

**ADMINISTRATIVE ZONING REVIEW COMMITTEE MEETING
OF THE CITY OF CORAL SPRINGS
9:30 a.m.
Wednesday, June 22, 2022**

- 1. Call to Order/Roll Call**
- 2. Appointment of Chair**
- 3. Welcome Alexander Hernandez**
- 4. Minutes of Meeting on April 27, 2022**
- 5. New Business**

SV22-0003 Petition of Dunay, Miskel & Backman, LLP for a Sign Variance in accordance with Sections 1805 (Permanent Signs) and 1807 (Basic Building Wall Sign Design Schedule) of the Land Development Code relative to the size and number of wall signs for a property (Floor & Décor) located in the Industrial, Research, and Development (IRD) Zoning District, located at 11711 W. Sample Road, legally described as a Portion of Parcel D, Greater Coral Springs Research & Development Park. (SV22-0003)

CA22-0005 Petition of Iman Alleyne for Conditional Use approval in accordance with Section 250568 of the Land Development Code to allow a private elementary school (Kind Academy) in the Community Business (B-2) Zoning District, located at 10649-10653 Wiles Road, legally described as a Portion of Parcel A, Brookside Square. (CA22-0005)

- 6. Adjournment**

NEXT MEETING: Wednesday, July 27, 2022

This meeting is open to the public and the public is invited to attend. Should there be any questions, please call (954) 344-1160.

IF A PERSON DECIDES TO APPEAL ANY DECISIONS MADE BY THE ADMINISTRATIVE ZONING REVIEW COMMITTEE WITH RESPECT TO ANY OF THESE MATTERS, HE OR SHE MUST ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE. THE RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, PERSONS REQUIRING A SPECIAL ACCOMMODATION OR AN INTERPRETER TO PARTICIPATE IN THIS PROCEEDING ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY CLERK 954-344-1065 AT LEAST 72 HOURS (3 BUSINESS DAYS) PRIOR TO THE DATE OF THE MEETING.

**ADMINISTRATIVE ZONING REVIEW COMMITTEE
OF THE CITY OF CORAL SPRINGS**

April 27, 2022
9:30 A.M.

City Hall Commission Chambers
9500 W Sample Road
Coral Springs, FL 33065

Minutes

1. Call to Order

The meeting was called to order at 9:40 a.m.

2. Roll Call

Committee Member	Position	Attendance
Melissa Heller , Deputy City Manager	Chairperson	Present
Robert Curnow , Deputy City Manager	Vice Chairperson	Present
Kristi Bartlett , Director of Economic Development	Member	Present
Kim Moskowitz , Director of Financial Services	Member	Absent
John Norris , Director of Public Works	Member	Present

A quorum was achieved.

Also, in attendance were: Deputy City Attorney Andrew Dunkiel, Assistant Director of Development Services Tina Jou, Planning and Zoning Manager Elizabeth Chang, and Assistant City Clerk Georgia Elliott.

3. Minutes of Meeting on February 23, 2022

ACTION:

- Mr. Curnow motioned to approve the February 23, 2022 minutes as presented.
- Ms. Bartlett seconded the motion.
- **Motion passed, 4-0.**

4. New Business

SV22-0001

Petition of Valegio, LLC (Flora Foods) for a Sign Variance in accordance with Section 1807 (basic building wall sign design schedule) of the Land Development Code to permit an increase in height and area for a building wall sign in the Industrial, Research, and Development (IRD) Zoning District, located at 12327 W. Sample Road, legally described as a Portion of Lots 12 & 13, Block A, Greater Coral Springs Research & Development Park addition. (SV22-0001)

- The item was read into the record by Ms. Jou.
- A staff presentation was made by Ms. Chang. A copy of her presentation was made a part of the meeting packet.
- Staff fielded questions from the Committee.
- Public hearing was opened.
- None.
- Public hearing was closed.

ACTION:

- Ms. Bartlett motioned to:
 1. APPROVE A SIGN VARIANCE IN ACCORDANCE WITH SECTION 1807 (BASIC BUILDING WALL SIGN DESIGN SCHEDULE) OF THE LAND DEVELOPMENT CODE TO PERMIT AN INCREASE IN HEIGHT AND AREA FOR A BUILDING WALL SIGN IN THE INDUSTRIAL, RESEARCH, AND DEVELOPMENT IRD ZONING DISTRICT, LOCATED AT 12327 W. SAMPLE ROAD WITH THE FOLLOWING:
 - A. SIGN SHALL BE DESIGNED AND FABRICATED AS A DESIGNER SIGN, IN ACCORDANCE WITH CONDITIONAL USE APPROVAL (CA19-0008);
 - B. THE SIGN VARIANTS SHALL RUN WITH THE LAND AND BE TRANSFERABLE FROM ONE OWNER TO ANOTHER FOR THE PROPOSED TENANT ONLY; AND
 2. AUTHORIZE THE CITY ATTORNEY'S OFFICE TO DRAFT AN ORDER APPROVING SV22-0001 AND ADOPT SAID ORDER.
- Mr. Curnow seconded the motion.
- **Motion passed, 4-0.**

Ms. Jou thanked Ms. Heller for her commitment and service to the Committee. She also highlighted that a new Committee member will be appointed at the Committee's next scheduled meeting.

5. Adjournment

The meeting was adjourned at 9:49 a.m.

Submitted by Georgia Elliott

Date approved:

This meeting was recorded, and the recording is on file in the Office of the City Clerk for five (5) years, pursuant to Florida Law and City Policy. These minutes are a permanent public record of the City of Coral Springs and are maintained in the Office of the City Clerk.



**COMMUNITY DEVELOPMENT DIVISION
INTEROFFICE MEMORANDUM**

TO: Administrative Zoning Review Committee
FROM: Tina Jou, Assistant Director of Development Services *TJ*
DATE: June 22, 2022
RE: Sign Variance: SV22-0003 Floor & Décor

The Petitioner is requesting an approval of a Sign Variance through the Administrative Zoning Review Committee (AZRC) for an increase in height and area for new wall signs at Floor & Décor.

STAFF RECOMMENDATION: THAT THE ADMINISTRATIVE ZONING REVIEW COMMITTEE:

- 1. APPROVE A SIGN VARIANCE IN ACCORDANCE WITH SECTIONS 1805 (PERMANENT SIGNS) AND 1807 (BASIC BUILDING WALL SIGN DESIGN SCHEDULE) OF THE LAND DEVELOPMENT CODE RELATIVE TO THE SIZE OF WALL SIGNS FOR A PROPERTY (FLOOR & DÉCOR) LOCATED IN THE INDUSTRIAL, RESEARCH, AND DEVELOPMENT (IRD) ZONING DISTRICT, LOCATED AT 11711 W. SAMPLE ROAD WITH THE FOLLOWING CONDITIONS:**
 - A. ALL BUILDING WALL SIGNS AND ANY FUTURE MONUMENT SIGNS, SHALL BE DESIGNED AND FABRICATED AS A DESIGNER SIGN;**
 - B. THE SIGN VARIANCE SHALL RUN WITH THE LAND AND BE TRANSFERRABLE FROM ONE OWNER TO ANOTHER FOR THE PROPOSED TENANT ONLY; AND**
- 2. AUTHORIZE THE CITY ATTORNEY’S OFFICE TO DRAFT AN ORDER APPROVING SV22-0003 AND ADOPT SAID ORDER.**

LOCATION: 11711 W. Sample Road

106 Properties Notified (within 400')

ATTACHMENTS:

- #1 – Petition SV20-0003
- #2 – Location Map
- #3 – Aerial Map
- #4 – Proposed Sign Renderings and Site Plan
- #5 – Analysis of Existing Signage

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: SV22-0003 Floor & Décor

ADMINISTRATIVE ZONING REVIEW COMMITTEE: PETITION OF DUNAY, MISKEL & BACKMAN, LLP FOR A SIGN VARIANCE IN ACCORDANCE WITH SECTIONS 1805 (PERMANENT SIGNS) AND 1807 (BASIC BUILDING WALL SIGN DESIGN SCHEDULE) OF THE LAND DEVELOPMENT CODE RELATIVE TO THE SIZE AND NUMBER OF WALL SIGNS FOR A PROPERTY (FLOOR & DÉCOR) LOCATED IN THE INDUSTRIAL, RESEARCH, AND DEVELOPMENT (IRD) ZONING DISTRICT, LOCATED AT 11711 W. SAMPLE ROAD, LEGALLY DESCRIBED AS A PORTION OF PARCEL D, GREATER CORAL SPRINGS RESEARCH & DEVELOPMENT PARK. (SV22-0003)

GENERAL INFORMATION

Petitioner: Dunay, Miskel & Backman, LLP on behalf of Floor & Décor
14 SE 4th Street, Suite 36
Boca Raton, FL 33432

Owner: MGX I, LLC, MGX II, LLC, & MGX III, LLC
3301 NE 1st Avenue, Suite 109
Miami, FL 33137

Land Use: Industrial

Zoning: Industrial, Research, and Development (IRD)

Location: 11711 W. Sample Road

Legal Description: Portion of Parcel D, Greater Coral Springs Research & Development Park

Adjacent Zoning/Land Uses:

- North: NW 35th Street (60' right-of-way), then various industrial uses zoned Industrial, Research, and Development (IRD)
- South: W. Sample Road (106' right-of-way), then various commercial uses zoned Community Business (B-2)
- East: Coral Ridge Drive (106' right-of-way), then various commercial uses zoned Community Business (B-2) and multi-family residential zoned Low Medium Density Multiple-Family (RM-15)
- West: Various industrial uses zoned Industrial, Research, and Development (IRD)

GENERAL BACKGROUND / REQUEST

Dunay, Miskel & Backman, LLP, Petitioner, on behalf of the owner, MGX I, LLC, MGX II, LLC, & MGX III, LLC is requesting a Sign Variance from Sections 1805 and 1807 of the Land Development Code (LDC) to increase the height of a wall sign for their tenant, Floor & Décor, located at 11711 W. Sample Road. The site is located at the northwest corner of W. Sample Road and Coral Ridge Drive. The site is zoned Industrial, Research, and Development (IRD) and is approximately 8.9 acres in size.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: SV22-0003 Floor & Décor

In 2021, the Administrative Zoning Review Committee (AZRC) approved a Conditional Use for Floor & Décor to allow for walk-in retail services within the IRD Zoning District. The approval granted the establishment of a 98,000 square foot Floor & Décor, which includes warehouse, display, and sales of flooring materials. Floor & Décor is a specialty retailer of hard surface flooring, offering a broad in-stock selection of tile, wood, stone, related tools, and flooring accessories, with materials sourced directly from the manufactures. Floor & Décor has seven stores in the southeast region of Florida, and the Coral Springs location will be the eighth. The hours of operation are Monday through Friday, from 7:00 AM to 7:00 PM, Saturday 8:00 AM to 7:00 PM, and Sunday 10:00 AM to 6:00 PM.

The Sign Variance (SV) request is for an increase in maximum letter height and area along the south and east elevation. The wall signs will be facing two public rights-of-way, Coral Ridge Drive and W. Sample Road. The LDC allows one wall sign per street frontage, and the sizes permitted are based on multiple criteria such as width of the right-of-way, setback of the building from the street, and dimensions of the sign band. The Petitioner is requesting signage that exceeds the maximum allowed letter height, which will contain the corporate logo and colors with a maximum letter height of 33 inches. The wall signs will be fabricated with trimless channel letters and incorporate multiple methods of illumination.

