



# EAST PALO ALTO CITY COUNCIL REGULAR SESSION AGENDA

Tuesday, June 3, 2025, 6:30 PM  
EPA Government Center  
2415 University Avenue, First Floor  
East Palo Alto, CA 94303

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## NOTICE

This meeting will be held virtually and in-person at the Council Chambers located on 2415 University Ave, First Floor East Palo Alto, CA 94303. The virtual portion of this City Council meeting will be conducted in accordance with City of East Palo Alto Resolution adopted pursuant to Assembly Bill 361.

The public may participate in the City Council Meeting via Zoom Meeting or by attending in-person in the Council Chambers at 2415 University Ave, First Floor East Palo Alto, CA 94303. Community members may provide comments by emailing [cityclerk@cityofepa.org](mailto:cityclerk@cityofepa.org), submitting a speaker card at the meeting, or using the **RAISE HAND** feature when the Mayor or City Clerk call for public comment. Emailed comments should include the specific agenda item on which you are commenting.

Please click this URL to join

<https://us06web.zoom.us/j/87008332677>

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

US: +1 669 900 6833 or

+ 1 346 248 7799 or

+ 1 253 215 8782 or

+ 1 312 626 6799 or

+ 1 929 205 6099 or

+ 1 301 715 8592

Webinar ID: 870 0833 2677

International numbers available: <https://zoom.us/u/aMWYF4KT>

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## **REQUESTS TO APPEAR REMOTELY**

Pursuant to Government Code Section 54953, members of the body may appear remotely for the following reasons:

1. Teleconference Exception (Gov't Code § 54953(b)): None.
2. Just Cause (Gov't Code § 54953(j)(2)(D)): (Contagious illness prevents the member from attending the meeting in person (Id., subd. (j)(2)(B))
3. Emergency Circumstances: None  
Mayor Martha Barragan.

General description (Contagious illness prevents the member from attending the meeting in person (Id., subd. (j)(2)(B))

Affirmation (18 year or older participants)

Admonitions: (a) video and audio must remain on; (b) disruption causes cease of council action.

1. **CALL TO ORDER AND ROLL CALL**

2. **APPROVAL OF THE AGENDA**

3. **APPROVAL OF CONSENT CALENDAR**

3.1 **Gun Violence Awareness Day Proclamation**

**Recommendation:**

Present the proclamation for Gun Violence Awareness Day.

3.2 **Pride Month Proclamation**

**Recommendation:**

Present the proclamation for Pride Month.

3.3

**Elder Frederick DuBlunch' Porche' Sr. Proclamation**

**Recommendation:**

Present the proclamation for Elder Frederick DuBlunch' Porche' Sr .

3.4 **City Council Meeting Minutes**

**Recommendation:**

Adopt May 20, 2025, City Council Meeting Minutes.

### **3.5 Authorization to Apply for CalHome 2025**

**Recommendation:** Adopt a Resolution that authorizes the City Manager (or designee) to submit an application for the Homeownership Super Notice of Funding Availability (“HOSN”) to the Department of Housing and Community Development (“HCD”), issued on December 12, 2024, to issue deferred-payment loans of up to \$250,000 to qualifying homeowners to support repair, rehabilitation, and new construction of second units in East Palo Alto, and, if awarded, to negotiate, execute, and deliver a State of California Standard Agreement, and any and all other documents required or deemed necessary or appropriate to receive the grant funds.

### **3.6 Approval of Resolution concerning appeal hearing for 1174 Laurel Avenue**

**Recommendation:** Adopt a resolution denying an appeal concerning 1174 Laurel Avenue of a decision by the interim building official requiring a new permit for new construction following complete demolition of a garage, and directing that remaining fees from the prior permit be applied to the new permit, where legally permissible.

## **4. EPASD BOARD MEETING ITEMS - NONE**

## **5. PUBLIC COMMENT**

## **6. INFORMATIONAL REPORTS**

## **7. SPECIAL PRESENTATIONS**

### **7.1 San Francisquito Creek Joint Powers Authority Presentation**

**Recommendation:** Accept the presentation.

## **8. PUBLIC HEARINGS**

## **9. POLICY AND ACTION**

### **9.1 Commission Appointments**

**Recommendation:** Interview applicants for the Planning Commission; and appoint applicants for Regular or Alternate Seats.

### **9.2 FY2025–2029 Strategic Priorities Framework and FY2025–2027 Council Work Plan**

**Recommendation:**

1. Receive results from the second round of community engagement, including the Council project prioritization process and community survey data;
2. Adopt FY2025-2029 Strategic Priorities;
3. Provide direction on carryforward and new projects in FY2025-2027 Work Plan; and

4. Direct staff to finalize the Work Plan for formal adoption at the June 17, 2025, City Council meeting.

**10. CLOSED SESSION**

**10.1 CONFERENCE WITH REAL PROPERTY NEGOTIATORS**

**Property:** 1180 Beech Street, East Palo Alto, CA 94303

**Agency negotiator:** Michelle Magarell, Deputy City Attorney, East Palo Alto

**10.2 CONFERENCE WITH LEGAL COUNSEL—EXISTING LITIGATION  
(Government Code Section 54956.9(d)(1).) Case Name Unspecified.**

**11. COUNCIL REPORTS**

**12. ADJOURNMENT**

**Upcoming meetings:**

Regular Meeting	June 17, 2025	6:30 PM
Special Meeting	July 8, 2025	6:30 PM
Regular Meeting	July 15, 2025	6:30 PM

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*This AGENDA is posted in accordance with Government Code Section 54954.2(a)*

***This Notice of Availability of Public Records: All public records relating to an open session item which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to the majority of the City Council will be available for public inspection at the City Clerk’s Office, 2415 University Avenue, East Palo Alto, CA at the same time that the public records are distributed or made available to the City Council. Such documents may also be available on the East Palo Alto website [www.cityofepa.org](http://www.cityofepa.org) subject to staff’s ability to post the documents prior to the meeting. Information may be obtained by calling (650) 853-3100.***

*The City Council meeting packet may be reviewed by the public in the Library or the City Clerk’s Office. Any writings or documents pertaining to an open session item provided to a majority of the City Council less than 72 hours prior to the meeting, shall be made available for public inspection at the front counter at the City Clerk’s Office, 2ND Floor, City Hall, 2415 University Avenue, East Palo Alto, California 94303 during normal business hours. Information distributed to the Council at the Council meeting becomes part of the public record. A copy of written material, pictures, etc. should be provided for this purpose.*

*East Palo Alto City Council Chambers is ADA compliant. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk’s office at (650) 853-3127 no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.*

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**DECLARATION OF POSTING**

This Notice is posted in accordance with Government Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the City website. Under penalty of perjury, this Agenda was posted to the public at least 72 hours prior to the meeting.

POSTED: May 23, 2025

ATTEST:

***James Colin***

City Clerk



# EAST PALO ALTO CITY COUNCIL STAFF REPORT

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**DATE:** June 3, 2025  
**TO:** Honorable Mayor and Members of the City Council  
**VIA:** Melvin E. Gaines, City Manager  
**BY:** James Colin, City Clerk  
**SUBJECT:** Gun Violence Awareness Day Proclamation

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## **Recommendation**

Present the proclamation for Gun Violence Awareness Day.

## **Attachments**

1. Proclamation

# PROCLAMATION OF THE CITY OF THE CITY OF EAST PALO ALTO DECLARING JUNE 28, 2025, AS GUN VIOLENCE AWARENESS DAY

**WHEREAS**, gun violence is a public health crisis that impacts communities across the United States, causing untold pain and suffering to individuals, families, and communities; and

**WHEREAS**, every day, 120 people in America are killed with guns, and the gun homicide rate in the U.S. is 26 times higher than that of other developed countries; and

**WHEREAS**, East Palo Alto has been affected by gun violence, which has brought immense tragedy and loss to our community, and it is our collective responsibility to address and combat this epidemic; and

**WHEREAS**, as of 2023, California ranked #44 out of the 50 states, with one of the lowest firearm mortality rates, and received an "A" for having "the strongest gun safety laws in the United States"; and

**WHEREAS**, while we have made progress as a state over the past decade, there is still work to be done to provide a safer environment for the developing generation(s); and

**WHEREAS**, Gun Violence Awareness Day provides an opportunity to honor and remember all victims and survivors of gun violence, and to highlight the daily impact of gun violence on our neighborhoods, particularly in communities of color that are disproportionately affected; and

**WHEREAS**, the observance of Gun Violence Awareness Day will encourage citizens to learn more about the impact of gun violence, support efforts to prevent further gun-related tragedies, and advocate for common-sense solutions that will help save lives; and

**WHEREAS**, the wearing of orange on Gun Violence Awareness Day has become a symbol of the movement to end gun violence, as it reflects the value of human life and the desire for a future free from the fear and threat of gun violence; and

**WHEREAS**, by working together, we can increase awareness, support survivors, and honor the lives of those lost to gun violence, thereby fostering a safer environment for all residents of East Palo Alto; and

**WHEREAS**, organizations, advocacy groups, and citizens across the country are committed to reducing gun violence through education, community engagement, and legislative advocacy.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of East Palo Alto hereby declares June 28, 2024, as Gun Violence Awareness Day in the City of East Palo Alto; and

**BE IT FURTHER RESOLVED**, that the City Council encourages all residents, businesses, and organizations to participate in activities and programs designed to raise awareness and seek solutions to end gun violence, including wearing orange to show solidarity with the movement.



**Date: June 3, 2025**

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**Martha Barragan, Mayor**



# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

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**DATE:** June 3, 2025  
**TO:** Honorable Mayor and Members of the City Council  
**VIA:** Melvin E. Gaines, City Manager  
**BY:** James Colin, City Clerk  
**SUBJECT:** Pride Month Proclamation

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## **Recommendation**

Present the proclamation for Pride Month.

## **Attachments**

1. Proclamation

# PROCLAMATION OF THE CITY OF EAST PALO ALTO CELEBRATING PRIDE MONTH

**WHEREAS**, the City Council of the City of East Palo Alto recognizes and proclaims the month of **June 2025** as Lesbian, Gay, Bisexual, Transgender and Queer (LGBTQIA+) “Pride Month” throughout the City of East Palo Alto; and

**WHEREAS**, East Palo Alto joins the County of San Mateo to observe Pride Month with a Progress Pride flag raising ceremony to honor the history of the LGBTQIA+ liberation movement and to support the rights of all citizens to experience equality and freedom from discrimination; and

**WHEREAS**, the Progress Pride flag is widely recognized as a symbol of pride, inclusion, and support for social movements that advocate for LGBTQIA+ people in society; and

**WHEREAS**, all human beings are born free and equal in dignity and rights. LGBTQIA+ individuals have had immeasurable impact to the cultural, civic and economic successes of our country; and

**WHEREAS**, East Palo Alto is committed to supporting visibility, dignity and equality for LGBTQIA+ people in our diverse community; and

**WHEREAS**, while society at large increasingly supports LGBTQIA+ equality, it is essential to acknowledge that the need for education and awareness remains vital to end discrimination and prejudice; and

**WHEREAS**, this nation was founded on the principle that every individual has infinite dignity and worth, and the City Council calls upon the people of this municipality to embrace this principle and work to eliminate prejudice everywhere it exists; and

**WHEREAS**, celebrating Pride Month influences awareness and provides support and advocacy for San Mateo County’s LGBTQIA+ community, and is an opportunity to take action and engage in dialogue to strengthen alliances, build acceptance and advance equal rights.

**NOW, THEREFORE BE IT RESOLVED** that City Council of the City of East Palo Alto hereby proclaims the month of June 2025 as Pride Month in support of the LGBTQ community.

June 3, 2025



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**Martha Barragan**  
*Mayor*



# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

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**DATE:** June 3, 2025  
**TO:** Honorable Mayor and Members of the City Council  
**VIA:** Melvin E. Gaines, City Manager  
**BY:** James Colin, City Clerk  
**SUBJECT:** Elder Frederick DuBlunch' Porche' Sr. Proclamation

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## **Recommendation**

Present the proclamation for Elder Frederick DuBlunch' Porche' Sr.

## **Attachments**

1. Proclamation

# PROCLAMATION OF THE CITY OF EAST PALO ALTO CELEBRATING ELDER FREDERICK DUBLUNCH' PORCHE' SR.'S 50 YEARS OF PREACHING IN THE MINISTRY

**WHEREAS**, on December 10, 1975, at the age of 15, Elder Frederick DuBlunch' Porche' Sr., excepted his calling into the ministry up under the late Dr. G.L. Bedford Sr., of the Macedonia Missionary Baptist Church of San Francisco, CA. After having studied under Dr. Bedford Sr., for a few months he was allowed to move forward and preach his first message on February 22, 1976. His subject, "Can You Identify Yourself" Text, Jeremiah 1:15 and on that same day he was Licensed to exercise his gift. But a year later of June 12, 1977, he was fully Ordinated into the ministry; and

**WHEREAS**, he continued preaching throughout the City of San Francisco, preaching in local churches, preaching revivals, teaching in seminars, performing wedding, officiating funerals and on occasions asked to preach in front of the "Baptist Ministry Council of San Francisco". Elder Porche' Sr, also sat on the City Planning Board under the late Senator Dianne Feinstein who was serving as the Mayor during that time; and

**WHEREAS**, he continued his education by attending "Bishop College" of Dallas, Tx and "Simpson Bible College" of San Francisco. After returning home from Dallas, TX., he was called to pastor the Bayview Tabernacle Baptist Church of San Francisco where he served for seven years before resigning; and

**WHEREAS**, after many years of serving in the Baptist Church Organization he joined the Church of The Living God-CWFF, Temple #21 in April of 1995 under the leadership of Elder Willie Mingo, he proven himself worthy to pastor within the CWFF Organization he was later appointed as a new pastor to start up the Sacramento, CA Temple. After only a year and half that the Temple Closed, as the Lord seen fit, he was called back to Temple #21 where he was appointed as pastor under the late Bishop Jeff Ruffin; and

**WHEREAS**, after two years pastoring Temple #21 in San Francisco, with the approval of the congregation and the Bishop the church moved to Pittsburgh, CA, where the church remain today. But in September 2006 once again he was given a new assignment by the bishop to pastor Temple #226 in the City Of East Palo Alto, CA where he led a band of a faithful few. He has been able to accomplish much during his nineteen years of pastoring in the East Palo Alto community. Much has been achieved under his leadership at Temple #21. He served as a teacher and as an Advisor for the District #11 "Men Brotherhood" and served as an instructor for "Ministerial Protocol and Ethic." In the National Brotherhood of the Church of The Living God-CWFF everywhere he serves as both teacher and advisor within the men national brotherhood.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Palo Alto, on behalf of the entire community, does hereby recognize and honor Pastor Elder Frederick DuBlunch' Porche' Sr. for his unwavering faith, extraordinary dedication, and spiritual leadership over the course of nearly five decades.



**Dated: May 25, 2025**

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**Martha Barragan, Mayor**



# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

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**DATE:** June 3, 2025  
**TO:** Honorable Mayor and Members of the City Council  
**VIA:** Melvin E. Gaines, City Manager  
**BY:** James Colin, City Clerk  
**SUBJECT:** City Council Meeting Minutes

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## **Recommendation**

Adopt May 20, 2025, City Council Meeting Minutes.

## **Attachments**

1. May 20, 2025, City Council Meeting Minutes.



# EAST PALO ALTO CITY COUNCIL REGULAR SESSION AGENDA

Tuesday, May 20, 2025, 6:30 PM  
EPA Government Center  
2415 University Avenue, First Floor  
East Palo Alto, CA 94303

## 1. CALL TO ORDER AND ROLL CALL

The City Council meeting was called to order by Mayor Barragan at 6:33 PM.

Attendee Name	Title	Status	Left
Martha Barragan	Mayor	Present	10:30 PM
Mark Dinan	Vice Mayor	Present	
Carlos Romero	Councilmember	Present	
Ruben Abrica	Councilmember	Present	
Webster Lincoln	Councilmember	Present	

## 2. APPROVAL OF THE AGENDA

Mayor Barragan requested that item 17.1 be moved to be discussed after item 15.

A motion to approve the agenda with the proposed changes was made by Mayor Barragan, seconded by Vice Mayor Dinan, and passed unanimously.

## 3. APPROVAL OF CONSENT CALENDAR

Mayor Barragan pulled items 3.2 and 3.7 for discussion.

A motion to approve the consent calendar was made by Mayor Barragan, seconded by Vice Mayor Dinan, and passed unanimously.

### 3.1 **Asian American & Pacific Islander Month Proclamation**

The following speakers provided public comments:

- Adit Naor

A motion to approve the item 3.1 was made by Councilmember Abrica, seconded by Councilmember Romero, and passed unanimously.

### 3.2 **Jewish Heritage Month Proclamation**

### 3.3 **FY 2024-25 Third Quarter Treasury Report**

### 3.4 **Potential Project List Adoption for Senate Bill 1 (SB1) Road Repair and Accountability Act of 2017**

### 3.5 **Proclamation of the City of East Palo Alto in Recognition of National Public Works Week**

- 3.6 James Turner Proclamation
- 3.7 Alfredo Bryant Proclamation
- 3.8 City Council Meeting Minutes

4. **CLOSED SESSION**

5. **PUBLIC COMMENT**

The following speakers provided public comments:

- Marjory Ruiz Hidalgo
- Gail Dixon

6. **INFORMATIONAL REPORTS**

7. **SPECIAL PRESENTATIONS**

7.1 One Shoreline Presentation

Len Materman, CEO of One Shoreline provided a presentation.

8. **ADJOURN CITY COUNCIL REGULAR MEETING TO THE EAST PALO ALTO SANITARY DISTRICT BOARD MEETING**

9. **APPROVAL OF THE EPASD BOARD MEETING AGENDA**

10. **APPROVAL OF EPASD BOARD MEETING CONSENT CALENDAR**

A Motion to approve the consent calendar was made by Mayor Barragan, seconded by Councilmember Lincoln and passed unanimously with Councilmember Romero being absent.

10.1 Cash Disbursement Report for March 2025

11. **EPASD BOARD MEETING CLOSED SESSION**

12. **EPASD BOARD MEETING PUBLIC COMMENT**

13. **EPASD BOARD MEETING POLICY AND ACTION**

14. **EPASD BOARD REPORTS**

15. **ADJOURN EAST PALO ALTO SANITARY DISTRICT BOARD MEETING AND RECONVENE CITY COUNCIL REGULAR MEETING**

16. **PUBLIC HEARINGS**

16.1 Appeal hearing for 1174 Laurel Avenue

Amy Chen, Community Development Director and Donald Zhao Interim Chief Building Official provided a presentation for this item.

The following speakers provided public comments:

- Iliana Nicholas
- Mariana Sumina

- Elena Sava

A motion to approve item 16.1 was made by Councilmember Lincoln, seconded by Councilmember Abrica, and passed via the following votes

Ayes: Abrica, Barragan, Lincoln. Romero  
Noes: Dinan

## **16.2 Status of the City's Vacancies, Recruitment, and Retention efforts Pursuant to Assembly Bill 2561**

Ana Torres, Human Resources Manager, provided a presentation on item 16.2.

The following speakers provided public comments:

- Kevin Lewis
- Janet Nunez
- Gail Dixon

A motion to approve item 16.2 was made by Councilmember Romero, seconded by Councilmember Abrica and passed unanimously with Mayor Barragan being absent.

## **17. POLICY AND ACTION**

### **17.1 Commission Appointments**

The Council interviewed the following applicants:

- Christopher Kao
- Elena Savva
- Elena Kogan
- DeVan Taylor
- Maria Rocha
- Elizabeth Pulido
- Gail Dixon

However, the Council did not make any appointments at that time due to an error in communication, which resulted in some applicants not receiving timely notice to attend the meeting. In order to ensure fairness and uphold the integrity of the selection process, the Council decided to interview the rest of the applicants at the June 3, 2025, meeting so that all eligible applicants would have an equal opportunity to participate.

### **17.2 2025 Transient Occupancy Tax Grant Recommendations**

Maurice Baker, Community Services Manager, provided a presentation on this item.

A motion to approve item 17.2 was made by Councilmember Romero, seconded by Councilmember Abrica and passed unanimously with Mayor Barragan being absent.

18. **COUNCIL REPORTS**

19. **ADJOURNMENT**

The meeting was adjourned at 11:14 PM



# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

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**DATE:** June 3, 2025

**TO:** Honorable Mayor and Members of the City Council

**VIA:** Melvin E. Gaines, City Manager

**BY:** Yajaira Morales, Housing Project Manager  
Karen Camacho, Housing and Economic Development Manager  
Amy Chen, Community and Economic Development Director

**SUBJECT:** 2025 Application for CalHome ADU/JADU Grant Program

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## **Recommendation**

Adopt a resolution:

1. Retroactively approving the City Manager's (or designee) submission of an application for the Homeownership Super Notice of Funding Availability (NOFA) to the Department of Housing and Community Development (HCD) to provide deferred-payment loans of up to \$250,000 to qualifying homeowners to support repair, rehabilitation, and new construction of second units in East Palo Alto;
2. Authorizing the City Manager (or designee) to negotiate and execute any documents or agreements, including a grant agreement, to accept and disburse such grant funding to qualified subrecipient; and
3. Finding that the proposed action does not constitute a "project" with the meaning of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines sections 15378(b)(4) and (5) in that it is a governmental fiscal, organizational or administrative activity that will not result in direct or indirect changes in the environment.

## **Alignment with City Council Strategic Plan**

This recommendation is primarily aligned with:

Priority: Promote Housing, Economic and Workforce Development



## CONSENT ITEM 3.5

### **Background**

On December 12, 2024, the California Department of Housing and Community Development (HCD) issued a 2024 Homeownership Super Notice of Funding Availability (2024 Super NOFA), due on March 13, 2025. This 2024 Super NOFA was a call for grant applications covering several categories for affordable homeownership projects and programs. City staff partnered with East Palo Alto Community Alliance and Neighborhood Development Organization (EPACANDO) to submit an application before the deadline. Historically, the City Council supported accessory dwelling unit (ADU) streamlining efforts and has supported the City submitting an application to the same program before today. This application would supplement the City's current CalHome ADU/ junior accessory dwelling unit (JADU) Loan Program. City staff now seeks City Council authority for the application submittal, as required by HCD.

### **Analysis**

#### *CalHome*

The CalHome Program, administered by HCD under the Super NOFA, provides funding to support a variety of activities aimed at assisting low-income homeowners. Through the issuance of deferred-payment loans, CalHome supports the acquisition, rehabilitation, repair, and construction of affordable housing.

Eligible applicants, including jurisdictions and qualified nonprofit organizations, may apply for CalHome funds in several project areas. These include Homeownership Development Project Loans, First-Time Homebuyer Mortgage Assistance, Owner-Occupied Rehabilitation (OOR) Assistance, Technical Assistance for Self-Help Housing Projects, Technical Assistance for Shared Housing Programs, ADU and JADU Programs, and the Acquisition of Manufactured Housing.

Applicants may request funding for up to two program areas. For most program combinations, with the exception of Homeownership Development Project Loans with or without Technical Assistance for Self-Help Housing Projects, the maximum award is \$5 million. The maximum loan amount for an individual project varies by activity and is up to \$250,000 for the new construction of an ADU or JADU.

#### *CalHome JADU/ADU Loan Program*

The CalHome JADU/ADU Loan Program implemented City Council's Affordable Housing Strategy goal in January 2020 of establishing a dedicated funding source to assist low-income households in building ADUs, in response to the Second Unit and Anti-Displacement Task Force's November 2019 recommendations for a comprehensive Second Unit strategy.

The CalHome JADU/ADU Loan Program was established after the City was awarded in 2020 a \$2,000,000 grant from HCD to provide up to 20 loans to income-qualified homeowners interested in building, reconstructing, repairing, or rehabilitating ADUs or JADUs. In exchange, participating



## CONSENT ITEM 3.5

homeowners agreed to rent their units to East Palo Alto households earning at or below 80% of the Area Median Income (AMI). The City, East Palo Alto Community Alliance and Neighborhood Development Organization (EPACANDO), HCD, and Meriwest Credit Union (Meriwest) have collaborated to implement the program since its official launch via a webinar on January 19, 2022. Now that the City has the program up and running and the program is set to expire by June 2025, City staff is recommending continuation of the program. One potential funding source to continue the program is the recent 2024 Super NOFA.

### **Fiscal Impact**

There is no net fiscal impact with the activities discussed in this staff report, as the City is not allocating funding toward the program. If awarded, the City will receive pass-through funds of up to \$250,000 per applicant up to \$3 million total, and an additional 20% of the individual loan amount for administrative costs (totaling up to \$600,000), to be split between the City and the subcontractor EPACANDO, for a total grant amount of \$3,600,000.

### **Public Notice**

The public was provided notice by making the agenda and report available on the City's website and on a bulletin board located at City Hall: 2415 University Avenue, East Palo Alto.

### **Environmental**

The proposed action does not constitute a "project" with the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines sections 15378(b)(4) and (5) in that it is a governmental fiscal, organizational or administrative activity that will not result in direct or indirect changes in the environment.

### **Government Code § 84308**

**Applicability of Levine Act:** No, as the proposed action does not involve an entitlement.

**Analysis of Levine Act Compliance:** Not applicable.

### **Attachments**

1. Resolution



all matters pertaining to all such applications;

4. If an application is approved, the City Manager (or authorized designee), is authorized to negotiate, execute and deliver the Standard Agreement and any and all subsequent amendments thereto and related documents with the State of California for the purposes of obtaining the CalHome fund grant;
5. If the application is approved, the City Manager (or authorized designee), is authorized to sign and submit Funds Requests and all required reporting forms and other documentation as may be required by the State of California from time to time in connection with the CalHome fund grant; and
6. The application in full is incorporated by this reference as part of the Standard Agreement. Any and all activities funded, information provided, and timelines represented in the application are enforceable through the Standard Agreement. The City of East Palo Alto acknowledges and agrees that it may be required to execute any and all other instruments necessary or required by HCD for participation in the HOSN Program.

**PASSED AND ADOPTED** this 3rd day of June 2025, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

\_\_\_\_\_  
Martha Barragan, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
James Colin, City Clerk

\_\_\_\_\_  
John D. Lê, City Attorney



# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

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**DATE:** June 3, 2025

**TO:** Honorable Mayor and Members of the City Council

**VIA:** Melvin E. Gaines, City Manager

**BY:** Amy Chen, Community & Economic Development Director  
Donald Zhao, Interim Chief Building Official

**SUBJECT:** Approval of Resolution concerning appeal hearing for 1174 Laurel Avenue

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## **Recommendation**

Adopt a resolution denying an appeal concerning 1174 Laurel Avenue of a decision by the interim building official requiring a new permit for new construction following complete demolition of a garage and directing that remaining fees from the prior permit be applied to the new permit, where legally permissible.

## **Alignment with City Council Strategic Plan**

This recommendation is primarily aligned with:

Priority: Promote Housing, Economic and Workforce Development

Priority: Promote Health & Public Safety

## **Background**

The procedural history of this appeal is more fully set forth in the staff's report to the Council for the May 20, 2025, appeal hearing.

The appeal hearing was conducted according to the procedures in the staff report.

Ultimately, the Council moved to deny the appeal and directed staff to return with a resolution finalizing their decision.

## **Analysis**



## CONSENT ITEM 3.6

Staff recommends that the Council adopt a resolution laying out the facts and law set forth in the May 20, 2025, staff report that includes the following, in addition to any facts or testimony offered at the hearing:

- EPAMC Chapter 15.08.010 adopts the 2022 California Building Standards Code, which requires construction to follow approved permits. The unauthorized demolition violates this requirement.
- “Substantial Improvement”, as defined in the California Existing Building Code (CEBC) Section 202 and EPAMC Section 15.52.040(VV) for Flood Plain Management, includes alterations in flood hazard areas where repair or improvement costs exceed 50% of the structure’s market value. Complete demolition exceeds this threshold, requiring full compliance with new construction standards, including:
  - Elevating the floor 18 inches above base flood elevation. Needs to be certified by a registered engineer or surveyor and verified by the building official.
  - Meeting CALGreen mandatory requirements for residential construction (*The previously approved plans met this requirement*)
  - Complying with the 2022 California Energy Code, including solar photovoltaic (PV) requirements under Section 150.1(c)(14). (*The previously approved plans met this requirement*)
  - Potentially installing fire sprinklers, depending on site evaluation and water flow availability (not required for conversion). (*The previously approved plans met this requirement*)
  - EPAMC Section 15.04.150 (Existing Buildings): requires new construction to meet updated building standards when the value of the alterations exceed 50% of the structure’s value. The demolition negates provisions for minor alterations, requiring full compliance with new construction codes.
  - Although state law exempts ADUs under 750 square feet from impact fees, the proposed 400-square-foot ADU must still meet all applicable building code requirements for new construction.

### **Fiscal Impact**

There is no fiscal impact in the proposed action, outside of what was already disclosed in the May 20, 2025, agenda report.

### **Public Notice**

The public was provided notice by making the agenda and report available on the City’s website



## **CONSENT ITEM 3.6**

and on a bulletin board located at City Hall: 2415 University Avenue, East Palo Alto.

### **Environmental**

The action being considered does not constitute a “Project” within the meaning of the California Environmental Quality Act (CEQA), pursuant to CEQA Guideline section 15378 (b)(5), in that it is a government administrative activity that will not result in direct or indirect changes in the environment.

### **Government Code § 84308**

**Applicability of Levine Act:** No, as the proposed action does not involve an entitlement.

**Analysis of Levine Act Compliance:** Not applicable.

### **Attachments**

1. Resolution.

**RESOLUTION NO. [XX-2025]**

**A RESOLUTION OF THE CITY COUNCIL  
OF THE CITY OF EAST PALO ALTO**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST PALO ALTO  
DENYING AN APPEAL OF A DECISION BY THE INTERIM BUILDING OFFICIAL  
REQUIRING A NEW PERMIT FOR NEW CONSTRUCTION FOLLOWING COMPLETE  
DEMOLITION OF A GARAGE, AND DIRECTING THAT REMAINING FEES FROM  
THE PRIOR PERMIT BE APPLIED TO THE NEW PERMIT, WHERE LEGALLY  
PERMISSIBLE**

**WHEREAS**, on January 24, 2024, the City of East Palo Alto issued a building permit to the property owner at 1174 Laurel Ave., East Palo Alto, CA 94303, #BLD2023-1038, authorizing the conversion of a 400 square foot existing garage into an accessory dwelling unit (ADU), pursuant to the standards in Chapter 18.96 of the East Palo Alto Municipal Code and California Government Code § 65852.2; and

**WHEREAS**, the approved permit scope allowed for [the removal and replacement of the existing garage roof and garage door, reinforcement of the foundation, and otherwise required the retention of the foundation and three structural walls/retaining and reinforcing three existing walls, replacing the garage door wall, and installing a new concrete slab] to meet the criteria for a conversion under state and local ADU law; and

**WHEREAS**, upon subsequent inspection, a Building inspector determined that the property owner had demolished the entire structure—including all existing walls, the roof, and the foundation—thereby eliminating any physical continuity with the original garage and converting the project into a new construction, which is materially different from a conversion; and

**WHEREAS**, demolition and new construction are not authorized under the original garage-to-ADU conversion permit, and under the California Building Code and the City's adopted building regulations, such work requires a new building permit; and

**WHEREAS**, on October 1, 2024, the Building official issued a notice to the property owner to cease all unauthorized work and to submit a new building permit application for new ADU construction, consistent with applicable codes and standards; and

**WHEREAS**, the property owner appealed the Interim Building Official’s decision to the City Council in accordance with the appeal procedures set forth in the East Palo Alto Municipal Code; and

**WHEREAS**, the City Council held a duly noticed public hearing on May 20, 2025, at which time the property owner and members of the public were provided an opportunity to be heard, and all evidence was considered; and

**WHEREAS**, based on the record and evidence presented, the City Council finds that the scope of work completed by the property owner is inconsistent with the approved permit and constitutes new construction, requiring a new building permit under the California Building Code and City building regulations.

---

**NOW, THEREFORE, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF EAST PALO ALTO:**

1. The appeal filed by the property owner of 1174 Laurel Ave., East Palo Alto, CA 94303, is hereby **DENIED**.
2. The City Council hereby adopts the May 20, 2025, Staff Report, attached hereto as **Exhibit A**, as part of the factual basis and record supporting any decision rendered in these proceedings.
3. The decision and interpretation of the Interim Building Official is UPHeld, and the property owner is required to apply for and obtain a new building permit for the construction of an accessory dwelling unit, in compliance with the California Building Code and Chapter 18.96 of the East Palo Alto Municipal Code.
4. The City Council finds that the complete demolition of the original 400 sq. ft. garage structure, including removal of all three walls, roof, and foundation—was outside the scope of the approved conversion permit, which required structural retention.
5. City staff are directed to apply any unused or remaining portion of the original permit fees paid under the prior garage conversion permit toward the application fee for the new construction permit, to the extent such application of funds is legally and administratively permissible under the City’s fee and accounting policies.
6. The City Council finds that this action is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

7. The City Clerk shall certify the adoption of this resolution and ensure that a copy is transmitted to the property owner and retained in the official project file.

---

**PASSED AND ADOPTED** by the City Council of the City of East Palo Alto at a regular meeting held on the 3rd day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

Martha Barragan, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

---

James Colin, City Clerk

---

John D. Lê, City Attorney



## EAST PALO ALTO CITY COUNCIL STAFF REPORT

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**DATE:** May 20, 2025

**TO:** Honorable Mayor and Members of the City Council

**VIA:** Melvin E. Gaines, City Manager

**BY:** Amy Chen, Community & Economic Development Director  
Donald Zhao, Interim Chief Building Official

**SUBJECT:** Appeal hearing for 1174 Laurel Avenue

---

### **Recommendation**

Staff recommend the City Council deny the appeal application regarding 1174 Laurel Avenue. The garage conversion to an Accessory Dwelling Unit (ADU), under permit #BLD2023-0138, was not completed according to the approved scope.

Staff also recommend the City Council direct staff to recover any unused building permit fees from permit #BLD2023-0138 and apply them to the new building permit fee required for new ADU construction.

### **Alignment with City Council Strategic Plan**

This recommendation is primarily aligned with:

Priority: Promote Housing, Economic and Workforce Development  
Priority: Promote Health & Public Safety

### **Background**

Mr. Akhil Aggrawal owns the property at 1174 Laurel Avenue. The original project aimed to convert a 400-square-foot detached garage into a 400-square-foot ADU. The project timeline is as follows:

- December 2020: Mr. Aggrawal submitted the initial application for garage conversion.

- October 19, 2023: After hiring a new designer, Mr. Derek Ouyang, he submitted a Preliminary Ministerial Review (PMR) application to the Planning Division to confirm compliance with development standards. This does not constitute a planning permit nor authorize construction.
- November 15, 2023: The Planning Division approved the PMR.
- November 21, 2023: Me. Aggrawal submitted the Building permit application.
- January 24, 2024: The Building Division issued permit #BLD2023-0138 for the conversion. The approved scope required retaining and reinforcing three existing walls, replacing the garage door wall, and installing a new concrete slab.

However, on October 1, 2024, a Building Inspector found that the entire garage structure, including its foundation, had been demolished, violating both the East Palo Alto Municipal Code (EPAMC) and the California Building Code. The issued permit only allowed for conversion of the existing structure, not demolition and new construction. To erect a new ADU on the site, as opposed to conversion of an existing structure, a separate permitting process is required.

The inspector issued a Correction Notice the same day, informing Mr. Aggrawal and Mr. Ouyang that the work did not comply with the approved plans related to permit #BLD2023-0138, and that construction could not proceed.

On November 4, 2024, Mr. Ouyang contacted the City to contest the issue. During a meeting on January 7, 2025, Mr. Ouyang admitted that they had demolished the structure after discovering compromised wall integrity – but did not apply for the required demolition permit or inform the City. Director Amy Chen explained that, because the structure had been demolished, the project requires new approvals for ADU construction, as required by the East Palo Alto Municipal Code.

After discussions on the appeal process and fee, Mr. Aggrawal and Mr. Ouyang submitted a formal appeal on April 30, 2025. This hearing addresses that appeal.

### **Analysis**

The complete demolition of the garage invalidated permit #BLD2023-0138. Because the structure no longer exists, the approved conversion permit and its related inspection sequence no longer apply.

