



**PLANNING COMMISSION
PLANNING COMMISSION AGENDA**

Tuesday, November 15, 2022 at 7:00 p.m.

AMENDED AS OF NOVEMBER 14, 2022

**COUNCIL CHAMBERS AND/OR TELECONFERENCE
8650 CALIFORNIA AVE
SOUTH GATE, CA 90280
DIAL-IN-NUMBER: 1(669) 900-6833
844 8239 7182
[HTTPS://US02WEB.ZOOM.US/J/84482397182](https://us02web.zoom.us/j/84482397182)
AMENDED AGENDA**

Call To Order

Pledge of Allegiance

City Officials

CHAIRPERSON

Fabiola Inzunza

VICE CHAIRPERSON

COMMISSIONERS

Jose Delgado

Ivy Duarte

Diego Sepulveda

Roll Call

Report On Posting

I, Jose Montano, Acting Administrative Service Coordinator, certify that a true and correct copy of the foregoing meeting agenda was properly posted on November 11, 2022, seventy-two hours prior to the scheduled meeting, as required by law.

Meeting Compensation Disclosure

Pursuant to Government Code Section 54952.3: Disclosure of compensation for meeting

attendance by the Planning Commission is \$125.00 per meeting.

Open Session Items

Item No. 1

The Planning Commission will consider approving the minutes for the Planning Commission meeting of September 20, 2022.

Documents:

[Sept. 20. 2022 MIN.pdf](#)

Item No. 2

The Planning Commission will conduct a public hearing for Conditional Use Permit No. 853 to allow the establishment of a Medical and Dental business at 4433 and 4437 Tweedy Boulevard.

Item No. 3 - Amendment

The Planning Commission will conduct a public hearing for Conditional Use Permit No. 853 to allow the establishment of a medical and dental business at 4433 and 4437 Tweedy Boulevard.

Documents:

[Item No. 3_Amendment.pdf](#)

Comments

At this time, members of the public and staff may address the City Planning Commission regarding any items within the subject matter jurisdiction of the Planning Commission. No action may be taken on items not listed on the agenda unless authorized by law.

AUDIENCE COMMENTS

CITY STAFF COMMENTS

PLANNING COMMISSION COMMENTS

Adjournment

In compliance with the American with Disabilities Act, if you need special assistance to participate in the Planning Commission Meetings, please contact Community Development Department.

Notification 48 hours prior to the City Council Meeting will enable the City to make reasonable arrangements to assure accessibility. Any final action of the Planning Commission, on this agenda, is appealable to the City Council upon filing the request with the City Clerk prior to 5:00pm on Monday, December 5, 2022.

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Clerk's Office, 8650 California Avenue, South Gate, California 90280 (323) 563-9510 * fax (323) 563-5411 * www.cityofsouthgate.org.

**MINUTES OF THE REGULAR MEETING
OF THE SOUTH GATE CITY PLANNING COMMISSION
TUESDAY, SEPTEMBER 20, 2022**

1. CALL TO ORDER

The Planning Commission of the City of South Gate met via teleconference on the above date at 7:00 PM Chairperson Fabiola Inzunza presiding.

2. PLEDGE OF ALLEGIANCE – Craig Hardwick, City Attorney**3. ROLL CALL**

Commissioners Present: Chairperson Fabiola Inzunza, Commissioner Duarte, Delgado and Sepulveda

Commissioners Absent:

Staff Present: Meredith Elguira, Director of Community Development
Yalini Siva, Senior Planner
Norma Hernandez, Assistant Planner

4. REPORT ON POSTING AND MEETING COMPENSATION DISCLOSURE**5. MINUTES**

MOTION: Commissioner Delgado moved to approve the minutes and Commissioner Sepúlveda seconded the motion. Motion carried unanimously, with the following roll call vote:

AYES: Inzunza, Delgado, Duarte, and Sepúlveda

NOES: None

ABSTAIN: None

6. THE PLANNING COMMISSION WILL CONDUCT A PUBLIC HEARING FOR CONDITIONAL USE PERMIT NO. 862. TO ALLOW A TYPE 20 ALCOHOLIC BEVERAGE CONTROL LICENSE FOR OFF-SALE BEER AND WINE AT AN EXISTING NEIGHBORHOOD MARKET FOR THE PROPERTY LOCATED AT 10365 CALIFORNIA AVENUE.

Norma Hernandez, Assistant Planner presented a staff report to the Planning Commission and there was a range of discussion amongst the Planning Commissioners and staff regarding CUP No. 862.

MOTION: Commissioner Delgado moved to approve item No. 2 and Commissioner Sepúlveda seconded the motion. Motion carried unanimously, with the following roll call vote:

AYES: Inzunza, Delgado, Duarte, and Sepúlveda

NOES: None

ABSTAIN: None

7. THE PLANNING COMMISSION WILL CONDUCT A PUBLIC HEARING FOR CONDITIONAL USE PERMIT NO. 863. TO INSTALL AND OPERATE AN UNMANNED WIRELESS ELECOMMUNICATIONS FACILITY ON AN EXISTING SOUTHERN CALIFORNIA EDISON LATTICE TOWER LOCATED AT APN 6232-005-805 (ADJACENT TO PROPERTY ADDRESS 5911 FIRESTONE AVENUE).

Norma Hernandez, Assistant Planner presented a staff report to the Planning Commission and there was a range of discussion amongst the Planning Commissioners and staff regarding CUP No. 863.

Patrick Griffin, Applicant, 12780 Newhope Street, Fountain Valley CA 92780- noted that the Applicant was available to answer any questions.

MOTION: Commissioner Delgado moved to approve item No. 3 and Commissioner Sepúlveda seconded the motion. Motion carried unanimously, with the following roll call vote:

AYES: Inzunza, Delgado, Duarte, and Sepúlveda
 NOES: None
 ABSTAIN: None

8. AUDIENCE COMMENTS

None

9. CITY STAFF COMMENTS

Meredith Elguira, Director of Community Development, thanked the Planning Commissioners for attending the Planning Commission and Brown Act workshop. In addition, an update on the Housing Element and Wireless Facility ordinance within the public right away and private property was provided.

10. PLANNING COMMISSION COMMENTS

The Commissioners expressed their appreciation for staff and also expressed their concerns regarding the empty Planning Commission seat for a Vice Chairperson. Chairperson would like to appoint the Vice Chairperson at our next Planning Commission meeting.

11. ADJOURNMENT

The meeting was adjourned at 7:37 PM. The next regular meeting of the Planning Commission is scheduled to be held on Tuesday, October 4, 2022, beginning at 7:00 PM.

Respectfully,

Meredith T. Elguira, Director of Community Development

APPROVED:

Fabiola Inzunza, Chairperson

City of South Gate

PLANNING COMMISSION

AGENDA BILL

Amendment

For the Regular Meeting of: November 15, 2022

Assistant Planner:

NAH
Norma Hernandez

Community Development Director:

NAH
for Meredith Elguira
Meredith Elguira

SUBJECT: CONDITIONAL USE PERMIT NO. 853 A REQUEST TO ALLOW THE ESTABLISHMENT OF A MEDICAL AND DENTAL BUSINESS AT 4433 AND 4437 TWEEDY BOULEVARD.

PURPOSE: To consider a request to allow the establishment of a medical and dental land use at two existing buildings located at 4433 and 4437 Tweedy Boulevard, per the Tweedy Boulevard Specific Plan ("TBSP").

RECOMMENDED ACTIONS:

- a. **CONDUCT** a public hearing; and
- b. **ADOPT** the findings under Resolution No. 2022-16, approving Conditional Use Permit No. 853, subject to the recommended conditions of approval.

