



**MEETING AGENDA
ARCHITECTURAL REVIEW COMMITTEE
CITY OF CORAL SPRINGS
9500 West Sample Road
Sawgrass Room
MONDAY, NOVEMBER 21, 2022 @ 4:00 P.M.**

The Development Review Committee has provided the following agenda items and requests all Architectural Review Committee members visit the sites in question to provide more informative recommendations. Color renderings, material boards and site plans will be available prior to the meeting.

- I. OPENING STATEMENT
- II. PUBLIC COMMENT
- III. APPROVAL OF THE MINUTES FROM THE October 12, 2022 ARC MEETING
- IV. NEW BUSINESS
 - 1. 2023 ARC CALENDAR
- V. AGENDA ITEMS

Architectural Guidelines: Staff has reviewed the proposed design, colors, and materials for consistency with the Architectural Review Guidelines. Below, Staff provides a brief analysis of the applicable sections in the Architectural Guidelines, and recommended modifications.

A. ARC22-0131 – Composite Roof (Stephen Eades: 5873 NW 122nd Drive)

Roof Types

Roofs shall be constructed of flat, S-type or barrel tile of cement or clay, slate or high-quality manufactured slate, split WRC shakes (No. 1, Blue Label), terne coated stainless steel galvalume, aluminum, or galvanized steel standing seam roofs only. Also, dimensional asphalt shingle will be allowed when structural limitations exist involving cedar shake reroofing situations.

- Review for compatibility with Architectural Guidelines for potential new pre-approved roofs for single-family homes.*

B. ARC22-0133 – Tile Roof Color (Scott Shaw: 512 NW 120th Drive)

Roof Types

Roofs shall be constructed of flat, S-type or barrel tile of cement or clay, slate or high-quality manufactured slate, split WRC shakes (No. 1, Blue Label), terne coated stainless steel galvalume, aluminum, or galvanized steel standing seam roofs only. Also,



dimensional asphalt shingle will be allowed when structural limitations exist involving cedar shake reroofing situations.

- ❑ *Review for compatibility with Architectural Guidelines for potential new pre-approved roofs for single-family homes.*

C. ARC22-0141 – Metal Roof (John Dondey: 3871 NW 100th Avenue)

Roof Types

Roofs shall be constructed of flat, S-type or barrel tile of cement or clay, slate or high-quality manufactured slate, split WRC shakes (No. 1, Blue Label), terne coated stainless steel galvalume, aluminum, or galvanized steel standing seam roofs only. Also, dimensional asphalt shingle will be allowed when structural limitations exist involving cedar shake reroofing situations.

- ❑ *Review for compatibility with Architectural Guidelines for potential new pre-approved roofs for single-family homes.*

D. ARC22-0147 – Metal Roof (Scott Behrje: 9833 NW 16th Street)

Roof Types

Roofs shall be constructed of flat, S-type or barrel tile of cement or clay, slate or high-quality manufactured slate, split WRC shakes (No. 1, Blue Label), terne coated stainless steel galvalume, aluminum, or galvanized steel standing seam roofs only. Also, dimensional asphalt shingle will be allowed when structural limitations exist involving cedar shake reroofing situations.

- ❑ *Review for compatibility with Architectural Guidelines for potential new pre-approved roofs for single-family homes.*

E. ARC22-0117 – New Construction: Cornerstone – North Block (3300 University Drive)

Exterior Materials

Masonry (stucco) is the encouraged material for walls. Many other materials are also encouraged such as cast stone, split blocks, ceramic tiles, high quality coated metal panel systems, stone, and brick. Certain materials are discouraged as wall materials including woods which will rot, metal siding, fluted block and glass window wall systems.

Doors and windows should be glass and aluminum (painted) storefront, high quality steel and glass systems, high quality woods such as plantation grown teak or mahogany, and brass, bronze, or stainless steel. Decorative trim items can be any of the above materials, as well as painted galvanized steel and high-quality fiberglass and plastics.

Roofs are encouraged to be flat with articulated parapet walls. Pitched roofs, shed style arcades, or pitched roofs at entry tower locations, of either flat, S-shape or barrel-



vaulted cement or clay tiles are also encouraged. Standing seam metal roofs made of terne-coated stainless steel, galvalume or galvanized steel may be used, only if screened by a parapet wall and are not visible from the street.

Base Building Colors

The base building color which is the main wall color should be the following:

Whites and Grays

Beiges (Whites, Browns, Light Pinks/Roses & Light Yellows)

Pastels (Yellows, Greens, Blues)

Secondary Building Color

Secondary building colors should be limited to 25% of each individual wall area. These colors are medium intensities of the base building or a complimentary color. Colors which are associated with a business identity also fall into this category provided they are not overly intense (for example: McDonalds Golden Yellow Arches). Base and secondary building colors are interchangeable in proportion and hue.

Trim Colors

Trim colors are used for accent and identifying purposes and are the brightest group of colors allowed. In addition to business identifying colors, it is encouraged that trim colors be chosen from the “natural pallet” of South Florida. These colors include greens, blues, yellows, and others that are found in our lush landscape and natural features. These colors should be limited to 5% of any single wall area.

Landscaped Buffer and Sidewalks

The landscaped buffer, 8 to 12 FT wide, will provide separation between the heavy vehicular traffic and the pedestrian sidewalk. The width of the buffer may vary depending on whether an arcade is present. The buffer could include elements such as plants, grasses, trees, lighting, signage elements for vehicles and pedestrians, sitting areas and bus shelters. The design of the elements within the buffer should have a similar theme throughout the length of the Street Type and is subject to review by the CRA.

Gateway Elements

The “Gateway Elements” create a visual feature at key locations to identify significant entry points into the proposed Downtown area. Gateway elements are allowed to encroach eight feet into the 20-foot setback and have a height limit of 75 feet. No upper-level step backs are required for Gateway Elements.

Visual Features

The visual features could include fountains, sculptures, and landscaped areas. Four visual features are proposed in the Downtown area.

Identity Elements

The elements are located to call out or identify specific features of the new Downtown. These could include entrance makers, kiosks, a Downtown logo, directional or way finding elements, etc.



Hardscape Plazas

- 1) *At the corner of University and Sample Road*
- 2) *At the middle of the central plaza.*
- 3) *A NE to SW diagonal view corridor and pedestrian way between the buildings located in the northeast sector of the Downtown that connects the plazas identified in items 1 and 2 above.*

Public Realm Plan

*Identifies key **pedestrian connections** that tie together common uses within the Downtown area. They are organized into the following three categories:*

1) Retail/ Commercial – *pedestrian environments that unite the ground floor retail and commercial uses. These should have a civic feel and be accessible to the larger public.*

2) Residential – *pedestrian environments that connect the residential parts of the Downtown area. These connections should be publicly accessible, however should only engage the building where key entrances and courtyards are located. Connections should be made to the existing residential community to the south of NW 31st CT.*

3) Enhanced Pedestrian Environment – *These pedestrian connections pertain to the existing edge streets that include University, Sample, Coral Hills Drive, and NW 31st CT. These streets should receive improved sidewalks, crosswalks, and areas for bicycle paths to improve the overall accessibility to and from the new Downtown. The plan also locates four pavilions to be included as a feature within the central plaza. The pavilions should be placed at the four corners of the Hardscaped area of the central plaza. These pavilions could potentially accommodate a cafe or other vendors, information display areas, newspaper stands, etc.*

- *Review for compatibility with Architectural Guidelines for potential new pre-approved roofs for single-family homes.*

VI. DISCUSSION

VII. NEXT MEETING: Tuesday, December 13, 2022

VIII. ADJOURN



***** STAY INFORMED *****

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- Follow us on Instagram @CoralSpringsFL
- Follow us on Twitter @CoralSpringsFL
- Follow us on YouTube @CityofCoralSprings

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Text the keyword **CORALSPRINGS** (one word) to 888-777 to receive city updates to your phone.

The Commission hold regular office hours monthly. If you would like to schedule an appointment with any of your City Officials, please call [954-344-5911](tel:954-344-5911).

Mayor Scott Brook: Connect on Facebook, Instagram and Twitter using: @CSCommissioner1. To contact Mayor Brook by phone call [954-494-9872](tel:954-494-9872) (mobile) or by email at sbrook@coralsprings.gov.

Vice Mayor Joshua Simmons: Connect on Facebook, Instagram and Twitter using: @CSCommissioner4. To contact Vice Mayor Simmons by phone, call [954-871-1314](tel:954-871-1314) (mobile) or by email at jsimmons@coralsprings.gov.

Commissioner Shawn Cerra: Connect on Facebook, Instagram and Twitter using: @CSCommissioner2. To contact Commissioner Cerra phone, call [954-612-7114](tel:954-612-7114) (mobile) or by email at scerra@coralsprings.gov.

Commissioner Nancy Metayer: Connect on Facebook, Instagram and Twitter using: @CSCommissioner3. To contact by phone, call [954-254-8880](tel:954-254-8880) (mobile) or by email at nmetayer@coralsprings.gov.

Commissioner Joy Carter: Connect on Facebook, Instagram and Twitter using: @CSCommissioner5. To contact Commissioner Carter by phone, call [954-998-4186](tel:954-998-4186) (mobile) or by email at joycarter@coralsprings.gov.



ARCHITECTURAL REVIEW COMMITTEE (ARC) MINUTES

Meeting of October 12, 2022

Call to Order at 4:00 PM in-person meeting

Approval of Minutes

Elizabeth Chang requested approval of the minutes of the September 14, 2022, meeting. The minutes were approved by the Committee.

1. ARC22-0138 – Metal Roof (Luis Piloto: 1357 NW 108th Avenue)

Discussion: Staff Comments and Recommendations

City Staff was seeking input from the Committee regarding the use of a standing seam metal roof on a single-family home located in Pine Landing. Staff presented the proposal of the metal roof to the Committee and indicated the proposed color to Mansard Brown with no plans to repaint the home. The home is currently painted an orange-brown color with white trim and matching white garage doors. Staff had concerns with the proposed roof color and the existing colors of the home. The Committee concurred with Staff and believed the proposed roof color would not contrast with the existing colors of the home. Options were provided to the Applicant who indicated they would either paint the home or choose a different roof color.

Summary: The Committee recommended the Applicant work with Staff to find an alternative roof color or repaint the home to provide a better contrast.

2. ARC22-0141 – Metal Roof (John Dondey: 3871 NW 100th Avenue)

Discussion: Staff Comments and Recommendations

City Staff was seeking input from the Committee regarding the use of a standing seam metal roof on a single-family home located in Coral Springs Lakes. Staff presented the proposal of the metal roof to the Committee and indicated the proposed color to be Champagne, with an alternative selection of Buckskin. The home is currently painted beige with a cream trim and matching garage and front doors. Staff had concerns with the metallic sheen of the Champagne selection and lack of contrast between the proposed roof colors and the existing colors of the home. The existing palette with the proposed roof is considered too tone-on-tone and should incorporate contrasting colors. The Committee concurred with Staff but believed the homeowner should either repaint the home to contrast with Buckskin or select another metal roof color. Additionally, based on the steep slope of the roof facing the street, the Committee requested that the standing seam roof profile should contain stiffening ribs to avoid oil canning on the panels.