Code Compliance has confirmed the property has no outstanding violations.

APPLICABLE CODES

Administrative Zoning Review Committee

On September 4, 2013, the City Commission originally approved a one-year Redevelopment Pilot Program to provide flexibility and provide for an administrative approval process for certain new development. In October 2015, the Commission recreated the program in order to accommodate new development in addition to redevelopment. The Program was also renamed the 'Economic Development Pilot Program' to reflect the expanded scope.

On October 5, 2016 the City Commission adopted Ordinance 2016-113, amending various Sections of the Land Development Code to codify several aspects of the previously approved Pilot Program and created the Administrative Zoning Review Committee (AZRC) as the permanent replacement for the Economic Development Pilot Program Committee. The AZRC's scope is similar to the previous Economic Development Pilot Program, as they will continue to consider quantitative Special Exceptions (up to 33% of LDC requirement), Master Parking Encroachments, etc. Additionally, the AZRC's duties were expanded to include Sign Variances up to twenty-five (25) percent of the applicable requirement.

Allowing the Petitioner to increase the maximum letter height for the sign will provide better visibility of a new business in the Commerce Park, which not only allows for the increase of ad-valorem but also promotes job growth within the City.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: SV22-0003 Floor & Décor

ANALYSIS

Section 1807(a) (Basic Building Wall Sign Design Schedule)

When determining the allowed size of wall signs under Section 1807(a) of the LDC, multiple criteria are considered, such as size of the right-of-way, sign distance from the right-of-way, and dimensions of the sign band where the sign is proposed to be installed. Designer Signs are custom-made wall or monument signs, found to be of higher creative, artistic and three-dimensional value, or sculptural in nature than the standard types of signs typically used within the sign industry. As an incentive for businesses to incorporate Designer Signs, they may receive an increase in the size of up to 30% than otherwise allowed. The Petitioner is currently working with Staff to finalize the sign details to ensure they comply the Designer Sign requirements.

Staff performed an analysis on existing signage that received sign variance approvals within the City (Attachment #5). The largest letter size was 48 inches, which was approved for Kohl's, Dick's Sporting Goods, BJ's Wholesale Club, and Costco. This size was appropriate for these uses based on the size of the building façade and proximity to the street. Dick's Sporting Goods and Costco also had 30-inch signs along other building frontages that were closer to the right-of-way. Dick's Sporting Goods is set back approximately 147 feet from the right-of-way (Riverside Drive) and Costco is set back approximately 96 feet from the right-of-way (Wiles Road).

Based on the size of the right-of-way along W. Sample Road (approximately 106 feet), the distance from the right-of-way (approximately 130 feet), the height of the sign (approximately 28 feet) and the 30% allowable increase for a Designer Sign, the maximum allowable height of the signs would be approximately 27 inches with a maximum area of 75 square feet. The maximum allowable height of the sign along Coral Ridge Drive would be approximately 29 inches with a maximum area of 75 square feet.

The Petitioner is proposing a 33-inch main wall sign along the south and east elevations with a total sign area of approximately 140 square feet. Staff has determined that the signage and justification submitted by the Petitioner complies with the criteria for a Sign Variance.

Currently, the Petitioner is only requesting wall signs; however, Staff is recommending a condition that any future monument sign will be required to be designed and fabricated as a designer sign to be consistent with the proposed wall signs.

CRITERIA FOR A SIGN VARIANCE

In order to approve the Sign Variance, the following criteria must be met based on the following guiding principles of proper signage as outlined in Section 1801 of the Land Development Code:

a) Compatible with their surroundings.

The proposed wall signs will be compatible with the surrounding community subject to the conditions of approval. The proposed signs are consistent in size with existing signage on buildings of similar size and scale, such as BJ's Wholesale Club, Dick's Sporting Goods, Costco, and Flora Fine Foods.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: SV22-0003 Floor & Décor

- b) *Expressive of the identity of individual proprietors or of the community as a whole.*

The proposed sign package will successfully identify this business to the surrounding community. The proposed signage will allow for larger signs than what the LDC permits. Utilization of Designer Signs will also help with brand identification, as Floor & Décor will be a new business within the Commerce Park.

- c) *Legible under the circumstances in which they are seen.*

The Floor & Décor logo is a recognized brand and should be sized appropriately for the scale and massing of the building. The proposed signs are clear and legible. The wall signs will be visible from the rights-of-way and of appropriate scale for the development.

- d) *Effective in indexing the environment.*

Visibility from the rights-of-way will provide the necessary indexing of the environment needed and will be accomplished with the proposed sign. The size of the sign is appropriate for the scale of the development.

- e) *Conducive to promoting traffic safety by preventing visual distraction.*

The proposed wall signs are not overly ornate or decorative. The clear, legible font would not be unusually distracting to motorists. Additionally, the proposed height and areas of the signs along W. Sample Road and Coral Ridge Drive are consistent with wall signs on similar buildings.

- f) *Conducive to promoting excellence in graphic communication.*

The Petitioner is proposing signs that will be required to meet designer sign standards promoting excellence in graphic communication. The Petitioner will continue to work with Staff to ensure the signs meet the City's designer sign requirements.

SUMMARY

Upon review of the petition, Staff finds it meets the criteria as required by the Land Development Code. Based on the analysis, Staff recommends the Administrative Zoning Review Committee approve SV22-0003 with the conditions listed on page 1 of this memo.



CORAL SPRINGS
 — EVERYTHING UNDER THE SUN —
SIGN VARIANCE (SV) PETITION

Please print or type the following information:

Petitioner: Floor & Decor Thru Agent: Dunay, Miskel & Backman, LLP/Matthew Scott **Phone:** 561-405-3350

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432

Email Address: mscott@dmbblaw.com

Location of Subject Sign: Wall signs on the south & east elevations

Address: 11711 W. Sample Rd.

Legal Description (if unplatted, give approximate location):

A PORTION OF PARCEL D, GREATER CORAL SPRINGS RESAERCH AND DEVELOPMENT PARK , ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 65, PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Owner of property on which sign is located: MGX I, LLC MGX II, LLC & MGX, III, LLC

Zoning of property on which sign is located: IRD - Industrial Park

Size of Sign: (Sign Detail Required) south elevation: 140.19 sq. ft. east elevation: 140.19 sq. ft. Please Refer to Plans

Variance from section of the sign ordinance is sought relative to: SEC 1807 - Basic building wall sign design schedule

Reasons and justification for requested variance:

See attached narrative.

- Please provide fully dimensioned drawings of the sign in relation to the site plan or survey.
- Two (2) sets of site plans of subject property for actual submission to planning & zoning board.
- CD containing digital copies of all documents in PDF file.

City of Coral Springs
Sign Variance (SV) Petition

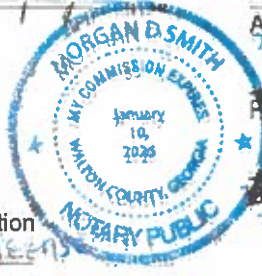
Sworn to and subscribed before me this 3rd day of May, 2022

Morgan D Smith
Notary Public

Brandi Crawford
Owner's Name (Print or Type) Applicant

My Commission Expires: 1/10/2026

2500 Windy Pkwy Palm Bay FL 32909
Address (Street, City) 404552 807-



Phone Number
404552 807-
Signature Of Owner Brandi Crawford

- Personally known
- Produced Identification
- Type of ID: DRIVERS LICENSE
- Did take an oath
- Did NOT take an oath

FOR USE WHEN PETITIONER IS NOT OWNER OF SUBJECT PROPERTY

This is to certify that I am the owner of subject property described above in the Petition for Sign Variance and that I have authorized Dunay, Miskel & Backman, LLP to make and file the aforesaid petition for variance.

Sworn to and subscribed before me this 4 day of May, 2022

[Signature]
Notary Public

Jon Samuel
Owner's Name (Print or Type)

My Commission Expires: 8/22/2023

3301 NE 1st Ave #69 Miami, FL
Address (Street, City)



305-766-1699
Phone Number

- Personally known
- Produced Identification
- Type of ID: _____
- Did take an oath
- Did NOT take an oath

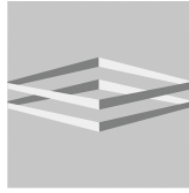
[Signature]
Signature of Owner

TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DIVISION

Accepted By: [Signature]

Petition #: SV22-0003 Date: 6/6/2022

FEE: \$947.24 Plus recordation fee, property owner notification and legal advertising costs to be determined by City Clerk (954) 344-1065. Must be received before Public Hearing is held.



**DUNAY
MISKEL
BACKMAN** LLP

Gary Dunay
Bonnie Miskel
Scott Backman

Hope Calhoun
Dwayne Dickerson
Ele Zachariades

Matthew H. Scott
Christina Bilenki
Heather Jo Allen

**Floor & Décor
11711 W. Sample Rd.
Sign Variance Justification**

Floor & Decor (“Petitioner”) hereby requests approval from the Administrative Zoning Review Committee (“AZRC”) for a variance to allow for its two proposed wall signs. This signage is in relation to the new +/- 98,000 square foot Floor & Décor store proposed to backfill a vacant warehouse structure in the southeast corner of the City’s Corporate Park (“Project”). An administrative conditional use permit for “floor material sales” was approved by the Administrative Zoning Review Committee on November 17, 2021, and the minor site plan application is currently in the final stages of the City’s Development Review Committee (“DRC”). In association with the conditional use approval and DRC review, Petitioner is now seeking variance approval for two wall signs located on the south and east building facades.

Coral Vutec Properties, LLC (“Owner”) is the owner of the property located at 11711 W Sample Road (PCN #48-41-18-01-0040) (the “Property”). The Property is a +/- 8.9-acre site, located on the northwest corner of W. Sample Road and Coral Ridge Drive in the City of Coral Springs (“City”), Broward County (“County”). The Property has a future land use designation (“FLUM”) of Industrial. The Property’s zoning designation is IRD, Industrial Research and Development.

The Property currently houses one +/- 98,000 square foot warehouse building. As stated, Petitioner is proposing to establish a +/- 98,000 square foot Floor & Décor within the existing building. Floor & Décor is a specialty retailer of hard surface flooring, offering a broad in-stock selection of tile, wood, stone, related tools, and flooring accessories. Clients range from homeowners to professional contractors. Floor & Décor provides a large in-stock selection of flooring at a price below other competitors, as the materials are sourced directly from the manufacturers. The existing building envelope will not change and will not negatively impact surrounding properties. The +/- 98,000 square foot interior space will be renovated to accommodate Floor & Décor. Overall, the business will increase job creation in the Corporate Park, as Floor & Décor is anticipating hiring 40-50 full time new employees prior to opening for business.

At this time, the Applicant is requesting variance approval from the Administrative Zoning Review Committee (AZRC) for wall signage to exceed what is permitted by Code relative to letter height and overall sign area. Applicant is pursuing designer sign approval concurrent with this variance request. In accordance with the designer sign criteria provided in Section 1807(b)(14) of the Code, Applicant is providing wall signs with the following designer elements:

- The pocket routed channel letters are trimless. This allows the channel letter to not have a break between the return and the face.
- The pocket routed channel letters increase visibility of the signs. It also allows the light to shine directly through the front of the letters.
- 3-1/2” standoffs are added to stand off the halo backer to create an edge glow.

