



COURTROOM
1 MUNICIPAL PLAZA
BEACON, NY 12508

**March 21, 2023
7:00 PM
Zoning Board of Appeals Agenda**

Regular Meeting

1. Review and hold public hearing on application submitted by Susan Battersby, 5 Willow Street, Tax Grid No. 30-5954-27-820961-00, T Zoning District, to convert an accessory structure to an accessory dwelling unit which requires relief from the following:Â 1) Section 223-12 to allow for more than one main building on the lot 2) Section 223-17 to allow for a 1 ft side yard setback (10 ft required)Â 3) Section 223-17 to allow for a 1.8 ft rear yard setback (20 ft required)Â 4) Section 223-24.1(F) to allow for 3 parking spaces (5 spaces required)Â Â (Adjourned until the April 18 meeting)
2. Review and hold public hearing on application submitted by James Weldon, 76 Oak Street, Tax Grid No. 30-5954-28-983913-00, R1-5 Zoning District, to construct a 2 1/2-story addition which requires relief from the following:Â 1) Section 223-17 to allow for a 9.2 ft side yard setback (10 ft required)Â 2) Section 223-17 to allow for a 10 ft rear yard setback (20 ft required)Â 3) Section 223-17 to allow for 37% building coverage (maximum 30% permitted)

City of Beacon Zoning Board of Appeals Agenda
03/21/2023

Title:

Review and hold public hearing on application submitted by Susan Battersby, 5 Willow Street, Tax Grid No. 30-5954-27-820961-00, T Zoning District, to convert an accessory structure to an accessory dwelling unit which requires relief from the following:

- 1) Section 223-12 to allow for more than one main building on the lot
- 2) Section 223-17 to allow for a 1 ft side yard setback (10 ft required)
- 3) Section 223-17 to allow for a 1.8 ft rear yard setback (20 ft required)
- 4) Section 223-24.1(F) to allow for 3 parking spaces (5 spaces required)

(Adjourned until the April 18 meeting)

ATTACHMENTS

[Zoning_Board_of_Appeals_Application_5 Willow.pdf](#)

[5 Willow ZBA Application.pdf](#)

[L230228_Amanda_5 Willow Street.pdf](#)

[Sheet 1_Site Plan_5 Willow Zoning_230228.pdf](#)

[Sheet 2_Existing Conditions_5 Willow Zoning_230228.pdf](#)

[Sheet 3_Building Plans_5 Willow Zoning_230228.pdf](#)

[5 Willow Public Comment Letter Arnoff.pdf](#)

[5 Willow Public Comment Letter Lisa Arnoff.pdf](#)

[5 Willow Public Comment Letter Burger Dietz.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEAL

OWNER: _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

APPLICANT (if not owner): _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: _____

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

PROPERTY LOCATION: _____

ZONING DISTRICT: _____

TAX MAP DESIGNATION: SECTION _____

BLOCK _____ LOT _____

Section of Zoning Code appealed from or Interpretation desired:

Reason supporting request:

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Date: _____



Owner's Signature

Fee Schedule

AREA VARIANCE \$ 250

USE VARIANCE \$ 500

INTERPRETATION: \$ 250



Applicant's Signature

escrow fees may apply if required by Chairman

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: _____

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: _____

Project Address: _____

Project Tax Grid # _____

Type of Application _____

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, _____, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon _____
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon _____
3. ALL tax payments due to the City of Beacon are current _____
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon _____
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon _____
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current _____



Signature of Owner

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: Susan BattersbyADDRESS: 5 Willow Street
Beacon, NY 12508

TELEPHONE: _____

E-MAIL: _____

APPLICANT (if not owner): same as owner

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: Aryeh Siegel ArchitectADDRESS: 84 Mason Circle
Beacon, NY 12508TELEPHONE: 845-838-2490

E-MAIL: _____

PROPERTY LOCATION: 5 Willow StreetZONING DISTRICT: TTAX MAP DESIGNATION: SECTION 5954BLOCK 27 LOT 820961

Section of Zoning Code appealed from or Interpretation desired:

Side yard setback, rear yard setback, reduced parking, and to allow a 2nd main building on the lot,
as further described on Sheet 1 of the drawings submitted with this application.

Reason supporting request:

The building proposed to be used as the accessory building is existing. Renovation would allow
restoration of existing 1800s barn and the applicant's family to occupy the property to provide support.

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Site Plan, survey, existing and proposed floor plans.Date: February 28, 2023

Owner's Signature



Applicant's Signature

Fee Schedule

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Susan Battersby

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 5 Willow Street

Project Address: 5 Willow Street

Project Tax Grid # 5954-27-820961

Type of Application Zoning Board Variance Application

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Susan Battersby, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon ☒
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon ☐
3. ALL tax payments due to the City of Beacon are current ☒
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon ☐
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon ☐
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Signature of Owner

Title if owner is corporation

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Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

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ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
—	—	—
—	—	—
—	—	—

ARYEH SIEGEL
ARCHITECT

Amanda Caputo
Planning Board Secretary
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 5 Willow Street
Accessory Apartment Application

February 28, 2023

Dear Amanda,

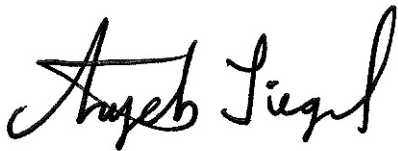
We received a determination from Bruce about what zoning variances are required.

Please find enclosed:

- (5) sets of Sheets 1 through 3
- (1) ZBA Application Form
- Check for Zoning Board Application Fee
- Electronic files to be forwarded to you

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel
Aryeh Siegel, Architect



EXTERIOR WALL SCONCE (L1)

KIRKHAM BRONZE 8 1/2" WIDE DARK SKY LED OUTDOOR WALL LIGHT

- 8 1/2" WIDE X 6" HIGH. EXTENDS 10 1/2" FROM THE WALL
- 10 WATT BUILT-IN LED IS COMPARABLE TO A 45 WATT INCANDESCENT BULB
- 450 LUMENS
- 2700K. 79 CRI
- ASPEN BRONZE FINISH. METAL SHADE. HAMMERED GLASS.
- DARK SKY APPROVED FOR FULL CUT OFF

NOTE THAT THE ACCESSORY APARTMENT WILL COMPLY WITH THE FOLLOWING REQUIREMENTS FROM SECTION 223-24.1 OF THE CITY OF BEACON ZONING CODE AS AMENDED BY LOCAL LAW 08 OF 2022.

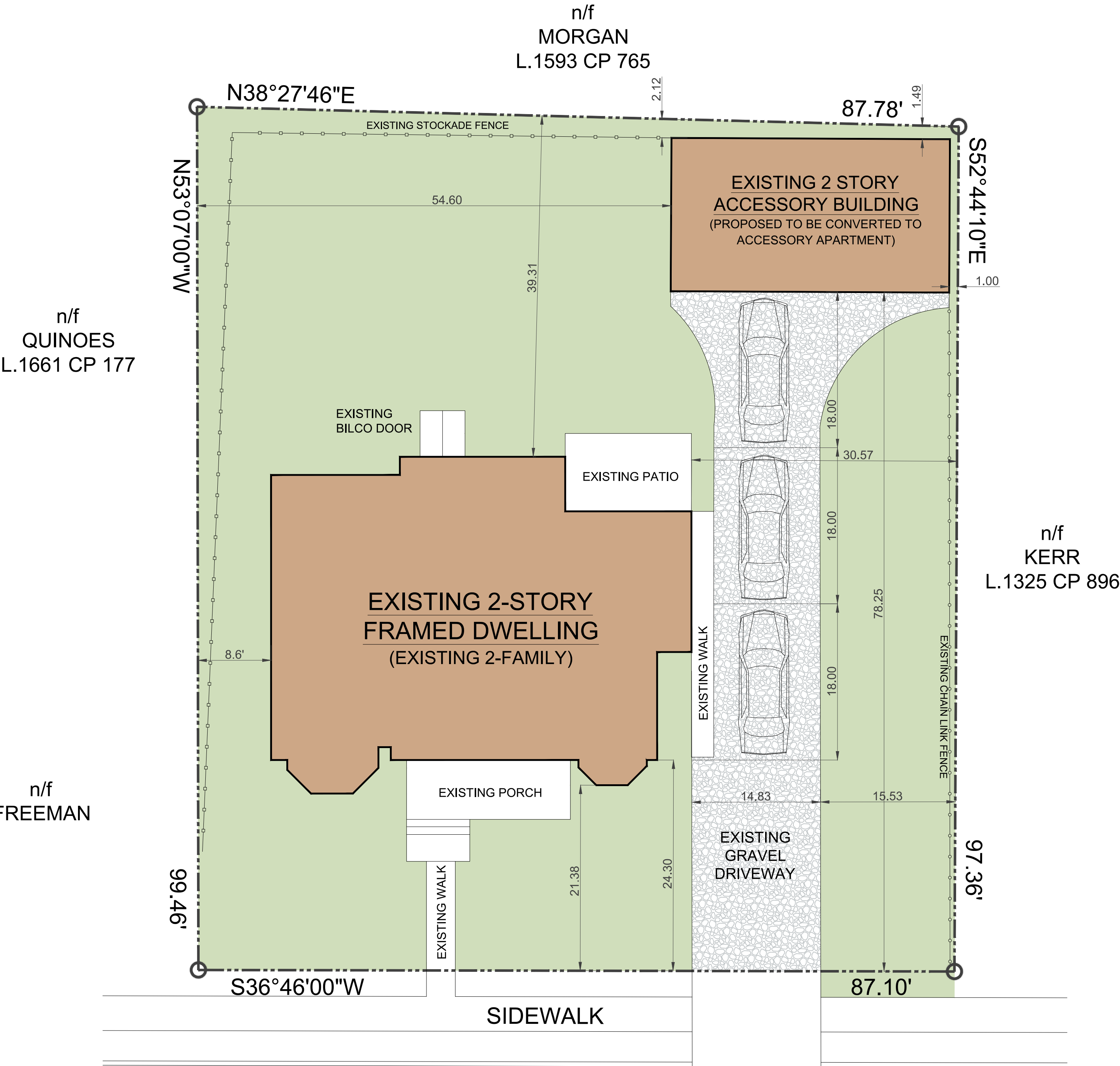
ACCESSORY APARTMENTS

- Owner occupancy required. The owner of the single-family lot upon which an accessory apartment is located shall occupy at least one of the dwelling units on said lot.
- Location on the lot. An accessory apartment may be located either in or attached to a detached single-family dwelling or in an accessory building on such a single-family lot.
- Apartment size. The floor area of an accessory apartment shall not exceed a maximum of 1,000 square feet or be less than a minimum of 200 square feet. Notwithstanding the foregoing, the Planning Board may permit a larger accessory apartment where appropriate in an existing accessory building which was issued a Certificate of Occupancy more than five (5) years before the date of application to construct an accessory apartment
- There shall be no more than one accessory apartment permitted per single-family lot.
- Exterior appearance. If an accessory apartment is located in a detached single-family dwelling, the entry to such unit and its design shall be such that, to the degree reasonably feasible, the exterior appearance of the building will remain that of a single-family residence.
- Off-street parking. A minimum of one off-street parking space shall be provided for each accessory apartment in addition to the off-street parking required for other uses existing on the lot. The Planning Board may, in its discretion, waive all parking requirements for an accessory apartment when deemed appropriate.
- The accessory apartment shall not be used for short term rentals as defined in § 223-26.5.
- An existing structure that does not conform to the yard requirements of Chapter 223 may be converted into an accessory apartment without a variance from the Zoning Board of Appeals if the proposed use will not enlarge or increase the dimensional nonconformity.
- The Building Inspector shall have approval authority for accessory apartments entirely contained within an existing single-family dwelling and meeting all the provisions of this section. All other proposed accessory apartments, including any accessory apartments requiring exterior additions, conversions of existing accessory buildings, or new accessory buildings, shall require site plan approval from the Planning Board.