Summary: The Committee recommends the Applicant work with Staff to find an alternative roof color or repaint the home to provide a better contrast. Also utilize a panel that contains stiffening ribs to prevent oil canning.

Meeting adjourned at 4:30 P.M.

ARC MEMBERS PRESENT

Juan Justiniano – Architect
Fernando Leiva – Urban Planner
Kaitlyn Forbes – Urban Designer/Planner
Enrique Rafael – Engineer

ARC MEMBERS ABSENT

Michael Jacobazzi – Roofing Contractor

CITY COMMISSION LIASON

Scott Brook, Mayor

CITY STAFF

Elizabeth Chang, Zoning Manager
Anne Volcy, Assistant Planner

Volunteer Hours: 1 Hour per person

Reviewed By: _____

DRAFT

ITEM A

ARC22-0131

Composite Roof

(5873 NW 122nd Drive)



Architectural Review Committee (ARC) Application and Checklist for Homeowners

Applicant Name: Stephen Eades and Nicole Aritzmeni
Home Address: 5873 NW 122nd Dr
Neighborhood: Heron Bay -> Mizner Village
Phone Number: 217-246-6206 Cell Number: 217-246-6206
Email: scuba.steve.21390@gmail.com

The following is a list of materials to be submitted to the Community Development Division **no later than the last Friday of each month by 12:00 noon**. Upon determination of Staff that the applicant has submitted all required materials, the project will be scheduled for the next available ARC meeting.

REQUIRED MATERIALS

- This homeowner review form with one paragraph stating the unique circumstances requiring colors or materials outside the color palette or design guidelines.
- If a mid-block house, 2 photographs of house from street.
- N/A If a corner house, 4 photographs, including ones from second street.
- Photograph(s) of adjacent house(s) to either side of the house in question.
- N/A For new paint colors, a drawing or marked-up photograph of the house showing the proposed location of new colors.
- N/A For new paint colors, actual paint sample or chips with City Color Palette Number written on back.
- For a metal roof and other new materials, a small sample.
- N/A For a metal roof, actual paint samples or chips with City Color Palette Number written on back for all existing house colors.

AND

- N/A If new paint colors, a completed paint color application with desired colors.
- N/A If a metal roof, a completed metal roof application.

Verified as Complete by City Staff:

Name: Lindsey Gelman Date: 9/9/22 Project #: ARC22-0131

CITY OF CORAL SPRINGS, FLORIDA • COMMUNITY DEVELOPMENT DIVISION
9500 W Sample Road • Coral Springs, FL 33065 • CoralSprings.org
Phone 954-344-1160 • Fax 954-344-1181

We are looking to replace and update our roof with EkoRoof - a recycled composite roof that is more economical than clay/concrete and has many benefits compared to traditional clay/concrete roof tiles.

- 1) Material (including underlayment) has a life span of 50 years, compared to clay/concrete at 25-30
- 2) Tiles look very similar to clay in both shape and color, but the color of EkoRoof tiles will remain the same for the life of the roof
- 3) EkoRoof is a better insulator than clay/concrete and will help reduce cooling/heating bill
- 4) EkoRoof is much lighter and therefore puts less stress on the support structure of the house
- 5) EkoRoof is more durable than clay/concrete and will not break from objects hitting it during a storm
- 6) Due the material, maintenance is limited and when maintenance is needed, harsh chemicals are not needed
- 7) EkoRoof uses recycled plastics and is more environmentally friendly
- 8) Due to rising costs of construction materials including roofing materials, EkoRoof is a more economical roof in both the short term and the long term

In addition to the above benefits, EkoRoof conforms to the strictest standards as required by Miami-Dade building and HVHZ code. The roof can withstand winds in excess of 220 miles per hour and meets Class 4 impact standards.

As for colors, we are open to whichever color the board deems acceptable based on our home color. We would like to use one of the following: Dark Bronze (preferred color), Terracotta, or Classic Clay



— EVERYTHING UNDER THE SUN —

Paint Color Application

Owner/Applicant Information

Date Filed: _____ Owner/Applicant Name: Stephen Eades

Address: 5873 NW 122nd Dr

Telephone: (217) 246-6206 E-mail: scuba.steve.21390@gmail.com

Subdivision/Complex Name: Heron Bay -> Mizner Village

Owner/Applicant's Signature: 

Homeowner Association? Yes No **If Yes, please consult with your HOA for their approval, if necessary.**

If you're hiring someone to do the work:

Company/Contractor Name: N/A Telephone: N/A

Please submit the following with the application:

- Current photograph of the building identifying where the proposed colors are to be used
- Color swatches
- For duplexes (attached & semi-attached), multi-family, commercial, and industrial buildings, please include pictures (JPEF, GIF, or PDF) of adjacent buildings.

CHECK ONE:

- SINGLE FAMILY SEMI-ATTACHED DUPLEX (must be painted the same color)
 THREE & FOURPLEX MULTI-FAMILY COMMERCIAL/INDUSTRIAL

Paint Distribution	Paint Brand Name (Sherwin Williams, Behr, etc.)	Paint Brand Code and Color Name (Example: SW6099 Sand Dollar)	Approved City Code STAFF USE ONLY PLEASE LEAVE BLANK
Base Color	Sherwin Williams	HGSW3163 Tranquil Tan	00YY 26/220
Secondary (Max. 25%)	Sherwin Williams	HGSW3161 Wood Acres	50YR 07/162
Trim (Max. 5-10%)	Sherwin Williams	HGSW2507 Paper Kraft	20YY 83/088
Roofs			
Garage Door			
Front Door			
Other: _____			

PAINTING SHALL BE COMPLETED WITHIN SIXTY (60) DAYS FROM APPROVAL DATE

Community Development Approval:

Name: Lindsey Gelman Date: 9/9/22 Project #: ARC22-0131

CITY OF CORAL SPRINGS, FLORIDA • COMMUNITY DEVELOPMENT DIVISION

9500 W Sample Road • Coral Springs, FL 33065 • CoralSprings.org
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5881

5873



CORAL SPRINGS
6CG 018514



5881



5865-11

7787

5

100 A

4

CAUTION

Ekorooft Color Palette

Standard Colors



Terracotta



Classic Clay



Dark Bronze



Graphite

Custom & Special Order Colors



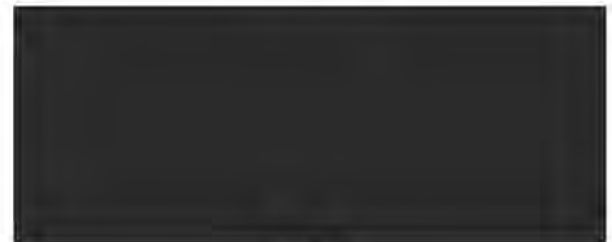
Caribbean Blue



Storm Cloud



Coral Beach



Black

Please note that these color chips are intended to be very close representations of the colors we can produce. Though the match is almost exact, due to differences in computer monitors, printers, and our recycled content, we cannot guarantee a 100% perfect match to the colors shown.

Main House

Main House

TRANQUIL TAN
HGSW3163

Secondary Color

316A

WOOD ACRES
HGSW3161

Trim Color

PAPER KRAFT
HGSW2507

ITEM B

ARC22-0133

Tile Roof Color

(512 NW 120th Drive)



Architectural Review Committee (ARC) Application and Checklist for Homeowners

Applicant Name: SCOTT SHAW
Home Address: 512 NW 120TH DRIVE, CORAL SPRINGS, FL 33065
Neighborhood: MAJINER'S COVE
Phone Number: 954-560-0661 Cell Number: _____
Email: SCOTT@NHMONITORING.COM

The following is a list of materials to be submitted to the Community Development Division **no later than the last Friday of each month by 12:00 noon**. Upon determination of Staff that the applicant has submitted all required materials, the project will be scheduled for the next available ARC meeting.

REQUIRED MATERIALS

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- If a mid-block house, 2 photographs of house from street.
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- For new paint colors, a drawing or marked-up photograph of the house showing the proposed location of new colors.
- For new paint colors, actual paint sample or chips with City Color Palette Number written on back.
- For a metal roof and other new materials, a small sample.
- For a metal roof, actual paint samples or chips with City Color Palette Number written on back for all existing house colors.

AND

- If new paint colors, a completed paint color application with desired colors.
- If a metal roof, a completed metal roof application.

Verified as Complete by City Staff:

Name: [Signature] Date: 9/13/22 Project #: ARC22-0133

CITY OF CORAL SPRINGS, FLORIDA • COMMUNITY DEVELOPMENT DIVISION
9500 W Sample Road • Coral Springs, FL 33065 • CoralSprings.org
Phone 954-344-1160 • Fax 954-344-1181

REASON FOR EXCEPTION

Submit with ARC REVIEW for Homeowners

OUR NEIGHBOR USED THIS COLOR
BLEND ON HIS HOUSE AND MY WIFE & I
THOUGHT IT WAS NOW THE BEST LOOKING
ROOF IN OUR NEIGHBORHOOD.

Paint Color Application

Owner/Applicant Information

Date Filed: 9/12/22 Owner/Applicant Name: SCOTT SHAW
 Address: 512 NW 120TH DRIVE CORAL SPRINGS, FL 33071
 Telephone: 954-560-0661 E-mail: SCOTT@NATHANFORINV6.COM
 Subdivision/Complex Name: MANIVER'S COVE
 Owner/Applicant's Signature: [Signature]

Homeowner Association? Yes No If Yes, please consult with your HOA for their approval, if necessary.

If you're hiring someone to do the work:

Company/Contractor Name: N/A Telephone: _____

Please submit the following with the application:

- o Current photograph of the building identifying where the proposed colors are to be used
- o Color swatches
- o For duplexes (attached & semi-attached), multi-family, commercial, and industrial buildings, please include pictures (JPEF, GIF, or PDF) of adjacent buildings.