The following codes and regulations govern the situation:

- EPAMC Chapter 15.08.010 adopts the 2022 California Building Standards Code, which requires construction to follow approved permits. The unauthorized demolition violates this requirement.
- “Substantial Improvement”, as defined in the California Existing Building Code (CEBC) Section 202 and EPAMC Section 15.52.040(VV) for Flood Plain Management, includes

alterations in flood hazard areas where repair or improvement costs exceed 50% of the structure's market value. Complete demolition exceeds this threshold, requiring full compliance with new construction standards, including:

- Elevating the floor 18 inches above base flood elevation. Needs to be certified by a registered engineer or surveyor and verified by the building official.
- Meeting CALGreen mandatory requirements for residential construction (*The previously approved plans met this requirement*)
- Complying with the 2022 California Energy Code, including solar photovoltaic (PV) requirements under Section 150.1(c)(14). (*The previously approved plans met this requirement*)
- Potentially installing fire sprinklers, depending on site evaluation and water flow availability (not required for conversion). (*The previously approved plans met this requirement*)

EPAMC Section 15.04.150 (Existing Buildings): requires new construction to meet updated building standards when the value of the alterations exceed 50% of the structure's value. The demolition negates provisions for minor alterations, requiring full compliance with new construction codes.

Although state law exempts ADUs under 750 square feet from impact fees, the proposed 400-square-foot ADU must still meet all applicable building code requirements for new construction.

Typically, if a builder finds a structural issue, they must notify the Building Division and submit revised plans before deviating from the original scope. In this case, Mr. Aggrawal and Mr. Ouyang failed to notify the City or apply for changes. Instead, they proceeded to demolish the structure without approval.

Upholding this appeal would require staff to inspect a project that no longer matches the approved plans. This would compromise the City's ability to enforce building codes and set a dangerous precedent – allowing applicants to obtain conversion permits with fewer requirements, demolish structures, and appeal to bypass stricter standards for new construction. Such a practice would undermine the integrity of the permitting process and endanger public safety.

To protect community safety and ensure code compliance, staff recommend denying the appeal and requiring the applicant to submit a new building permit application for new ADU construction.

### **Procedures (and time allotment) for the Conduction of the Appeal Hearing**

According to Cal. Gov. Code 65905 and EPAMC Title 18, Article 8, Chapter 18.116.040 (C)(2) this hearing shall be conducted in compliance with standard hearing procedures. This is the first

Building Appeal and thus there are no examples of time limits from previous hearings. Fundamental due process requires that all parties in a quasi-judicial hearing, such as this appeal, have a reasonable opportunity to present their case. Time limits must be reasonable and applied equally to all parties. Thus, the following procedures and suggested time limits are what the City Council may follow to ensure an orderly and fair hearing:

- a. Call to Order and Opening (~5minutes)
  - Mayor Barragan opens meeting
  - Introduce the appeal case on the record
  - Describe the subject property and issue
- b. Staff Presentation (~10 minutes)
  - City planning staff presents background, decision rationale, and applicable legal standards
- c. Appellant Presentation (~10 minutes)
  - Appellant presents reasons for appeal
  - May include legal arguments, hardship, or evidence disputing staff findings
- d. Staff Rebuttal (if any) (~10 minutes)
  - Staff responds to the appellants claims.
- e. Public Comment (~10 minutes)
  - Open floor to other stakeholders (neighbors, interest groups, etc.) 2-3 minutes each.
- f. Appellant Rebuttals (~2-5 minutes)
  - Appellant may provide brief rebuttal
- g. City Council Questions/Discussion (~5 minutes)
  - Council members ask questions to staff or appellant.
- h. Deliberation and Decision (~5 minutes or as needed)
  - Hearing body discusses in open session
  - Votes on the appeal
  - Must state findings on the record

- E.g., how the decision conforms with Gov. Code § 65852.2
- Decision must be based on substantial evidence in the record

i. Close the Hearing

### **Fiscal Impact**

This item does not have a fiscal impact. The applicant previously paid \$3,689.99 for permit #BLD2023-0138. If the appeal is denied, the applicant must pay for a new building permit. The City Council may direct staff to apply any unused funds from the previous permit toward the new building permit fee.

### **Public Notice**

The public was provided notice by making the agenda and report available on the City's website and on a bulletin board located at City Hall: 2415 University Avenue, East Palo Alto.

### **Environmental**

The action being considered does not constitute a "Project" within the meaning of the California Environmental Quality Act (CEQA), pursuant to CEQA Guideline section 15378 (b)(5), in that it is a government administrative activity that will not result in direct or indirect changes in the environment.

### **Government Code § 84308**

**Applicability of Levine Act:** Yes.

**Analysis of Levine Act Compliance:** See below.

Parties: Akhil Aggrawal, Derek Ouyang

Participant(s): Vice Mayor Mark Dinan forwarded an email from Derek Ouyang on February 4, 2025. The City Attorney was informed and emailed the City Council informing them of the due process requirements and asked the Council to refrain from communicating with the appellant. No further email communication followed, but this is noted for the record.

### **Attachments**

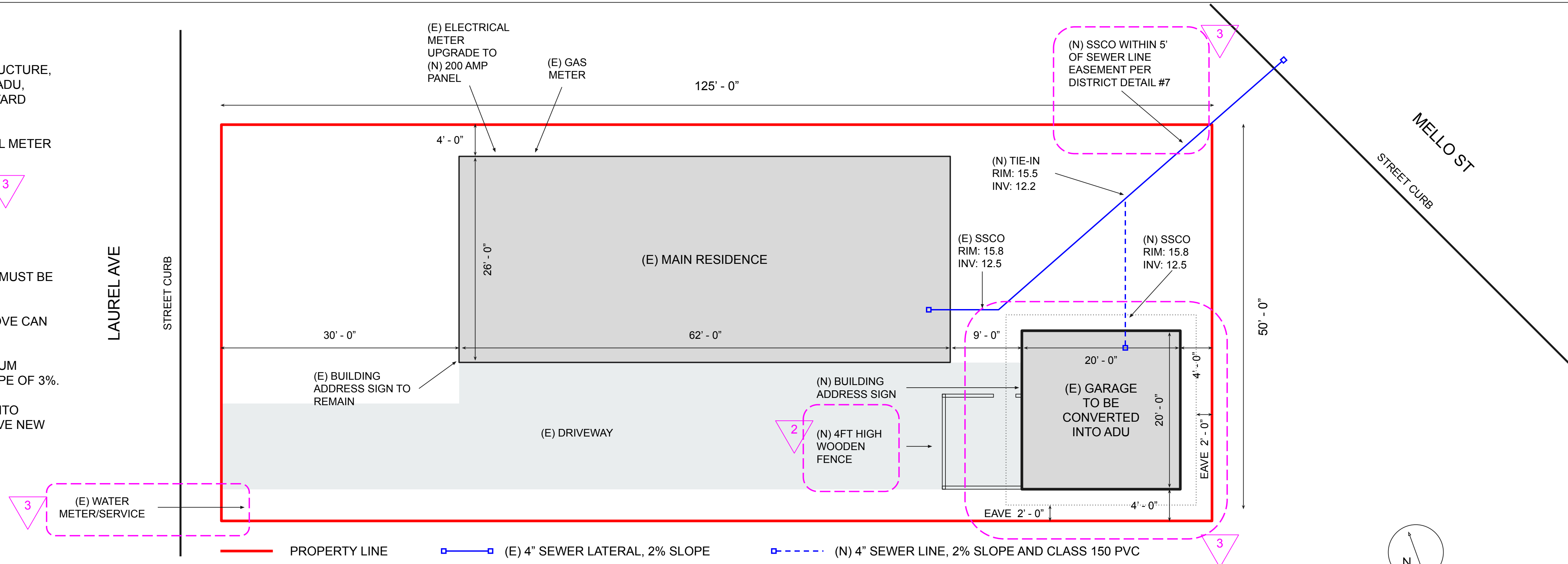
1. Stamped Approved Plans for Building permit #BLD2023-0138
2. Submitted Appeal

**SITE PLAN NOTES:**

- EXISTING DETACHED GARAGE STRUCTURE, TO BE CONVERTED TO DETACHED ADU, ABIDES BY STATE SIDE AND REAR YARD SETBACK REQUIREMENT OF 4 FT
- (E) GAS METER AND (E) ELECTRICAL METER ARE GREATER THAN 3 FT APART
- NO EXISTING EASEMENTS

**SANITARY SYSTEM NOTES:**

- PIPE WITH COVER LESS THAN 3 FT MUST BE CLASS 200 PVC.
- PIPE WITH COVER OF 3 FT AND ABOVE CAN BE CLASS 150 PVC OR HIGHER.
- SEWER PIPES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 3%.
- INSTALL (N) 4" WYE CONNECTION INTO EXISTING LATERAL SEWER TO SERVE NEW ADU DRAINAGE FIXTURES



**1 SITE PLAN**  
1/8" = 1' - 0"

ADDRESS: 1174 LAUREL AVE, EAST PALO ALTO, CA, 9430  
 APN: 062-125-160  
 OWNER: AKHIL AGRAWAL

EXISTING PROPERTY LOT COVERAGE: 1,950 SQFT  
 LOT SIZE: 6,250 SQFT

SCOPE OF WORK: CONVERT EXISTING 400 SQFT DETACHED GARAGE INTO 400 SQFT DETACHED ADU. NO IMPACT TO INTERIOR OF EXISTING MAIN RESIDENCE.

ZONE: R-LD  
 OCCUPANCY: R-3 / U  
 TYPE OF CONSTRUCTION: V-B

**FLOOD ZONE INFORMATION:**  
 ZONE: AE  
 FIRM MAP NUMBER: 06081C0307F  
 BASE FLOOD ELEVATION (BFE): 17 FT. ALL MATERIALS, EQUIPMENT, OR ELECTRICAL COMPONENTS MUST BE FLOOD DAMAGE-RESISTANT MATERIALS BELOW THE LINE.  
 PROPOSED FINISH FLOOR ELEVATION (FFE) OF ADU: 17 FT  
 TOTAL ESTIMATED CONSTRUCTION COST OF \$120,000 < 50% EXISTING IMPROVEMENT VALUE. \$244,236 PER SAN MATEO COUNTY 2022 TAX ASSESSOR ROLL, MEANING THE CONVERSION WILL NOT TRIGGER FLOOD ZONE UPGRADES

PROPERTY CURRENTLY DOES NOT HAVE FIRE SPRINKLERS, AND BECAUSE PROPOSED PROJECT DOES NOT CONSTITUTE SUBSTANTIAL IMPROVEMENT, FIRE SPRINKLERS WILL NOT BE INSTALLED.

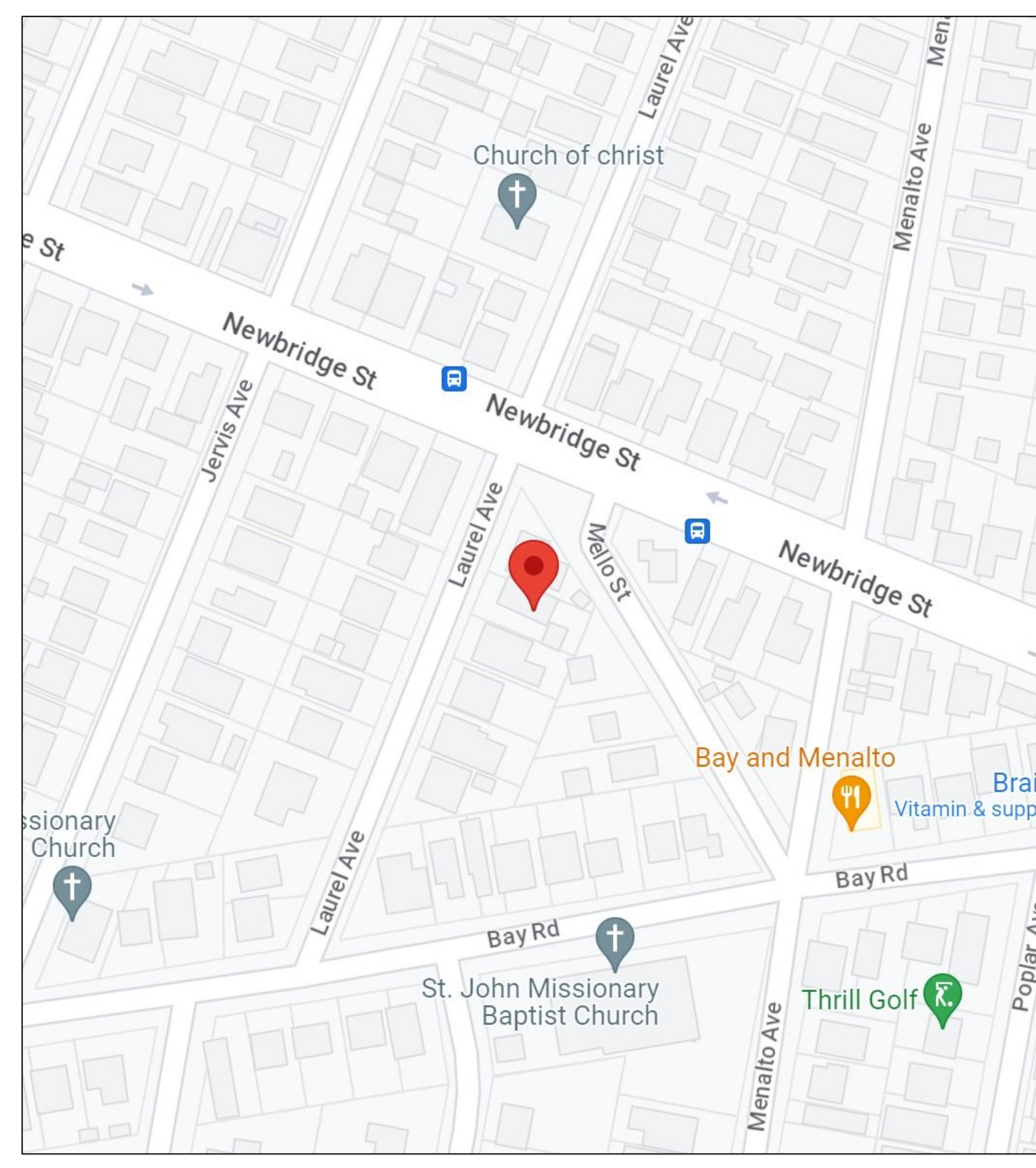
APPLICABLE CODE EDITIONS:  
 CALIFORNIA BUILDING CODE 2022 EDITION  
 CALIFORNIA RESIDENTIAL CODE 2022 EDITION  
 CALIFORNIA MECHANICAL CODE 2022 EDITION  
 CALIFORNIA PLUMBING CODE 2022 EDITION  
 CALIFORNIA ELECTRICAL CODE 2022 EDITION  
 CALIFORNIA FIRE CODE 2022 EDITION  
 CALIFORNIA ENERGY CODE 2022 EDITION  
 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 EDITION  
 EAST PALO ALTO MUNICIPAL CODE

THE CITY OF EAST PALO ALTO MUNICIPAL CODE SECTION 15.04.125 LIMITS CONSTRUCTION ACTIVITY TO THE FOLLOWING HOURS: MONDAY THROUGH FRIDAY: 7:00 AM TO 6:00 PM; SATURDAY: 9:00 AM TO 5:00 PM; SUNDAYS AND NATIONAL HOLIDAYS: NO ACTIVITY ALLOWED

**2 PROJECT INFO**

SHEET	CONTENTS
A0.0	COVER SHEET
A0.1	FLOOD MAP
A1	FLOOR PLAN
A2.0	ELEVATION AND SECTION
A2.1	ELEVATIONS
A3	LIGHTING AND ELECTRICAL PLAN
A4	CONSTRUCTION BEST MANAGEMENT PRACTICES
G1	GREEN BUILDING REQUIREMENTS
G2	GREEN BUILDING REQUIREMENTS
T1	TITLE 24
T2	TITLE 24
T3	TITLE 24
T4	CF1R-ALT-02
T5	RESIDENTIAL MANDATORY MEASURES SUMMARY
S0.0	GENERAL NOTES - STRUCTURAL
S1.0	FOUNDATION PLAN
S1.1	ROOF AND CEILING FRAMING PLAN
S2.0	DETAILS
S2.1	DETAILS
S2.2	DETAILS

**3 DRAWING LIST**



**4 VICINITY MAP**

Designer Signature, 1/24/24:



PREPARED BY:  
 CITY SYSTEMS  
 157 MIRAMONTE RD  
 WALNUT CREEK, CA 94597

Permit #: ZCP23-53

**PLANNING**

Approved  Denied

Reviewer: Matthew Ball

Date: 11/15/2023

**For Staff Use Only**

**PLAN REVIEW ACCEPTANCE**

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION.

By: Brandon Wofford DATE: 01/24/2024  
 WEST COAST CODE CONSULTANTS, INC. (WCC)

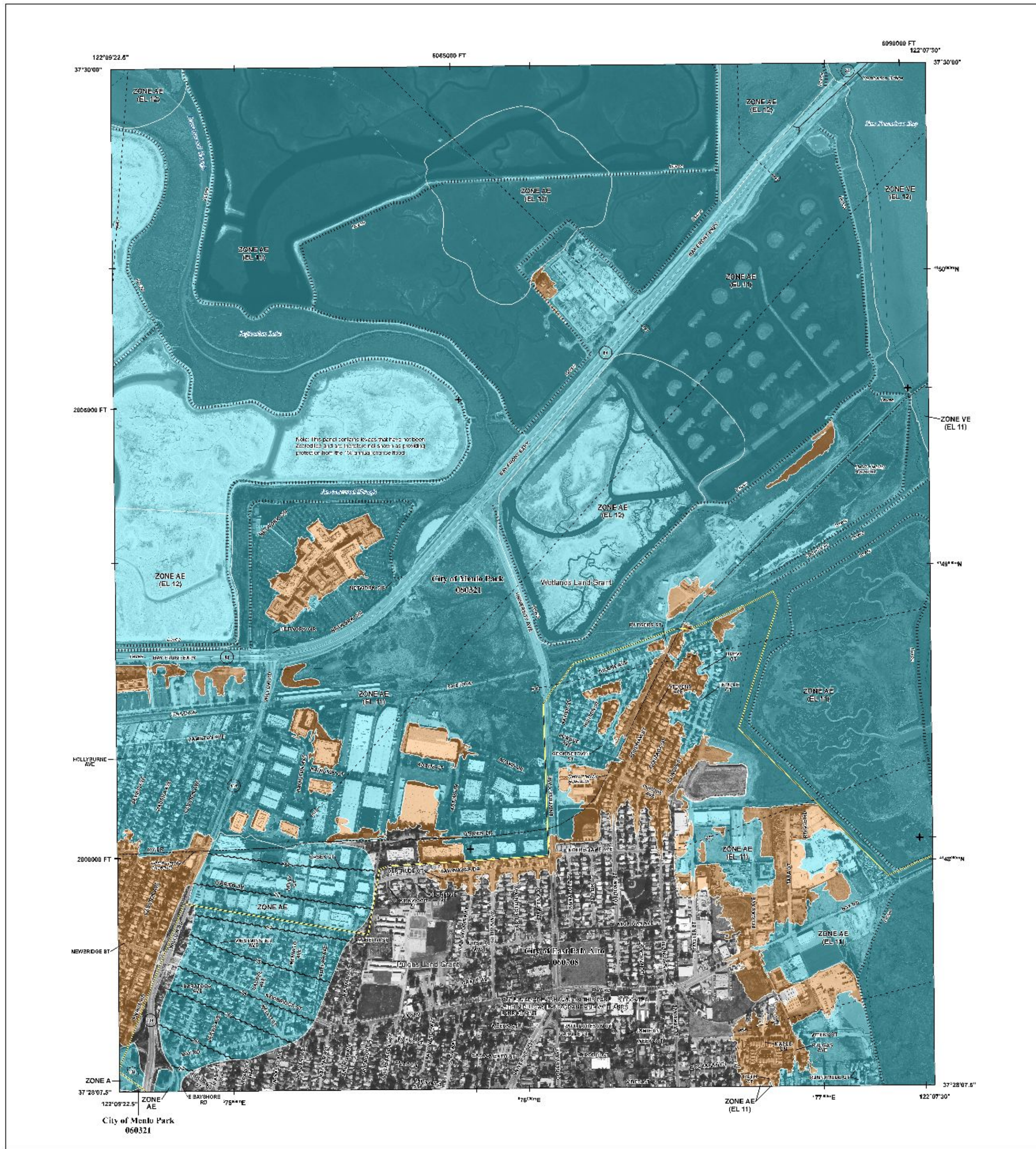
No.	Description	Date
1	ZONING CLEARANCE SUBMISSION	10/15/23
2	ZONING CLEARANCE RESUBMISSION	11/6/23
3	BUILDING REVIEW RESUBMISSION	1/6/24
4	BUILDING REVIEW RESUBMISSION	1/19/24

**1174 LAUREL AVE - DETACHED ADU**  
 1174 LAUREL AVE, EAST PALO ALTO, CA, 94303  
**COVER SHEET**

**A0.0**



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597



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By: *Brandon Wofford* DATE: **01/24/2024**

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**1174 LAUREL AVE -  
DETACHED ADU**  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

**FLOOD MAP**

**FLOOD HAZARD INFORMATION**

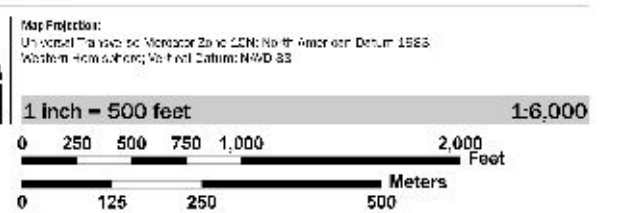
SEE REPORT FOR DETAILED LEGEND AND INDEX MAP FOR PANEL LOCATOR. THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTPS://NISC.FEMA.GOV](https://nisc.fema.gov)

- SPECIAL FLOOD HAZARD AREAS**
  - Without Base Flood Elevation (BFE) Zone AE (EL 11)
  - With BFE or Depth Zone AE, AE (EL 12), AE, AR Regulatory Floodway
  - 0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
  - Future Conditions 1% Annual Chance Flood Hazard Zone X
  - Area with Reduced Flood Risk due to Levee Sea Walls Zone X
- OTHER AREAS OF FLOOD HAZARD**
  - Area of Minimal Flood Hazard Zone X
  - Area of Undetermined Flood Hazard Zone X
- OTHER AREAS**
  - Channel, Culvert or Storm Sewer
  - Accreted or Provisionally Accredited Levee, Dike or Floodwall
  - Non-accreted Levee, Dike or Floodwall
  - Cross Sections with 1% Annual Chance 17.5 Water Surface Elevation (WSE)
  - Cross Section with 1% Annual Chance 19.2
  - Cross Section with 1% Annual Chance 17.5
  - Coastal Transsect
  - Coastal Transsect Baseline
  - Profile Baseline
  - Hydrographic Feature
  - Base Flood Elevation Line (BFE)
- OTHER FEATURES**
  - Limit of Study
  - Jurisdiction Boundary

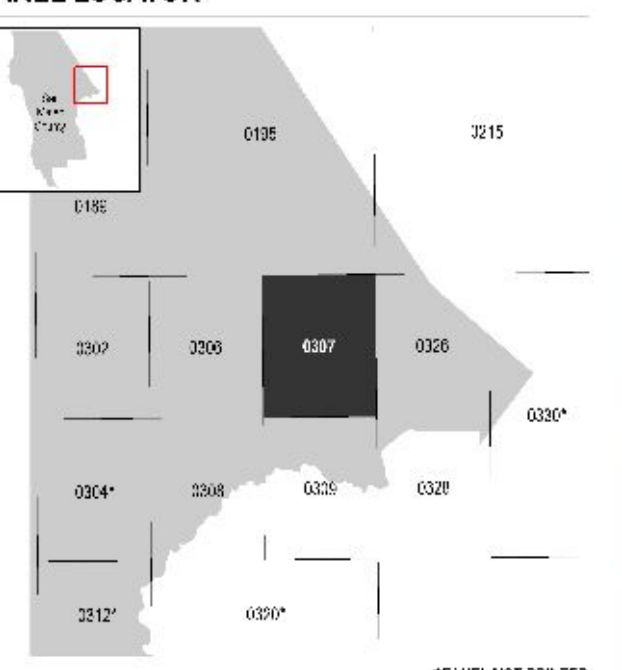
**NOTES TO USERS**

For information on the contents of this map, see the legend on the back cover of the report. This report is intended for use by the public and is not intended to be used as a basis for any legal action. The information on this map is derived from the National Flood Insurance Program (NFIP) data and is not intended to be used as a basis for any legal action. The information on this map is derived from the National Flood Insurance Program (NFIP) data and is not intended to be used as a basis for any legal action. The information on this map is derived from the National Flood Insurance Program (NFIP) data and is not intended to be used as a basis for any legal action.

**SCALE**



**PANEL LOCATOR**



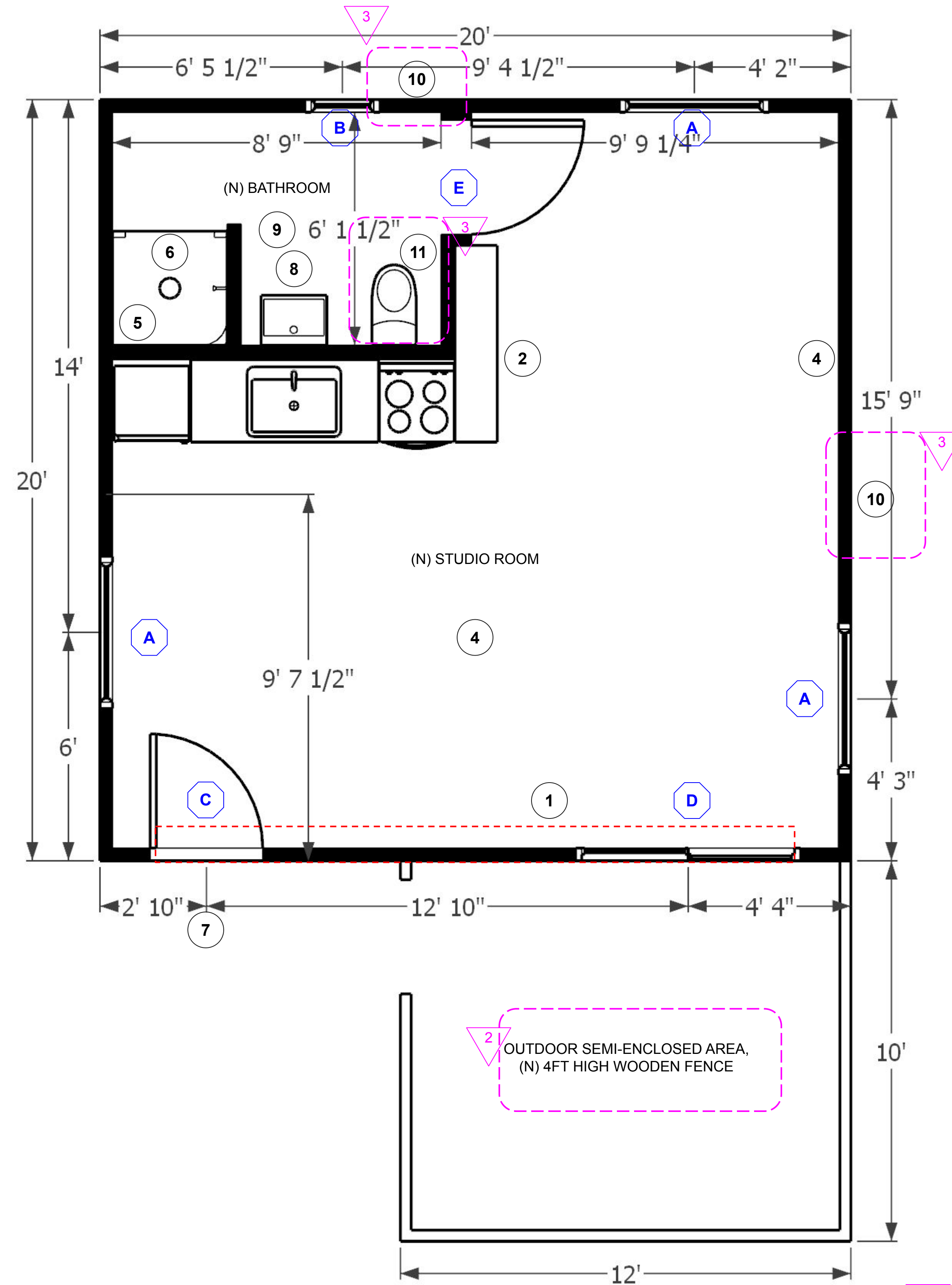
**FLOOD MAP**



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

**KEYNOTES**

1. DEMOLISH EXISTING GARAGE DOOR. INSTALL NEW INFILL WALL WITH DOORS AND WINDOWS.
2. PREFABRICATED KITCHEN AND BATHROOM COMPONENTS TO BE ASSEMBLED ONSITE.
3. INSTALL ADDITIONAL 2X4 STUDS IN PERIMETER WALLS TO ACHIEVE 12" O.C.
4. DEMO (E) CONCRETE SLAB. INSTALL (N) 10-MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS, PER CRC R506.2.3. POUR (N) 4" REINFORCED SLAB. INSTALL (N) UNDERLAYMENT AND VINYL FLOORING.
5. CONNECT (N) INTERIOR WALL TO GARAGE SIDE WALL USING HARDENED STEEL STRUCTURAL NO.9 2-1/2" SCREWS OR EQUIVALENT AT 24" O.C.
6. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN A 22" MINIMUM UNOBSTRUCTED OPENING FOR EGRESS PER CPC 408.5. SHOWER STALL TO BE 1024 SQUARE INCHES MINIMUM AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE, CPC 408.6. SHOWER SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (CPC 408.3). MAX WATER TEMPERATURE DISCHARGING FROM INDIVIDUAL SHOWERHEAD SHALL BE LIMITED TO 120 DEGREES F USING FIELD-ADJUSTED SHOWER VALVE (CPC 408.3.2).
7. MINIMUM 36" DEEP CLEAR LANDING, MAX 7-3/4" TO TOP OF THE THRESHOLD FOR INSWING DOOR AND MAX 1-1/2" TO TOP OF THE THRESHOLD FOR OUT-SWINGING DOORS PER CRC R311.3.1. SLOPE OF EXTERIOR LANDING SHALL NOT EXCEED 2% SLOPE PER CRC 311.1.
8. SINK FAUCETS < 1.2 GPM, > 0.8 GPM. SHOWERHEAD < 1.8 GPM. TOILET < 1.28 GPF.
9. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. CRC R2702.3.7. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6FT ABOVE THE FLOOR. CRC R307.2.
10. TWO EXTERIOR WALLS AND ROOF EAVES WITHIN 5FT OF PROPERTY LINE TO BE ONE-HOUR FIRE RATED WALLS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 WITH EXPOSURE FROM BOTH SIDES. UL DESIGN U305.
11. WATER CLOSET TO HAVE A SIDE CLEARANCE OF 15" ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER OBSTRUCTIONS (CPC 402.5).



2 OUTDOOR SEMI-ENCLOSED AREA,  
(N) 4FT HIGH WOODEN FENCE

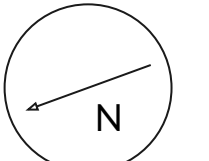
ROOM	AREA
BATHROOM	56.6 SF
LIVING SPACE	312 SF
NET SF	368.6 SF

**NATURAL VENTILATION REQUIREMENTS:**  
LIVING SPACE  
4% X 312 SF = 12.5 SF VENTILATION REQ.  
**48 SF PROVIDED**

**NATURAL LIGHT REQUIREMENTS:**  
LIVING SPACE  
8% X 312 SF = 25 SF NATURAL LIGHT REQ.  
**95 SF PROVIDED**

**WINDOW & DOOR SCHEDULE**

MARK	COUNT	HEIGHT	WIDTH	AREA	VENT.	LIGHT	DETAILS
A	3	4'-0"	4'-0"	48 SF	24 SF	45 SF	NEW WINDOW, SAFETY GLAZING CRC R308.4
B	1	4'-0"	2'-0"	8 SF	4 SF	7 SF	NEW BATHROOM WINDOW
C	1	6'-8"	3'-0"	20 SF	0 SF	0 SF	NEW FRONT DOOR, SAFETY GLAZING CRC R308.4
D	1	6'-8"	6'-0"	40 SF	20 SF	10 SF	NEW PATIO SLIDING DOOR, SAFETY GLAZING CRC R308.4
E	1	6'-6"	2'-10"	18 SF	0 SF	0 SF	NEW BATHROOM DOOR



**FLOOR PLAN**

1 1/4" = 1' - 0"

**NOTES**

2

**PLAN REVIEW ACCEPTANCE**

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION.

By: *Brandon Wofford* DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

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**1174 LAUREL AVE - DETACHED ADU**

1174 LAUREL AVE, EAST PALO ALTO, CA, 94303

**FLOOR PLAN**

A1

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

MAX HEIGHT: 13'-3" ABOVE GRADE

ROOF:  
- (N) SHINGLE ROOFING, CLASS C MIN RATING (CRC R902)  
- (N) GRACE ROOF UNDERLAYMENT  
- (N) 3/4" ROOF SHEATHING DECK

ATTIC:  
- (N) SCISSOR TRUSSES  
- (N) R-30 BATT INSULATION, 1-INCH MIN SPACE BETWEEN BOTTOM OF ROOF SHEATHING AND INSULATION (CRC R806.3)

CEILING:  
- (N) 5/8" GYPSUM BOARD

EXTERIOR WALL:  
- (E) EXTERIOR WOOD SIDING TO REMAIN  
- (E) TYVEK HOUSE WRAP TO REMAIN  
- (E) 2X4 WALL FRAMING WITH ADDITIONAL (N) 2X4 STUDS  
- (N) R-15 BATT INSULATION  
- (N) 5/8" GYPSUM BOARD INTERIOR UL TYPE X

ROOF SLOPE: 6/12

BFE, DFE, FFE: 17FT

ATTIC VENTILATION:  
- 400 SF OF ATTIC AREA  
-  $400 / 150 = 2.7$  SF (384 SQ.IN.) NET VENTILATION AREA REQUIRED (CRC R806.2)  
- PROVIDE WALL VENT BENEATH RIDGE ON WEST AND EAST ELEVATION (AS SHOWN), EACH 1.75 SF, TOTALING 3.5 SF

ATTIC SPACE ABOVE BATHROOM (7 FT CEILING HEIGHT) ACCESSIBLE THROUGH 36" X 30" ACCESS DOOR. ACCESS MUST BE AT LEAST AS LARGE AS LARGEST COMPONENT OF APPLIANCE (20" X 20") OR 22" X 30" (CMC 304.4).