PUBLIC NOTIFICATION: Advertising and notification of the public hearing for the application was conducted in compliance with Chapter 11.50.020, Title 11 of the South Gate Municipal Code. Notice of the hearing was originally posted and published in the "*South Gate Press*" newspaper and was mailed to surrounding properties on November 3, 2022.

ENVIRONMENTAL EVALUATION: This project is Categorically Exempt from CEQA under state regulations known as the "CEQA Guidelines" codified at Division 6 of Title 14 of the California Code of Regulations. The Class 1 Exemption under the CEQA Guidelines, at 14 CCR Section 15301, consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project proposal only consists of minor façade improvements and modifications to existing structures; no significant expansions are being proposed.

ANALYSIS: Conditional Use Permit No. 853 is a request to allow for the operation of a medical and dental business within two existing structures located at 4433 and 4437 Tweedy Boulevard, between Alexander and Bryson Avenue (see *Figure 1*).

The South Gate Municipal Code (SGMC) Chapter 11.60, "Definitions," defines the term "medical services" to include a "medical/dental/holistic" land use, which is defined as "a facility other than a hospital where medical, dental, holistic, mental health, surgical, and/or other personal health care services are provided on an outpatient basis, and that accommodates no more than four licensed

primary practitioners (for example, chiropractors, medical doctors, psychiatrists, other than nursing staff) within an individual office suite.”

Project Overview

The subject properties are zoned TMU2 (Tweedy Mixed Use Zone 2) and are located in the Tweedy (6 sub area) corridor overlay zone, thus are subject to the development and permit procedures of the Tweedy Boulevard Specific Plan, which requires a Conditional Use Permit for a “medical/dental” land use type.

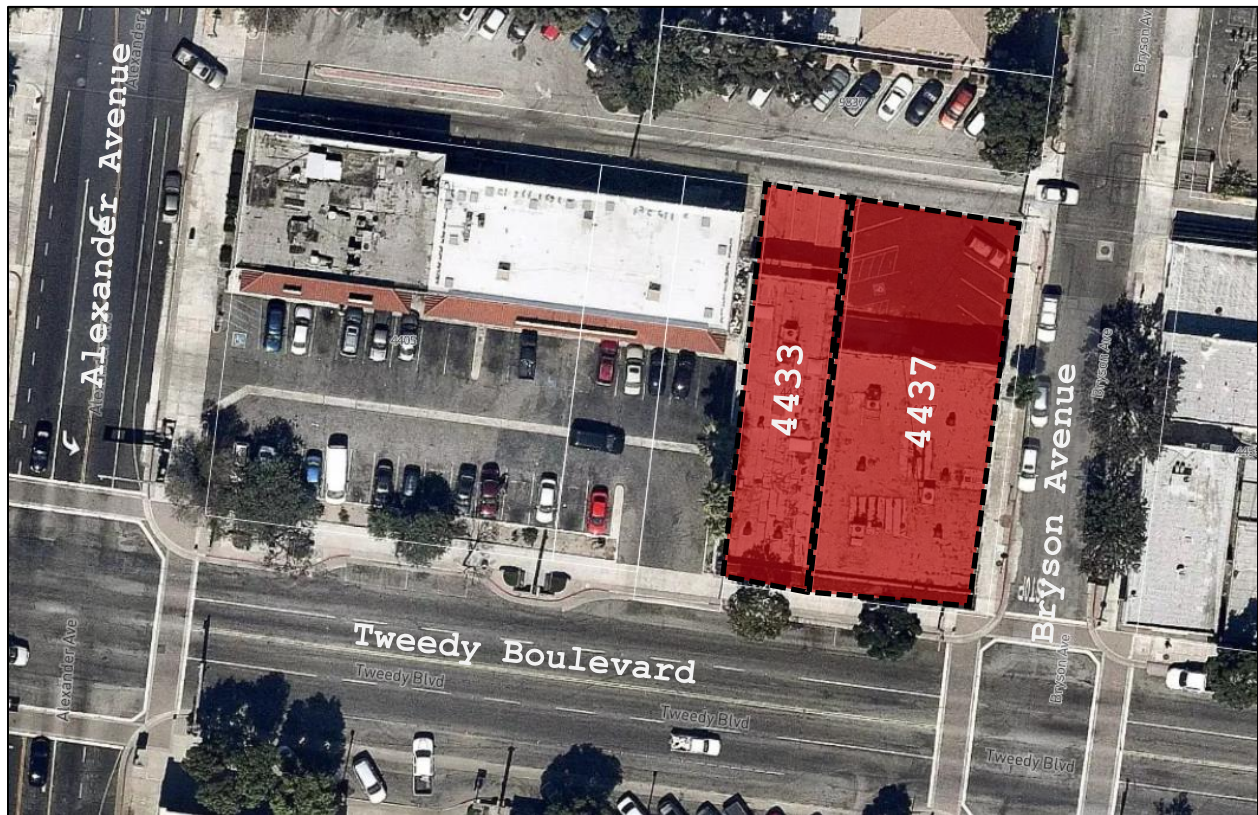


Figure 1 – Aerial Map

The property at 4433 Tweedy Boulevard is about 3,920.4 square feet with an approximately 2,661 square foot existing building designed for one tenant. The number of on-site parking spaces are three. The property at 4437 Tweedy Boulevard is about 7,841 square feet and has an approximately 4,172 square foot existing building also designed for one tenant and currently provides seven on-site parking spaces.

The applicant and property owner of both properties, Jack Azad, has applied for a Conditional Use Permit to operate a medical and dental business at two existing structures, which have historically been used as a dental office (see *Table 1*). City records indicate that the two adjacent structures have been used as one structure with connecting hallways. City records also indicate that the historical business licenses have been registered under one address, 4433 Tweedy Boulevard.

Table 1 – Past Business Licenses

	Business Name
2007	Consumer Health Inc. dba Newport Dental
2000	Castle Dental Center
1996	Harrison Dental Ceramics
1977	Dentistry
1961	Sebastian’s Men & Boys Wear

Table 1

Abutting zones are Tweedy Mixed-Use 2 (TMU2) and Tweedy Mixed-Use 1 (TMU1), (see Table 2), while abutting uses include a City parking lot to the north, a laundromat to the west, a pediatric dental office to the south, and a real estate office to the east.

Table 2 – Zoning Designation

Direction	Address	Zoning
North	9837 Bryson Avenue	TMU2 (Tweedy Mixed-Use 2)
South	4420 Tweedy Boulevard	TMU2 (Tweedy Mixed-Use 2)
West	APN No. 6217016058	TMU2 (Tweedy Mixed-Use 2)
East	4455 Tweedy Boulevard	TMU1 (Tweedy Mixed-Use 1)

Table 2

The project proposal is also for a tenant improvement project that consists of an interior remodel to both structures and façade/exterior improvements (see Exhibit C). The interior remodel will dedicate the first 30-feet, from the front property line, for retail—to comply with the additional use regulations set forth in the TBSP. The remainder of the square footage is to be dedicated for five dental rooms, four medical exam rooms, a laboratory room, two training rooms, reception area, a storage room, kitchen, a janitor’s closet, and an electrical room. The façade/exterior improvements include a change of exterior façade materials, new paint, awnings that comply with the design guidelines for the TMU2 zone, as well as new signage.

The project sites currently provide a total of ten on-site parking spaces. The proposed reconfiguration of parking spaces may allow for an additional parking stall (total of 11 parking spaces). Furthermore, the TBSP allows for the concept of a shared parking program for any commercial uses located within the “Tweedy Mile Subarea.” One of the strategies listed in the TBSP includes the “Park Once” program, which “is intended to consolidate parking resources, relieve individual properties of providing potentially duplicative parking, reduce individual vehicle trips, and group parking facilities in strategically dispersed locations to encourage walking between destinations.”

