



GOOSE CREEK ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, JUNE 19, 2023 • REGULAR MEETING AT 6:00PM
City Hall - 519 N Goose Creek Boulevard

BOARD MEMBERS: CHAIRPERSON JEN WISE, VICE CHAIRPERSON ROBERT SMITH, DOUG DICKERSON, ARMANDO SOLARANA, MARY KAY SOTO, TERI VICTOR

IN ACCORDANCE WITH THE FREEDOM OF INFORMATION ACT, THE ELECTRONIC AND PRINT MEDIA WERE DULY NOTIFIED, ALONG WITH A HARD COPY POSTED AT CITY HALL. SHOULD YOU HAVE QUESTIONS OR COMMENTS, PLEASE CONTACT PLANNING AND ZONING AT (843)797-6220

I. CALL TO ORDER & ROLL CALL

II. APPROVAL OF MINUTES

- a. ARCHITECTURAL REVIEW BOARD MEETING MINUTES - MAY 15, 2023

III. NEW BUSINESS

- a. EXTERIOR MODIFICATION - CHRIST CENTER CHURCH, 113 ETIWAN DRIVE (TMS# 243-04-00-059)
- b. EXTERIOR MODIFICATION - STONES THROW BREWING - 101 BUTTON HALL AVE (TMS 243-04-00-008)
- c. NEW CONSTRUCTION - HENRY BROWN TOWNHOMES (TMS# 235-00-00-083)

IV. CLOSING REMARKS & ADJOURNMENT



Request for Architectural Review Board Agenda Item

To: ARCHITECTURAL REVIEW BOARD

From: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

Please check one box

☐ Regular Meeting

☐ Special Meeting

☐ Work Session

Please check one box, if applicable

☐ Ordinance

☐ Resolution

☐ Proclamation

☐ Request to
Purchase

Ordinance/Resolution Title

ARCHITECTURAL REVIEW BOARD MEETING MINUTES - MAY 15, 2023

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD
MONDAY, MAY 15, 2023, 6:00PM
MARGUERITE H. BROWN MUNICIPAL CENTER**

I. CALL TO ORDER

Chairperson Wise called the meeting to order at 6:00 p.m.

Present: Jen Wise; Robert Smith; Armando Solarana; Mary Kay Soto; Terri Victor

Absent: Doug Dickerson

Staff Present: Planning and Zoning Director Kendra Wise; Assistant to City Administrator Alexis Kiser

II. APPROVAL OF MINUTES: APRIL 17, 2023

Motion: A motion was made to approve the minutes as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Soto.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

III. NEW BUSINESS

A. EXTERIOR MODIFICATION - CHRIST CENTER CHURCH, 113 ETIWAN DRIVE

The applicant was not present to answer questions from the Board.

Motion: A motion was made to table the application until the June ARB Meeting. **Moved by** Board Member Soto, **Seconded by** Board Member Victor.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

B. NEW CONSTRUCTION - COBBLESTONE RETAIL VILLAGE (TMS# 222-00-00-164)

The applicant presented the application. Staff report states the applicant is proposing a new commercial development along St. James Avenue (TMS# 222-00-00-164) on 3.4 acres. The development will consist of four (4) buildings providing more than 24,000 square feet of commercial space. This parcel is zoned Planned Development (PD). This development was presented to the Board in May of 2022 and received approval with conditions. Since that time the applicant has substantially changed building location and design. The applicant presented material and color samples. The applicant answered questions from the Board. The applicant presented supplemental renderings that were not included in the original packet as additional options.

Motion: A motion was made to approve option three (3) that was presented to the Board; to work with staff to make roof-line symmetrical; provide screening for utility meters; work with staff to relocate dumpsters and work with staff to have a consistent sign package. **Moved by** Board Member Smith, **Seconded by** Board Member Victor.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

C. NEW CONSTRUCTION - BETTER COLLISION CENTERS (TMS# 223-00-00-012 & 223-00-00-013)

The applicant presented the application. Staff reports states the applicant is proposing the construction of a new building to be used as a collision center located on TMS# 223-00-00-012 & 223-00-00-013, adjacent to St. James Avenue (Highway 176) on +/- 3.26 acres. These parcels are zoned General Commercial (GC). This is an approved use by right for this zoning classification. The applicant answered questions from the board.

Motion: A motion was made to approve the application with the following conditions: work with staff to provide alternative materials that exclude metal; work with staff to provide an alternative to colors as natural colors are preferred; work with staff to lower the height of the overall building; work with staff on the location of the dumpsters; work with staff on lighting and mechanical equipment; work with staff on the materials and color of the roll up door; and work with staff on the material and colors of the fence. **Moved by** Board Member Soto, **Seconded by** Board Member Smith.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

D. NEW CONSTRUCTION - PLANET ROAD TOWNHOMES (TMS# 222-00-00-124, 222-00-00-123, 222-00-00-108, 222-00-00-026, 222-00-00-070, 222-00-00-071, 222-00-00-146, 222-00-00-105, 222-00-00-147)

The applicant presented the application. Staff reports states the applicant is proposing the construction of 286 townhomes on several parcels totaling +/- 30.99 acres. These parcels were annexed into the City of Goose Creek in December 2022 under the Townhome Community (R-4) zoning district. The amenity building was not included in this application, the applicant will submit this later. The applicant stated staff provided recommendations in which the applicant agreed.

Staff's recommendation are as follows:

- Remove the cypress green color from Exterior Package R-2F and replace it with a more natural color to better reflect the other exterior packages provided.
- Provide manufacturer detail sheets for the metal garage handles shown on the Denmark and Davis Remove the cypress green color from Exterior Package R-2F and replace it with a more natural color to better reflect the other exterior packages provided.

- Provide manufacturer detail sheets for the metal garage handles shown on the Denmark and Davis.
- Provide manufacturer detail sheets for the garage doors and the lighting over the garage that are architecturally like those represented.
- Provide staff with the color and materials for the mail kiosk that are reflective of the exterior package colors provided in this submission.
- Locate a lighting element on or near the mail kiosk.
- Work with staff for the location of site elements around the development including benches, pet disposal containers, and neighborhood scale art.

Motion: A motion was made to approve the applicant with the following conditions: remove the cypress green color from Exterior Package R-2F and replace it with a more natural color to better reflect the other exterior packages provided; provide manufacturer detail sheets for the metal garage handles shown on the Denmark and Davis buildings; provide manufacturer detail sheets for the garage doors and the lighting over the garage that are architecturally like those represented; provide staff with the color and materials for the mail kiosk that are reflective of the exterior package colors provided in this submission; locate a lighting element on or near the mail kiosk; work with staff for the location of site elements around the development including benches, pet disposal containers, and neighborhood scale art. **Moved by** Board Member Soto, **Seconded by** Board Member Smith.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

IV. CLOSING REMARKS & ADJOURNMENT

Discussion took place regarding prior applicants and projects as well as questions about tree surveys.

Motion: A motion was made to adjourn. **Moved by** Board Member Smith; **Seconded by** Board Member Victor.

Discussion: None

Vote: All voted in favor. Motion carried (5-0).

The meeting adjourned at approximately 7:03 pm.

Jen Wise, Chair

Date: _____



Request for Architectural Review Board Agenda Item

To: CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD

From: ALEXIS KISER, ASSISTANT TO CITY ADMINISTRATOR

Please check one box

☐ Regular Meeting

☐ Special Meeting

☐ Work Session

Please check one box, if applicable

☐ Ordinance

☐ Resolution

☐ Proclamation

☐ Request to
Purchase

Ordinance/Resolution Title

EXTERIOR MODIFICATION - CHRIST CENTER CHURCH, 113 ETIWAN DRIVE (TMS# 243-04-00-059)

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date



SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD

ALEXIS KISER

(843) 797-6220 x1123

akiser@cityofgoosecreek.com

DEAR APPLICANT, In order for Staff and the Architectural Review Board to be able to properly evaluate your project, the following information relevant to the project needs to be included on the Project Plans submitted for review.

Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:

- ☐ Sheet Index,
- ☐ TMS# and Address,
- ☐ Existing Zoning District, setbacks, building height, site lot coverage,
- ☐ Scale used (1"=20' or 40'),
- ☐ Vicinity Map (Any Scale),
- ☐ North Arrow,
- ☐ Aerial Photo of Site in color.

PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:

- ☐ Dimensioned Property Lines,
- ☐ Any existing buildings w/ proposed use,
- ☐ All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- ☐ Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- ☐ Proposed Landscape Plan including location, size, and common name,
- ☐ Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which Trees will be removed, and which trees will remain,
- ☐ Buildings on adjacent site that are within 40 feet of any property line. Simple outline will suffice,
- ☐ Dimensioned setbacks of proposed building(s).

PART III. PREPARE EXTERIOR BUILDING ELEVATIONS FOR ALL FOUR SIDES OF THE BUILDING THAT ARE DRAWN CLEARLY AND LEGIBLY TO SCALE WITH THE FOLLOWING INSTRUCTIONS:

- ☐ Building Elevations with height and width dimensions,
- ☐ Doors and window locations,
- ☐ Roof Elements,
- ☐ 3-D dimensional analysis of building elevation with appropriate landscape materials shown,
- ☐ Proposed design details, including any pedestrian seating areas, awnings and other overhead weather protection measures, fences, walls, balconies, bay windows, building materials, colors, and proposed exterior lighting,
- ☐ North Arrow,
- ☐ Aerial Photo of Site in color.

PART IV: DRAWING FORMAT

- ☐ All drawings must be to scale and have a graphic scale,
- ☐ All sheets in the submittal must be the same size,
- ☐ Drawing Sheets must have a Title Block with project names, labeled for Architectural Review Board Review and submittal and revision dates

Please note this page must accommodate the ARB Scope of Work Form to be considered a valid application.

**ARB SCOPE OF WORK FORM/****APPLICATION / INFORMATION SUMMARY****DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com


Fax: 843-863-5208

Property Address: 113 Etiwan Dr, Goose Creek SC 29445		TMS No.:
Review request: <input type="checkbox"/> Preliminary <input type="checkbox"/> Final	For: <input type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions <input checked="" type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	Preliminary meeting date requested: <input type="checkbox"/> Appeal Decision of Architectural Review Board

Property Owner: Christ Center Church		Daytime phone: 803-622-4672	
Applicant: Ryan Hernandez		Daytime phone:	
ARB Meeting Representative:		Contact Information: Ryan Hernandez	
Applicant's mailing address: 113 Etiwan Dr, Goose Creek SC 29445			
City:		State:	Zip:
Applicant's e-mail address: pastor@christcentergc.org			
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other			

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board <input type="checkbox"/> attached) (Example: Building Materials, Exterior Colors, Landscaping, Lighting)	
Sherwin Williams - "Dover White" SW6385 samples can be viewed online at www.sherwin-williams.com _____ _____ _____ _____ _____ _____	
Scope of Work: (please give a detailed description)	
Paint exterior of building _____ _____ _____ _____ _____ _____	

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 4/20/23

Print name legibly: Ryan Hernandez

Please send completed application and supporting documents
to Alexis Kiser at akiser@cityofgoosecreek.com

MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: Exterior Modification – Christ Center Church, 113 Etiwan Drive
DATE: 05/01/2023

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

1. The applicant is proposing to paint the exterior of the building in the color of “Dover White” by Sherwin Williams.
2. Currently the building has brick on the side elevation facing Etiwan Drive and brick foundations. The remainder of the building is a tan/beige color and appears to be a stucco type material.

Staff Recommendation

It is unclear from the application if the applicant also intends to paint the brick in the requested color. Staff asks that the Architectural Review Board gain clarity on what materials on the exterior of the building will be painted before approving the application. Leaving the brick color as is and painting the remainder of the building will add visual interest to the site.



Pictures showing the current color and materials of the building.



Request for Architectural Review Board Agenda Item

To: CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD

From: ALEXIS KISER, ASSISTANT TO CITY ADMINISTRATOR

Please check one box

☐ Regular Meeting

☐ Special Meeting

☐ Work Session

Please check one box, if applicable

☐ Ordinance

☐ Resolution

☐ Proclamation

☐ Request to
Purchase

Ordinance/Resolution Title

EXTERIOR MODIFICATION - STONES THROW BREWING - 101 BUTTON HALL AVE (TMS 243-04-00-008)

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 101 Button Hill Ave		TMS No.:
Review request: <input type="checkbox"/> Preliminary <input type="checkbox"/> Final	For: <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	Preliminary meeting date requested:

Property Owner: City of Goose Creek	Daytime phone: 330-519-7499	
Applicant: Steve Stanec	Daytime phone: 330-519-7499	
ARB Meeting Representative: Steve Stanec	Contact Information:	
Applicant's mailing address: 101 Button Hill Ave		
City: Goose Creek	State: SC	Zip: 29445
Applicant's e-mail address: Steve@stanec.com		
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other		

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached) (Example: Building Materials, Exterior Colors, Landscaping, Lighting)
Scope of Work: (please give a detailed description)
Modify accessory structure to meet all zoning requirements. Structure will be painted and trimmed to match existing building. 8ft tall privacy fence to be placed per drawing. Fence will be screened with Blue Point juniper plants to screen.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Steve Stanec Date: 5/1/23Print name legibly: Stephen T. Stanec Jr.

Please send completed application and supporting documents
to Alexis Kiser at akiser@cityofgoosecreek.com

MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: 101 Button Hall Avenue, Stones Throw Tavern, Exterior Renovation (TMS# 243-04-00-008)
DATE: 06/07/2023

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

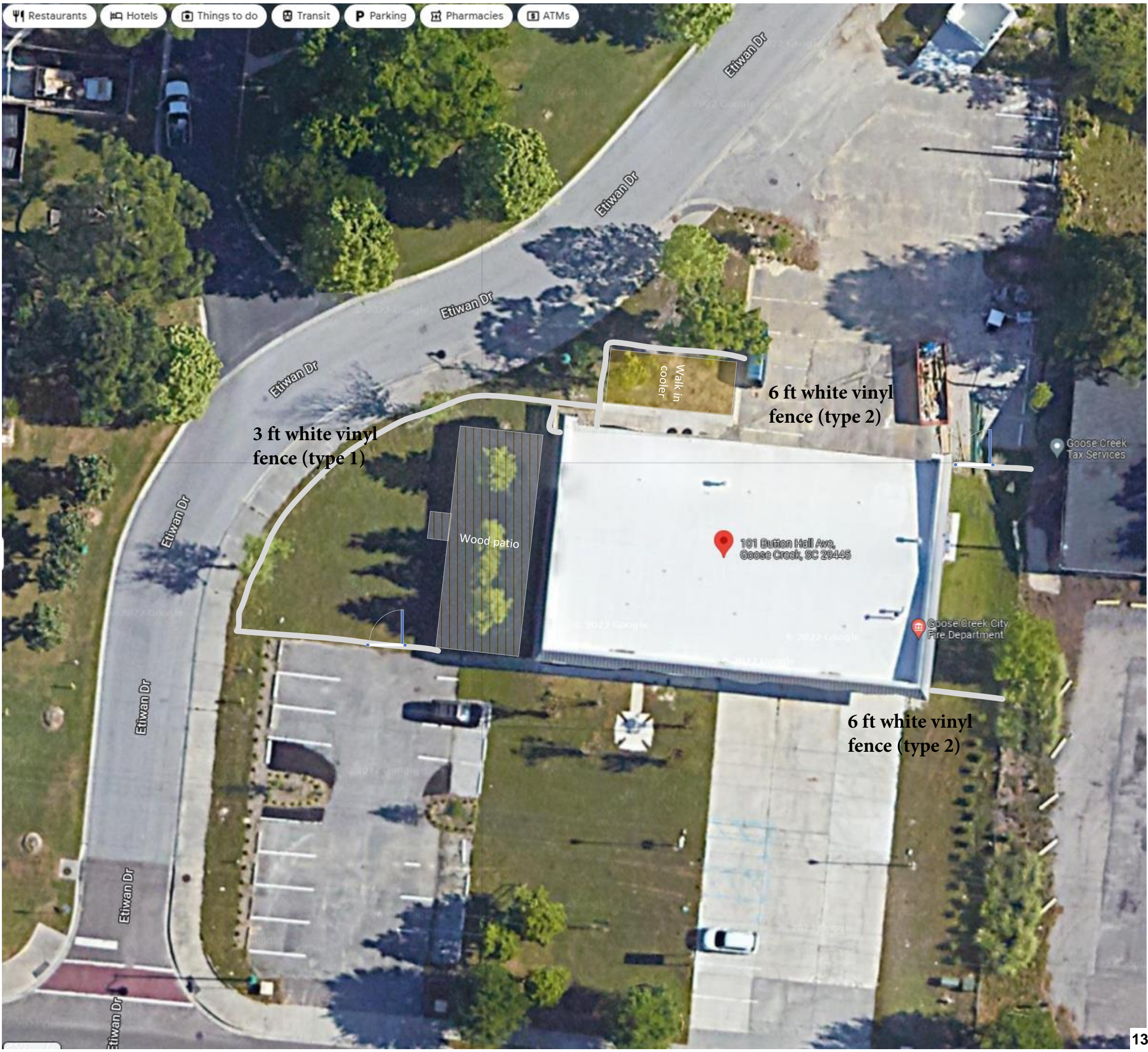
1. This site is located at 101 Button Hall Avenue (TMS# 243-04-00-008) and is zoned General Commercial (GC). This is an approved use in the General Commercial District. The site shares frontage with Button Hall Avenue and Etiwan Drive.
2. The applicant is proposing an accessory structure on the site with associated screening mechanisms.
3. The applicant should note that all standards by zone, including setbacks, must be met and verified by staff before any permits can be approved.

Architectural Review Design Guidelines Analysis

The proposed structure will be painted to match the existing building. The accessory structure will be placed behind the previously approved fence to the front and the back and will not be visible from the roadway. The applicant is proposing additional landscaping in front of the fence.

Staff Recommendation

Staff asks that the Architectural Review Board to approve this application as submitted.





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Internet #206466901 Model #PWPR-3R-8X6

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Augusta 8 ft. H x 6 ft. W White Vinyl Privacy Fence Panel Kit

★★★★★ (15) ▼ Questions & Answers (65)

61



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\$300⁸⁵



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Color Family: **White**



Nominal panel height (ft.): **8 ft**



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Nominal panel width (ft.): 6 ft

6 ft

8 ft


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✓

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May 30 - May 31
496 available
FREE

Delivery
Friday, May 26
496 available
FREE

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Product Details 


Specifications 

Questions & Answers 
65 Questions

Customer Reviews 
4.1 out of 5  (15)

Frequently Bought Together


✓ Select



♥

+


✓ Select



♥

+


✓ Select



♥

+


✓ Select



♥


Weatherables

Augusta 8 ft. H x 6 ft. W
White Vinyl Privacy...

 (15)


Weatherables

5 in. x 5 in. x 11.6 ft.
White Vinyl Fence Lin...

 (5)


Weatherables

5 in. x 5 in. White Vinyl
External Pyramid Pos...

