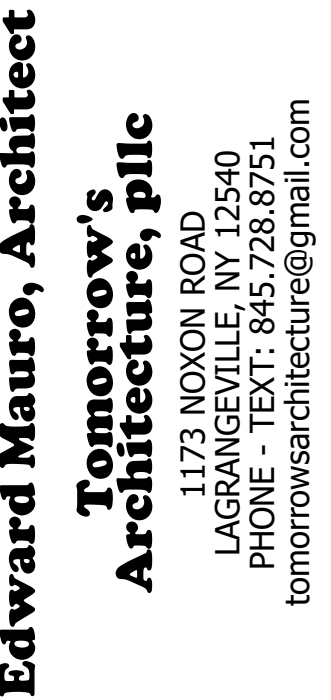
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SHEET NO.

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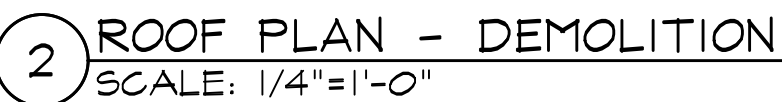
PAGE 3 OF 8



RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

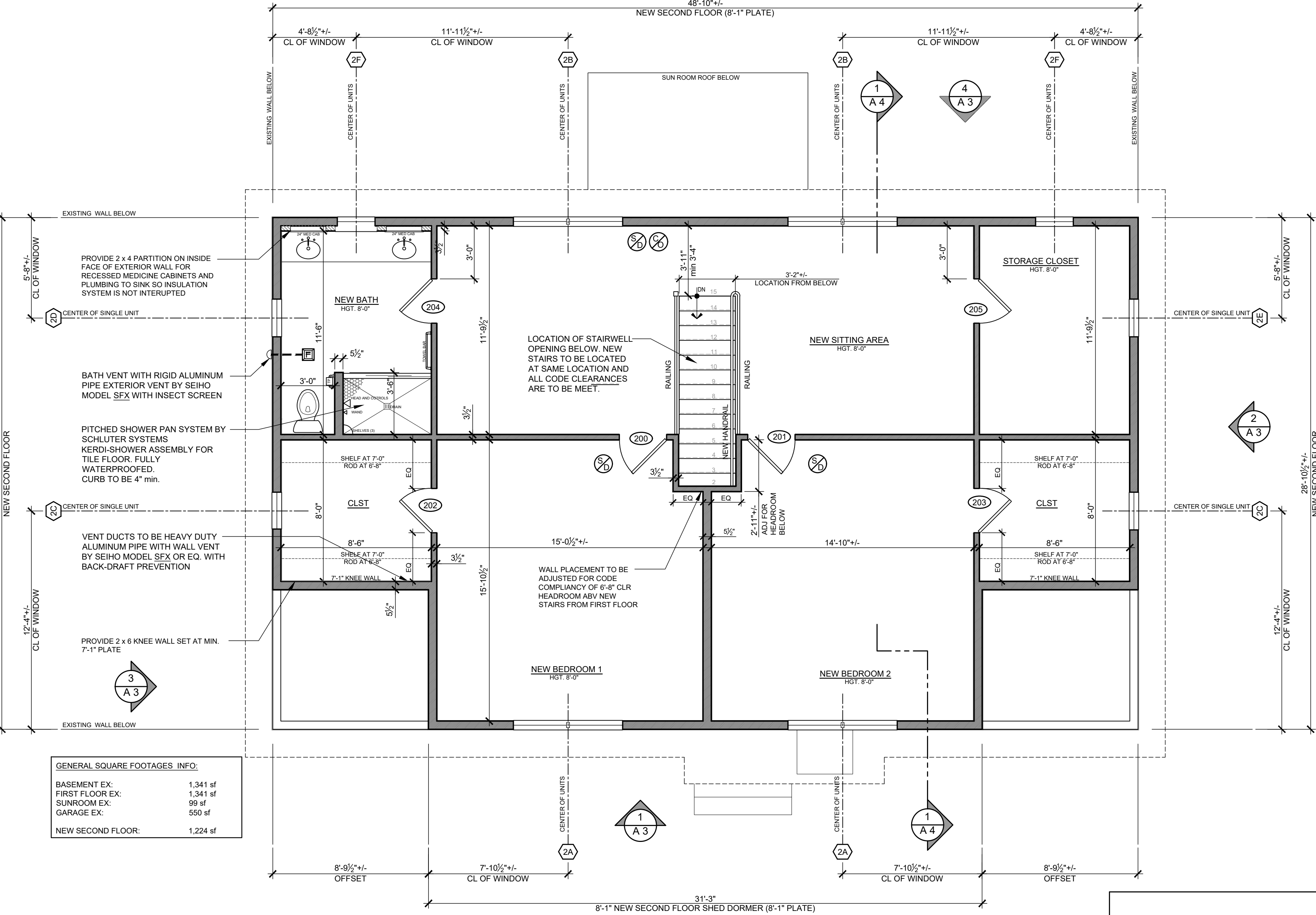
ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.
SHEET NO.

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PAGE 4 OF 8



1. STRUCTURAL INTEGRITY: PROTECT FROM DAMAGE ALL STRUCTURES, PAVING, STONE WALLS, CONCRETE WALL UTILITIES, ETC. REMAIN. SYSTEM, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING AND PROVIDE TEMPORARY SHORERS AND ENCLOSURES. PROVIDE TEMPORARY BARRELS AND REQUIREMENTS WHEN AND WHERE REQUIRED. PROVIDE AGENCY NOTATIONS, ETC. AS REQUIRED BY ANY AND ALL GOVERNING AGENCIES.
2. INSPECTIONS: CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PROCUREMENT AND PAYMENT OF ALL INSPECTION CERTIFICATES, AND ALL OTHER NECESSARY PERMITS. NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED. ARCHITECT WILL NOT MAKE SITE VISITS AND OBSERVATIONS UNLESS SPECIFICALLY REQUESTED TO DO SO.
3. REMOVE ALL DEBRIS, EXISTING SIDING, FRAME WALLS, WINDOWS, DOORS, EQUIPMENT, ELECTRICAL, MECHANICAL ETC. BRUSH EXISTING WALLS, CEILING, EXISTING STAIR, EXISTING COLUMNS, BEAMS WALLS AND ROOF TO REMAIN. COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFFS AND REMOVAL OF UTILITY COMPANY EQUIPMENT AND MATERIALS. STORE ALL MATERIALS AND ASSEMBLIES SCHEDULED FOR REUSE IN LOCATION AS DIRECTED BY OWNER.
4. REFUSE TO BE KEPT IN COVERED DUMPSTER AND REMOVED FROM SITE ON A REGULAR BASIS. BURNING OR BURYING OF DEBRIS ON SITE WILL NOT BE PERMITTED. ALL HAZARDOUS AND/OR DANGEROUS MATERIALS SHALL BE REMOVED IN STRICT COMPLIANCE WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.



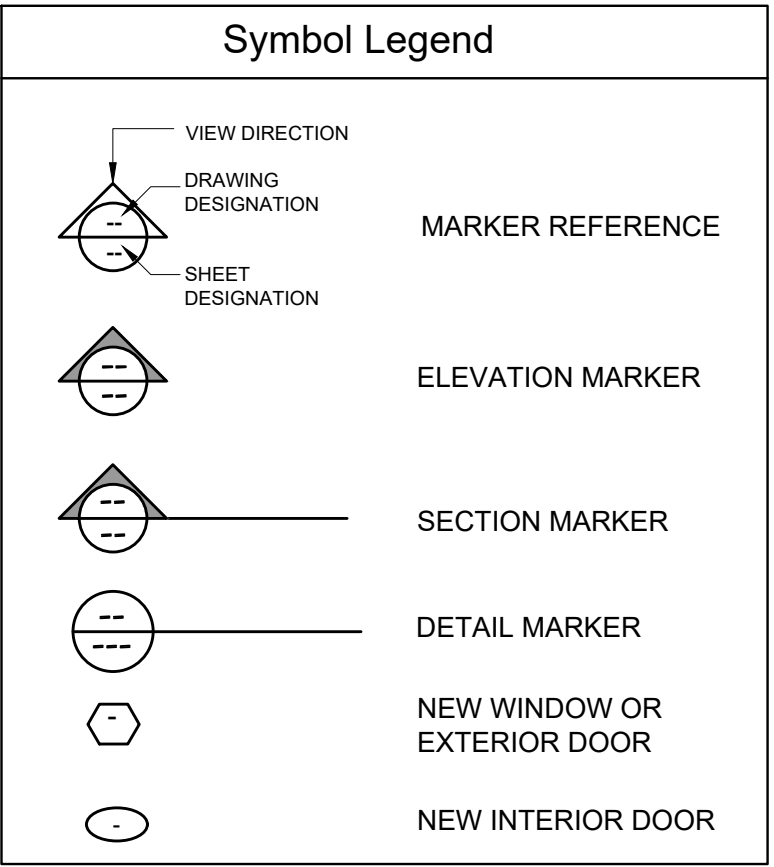
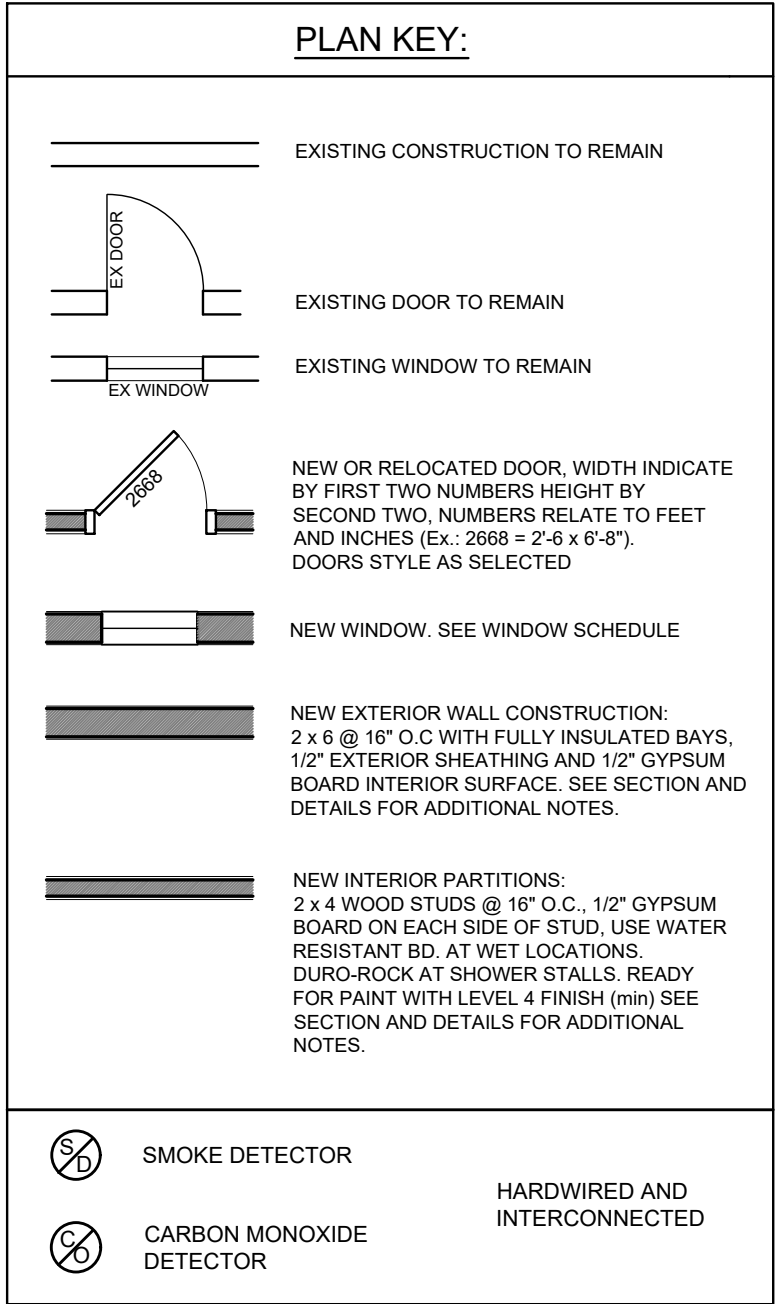


1 NEW SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

CARBON MONOXIDE ALARMS
APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ONE (1) AT EACH LEVEL AND IF
- THERE IS A FUEL-FIRED APPLIANCE
- THERE IS AN ATTACHED GARAGE.
CONTRACTOR TO VERIFY AND INSTALL FOR FULL CODE COMPLIANCY.