ROOF EAVE WITHIN 5FT OF PROPERTY LINE, 1 HOUR FIRE RATED:  
- (N) 5/8" GYPSUM BOARD INTERIOR UL TYPE X  
- (N) SOFFIT BOARD

EXTERIOR WALL WITHIN 5FT OF PROPERTY LINE, 1 HOUR FIRE RATED BOTH SIDES, UL U305:  
- (E) 2X4 WALL FRAMING WITH ADDITIONAL (N) 2X4 STUDS  
- (N) R-15 BATT INSULATION  
- (N) 5/8" GYPSUM BOARD INTERIOR UL TYPE X  
- (N) 5/8" GYPSUM BOARD EXTERIOR UL TYPE X  
- (N) TYVEK HOUSE WRAP  
- (N) T-1-11 PLYWOOD EXTERIOR SIDING

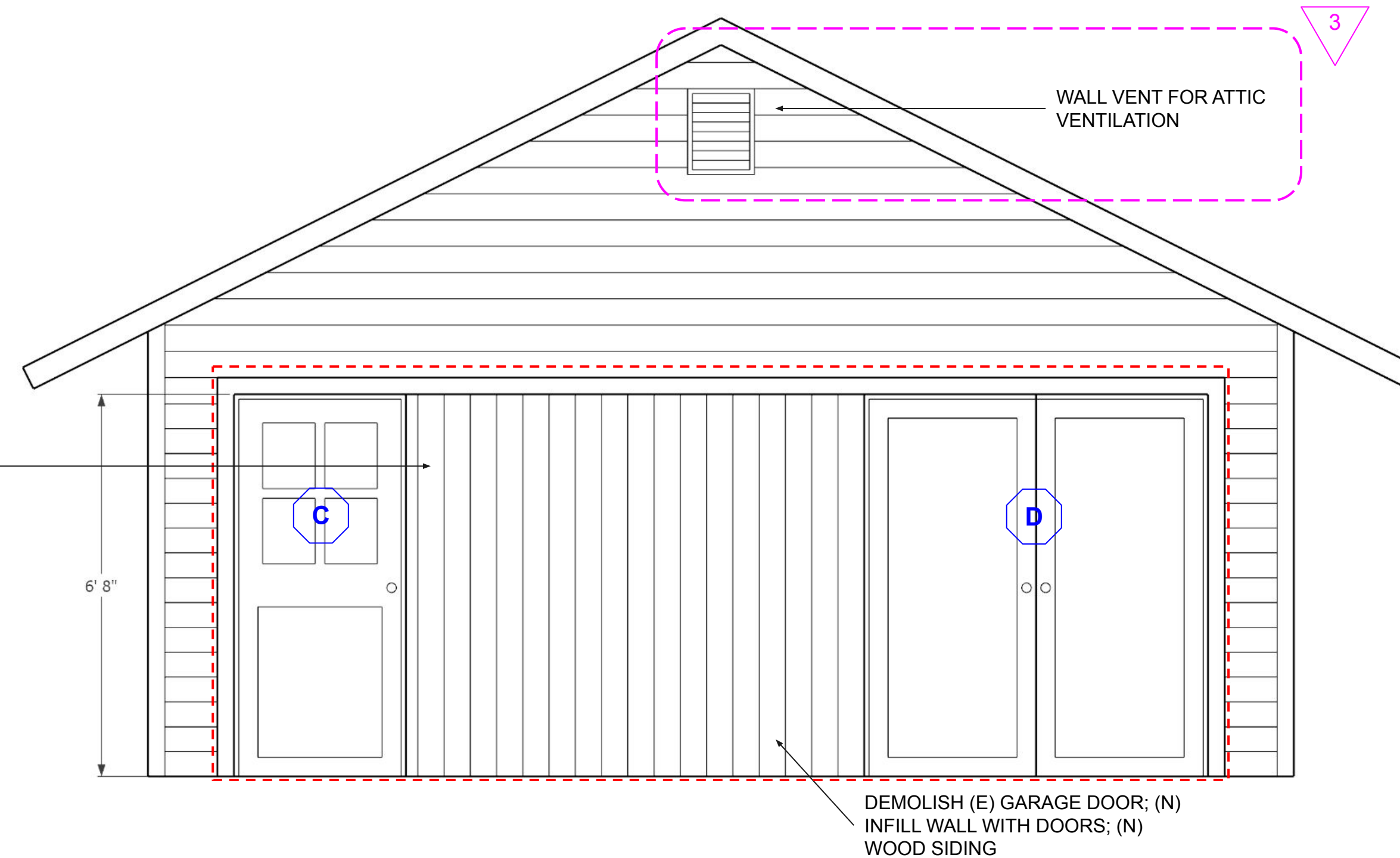
FLOOR:  
- (N) 10-MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS, PER CRC R506.2.3.  
- (N) CONCRETE SLAB  
- (N) UNDERLAYMENT + VINYL FLOORING

WEST SECTION

1 1/4" = 1' - 0"

PREMISE ADDRESS IDENTIFICATION SHALL BE PROVIDED WITH NUMERALS NOT LESS THAN FOUR INCHES IN HEIGHT WITH A MINIMUM STROKE OF 0.5 INCHES ON THE SIDE OF THE BUILDING THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL BE IN ARABIC NUMERALS OR ALPHABET LETTERS (CFC 505.1)

ADDRESS NUMBERS SHALL BE ILLUMINATED TO BE VISIBLE FROM THE STREET DURING DARKNESS (CBC 501.2.1)



DEMOLISH (E) GARAGE DOOR; (N) INFILL WALL WITH DOORS; (N) WOOD SIDING

WEST ELEVATION

2 1/4" = 1' - 0"

PLAN REVIEW ACCEPTANCE

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By: *Brandon Wofford* DATE: 01/24/2024

WEST COAST CODE CONSULTANTS, INC. (WCC)

No.	Description	Date
1	ZONING CLEARANCE SUBMISSION	10/15/23
2	ZONING CLEARANCE RESUBMISSION	11/6/23
3	BUILDING REVIEW RESUBMISSION	1/6/24
4	BUILDING REVIEW RESUBMISSION	1/19/24

1174 LAUREL AVE -  
DETACHED ADU  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

ELEVATION AND SECTION

A2.0

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

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BY: *Brandon Wofford* DATE: 01/24/2024

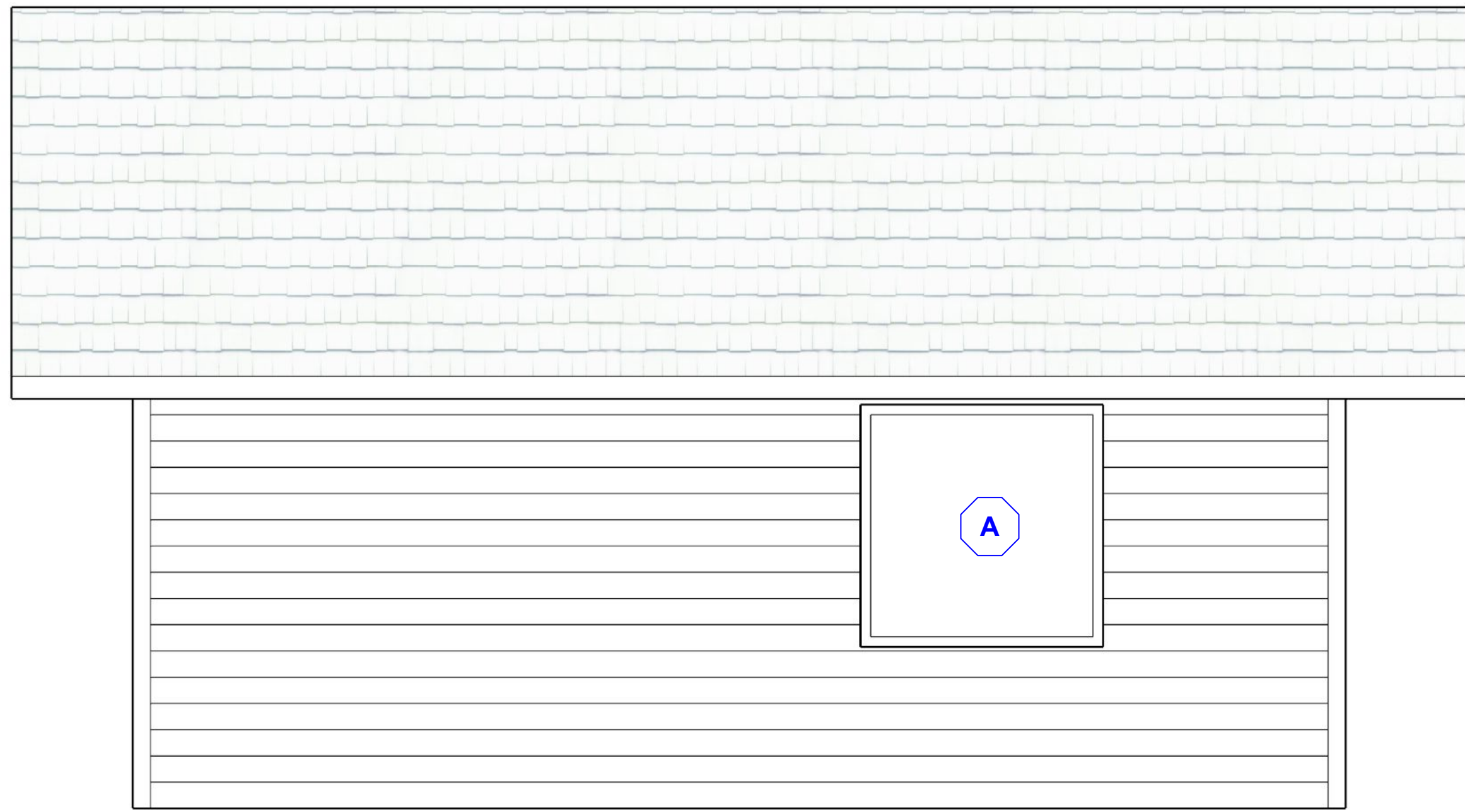
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1174 LAUREL AVE -  
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**ELEVATIONS**

**A2.1**

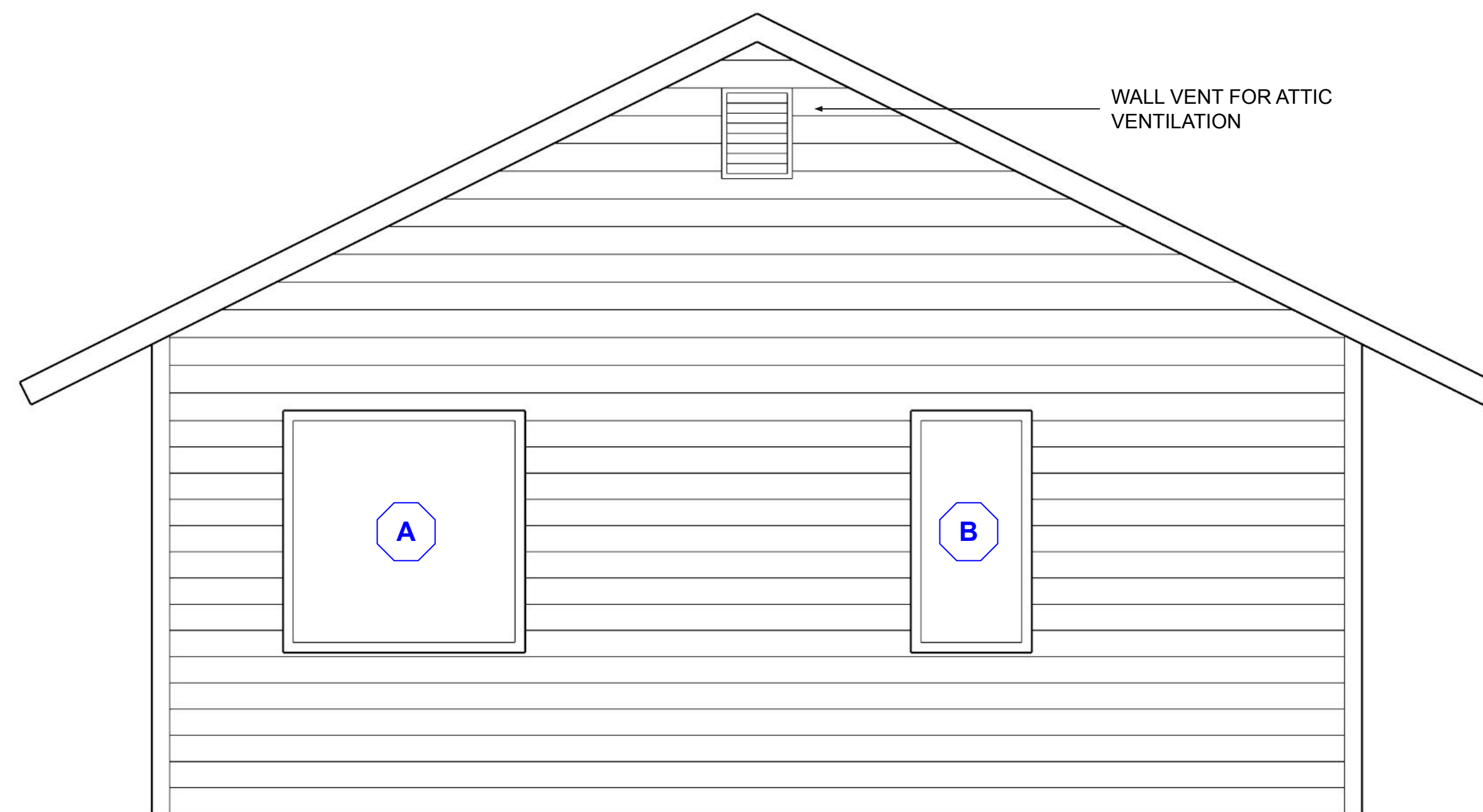


**1** NORTH ELEVATION

1/4" = 1' - 0"

**3** SOUTH ELEVATION

1/4" = 1' - 0"

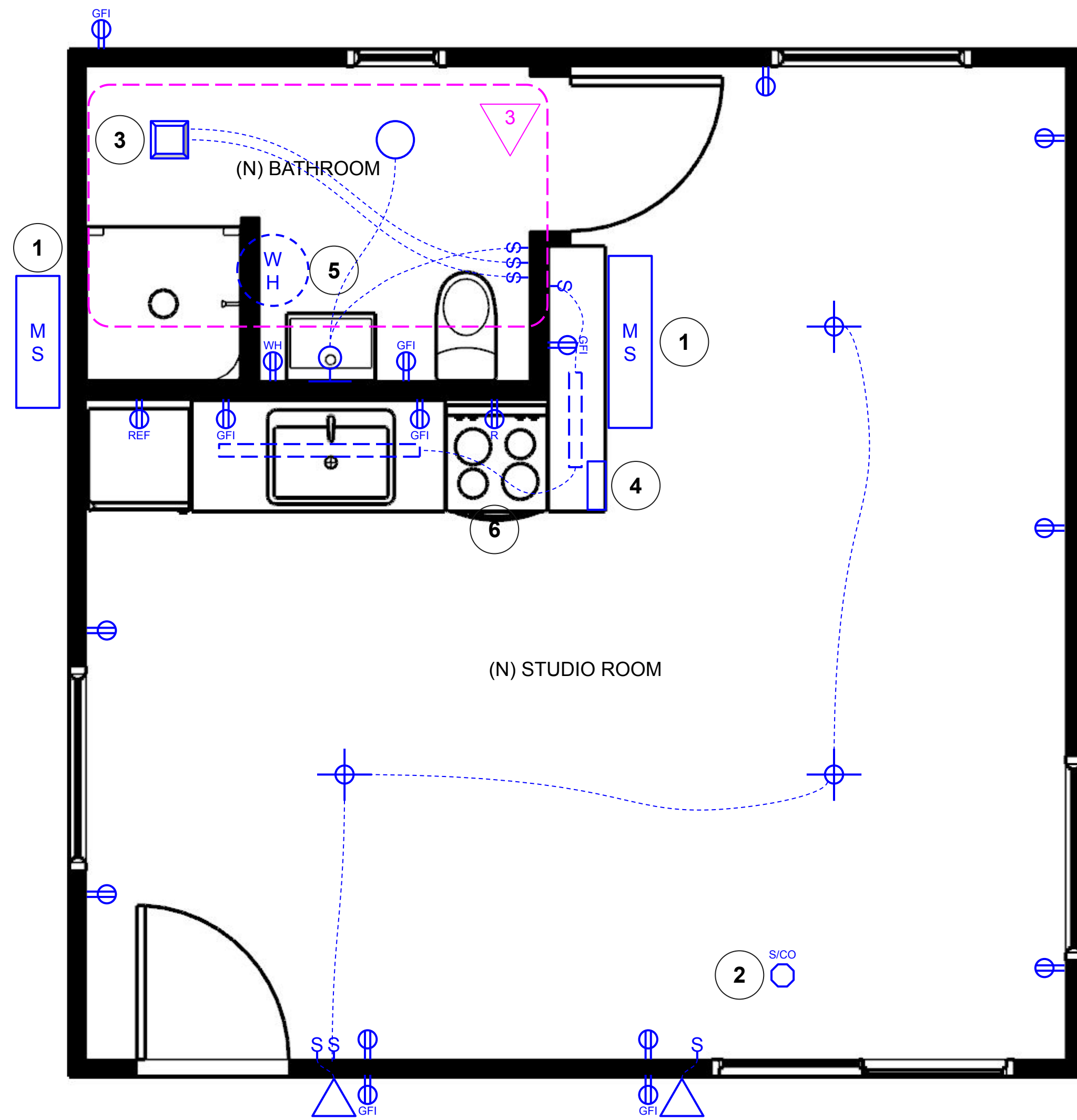


**2** EAST ELEVATION

1/4" = 1' - 0"

**KEYNOTES**

- NEW PIONEER 9000-BTU 115V 20 SEER DUCTLESS MINISPLIT HEAT PUMP (MODEL #WYT009ALF19RL). MOUNT AIR HANDLER ON INTERIOR WALL AT 6'-4" ABOVE FLOOR. MOUNT CONDENSER UNIT ON EXTERIOR WALL AT 7'-0" ABOVE GRADE WITH FUSE DISCONNECT BOX. SEE SHEET T3 FOR CF1R-ALT-02 FORM. PROVIDE A GFCI PROTECTED, WEATHERPROOF RECEPTACLE OUTLET WITHIN 25 FT OF THE UNIT (CEC 210.8(A)(3), 210.63(A)).
- COMBINED SMOKE AND CARBON MONOXIDE ALARM AC PRIMARY POWER TO BE SUPPLIED FROM UNSWITCHED PORTION OF BRANCH CIRCUIT 1, ALSO USED FOR POWER AND LIGHTING (CFC 907.2.10 AND NFPA 72-29.6.3). INSTALL IONIZATION SMOKE ALARM WITH AN ALARM-SILENCING SWITCH OR PHOTOELECTRIC SMOKE ALARM, 10 FT OR GREATER FROM PERMANENTLY INSTALLED COOKING APPLIANCES (CFC 907.2.10.3).
- BATHROOM LIGHT CONTROLLED BY A VACANCY SENSOR PER CEC TABLE 150(K)(2)(J). BATH FAN/LIGHT/NIGHTLIGHT COMBO. TO BE SEPARATELY SWITCHED (CEC 150.0(K)(2)(B)). SHOWER LIGHT LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC 410.10(A)). THE EXHAUST RATE OF THE BATHROOM FAN SHALL NOT BE LESS THAN 50 CFM FOR INTERMITTENT OPERATION AND 20 CFM FOR CONTINUOUS OPERATION (CMC 405.3.1).
- ADD NEW 125 AMP SUBPANEL TO SERVE ADU, IN WALL CABINET FACING LIVING AREA. PROVIDE 36" CLEARANCE IN FRONT OF PANEL, 30" WIDE, 6'-6" HIGH FOR HEADROOM (CEC 110.26).
- INSTALL RHEEM 20 GAL ELECTRIC WATER HEATER (MODEL #XE20P06PU20U0), COMPLIANT WITH PROVISIONS OF CPC 508.4. MOUNT IN ATTIC ABOVE BATHROOM CEILING, WITH CLEARANCES PER MANUFACTURER'S SPEC. PROVIDE PASSAGEWAY FROM ACCESS TO APPLIANCE WITH SOLID FLOORING NOT LESS THAN 24" WIDE (CMC 304.4.2). A 30" X 30" PLATFORM SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE (304.4.3). A LIGHT FIXTURE AND CONVENIENCE OUTLET SHALL BE PROVIDED NEAR THE APPLIANCE. SWITCH CONTROLLING THE LIGHT FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY (CMC 304.4.4).
- MICROWAVE WITH RANGE HOOD INSTALLED ABOVE RANGE. THE RANGE HOOD FAN SHALL RUN INTERMITTENTLY (CMC 405.4). FOR INTERMITTENT-CONTROLLED OPERATIONS, THE EXHAUST RATE SHALL BE A MIN OF 100 CFM (CMC 405.4.1). EXHAUST DUCTS FOR RANGE HOOD AND BATHROOM FAN TO TERMINATE 3 FT FROM PROPERTY LINES, 3 FT FROM OPENINGS INTO THE BUILDING, AND 10 FT FROM FORCED AIR INLETS (CMC 502.2).



**ELECTRICAL LEGEND**

- |        |                                    |  |
|--------|------------------------------------|--|
|        | SWITCHES                           |  |
| TAG:   | SWITCH TYPE                        |  |
| (NONE) | SWITCH                             |  |
| 3      | 3 WAY                              |  |
|        | RECEPTACLES - NON SWITCHED         |  |
| TAG:   | SWITCH TYPE                        |  |
| (NONE) | STANDARD DUPLEX                    |  |
| GFI    | GFI                                |  |
| R      | RANGE                              |  |
| REF    | REFRIGERATOR                       |  |
| W/D    | WASHER/DRYER                       |  |
| WH     | DEDICATED WATER HEATER CIRCUIT     |  |
|        | SMOKE AND CARBON MONOXIDE DETECTOR |  |

**NOTES**

- REVIEW OUTLET, FIXTURE, & SWITCH LOCATIONS WITH OWNER PRIOR TO WIRING
- CENTER LIGHTS ON CEILING U.O.N.

**LIGHTING LEGEND**

- |  |                               |
|--|-------------------------------|
|  | LINEAR UNDERCABINET FIXTURE   |
|  | RECESSED CAN LIGHT            |
|  | PENDANT FIXTURE               |
|  | WALL MOUNT FIXTURE            |
|  | BATHROOM EXHAUST FAN          |
|  | EXTERIOR EMERGENCY WALL LIGHT |

**NOTES**

- LIGHT FIXTURES TO BE CENTERED ON CEILINGS UNLESS NOTED OTHERWISE
- REVIEW LIGHT LOCATIONS WITH OWNER DURING ROUGH-IN
- PROVIDE "HIGH EFFICACY" LED LIGHTING WHERE LED LIGHTING IS NOTED

**LIGHTING**

- ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES TABLE 150.0-A, AND SHALL COMPLY WITH CEC 150.0(K)
- ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED "JA8-2022" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESSEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
- ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED "JA8-2022-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESSEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- DIMMERS: EXCEPT AS NOTED FOR KITCHENS, BATHROOMS, LAUNDRY, UTILITY ROOMS, GARAGE, & EXTERIOR LIGHTING, ALL LIGHTING TO BE CONTROLLED BY DIMMERS. DIMMERS CAN BE ELIMINATED IF FLUORESCENT OR APPROVED HIGH EFFICACY DEVICE IS USED. ALL LUMINAIRES REQUIRING "JA8-2022" OR "JA8-2022-E" MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. EXCEPTION: CLOSESTS LESS THAN 70 SF & HALLWAYS
- PROVIDE A SWITCHED LIGHT OUTLET OR SWITCHED RECEPTACLE IN EVERY HABITABLE ROOM
- ALL RECESSED LIGHT FIXTURES TO EMPLOY GASKET OR CAULKING TO SEPARATE CONDITIONED FROM NON-CONDITIONED SPACE
- SWITCHED RECEPTACLES ARE NOT PERMITTED IN KITCHEN OR BATHROOM

**EXTERIOR LIGHTS**

- PROVIDE EXTERIOR LIGHT FIXTURE AT ALL EXTERIOR DOORS. CEC 210.70(A)
- OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING SO AS TO NOT OPERATE DURING DAYLIGHT HOURS:
  - PHOTOCONTROL AND MOTION SENSOR
  - PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL
  - ASTRONOMICAL TIME CLOCK
  - ENERGY MANAGEMENT CONTROL SYSTEM PER CBEES 150.0(K)3AIIIC
- EXTERIOR LIGHTS ATTACHED TO STRUCTURE SHALL TURN OFF AUTOMATICALLY WITHIN 30 MINUTES IF NOT REACTIVATED BY MOTION DETECTOR
- (2) AND (3) ABOVE NOT REQUIRED IF FLUORESCENT OR OTHER APPROVED HIGH EFFICACY FIXTURE USED

**CLOSET LIGHTING**

- PROVIDE MIN. 12" CLEARANCE BETWEEN FULLY ENCLOSED LED FIXTURE & NEAREST POINT OF STORAGE
- PROVIDE MIN. 6" CLEARANCE BETWEEN FLUORESCENT FIXTURE & NEAREST POINT OF STORAGE

**GENERAL ELECTRICAL NOTES**

- THESE NOTES CONVEY MIN. CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED ELSEWHERE WITHIN THESE DOCUMENTS OR WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- UNLESS OTHERWISE NOTED, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

**OVERCURRENT PROTECTION**

- OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE
- OVERCURRENT DEVICES SHALL NOT BE LOCATED WHERE THEY WILL BE EXPOSED TO PHYSICAL DAMAGE
- OVERCURRENT DEVICES SHALL NOT BE IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS IN A CLOTHES CLOSET
- OVERCURRENT DEVICES IN DWELLING UNITS SHALL NOT BE LOCATED IN BATHROOM
- BRANCH CIRCUITS THAT SUPPLY BEDROOM RECEPTACLES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER
- ALL PANEL CIRCUITS TO BE LABELED

**KITCHEN**

- PROVIDE MIN. (2) 20A, SMALL APPLIANCE BRANCH CIRCUITS. MAY INCLUDE APPLIANCE OUTLETS IN PANTRY, DINING ROOM, & OTHER SIMILAR AREAS. CEC 210.52(C)(3)
- REFRIGERATOR MAY BE ON ITS OWN 15A OR GREATER CIRCUIT
- NO POINT ALONG COUNTERTOP SHALL BE MORE THAN 24" FROM OUTLET. OUTLETS MUST BE NO MORE THAN 18" ABOVE COUNTERTOP. SPACES SEPARATED BY SINKS, RANGE TOPS, OR REFRIGERATORS SHALL BE CONSIDERED SEPARATE SPACE. OUTLETS NOT REQ. IN WALL SPACES LESS THAN 12".
- GFI PROTECTION REQUIRED FOR COUNTERTOP OUTLETS
- AT LEAST 50% OF LIGHTING WATTAGE TO BE FLUORESCENT OR OTHER APPROVED HIGH EFFICACY DEVICE
- DO NOT SCALE APPLIANCE LOCATIONS FROM DRAWING. CONFIRM ALL LOCATIONS WITH CLIENT AT TIME OF ROUGH-IN

**BATHROOMS**

- PROVIDE MIN. 20A BRANCH CIRCUIT TO RECEPTACLES WITH NO OTHER OUTLETS. IF 20A BRANCH SUPPLIES SINGLE BATHROOM, LIGHTING IN SAME BATHROOM ALLOWED. ADDITIONAL EQUIPMENT ALLOWED UNDER SPECIAL CIRCUMSTANCES
- AT LEAST ONE GFI OUTLET WITHIN 36" OF OUTSIDE EDGE OF SINK
- ALL LIGHTING TO BE FLUORESCENT OR ACTIVATED BY TITLE 24 APPROVED SWITCH, WILL AUTOMATICALLY TURN OFF WITHIN 30 MINUTES IF NO ACTIVITY FROM MOTION DETECTOR

**LAUNDRY**

- MIN. 20A BRANCH CIRCUIT TO RECEPTACLES WITH NO OTHER OUTLETS

**FIRE RATED WALLS**

- 24" MIN. SPACING BETWEEN STEEL RECEPTACLE BOXES THAT ARE "BACK-TO-BACK". OPENINGS SHALL NOT EXCEED 100 SQ. IN. FOR ANY 100 SF OF WALL AREA

**SMOKE DETECTORS**

- SMOKE DETECTORS MUST BE WITHIN 24" OF HIGHEST POINT IN ROOM. DETECTORS REQ. IN EACH BEDROOM, HALL OR AREA IMMEDIATELY OUTSIDE BEDROOMS(S), TOP OF STAIRS, AND A MINIMUM OF 1 DETECTOR AT EACH FLOOR. DETECTORS TO BE WIRED TOGETHER WITH BATTERY BACKUP

**INTERIOR RECEPTACLES**

- NO POINT ALONG THE FLOOR LINE IN WALL SPACE SHALL BE MORE THAN 6 FT FROM OUTLET WHEN MEASURED HORIZONTALLY. OUTLET NOT REQ. FOR WALL SPACE LESS THAN 24"
- UNLESS OTHERWISE NOTED, BOTTOM OF RECEPTACLE BOXES TO BE 14" ABOVE THE SUBFLOOR OR SLAB
- BRANCH CIRCUITS THAT SUPPLY BEDROOM RECEPTACLES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER
- ALL 125V & 20A RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT PER CEC 406.12
- PROVIDE 30A CIRCUIT FOR ELECTRIC CLOTHES DRYER. CEC 220.54

**EXTERIOR RECEPTACLES**

- WEATHERPROOF, GFI, TAMPER RESISTANT RECEPTACLES REQ. AT ENTRANCE AND YARDS. NO MORE THAN 6'-1/2" ABOVE GRADE (CEC 210.8, 406.9(B), 406.12, 210.52(E)).

**SWITCHES**

- UNLESS OTHERWISE NOTED, BOTTOM OF SWITCH BOXES TO BE 40" ABOVE SUBFLOOR OR SLAB
- DOOR BELL SWITCH TO BE NO MORE THAN 48" ABOVE LANDING

**GROUNDING**

- UFER AT SERVICE DISCONNECT - CONNECT #4 CU GROUND ELECTRODE CONDUCTOR TO #4 FOOTING REBAR WITH A MINIMUM LENGTH OF 20 FT OR EMBED 20 LF OF #4 CU CONDUCTOR IN FOOTING. UFER TO HAVE A MIN. OF 2" CONCRETE ENCASEMENT
- BOND ALL METAL PIPING (COLD WATER, HOT WATER)

**CONDUCTORS**

- ALL CONDUCTORS TO BE COPPER WITH TYPE THHN/THWN INSULATION MINIMUM

**NOTES**

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

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BY: *Brandon Wolford* DATE: 01/24/2024

WEST COAST CODE CONSULTANTS, INC. (WCC)

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**1174 LAUREL AVE -  
DETACHED ADU**

1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

**LIGHTING AND  
ELECTRICAL PLAN**

**A3**

**FLOOR PLAN**

**1**

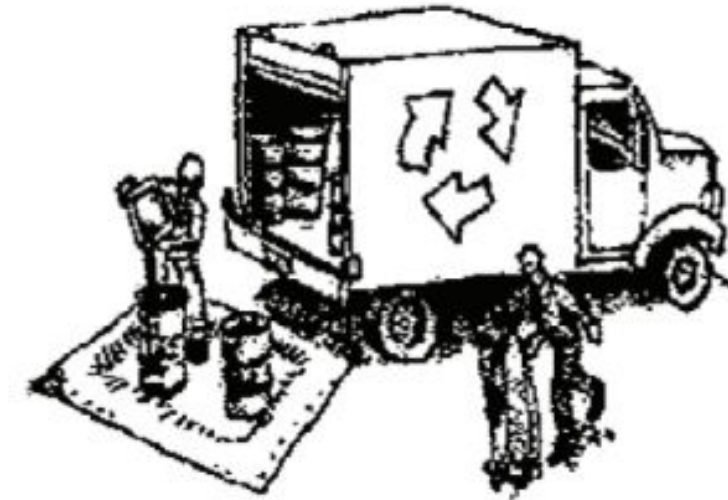
1/4" = 1' - 0"

**2**

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



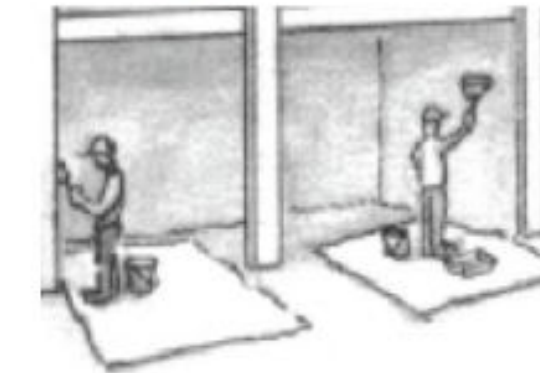
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

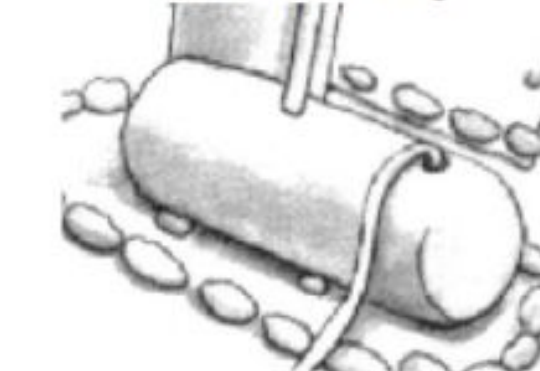
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Designer Signature, 1/24/24:




PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

### PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION.

By: *Brandon Wofford* DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

No.	Description	Date
1	ZONING CLEARANCE SUBMISSION	10/15/23
2	ZONING CLEARANCE RESUBMISSION	11/6/23
3	BUILDING REVIEW RESUBMISSION	1/6/24
4	BUILDING REVIEW RESUBMISSION	1/19/24

1174 LAUREL AVE -  
DETACHED ADU  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

CONSTRUCTION  
BEST  
MANAGEMENT  
PRACTICES

A4

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Designer Signature, 1/24/24:



PREPARED BY: CITY SYSTEMS 157 MIRAMONTE RD WALNUT CREEK, CA 94597

PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION...

BY: Brandon Wolford DATE: 01/24/2024

WEST COAST CODE CONSULTANTS, INC. (WCC)

Table with 3 columns: No., Description, Date. Includes entries for ZONING CLEARANCE SUBMISSION, ZONING CLEARANCE RESUBMISSION, BUILDING REVIEW RESUBMISSION, and BUILDING REVIEW RESUBMISSION.

1174 LAUREL AVE - DETACHED ADU 1174 LAUREL AVE, EAST PALO ALTO, CA, 94303 GREEN BUILDING REQUIREMENTS

G1

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists...

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2...

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section...

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent...

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS...



**CERTIFICATE OF COMPLIANCE**

This compliance document is only applicable to simple alterations that do not require HERS verification for compliance. When HERS verification is required, a CF1R-ALT-01 shall first be registered with a HERS Provider Data Registry.

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ALT-05 and CF2R-ALT-05 Compliance Documents. Possible exemptions from duct leakage testing include: less than 25 feet (ft) of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 must be completed and registered with a HERS Provider Data Registry.

Alterations that utilize closed cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value greater than 5.8 per inch, or open cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ALT-01 with a HERS Provider Data Registry.

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

**Project Details**

Field Name	Data Entry	Field Name	Data Entry
Project Name	LAUREL ADUO GARAGE CONVERSION	Enforcement Agency	CITY OF EAST PALO ALTO
Dwelling Address	1174 LAUREL AVE	Permit Number	TBD
City and Zip Code	EAST PALO ALTO, 94303	Date Permit Issued	TBD

**A. GENERAL INFORMATION**

Field	Field Name	Data Entry
01	Project Name	LAUREL ADUO GARAGE CONVERSION
02	Date Prepared	10/4/23
03	Project Location	1174 LAUREL AVE
04	Building Front Orientation (deg or cardinal)	70 DEGREES WEST OF NORTH
05	CA City	EAST PALO ALTO
06	Number of Altered Dwelling Units	1
07	Zip Code	94303
08	Fuel Type	ELECTRIC
09	Climate Zone	3
10	Total Conditioned Floor Area (ft²)	400
11	Building Type	SINGLE FAMILY
12	Slab Area (ft²)	400
13	Project Scope	INSULATION; FENESTRATION/GLAZING ADDL SPACE CONDITIONING SYSTEM; WATER HEATER

**B. Building Insulation Details (Section 150.2(b)1)**

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Tag/ID			
02	Assembly Type	WALL	CEILING	
03	Frame Type	WOOD	WOOD	
04	Frame Depth (inches)	2X4	2X4	
05	Frame Spacing (inches)	12" O.C.	24" O.C.	
06a	Proposed Cavity R-value	15	30	
06b	Proposed Continuous Insulation R-value	N/A	N/A	
07	Proposed U-Factor	0.095	0.031	
08	Proposed Joint Appendix JA4 Reference Table	4.3.1	4.2.1	
09	Proposed Joint Appendix JA4 Reference Cell	A-4	A-20	
10	Required U-Factor from Table 150.1-A	0.125	0.031	
11	Comments	ADDING EXTERIOR WALL INSULATION TO EXISTING WALLS		

**C. Roof Replacement (Section 150.2(b)1H)**

**NOTES:**

- Roof area covered by building integrated photovoltaic (PV) panels and solar thermal panels are exempt from the above Cool Roof requirements.
- Liquid field applied coatings must comply with installation criteria from Section 110.8(i)4.