 (42)

Weatherables

Augusta 3.7 ft.
H White Vinyl F

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15

\$300⁸⁵

\$71¹⁶

\$8⁸⁵

\$537⁷⁰

Subtotal: **\$1002³³**

Add 5 Items to Cart

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Weatherables
Augusta 8 ft. H x 8 ft. W White
Vinyl Privacy Fence Panel Kit

★★★★★ (15)

\$380⁵⁶

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Weatherables
Augusta 3.7 ft. W x 8 ft. H White
Vinyl Privacy Fence Gate Kit

\$537⁷⁰

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Weatherables
Augusta 3.7 ft. x 7 ft. White Vinyl
Privacy Fence Gate Kit

★★★★★ (1)

\$420⁶⁸

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× You Might Also Need (13)



Everbilt
Black Decorative Gate Hinge
and Latch Set

★★★★★ (379)

\$31⁹³

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Weatherables
5 in. x 5 in. x 11.6 ft. White Vinyl
Fence Corner Post

★★★★★ (2)

\$71¹⁶

Add to Cart



Weatherables
5 in. x 5 in. x 11.6 ft. White Vinyl
Fence End Post

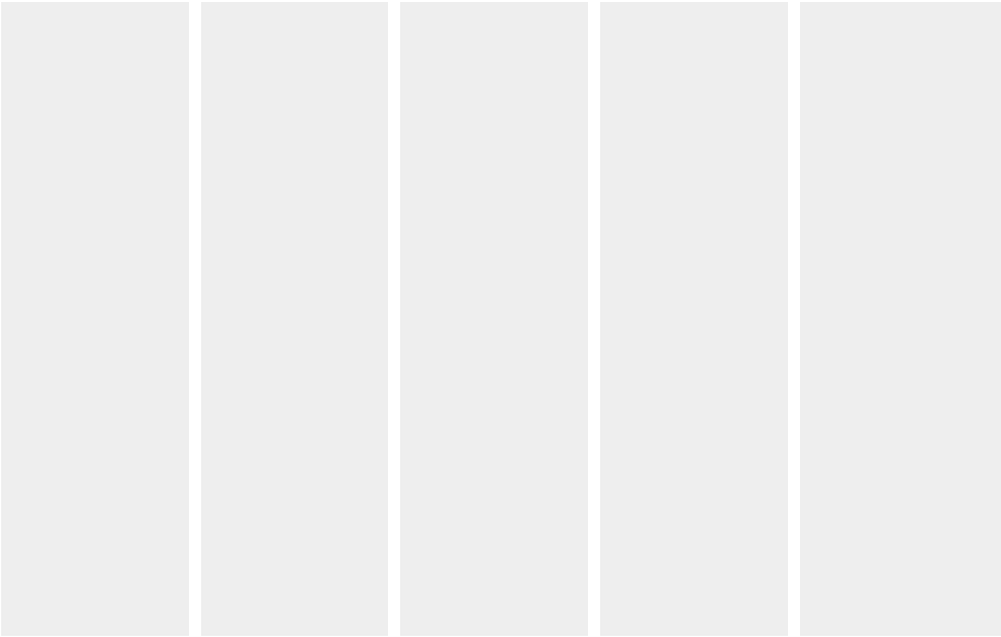
★★★★★ (6)

\$71¹⁶

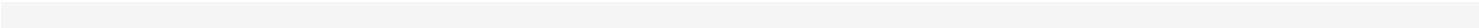
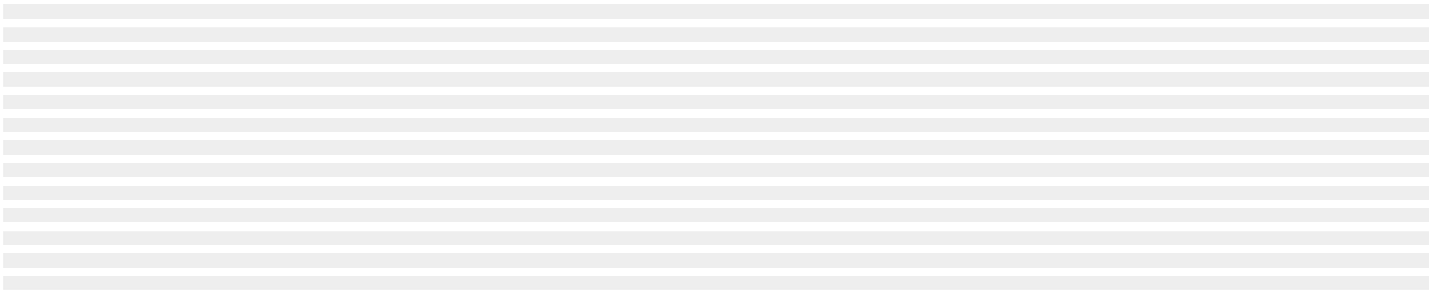
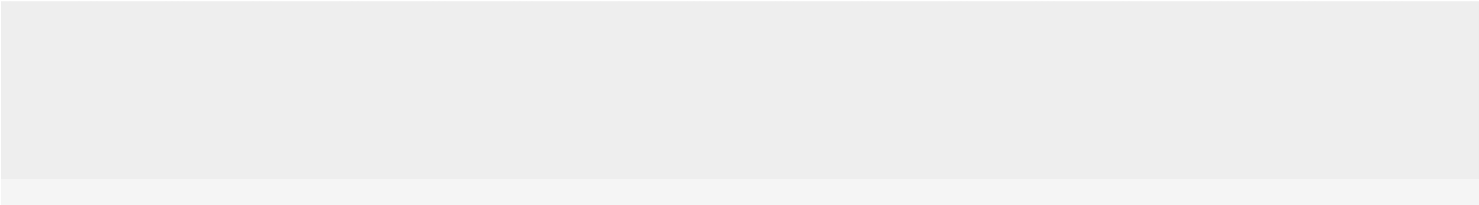
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blue point juniper



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Internet #313761117 Model #13821

2.25 Gal. Blue Point Juniper Plant with Blue-Green Foliage

103

★★★★★ (47) ▼ Questions & Answers (7)



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\$35.01



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Pickup

Unavailable

Delivery

Thursday, May 11

4,969 available

FREE

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Product Details^

Blue Point Juniper boasts glowing blue-green foliage that grows in a broad pyramid shape. Great as accents, screens or border plants that need little to no pruning. Beautiful evergreen that will provide year round interest!

Additional Resources

From the Manufacturer

Specifications^

Dimensions

Mature Height (in.)	144 in.
Mature Width (in.)	96 in.

Details

Additional Characteristics	None Listed
Annual / Perennial	Perennial
Average Shipping Height (In.)	24 in
Best Time to Plant	Year Round
Bloom Season	No Blossoms
Blossom Color Family	No Blossoms
Botanical Name	Juniperus chinensis 'Blue Point'
Common Name Family	Juniper
Container Size	2.25 Gallon(s)
Container Type	Container
Evergreen or Deciduous	Evergreen
Fragrance	Non-Fragrant
Growth Habit	Upright
Hardiness Zone	4 (-30 to -20 F),5 (-20 to -10 F),6 (-10 to 0 F),7 (0 to 10 F),8 (10 to 20 F),9 (20 to 30 F)
Mature Height (ft.)	7-12
Number of plants Included (Pack-Size)	1
Optimal Soil Condition	Neutral

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Pet Friendly	Safe for Cats, Safe for Dogs
Recommended Space Between Plantings (in.)	72-96
Returnable	90-Day
Shrub Height Range (Ft.)	12-13 Ft.
Sun Tolerance	Full Sun
Water Requirements	When soil is dry
Wildlife Attracted	No Wildlife Attracted
Wildlife Deterred	No Wildlife Deterred

Questions & Answers

7 Questions

Customer Reviews

4.5 out of 5  (47)

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☒ Select

☒ Select

☒ Select



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Top Rated



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2.25 Gal. Blue Point
Juniper Plant with Blu...

 (47)

\$35⁰¹

SOUTHERN LIVING
2.5 Qt. Jubilation
Gardenia, Live...

 (839)

\$12⁹⁷ ~~\$14.98~~
Save \$2.01 (13%)

2 Gal. Limelight Prime
Hydrangea Shrub wit...

 (284)

\$33⁹⁷ ~~\$40.45~~
Save \$6.48 (16%)

**HOLLYWOOD
HIBISCUS**
2 Gal. Hollywo
Suave Yellow e

 (5)

\$39⁹⁷ /packag
Save \$7

Subtotal: **\$162⁰⁸**

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All Items (18)



Outdoor Plants (18)

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2.25 Gal. August Beauty Gardenia Shrub with Double...

★★★★★ (34)

\$36¹¹ /gallon

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2.5 Qt. August Beauty Gardenia Shrub with Double White...

★★★★★ (34)

\$19⁹⁸ /gallon

Add to Cart



2.25 Gal. Blue Crop Blueberry Plant with White Flowers and...

★★★★★ (11)

\$43⁵⁴ /gallon

Add to Cart



× You Might Also Need (9)



Alaska
32 oz. (1 qt.) Liquid Fish Emulsion Fertilizer 5-1-1

★★★★★ (1540)

\$14⁴⁷

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Miracle-Gro
1.5 cu. ft. Garden Soil for Trees and Shrubs

★★★★★ (279)

\$10⁹⁷

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Trendspot
10 in. Dia Blue Rivage Ceramic Planter

★★★★★ (511)

\$55⁹⁷

Add to Cart



Sponsored Products



Bonnie Plants 19 oz. Hot Jalapeno Pepper Plant (2-Pack)

★★★★★ (152)

\$15⁴⁸ /package (\$7.74 /unit)

Add to Cart



Bonnie Plants 19 oz. Sweet Banana Pepper Plant (2-Pack)

★★★★★ (104)

\$15⁴⁸ /package (\$7.74 /unit)

Add to Cart



Bonnie Plants 19 oz. Early Girl Tomato Plant (2-Pack)

★★★★★ (97)

\$15⁴⁸ /package (\$7.74 /unit)

Add to Cart



Bonnie Plants 19 oz. Red Ghost Super Hot Pepper Plant (2-Pack)

★★★★★ (52)

\$15⁴⁸ /package (\$7.74 /unit)

Add to Cart



Purely Organic Products 15 lbs. Crabgrass Defender Law...

★★★★★ (20)

\$28¹⁶ /bag

Add to Cart



Scotts Turf Builder UltraFeed Southern

★★★★★

\$102⁵²

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Live Chat

Customers Also Viewed



BELL NURSERY 3 Gal. Emerald Green Arborvitae (Thuja) Live Evergreen...

★★★★★ (25)

\$54⁹⁸



FLOWERWOOD 2.5 Gal - Compacta Japanese Holly(Ilex), Evergreen...

★★★★★ (46)

\$32⁸⁶



Online Orchards 1-Gal. Lemon Cypress Tree with Citrusy Aroma and Gold...

★★★★★ (19)

\$51²⁸



SOUTHERN L 1-Gal. Sunshine Privet Shrub w...

★★★★★ (3)

\$34⁶⁹

Live Chat

Recently Viewed



FLOWERWOOD 2.5 Gal - Leyland Cypress, Live Evergreen Tree, Rich...

★★★★★ (89)



7 Gal. Osmanthus Tea Olive Shrub with White Fragrant Flowers

★★★★★ (342)



7 Gal. Ligustrum Recurvifolium Privet Shrub with Dark Green Foliage...

★★★★★ (190)



GenTite W590 ft. x 25 ft. Black Rubber Roofin...

★★★★★ (1)

Related Products



3 Gal. Emerald Green Arborvitae (Thuja) Live Evergreen Shrub

Emerald Green Arborvitae is one of the most

[View More](#)



2.25 Gal. Steeds Upright Japanese Holly Plant with Dark Green Foliage

Elevate the look of your space with this

[View More](#)



2 Gal. Lemon Burst Arborvitae Shrub with Golden Foliage

This moderately sized arborvitae has a broadly

[View More](#)



2 Gal. Planet Earth Arborvitae Shrub with Evergreen Foliage

Planet Earth has a perfectly rounded, dense

[View More](#)

 **Live Chat**

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Request for Architectural Review Board Agenda Item

To: CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD

From: ALEXIS KISER, ASSISTANT TO CITY ADMINISTRATOR

Please check one box

☐ Regular Meeting

☐ Special Meeting

☐ Work Session

Please check one box, if applicable

☐ Ordinance

☐ Resolution

☐ Proclamation

☐ Request to
Purchase

Ordinance/Resolution Title

NEW CONSTRUCTION - HENRY BROWN TOWNHOMES (TMS# 235-00-00-083)

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date



SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD

ALEXIS KISER

(843) 797-6220 x1123

akiser@cityofgoosecreek.com

DEAR APPLICANT, In order for Staff and the Architectural Review Board to be able to properly evaluate your project, the following information relevant to the project needs to be included on the Project Plans submitted for review.

Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:

- ☐ Sheet Index,
- ☐ TMS# and Address,
- ☐ Existing Zoning District, setbacks, building height, site lot coverage,
- ☐ Scale used (1"=20' or 40'),
- ☐ Vicinity Map (Any Scale),
- ☐ North Arrow,
- ☐ Aerial Photo of Site in color.

PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:

- ☐ Dimensioned Property Lines,
- ☐ Any existing buildings w/ proposed use,
- ☐ All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- ☐ Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- ☐ Proposed Landscape Plan including location, size, and common name,
- ☐ Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which Trees will be removed, and which trees will remain,
- ☐ Buildings on adjacent site that are within 40 feet of any property line. Simple outline will suffice,
- ☐ Dimensioned setbacks of proposed building(s).

PART III. PREPARE EXTERIOR BUILDING ELEVATIONS FOR ALL FOUR SIDES OF THE BUILDING THAT ARE DRAWN CLEARLY AND LEGIBLY TO SCALE WITH THE FOLLOWING INSTRUCTIONS:

- ☐ Building Elevations with height and width dimensions,
- ☐ Doors and window locations,
- ☐ Roof Elements,
- ☐ 3-D dimensional analysis of building elevation with appropriate landscape materials shown,
- ☐ Proposed design details, including any pedestrian seating areas, awnings and other overhead weather protection measures, fences, walls, balconies, bay windows, building materials, colors, and proposed exterior lighting,
- ☐ North Arrow,
- ☐ Aerial Photo of Site in color.

PART IV: DRAWING FORMAT

- ☐ All drawings must be to scale and have a graphic scale,
- ☐ All sheets in the submittal must be the same size,
- ☐ Drawing Sheets must have a Title Block with project names, labeled for Architectural Review Board Review and submittal and revision dates

Please note this page must accommodate the ARB Scope of Work Form to be considered a valid application.

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address:		TMS No.:
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary <input type="checkbox"/> Final	<input type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	<input type="checkbox"/> Appeal Decision of Architectural Review Board

Property Owner: Daniel Sommer		Daytime phone: 682-209-6742	
Applicant: Andrew Todd-Burke		Daytime phone: 843-823-6793	
ARB Meeting Representative: Andrew Todd-Burke		Contact Information :	
Applicant's mailing address: 115 Fairchild Street - Suite 250			
City: Charleston		State: SC	Zip: 29492
Applicant's e-mail address: andrew.todd-burke@kimley-horn.com			
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other			

Materials/Colors Used: <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Scope of Work: <i>(please give a detailed description)</i>
<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: NR Date: _____

Print name legibly: _____

**Please send completed application and supporting documents
to Alexis Kiser at akiser@cityofgoosecreek.com**

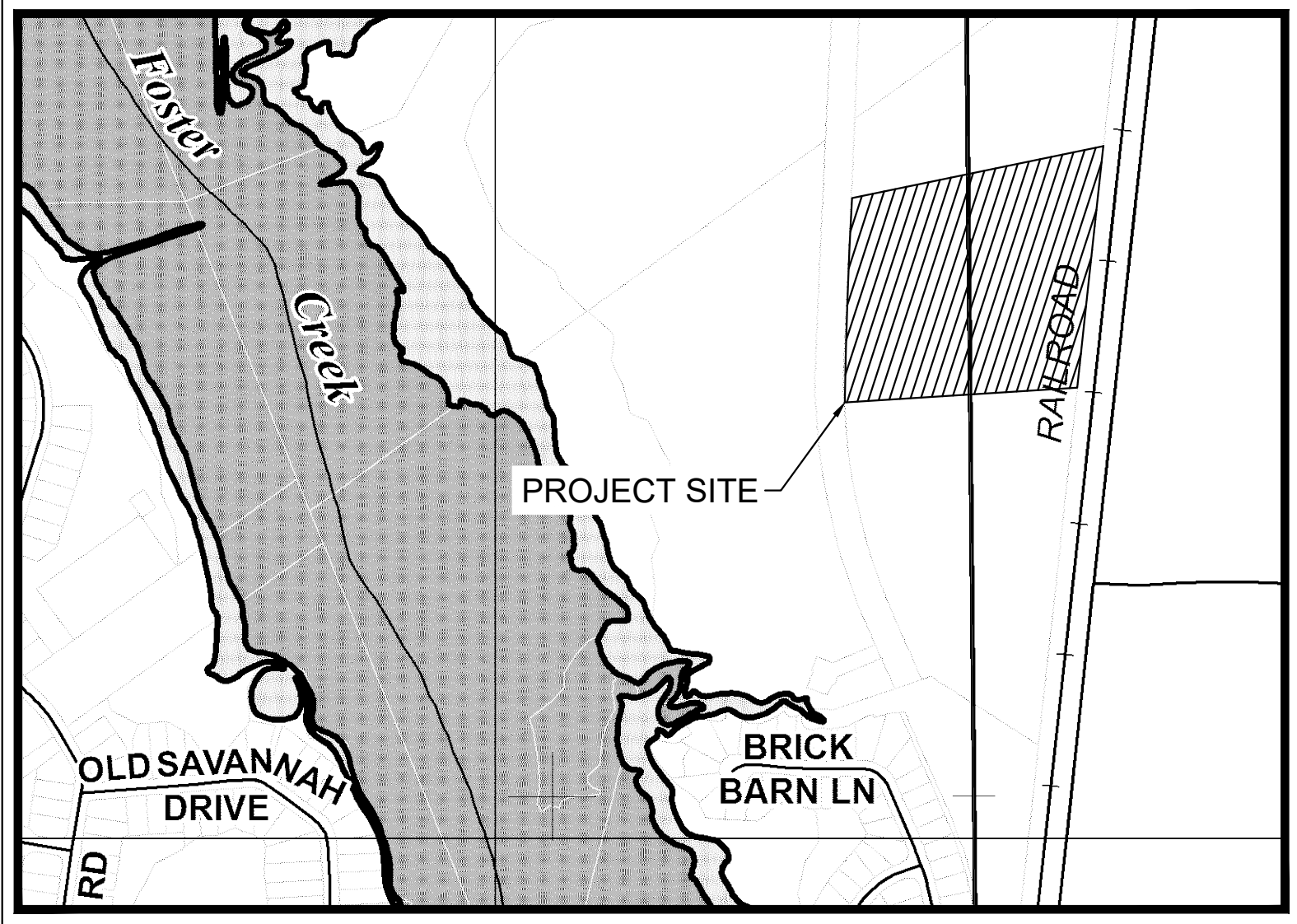
Drawing name: \\kimley-horn.com\cmt_d\cha_LDEV014971 bluecurrent development\001 henry brown blvd th02 - DWG\plansheets\ARB00-00 - COVER SHEET.dwg CO-00 COVER SHEET May 25, 2023 9:47am by: Crystal Aponte
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ARCHITECTURAL REVIEW BOARD SUBMITTAL

FOR

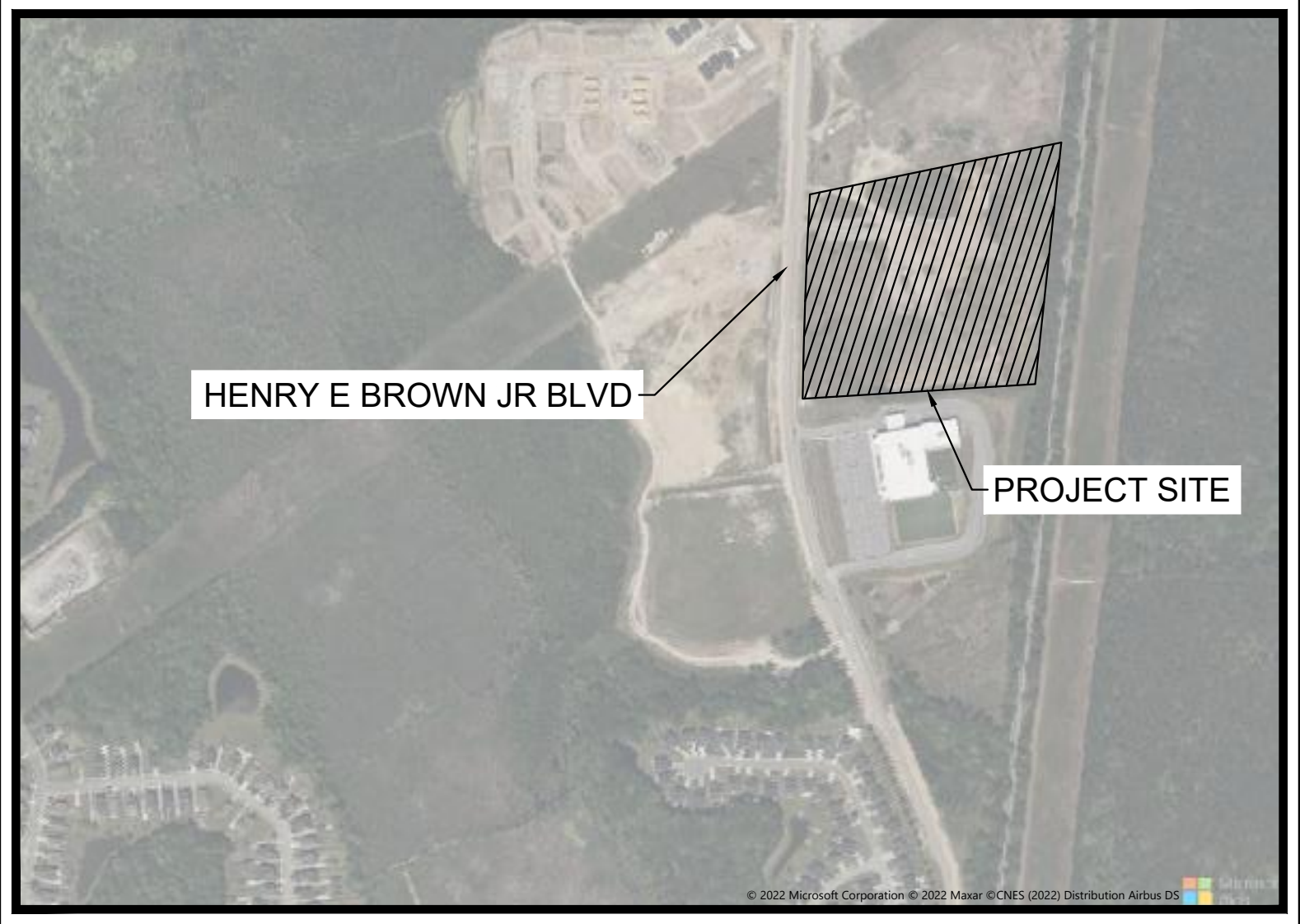
HENRY BROWN BLVD. - TOWNHOME

HENRY E BROWN JR BLVD, GOOSE CREEK, SC 29445



FEMA MAP

A PORTION OF THE PROJECT SITE DOES LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 45015C0595E DATED 12/07/2018.