CHECK ONE:

- SINGLE FAMILY
 SEMI-ATTACHED
 DUPLEX (must be painted the same color)
 THREE & FOURPLEX
 MULTI-FAMILY
 COMMERCIAL/INDUSTRIAL

Paint Distribution	Paint Brand Name (Sherwin Williams, Behr, etc.)	Paint Brand Code and Color Name (Example: SW6099 Sand Dollar)	Approved City Code STAFF USE ONLY PLEASE LEAVE BLANK
Base Color	SHERWIN WILLIAMS	DOWNTOWN SAND SW 2822	30YY 53/125
Secondary (Max. 25%)			
Trim (Max. 5-10%)	SW 2829	Classical White	60YY 83/094
Roofs			
Garage Door	SW 2808	Peachwood Brown/Park	70YR 12/180
Front Door			
Other: _____			

PAINTING SHALL BE COMPLETED WITHIN SIXTY (60) DAYS FROM APPROVAL DATE

Community Development Approval:
 Name: [Signature] Date: 9/13/22 Project #: PAPP22-0391

**existing colors are listed*

NO PAINT APY 21









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NEIGHBOR (SOUTH)



NEIGHBOR (NORTH)



Page: 1 of

Picking List For Sample Delivery

Sold To:
 WRRS Sample Account

 7575 Irvine Center Drive Suite
 Irvine CA 92618

Ship To:
 Scott Shaw
 Scott Shaw
 512 Northwest 120th Drive
 CORAL SPRINGS FL 33071
 Phone: 954-973-2128

Transp.Method: 4MP - Delv - Grd - WRRS Pays
 Project Name:
 Delv Addr: 512 Northwest 120th Drive CORAL SPR
 Roofing Contractor: 33826 Grace Roofing Enterprise
 Builder:
 Loading Instructions:
 Terms of delivery: Freight On Board - Plant
 Shipping Conditions: Load On Arrival

Delivery Number *Date*
 86359663 08/26/2022

Purchase Order *Date*
 35-Scott Shaw-512 No 08/26/2022

Delivery Plant *Cust. Release No*
 WRRS - Lake Wales 1

Sales Order Number *Date*
 35149457 08/26/2022

Transfer Order Number
 1001240055

Indirect Roofer Purchase Order

<i>Item</i>	<i>New Part Description Approx Pallets</i>	<i>Storage Bin/Batch</i>	<i>Remaining Quantity Approx Wt (Pick qty)</i>	<i>Pick Quantity</i>
0001	1HBCS3903 Barcelona 900 Florida Blend C/T 0.016	FGS L001 20220101-2	0 PC 0.00 SQ 44.560	4 PC 0.04 SQ
Total Wt.			44.560	

Loaded By: _____

ITEM C
ARC22-0141
Metal Roof
(3871 NW 100th Avenue)



Architectural Review Committee (ARC) Application and Checklist for Homeowners

Applicant Name: Karen Dondely
Home Address: 3871 NW 100th Ave
Neighborhood: Coral Springs Lake
Phone Number: 954 294 0694 Cell Number: 954 294-0694
Email: Karendondely@yahoo.com

The following is a list of materials to be submitted to the Community Development Division **no later than the last Friday of each month by 12:00 noon**. Upon determination of Staff that the applicant has submitted all required materials, the project will be scheduled for the next available ARC meeting.

REQUIRED MATERIALS

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- For a metal roof, actual paint samples or chips with City Color Palette Number written on back for all existing house colors.

AND

- If new paint colors, a completed paint color application with desired colors.
- If a metal roof, a completed metal roof application.

Verified as Complete by City Staff:

Name: Lindsey Gelman Date: 9/30/22 Project #: ARC22-0141

CITY OF CORAL SPRINGS, FLORIDA • COMMUNITY DEVELOPMENT DIVISION
9500 W Sample Road • Coral Springs, FL 33065 • CoralSprings.gov
Phone 954-344-1160 • Fax 954-344-1181

METAL ROOF APPLICATION

DEVELOPMENT SERVICES DEPARTMENT
COMMUNITY DEVELOPMENT DIVISION

2730 N. UNIVERSITY DRIVE, CORAL SPRINGS, FL 33065 FAX: 954-344-1181 TEL: 954-344-1160

ATTACH THE FOLLOWING BEFORE SUBMITAL TO COMMUNITY DEVELOPMENT

- A signed and notarized *Hold harmless/indemnity agreement for metal roofs*
- If property has a homeowner's association, *Letter of roof approval from association*

NOTE ON BUILDING PERMIT: BROWARD COUNTY REQUIRES A "NOTICE OF COMMENCEMENT" FILING MUST SUBMIT THE "NOTICE" WITH BUILDING PERMIT APPLICATION TO CORAL SPRINGS

DATE: Sept 30, 2022

OWNER'S NAME: Karen Dondley TELEPHONE: 954 294 0694

BUILDING ADDRESS: 3871 NW 100th Ave Coral Springs, Florida 33065
(ZIP CODE)

SUBDIVISION NAME: Coral Springs HOMEOWNER'S ASSOCIATION? Yes No
Circle One Above

CONTRACTOR & LICENSE (if known): CCC1332786

COMPANY NAME: Whale Roofing TELEPHONE: 561 778-7800

HOUSE TYPE: *Check each box that applies*
 Single Family House Duplex Single Family Semi-attached
 I Story House 2+ Story House

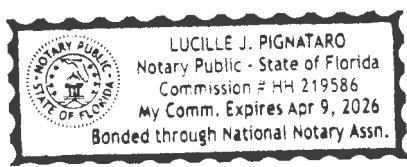
ROOF SYSTEM *Check one box only*
 Painted Metal, Barrel Profile Standing Seam
 Stone Coated, Shake Profile Stone Coated, Reverse Curve Profile
 Stone Coated, Barrel Profile

MANUFACTURER Dynamic Metals PROFILE 16" panel COLOR* Champagne
 *Owner agrees to use fasteners that match roof color and paint any protruding metal vents a matching color

SIGNATURE OF OWNER: Karen Dondley
Notarize Signature

PRINT NAME OF OWNER: Karen Dondley
Notary Stamp Below

Lucille J. Pignataro
REVIEWER'S SIGNATURE*
DATE Sept 30, 2022



*For all metal seam roofs, the signature of the Director of Community Development, Chief Planner, Senior Planner or Zoning Review Officer is required.

Official Use: Color Chart Match Number _____ Building Permit Number _____



Paint Color Application

Owner/Applicant Information

Date Filed: _____ Owner/Applicant Name: John and Karen Dondey

Address: 3871 NW 100th Ave Coral Springs, FL 33065

Telephone: 9542940694 E-mail: Karendondey@yahoo.com

Subdivision/Complex Name: Coral Springs lakes

Owner/Applicant's Signature: *Karen Dondey*

Homeowner Association? Yes No **If Yes, please consult with your HOA for their approval, if necessary.**

If you're hiring someone to do the work:

Company/Contractor Name: Whale Roofing *Deek Nier* Telephone: 5617787800

Please submit the following with the application:

- Current photograph of the building identifying where the proposed colors are to be used
- Color swatches
- For duplexes (attached & semi-attached), multi-family, commercial, and industrial buildings, please include pictures (JPEF, GIF, or PDF) of adjacent buildings.

CHECK ONE:

- SINGLE FAMILY SEMI-ATTACHED DUPLEX (must be painted the same color)
 THREE & FOURPLEX MULTI-FAMILY COMMERCIAL/INDUSTRIAL

Paint Distribution	Paint Brand Name (Sherwin Williams, Behr, etc.)	Paint Brand Code and Color Name (Example: SW6099 Sand Dollar)	Approved City Code STAFF USE ONLY PLEASE LEAVE BLANK
Base Color	Sherwin williams	SW6094 Sensational Sand	
Secondary (Max. 25%)			
Trim (Max. 5-10%)	Sherwin Williams	SW6092 lightweight beige	
Roofs	<i>Dynamic Metals</i>	Champaign	
Garage Door	<i>Sherwin Williams</i>	<i>SW6094 Sensational Sand</i>	
Front Door	<i>Sherwin Williams</i>	<i>SW6092 lightweight beige</i>	
Other: _____			

PAINTING SHALL BE COMPLETED WITHIN SIXTY (60) DAYS FROM APPROVAL DATE

Community Development Approval:

Name: *Lindsey Gelman* Date: *9/30/22* Project #: *ARC22-0141*





388



SW 6092
Lightweight Beige

200-C1

SW 6094
Sensational Sand

200-C3



DYNAMIC METALS

COLOR CHART

DM STANDARD COLLECTION



001
Terra Cotta



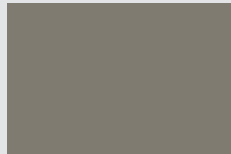
002
Colonial Red



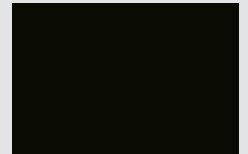
003
Burgundy



004
Slate Blue



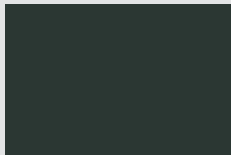
005
Slate Gray



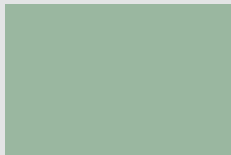
006
Matte Black



007
Dove Gray



008
Charcoal Gray



009
Aged Copper



010
Medium Bronze



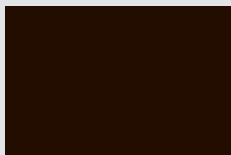
011
Dark Bronze



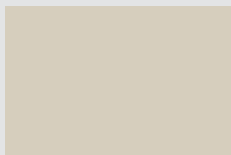
012
Sierra Tan



013
Buckskin



014
Mansard Brown



015
Sandstone



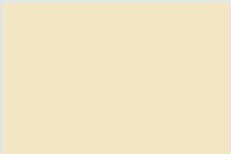
016
Patina Green



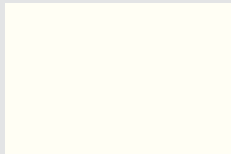
017
Tropical Patina



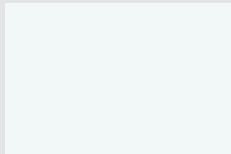
018
Evergreen



019
Almond



020
Solar White



021
Regal White

DM PREMIUM COLLECTION



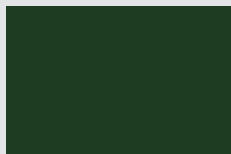
022
Regal Red



023
Regal Blue



024
Hemlock Green



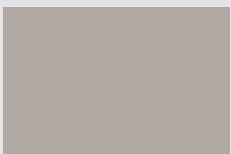
025
Hartford Green



026
Teal Blue



027
Island Blue



028
Ash Gray



DM METALLIC PREMIUM COLLECTION



029
Champagne



030
Prewheathered Galvalume



031
Copper Metallic



032
Silver Metallic

DM SPECIAL COLLECTION



033
Antique Metal Rust



034
Urban Slate



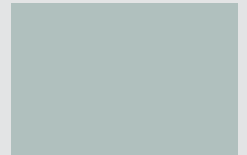
035
Vintage



036
Vintage Copper



037
Vintage Steel



038
Vintage Galvalume

DM NATURAL COLLECTION



039
AZ55 Acrylic Galvalume

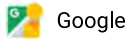
GALVALUME® steel sheet combines the excellent barrier corrosion protection of aluminum with the galvanic protection of zinc. The result is a coating that lasts a long time, provides cut-edge protection along sheared edges, and excellent protection to steel sheet.

