



CITY OF BEACON, NEW YORK
COURTROOM, CITY HALL
1 MUNICIPAL PLAZA
BEACON, NY 12508

**September 21, 2021
7:00 PM
Zoning Board of Appeals Agenda**

Regular Meeting

1. Review and hold public hearing on application submitted by Catrinel Bartolomeu & Bruno Maddox, 1080 Wolcott Avenue, Tax Grid No. 30-5954-34-659817-00, R1-40 Zoning District, for relief from Section 223-17(D) to allow for the creation of an accessory apartment in an existing barn with less than a one-foot (1 ft.) rear yard setback (50 ft. required)
2. Continue public hearing on application submitted by Kristine Allen, 9 Violet Drive, Tax Grid No. 30-6054-02-508868-00, R1-10 Zoning District, for relief from Section 223-17(D) for a second story addition with 12.8 ft. side yard setback (15 ft. required)

City of Beacon Zoning Board of Appeals Agenda
09/21/2021

Title:

Review and hold public hearing on application submitted by Catrinel Bartolomeu & Bruno Maddox, 1080 Wolcott Avenue, Tax Grid No. 30-5954-34-659817-00, R1-40 Zoning District, for relief from Section 223-17(D) to allow for the creation of an accessory apartment in an existing barn with less than a one-foot (1 ft.) rear yard setback (*50 ft. required*)

ATTACHMENTS

[1080 Wolcott Avenue Application.pdf](#)

[1080 Wolcott Avenue Site Plan.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: Catrinel Bartholomew
Bruno MaddoxADDRESS: 1080 Wolcott AveTELEPHONE: 347-512-5124E-MAIL: catrinel@gmail.comAPPLICANT (if not owner): Jonathan MossADDRESS: 473 Main St
Beacon, NY 12508TELEPHONE: 845 831-1318

E-MAIL: _____

REPRESENTED BY: Berg + MossADDRESS: 473 Main St
Beacon, NY 12508TELEPHONE: 845 831-1318

E-MAIL: _____

PROPERTY LOCATION: 1080 Wolcott AveZONING DISTRICT: R1-40 with Historic
OverlayTAX MAP DESIGNATION: SECTION 130200-5954 BLOCK _____ LOT _____
-659817-000

Section of Zoning Code appealed from or Interpretation desired:

223-24.1 setbacks for accessory buildings. This is a existing
historic accessory building, with no change to the bulkSection 223-17(d) to create an
accessory apartment in an existing barn
with less than one foot (1 ft.) rear
yard setback (50 ft. required)

Reason supporting request:

Existing Historic Carriage house, with no change to exterior bulk

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

see attached

Date: _____

Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: CATRINEL BARTOLOMEU, BRUNO MADDOX

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

680 Wolcott Ave Beacon NY 12508

Applicant Address: 1080 Wolcott Ave, Beacon NY 12508

Project Address: 680 Wolcott Ave Beacon NY 12508

Project Tax Grid # _____

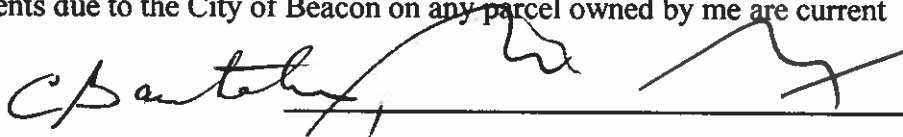
Type of Application _____

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

CATRINEL BARTOLOMEU

I, BRUNO MADDOX, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon ✓
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon _____
3. ALL tax payments due to the City of Beacon are current ✓
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon _____
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon _____
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current ✓



Signature of Owner

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

✓

EB

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

✓

EB

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

✓

EB

Application #

CITY OF BEACON

1 Municipal Plaza, Beacon, NY

Telephone (845) 838-5000 • <http://cityofbeacon.org/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A

Name of Applicant: Catrinel Bartolomeu, Bruno MaddoxAddress of Applicant: 1080 Wolcott Ave Beacon NY 12508Telephone Contact Information: 347 912-9124

SECTION B. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Catrinel Bartolomeu	1080 Wolcott Ave	347-512-5124	Dec. 2019	
Bruno MADDox	1080 Wolcott Ave	917-574-1320	Dec 2019	

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, _____ being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) _____

(Signature) _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

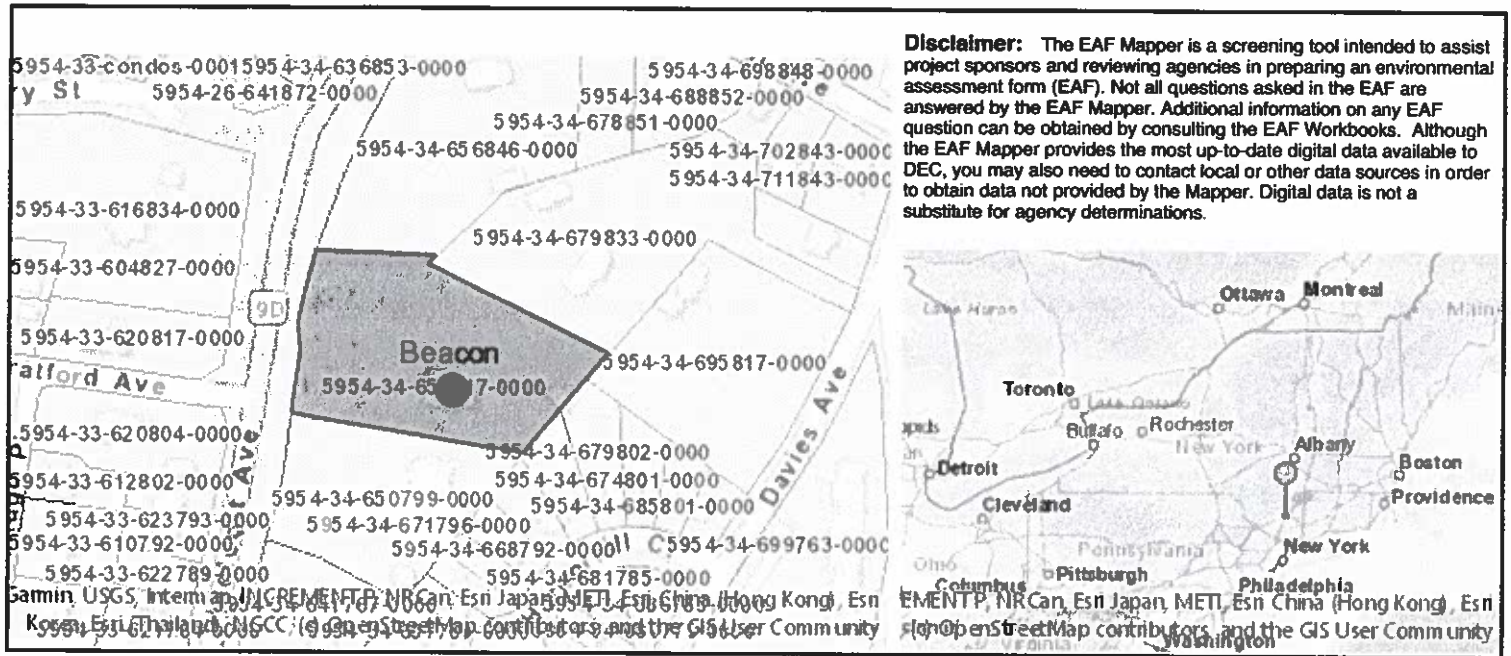
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
Name of Action or Project: 1080 Wolcot Side yard Variance							
Project Location (describe, and attach a location map): Carridge House 1080, Wolcott Ave, Beacon, NY							
Brief Description of Proposed Action: Approval for side yard variance for an existing historic building. A change of use requires the variance							
Name of Applicant or Sponsor: Jonathan Moss		Telephone: 845-831-1318 E-Mail: jon@bergmoss.com					
Address: 473 Main St,							
City/PO: Beacon		State: NY	Zip Code: 12508				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 5px;">NO</td> <td style="text-align: center; padding: 5px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 5px;">☐</td> <td style="text-align: center; padding: 5px;">☒</td> </tr> </table>	NO	YES	☐	☒
NO	YES						
☐	☒						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 5px;">NO</td> <td style="text-align: center; padding: 5px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 5px;">☐</td> <td style="text-align: center; padding: 5px;">☐</td> </tr> </table>	NO	YES	☐	☐
NO	YES						
☐	☐						
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO ☐ ☐	YES ☒ ☒	N/A ☐ ☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO ☒ ☒ ☒	YES ☐ ☐ ☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO ☐	YES ☒	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO ☐	YES ☒	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO ☐	YES ☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO ☒ ☐	YES ☐ ☒	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO ☒ ☐	YES ☐ ☐	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Atlantic Sturgeon, Shortnos...	☐	☒
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	☒	☐
a. Will storm water discharges flow to adjacent properties?	☐	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☐	☐
If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	☐	☒
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Bruno Maddox, Catrivel Bertolone</u> Date: <u>8/26/2021</u>		
Signature: <u>[Signature]</u> Title: _____		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Atlantic Sturgeon, Shortnose Sturgeon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

BARN CONVERSION

1080 WOLCOTT AVENUE
BEACON, NEW YORK 12508

ACCESSORY BUILDING - VARIANCE
APPLICATION
06.22.2021

GENERAL NOTES

LOCATION:	1080 WOLCOTT AVENUE, BEACON, NY 12508
TAX MAP:	130200-5954-34-659817-0000
DEED REFERENCE:	BOOK: 22020, PAGE: 30
OWNER OF RECORD:	CATRINEL AND BRUNO BARTOLOMEU 1080 WOLCOTT AVE BEACON NY 12508
APPLICANT:	CATRINEL AND BRUNO BARTOLOMEU 1080 WOLCOTT AVE BEACON NY 12508
ZONING DISTRICT:	R1-40: RESIDENTIAL; HISTORIC DISTRICT AND LANDMARK ZONING OVERLAY
PROPOSED USE:	BARN CONVERSION
NARRATIVE:	CONVERSION OF AN EXISTING BARN NON-SPRINKLERED. CURRENTLY ZONED AS RESIDENTIAL. NO CHANGE TO ZONING. PROPOSED USE OF BARN TO BE APARTMENT SPACE FOR OWNER'S FAMILY.
HOURS OF OPERATION:	N/A - RESIDENTIAL USE

ZONING ANALYSIS - ACCESSORY BUILDING

	REQUIRED BY ORDINANCE	PROPOSED
ZONING DISTRICT	R1-40: RESIDENTIAL; HISTORIC DISTRICT AND LANDMARK ZONING OVERLAY	
USE GROUPS EXISTING ON SITE	RESIDENTIAL	
USE GROUPS PROPOSED ON SITE	RESIDENTIAL - ACCESSORY BUILDING CONVERSION	
BUILDING FOOTPRINT	N/A	955 SF - NO CHANGE
MAX LOT COVERAGE	N/A	NO CHANGE
SETBACK REGULATIONS (SEC. 223-17E)		
FRONT YARD SETBACK: SIDE YARD SETBACK: REAR YARD SETBACK:	NOT PERMITTED IN FRONT YARD 25 FT MIN 25 FT MIN	N/A EXISTING - 76'-3", 52'-5" EXISTING, NON-COMPLIANT - 2'-2 1/2"
MAX CUMULATIVE SQUARE FOOTAGE FOR ALL ACCESSORY BUILDINGS:	1,625 SF	EXISTING, NON-COMPLIANT - 371 SF (GARAGE) + 1,720 SF (BARN) = 2,091 SF > 1,625 SF
MAX SQUARE FOOTAGE PERMITTED FOR EACH ACCESSORY BUILDING:	40% OF PRINCIPAL BUILDING	3,709.2 SF (PRINCIPAL BUILDING) X 40% = 1,484 SF ALLOWABLE
MAX NUMBER OF SHEDS PERMITTED:	2	NO CHANGE - 2 EXISTING ACCESSORY BUILDINGS
SETBACK REGULATIONS (SEC. 223-24.1)		
FLOOR AREA REQUIREMENTS FOR AN ACCESSORY APARTMENT IN AN ACCESSORY BUILDING:	300 SF MIN 600 SF MAX	1,320 SF FOR PROPOSED APARTMENT
VARIANCE SUMMARY:	1. REAR YARD SETBACK ACCESSORY BUILDING (SEC. 223-17E): 2. PERMITTED ACCESSORY BLDG SF (SEC. 223-17): 3. CUMULATIVE ACCESSORY BLDGS AREA (SEC. 223-17): 4. FLOOR AREA REQS FOR ACCESSORY APT/ (SEC. 223-24.1): 5. 2ND FL. OF ACCESSORY B'D'G SHALL BE STORAGE (SEC. 223-14E(3)(e)):	
	REAR YARD SETBACK (24.4' VARIANCE REQ'D) TOTAL SF OF BARN = 1,720 SF TOTAL SF OF CUMULATIVE BLDGS = 2,091 SF TOTAL SF OF PROPOSED APT. = 1,320 SF PROPOSED RESIDENTIAL USE	

ZONING ANALYSIS

	REQUIRED BY ORDINANCE	PROPOSED
ZONING DISTRICT	R1-40: RESIDENTIAL; HISTORIC DISTRICT AND LANDMARK ZONING OVERLAY	
LOT AREA	1.599 ACRES (69,654.9 SF)	
STREET FRONTAGE	203 FT ALONG WOLCOTT AVENUE	
USE GROUPS EXISTING ON SITE	RESIDENTIAL	
USE GROUPS PROPOSED ON SITE	RESIDENTIAL ACCESSORY BUILDING	
BUILDING FOOTPRINT	N/A	3,709.2 SF - NO CHANGE
MAX LOT COVERAGE	15%	NO CHANGE
YARD REGULATIONS (SEC. 223-17C)		
MINIMUM LOT AREA: MINIMUM LOT WIDTH: MINIMUM LOT DEPTH:	40,000 SF 150 FT 150 FT	NO CHANGE +/- 419' - COMPLIES +/- 203' - COMPLIES
SETBACK REGULATIONS (SEC. 223-17C)		
FRONT YARD SETBACK: SIDE YARD SETBACK: REAR YARD SETBACK:	40 FT MIN 25 FT MIN 50 FT MIN	NO CHANGE - COMPLIES NO CHANGE - COMPLIES NO CHANGE - 49.4' VARIANCE REQ'D
HEIGHT REGULATIONS (SEC. 223-17C)		
MAX HEIGHT (STORIES):	2.5 STORIES / MAX 35 FT	NO CHANGE
LANDSCAPE REGULATIONS	N/A	-
PARKING REGULATIONS (SEC. 223-26)		
SPACES REQUIRED: ACCESSIBLE SPACES:	2 SPACES FOR EACH DWELLING -	NO CHANGE

OWNER'S CERTIFICATION

THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN HEREON, STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, LEGENDS AND DATA AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER DATE

PLANNING BOARD APPROVAL

RECOMMENDED FOR APPROVAL BY THE CITY OF BEACON PLANNING BOARD ON THE 22nd DAY OF December, 2020. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGES, ERASURES, MODIFICATIONS OF REVISIONS TO THE PLAT AS APPROVED SHALL VOID THIS APPROVAL.