The variances are needed on the Coral Ridge Road and Sample Road facades as the building is a big repurposed warehouse building with extremely large facades and the southeast corner is currently improved with a heavily landscaped monument sign (as seen in the attached exhibit). The proposed letter height is 33 inches and the overall sign area is 140.19 square feet for each wall sign. The right-of-way width for Sample Road and Coral Ridge Road is 106'. The wall sign located on the Sample Road façade is located 129.9' from the property line and measures 28'-5" from the ground while the wall sign located on the Coral Ridge Road façade is located 152.2' from the property line and measures 32'-5" from the ground.

As outlined below, this petition complies with the variance criteria established in Section 1815(1) of the Code.

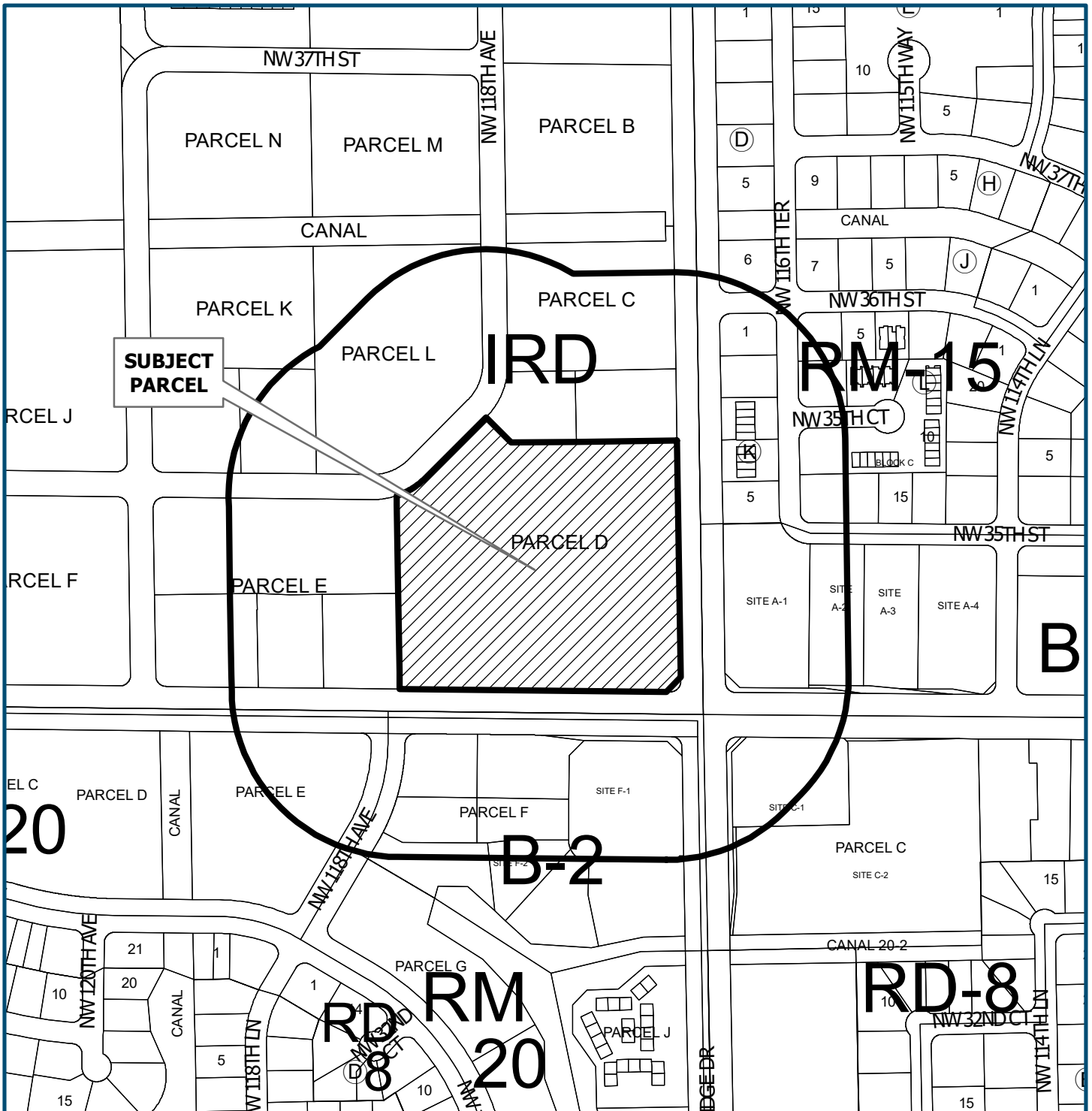
1. A variance may be granted where the variance is not contrary to the public interest and owing to special conditions which have not resulted due to the actions of the applicant.

Granting the variance will not be contrary to the public interest and are owing to special conditions which have not resulted due to the actions of the Applicant. This Project entails redeveloping a retail building to be used for a single-tenant flooring store that stocks heavy flooring materials. As such, the building is being redesigned to meet the needs of this tenant. Rather than having several smaller signs along the south and east building facades for multiple tenants, one wall sign will be provided. Providing a wall sign on the east and south facades with a letter height and overall square footage that meets Code requirements results in a sign that is completely out of proportion relative to the length of the building; with 380 feet in building length along the south façade and 267 feet in building length along the east façade.

Furthermore, a sign meeting the Code requirements for overall square footage would not be visible to customers approaching the building in their vehicles from W. Sample Rd. or Coral Ridge Dr. Existing mature landscaping and trees and the existing large monument sign located on the southeast corner of the Property further hinder the visibility of the wall signs. All of these variables have created an existing condition that necessitate a larger wall sign along the south and east building facades to allow customers to safely identify the business. As such, the proposed changes to the Property are beneficial upgrades and do not create negative impacts on the Property or neighboring properties. Floor & Décor will be an asset to the community and will promote the continued growth in the Corporate Park.

2. A variance may be granted where a literal enforcement of the provisions of this chapter may result in unnecessary hardship.

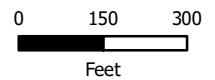
Literal enforcement of the provisions of the Code will result in unnecessary hardship. As stated above, providing wall signs along the east and south building facades that meet the Code requirements will result in wall signs that are too small relative to the large building length and not visible to customers approaching the building in vehicles along W. Sample Rd. and Coral Ridge Dr. Not granting the variance would produce a hardship on the Applicant as it would deprive the Applicant of the ability to provide an appropriately sized wall signs to provide business identification to customers in approaching vehicles.



June 8, 2022

SV22-0003
A PORTION OF PARCEL D,
GREATER CORAL SPRINGS
RESEARCH & DEVELOPMENT PARK
FOLIO# 484118010040

-  Subject Parcel
-  400' Buffer

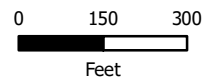




June 8, 2022

SV22-0003
A PORTION OF PARCEL D,
GREATER CORAL SPRINGS
RESEARCH & DEVELOPMENT PARK
FOLIO# 484118010040

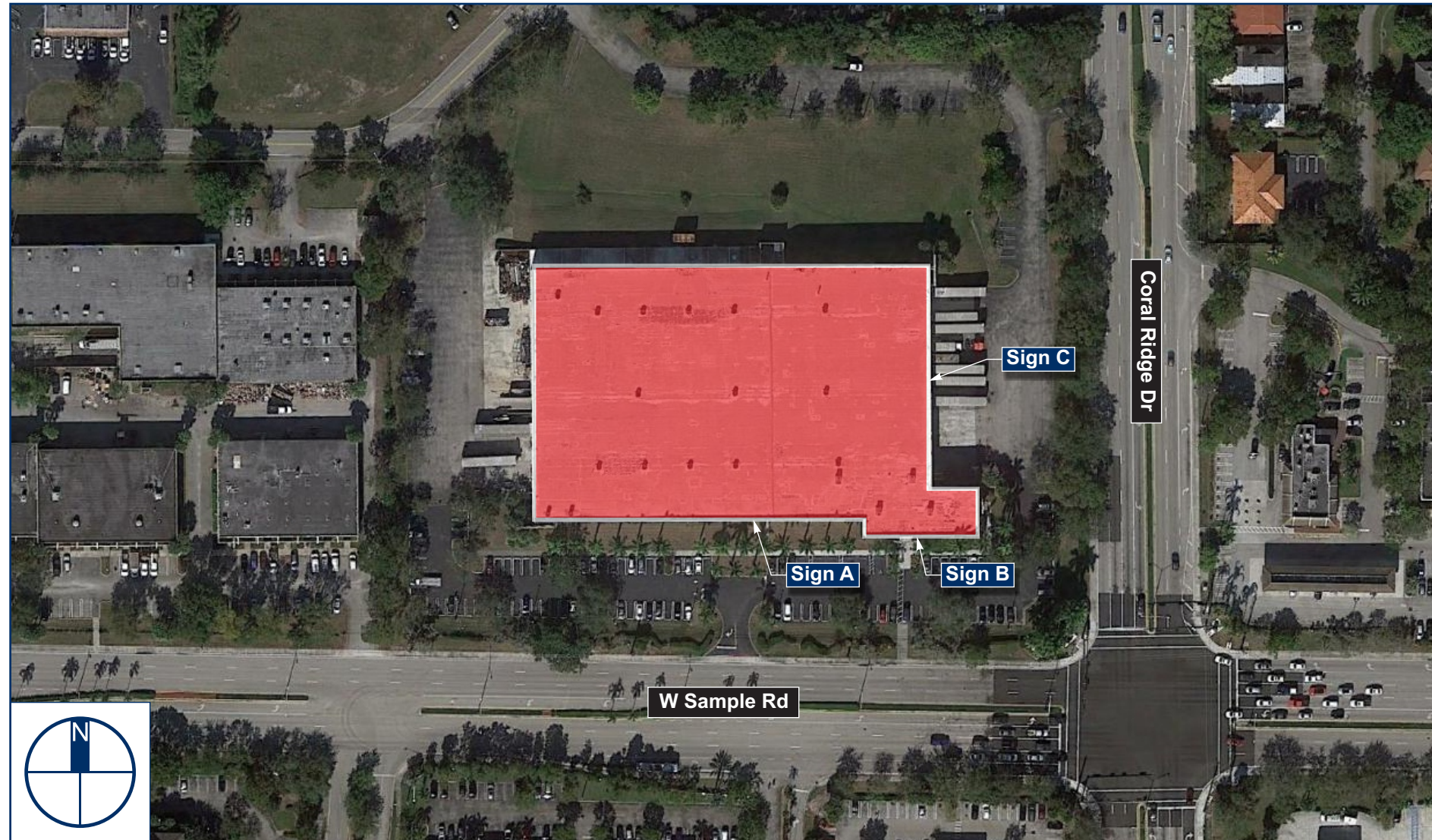
 Subject Parcel



SIGN A	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 28'-5 1/4" Bottom of Sign to Grade = 25'-8 1/4"

SIGN B	12" Customer Pick-Up
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	22.92
To Grade:	Top of Sign to Grade = 20'-10 3/4" Bottom of Sign to Grade = 19'-10 3/4"

SIGN C	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 32'-5" Bottom of Sign to Grade = 29'-8"



Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

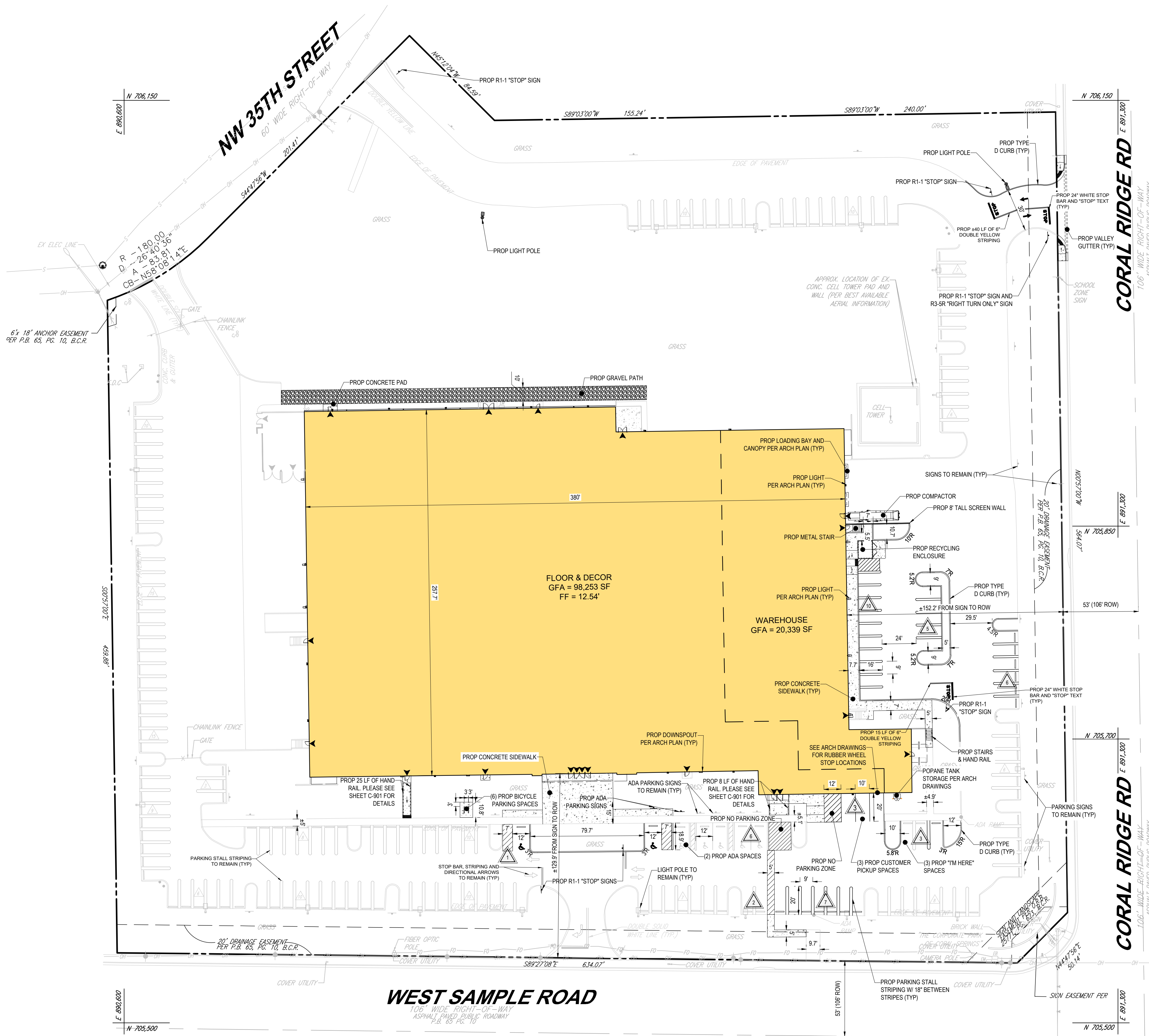


Client:	Floor & Decor
Site #:	FD-292
Address:	11711 West Sample Road Coral Springs, FL 33065

REVISION INFO	DATE	DESCRIPTION	BY
	11/16/2021	Original Renderings	GO
	01/14/2022	Updated Signs A and B, and created multiple options	KB
	04/04/2022	Updated per Request	KD
	04/18/2022	Updated Site Number & Removed Option 1 For Sign B & Removed Option 2 For Sign C	AN
	04/25/2022	Updated Sign A & C to 33"	DA
	05/13/2022	Updated Elevations	KD

This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.





LEGAL DESCRIPTION:

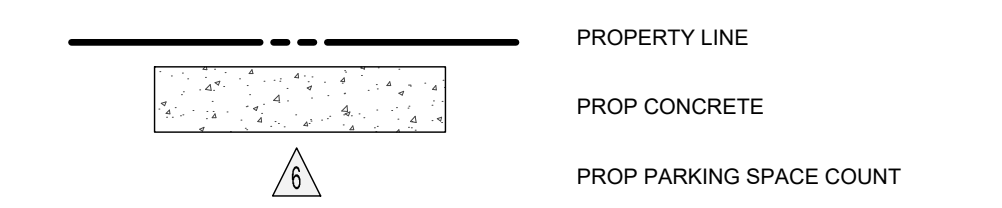
A PORTION OF PARCEL "D", GREATER CORAL SPRINGS RESEARCH AND DEVELOPMENT PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 65, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL "D", AT THE NORTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 7757, PAGE 539 OF SAID PUBLIC RECORDS; THENCE SOUTH 00 DEGREES 57 MINUTES 00 SECONDS EAST, ALONG THE EAST LINE OF SAID PARCEL "D" ON THE EAST LINE OF SAID PARCEL OF LAND, A DISTANCE OF 170.00 FEET TO THE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL OF LAND; THENCE SOUTH 89 DEGREES 03 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID PARCEL OF LAND ON A LINE PARALLEL WITH AND 170.00 FEET SOUTHERLY FROM THE NORTH LINE OF SAID PARCEL "D", A DISTANCE OF 240.00 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL OF LAND; THENCE CONTINUE SOUTH 89 DEGREES 03 MINUTES 00 SECONDS WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 155.24 FEET; THENCE NORTH 45 DEGREES 12 MINUTES 04 SECONDS WEST, A DISTANCE OF 84.50 FEET TO THE NORTHWESTERLY LINE OF SAID PARCEL "D"; THENCE SOUTH 44 DEGREES 47 MINUTES 56 SECONDS WEST, ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 201.41 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 180.00 FEET; THENCE SOUTHWESTERLY, ALONG SAID CURVE ON SAID NORTHWESTERLY LINE, THROUGH A CENTRAL ANGLE OF 26 DEGREES 40 MINUTES 36 SECONDS, A DISTANCE OF 83.81 FEET TO THE WEST LINE OF SAID PARCEL "D"; THENCE SOUTH 00 DEGREES 57 MINUTES 00 SECONDS EAST, ALONG SAID WEST LINE, NON TANGENT TO SAID CURVE, A DISTANCE OF 459.88 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "D"; THENCE SOUTH 89 DEGREES 27 MINUTES 08 SECONDS EAST, ALONG THE SOUTH LINE OF SAID PARCEL "D", A DISTANCE OF 634.07 FEET TO THE WEST CORNER OF THE ADDITIONAL RIGHT OF WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 13558, PAGE 34, OF SAID PUBLIC RECORDS; THENCE NORTH 44 DEGREES 47 MINUTES 56 SECONDS EAST, ALONG THE NORTHWESTERLY LINE OF SAID ADDITIONAL RIGHT OF WAY, A DISTANCE OF 50.14 FEET TO THE NORTH CORNER OF SAID ADDITIONAL RIGHT OF WAY ON SAID EAST LINE OF PARCEL "D"; THENCE NORTH 00 DEGREES 57 MINUTES 00 SECONDS WEST, ALONG SAID EAST LINE, A DISTANCE OF 564.07 FEET TO THE POINT OF BEGINNING.



SITE DATA TABLE

NAME OF APPLICATION	FLOOR & DECOR - CORAL SPRINGS
EXISTING/PROPOSED FUTURE LAND USE DESIGNATION	INDUSTRIAL / INDUSTRIAL
EXISTING/PROPOSED ZONING DISTRICT	IRD (INDUSTRIAL PARK) / IRD (INDUSTRIAL PARK)
SECTION/TOWNSHIP/RANGE	18/48/41
PROPERTY CONTROL NUMBER(S)	48-41-18-01-0040
SETBACKS	REQUIRED / PROVIDED
SOUTH & EAST (FRONT)	50' / MATCH EXISTING
NORTH (REAR)	50' / MATCH EXISTING
WEST & NORTHWEST (SIDE / SIDE STREET)	NONE SPECIFIED IN CODE / MATCH EXISTING
PROPOSED USE	77,790 GSF - FLOORING MATERIALS 20,454 GSF - WAREHOUSE
NET ACREAGE	388,256 S.F. (8.91 A.C.) - 100%
TOTAL IMPERVIOUS AREA	229,261 S.F. (± 5.26 A.C.) - 59.0%
- BUILDING AREA	98,253 S.F. (± 2.26 A.C.) - 25.3%
- FLOORING MATERIALS	77,914 S.F. (± 1.79 A.C.) - 20.1%
- WAREHOUSE STORAGE	20,339 S.F. (± 0.47 A.C.) - 5.2%
- PAVEMENT / SIDEWALK AREA	131,008 S.F. (± 3.00 A.C.) - 33.7%
PERVIOUS AREA	158,995 S.F. (± 3.65 A.C.) - 41.0%
PARKING REQUIRED:	
FLOORING MATERIALS - 1 SPACE PER 500 SF	166 SPACES
WAREHOUSE - 1 SPACE PER 750 SF	27 SPACES
TOTAL REQUIRED PARKING:	183 SPACES
PROVIDED:	183 SPACES
ACCESSIBLE SPACES PROVIDED:	7 SPACES
REQUIRED BICYCLE PARKING (1 PER 40 PARKING SPACES PROVIDED)	183 SPACES X (1 BICYCLE SPACE PER 40 PARKING SPACES) = 5 BICYCLE SPACES

LEGEND:

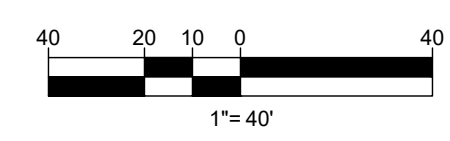


SITE NOTES:

- 1. ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- 2. BIC INDICATES DIMENSION IS TO BACK OF CURB.
- 3. ALL RADIUS DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 4. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND LOCAL JURISDICTION LAND DEVELOPMENT CODE.
- 5. THE SITE APPEARS TO BE IN FLOOD ZONE "X" ACCORDING TO THE FEMA FLOOD ZONE MAP, IDENTIFIED AS COMMUNITY PANEL NUMBER 120999C0860F, EFFECTIVE DATE: 10/05/2017.
- 6. FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- 7. THE PROPOSED BUILDINGS WILL BE OPEN AND IN OPERATION 24 HOURS A DAY, 7 DAYS A WEEK.
- 8. IF APPLICABLE, ALL SIGNAGE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- 9. SITE LIGHTING SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- 10. \$24,968.25 SHALL BE PAID TO THE CORAL SPRINGS PUBLIC ART FUND TO SATISFY THE PUBLIC ART FEE.