SMOKE ALARMS
SMOKE ALARMS MUST BE LOCATED IN ALL OF THE FOLLOWING LOCATIONS
- ONE (1) AT EACH SLEEPING ROOM
- ONE (1) OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ONE (1) AT EACH STORY OF THE DWELLING INCLUDING BASEMENT AND HABITABLE ATTICS.
CONTRACTOR TO VERIFY AND INSTALL FOR FULL CODE COMPLIANCY.

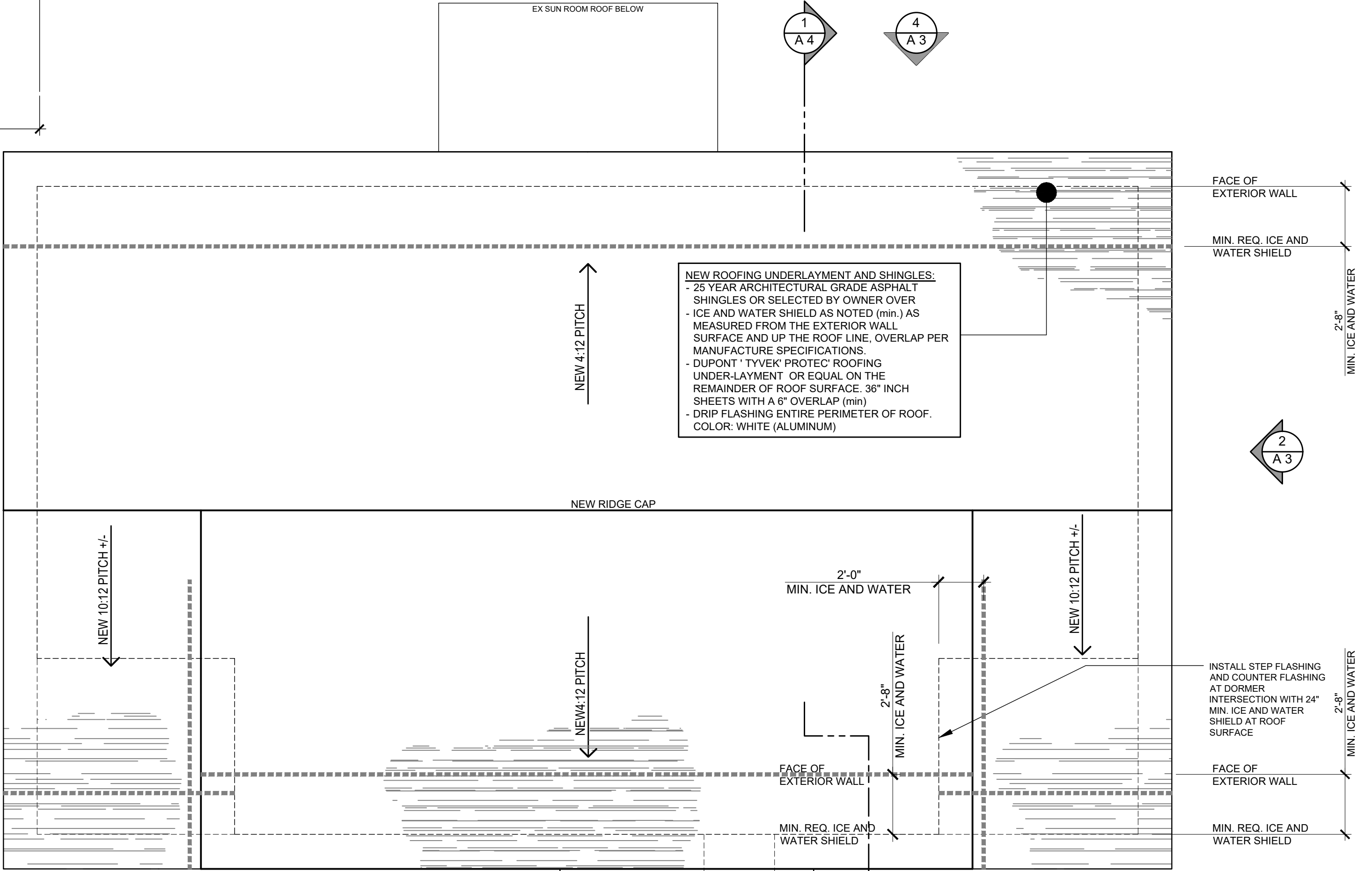
CODE BOOK USED FOR THIS PROJECT
2020 RESIDENTIAL CODE AND
2020 ENERGY CONSERVATION
CONSTRUCTION CODE OF NEW YORK STATE



ALL EXPOSED EXTERIOR WALLS, FLOOR AND CEILING CAVITIES TO BE INSULATED AS NOTED ON TYPICAL WALL SECTION.

INSULATION VALUES (min.)

- BASEMENT CEILING = R-30
- BASEMENT WALLS = R-15 AT NEW SPACE
- FIRST FLOOR EXTERIOR WALLS = R-21 min
- FIRST FLOOR CEILING = R-30 FIRST 30" min
- SECOND FLOOR EXTERIOR WALLS = R-21 min
- SECOND FLOOR CEILING = R-49
- ALL INTERIOR BATHROOM WALLS TO RECEIVE min. R-19 SOUND AND SAFE UN-FACED BATT INSULATION



2 NEW ROOF PLAN
SCALE: 1/4"=1'-0"



Edward Mauro, Architect
Tomorrow's Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowssarchitecture@gmail.com

REV	DATE	DESCRIPTION

RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
NEW SECOND FLOOR
NEW ROOF PLAN

ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.
SHEET NO.

A 2
PAGE 5 OF 8



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowssai@icloud.com

REV DATE DESCRIPTION

RESIDENCE OF:

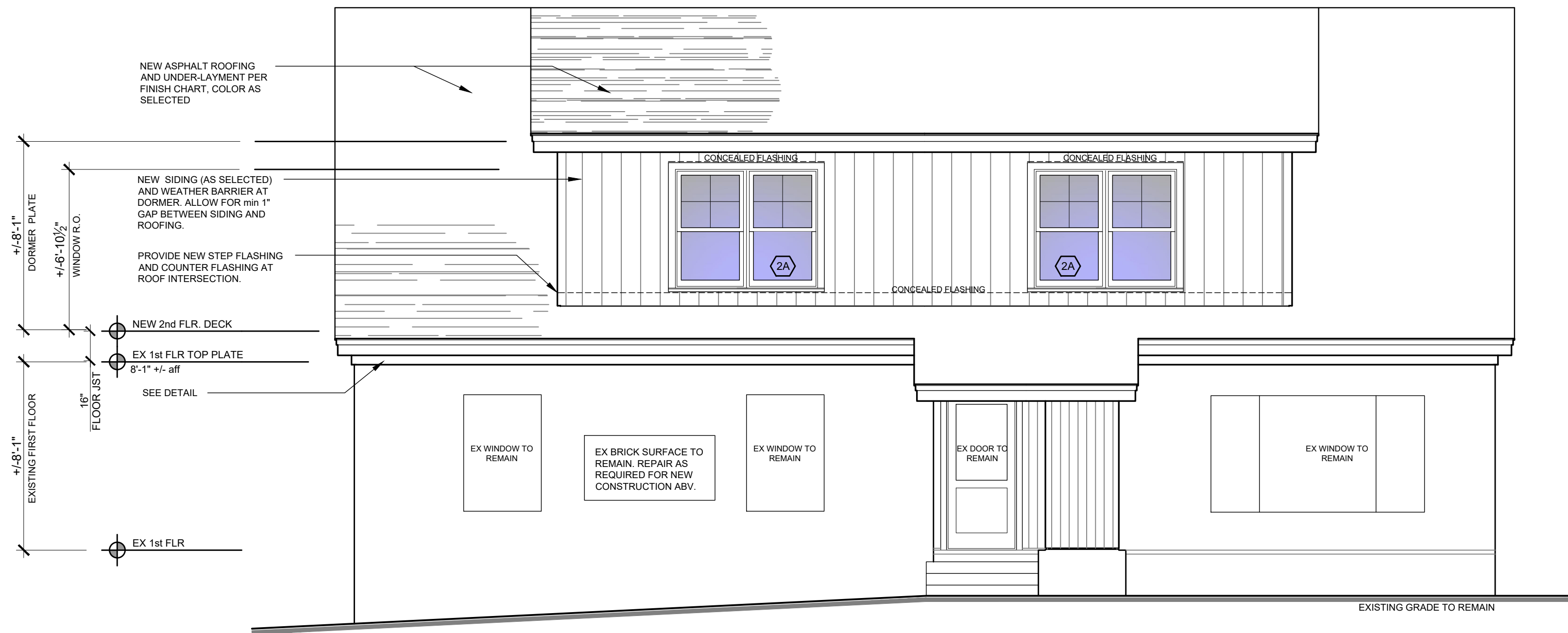
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
EXTERIOR ELEVATIONS