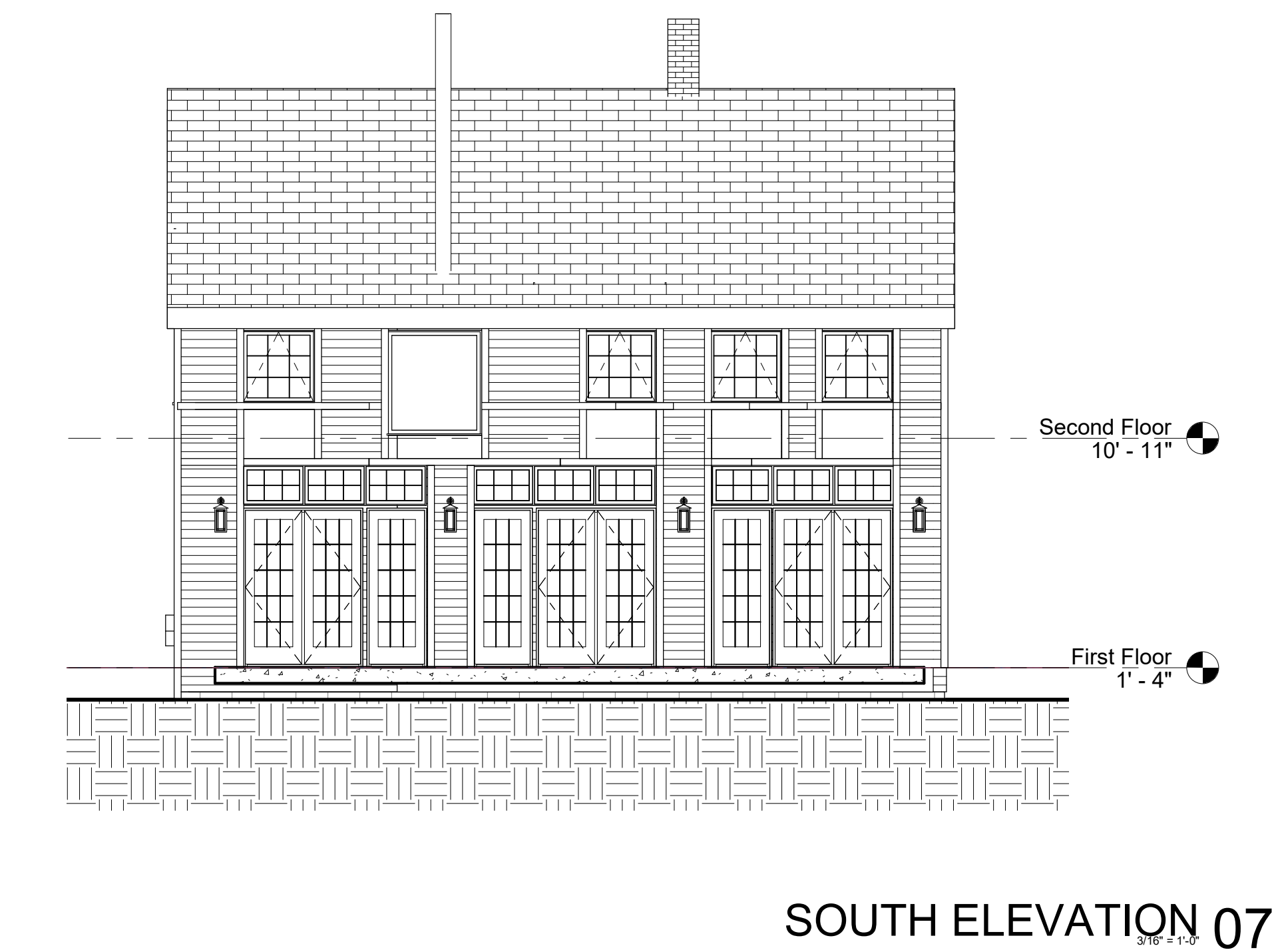
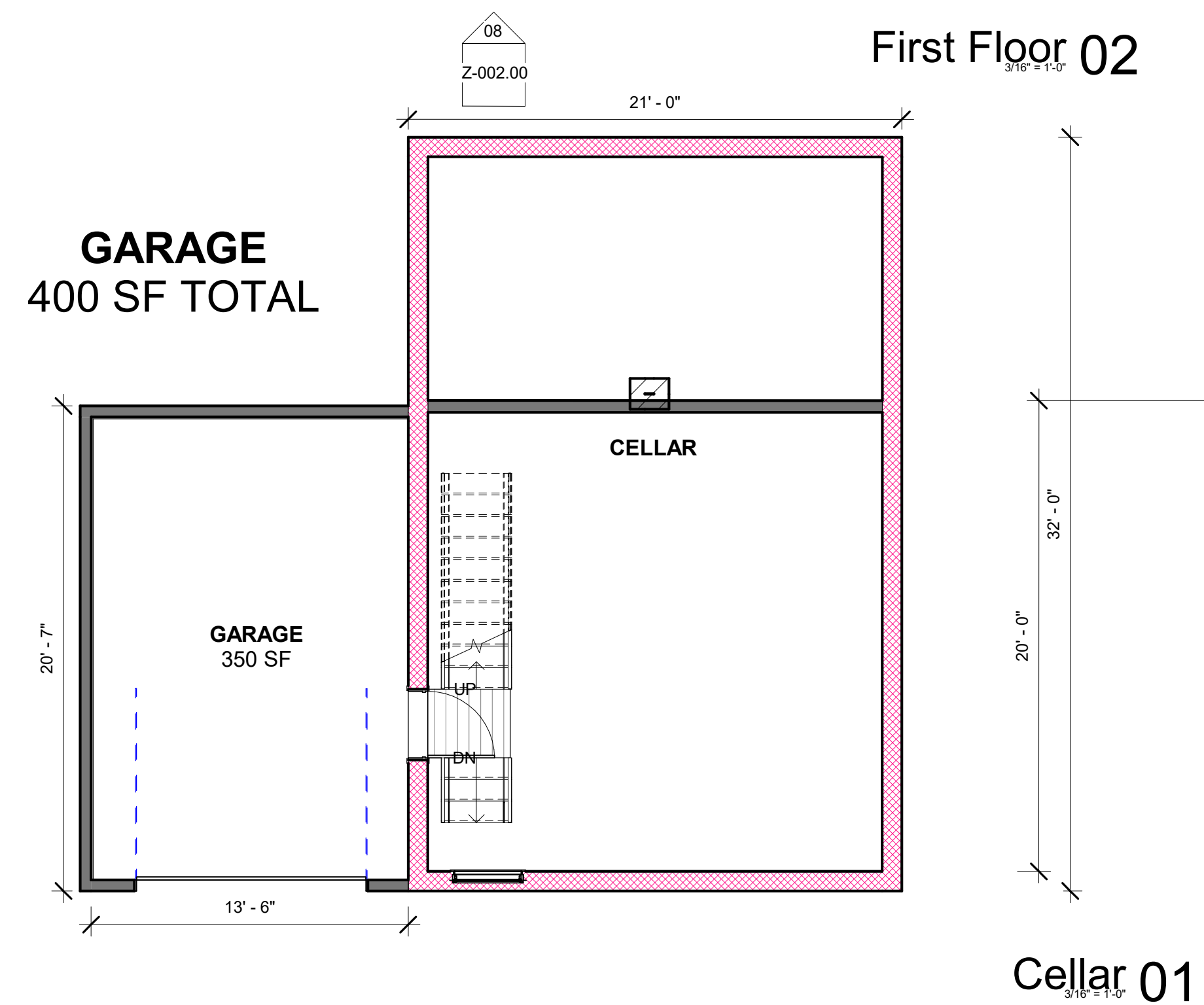
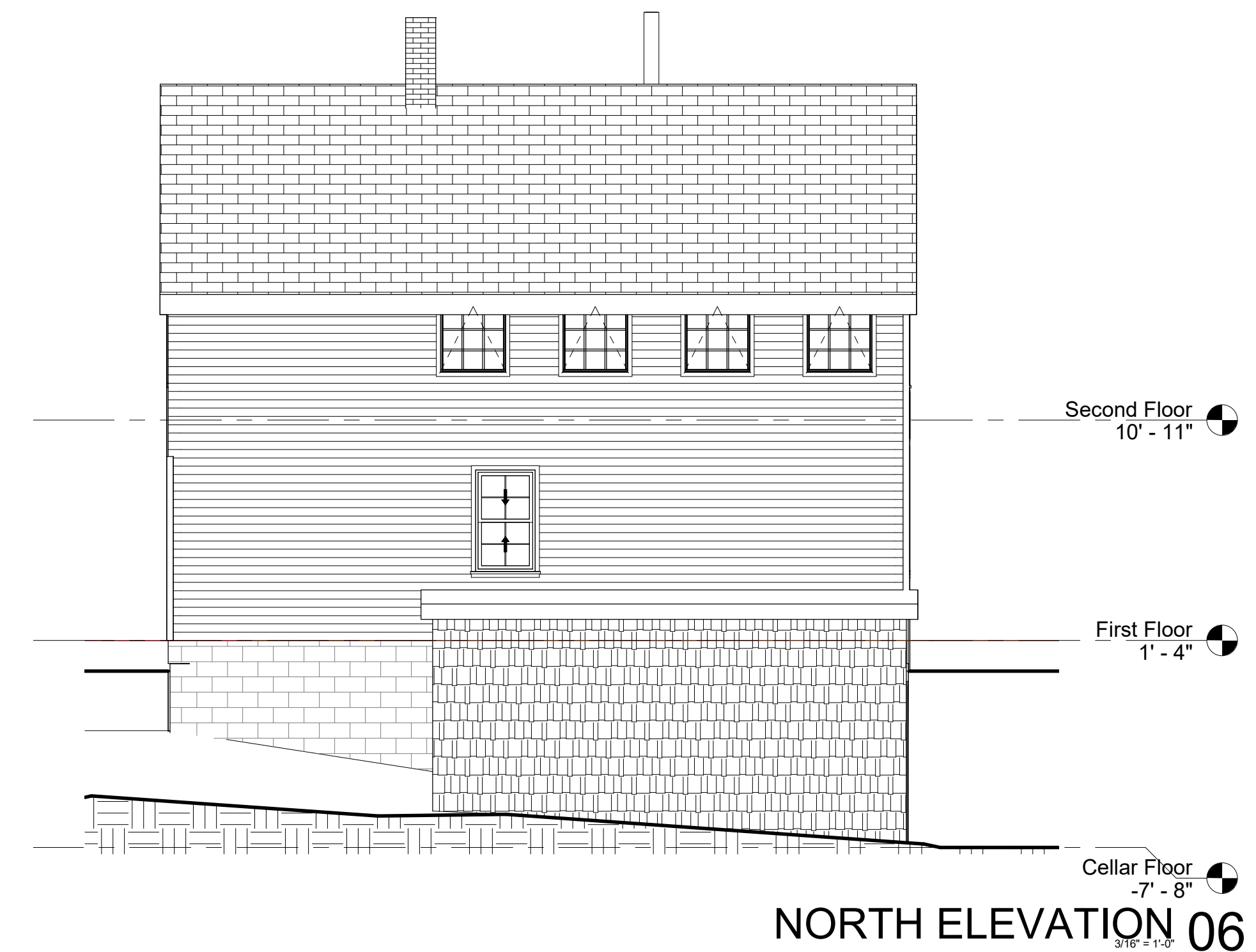
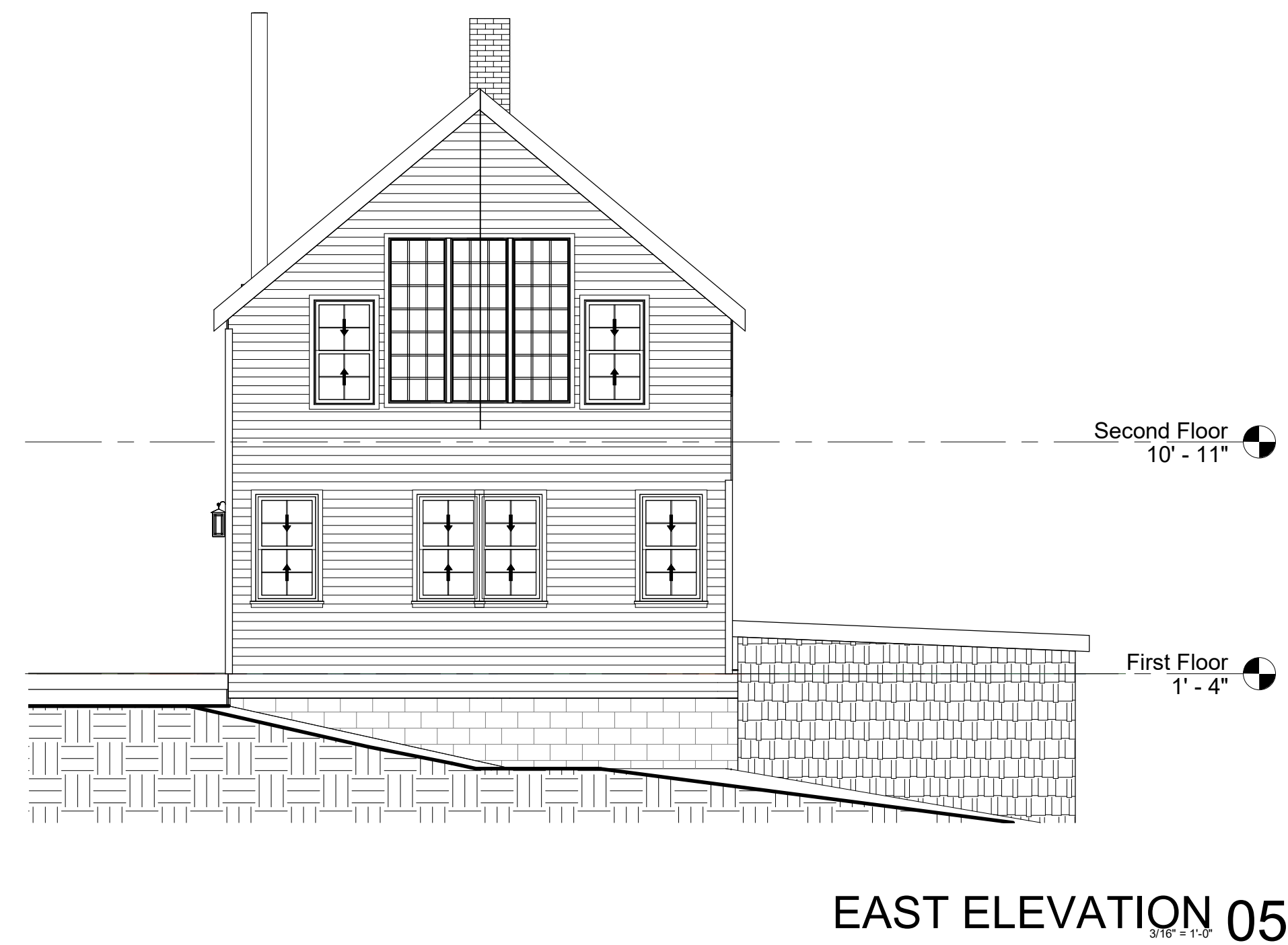
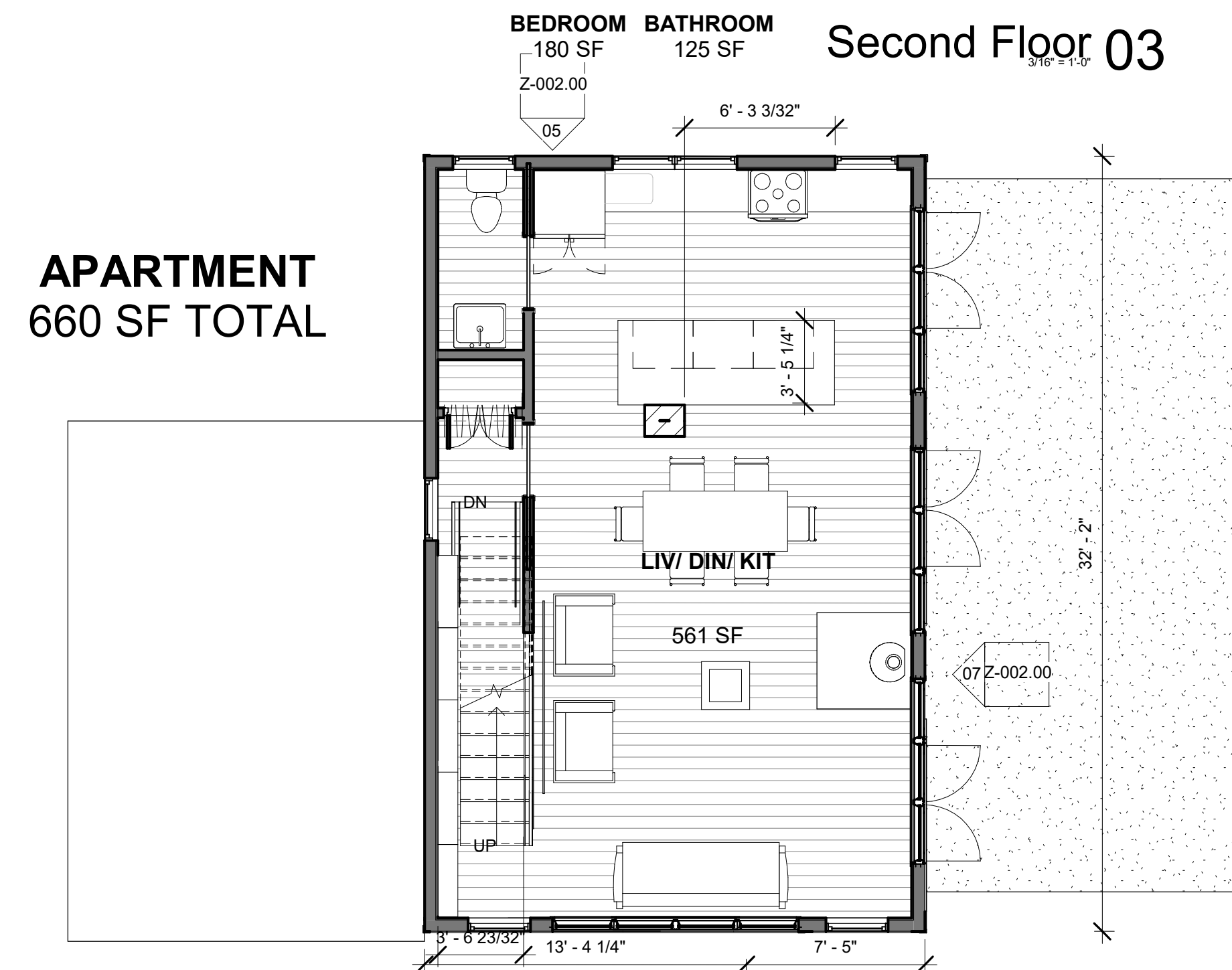
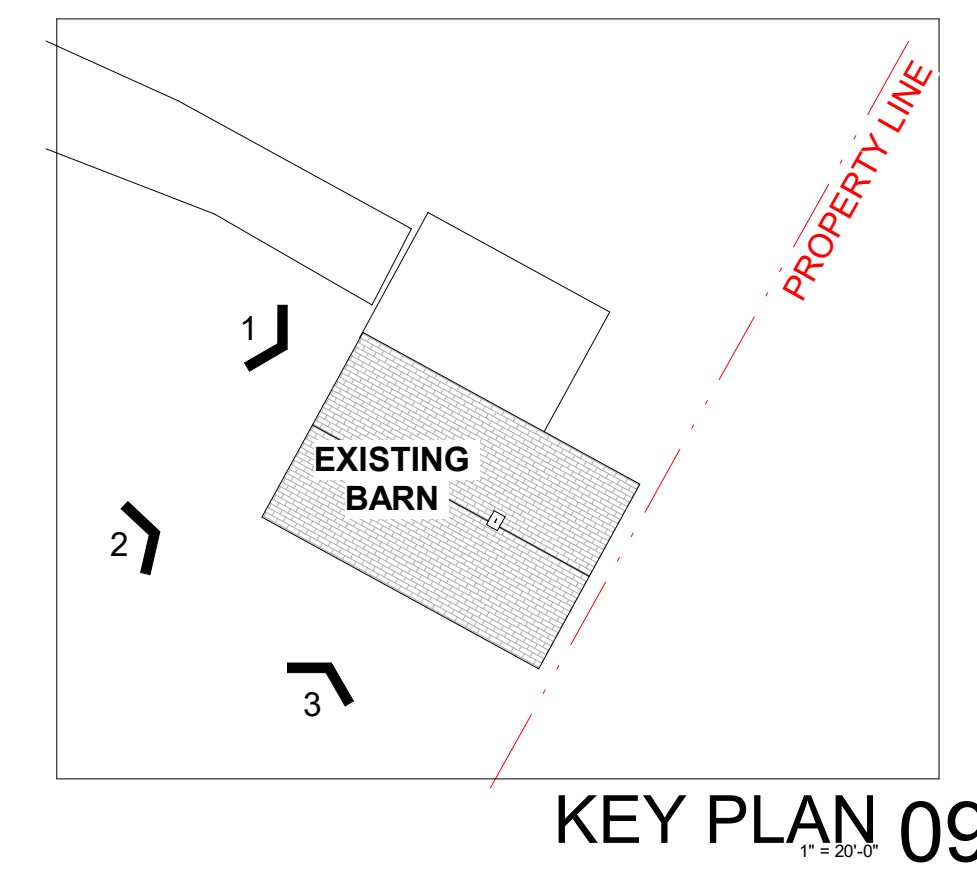
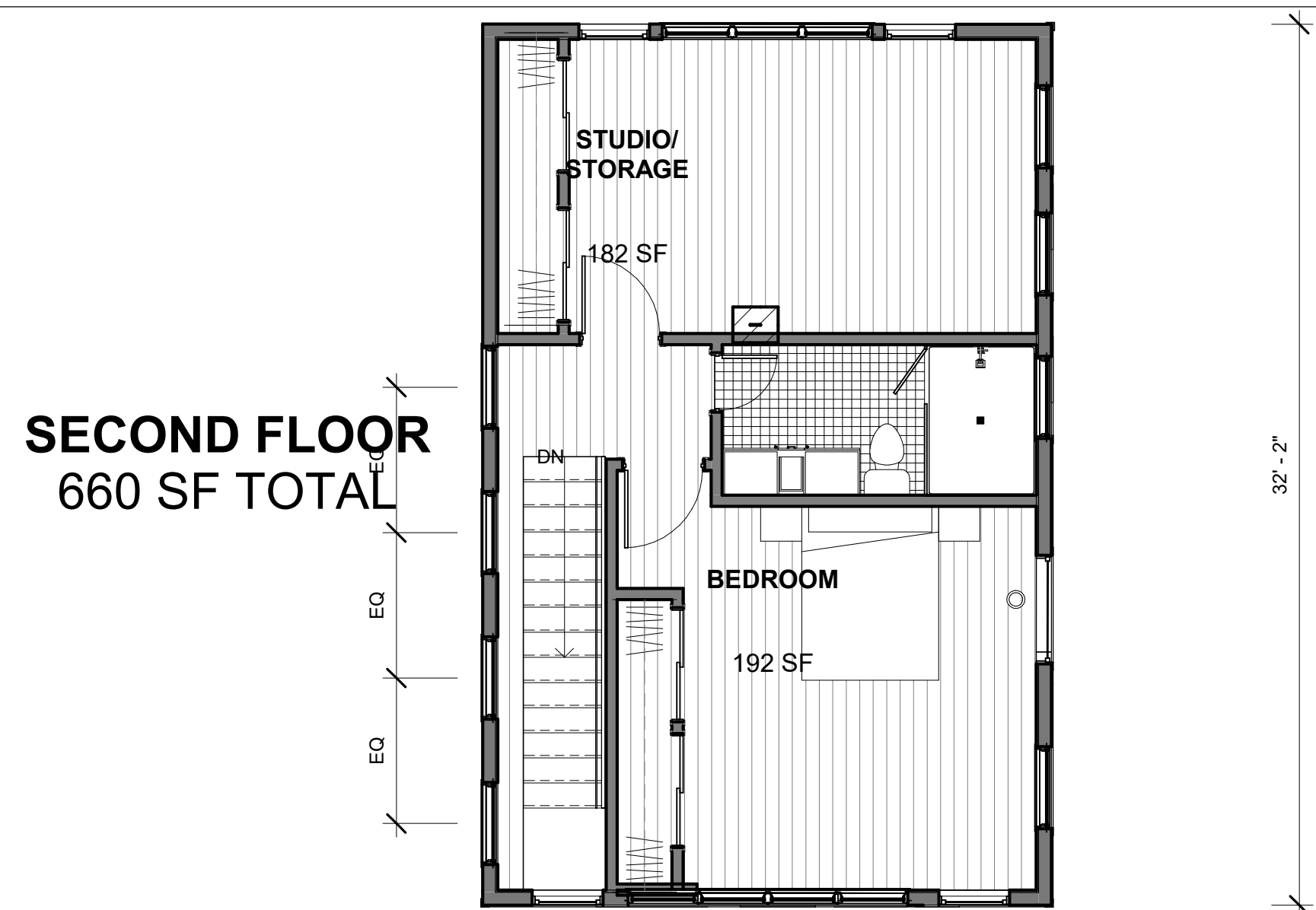
CHAIRMAN DATE