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Method of Compliance	EXCEPTION		
02	Roof Pitch	6:12		
03	Exception	NOT IN CLIMATE ZONES 2,4,9,10,12,14 NO DUCTS ARE INSTALLED IN ATTIC		
04	CRRC Product ID Number			
05	Product Type			
06	R-value Deck Insulation			
07	Proposed Initial Solar Reflectance			
08	Proposed Aged Solar Reflectance			
09	Proposed Thermal Emittance			
10	Proposed SRI (Optional)			
11	Minimum Required Aged Solar Reflectance			
12	Minimum Required Thermal Emittance			
13	Minimum Required SRI (Optional)			

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

**PLAN REVIEW ACCEPTANCE**

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By: *Brandon Wofford* DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

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4	BUILDING REVIEW RESUBMISSION	1/19/24

1174 LAUREL AVE -  
DETACHED ADU  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

**TITLE 24**

**T1**

D. Fenestration/Glazing Allowed Areas and Efficiencies (Section 150.2(b)1)

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Alteration Type	ADDING NET 68 SF OF GLAZING		
02	Maximum Allowed Fenestration Area For All Orientations (ft <sup>2</sup> )	74		
03	Maximum Allowed West-Facing Fenestration Area Only (ft <sup>2</sup> )	18		
04a	Existing Fenestration Area for All Orientations (ft <sup>2</sup> )	0		
04b	Existing West-Facing Fenestration Area (ft <sup>2</sup> )	0		
05a	Maximum Allowed U-factor (Windows)	0.30		
05b	Maximum Allowed U-factor (Skylights)	N/A		
06a	Maximum Allowed SHGC (Windows)	0.23		
06b	Maximum Allowed SHGC (Skylights)	N/A		
07	Comments			

Table E-2

Field	Field Name	Data Entry
15	Total Proposed Fenestration Area	68
16	Maximum Allowed Fenestration Area	74
17	<b>Compliance Statement:</b> Existing + Proposed Fenestration Area ≤ Maximum Allowed Fenestration Area	<input checked="" type="radio"/> Yes <input type="radio"/> No
18	Total Proposed West-Facing Fenestration Area	12
19	Maximum Allowed West-Facing Fenestration Area	18
20	<b>Compliance Statement:</b> Existing + Proposed West-Facing Fenestration Area ≤ Maximum Allowed West-Facing Fenestration Area	<input checked="" type="radio"/> Yes <input type="radio"/> No
21	Proposed Fenestration U-factor (Windows)	0.3
22	Required Fenestration U-factor (Windows)	0.3
23	<b>Compliance Statement:</b> Proposed Fenestration U-factor ≤ Required Fenestration U-factor	<input checked="" type="radio"/> Yes <input type="radio"/> No
24	Proposed Fenestration SHGC (Windows)	0.23
25	Required Fenestration SHGC (Windows)	0.23
26	<b>Compliance Statement:</b> Proposed Fenestration SHGC ≤ Required Fenestration SHGC	<input checked="" type="radio"/> Yes <input type="radio"/> No
27	Proposed Fenestration U-factor (Skylights)	N/A
28	Required Fenestration U-factor (Skylights)	N/A
29	<b>Compliance Statement:</b> Proposed Fenestration U-factor ≤ Required Fenestration U-factor	<input type="radio"/> Yes <input type="radio"/> No
30	Proposed Fenestration SHGC (Skylights)	N/A
31	Required Fenestration SHGC (Skylights)	N/A
32	<b>Compliance Statement:</b> Proposed Fenestration SHGC ≤ Required Fenestration SHGC	<input type="radio"/> Yes <input type="radio"/> No

E. Fenestration Proposed Areas and Efficiencies – Add (Section 150.2(b)1A)

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

Table E-1

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Tag/ID	A	B	D
02	Fenestration Type	OPERABLE	OPERABLE	OPERABLE
03	Frame Type	NON-METAL	NON-METAL	NON-METAL
04	Dynamic Glazing	N/A	N/A	N/A
05	Orientation N, S, W, E	N, S, E	E	W
06	Number of Panes	2	2	2
07	Proposed Fenestration Area (ft <sup>2</sup> ) (N, S, E)	16 N, 16 S, 16 E	8	0
08	Proposed West Facing Fenestration Area (ft <sup>2</sup> )	0	0	12
09	Proposed U-factor	0.3	0.3	0.3
10	Proposed U-factor Source	NFRC	NFRC	NFRC
11	Proposed SHGC	0.23	0.23	0.23
12	Proposed SHGC Source	NFRC	NFRC	NFRC
13	Exterior Shading Device	N/A	N/A	N/A
14	Combined SHGC from CF1R-ENV-03	N/A	N/A	N/A

F. Fenestration/Glazing Proposed Areas and Efficiencies – Replace (Section 150.2(b)1B)

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

Table F-1

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Tag/ID			
02	Fenestration Type			
03	Frame Type			
04	Dynamic Glazing			
05	Orientation N, S, W, E			
06	Area Removed (ft <sup>2</sup> )			
07	Area Added (ft <sup>2</sup> )			
08	Net Added Area (ft <sup>2</sup> )			
09	Proposed U-factor			
10	Proposed U-factor Source			
11	Proposed SHGC			
12	Proposed SHGC Source			
13	Exterior Shading Device			
14	Combined SHGC from CF1R-ENV-03			

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

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By: *Brandon Wofford* DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

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1174 LAUREL AVE -  
DETACHED ADU  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

TITLE 24

T2

Table F-2

Field	Field Name	Data Entry
15	Net Added West-facing Fenestration Area	12
16	Is Net Added Fenestration Area ≤ for west-facing fenestration?	<input type="radio"/> Yes <input checked="" type="radio"/> No
17	Net Added Fenestration Area (all orientations)	68
18	Is Net Added Fenestration Area ≤ 0 for all orientations?	<input type="radio"/> Yes <input checked="" type="radio"/> No
19	Proposed Fenestration U-factor (Windows)	0.3
20	Required Fenestration U-factor (Windows)	0.3
21	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input checked="" type="radio"/> Yes <input type="radio"/> No
22	Proposed Fenestration SHGC (Windows)	0.23
23	Required Fenestration SHGC (Windows)	0.23
24	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input checked="" type="radio"/> Yes <input type="radio"/> No
25	Proposed Fenestration U-factor (Skylights)	N/A
26	Required Fenestration U-factor (Skylights)	N/A
27	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input type="radio"/> Yes <input type="radio"/> No
28	Proposed Fenestration SHGC (Skylights)	N/A
29	Required Fenestration SHGC (Skylights)	N/A
30	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input type="radio"/> Yes <input type="radio"/> No



H. Water Heating Systems (Section 150.2(b)1H)

List water heaters and boilers for both domestic hot water (DHW) heaters and hydronic space heating.

Options:

- Gas or propane water heating system; or
- A single heat pump water heater. The storage tank shall not be located outdoors and shall be placed on an incompressible, rigid insulated surface with a minimum thermal resistance of R-10. The water heater shall be installed with a communication interface that meets either the requirements of Section 110.12(a) or has an ANSI/CTA-2045-B communication port; or
- A single heat pump water heater that meets the requirements of NEEA Advanced Water Heater Specification Tier 3 or higher; or
- If no natural gas is connected to the existing water heater location, a consumer electric water heater

Table H-1

Field	Field Name	Data Entry
01	Is natural gas connected to the existing water heater?	<input type="radio"/> Yes <input checked="" type="radio"/> No

Table H-2

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
02	Water Heating System ID or Name	ADU WATER HEATER		
03	Water Heating System Type	DHW		
04	System Option (from §150.2(b)1Hiii)	4		
05	Water Heater Type	CONSUMER STORAGE		
06	Volume	20 GAL		
07	Fuel Type	ELECTRICITY		
08	# of Water Heaters in System	1		

G. Space Conditioning (SC) Systems – Heating/Cooling (Prescriptive Section 150.2(b))

Alterations to Space Conditioning Systems shall be exempt from HERS verification requirements as prerequisite for use of the CF1R-ALT-05 and CF2R-ALT-05 compliance documents. If new space conditioning systems are installed or existing systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 shall be completed and registered with a HERS Provider Data Registry. In each row below for each dwelling unit in the building, check the box that indicates the exemption from HERS verification compliance:

- a: space conditioning system was not altered;
- b: less than 25 ft of ducts were added or replaced;
- c: (exempt from duct leakage testing) if: the existing duct system was insulated with asbestos;
- d: (exempt from duct leakage testing) if: the existing duct system was previously tested and passed by a HERS Rater.

01	02	03
SC System Identification or Name	SC System Location or Area Served	Exemption from HERS Verification
MINISPLIT	ADU	<input type="radio"/> a <input checked="" type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
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		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
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		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d
		<input type="radio"/> a <input type="radio"/> b <input type="radio"/> c <input type="radio"/> d



Documentation Author's Declaration Statement

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: DEREK OUYANG	Documentation Author Signature: 
Company: CITY SYSTEMS	Signature Date: 10/4/23
Address: 157 MIRAMONTE RD	CEA/HERS Certification Identification (if applicable): N/A
City/State/Zip: WALNUT CREEK, CA 94597	Phone: (626)246-8299

Responsible Person's Declaration Statement

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections.

I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: DEREK OUYANG	Responsible Designer Signature: 
Company: CITY SYSTEMS	Date Signed: 10/4/23
Address: 157 MIRAMONTE RD	License: N/A
City/State/Zip: WALNUT CREEK, CA 94597	Phone: (626)246-8299

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

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BY: Brandon Wofford DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

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1174 LAUREL AVE -  
DETACHED ADU  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303

TITLE 24

T3



**ALTERATIONS TO SPACE CONDITIONING SYSTEMS  
(FORMERLY CF-1R-ALT-HVAC)**

**CF1R-ALT-02-E**  
(Page 1 of 3)

**CERTIFICATE OF COMPLIANCE**

Project Name:	Laurel Aduo	Enforcement Agency:	City of East Palo Alto
Dwelling Address:	1174 Laurel Avenue	Permit Number:	TBD
City and Zip Code	East Palo Alto, 94303	Permit Application Date:	2023-10-04

<b>A. General Information</b> CF1R-ALT-02 is applicable to multiple space conditioning systems contained within a single dwelling unit.					
01	Project Name	Laurel Aduo	02	Date Prepared	2023-10-04
03	Project Location	1174 Laurel Avenue	04	Building Type	Single family
05	CA City	East Palo Alto	06	Dwelling Unit Name	Laurel Aduo
07	Zip Code	94303	08	Dwelling Unit Conditioned Floor Area (ft <sup>2</sup> )	369
09	Climate Zone	3	10	Number of Space Conditioning (SC) Systems in this Dwelling Unit:	1

<b>B. Space Conditioning (SC) System Information</b>									
01	02	03	04	05	06	07	08	09	10
SC System ID or Name	SC System Location or Area Served	CFA served by this SC System (ft <sup>2</sup> )	Is the SC system a ducted system?	Installing a refrigerant containing component?	Installing new SC system components?	Installing more than 25 feet of ducts?	Installing entirely new duct system?	Installing entirely new SC system?	Alteration Type
Laurel Minisplit	ADU	369	No	Yes	Yes	No	No	Yes	Entirely new or complete replacement space conditioning system

Registration Number: 223-A026596022A-000-000-0000000-0000      Registration Date/Time: 2023-10-04 09:41:53      HERS Provider: CalCERTS  
CA Building Energy Efficiency Standards - 2022 Residential Compliance      Report Version: 2022.0.000      Report Generated: 2023-10-04 09:41:54  
Schema Version: rev 20220101



**ALTERATIONS TO SPACE CONDITIONING SYSTEMS  
(FORMERLY CF-1R-ALT-HVAC)**

**CF1R-ALT-02-E**  
(Page 2 of 3)

<b>C. Extension of Existing Duct System, Greater Than 25 Feet (Section 150.2(b)1Diiib)</b>
This section does not apply to this project.

<b>D. Altered Space Conditioning System (Sections 150.2(b)1E and F)</b>
This section does not apply to this project.

<b>E. Entirely New or Complete Replacement Duct System, with or without Equipment Changeout (Sections 150.2(b)1Diiia and 150.2(b)1E, F)</b>
This section does not apply to this project.

<b>F. Entirely New or Complete Replacement Space Conditioning System (Section 150.2(b)1C)</b>												
01	02	03	04	05	06	07	08	09	010	011	012	013
System ID/ Name	SC System Description of Area Served	Heating System Type	Altered Heating Component	Heating Efficiency Type	Heating Minimum Efficiency Value	Cooling System Type	Altered Cooling Component	Cooling Efficiency Type	Cooling Minimum Efficiency Value SEER/SEER2	Cooling Minimum Efficiency Value EER/EER2/CEER	Required Thermostat Type	New Duct R-Value
Laurel Minisplit	ADU	Ductless mini-split HP	All new heating components	HSPF	8.2	Ductless mini-split AC	All new cooling components	EERSEER	14	11.7	SetbackThermostat	n/a

**Required Documentation:**  
CF2R-MCH-01-E - Space Conditioning Systems  
- Duct insulation requirement for the new portions of supply-air and return-air ducts or plenums: R6 (CZ 3, 5-7) and R8 (CZ 1, 2, 4, 8-16)  
CF2R and CF3R-MCH-20-H Duct Leakage Test required  
- Leakage rate compliance: less than or equal to 5 percent.  
CF2R and CF3R-MCH-22 Fan Efficacy  
CF2R and CF3R-MCH-23 Airflow Rate Verification  
- Compliance: Fan Efficacy less than or equal to 0.58 W/cfm for non-gas furnaces and 0.45 W/cfm for gas furnaces and System Airflow greater than or equal to 350 cfm per ton.  
- Alternative Compliance: CF2R and CF3R-MCH-28 Return Duct Design verification is an alternative to MCH-22 and MCH-23 verification.  
CF2R and CF3R-MCH-25-H Refrigerant Charge verification required when refrigerant containing components are installed or altered (applicable in CZ 2, 8-15).  
**Exceptions:**  
Heating-only systems are exempt from the 0.58 W per cfm and 350 cfm per ton requirements.  
**Note:** An "entirely new or replacement duct system" means at least 75% of the duct system is new duct material, and up to 25% may consist of reused parts from the dwelling unit's existing duct system (e.g., registers, grilles, boots, air handler, coil, plenums, duct material) if the reused parts are accessible and can be sealed to prevent leakage.

Registration Number: 223-A026596022A-000-000-0000000-0000      Registration Date/Time: 2023-10-04 09:41:53      HERS Provider: CalCERTS  
CA Building Energy Efficiency Standards - 2022 Residential Compliance      Report Version: 2022.0.000      Report Generated: 2023-10-04 09:41:54  
Schema Version: rev 20220101



**ALTERATIONS TO SPACE CONDITIONING SYSTEMS  
(FORMERLY CF-1R-ALT-HVAC)**

**CF1R-ALT-02-E**  
(Page 3 of 3)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Derek Ouyang	Documentation Author Signature: <i>Derek Ouyang</i>
Company: City Systems	Signature Date: 2023-10-04 09:41:53
Address: 157 Miramonte Rd	CEA/ HERS Certification Identification (if applicable):
City/State/Zip: Walnut Creek CA 94597	Phone: 928-380-0269

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement.
- I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy, and I will take the necessary steps to accomplish these requirements.

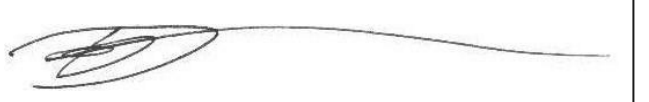
Responsible Designer Name: Derek Ouyang	Responsible Designer Signature: <i>Derek Ouyang</i>
Company: City Systems	Date Signed: 2023-10-04 09:41:53
Address: 157 Miramonte Rd	License: HOMEOWNER
City/State/Zip: Walnut Creek CA 94597	Phone: 928-380-0269



Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-A026596022A-000-000-0000000-0000      Registration Date/Time: 2023-10-04 09:41:53      HERS Provider: CalCERTS  
CA Building Energy Efficiency Standards - 2022 Residential Compliance      Report Version: 2022.0.000      Report Generated: 2023-10-04 09:41:54  
Schema Version: rev 20220101

Designer Signature, 1/24/24:



PREPARED BY:  
CITY SYSTEMS  
157 MIRAMONTE RD  
WALNUT CREEK, CA 94597

**PLAN REVIEW ACCEPTANCE**

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATION.

By: *Brandon Wofford* DATE: 01/24/2024  
WEST COAST CODE CONSULTANTS, INC. (WCC)

No.	Description	Date
1	ZONING CLEARANCE SUBMISSION	10/15/23
2	ZONING CLEARANCE RESUBMISSION	11/6/23
3	BUILDING REVIEW RESUBMISSION	1/6/24
4	BUILDING REVIEW RESUBMISSION	1/19/24

**1174 LAUREL AVE -  
DETACHED ADU**  
1174 LAUREL AVE, EAST PALO ALTO,  
CA, 94303  
**CF1R-ALT-02**

**T4**



### 2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. (04/2022)

#### Building Envelope:

Table with 2 columns: Code section and Description. Includes items like Air Leakage, Labeling, Field fabricated exterior doors and fenestration products, Air Leakage, Insulation Certification by Manufacturers, Insulation Requirements for Heated Slab Floors, Roofing Products Solar Reflectance and Thermal Emittance, Radiant Barrier, Roof Deck, Ceiling and Rafter Roof Insulation, Wall Insulation, Raised-floor Insulation, Slab Edge Insulation, Vapor Retarder, Vapor Retarder, Vapor Retarder, Fenestration Products, Fireplaces, Decorative Gas Appliances, and Gas Log.



### 2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and Description. Includes items like Pilot Lights, Building Cooling and Heating Loads, Clearances, Liquid Line Drier, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Solar Water-heating Systems, and Ducts and Fans.

#### Ducts and Fans:

Table with 2 columns: Code section and Description. Includes items like Ducts, CMC Compliance, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, and Duct System Sealing and Leakage Test.



### 2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and Description. Includes Space Conditioning System Airflow Rate and Fan Efficacy.

#### Ventilation and Indoor Air Quality:

Table with 2 columns: Code section and Description. Includes items like Requirements for Ventilation and Indoor Air Quality, Central Fan Integrated (CFI) Ventilation Systems, Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses, Local Mechanical Exhaust, and Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems.

#### Pool and Spa Systems and Equipment:

Table with 2 columns: Code section and Description. Includes items like Certification by Manufacturers, Piping, Covers, Outdoor pools or spas that have a heat pump or gas heater must have a cover, Directional Inlets and Time Switches for Pools, Pool Systems and Equipment Installation, and Lighting.

5/6/22



### 2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and Description. Includes items like Screw based luminaires, Light Sources in Enclosed or Recessed Luminaires, Light Sources in Drawers, Cabinets, and Linen Closets, Interior Switches and Controls, Accessible Controls, Multiple Controls, Mandatory Requirements, Energy Management Control Systems, Automatic Shutoff Controls, Dimmers, Independent controls, Residential Outdoor Lighting, Internally illuminated address signs, and Residential Garages for Eight or More Vehicles.

#### Solar Readiness:

Table with 2 columns: Code section and Description. Includes items like Single-family Residences, Minimum Solar Zone Area, Azimuth, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Documentation, Main Electrical Service Panel, and Main Electrical Service Panel.

5/6/22

5/6/22



### 2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and Description. Includes items like Energy Storage System (ESS) Ready, Heat Pump Space Heater Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

\*Exceptions may apply.

5/6/22

Designer Signature, 1/24/24:



PREPARED BY: CITY SYSTEMS 157 MIRAMONTE RD WALNUT CREEK, CA 94597

#### PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CODES AS AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION.

BY: Brandon Wofford DATE: 01/24/2024 WEST COAST CODE CONSULTANTS, INC. (WCC)

Table with 3 columns: No., Description, Date. Lists zoning clearance submissions and building review resubmissions.

1174 LAUREL AVE - DETACHED ADU 1174 LAUREL AVE, EAST PALO ALTO, CA, 94303

## RESIDENTIAL MANDATORY MEASURES SUMMARY

T5















# City of East Palo Alto

## Community & Economic Development Department

### Building and Code Enforcement Division

**NOTE TO APPLICANT:** This form must be completed and signed by the Appellant. Please attach any supplemental documents to this form for submittal as part of your appeal.

**Type of Appeal:**

- Building Division Administrative Decision
- Code Enforcement Decision

**Appeal Fee:**

All appeal forms must be accompanied with a nonrefundable processing check of \$575. Failure to do so renders an application untimely.

**Appellant Contact Information:**

Name: AKHIL AGGRAWAL Telephone Number: (510)397-8268  
Email Address: AKHIL183@GMAIL.COM  
Mailing Address: 1174 LAUREL AVE, EAST PALO ALTO CA, 94303

**Project Information** (Attach additional sheets as needed):

Action Being Appealed: STOP WORK ORDER  
Permit Number: BLD2023-0138  
Property Address: 1174 LAUREL AVE Assessor's Parcel Number: 062-125-160

**Reason for Appeal:** Please explain your grounds for the appeal. Identify each issue which you believe was wrongly determined together with every argument that supports your allegations (e.g., an error or abuse of discretion by the decisionmaker, inaccurate information in the record, or decision violates State or city ordinances or is not supported by the record.) (Attach additional sheets as needed):  
SEE ATTACHED

Please state the action you wish to be taken (Attach additional sheets as needed): ALLOW PROJECT TO CONTINUE AS EXISTING APPROVED SCOPE, + STRUCTURAL REPAIRS

I certify (or declare) under penalty of perjury under the laws of the State of California that the foregoing and all information hereon, including any accompanying statements or documents, is true, correct, and complete to the best of my knowledge and belief.

Signature:  Date: Apr 27 / 25

Appeals may be filed in person or by mail as follows:

Building Division  
1960 Tate Street  
East Palo Alto, CA 94303  
Tel: (650) 853-3189

**FOR CITY STAFF USE ONLY**

Date and time received: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

Receipt #: \_\_\_\_\_

Check #: \_\_\_\_\_



Derek Ouyang &lt;derekouyang@gmail.com&gt;

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## Request to initial appeal to City Council

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Derek Ouyang <derekouyang@gmail.com>  
To: mdinan@cityofepa.org

Mon, Feb 3, 2025 at 8:51 AM

Vice Mayor Dinan,

My name is Derek Ouyang, and I am a member of the City of East Palo Alto's Technical Working Group on Accessory Dwelling Units. I also have consulted directly with the City on projects related to permitting streamlining, and am working with Akhil Aggrawal, the property owner of 1174 Laurel Ave, on a detached-garage-to-ADU conversion project (BLDG 2023-0138). On behalf of the property owner, I am writing to formally request your support, as a councilmember, to initiate an appeal to City Council related to this project, as indicated to be an option on page 4 of the City's Master Fee Schedule. I would appreciate it if you can advise me on what the formal steps are, particularly what documentation is needed from me throughout this process.

For the purposes of this initial message, I will summarize the key points of the appeal, but I am happy to provide comprehensive documentation in whatever format is appropriate for the formal appeals process.

I would like to appeal the decision made by the interim Chief Building Official to deny approval of our project continuation. Our project is currently stopped after we removed defective structural members that were originally approved to remain existing, and were all that remained of the original structure. We would like to continue the project by replacing those structural members to the specifications that have already been approved in the permitted drawings. The only technical revision required to the permit, for proper documentation, is to indicate those existing members as receiving structural replacement. However, the *core issue*, as the interim CBO has communicated to us, is that he (1) considers the removal of those structural members to have triggered a more fundamental change in the project's scope from existing construction to new construction, (2) will not consider the narrow approval of revisions as we requested, and (3) will only consider a more substantially revised design that meets new construction requirements (e.g., a raised foundation to meet flood requirements which were not applicable for the original approved project).

In summary, our disagreement with the interim CBO's reasoning is as follows:

1. Although the structurally replaced members were technically all that remained of the existing structure, their replacement should not fundamentally change the scope of the approved project. To treat it as such would be to fixate on the letter of the law and entirely miss the spirit of the law, which should in fact prefer safer versions of an already approved design.
2. To the interim CBO's belief that he does not have discretion to make a different decision, we have provided a variety of references to California Existing Building Code that suggest otherwise. Under Section 104, "Duties and Powers of Code Official", 104.1 states: "The code official shall have the authority to render interpretations of this code and to adopt policies and procedures in order to clarify the application of its provisions. Such interpretations, policies and procedures shall be in compliance with the intent and purpose of this code." Section 104.10 states: "Wherever there are

practical difficulties involved in carrying out the provisions of this code, the code official shall have the authority to grant modifications for individual cases on application of the owner or owner's authorized representative, provided that the code official shall first find that specific individual reason makes the strict letter of this code impractical, the modification is in compliance with the intent and purpose of this code and such modification does not lessen health, accessibility, life and fire safety, or structural requirements." In this case, our repair of a structural element clearly falls within the intent and purpose of "repair" as defined in Section 101: "The reconstruction, replacement, or renewal of any part of an existing building for the purpose of its maintenance or to correct damage." Changing the scope to new construction would be impractical because of the additional costs, as is the primary barrier for many property owners in the community. And, our repair of a structural member in fact improves the end result from a life safety perspective, relative to the status quo. Furthermore, Section 104.10.1 explicitly allows for discretion on provisions related to flood resistance for existing buildings located in flood hazard areas. While I have communicated these parts of code to the interim CBO, he has maintained that under code he has no discretion capability.

3. There is also clear precedent from other municipalities in California to allow similar structures to be entirely replaced without requiring compliance with new building codes, under particular circumstances. For example, Beverly Hills allows for existing structures such as detached garages to be completely rebuilt, provided the replacement is in the same location as the original garage, without being subject to requirements that were inapplicable to the original garage (Section 10-3-4611). The point of this example is to demonstrate that cities themselves have the discretion to define circumstances in which the complete replacement of an existing structure does not trigger new construction requirements, without being in violation of any state code. This is, in essence, the spirit of conversion projects in general, which provide an exception to new construction requirements in order to enable property improvements that might otherwise have been prohibitively expensive. If the City already actively grants conversion projects this leniency, it would be reasonable to keep granting our project the same leniency.
4. The interim CBO has counter-argued that, if the property owner has the budget to replace the structural members in question, he must also have the budget to abide by new construction requirements, such as a raised foundation. This is not true based on a closer examination of the costs involved. A raised floor, with crawl space, adds at least \$10K to the project budget and is prohibitively expensive for the property owner, and it's worth keeping in mind that many property owners in East Palo Alto are sensitive to price differences of this scale. Again, this is in large part why policies for conversion projects are meant to provide leniency, because they are typically less expensive than projects subject to new construction requirements. In our case, while our original preference was to be able to keep these structural members intact, replacing them adds some marginal cost, but is offset by other aspects of the foundation construction becoming simpler, so clearly ends up being the most cost-effective option.
5. The interim CBO has also conveyed that he is worried about a precedent that would be set by our project being allowed to continue as planned, namely, that other property owners would then be able to exploit a "loophole" in the permitting system to get out of complying with new construction requirements. However, this argument misses the key fact that conversion projects are approved by the City based on a determination that the proposed project meets the definition of a conversion. As such, no precedent could be created that would enable property owners to build something different than what is approved on the drawings. Conversion projects are limited by zoning ordinance in their potential architectural deviation from the existing structure (i.e., a garage conversion can only increase its footprint by 150 sqft). The only topic of debate is, therefore, whether the rehabilitation of existing structural elements should ever trigger a reclassification of a conversion project into a new

construction. Through a resolution associated with this appeal, City Council can explicitly define the scope of applicability of their decision to other types of permits, i.e., only to garage-to-ADU conversion projects that otherwise remain in compliance with zoning code, thereby nullifying the interim CBO's concern.

In summary, an appeal of the interim CBO's decision would enable the project to remain scoped as existing construction, and to proceed to the end state (a 400 sqft detached ADU in the same location as the existing garage) as already approved.

Perhaps more importantly, I seek to appeal this decision because the case exemplifies the core impediment to more ADU development in the City. The impediment is a culture of "no" in the Building Department and other approving authorities that prevents the ADU development process from being further streamlined. For context, concurrently, I am assisting the City with its required reporting of housing development to the State, and I have identified 42 ADUs that were entitled, issued permits, or finalized in 2024. The average time from application to issued permit was 345 days. The average time from issued permit to finalized permit (i.e., construction duration) was 605 days. It's also worth noting that 18 of these ADUs that were garage conversions, almost half of all ADU development in the City, and a majority (10) of them were legalizations of unpermitted work. In my research work at Stanford, published in the Journal of the American Planning Association in 2024, my team estimated a 75% unpermitted rate for detached ADU construction in San Jose over a four-year period, and underscored the variety of factors that may discourage property owners from pursuing a legal pathway to ADUs, including the unpredictable costs (in time and money) of the permitting process. With this context in mind, I believe this particular case is an opportunity for the City Council to reflect on its broader housing goals, and the broader impact of the culture of "no" in the City's ADU development process. My argument is that, in this particular case, a common sense culture of "yes" would not have led to an unnecessary stoppage of work here, and in fact would have actively encouraged a well-meaning attempt to improve the structural integrity of the project as already approved. A resolution providing targeted clarity on the issue at hand (i.e., replacement of structural members should not trigger a change in scope of work for an ADU conversion), while also providing more general guidance about how approving authorities should exercise reasonable discretion in pursuit of a culture of "yes", could be incredibly valuable for the City, and as a signal to the broader region of jurisdictions struggling with the same development barriers. Lastly, as I have also heard from the interim CBO, he would change his decision if the City Council upholds the appeal, i.e., clear guidance from elected officials would allay his concerns, so it truly is a matter in which all parties already understand the arguments involved, and are willing to leave the final decision to the City Council.

I would be happy to assist City staff in the drafting of the necessary documentation for this appeal, including a more formal appeal document if necessary, a staff report (as I have supported at other times) outlining all the details of the case, and draft City Council resolutions. And I look forward to the opportunity to present this appeal in an upcoming City Council meeting, where other community stakeholders may also have the opportunity to weigh in on both sides of the issue.

Thank you,

4/14/25, 4:25 PM

Gmail - Request to initial appeal to City Council

56

Derek Ouyang

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Derek Ouyang  
(626)246-8299



Derek Ouyang <derekouyang@gmail.com>

1174 Laurel

Akhil Aggrawal <akhil183@gmail.com>

Wed, Oct 23, 2024 at 10:27 AM

To: Donald Zhao <dzhao@cityofepa.org>

Cc: Derek Ouyang <derekouyang@gmail.com>, Joe Rossbach <jrossbach@cityofepa.org>, Amanjeet Chahal <achahal@cityofepa.org>, Karen Camacho <kcamacho@cityofepa.org>, Jon Johnston <JJohnston@menlofire.gov>

Thank you! Should I send a calendar invite?

Akhil Aggrawal

m:(510) 397-8268 | e:akhil183@gmail.com

On Wed, Oct 23, 2024 at 8:22 AM Donald Zhao <dzhao@cityofepa.org> wrote:

How about 1:30 at the Tate office?

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email dzhao@cityofepa.org

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Tue, Oct 22 2024 at 10:23 PM, Akhil Aggrawal <akhil183@gmail.com> wrote:

Will Wednesday (Oct 30) between noon -2pm work for you?

Akhil Aggrawal

m:(510) 397-8268 | e:akhil183@gmail.com

On Tue, Oct 22, 2024 at 6:24 PM Donald Zhao <dzhao@cityofepa.org> wrote:

I've got meeting all morning. Friday afternoon?

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email dzhao@cityofepa.org

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Tue, Oct 22 2024 at 5:46 PM, Akhil Aggrawal <akhil183@gmail.com> wrote:

Hi Donald, Team,

Is it possible to meet in person on Friday morning and help close this topic? I appreciate all the help.

-Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Tue, Oct 22, 2024 at 5:14 PM Derek Ouyang <derekouyang@gmail.com> wrote:

Donald, I'm reattaching the licensed structural engineer's memo we had onsite the day of inspection. This demonstrates our due diligence in confirming the danger associated with the existing structure, confirming a structurally appropriate repair that does not require using any details that weren't already approved as part of the original drawing set by your department (i.e., no new scope of work), and ensuring we have properly "captured changes made in the field". I'm sure you're not suggesting that any as-built change that occurs in the City of East Palo Alto requires initiating the entire permit revision process. Just like you would accept as-built drawings that capture reasonable changes made in the field (and in the vast majority of cases, do not expect them at all), this document responsibly captures a repair that was made that does not deviate at all from the end-state design that was approved. I'll remind us all that California Existing Building Code, which is adopted in full by the City of East Palo Alto in its municipal code, Chapter 15.15, defines repair as "the reconstruction, replacement or renewal of any part of an existing building for the purpose of its maintenance or to correct damage." I have yet to receive an explanation of why this statute does not apply to our situation, and if not, what the dividing line is between our situation and one that would be deemed a repair.

And, as Akhil mentioned, we truly look forward to a discussion about these points, but if you are choosing not to respond to our questions or reconsider your position, we would choose to pursue the appeals process as described in City code.

Thanks,  
Derek

On Tue, Oct 22, 2024 at 4:17 PM Donald Zhao <dzhao@cityofepa.org> wrote:

Akhil, I just left you a text message requesting a call back.

Or

Derek, call me when you can.

Regarding this project per Building Inspector Amanjeet's correction note dated 10/1/24, the project exceeded the scope of work, demolished the building, and requires a new foundation plan. A revision will need to be submitted to capture the changes made in the field. Please have that ready.

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Tue, Oct 22 2024 at 3:10 PM, Akhil Aggrawal <akhil183@gmail.com> wrote:

Thanks for reaching out again. Happy to meet in person as well next week, if everyone's schedule allows.

It would be great if we are allowed to move forward with the project as permitted. It seems to me that the issue at hand appears to be a disagreement on the definition of new vs. existing construction. As I've observed in the email exchange, it is unclear to me why reasonable counter-arguments provided by my

consultant are being rejected. It has been 21 days since our project has been delayed by this process. In that time, we could have completed the repair of the damaged structural elements and returned entirely to a state of construction exactly as detailed and approved in our drawings, which should be the desired outcome by all parties. All we would need is an "OK to proceed" from you.

However, if you decide to deny our moving forward with the project as permitted, I would like to appeal to the City Council.

-Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Tue, Oct 22, 2024 at 10:41 AM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good morning Akhil,

Could you let me know what you would like to do as the next step for the project?

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email dzhao@cityofepa.org

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Thu, Oct 17 2024 at 11:44 AM, Donald Zhao <dzhao@cityofepa.org> wrote:  
Akhil,

A meeting sounds good.

Jon Johnston from Menlo Fire is not in the office for three weeks.

In the meantime, I suggest you submit drawings with the revisions so that it can be reviewed. Thank you.

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email dzhao@cityofepa.org

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Thu, Oct 17, 2024 at 11:35 AM, Akhil Aggrawal <akhil183@gmail.com> wrote:  
Hello Everyone,

I am the property's homeowner. Thank you so much for the active discussion. Can we connect in person and find the most optimal path forward? From my understanding, it is an ADU conversion project and NOT new construction, and your current position puts the entire project in jeopardy.

Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Fri, Oct 4, 2024 at 11:16 AM Derek Ouyang <derekouyang@gmail.com> wrote:  
Donald,

Thanks for looping in Jon, who also reviewed this project. This is a great opportunity to recenter the core responsibility of code interpretation, which is to promote better life safety outcomes.

Jon, as a reminder, this project was already approved by all agencies as a full demolition of everything but 3 walls and 3 footings, and classified as a garage conversion. As we began construction, we noticed serious cracks in the existing footings. So, for immediate safety of the builders and long-term safety of the residents, we chose to replace these with new footings of the same dimensions, using a detail that had already been approved. EPA Building has stopped our progress, and considers this a significant overhaul of the scope of work, worthy of classification as new construction, i.e., a whole new permitting process. I have not yet gotten a clear explanation of how this interpretation would remain consistent if we had instead repaired each of the three walls one at a time, or left one section intact, etc, but surely there is a threshold for changing interpretation that has not yet been articulated. I have also provided a variety of code references to the definition of repair, and the interpretation powers of local officials, all of which have not yet been directly addressed.

Beyond the specific definitional details, there are no practical differences in the end outcome of the project, besides, of course, a safer home for a future EPA resident. In other words, this would appear to be a clear opportunity for exercising the powers of sensible interpretation. I welcome your input.