ADA ACCESSIBILITY NOTES:

- 1. ALL HANDICAPPED PARKING SPACES AND ACCESSIBLE ROUTES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE, THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- 5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- 6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

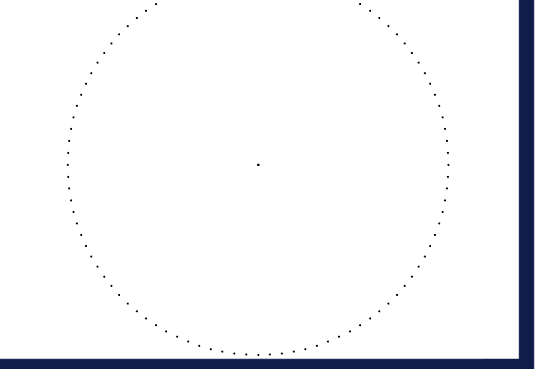
811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

PROJECT:
FLOOR & DECOR
FOR

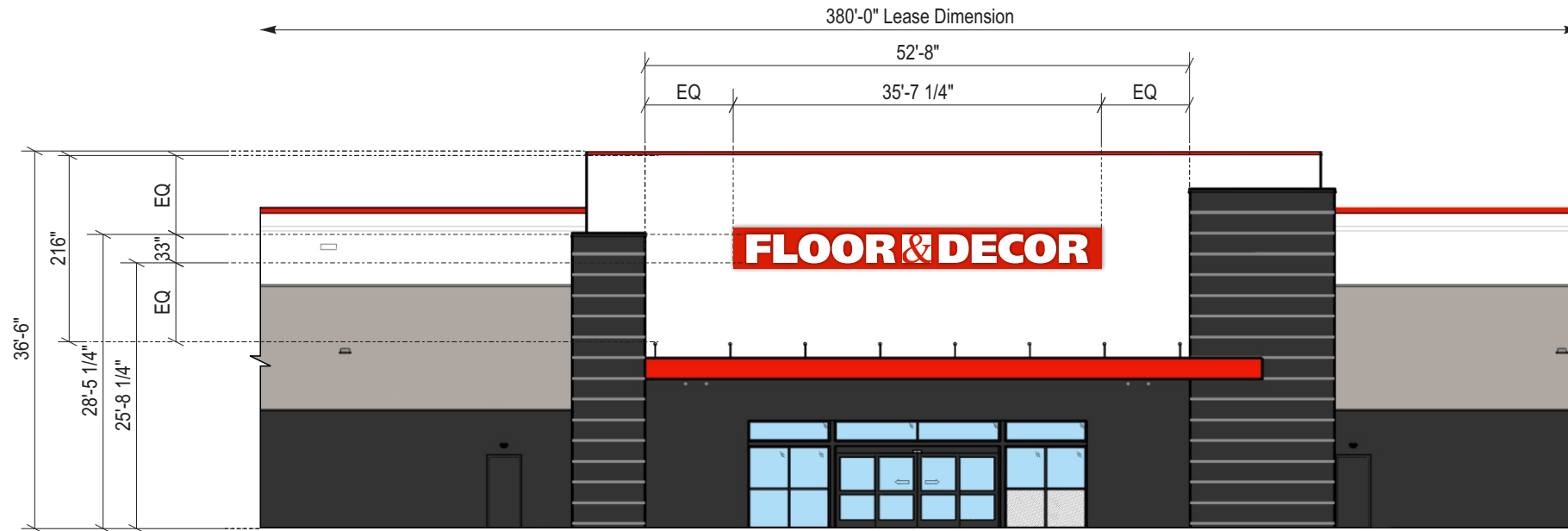
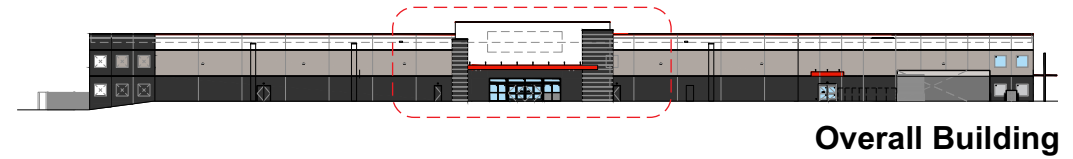
PERMITTING SET
FOR
FLOOR & DECOR
FLOOR & DECOR - CORAL SPRINGS
11711 W SAMPLE ROAD
CORAL SPRINGS, FL 33065

BOHLER
1900 NW CORPORATE BOULEVARD
SUITE 101E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. No. 30780



SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-300
ORG. DATE - 2/11/2022

SIGN A	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 28'-5 1/4" Bottom of Sign to Grade = 25'-8 1/4"



Front Elevation - Middle (South)

Scale: 1/16" = 1'-0"

Allowable Square Footage this Elevation:	58
Formula: NTE 58 SqFt.	
Actual Square Footage this Elevation:	140.19

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331



Client:	Floor & Decor
Site #:	FD-292
Address:	11711 West Sample Road Coral Springs, FL 33065

REVISION INFO	DATE	DESCRIPTION	BY
	11/16/2021	Original Renderings	GO
	01/14/2022	Updated Signs A and B, and created multiple options	KB
	04/04/2022	Updated per Request	KD
	04/18/2022	Updated Site Number & Removed Option 1 For Sign B & Removed Option 2 For Sign C	AN
	04/25/2022	Updated Sign A & C to 33"	DA
	05/13/2022	Updated Elevations	KD

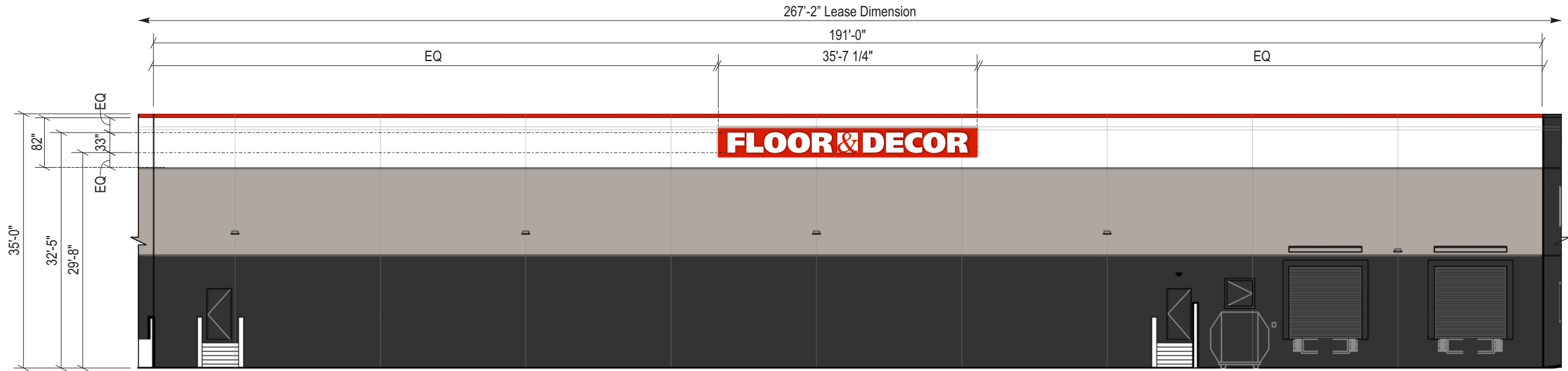
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SIGN C	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 32'-5" Bottom of Sign to Grade = 29'-8"



Overall Building



Right Elevation (East)

Scale: 1/16" = 1'-0"

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

Allowable Square Footage this Elevation:	58
Formula: NTE 58SqFt.	
Actual Square Footage this Elevation:	140.19



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SIGN A	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 28'-5 1/4" Bottom of Sign to Grade = 25'-8 1/4"



Sign Layout Detail
Scale: 3/16" = 1'-0"



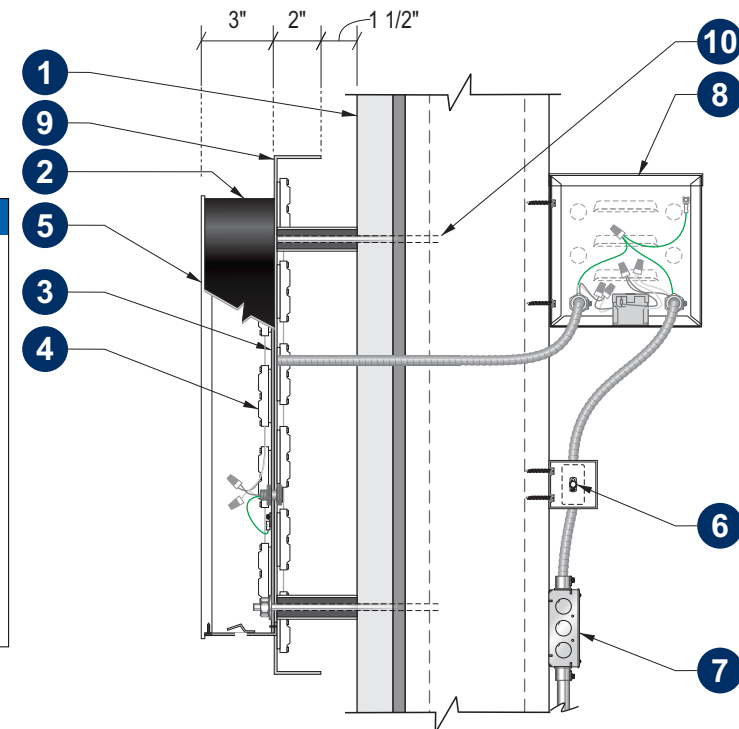
Electrical Detail:
White LEDs (2) 60w Transformer @ 1.1 Amps Total Amps: 2.2 (1) 20 amp 120V Circuit Req.

General Notes:
This sign is to be installed in accordance with the requirements of NEC-2017 Article 600.6(A)(2) & FBC-2020, 7th Edition of the National Electrical Code.
1) Grounded and bonded per NEC 600.7/NEC 250 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps 3) Sign is to be UL listed per NEC 600.3 4) UL disconnect switch per NEC-2017 Article 600.6(A)(1) required per sign component before leaving manufacturer*
*For multiple signs, a disconnect is permitted but not required for each section

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

Specifications:
1. Existing Facade: 2. .063" Aluminum returns painted to match Matthews 2032 Red 3. .125" Aluminum backs welded to returns. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. [interior of sign can painted white for maximum illumination] 4. White LEDs 5. 3/4" White 2447 acrylic pocket routed faces with frosted edges [1/8" exposed edge] w/ first surface applied 3M 3630-33 Red [Logo] and second surface diffuser film. Attached to returns w/ stainless steel countersunk screws [heads ptm returns, min. 6 per letter] 6. Stand alone lockable disconnect switch UL outdoor rated toggle type w/ neoprene boot per NEC 2017 7. Primary electrical feed in UL conduit / customer supplied UL junction box 8. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws 9. .125" Aluminum backer w/ 2" lip painted to match Matthews 2032 Red 10. 3 1/2" Standoffs painted to match facade w/ mounting hardware: to suit



Section @ LED Wall Sign
Scale: N.T.S.