Google Maps 3861 NW 100th Ave

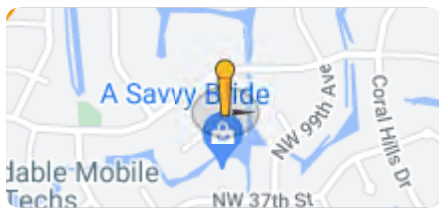


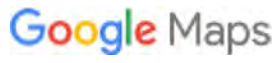
Image capture: Apr 2017 © 2022 Google

Coral Springs, Florida



Street View - Apr 2017





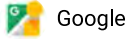
3868 NW 100th Ave

NEIGHBOR TO LEFT

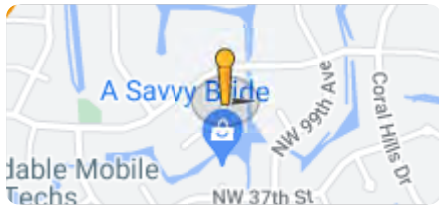


Image capture: Apr 2017 © 2022 Google

Coral Springs, Florida



Street View - Apr 2017



ITEM D
ARC22-0147
Metal Roof
(9833 NW 16th Street)



Architectural Review Committee (ARC) Application and Checklist for Homeowners

Applicant Name: Scott Behrje
Home Address: 9833 NW 16 ST
Neighborhood: Maplewood
Phone Number: 954-981-7663 Cell Number: _____
Email: permits@paulbangerroofing.com

The following is a list of materials to be submitted to the Community Development Division **no later than the last Friday of each month by 12:00 noon**. Upon determination of Staff that the applicant has submitted all required materials, the project will be scheduled for the next available ARC meeting.

REQUIRED MATERIALS

- ___ This homeowner review form with one paragraph stating the unique circumstances requiring colors or materials outside the color palette or design guidelines.
- ___ If a mid-block house, 2 photographs of house from street.
- ___ If a corner house, 4 photographs, including ones from second street.
- ___ Photograph(s) of adjacent house(s) to either side of the house in question.
- ___ For new paint colors, a drawing or marked-up photograph of the house showing the proposed location of new colors.
- ___ For new paint colors, actual paint sample or chips with City Color Palette Number written on back.
- ___ For a metal roof and other new materials, a small sample.
- ___ For a metal roof, actual paint samples or chips with City Color Palette Number written on back for all existing house colors.

AND

- ___ If new paint colors, a completed paint color application with desired colors.
- ___ If a metal roof, a completed metal roof application.

Verified as Complete by City Staff:

Name: Lindsey Gelman Date: 10/27/22 Project #: ARC22-0147

CITY OF CORAL SPRINGS, FLORIDA • COMMUNITY DEVELOPMENT DIVISION
9500 W Sample Road • Coral Springs, FL 33065 • CoralSprings.org
Phone 954-344-1160 • Fax 954-344-1181

REASON FOR EXCEPTION

Submit with ARC REVIEW for Homeowners

metal roof chosen to provide a more energy efficient roof also to provide a more longevity and durable roof for owners

Color compliments neighborhood and also the tone gray provides feelings of strength and provides a soothing feeling for owners who struggle with anxiety and stress. The color provides a sense of calmness and peace.



CORAL SPRINGS

EVERYTHING UNDER THE SUN

Paint Color Application

Owner/Applicant Information

Date Filed: 10/1/22 Owner/Applicant Name(s) Scott Behrje

Address: 9833 NW 16 ST Coral Springs, FL 33071 ZIP CODE

Telephone: 954-9817663 E-mail: permits@paulbangerroofing.com

Subdivision/Complex Name: MAPLEWOOD

Owner/Applicant's Signature: 

Homeowner Association? Yes No **If Yes, please consult with your HOA for their approval.**

CHECK ONE:

- SINGLE FAMILY
 SEMI-ATTACHED
 *MULTI-FAMILY
 DUPLEX
 THREE & FOURPLEX
 *COMMERCIAL/INDUSTRIAL

*For Existing Multi-Family, Commercial and Industrial buildings, photographs (in JPEG file) of the building and any adjacent buildings are required with the application submittal.

PAINT COLORS

Paint Distribution	City's Paint Code (Example: 70YR 57/070)	Your Paint Brand Name (Example: Sherwin-Williams)	Your Paint Brand Code and Color Name (Example: SW6099 Sand Dollar)
Base Color	WHITE	Sherwin-Williams	Existing- SW7006 Extra White
Secondary (Max. 25% of wall surface)			
Trim (Contrast with base)	70YR 25/106	Sherwin-Williams	Existing-SW6067 Mocha
Roofs		Coatsal Metal Roofing	Charcoal Gray
Wall			
Garage Door			
Front Door			
Other: _____			

If you're hiring someone to do the work:

Company Name: Paul Bange Roofing Telephone: 954-981-7663

Contractor's Name (print): Paul Bange.

PAINTING SHALL BE COMPLETED WITHIN SIXTY (60) DAYS FROM APPROVAL DATE

(Office Use Only)

Community Development Approval:

Approved by: 


Date: 10/27/22

COLOR CHARTS

STANDARD COATINGS

			
TERRA COTTA	REGAL RED	BURGUNDY	SLATE BLUE
			
MATTE BLACK	CHARCOAL GRAY	DOVE GRAY	SLATE GRAY
			
DARK BRONZE	MANSARD BROWN	MEDIUM BRONZE	BUCKSKIN
			
FOREST GREEN	AGED COPPER	PATINA GREEN	TROPICAL PATINA
			
SIERRA TAN	SANDSTONE	ALMOND	BONE WHITE
			
REGAL WHITE	GALVALUME [®] ACRYLIC-COATED		

PREMIUM COATINGS

	
REGAL RED	REGAL BLUE
	
HEMLOCK GREEN	HARTFORD GREEN
	
CHAMPAGNE METALLIC	COPPER METALLIC
	
SILVER METALLIC	PRE-WEATHERED











9875 NW 16th St

Exit Street view

© 2022 Google
© USFWS

Google Earth









ITEM E

ARC22-0117

Cornerstone - North Block

(3300 University Drive)

October 27, 2022

Cornerstone Mixed Use at Coral Springs

Downtown Coral Springs

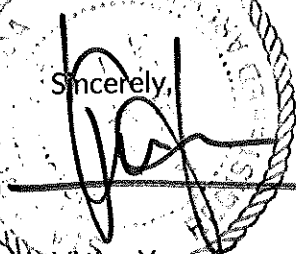
Design narrative

The proposed development is located on a 7.09-acre parcel at the southwest corner of the intersection of University Drive and West Sample Road. The property is zoned Downtown Mixed Use (DT-MU) – Mid-Rise (MR). The proposed redevelopment includes an active private Main Street with on street parallel parking and 15 feet wide pedestrian walkways and active uses connecting University Drive and NW 94th Avenue dividing the property into a North Block and a South Block that is currently under construction.

The North Block, Phase II of the development, will consist of an 8-story residential building with 361 dwelling units including a parking garage with 771 spaces, and 23,696 SF of ground level retail and restaurant space. Access to the parking garage is provided from West Sample Road and the Main Street.

The project is designed to maximize habitable space on street frontages with most of the building service areas internalized as much as possible. The garage is lined with residential lobbies, active uses, retail and restaurants space on ground floor on West Sample Road, University Drive and the Main Street, and residential units on all floors above on all sides. Required ventilation openings and the presence of a garage on the west elevation are disguised with simulated window openings and balconies. Three internal courtyards with a swimming pool and amenities are provided for the residents. A sunset terrace is located on the 8th floor facing the existing City Hall.

The Massing of the building is broken down with building recesses, projected balconies, awnings, vertical fins, moldings, change of texture and finishes, varying parapet height with articulation of building forms as Base, Body and Cap, and individual building forms distinguished and reinforced by color changes intended to relate to the Phase I building while establishing its own identity.