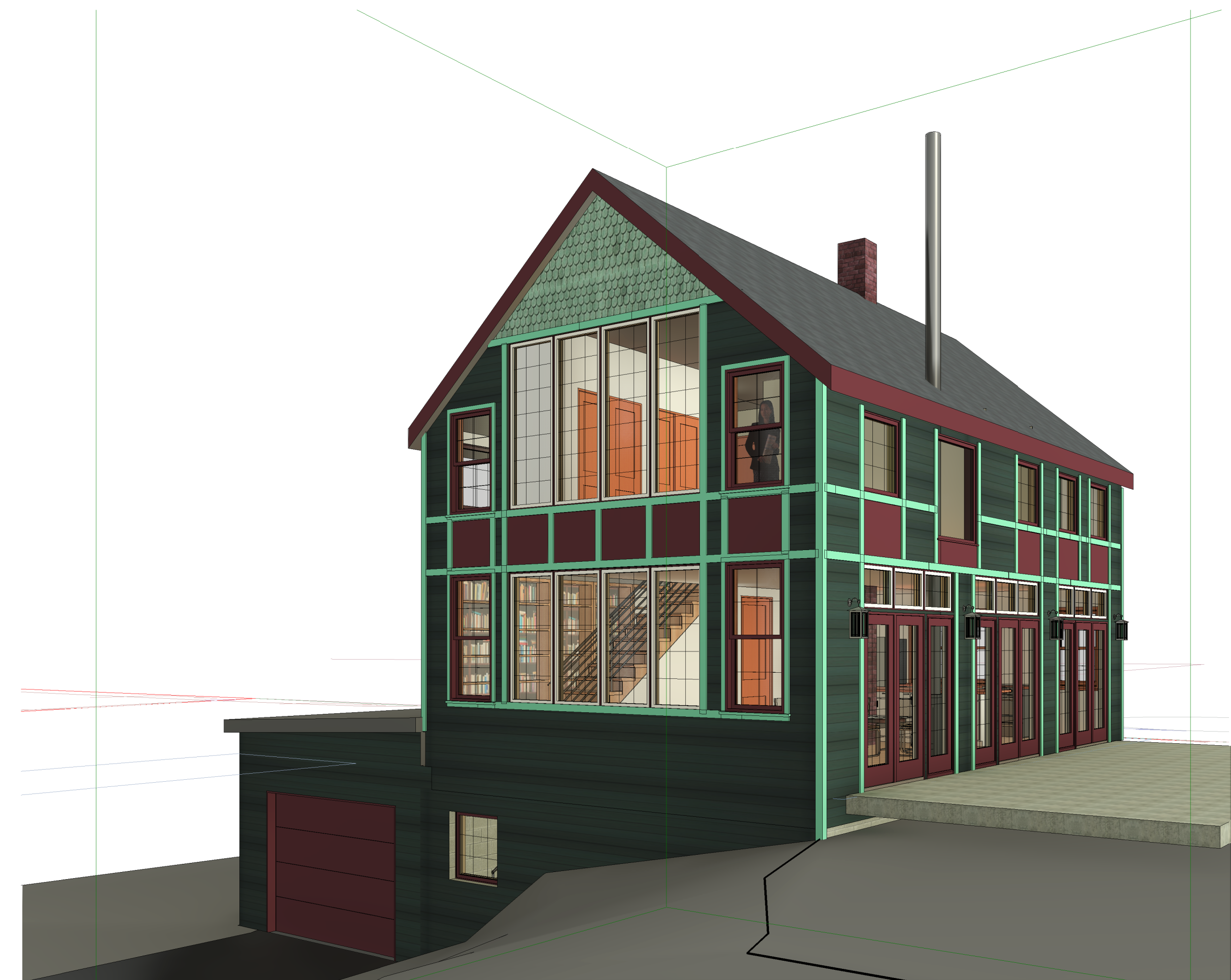
DRAWING LIST

Sheet No.	Rev.	Drawing Title	Issue 1 - 06.22.2021 Issue Date 2 Issue Date 3
Z-000.00	1	COVER SHEET	
Z-001.00	1	SITE PLAN	
Z-002.00	1	PLANS	

TAX MAP









Master_1 1



studio 2

City of Beacon Zoning Board of Appeals Agenda
09/21/2021

Title:

Continue public hearing on application submitted by Kristine Allen, 9 Violet Drive, Tax Grid No. 30-6054-02-508868-00, R1-10 Zoning District, for relief from Section 223-17(D) for a second story addition with 12.8 ft. side yard setback (*15 ft. required*)

ATTACHMENTS

[9 Violet Drive EAF.pdf](#)

[9 Violet Drive House Plans.pdf](#)

[9 Violet Drive Site Plan.pdf](#)

[9 Violet Drive Application.pdf](#)

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Allen Residence - Roof replacement			
Name of Action or Project: Allen Residence			
Project Location (describe, and attach a location map): 9 Violet Avenue, Beacon, NY			
Brief Description of Proposed Action: Remodeling the home that requires the removal of the existing roof structure and replace with a new front dormer with a full story at the rear of the structure under steeper roof system.			
Name of Applicant or Sponsor: Ed Mauro, Tomorrow's Architecture		Telephone: 845-728-8751 E-Mail: tomorrowarchitecture@gmail.com	
Address: 1173 Noxon Road			
City/PO: Lagrangeville		State: NY	Zip Code: 12540
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO ☒	YES ☐
3.a. Total acreage of the site of the proposed action?		0.219 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.219 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: Entire new roof structure will receive Closed cell foam insulation and the wall will receive open cell insulation.	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ The existing structure is already connected to City water supply	☒	☐	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ The existing structure is already connected to City Sewer lines	☒	☐	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the proposed action located in an archeological sensitive area?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	☒	☐	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	☒	☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes, a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES	☒	☐	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☐ NO ☐ YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>EDUARDO MAURO, ARCHITECT</u>		Date: <u>06/24/2021</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