Existing Photos

Zoning Regulations Table																			
	Maximum Lot Size Area				Required Setbacks			Existing Setbacks			Maximum Area for Accessory Apartment	Existing Area for Accessory Apartment	Maximum Building Height	Existing Building Height					
	Area	Per Unit	Width	Depth	Front	Side	Rear	Front	Side	Rear									
Zoning District																			
T (Transitional)	5000	2500	50	100	10'	10'	20'	78.25'	1.0' ** 54.6'	1.8' **	1,000 sf	1,040 sf	2.5 Stories 35'	2 Stories					
** Variance required																			

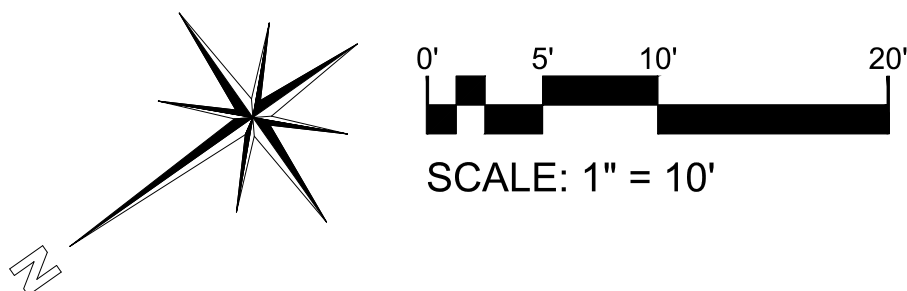


Site Plan

Scale: 1" = 10'

WILLOW STREET

SITE PLAN INFORMATION FROM A SURVEY
BY PETER HUSTIS, L.L.S. DATED JULY 28,
2003



5 WILLOW
STREET



Location Map

1" = 200'

Zoning Summary

Zoning District:	T (Transitional)
Tax Map No.:	5954-27-820961
Lot Area:	8,604 square feet
Existing Building Footprint:	1,569 square feet
Proposed Accessory Apartment Area:	1,040 square feet
Historical Overlay District:	No
Parking Overlay District:	No
Existing Use:	Two Family Residential
Proposed Use:	Two Family Residential with Accessory Apartment

Parking & Loading

Use & Parking Requirements	Proposed Area	Parking Requirement
Residential		
2 spaces for each dwelling unit +1 space for accessory apartment	2 existing dwelling units + 1 accessory apartment	5 parking spaces
Total Required Parking Spaces		5 Parking Spaces
Total Proposed Parking Spaces		3 Parking Spaces

Notes:

1. Apartment size: The minimum floor area shall be 200 square feet, and the maximum shall be 1,000 square feet, except that the Planning Board may permit a larger accessory apartment where appropriate in an existing accessory building which was issued a Certificate of Occupancy more than 5 years before the date of application to construct an accessory apartment.

The proposed Accessory Apartment is located in an existing accessory building constructed more than 5 years before the date of application to construct an accessory apartment. The proposed Accessory Apartment area is 1,040 square feet. Therefore, the size of the accessory apartment is larger than the maximum permitted size of 1,000 square feet. However, the Planning Board may permit the proposed accessory apartment per the Zoning regulations in the existing 2-story accessory building.
2. The Applicant requests a Variance for relief from the requirements of Section 223-12, to allow more than one main building on the lot
3. The Applicant will apply for a Variance for the Side Yard Setback where 10 feet is required and 1 foot exists, per § 223-17. Schedule of Dimensional Regulations
4. The Applicant will apply for a Variance for Rear Yard Setback where 20 feet is required and 1.8 foot exists, per § 223-17. Schedule of Dimensional Regulations
5. The Applicant will apply for a Variance for off-street parking requirements where 5 parking spaces are required and 3 parking spaces are proposed, per Section 223-24.1 (F)
6. Applicant does not believe an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of this variance.
7. The benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance.
8. The applicant does not believe the requested variance is substantial.
9. The applicant does not believe the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
10. The applicant does not believe the difficulty was self-created. However, if the Zoning Board finds that the difficulty was self-created, the consideration shall be relevant to the decision of the board of appeals but shall not necessarily preclude the granting of the area variance.
11. Note that exterior lighting fixtures for the accessory building shall comply with the requirements of Section 223-14B, specifically:
 - a. The type, location, and shading of such lighting shall prevent the spillover of light onto any adjacent residential or multifamily property or direct glare onto any public sidewalk or street.
 - b. Such lighting shall use full cutoff fixtures that do not emit light above the horizontal plane into the night sky, except for lighting for short-term events or holidays, flagpole lighting, decorative light sources under 600 lumens, public parks and other public specialty lighting, as determined by the Building Inspector.
 - c. Color temperatures should be in the range of 2,400 to 4,000 Kelvin degrees.
 - d. The color rendering index should be in the range of 80 to 100.
 - e. Adaptive controls, such as dimmers, timers, and motion sensor shut-off lighting, should be used whenever appropriate.

Index of Drawings

Sheet 1 of 3	Site Plan
Sheet 2 of 3	Survey / Existing Conditions Plan
Sheet 3 of 3	Accessory Apartment Plans and Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	2/28/23	REVISED PER PLANNING BOARD COMMENTS	AJS