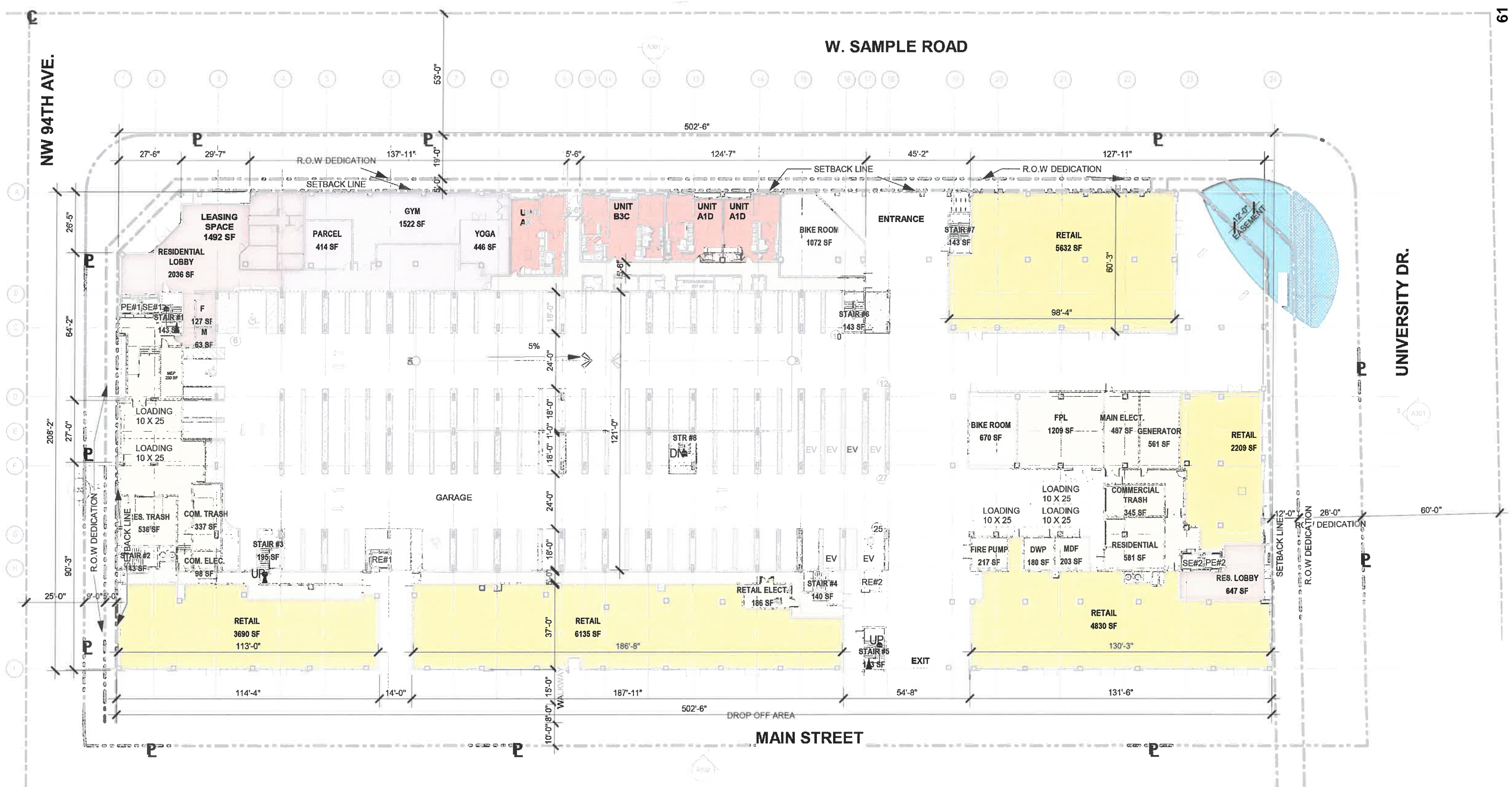
Sincerely,

 Victor Yue



ILLUSTRATIVE SITE PLAN
CORNERSTONE DOWNTOWN
 CORAL SPRINGS, FLORIDA



ILLUSTRATIVE SITE PLAN
CORNERSTONE DOWNTOWN
 CORAL SPRINGS, FLORIDA



LEGEND

 RETAIL	 BACK OF HOUSE	 AMENITY	 STORAGE
 CORRIDOR	 RESIDENTIAL LOBBY	 RESIDENTIAL	

GROUND LEVEL PARKING COUNT: 112 PARKING SPACES

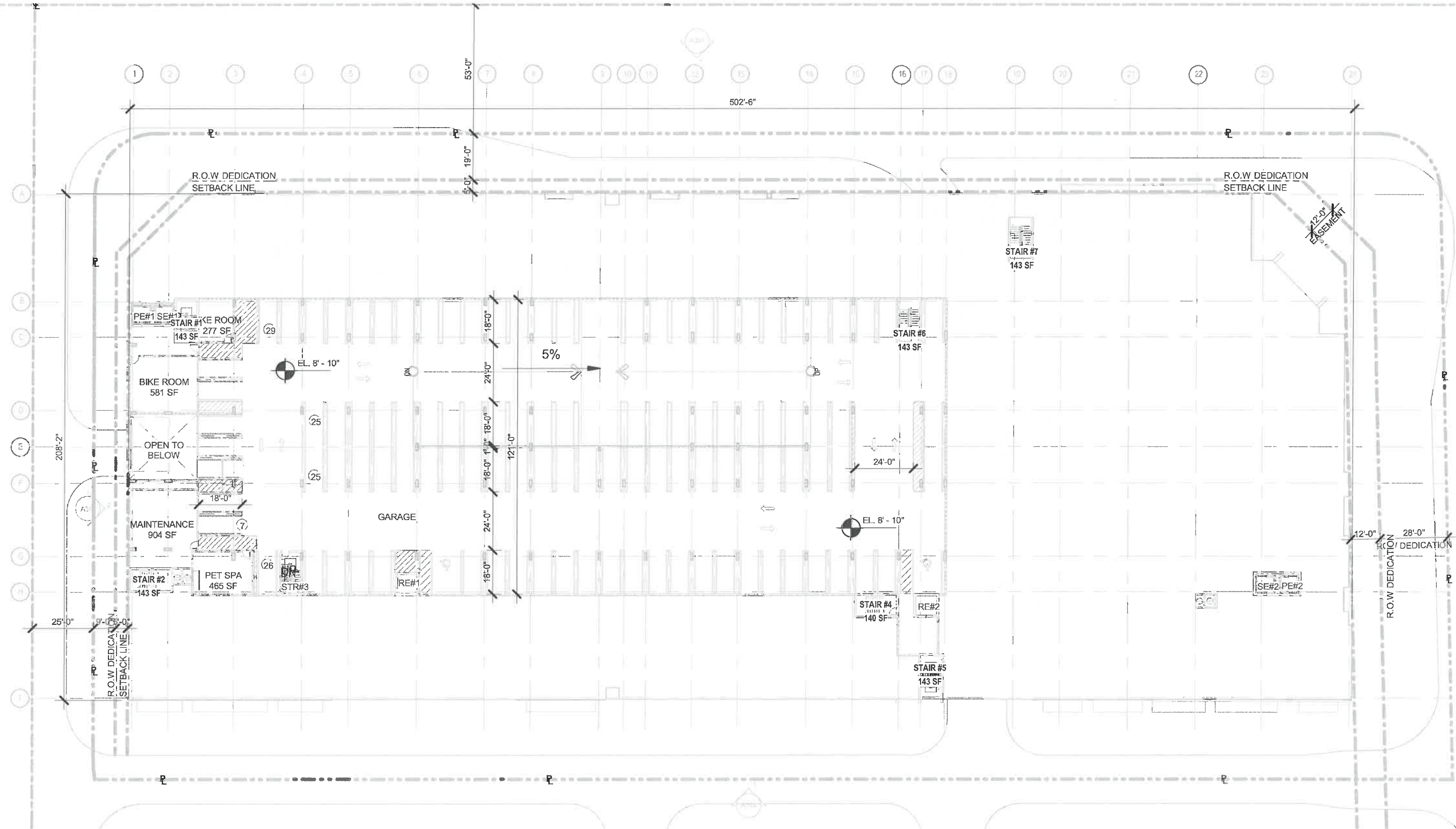
NOTE:
ALL RETAIL WINDOWS AT THIS LEVEL SHOULD BE CLEAR.



1
A-101

GROUND FLOOR - OVERALL BUILDING PLAN

1" = 40'-0"



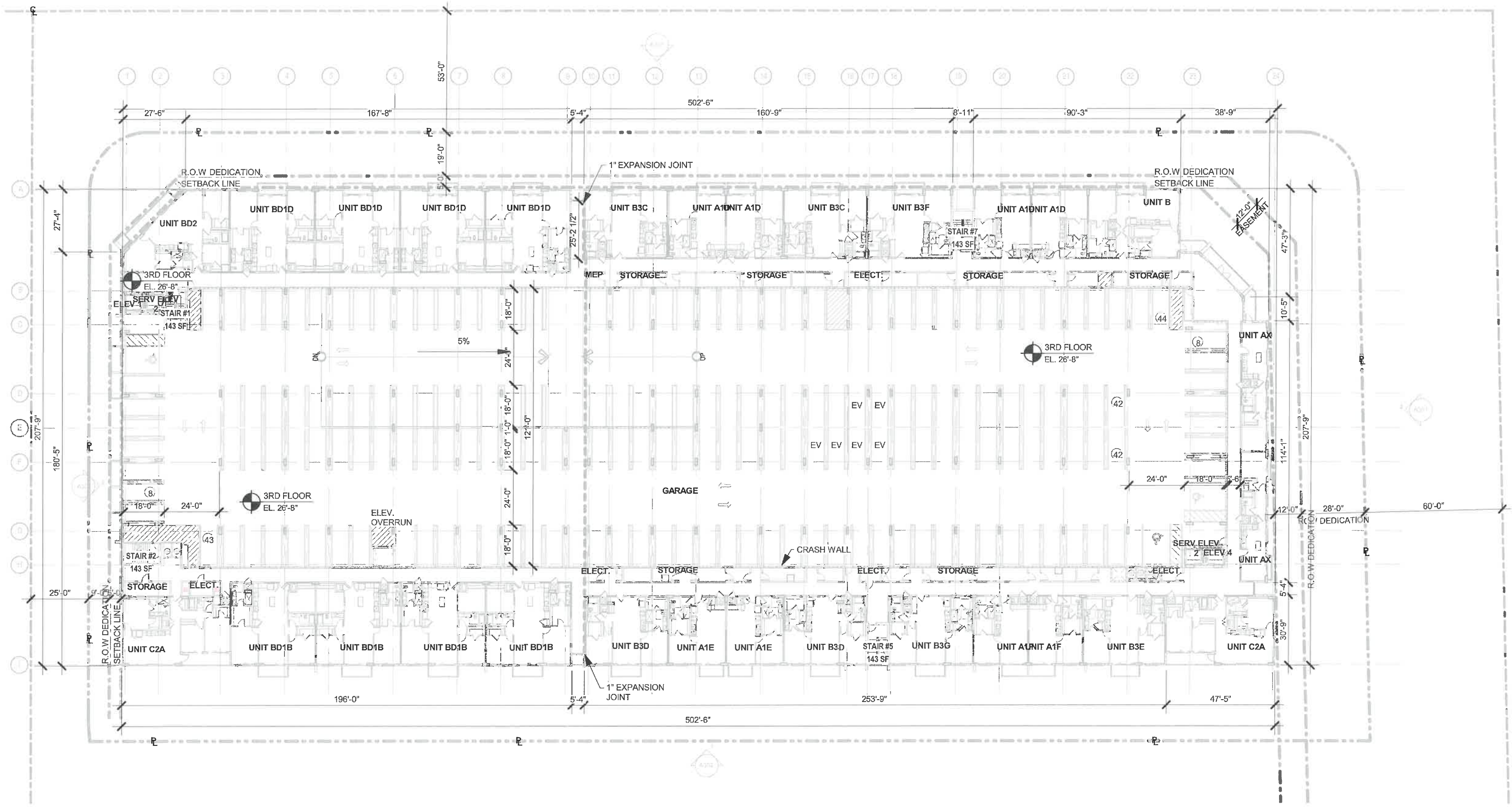
MEZZANINE LEVEL PARKING COUNT: 112 PARKING SPACES



1
A-102

MEZZANINE LEVEL - OVERALL BUILDING PLAN

1" = 40'-0"



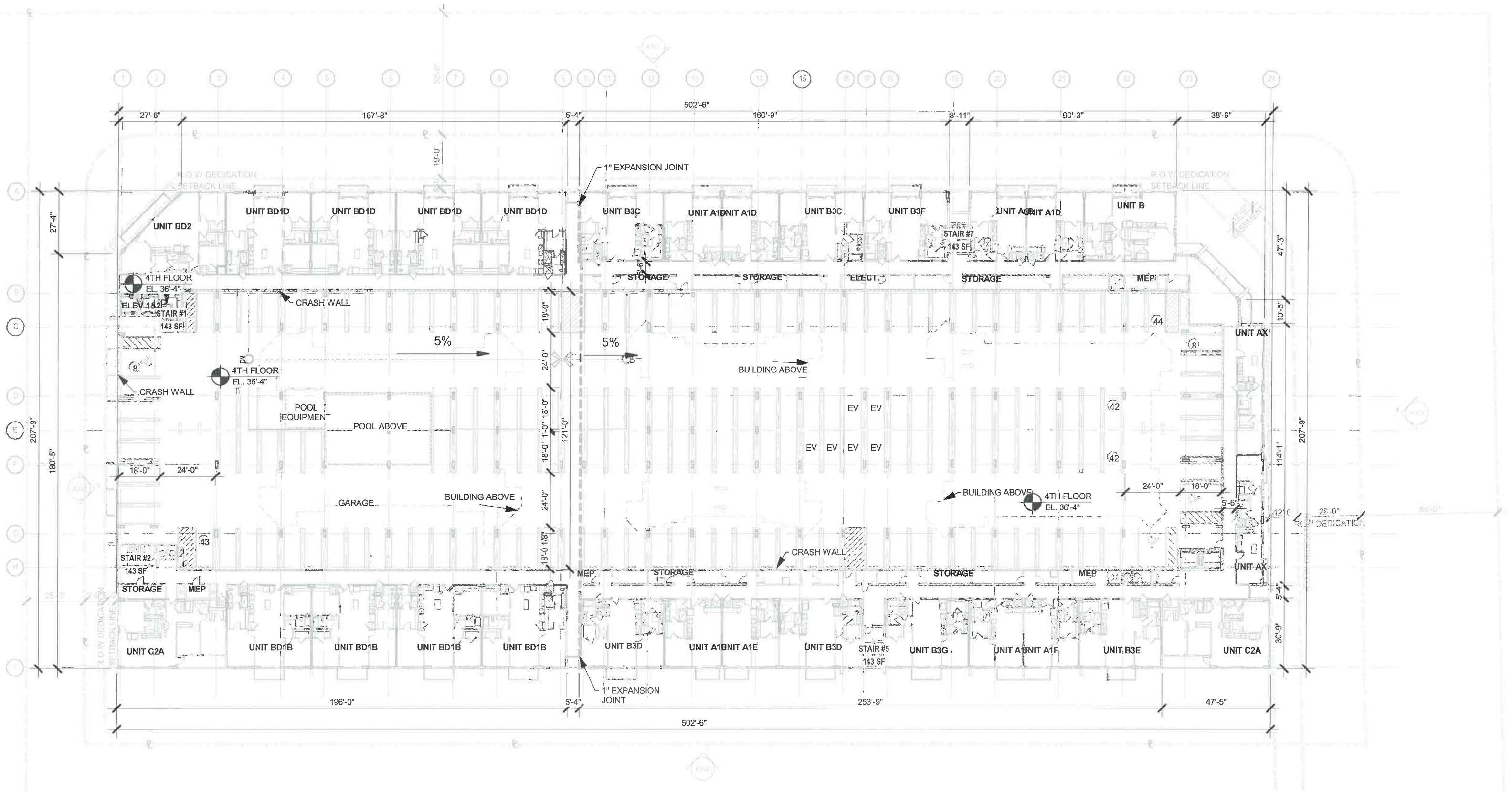
3RD LEVEL PARKING COUNT: 188 PARKING SPACES