Donald, to your point, it seems like the basis for your reasoning has now shifted to hinge on the fact that "no jurisdiction would accept this interpretation." I believe you say this to mean that, if I were to provide you evidence of a California jurisdiction that would accept this interpretation, then you would thereby change your mind? If not, then please help me understand why you otherwise made that statement.

Happy to continue this in a zoom or in-person conversation!

Thank you both,  
Derek

On Fri, Oct 4, 2024, 8:00 AM Donald Zhao <dzhao@cityofepa.org> wrote:

Thank you for your detailed thoughts, Derek. I am not going to consider the demolition of a structure and then the reconstruction of it a repair. That is not the way the code works. No jurisdiction would accept this interpretation.

I'm including Fire Marshal Jon Johnston in the conversation as well so he is aware of this conversation.

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

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On Thu, Oct 03, 2024 at 4:49 PM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Thanks Donald. I'm happy to pick up the conversation with you, as we've discussed opportunities for streamlining, such as pre-approved ADU plans, since 2020.

I think it's actually incredibly helpful for you to reframe this discussion as a question of what constitutes a "significant stretch", because that takes as a given what I believe to be the correct regulatory notion that there is "give and take", i.e., discretion, in a building official's interpretation, as directly stated in many codes and statutes, and what actually matters is whether we have stretched too far or not. Stretching interpretation too far could certainly be problematic in a regulatory setting because it may manifest as inconsistency across cases, unfairness, or lack of clarity for applicants. But I'd like to continue to argue that that is absolutely not what is at risk here, and that we are actually well within a reasonable interpretation of existing construction, and that the determination made here can quite easily be incorporated into the City's ongoing practices.

The project the City approved involved demolishing everything but three existing walls and three existing footings beneath those walls. That means that repairing/replacing the entire roof/ceiling, and repairing/replacing nearly 400 sqft of interior slab (which, of course, is a vital part of the foundation), were all considered acceptable elements of the existing structure that could be demolished and constructed anew, without triggering a reclassification of this project as new construction. By your reasoning, if we had instead left two existing walls and footings, would the project still be classified in the same way? What about one existing wall and footing? What about just one footing? Clearly the line must be drawn somewhere along this range, because you are suggesting that the project has been fundamentally reclassified by the time we've demolished the three existing walls and footings (keep in mind, with the obvious intent to replace them with repaired elements of the exact same form and function).

If the answer is, "When every existing piece of wood and concrete has been removed, then it's reclassified", then that would suggest that if we had merely left a single footing intact, then you would retain the existing classification. I assume we are in agreement that such a literal distinction would be preposterous by anyone's standards. But if you were to then shift your determination such that retaining a single footing also constituted new construction, then we'd be moving the arbitrary threshold once again, right back to what has actually already been approved, 3 walls and footings. Of course, my point is not that there's a right answer here -- it's that this is clearly an unreasonable way to be adjudicating the difference between existing and new construction.

I can add yet another layer of consideration here that I think just further emphasizes the impracticality of the City's current definitional attempt. Let's say we did in fact keep the three walls and footings, and repoured the concrete slab in the interior. Then, after that slab had cured, we then proceeded to demolish the three walls and footings, and replace them with new walls and footings. I presume that this case would, by your technical definition, be interpreted differently because there isn't a clear moment when a structure "no longer exists" on site. Or perhaps your interpretation would be that this does in fact constitute new construction, because every prior object has been replaced by a new object? But I don't think I need to spell out how that reasoning would also be illogical: feel free to consider variations on this scenario, i.e., where we only demolished and repaired one existing wall at a time.

Once again, my point is that the actual "significant stretch" here, which I think we actually all agree is a stretch, is to be claiming that our decision to replace 3 existing walls and footings with 3 new walls and footings somehow triggers such a significant existential overhaul of the project. Joe said it best, regarding the requirements that would have apparently been triggered: "I know this sounds like a lot". I couldn't agree more with which decision before us actually constitutes the greater stretch of imagination and resources. And once again, I continue to encourage us to imagine alternative projects in which we had only proposed leaving two walls/footings, one wall/footing, half a wall/footing, to shore up intuitions on which set of positions would actually remain internally consistent.

I have previously offered what I think is the far more reasonable basis -- the project is clearly about maintaining the footprint of a past use, and that is the fundamental sense in which this

can be undeniably distinguished from "new construction", i.e., a new proposed footprint. I believe it is in fact a powerful example for the City of East Palo Alto to demonstrate, before CBOs across the state, the discretion that a building official can confidently and responsibly yield in service to their City, and how forward-thinking interpretation of code can seriously reduce the barriers to ADU development, and how building departments really can and should be leading the charge on addressing our housing crisis, and getting due credit for it.

The last thing I'll note is that your last sentence, "the terms 'repair' or 'alteration' do not apply to new construction when the original structure no longer exists," gets at a contradiction I couldn't agree more with! Exactly: You can't repair when you're doing new construction! Repair is defined, as I've previously provided as a code reference to Joe, "the reconstruction, replacement or renewal of any part of an existing building for the purpose of its maintenance or to correct damage." I really can't think of a more exact description of what we're doing with this project, and so by your own logic, if that describes our project, then we must be doing existing construction. And if your disagreement hinges on the fact that "any part" cannot possibly be interpreted by a building official as "any and all parts", I refer you back to my earlier examples to help shore up intuitions, and I would be happy to become the strongest advocate in your corner in arguing to whoever might disagree with you that a building official has far more power of discretion than is currently being exercised!

Thanks so much for your attention and consideration.

Derek

On Thu, Oct 3, 2024 at 2:34 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good afternoon, Derek,

I'll take over from here.

Thank you for sharing your research.

If the building is demolished and the foundation is removed, attempting to classify the new structure as an existing building is a significant stretch and does not align with the code's definition. The terms "repair" or "alteration" do not apply to new construction when the original structure no longer exists.

Hope this helps.



**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

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On Thu, Oct 03, 2024 at 1:42 PM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Joe,

Apologies, but I'm a bit confused by the succinctness of your reply. In your previous email you had invited me to "provide code references to justify why these references do not apply", and in direct response to that, I put in the time to provide a detailed set of answers. When you say there's a disconnect, do you have diverging interpretations of the specific code references I made, per your request, or are you suggesting that there's a disconnect between the level of deliberation I thought we were moving towards, and the actual basis

for your reasoning and determination? I just thought that since you had asked for me to present justifications, you would discuss them with me, in turn. I actually genuinely look forward to discussing these justifications, as I assumed you did as well based on your previous email, because they really connect to the underlying question of what promotes or inhibits ADU streamlining in the City, but perhaps I misunderstood.

Thank you,  
Derek

On Thu, Oct 3, 2024 at 12:37 PM Joe Rossbach <jrossbach@cityofepa.org> wrote:

Good morning Derek.

Thanks again for your contributions to our city.

There seems to be a disconnect. The entire building including the foundation has been removed and a new building is being constructed. This is a new building, by definition.

Please submit an updated permit application with revised plans so that we may progress forward with the project. Thanks.

Warmest Regards.  
Get Outlook for iOS

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**From:** Derek Ouyang <derekouyang@gmail.com>

**Sent:** Wednesday, October 2, 2024 3:06:15 PM

**To:** Joe Rossbach <jrossbach@cityofepa.org>

**Cc:** Donald Zhao <dzhao@cityofepa.org>; Amanjeet Chahal <achahal@cityofepa.org>; Karen Camacho <kcamacho@cityofepa.org>; Akhil Aggrawal <akhil183@gmail.com>

**Subject:** Re: 1174 Laurel

Joe,

Thanks for your reply. Just by way of some additional introduction, I've done a variety of contracted and pro bono work for the City in my nonprofit capacity since 2017, and also am a researcher at Stanford Law School, where we've done a variety of projects in partnership with local to federal agencies on topics of regulation, statutory interpretation, code enforcement, etc.

I appreciate the extent of detail you've provided here, and understand their basis, but would like to continue to make my case that you should render a different decision for this project, with potential implications that go beyond our particular case and relate to the broader efforts of ADU streamlining in the City. I will provide some particular responses below, but would be happy to go ahead and schedule a follow-up conversation as appropriate.

At a high level, I believe the fundamental issue is one of interpretation of the various state and local regulations implicated, where a more common sense reading and resolution of the situation is :(1) something I think all parties can in fact reach agreement on, (2) consistent with other City priorities, (3) and is within your discretionary powers as a building code official. The last point I do believe is spelled out in CEBC 104, which I will paste a few excerpts of below (apologies if they are partially outdated as I'm grabbing them from online). I bring these up more for the general point that I believe the issue at hand is one in which you are not bound by a single statutory interpretation, and instead can and should consider the particular circumstances of the project, as well as the broader context of our streamlining initiatives within the City. I'll also remind (though you've already pointed it out yourself) that, in this case, the modifications in no way compromise the core purpose of the code, ensuring health and safety for residents, and in fact constitute a significant improvement in that regard.

## SECTION 104 DUTIES AND POWERS OF CODE OFFICIAL

### [A] 104.1 General.

The code official is hereby authorized and directed to enforce the provisions of this code. The code official shall have the authority to render interpretations of this code and to adopt policies and procedures in order to clarify the application of its provisions. Such interpretations, policies and procedures shall be in compliance with the intent and purpose of this code. Such policies and procedures shall not have the effect of waiving requirements specifically provided for in this code.

### [A] 104.10 Modifications.

Wherever there are practical difficulties involved in carrying out the provisions of this code, the code official shall have the authority to grant modifications for individual cases on application of the owner or owner's authorized representative, provided that the code official shall first find that special individual reason makes the strict letter of this code impractical, the modification is in compliance with the intent and purpose of this code and such modification does not lessen health, accessibility, life and fire safety, or structural requirements. The details of action granting modifications shall be recorded and entered in the files of the Department of Building Safety.

### [A] 104.10.1 Flood hazard areas.

For existing buildings located in flood hazard areas for which repairs, alterations and additions constitute substantial improvement, the code official shall not grant modifications to provisions related to flood resistance unless a determination is made that:

1. The applicant has presented good and sufficient cause that the unique characteristics of the size, configuration or topography of the site render compliance with the flood-resistant construction provisions inappropriate.
2. Failure to grant the modification would result in exceptional hardship.
3. The granting of the modification will not result in increased flood heights, additional threats to public safety, extraordinary public expense nor create nuisances, cause fraud on or victimization of the public, or conflict with existing laws or ordinances.
4. The modification is the minimum necessary to afford relief, considering the flood hazard.
5. A written notice will be provided to the applicant specifying, if applicable, the difference between the design flood elevation and the elevation to which the building is to be built, stating that the cost of flood insurance will be commensurate with the increased risk resulting from the reduced floor elevation and that construction below the design flood elevation increases risks to life and property.

My argument is more specifically that our project should not be triggering any of the additional requirements you provide for a new building, which I otherwise am familiar with. I would like to take you up on the code applicability aspect of the argument, which is whether what we have done on site actually exceeds the scope of CEBC, per those definitions. But before a particular code-based rebuttal, I do just want to make the common sense rebuttal, which is that the concept of "new construction" clearly typically refers to a completely new structure with a completely new impact, that being the situation for which all new construction code is primarily designed to refer to, and this particular project is from all practical standpoints more consistent with the concept of a conversion, i.e., the "purpose and intent" of CEBC, which then puts us squarely within its discretionary interpretation.

Moving to the code-based rebuttal, you mention Repair in particular, which I think is the correct interpretation of what we chose to do regarding those 3 existing walls and footings. I believe this is the relevant definition as you referred me to, paired with the statute describing the scope of CEBC:

[A] REPAIR. The reconstruction, replacement or renewal of any part of an existing building for the purpose of its maintenance or to correct damage.

REPAIR. [OSHPD 1] as used in this Code means all the design and construction work affecting existing or requiring new structural elements undertaken to restore or enhance the structural and nonstructural load-resisting system participating in vertical or lateral response of a structure primarily intended to correct the effects of deterioration or impending or actual failure, regardless of cause.

## SECTION 101 SCOPE AND GENERAL REQUIREMENTS

### [A] 101.1 Title.

These regulations shall be known as the *Existing Building Code* of [NAME OF JURISDICTION], hereinafter referred to as "this code."

### [A] 101.2 Scope.

The provisions of this code shall apply to the repair, alteration, change of occupancy, addition to and relocation of existing buildings.

So my understanding, based on a direct reading of the code, is that "replacement of any part of an existing building" is what we did, and is within the scope of CEBC. The point, of course, is that we are in fact replacing elements of an existing building, and that that is

what we are already approved to do to every other part of the existing building, and so we simply extended the same consideration to a few more elements of the building that we otherwise thought could be kept exactly in their original state, but were in fact damaged. But back to the higher level point, I think it is a really far stretch to be treating the decision to replace these few more elements as fundamentally changing the whole nature of the project to the category of new construction, i.e., a new impact that hadn't already existed, and so we really should just be making a more common sense interpretation of whether the alleged work truly should trigger the new requirements you have outlined (which, by the way, I would argue would be "impractical" and constitute "exceptional hardship" per CEBC). If I may spell out what the broader implication is across all East Palo Alto ADU projects (which is my broader commitment as a technical partner to the City), I think this would be quite simple in practice: if a proposed ADU project is designed to replace the footprint of an existing use, and the structure and foundation of the existing structure are maintained in their original form and function, whether or not they are literally retained or repaired, then the project should be considered a conversion of an existing structure.

I hope my arguments here have some merit and help clarify what I believe to be the relevant issues at hand here, and the pathway forward that would be most consistent with both the City's duties and priorities, and the needs of its constituents.

Thank you,  
Derek

On Wed, Oct 2, 2024 at 2:07 PM Joe Rossbach <jrossbach@cityofepa.org> wrote:  
Good afternoon, Derek.

Thank you for your patience. I have had the opportunity to speak with my inspector Amanjeet and have reviewed the plans. I commend you for your desire to build a better product for your client. That being said, the demolition of the existing walls and foundation has indeed exceeded the scope of the permit. I would call your attention to the definition chapter of the California Existing Building Code, specifically the definitions for:

- *Addition*
- *Alteration*
- *Repair*

By demolishing the walls, demolishing the deficient foundation, and moving the foundation to a new location on the property, you have exceeded the scope of the Existing Building Code, (CEBC 102.1), which moves us into the requirements of the California Residential Code.

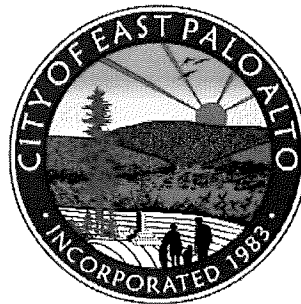
I understand your situation, however, crossing from alteration/change of occupancy to new construction requires compliance with new building standards because this is a new building. Several items will need to be addressed and ultimately reflected on the construction documents per CBC 107.2.1 and CRC106.1.1.

For ease of process, I have included the additional requirements that are driven by building a new detached ADU instead of an alteration/change in occupancy. Please note, that I have not discussed the project with other departments who may have additional requirements. You will need to have discussions with the other agencies.

The additional requirements for a new building are as follows:

- A new Permit Application form with a revised Scope of Work and Valuation. CRC105.3 & CRC108.3
- Revised construction documents CRC106.4
  - A revised Site Plan as the proposed foundation has been moved from the original location shown on the plans. CRC 106.2
  - A revised Title 24 Part 6 CF1R form as new buildings have a higher TRD Value than Alterations. New buildings will have additional requirements such as:
    - Higher insulation values
    - PV requirements CEC 150.0(s)
    - ESS ready requirements CEC 150.0(t)
  - Compliance with City of EPA Municipal Code Section 15.25.1 requiring anew construction to be all-electric
  - A soils report as required by CBC 1803.1. I have attached a Soils Report Waiver Form which can be completed by the project SEOR.
  - A Base Flood Elevation Certificate as the property is located in an AH Flood Zone as determined by the City GIS System. This will require compliance with EPA Municipal Code Section 15.52. and CRC R322 for the design of the foundation.

I know this sounds like a lot, but I have tried to give you as much information as possible so we can get the project moving forward. Please understand these are Code Requirements for new construction. If you feel any of these code requirements are incorrect, feel free to provide code references to justify why these references do not apply.



**Joe Rossbach, MCP, CBO**

Senior Inspector/Code  
Enforcement Consultant

Phone (650) 640 6222

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**From:** Derek Ouyang <derekouyang@gmail.com>

**Sent:** Wednesday, October 2, 2024 7:14 AM

**To:** Joe Rossbach <jrossbach@cityofepa.org>

**Cc:** Donald Zhao <dzhao@cityofepa.org>; Amanjeet Chahal <achahal@cityofepa.org>; Karen Camacho <kcamacho@cityofepa.org>; Akhil Aggrawal <akhil183@gmail.com>

**Subject:** Re: 1174 Laurel

Joe, it's my pleasure to finally meet you! Thank you for your kind words, and I look forward to working with you.

Best  
Derek

On Wed, Oct 2, 2024, 6:40 AM Joe Rossbach <jrossbach@cityofepa.org> wrote:  
Good morning Derek.

Allow me to introduce myself. My name is Joe Rossbach, and I am East Palo Alto's Senior Building Inspector, Plans Examiner, and Assistant Building Official. I have been working at EPA for almost six years now and am surprised our paths haven't crossed yet. Thank you for all you do for our city.

Donald is currently unavailable and has asked me to assist you in moving your project forward. Please allow me a little time to speak with my inspector and look at your approved plans. I will be in touch shortly.

Warmest regards,



**Joe Rossbach, MCP, CBO**

Senior Inspector/Code  
Enforcement Consultant

Phone (650) 640 6222

Email [jrossbach@cityofepa.org](mailto:jrossbach@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

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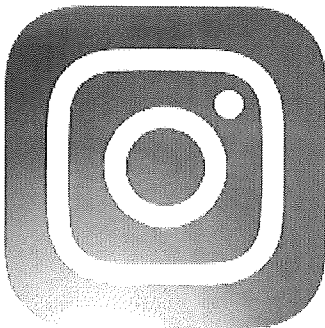
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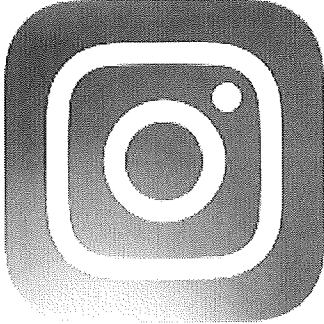
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**SECTION 004  
DUTIES AND POWERS OF GOV. OFFICIAL**

**04010101**  
The Board of Supervisors shall have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California.

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**04010102**  
The Board of Supervisors shall have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California.

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**04010103**  
The Board of Supervisors shall have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California.

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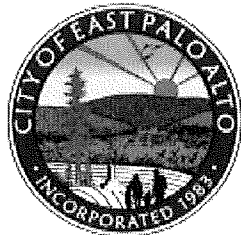
**04010104**  
The Board of Supervisors shall have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California.

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**SECTION 005  
GOV. AND CENTRAL REQUIREMENTS**

**050101**  
The Board of Supervisors shall have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California. The Board shall also have the honor and privilege of being the highest authority in the City of East Palo Alto and shall exercise the powers and perform the duties conferred upon it by the Charter and the laws of the State of California.

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Derek Ouyang &lt;derekouyang@gmail.com&gt;

## 1174 Laurel

**Derek Ouyang** <derekouyang@gmail.com>

Fri, Nov 22, 2024 at 8:01 AM

To: Donald Zhao <dzhao@cityofepa.org>

Cc: Akhil Aggrawal <akhil183@gmail.com>, Joe Rossbach <jrossbach@cityofepa.org>, Amanjeet Chahal <achahal@cityofepa.org>, Karen Camacho <kcamacho@cityofepa.org>, Jon Johnston <JJohnston@menlofire.gov>, Chasidy Miles <cmiles@cityofepa.org>, Amy Chen <achen@cityofepa.org>

Donald, sorry I'm a bit confused, and it's probably my fault because I'm working through a lot personally at the moment, so I apologize in advance.

We've been talking about an appeal to the city council the whole time, correct? Ever since our in-person meeting on 10/30? We recall you describing the \$575 fee clearly during that meeting, and we see that fee clearly listed on the form, but if you're now referring to the \$9,051 we see on the fee schedule, we don't recall your mentioning that at all. That \$9,051 also seems to me to be clearly an appeal of a Planning decision (i.e., developer's entitlements, variances), as the fee is listed under the Planning section of the fee schedule. When I scroll down to the Building section, I see the \$575 fee we have discussed.

Unless we have missed it, we don't believe there is any Planning determination that has been made regarding the issue at hand here. Recall we had discussed this in considerable length during the meeting, and your general recommendation was to forgo the appeals route to instead initiate an application revision so that Planning could make its determination about this for the first time. But if that internal coordination across departments has happened without our knowing, we'd very much appreciate documentation of this.

I would also like to know whether, after the initial appeal has been submitted with its supporting materials, whether we would have the ability to add additional supporting material for the city council to review before the hearing itself, that would become part of the public record.

Thank you,  
Derek

On Fri, Nov 22, 2024 at 7:44 AM Donald Zhao <dzhao@cityofepa.org> wrote:

Derek,

From my understanding, the higher number is for appeals to council as noted in the fee schedule.

Thanks.

**Donald Zhao**  
Interim Building Official  
Phone (925) 997-4322  
Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
Web [www.cityofepa.org](http://www.cityofepa.org)  
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On Fri, Nov 22, 2024 at 7:41 AM, Derek Ouyang <derekouyang@gmail.com> wrote:

Donald,

I would really appreciate a response to my previous question, when you get a chance. Thanks so much.

Sincerely,  
Derek

On Thu, Nov 14, 2024 at 5:31 PM Derek Ouyang <derekouyang@gmail.com> wrote:

Donald, can you also confirm that the cost of processing the appeal, as stated in your form, is \$575, and that there wouldn't be any other fees we would then be required to pay later on in the appeals process, as a result of initiating this first step?

Thanks,  
Derek

On Fri, Nov 8, 2024 at 11:35 AM Derek Ouyang <derekouyang@gmail.com> wrote:  
Great, thanks so much!

On Fri, Nov 8, 2024 at 11:00 AM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good morning Derek. I don't believe there's a deadline.

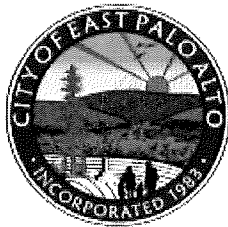
**Donald Zhao**  
Interim Building Official  
Phone (925) 997-4322  
Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
Web [www.cityofepa.org](http://www.cityofepa.org)  
1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Thu, Nov 07, 2024 at 10:38 AM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Donald, thanks for sharing! I didn't see it noted on the form itself, so I wanted to double-check with you: is there a formal deadline the City imposes for submitting the appeal?

Thanks,  
Derek

On Wed, Oct 30, 2024 at 3:49 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good afternoon, Derek. Thank you for taking the time to come in and discuss the issues surrounding this project. Please find attached the appeals form for your reference, should you choose to pursue that option regarding my interpretation. If you have any questions or need further clarification, feel free to reach out.



**Donald Zhao**  
Interim Building Official  
Phone (925) 997-4322  
Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
Web [www.cityofepa.org](http://www.cityofepa.org)  
1960 Tate Street, East Palo Alto, CA 94303

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On Wed, Oct 30, 2024 at 3:08 PM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Donald, can you send the appeals form? Thanks so much!

On Wed, Oct 30, 2024, 1:24 PM Akhil Aggrawal <akhil183@gmail.com> wrote:  
We are outside the building. Thanks

---

**Akhil Aggrawal**  
m:(510) 397-8268 | e:[akhil183@gmail.com](mailto:akhil183@gmail.com)

On Wed, Oct 23, 2024 at 2:07 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Thanks, Akhil! Please go ahead and send the invite.

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Wed, Oct 23 2024 at 10:28 AM, Akhil Aggrawal <[akhil183@gmail.com](mailto:akhil183@gmail.com)> wrote:  
Thank you! Should I send a calendar invite?

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:[akhil183@gmail.com](mailto:akhil183@gmail.com)

On Wed, Oct 23, 2024 at 8:22 AM Donald Zhao <[dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)> wrote:  
How about 1:30 at the Tate office?

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Tue, Oct 22 2024 at 10:23 PM, Akhil Aggrawal <[akhil183@gmail.com](mailto:akhil183@gmail.com)> wrote:  
Will Wednesday (Oct 30) between noon -2pm work for you?

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:[akhil183@gmail.com](mailto:akhil183@gmail.com)

On Tue, Oct 22, 2024 at 6:24 PM Donald Zhao <[dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)> wrote:  
I've got meeting all morning. Friday afternoon?

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

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On Tue, Oct 22 2024 at 5:46 PM, Akhil Aggrawal <[akhil183@gmail.com](mailto:akhil183@gmail.com)> wrote:  
Hi Donald, Team,

Is it possible to meet in person on Friday morning and help close this topic? I appreciate all the help.

-Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Tue, Oct 22, 2024 at 5:14 PM Derek Ouyang <derekouyang@gmail.com> wrote:

Donald, I'm reattaching the licensed structural engineer's memo we had onsite the day of inspection. This demonstrates our due diligence in confirming the danger associated with the existing structure, confirming a structurally appropriate repair that does not require using any details that weren't already approved as part of the original drawing set by your department (i.e., no new scope of work), and ensuring we have properly "captured changes made in the field". I'm sure you're not suggesting that any as-built change that occurs in the City of East Palo Alto requires initiating the entire permit revision process. Just like you would accept as-built drawings that capture reasonable changes made in the field (and in the vast majority of cases, do not deviate at all from the end-state design that was approved. I'll remind us all that California Existing Building Code, which is adopted in full by the City of East Palo Alto in its municipal code, Chapter 15.15, defines repair as "the reconstruction, replacement or renewal of any part of an existing building for the purpose of its maintenance or to correct damage." I have yet to receive an explanation of why this statute does not apply to our situation, and if not, what the dividing line is between our situation and one that would be deemed a repair.

And, as Akhil mentioned, we truly look forward to a discussion about these points, but if you are choosing not to respond to our questions or reconsider your position, we would choose to pursue the appeals process as described in City code.

Thanks,  
Derek

On Tue, Oct 22, 2024 at 4:17 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Akhil, I just left you a text message requesting a call back.

Or

Derek, call me when you can.

Regarding this project per Building Inspector Amanjeet's correction note dated 10/1/24, the project exceeded the scope of work, demolished the building, and requires a new foundation plan. A revision will need to be submitted to capture the changes made in the field. Please have that ready.

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

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On Tue, Oct 22 2024 at 3:10 PM, Akhil Aggrawal <akhil183@gmail.com> wrote:

Thanks for reaching out again. Happy to meet in person as well next week, if everyone's schedule allows.

It would be great if we are allowed to move forward with the project as permitted. It seems to me that the issue at hand appears to be a disagreement on the definition of new vs. existing construction. As I've observed in the email exchange, it is unclear to me why reasonable counter-arguments provided by my consultant are being rejected. It has been 21 days since our project has been delayed by this process. In that time, we could have completed the repair of the damaged structural elements and returned entirely to a state of construction exactly as detailed and approved in our drawings, which should be the desired outcome by all parties. All we would need is an "OK to proceed" from you.

However, if you decide to deny our moving forward with the project as permitted, I would like to appeal to the City Council.

-Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Tue, Oct 22, 2024 at 10:41 AM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good morning Akhil,

Could you let me know what you would like to do as the next step for the project?

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

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On Thu, Oct 17 2024 at 11:44 AM, Donald Zhao <dzhao@cityofepa.org> wrote:  
Akhil,

A meeting sounds good.

Jon Johnston from Menlo Fire is not in the office for three weeks.

In the meantime, I suggest you submit drawings with the revisions so that it can be reviewed. Thank you.

**Donald Zhao**

**Interim Building Official**

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

\*Please note Permit Counter hours are Monday, Tuesday & Thursday 9am-3:45pm. Our office is closed for the lunch hour from 12pm-1pm\*

On Thu, Oct 17, 2024 at 11:35 AM, Akhil Aggrawal <akhil183@gmail.com> wrote:

Hello Everyone,

I am the property's homeowner. Thank you so much for the active discussion. Can we connect in person and find the most optimal path forward? From my understanding, it is an ADU conversion project and NOT new construction, and your current position puts the entire project in jeopardy.

Akhil

---

**Akhil Aggrawal**

m:(510) 397-8268 | e:akhil183@gmail.com

On Fri, Oct 4, 2024 at 11:16 AM Derek Ouyang <derekouyang@gmail.com> wrote:  
Donald,

Thanks for looping in Jon, who also reviewed this project. This is a great opportunity to recenter the core responsibility of code interpretation, which is to promote better life safety outcomes.

Jon, as a reminder, this project was already approved by all agencies as a full demolition of everything but 3 walls and 3 footings, and classified as a garage conversion. As we began construction, we noticed serious cracks in the existing footings. So, for immediate safety of the builders and long-term safety of the residents, we chose to replace these with new footings of the same dimensions, using a detail that had already been approved. EPA Building has stopped our progress, and considers this a significant overhaul of the scope of work, worthy of classification as new construction, i.e., a whole new permitting process. I have not yet gotten a clear explanation of how this interpretation would remain consistent if we had instead repaired each of the three walls one at a time, or left one section intact, etc, but surely there is a threshold for changing interpretation that has not yet been articulated. I have also provided a variety of code references to the definition of repair, and the interpretation powers of local officials, all of which have not yet been directly addressed.

Beyond the specific definitional details, there are no practical differences in the end outcome of the project, besides, of course, a safer home for a future EPA resident. In other words, this would appear to be a clear opportunity for exercising the powers of sensible interpretation. I welcome your input.

Donald, to your point, it seems like the basis for your reasoning has now shifted to hinge on the fact that "no jurisdiction would accept this interpretation." I believe you say this to mean that, if I were to provide you evidence of a California jurisdiction that would accept this interpretation, then you would thereby change your mind? If not, then please help me understand why you otherwise made that statement.

Happy to continue this in a zoom or in-person conversation!

Thank you both,  
Derek

On Fri, Oct 4, 2024, 8:00 AM Donald Zhao <dzhao@cityofepa.org> wrote:

Thank you for your detailed thoughts, Derek. I am not going to consider the demolition of a structure and then the reconstruction of it a repair. That is not the way the code works. No jurisdiction would accept this interpretation.

I'm including Fire Marshal Jon Johnston in the conversation as well so he is aware of this conversation.

**Donald Zhao**

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--  
Derek Ouyang  
(626)246-8299

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--  
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(626)246-8299



untitled  
34K





Derek Ouyang &lt;derekouyang@gmail.com&gt;

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**Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue**

---

**Amy Chen** <achen@cityofepa.org>

Tue, Feb 25, 2025 at 11:14 AM

To: Derek Ouyang &lt;derekouyang@gmail.com&gt;

Cc: Donald Zhao &lt;dzhao@cityofepa.org&gt;, Housing &lt;housing@cityofepa.org&gt;, Alex Waggoner &lt;awaggoner@cityofepa.org&gt;, Akhil Aggrawal &lt;akhil183@gmail.com&gt;

Hello Derek,

I did receive that message through the Vice Mayor and it was forwarded to the City Manager and City Attorney. The City Attorney determined that your message to the Vice Mayor is not sufficient to start the appeals process. You need to submit the appeals form to our Building team and pay the processing fee to official start your appeal.

Please also refrain from contacting the City Council moving forward on this matter because they need to remain unbiased and they should not have communication with you as they will be hearing your appeal, if submitted.

Thank you,

**Amy Chen**

Director of Community and Economic Development  
City of East Palo Alto  
1960 Tate St  
East Palo Alto, CA 94303  
achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>**Sent:** Tuesday, February 25, 2025 9:46 AM**To:** Amy Chen <achen@cityofepa.org>**Cc:** Donald Zhao <dzhao@cityofepa.org>; Housing <housing@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>; Akhil Aggrawal <akhil183@gmail.com>**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Amy and Donald,

Hope all is well. After discussing with the homeowner, we've decided to move forward with the formal appeals process. I've spoken to Vice Mayor Mark Dinan about the situation and submitted an initial message of appeal to his city email address, and I believe he has forwarded the appeal to the city manager and to you, Amy. Please confirm if you haven't received, and please confirm that the process as has been initiated through a councilmember correctly follows the mechanism as detailed in the city fee schedule for waiving the appeals fee.

I'd like to reiterate that I'd be happy to support with whatever documentation would be helpful, including the staff report, given that I have provided this kind of support in the past, and given that, over multiple conversations now, I believe we are on the same page about the facts and circumstances of the case, though of course, where there remains disagreement of any kind, I believe the documentation should present each argument as clearly and faithfully as possible, so that city council can best their decision, and so that it serves as the most useful public record of the case. I'm also mindful of minimizing the burden of the process given limited staff bandwidth; concurrently, I am working closely with

Yajaira on a streamlined procedure for annual APR reporting, which has been saving Housing, Planning, and Building staff time for three years running now.

Thanks, and we look forward to hearing from you.  
Derek

On Thu, Dec 19, 2024 at 4:42 PM Derek Ouyang <derekouyang@gmail.com> wrote:

Thanks so much for the quick turnaround!  
All the times work, with preference for 1/7! And yes, feel free to send the virtual invite!

Thanks,  
Derek

On Thu, Dec 19, 2024 at 4:29 PM Amy Chen <achen@cityofepa.org> wrote:

I connected with our team, Donald and Alex, how about these times:

1/7 - 11am-12pm, 3-4pm

1/8 - 2-3pm

I am assuming this will be a virtual meeting and I can send out the meeting invite upon your preference of times.

Thanks,

**Amy Chen**

Director of Community and Economic Development  
City of East Palo Alto  
1960 Tate St  
East Palo Alto, CA 94303  
achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>

**Sent:** Thursday, December 19, 2024 10:55 AM

**To:** Amy Chen <achen@cityofepa.org>

**Cc:** Donald Zhao <dzhao@cityofepa.org>; Housing <housing@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>

**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Got it! Sorry about that, it'll probably just be easier to coordinate directly moving forward. I can do a Teams call pretty flexibly throughout that week, so feel free to let me know a few times that work well for you and Donald!

Thanks,  
Derek

On Thu, Dec 19, 2024 at 10:53 AM Amy Chen <achen@cityofepa.org> wrote:

Yes I have been back. But I am going back out on starting next week for two weeks.  
So yes let's schedule for the week of Jan 6. Sorry about that confusion.

Thanks,

**Amy Chen**

Director of Community and Economic Development  
City of East Palo Alto

1960 Tate St  
East Palo Alto, CA 94303  
achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, December 19, 2024 10:41 AM  
**To:** Donald Zhao <dzhao@cityofepa.org>  
**Cc:** Housing <housing@cityofepa.org>; Amy Chen <achen@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Amy, are you back in the office yet? I had shared my availability with Chasidy for a prompt discussion, but I assume an opportunity to meet hasn't come up yet, and I know she'll be transitioning out now. I am still as eager as before to get my questions answered, and can meet between now and 12/24 mid-day, if that works for you and Donald. Otherwise, maybe we can still get a meeting on the calendar the week of 1/6?

Thanks,  
Derek

On Mon, Nov 25, 2024 at 1:33 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good afternoon, Derek,

This conversation involves more than just one division of CEDD and should include Amy Chen (CEDD Director). She's currently out of the office, but can we meet with her? Let's coordinate a time when she returns. Thanks.

**Donald Zhao**  
Interim Building Official  
Phone (925) 997-4322  
Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
Web [www.cityofepa.org](http://www.cityofepa.org)  
1960 Tate Street, East Palo Alto, CA 94303

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On Fri, Nov 22 2024 at 8:29 AM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Chasidy -- sorry about that. I actually think the other thread makes more sense as the place to get on the same page, since that's the original thread that has all the prior correspondence with Building. Does that make sense to you? Thanks for your attention to this though!

In terms of your previous email -- yeah this is still part of my confusion about the fee I'd like to get complete clarification on. You described it as "the \$9k amount would be cost to appeal staff's decision to the CBO". Why would it be an appeal to the CBO? I thought we're talking about the city council? And all my questions on the main thread still stand.

Thanks, and again sorry if I'm missing things,  
Derek

On Fri, Nov 22, 2024 at 8:17 AM Chasidy Miles <cmiles@cityofepa.org> wrote:  
Hi Derek,

Following up here on my email in case you missed it. I think it would be helpful to keep all of our documentation on the same page. I see you've started a separate thread on this issue.