Client:	Floor & Decor
Site #:	FD-292
Address:	11711 West Sample Road Coral Springs, FL 33065

REVISION INFO	11/16/2021	Original Renderings	GO
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SIGN C	33" Floor & Decor
Type:	Pocket-Routed Channel on Halo Backer
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	140.19
To Grade:	Top of Sign to Grade = 32'-5" Bottom of Sign to Grade = 29'-8"



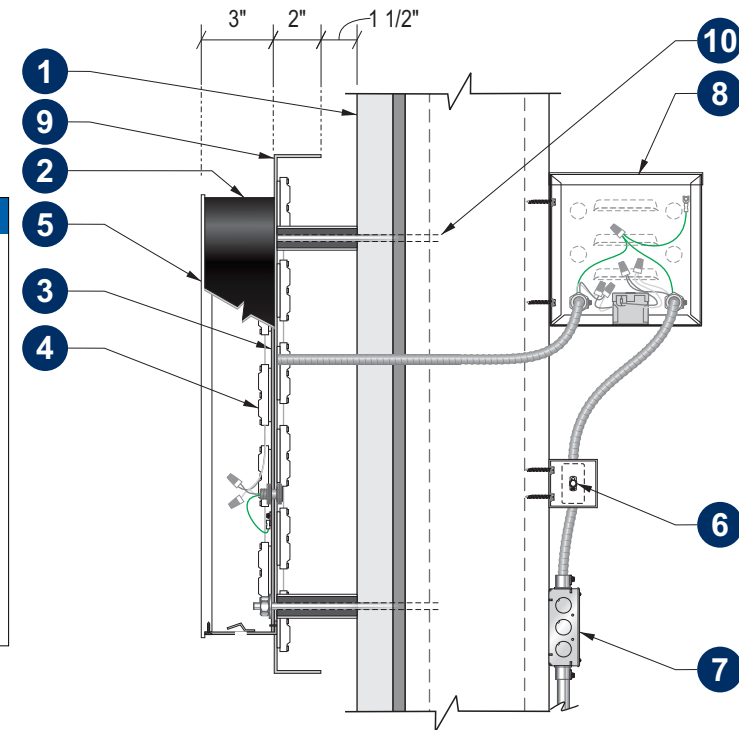
Sign Layout Detail
Scale: 3/16" = 1'-0"



Electrical Detail:
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Client:	Floor & Decor
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AnchorSign
1.800.213.3331

Sign	Square footage of building	Sign Height (inches)	Designer Letter Height (inches)	Standard Letter Height (inches)	Sign Area (sq. ft.)	Setback from ROW (feet)	ROW
Sport's Authority N	89,290	143	39.5	n/a	251.3	375	Wiles
Sport's Authority W	89,290	83	28	n/a	92.72	175	University
Walmart (Coral Ridge)	199,751	60	42 Logo & 30	n/a	58.8	575	Coral Ridge
Sam's	116,598	135.75	n/a	n/a	64	770	University
Marshall's	~ 30,000	81	40 (M) & 26	n/a	135	300	Wiles
Walmart (Turtle Creek) W	199,751	60	42 Logo & 30	n/a	84	550	Turtle Creek
Walmart (Turtle Creek) E	199,751	60	33 Logo & 30	n/a	80	125	441
Target E	127,270	72 Logo	48	n/a	168	500	University
Target N	127,270	72 Logo	48	n/a	168	300	Westview
Super Target	169,035	72 Logo	40	n/a	325.8	650	441
Super Target (grocery)	169,035	n/a	n/a	24	38.5	650	441
Kohl's (CS Mall) E	99,879	n/a	n/a	48	122.8	875	Riverside
Kohl's (CS Mall) N	99,879	n/a	n/a	42	94	800	Ramblewood
Kohl's (CS Mall) S	99,879	n/a	n/a	47	117.8	650	Atlantic
Home Depot E	129,939	n/a	n/a	24	46	700	University
Home Depot S	129,939	n/a	n/a	23	44	75	Atlantic
Lowes Home Improvement E & S	143,643	n/a	n/a	23	15	100	441
Lowes Home Improvement W	143,643	n/a	n/a	56 (L) & 50	96	900	Turtle Creek
BJ's N	83,905	48	18	14	39sf/30sf	50	NW 7th St
BJ's W	83,905	24	17	13	36 sf/28 sf	25	Mall Rd
BJ's E	83,905	42	29	22	98 sf/75 sf	150	Riverside
BJ's Liquor	2,065	20	21.75	16.5	73 sf/56 sf	150	Riverside
BJ's Gas	n/a	20	20	15	40 sf/31 sf	75	Mall Rd
Dick's W	50,025	48	31	24	59 sf/45 sf	150	Mall Rd
Dick's E	50,025	30	23	18	83 sf/64 sf	75	Riverside
Dick's S	50,025	42	35	27	124 sf/95 sf	200	Atlantic
Dick's N	50,025	24	Not Allowed per LDC	Not Allowed per LDC	Not Allowed per LDC	300	BJ's
Costco W	157,000	48	60	46	125sf	787	Wiles Rd
Costco S	157,000	30	18	14	49sf	62	Coral Ridge
Costco Gas W	n/a	14	Not permitted	Not permitted	10sf		Coral Ridge
Costco Gas E	n/a	14	Not permitted	Not permitted	10sf		Wiles Rd
Liquor Sale		20	Not permitted	Not permitted	29sf	779	Coral Ridge
Tire Center		20	Not permitted	Not permitted	27sf	551	Coral Ridge
Flora Fine Foods S	78,000	33	26	20	47	97	Sample Road
Floor & Décor S	98,000	T.B.D.	27	21	140	130	Sample Road
Floor & Décor E	98,000	T.B.D.	27	21	140	145	Coral Ridge
Customer Pick-Up		T.B.D.	Not permitted	Not permitted	23	115	Sample Road



**COMMUNITY DEVELOPMENT DIVISION
INTEROFFICE MEMORANDUM**

TO: Administrative Zoning Review Committee
FROM: Tina Jou, Assistant Director of Development Services ^{TJ}
DATE: June 22, 2022
RE: Conditional Use: CA22-0005 Kind Academy

The Petitioner is requesting Conditional Use approval through the Administrative Zoning Review Committee to allow a private school (Kind Academy) within the Community Business (B-2) zoning district.

STAFF RECOMMENDATION: THAT THE ADMINISTRATIVE ZONING REVIEW COMMITTEE (AZRC):

1. **APPROVE A CONDITIONAL USE FROM SECTION 250568 OF THE LAND DEVELOPMENT CODE TO ALLOW FOR A PRIVATE ELEMENTARY MICRO SCHOOL (KIND ACADEMY) LOCATED AT 10649-10653 WILES ROAD WITH THE FOLLOWING CONDITIONS:**
 - A. **APPROVAL IS FOR ELEMENTARY (K-5) SCHOOL ONLY;**
 - B. **MAXIMUM ENROLLMENT NUMBER FOR THE PRIVATE SCHOOL SHALL NOT EXCEED 20 STUDENTS;**
 - C. **SCHOOL HOURS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY FROM 8:00 AM TO 6:00 PM;**
 - D. **THE PETITIONER MUST OBTAIN A CHANGE OF USE AND/OR CERTIFICATE OF COMPLETION (C/C) OR OCCUPANCY (C/O) FROM THE BUILDING DEPARTMENT;**
 - E. **ANY INCREASE IN THE TOTAL TENANT AREA LEASED, NUMBER OF STUDENTS, OR CHANGE IN SCHOOL HOURS SHALL REQUIRE MODIFICATION TO THE CONDITIONAL USE SUBJECT TO REVIEW OF STAFF AND APPROVAL OF THE ADMINISTRATIVE ZONING REVIEW COMMITTEE (AZRC);**
 - F. **ALL SCHOOL ACTIVITIES SHALL TAKE PLACE INSIDE THE BUILDING;**
 - G. **THE CONDITIONAL USE SHALL NOT RUN WITH THE LAND AND MAY NOT BE TRANSFERRABLE FROM ONE OWNER TO ANOTHER; AND**

2. **AUTHORIZE THE CITY ATTORNEY’S OFFICE TO DRAFT AN ORDER APPROVING CA22-0005 AND ADOPT SAID ORDER.**

LOCATION: 10649-10653 Wiles Road (see attached map)

149 property owners have been notified.

- ATTACHMENTS:**
- #1 – Petition CA22-0005
 - #2 – Location Map
 - #3 – Aerial Map
 - #4 – Floor Plan
 - #5 – Traf Tech Engineering Traffic Statement Review

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: CA22-0005 Kind Academy

ADMINISTRATIVE ZONING REVIEW COMMITTEE: PETITION OF IMAN ALLEYNE FOR CONDITIONAL USE APPROVAL IN ACCORDANCE WITH SECTION 250568 OF THE LAND DEVELOPMENT CODE TO ALLOW A PRIVATE ELEMENTARY SCHOOL (KIND ACADEMY) IN THE COMMUNITY BUSINESS (B-2) ZONING DISTRICT, LOCATED AT 10649-10653 WILES ROAD, LEGALLY DESCRIBED AS A PORTION OF PARCEL A, BROOKSIDE SQUARE. (CA22-0005)

GENERAL INFORMATION

Petitioner: Iman Alleyne (Kind Academy)
10649-10653 Wiles Road
Coral Springs, FL 33076

Owner: Wiles Road Brookside Square, LTD
450 N. Park Road, Suite 502
Hollywood, FL 33021

Land Use: Commercial

Zoning: Community Business (B-2) and Special Utility (SU)

Location: 10649-10653 Wiles Road

Legal Description: Portion of Parcel A, Brookside Square

Adjacent Zoning/Land Uses:

- North: Single-family homes in the Classics at Kensington neighborhood, zoned Low Medium Density Multiple-Family (RM-15)
- South: Wiles Road (116-foot right-of-way), then various commercial businesses, zoned General Business (B-3)
- East: Brookside Square (Phase II), zoned Community Business (B-2), then Coral Springs Drive (130-foot right-of-way), then Betti Stradling Park, zoned Parks (P)
- West: Single-family homes in the Kensington Green neighborhood, zoned Medium Density Multiple-Family (RM-20)

REQUEST

Kind Academy, Petitioner, on behalf of the owner, Wiles Road Brookside Square, LTD, is requesting Conditional Use approval in accordance with Section 250568 of the Land Development Code (LDC) to allow a private elementary micro school located at 10649-10653 Wiles Road.

DESCRIPTION/ BACKGROUND

The subject property is located within the Brookside Square shopping center, zoned Community Business (B-2) and contains 665 parking spaces. The Brookside Square shopping center contains approximately 108,600 square feet with a mixture of uses including offices, retail, fitness, restaurants, grocery store, and child day care center. The proposed use, Kind Academy, will occupy two tenant spaces totaling approximately 2,600 square feet.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: CA22-0005 Kind Academy

Kind Academy is proposing a private elementary micro school for students who homeschool or prefer a more flexible education model. The goal is to provide a service for families in Coral Springs who need an alternative education for students with special needs, as well as families who need a smaller school environment to succeed. All activities are proposed to be indoors, and hours of operation would be from 8:00 AM to 6:00 PM with students arriving in shifts. Drop-off times are expected to occur at 8:00 AM, 9:15 AM, and 10:00 AM. Most students will be expected to leave at 2:15 PM with some remaining until 6:00 PM. The Petitioner has indicated a maximum of 18 students will be enrolled with two teachers during the daytime and three during aftercare to assist with homework.

Brookside Square also contains an existing preschool, iPlanet Academy, approximately 6,000 square feet, located at 10601 Wiles Road at the far east side of the plaza. The proposed Kind Academy will be located on the west end of the plaza with student drop-off and pick-up times not expected to conflict with the existing adjacent preschool.

ANALYSIS

The proposed private elementary micro school will occupy approximately 2,600 square feet within the existing shopping plaza, which encompasses approximately 108,600 square feet. The Petitioner plans to provide all services indoors and is proposing minor interior modifications to the tenant space which includes an open floor plan. There are no exterior modifications proposed.