1
A-104

3RD FLOOR - OVERALL BUILDING PLAN

1" = 40'-0"



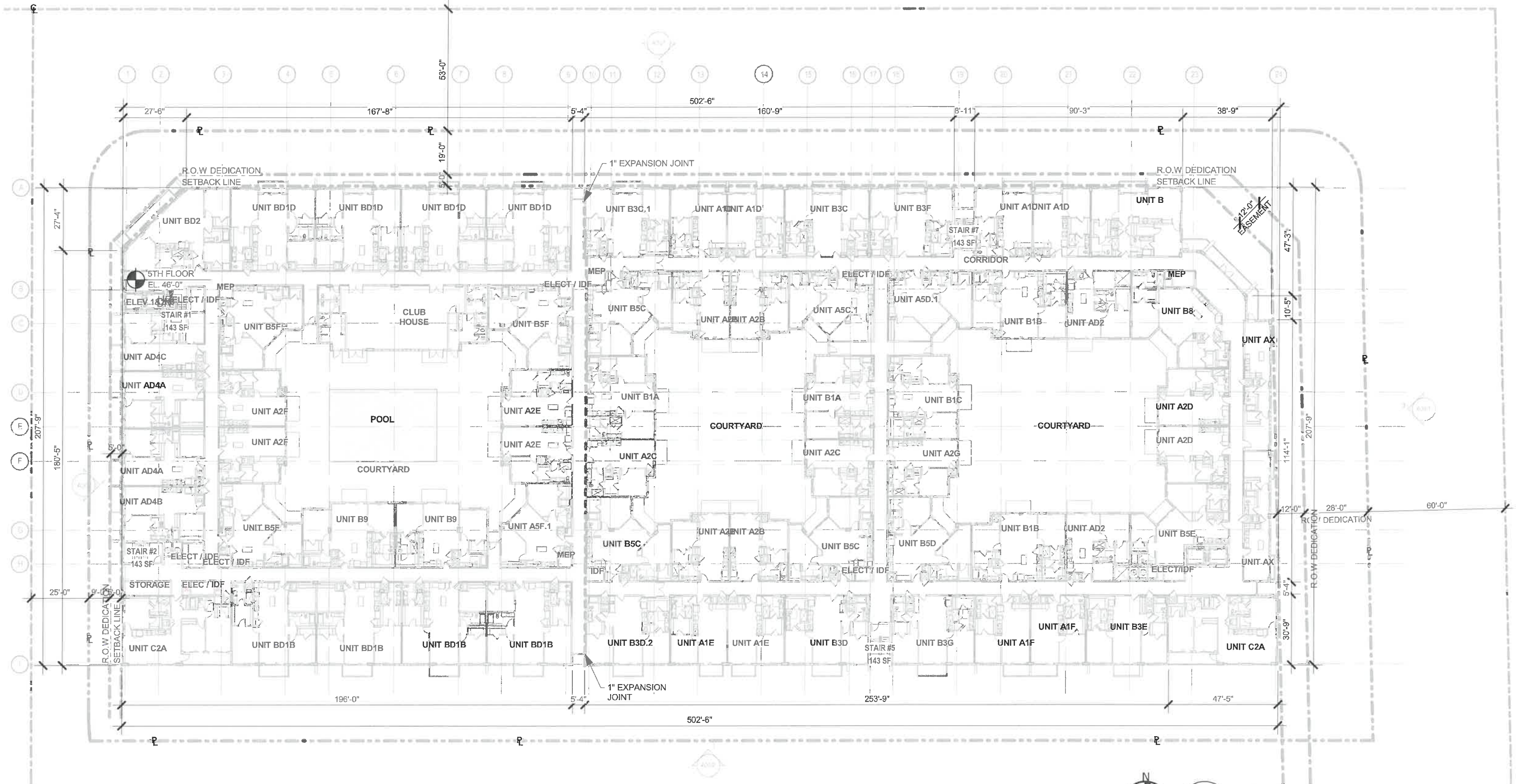
4TH LEVEL PARKING COUNT: 150 PARKING SPACES



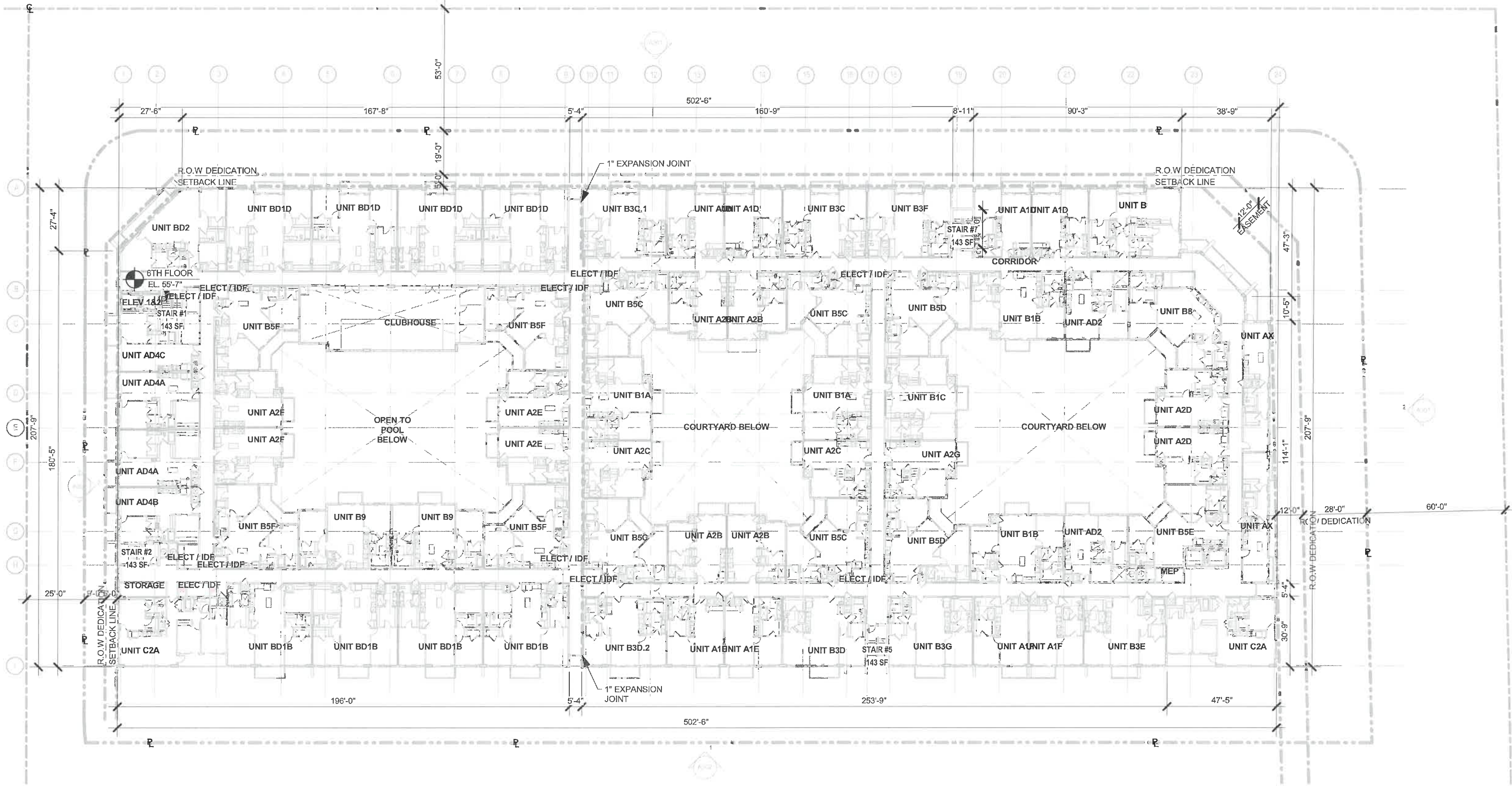
1
A-105

4TH FLOOR - OVERALL BUILDING PLAN

1" = 40'-0"