VICINITY MAP

N.T.S.



PROJECT NARRATIVE:

THE PROPOSED PROJECT CONSISTS OF A 96 LOT TOWNHOME DEVELOPMENT ON APPROXIMATELY 12.26 ACRES.

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF ASSOCIATED SURFACE PARKING, STORMWATER CONVEYANCE AND DETENTION, UTILITIES, AND TWO NEW FULL ACCESS DRIVEWAYS INTO THE PROJECT SITE FROM HENRY BROWN BOULEVARD.

DEVELOPMENT SUMMARY:

SITE SUMMARY:

ZONING:	R-4 (TOWNHOME DISTRICT)
SITE AREA:	12.26 ACRES
TOTAL OPEN SPACE:	
REQUIRED:	1.60 ACRES
PROVIDED:	2.20 ACRES
LOT SETBACK:	
FRONT:	15 FT
SIDE:	
MINIMUM	6 FT
MIN. COMBINED	12 FT
REAR:	25 FT

PROPOSED LAND USES:

NON-RESIDENTIAL BUILDINGS	1 (CLUBHOUSE)
GSF	4,737 SF
TOTAL RESIDENTIAL GSF	355,940 SF

PARKING SUMMARY:

PROPOSED PARKING:	42 SPACES (TOTAL)
STANDARD (9'X18')	9 SPACES
PARALLEL (7'X22')	33 SPACES

PROJECT CONTACTS

OWNER	LIBERTY VILLAGE, LLC 622 JOHNNIE DODDS BLVD MOUNT PLEASANT, SC 29464
DEVELOPER:	HENRY BROWN MF INVESCO, LLC 222 WEST COLEMAN BLVD MOUNT PLEASANT, SC 29464 PHONE: (843) 375-8984 EMAIL: BRETT@BLUECURRENTDEV.COM CONTACT: BRETT WOODWARD
ARCHITECT:	VIN-YET ARCHITECTURE, LLC 56 BROAD STREET, THIRD FLOOR CHARLESTON, SC 29401 PHONE: (843) 604-3491 EMAIL: CONTACT@VIN-YET.COM CONTACT: MYLES S. ALEXANDER
CIVIL ENGINEER:	KIMLEY-HORN AND ASSOCIATES, INC. 115 FAIRCHILD STREET, SUITE 250 CHARLESTON, SC 29492 PHONE: (843) 737-6390 EMAIL: CASEY.WARFIELD@KIMLEY-HORN.COM CONTACT: CASEY WARFIELD, P.E.
LANDSCAPE ARCHITECT:	KIMLEY-HORN AND ASSOCIATES, INC. 115 FAIRCHILD STREET, SUITE 250 CHARLESTON, SC 29492 PHONE: (843) 737-6390 EMAIL: ANDREW.TODD-BURKE@KIMLEY-HORN.COM CONTACT: ANDREW TODD-BURKE, PLA, ASLA
SURVEYOR:	TIM ELMER RLS, LLC 523 MAN O WAR LANE MONCKS CORNER, SC 29461 PHONE: (843) 482-0795 EMAIL: TDELMER1@AOL.COM CONTACT: TIM ELMER, RLS
SEWER PROVIDER:	BERKELEY COUNTY WATER AND SANITATION 212 OAKLEY PLANTATION DR MONCKS CORNER, SC 29461 PHONE: (843) 761-8817
WATER PROVIDER:	CITY OF GOOSE CREEK PUBLIC WORKS 200 BRANDYWINE BLVD GOOSE CREEK, SC 29445 PHONE: (843) 824-2200

TMS#: 235-00-00-083
ZONING: R-4 (TOWNHOME DISTRICT)

TOTAL PROPERTY AREA = 12.26 ACRES

NOTES

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- THE APPROVAL OF THESE PLANS AND/OR THE ISSUANCE OF A PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
- THERE WILL BE NO COVENANTS OR RESTRICTIONS THAT CONFLICT WITH THE PROPOSED SITE USE.

Sheet List Table

Sheet Number	Sheet Title
C0-00	COVER SHEET
C0-80	SITE AERIAL
C2-00	SITE PLAN
L1-00	LANDSCAPE PLAN
L2-00	LIGHTING PLAN
A001 - A401	ARCHITECTURAL DRAWINGS



APPROVAL BOX

6	5	4	3	2	1	0	ARCHITECTURAL REVIEW BOARD REVIEW	RVA	DATE	BY

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
115 FAIRCHILD STREET, SUITE 250
CHARLESTON, SOUTH CAROLINA 294092
PHONE (843) 737-6390
WWW.KIMLEY-HORN.COM

SEAL OF KIMLEY-HORN AND ASSOCIATES, INC. No. C00168

SCALE: AS SHOWN
DRAWN BY: KHA
DESIGNED BY: KHA
CHECKED BY: MCW

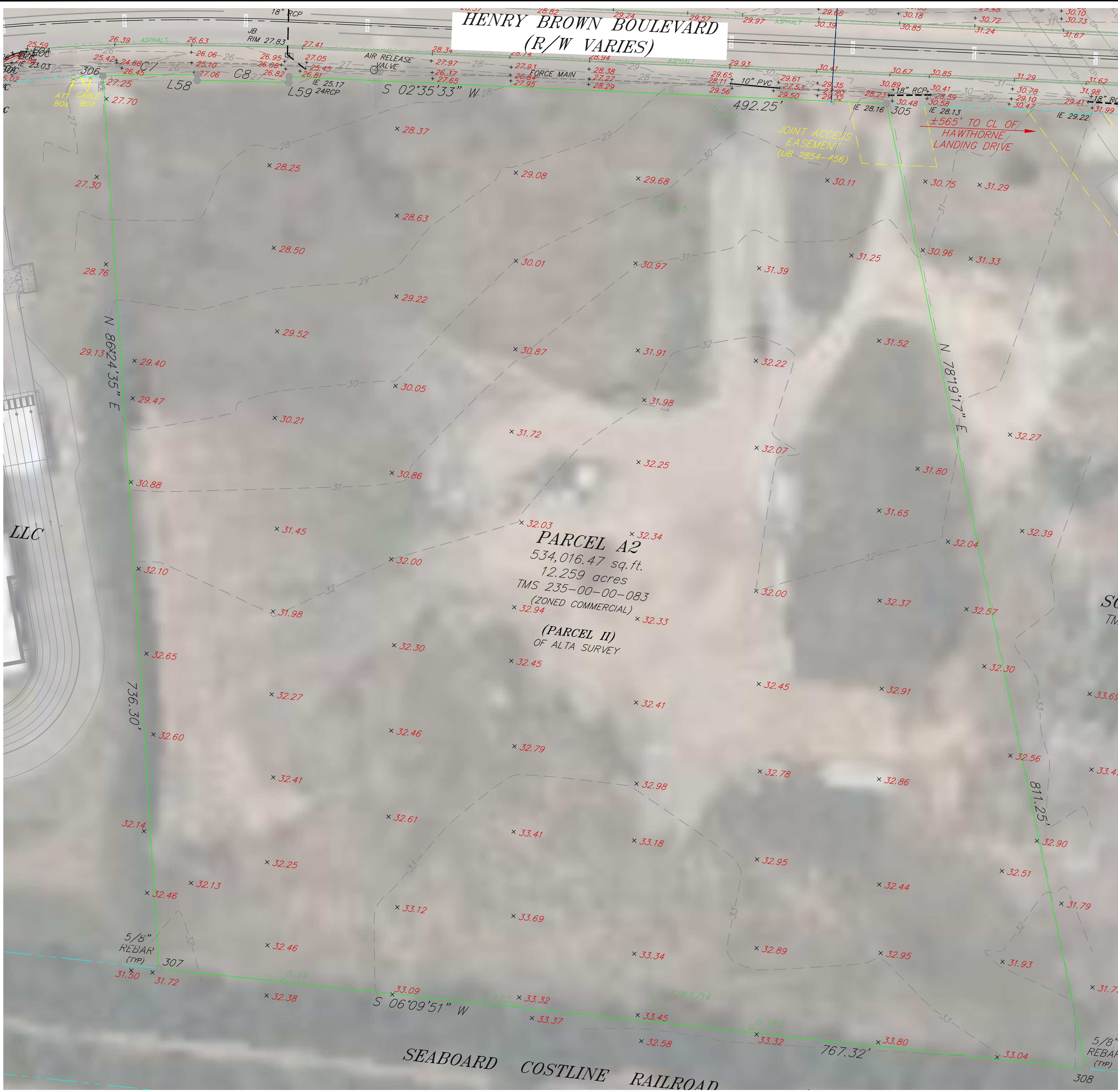
CLIENT: HENRY BROWN MF INVESCO, LLC
222 WEST COLEMAN BLVD
MOUNT PLEASANT, SC 29464

PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL
HENRY BROWN BLVD, TOWNHOMES
CITY OF GOOSE CREEK, SOUTH CAROLINA

TITLE: COVER SHEET

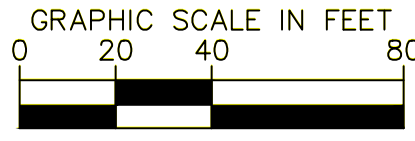
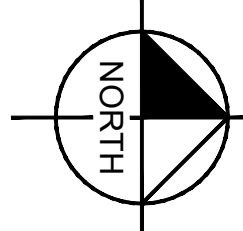
DATE: 5/16/2023
PROJECT NO.: 014971001
SHEET NUMBER: C0-00

Drawing name: \\kimley-horn.com\cadd\cha\CHA_LDEV014971 bluecurrent development\001 henry brown blvd th02 - DWG\plansheets\ARB\C1-00 - DEMOLITION PLAN.dwg C1-00 - DEMOLITION PLAN May 16, 2023 4:50pm by: greg.craft
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EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PREPARED BY THOMAS AND HUTTON DATED 8/13/2022.
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- SITE SHALL BE CLEARED AND GRUBBED TO ALLOW FOR SITE CONSTRUCTION. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR LIMITS OF THE TREE CLEARING.
- RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
- CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH THE APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 2H:1V.
- A PORTION OF THE PROJECT DOES LIE WITHIN A FLOOD HAZARD AREA PER FORM PANELS 45015C0595E DATED 12/07/2018.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLAINT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.



APPROVAL BOX

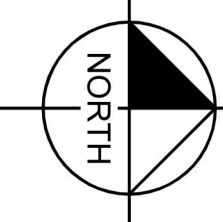
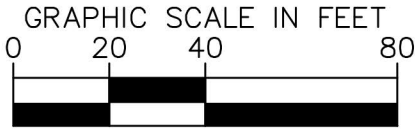
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HENRY BROWN MF		HENRY BROWN BLVD, TOWNHOMES		5/16/2023	
CLIENT:		HENRY BROWN MF		PROJECT NO.	
INVENSCO, LLC		CITY OF SCOTTS CREEK, SOUTH CAROLINA		014971001	
TITLE:		SITE AERIAL		SHEET NUMBER	
SCALE:		AS SHOWN		C0-80	
DRAWN BY:		KHA			
DESIGNED BY:		KHA			
CHECKED BY:		MCW			
CITY OF SCOTTS CREEK, SOUTH CAROLINA		222 WEST COLEMAN BLVD			
		MOUNT PLEASANT, SC 29484			
KIMLEY-HORN AND ASSOCIATES, INC.		115 FAIRCHILD STREET, SUITE 250			
CHARLOTTE, SOUTH CAROLINA 294092		PHONE (843) 737-6390			
WWW.KIMLEY-HORN.COM					
KIMLEY-HORN					
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ARCHITECTURAL REVIEW BOARD REVIEW					
REV/SIONS					
No.					
1					
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6					
KHA					
05/16/2023					
DATE					
BY					

Drawing name: K:\CHA_LDEV\014971 BlueCurrent Development\001 Henry Brown Blvd TH02 - DWG\PlanSheets\ARB\1.00 - COLORED SITE PLAN.dwg L1-00 (01/16/2023) 2:52:20 PM 2023/05/16/2023
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PLANT SCHEDULE

CANOPY TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	CC	Carpinus caroliniana / American Hornbeam	2.5' Cal.	B&B	6'-10' HT.
	NS	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	2.5' Cal.	B&B	6'-10' HT.
	GP	Quercus phellos / Willow Oak	2.5' Cal.	B&B	6'-10' HT.
	QV	Quercus virginiana / Southern Live Oak	2.5' Cal.	B&B	6'-10' HT.
PALM TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	SP	Sabal palmetto / Cabbage Palmetto	—	B&B	10' - 12' HT.
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	AP	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	Multi-stem	B&B	6'-8' HT.
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	Multi-stem	B&B	6'-8' HT.
	LI	Lagerstroemia indica 'Catawba' / Catawba Crape Myrtle Multi-Trunk	Multi-stem	B&B	6'-8' HT.
	LN	Lagerstroemia x 'Natchez' / Natchez Crape Myrtle	Multi-stem	B&B	6'-8' HT.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	AK	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	1 gal.	Pot	18"-24" MIN.
	AR	Azalea x 'Tobler' / Autumn Fire® Encore® Azalea	3 gal.	Pot	18"-24" MIN.
	FJ	Fatsia japonica 'Spiders Web' / Speckled Japanese Fatsia	3 gal.	Pot	18"-24" MIN.
	IS	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	3 gal.	Pot	18"-24" MIN.
	IT	Ilex vomitoria 'Taylor's Rudolph' / Taylor's Rudolph Yaupon Holly	3 gal.	Pot	18"-24" MIN.
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
	LC	Lantana x 'Chapel Hill Yellow' / Chapel Hill Yellow Lantana	1 gal.	Pot	36" o.c.
	LB	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal.	Pot	24" o.c.
POLLINATOR GARDEN MIX	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
	PG	Pollinator Garden Mix / Pollinator Garden Mix	1 gal.	Pot	30" o.c.
POND PLANTING MIX	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
	SL	Shallow Land / Pond Planting Mix	1 gal.	Pot	18" o.c.
SOD/SEED	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	
	SOD	Cynodon dactylon '419 Hybrid' / Bermuda Grass	Sod	Sod	



APPROVAL BOX

PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL
HENRY BROWN BLVD. TOWNHOMES
CITY OF GOOSE CREEK, SOUTH CAROLINA

TITLE: LANDSCAPE PLAN

DATE: 5/16/2023

PROJECT NO.: 014971001

SHEET NUMBER: L1-00

CLIENT: HENRY BROWN MF
INVERSCO, LLC
222 WEST COLEMAN BLVD
MOUNT PLEASANT, SC 29484

SCALE: AS SHOWN

DRAWN BY: CAA

DESIGNED BY: CAA

CHECKED BY: ATB

Kimley-Horn

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115 FAIRCHILD STREET, SUITE 250
CHARLESTON, SOUTH CAROLINA 294092
PHONE (843) 737-6380
WWW.KIMLEY-HORN.COM