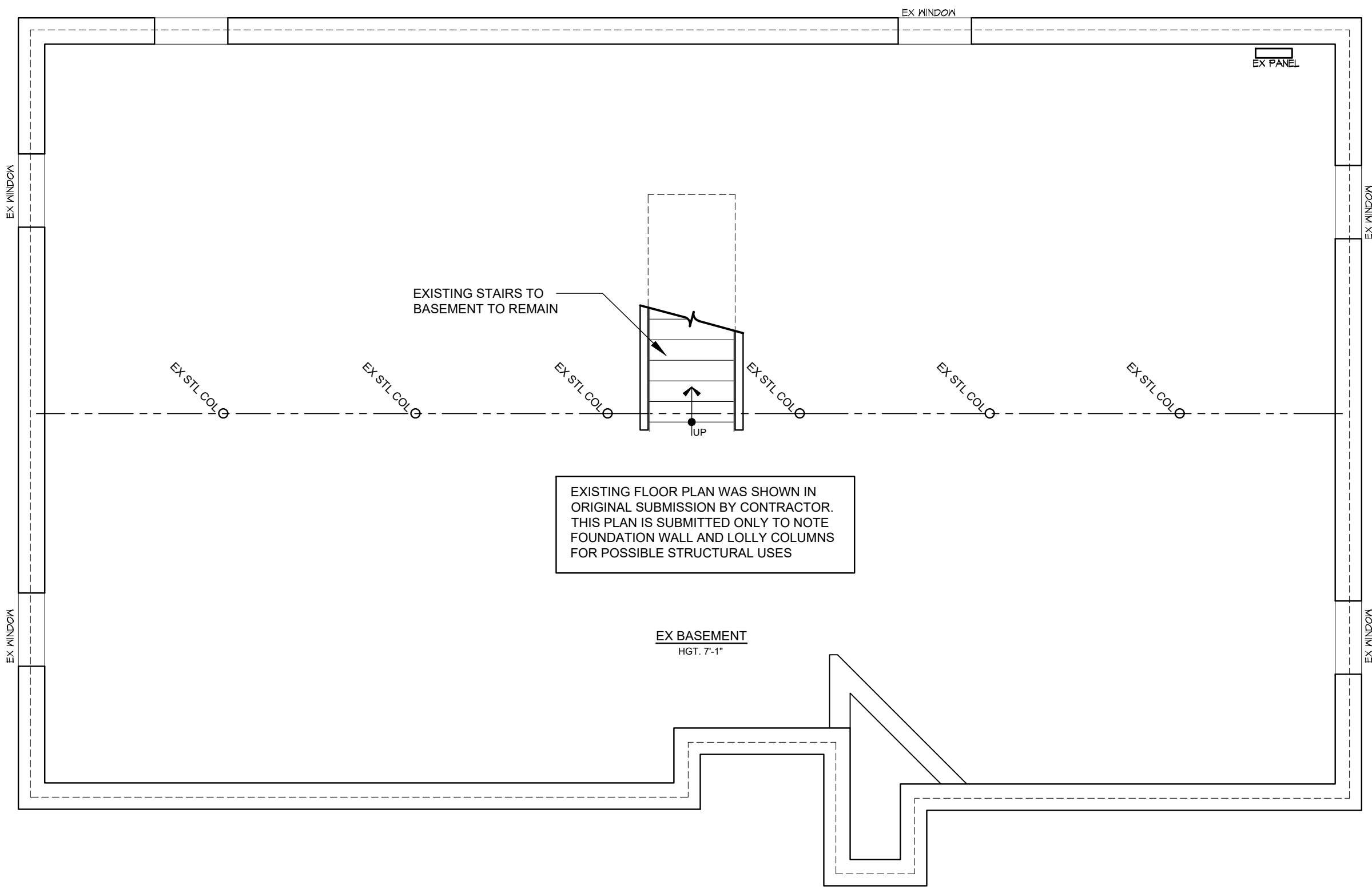
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing:		
a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

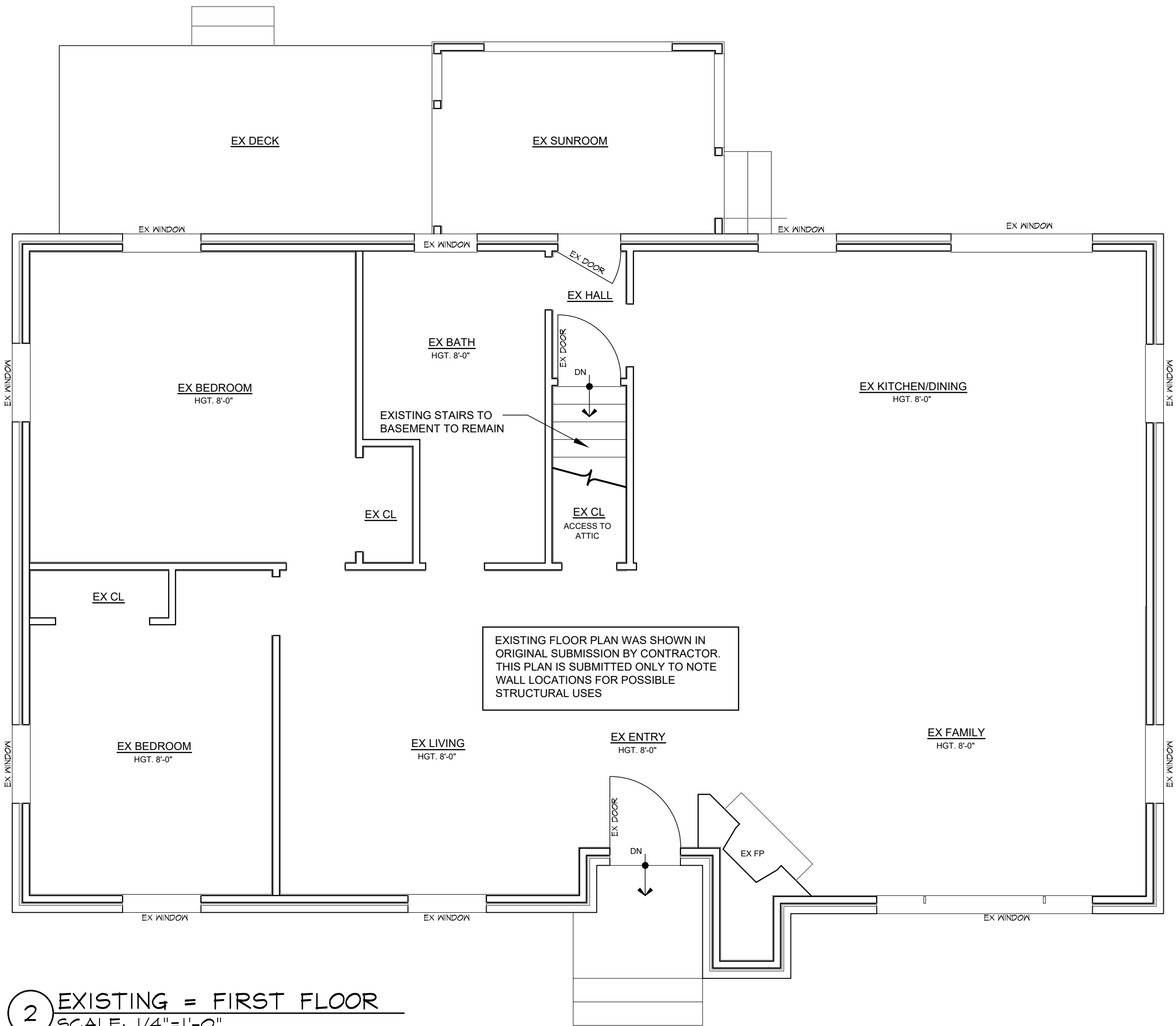
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

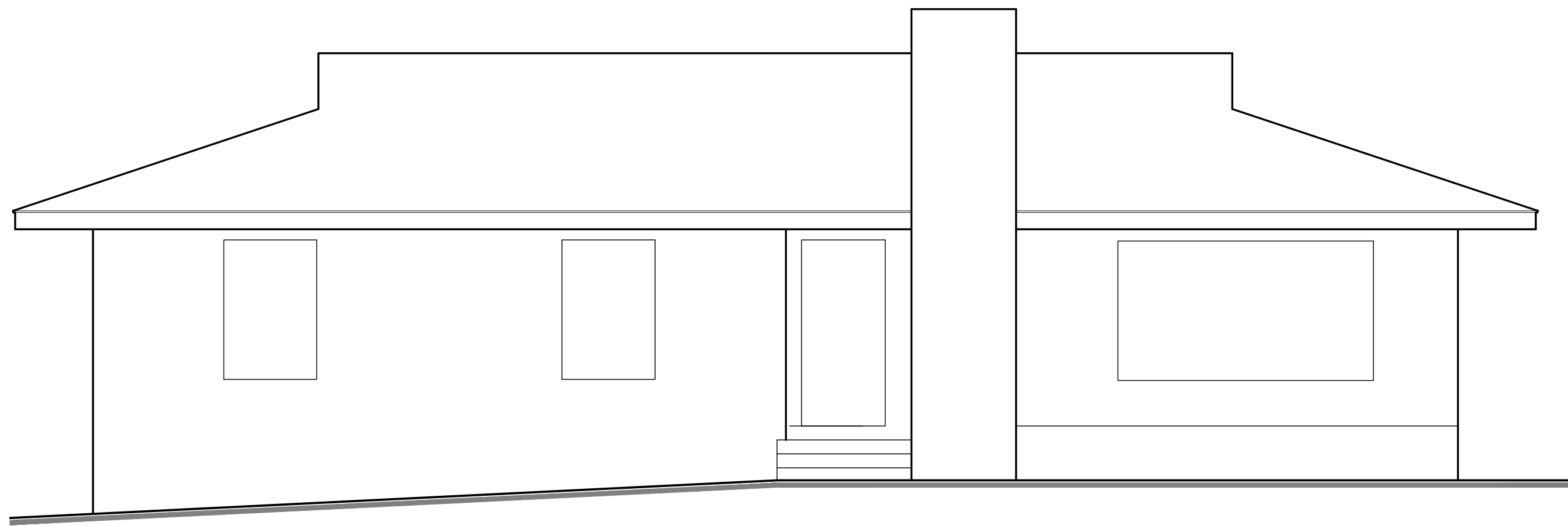
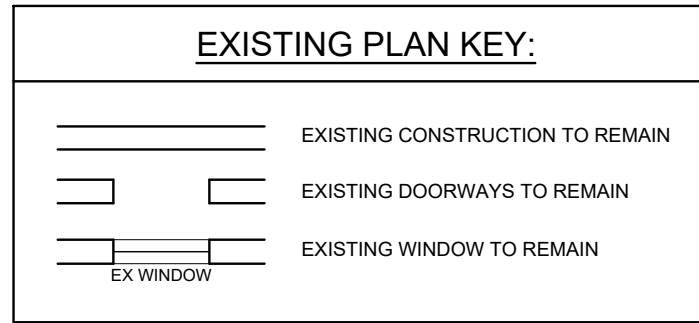
PRINT



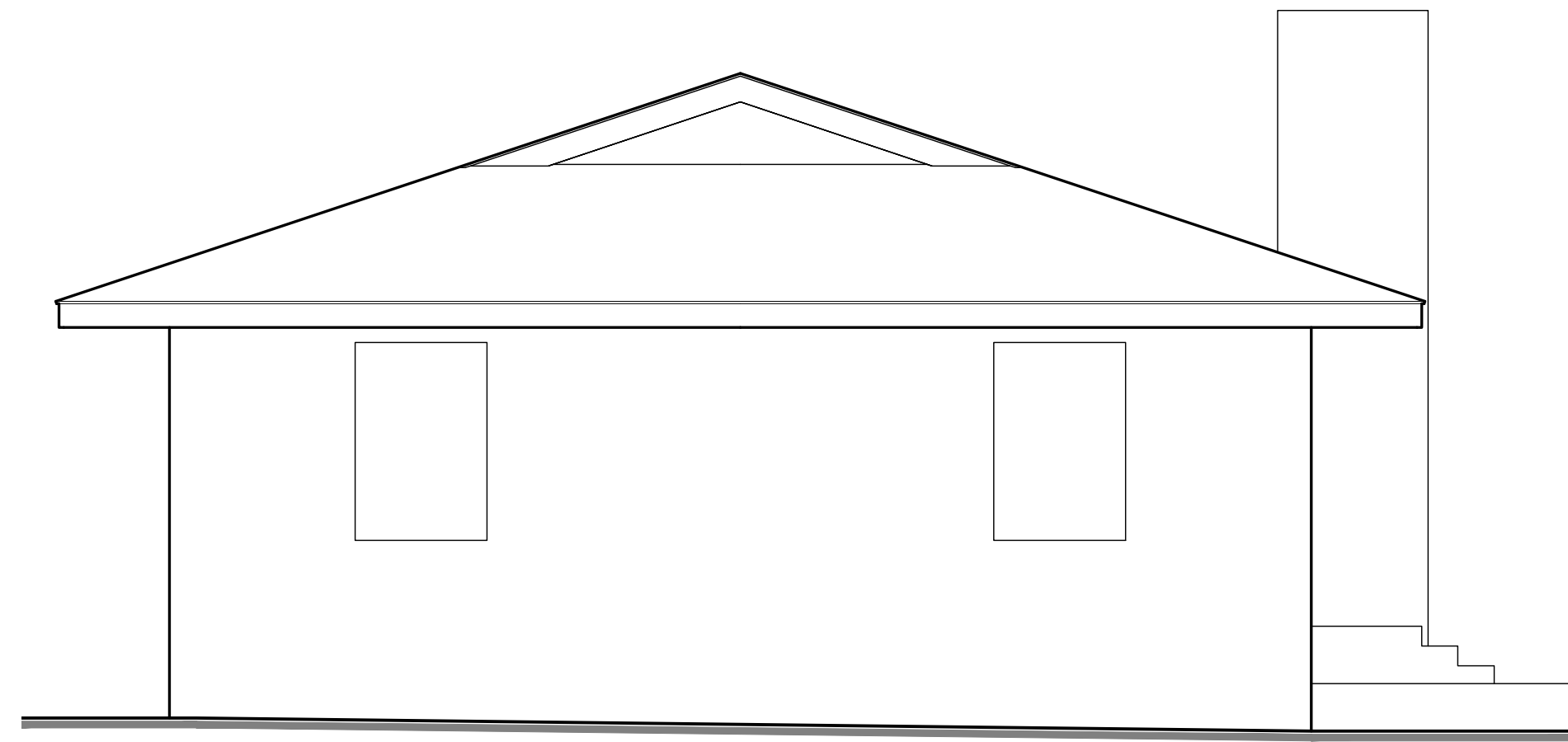
1 EXISTING = BASEMENT
SCALE: 1/4"=1'-0"



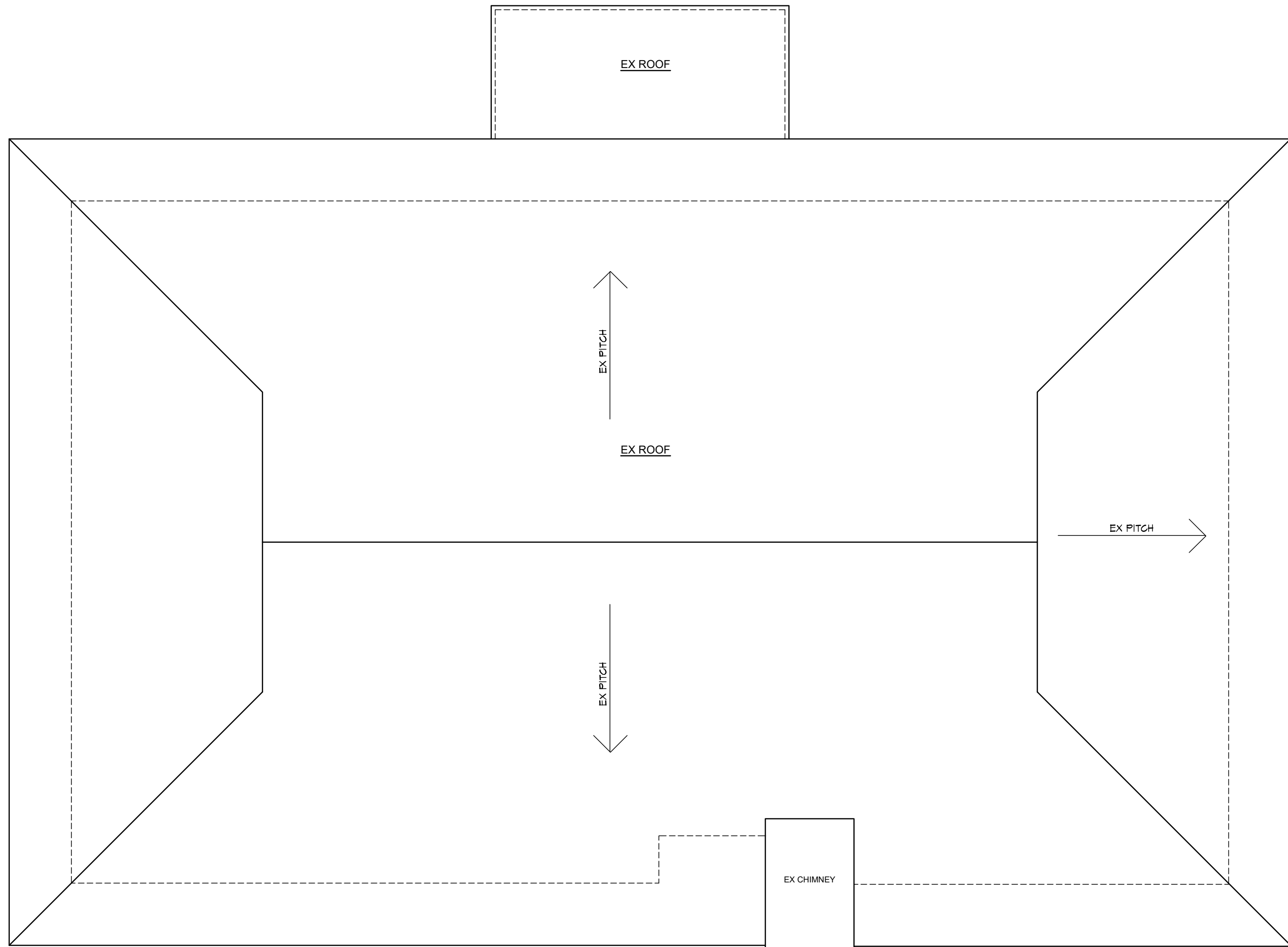
2 EXISTING = FIRST FLOOR
SCALE: 1/4"=1'-0"



4 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0" REAR SIDE SIMILAR



5 EXISTING SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 EXISTING = ROOF PLAN
SCALE: 1/4"=1'-0"



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowssarchitecture@gmail.com

REV	DATE	DESCRIPTION

RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
EXISTING PLANS
EXISTING ELEVATIONS

ISSUE DATE
06.02.2020

SCALE
AS NOTED

JOB NO.