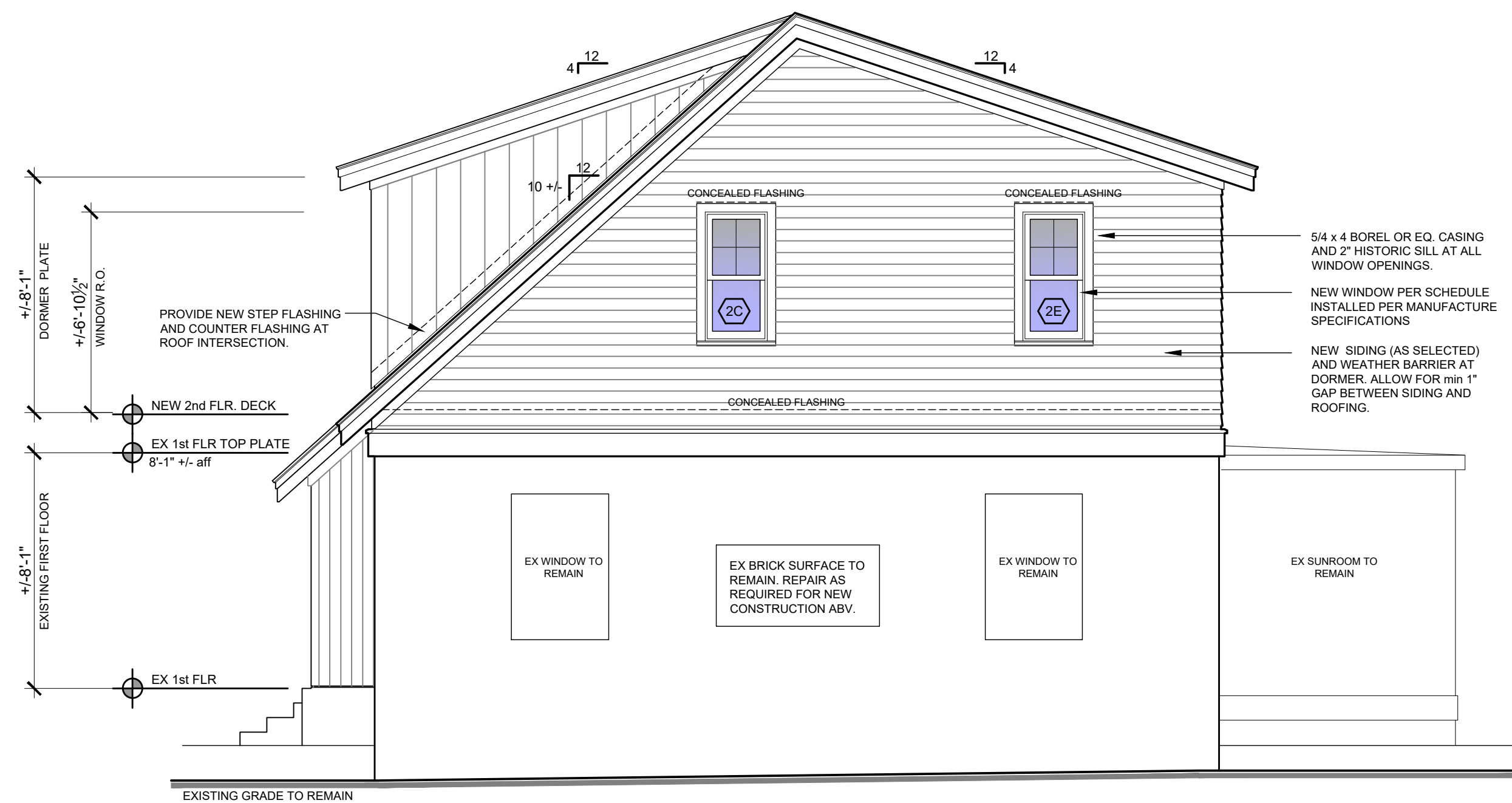
ISSUE DATE
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SCALE
AS NOTED
JOB NO.

SHEET NO.

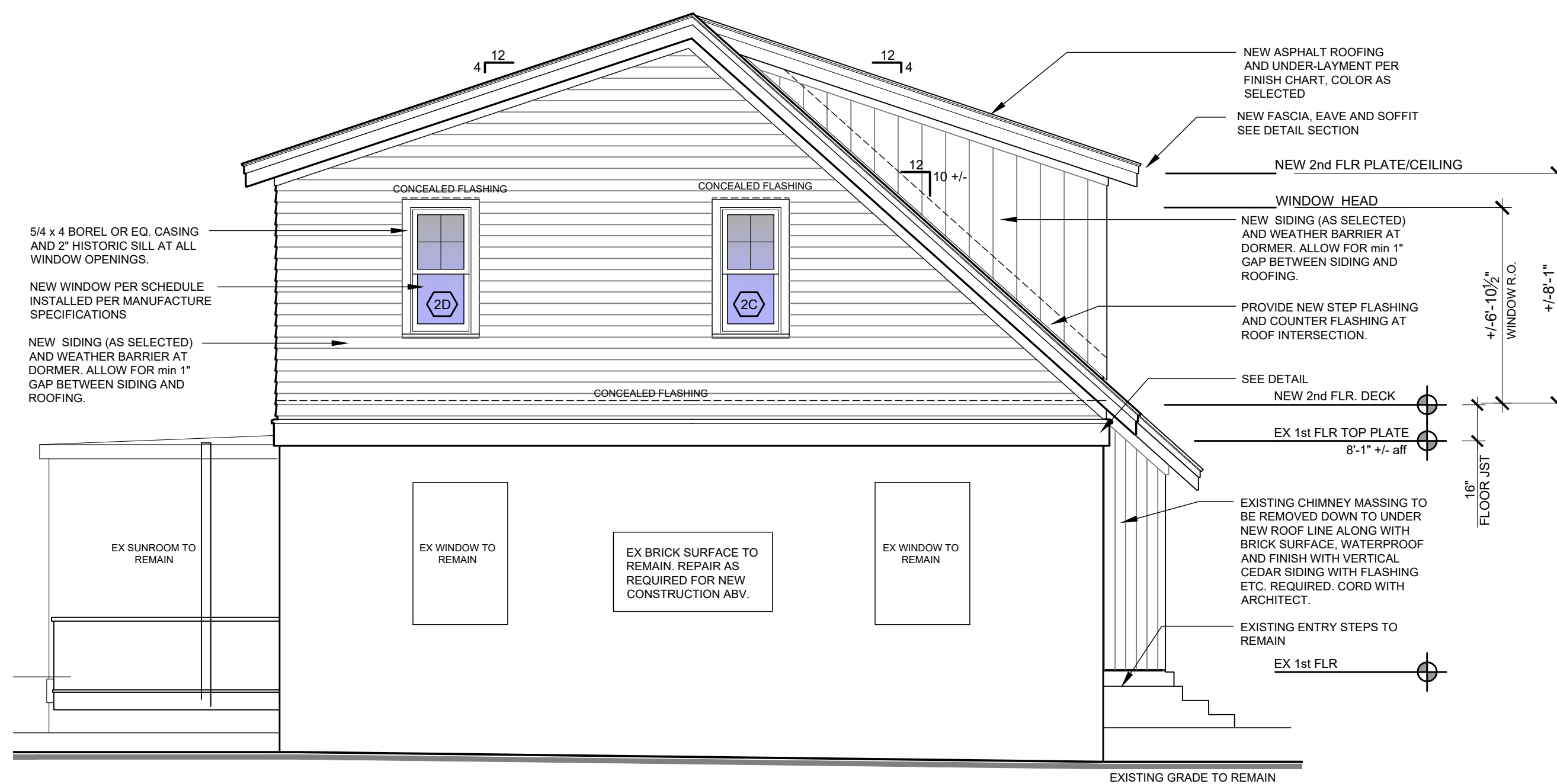
A 3
PAGE 6 OF 8



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



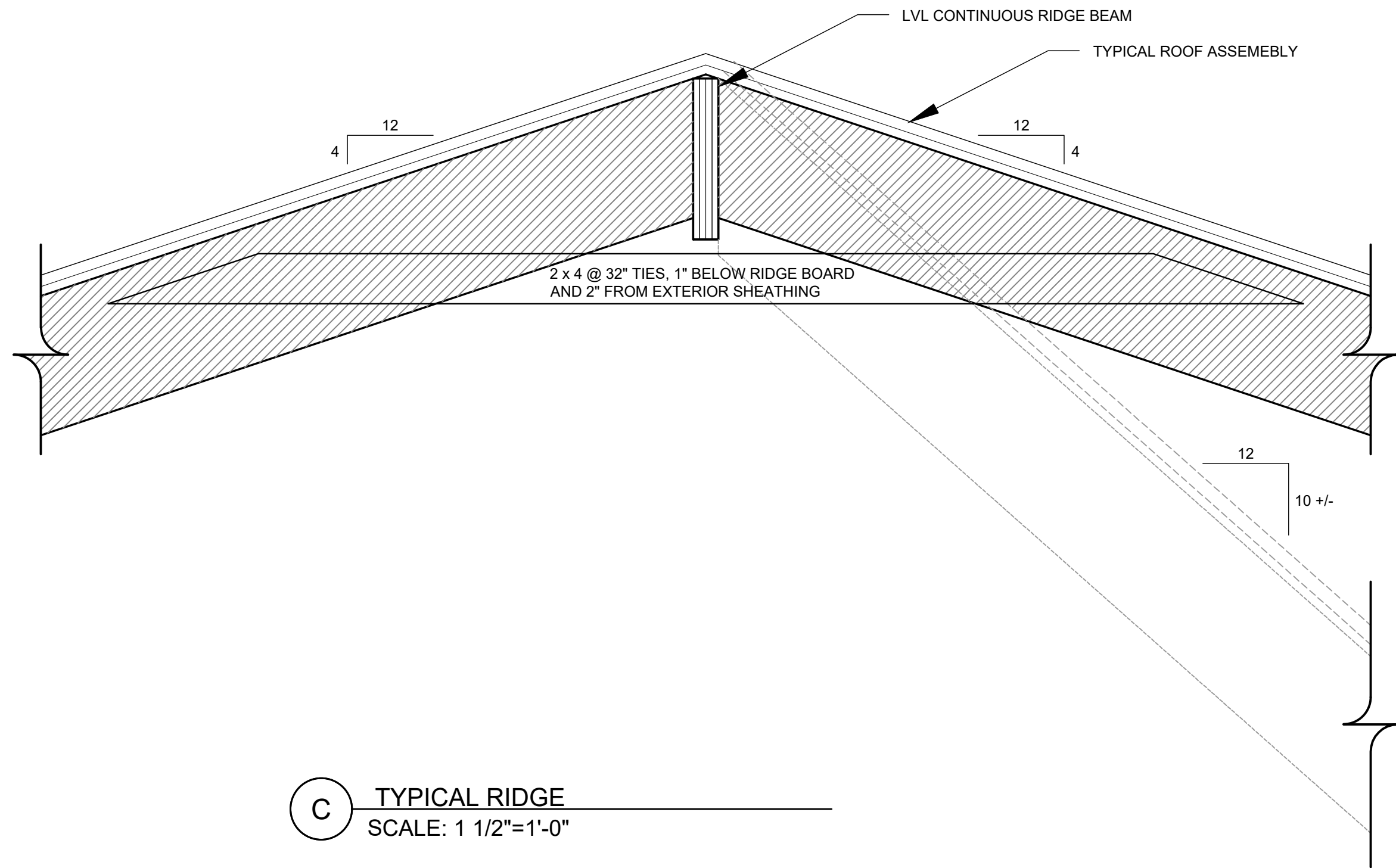
2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