It was mentioned that EPACANDO was also assisting on this, which we had an opportunity to discuss together on Friday. Once you get the information you're looking for regarding our appeals process, please let us know when you'd like to walk through and discuss.

Kindly,  
Chasidy

Get Outlook for iOS

---

**From:** Chasidy Miles <cmiles@cityofepa.org>  
**Sent:** Thursday, November 14, 2024 3:44 PM  
**To:** Derek Ouyang <derekouyang@gmail.com>  
**Cc:** Housing <housing@cityofepa.org>  
**Subject:** RE: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Hi Derek,

I apologize for the delay here, as I was out yesterday and playing catch-up on Tuesday. I reached out to Donald, and their interpretation of the code stands. It sounds like the \$9k amount would be cost to appeal staff's decision to the CBO.

Would it help to sit down with EPACANDO and talk through the pros and cons? It doesn't sound like we have a lot of flexibility to change the outcomes this time around, but I do think it'd still be worthwhile to bring Anna in to review this case and discuss best practices moving forward.

What are your thoughts?

Kindly,



**Chasidy Miles**  
 She/They  
 Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** [cmiles@cityofepa.org](mailto:cmiles@cityofepa.org)  
**Web** [www.cityofepa.org](http://www.cityofepa.org)  
 1960 Tate Street, East Palo  
 Alto, CA 94303

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---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 14, 2024 12:26 PM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Chasidy, hope all is well! Any updates from conversations with Donald and/or Amy?

Also, do you happen to know if the City has considered applying for this designation? <https://www.hcd.ca.gov/planning-and-community-development/prohousing-designation-program>

Looks like only Redwood City has received it, within SMC.

Best,  
Derek

On Thu, Nov 7, 2024 at 10:38 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

Any time!

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 7, 2024 10:37 AM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

OK sent you an invite for 2:30, thanks!

On Thu, Nov 7, 2024 at 9:10 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

Derek,

I apologize as well – it looks like I missed your last message.

I am busy for the rest of the day, with the exception of 2-3. If that time doesn't work, what about Friday?

Kindly,



**Chasidy Miles**  
She/They  
Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** cmiles@cityofepa.org  
**Web** www.cityofepa.org  
1960 Tate Street, East Palo Alto, CA 94303

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**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 7, 2024 7:56 AM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Chasidy, sorry if I missed an invite from you on Tuesday. I'm free between 9:30-2p today, can you chat in that window?

On Tue, Nov 5, 2024 at 10:23 AM Derek Ouyang <derekouyang@gmail.com> wrote:

I can chat any time today, so feel free to send a calendar invite at a time that works for you!

Thanks,  
Derek

On Tue, Nov 5, 2024 at 10:17 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

That's helpful to know. Do you have any availability today? If not, when is a good time to speak?

Amy might not be available, but I can hop on a call to discuss further if you'd like.

Kindly,



**Chasidy Miles**  
 She/They  
 Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** [cmiles@cityofepa.org](mailto:cmiles@cityofepa.org)  
**Web** [www.cityofepa.org](http://www.cityofepa.org)  
 1960 Tate Street, East Palo  
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**From:** Derek Ouyang <[derekouyang@gmail.com](mailto:derekouyang@gmail.com)>  
**Sent:** Monday, November 4, 2024 7:17 PM  
**To:** Chasidy Miles <[cmiles@cityofepa.org](mailto:cmiles@cityofepa.org)>  
**Cc:** Amy Chen <[achen@cityofepa.org](mailto:achen@cityofepa.org)>; dbay <[dbay@epacando.org](mailto:dbay@epacando.org)>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Thanks Chasidy! Unfortunately I have a medical appointment at that time so it won't work for me. I'm also mindful of the timing for the appeal on a Building Official determination -- do you know in this case whether there is a deadline that would apply?

Thanks,  
 Derek

On Mon, Nov 4, 2024, 7:14 PM Chasidy Miles <[cmiles@cityofepa.org](mailto:cmiles@cityofepa.org)> wrote:

Hi Derek,

It's nice to hear from you. Let's see what time we can find on our calendar.

Amy will be out for a conference this week. How does Friday, November 15<sup>th</sup> at 11:00 AM work for you?

Kindly,



**Chasidy Miles**  
 She/They  
 Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** cmiles@cityofepa.org  
**Web** www.cityofepa.org  
 1960 Tate Street, East Palo  
 Alto, CA 94303

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**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Monday, November 4, 2024 11:15 AM  
**To:** Chasidy Miles <cmiles@cityofepa.org>; Amy Chen <achen@cityofepa.org>  
**Cc:** dbay <dbay@epacando.org>  
**Subject:** Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Chasidy, Amy,

Hope all is well. I'd like to schedule a meeting at your soonest availabilities to discuss a roadblock on the 1174 Laurel Ave garage conversion ADU project. I am the homeowner's representative on this project, and it is the second demonstration of my Aduo design concept which originated from local philanthropic support. The work has been stopped as a result of a Building Department inspection note, which was formally upheld by Donald in his Interim CBO capacity in a meeting last Wednesday, 10/30.

The specific issue has to do with a changed scope of work on-site, and whether it should trigger a reclassification of the project from existing to new construction, which would trigger re-review by all authorities as well as possible substantive changes to the design itself. We strongly disagree with this interpretation, and have clarified these disagreements with Building in a respectful manner over email and in the 10/30 meeting. It's also worth noting that the added costs associated with this process may also jeopardize the whole project, given the homeowner's budget, so from a practical standpoint, at least one ADU for the City's RHNA is potentially on the line.

More generally, taking the perspective I bring to the EPA ADU Technical Working Group which continues to meet monthly, and shared by Duane, a fellow member, I think that the Building Department's position here has broader relevance and exemplifies one of the core challenges we've focused on for years, that being ADU streamlining barriers. For this reason in particular, I am leaning towards filing a detailed appeal on this decision to the City Council, so that the issue can be given proper attention, and potentially a written resolution that provides explicit clarity and streamlining benefits for a specific set of future projects in the community (in which case, many future ADUs may also be on the line). I would expect Building to submit a detailed staff report representing their different positions, and that the Council and the public will have the opportunity to weigh all arguments. I'll also note that, based on the 10/30 meeting, I think we and Building have a respectful and clear understanding that the disagreement hinges fundamentally on a higher-

level policy question that is exactly what City Council is poised to resolve, and Donald has wholeheartedly agreed that, should City Council rule in a particular way, Building would accordingly revise its interpretations for this and future related projects.

I'd like to meet with you in advance of making a final decision on whether or not to appeal, given the importance of your perspectives (but timing for this meeting is sensitive to the need to submit the appeal expeditiously). Obviously, Karen and Yajaira would have been very involved here, but are both on leave, and I was planning to loop Chasidy in anyway. Amy, you and I haven't directly corresponded since probably our first introductory meeting back in 2020, but given your leadership position and your ADU background, I would really value your perspective here. I'd invite Duane as an optional on the meeting, since he's fully read in and a member of the TWG. If you are both willing and able to meet, then I can forward an extensive email chain with Building in which you can see the full correspondence that has transpired, up to the 10/30 meeting.

Thanks so much,  
Derek

--  
Derek Ouyang  
(626)246-8299

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Derek Ouyang &lt;derekouyang@gmail.com&gt;

## Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Fri, Apr 11, 2025 at 9:13 AM

Amy Chen &lt;achen@cityofepa.org&gt;

To: Derek Ouyang &lt;derekouyang@gmail.com&gt;

Cc: Donald Zhao &lt;dzhao@cityofepa.org&gt;, Housing &lt;housing@cityofepa.org&gt;, Alex Waggoner &lt;awaggoner@cityofepa.org&gt;, Akhil Aggrawal &lt;akhil183@gmail.com&gt;, City Attorney's Office &lt;cityattorney@cityofepa.org&gt;

The fee is \$575. It is not efficient to engage over email like this. Please schedule a time over a virtual call if you want to discuss further. Otherwise we will look out for your application and fee.

---

**Amy Chen**

Director of Community and Economic Development

City of East Palo Alto

1960 Tate St

East Palo Alto, CA 94303

achen@cityofepa.org

On Apr 11, 2025, at 9:08 AM, Derek Ouyang <derekouyang@gmail.com> wrote:

Ok, thanks. I also had the second question.

Thanks,  
Derek

On Fri, Apr 11, 2025 at 8:59 AM Amy Chen <achen@cityofepa.org> wrote:

These conversations with the city attorney's office were in person or over the phone conversations so these emails I have sent you serve as the documentation.

Thank you!

---

**Amy Chen**

Director of Community and Economic Development

City of East Palo Alto

1960 Tate St

East Palo Alto, CA 94303

achen@cityofepa.org

On Apr 10, 2025, at 5:35 PM, Derek Ouyang <derekouyang@gmail.com> wrote:

Thanks Amy. Yes, I still have two questions before proceeding:

1. You note that this direction has been confirmed by the City Attorney. Can you provide some documentation from the City Attorney of this position, including that no waived fee option exists in the City for a Building Services Division-related appeal? I'm sorry to belabor this, but given my responsibilities, I think it's reasonable to seek some clarity on this, because there is clearly a waived fee option on page 4 of the Comprehensive Fee Schedule, which so far has not been acknowledged by the City in writing.

2. You also note that this has been confirmed between you and Donald, whereas the last message I have on this point from Donald (2/25) conveyed a different direction:

"To clarify your question about the fees: the \$575 fee was associated with the earlier step where you met with staff, including myself and later Amy Chen, CED Director. That step occurred without a complete appeal form or payment at the time. The \$9,051 fee now applies to the formal appeal to the City Council, reflecting the separate process detailed in the fee schedule."

So can you clarify that this previous documentation was incorrect, and that the procedure has since been clarified internally or modified?

Thanks,  
Derek

On Thu, Apr 10, 2025 at 3:54 PM Amy Chen <achen@cityofepa.org> wrote:

The direction I provided to you three weeks ago is still the same:

Please fill out the appeal form and submit it with the \$575 appeal fee.  
Once we receive that we can work on the staff report and agendize it. If the application is completed and fee is paid, typically we can plan for the council meeting 6 weeks out. We won't be able to make the May 6 Council meeting at this rate.

This direction already given to you was confirmed by the City Attorney, and among our team (Donald and myself), so these are the procedures for bringing the appeal to City Council.

Please let us know if you have any questions and we can look out for your application and fee.

Thanks,

**Amy Chen**  
Director of Community and Economic Development  
City of East Palo Alto  
1960 Tate St  
East Palo Alto, CA 94303  
achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, April 10, 2025 2:51 PM  
**To:** Amy Chen <achen@cityofepa.org>  
**Cc:** Donald Zhao <dzhao@cityofepa.org>; Housing <housing@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>; Akhil Aggrawal <akhil183@gmail.com>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Amy, Donald, I'm checking in 3 weeks after my last email to see if you have any responses or updates. Thanks!

Derek

On Wed, Mar 19, 2025 at 11:18 AM Derek Ouyang <derekouyang@gmail.com> wrote:  
Amy, sorry I'm failing to follow. Your direction here is not the same as Donald's on 2/25/2025, where he asked me to pay a \$9,051 fee. I'm fine if you have an explanation for why this has changed, but I think it's clear that I was asking for this exact clarity in my email back to Donald on 2/25/2025, and that was followed by Donald indicating on 3/4/2025 that you two were working with the city attorney on next steps, so I assumed that some clarity would be forthcoming. I hope you understand that, from my perspective, I'm experiencing long delays between contradicting directions with no forthcoming explanation, and that doesn't give me much due process on which to be able to responsibly make my own decisions (i.e., on what basis am I able to pay this fee if I have not been given any answer at all my previous questions about the waived option?). Meanwhile, I am trying in good faith to honor your previous instruction that I cannot communicate with electeds, but it's also not clear to me whether that instruction from you itself has any statutory basis (it'd be great to see a cite to the municipal code of the circumstances in which a resident is forbidden to communicate with their elected official). I'd really appreciate some support in return in understanding what's happening here!

Thanks,  
Derek

On Wed, Mar 19, 2025 at 8:51 AM Amy Chen <achen@cityofepa.org> wrote:  
Hello Derek,

Thanks for your patience as we were confirming the procedures for bringing the appeal to city council.

Please fill out the appeal form and submit it with the \$575 appeal fee.  
Once we receive that we can work on the staff report and agendize it. If the application is completed and fee is paid, typically we can plan for the council meeting 6 weeks out, so the next meeting date we could be scheduled for would be May 6.

Please let us know if you have any questions and we can look out for your application and fee.

---

**Amy Chen**  
Director of Community and Economic Development  
City of East Palo Alto  
1960 Tate St  
East Palo Alto, CA 94303  
achen@cityofepa.org

On Mar 19, 2025, at 6:32 AM, Derek Ouyang <derekouyang@gmail.com> wrote:

Hi Donald, it's been two weeks since your last message. Can you provide an update?

On Tue, Mar 4, 2025, 9:52 AM Derek Ouyang <derekouyang@gmail.com> wrote:

Thanks Donald. I would still appreciate answers to my previous email, since some of them seem answerable by you without the guidance of the city attorney.

As for "the new construction requirement", that is, what we are arguing should not be applied in our situation: based on the direct costs of a recent past project that involved a raised floor, and factoring in current prices, we estimate that it would add at least \$20,000 to the cost of this project, which would be cost-prohibitive.

Thanks,  
Derek

On Tue, Mar 4, 2025 at 9:18 AM Donald Zhao <dzhao@cityofepa.org> wrote:  
Good morning, Derek

We're working with the city attorney on the next steps. We will get back to you as soon as we have directions to provide.

Have you researched the new construction requirement as we discussed? This was regarding the revision to the raised floor for flood elevation vs. a slab on grade.

<untitled>

**Donald Zhao**  
Interim Building Official  
Phone (925) 997-4322  
Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
Web [www.cityofepa.org](http://www.cityofepa.org)  
1960 Tate Street, East Palo Alto, CA 94303

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On Tue, Mar 4, 2025 at 7:42 AM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Hi Donald, I'm just following up on my email from last week.

Thanks,  
Derek

On Tue, Feb 25, 2025 at 5:15 PM Derek Ouyang <derekouyang@gmail.com> wrote:  
Thanks Donald!

It's great to get clarity from you that we are in fact initiating the process associated with the \$9,051 fee. However, just to make sure there isn't any misunderstanding: you referred to page 21 in your last message, but I think you mean page 4, right? I attached screenshots of both pages to my previous email, so we should be able to both see that page 4 is the page that refers to a \$9,051 fee, while page 21 refers to a \$575 fee. It looks like you may have misstated in the second sentence of your last message, can you confirm whether that was an error?

And the form you've attached (which is the same form I just attached in my previous email) refers to a \$575 fee, but what you're confirming in your last message is that that is not the fee I am due to pay, and instead, I am due to pay a \$9,051 fee, so the form either needs to be revised, or we are using the form for a different process than its original intent. Which is correct?

Lastly, assuming we are on the same page about initiating the process associated with the \$9,051 fee on page 4 of the City East Palo Alto Master Fee Schedule, then I would like to again draw attention specifically to the parenthetical listed in that line item: "(if initiated by City Council - no charge)". I take that to mean that there exists an option for City Council to initiate this appeal which would waive my need to include the \$9,051 processing fee with my submission, as you have requested, and as I think I have made clear, I would like to navigate this process via that option. Am I misunderstanding the meaning of the text? Please advise!

Thanks,  
Derek

On Tue, Feb 25, 2025 at 4:50 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
Hi Derek,

I'm following up on the appeals process for the 1174 Laurel ADU issue. Attached is the appeals form you'll need to submit to our Building team to formally appeal to the City Council. Please include the \$9,051 processing fee with your submission, as outlined in the City of East Palo Alto Master Fee Schedule (dated 4/2/2024, page 21), to officially begin this process.

To clarify your question about the fees: the \$575 fee was associated with the earlier step where you met with staff, including myself and later Amy Chen, CED Director. That step occurred without a complete appeal form or payment at the time. The \$9,051 fee now applies to the formal appeal to the City Council, reflecting the separate process detailed in the fee schedule.

Let me know if you have any trouble with the attached form.

Best regards,

<untitled>

**Donald Zhao**

Interim Building Official

Phone (925) 997-4322

Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)

Web [www.cityofepa.org](http://www.cityofepa.org)

1960 Tate Street, East Palo Alto, CA 94303

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On Tue, Feb 25, 2025 at 11:35 AM, Derek Ouyang <derekouyang@gmail.com> wrote:  
Amy, can you give a bit more clarity?

When you say "appeals form", do you mean this one that Donald sent to me on 10/30/25, which states a processing fee of \$575?

Is this the same appeal that is noted on the city's comprehensive fee schedule on page 21?

<image.png>

In our prior conversations, my understanding is that the CBO had determined that this was not in fact the relevant appeal, since it is meant to be an appeal to the CBO but the CBO has already made his decision, and instead, our subsequent conversation has centered on this other appeal and related fee listed on page 4 of the same document, with a cost of \$9051 (unless initiated by City Council).

<image.png>

So I just want to fully understand, which appeal are we talking about? How do the two appeals described in the fee schedule relate to each other? It sounds like the City Attorney is making the determination, so is he the one who should be providing clarification here, or should I inquire with him directly? I assume he can also clarify the applicable municipal regulations that govern my contact with City Council in this case?

Thanks,  
Derek

On Tue, Feb 25, 2025 at 11:14 AM Amy Chen <achen@cityofepa.org> wrote:  
Hello Derek,

I did receive that message through the Vice Mayor and it was forwarded to the City Manager and City Attorney. The City Attorney determined that your message to the Vice Mayor is not sufficient to start the appeals process. You need to submit the appeals form to our Building team and pay the processing fee to official start your appeal.

Please also refrain from contacting the City Council moving forward on this matter because they need to remain unbiased and they should not have communication with you as they will be hearing your appeal, if submitted.

Thank you,

**Amy Chen**  
Director of Community and Economic Development  
City of East Palo Alto  
1960 Tate St  
East Palo Alto, CA 94303  
[achen@cityofepa.org](mailto:achen@cityofepa.org)

---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Tuesday, February 25, 2025 9:46 AM  
**To:** Amy Chen <achen@cityofepa.org>

Gmail - Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

**Cc:** Donald Zhao <dzhao@cityofepa.org>; Housing <housing@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>; Akhil Aggrawal <akhil183@gmail.com>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Amy and Donald,

Hope all is well. After discussing with the homeowner, we've decided to move forward with the formal appeals process. I've spoken to Vice Mayor Mark Dinan about the situation and submitted an initial message of appeal to his city email address, and I believe he has forwarded the appeal to the city manager and to you, Amy. Please confirm if you haven't received, and please confirm that the process as has been initiated through a councilmember correctly follows the mechanism as detailed in the city fee schedule for waiving the appeals fee.

I'd like to reiterate that I'd be happy to support with whatever documentation would be helpful, including the staff report, given that I have provided this kind of support in the past, and given that, over multiple conversations now, I believe we are on the same page about the facts and circumstances of the case, though of course, where there remains disagreement of any kind, I believe the documentation should present each argument as clearly and faithfully as possible, so that city council can best their decision, and so that it serves as the most useful public record of the case. I'm also mindful of minimizing the burden of the process given limited staff bandwidth; concurrently, I am working closely with Yajaira on a streamlined procedure for annual APR reporting, which has been saving Housing, Planning, and Building staff time for three years running now.

Thanks, and we look forward to hearing from you.  
 Derek

On Thu, Dec 19, 2024 at 4:42 PM Derek Ouyang <derekouyang@gmail.com> wrote:  
 Thanks so much for the quick turnaround!  
 All the times work, with preference for 1/7! And yes, feel free to send the virtual invite!

Thanks,  
 Derek

On Thu, Dec 19, 2024 at 4:29 PM Amy Chen <achen@cityofepa.org> wrote:  
 I connected with our team, Donald and Alex, how about these times:

1/7 - 11am-12pm, 3-4pm  
 1/8 - 2-3pm

I am assuming this will be a virtual meeting and I can send out the meeting invite upon your preference of times.

Thanks,

**Amy Chen**  
 Director of Community and Economic Development  
 City of East Palo Alto  
 1960 Tate St  
 East Palo Alto, CA 94303  
 achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, December 19, 2024 10:55 AM  
**To:** Amy Chen <achen@cityofepa.org>  
**Cc:** Donald Zhao <dzhao@cityofepa.org>; Housing <housing@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Got it! Sorry about that, it'll probably just be easier to coordinate directly moving forward. I can do a Teams call pretty flexibly throughout that week, so feel free to let me know a few times that work well for you and Donald!

Thanks,  
 Derek

On Thu, Dec 19, 2024 at 10:53 AM Amy Chen <achen@cityofepa.org> wrote:

Yes I have been back. But I am going back out on starting next week for two weeks.

So yes let's schedule for the week of Jan 6. Sorry about that confusion.

Thanks,

**Amy Chen**  
 Director of Community and Economic Development  
 City of East Palo Alto  
 1960 Tate St  
 East Palo Alto, CA 94303  
 achen@cityofepa.org

---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, December 19, 2024 10:41 AM  
**To:** Donald Zhao <dzhao@cityofepa.org>  
**Cc:** Housing <housing@cityofepa.org>; Amy Chen <achen@cityofepa.org>; Alex Waggoner <awaggoner@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Amy, are you back in the office yet? I had shared my availability with Chasidy for a prompt discussion, but I assume an opportunity to meet hasn't come up yet, and I know she'll be transitioning out now. I am still as eager as before to get my questions answered, and can meet between now and 12/24 mid-day, if that works for you and Donald. Otherwise, maybe we can still get a meeting on the calendar the week of 1/6?

Thanks,  
 Derek

On Mon, Nov 25, 2024 at 1:33 PM Donald Zhao <dzhao@cityofepa.org> wrote:  
 Good afternoon, Derek,

This conversation involves more than just one division of CEDD and should include Amy Chen (CEDD Director). She's currently out of the office, but can we meet with her? Let's coordinate a time when she returns. Thanks.

**Donald Zhao**  
 Interim Building Official  
 Phone (925) 997-4322  
 Email [dzhao@cityofepa.org](mailto:dzhao@cityofepa.org)  
 Web [www.cityofepa.org](http://www.cityofepa.org)  
 1960 Tate Street, East Palo Alto, CA 94303

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On Fri, Nov 22 2024 at 8:29 AM, Derek Ouyang <derekouyang@gmail.com> wrote:

Chasidy – sorry about that. I actually think the other thread makes more sense as the place to get on the same page, since that's the original thread that has all the prior correspondence with Building. Does that make sense to you? Thanks for your attention to this though!

In terms of your previous email -- yeah this is still part of my confusion about the fee I'd like to get complete clarification on. You described it as "the \$9k amount would be cost to appeal staff's decision to the CBO". Why would it be an appeal to the CBO? I thought we're talking about the city council? And all my questions on the main thread still stand.

Thanks, and again sorry if I'm missing things,  
 Derek

On Fri, Nov 22, 2024 at 8:17 AM Chasidy Miles <cmiles@cityofepa.org> wrote:  
 Hi Derek,

Following up here on my email in case you missed it. I think it would be helpful to keep all of our documentation on the same page. I see you've started a separate thread on this issue.

It was mentioned that EPACANDO was also assisting on this, which we had an opportunity to discuss together on Friday. Once you get the information you're looking for regarding our appeals process, please let us know when you'd like to walk through and discuss.

Kindly,  
Chasidy

Get Outlook for iOS

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**From:** Chasidy Miles <cmiles@cityofepa.org>  
**Sent:** Thursday, November 14, 2024 3:44 PM  
**To:** Derek Ouyang <derekouyang@gmail.com>  
**Cc:** Housing <housing@cityofepa.org>  
**Subject:** RE: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Hi Derek,

I apologize for the delay here, as I was out yesterday and playing catch-up on Tuesday. I reached out to Donald, and their interpretation of the code stands. It sounds like the \$9k amount would be cost to appeal staff's decision to the CBO.

Would it help to sit down with EPACANDO and talk through the pros and cons? It doesn't sound like we have a lot of flexibility to change the outcomes this time around, but I do think it'd still be worthwhile to bring Anna in to review this case and discuss best practices moving forward.

What are your thoughts?

Kindly,

<image001.png>

**Chasidy Miles**  
 She/They  
 Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** [cmiles@cityofepa.org](mailto:cmiles@cityofepa.org)  
**Web** [www.cityofepa.org](http://www.cityofepa.org)  
 1960 Tate Street, East Palo  
 Alto, CA 94303

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---

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 14, 2024 12:26 PM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Chasidy, hope all is well! Any updates from conversations with Donald and/or Amy?

Also, do you happen to know if the City has considered applying for this designation? <https://www.hcd.ca.gov/planning-and-community-development/prohousing-designation-program>  
 Looks like only Redwood City has received it, within SMC.

Best,  
Derek

On Thu, Nov 7, 2024 at 10:38 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

Any time!

**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 7, 2024 10:37 AM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

OK sent you an invite for 2:30, thanks!

On Thu, Nov 7, 2024 at 9:10 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

Derek,

I apologize as well – it looks like I missed your last message.

I am busy for the rest of the day, with the exception of 2-3. If that time doesn't work, what about Friday?

Kindly,

<image001.png>

**Chasidy Miles**  
 She/They  
 Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** cmiles@cityofepa.org  
**Web** www.cityofepa.org  
 1960 Tate Street, East Palo  
 Alto, CA 94303

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**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Thursday, November 7, 2024 7:56 AM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Chasidy, sorry if I missed an invite from you on Tuesday. I'm free between 9:30-2p today, can you chat in that window?

On Tue, Nov 5, 2024 at 10:23 AM Derek Ouyang <derekouyang@gmail.com> wrote:

I can chat any time today, so feel free to send a calendar invite at a time that works for you!

Thanks,  
Derek

On Tue, Nov 5, 2024 at 10:17 AM Chasidy Miles <cmiles@cityofepa.org> wrote:

That's helpful to know. Do you have any availability today? If not, when is a good time to speak?

Amy might not be available, but I can hop on a call to discuss further if you'd like.

Kindly,

<image001.png>

**Chasidy Miles**  
 She/They

Temporary Housing Staff  
**Phone** (650) 853-3189  
**Email** cmiles@cityofepa.org  
**Web** www.cityofepa.org  
 1960 Tate Street, East Palo  
 Alto, CA 94303

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**From:** Derek Ouyang <derekouyang@gmail.com>  
**Sent:** Monday, November 4, 2024 7:17 PM  
**To:** Chasidy Miles <cmiles@cityofepa.org>  
**Cc:** Amy Chen <achen@cityofepa.org>; dbay <dbay@epacando.org>  
**Subject:** Re: Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

Thanks Chasidy! Unfortunately I have a medical appointment at that time so it won't work for me. I'm also mindful of the timing for the appeal on a Building Official determination -- do you know in this case whether there is a deadline that would apply?

Thanks,  
 Derek

On Mon, Nov 4, 2024, 7:14 PM Chasidy Miles <cmiles@cityofepa.org> wrote:

Hi Derek,

It's nice to hear from you. Let's see what time we can find on our calendar.

Amy will be out for a conference this week. How does Friday, November 15<sup>th</sup> at 11:00 AM work for you?

Kindly,

<image001.png>

**CAUTION:** This e-mail originated from outside of the organization. Do not click links or open attachments unless you validate the sender and know the content is safe.

<untitled>

--  
 Derek Ouyang  
 (626)246-8299

--  
 Derek Ouyang  
 (626)246-8299

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4/14/25, 4:38 PM

Gmail - Meeting to brief EPA Housing + Community Development on 1174 Laurel ADU issue

198

Derek Ouyang  
(626)246-8299

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Derek Ouyang  
(626)246-8299

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# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

---

**DATE:** June 3, 2025  
**TO:** Honorable Mayor and Members of the City Council  
**VIA:** Melvin E. Gaines, City Manager  
**BY:** James Colin, City Clerk  
**SUBJECT:** Planning Commission Appointments

---

## **Recommendation**

Interview applicants for the Planning Commission; and appoint applicants for Regular or Alternate Seats.

## **Alignment with City Council Strategic Plan**

This recommendation is primarily aligned with:

Priority No. 1: Promote Housing, Economic and Workforce Development  
Priority No. 3: Promote Health & Public Safety  
Priority No. 4: Ensure Our Financial and Organizational Health

## **Background**

The City Council of the City of East Palo Alto is seeking candidates to make the following appointments:

### **Planning Commission appointments for the following terms:**

Regular Seat No. 3: From July 8, 2025, through May 31, 2028  
Regular Seat No. 4: From July 8, 2025, through May 31, 2028  
Alternate Seat No. 1: From May 31, 2025, through May 31, 2026

The application period remained open through June 3, 2025. Applications were accepted

## **POLICY AND ACTION ITEM 9.1**

electronically via the SurveyMonkey platform. Outreach was conducted through the City's social media platforms, various newsletters sent to over 4,000 residents, targeted Facebook advertisements, and the City's website.

At the May 20, 2025, City Council meeting, the Council interviewed the following applicants:

- Christopher Kao
- Elena Savva
- Elena Kogan
- DeVan Taylor
- Maria Rocha
- Elizabeth Pulido
- Gail Dixon

However, the Council did not make any appointments at that time due to an error in communication, which resulted in some applicants not receiving timely notice to attend the meeting. In order to ensure fairness and uphold the integrity of the selection process, the Council decided to interview the rest of the applicants at the June 3, 2025, meeting so that all eligible applicants would have an equal opportunity to participate.

The City Clerk has notified all applicants who were not interviewed on May 20 that they will have the opportunity to be interviewed on June 3, 2025.

To further support inclusiveness and participation, the City is continuing to accept applications through June 3, 2025. Any new applications received before that date will be included in the interview process.

### **Selection Process**

In order to ensure an efficient and transparent Brown Act compliant selection process, the procedure for review is as follows:

1. City Council will review the applications attached to the June 3, 2025, agenda.
2. City Council will be provided with a voting form at the beginning of the agenda item from the City Clerk.
3. City Council will conduct interviews.
4. City Council will make its selections by motion.

### **Attachments**

1. Planning Commission Applications

#1

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Tuesday, April 08, 2025 5:36:05 PM  
**Last Modified:** Tuesday, April 08, 2025 5:42:29 PM  
**Time Spent:** 00:06:23  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

Christopher Kao

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

I would like to serve on the Planning Commission because I care deeply about East Palo Alto's future and have already been actively involved in shaping it. As the chair of the Public Works and Transportation Commission, I've worked collaboratively to research infrastructure funding, improve ADA accessibility, and enhance pedestrian safety through efforts like the temporary traffic circles on Pulgas and Fordham. My engagement with the Ravenswood Business District Specific Plan update reflects my long-term commitment to thoughtful development: I proactively shared transportation data with the city's consultants, such as SamTrans' plans for Bus Rapid Transit and the launch of the EPX route, to help ensure our transit models reflect both present and future needs. I want to bring this same energy and follow-through to the Planning Commission, especially now that the specific plan is entering a phase where implementation decisions will have a lasting impact on the community.

My vision for East Palo Alto is a walkable, mixed-use, multimodal city that meets the aspirations of current residents and future generations. I believe the next evolution of the Planning Commission must include voices that understand both the need for inclusive growth and the importance of preventing displacement. I'm part of a generation that sees thriving, connected places like Cityline in downtown Sunnyvale or Huxley in Redwood City and wants to see something similar—yet rooted in EPA's values—emerge here. I know that the Ravenswood and Four Corners area, located within 0.5 miles of a major transit stop, is a unique opportunity zone for equitable development. With three years of commission experience, a record of community-oriented action, and a commitment to collaboration, I hope to bring a balanced, thoughtful perspective to the Planning Commission that reflects the city's diversity and long-term interests.

---

#2

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Wednesday, April 23, 2025 10:12:33 AM  
**Last Modified:** Wednesday, April 23, 2025 10:18:55 AM  
**Time Spent:** 00:06:21  
**IP Address:** [REDACTED]

---

Page 1: Planning Commission Application

**Q1**

Name

Tonga Victoria

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

I would like to serve on the Planning Commission because I believe equitable development is the cornerstone of a just and thriving city. As someone who was born and raised in East Palo Alto, and who has spent over a decade working at the intersection of housing, policy, and community voice, I understand how planning decisions today will define the future of our neighborhoods for generations. As a current Public Works & Transportation Commissioner, I've already helped shape infrastructure conversations around mobility, youth access, and environmental resilience. I see the Planning Commission as a next step to ensure our general plan, zoning, and development projects uphold principles of racial and economic justice, sustainability, and long-term community benefit.

My approach is rooted in transparency, inclusion, and proactive collaboration. I want to help ensure that as our city grows, it grows with intention—preserving the cultural integrity of East Palo Alto while creating real pathways to affordability, ownership, and opportunity for all.

---

#3

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Thursday, April 24, 2025 4:34:50 AM  
**Last Modified:** Thursday, April 24, 2025 5:11:56 AM  
**Time Spent:** 00:37:06  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

Elena Savva

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

Serving on the Planning Commission isn't just a civic duty for me a chance to actively shape the future of our town. I want to be a thoughtful voice, advocating for growth that respects and enhances the very fabric of our neighborhoods and the natural beauty that surrounds us. Beyond connection to our community, I also feel a strong sense of responsibility to participate actively in our local governance. I genuinely believe that each of us has a role to play in shaping our future. I understand that the decisions made by the Planning Commission have long-lasting ripples, and I'm prepared to dedicate the necessary time and energy to delve into each proposal, understand the nuances of our regulations, and make well-informed choices that genuinely serve the best interests of our entire community. I have architect degree. My years of training and professional experience have given me an understanding of how spaces work, the principles that guide good design, the practicalities of building codes, and the real-world implications of planning policies. I believe this allows me to offer meaningful perspectives on the feasibility and overall quality of development projects and I genuinely believe my expertise can be an asset in shaping a brighter future for our community.

---

#4

**COMPLETE**

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**Last Modified:** Friday, April 25, 2025 10:06:51 AM  
**Time Spent:** 00:01:56  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

Elena Kogan

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

Because I am passionate about the city where I and my family have lived for 25 years. I want to see it improve and thrive.

---

#5

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Friday, May 02, 2025 6:47:43 AM  
**Last Modified:** Friday, May 02, 2025 7:15:27 AM  
**Time Spent:** 00:27:44  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

Michael Mashack

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

Respondent skipped this question

E-mail Address

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

Having grown up in the Gardens neighborhood where I raised my children, coached youth sports, maintain an active leadership role as a YMCA Board Member, and have served on various City Boards, Committees, and Commissions, I understand the hopes and concerns of our East Palo Alto families, seniors, and small businesses. Witnessing firsthand and in real-time, East Palo Alto's rapid growth and the pressures of displacement, I want to help ensure that new development reflects and uplifts the needs of all East Palo Alto residents.

I'm eager to continue serving on the East Palo Alto Planning Commission, where I've proudly led the commission as the Chair of the Commission for the past two years. During my tenure, I've helped guide complex, community centered land use decisions such as the RBD Specific Plan and Housing Element Compliance, affordable housing policy to open space planning, and I remain committed to ensuring our rapid growth benefits all residents.

I want East Palo Alto to be a model of thoughtful urban growth: one that balances new economic opportunity with social equity, green infrastructure with neighborhood scale, and pedestrian safety with regional connectivity. By serving on the Planning Commission, I will continue to work to integrate innovative sustainability standards, strengthen zoning protections for small scale entrepreneurs, and expand community outreach so that every resident, regardless of background or income, can participate meaningfully in shaping our city's future.

Thank you for considering my application. I'm committed to continuing the investment of my time, energy, and local knowledge to help guide East Palo Alto's next chapter of growth in a way that honors its past and empowers its people.

---

#6

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Tuesday, May 06, 2025 6:13:23 PM  
**Last Modified:** Tuesday, May 06, 2025 6:30:18 PM  
**Time Spent:** 00:16:54  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

DeVan Taylor

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

Respondent skipped this question

City

---

**Q4**

Respondent skipped this question

E-mail Address

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

I would like to serve on the Planning Commission because I care deeply about preserving and uplifting the values, voices, and vision of East Palo Alto residents. Our city has a rich history of cultural diversity, community activism, and resilience in the face of displacement and inequity. I want to help ensure that future development reflects that legacy and is shaped with strong local input. With a background in public administration, policy development, and community engagement, I bring the tools to support planning decisions that prioritize affordability, environmental sustainability, and inclusive growth. I believe planning is not just about buildings and zoning — it's about creating a city where families can stay rooted, where elders can age with dignity, and where future generations feel a sense of belonging. My goal is to support development that includes local voices, celebrates our cultural heritage, and ensures that East Palo Alto's residents remain at the center of its future.