ARCHITECTURAL REVIEW BOARD REVIEW

05/16/2023

KVA

DATE

BY

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2

3

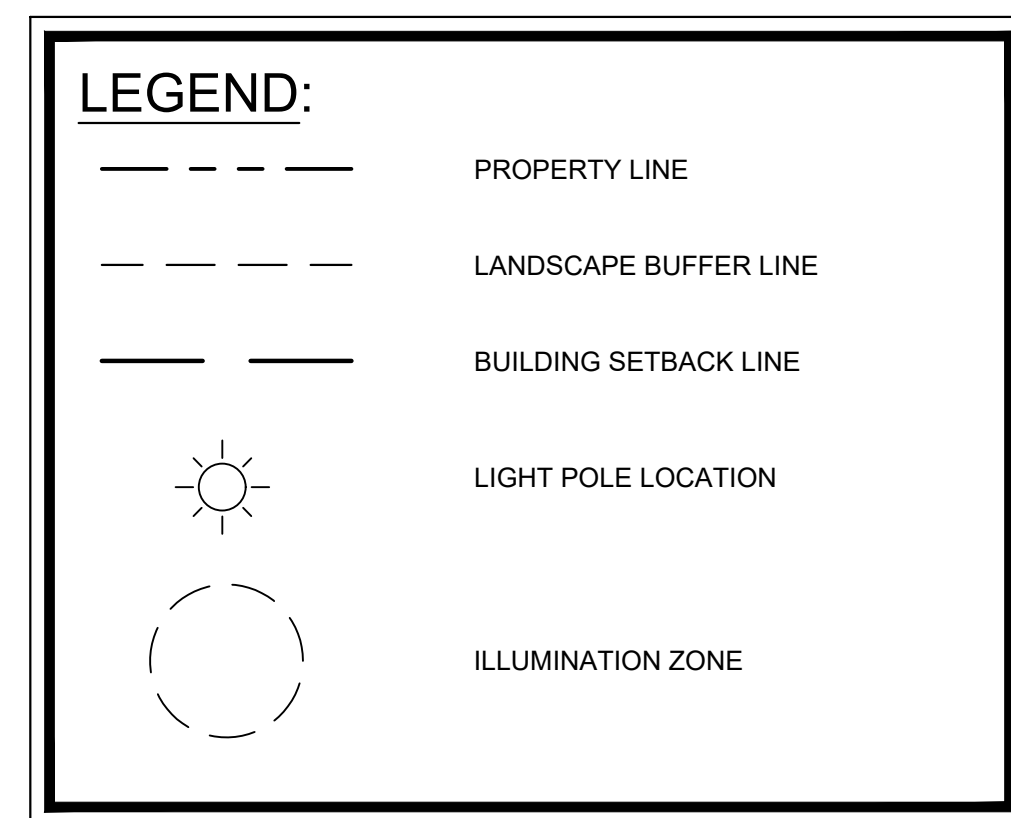
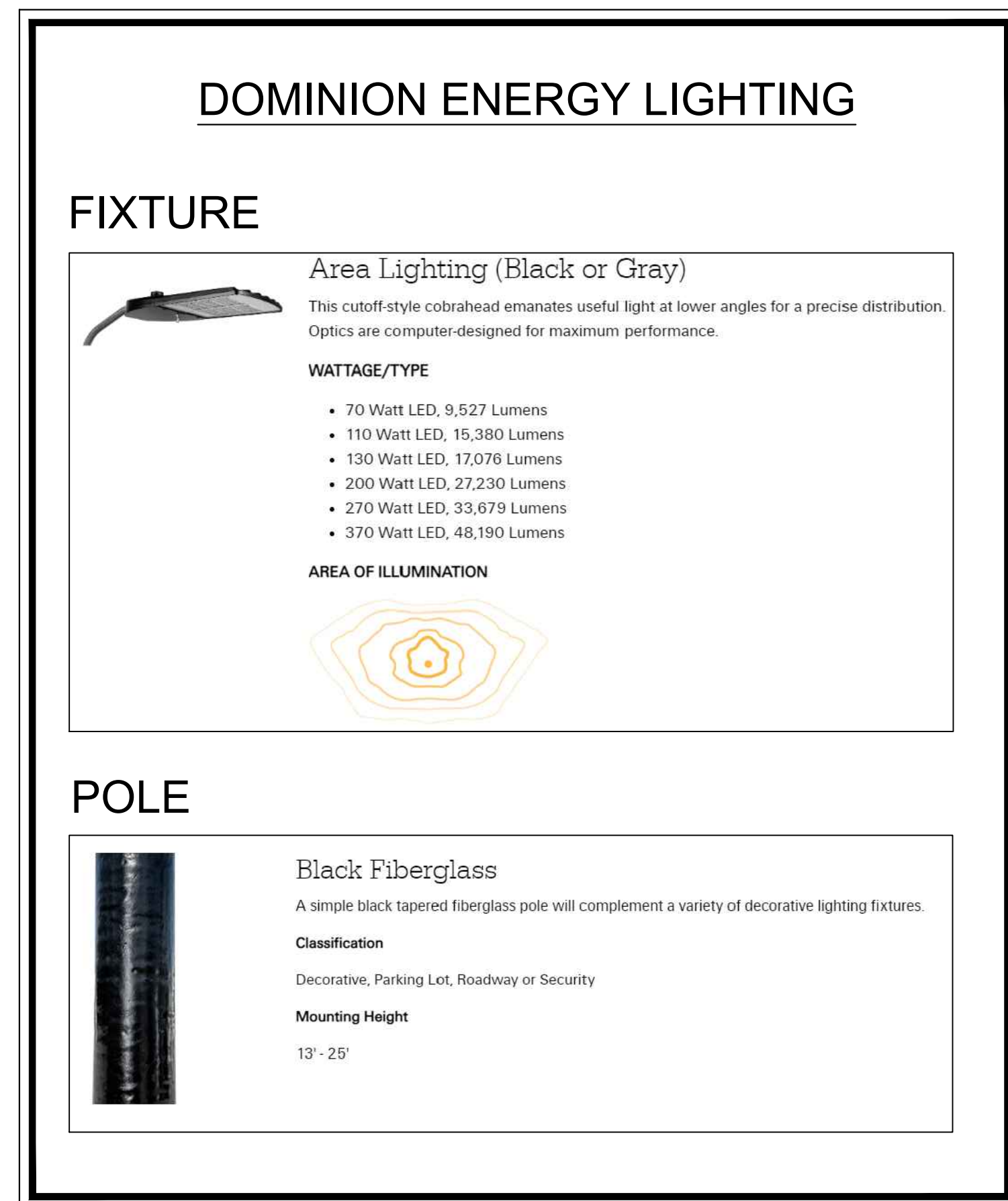
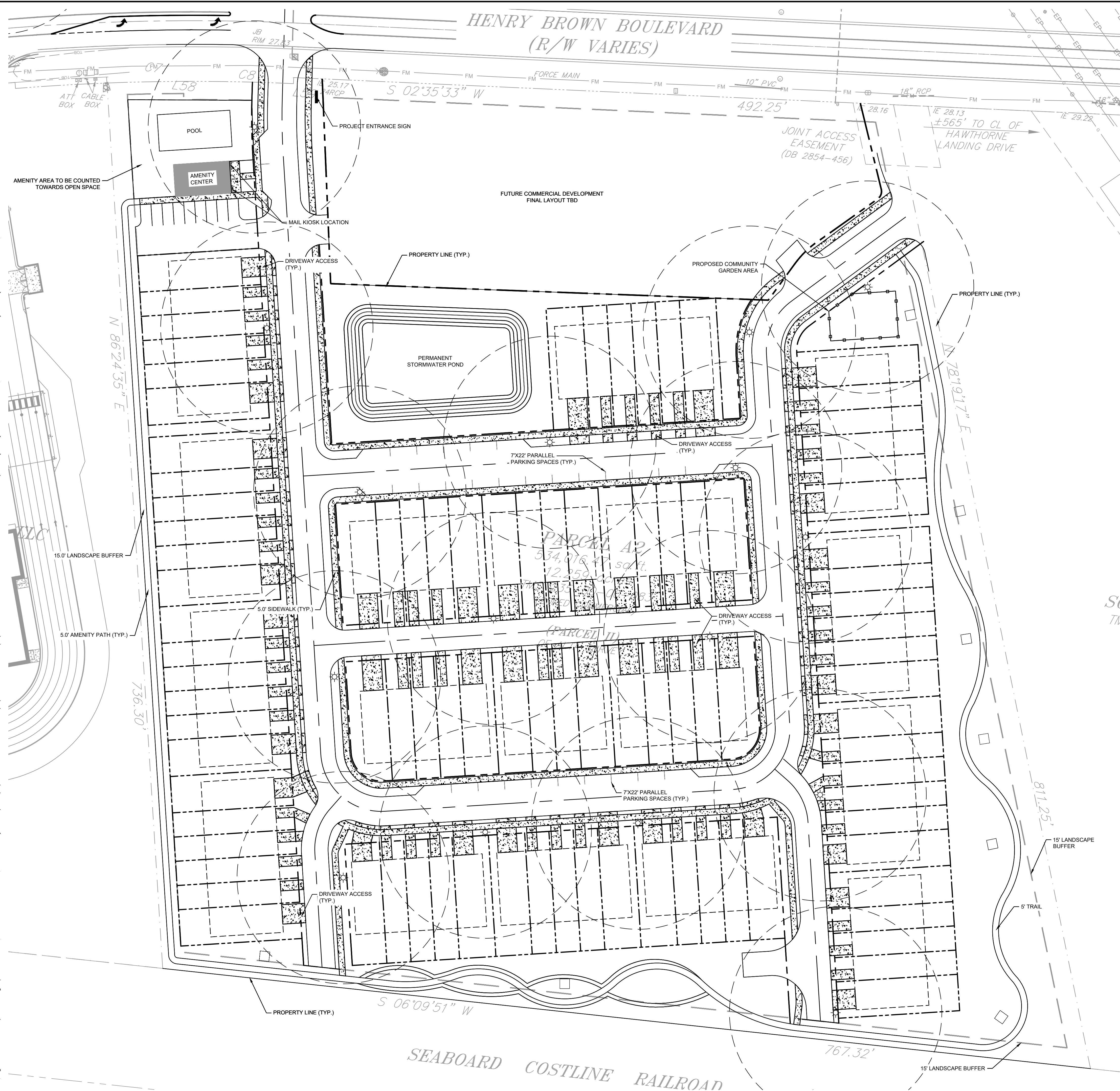
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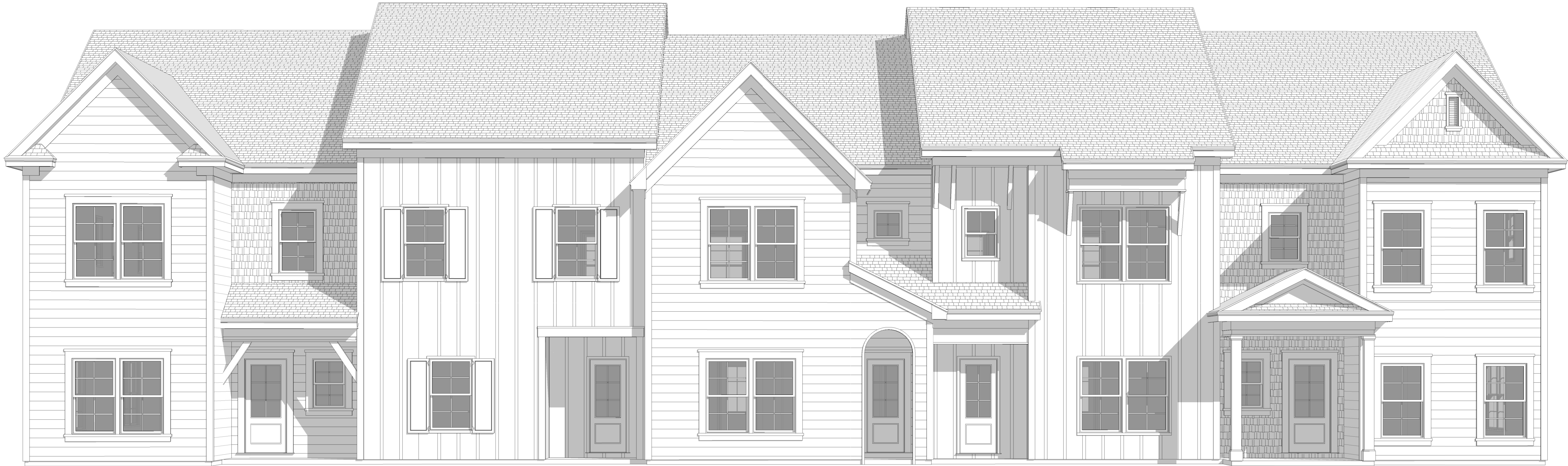
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6

No.


REVISIONS

[illegible]



Building A
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

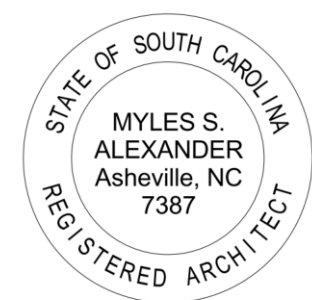


**BROADHILL
STUDIO, LLC**
56 BROAD ST, 3RD FL
CHARLESTON, SC 29401

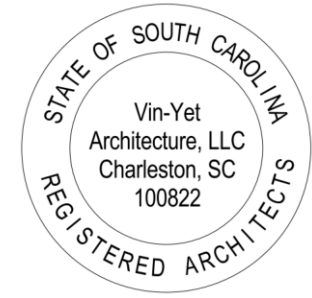
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VINYET ARCHITECTURE**



contact@vin-yet.com
charleston 843.619.7662



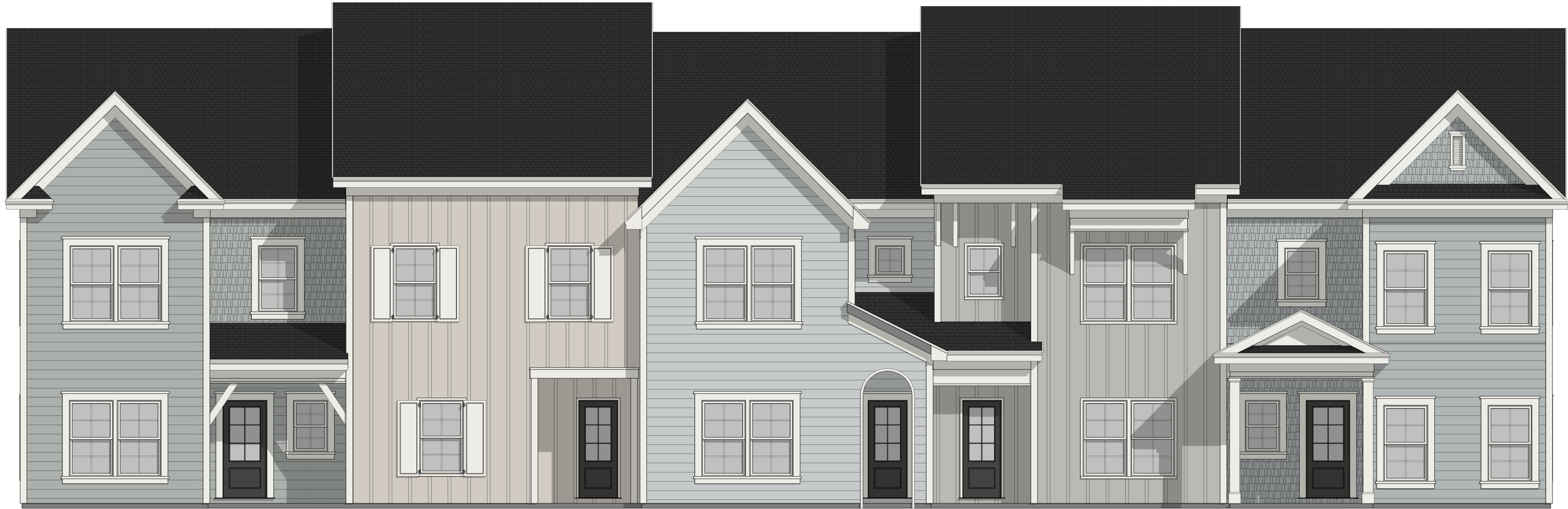
rock hill 803.324.5531

Cover Sheet

05.23.23

A001

32



1 Colored Front Elevation
A002 1/4" = 1'-0"



2 Colored Left Elevation
A002 1/8" = 1'-0"



3 Colored Right Elevation
A002 1/8" = 1'-0"



4 Colored Rear Elevation
A002 1/8" = 1'-0"



**BROADHILL
STUDIO, LLC**
56 BROAD ST, 3RD FL
CHARLESTON, SC 29401

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**ARCHITECT OF RECORD:
VINYET ARCHITECTURE**



contact@vin-yet.com
charleston 843.619.7662
asheville 828.619.0301
rock hill 803.324.5531

Building A
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Color Elevations
As indicated

05.23.23

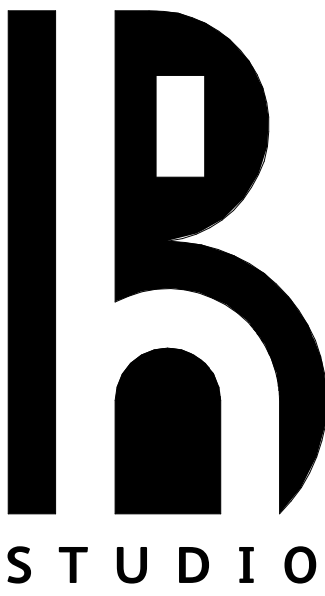
A002

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

Square Footage

NOTE: SQUARE FOOTAGE CALCULATION IS TAKEN FROM OUTSIDE FACE OF EXTERIOR STUD WALL.
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

FIRST FLOOR HEATED	639 SF
SECOND FLOOR HEATED	1025 SF
TOTAL HEATED	1664 SF
FRONT PORCH	46 SF
TWO CAR GARAGE	439 SF
TOTAL UNHEATED	485 SF
TOTAL UNDER ROOF	2149 SF



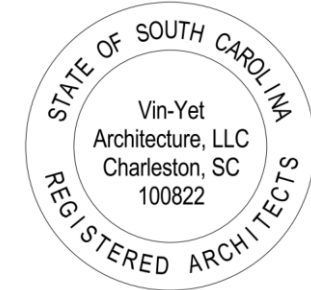
BROADHILL
STUDIO, LLC

56 BROAD ST, 3RD FL
CHARLESTON, SC 29401

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ashville 828.619.0301
rock hill 803.324.5531

Storia Plan

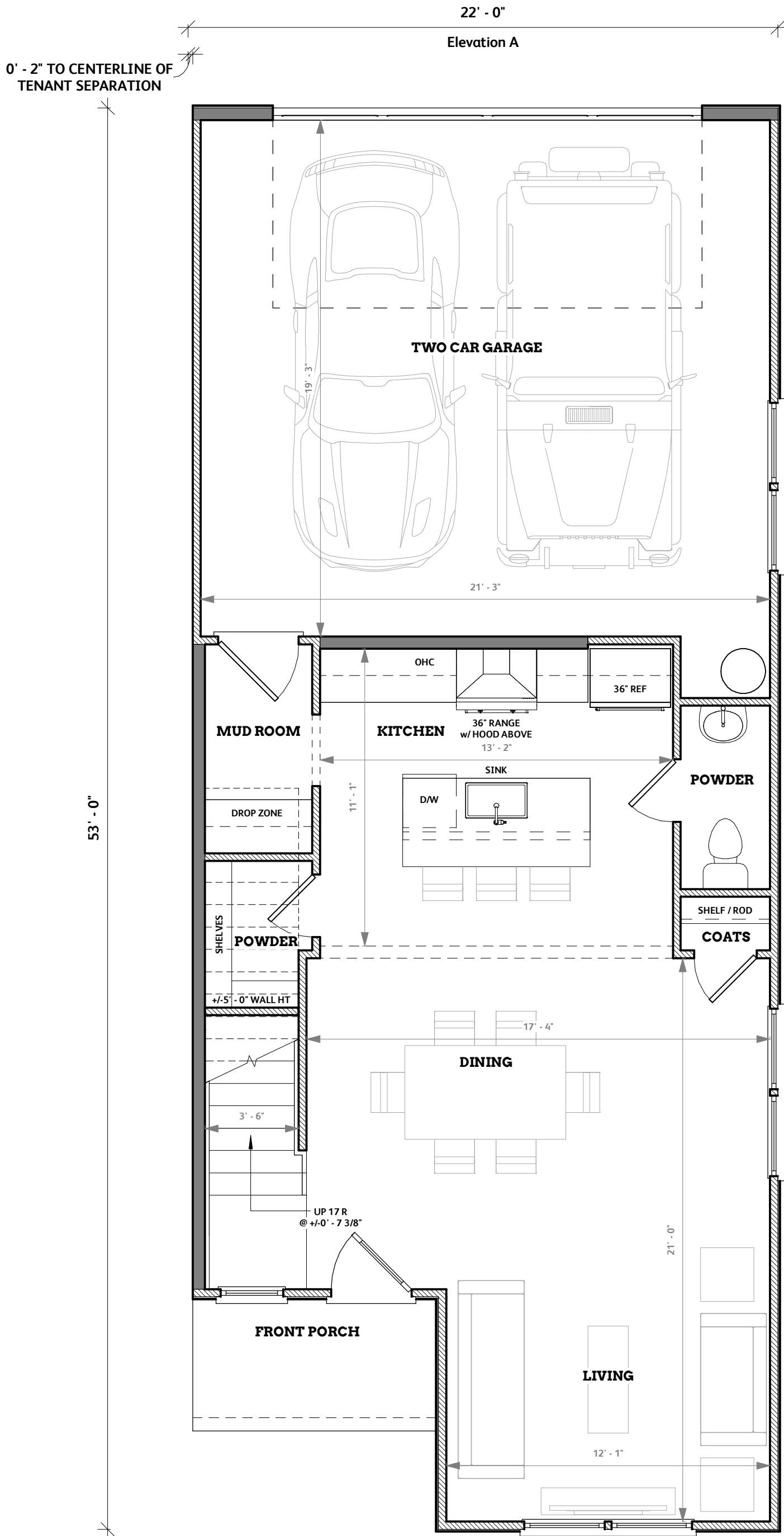
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Unit Plan -
Four Bedroom
1/4" = 1'-0"