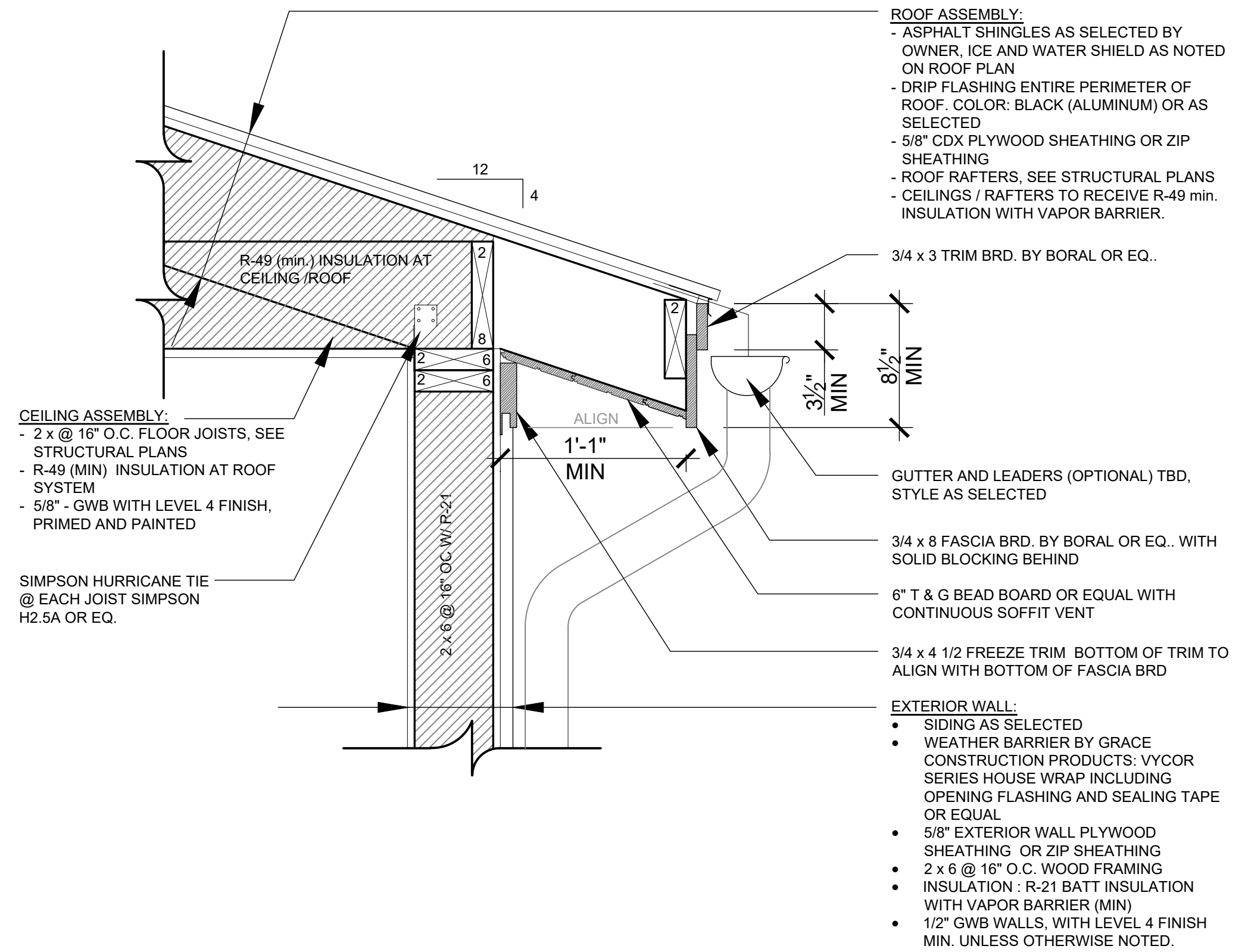
3 LEFT ELEVATION
SCALE: 1/4"=1'-0"



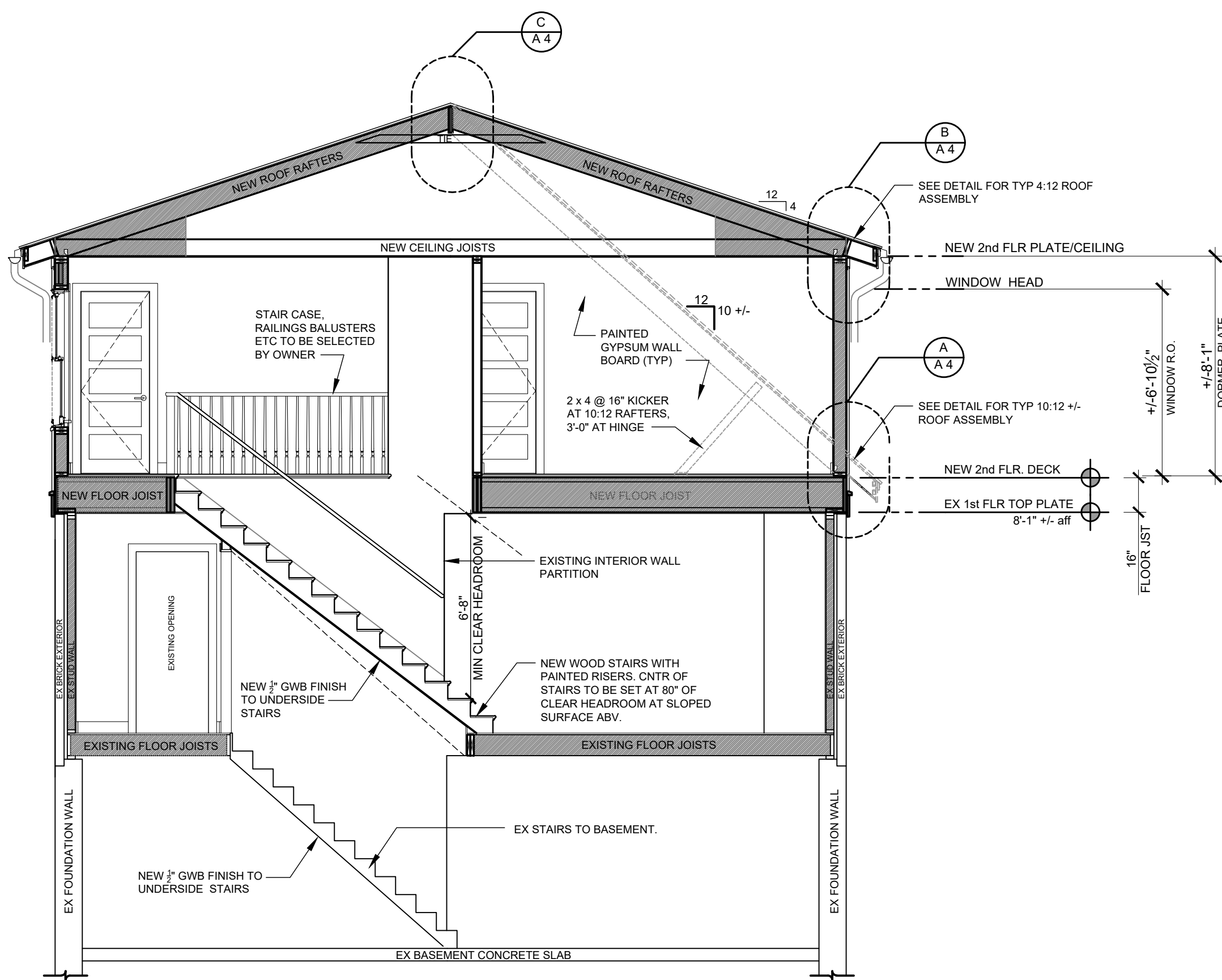
4 REAR ELEVATION
SCALE: 1/4"=1'-0"



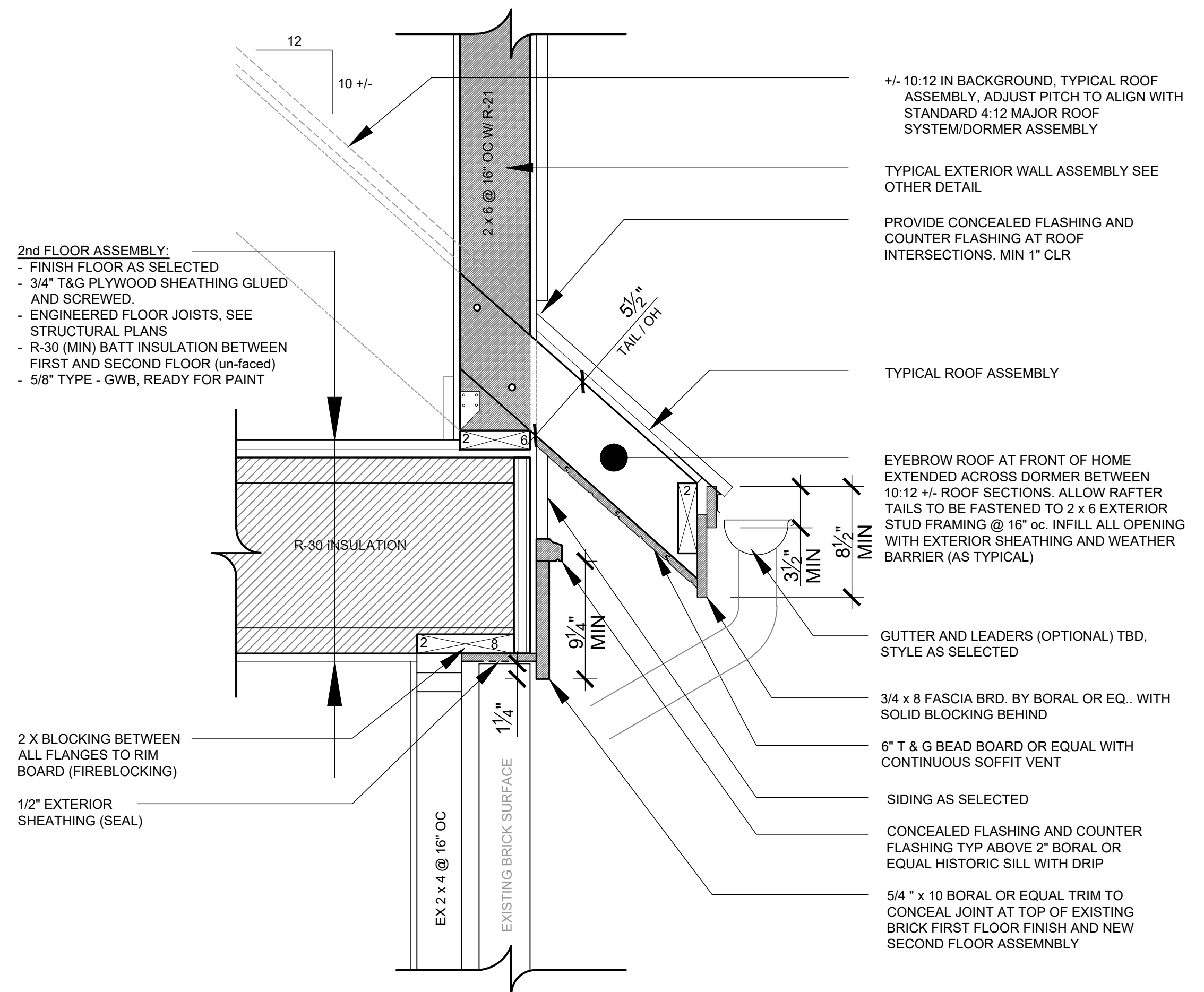
C TYPICAL RIDGE
SCALE: 1 1/2"=1'-0"



B TYPICAL EAVE LINE
SCALE: 1 1/2"=1'-0"



1 BUILDING SECTION
SCALE: 1/4"=1'-0"



A TYPICAL PLATE AND EYEBROW
SCALE: 1 1/2"=1'-0"



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowarchitecture@gmail.com

REV DATE DESCRIPTION

RESIDENCE OF:

ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:

BUILDING SECTION
SECTION DETAILS

ISSUE DATE

06.02.2020

SCALE

AS NOTED

JOB NO.

SHEET NO.