CONCLUSION: Based on the analysis provided above and the project’s compliance with both the Zoning Code and General Plan, it is staff’s recommendation that the Planning Commission approve Conditional Use Permit No. 853, permitting the establishment of a medical and dental use at 4433 and 4437 Tweedy Boulevard.

Conditional Use Permit Findings

Conditional Use Permit No. 853 is a request by Jack Azad (“Applicant”), to allow the establishment of a medical and dental business at two existing buildings located at 4433 and 4437 Tweedy Boulevard. The findings are provided below:

1. *Approval of the CUP is consistent with and will not adversely affect the intent and purpose of this title or the city’s general plan.*

The subject property has a designated zoning of Tweedy Mixed Use 2 (“TMU2”) and is located on a Corridor Overlay Zone, Tweedy (6 Sub Area) and therefore must comply with the regulations set forth in the Tweedy Boulevard Specific Plan. The TBSP allows for medical/dental uses via a conditional use permit, where such uses are located 30-feet from the front property line. The applicant is proposing to locate the medical/dental type use towards the rear of the property to comply with this development standard.

2. *The design and development of the land use and conditions of the CUP are compatible with the existing and future land uses of the applicable zone.*

Per Table 4-2: *Allowed Land Uses for Tweedy Mixed-Use Zones*, allows for medical/dental land uses via a conditional use permit with additional use regulations. The project proposal is both consistent with said table and the complies with additional use regulations for a medical and dental land use.

3. *Approval of the CUP would not result in detrimental impacts to adjacent properties or to the character or function of the neighborhood.*

Approval of the CUP would not result in detrimental impacts to adjacent properties or to the character or function of the neighborhood, as the project proposal does not constitute any expansions of the existing structures, not including the interior remodel and façade improvements.

4. *The project proposal is exempt from CEQA under Class 1 Categorical Exemption.*

The proposed Conditional Use Permit is Categorically Exempt from the California Environmental Quality Act (CEQA) as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project proposal only consists of minor façade improvements and modifications to existing structures; no significant expansions are being proposed.

Applicant:

Jack Azad
11900 Avalon Boulevard #100
Los Angeles, CA. 90061

Property Owner:

Jack Azad
11900 Avalon Boulevard #100
Los Angeles, CA. 90061

Site Features:

Lot size: .09 acres (4433 Tweedy Blvd)
Lot size: .18 acres (4437 Tweedy Blvd)

Property Addresses:

4433 Tweedy Boulevard;
4437 Tweedy Boulevard

Assessor's Parcel No.

6217-016-059 (4433 Tweedy Boulevard)
6217-016-060 (4437 Tweedy Boulevard)

Zoning Designation:

Tweedy Mixed Use 2 (TMU2)

General Plan Designation:

Corridor Overlay Zone, Tweedy (6 Subarea)

Surrounding Land Uses:

North: TMU2 (Tweedy Mixed-Use 2)
South: TMU2 (Tweedy Mixed-Use 2)
East: TMU1 (Tweedy Mixed-Use 1)
West: TMU2 (Tweedy Mixed-Use 2)

EXHIBITS:

- A. Resolution No. 2022-16
- B. Site Plan, Floor Plan, Elevations
- C. Proposed Façade Improvements
- D. Public Hearing Notice

RESOLUTION NO. 2022-16

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH GATE, CALIFORNIA APPROVING CONDITIONAL USE PERMIT NO. 853 FOR OPERATION OF A MEDICAL AND DENTAL OFFICE AT 4433 AND 4437 TWEEDY BOULEVARD

WHEREAS, on June 8, 2021, the Department of Community Development received an application from Jack Azad (“**Applicant**”) for Conditional Use Permit No. 853 to allow for the operation of a medical and dental business at 4433 and 4437 Tweedy Boulevard;

WHEREAS, the Planning Commission upon giving the required notice did, on the fifteenth day of November, 2022, conduct a duly advertised public hearing as required by law to consider the approval of said Conditional Use Permit. Notice of the hearing was originally posted and published in the “South Gate Press” newspaper and mailed to the surrounding properties on November 3, 2022; and

WHEREAS, it was determined that the proposed Conditional Use Permit is Categorically Exempt from the California Environmental Quality Act (CEQA) under Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project proposal only consists of minor façade improvements and modifications to existing structures; no significant expansions are being proposed; and

WHEREAS, studies and investigations were made and a report with recommendations was submitted; and

WHEREAS, the Planning Commission determined that the facts of this matter are as follows:

1. The properties are located on Tweedy Boulevard Alexander and Bryson Avenue.
2. The Zoning designation for the properties is Tweedy Mixed-Use 2 (“TMU2”) and the General Plan designation is Corridor Overlay Zone, Tweedy (6 Sub Area).
3. The project proposal is to establish a medical and dental business at two adjacent existing buildings.

WHEREAS, the City Planning Commission made the following findings:

1. *Approval of the CUP is consistent with and will not adversely affect the intent and purpose of this title or the city’s general plan.*

The subject property has a designated zoning of Tweedy Mixed Use 2 (“TMU2”) and is located on a Corridor Overlay Zone, Tweedy (6 Sub Area) and therefore must comply with the regulations set forth in the Tweedy Boulevard Specific Plan. The TBSP allows for medical/dental uses via a conditional use permit, where such uses are located 30-feet from

the front property line. The applicant is proposing to locate the medical/dental type use towards the rear of the property to comply with this development standard.

2. *The design and development of the land use and conditions of the CUP are compatible with the existing and future land uses of the applicable zone.*

Per Table 4-2: *Allowed Land Uses for Tweedy Mixed-Use Zones*, allows for medical/dental land uses via a conditional use permit with additional use regulations. The project proposal is both consistent with said table and the complies with additional use regulations for a medical and dental land use.

3. *Approval of the CUP would not result in detrimental impacts to adjacent properties or to the character or function of the neighborhood.*

Approval of the CUP would not result in detrimental impacts to adjacent properties or to the character or function of the neighborhood, as the project proposal does not constitute any expansions of the existing structures, not including the interior remodel and façade improvements.

4. *The project proposal is exempt from CEQA under Class 1 Categorical Exemption.*

The proposed Conditional Use Permit is Categorically Exempt from the California Environmental Quality Act (CEQA) as a under Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project proposal only consists of minor façade improvements and modifications to existing structures; no significant expansions are being proposed.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of South Gate, pursuant to the facts noted above, does hereby approve Conditional Use Permit No. 853 to establish a medical and dental land use at two existing buildings located at 4433 and 4437 Tweedy Boulevard and is subject to the conditions of approval contained in Resolution No. 2022-16.

This recommendation was adopted by the following vote at the Planning Commission meeting of November 15, 2022.

AYES:

NOES:

ABSENT:

APPROVED and ADOPTED this fifteenth day of November 2022.

Meredith Elguira
Secretary
City Planning Commission

APPROVED:

Fabiola Inzunza
Chairperson
City Planning Commission

CUP NO. 853 - CONDITIONS OF APPROVAL

Planning Conditions:

1. The number of licensed primary practitioners shall not exceed four, within the business at all times.
2. The first 30-feet of any structures/buildings facing Tweedy Boulevard, shall be dedicated for a retail use for the longevity of this Conditional Use Permit.
3. All façade improvements shall be consistent with the design guidelines set forth in the TBSP, including and not limited to, maintaining window transparency,
4. An additional tree shall be planted on Bryson Avenue. The location and the type of tree shall in compliance with the City's Master Tree Plan and the Public Works/Engineering Department. Additionally, said tree shall maintained and any irrigation connected to or provided by the listed property owner for the longevity of the use.
5. Street-facing façade shall incorporate windows and opening providing light to adjacent spaces and rooms. The windows shall be transparent.
6. Any signage on the buildings and windows shall comply with *Chapter 11.36: Signs – General Policies, Provisions, and Procedures* of the city's municipal code.