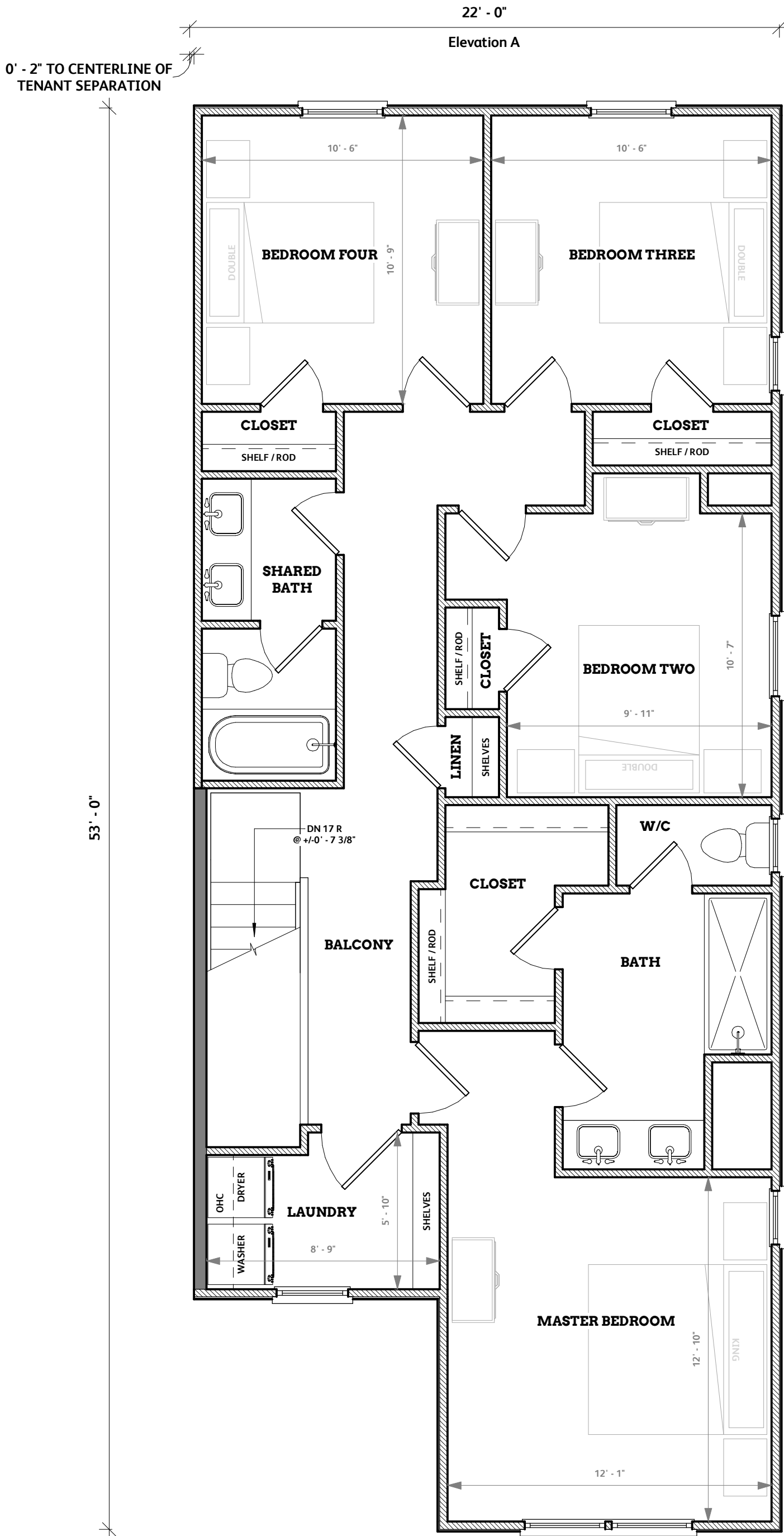
05.23.23

A100a

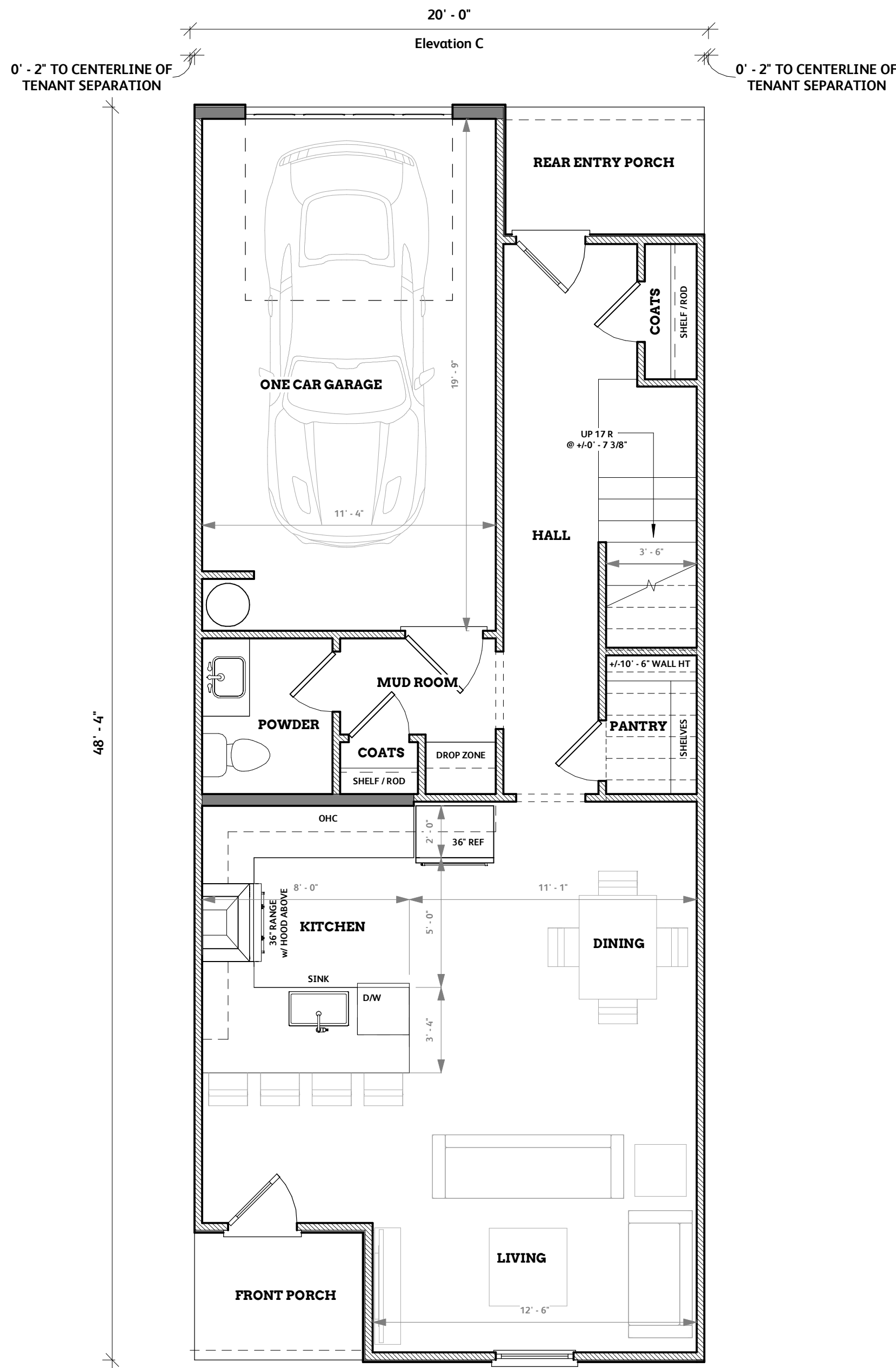
Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



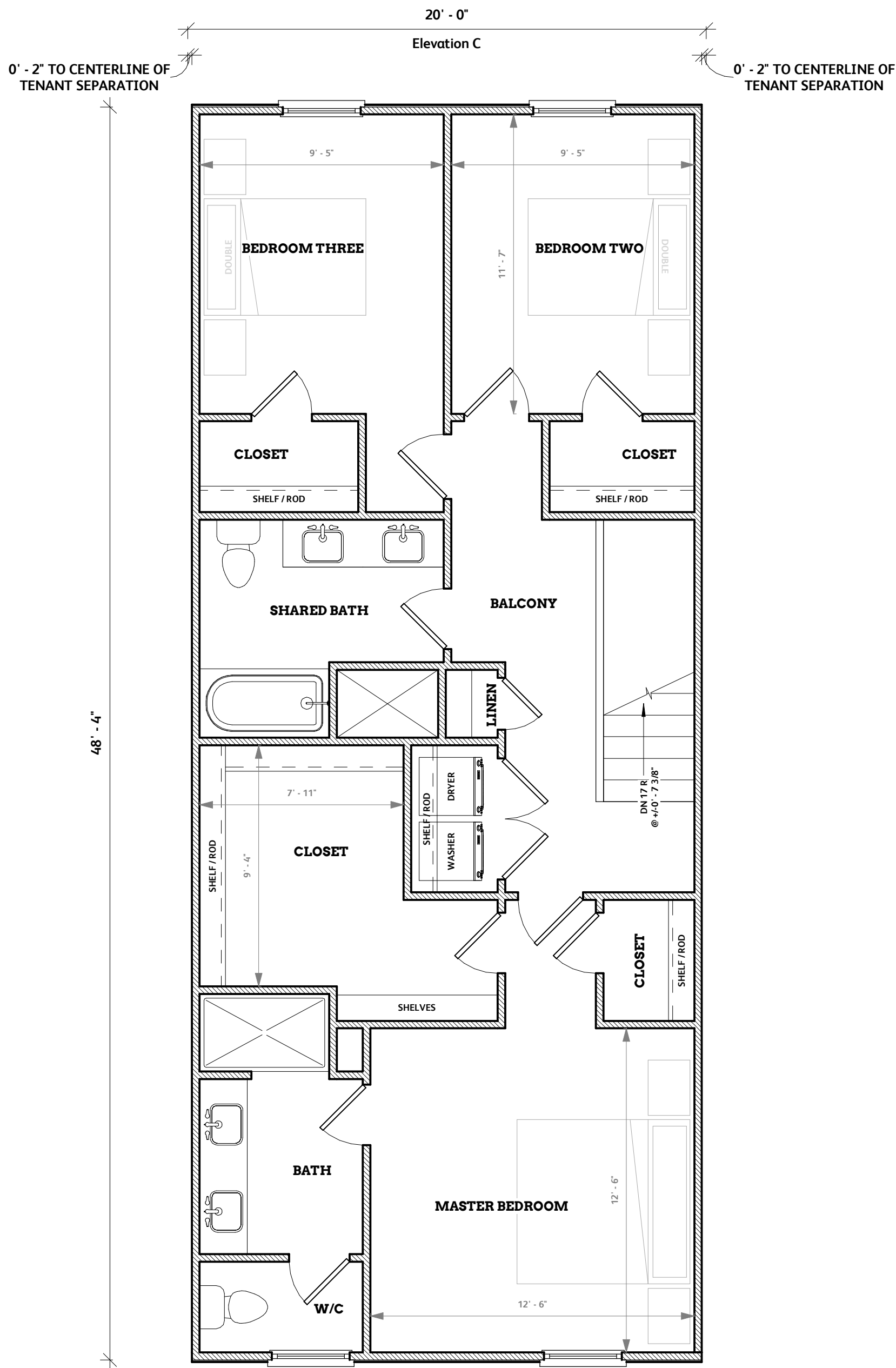
First Floor Plan



Second Floor Plan



First Floor Plan



Second Floor Plan

Square Footage	
NOTE: SQUARE FOOTAGE CALCULATION IS TAKEN FROM OUTSIDE FACE OF EXTERIOR STUD WALL.	
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.	
FIRST FLOOR HEATED	643 SF
SECOND FLOOR HEATED	909 SF
TOTAL HEATED	1552 SF
FRONT PORCH	33 SF
REAR ENTRY PORCH	39 SF
ONE CAR GARAGE	240 SF
TOTAL UNHEATED	312 SF
TOTAL UNDER ROOF	1864 SF



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STATE OF SOUTH CAROLINA

MYLES S. ALEXANDER

Asheville, NC 7387

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

Vin-Yet Architecture, LLC

Charleston, SC 100822

REGISTERED ARCHITECTS

contact@vin-yet.com

charleston 843.619.7662

asheville 828.619.0301

rock hill 803.324.5531

Miller Plan

Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Unit Plan -
Three Bedroom
1/4" = 1'-0"

05.23.23

A100b

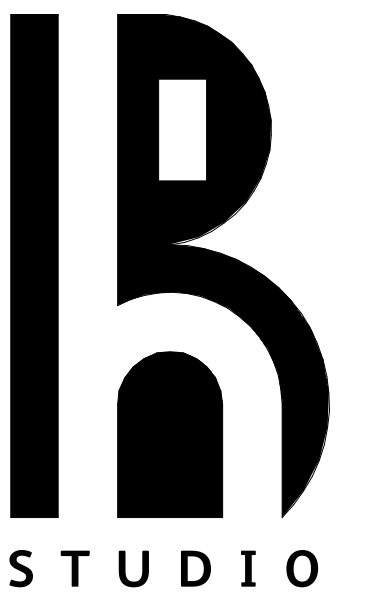
Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



1 Front Elevation
A201 1/4" = 1'-0"



2 Rear Elevation
A201 1/4" = 1'-0"



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rock hill 803.324.5531

Building A

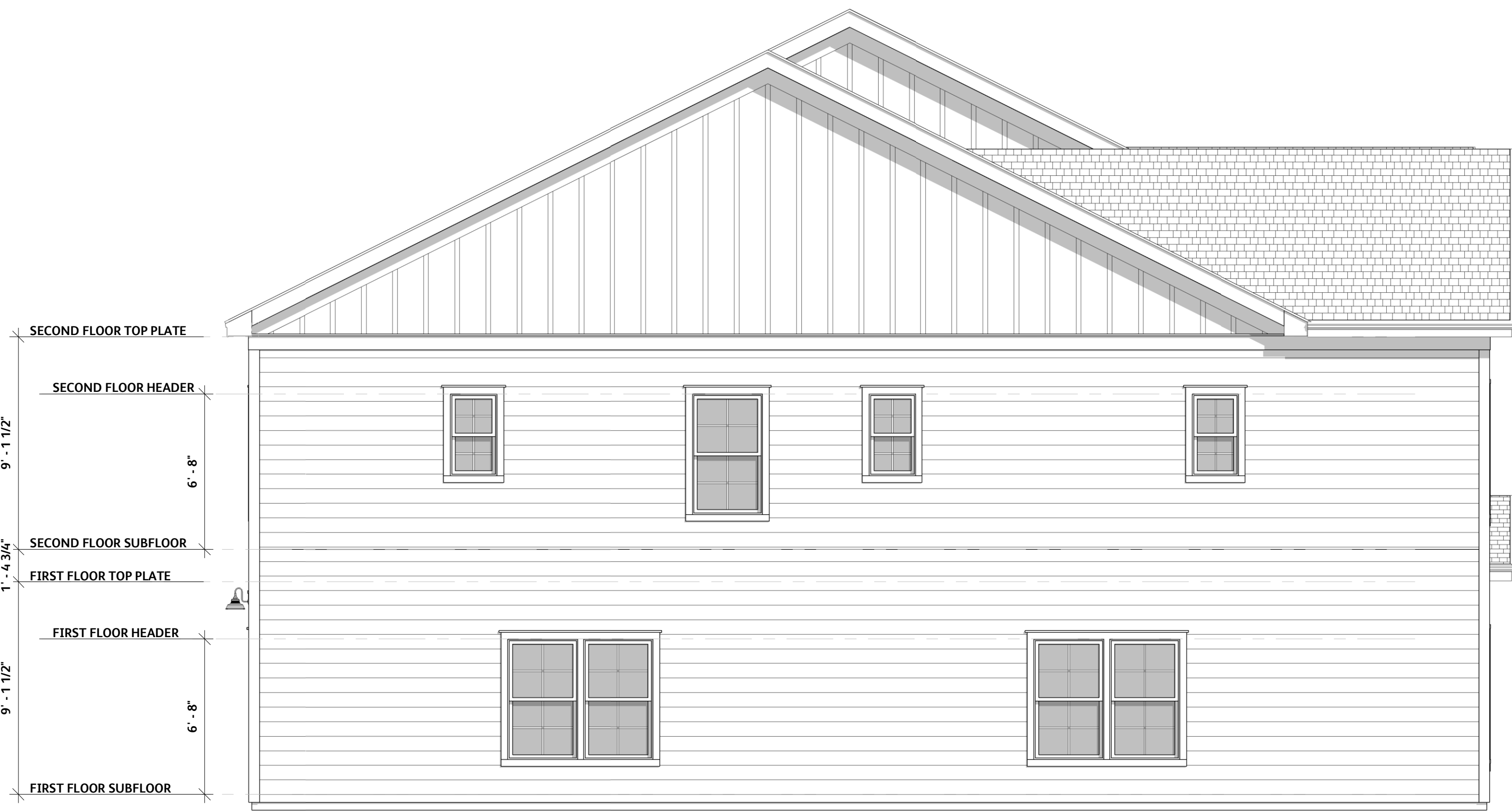
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

**Front & Rear
Elevations**
1/4" = 1'-0"

05.23.23

A201

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



1 Left Elevation
A202 1/4" = 1'-0"



2 Right Elevation
A202 1/4" = 1'-0"

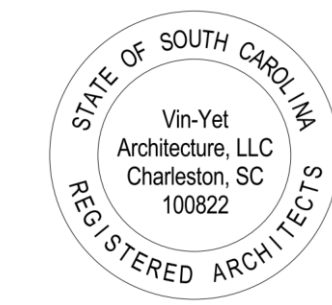


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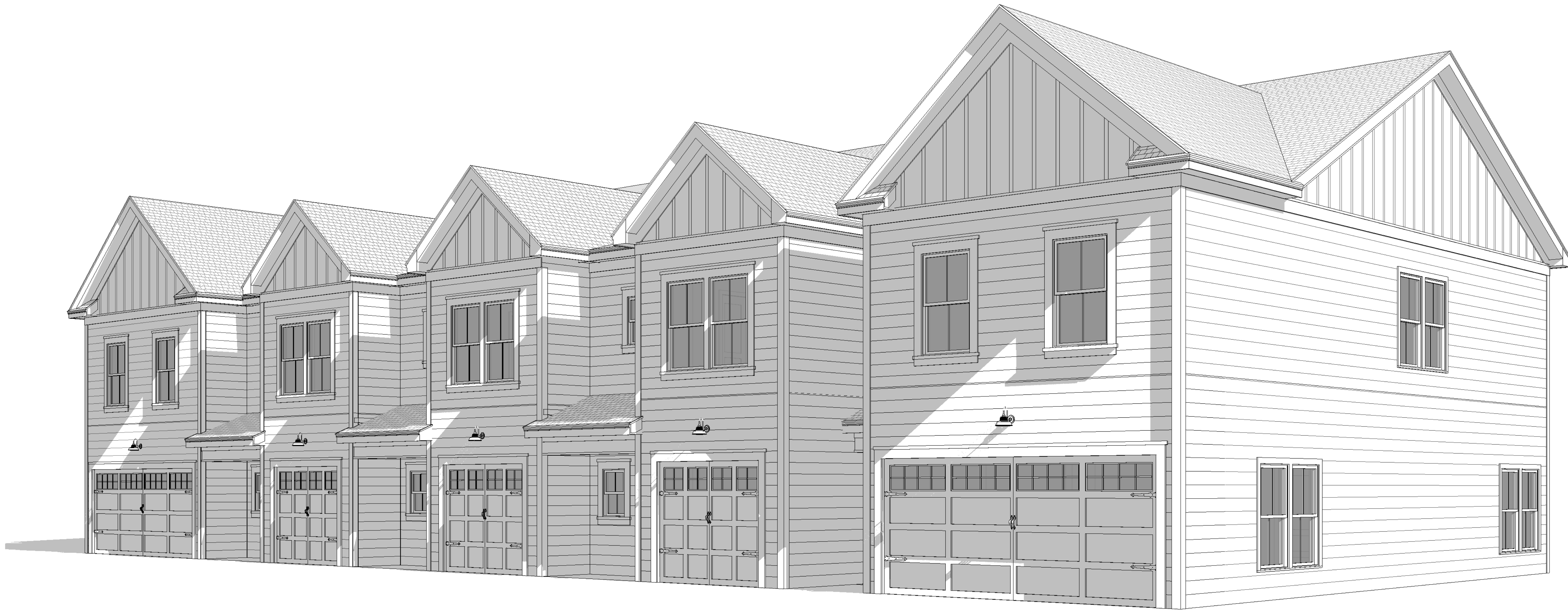
Building A
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Left & Right
Elevations
1/4" = 1'-0"