SHEET NO.

EX 1
PAGE 1 OF 8

DIVISION 1: GENERAL REQUIREMENTS:

- All construction shall be performed in accordance with the following codes:
 - 2020 Residential code of NYS
 - 2020 Energy Conservation Code of NYS
 - Town of Cortland zoning & building codesIf conflicts exist between different codes, the stricter code shall always apply.
- All initial building permit fees shall be paid by the Owner-Contractor. All subcontractors shall be responsible for securing their own permits and shall arrange for all necessary inspections and approvals.
- The Contractor shall keep work area clean of all debris and be responsible for removing such debris from the site and the cost of such removal.
- All specified items shall be installed in conformance to manufacturer's recommendations and specifications.
- If any unusual conditions or discrepancies with the drawings are found, the Contractor shall immediately notify the Architect and not proceed with affected work until authorized.
- The building structure in the completed state is intended to be stable. It is the Contractor's responsibility to protect new construction during the course of construction until complete. The Contractor shall assume all responsibility for all temporary shoring as required.
- All dimensions are taken to the face of rough framing or masonry, unless otherwise noted. All dimensions are indicated in writing only and should not be scaled from drawings.
- All window and door openings are dimensioned from centerline of unit to face of rough framing or masonry unless otherwise noted. Reference sheet WD-1 for window and door schedules.
- All work performed under this contract shall be guaranteed for a period of one (1) year.
- The Contractor shall be responsible for the final cleaning (including washing of all windows) and leaving it broom-clean. Each Subcontractor at the completion of his work shall remove from the premises all surplus material, debris, etc. caused by his work as required and specified herein.
- The Contractor shall carry liability and workmen's compensation insurance. NO WORK SHALL BEGIN UNTIL ALL PERMITS ARE SECURED AND INSURANCE CERTIFICATES ARE IN PLACE.
- The Contractor shall provide the higher quality standard of materials, equipment or details if conflict of such descriptions of the work exist within the construction documents (plans & specifications).
- Equipment warranties, operation and maintenance literature and the names and telephone numbers of mechanical contractors with warrantee responsibilities shall also be provided to the buyer.
- Except for agreed upon exclusions, the construction documents (plans & specifications) shall supersede all/any descriptions of the work represented in the contractors bid proposals, cost breakdowns or builders contract documents.
- The Contractor shall provide and maintain in a neat and sanitary condition such accommodations for the use of his employees as will comply with laws and regulations. Temporary toilet facilities may consist of portable toilets. Toilet facilities shall be kept supplied and clean and in sanitary condition until the completion of the work and then shall. be removed from the site.

DIVISION 5: METALS

- General Conditions:
 - All steel work shall be performed in accordance with the accepted standard of the American Institute of Steel Construction, Inc. (AISC) and the American Iron & Steel Institute (AISI).
 - All structural steel shall be A992 or A36 type and comply with the American Society of Testing & Materials (ASTM).
 - All structural steel shall be thoroughly clean, free of all loose mill scale, grease, dirt and foreign matter, and shall have a primer coat applied.
 - Reinforcing materials shall comply with ASTM standards and have a minimum yield stress, F_y = 60,000 psi.
 - Erection of structural steel shall comply with AISC specifications and "Code of Standard Practice".
 - The G.C. shall be responsible for the accurate dimensional fabrication of all steel components including beams, plates, columns and fasteners.
 - The G.C. shall be responsible for delivery of structural steel to the job site, properly marked to identify the locations intended and stored in a manner to prevent damage.
 - All steel shall be shop inspected and primed, with holes drilled and located per approved final shop drawings (if applicable). Hot-dip galvanizing is required for all steel exposed to the weather & shall be done after all shot cutting, punching, welding & drilling is complete. If field welding, cutting or hole drilling is required, all affected areas shall be touched up according to ASTM A780 standards.
 - Field welding of moment connections (if applicable) shall be inspected by the appropriate authorities and tested, if required, at the sole expense of the G.C.
- Steel Beams and Columns:
 - All steel columns shall be 4" diameter ½" wall steel lally columns with 10"x10"x¾" steel base plates welded to the column, w/ (4) "simpson" titen hd ½ x 6 screw anchors (predrill & install anchor per "simpson strong-tie" installation specifications). Cap plates shall be 10"x8"x¾" steel plates welded to the column with (4) ½" diameter A325 steel bolts.
 - All steel columns shall be centered, bear directly on and be anchored to concrete walls, slabs or footings.
- Anchor Bolts:
 - ½" diameter x 10" long anchor bolts at 6'-0" o.c. at foundation walls, min. (2) per sill plate and 12" minimum from corners. Anchor bolts shall be hot-dip galvanized & extend a minimum of 7" into masonry or concrete, secured with nuts and washers.
- Fasteners & Connectors:
 - All fasteners & connectors in contact w/ pressure treated lumber shall be hot-dip galvanized ("Simpson" Zmax G-185). Powder coated or standard G90 zinc galvanized coated fasteners and/or connectors shall not be used.
 - "Simpson Strong Tie" connectors are specifically required to meet the structural design criteria. Prior to substituting another brand, the Contractor shall confirm the load capacity of all substituted fasteners which should meet or exceed the "Simpson" hardware. The structural engineer and/or the Architect shall evaluate this information and give written approval for substitution prior to installation.

DIVISION 6: WOOD AND PLASTICS

- General Conditions:
 - Lumber shall be protected from direct precipitation at all times and installed dry. Roof or floor sheathing shall be immediately installed after framing as a level is complete, leaving the framing members in a dry state.
 - For connection details not indicated or if unusual field conditions are found, it is the G.C.'s responsibility to request in writing those questions regarding these conditions for the Architect and/or Engineer to review.
 - Framing shall be erected true to line in accordance to the dimensions and be squared, plumbed, nailed and screwed as required.
 - Provide temporary shoring walls & bracing supports as required during construction.
- Framing Lumber:
 - All framing lumber (joists & rafters, as noted) shall be Douglas Fir No. 2 or better, F = 900 psi (unless otherwise noted).
 - All exterior walls shall be framed with 2" x 6" studs @16"o.c., and all interior walls shall be framed with 2" x 4" studs @16" o.c. unless otherwise noted.
- Pressure Treated Lumber:
 - All framing in contact with masonry or concrete shall be pressure treated southern yellow pine (SYP) (#2 or better) Fb=850 psi. All pressure treated lumber shall either be "ACQ" or "CA" according to standards and testing methods established by the American Wood Protection Association (AWPA). Alternate: "Timbersil" engineered lumber.
- Engineered Lumber:
 - Where specified on the drawings, engineered LVL, PSL and LSL beams, posts or headers shall be manufactured by "LLevel by Weyerhaeuser" or approved equal. Substitutions MUST be approved by the Architect or Engineer PRIOR to installation.
 - All "Microlam" LVL shall be 1.9E unless otherwise noted.
 - All "Parallam" PSL headers, beams & posts shall be 2.0E unless otherwise noted.
 - All "Timberstrand" LSL headers, beams, or posts shall be 1.3 E.Where specified on the drawings, engineered joists to be "LLevel by Weyerhaeuser" or approved equal. LSL rim board shall be used throughout where TJ joists are specified (unless otherwise noted as LVL). Substitutions MUST be approved by the Architect or Engineer PRIOR to installation.
 - The G.C. shall install engineered lumber floor systems in accordance with the manufacturer's recommendations including but not limited to bridging, rim joists, and nailing of built-up members. Comprehensive literature is available by the manufacturers, "LLevel by Weyerhaeuser" (1-866-295-2170, www.weyerhaeuser.com).
- Framing Methods:
 - All bearing posts shall be continuously supported through to the foundation. Use sawn lumber squash blocks with grain oriented parallel to the load in joist spaces for sawn lumber framing, or engineered lumber squash blocks for engineered floor joists. Squash blocks or squash blocks in combination with adjacent framing shall form a width and depth to a minimum size of the supported post above.
 - Bearing posts indicated in plan shall be (3) plies of the studs of the wall thickness shown on the drawings for supports supporting the attic and roof framing (or as specified). All posts supporting the loads of the second floor, attic and roof level shall be (4) studs (or as specified). All studs shall be nailed to the adjacent stud with 8d nails @ 6" o.c.
 - Double wall plates shall be used on top of bearing walls unless otherwise noted in plan. Use single plates on floors. All plate joints shall be staggered and shall be terminated at studs. Plates shall be nailed together with a minimum of 12d common nails @8" o.c., staggered and overlapped 1'-4".
 - All sawn lumber floor framing shall have steel strap bridging or solid blocking links located 8'-0" maximum.
 - Unless otherwise noted, install DOUBLE TJ joists or LVL's (as noted) under partitions running parallel to the span. For sawn lumber, install double joists under partitions running parallel to the span.
 - All doors and window openings shall have double jack studs unless otherwise noted, with all other bearing points having triple studs.
 - Provide horizontal reinforcing (cats) for all equipment to be secured to walls including, but not limited to, wall hung cabinets, railings, etc.
 - All nails and screws used on exposed exterior surfaces shall be stainless steel.
 - Wood members shall not be notched or bolts be countersunk into wood members of any bolted connections (unless otherwise noted).
 - All bolted connections shall be pre-drilled to avoid splitting, cracking, or other damage to wood members.
 - Fireblocking shall be provided as required to cut off both vertical and horizontal concealed draft openings to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in the following spaces:
 - In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs. (Vertically at the ceiling and floor levels & horizontally at intervals not exceeding 10 feet.)
 - At intersections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 - In concealed spaces between stair stringers at the top and bottom of the run & at any enclosed spaces under the stair.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion.
 - Plywood subflooring:
 - Subfloor decking: 3/4" tongue and groove "Advantech" engineered structural subflooring panels or equal. Alternate: 6 ply ¾" tongue and groove plywood; APA-rated, exposure I, exterior grade. Subflooring to run perpendicular to floor joists with staggered joints, glued and screwed at 6" o.c.
 - Subfloor underlayment: 4 C-12 APA-rated, C-C plugged with sanded fine glass, exposure I (at all framed floors to receive tile or marble). Underlayment shall be glued with subfloor adhesive (1/8" bead at 2' intervals). Both inner surfaces of plywood shall be sanded clean prior to applying glue. Screw underlayment to subfloor 6" o.c. in both directions. Leave an 1/8" gap between underlayment sheets for expansion relief.
 - Nailing schedules for all plywood sheathing or decking shall comply with the manufacturer's specifications.
 - Plywood Sheathing:
 - Wall sheathing: 5 ply 5/8" APA-rated CDX sheathing, exposure I, exterior grade. Sheathing panels shall be installed perpendicular to the studs with 3" galvanized nails @ 6" o.c. into the bottom plate, with 8d nails @ 6" o.c. at the perimeter and 12" o.c. in the field. All wall sheathing shall be gapped 1/8" on all sides to allow for expansion. All plywood seams shall be taped to minimize air infiltration.
 - Roof sheathing: 5 ply 5/8" APA-rated CDX sheathing, exposure I, exterior grade. Sheathing panels shall be installed perpendicular to the rafters with staggered joints, with 8d nails @ 6" o.c. at the perimeter and 12" o.c. in the field.
 - Nailing schedules for all plywood sheathing or decking shall comply with the manufacturer's specifications & current code requirements.
 - Exterior trim
 - All exterior trim shall be cellular PVC trim as manufactured by "Azek", "Koma" or "Kleer", or Boral TruExterior® trim installed in strict accordance to the manufacturer's instructions.
 - Interior trim:
 - All wood casing, base trim & crown moulding shall be selected by the Owner.
 - The longest available stock lengths of trim shall be used to minimize the number of joints. All nails and screws shall be hidden by setting and puttingty.

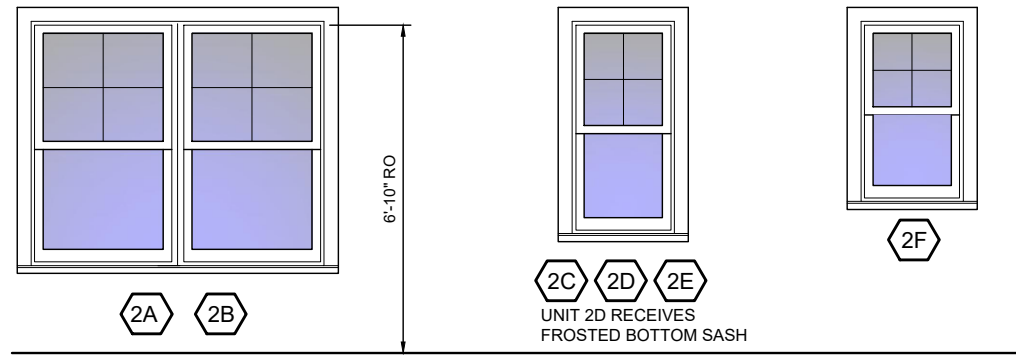
DIVISION 7: THERMAL AND MOISTURE PROTECTION

 - Roofting:
 - All workmanship shall conform to standard trade practices and be performed by persons skilled and experienced in their respective trades.
 - The roofing contractor shall proceed with roofing installation only when all flashing and penetrating work (i.e. vents) have been completed, when substrate is dry and weather conditions are favorable.
 - The G.C. shall be responsible for making the roof and all roof connections weather tight. All roofing shall be as noted in typical wall section with ice and water shield and roofing underlayment per notes on plans
 - Copper flashing installation shall be done according to best practices & industry standards. Copper roof shall be installed over 30# building felt & 5/8" plywood sheathing, with a copper drip edge.
 - Provide a continuous bituminous membrane at all eaves, valleys and roof to wall junctions. Membrane shall extend 24" up slope on the rafters, beyond the inside face of the framed wall per code.
 - At roof to wall junctions, the membrane shall extend 24" up the vertical face of wall.
 - Siding:
 - All siding shall as noted on elevations and details
 - Exterior Trim
 - All exterior trim shall be cellular PVC trim as manufactured by "Azek", "Koma" or "Kleer" or Boral TruExterior® trim, installed in strict accordance to the manufacturer's instructions.
 - Moisture Barrier / Drainage Plane:
 - All house wrap shall be "HENRY BLUESKIN" drain-hole house wrap or equal.
 - House wrap shall be installed with plastic cap nails, cap screws or large head roofing nails (not staples).
 - House wrap shall be installed in strict accordance with the manufacturer's instructions, with all horizontal joints being lapped 6" min. & all vertical joints to be lapped 12" min.
 - All housewrap joints shall be sealed with seam tape compatible with the housewrap.
 - Flashing:
 - Provide flashing in the following locations:
 - roof drip edge (shingled roofs): white aluminum
 - window/door heads: copper flashing (16 oz./24 gauge)
 - roof step flashing at sidewall: copper flashing (16 oz./24 gauge)
 - through wall flashing, step flashing & counter flashing at chimney: copper flashing (16 oz./24 gauge)
 - Window & Door Openings/Sill Flashing:
 - All windows and doors shall be installed explicitly according to manufacturer's instructions.
 - All windows & doors shall have copper pan or bituminous membrane flashing installed over a sloping sill (use cedar clapboard set on the rough sill) to provide positive drainage to the exterior.
 - Wrap both sides of all windows & door rough openings with a 40 mil. bituminous "peel & stick" membrane or a butyl based flashing tape (such as made by "Carlisle", "Grace", "Vycor Plus"