Land Development Code Section 250568 requires Conditional Use approval for private or public elementary, middle or senior high schools in the B-2 (Community Business) Zoning District. Said establishments are subject to several criteria, which include the following requirements:

1. Building location more than 30 feet from residentially zoned property:

The proposed private micro school is not immediately adjacent to a residential neighborhood. The closest residential neighborhood is located to the north and contains single-family homes in the Classics at Kensington neighborhood. The existing building is located approximately 130 feet from residentially zoned property, with the closest residential structure located approximately 180 feet from the proposed school within the plaza.

2. Screening of outdoor activities:

Section 250568 requires "Outdoor recreation areas located closer than fifty (50) feet to a R zoned plot line shall be screened by an opaque fence or wall or compact evergreen hedge not less than five (5) feet in height." Due to the nature of the educational experience, the Petitioner does not plan to include any outdoor recreation areas. Should the Petitioner wish to include outdoor activities in the future, they would be required to adhere to this screening requirement as well as amend the Conditional Use Approval.

3. Noise Study:

Since there will be no outdoor recreation activities on site, nor will students drive, a noise study was not required to be submitted as part of this Petition. In an effort to ensure potential noise impacts are not any different than a commercial/office use as allowed in this

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: CA22-0005 Kind Academy

zoning district, Staff is recommending the condition all school activities take place within the enclosed building.

4. Traffic Study:

A Traffic Study was prepared by Thomas A. Hall, Inc. on May 4, 2022 which was included in the Petitioner's submittal. The City's Traffic Engineer, Joaquin Vargas of Traf Tech Engineering, reviewed the statement and concurred with the report that the traffic impacts created by the proposed Kind Academy are minimal and will not have an adverse effect to the surrounding street system or existing access driveways of the shopping center. Additionally, the existing 665 parking spaces located within the Brookside Square shopping center are sufficient to accommodate the existing commercial uses and the proposed Kind Academy. (Attachment #5)

Based on the traffic study provided and the City's Traffic Consultant's letter, Staff is recommending the condition that the number of students shall not exceed 20 at any given time to ensure potential trips are limited, and to adhere to parking requirements.

APPLICABLE CODES

Code Compliance

There are no code cases on this property.

Administrative Zoning Review Committee

On September 4, 2013, the City Commission originally approved a one-year Redevelopment Pilot Program to provide flexibility and provide for an administrative approval process for certain new development. In October 2015, the Commission recreated to program in order to accommodate new development in addition to redevelopment. The Program was also renamed the 'Economic Development Pilot Program' to reflect the expanded scope.

On October 5, 2016 the City Commission adopted Ordinance 2016-113, amending various Sections of the Land Development Code to codify several aspects of the previously-approved Pilot Program and created the Administrative Zoning Review Committee (AZRC) as the permanent replacement for the Economic Development Pilot Program Committee. The AZRC's scope is similar to the previous Economic Development Pilot Program, as they will continue to consider quantitative Special Exceptions (up to 33% of LDC requirement), Master Parking Encroachments, etc.

The proposed services for this age group of children supports the adjacent neighborhood by providing quality schools within walking distance for residents. Additionally, providing an alternative, flexible education program aims to assist children with special needs. As the City is dedicated to promoting a diverse and equitable education system, approval of the Conditional Use for the private elementary school, specializing in educating special needs students, will further its vision in being the premier community to live, work and raise a family. Additionally, as this will be a new school, the proposed use will employ new teachers. As such, Staff has determined the proposed use complies with the job creation criteria set forth in the Administrative Zoning Review Committee program.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: CA22-0005 Kind Academy

CRITERIA FOR A CONDITIONAL USE APPROVAL

According to LDC Section 250153, an application for conditional use approval may be granted if the following requirements, including all LDC requirements, have been met:

1. That the use does not negatively impact adjacent residential areas or other existing proposed uses.

The proposed micro school, approximately 2,600 square feet, is located with Brookside Square, approximately 108,600 square feet. The plaza is separated from the adjacent neighborhood by an area containing existing landscaping and trees. As the plaza is existing and the proposed use includes all activities indoors, the private elementary micro school is not expected to negatively impact adjacent residential areas. Additionally, the proposed micro school will only have a maximum of 20 students enrolled. Based on the traffic study provided, the City's Traffic Engineer, Joaquin Vargas of Traf Tech Engineering, has determined that the traffic impacts created by the proposed Kind Academy are minimal and will not have an adverse effect to the surrounding street system or existing access driveways of the shopping center.

2. The use furthers the goals, objectives and policies of the Comprehensive Plan.

The proposed use is allowed with Conditional Use approval in the Community Business (B-2) Zoning District and further the following Goals, Objectives and Policies of the Future Land Use Element of the Comprehensive plan as follows:

Goal 3.0.0: To provide a full range of convenient and accessible commercial areas and facilities sufficient to serve City residents and business owners.

Objective 3.1.0: The City shall direct future commercial development and redevelopment activities to appropriate areas as depicted on the Future Land Use Map. The location, intensity and character of development shall be regulated by zoning consistent with the following policies relating to location, function, and character.

Kind Academy is proposed within Brookside Square, an existing commercial development. The use of the property furthers the Goals, Objectives, and Policies of the Future Land Use Element of the Comprehensive Plan in providing a wider mix of uses to sufficiently serve the community. The proposed private micro school will continue to promote dedication to the educational system in the City, and also supports the adjacent neighborhood by providing a quality school within walking distance for residents.

3. The use satisfies buffering requirements.

The existing site contains commercial uses which have been there since construction completed in 1994. The micro school proposes only minor interior renovations, no changes to the site, and will not be increasing the footprint of the existing tenant space. Since there are no outdoor activities proposed, existing buffers are sufficient for the use. All setbacks for the building are being maintained and landscape buffers are existing.

**City of Coral Springs
Administrative Zoning Review Committee
Summary Sheet
Meeting: June 22, 2022**

Subject: CA22-0005 Kind Academy

SUMMARY

Based on the analysis, Staff has determined the Petition meets the appropriate criteria as required by the Land Development Code. Therefore, Staff recommends the Administrative Zoning Review Committee approve CA22-0005 with the conditions recommended on page 1 of this memorandum.



Hover form fields for instructions.

Conditional Use Approval (CA) Petition

Petitioner Information

Iman Alleyne	7542048310	Leesee
_____ Name	_____ Phone	_____ Petitioner's relationship to property

Street address 10649 Wiles Road

City <u>Coral Springs</u>	State <u>Florida</u>	ZIP Code <u>33076</u>
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Email hello@kindacademy.org

Property Owner Information (if different from petitioner)

Wiles Road Brookside Square LTD	305.672.04
_____ Name	_____ Phone

Street address 450 N. Park Rd. -Suite 502

City <u>Hollywood</u>	State <u>Florida</u>	ZIP Code <u>33021</u>
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Email admin@auerbachassociates.com

Property Information

Retail Space	B2
_____ Legal description	_____ Current zoning
Microschool	Sec. 2501052.1. - Conditional use.
_____ Requested conditional use	_____ Code section citation

According to Section 250153 of the Coral Springs Land Development Code, a CONDITIONAL USE shall be granted only after a finding that the following requirements are met (including those specified in other areas of the code).

How does this proposed use NOT negatively impact adjacent residential areas?

The proposed use of this space is in a plaza and not near any residential areas. We also will only have a small amount of students (a maximum of 18) per day.

How does this proposed use NOT negatively impact other existing or proposed uses?

This proposed use does not negatively impact any of the other existing uses as it is during day time hours and only with a small amount of students per day. A school just reduced it's numbers in the same plaza as well so there is space.

How does this proposed use further the goals, objectives, and policies of the Coral Springs Comprehensive Plan?

The proposed use has a goal to service families in Coral Springs who need an alternative education for students with special needs as well as families who need a smaller school environment to succeed. This furthers the goal of collaborating and coordinating to Maximize Quality Education per the goals and objectives of the Coral Springs Comprehensive Plan.

How does this proposed use satisfy all other requirements provided within the Coral Springs Land Development Code relative to that conditional use?

The proposed use satisfies all requirements including obtaining a traffic study, being located more than 30 feet from any r zoned areas, and partnering with the city to be sure we are in compliance at each step.

APPLICATION IS NOT COMPLETE AND WILL NOT BE PROCESSED UNTIL THE FOLLOWING ARE PROVIDED AND DEEMED COMPLETE BY THE PLANNING DEPARTMENT:

- Site, landscape, and buffer plans of subject property for actual submission to Planning & Zoning Board, including CD containing digital copies of all documents in PDF file.
- Two (2) 11"x17" sets of site plan of subject property.
- Proposed hours of operation.
- Proposed use restrictions.
- Consent of owner(s), including proof of ownership.
- \$3,504.43 petition fee. Plus, recordation, property notification and legal advertising costs will be determined by the City Clerk upon filing.

This is to certify that I am the owner of the subject property described in the Conditional Use Petition. I have read this petition and the statements contained herein are true and correct to the best of my knowledge.

Wiles Road Brookside Square E.
By: [Signature]
Owner signature/date

As owner, I authorize the following party to act as my agent in this matter.

Iman Alleyne (754) 204-8310
Authorized agent name Phone

Street address 10649 Wiles Road

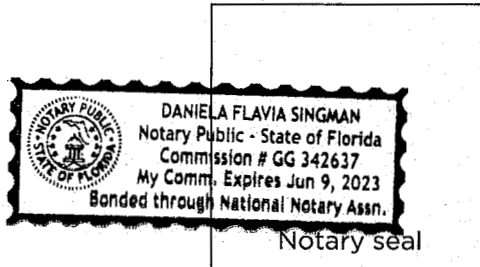
City Coral Springs State Florida ZIP Code 33076

Notary Public

The foregoing instrument was acknowledged before me on April 27, 2022

by means of: physical presence online notarization took an oath did NOT take an oath

personally known produced identification ID type _____



[Signature]
Notary signature/date

My commission expires 6/9/2023

Submit by Email

June 6th, 2022

Conditional Use Narrative Kind Academy Coral Springs (updated)

Thank you,

To whom it may concern,

This letter serves as a narrative of the purpose of Kind Academy in Coral Springs.

Our facility aims to provide a space for learners who homeschool or prefer a more flexible education model. All activities will be indoors. The hours of operation will be 8 am-6 pm. 2 teachers will be on-site between the hours of operation. We have had programming for homeschoolers and students with special needs since 2013. There is no existing enrollment as we are online currently. Nothing happens during the after-hours at this location. After-care will only be for students enrolled. Some students may stay after for homework help. There will be 3 employees. There will be a maximum of 18 per day, plus the 2 teachers at a time. There is no anticipation that there will be more in the future. The classroom is not broken up and we plan to use the space as one, big room. There will be some tables, rugs, and computer stations for the different age groups but we typically will be working together.