Site Plan Application - Accessory Apartment

Sheet 1 of 3 - Site Plan

5 Willow Street

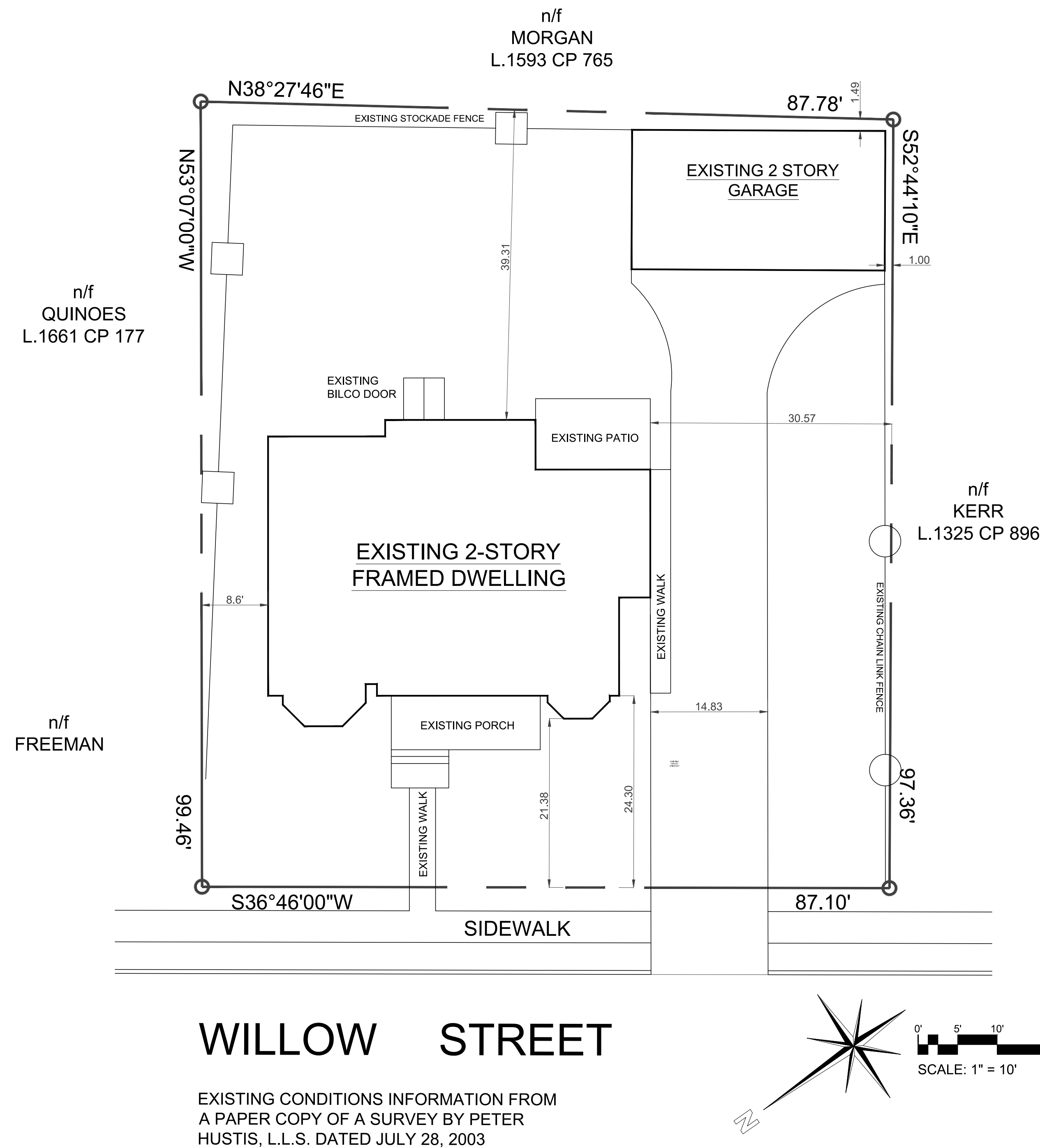
Beacon, New York

Scale: As Noted

September 1, 2022

Owner:
Susan Battersby
5 Willow Street
Beacon, NY 12508

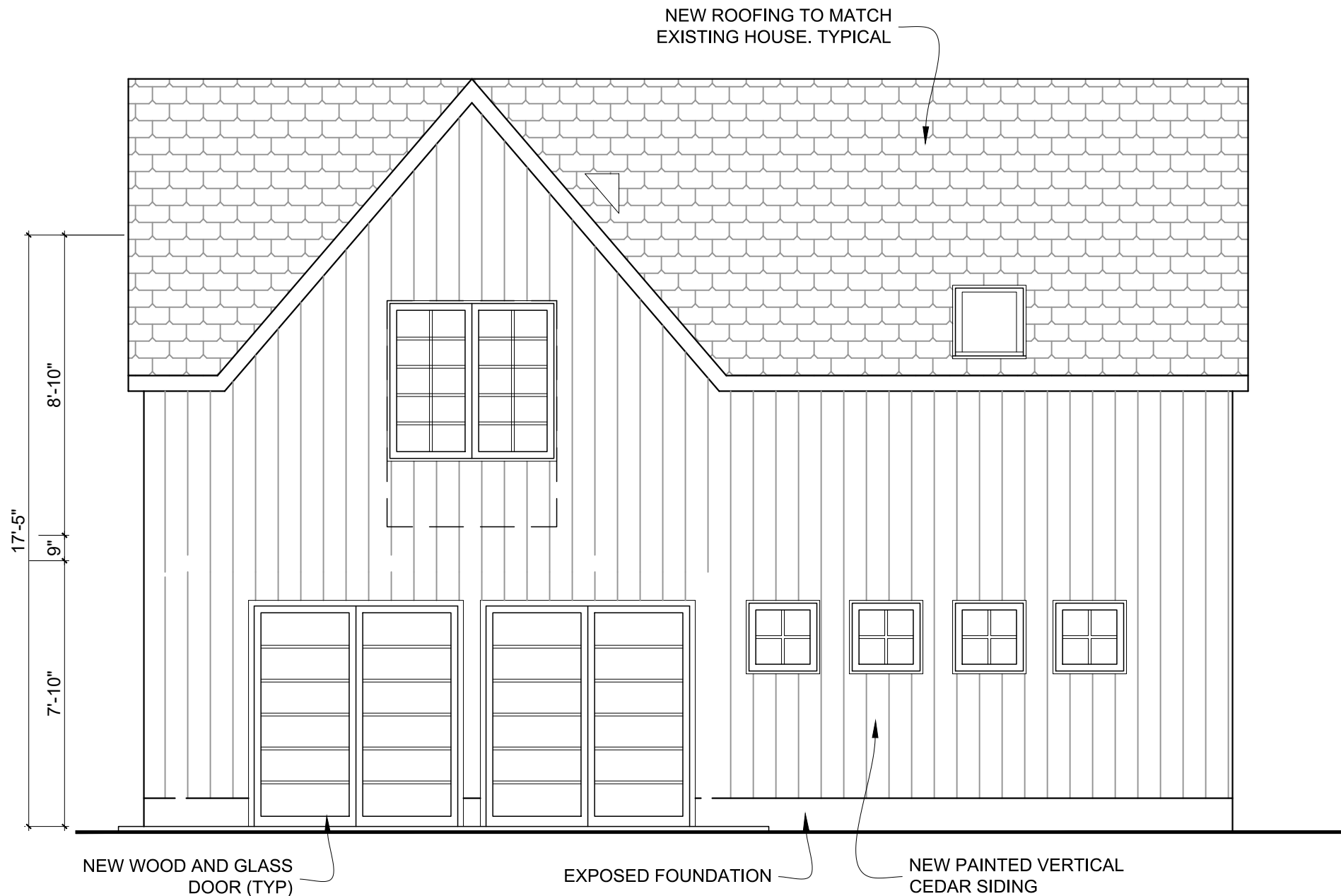
Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508



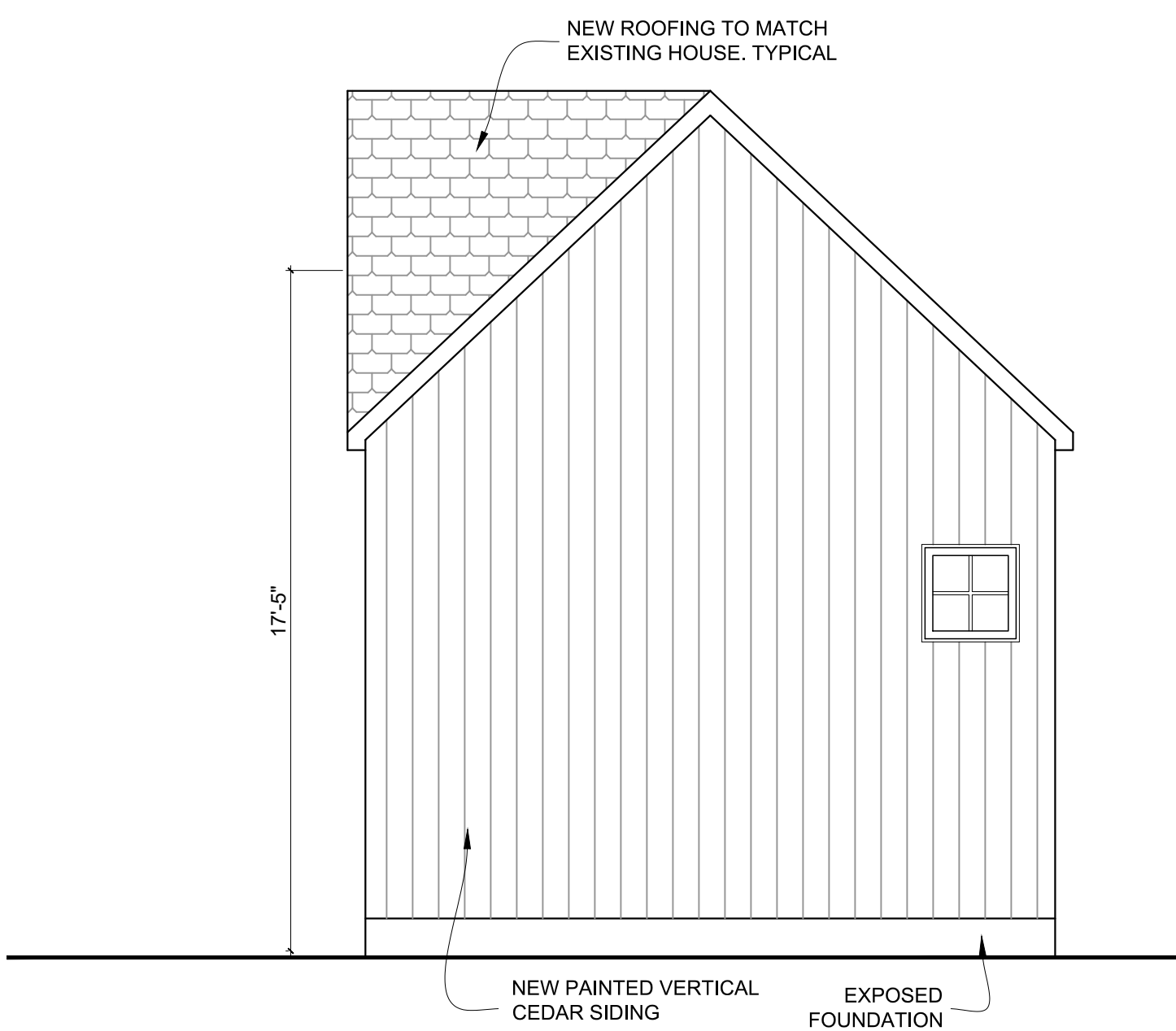
Existing Conditions & Demolition Plan

Site Plan Application - Accessory Apartment

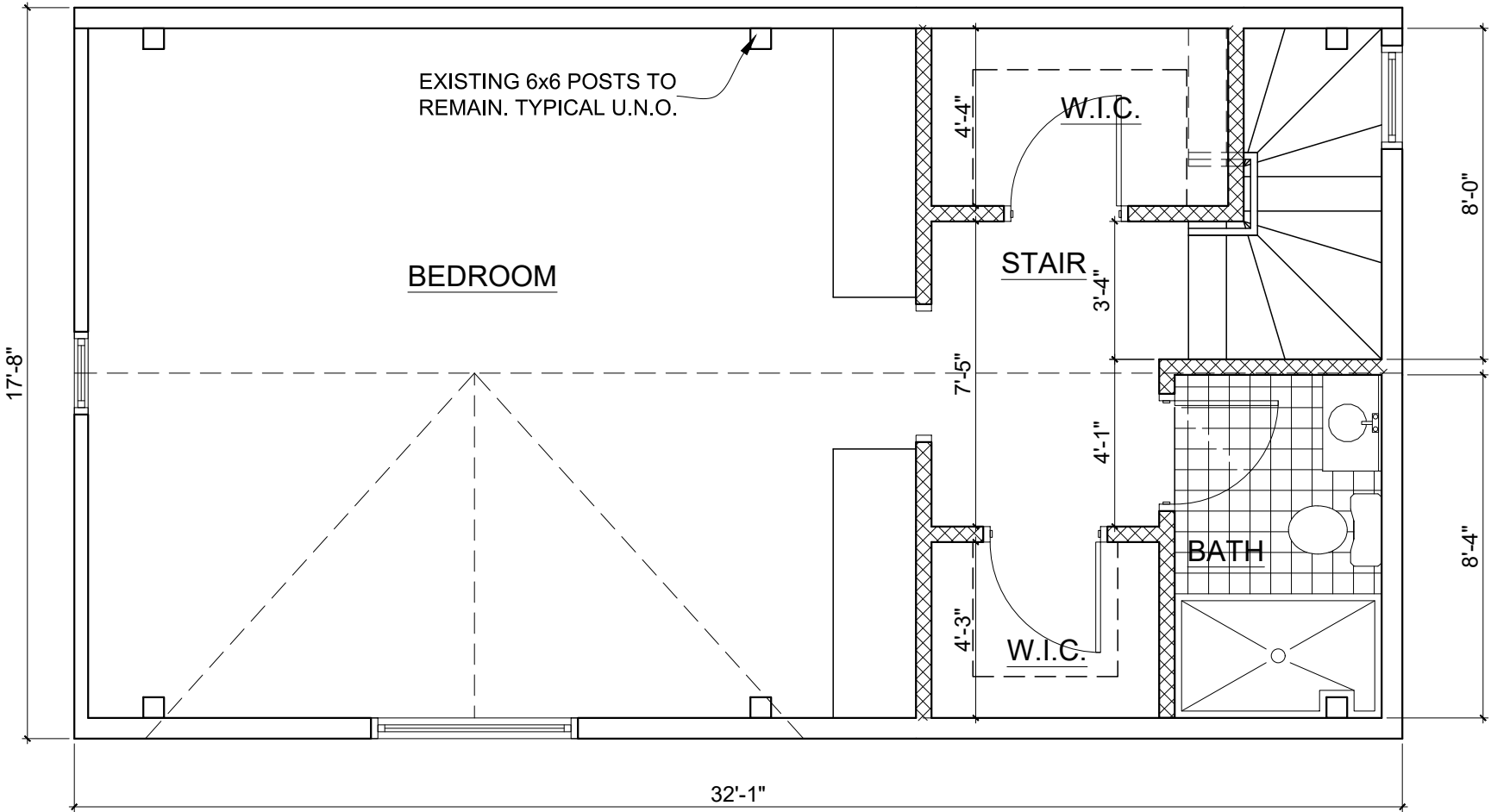
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	2/28/23	REVISED PER PLANNING BOARD COMMENTS	AJS