WINDOW AND EXTERIOR DOOR SCHEDULE						
TAG	MANUFACTURE	MODEL	ROUGH OPENING (width x height)	LIGHT PATTERN	LIGHT AND VENTILATION	REMARKS
2A	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW210410 - 2 EGRESS UNIT	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 10.45 sf each VENT 5.83 sf each CLEAR OPENING: 5.81sf	UNIT SPECIFIED MEETS SECOND FLOOR EGRESS UNIT REQUIREMENTS OF: 5.7 SF CLEAR OPENING 24" CLEAR HEIGHT 20" CLEAR WIDTH
2B	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW210410 - 2	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 10.45 sf each VENT 5.83 sf each CLEAR OPENING: 5.81sf	
2C	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	
2D	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042 BOTTOM SASH TO BE FROSTED. THIS IS THE BATHROOM UNIT	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	UNIT 2C RECEIVES FROSTED BOTTOM SASH. THIS IS A BATHROOM UNIT
2E	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2042	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 5.79 sf each VENT 3.40 sf each CLEAR OPENING: 3.38sf	
2F	ANDERSEN 400 SERIES DOUBLE HUNG WINDOW	TW2036	CONFIRM WITH SUPPLIER	4 / 1 (each unit)	LIGHT 4.73 sf each VENT 2.79 sf each CLEAR OPENING: 2.77sf	

WINDOW & EXTERIOR DOOR SCHEDULE NOTES:

- ALL UNITS TO BE ANDERSEN 400 SERIES STYLE WINDOWS AND DOORS OR AS SELECTED.
- ALL GLAZING TO HAVE A U-VALUE OF 0.30 OR BETTER; LOW-E4 WITH A SHGC RATING OF 0.16.
- EXTERIOR COLOR - TO BE DETERMINED.
- INTERIOR - FACTORY WHITE PRIMED AND PAINTED.
- GRILLS - 3/4 FULL DIVIDED LIGHT WITH 5/8 SIERRA BRONZE FLAT GRILL AND 5/8 INTERIOR AND EXTERIOR GRILL
- INSECT SCREENS - TRUSCENE INSECT SCREEN
- HARDWARE STYLE: TO BE DETERMINED.
- ALL WINDOW UNITS INSTALLED WITHIN 18" OF ANY OPERATING DOOR UNIT OR FLOOR SURFACE TO HAVE TEMPERED GLAZING.
- ALL UNITS TO HAVE FACTORY INSTALLED NAILING FLANGE
- PROVIDE ALL RECOMMENDED MANUFACTURED METAL FLASHING AND JAMB EXTENSION.
- WINDOW AND DOOR UNITS CAN BE SUBSTITUTED HOWEVER ALL EGRESS UNITS MUST MEET EMERGENCY ESCAPE AND RESCUE OPENING SIZES:
5.0 S.F. CLEAR OPENING AT FIRST FLOOR AND BASEMENT
5.7 S.F. CLEAR OPENING AT SECOND FLOOR
24" CLEAR HEIGHT
20" CLEAR WIDTH
- ALL ROUGH OPENINGS AT WINDOWS AND DOORS SHALL HAVE COPPER PAN OR BITUMINOUS MEMBRANE FLASHING, AND ALL WINDOWS & DOORS SHALL BE INSTALLED EXPLICITLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
- COPPER PAN OR BITUMINOUS MEMBRANE FLASHING AT ALL WINDOW SILLS SHALL BE INSTALLED OVER A SLOPING SILL (USE CEDAR CLAPBOARD SET ON THE ROUGH SILL) TO PROVIDE POSITIVE DRAINAGE TO THE EXTERIOR.
- WRAP BOTH SIDES & THE SILL OF ALL WINDOWS & DOOR ROUGH OPENINGS WITH A 40 MIL BITUMINOUS "PEEL & STICK" MEMBRANE OR A BUTYL BASED FLASHING TAPE (SUCH AS MADE BY "CARLISLE", "GRACE", "VYCOR PLUS" OR "TYVEK" FLEX WRAP).
- ALL NAILING FLANGES SHALL BE EMBEDDED IN CAULK AND SHALL BE COVERED WITH 6" WIDE FLASHING TAPE (EXCEPT FOR THE BOTTOM FLANGE AND SILL).
- ALL VOIDS (SHIM SPACES) AROUND ALL WINDOW & DOOR FRAMES WITHIN THE ROUGH OPENING SHALL BE FILLED WITH LOW EXPANDING CLOSED CELL FOAM SPRAY INSULATION.

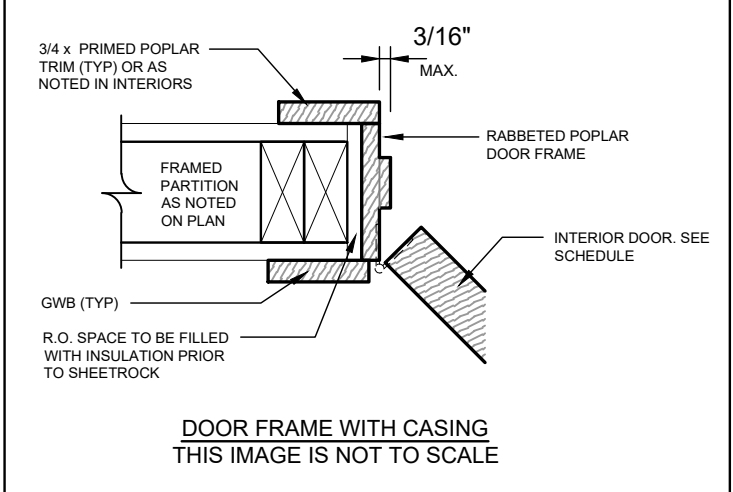
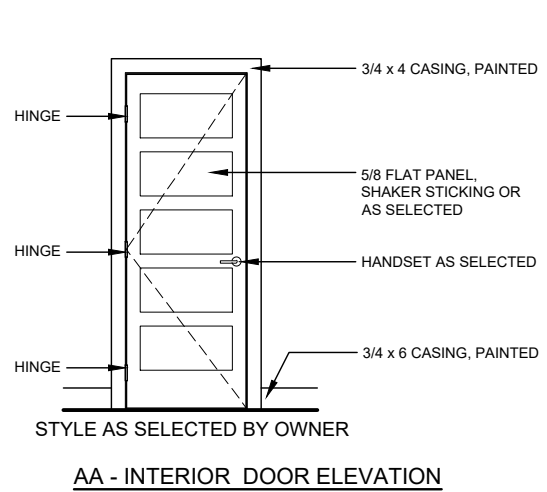


SECOND FLOOR

INTERIOR DOOR SCHEDULE										
TAG	WIDTH	HEIGHT	THICKNESS	MANUFACTURE	STYLE	FINISH	HARDWARE		REMARKS	
							MANUF.	SET		
SECOND FLOOR	200	2'-8"	6'-8"	1 3/8"	REEB OR EQUAL	AA OR AS SELECTED		AS SELECTED	PRIVACY	
	201	2'-8"	6'-8"	1 3/8"					PRIVACY	
	202	2'-6"	6'-8"	1 3/8"					CLOSET	
	203	2'-6"	6'-8"	1 3/8"					CLOSET	
	204	2'-6"	6'-8"	1 3/8"					BATH	
	205	2'-8"	6'-8"	1 3/8"	REEB OR EQUAL	AA OR AS SELECTED		AS SELECTED	PRIVACY	

INTERIOR DOOR SCHEDULE NOTES:

- INTERIOR DOORS SHALL BE BY REEB OR AS SELECTED
- FACTORY BORE WITH 2-3/8" BACK-SET.
- HARDWARE: AS SELECTED
- ALL STANDARD HEIGHT DOORS (UP TO 7'-0") SHALL BE PRE-HUNG WITH 1 1/2 PAIR, 4" SQUARE HINGES WITH BALL BEARING. 3-KNUCKLE LEAF ON THE JAMB SIDE. HARDWARE SELECTION TO BE DETERMINED.
- VERIFY ALL SIZES AND STYLES BEFORE ORDERING.
- POCKET DOORS TO HAVE HEAVY DUTY TRACKS BY JOHNSON HARDWARE 2060 SERIES, RATED UP TO 400 lbs WITH MORTISED EDGE PULL AS SELECTED BY OWNER. ALL POCKET DOORS TO BE INSTALLED IN 2x6 WALL.
- ALL DOORS TO BE 1-3/8" UNLESS OTHERWISE OTHERWISE NOTED



TYPICAL WINDOW OPENING FLASHING



Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT - 845.728.8751
tomorrowsaarchitecture@gmail.com

DESCRIPTION

REV

DATE

RESIDENCE OF:

ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:

GENERAL NOTES

ISSUE DATE

06.02.2020

SCALE

AS NOTED

JOB NO.

SHEET NO.

N 2

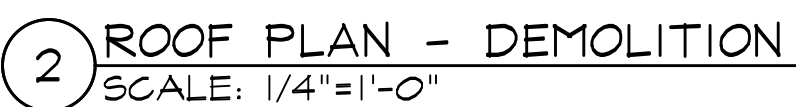
PAGE 3 OF 8



RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

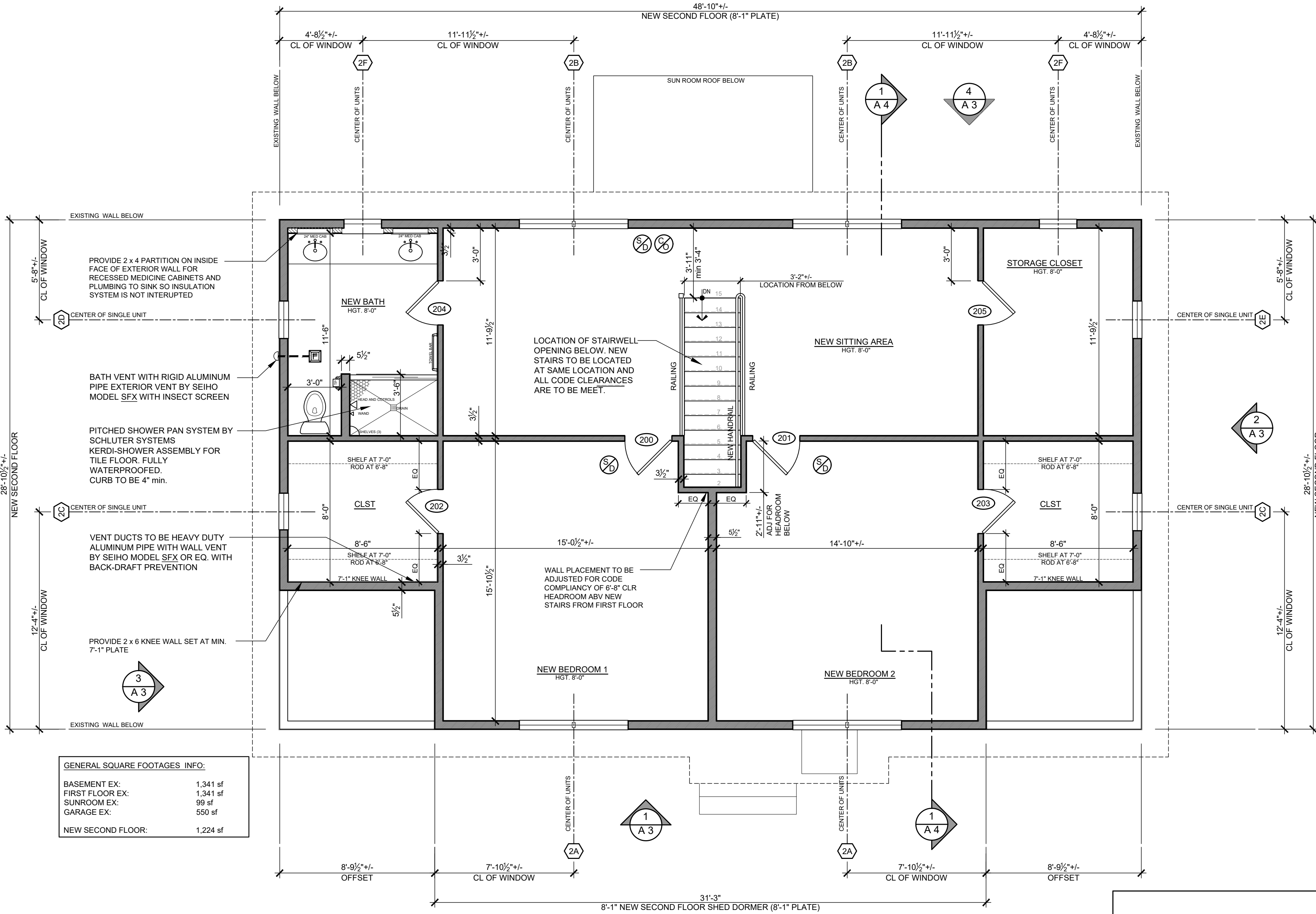
ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.
SHEET NO.

A 1
PAGE 4 OF 8



1. STRUCTURAL INTEGRITY: PROTECT FROM DAMAGE ALL STRUCTURES, PAVING, STONE WALLS, CONCRETE WALLS, UTILITIES, SEPTIC SYSTEM, VEGETATION, ETC. SCHWABER SHALL BE RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF BUILDING AND PROVIDE TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY BARRIERS AND ENCLOSURES WHEN AND WHERE REQUIRED TO RESTRICT ACCESS TO CERTAIN AREAS, AS REQUIRED BY ANY AND ALL GOVERNING AGENCIES.
2. INSPECTIONS: CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PROCUREMENT AND PAYMENT OF ALL INSPECTION CERTIFICATES, AND SHALL ARRANGE INSPECTIONS. NO WORK SHALL BE DONE UNTIL INSPECTION IS APPROVED. ARCHITECT WILL NOT MAKE SITE VISITS AND OBSERVATIONS UNLESS SPECIFICALLY REQUESTED TO DO SO.
3. REMOVE ALL DEBRIS, EXISTING SIDING, FRAME WALLS, WINDOWS, DOORS, EQUIPMENT, ELECTRICAL, MECHANICAL ETC. BRACE EXISTING WALLS AS REQUIRED TO EXISTING STRUCTURE. REMOVE BEAMS WALLS AND ROOF TO REMAIN. COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFFS AND REMOVAL OF UTILITY COMPANY EQUIPMENT AND/OR MATERIALS. EXISTING MATERIALS TO BE REMOVED AND REUSE IN LOCATION AS DIRECTED BY OWNER.
4. REFUSE TO BE KEPT IN A COVERED DUMPSTER AND REMOVED FROM SITE ON A REGULAR BASIS. BURNING OR BURYING OF DEBRIS ON SITE WILL NOT BE PERMITTED. ALL HAZARDOUS AND/OR DANGEROUS MATERIALS SHALL BE REMOVED IN STRICT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.





CARBON MONOXIDE ALARMS

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

- ONE (1) AT EACH LEVEL AND IF THERE IS A FUEL-FIRED APPLIANCE
- ONE (1) AT EACH STORY OF THE DWELLING INCLUDING BASEMENT AND HABITABLE ATTICS.