Building & Safety:

1. Must comply with ADA accessibility and parking requirements.
2. Must provide and maintain trash enclosure.
3. Show location of electrical and mechanical equipment on plans.
4. Must obtain building permit for all temporary and/or permanent signage.
5. Provide and maintain sufficient exterior illumination at parking lot area and exterior of buildings.
6. Parking lot areas to be always maintained free of trash and debris.
7. Must obtain building permits for all proposed tenant improvements.

Code Enforcement:

1. Temporary fence must be removed once construction ends.
2. Recreational vehicle and other vehicles stored in the property must be removed once construction is complete.
3. Maintain the property free of graffiti ~~painted with color matching painting of the building.~~

Public Works:

1. Contractor shall remove and reconstruct all damaged or uplifted sidewalk from score line to score line along the frontage of Bryson Avenue.
2. Contractor shall plant a new 36" tree on the empty tree well on Bryson Avenue. The type of tree shall be per City's tree species.

Additional Conditions:

1. Within thirty (30) days after issuance of the permit, the permittee shall certify his/her acceptance of the conditions placed on the approval by signing a notarized Affidavit of Acceptance stating that he/she accepts and shall be bound by all of the conditions.
2. The permittee shall defend, hold harmless and indemnify the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers

or employees to attack, set aside, void or annul any approval by the City concerning the Project. The City shall promptly notify the permittee of any filed claim, action or proceeding and shall cooperate fully in the defense of the action.

3. Violation of, or noncompliance with, any of these conditions shall constitute grounds for revocation of this permit.
4. Permittee shall agree to maintain (and/or cause its landlord to maintain, if the permittee is a tenant) the property and all related on-site improvements and landscaping thereon, including without limitation, buildings, parking areas, lighting, signs, and walls in a first class condition and repair, free of rubbish, debris and other hazards to persons using the same, and in accordance with all applicable laws, rules, ordinances and regulations of all Federal, State, County and local bodies and agencies having jurisdiction, at applicants sole cost and expense. Such maintenance and repair shall include, but not be limited to the following: (i) sweeping and the removal of trash and debris as soon as possible but at least within 24 hours; (ii) the care of all shrubbery, plantings and other landscaping in a healthy condition and replacement of diseased or dead plant material with new material at an age similar to the material being replaced; (iii) maintenance of all irrigation systems in properly operating condition; (iv) the removal of graffiti within 24 hours; and (v) the repair, replacement and restriping of asphalt or concrete paving using the same type of material originally installed, to the end that such paving at all times be kept in a level and smooth condition.
- ~~5. The permittee shall comply with all state statutes, rules and regulations relating to the sale, purchase, display, possession and consumption of alcoholic beverages.~~
6. The permittee shall acknowledge and agree that the City has a legitimate and compelling governmental interest in the permittee's strict compliance with all conditions imposed upon the permit, including adherence to state status, rules and regulations as specified in this section. The permittee shall further acknowledge and agree that any violation of a state statute, rule or regulation concerning the sale to or consumption of alcoholic beverages by a minor has been determine by the city to have a deleterious secondary effect upon (i) the specific land use requested by the permittee and authorized by the city; (ii) the compatibility or permittee's authorized land use with adjacent land uses; and (iii) the welfare and safety of the general public within the city. In view of such deleterious secondary effects, permittee shall acknowledge that the city has specifically reserved the right and authority to impose sanctions, including suspension or revocation of the conditional use permit, as a consequence of one or more violations of a state statute, rule or regulation concerning the sale to or consumption of alcoholic beverages by a minor.
- ~~7. Any violation by permittee of any condition of this permit, or of any ordinance or statute concerning sale of alcoholic beverages to a minor or otherwise may result in the suspension or revocation of the permit at the discretion of the City Council. The permit may be revoked and reissued with new or modified conditions, as may appropriate under the circumstances.~~
8. Reimbursement to the City for all costs and expenses reasonably incurred in investigating, identifying, and documenting the violation, and in processing information concerning the violation, may be imposed as a condition of the continuation, reinstatement, or reissuance of any permit.

~~9. For the duration of any suspension of an alcohol-related CUP, the Planning Commission, or, upon any appeal, the City Council, may direct the permittee to post a sign on the premises of the establishment relating to such suspension. The size, content, and location of such sign shall be as specified by the Director.~~

10. A public hearing consistent with Chapter 11.50 (Administration) shall be held for the consideration of a permit revocation. A permit or any associated conditions may be revoked or modified by the Planning Commission subject to any of the following grounds:

- a. The permit or approval was obtained by fraud.
- b. The property is not being used for the purpose which is the subject of the permit.
- c. The use for which the approval was granted has ceased or has been suspended for 1 year or more.
- d. The permit or conditions of the approval have been violated; exercised contrary to the terms of approval; or in violation of any statute, ordinance, law or regulation.
- e. The use for which the approval was granted was exercised in a manner detrimental to the public health or safety, or as to constitute a public nuisance.

11. Any approval or permit granted by the City becomes null and void if the property is not being used for the approved or permitted purpose within one year from the date the approval or permits was issued, consistent with the provisions identified within Section 11.55 Nonconforming Uses and Buildings.

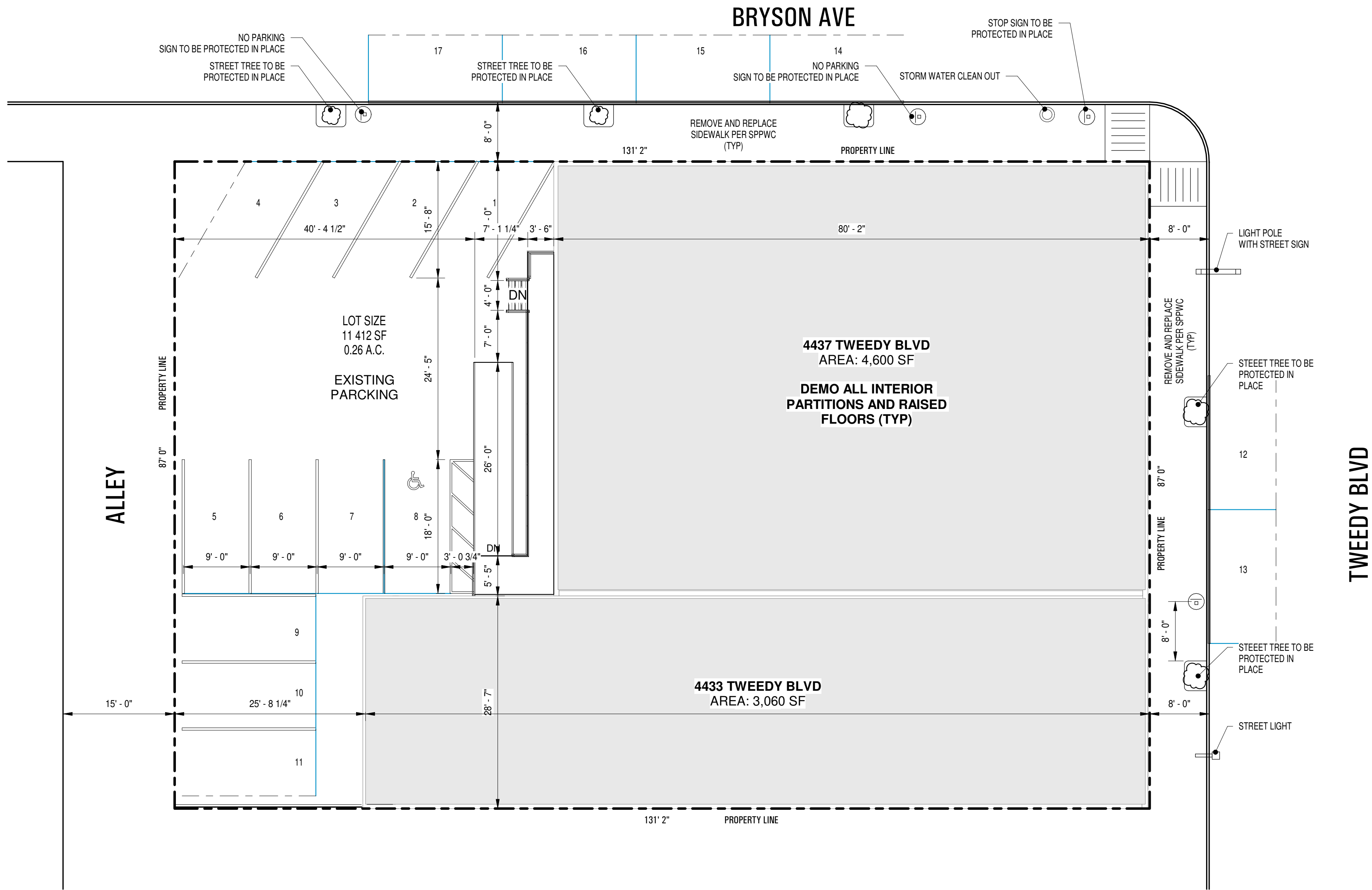
12. If the application or any conditions of the CUP violate the Zoning Code or do not fulfill the intent of the Code, the Planning Commission shall, following a public hearing, be authorized to take the following actions:

- a. Revoke the CUP, revoke and reissue the CUP with new or modified conditions, or modify the conditions of the existing CUP as may be appropriate under the circumstances.
- b. Impose, as a condition of the continuation, reinstatement, or reissuance of the CUP, a requirement that the permittee reimburse the City for all costs and expenses reasonably incurred in investigating, identifying, and documenting the violation, and in processing information concerning the violation for presentation to the Planning Commission, and, upon any appeal, to the City Council.
- c. A CUP shall be revocable if the exercises of rights granted by the CUP are discontinued for 6 consecutive months. The use subject to the CUP may not be resumed if the CUP is revoked; a new CUP, including processing and public notification, shall be required.

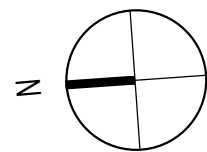
13. Permittee acknowledges and agrees that the permit is expressly conditioned on the permittee maintaining the subject property in a well-maintained condition, and free from graffiti. In the event of graffiti markings, Applicant agrees to eliminate all such graffiti within twenty-four (24) hours, with or without notice from the City, as a condition of the

permit.

14. If the conditions of any CUP issued pursuant to this chapter are violated by the permittee, or by anyone acting under the authority of the permittee, the planning commission shall, in accordance with the procedures and noticing requirements set forth in Chapter 11.51, Permits and Procedures, be authorized to take the following actions:
 - i. First violation: a 15-day permit suspension.
 - ii. Second violation occurring within 3 years of the first violation: 60-day permit suspension.
 - iii. Third violation occurring within 3 years of the second violation: the permit shall be revoked.



1 | EXISTING SITE PLAN
1" = 10'-0"



GENERAL
NOTES

Exhibit B

THIS DRAWING IS PART OF A SET OF DRAWINGS FOR THIS PROJECT AND SHALL NOT BE CONSIDERED VALID UNLESS IT IS ACCOMPANIED BY THE COMPLETE SET OF DRAWINGS.

CONFIDENTIAL - TRADE SECRETS

THE INFORMATION DISCLOSED HEREIN IS PROPRIETARY WITH TEXAS STRUCTURAL ENGINEERS, LLC, AND SHOULD NOT BE USED, DUPLICATED OR DISCLOSED WITHOUT ITS EXPRESS WRITTEN PERMISSION. THE INFORMATION HEREIN IS PART OF A PATENT PENDING PROCESS/MATERIAL.