Front Elevation

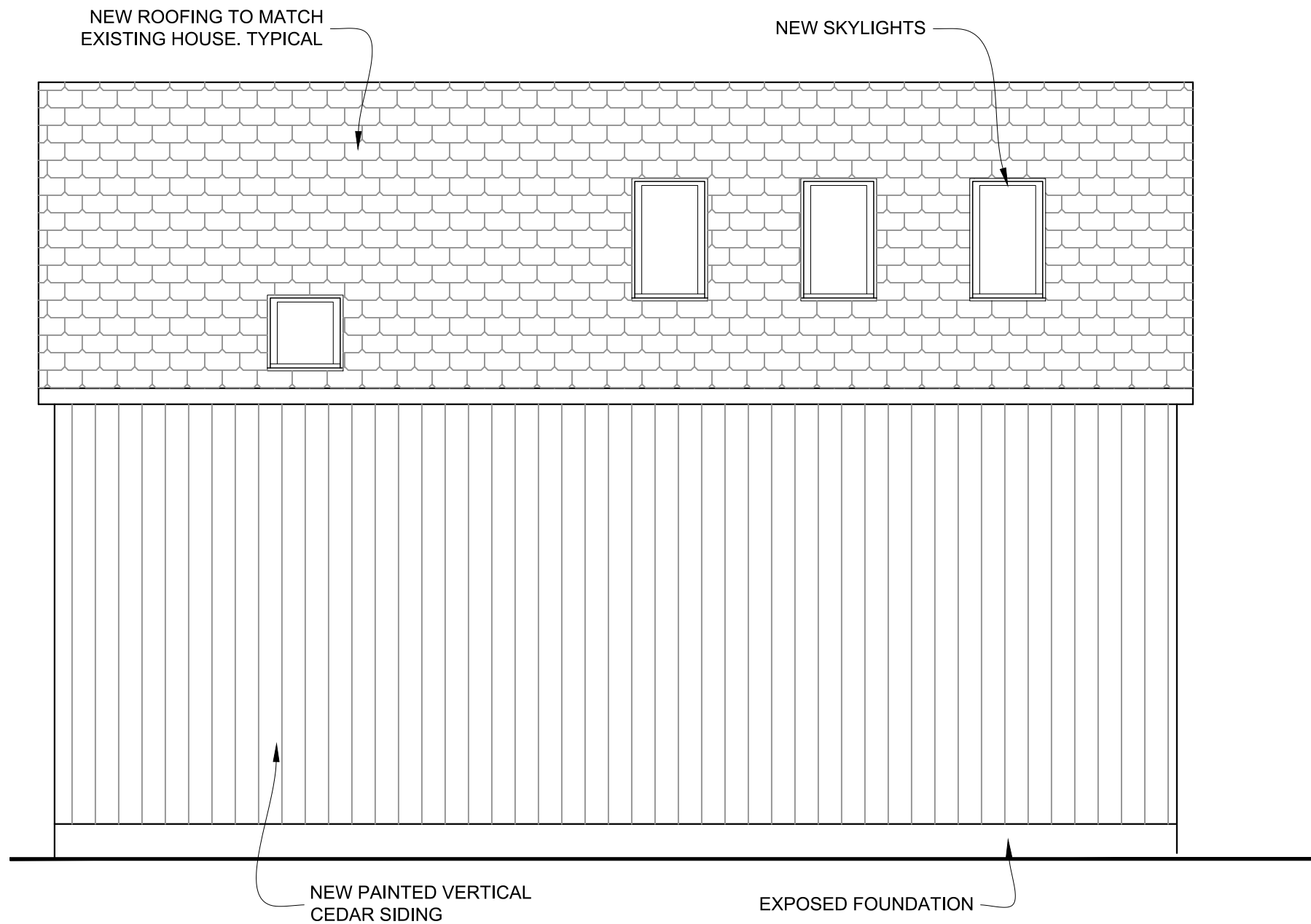


Right Side Elevation

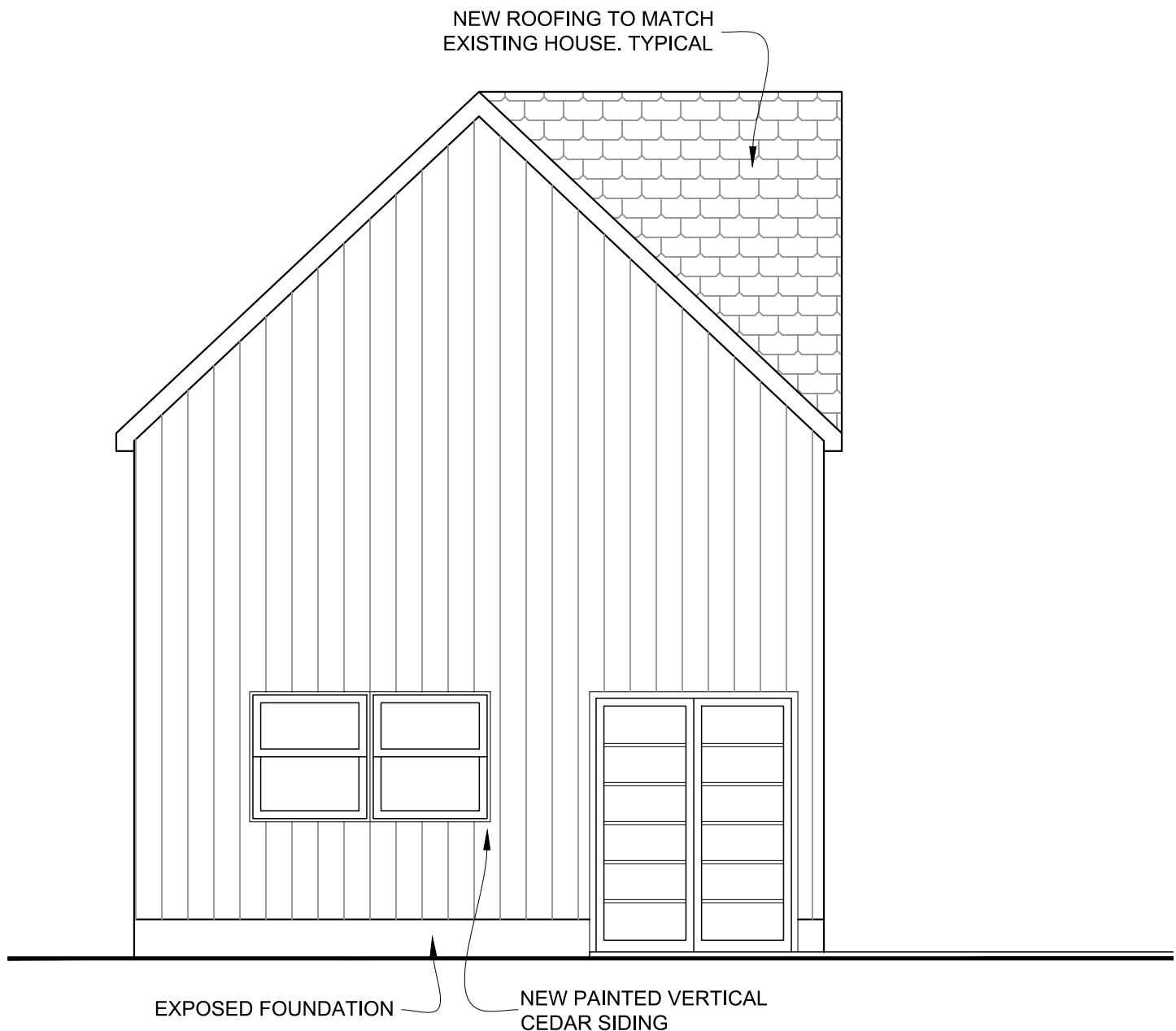


2nd Floor Plan

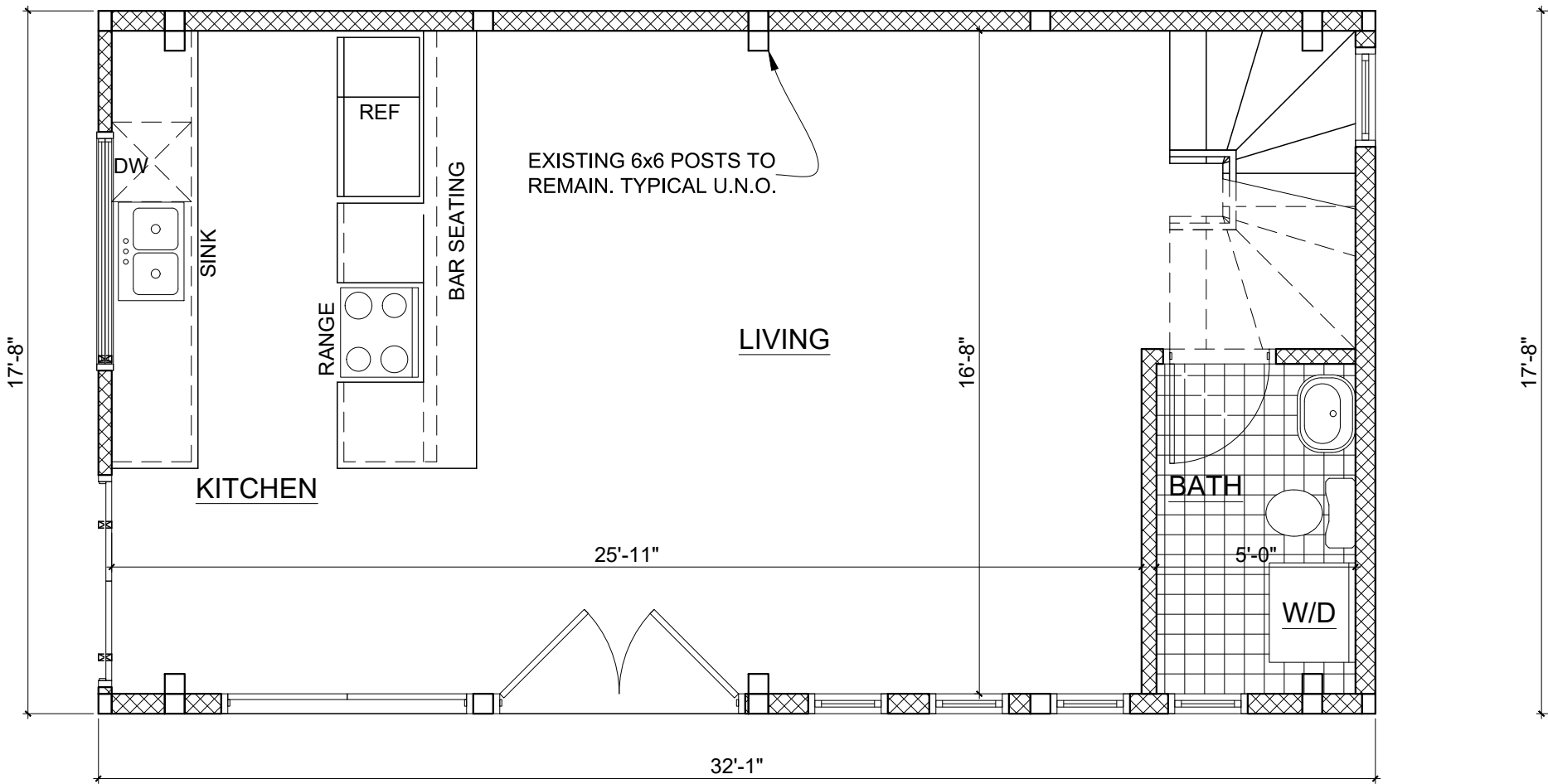
Scale: 1/4" = 1'-0"



Rear Elevation



Left Side Elevation



1st Floor Plan

Scale: 1/4" = 1'-0"

Site Plan Application - Accessory Apartment

Sheet 3 of 3 - Accessory Apartment Plans & Elevations

Amanda Caputo

From: Brian Arnoff <brian@kitchensinkny.com>
Sent: Monday, March 20, 2023 2:22 PM
To: Amanda Caputo
Cc: Kristin
Subject: 5 willow street

Follow Up Flag: Follow up
Flag Status: Flagged

Amanda

Below is a letter of support for the renovation project at 5 willow street:

Planning Board

My name is Brian Arnoff, I live at 90 Maple street in Beacon and own Meyers Olde Dutch and Kitchen Sink. I am submitting this letter to support the approval of the below requests for variances. Meyers Olde Dutch's property directly abuts the side of 5 willow street and overlooks the barn to be renovated. This improvement to the current structure seems like it will be a big win for everyone including removing a dilapidated building and adding an additional apartment to Beacon's housing supply. I would also note as their neighbor I have gotten to know many of the battersby family and they are awesome local people just trying to do the best for our community, I hope you will approve their requests.

- 1) Section 223-12 to allow for more than one main building on the lot
- 2) Section 223-17 to allow for a 1 ft side yard setback (10 ft required)
- 3) Section 223-17 to allow for a 1.8 ft rear yard setback (20 ft required)
- 4) Section 223-24.1(F) to allow for 3 parking spaces (5 spaces required)

Thanks

Brian Arnoff

--

Brian Arnoff

Chef Owner
Kitchen Sink *Food and Drink*
kitchensinkny.com
c 914.489.2897
@kitchensinkNY
fb.com/kitchensinkbeacon



Amanda Caputo

From: Lisa Arnoff <lisaarnoff@gmail.com>
Sent: Monday, March 20, 2023 2:50 PM
To: Amanda Caputo
Subject: 5 Willow Street Accessory Apartment

184 Main LLC
Lisa & Michael Arnoff
184 Main Street
Beacon, New York 12508

March 20, 2023

To Whom It May Concern:

As property owners on the Main Street corridor, we want to applaud and support the 5 Willow Street accessory apartment rehab/renovations. It seems this project will foster the Beacon residential community which will certainly be a boon to the area.

Thank you!

Lisa Arnoff
914-475-6060

Amanda Caputo

From: Gabrielle Burger <gabrielle.b.burger@gmail.com>
Sent: Monday, March 20, 2023 9:25 PM
To: Amanda Caputo
Cc: Jeffrey Dietz
Subject: Variance 5 Willow St. Accessory Apartment

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Amanda,

We are Gabrielle Burger and Jeff Dietz, owners of 9 Willow St, adjacent to the carriage house at 5 Willow Street that is up for zoning variances on Tuesday, March 21st.

We are happy to hear the carriage house is going to be rebuilt, as it has surely seen better days, and support our neighbors' efforts to seek a variance of Section 223-12 to allow for more than one main building on the lot.

However, we would like to submit this letter to express our concern over the variance of Section 223-17 to allow for a 1ft sideyard setback. We're concerned about losing privacy, as there would now be a window of an inhabited apartment overlooking our backyard, as well as losing full use of our backyard during construction and any maintenance on the right side wall going forward.

We hope that you understand our position.

Thank you,

Gabrielle Burger and Jeff Dietz
Owners of 9 Willow St.

City of Beacon Zoning Board of Appeals Agenda
03/21/2023

Title:

Review and hold public hearing on application submitted by James Weldon, 76 Oak Street, Tax Grid No. 30-5954-28-983913-00, R1-5 Zoning District, to construct a 2 1/2-story addition which requires relief from the following:

- 1) Section 223-17 to allow for a 9.2 ft side yard setback (10 ft required)
- 2) Section 223-17 to allow for a 10 ft rear yard setback (20 ft required)
- 3) Section 223-17 to allow for 37% building coverage (maximum 30% permitted)

ATTACHMENTS

[76 Oak ZBA Application.pdf](#)

[L230228_Amanda_76 Oak Street.pdf](#)

[Sheet 1_Site Plan_76 Oak Street_ZBA Application_1_230228.pdf](#)

[Sheet 2_Existing Plans_76 Oak Street_ZBA Application_1_230228.pdf](#)

[Sheet 3_Proposed Plans_76 Oak Street_ZBA Application_1_230228.pdf](#)

ZONING BOARD OF APPEALS

City of Beacon, New York