05.23.23

A202

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



Building B

Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development



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STATE OF SOUTH CAROLINA

MYLES S. ALEXANDER

Asheville, NC 7387

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

Vin-Yet Architecture, LLC

Charleston, SC 100822

REGISTERED ARCHITECTS

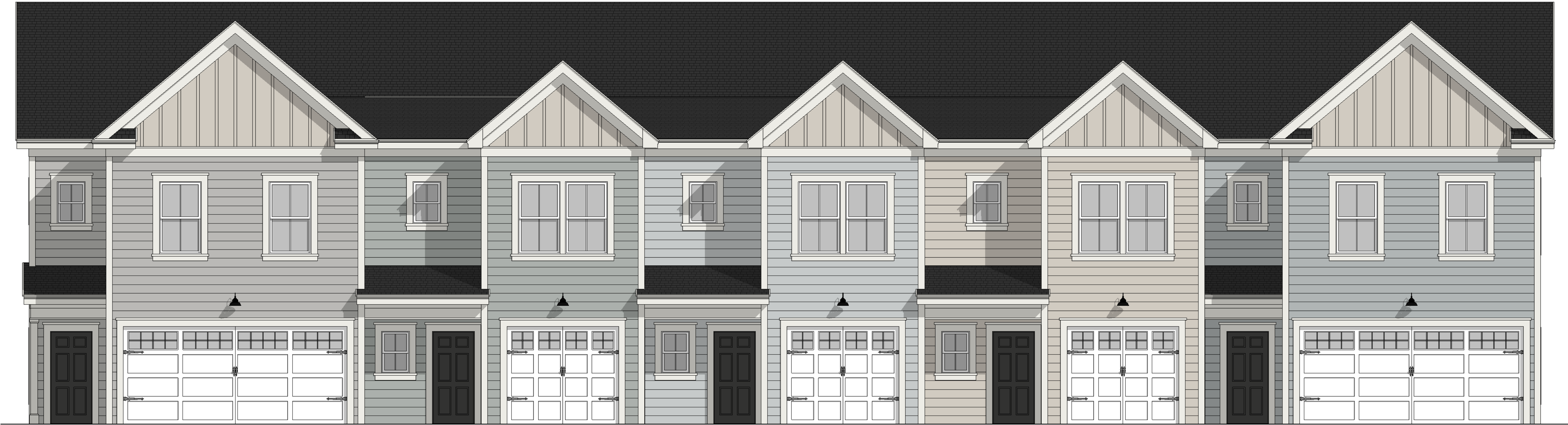
contact@vin-yet.com
asheville
charleston
rock hill
803.324.5531
828.619.0301
843.619.7662

Cover Sheet

05.23.23

A001

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



1 Colored Front Elevation
A002 1/4" = 1'-0"



2 Colored Left Elevation
A002 1/8" = 1'-0"



3 Colored Right Elevation
A002 1/8" = 1'-0"



4 Colored Rear Elevations
A002 1/8" = 1'-0"



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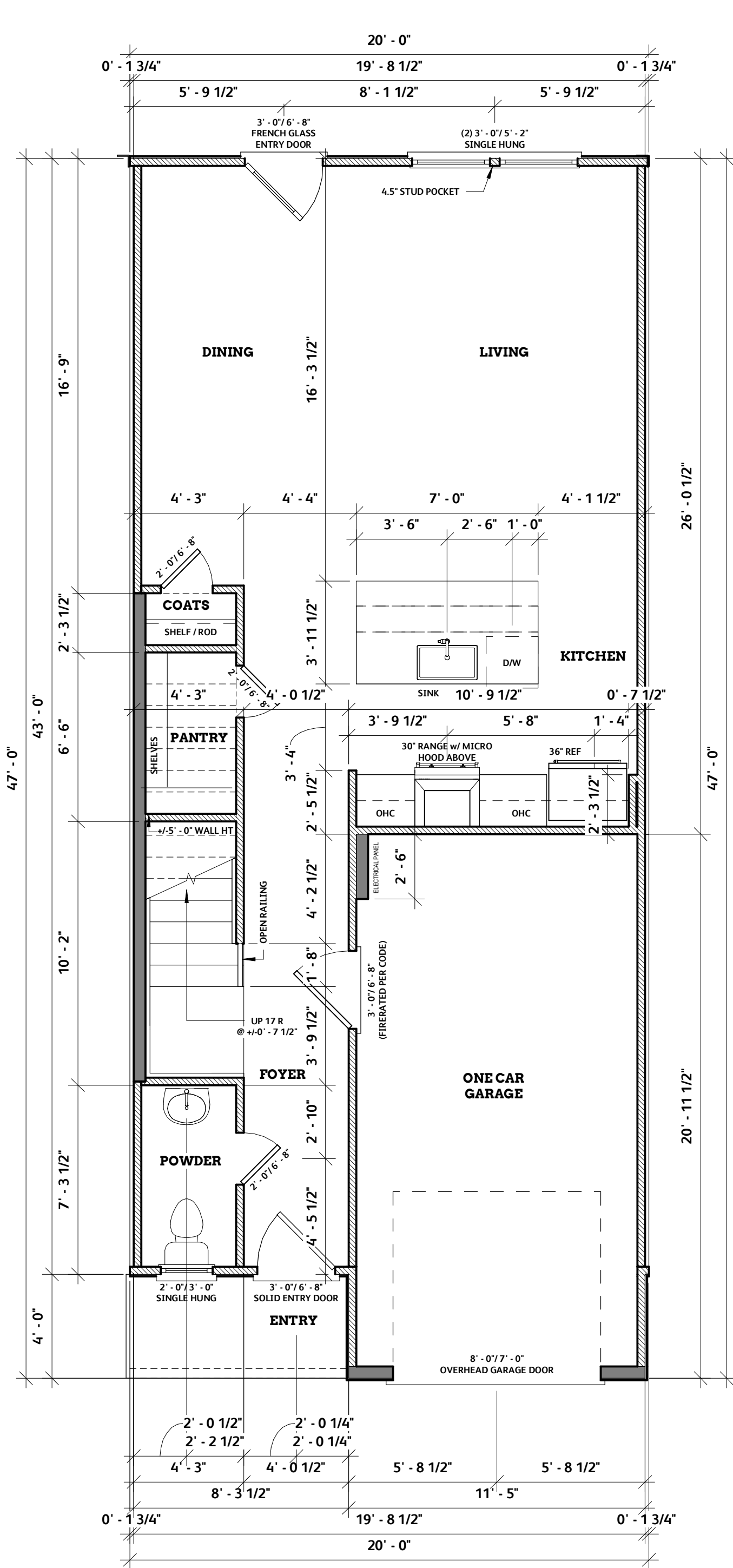
Building B
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Color Elevations
As indicated

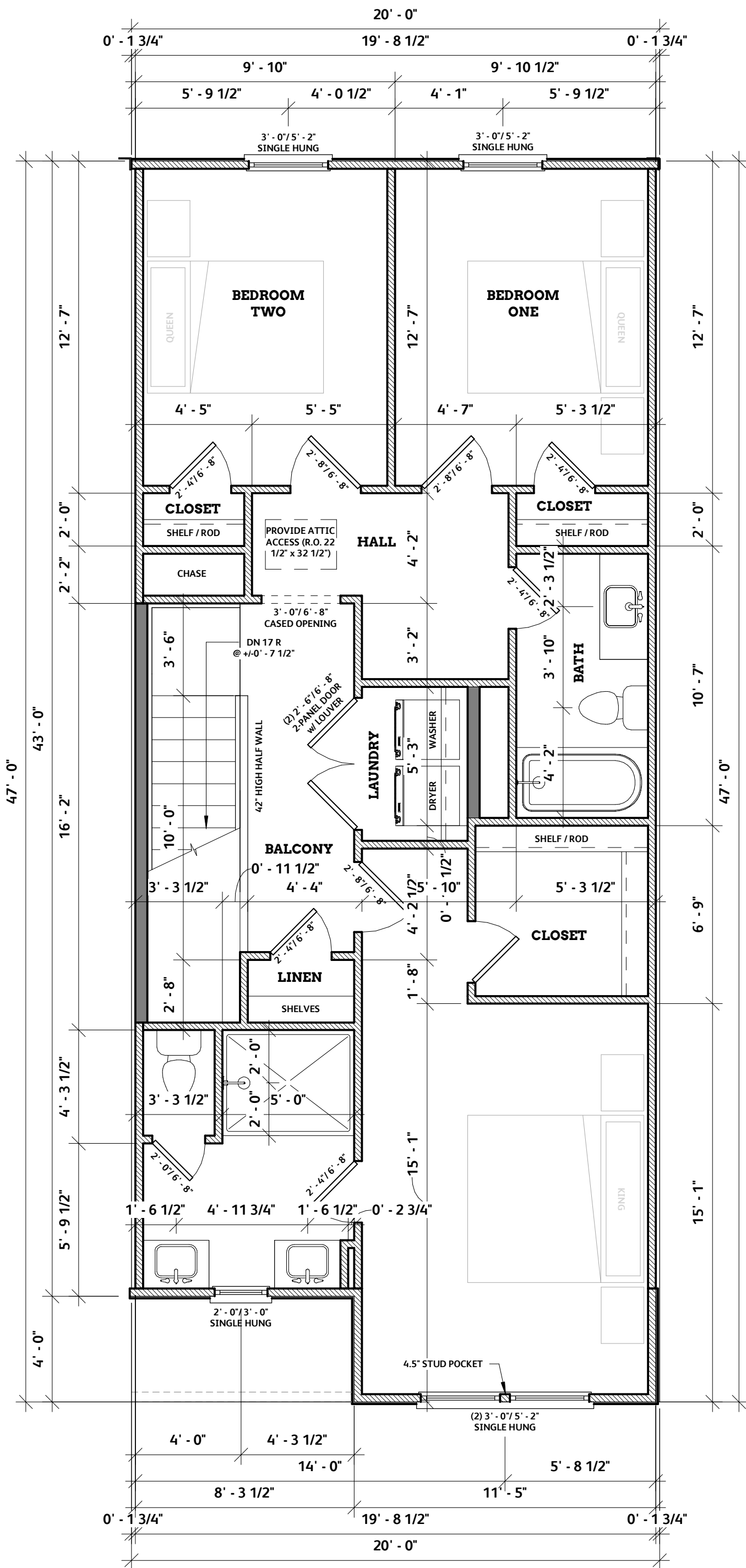
05.23.23

A002

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



1 Catawba First Floor Plan
A100a 1/4" = 1'-0"



2 Catawba Second Floor Plan
A100a 1/4" = 1'-0"

Square Footage - Catawba

NOTE: SQUARE FOOTAGE CALCULATION IS TAKEN FROM
OUTSIDE FACE OF EXTERIOR STUD WALL.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS
HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY
VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT

FIRST FLOOR HEATED 669 SF

SECOND FLOOR HEATED 838 SF

TOTAL HEATED 1507 SF

COVERED ENTRY 34 SF

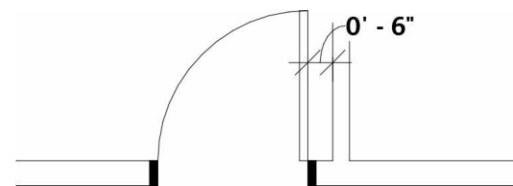
GARAGE 237 SF

TOTAL UNHEATED 271 SF

TOTAL UNDER ROOF 1778 SF

Floor Plan Notes

1. The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and/or uncertainty as to what material or product is to be used, verify with the owner or architect.
2. All partitions are Type-A U.N.O.
3. All interior plan dimensions are to face of stud. U.N.O. Column dimensions are to centerline of column. If any discrepancy and/or uncertainty is found in field, consult designer....



5. Center all doors and cascd openings on hallways and closets. U.N.O.
6. Ceiling heights are as shown on elevations (U.N.O.)
7. Provide Attic Access to meet IRC 2018 R807.1 (Final locations to be determined in field)
8. Header heights shown from top of subfloor (U.N.O.)
9. Contractor shall provide and install all blocking and bracing for casework, accessories, etc.
10. Slope all exterior concrete pads 1/8":12" away from building.
11. Broom finish all exterior concrete slabs.

- Diagonal Hatch Indicates 2x4 Stud Wall @ 16" O.C.
- Solid Hatch Indicates 2x6 Stud Wall @ 16" O.C.

DOOR & WINDOW NOTE

ALL WINDOW & DOOR SIZES ARE NOMINAL. ALL WINDOW AND DOORS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFIC WRITTEN INSTRUCTIONS. BUILDER TO VERIFY ALL EGRESS & NON-EGRESS CONDITIONS, FALL PROTECTION CODE, & GLAZING REQUIREMENTS PER CODE w/ MANUFACTURER SELECTED. ALL SELECTIONS TO COMPLY w/ 2018 INTERNATIONAL BUILDING CODE.

B
STUDIO

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Building B

Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

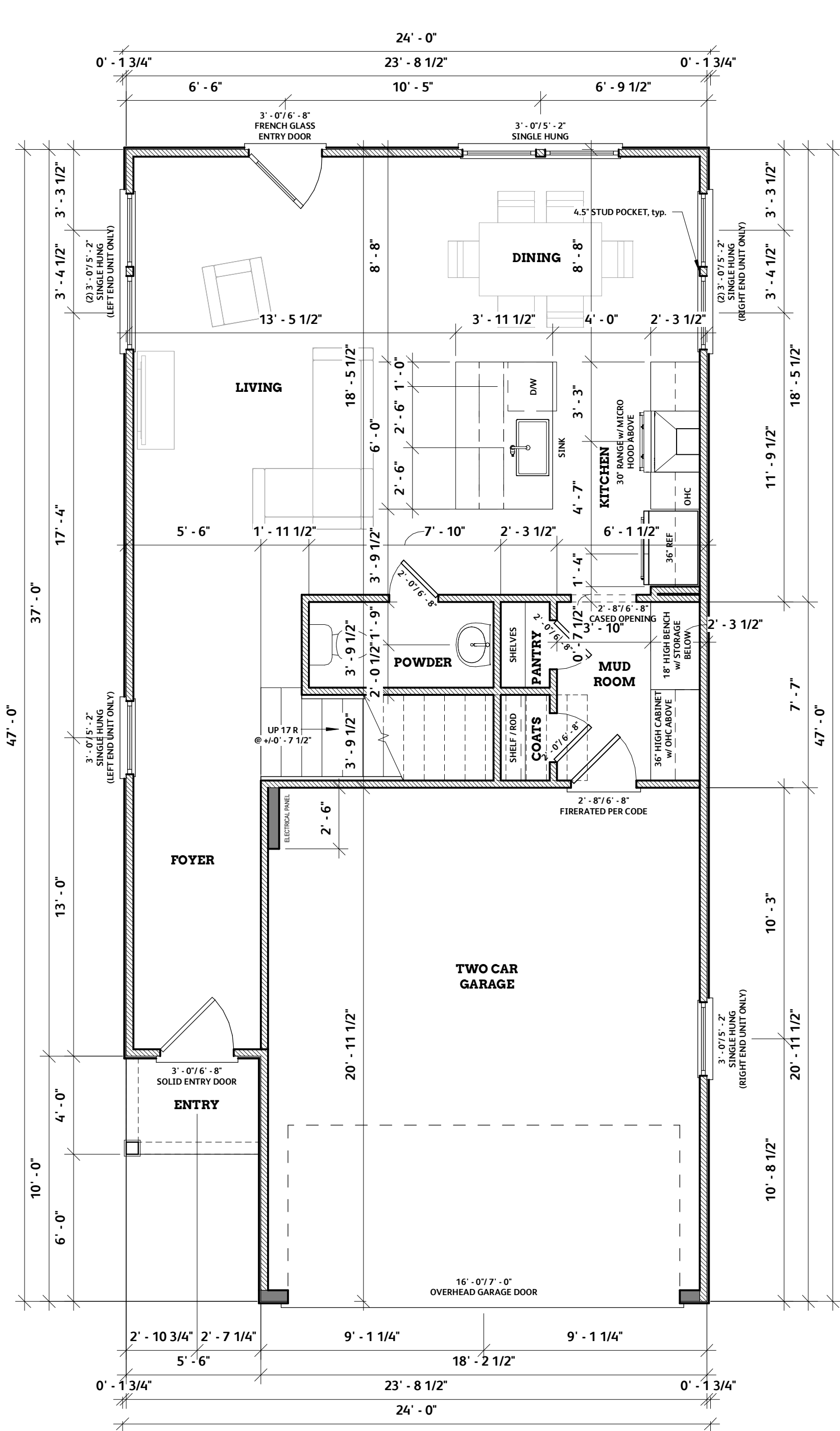
Catawba Plan

1/4" = 1'-0"

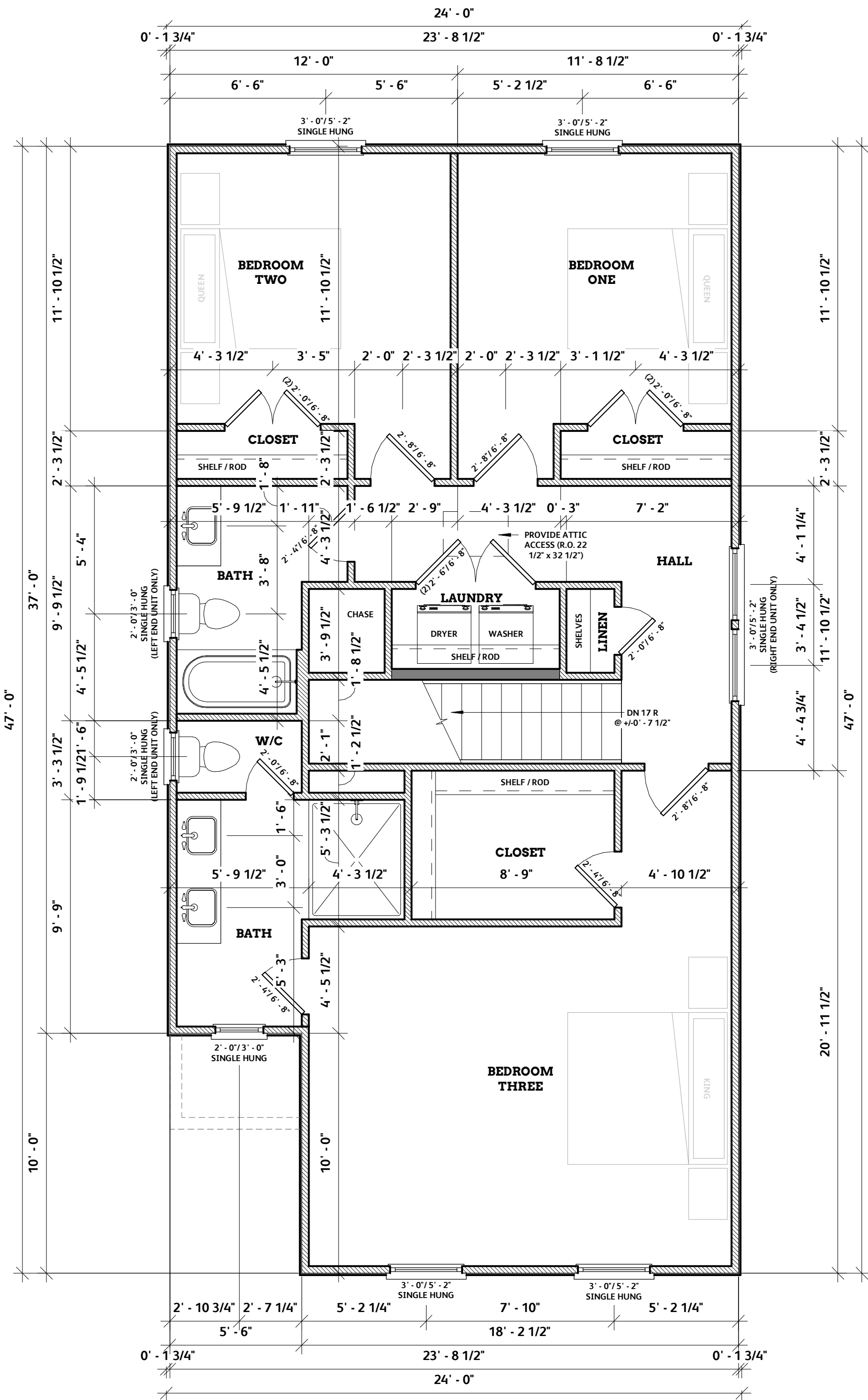
05.23.23

A100a

**Henry Brown Boulevard Townhomes
Architectural Review Board Submittal**



1 Davidson First Floor Plan
1/4" = 1'-0"



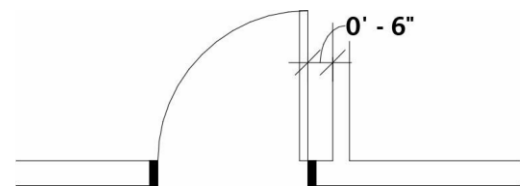
2 Davidson Second Floor Plan
1/4" = 1'-0"

Square Footage - Davidson

NOTE: SQUARE FOOTAGE CALCULATION IS TAKEN FROM OUTSIDE FACE OF EXTERIOR STUD WALL.	
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.	
FIRST FLOOR HEATED	681 SF
SECOND FLOOR HEATED	1014 SF
TOTAL HEATED	1695 SF
ENTRY	22 SF
TWO CAR GARAGE	379 SF
TOTAL UNHEATED	401 SF
TOTAL UNDER ROOF	2096 SF

Floor Plan Notes

- The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and/or uncertainty as to what material or product is to be used, verify with the owner or architect.
- All partitions are Type-A U.N.O.
- All interior plan dimensions are to face of stud. U.N.O. Column dimensions are to centerline of column. If any discrepancy and/or uncertainty is found in field, consult designer....