UNAUTHORIZED USE OR COPYING OF THIS OR ANY CONTENTS HEREOF IS STRICTLY FORBIDDEN

NO.	REVISION/ISSUE	DATE
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FIRM NAME AND ADDRESS

ARCHITECTURALGIG

1301 FANNIN ST, SUITE 2440

Houston, Texas 77002

P:(713)-999-5384

PROJECT NAME AND ADDRESS

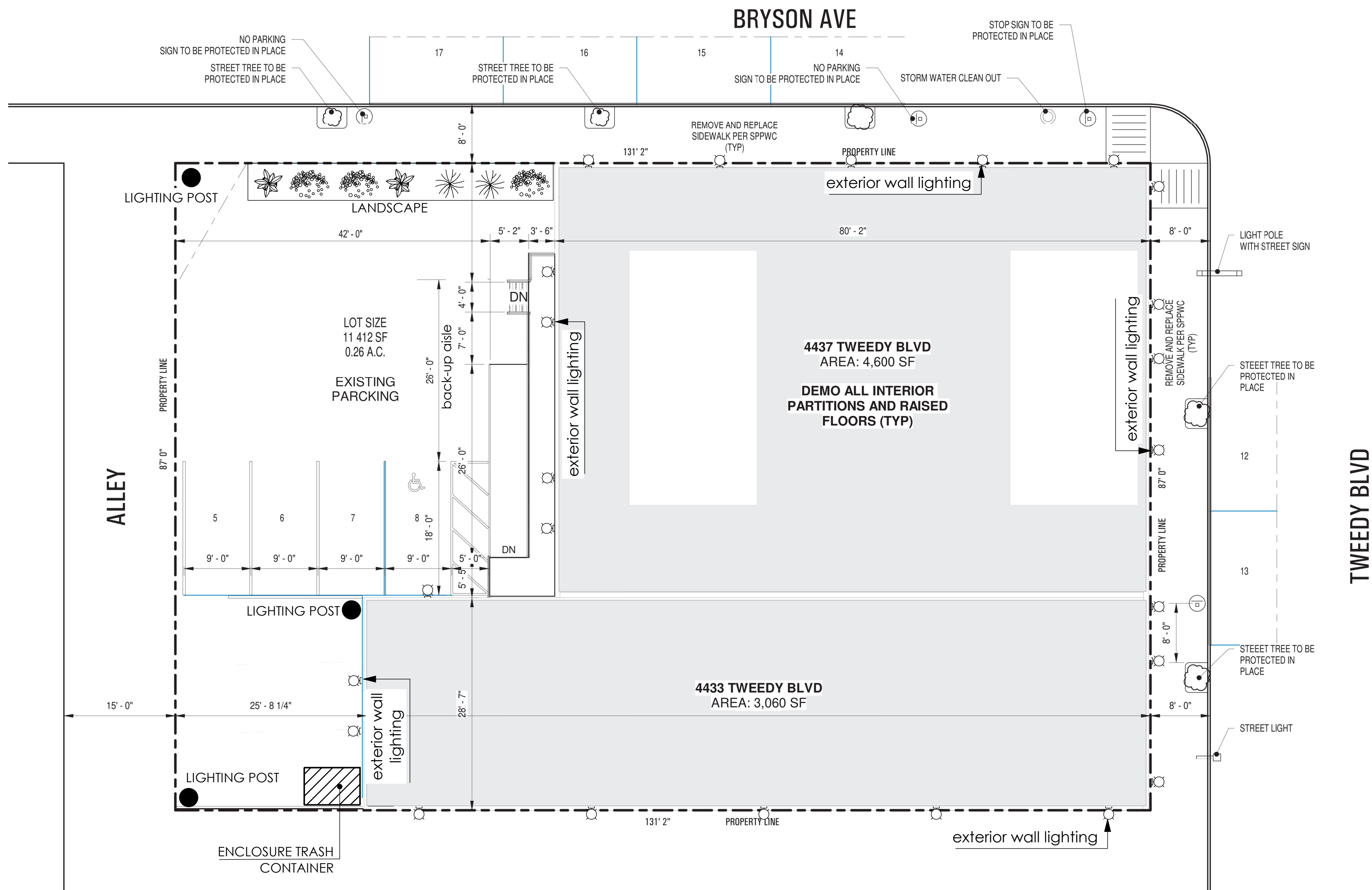
TENANT IMPROVEMENT

4433-4437 TWEEDY

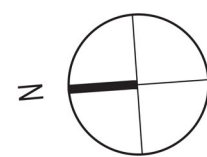
BLVD SOUTH GATE, CA

90280

PROJECT:	TSE-2021-	SHEET A-1.3
DATE:	07-26-21	
SCALE:	1" = 10'-0"	



1 | PROPOSED SITE PLAN
1" = 10'-0"



GENERAL
NOTES

Exhibit B

THIS DRAWING IS PART OF A SET OF DRAWINGS FOR THIS PROJECT AND SHALL NOT BE CONSIDERED VALID UNLESS IT IS ACCOMPANIED BY THE COMPLETE SET OF DRAWINGS.

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FIRM NAME AND ADDRESS

ARCHITECTURALGIG
1301 FANNIN ST, SUITE 2440
Houston, Texas 77002
P:(713) 999-5384

PROJECT NAME AND ADDRESS

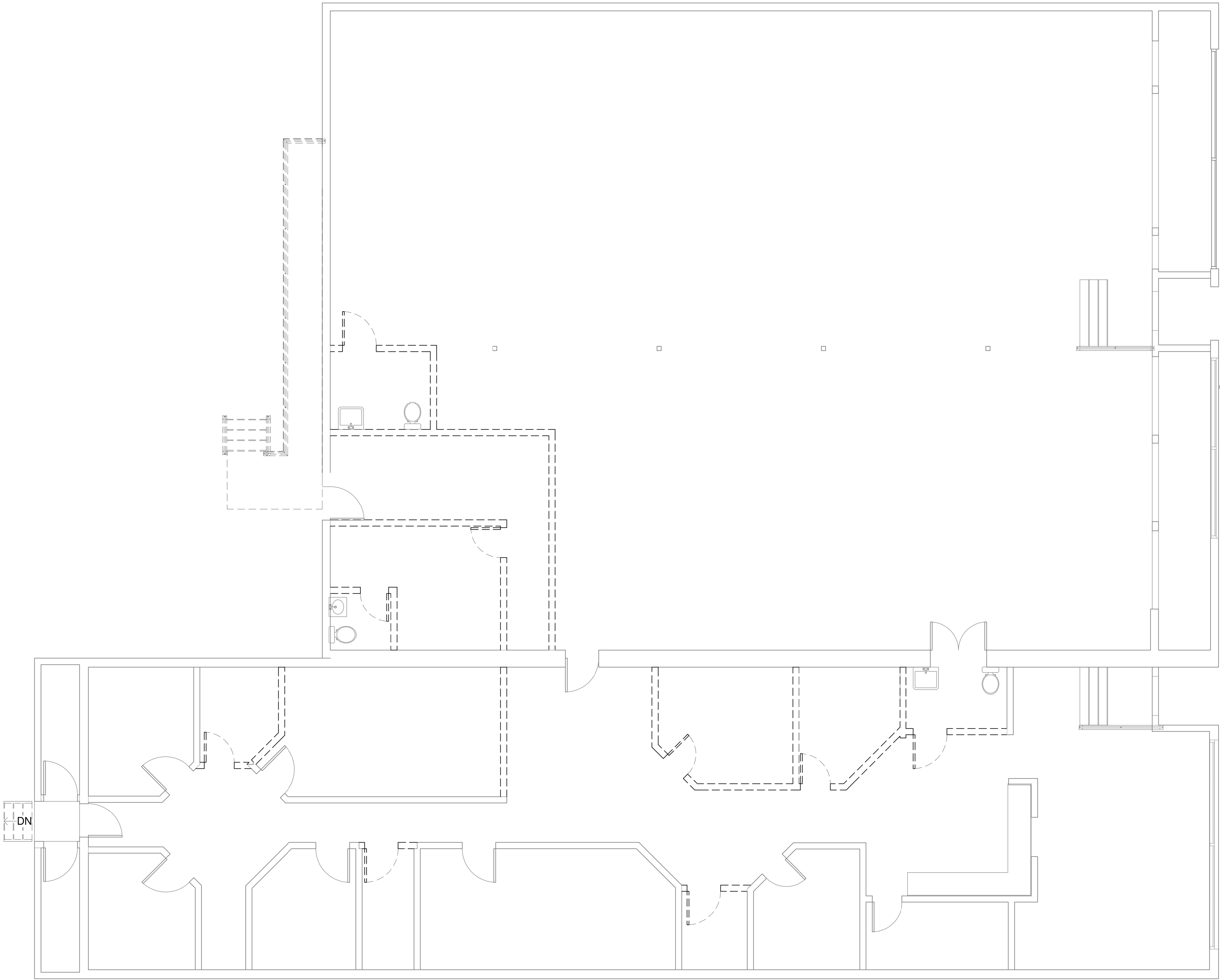
TENANT IMPROVEMENT
4433-4437 TWEEDY
BLVD SOUTH GATE, CA
90280

PROJECT: TSE-2021- SHEET

DATE: 07-26-21

SCALE: 1" = 10'-0"

A-1.3



1 | DEMOLITION FLOOR PLAN
3/16" = 1'-0"

General Demolition Notes

1. Remove all existing constructions and finishes necessary for the completion of the work as depicted on the drawings. Including but not limited to items shown on the plans with dashed lines.
2. Necessary disconnects and alterations to existing mechanical and electrical systems shall be included in the proposed work. Patch as required all constructions to remain in accordance with the contract drawings.
3. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. All removals and salvage, unless specifically noted or requested by the owner, shall become the property of the contractor.
4. Remove only non-load bearing construction and partitions. Contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc., supporting floor, roof or ceiling joists are designated for removal.