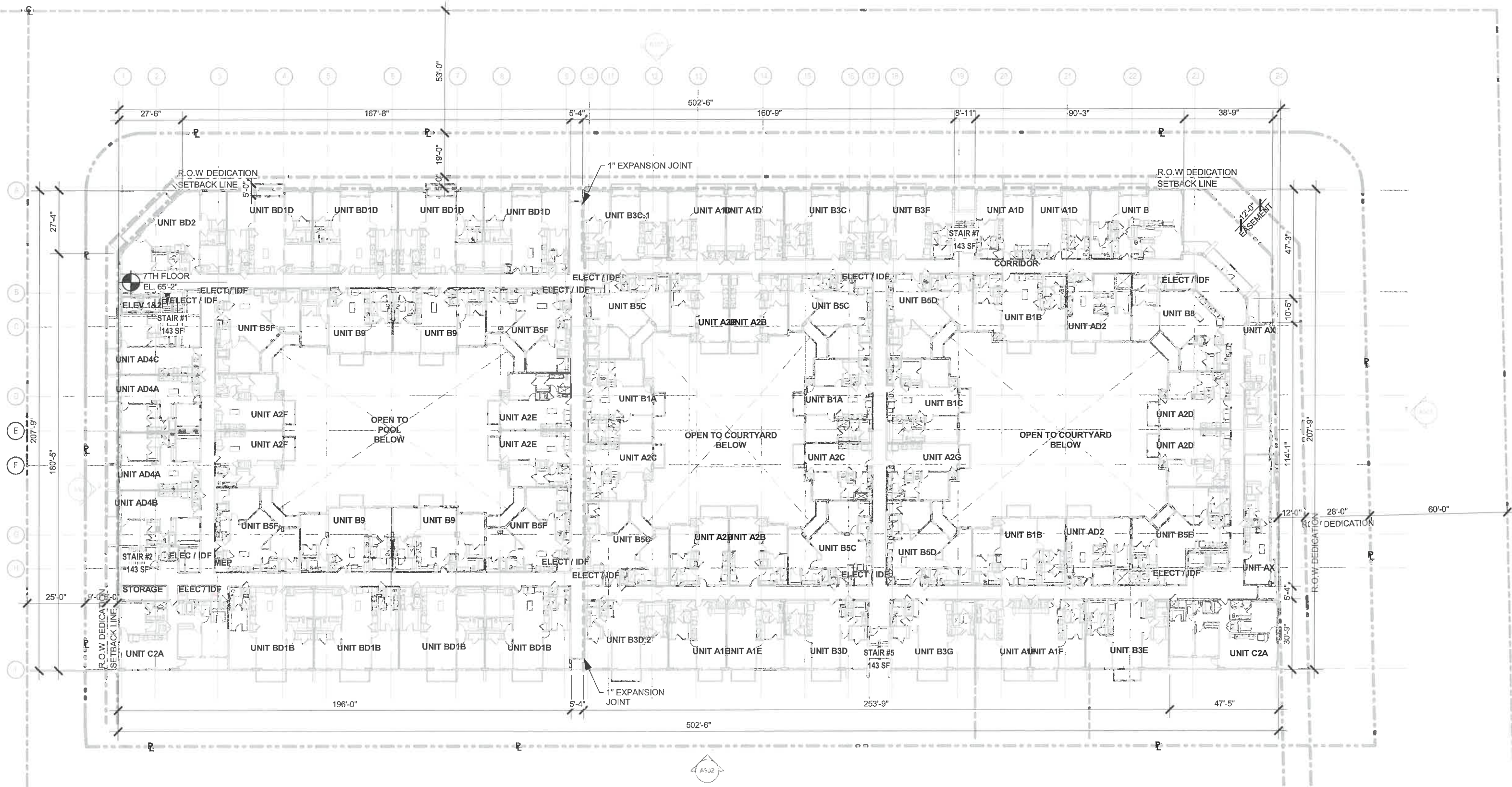
1
A-106
5TH FLOOR - OVERALL BUILDING PLAN
1" = 40'-0"



1
A-107

6TH FLOOR - OVERALL BUILDING PLAN

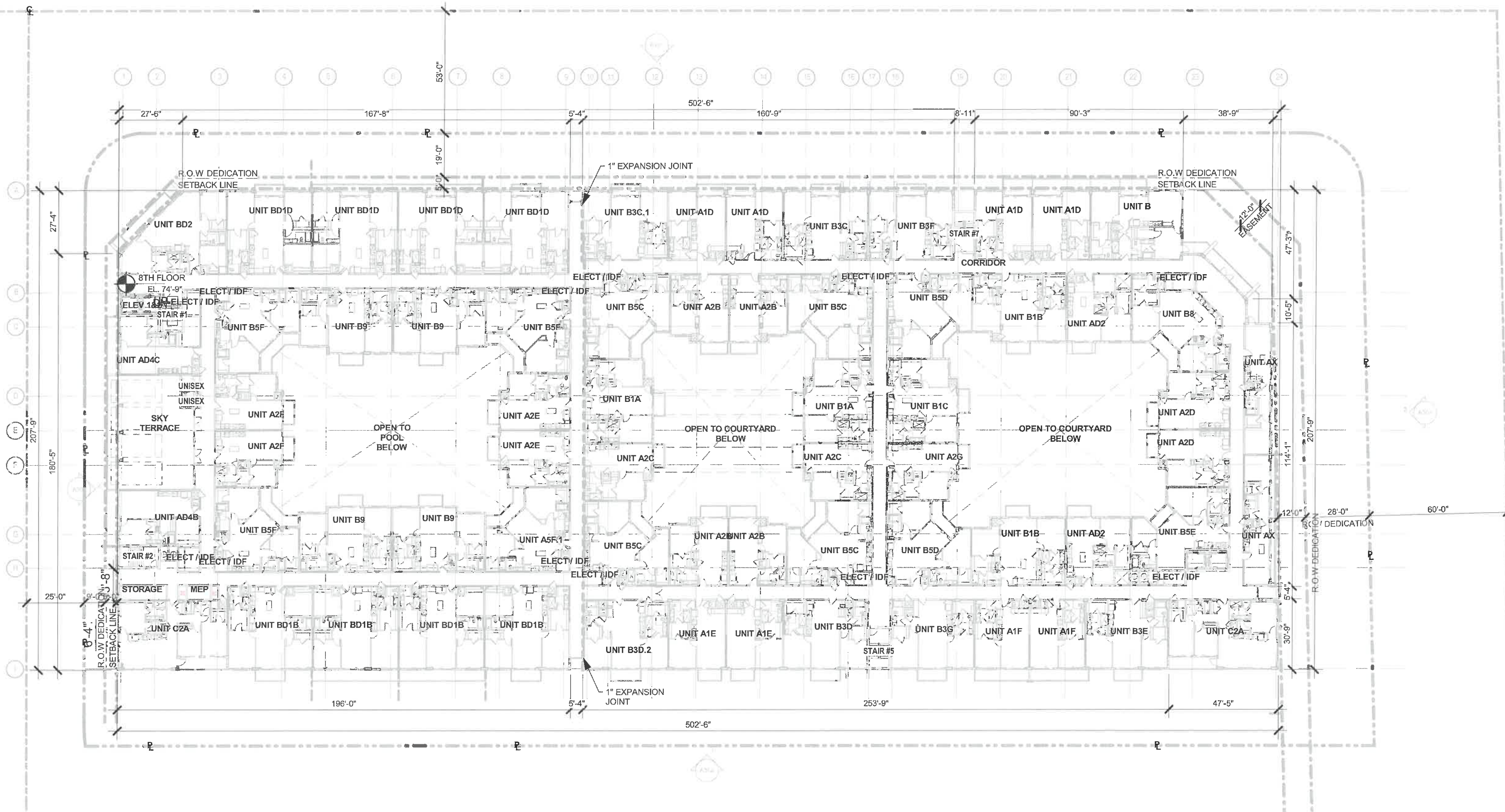
1" = 40'-0"



1
A-108

7TH FLOOR - OVERALL BUILDING PLAN

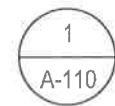
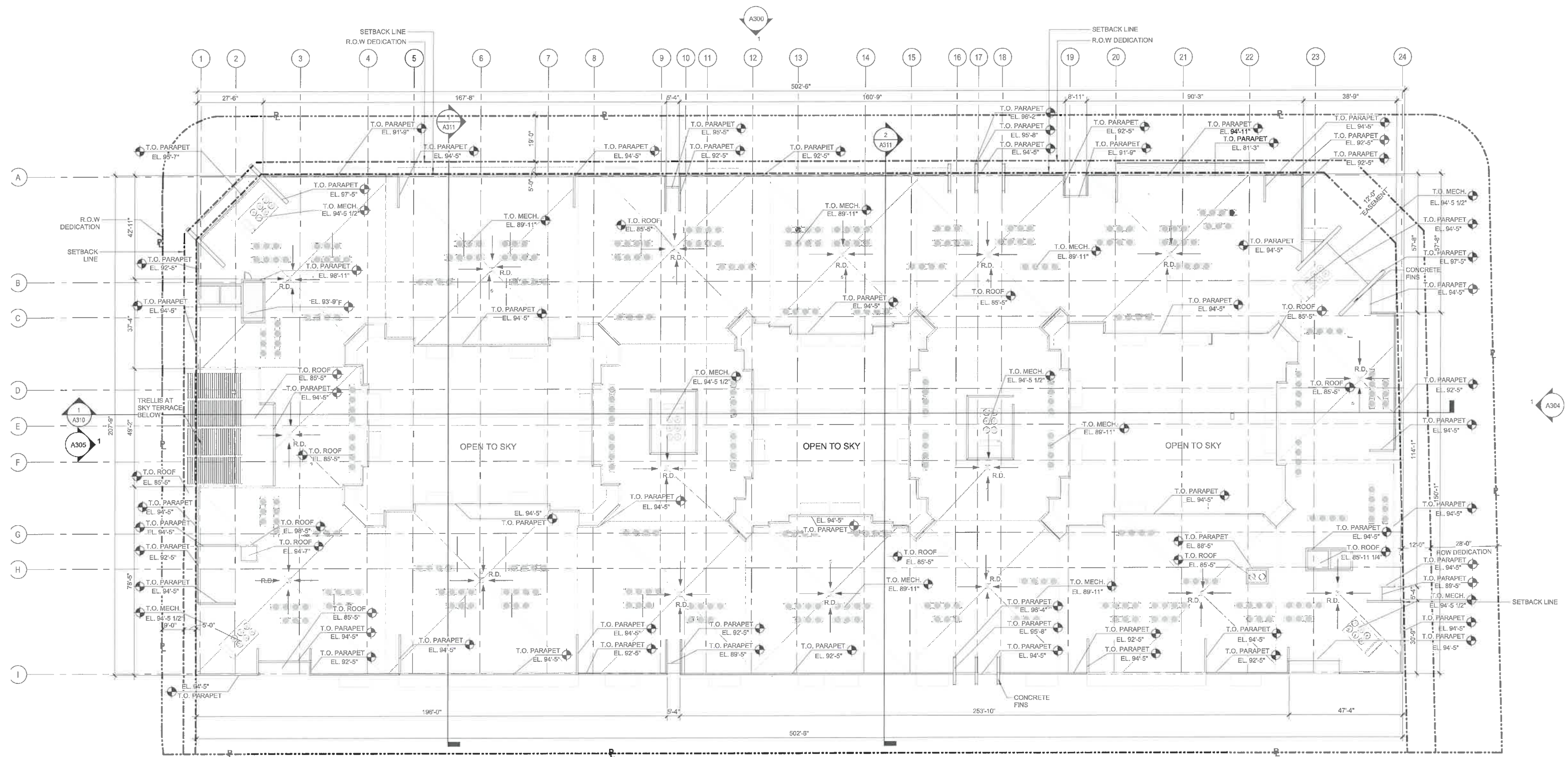
1" = 40'-0"



1
A-109

8TH FLOOR OVERALL PLAN

1" = 40'-0"



1 ROOF LEVEL

1" = 40'-0"



1 NORTH ELEVATION
A301 1" = 20'-0"



2 EAST ELEVATION
A301 1" = 20'-0"

KEY NOTES:

1A STUCCO FINISH (WHITE)	1F STUCCO FINISH (BROWN)	6 IMPACT RESISTANT FIXED WINDOW (BLUE-GREEN GLAZING)	19 ADDRESS IDENTIFICATION/ 4" MIN - 9" MAX HIGH LETTERS PER CODE
1B STUCCO FINISH (LIGHT GREEN)	2 CONTROL JOINT	7 ALUMINUM GUARDRAIL	
1C STUCCO FINISH (CHARCOAL GRAY)	3 IMPACT RESISTANT STOREFRONT SYSTEM (CLEAR GLAZING)	8 DECORATIVE EIFS EXTRUSION	
1D SCORED STUCCO FINISH (BROWN)	4 IMPACT RESISTANT SLIDING GLASS DOOR (BLUE-GREEN GLAZING)	9 FUTURE BUILDING SIGN	
1E STUCCO FINISH (ELEPHANT GRAY)	5 IMPACT RESISTANT WINDOW (BLUE-GREEN GLAZING)	10 FABRIC AWNING	