APPLICATION FOR APPEALOWNER: James WeldonADDRESS: 76 Oak Street
Beacon, NY 12508TELEPHONE: (914) 582-1828E-MAIL: james.vincent.weldon@gmail.comAPPLICANT (if not owner): Same as Owner

ADDRESS: _____

TELEPHONE: _____

E-MAIL: _____

REPRESENTED BY: Aryeh Siegel ArchitectADDRESS: 84 Mason Circle
Beacon, NY 12508TELEPHONE: 845-838-2490E-MAIL: ajs@ajsarch.comPROPERTY LOCATION: 76 Oak StreetZONING DISTRICT: R1-5TAX MAP DESIGNATION: SECTION 5954BLOCK 28 LOT 983913

Section of Zoning Code appealed from or Interpretation desired:

Side yard setback, rear yard setback, and percentage of building area on lot, as further described
on Sheet 1 of the drawings submitted with this application.

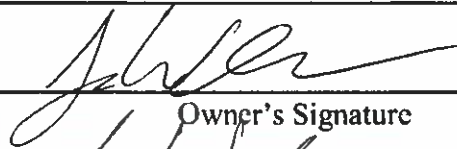
Reason supporting request:

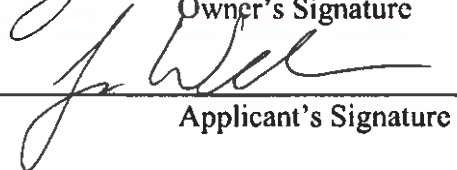
The existing house and property are very small compared to others in the neighborhood. To make
continuing to live in the house feasible, the owner wants to maximize the living area.

Supporting documents submitted herewith: Site Plan, Survey, etc. as required:

Site Plan, survey, existing and proposed floor plans.Date: February 28, 2023**Fee Schedule**

AREA VARIANCE	\$ 250
USE VARIANCE	\$ 500
INTERPRETATION:	\$ 250


Owner's Signature


Applicant's Signature

****escrow fees may apply if required by Chairman****

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: James Weldon

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 76 Oak Street

Project Address: 76 Oak Street

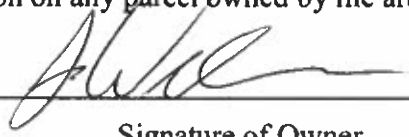
Project Tax Grid # 5954-28-983913

Type of Application Zoning Board Variance

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, James Weldon, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon ☒
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon ☐
3. ALL tax payments due to the City of Beacon are current ☒
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon ☐
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon ☐
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current ☒


Signature of Owner

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
—	—	—
—	—	—
—	—	—

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

INDIVIDUAL DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: James WeldonAddress of Applicant: 7 Creek Dr. Apt. 307 Beacon, NY 12508Telephone Contact Information: (914) 582-1828**SECTION B.** List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
James Weldon	7 Creek Dr. Apt. 307 Beacon, NY 12508	(914) 582-1828	10/30/2019 Purchased from Timothy Baisley and Alenaide Baisely	11/4/2019 Dutchess County

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐
☒

YES

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, James Weldon being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) James Weldon

(Signature) 



City of Beacon New York

Certificate of Inspection Application

Parcel Address 76 Oak Street

Tax ID Number 5954-28-983913

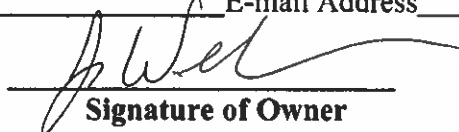
Property Owners Information:

Name James Weldon

Mailing Address 76 Oak Street, Beacon, NY 12508

Business Phone # _____ Home Phone # _____

Cell Phone # (914) 582-1828 E-mail Address james.vincent.weldon@gmail.com


Signature of Owner

For office use only:

	Connected to sanitary sewer	Disconnected	Waiver Requested	Waiver Approved
Roof Leaders	_____	_____	_____	_____
Sump Pump	_____	_____	_____	_____
Yard drain	_____	_____	_____	_____
Other (describe)	_____	_____	_____	_____

Signature of Inspector

Inspection Date _____

Expiration Date _____

FEE: \$50.00

ARYEH SIEGEL
ARCHITECT

Amanda Caputo
Planning Board Secretary
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 76 Oak Street
Zoning Board Application

February 28, 2023

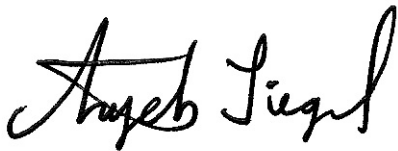
Dear Amanda,

Please find enclosed:

- (5) sets of Sheets 1 through 3
- (1) ZBA Application Forms
- Individual Disclosure Form
- I & I Form
- Check for Zoning Board Application Fee
- Electronic files to be forwarded to you

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel
Aryeh Siegel, Architect

This is a detailed architectural elevation drawing of a two-story house. The house features horizontal siding on the main walls and a gabled roof. On the left side, there is a small porch with a railing. The windows include a central window on the second floor and two windows on the first floor. A small basement window is visible in the foundation. The drawing is a black and white line art representation.