CONTRACTOR TO VERIFY AND INSTALL FOR FULL CODE COMPLIANCY.

SMOKE ALARMS

SMOKE ALARMS MUST BE LOCATED IN ALL OF THE FOLLOWING LOCATIONS

- ONE (1) AT EACH SLEEPING ROOM
- ONE (1) OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ONE (1) AT EACH STORY OF THE DWELLING INCLUDING BASEMENT AND HABITABLE ATTICS.

CONTRACTOR TO VERIFY AND INSTALL FOR FULL CODE COMPLIANCY.

CODE BOOK USED FOR THIS PROJECT

2020 RESIDENTIAL CODE AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE



Edward Mauro, Architect
Tomorrow's Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowssarchitecture@gmail.com

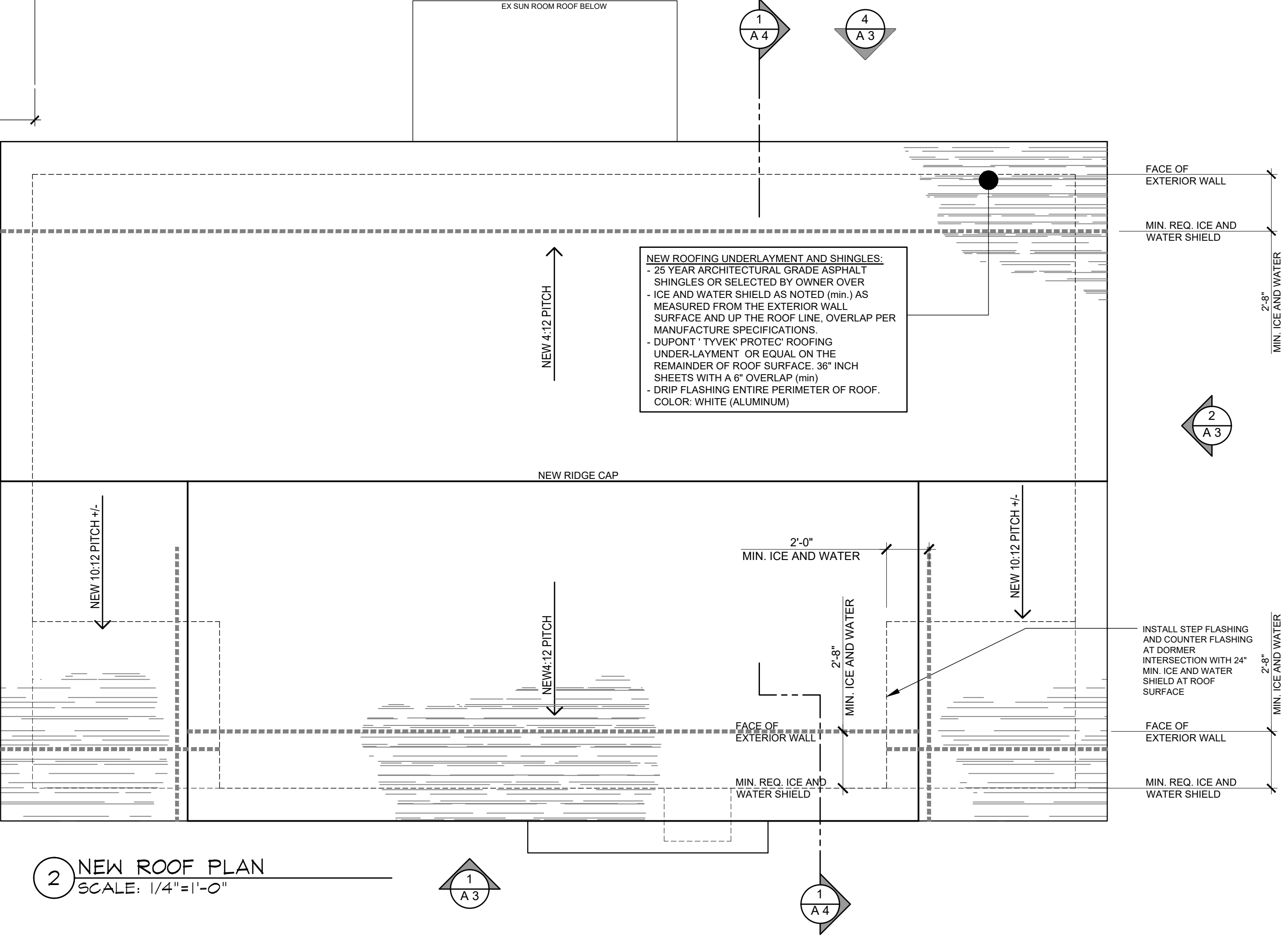
REV	DATE	DESCRIPTION

RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
NEW SECOND FLOOR
NEW ROOF PLAN

ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.
SHEET NO.

A 2
PAGE 5 OF 8





Edward Mauro, Architect
Tomorrow's
Architecture, PLLC
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
tomorrowssai@icloud.com

REV DATE DESCRIPTION

RESIDENCE OF:

ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY

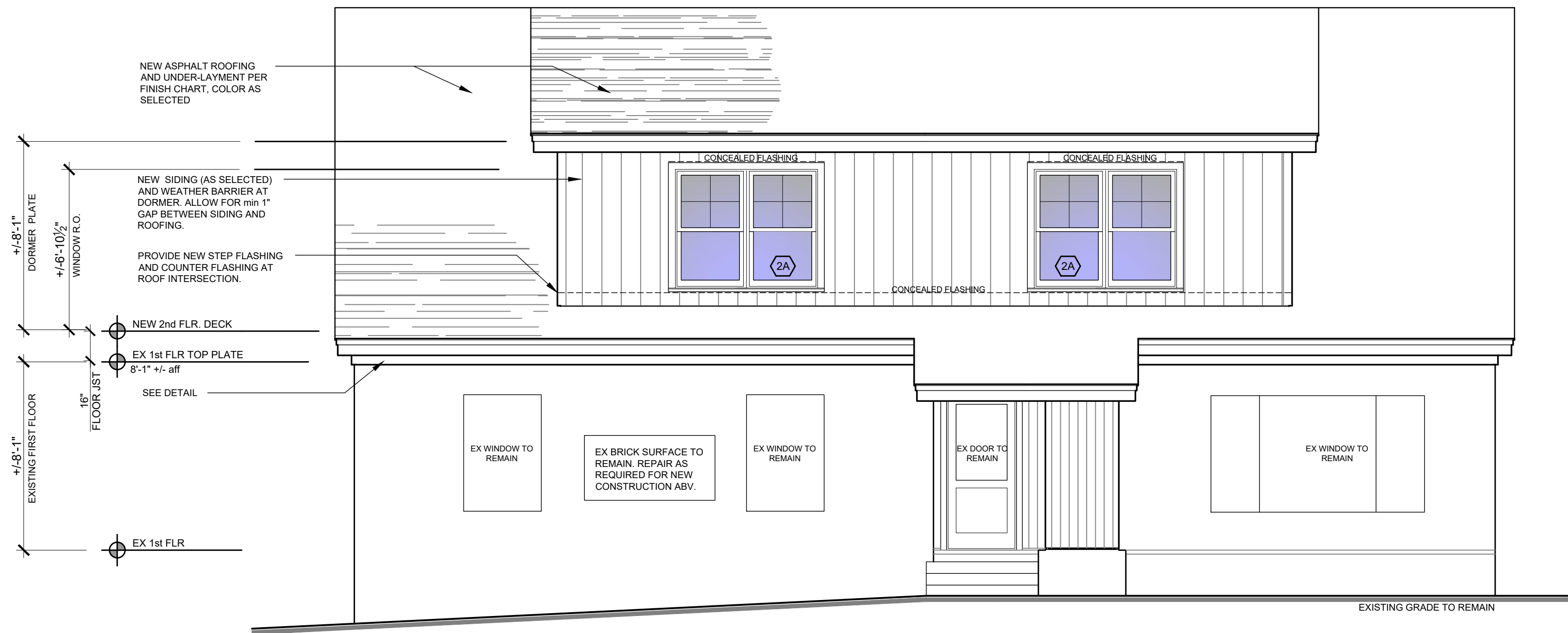
SBL: 6054 - 02 - 508868, ZONE: R1-10

DRAWING NAME:
EXTERIOR ELEVATIONS

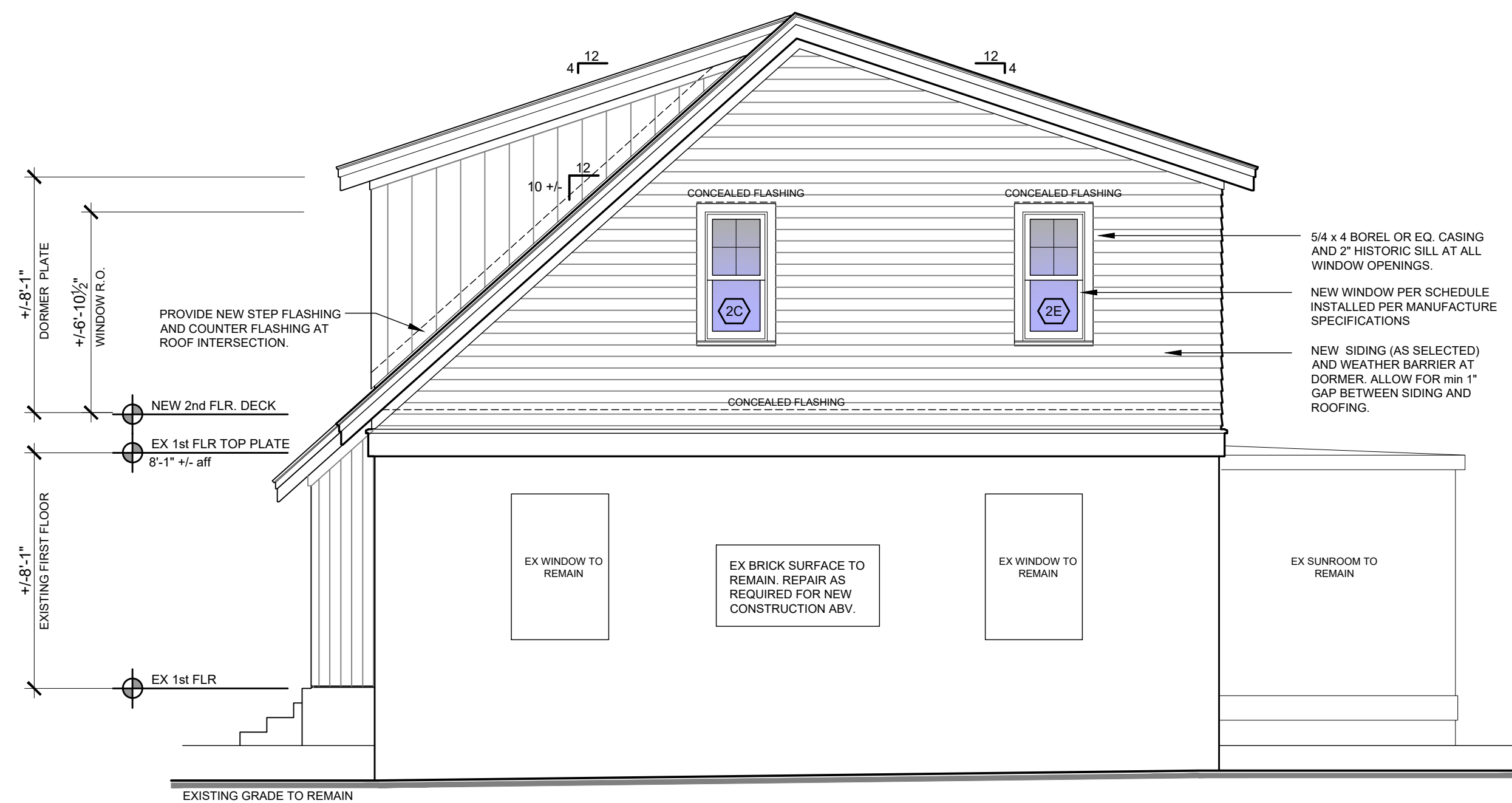
ISSUE DATE
06.02.2020
SCALE
AS NOTED
JOB NO.

SHEET NO.

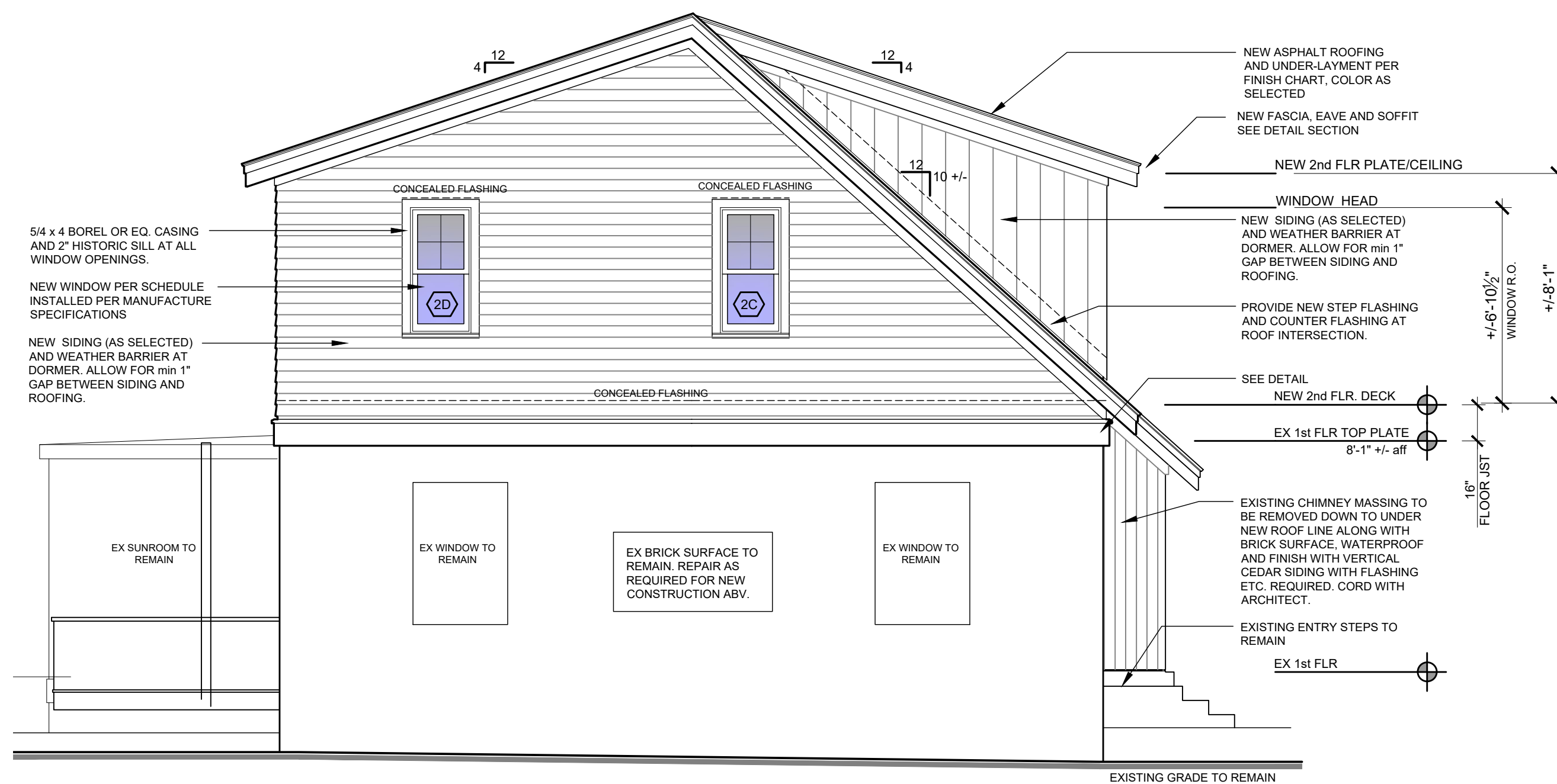
A 3
PAGE 6 OF 8



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



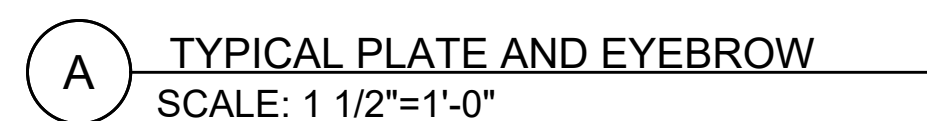
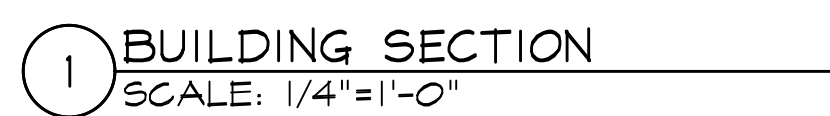
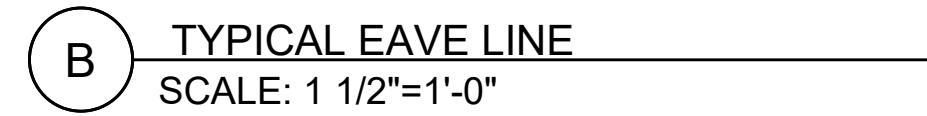
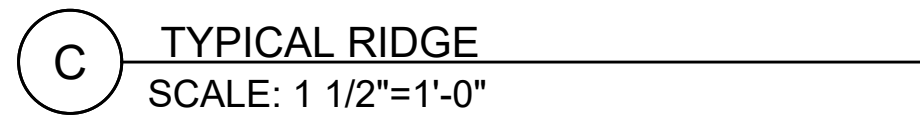
2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