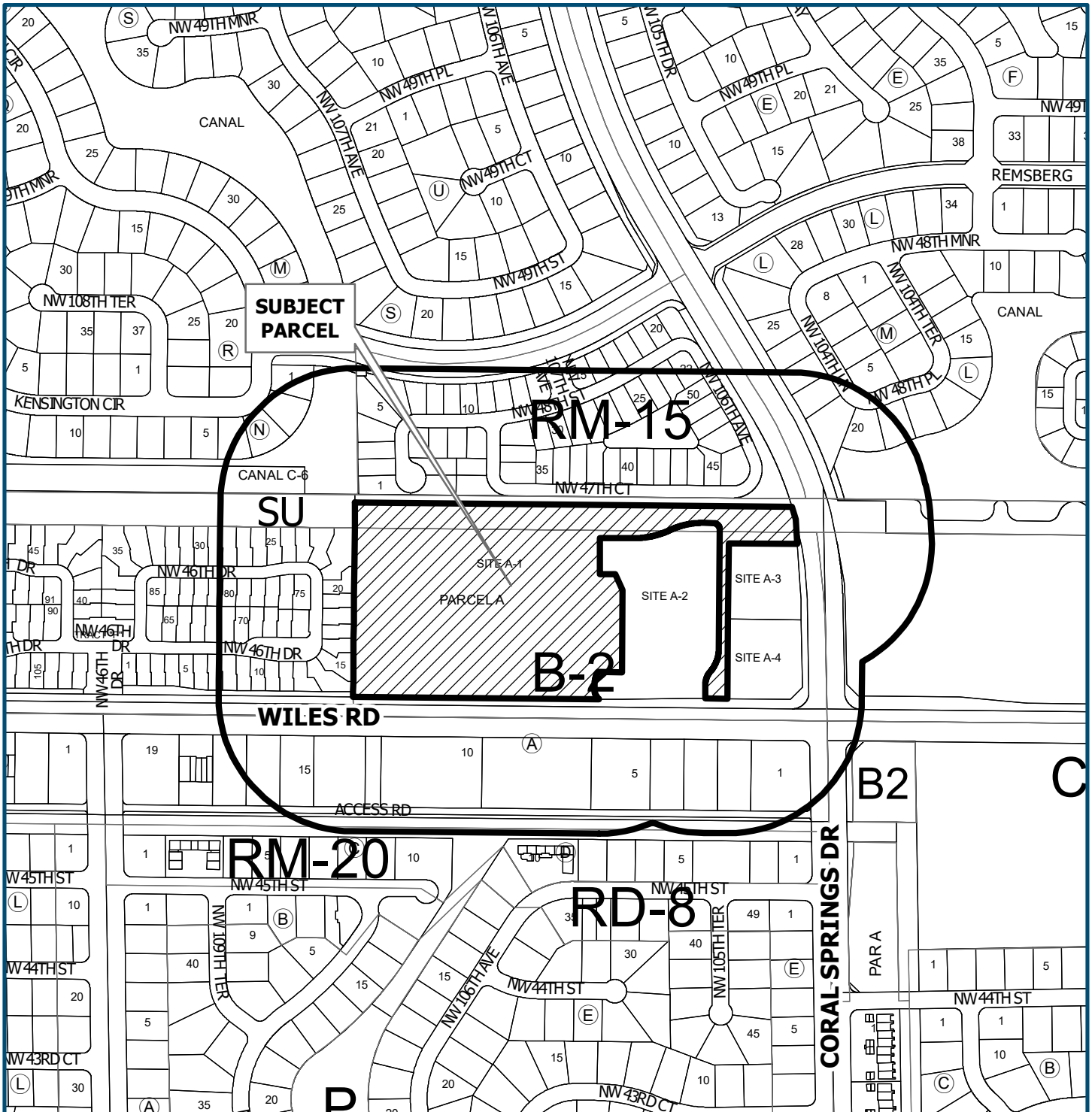
The proposed use of this space is in a plaza and not near any residential areas. We also will only have a small number of students (a maximum of 18) per day.

This proposed use does not negatively impact any of the other existing uses as it is during daytime hours and only with a small number of students per day. A school just reduced it's numbers in the same plaza as well so there is space. The proposed use has a goal to service families in Coral Springs who need an alternative education for students with special needs as well as families who need a smaller school environment to succeed. This furthers the goal of collaborating and coordinating to Maximize Quality Education per the goals and objectives of the Coral Springs Comprehensive Plan. The proposed use satisfies all requirements including obtaining a traffic study, being located more than 30 feet from any r zoned areas, and partnering with the city to be sure we are in compliance at each step.

Please let me know if you have any other questions or concerns.


Thank you,

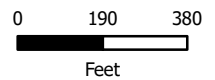
Iman Alleyne
Kind Academy



June 8, 2022

CA22-0005
PORTION OF PARCEL A,
BROOKSIDE SQUARE
FOLIO# 484108040020

-  Subject Parcel
-  400' Buffer

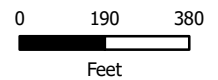




June 8, 2022

CA22-0005
PORTION OF PARCEL A,
BROOKSIDE SQUARE
FOLIO# 484108040020

 Subject Parcel



vicentini 04-13-2021

Brookside Square Spaces 10649 & 10653

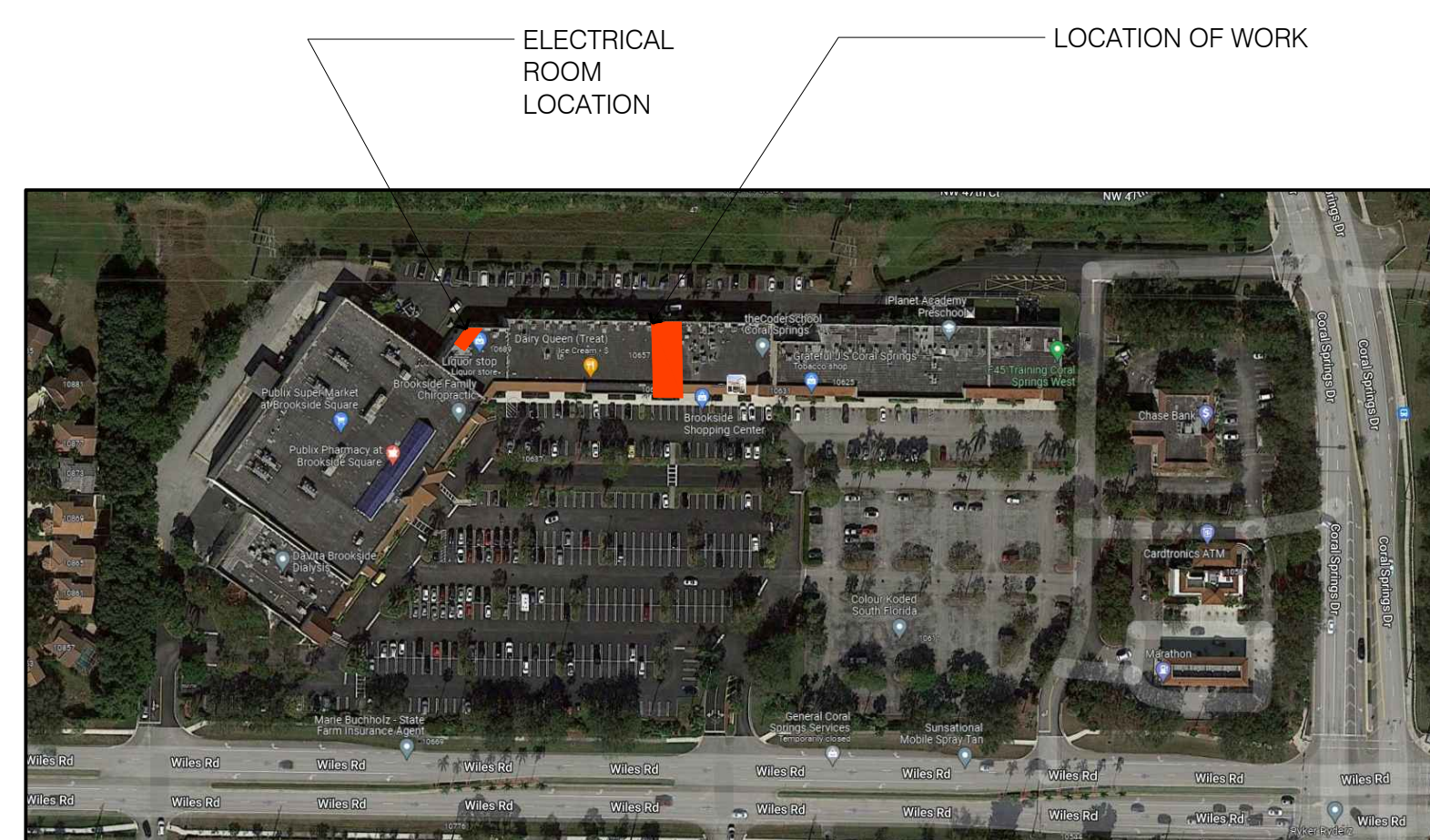


10649- 10653 Wiles Road
Coral Springs, Florida 33076

Owner

Wiles Rd Brookside Square LLC

450 N Park Rd Ste 502
Hollywood, FL 33021



Location Map n.t.s.

Sheet List

A-000 Cover Sheet

Architectural

- LS-201 Life Safety Plan
- A-001 General Notes
- A-201 Floor Plan, Reflected Clg Plan
- A-701 Partition Dtl, Mtg. Heights
- A-702 UL Details

Mechanical Electrical Plumbing

- M-101 Mechanical Floor Plan, Schedules & Details
- E-201 Electrical Power Floor Plan
- E-401 Riser Diagram, Panels, Details, and Notes
- P-201 Plumbing Sanitary & Domestic Water Floor Plan
- P-301 Plumbing Notes, Details, and Schedules
- FP-101 Fire Protection Plan



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Luigi Vitalini | AR - 13513

SHEET NO.

A - 000

Ms. Brooke Peters
Transportation Planner
Community Development
City of Coral Springs
9500 W. Sample Road
Coral Springs, Florida 33065

June 7, 2022

Re: Kind Academy – Review of Traffic Impact Analysis and Parking

Dear Brooke:

Traf Tech Engineering, Inc. reviewed the Traffic Impact Analysis prepared by Thomas A. Hall, Inc. (report signed and sealed on May 4, 2022) in connection with the proposed Kind Academy planned to be located within the existing Brookside Square shopping center located on the northwest corner of Wiles Road and Coral Springs Drive in the City of Coral Springs. The following is a summary of our findings:

Traffic Impacts

Traf Tech Engineering, Inc. concurs with the findings of the Thomas A. Hall report that the traffic impacts created by the proposed Kind Academy are minimal and will not have an adverse effect to the surrounding street system or the existing access driveways of the shopping center.

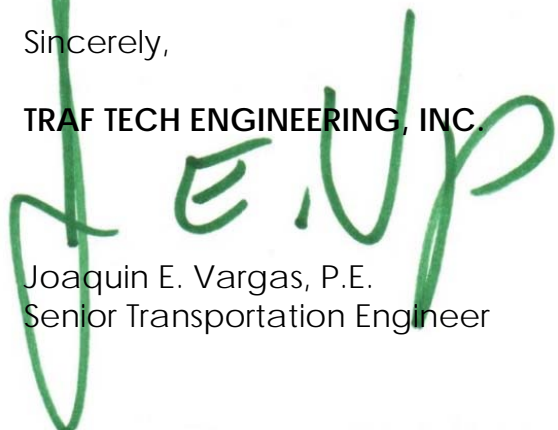
Parking

Traf Tech Engineering, Inc. concurs that the existing 665 parking spaces located within the Brookside Square shopping center are sufficient to accommodate the existing commercial uses and the proposed Kind Academy.

We have no further comments. Please give me a call if you have any questions.

Sincerely,

TRAF TECH ENGINEERING, INC.



Joaquin E. Vargas, P.E.
Senior Transportation Engineer