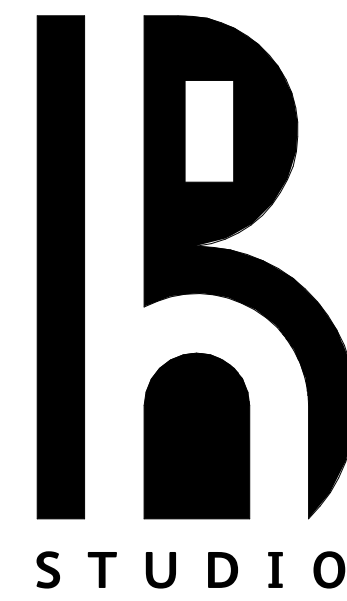


- Center all doors and casework openings on hallways and closets. U.N.O.
- Ceiling heights are as shown on elevations (U.N.O.)
- Provide Attic Access to meet IRC 2018 R807.1 (Final locations to be determined in field)
- Header heights shown from top of subfloor (U.N.O.)
- Contractor shall provide and install all blocking and bracing for casework, accessories, etc.
- Slope all exterior concrete pads 1/8":12" away from building.
- Broom finish all exterior concrete slabs.

- Diagonal Hatch Indicates 2x4 Stud Wall @ 16" O.C.
Solid Hatch Indicates 2x6 Stud Wall @ 16" O.C.

DOOR & WINDOW NOTE

ALL WINDOW & DOOR SIZES ARE NOMINAL. ALL WINDOW AND DOORS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFIC WRITTEN INSTRUCTIONS. BUILDER TO VERIFY ALL EGRESS & NON-EGRESS CONDITIONS, FALL PROTECTION CODE, & GLAZING REQUIREMENTS PER CODE w/ MANUFACTURER SELECTED. ALL SELECTIONS TO COMPLY w/ 2018 INTERNATIONAL BUILDING CODE.



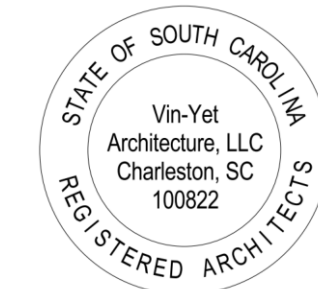
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Building B

Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Davidson Plan

1/4" = 1'-0"

05.23.23

A100b

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

1. The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and / or uncertainty as to what material or product is to be used, verify with the owner or architect.
2. Center board & batten on elements as noted on elevation.

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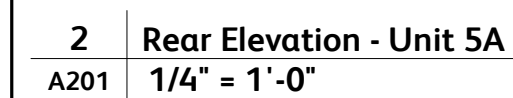
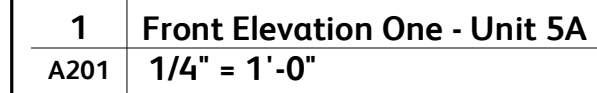
STATE OF SOUTH CAROLINA
 MYLES S. ALEXANDER
 Asheville, NC
 7387
 REGISTERED ARCHITECT

rock hill asheville charleston
803.324.5531 828.619.0301 843.619.7662
contact@vair-yet.com

**Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development**

05.23.23

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal



Elevation Notes

1. The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and / or uncertainty as to what material or product is to be used, verify with the owner or architect.
2. Center board & batten on elements as noted on elevation.



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rock hill 803.324.5531

Building B

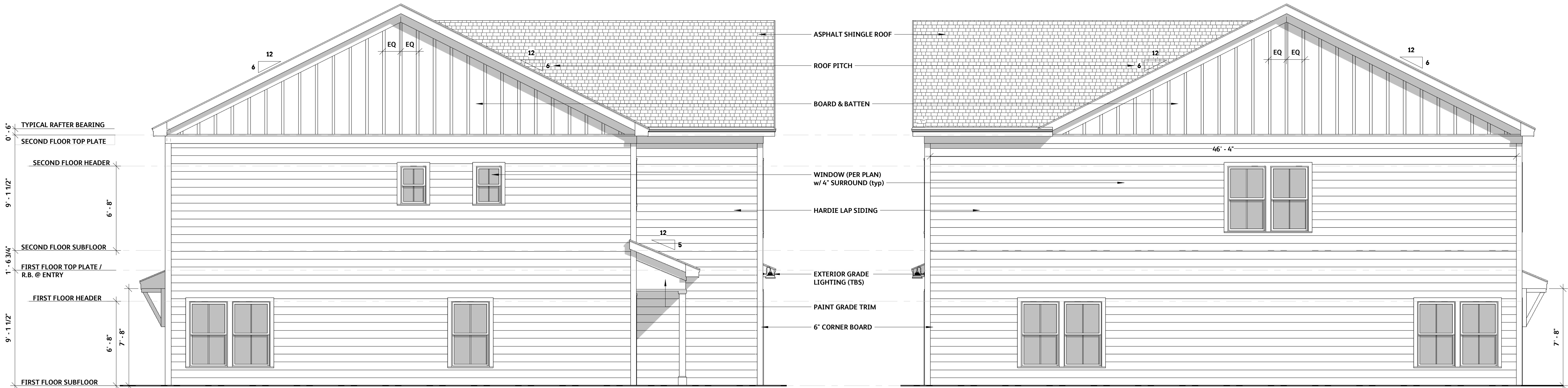
Henry Brown Townhomes
Goose Creek, South Carolina
Client: Bluefield Development

Left & Right
Elevations

1/4" = 1'-0"

05.23.23

A202



1 Left Elevation - Unit 5A
A202 1/4" = 1'-0"

2 Right Elevation - Unit 5A
A202 1/4" = 1'-0"

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

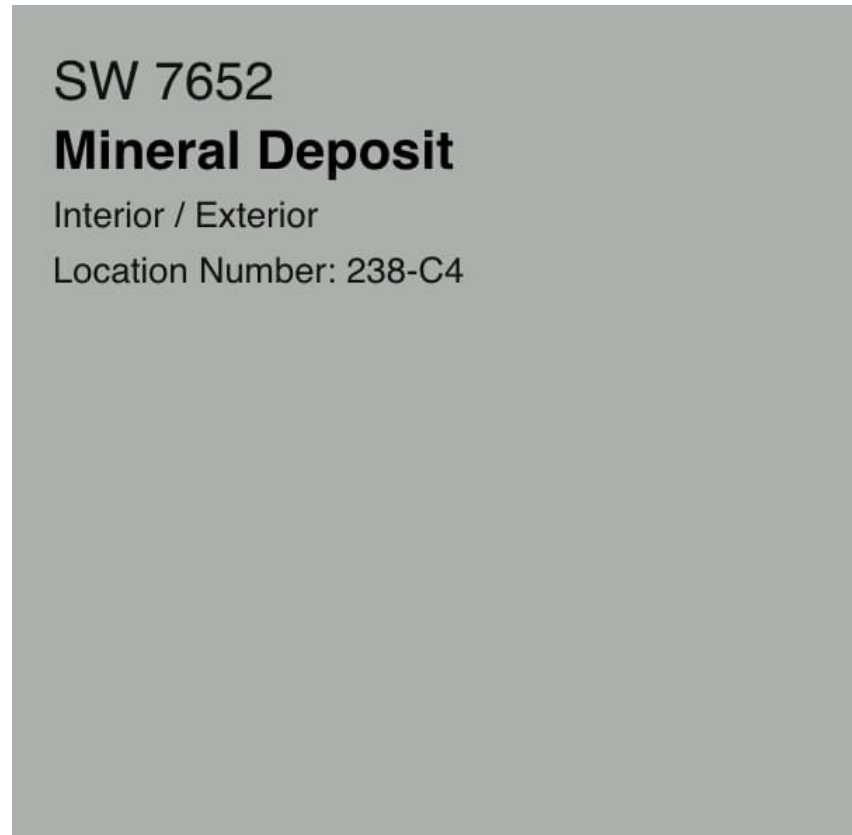
Material and Color Sheet



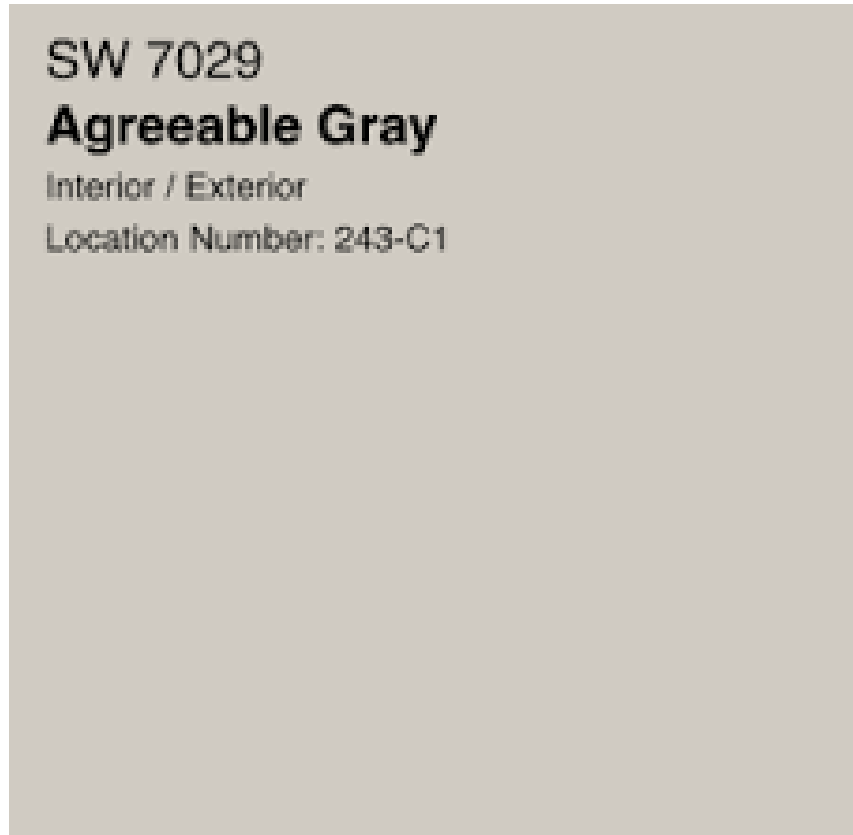
Dual Black Shingle Roof



Brookside Exterior Lighting



SW 7652
Mineral Deposit
Interior / Exterior
Location Number: 238-C4



SW 7029
Agreeable Gray
Interior / Exterior
Location Number: 243-C1



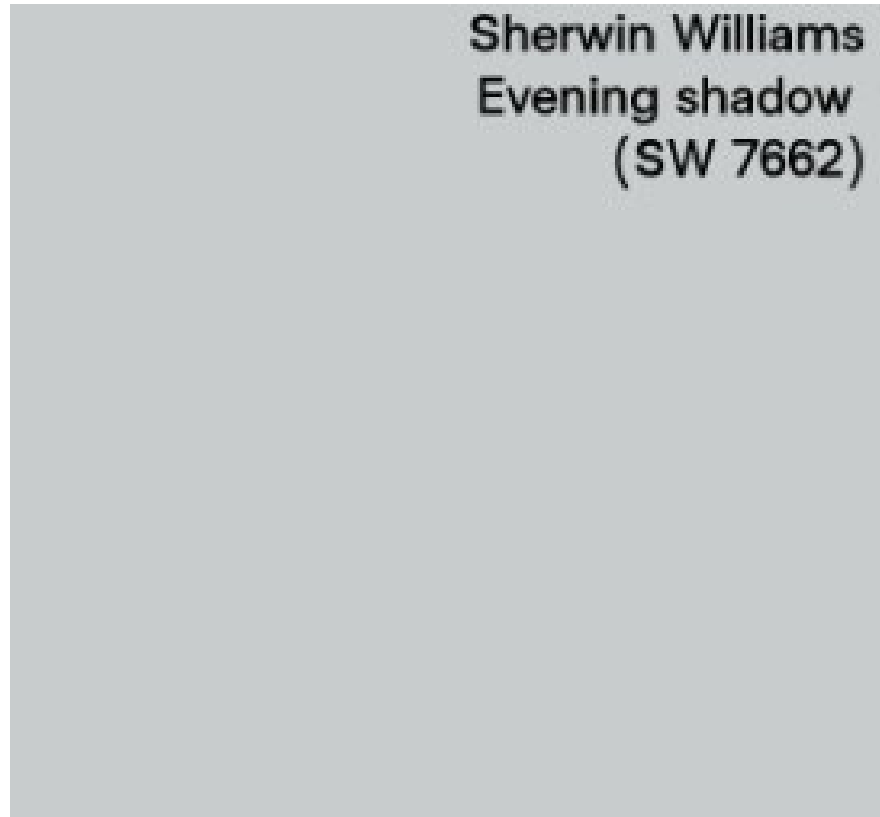
Gray Screen SW7071



ONLINE
SW 7072



March Wind SW 7668



Sherwin Williams
Evening shadow
(SW 7662)



Front Door



Iron Ore
Sherwin Williams

Garage Door Spec Sheet

Brand: Traditional Steel Collection - 1400 Series

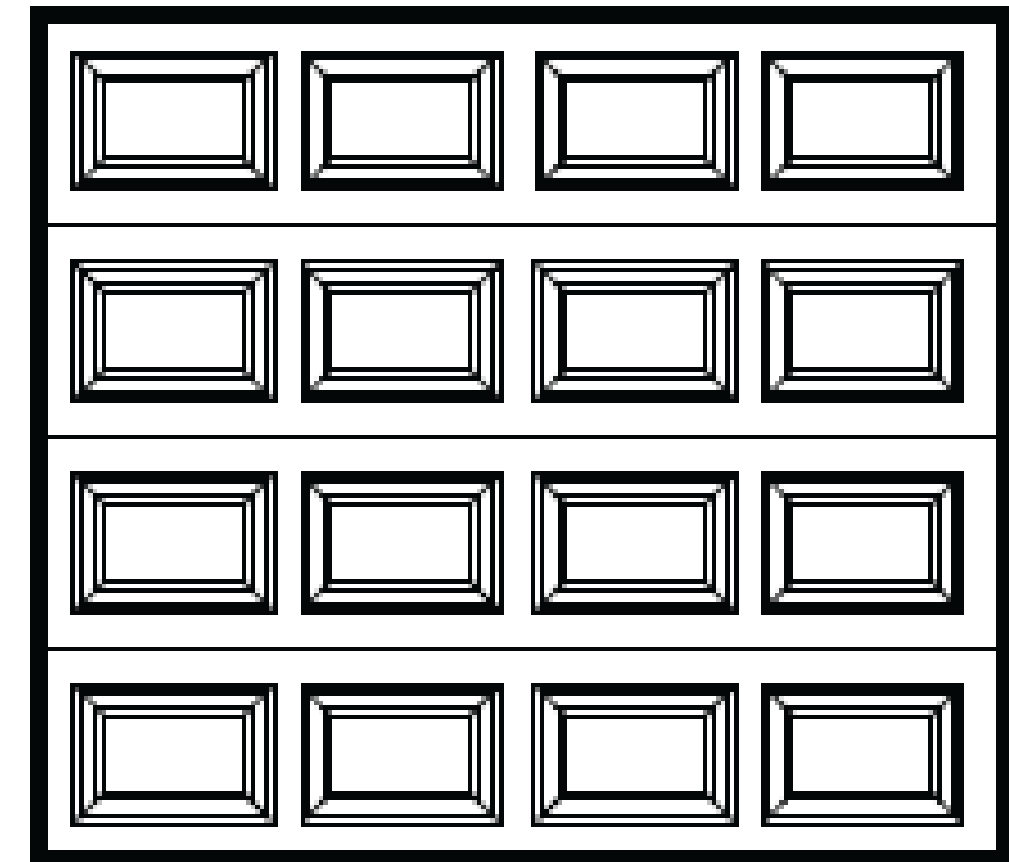
Model 170 for interior units

Panel: Clear Short



Clear Short

Standard Panel (SP)
(S)



Models 1400, 1440,
1500, 1540
(170, 173, 180, 183)

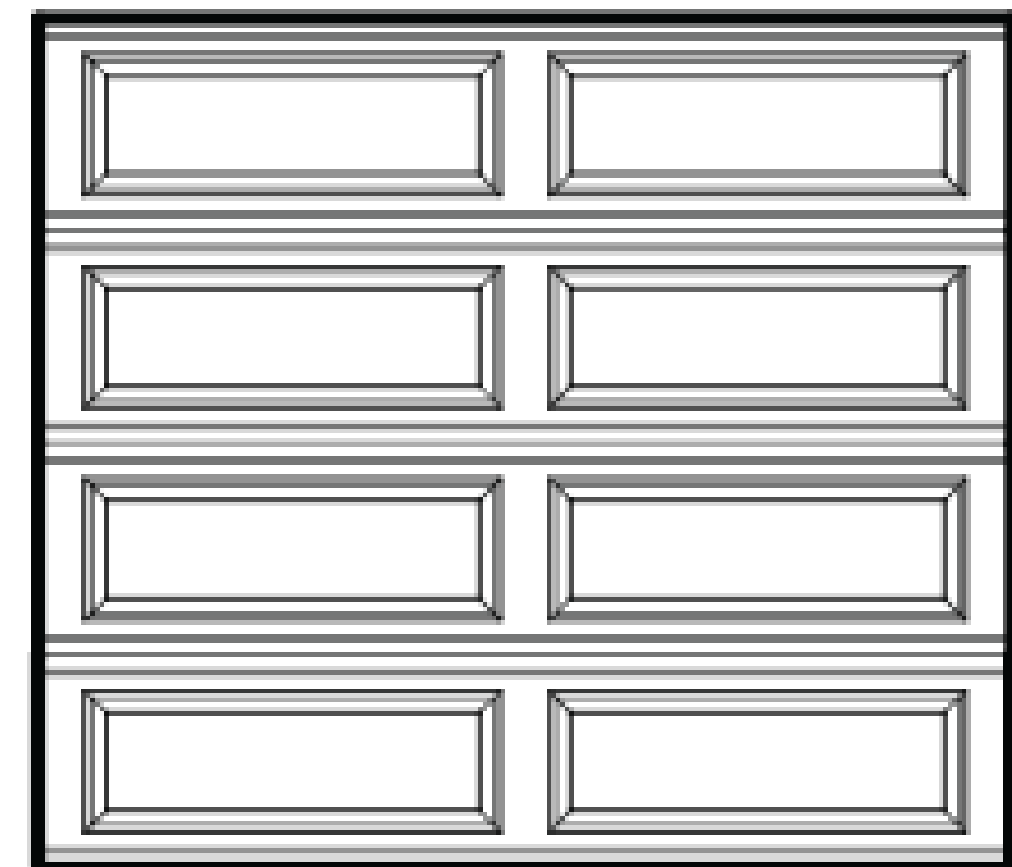
Model 171 for end-cap units

Panel: Clear Long



Clear Long**

Long Panel (LP)
(L)