GENERAL
NOTES

Exhibit B

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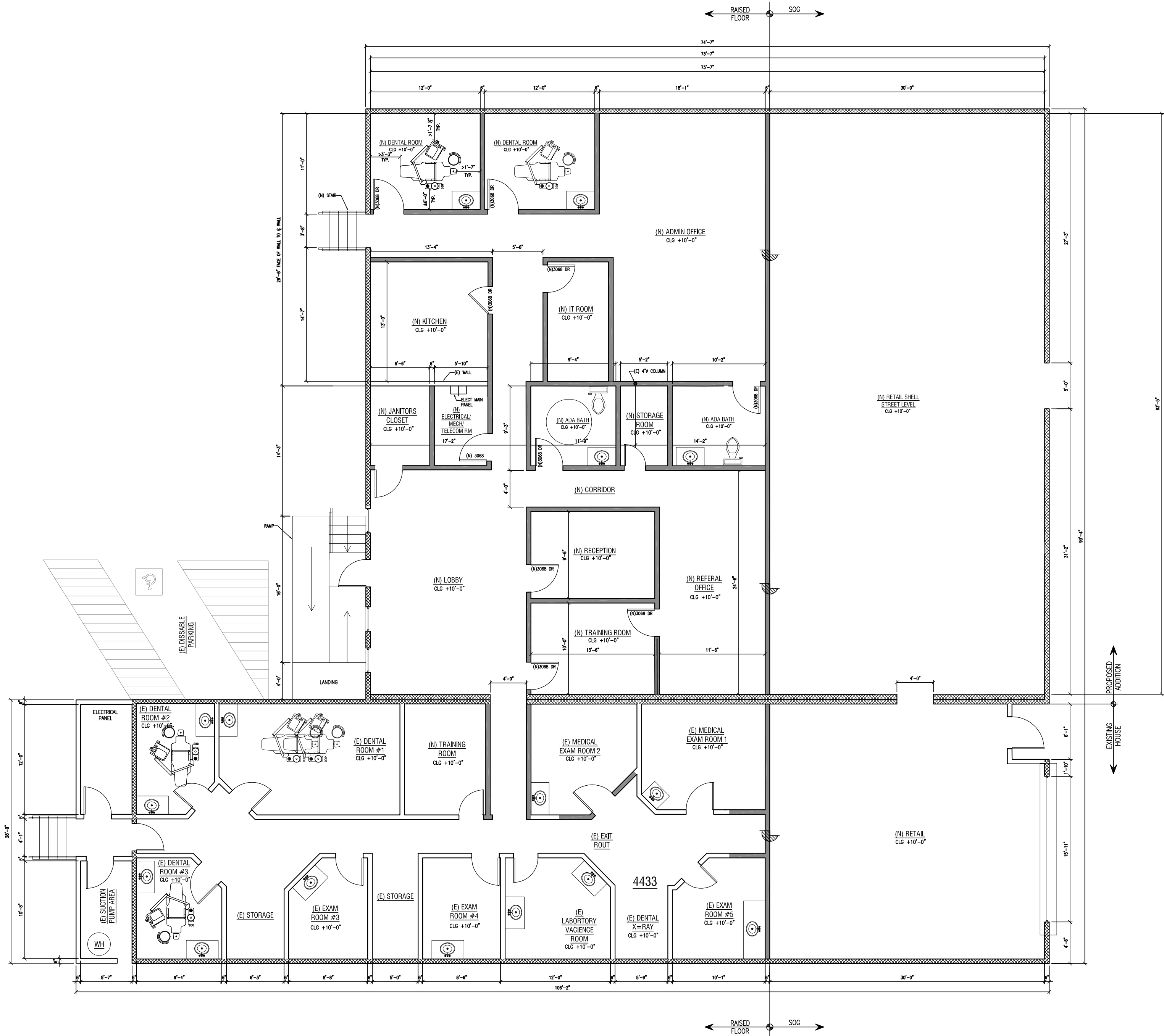
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Houston, Texas 77002
P:(713)-999-5384

PROJECT NAME AND ADDRESS

TENANT IMPROVEMENT
4433-4437 TWEEDY
BLVD SOUTH GATE, CA
90280

PROJECT:	TSE-2021-	SHEET A-2.1
DATE:	07-26-21	
SCALE:	3/16" = 1'-0"	



WALL LEGEND	
	- (E) INTERIOR WALL TO BE REPLACED WITH 2x4 @ 16" O.C STUD WALL
	- (N) INTERIOR WALL
	- (E) MASONRY WALL

FINISH SCHEDULE	
ROOM / AREA	MATERIAL
FLOORS	-
WALLS	DUNN EDWARDS EGGSHELL PAINT
CEILING	DUNN EDWARDS FLAT PAINT
TRIM	CASING,BASE,EXPOSED WOOD BEAMS:DUNN EDWARDS SEMI GLOSS PAINT
KITCHEN	N/A
MASTER BATH	N/A
GUEST BATH	N/A

ML

ENGINEERING

RESIDENTIAL

COMMERCIAL

INDUSTRIAL

INSTITUTIONAL

ENGINEERING DESIGN

1391 North 3rd Avenue

Upland, CA 91786

909-949-0923

909-946-4813 FAX

mlengineering1@aol.com

Excellence in Structural Design

PROJECT

TENANT IMPROVEMENT FOR

NEW ADDITION & REMODELING

4433 TWEEDY BLVD,

SOUTH GATE, CA. 90280

REVISIONS :

1

2

3

4

5

6

-

-

-

-

-

-

REGISTERED PROFESSIONAL ENGINEER

ARTIC 10 (C)

ML

4433 TWEEDY BLVD

EX-00000002

CIVIL

STATE OF CALIFORNIA

DATE :

21 06, 2021

SCALE :

AS NOTED

DRAWN :

OWANE

PROJECT :

ML21-032

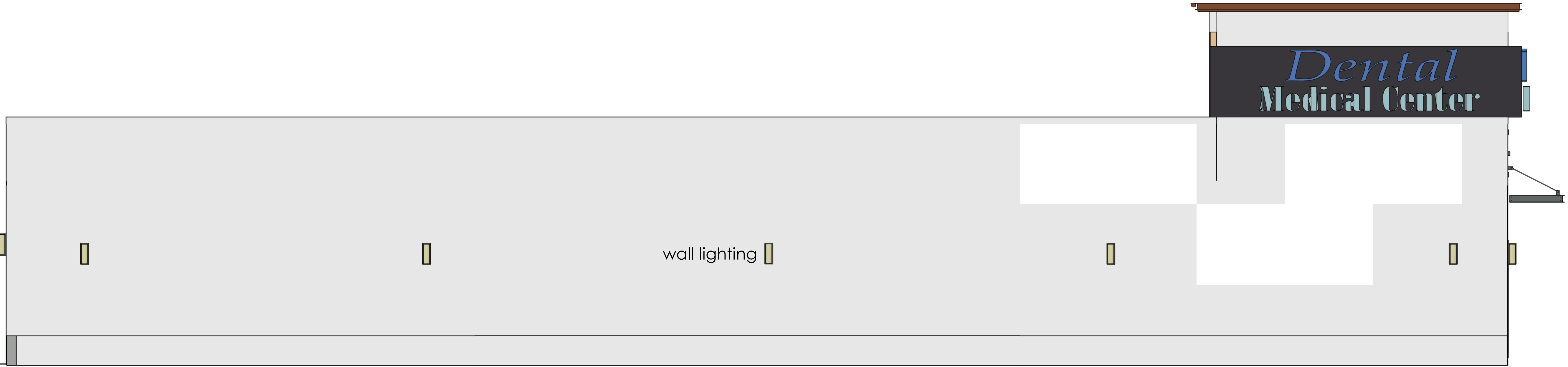
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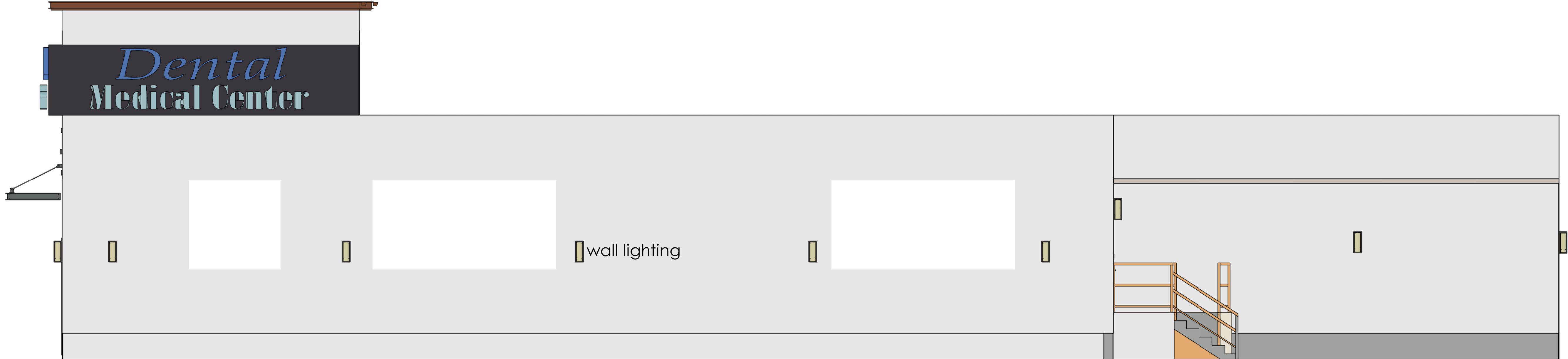
A-1.1