A 4

PAGE 7 OF 8



Edward Mauro, Architect
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Architecture, PLLC
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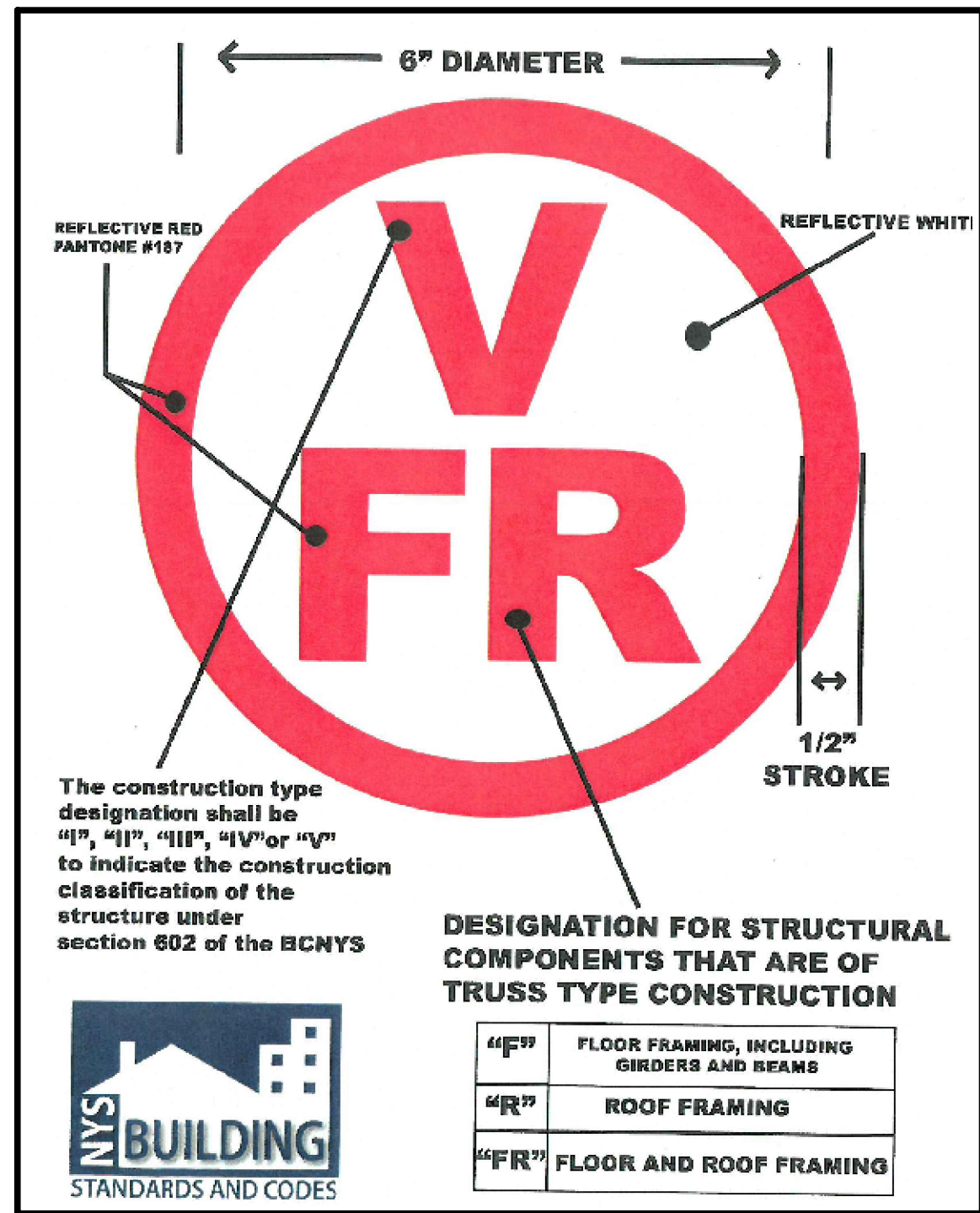
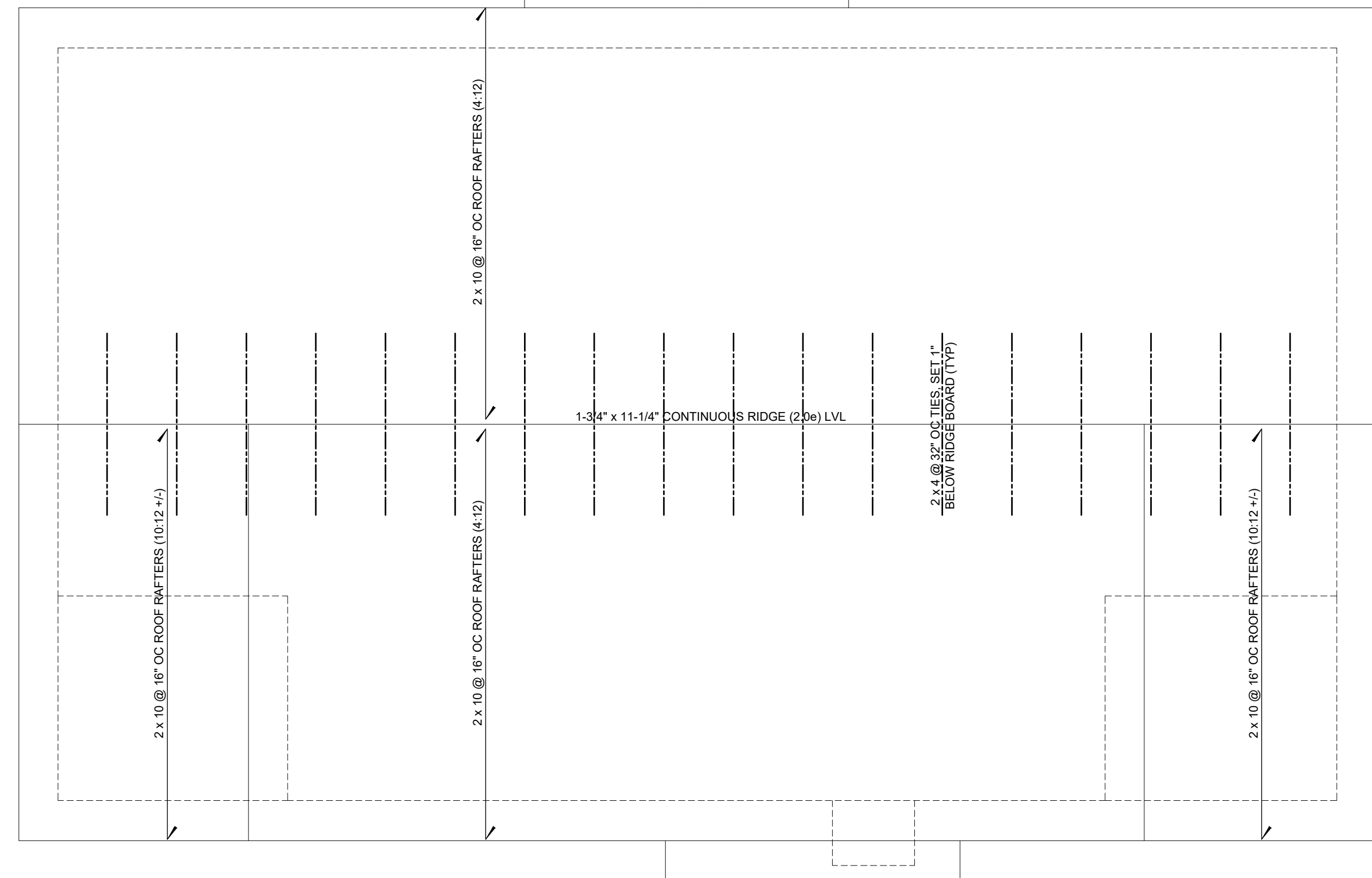
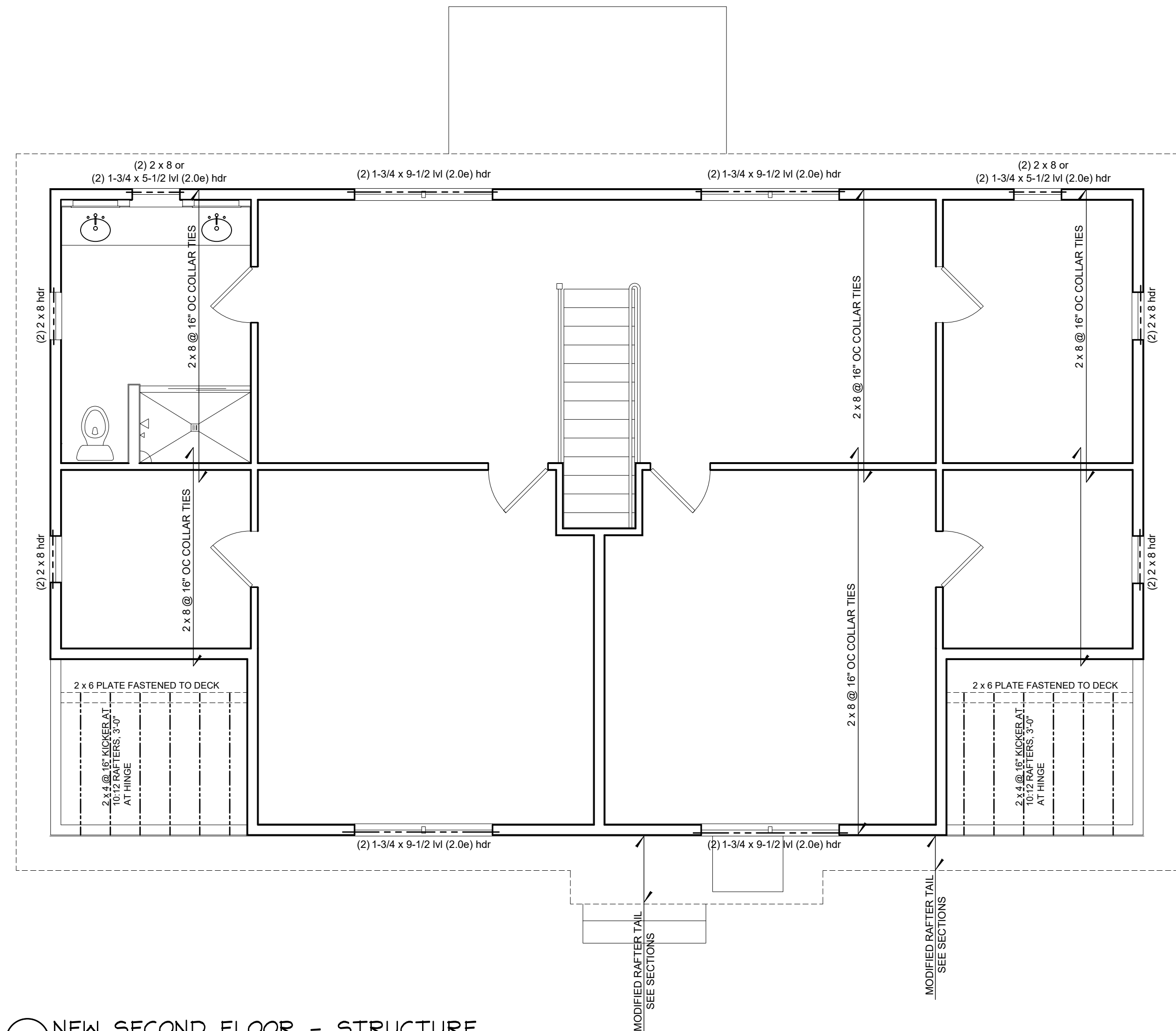
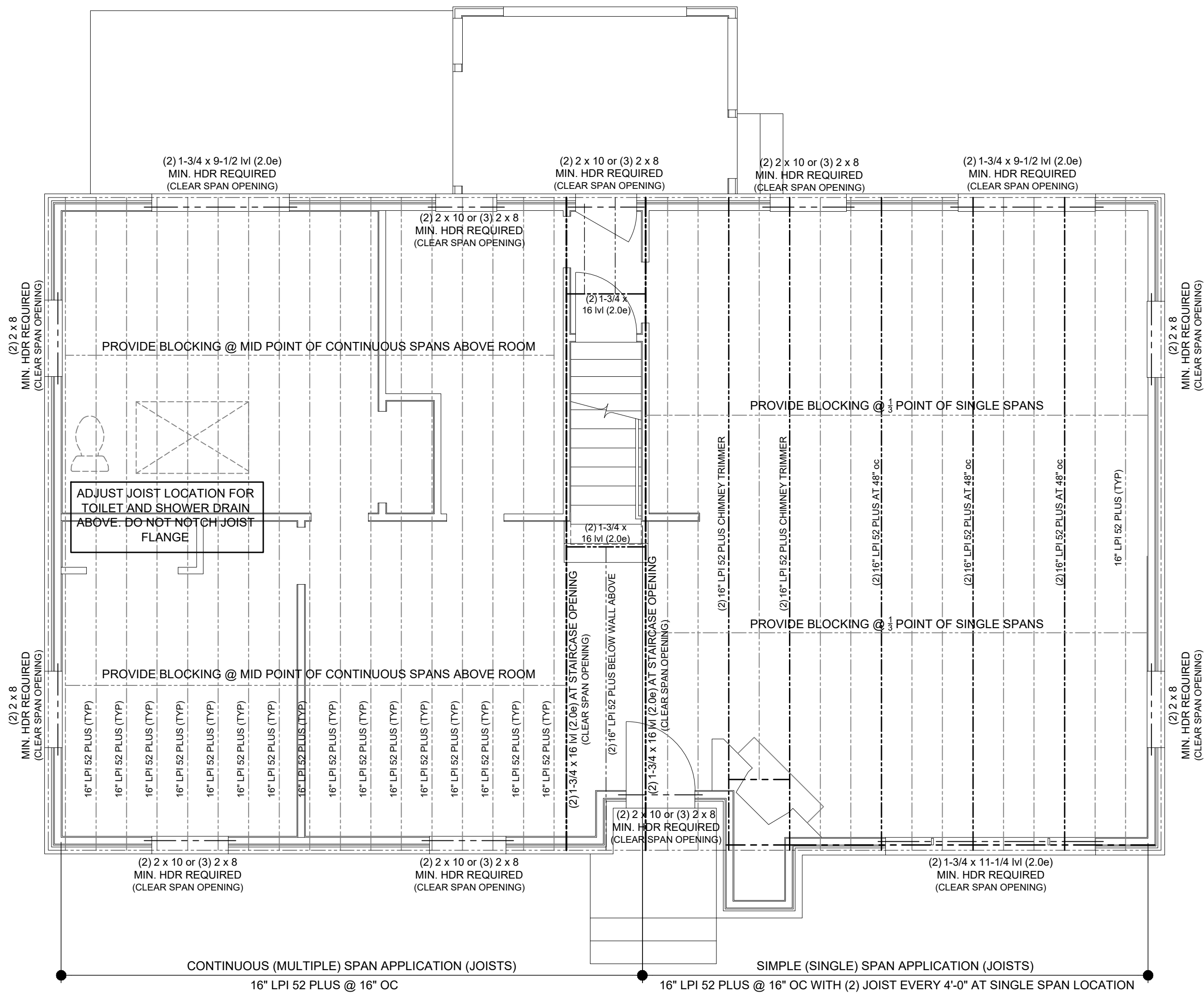
REV	DATE	DESCRIPTION

RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
STRUCTURAL PLANS
GENERAL STRUCTURAL NOTES
PLAN KEY
GENERAL LOADING REQUIREMENTS

ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.
SHEET NO.

S 1
PAGE 8 OF 8



- GENERAL STRUCTURAL NOTES:
- FRAMING LUMBER:
- JOISTS AND RAFTERS SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER AS GRADED BY WCLIB OR WWP.
 - STUDS SHALL BE EQUAL TO DOUGLAS FIR CONSTRUCTION GRADE OR BETTER AS GRADED BY WCLIB OR WWP.
 - ALL LUMBER MATERIALS SHALL BE NEW, SOUND, DRY MATERIAL FREE FROM DEFECT AND IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED, AND SHALL BE OF THE SIZE INDICATED ON THE DRAWINGS.
 - ALL HORIZONTAL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF FURRING.
 - ALL VERTICAL DIMENSIONS ARE TO TOP OF SUB FLOORING OR FACE OF CEILING FRAMING.
 - WINDOW ROUGH OPENING HEAD HEIGHTS ARE TO BE SET SO THAT FINISHED DOOR AND WINDOW HEAD CASINGS ARE THE SAME HEIGHT.
 - ALL FRAMING SHALL BE 16" O.C. UNLESS INDICATED OTHERWISE. ALL STUDDING SHALL BE TOE NAILED.
 - PROVIDE SOLID CROSS-BRIDGING FOR ALL FLOOR JOISTS AND RAFTERS AT MIDSPANS.
 - ALL WOOD IN CONTACT WITH CONCRETE OR GROUND SHALL BE PRESSURE TREATED YELLOW PINE.
 - DO NOT CUT, DRILL, REMOVE OR DAMAGE IN ANY WAY STRUCTURAL MEMBER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- LAMINATED VERTICAL LUMBER:
- ALL BEAMS, JOISTS AND HEADERS DESIGNATED AS LVL SHALL BE MICRO-LAM OR APPROVED EQUAL WITH A MODULUS OF ELASTICITY OF 2.0e MINIMUM.
 - REFER TO MANUFACTURER'S RECOMMENDATIONS FOR BEARING, BLOCKING, BRIDGING PENETRATIONS AND HANDLING.
- MANUFACTURED I-BEAM JOISTS:
- ALL BEAMS, JOISTS AND HEADERS DESIGNATED AS TJ SHALL BE LOUISIANA PACIFIC (LP) PRODUCTS OR APPROVED EQUAL.
 - REFER TO MANUFACTURER'S RECOMMENDATIONS FOR BEARING, BLOCKING, BRIDGING PENETRATIONS AND HANDLING.
 - DO NOT NOTCH I-BEAM JOIST FLANGES.
 - LOCATION OF I-JOIST CAN BE ADJUSTED FOR PLUMBING LOCATIONS ABOVE. LOCATION MAY BE MAX 3" IN EITHER DIRECTION.

STRUCTURAL PLAN KEY	
	NEW WALL CONSTRUCTION
	WOOD AND STEEL COLUMN
	STRUCTURAL BEAM AS NOTED ON DRAWINGS
	DIRECTION OF FRAMING. SIZE AS NOTED

STRUCTURAL LOADING VALUE:	
USE OR AREA	LOAD
UNINHABITED ATTICS WITHOUT STORAGE	10 LIVE
UNINHABITED ATTICS WITH LIMITED STORAGE	20 LIVE
ROOMS OTHER THEN SLEEPING ROOM	40 LIVE
SLEEPING ROOM	30 LIVE
STAIRS	40 LIVE
CONSTANT DEAD LOAD	15 DEAD

DEFLECTION UNDER LIVE LOAD	
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH FLEXIBLE FINISH (GWB)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS - WIND LOAD WITH FLEXIBLE FINISH (GWB)	H/120



THIS SURVEY IS A SCANNED IMAGE FROM A
DOCUMENT PREPARED BY:
JOHN MacAvery
LAND SURVEYOR
20 CEDAR STREET
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

Dated: MARCH 1995

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Allen Residence - Roof replacement			
Name of Action or Project: Allen Residence			
Project Location (describe, and attach a location map): 9 Violet Avenue, Beacon, NY			
Brief Description of Proposed Action: Remodeling the home that requires the removal of the existing roof structure and replace with a new front dormer with a full story at the rear of the structure under steeper roof system.			
Name of Applicant or Sponsor: Ed Mauro, Tomorrow's Architecture		Telephone: 845-728-8751 E-Mail: tomorrowarchitecture@gmail.com	
Address: 1173 Noxon Road			
City/PO: Lagrangeville		State: NY	Zip Code: 12540
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO ☒	YES ☐
3.a. Total acreage of the site of the proposed action?		0.219 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.219 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: Entire new roof structure will receive Closed cell foam insulation and the wall will receive open cell insulation.	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ The existing structure is already connected to City water supply	☒	☐	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ The existing structure is already connected to City Sewer lines	☒	☐	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the proposed action located in an archeological sensitive area?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	☒	☐	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	☒	☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes,	☒	☐	
a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES			
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?			
If Yes, briefly describe: ☐ NO ☐ YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>EDUARDO MAURO, ARCHITECT</u>		Date: <u>06/24/2021</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing:		
a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

PRINT

City of Beacon Zoning Board of Appeals Agenda
07/20/2021

Title:

Review and hold public hearing on application submitted by Beacon 248 Holdings, LLC, 248 Tioronda Avenue, Tax Grid No.'s 30-5954-16-993482-00 & 30-6054-45-012574-00, FCD Zoning District, for relief from Section 223-31.1(B) to allow construction of the residential buildings to take place before, and not concurrently with, construction of the project's commercial building

ATTACHMENTS

[248 Tioronda Avenue Application.pdf](#)

[248 Tioronda Avenue EAF.pdf](#)

[248 Tioronda Avenue Cover Letter.pdf](#)

ZONING BOARD OF APPEALS
City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: 248 Beacon Holdings LLC ADDRESS: 147 Union Street
Poughkeepsie, NY 12601

TELEPHONE: (845) 393-1380 E-MAIL: berry@chaibuilders.com

APPLICANT (if not owner): Same as above ADDRESS: Same as above

TELEPHONE: Same as above E-MAIL: Same as above

REPRESENTED BY: Daniel F. Leary, Esq. ADDRESS: 527 Route 22, Suite 2
Pawling, NY 12564

TELEPHONE: BNR LLP (914) 837-0896 E-MAIL: dleary@bnrllp.com

PROPERTY LOCATION: 248 Tioranda Avenue ZONING DISTRICT: FCD (Fishkill Creek Development)

TAX MAP DESIGNATION: SECTION 5954 BLOCK 16 LOT 993482
6054 45 012574

Section of Zoning Code appealed from or Interpretation desired:
Section 223-41.14B

Reason supporting request:

See Attached

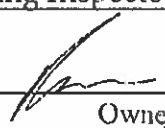
Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Site Plan, Correspondence from David Buckley, Building Inspector, dated June 25,
Correspondence of CPC, dated May 17, 2021.