3 LEFT ELEVATION
SCALE: 1/4"=1'-0"



4 REAR ELEVATION
SCALE: 1/4"=1'-0"



RESIDENCE OF:

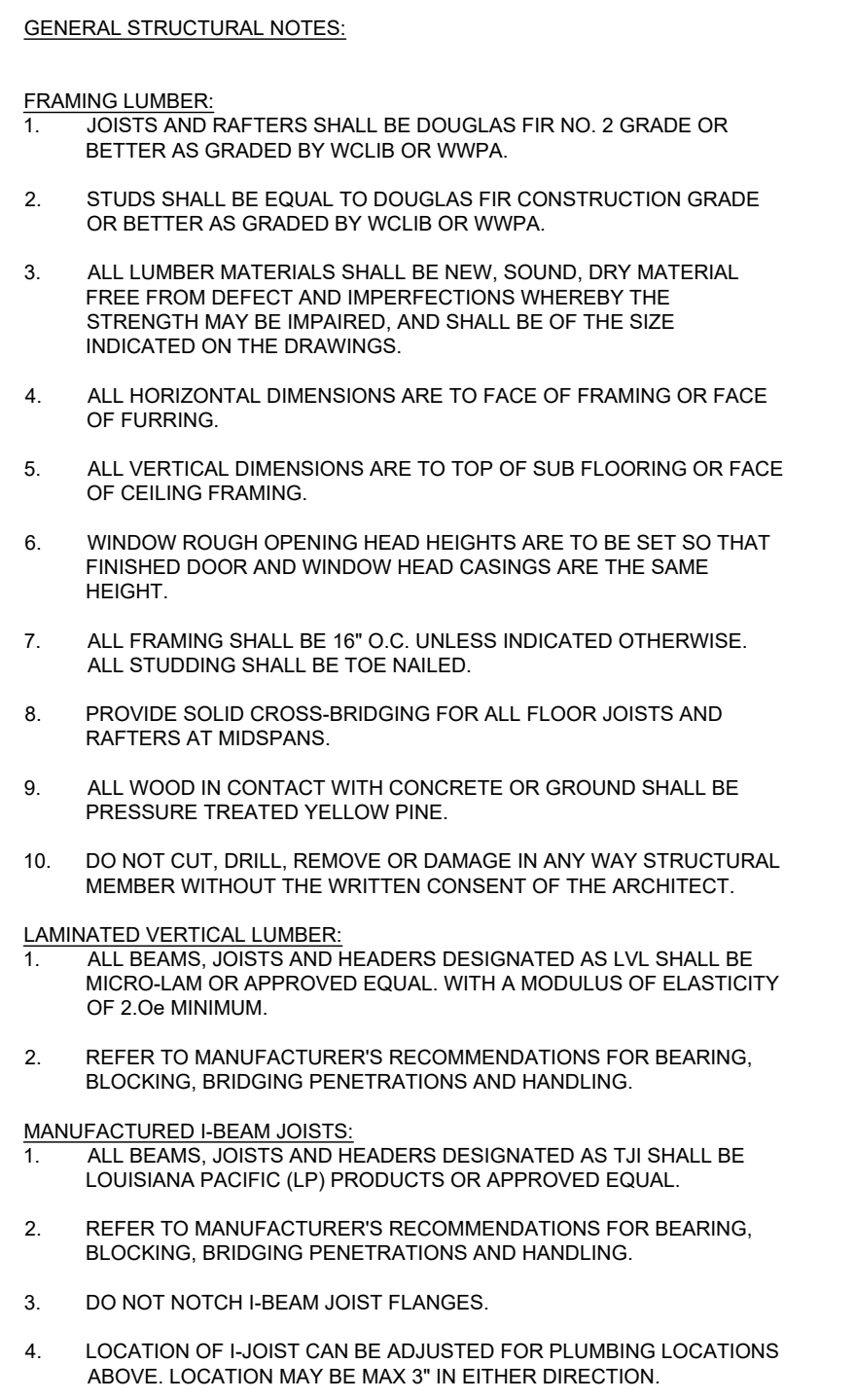
ALLEN RESIDENCE

9 VIOLET AVENUE
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

A 4

PAGE 7 OF 8



Edward Mauro, Architect
Tomorrow's
Architecture, pllc
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT : 845.728.8751
tomorrowarchitecture@gmail.com

[illegible]

RESIDENCE OF:
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868, ZC

DRAWING NAME:
STRUCTURAL PLANS
GENERAL STRUCTURAL NOTES
PLAN KEY
GENERAL LOADING REQUIREMENTS

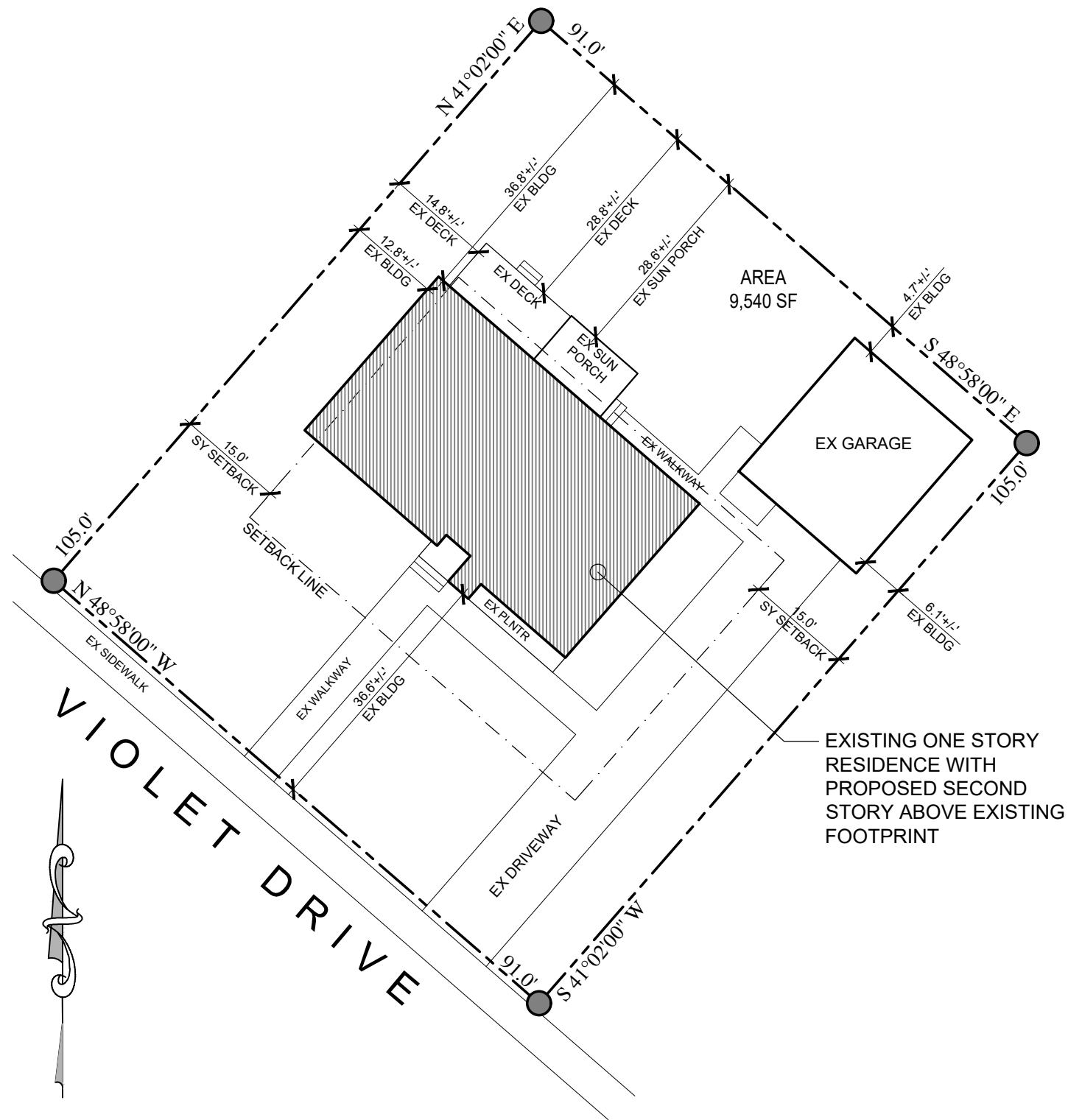
ISSUE DATE
06.02.2020

SCALE
AS NOTED

JOB NO.

SHEET NO.

S 1
PAGE 8 OF 8



SP Site Plan
SCALE: 1" = 20.0'

BUILDING DATA - ZONE R1-10			
VALUE	ALLOWABLE	EXISTING	PROPOSED
LOT AREA	10,000 SF	9,540 SF +/-	N/C
LOT WIDTH	85.0'	91.0'	N/C
LOT DEPTH	100.0'	105.0'	N/C
PRINCIPAL YARD SETBACKS: FRONT SIDE REAR	25.0' 15.0' 35.0'	36.6' +/- EXISTING HOUSE 12.8' +/- EXISTING HOUSE 28.6' +/- EXISTING SUN PORCH	36.6' +/- EXISTING HOUSE 12.8' +/- EXISTING HOUSE 28.6' +/- EXISTING SUN PORCH
ACCESSORY YARD SETBACKS: FRONT SIDE REAR	NOT PERMITTED 15.0' 15.0'	NOT PERMITTED 6.1' +/- EXISTING HOUSE 4.7' +/- EXISTING SUN PORCH	N/C
BUILDING HEIGHT	35.0' / 2 1/2 STORIES	16.5' +/-	26.2' +/-
MAX BUILDING COVERAGE	25% 2,385 SF ALLOWABLE	22% 1,514 SF EXISTING HOUSE 550 SF EXISTING GARAGE 2,064 SF HOME	N/C
MAX ACCESSORY BUILDING COVERAGE	40% OF PRINCIPAL BUILDING 605 SF ALLOWABLE	36% 550 SF EXISTING GARAGE	N/C

THIS SURVEY IS A SCANNED IMAGE FROM A DOCUMENT PREPARED BY:
JOHN MacAvery
LAND SURVEYOR
20 CEDAR STREET
BEACON, NY

SBL: 6054 - 02 - 508868, ZONE: R1-10

Dated: MARCH 1995

Edward Mauro, Architect
Tomorrow's Architecture, pllc
1173 NOXON ROAD
LAGRANGEVILLE, NY 12540
PHONE - TEXT: 845.728.8751
TOMORROWSARCHITECTURE@GMAIL.COM

NO.	DATE	REVISION DESCRIPTION

CLIENT / PROJECT
ALLEN RESIDENCE
9 VIOLET AVENUE
BEACON, NY
SBL: 6054 - 02 - 508868 ZONE: R1-10

PAGE CONTENT
PROPOSED/EXISTING SITE

JOB NUMBER	
ISSUE DATE	06.16.2021
SCALE	AS NOTED

SHEET NO.
SP

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: KRISTINE ALLEN

ADDRESS: 9 VIOLET AVE

TELEPHONE: 516-606-0674

E-MAIL: ZANAZZIK@HOTMAIL.COM

APPLICANT (if not owner): EDUARDO MAURO, ARCHITECT

ADDRESS: 1173 NOXON RD

LAGRANGE VILLE, NY 12540

TELEPHONE: 845-728-8751

E-MAIL: TOMORROWSARCHITECTURE@GMAIL.COM

REPRESENTED BY: ED MAURO OR ROB MUTSHENBERG ADDRESS: SAME

TELEPHONE: SAME

E-MAIL: SAME

PROPERTY LOCATION: 9 VIOLET AVE

ZONING DISTRICT: R1-10

TAX MAP DESIGNATION: SECTION 0654

BLOCK 02 LOT 508868

Section of Zoning Code appealed from or Interpretation desired:

LOOKING FOR APPROVAL TO INCREASE VERTICALLY THE SIDE YARD SETBACK FOR NEW ROOF FLOOR Section 223.17(E) for second story addition with 12.8 ft. side yard setback (15 ft. required)

Reason supporting request:

STRUCTURE IS NOT BEING INCREASED AT GRADE THE ADDITION IS ALL ABOVE EXISTING FOUNDATION & 1ST FLOOR

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

SITE PLAN NOTING EXISTING CONDITIONS AS WELL AS DRAWINGS TO SHOW NEW ROOF

Date: 06/24/2021

Kristine Allen
Owner's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

[Signature]
Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: KRISTINE ALLEN

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

N/A

List all properties in the City of Beacon that you hold a 5% interest in:

N/AApplicant Address: 9 VIOLET AVEProject Address: 9 VIOLET AVEProject Tax Grid # 6054-02-508868Type of Application AREA SETBACK

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, KRISTINE ALLEN, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon NONE
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon NONE
3. ALL tax payments due to the City of Beacon are current YES
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon NO
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon NO
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current N/A



Signature of Owner



Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

EB

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

—

✓

ga

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

—

✓

gan

Application #

CITY OF BEACON**1 Municipal Plaza, Beacon, NY****Telephone (845) 838-5000 • <http://cityofbeacon.org/>****INDIVIDUAL DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons) filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: KRISTINE ALLENAddress of Applicant: 9 VIOLET AVETelephone Contact Information: 516-606-0674**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
KRISTINE ALLEN	9 VIOLET AVE	516-606-0674		

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, _____ being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) KRISTINE ALLEN

(Signature)

Kristine Allen

Tomorrow's Architecture, pllc
E d w a r d M a u r o , A r c h i t e c t

34

June 22, 2021

City of Beacon
Zoning Board of Appeals
1 Municipal Plaza
Beacon, NY

Re: 9 Violet Avenue
SBL: 6054 - 02 - 508868, Zone - R1 - 10

To Whom It May Concern:

This letter is to authorize Edward Mauro or Associate of Tomorrow's Architecture to act as agent on my behalf in all matters pertaining to the renovation and Addition of my home.

Please grant him access to my files and allow them to sign applications and represent me in all interaction with the Building Department, Zoning Board of Appeals, Planning Board, Architectural Review Board and Health Departments etc...

Thank you for your consideration. If you have any questions, please feel free to contact me at my e-mail address below.

Kristine Allen

Email: zanazzik@hotmail.com



Sincerely,

Edward Mauro, AIA