---

#7

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Thursday, May 08, 2025 2:32:26 PM  
**Last Modified:** Thursday, May 08, 2025 2:36:32 PM  
**Time Spent:** 00:04:06  
**IP Address:** [REDACTED]

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Page 1: Planning Commission Application

**Q1**

Name

Maria Rocha

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto, CA 94303

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

I would like to serve on the Planning Commission because East Palo Alto is not just where I live—it's where I was raised, where I taught, and where I've chosen to raise my own family. As a second-generation resident with deep community ties, I have seen our city grow through both challenges and triumphs. My lived experiences—as a student, educator, mother, and public servant—have given me a unique understanding of our community's needs, especially around responsible development, housing, and infrastructure.

I believe thoughtful planning should center the voices of long-standing residents, prioritize equity, and preserve the rich cultural and historical fabric of East Palo Alto. With my professional background in project management, policy writing, and access control at Stanford, I bring skills in collaboration, safety, and sustainability that I believe can support the city's growth in a balanced and community-driven way. This is my opportunity to give back in a tangible way to the city that has shaped me.

---

#8

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Thursday, May 08, 2025 5:12:36 PM  
**Last Modified:** Thursday, May 08, 2025 5:31:02 PM  
**Time Spent:** 00:18:26  
**IP Address:** [REDACTED]

---

Page 1: Planning Commission Application

**Q1**

Name

Robert Allen Fisk

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto, CA 94303

---

**Q4**

Respondent skipped this question

E-mail Address

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

I am a senior member of the commission having served for the last decade. I am knowledgeable of developments in the city, past, present and future (yet to be built). At my urging and participation, I am responsible for the city adopting the Condo Conversion Ordinance (limitations) and the Ellis Act Mitigations (financial and tenant protections). In addition, I have served as Treasurer for the last 4 city propositions (JJ, V, L, HH) and was responsible for tracking income and expenses and filing 410s, 460s and other required FPPC documents with the city clerk.

Here is additional information that you may want to review that I provided in previous appointment applications.

=====

What is your understanding of the purpose of this Advisory body?

Since the commission reviews all development proposals requiring a use permit, architectural control, variance, minor subdivision and environmental review associated with these projects, I see clearly that the Commission serves as one of the recommending bodies to the City Council for major subdivision, rezoning, conditional use permits and planned unit development permits. All developers need to be treated fairly and equitably as do our citizens by requiring quality construction and planning that serves all our citizen needs including maximizing community benefits.

Please describe briefly why you want to serve on the Board, Commission, or Committee you choose, and what you hope to accomplish as a member:

Preserve affordable housing, add additional affordable housing (BMRs), and prevent resident displacement.

Please list 3 issues facing the City that you feel the Advisory Body should address:

(1)Traffic and (2) parking impacts in upcoming projects should not be considered separately but altogether. Three projects will affect the University Avenue corridor: two at Woodland Ave, one at Donohoe, and one at Bay Road. Plus we need to leverage all projects to provide the (3) maximum community benefits.

**EDUCATIONAL & OCCUPATIONAL BACKGROUND:**

Education: B.S., Biology, University of Massachusetts, Amherst  
M.A., Biology, University of California, Berkeley (candidate)  
NeuroBiology, NeuroChemistry, coursework (Stanford University)  
A+ Certification, CompTIA, Networking Essentials, Cisco/Sun Academy  
Unix System Administration Certificates. OICW, Menlo Park

Occupation: Retired

Prior work experience includes:

Systems Engineer, Information Technology, Sun Microsystems, and Tandy Corporation;  
Research Associate (Biotechnology) at Syntex Corporation & Syntex Research;  
Neurology Research, Veteran's Administration Hospital and Stanford University;  
Electron Microscopy, UCSF Medical Center, San Francisco;  
Property Manager, J&R Associates, East Palo Alto

COMMUNITY INVOLVEMENT: Do you/ did you belong to any other Civic affiliations? Did you participate in any community activities? Please list them and share your experiences:

Planning Commissioner:

## Planning Commission Application 2025

PC Sub-Committee on Subdivisions, Chair; PC Sub-Committee on Condominium Conversion; PC Liaison to Westside Area Plan Advisory Committee

Rent Stabilization Board Member (Chair, 2005):

RSB Sub-Committees: (1) Rules & Regulations; (2) Operational Excellence

RSB Ad-hoc Committee on Condominium Conversion; Joint PC/RSB Condo Conversion

Syntex Corporation, Veterinary Explorer Post Leader 1977-78

Syntex Research, Safety Committee (Radioactive, Bio-hazardous, & other Toxic Wastes)

Filoli Gardens and Nature Preserve (1 square mile) and a National Trust Site for Historic Preservation in Woodside

Nature Education Docent and House & Garden Docent; School Day Hikes (2 miles) for students (grades 1-5)

I attended all the Westside Area Plan Advisory Committee and GPAC meetings as well as other General Plan community meetings at the YMCA and the RSB and the consultant led city hall workshops. Attended YUCA and Woodland Park community meetings.

Measure HH +V campaigns: accounting, website maintenance, and outreach efforts in 2018 &2020 and other campaigns notably the NO on E(victions) and JOP campaigns in the past.

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#9

**COMPLETE**

**Collector:** Web Link 1 (Web Link)  
**Started:** Friday, May 09, 2025 1:13:02 AM  
**Last Modified:** Friday, May 09, 2025 1:15:56 AM  
**Time Spent:** 00:02:53  
**IP Address:** [REDACTED]

---

Page 1: Planning Commission Application

**Q1**

Name

Andre Guzman

---

**Q2**

Home Address

[REDACTED]

---

**Q3**

City

East Palo Alto

---

**Q4**

E-mail Address

[REDACTED]

---

**Q5**

Phone Number

[REDACTED]

---

**Q6**

Yes

Are you available to attend regular Commission meetings scheduled for the second and fourth Monday's of every month at 7:00 pm?

---

**Q7**

Why would you like to serve on the Planning Commission?

To continue to grow roots deep in the community and develop a better east palo alto. My grandfather was on a few of the first commission boards prior to the city being incorporated. East Palo Alto has been home to us for decades.

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# **EAST PALO ALTO CITY COUNCIL STAFF REPORT**

---

**DATE:** June 3, 2025

**TO:** Honorable Mayor and Members of the City Council

**VIA:** Melvin E. Gaines, City Manager

**BY:** Orly Amey, Assistant to the City Manager  
Shiri Klima, Assistant City Manager

**SUBJECT:** FY2025–2029 Strategic Priorities Framework and FY2025–2027 Council Work Plan

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## **Recommendation**

1. Receive results from the second round of community engagement, including the Council project prioritization process and community survey data;
2. Affirm the FY2025-2029 Strategic Priorities;
3. Provide direction on carryforward and new projects in the FY2025-2027 Work Plan;
4. Direct staff to finalize the Work Plan for formal adoption at the June 17, 2025, City Council meeting; and
5. Direct staff to include necessary appropriations for Work Plan projects in the proposed budget to be adopted at the June 17, 2025, City Council Meeting.

## **Alignment with City Council Strategic Plan**

This recommendation is primarily aligned with:

Priority: Promote Housing, Economic and Workforce Development

Priority: Implement the Comprehensive Transportation and Mobility Plan

Priority: Promote Health & Public Safety

Priority: Ensure Our Financial and Organizational Health

Priority: Improve the City's Water Infrastructure

Priority: Develop and Implement a Comprehensive Facilities Master Plan

Priority: Enhance Community Services and Parks for Residents

## **Executive Summary**

## POLICY AND ACTION ITEM 9.2

The City of East Palo Alto is nearing completion of a strategic planning process to establish the FY2025–2029 Strategic Priorities and FY2025–2027 Council Work Plan. This staff report outlines the process undertaken to develop the framework, summarizes the community input that shaped it, and presents the recommended priorities and possible project selections for Council adoption. Following extensive engagement and project scoping, a total of 111 projects were reviewed by Council, who provided direction on which to advance for feasibility analysis. Staff now return with a final recommendation for adoption of a four-year Strategic Priorities framework and a focused two-year Work Plan consisting of 22 new and 37 carryforward projects that align with City needs, organizational capacity, and Council direction.

### **Background**

The City has undertaken a comprehensive strategic planning process to define a set of four-year Strategic Priorities and a two-year Work Plan. This initiative was launched in Fall 2024 following Council's direction to develop a four-year Strategic Priorities framework, complemented by a focused two-year Work Plan.

This process began with project scoping and consultant onboarding in Fall 2024. The City retained Raimi + Associates (R+A) to guide the development of the strategic planning framework and facilitate community and Council engagement. Internal alignment efforts were conducted through a cross-departmental working group to ensure feasibility and coordination across City departments.

Community engagement has been central to the priority-setting and work plan development process. Between February and March 2025, staff and consultants conducted a broad-based community engagement process. This included key leader interviews with institutional partners, multiple stakeholder focus groups, and a citywide community workshop held on March 8, 2025. That same day, Council held a Goal-Setting Retreat to reflect on input and begin shaping preliminary priority areas.

By April 2025, staff and R+A synthesized the information collected through this process into a preliminary list of 13 strategic themes, which were further refined into 7 proposed priority areas. City departments were then asked to submit project proposals aligned with these priorities, including both new initiatives and recommended carryforward projects from the FY2024–2025 Work Plan.

On April 22, 2025, the City Council held a Study Session to review the full draft project inventory. Council reviewed a total of 111 projects—61 in-progress projects from the FY2023–2025 Work Plan and 50 new project proposals developed through community engagement and departmental scoping. Staff presented the prioritization framework and advised that 23 of the FY2023–2025 Work Plan projects were either expected to become operational or to be completed by June 30, 2025. The 38 projects projected to continue into FY2025–2026 were presented as potential carryforward projects to be included in the FY2025–2027 Work Plan.

The City Council affirmed that the 38 projects should carry forward – 37 of them have been

## POLICY AND ACTION ITEM 9.2

included FY2025-2027 Work Plan, with the exception of the grant-funded carryforward project Activate City Parks with Health and Safety Programming. Upon further review, staff determined that it is not feasible to proceed with the project given that the grant has concluded, so staff has removed it from the projects list. Council also directed staff to further evaluate a list of potential new projects for inclusion based on staffing and funding capacity. This June 3, 2025, agenda report includes staff evaluation of new projects and includes a recommended four-year strategic priorities framework and two-year work plan.

### Analysis

#### Insights from Second Round of Community Engagement

After the April 22 Study Session, the City launched a second round of community engagement to validate the draft Strategic Priorities and inform final project selection for the FY2025–2027 Work Plan. This round included an online survey, two public workshops, and pop-up outreach events across the community.

The City hosted an in-person workshop at the YMCA on May 7 and a virtual workshop on May 12. Each workshop included a presentation on the strategic planning process, small group discussions, and opportunities for participants to reflect on the proposed priorities and projects. In addition, City staff conducted pop-up outreach at the Bloomhouse Farmers Market and the Cinco de Mayo celebration at Bell Street Park. These events helped reach a broad cross-section of residents who may not have been able to attend the formal workshops.

The community survey—available online in English and Spanish—received over 175 responses. Residents were asked to reflect on the Strategic Priorities, rank up to 10 projects from the total list of new projects, suggest missing projects, and offer open-ended feedback.

Across workshops and survey feedback, several themes consistently emerged, including infrastructure and neighborhood safety, housing stability, emergency preparedness, youth and senior services, and calls for greater transparency and communication.

Overall, community input reinforced strong alignment with the proposed Strategic Priorities and helped shape the recommended Work Plan. Residents voiced broad support for the City’s direction while identifying areas where staff could refine or expand efforts. A full summary of findings is provided in **Attachment A**.

#### Proposed Strategic Priorities Framework

The final Strategic Priorities framework reflects the synthesis of community input and Council direction. It outlines seven priority areas for the City of East Palo Alto for the next four years:

1. **Civic Engagement:** Provide diverse and inclusive opportunities for all EPA community members to participate in City meetings, have a voice in City affairs, and develop leadership skills for EPA youth.

## POLICY AND ACTION ITEM 9.2

2. **Governance, Organizational Strength, and Fiscal Sustainability:** Strengthen the City's internal capacity, transparency, and long-term financial health by improving core operation, investing in workforce and systems, and implementing data-informed strategies to ensure effective service delivery, accountability, and fiscal resilience.
3. **Comprehensive Housing:** Increase the City's housing stock at all income levels (from affordable to market rate), facilitate pathways to homeownership, and guard against the displacement of existing residents.
4. **Land Use, Economic, and Workforce Development:** Support balanced development that attracts investment, strengthens local businesses, and expands access to quality jobs and services that meet local needs.
5. **Parks, Recreation, and Community Facilities:** Invest in the modernization and expansion of the City's parks, recreation, and community facilities and services to increase residents' access to open spaces and recreational opportunities.
6. **Public Health, Safety, and Quality of Life:** Implement and enforce strategies to ensure public safety, improve the livability of neighborhoods, and prepare the City for disasters and emergencies.
7. **Public Infrastructure and Utilities:** Maintain, modernize, and expand the City's physical infrastructure (streets, sidewalks, utilities) to support existing homes and businesses, and new development.

The survey listed these proposed Strategic Priorities and asked: "To what extent do these Strategic Priorities align with the main issues that the City should address to improve the East Palo Alto community?" 78% of the respondents stated that they either agree or strongly agree with these priorities.

### Proposed FY2025-2027 Work Plan

Prior to conducting a project feasibility review, staff made administrative adjustments to the proposed new project list. As a result of these adjustments, the number of new proposed projects reduced from 27 to 23. Changes included:

- The proposed projects "Launch Financial Empowerment and Foreclosure Prevention Program" and "Launch Foreclosure Prevention Fund Program" were merged into a single initiative.
- A new youth civic engagement project was combined with a carryforward project focused on creating a youth commission. This effort is now reflected as a carryforward project titled "Develop Recommendations for Establishing a Youth Commission or Alternative Youth Civic Engagement Program."
- The project "Design and Construct Road Improvements on Woodland Avenue from

## POLICY AND ACTION ITEM 9.2

University Avenue to Newell Road” was mistakenly identified as new during the April 22 Study Session; it is actually a carryforward project.

- The projects “Implement Quick-win Projects from the Parks Master Plan” and “Implement Parks Lighting and Safety Improvement Program” were merged into a single project: “Implement Priority Projects from the Parks, Recreation, and Open Space Master Plan.”

Following these adjustments, staff conducted an in-depth feasibility assessment of the 23 remaining projects. This included analysis of alignment with the seven Strategic Priorities, departmental workload and capacity to manage additional projects, budget availability (including one-time and ongoing costs), and logical phasing and sequencing over the FY2025–2027 cycle. In particular, there were some key considerations, which include:

- Departmental capacity is limited. Many departments are already managing high workloads. Without consultant support or additional staff, they cannot take on more complex projects. As a result, projects are phased across two years to avoid overextension.
- Funding considerations are critical. One-time costs have been incorporated into the FY 2025–2026 proposed budget where feasible. The City Council may choose to allocate unassigned General Fund reserves but must recognize these funds are limited and are not ongoing.
- Ongoing fiscal impacts are avoided. Staff suggests caution in adding recurring General Fund commitments—such as new full-time positions—given the City’s structural deficit.

Each proposed project was evaluated for readiness and includes a description, lead department, cost estimates, staffing impacts, and implementation timeline. Based on this process, staff reviewed 61 projects for the FY2025–2027 Work Plan—37 carryforward projects from the FY24-25 Work Plan, and 23 new projects.

See **Attachment B** for a detailed evaluation matrix of all proposed projects.

### Distribution of Projects by Lead Division

To better understand workload distribution, staff analyzed the number of projects led by each division, including carryforward and new initiatives:

- Public Works – Engineering leads the most projects: 19 total (17 carryforward, 2 new).
- City Manager’s Office divisions (Main, Community Services, Information Technology, and Human Resources) collectively lead 20 projects, including 5 new initiatives focused on modernization, civic engagement, and equity.
- Other departments, such as Housing (CEDD) and Finance, are also leading multiple

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new and resource-intensive projects, many of which require phased implementation or consultant support.

Because staff expertise is in many cases specialized, reallocating personnel between divisions (e.g., from the City Manager's Office to Engineering) is not feasible. This analysis underscores the need for phased implementation, cross-departmental coordination, and strategic staff augmentation to deliver a realistic and achievable Work Plan.

### Projects **NOT** Recommended for the FY2025-2027 Work Plan

All 23 new project proposals were assessed for alignment with Strategic Priorities, fiscal impact, staffing capacity, and implementation feasibility. Although some projects are supported by community or Council interest, four are not recommended at this time due to feasibility challenges. **Three of these have alternative, modified versions included in the Work Plan for further research or scoping.** The fourth is not recommended because it has already been addressed through prior planning. These projects may be reconsidered in future cycles if staffing or funding conditions improve.

#### 1. Priority: Comprehensive Housing

- **Launch Residential Rental Inspection Program (CEDD – Building)**

The proposed program would enhance tenant protections and improve housing quality by establishing regular inspection standards and enforcement protocols to ensure residential rental properties comply with health and safety codes. Before the program can be launched, several steps are required: researching existing rental inspection programs, developing a program framework and guidelines, conducting legal review, drafting an ordinance, and obtaining City Council approval along with necessary resource allocation.

Due to current staffing and workload limitations, staff does not believe the program can be implemented within the next two fiscal years. Instead, staff offers an alternative project to study and begin drafting guidelines for a potential Residential Rental Inspection Program in East Palo Alto. **This research-focused project is included in the possible project list below.**

- **Launch a Financial Empowerment and Foreclosure Prevention Program (CEDD – Housing)**

This project proposes to launch and operate a local foreclosure prevention fund to support financial stability among residents. However, due to its high workload impact (4 of 5) and significant implementation needs, including a feasibility study, staffing, and funding, staff does not believe the program can be implemented within the next two fiscal years. Instead, staff offers an alternative project to research the feasibility of the program. **This research-focused project is included in the possible project list below.**

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- **Implement a First-Time Homebuyer Assistance Program (CEDD – Housing)**

The proposed program would develop a down payment assistance program for eligible first-time homebuyers. Staff proposes to further study a potential program and to receive further City Council input prior to committing to launching such a program. Therefore, this project is recommended against; however, **a project to research the feasibility of a first-time homebuyer assistance program is included as a possible project.**

- 2. Priority: Parks, Recreation, and Community Facilities

- **Study the Creation of a Parks and Recreation Department (CMO - Admin)**

This project would evaluate the feasibility of creating a standalone Parks and Recreation Department, replacing the current structure in which recreation programs are managed by the Community Services Division of the City Manager's Office. While the project has a moderate workload (3 of 5), a recent comprehensive effort already addressed this topic.

In April 2023, the City Council adopted the Parks, Recreation, and Open Space Master Plan, a two-year effort that included robust community engagement and organizational analysis. The plan, which cost \$370,000 to complete, already offers recommendations for future staffing and a department structure. Given this recent, in-depth planning work and the current lack of ongoing funds to support a new department, staff does not recommend inclusion of this project at this time.

Thus, 22 new projects remain in the FY 2025-2027 Work Plan (with 59 total projects).

### Potential Projects for the FY2025-2027 Work Plan

This section outlines the 22 new projects that staff recommends including in the FY2025–2027 Work Plan, based on the Council's prioritization exercise, community input and feasibility assessments. According to the latest community outreach, the most desired new projects are (in order of popularity):

1. Develop Citywide Sewer Master Plan
2. Expand Parking Enforcement Capacity
3. Install Citywide Lighting Improvements – Phase 2
4. Launch Emergency Preparedness Program
5. Develop a 10-Year Fiscal Strategy and Structural Deficit Plan
6. Launch Home Repair Program
7. Research the Feasibility of a First-Time Homebuyer Assistance Program
8. Fund Community Services for YMCA
9. Plan for Development of New Civic Center Facility
10. Implement Quick-Win Projects from the Parks Master Plan

### Costs of Recommended Projects

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While staff can potentially accomplish the remaining projects, collectively, it is important for Council to be aware of the costs. In FY2025-26, the impact is \$3,605,610 from the General Fund: \$1,639,610 for the new projects and \$1,966,000 for the continuing projects. (Most of the carryforward projects costs are already budgeted, but there’s likely \$580 thousand that could be requested in FY25-26, depending on policy direction predominantly related to the permit parking program.) This does not include the FY2026-27 impact for projects that must continue into that year or will only begin in that year, and it also does not include projects staff recommended against.

If all projects (both new and carryforward) are adopted, the FY 2025-2026 projected General Fund deficit will increase by \$1.34 million to \$3.43 million. There are also impacts to other funds, such as the Water Fund and IT Projects Fund. Additionally, many of these projects have ongoing fiscal impacts due to recurring software licensing costs, ongoing programs, or maintenance: that impact is estimated at \$800 thousand annually (of which approximately \$600 thousand is related to the carryforward project titled Launch a Residential Parking Permit Program, which could be reduced with permit fees) from the General Fund in the coming years, not including inflation; that amount would be added to the General Fund’s structural deficit as it would be carried forward year after year.

Table 1: Necessary FY2025-2026 General Fund Funding for Possible New Projects

Project		FY 2025-26 Funds		
		General Fund Cost Already in Proposed Budget	General Fund Cost Not Yet in Proposed Budget	Other Funds
<i>Priority: Civic Engagement</i>				
1.	Implement Sister City and Cultural Exchange Initiative	-	\$70,610	-
<i>Priority: Governance, Organizational Strength, and Fiscal Sustainability</i>				
2.	Conduct Council Term Limit Policy Research	-	\$7,000	-
<i>Priority: Governance, Organizational Strength, and Fiscal Sustainability</i>				
3.	Develop a 10-Year Fiscal Strategy and Structural Deficit Plan	-	\$150,000	-
4.	Implement a Centralized Grants Management System	-	\$150,000	-
5.	Prepare 2026 Ballot Measure to Raise Revenue for Infrastructure Improvements and Public Facilities	\$215,000	-	-
6.	Upgrade and Launch New City Website	-	-	\$50,000 – IT Fund

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Project		FY 2025-26 Funds		
		General Fund Cost Already in Proposed Budget	General Fund Cost Not Yet in Proposed Budget	Other Funds
<i>Priority: Parks, Recreation, and Community Facilities</i>				
7.	Conduct a Comprehensive Evaluation of Senior Center (as required per contract)	\$80,000	-	0
8.	Expand EPACenter Services and Programs Through City Funding	-	-	\$70,000 – TOT*
9.	Subsidize YMCA Memberships	-	-	\$100,000 - TOT
10.	Implement Priority Projects from Parks, Recreation, & Open Space Master Plan	\$305,000	-	\$1,755,000 – Light Dist
11.	Plan for Development of New Civic Center Facility	-	-	-
<i>Priority: Public Health, Safety, and Quality of Life</i>				
12.	Expand Parking Enforcement Capacity	-	\$350,000	-
13.	Implement a Shopping Cart Abatement Program	-	\$2,000	-
14.	Launch Emergency Preparedness Program	\$160,000	-	-
15.	Maintain Senior/ Disabled Individuals' Emergency Contact Database	-	-	\$50,000
<i>Priority: Public Infrastructure and Utilities</i>				
16.	Install Citywide Lighting Improvements - Phase II	-	-	\$2,000,000- Light Dist
17.	Develop Citywide Sewer Infrastructure Master Plan	-	-	\$100,000 - EPASD
<i>Priority: Comprehensive Housing</i>				
18.	Develop and Launch Home Repair Program	\$125,000	-	-
19.	Research Feasibility of a Residential Rental Inspection Program	-	-	-
20.	Update the Inclusionary Housing Ordinance	-	\$25,000	-
21.	Research Feasibility of Financial Empowerment and Foreclosure Prevention Program	-	-	-

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Project		FY 2025-26 Funds		
		General Fund Cost Already in Proposed Budget	General Fund Cost Not Yet in Proposed Budget	Other Funds
22.	Research the Feasibility of a First-Time Homebuyer Assistance Program	-	-	-
<b>TOTALS</b>		<b>\$885,000</b>	<b>\$754,610</b>	<b>(various funds)</b>

\* EPACenter received a separate \$30,000 TOT grant, so cumulatively this program will cost \$100,000

Staff is requesting that the City Council review the project descriptions presented in Attachment B and confirm that they align with the intended scope of work and outcomes that Council wish to see advanced. Clear project scopes will be essential to track progress and avoid future misalignment or under-delivery.

While each of these projects has merit, staff has included detailed commentary on associated barriers—including staffing workload, dependency on consultant support, and funding status—to ensure full transparency. This will help the Council understand the "lift" each project represents and allow for informed decisions around phasing and implementation support. Staff has listed the anticipated time impact, the project costs (both upfront and ongoing), and the proposed schedule. Staff requests the Council review this information carefully.

Staff's recommendations on potential new projects to be included in the Work Plan are detailed below. (Note carryforward projects are not listed here but can be found in Attachment B.)

### Priority: Comprehensive Housing

#### **Launch Home Repair Program (CEDD – Housing)**

This housing initiative would establish a City-supported program to deliver both minor and major home repairs for five to ten low-income households, with an emphasis on enabling senior residents to safely age in place. The program will be administered through a nonprofit partner selected via competitive RFP, and will include eligibility screening, repair coordination, community outreach, and compliance monitoring. A total of \$125,000 has already been allocated in the proposed FY25-26 budget from the Community Resource Fund to support program launch of the senior home repair component of this program. The full five-year program cost is estimated at \$825,000, and the remaining \$700,000 in funding would need to be allocated from non-General Fund sources such as Measure JJ, Transient Occupancy Tax (TOT), or County CDBG. The staff workload is rated as moderate (3 out of 5). Staff supports inclusion in the Work Plan.

#### **Research the Feasibility of a Residential Rental Inspection Program (CEDD – Building)**

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Community members and the City Council proposed a program that would enhance tenant protections and improve housing quality by establishing regular inspection standards and enforcement protocols to ensure residential rental properties comply with health and safety codes. Before the program can be launched, several steps are required: researching existing rental inspection programs, developing a program framework and guidelines, conducting legal review, drafting an ordinance, and obtaining City Council approval along with necessary resource allocation.

As stated above, staff does not believe the full program launch is currently feasible due to current staffing and workload limitations. However, this research-focused project is feasible. This project involves researching other cities' programs to understand the feasibility of a citywide Residential Rental Inspection Program to systematically inspect rental properties and ensure compliance with health and safety codes. As part of the scope of this light workload impact (2 of 5) project, staff would present to Council variants of programs, possible funding mechanisms, and resources needed. This project could be included in the Work Plan to determine whether such a program is feasible. This project does not require additional funding, as it will be implemented using existing staff capacity within current budget allocations.

### **Update Inclusionary Housing Ordinance (CEDD – Housing)**

This project proposes a review and potential update of the City's Inclusionary Housing Ordinance to reduce constraints on housing development and align with evolving State legislation. The effort would begin following the completion of the Countywide Grand Nexus Study, which will provide essential legal and economic data to guide any recommended changes. While the project workload is moderate (3 out of 5), the initiative will require significant coordination of multiple departments. Legal risk should also be considered, as similar updates in other jurisdictions have led to protracted legal challenges. Staff recommends inclusion of this project in the Work Plan. This project is **not** included in the proposed FY25-26 budget and expected to require a \$25,000 General Fund allocation in FY25–26 to support legal review and technical analysis; no funding is anticipated beyond this one-time expenditure.

### **Research the Feasibility of a Residential Rental Inspection Program (CEDD – Building)**

This project involves researching other cities' programs to understand the feasibility of a citywide Residential Rental Inspection Program to systematically inspect rental properties and ensure compliance with health and safety codes. As part of the scope of this light workload impact (2 of 5) project, Staff would research and present to Council variants of programs, possible funding mechanisms, and resources needed. Staff recommend inclusion of this project in the Work Plan to understand whether such a program is feasible. This project does not require additional funding, as the required research will be conducted using existing staff capacity within current budget allocations.

### **Research Feasibility of a Financial Empowerment and Foreclosure Prevention Program (CEDD – Housing)**

This project, a component of the Affordable Housing Strategy, proposes a research effort to

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evaluate the feasibility of creating a foreclosure prevention program aimed at supporting at-risk homeowners. This initial phase will include reviewing program models from other jurisdictions, identifying potential nonprofit and legal partners, and assessing implementation pathways specific to East Palo Alto's housing landscape. The program would build on best practices such as early intervention systems, emergency mortgage assistance, housing counseling, and legal aid partnerships. Staff recommend inclusion in the Work Plan given its light workload impact (2 of 5), alignment with the City's Housing priority and the potential long-term impact on housing stability for EPA residents. Implementation would be considered as a separate program, pending Council direction and funding allocations. This project does not require additional funding, as the required research will be conducted using existing staff capacity within current budget allocations.

### **Research the Feasibility of a First-Time Homebuyer Assistance Program (CEDD – Housing)**

This project includes research of a down payment assistance program for eligible first-time homebuyers. This phase will focus on researching best practices and identifying potential funding models. Staff will provide recommendations to the City Council and receive further Council direction. This project does not require additional funding, as the required research will be conducted using existing staff capacity within current budget allocations.

Priority: Civic Engagement

### **Implement Sister City and Cultural Exchange Initiative with the Kingdom of Tonga (City Clerk)**

This initiative proposes formalizing East Palo Alto's first Sister City relationship with a city in the Kingdom of Tonga, while establishing a broader framework for future cultural exchange partnerships. Activities include forming the East Palo Alto–Tonga Sister City Committee, executing a partnership agreement, organizing mutual delegation visits, and hosting ceremonial and cultural events. The project workload is moderate (3 out of 5), and while partial funding is available, feasibility will depend heavily on the volunteer committee's ability to coordinate logistics and fundraise for travel and events. Staff recommend inclusion in the Work Plan and could deliver on committee development, partnership planning, and coordination with Sister Cities International—with advancement to delegation travel and hosting contingent upon volunteer capacity and external fundraising progress. This project is **not** included in the proposed FY25-26 budget and would require a one-time General Fund allocation of \$70,610 in FY25–26 to support travel, event hosting, and initial partnership development activities, with a recurring annual cost of \$610 to maintain membership in Sister Cities International.

Priority: Governance, Organizational Strength, and Fiscal Sustainability

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### **Conduct Council Term Limit Policy Research (City Clerk)**

This project proposes legal and policy research to assess the feasibility, implications, and options for implementing term limits for City Council members. The work would include a review of best practices, legal requirements, and policy models, culminating in a report to the Council outlining term limit options and potential pathways for ballot placement.

With a manageable workload (3 out of 5), the project is a low-barrier initiative that advances transparency and supports long-term governance planning. If Council elects to move forward, additional work such as drafting ballot language and preparing election materials would be conducted in a future phase. Staff recommend inclusion of this project in the Work Plan, with any next steps contingent upon formal direction from the Council. This project is **not** included in the proposed FY25-26 budget and would require a \$7,000 General Fund allocation in FY25–26 to support legal review and policy analysis; if Council directs ballot placement, additional funding for election-related expenses would be needed in a future phase.

### **Develop a 10-Year Fiscal Strategy and Structural Deficit Plan (Finance)**

This foundational initiative addresses the City's estimated \$2 million annual General Fund structural deficit, which would only grow in time due to inflation, through development of a comprehensive 10-year fiscal strategy. The plan will include long-range revenue and expenditure forecasting, evaluation of cost containment and revenue enhancement strategies, and alignment of capital planning with operational budgeting to ensure long-term financial sustainability. With a moderate workload (3 out of 5) and no major upfront costs, the project is highly feasible and directly aligned with the City's Governance and Fiscal Sustainability priority. Staff recommends inclusion in the Work Plan, as the plan is critical to addressing the City's long-term financial health and will provide strategic guidance for future budget decisions. This project is **not** included in the proposed FY25-26 budget and would require a \$150,000 General Fund allocation in FY25–26 to support consultant services for long-term fiscal forecasting, cost containment analysis, and development of revenue strategies. No ongoing funding is anticipated beyond this initial planning investment.

### **Implement a Grants Management System (Finance)**

This project proposes the implementation of a centralized Grants Management System to safeguard and manage over \$156 million in active State, federal, and local grant funds. The platform will support citywide compliance with grants regulations, improve audit readiness, and reduce the risk of missed deadlines, fund lapses, or clawbacks. By automating reporting, reimbursement, and retention functions, the system will enhance financial accountability and preserve institutional knowledge across departments. The project workload is significant (4 out

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of 5) and will require software procurement, interdepartmental coordination, and staff training. Staff recommends inclusion in the Work Plan due to the critical importance of this system in protecting public funds, ensuring regulatory compliance, and supporting sustainable grant management citywide. This project is **not** included in the proposed FY25-26 budget and would require a one-time General Fund allocation of \$150,000 in FY25–26 for system procurement and implementation. Ongoing annual costs of \$20,000 will be supported through indirect cost recovery, the IT Maintenance budget, and departmental contributions.

### **Prepare 2026 Ballot Measure to Raise Revenue for Infrastructure Improvements and Public Facilities (CMO - Admin)**

This project prepares a revenue measure for the November 2026 ballot to fund critical infrastructure improvements and public facility investments. Staff will work with consultants to design and implement a community survey, engage the public, and present findings to the Council. Pending Council direction, the initiative would proceed with measure development, legal and fiscal review, and placement on the 2026 ballot. The election process would include educational outreach and compliance with all applicable election laws. This is a high workload impact project (5 of 5). Given the project's timeline and alignment with the City's fiscal and infrastructure priorities, staff recommends inclusion in the Work Plan to ensure a well-planned, transparent approach to revenue generation. This project is already included in the proposed FY25-26 budget with a \$215,000 General Fund allocation in FY25–26 to cover consultant costs, legal and fiscal review, community engagement, and ballot preparation. If the measure includes water infrastructure components, partial funding may be drawn from the Water Fund.

### **Upgrade and Launch New City Website (City Clerk)**

This initiative will redesign and modernize the City's website to improve public access to information, services, and engagement tools. The project directly supports the City's goals around transparency, digital accessibility, and customer service. It will involve cross-departmental collaboration to ensure the site meets the diverse needs of the community. The staff workload is moderate (4 out of 5), and successful delivery will require active coordination across all departments. Staff recommend inclusion in the Work Plan, as this will enhance public-facing services and align with broader efforts to modernize City systems. This project will require a one-time cost of \$50,000 for website redesign and implementation, which will be allocated from the IT Fund. No additional ongoing funding is anticipated.

Priority: Parks, Recreation, and Community Facilities

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### **Conduct a Comprehensive Evaluation of the Senior Center (CMO – CS)**

The City of East Palo Alto and the EPA Senior Center Incorporated have operated under a 30-year lease and operating agreement since 2006, which calls for performance evaluations every five years. To date, none of these evaluations have been conducted. This project will fulfill the City's obligation to evaluate the Senior Center in 2026 to ensure alignment with the City's evolving goals for senior services. The evaluation will include a review of current operations, integration of goals from the City's Action Plan on Aging, and a detailed assessment of service delivery, governance, and partnership structure. Deliverables will include a list of evaluation goals, an RFP for a third-party consultant, a draft and final evaluation report, and—based on the findings—a proposed action plan for future direction. This's project's workload is moderate (3 out of 5). Given the lapse in required reviews and the importance of accountability and service quality, staff recommend inclusion of this evaluation in the Work Plan, with consultant-led implementation and Council oversight of findings and recommendations. This project is already included in the proposed FY25–26 budget with an \$80,000 General Fund allocation.

### **Expand EPACenter Services and Programs Through City Funding (CMO – CS)**

This project would establish a formal partnership with EPACenter, East Palo Alto's only local performing arts and creative development hub, to expand its service offerings in alignment with community priorities around engagement, education, and wellness. Through a negotiated agreement, the City would provide funding to EPACenter to enhance programming access. In FY2025-26, Staff anticipates a low workload and a budget of approximately \$70,000 to support live music and other similar events; in FY2026-27, EPACenter will likely request \$250,000 for a suite of programming and classes. Please note that this project is currently unfunded and **not** included in the proposed FY25-26 budget and would require a \$70,000 TOT Fund allocation. The project's success will depend on EPACenter's ability to deliver on proposed outcomes, and staff will monitor implementation through quarterly reporting and community feedback mechanisms. The workload is moderate (3 out of 5), and staff recommend this project's inclusion in the Work Plan.