A detailed architectural line drawing of a two-story house. The house features a gabled roof with a textured pattern, possibly representing shingles. The main body of the house has horizontal siding. On the left side, there is a front porch with a flat roof supported by columns. The porch has a railing and a set of stairs leading up to it. To the right of the porch, there is a window with a double-hung design. In the foreground, there is a small, square, white structure with a pointed roof, possibly a mailbox or a small shed. The background is a plain white wall.

This architectural elevation drawing shows a two-story house. The main body of the house has a gabled roof and is clad in horizontal siding. It features four double-hung windows: two on the second floor and two on the first floor. A small, covered porch with a gabled roof and vertical slat railing is located on the right side of the first floor. The house is shown on a foundation with a stippled texture. The drawing is overlaid on a grid of horizontal dashed lines.

A two-story yellow house with white trim and a porch, surrounded by trees and a fence. The house has a gabled roof and a small front porch with white railings. The exterior is painted yellow, and the trim is white. There are several windows with white shutters. The house is surrounded by green trees and a white picket fence. A paved driveway leads to the house.

A two-story yellow house with a dark roof, a chimney, and a front porch with white railings. A green dumpster is in the foreground.

A two-story yellow house with white trim and a dark roof, surrounded by greenery. The house has a gabled roof with a chimney on the left side. The front facade features a large window with white shutters and a smaller window above it. The house is partially obscured by tall grass and weeds in the foreground.

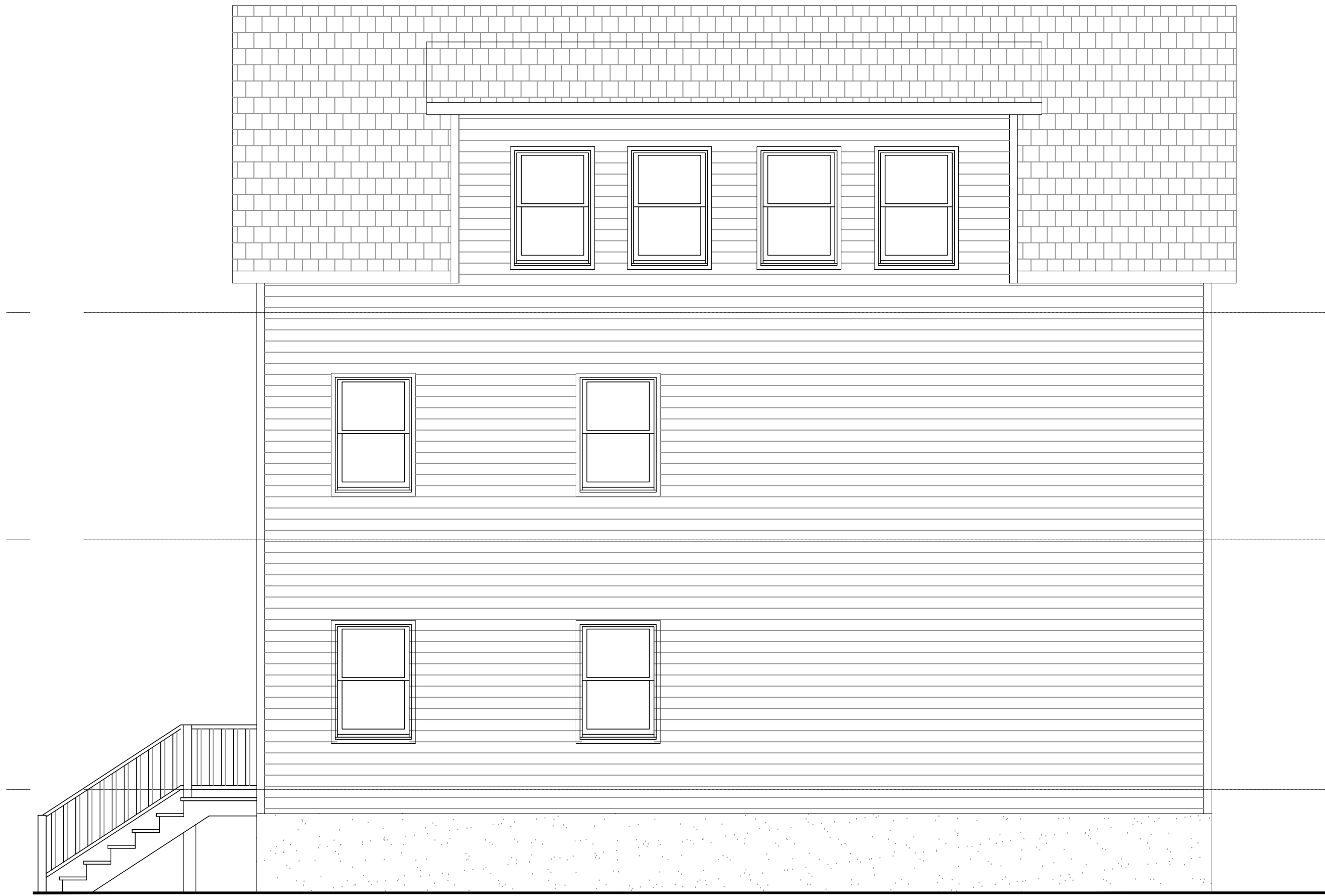
A photograph of a two-story yellow house with a white porch. The house has a chimney on the roof and several windows. A red fire hose is visible on the porch. The house is surrounded by green grass and trees.

Floor plan of the first floor of a house. The plan shows a large ROOM at the top, a BEDROOM at the bottom left, and a HALL in the center. A staircase labeled 'DN' (down) is located in the HALL, and a CLOS. (closet) is adjacent to it. The exterior walls are shown with a cross-hatch pattern. The plan is oriented with North at the top.

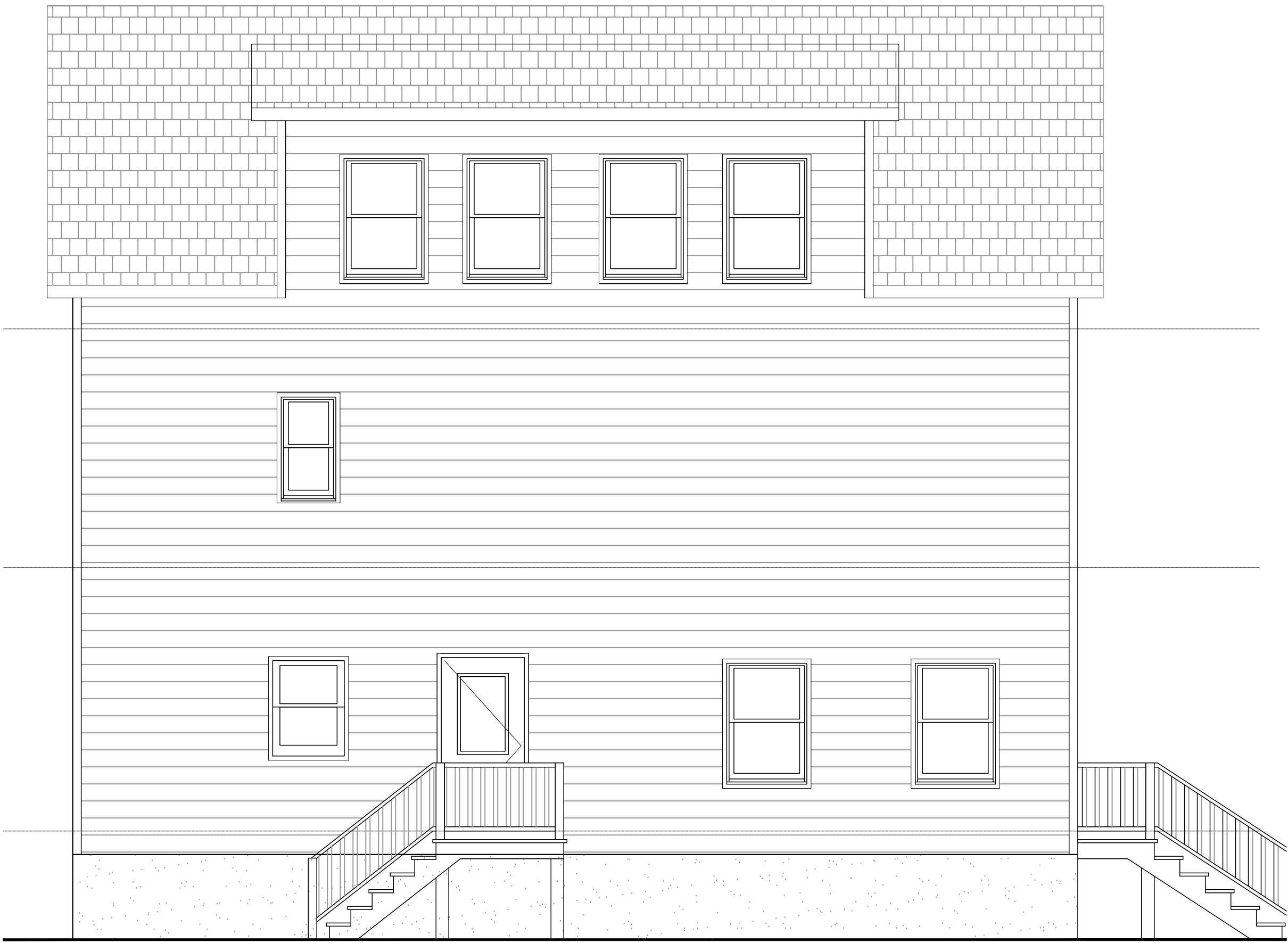
This floor plan shows a single-story house with the following layout:

- KITCHEN:** Located at the top left, containing a refrigerator (REF.), a sink (SINK), and a range (stove).
- SITTING ROOM:** Located at the top right, adjacent to the kitchen.
- LIVING ROOM:** Located in the center, featuring a fireplace on the left wall and a staircase with an "UP" arrow.
- BATHROOM:** Located at the bottom left, containing a bathtub (TUB), toilet, and sink.
- COVERED PORCH:** Located at the bottom right, accessible from the living room area.
- Stairs:** In addition to the "UP" staircase in the living room, there are two "DN" (down) arrows indicating exits from the sitting room and the living room area.