PROPOSED FLOOR PLAN SCALE : 1/8" = 12"



WEST ELEVATION



EAST ELEVATION

GENERAL
NOTES

Exhibit B

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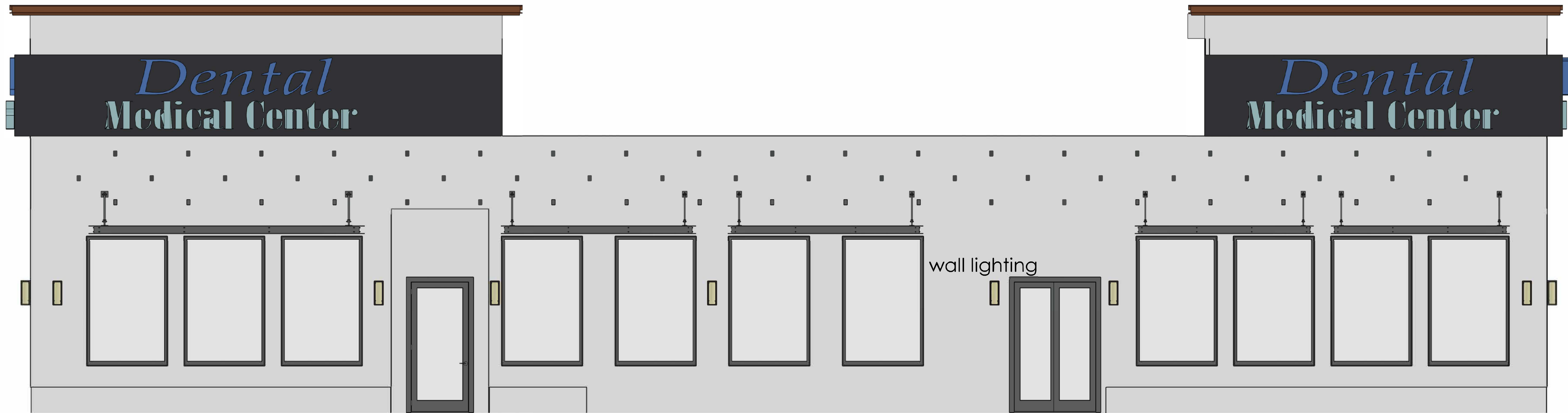
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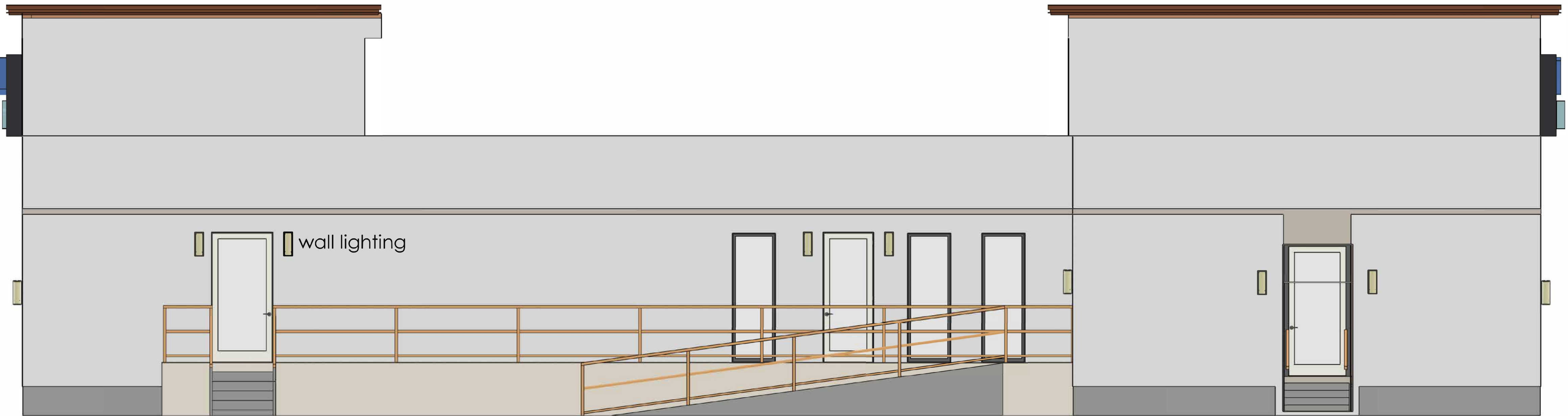
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ADDRESS

TENANT IMPROVEMENT
4433-4437 TWEEDY
BLVD SOUTH GATE, CA
90280

PROJECT:	TSE-2021-	SHEET A-2.5
DATE:	07-26-21	
SCALE:	1" = 10'-0"	



SOUTH ELEVATION



NORTH ELEVATION

GENERAL
NOTES

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PROJECT:	TSE-2021-	SHEET
DATE:	07-26-21	A-2.4
SCALE:	1" = 10'-0"	

OPTION 2
METAL HANGING TRELLIS, WALL LIGHTING & CORNER TOWER



OPTION 2
METAL HANGING TRELLIS, WALL LIGHTING & CORNER TOWER



OPTION 2
METAL HANGING TRELLIS, WALL LIGHTING & CORNER TOWER



OPTION 2
METAL HANGING TRELLIS, WALL LIGHTING & CORNER TOWER



**NOTICE OF PUBLIC HEARING
PLANNING COMMISSION
OF THE CITY OF SOUTH GATE, CALIFORNIA**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of South Gate will hold a Public Hearing at **7:00 PM on Tuesday, November 15, 2022**, in the Council Chamber at South Gate City Hall, 8650 California Avenue, South Gate, California or Members of the public wishing to observe the meeting may join through a Call-In Conference. For the updated Dial-In Number and Conference Code for the November 15, 2022, Planning Commission meeting please visit the City's website at www.cityofsouthgate.org/AgendaCenter regarding the following items:

1. Conditional Use Permit No. 853: To consider a request to allow the establishment of a medical and dental land use at two existing buildings located at 4433 and 4437 Tweedy Boulevard. The existing building located at 4433 Tweedy Boulevard is 2,661 square feet, while the existing building located at 4437 Tweedy Boulevard is 4,172 square feet.

Pursuant to Government Code Section 65009, if you challenge the items listed above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

THE PLANNING COMMISSION

Fabiola Inzunza, Chairperson

Phone: 323.563.9514
E-mail: Norma Hernandez, Assistant Planner
nhernandez@sogate.org

Posted: November 3, 2022
South Gate City Hall

Información en español acerca de esta junta puede ser obtenida llamando al 323-563-9514.