### **Fund Community Services for YMCA (CMO – CS)**

This project proposes subsidized memberships through a partnership with the YMCA. It supports the Parks, Recreation and Community Facilities priority and is included in the City's 2023 Parks Recreation, and Open Space Master Plan. Staff recommends in FY2025-26 investing \$100,000 out of the unassigned TOT Fund balance and see the community's desire for this subsidy. If the current YMCA membership costs \$1200 per year per family, and the City subsidizes \$1,000 of that per year for EPA families that demonstrate need, \$100,000 would subsidize the membership of up to 100 families. This project is **not** included in the proposed FY25–26 budget and would require a \$100,000 TOT Fund allocation. The workload is moderate (3 out of 5), and staff recommends inclusion of this project in the Work Plan.

### **Implement Priority Projects from the Parks Master Plan (PW - Engineering)**

This initiative includes a suite of targeted improvements identified as high-impact, quick-

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delivery projects within the Parks, Recreation, and Open Space Master Plan. The scope includes increased park lighting, installation of sports lighting at Martin Luther King Jr. Park, placement of security cameras in parks with limited sightlines, added shading, and audiovisual upgrades at Cooley Landing. These improvements are designed to enhance safety, usability, and the overall park experience and will cost \$2.1 million (with \$300,000 from the General Fund and \$1.8 million from the Lighting District). This project is already included in the FY25-26 proposed budget and is expected to have significant workload impacts (4 of 5). Given the project's alignment with community priorities and the Parks Master Plan, staff recommends inclusion of this project in the Work Plan to advance enhancements across the City's parks.

### **Plan for Development of New Civic Center Facility (CMO - Admin)**

This project entails working toward a civic center campus that combines multiple public uses. This has very high workload impact (4 of 5) and may be at a high cost, but it would have a tremendous impact. Given its significance and alignment with long-term City facilities planning, staff recommends inclusion of the planning and pre-construction phase in the Work Plan, with construction contingent upon determining the full funding package. This project does not require additional funding, as the required research and planning will be conducted using existing staff capacity within current budget allocations.

Priority: Public Health, Safety, and Quality of Life

### **Expand Parking Enforcement Capacity (Police)**

This project proposes to expand the City's parking enforcement capacity through the procurement of a dedicated contractor and the use of modern enforcement technologies. The selected contractor would oversee administration of permit zones, implement a permit management system, and deploy technology-enabled strategies to improve compliance, reduce neighborhood congestion, and streamline operations. With a moderate staff workload (3 of 5) supported by contractor-led implementation, staff could support inclusion of this project in the Work Plan to support livability goals and enhance parking program effectiveness in residential neighborhoods. This project is **not** included in the proposed FY25–26 budget and would require an estimated \$350,000 General Fund allocation to initiate a contractor-led parking enforcement program. The cost estimate is based on comparable services in other cities, such as a \$700,000 annual contract in South San Francisco; actual costs will be determined through the procurement process.

### **Implement Shopping Cart Abatement Program (CMO - Admin)**

This initiative proposes the development of a Shopping Cart Abatement Program to address the growing issue of abandoned carts in public spaces. Key actions will include adoption of a dedicated ordinance, development of a clear program structure with defined roles and responsibilities, and proactive engagement with local businesses. A public awareness campaign will also be launched to promote shared accountability and educate retailers and

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residents about compliance. The project carries a moderate workload (3 out of 5). Staff recommend inclusion of this project in the Work Plan. This project is **not** included in the proposed FY25–26 budget and would require an estimated \$2,000 General Fund allocation to support ordinance development, stakeholder engagement, and public outreach efforts.

### **Launch Emergency Preparedness Program (CMO - Admin)**

This citywide emergency preparedness effort will modernize the City's Emergency Operations Plan (EOP), improve supply readiness, and strengthen emergency response capacity through staff and resident training. The project aligns strongly with the City's Emergency and Disaster Preparedness priority and has broad Council and community support. With \$160,000 already budgeted, the program is ready for launch; however, it represents a significant workload (4 out of 5) and requires sustained coordination with external partners and consultants. Staff recommend inclusion of this project in the Work Plan, recognizing the initiative's critical role in protecting residents and ensuring operational readiness in times of crisis. This project has been included in the proposed FY25–26 budget with a \$160,000 General Fund allocation.

### **Maintain and Expand Senior and Disabled Individuals Vulnerability and Emergency Contact Database (CMO – CS)**

This project supports disaster preparedness for vulnerable populations by updating and expanding the City's existing contact database. It aligns with Emergency and Disaster Preparedness priority and has low staffing and workload needs (2 out of 5). With funding secured, its feasibility is high and staff recommends inclusion in the Work Plan. The project would entail calling upon partnerships with local nonprofits to maximize reach and accuracy. This project is **not** included in the proposed FY25–26 budget and would require a \$50,000 General Fund allocation.

### Priority: Public Infrastructure and Utilities

### **Install Citywide Lighting Improvements – Phase 2 (PW - Engineering)**

This project continues the City's multi-phase effort to enhance public safety and visibility through upgraded lighting infrastructure. Phase 2 is a low workload impact project (2 of 5) that includes completing a comprehensive lighting study to assess citywide needs and priorities, followed by implementation of targeted lighting improvements based on study findings. Staff recommend inclusion of this phase in the Work Plan to build on recent progress and address lighting gaps across the community. Deliverables include completion of the lighting study and installation of identified improvements. This project is included in the proposed FY25–26 budget with a \$2 million allocation from the Street Lighting Fund. It will also require approximately \$10,000 annually in ongoing maintenance expenses.

### **Develop Citywide Sewer Master Plan (PW - Engineering)**

This plan will provide a long-range roadmap for sewer system repairs and fiscal planning. It directly supports the Public Infrastructure and Utilities priority. With consultant support and

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funding already in place, the project is feasible despite moderate staffing needs (3 out of 5). Staff recommends inclusion of this project in the Work Plan as a foundational investment in infrastructure resilience. This project is included in the proposed FY25–26 budget with a \$100,000 allocation from EPASD Enterprise Funds to complete the planning process.

### Council Review of Proposed Work Plan Projects

Staff requests that the City Council confirm which of the 37 carryforward projects and which of the 22 new proposed projects should be included in the final FY2025–2027 Work Plan. Council may also provide direction to defer, revise, or phase any project. To support effective implementation, staff additionally requests that Councilmembers review the full project feasibility details and scopes in **Attachment B** to ensure they align with the desired outcomes and levels of service. Clear Council confirmation on both project selection and scope will support execution and accountability over the next two years.

### Monitoring and Reporting

To ensure transparency and accountability once the Work Plan is adopted, the City will implement a structured monitoring process. Staff will report the status of these projects quarterly to the City Council. The City will also update the community via the City website and other communication channels.

### Next Steps and Adoption Timeline

Pending Council direction at the June 3 meeting, staff will make final refinements and present the FY2025-27 Work Plan for adoption on June 17, 2025. Implementation of the FY2025–2027 Work Plan will begin on July 1, 2025.

### Fiscal Impact

There is no direct fiscal impact from the City Council's confirmation of project selection for the FY2025-2027 Work Plan. Funding requests for projects anticipated to begin in FY2025–2026 will be included in the FY2025–2026 Proposed Budget. Projects scheduled to start in FY2026–2027 will be considered in that year's budget cycle.

### Public Notice

The public was provided notice by making the agenda and report available on the City's website and on a bulletin board located at City Hall: 2415 University Avenue, East Palo Alto.

### Environmental

The action being considered does not constitute a "Project" within the meaning of the California Environmental Quality Act (CEQA), pursuant to CEQA Guideline section 15378(b)(5), in that it is a government administrative activity that will not result in direct or

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indirect changes in the environment.

### **Government Code § 84308**

**Applicability of Levine Act:** No.

**Analysis of Levine Act Compliance:** Not applicable.

### **Attachments**

1. **Attachment A:** Community Engagement Summary and Survey Results
2. **Attachment B:** Evaluation of Proposed New and Carryforward FY 2025-2027 Council Work Plan Projects

# Attachment A: Community Engagement Summary and Survey Results

## **Grounding the Strategic Priorities Framework and Council Work Plan Projects in Community Input**

This report provides a summary of community feedback gathered throughout the City's community engagement process in April and May 2025 to inform the development of the FY2025–2029 Strategic Priorities and the FY2025–2027 Council Work Plan. Insights from this process played a vital role in shaping the final project list and ensuring that the City's priorities reflect both longstanding and emerging community needs.

## **Engagement Overview**

In May 2025, the City of East Palo Alto hosted two community workshops to support development of the FY2025–2029 Strategic Priorities and FY2025–2027 Council Work Plan. Staff held the first workshop in person at the Lewis & Joan Platt YMCA on May 7, 2025 from 6:30-8 PM, which had 10 attendees. The second workshop was conducted virtually on Zoom on May 12, 2025 from 6:30 -8 PM and had 27 registrants. Staff also engaged residents at pop-up outreach events held at the Bloomhouse Farmers Market (on April 30, 2025 from 9 AM – 12 PM) and the Cinco de Mayo community celebration at Bell Street Park on May 4, 2025 from 12 PM – 4 PM.

The City designed this engagement effort to achieve three key goals:

- Inform residents about the City's work to develop new Strategic Priorities and Projects;
- Invite the community to analyze and reflect on the draft priorities and projects developed through prior engagement;
- Gather feedback to help the City Council finalize the FY2025–2027 Work Plan.

To maximize participation, staff launched a wide-reaching outreach campaign to support both workshops and a bilingual community survey. In addition to hosting in-person and virtual workshops, the City administered an online survey to gather broader input from residents unable to attend events. Staff posted flyers in public spaces, promoted the events and survey link on the City's website and social media, and sent announcements through City email listservs. They also provided materials to City Councilmembers to distribute through their networks and emailed community-based organizations, encouraging them to share the information with their constituents. This multi-channel strategy aimed to ensure that community members across the city had a meaningful

opportunity to shape the City’s strategic direction and identify the projects that matter most to them.

Two versions of the online survey were administered—one in English (garnering 168 responses) and one in Spanish (10 responses). Both showed a high level of general agreement with the draft strategic priorities. Among English-language respondents, nearly 80% either agreed or strongly agreed with the list of priorities. Spanish-language participants expressed even stronger alignment, with 90% indicating agreement. While the general consensus affirmed the City’s direction, many respondents expressed a desire for greater clarity around how priorities would be implemented, how progress would be communicated to the public, and how funding would be allocated.

## **Key Themes from Community Input**

### Public Infrastructure, Safety, and Cleanliness

Issues of safety, street conditions, and general neighborhood quality-of-life dominated community responses. Participants across all engagement formats identified traffic congestion, parking availability, and street lighting as top concerns. The highest-ranking projects in both surveys included expansion of parking enforcement capacity, completion of the street lighting upgrade project, and sidewalk improvements along key corridors. These concerns were especially prominent among Spanish-speaking respondents and attendees of the in-person workshop, where many emphasized the need for cleaner streets, stronger traffic enforcement, and expanded resources for emergency preparedness.

Emergency readiness also emerged as a cross-cutting priority. Participants expressed strong support for projects that enhance the City’s disaster response infrastructure, such as launching an Emergency Preparedness Program and maintaining a database of vulnerable senior and disabled residents.

### Housing Affordability, Stability, and Livability

Concerns around housing affordability and residential stability remain high among East Palo Alto residents. Participants called for the City to increase its efforts to preserve existing housing, expand affordable homeownership options, and support legacy residents at risk of displacement. Projects such as the Home Repair Program, the Foreclosure Prevention Fund, and the First-Time Homebuyer Assistance Program received consistent support across surveys and workshops.

Several respondents also called for the City to implement a rental inspection program to ensure basic livability standards, especially in multifamily properties. While some

expressed concerns about the City's enforcement capacity, there was broad agreement on the need for greater oversight and accountability for landlords.

### Youth, Seniors, and Community Services

The importance of investing in young people and seniors was another recurring theme. Participants supported the formation of a Youth Commission and requested increased opportunities for youth civic engagement, mentorship, and leadership development. Residents also emphasized the value of expanding access to community-based services, including YMCA subsidies, EPACenter programs, and neighborhood events that promote wellness and safety in public parks.

Seniors expressed interest in more accessible emergency preparedness resources, expanded transportation options, and an evaluation of services provided by the EPA Senior Center. One idea that gained traction was to launch a preparedness group specifically for older adults and those with access or functional needs.

### Mental Health and Public Health

Mental health was frequently mentioned as a missing or underemphasized priority. Participants cited the need for mental health support in schools, greater access to culturally competent counseling, and funding for public health initiatives that address conditions such as autism and stroke risk. Some participants expressed concern that the City's current strategic priorities do not go far enough in addressing the root causes of health disparities in East Palo Alto.

### Economic Development and Workforce Opportunities

While housing and infrastructure dominated immediate concerns, participants also voiced strong support for efforts to strengthen the City's economic base. Residents expressed a desire to see more commercial activity within city limits—particularly everyday services like grocery stores, banks, and cafes—as well as expanded job training opportunities for youth and adults. The Measure HH Workforce Development Program and the development of an Economic Development Strategy both received broad support.

### Transparency, Civic Engagement, and Inclusion

A consistent thread across feedback was a desire for improved transparency and more accessible, proactive communication from the City. Residents called for upgrades to the City website, clearer timelines for project delivery, and more user-friendly ways to report issues or track project status. In addition, several comments highlighted the need to activate currently dormant City commissions and create more opportunities for residents to be involved in decision-making.

Some residents also urged the City to take additional steps to preserve community identity, honor cultural legacies, and address the displacement of long-term residents—particularly members of the African American community. These themes were particularly prominent in workshop settings and open-ended survey comments.

### **Summary of Community Top Priority Projects Based on Survey Rankings**

Across both the English and Spanish surveys, a total of 162 respondents offered rankings on the most important projects to them for the 2025-2027 Work Plan. The top-ranked projects from the English and Spanish surveys illustrate a strong community consensus around infrastructure, housing stability, and neighborhood quality:

Top priority projects, ranked:

1. Develop Citywide Sewer Master Plan (n=90)
2. Expand Parking Enforcement Capacity (n=86)
3. Complete the Street Lighting Upgrade Project and Begin Multi-Phase Lighting Project (n=76)
4. Launch Emergency Preparedness Program (n=73)
5. Implement Parks Lighting and Safety Improvement Program (n=66)
6. Develop a Long-Term Fiscal Strategy and Structural Deficit Plan (n=66)
7. Launch Home Repair Program (n=65)
8. Consider Establishing a Youth Commission and/or Youth Appointees to City Boards/Commissions (n=63)
9. Implement First-Time Homebuyer Assistance Program (n=60)
10. Fund Community Services for YMCA (n=59)
11. Plan for Development of Community Hub (New City Hall) (n=58)
12. Design and Construct Road Improvements on Woodland Avenue from University Avenue to Newell Road (n=57)
13. Implement Quick-Win Projects from the Parks Master Plan (n=57)
14. Study the Creation of Parks and Recreation Department (n=42)
15. Launch Foreclosure Prevention Fund (n=42)
16. Prepare 2026 Ballot Measure to Raise Revenue for Infrastructure Improvements and Public Facilities (n=41)
17. Launch Residential Rental Inspection (n=41)
18. Launch Financial Empowerment and Foreclosure Prevention Program (n=41)
19. Conduct Council Term Limit Policy Research (n=41)
20. Fund Community Services for EPACenter to Expand Services and Programs (n=40)
21. Implement Shopping Cart Abatement Program (n=40)
22. Implement a Grants Management System (n=39)
23. Review and Potentially Update Inclusionary Housing Ordinance (n=37)

## 24. Upgrade and Launch New City Website (n=30)

### **How Community Input Informed the Final Work Plan**

Community feedback throughout the FY2025–2029 strategic planning process played a critical role in affirming the City’s emerging priorities and shaping refinements to better reflect resident needs. Community members expressed strong support for investments in public infrastructure, housing stability, safety, and services for youth and seniors. They also underscored the importance of transparency, cultural inclusion, and more accessible communication about City initiatives.

While the City deeply values every idea and concern shared, the Council Work Plan reflects difficult but necessary choices. Limited staff capacity and funding mean that not every issue raised could be included at this time. However, community feedback has been documented in full, and the City intends to revisit and explore additional priorities as capacity grows. Some projects not included in this cycle may be better suited for future planning efforts, operational improvements, or external partnerships with the County of San Mateo, nonprofits, and other community partners.

This input has directly informed the design of the FY2025–2027 Council Work Plan and will continue to guide staff as projects move forward. The City remains committed to ongoing engagement and collaboration to ensure the plan delivers meaningful, visible improvements in the daily lives of East Palo Alto community members - and to maintain a responsive and inclusive approach to future decision-making.

Key	Project Count
◆ = New Proposed Project Recommended for Inclusion in Work Plan	22
◇ = Carryforward Projects Recommended for Inclusion in Work Plan	37
<del>Strikethrough</del> = Projects Not Recommended for Inclusion in Work Plan	5

\$3,605,610.00	\$1,639,610.00	\$1,966,000.00
^ Total Impact on General Fund in FY 25-26	^ Total New Projects (◆) Impact on General Fund	^ Total Carryforward Projects (◇) Impact on General Fund

Priority: Civic Engagement						FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Costs (General Fund)	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	
◇ Develop Recommendations for Establishing a Youth Commission or Alternative Youth Civic Engagement Program	Develop a plan for launching a Youth Commission or a comparable civic engagement initiative based on community input and feedback from youth-serving organizations. Staff will also explore internship and civic education opportunities as part of this planning effort. (Note: This is a planning and feasibility project only; implementation would require additional staffing or consultant resources.)	CMO - CS	4	\$10,000.00									
◆ Implement Sister City and Cultural Exchange Initiative	Establish a Sister City relationship with a City from the Kingdom of Tonga and develop a formal exchange program. Create a process for the City Council to evaluate and establish additional Sister City relationships in the future.	City Clerk	3	\$70,610.00									

Priority: Governance, Organizational Strength, and Fiscal Sustainability						FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Costs (General Fund)	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	
◇ Collaborate with the SMC Libraries to Identify and Implement a Comprehensive Funding Strategy for Library Construction	Partner with SMCL and the SMCL Foundation to fundraise through a capital campaign. The estimated independent library construction costs are \$43M.	CMO - Admin	2	N/A									
◆ Conduct Council Term Limit Policy Research	Research and draft policy recommendations regarding term limits for City Council members. Present findings and receive Council direction on whether to place a term limit measure on a future election ballot.	City Clerk	3	\$7,000.00									
◆ Develop a 10-Year Fiscal Strategy and Structural Deficit Plan	Address the City's \$2 million structural General Fund deficit by developing a comprehensive 10-year financial strategy. The plan will identify solutions to contain costs, enhance operational efficiency, diversify revenues, and finance long-term infrastructure needs. It will serve as a roadmap to fiscal sustainability, reduced financial risk, and continued delivery of core services.	Finance	3	\$150,000.00									
◇ Develop a Citywide Information Systems Master Plan	Create a strategic blueprint for the development, modernization, and governance of the City's technology systems, including infrastructure, cybersecurity, and digital services to support efficient municipal operations.	CMO - IT	3	N/A									
◆ Implement a Centralized Grants Management System	Deploy a centralized, cloud-based Grants Management System to oversee \$156 million in citywide grant funding. The platform will ensure compliance with federal regulations, improve audit readiness, streamline reimbursement workflows, and enhance financial oversight. The system will support departments in maintaining compliance, preventing funding losses, and preserving institutional knowledge.	Finance	4	\$150,000.00									
◆ Prepare 2026 Ballot Measure to Raise Revenue for Infrastructure Improvements and Public Facilities	Evaluate and, if feasible, initiate the process to place a revenue measure on the November 2026 ballot. This measure would help fund critical infrastructure and public facilities upgrades.	CMO - Admin	5	\$215,000.00									
◇ Update the City's Personnel Policies and Procedures	Modernize the City's 1985 Personnel Policies and Procedures to align with current employment laws, operational needs, and best practices. The update will include legal review, stakeholder input, labor negotiations, and rollout through training and accessible documentation. Final adoption is anticipated no earlier than July 2027.	CMO - HR	5	\$50,000.00									
◆ Upgrade and Launch New City Website	Redesign and relaunch the City's website to improve public access to information, enhance service delivery, and promote greater community engagement through modern, user-friendly design.	City Clerk	4	N/A									

Priority: Land Use, Economic, and Workforce Development						FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Costs (General Fund)	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	

◇ Conclude Measure HH Pilot Evaluation and Initiate Ongoing Workforce Development Program	Complete the Measure HH Workforce Development Pilot Program evaluation and use the findings to guide the launch of a multi-year workforce development program focused on economic mobility and priority populations.	CEDD - Housing	3	N/A	
◇ Create an Economic Development Strategic Plan Focusing on Small and Micro Businesses	Develop a comprehensive report that incorporates existing conditions, community outreach summaries, and recommendations to support local entrepreneurship, create job opportunities, leverage strategic sites, and diversify the City's tax base to increase revenue. Implementation is not included and will have to be a separate priority.	CMO - Admin	3	\$120,000.00	
◇ Design and Implement a "Pop-Up"/Sidewalk Vending Policy and Program	Develop and implement a Sidewalk Vending Policy that supports compliant, safe, and equitable vending practices. The program includes development of regulations, bilingual outreach materials, and one-on-one vendor support to promote small business growth.	CMO - Admin	4	\$18,000.00	
◇ Implement Program to Distribute Community Resource Funds Grants for Small Business Assistance	Implement a Community Resource Fund grant program, as directed by the City Council, to provide financial assistance and capacity-building resources to small businesses in East Palo Alto.	CMO - Admin	1	\$125,000.00	
◇ Renovate the Cummings Loft Property into a Small Business Incubator	Use a \$555,000 SBA grant to renovate the former Redevelopment Agency's Cummings Loft site—currently in cold shell condition—into an incubator space to support emerging small businesses. The project includes design and construction phases.	PW - Eng	2	N/A	

Priority: Parks, Recreation, and Community Facilities						FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Costs (General Fund)	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	
◇ Activate City Parks with Health and Safety Programming	Explore and implement new strategies to activate City parks through pop-up health and safety programming, building on the success of the former FIT Zone initiative. The City will assess prior program models, collaborate with the Police Department to clarify past roles, and identify opportunities for a contractor or consultant to lead future implementation. The goal is to launch a pilot program that enhances community use of parks, promotes well-being, and improves public safety. Based on pilot results, staff will develop a sustainable, long-term strategy for continuing park activation independent of grant funding.	CMO - CS	3	N/A									
◇ Complete Construction of Tenant Improvements in the Former Police Evidence Room	Complete improvements at the 1960 Tate Office and at the Police Department Facility. 1960 Tate Street: The scope of work for the improvements at this site includes the removal and replacement of the existing roof shingles, rain gutters and downspouts, installation of new four-foot-wide awnings, and the removal and replacement of the current heating, ventilation, and air conditioning (HVAC) system. 141 Demeter: The scope of work for the improvements at this site includes the installation of new roofing at the facility's buildings A, B, and C; repair of damaged dry rot on the existing facades for each building; installation of new exterior siding; rehabilitation of bathrooms; replacing awning; and installation of new heat pumps.	PW - Eng	1	N/A									
◆ Conduct a Comprehensive Evaluation of the Senior Center (as required per contract)	Conduct a formal evaluation of the City's 30-year agreement with the EPA Senior Center Incorporated, as required every five years under the lease. No evaluations have occurred since the agreement began in 2006, despite required reviews in 2011, 2016, 2021, and 2026.	CMO - CS	3	\$80,000.00									
◇ Construct Access Improvements at Rutgers Street Entrance to the Bay Trail	Improve pedestrian access to the Bay Trail by coordinating with MidPeninsula Open Space and the San Francisco Public Utilities Commission to open the currently locked Rutgers Street gate. The project involves securing easements and installing a compliant access point.	PW - Eng	1	\$75,000.00									
◇ Create a Pilot Dog Park Program	Identify and prepare a temporary site for a dog park using above-ground amenities. Community Services will evaluate community usage during the pilot phase to determine long-term feasibility. The pilot park will follow standard park hours, with no lighting or landform changes.	CMO - CS	4	\$75,000.00									
◇ Establish a Joint-Use Agreement with RCSD for Shared Recreation Sites	Collaborate with the Ravenswood City School District to enter into a Joint-Use Agreement that enables public use of school recreational sites during non-school hours to expand community access to park space.	CMO - CS	3	\$50,000.00									
◆ Expand EPACenter Services and Programs Through City Funding	Establish a formal funding agreement with EPACenter, East Palo Alto's only local performing arts venue, to expand its programming and deepen the City's partnership in youth development and community arts services.	CMO - CS	3	N/A									
◇ Finalize Architectural Design for the New East Palo Alto Library	Complete the Plans, Specifications, and Estimate (PS&E) for the new East Palo Alto Library to prepare for future construction and funding efforts.	PW - Eng	2	N/A									
◆ Subsidize YMCA Memberships	Enter into a funding agreement with the YMCA to provide free or reduced-cost memberships and expand public access to health and wellness services for East Palo Alto residents.	CMO - CS	3	N/A									

◆ Implement Priority Projects from the Parks, Recreation and Open Space Master Plan	Deliver high-impact park improvements, including sports lighting for Martin Luther King Junior Park, cameras in all parks that lack sightlines, shading, and AV improvements at Cooley Landing.	CMO - CS	4	\$305,000.00								
◇ Negotiate with County to finalize acquisition of Beech Street	Negotiate with San Mateo County to complete a potential land swap of 2277 University Avenue for 1266 Beech Street. If the County agrees, the City will finalize the acquisition to support park expansion or civic use.	CMO - Admin	1	N/A								
◆ Plan for Development of New Civic Center Facility	Launch planning for a new civic center campus that will house a new library, police department, and administrative offices. This project will include needs assessment, site planning, community engagement, and funding strategy.	CMO - Admin	5	N/A								
◆ Study the Creation of Parks and Recreation Department	<del>Evaluate the benefits, costs, and feasibility of establishing a standalone Parks and Recreation Department, which would replace the current organizational structure where recreation programs are managed within the Community Services division.</del>	CMO - Admin	3	N/A								

**Priority: Public Health, Safety, and Quality of Life**

Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Fiscal Impact (General Fund)	FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
					Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
◆ Expand Parking Enforcement Capacity	Expand the City's parking enforcement program by contracting with a vendor experienced in residential permit parking and modern enforcement technology. The contractor will manage permit zones and utilize data-driven strategies to improve compliance, reduce neighborhood congestion, and increase operational efficiency.	Police	3	\$350,000.00								
◇ Implement a Crime Data Analytics Platform for the Police Department	Enhance the police department's data analytics capabilities through the deployment of new technology systems and staff resources to improve analysis of crime trends, optimize resource deployment, and increase transparency and community trust. This project is grant-funded.	Police	4	N/A								
◆ Implement a Shopping Cart Abatement Program	Establish a program to address and reduce abandoned shopping carts in public spaces through code enforcement, retailer outreach, and coordinated retrieval efforts.	CMO - Admin	3	\$2,000.00								
◇ Launch a Residential Parking Permit Program	Adopt and implement a residential parking permit program to manage neighborhood parking demand and improve residential parking access.	PW - Eng	2	\$400,000.00								
◆ Launch Emergency Preparedness Program	Implement a citywide emergency preparedness initiative focused on updating the Emergency Operations Plan, enhancing internal coordination, expanding staff and community training, and improving emergency supply readiness.	CMO - Admin	4	\$160,000.00								
◆ Maintain Senior/Disabled Individuals' Emergency Contact Database	Develop and maintain a comprehensive contact database for senior and disabled residents to ensure timely communication and response during emergencies.	CMO - CS	2	N/A								
◇ Strengthen the Clean City Program to Reduce Illegal Dumping	Enhance the City's illegal dumping response program to reduce incidents, promote environmental quality, and support beautification efforts throughout East Palo Alto.	PW - Env	2	N/A								
◇ Update the Environmental Justice Element of the General Plan	Update the Environmental Justice Element to ensure consistency with State law and to incorporate local community priorities regarding health, equity, and environmental impacts	CEDD - Planning	1	\$2,000.00								
◇ Update the Safety Element of the General Plan	Update the Safety Element to align with State requirements and reflect local community goals related to resilience, hazard mitigation, and public safety.	CEDD - Planning	1	\$2,000.00								

**Priority: Public Infrastructure and Utilities**

Project	Description	Lead	Workload Impact 1=low, 5=high)	FY 25-26 Costs (General Fund)	FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
					Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
◇ Assess Utility Operations and Prepare Transition Plan for Post-Lease Operations	Evaluate options for managing the City's water utility after the Veolia lease expires in April 2026. Options include extending the existing lease, contracting with a new provider, or transitioning operations in-house. Staff is currently in discussions with Veolia for a temporary lease extension while alternatives are explored.	CMO - Admin	1	N/A								
◇ Build Sidewalk and Pedestrian Safety Improvements on East Bayshore Road	Construct pedestrian and cyclist safety improvements along East Bayshore Road from Euclid Avenue to Menalto Avenue. Project elements include sidewalks, bikeways, traffic calming measures, green infrastructure, and lighting upgrades.	PW - Eng	3	\$920,000.00								

◇ Collaborate with City of Palo Alto to replace the Newell Street bridge	Partner with the City of Palo Alto, the lead agency, to replace the Newell Street Bridge. East Palo Alto will provide engineering and site inspection support for the project.	PW - Eng	3	N/A								
◇ Collaborate with SFCJPA to Construct San Francisquito Creek Flood Protection Upgrades	Support the San Francisquito Creek Joint Powers Authority (SFCJPA) in designing and constructing flood capacity improvements to protect East Palo Alto. Design is expected to be completed within three years. Construction is contingent on securing sufficient funding.	PW - Eng	3	N/A								
◇ Collaborate with SFCJPA to implement the SAFER Bay Project	Partner with SFCJPA to design and construct a levee that protects East Palo Alto from sea level rise. Design is expected to be completed within three years. Construction will proceed only if full funding is secured.	PW - Eng	5	N/A								
◆ Install Citywide Lighting Improvements - Phase II	Implement Phase II of the City's lighting plan, which includes conducting a lighting study and completing citywide lighting upgrades.	PW - Eng	2	N/A								
◇ Conduct a Siting Study to Identify Locations for Additional Water Storage Tanks	Conduct a water tank siting study to identify feasible locations within East Palo Alto for new water storage infrastructure. The study will assess tank configurations, operational needs, and long-term maintenance strategies for the proposed facility.	PW - Eng	1	N/A								
◇ Construct a Bicycle and Pedestrian Overcrossing on University Avenue at US 101	Widen the University Avenue/US 101 overpass by constructing a 14-foot-wide pedestrian and bicycle bridge. The project also includes vehicle improvements to the US 101 on- and off-ramps at University Avenue to support safer and more efficient multimodal travel.	PW - Eng	4	N/A								
◇ Construct Full Trash Capture Devices to Meet Stormwater Compliance Requirements	Install two full trash capture devices at Newell Bridge on Saratoga Avenue to comply with State stormwater regulations and reduce pollution in local waterways.	PW - Eng	3	N/A								
◇ Construct Mini Roundabouts to Replace Temporary Traffic Circles on Pulgas Avenue	Construct two mini roundabouts at Pulgas Avenue to replace temporary traffic circles. The scope also includes installation of additional signage and striping improvements to support traffic calming and safety.	PW - Eng	3	N/A								
◇ Create a Financing Strategy for Water Infrastructure Upgrades	Develop a water infrastructure financing strategy using \$800,000 in FY 2023 Congressionally Directed Spending from the U.S. Environmental Protection Agency. The strategy will leverage existing resources, including ratepayer-funded capital improvement fees, to identify funding sources for critical water system improvements. This project will continue beyond June 2025 and the federal funding must be used before it expires. Completion is anticipated by Summer 2026.	Finance	4	N/A								
◇ Design Roadway Improvements on Woodland Avenue	Design comprehensive roadway improvements on Woodland Avenue from University Avenue to Newell Road. Scope includes roadway reconstruction, utility upgrades, sidewalk, curb, and gutter work, and installation of new lighting.	PW - Eng	3	N/A								
◇ Develop an Asset Management Database	Continue development of an integrated Asset Management Database encompassing all City-owned infrastructure, including water and sewer systems, to improve asset tracking and long-term maintenance planning.	PW - Main	3	\$100,000.00								
◆ Develop Citywide Sewer Infrastructure Master Plan	Prepare a comprehensive sewer master plan that evaluates existing infrastructure conditions and provides a roadmap for phased upgrades to support long-term system capacity and reliability.	PW - Eng	3	N/A								
◇ Install New Traffic Signal and Complete Safety Upgrades on University Avenue at Runnymede	Improve pedestrian and traffic safety at the University Avenue and Runnymede intersection by installing a new traffic signal with upgraded equipment and protected left-turn phases, along with pedestrian crossing enhancements to reduce conflicting vehicle movements.	PW - Eng	2	N/A								
◇ Modernize Equipment and Complete Rehabilitation of the O'Connor Pump Station	Complete Phase II of the O'Connor Pump Station rehabilitation, including electrical upgrades, pump replacement, shaft realignment, pavement restoration, building configuration improvements, and control system modernization.	PW - Eng	3	N/A								

Priority: Comprehensive Housing					FY 2025-26 (July 1, 2025 - June 30, 2026)				FY 2026-27 (July 1, 2026 - June 30, 2027)			
Project	Description	Lead	Workload Impact 1=low, 5=high	FY 25-26 Costs (General Fund)	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
◇ Complete Construction of 965 Weeks/Colibri Commons	Oversee the building permit process to ensure compliance with local codes and ordinances during the construction of Colibri Commons. Responsibilities include permit issuance, construction inspections, and verifying code compliance throughout the build.	CEDD - Building	3	N/A								

◆Develop and Launch Home Repair Program	Develop and implement a home repair program that provides funding for minor and major repairs to 5–10 low-income homeowners. The program will include a senior-focused component to help older residents age in place through needed repairs and safety improvements.	CEDD - Housing	3	\$125,000.00		
◇ Establish Rent Registry for Both Rent-Stabilized and Market-Rate Rental Units	Launch a citywide rent registry to replace the outdated rent stabilization database. This project was approved in the FY23–24 City Council budget and will improve compliance monitoring, data transparency, and enforcement capacity for all covered rental units.	CEDD - RSP	4	N/A		
◆Research Feasibility of a Residential Rental Inspection Program	Assess the feasibility of establishing a systematic rental inspection program to ensure safety, habitability, and compliance with health and building codes across residential rental properties.	CEDD - Building	2	N/A		
◆Launch a Residential Rental Inspection Program	Establish systematic inspections for multi-unit properties to ensure safety and compliance	CEDD - Building	5	N/A		
◆Update the Inclusionary Housing Ordinance	Upon completion of the Grand Nexus Study, present results to City Council and provide list of potential amendments to the Inclusionary Housing Ordinance (IHO) to reduce constraints.	CEDD - Housing	3	\$25,000.00		
◇ Update the Zoning Code	Regular update of Zoning Code to respond to State legislative changes, process improvements, permanent supportive housing, housekeeping units, residential care facilities, and to incorporate objective design standards to facilitate new housing.	CEDD - Planning	1	\$1,000.00		
◆Launch a Financial Empowerment and Foreclosure Prevention Program	Launch a program that provides financial literacy, credit-building education, and foreclosure-prevention funding services using Measure JJ and other city housing funds.	CEDD - Housing	4	N/A		
◆Research Feasibility of a Financial Empowerment and Foreclosure Prevention Program	Conduct research and internal analysis to assess the feasibility of creating a foreclosure prevention fund to support homeowners at risk of losing their homes. This phase will explore best practices, legal structures, and nonprofit partnerships used in other jurisdictions.	CEDD - Housing	2	N/A		
◆Implement a First-Time Homebuyer Assistance Program	Implement a down-payment assistance program for eligible first-time homebuyers.	CEDD - Housing	2	N/A		
◆Research Feasibility of a First-Time Homebuyer Assistance Program	Research and assess down payment assistance models for eligible first-time homebuyers. This phase will focus on evaluating program design, eligibility, and funding options. Identification of a sustainable funding source will be necessary before implementation.	CEDD - Housing	2	N/A		