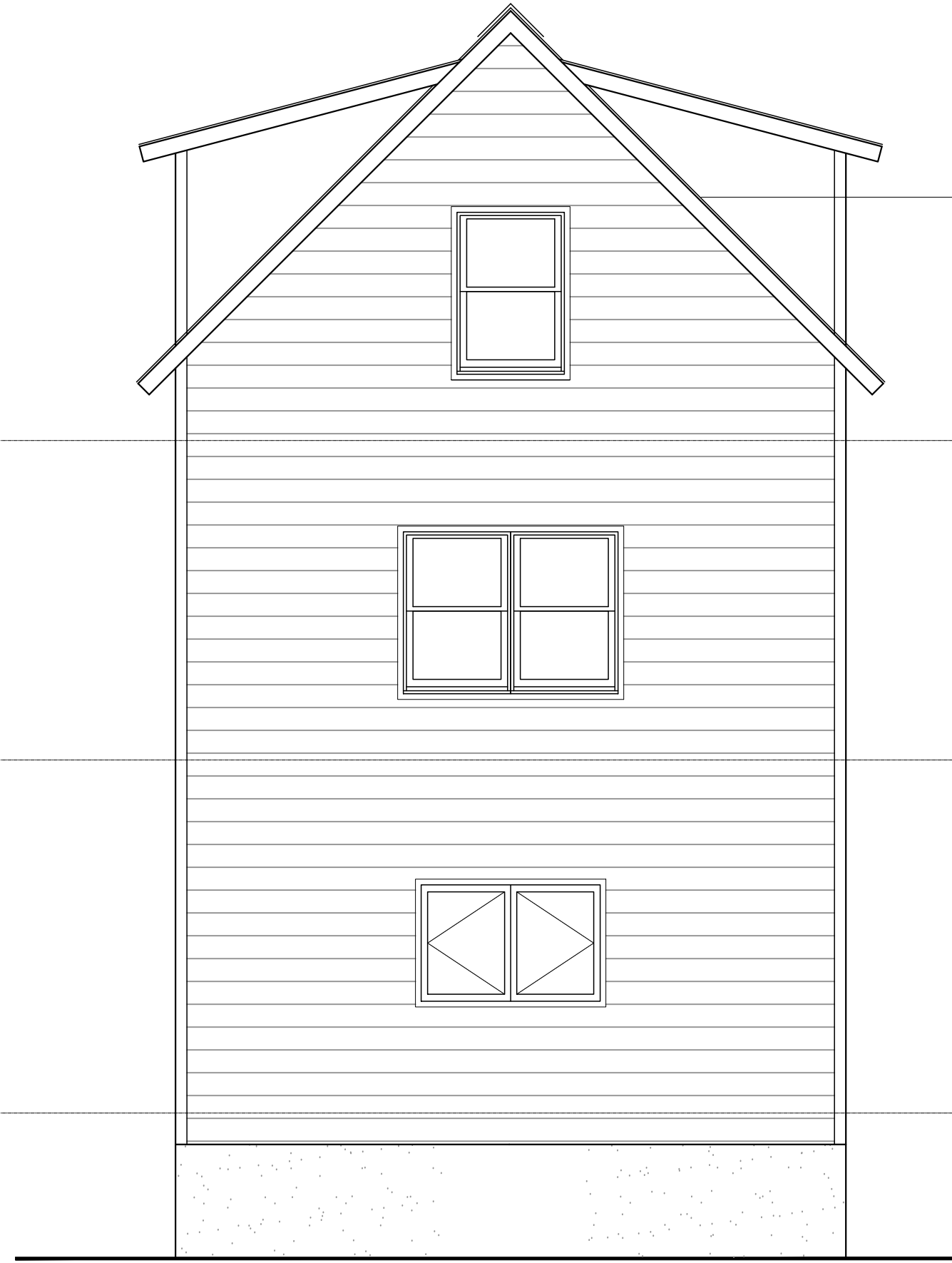
[illegible]



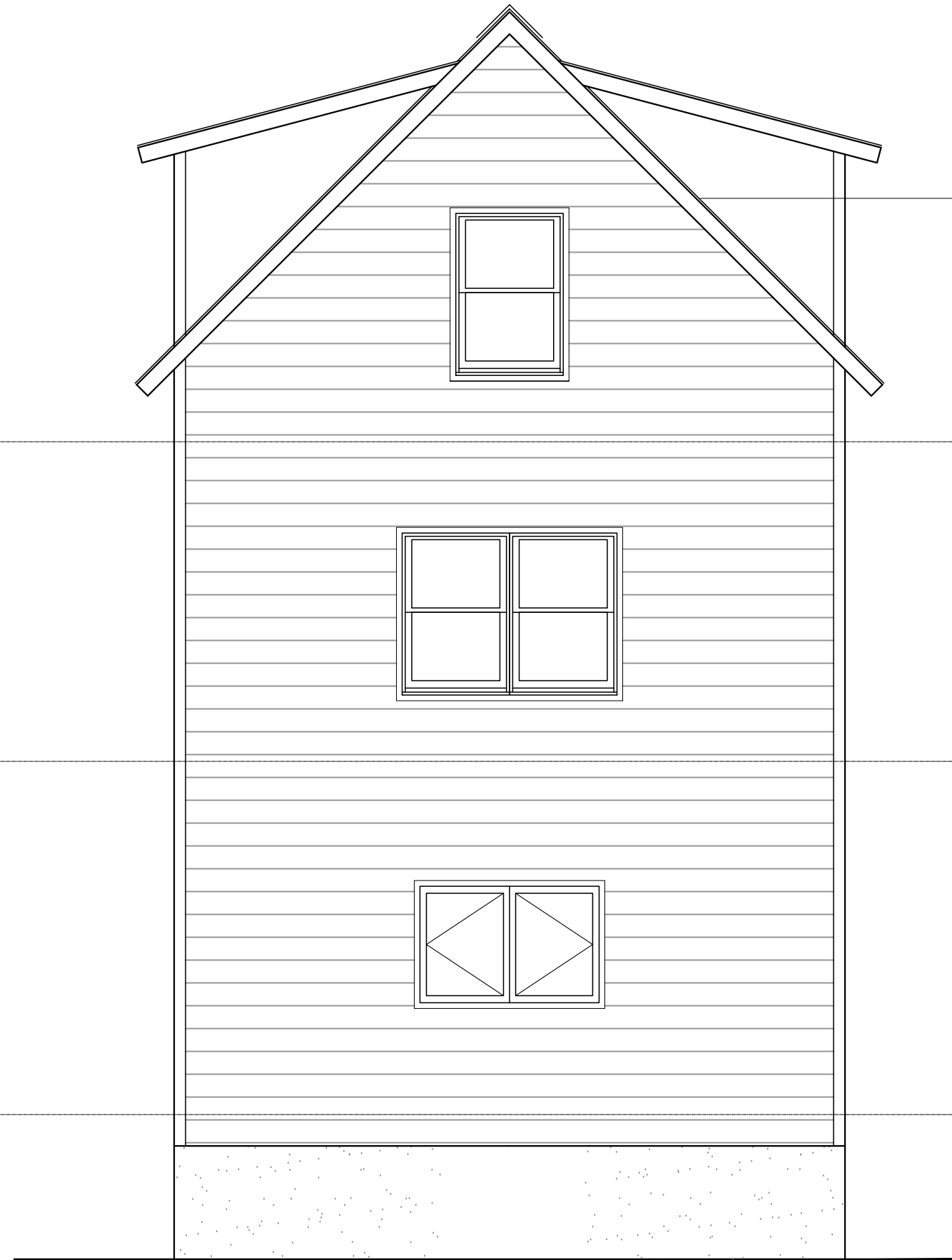
Proposed Left Side Elevation
Scale: 1/4" = 1'-0"