Models 1400, 1440,
1500, 1540
(171, 174, 181, 184)

Hardware for both types:



Large
Bean
Handle



Large
Spear
Handle



Small
Spear
Handle



Spear Hinge (16" & 18")

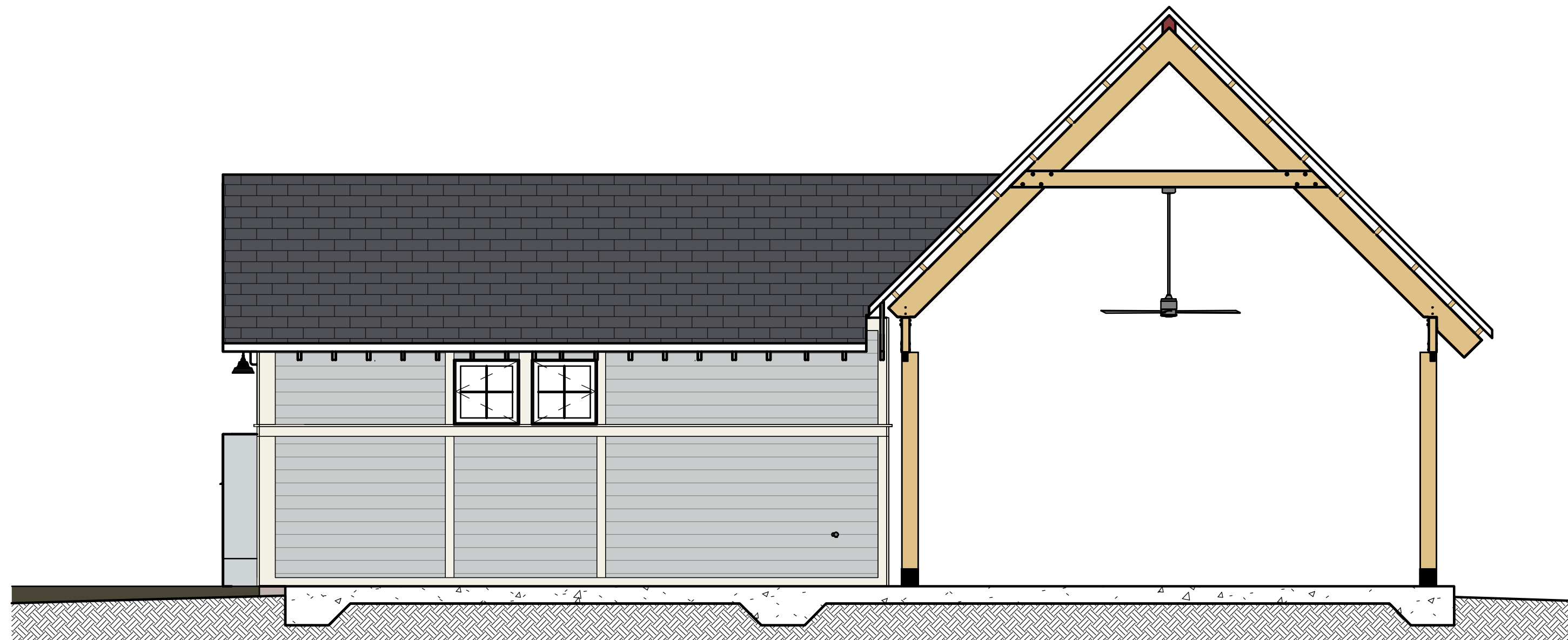


Bean Hinge (16" only)

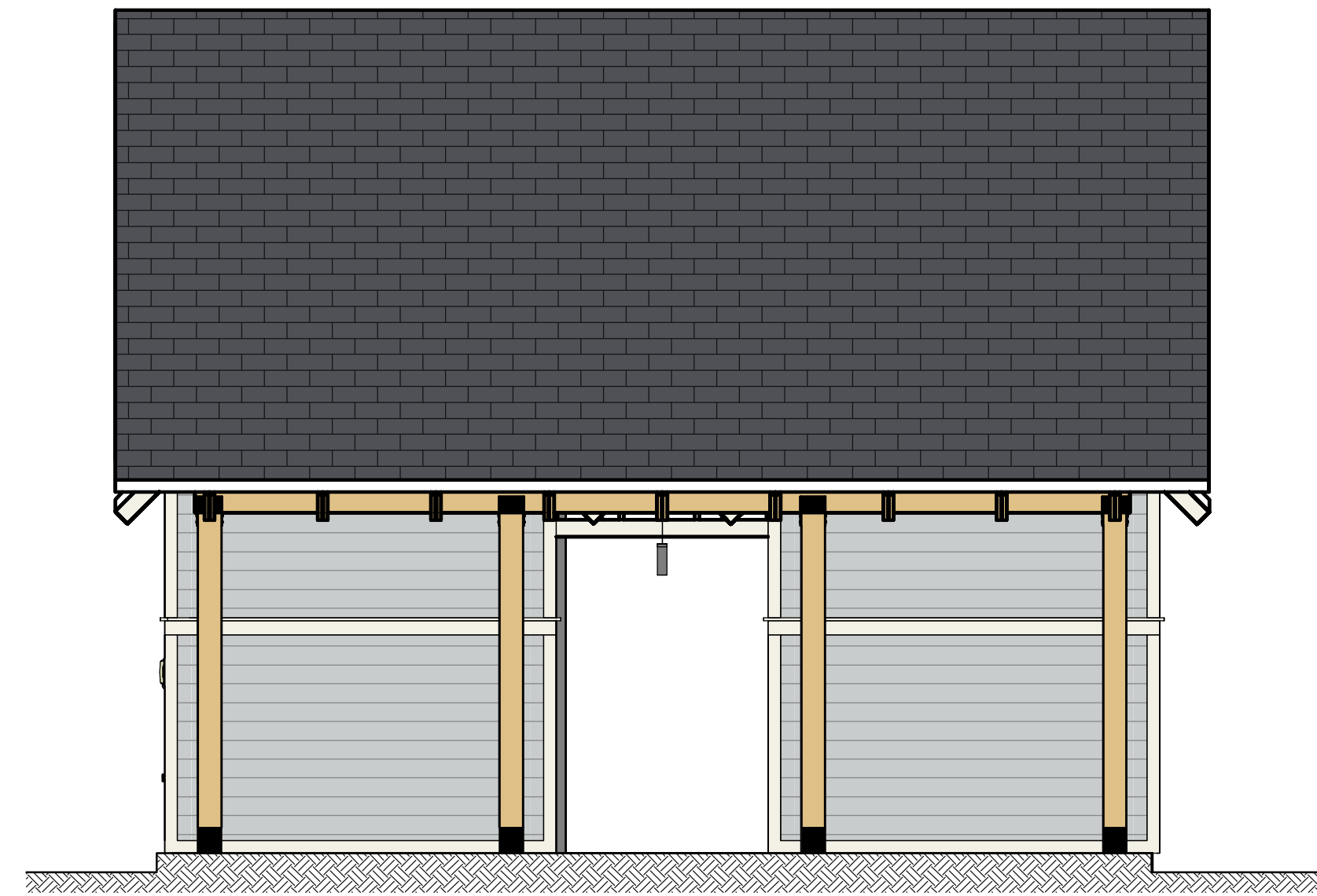
Finish for both types:



White



1 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



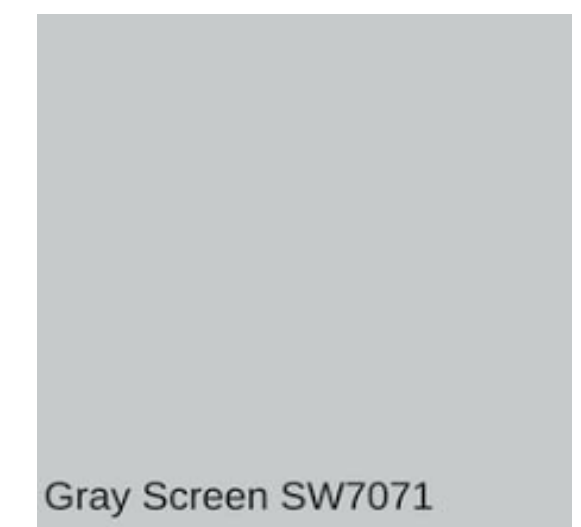
2 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



Dual Black Shingle Roof



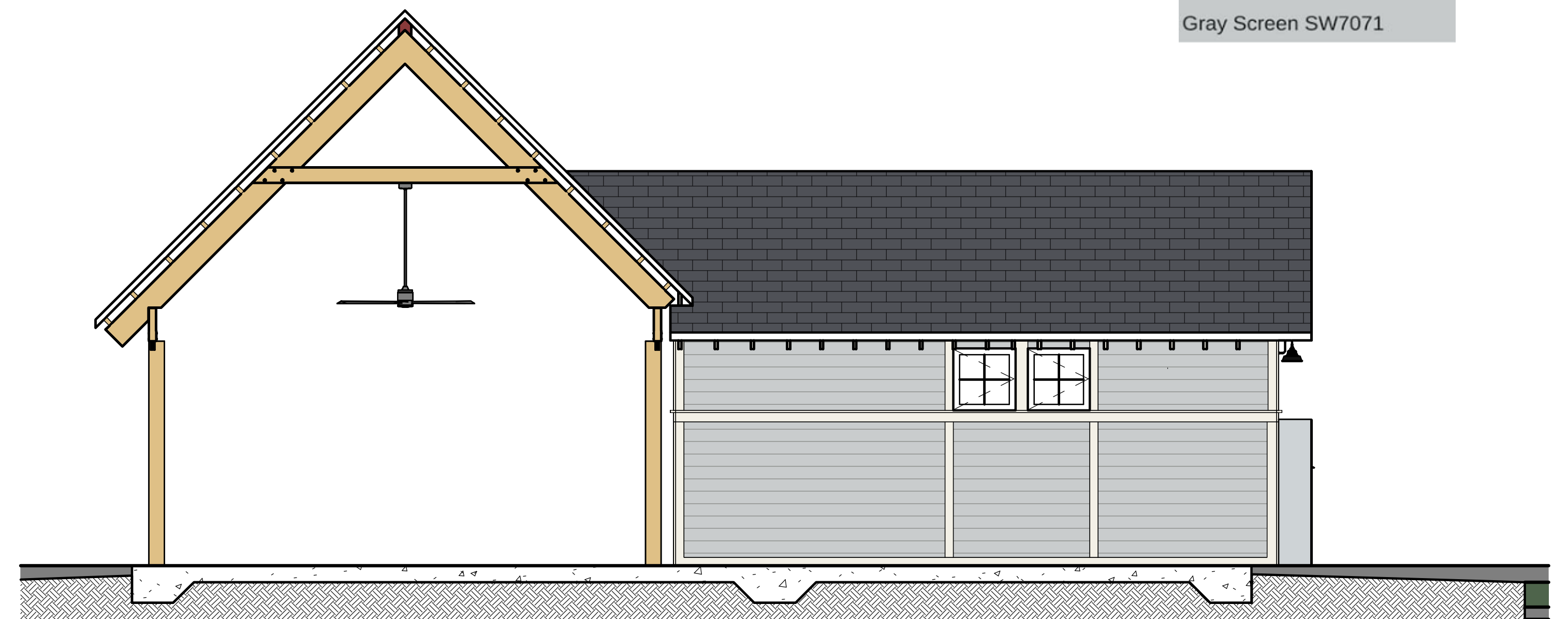
Brookside Exterior Lighting



Gray Screen SW7071



3 **SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"



4 **WEST ELEVATION**
SCALE: 1/8" = 1'-0"



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HBBT AMENITY CENTER

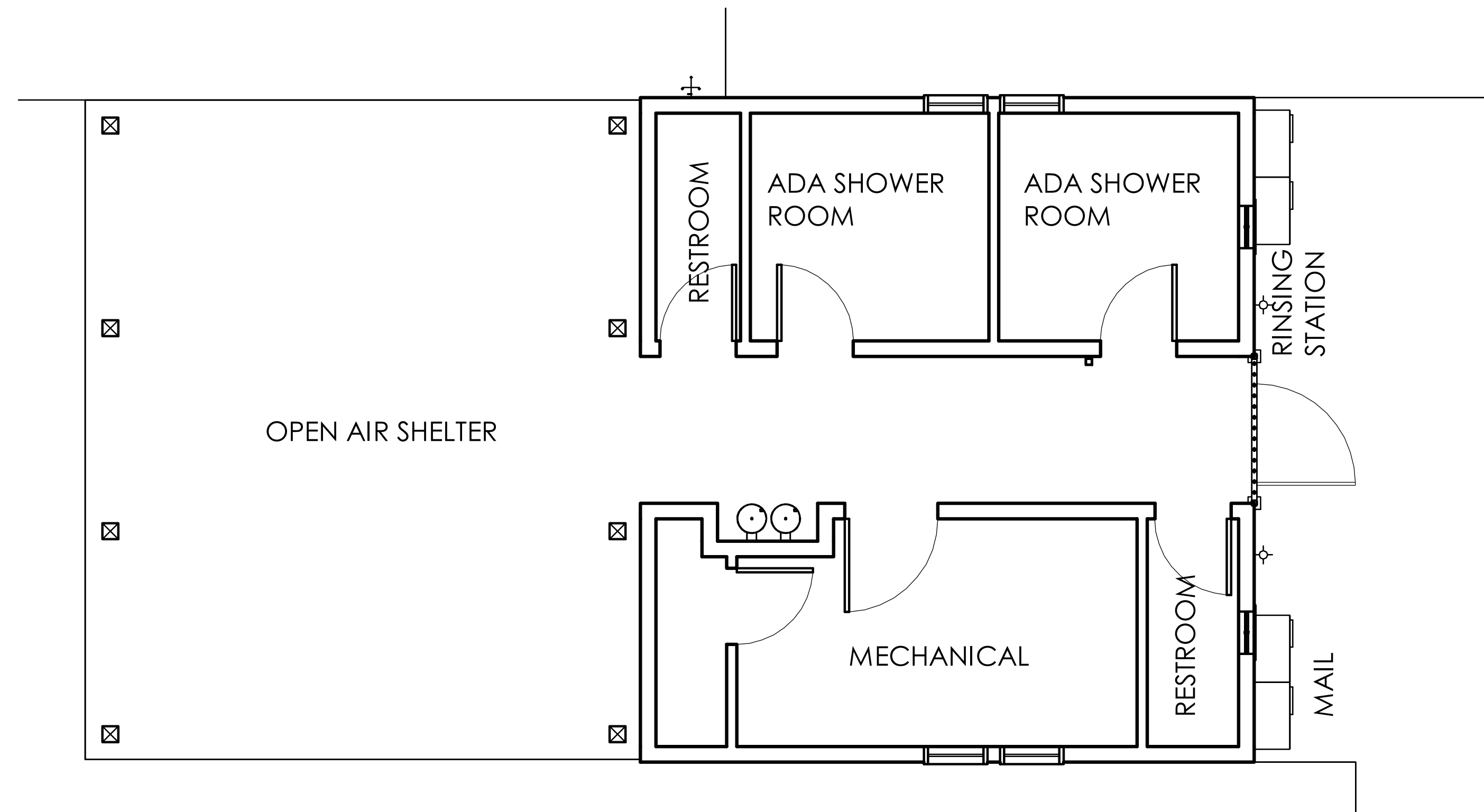
PROPOSED DESIGN

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

A400

ELEVATIONS
5/22/2023

1
SCALE: 1/8" = 1'-0"
FIRST FLOOR



Goff D'Antonio Associates
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HBBT AMENITY CENTER

PROPOSED DESIGN

Henry Brown Boulevard Townhomes
Architectural Review Board Submittal

A401

FLOOR PLAN
5/22/2023

MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: New Construction - Henry Brown Townhomes (TMS# 235-00-00-083)
DATE: 06/01/2023

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

1. The applicant is proposing the construction of 96 townhomes and an amenity center on 12.26 acres with 2.20 acres of open space, which is above the required minimum.
2. All standards by zone for the Townhome (R-4) zoning district appear to be met.
3. Currently this parcel is undeveloped. The surrounding built environment includes the Brickhope Subdivision, the Mevers School of Excellence. Recently approved builds includes Henry Brown Apartments and Cube Smart Self-Storage.
4. The parcel directly to the front of the development is zoned General Commercial (GC).

Architectural Review Design Guidelines Analysis

Site design

The applicant is proposing two entry points into the community, one directly from Henry Brown Boulevard and the other through the adjacent development. The cross connection provided by the latter will reduce the number of curb cuts on a major thoroughfare while using planning best practices. The amenity center will be located at the front of the community, which will also house the mail kiosk and additional parking. The community will also include sidewalks on both sides of the street and a walking trail to create pedestrian circulation which will be activated by fitness loop equipment, a pollinator garden, and a community garden area. The surface material for the pedestrian path will need to be provided to staff. The community will have twenty-eight (28) alley-loaded units and sixty-eight (68) front-loaded units. The community will consist of 31 parallel guest parking spaces.

Architectural theme

The proposed community will consist of two residential building types and an amenity center that incorporates the densities and design of the surrounding environment in a cohesive way that adds to the image of the city. The provided supplemental documents show variation by using different colors, materials and roof heights. The proposed amenity center reflects architectural theme of the new community.

Architectural interest

The development incorporates a variety of colors and architectural details such as roof variation, lighting, different doorways, and columns. The use of window paneled front doors softens the impact from the street. The exterior lighting provided will also create variation in the exterior of the homes. The paneled garage doors and hardware shown on sheet A301 and the variation between interior versus end-cap units will soften and add to the variation of the community. The amenity center proposed has architectural interest through the use of exposed natural beams and roofline variation.

Building design

Building A

The proposed building type A are for the rear alley-loaded units. The elevations provided are for 5-unit buildings; the applicant will need to provide elevations for the 4-units buildings. The building as a whole shows various rooflines which contribute to the overall design of the structure. Additionally, the curved entry in the center unit adds to the visual interest. The materials used appears to be a mix of hardie board, shake, and board and batten, however, these materials are not explicitly called out in the supporting documents. The rear elevation of the buildings show variation by showing distinction between the units with a vertical frieze board, color, and the variation of garage door size.

Building B

The proposed building type B are for the front-loaded units shown in the community. The elevations provided are for 5-unit buildings; the applicant will need to provide elevations for the 6-units buildings. The use of windowed garage doors and hardware will soften the impact of the front-loaded units. The front doors shown on the elevations do not match the doors provided on the color and materials sheet. The materials used are shown on the side elevations referenced on sheet A201. The rear elevation of the buildings show variation by showing distinction between the units with a vertical frieze board and color. The rear external doors do not match the front, nor the door provided on the color and materials sheet; this will need to be provided.

Amenity Center

The proposed amenity center suggests a quality-built environment through the variation of roof lines above the mail kiosk and in the covered open-air shelter. The materials used appears to be a mix of hardie board and exposed wood beams, however, these materials are not explicitly called out in the supporting documents.

Site Elements

The site elements the applicant provided in the supporting documents includes site lighting and an outdoor fitness circuit. The site lighting is evenly spaced around the development and will provide a safety feature for the neighborhood. The intended construction material for the walking path was not provided in the supporting documents.

Other Comments

Standards for the zoning district, land use buffers, and parking requirements will be verified by staff during the preliminary platting phase of the development review process.

Staff Recommendation

Staff asks the Architectural Review Board to approve the application with the following conditions:

- Provide staff with the intended construction material of the walking path,
- Provide all materials for the residential and nonresidential buildings on elevations,
- Provide staff with elevations for the 4-unit building type A and elevations for 6-unit building type B that are architecturally similar to the ones presented in this packet,
- Call out the rear entry doors for building type B that are architecturally similar to the rest of the community.