Date: June 28, 2021

**2021,
Fee Schedule**

AREA VARIANCE \$ 250
USE VARIANCE \$ 500
INTERPRETATION: \$ 250


Owner's Signature


Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: 248 Beacon Holdings LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

Bernard Kohn

Michael Silberberg

List all properties in the City of Beacon that you hold a 5% interest in:

344 Main Street, Beacon, NY 12508

Craig House

Applicant Address: 147 Union Street, Poughkeepsie, NY 12601

Project Address: 248 Tioronda Avenue

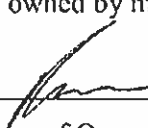
Project Tax Grid # 5954-16-993482 & 6054-45-012574

Type of Application Zoning Board of Appeals ("ZBA")

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Bernard Kohn, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

- | | |
|---|---------------|
| 1. No violations are pending for ANY parcel owned by me situated within the City of Beacon | <u>X</u> |
| 2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon | <u> </u> |
| 3. ALL tax payments due to the City of Beacon are current | <u>X</u> |
| 4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon | <u> </u> |
| 5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon | <u> </u> |
| 6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current | <u>X</u> |


Signature of Owner

Bernard Kohn- Principal

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

FOR OFFICE USE ONLY

Application #

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://cityofbeacon.org/>**INDIVIDUAL DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: 248 Beacon Holdings LLCAddress of Applicant: 147 Union Street, Poughkeepsie, NY 12601Telephone Contact Information: (845) 393-1380**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
248 Beacon Holdings LLC	147 Union Street Poughkeepsie, NY	(845) 393-1380	12110118 by Deed	Book 22019 Pg. 496 - Dutchess County Clerk

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

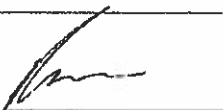
☒

NO

I, Bernard Kohn being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Bernard Kohn

(Signature)



FOR OFFICE USE ONLY

Application #

CITY OF BEACON**1 Municipal Plaza, Beacon, NY****Telephone (845) 838-5000 • <http://cityofbeacon.org/>****ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.

IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION: N/A

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES ☒ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

☐ YES ☒ NO

[illegible]

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
248 Beacon Holdings LLC	147 Union Street Poughkeepsie, NY 12601
Beacon 248 Development LLC	104 Rochelle Avenue Rochelle Park 275

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

N/A

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, Bernard Kohn being first duly sworn, according to law, deposes and says that I am (Title) Principal, an active and qualified member of the LLC, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) Bernard Kohn

(Signature)



617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 248 Tioronda Avenue Mixed-Use Project (Residential)			
Project Location (describe, and attach a location map): 248 Tioronda Avenue Beacon, NY 12508 (Commercial)			
Brief Description of Proposed Action: Application to the Zoning Board of Appeals ("ZBA") for relief from Section 223-41.14B of the Zoning code, to allow for construction of residential before office is fully built.			
Name of Applicant or Sponsor: 248 Beacon Holdings LLC		Telephone: 845-393-1380 E-Mail: berry@chaibuilders.com	
Address: 147 Union Street			
City/PO: Poughkeepsie		State: NY	Zip Code: 12601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☒ YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO ☒ YES
3.a. Total acreage of the site of the proposed action?		9.18 acres	
b. Total acreage to be physically disturbed?		N/A acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		9.18 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. ☒ Urban ☐ Rural (non-agriculture) ☒ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	☒	☐	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	☐	☒	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	☐	☒	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the proposed action located in an archeological sensitive area?	☐	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☐	☒	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☒	☐	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☐ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	☒	☐	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	☒	☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES	
a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES	☒	☐	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	☐ NO ☐ YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO ☒	YES ☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO ☒	YES ☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Former NYCS DEC State Super fund site - May 2003</u>	NO ☐	YES ☒
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>248 Beacon Holdings LLC</u> Date: <u>6/28/2021</u> Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing:		
a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

PRINT

City of Beacon

Request for Area Variance from the Zoning Board of Appeals (the “ZBA”)

Applicant: 248 Beacon Holdings LLC (the “Applicant”)

Parcel Nos: 5954-16-993482 & 6054-45-012574 (Merged)

Hearing Date: July 20, 2021

Supplemental Responses to the ZBA Application

Section of the City of Beacon Zoning Code from which variance is requested and herewith appealed:

The Applicant is seeking a variance from the following code section:

Section 223-41.14B of the City Zoning Code (“Bulk Regulations”), which requires that nonresidential space be built out before or concurrently with the residential development of the site.

Request for Area Variance.

Pursuant to General City Law Section 81-b (4) and Section 223.55 (C) (2) (b) of the City Zoning Code, the overall test for area variances is the balancing of the benefit to the applicant if the variances are granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or the community by such grant. As more fully set forth in the enclosed correspondence from The Community Preservation Corporation (“CPC”), dated May 17, 2021, the Applicant is not able to finance the commercial/office component of his fully approved mixed use project (the “Project”) at this time. This is due to the uncertainty of demand for commercial space and office space in particular, attributed to the pandemic and other factors. On the other hand, financing for the residential component of the Project remains available, and the Applicant is desirous of commencing construction on that portion of the Project as soon as possible. The Applicant is fully committed to the construction of the nonresidential space as approved for the Project, once financing is available. Therefore, the Applicant respectfully asks that the ZBA consider the benefit of granting the requested relief from Section 223-41.14B of the Zoning Code, when weighing and balancing the following five (5) factors:

1. There will be no undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance.

No undesirable change will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variance. For the Project as a whole, the previous approval by the City of Beacon Planning Board to construct two multifamily buildings and a commercial building remains intact. The Applicant is not proposing to construct any additional buildings, expand impervious surfaces or change any of the previously approved setback, lot coverage and other

dimensional requirements applicable to development in the Fishkill Creek Development (“FCD” Zoning District. In addition, the Project would remain wholly consistent with the Local Waterfront Revitalization Program (“LWRP”) Zoning District. In sum, there will be no undesirable or detrimental “external” impacts to the character of the neighborhood or nearby surrounding properties by the grant of this variance.

2. The benefit sought by the applicant cannot be achieved by some method feasible for the Applicant to pursue, other than a variance.

As demonstrated by the enclosed correspondence from the CPC, there are no other feasible methods for the Applicant to pursue besides the requesting variance. Specifically, the financial viability of the Project itself hinges on the grant of the variance. Because the Applicant cannot obtain financing for the Project without obtaining relief from the sequencing in construction between commercial space and residential development required under Section 223-41.14B, there are no other feasible options for the Applicant to pursue. The Applicant is working within the constraints of the existing lending/borrowing market and this variance is the minimum necessary that will allow construction of the Project to move forward.

3. The requested variance is not substantial.

The requested variance is not substantial in effect. “Substantiality” is not just a matter of mathematical proportion. Rather, the reigning test is always whether the variance will have a detrimental effect on the neighborhood.

As already noted in “1” above, there will be no detrimental effect on the neighborhood by the grant of this variance. In fact, the variance being sought does nothing to change or increase building/lot coverage, setbacks, building size or the space between the proposed development and neighboring property owners required under the approved site plan or in the Zoning Code.

4. The requested variance, if granted, will not have an adverse impact on the physical and/or environmental conditions in the neighborhood.

The proposed variance will not have an adverse effect on the physical or environmental conditions of the neighborhood or district. There will be no adverse effects of noise, vibrations, odor, traffic or impact on public services by the grant of this variance. The variance will not result in any adverse impacts under SEQRA, nor will it increase any of the environmental impacts that went in to the “Negative Declaration” adopted by the Planning Board as Lead Agency on April 14, 2014. Other than this proposed change in sequencing between commercial and residential construction, none of the terms and conditions of the site plan previously approved by the Planning Board will be impacted by the grant of the variance, and the Project’s consistency with the LWRP remains unchanged.

5. The alleged difficulty was not self-created.

The alleged difficulty was not self-created, but arises out of a zoning amendment that was adopted well after the Applicant selected the site as the location of its proposed development and commenced site plan review by the Planning Board. However, even if the hardship was self-created, this alone does not preclude the grant of an area variance under General City Law 84-b (4) (v).



Berlandt Nussbaum & Reitzas LLP
Attorneys at Law

NEW YORK CITY OFFICE

125 PARK AVENUE
25TH FLOOR
NEW YORK, NY 10017

WHITE PLAINS OFFICE

445 HAMILTON AVENUE
14TH FLOOR
WHITE PLAINS, NY 10601

PAWLING OFFICE

527 ROUTE 22
SUITE 2
PAWLING, NY 12564

TELEPHONE (212) 804-6329
FACSIMILE (646) 461-2312

WWW.BNRLLP.COM

June 29, 2021

VIA ELECTRONIC MAIL

Hon. David Jensen, And
Members of the Zoning Board of Appeals
City of Beacon
1 Municipal Plaza
Beacon, New York 12508

Re: Application of 248 Beacon Holdings, LLC, for an Area Variance
Premises: 248 Tioronda Avenue, Beacon, New York
Tax Parcel IDs: (5954-16-993482 & 6054-45-012574- Now Merged)

Dear Chairman Jensen and Members of the Zoning Board of Appeals ("ZBA"):

By way of introduction, this firm represents 248 Beacon Holdings, LLC (the "Applicant"), the owner of property located at 248 Tioronda Avenue in the City of Beacon (the "City"), known and designated on the tax assessment map of the City as 5954-16-993482 & 6054-45-012574, but merged in to one parcel pursuant to the previously granted subdivision/lot merger approval by the City of Beacon Planning Board (the "Property").

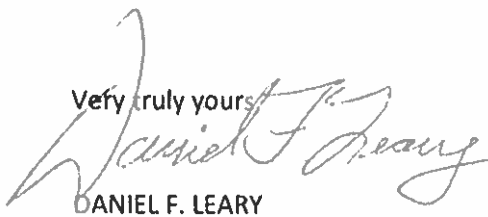
Pursuant to Section 223.55 (C)(2) of the City of Beacon Zoning Code, we submit the enclosed application to the ZBA for a variance from Section 223-41.14B of the Zoning Code ("Bulk Regulations"), which requires that nonresidential space be built out before or concurrently with the residential development of the Property. Attached to the application is a supplemental statement setting forth the reasons supporting the request for a variance. In further support, we also enclose correspondence of The Community Preservation Corporation, dated May 17, 2021.

We respectfully request that the application be placed on the agenda of the July 20, 2021 meeting for a public hearing and consideration of this request for a variance. In the interim, if you have any questions, or need additional information, please do not hesitate to contact me at 914-837-0896 or dleary@bnrllp.com.

June 29, 2021
Page 2 of 2

BNR

Thank you for your consideration.

Very truly yours,

DANIEL F. LEARY

Cc: Berry Kohn, 248 Beacon Holdings, LLC
Drew Gamils, Esq., ZBA Attorney
Jennifer L. Gray, Esq., Planning Board Attorney



David Buckley
Building Inspector

CITY OF BEACON
New York

BUILDING DEPARTMENT

845-838-5020
Email: dbuckley@cityofbeacon.org

June 25, 2021

Re: 248 Tioronda Ave
Grid # 5954-16-993482

Dear Mr. Kohn:

Your request to not build the commercial building concurrently with the two residential buildings at the referenced address is in violation of section 223-41.14(B) of the City of Beacon Zoning Code and cannot be approved.

You are hereby directed to apply to the zoning board of appeals for relief of this request. If you have any questions or need further information, please feel free to contact me at (845) 838-5020. Thank you.

Sincerely,

David Buckley

David Buckley
Building Inspector



The Community Preservation Corporation

480 Bedford Road, Suite 4201
Chappaqua, New York 10514

May 17, 2021

Mr. Bernard Kohn
248 Beacon Holdings LLC

Re: 248 Tioronda Avenue, Beacon, NY

To whom it may concern:

Mr. Kohn has submitted a request to the Community Preservation Corporation (CPC) for Construction Financing for the purposes of constructing a mixed-use development consisting of 64 residential apartments and 25,400 SF of Office space. The financing request states that the residential apartments will be constructed in two separate buildings with each building consisting of 32 apartments. The 25,400 SF of Office Space will be located in a third building.