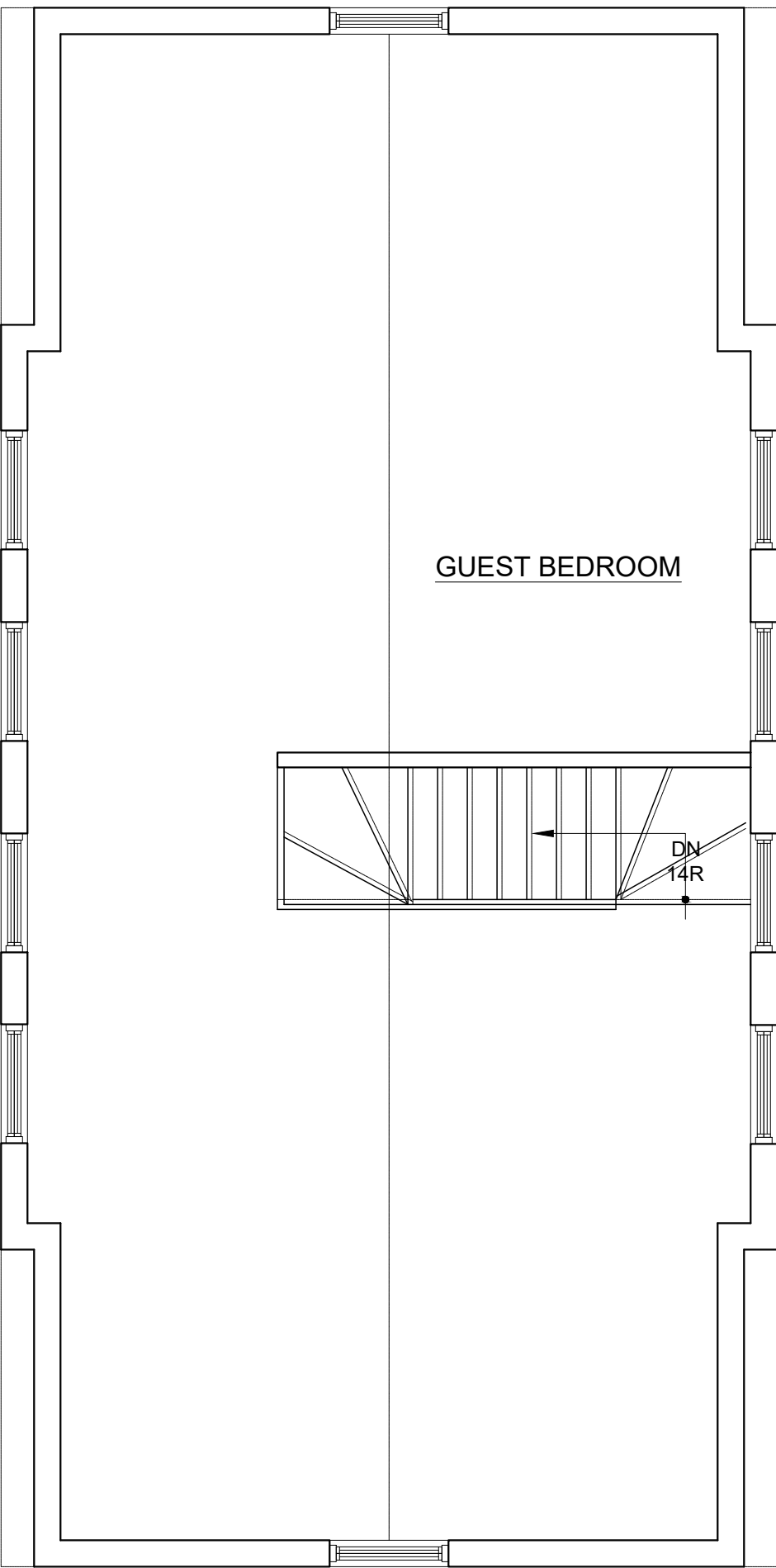
Proposed Right Side Elevation
Scale: 1/4" = 1'-0"



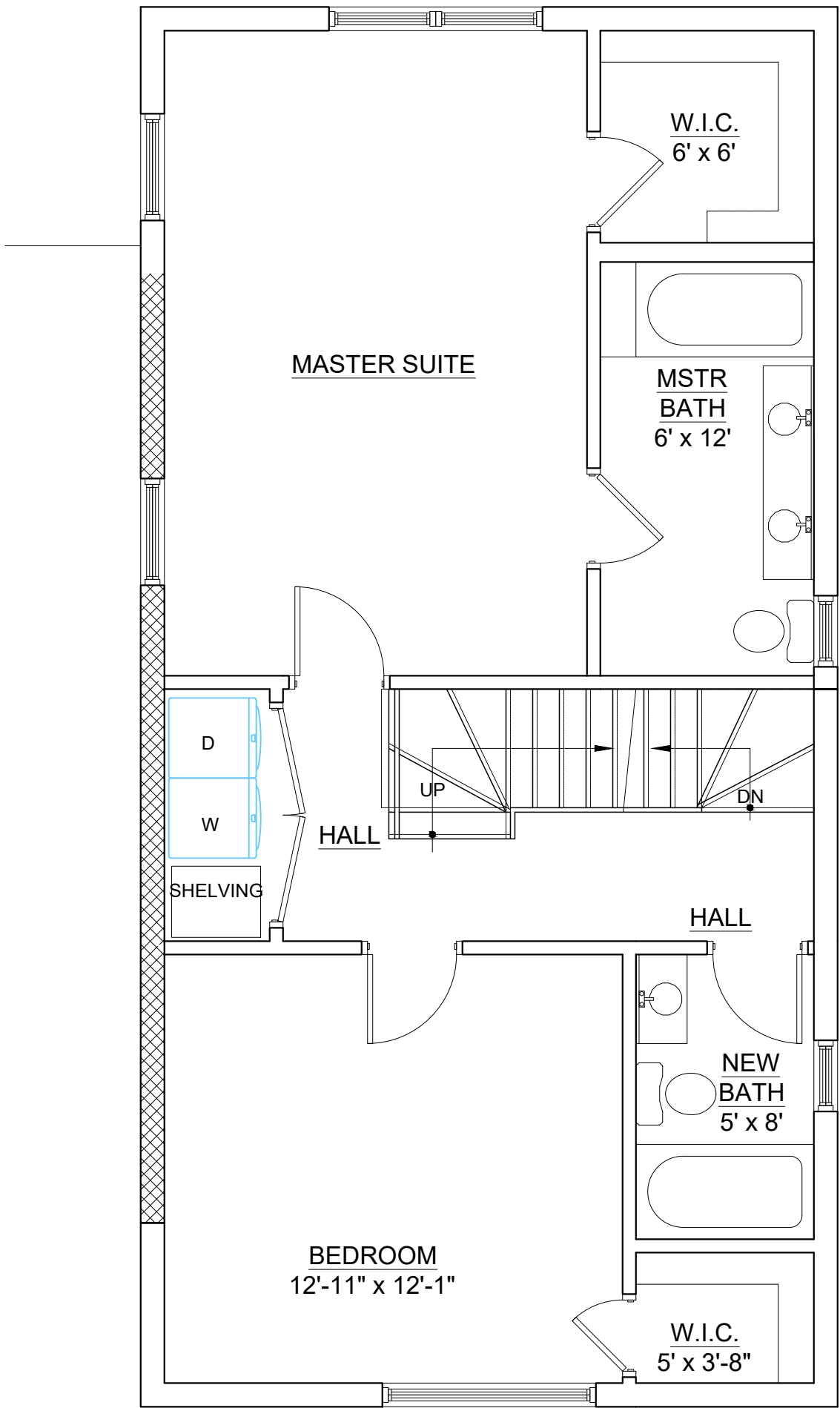
Proposed Front Elevation
Scale: 1/4" = 1'-0"



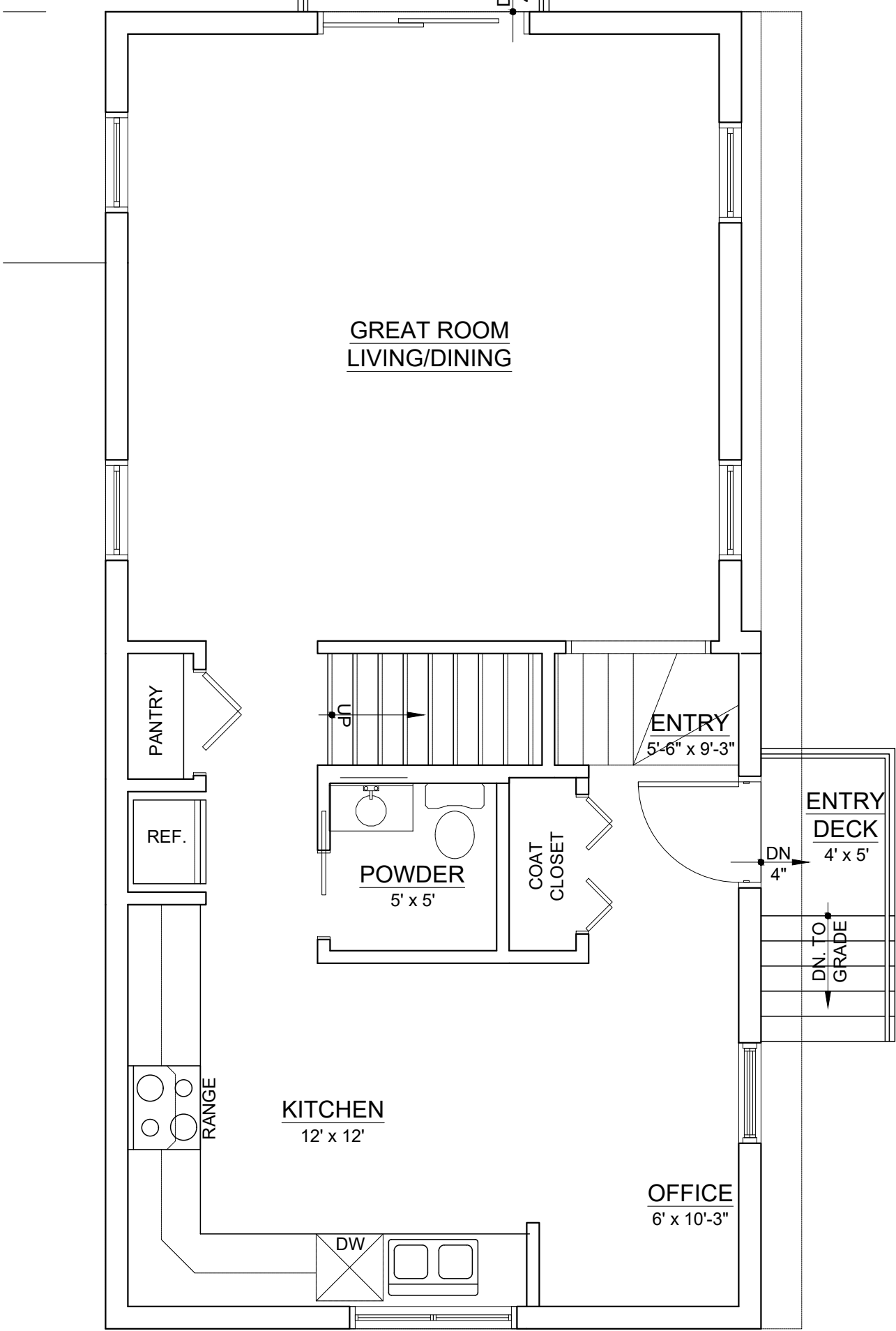
Existing Rear Elevation
Scale: 1/4" = 1'-0"



Proposed Attic Plan
Scale: 1/4" = 1'-0"



Proposed 2nd Floor Plan
Scale: 1/4" = 1'-0"



Proposed 1st Floor Plan
Scale: 1/4" = 1'-0"

Variance Application

Sheet 3 of 3 - Proposed Plans & Elevations for Reference

Owner:
Weldon & Pranatadjaja
76 Oak Street
Beacon, NY 12508

Architect:
Aryeh Siegel Architect
84 Mason Circle
Beacon, New York 12508

Surveyor:
Robert Oswald
75 Walsh Road
Lagrangeville, NY 12540

76 Oak Street
Beacon, New York 12508
Scale: 1" = 10'
October 4, 2022