CPC has reviewed the proposed development and is supportive of the project and would like to find a way to provide Mr. Kohn with the requested financing to construct additional housing in Beacon. CPC would like to move forward toward loan approval, however, given the uncertainty for demand for commercial space and in particular office space created by the pandemic, we are not able to finance the commercial component of this project at this time. CPC relies on Permanent Loan lenders such as Freddie Mac and Fannie Mae among others to provide long term financing to take-out CPC's Construction Loan's and these lenders are currently very hesitant to and in most cases not underwriting any income generated from office space or the commercial components of mixed-use developments. If these lenders begin to consistently underwrite to commercial income and in particular office space in the future, CPC would then reevaluate the loan request at that time, but for the time being we are unable to finance the commercial portion of this development.

CPC is both interested and excited to provide capital for multi-family development in Beacon and throughout New York State. Mr. Kohn is an existing client of CPC's and is currently in good standing. CPC is looking forward to working with Mr. Kohn in order to develop and preserve much needed safe affordable housing throughout the Hudson Valley.

Should you have any questions, please feel free to contact me.

Best Regards,

Michael Kroog Digitally signed by Michael Kroog
Date: 2021.05.17 16:20:46 -04 00'

Michael Kroog
Vice President, Mortgage Officer
P - (914) 801-1065
E - mkroog@communitypc.com

City of Beacon Zoning Board of Appeals Agenda
07/20/2021

Title:

Review and hold public hearing on application submitted by Ian Panteleone, 30 Fowler Street, Tax Grid No. 30-5954-44-980648-00, R1-5 Zoning District, for relief from Section 223-10(C)(1) to increase the non-conforming use of the two-family residence AND Section 223-17(E) to allow for construction of a second story addition over an existing one-story structure with an 8.1 ft. side yard setback (*10 ft. required*)

ATTACHMENTS

[30 Fowler Street Site Plan.pdf](#)

[30 Fowler Street Survey.pdf](#)

[30 Fowler Street Application.pdf](#)

[30 Fowler Street EAF.pdf](#)

SURVEY NOTES

1. Copyright Johnson Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.

2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.

4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

5. The certifications herein are not transferable.

6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.

7. Subject to the findings of a current title search.

8. Subject to covenants, easements, restrictions, conditions and agreements of record.

9. Subject to any right, title or interest the public may have for highway use.

10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.

DEED REFERENCE

Doc. #02 2015 8045
Christopher S. Lorenc
To
Ian R. Panteleone
December 7, 2015

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
5954-44-980648

DATE OF SURVEY

Field Completion: June 10, 2021

CERTIFICATIONS

Ian R. Panteleone

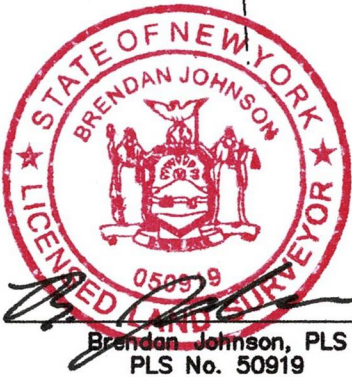
AREA

4,000 Square Feet
0.092 Acres

**JOHNSON
SURVEYING**

BRENDAN JOHNSON, PLS
10 Meadow Lane
Pleasant Valley, NY 12569
Phone No. (845) 380-0528
johnsonboundaries@gmail.com

Copyright 2014



Brendan Johnson, PLS
PLS No. 50919

Now or Formerly
Swierzawski
Doc. #02 2002 5711
5954-44-974652

Now or Formerly
Lehey
Liber 1965, Page 400
5954-44-980657

Now or Formerly
Bertolozzi
Liber 1658, Page 607
5954-44-988652

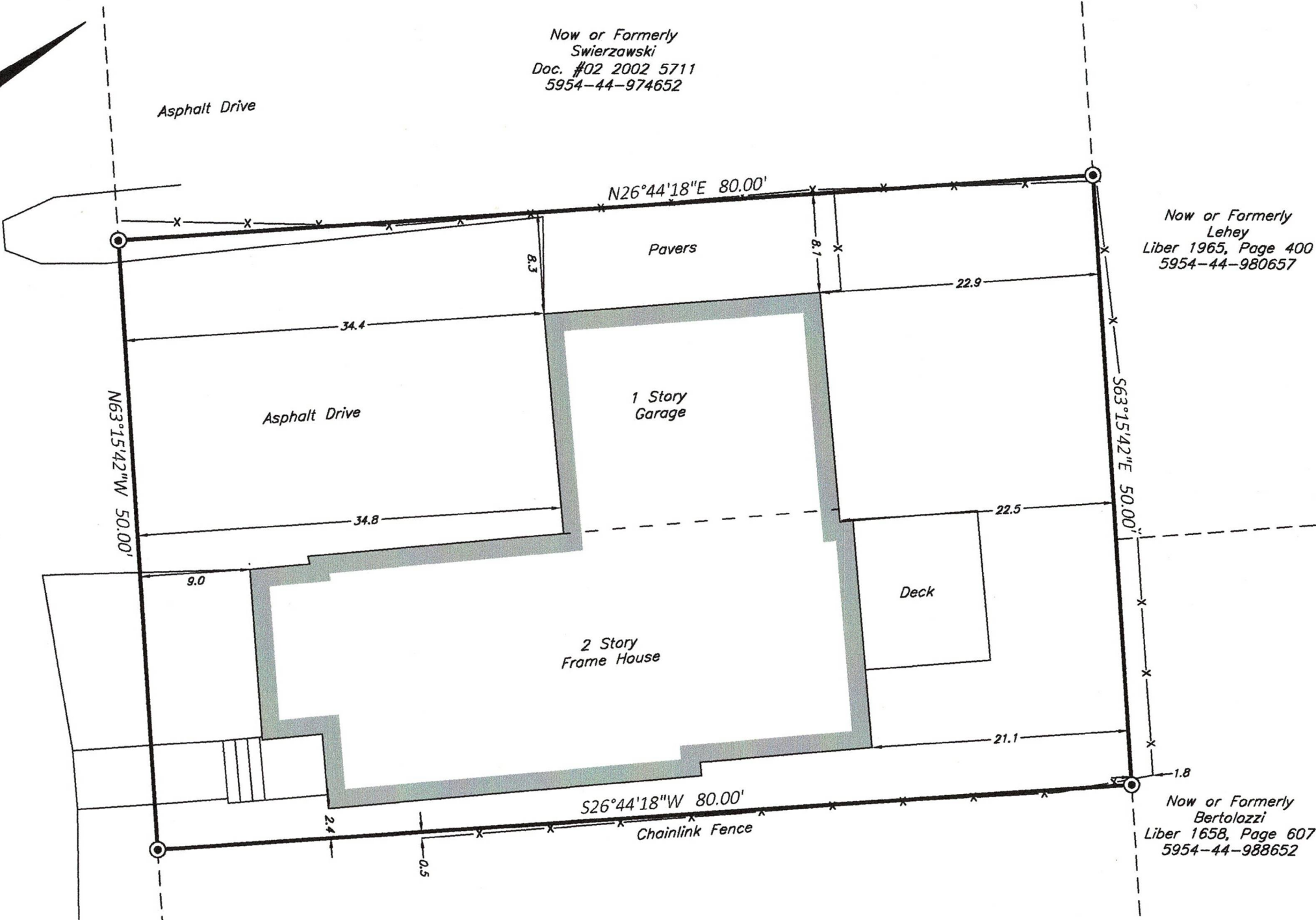
Now or Formerly
Cafiero
Doc. #02 2020 4700
5954-44-986646

30 FOWLER ST

**MAP OF A SURVEY
PREPARED FOR
PANTELEONE**

CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

Fowler Street



tax id	5954-44-980648
address	30 FOWLER ST
date	6/13/2021
drawn	BJ
scale	1"=20'
checked	BJ
project no.	21-098
project name	30 FOWLER ST
sheet	1 OF 1

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: Ian PanteleoneADDRESS: 30 Fowler St., Beacon, NY 12508TELEPHONE: 917-559-5564E-MAIL: nymanagementllc@gmail.com

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: J.C. Calderón
calderón architecture & designADDRESS: 5 Cliff St., Beacon, NY 12508TELEPHONE: 212-369-2766E-MAIL: jc@calderonarchitecture.comPROPERTY LOCATION: 30 Fowler St.ZONING DISTRICT: ~~RD-3~~ R1-5TAX MAP DESIGNATION: SECTION 5954BLOCK 44 LOT 980648Section of Zoning Code appealed from or Interpretation desired: WE REQUEST TWO AREA VARIANCES.Relief to allow an 8.1 foot sideyard setback on the proposed second floor where 10 feet is required; addition over existing 2-family residence. §223-2H, §223-17 RELIEF FROM SECTION § 223-10 C.(1) FOR AN INCREASE IN ~~NONCONFORMING~~ USE OF THE EXISTING TWO-FAMILY RESIDENCE.

Reason supporting request:

Proposed second-story addition to match existing first-floor footprint on side yard of house. Existing side yard setback does not conform to current zoning.Supporting documents submitted herewith: Site Plan, Survey, etc. as required:Site Plan, SurveyDate: June 29, 2021

Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Ian Panteleone

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.
N/A

List all properties in the City of Beacon that you hold a 5% interest in:
30 Fowler Street

Applicant Address: 30 Fowler Street, Beacon, NY 12508

Project Address: 30 Fowler Street

Project Tax Grid # 5954-44-980648

Type of Application Zoning Board of Appeals

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Ian Panteleone, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon X
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current X
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current X


 Signature of Owner

 Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
<u>✓</u>	<u> </u>	<u> </u>
<u> </u>	<u>✓</u>	<u>IP</u>
<u> </u>	<u> </u>	<u> </u>

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://cityofbeacon.org/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A

Name of Applicant: Ian PanteleoneAddress of Applicant: 30 Fowler Street, Beacon, NY 12508Telephone Contact Information: 917-559-5564

SECTION B. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Ian Panteleone	30 Fowler Street, Beacon, NY 12508	917-559-5564	Reference Deed 11/17/15	Dutchess County 12/17/15

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, Ian Panteleone being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) Ian Panteleone

(Signature) *Ian Panteleone*

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Second-story addition at 30 Fowler Street			
Project Location (describe, and attach a location map): 30 Fowler Street, Beacon, NY 12508			
Brief Description of Proposed Action: New 18'-10.5" x 23'-4" second-story addition to existing attached garage. Existing garage to be altered as per plans. Addition includes unfinished storage; there will be no second-floor access from main residence to addition. Alteration of existing floors as noted on plans.			
Name of Applicant or Sponsor: Ian Panteleone		Telephone: 917-559-5564 E-Mail: nymanagementllc@gmail.com	
Address: 30 Fowler Street			
City/PO: Beacon		State: NY	Zip Code: 12508
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Beacon Zoning Board of Appeals: Variance Beacon Building Department: Building Permit		NO ☐	YES ☒
3.a. Total acreage of the site of the proposed action?		0.09 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.09 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO ☐	YES ☒	N/A ☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO ☒	YES ☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO ☐	YES ☒	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO ☐	YES ☒	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO ☐	YES ☒	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO ☒	YES ☐	
b. Is the proposed action located in an archeological sensitive area?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO ☒	YES ☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☒	☐	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO ☒	YES ☐	
16. Is the project site located in the 100 year flood plain?	NO ☒	YES ☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO ☒	YES ☐	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Ian Panteleone		Date: June 29, 2021
Signature: <i>Ian Panteleone</i>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

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