1 SOUTH ELEVATION
A302 1" = 20'-0"



2 WEST ELEVATION
A302 1" = 20'-0"

KEY NOTES:

1A) STUCCO FINISH (WHITE)	1F) STUCCO FINISH (BROWN)	6) IMPACT RESISTANT FIXED WINDOW (BLUE-GREEN GLAZING)	19) ADDRESS IDENTIFICATION/ 4" MIN - 9" MAX HIGH LETTERS PER CODE
1B) STUCCO FINISH (LIGHT GREEN)	2) CONTROL JOINT	7) ALUMINUM GUARDRAIL	
1C) STUCCO FINISH (CHARCOAL GRAY)	3) IMPACT RESISTANT STOREFRONT SYSTEM (CLEAR GLAZING)	8) DECORATIVE EIFS EXTRUSION	
1D) SCORED STUCCO FINISH (BROWN)	4) IMPACT RESISTANT SLIDING GLASS DOOR (BLUE-GREEN GLAZING)	9) FUTURE BUILDING SIGN	
1E) STUCCO FINISH (ELEPHANT GRAY)	5) IMPACT RESISTANT WINDOW (BLUE-GREEN GLAZING)	10) FABRIC AWNING	



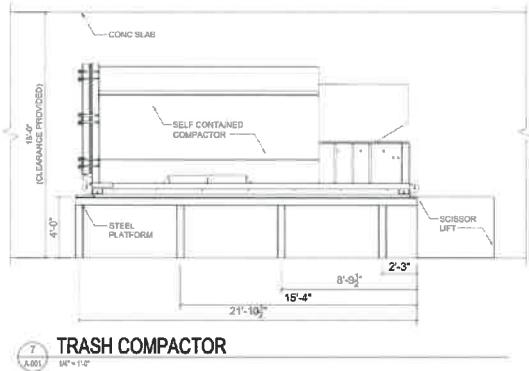












TRASH COMPACTOR

PROPOSED SOUTH BLOCK SOLID WASTE AND RECYCLING PLAN

1. Residential units (261 units) will be served with 4 trash chutes (2 solid waste + 2 recycle) which terminate at enclosed trash rooms on ground level. Total of 4 compactors will be provided (Wilkinson 16-Flute Model 400-C5). The rooms are provided with total of 20-2cy containers.
2. Per calculations below, residential units could produce total of 151.36 CY per week. Based on below a weekly pickup schedule, solid waste service will be for 75.68 CY.
3. Retail (potential restaurant) and hotel use will be serviced by one Accu-Pak vertical compactor and one 30 CY self-contained compactor.
4. Commercial waste will be consolidated at the loading zone for pickup. The service, loading and unloading will be coordinated and actively managed by the property management company.
5. Dockmaster will be actively coordinating the local traffic during collection service.
6. Maintenance staff will be in charge of clearing the area after the garbage discharge is finished.

Estimated Waste Loads - Residential

- Solid Waste (per chute)**
1. 176 units are estimated to produce 76.88 cubic yards (CY) of solid waste per week.
 2. Given the Specified Wilkinson model 400 2 CY Compactor Unit, with a ratio of 4 the estimate waste will result in 15.32 CY.
 3. 2 CY containers shall be provided which will result in 5 containers before a week.
 4. Therefore ten (5) containers picked up twice a week.

Recyclables (per chute)

1. The following materials shall be separated for recycling: Plastics #1-7, aluminum, cardboard, glass, paper, metal, steel and tin cans.
2. Each unit is estimated to produce 0.5 CY of recyclables per month.
3. Total monthly residential recyclables is estimated to be 176 units (per chute) x 0.5, or 88 CY.
4. Given the Specified Wilkinson model 400 2 CY Compactor Unit, with a ratio of 4 the estimate waste will result in 22 CY.
5. 2 CY containers shall be provided which will result in 11 containers per month.
6. Therefore two (2) containers picked up twice a week.

PROPOSED NORTH BLOCK SOLID WASTE RECYCLING PLAN

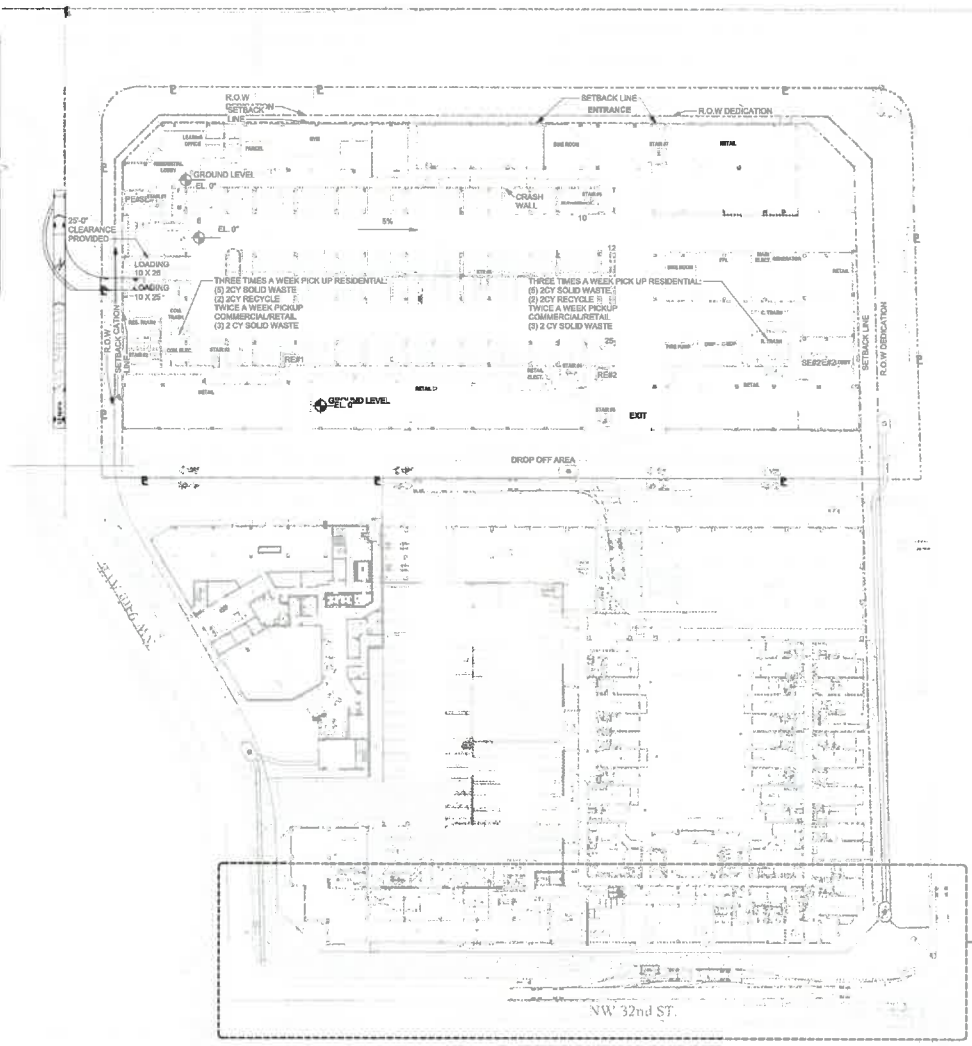
1. Residential units (261 units) will be served with 4 trash chutes (2 solid waste + 2 recycle) which terminate at enclosed trash room on ground level. Total of 4 compactors will be provided (Wilkinson 16-Flute Model 400-C5). The rooms are provided with total of 8-2cy containers.
2. Per calculations below, North block could produce total of 155.23 CY per week. Based on below a weekly pickup schedule, North block solid waste service will be for 77.62 CY.
3. Retail (potential restaurant) uses will be served with 2 Accu-Pak Vertical compactors.
4. Waste on the east side will be transferred to the loading zone on the west side for pickup. The service, loading, and unloading will be coordinated and actively managed by the property management company.
5. Commercial waste will be consolidated at the loading zone for pickup. The service, loading and unloading will be coordinated and actively managed by the property management company.
6. Dockmaster will be actively coordinating the local traffic during collection service.
7. Maintenance staff will be in charge of clearing the area after the garbage discharge is finished.

Estimated Waste Loads - Residential

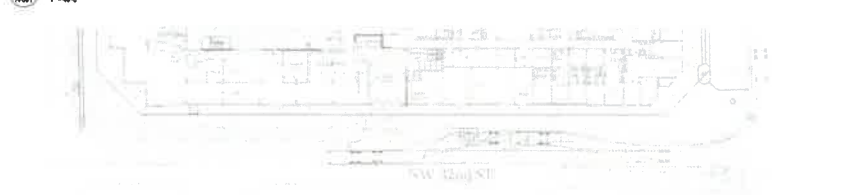
- Solid Waste (per chute)**
1. 361 units are estimated to produce 155.23 cubic yards (CY) of solid waste per week.
 2. Given the Specified Wilkinson model 400 2 CY Compactor Unit, with a ratio of 3 the estimate waste will result in 51.69 CY.
 3. 2 CY containers shall be provided which will result in 5 containers three times a week.
 4. Therefore ten (5) containers picked up three times a week.

Recyclables (per chute)

1. The following materials shall be separated for recycling: Plastics #1-7, aluminum, cardboard, glass, paper, metal, steel and tin cans.
2. Each unit is estimated to produce 0.5 CY of recyclables per month.
3. Total monthly residential recyclables is estimated to be 181 units (per chute) x 0.5, or 90.5 CY.
4. Given the Specified Wilkinson model 400 2 CY Compactor Unit, with a ratio of 3 the estimate waste will result in 30.2 CY.
5. 2 CY containers shall be provided which will result in 15 containers per month.
6. Therefore three (2) containers will be picked up twice a week.

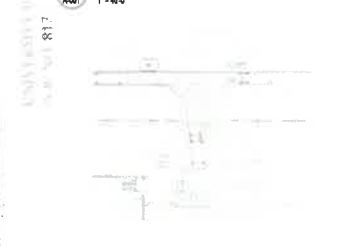


1 OVERALL WASTE PICK-UP GROUND FLOOR PLAN - TRUCK INGRESS



5 WASTE TRUCK EGRESS PATH

2 WASTE TRUCK EGRESS PATH



3 WASTE TRUCK EGRESS PATH



4 WASTE TRUCK EGRESS PATH



WASTE STREAM	GENERATION RATES	SERVICE UNITS	RECYCLING	RECYCLING	AREA (SQ. FT.)	CY PER WEEK		COMPACTION RATE	ACTUAL ESTIMATION
						Waste	Recycle		
Commercial	1000 cfs/yr	1000	1000	1000	1000	1000	1000	1000	1000
Residential	1000 cfs/yr	1000	1000	1000	1000	1000	1000	1000	1000

CY = cubic yards
 1000 cfs/yr = 1000 cubic feet per year



REVISIONS		
No.	Date	Description

DORSKY YUE
 ARCHITECTURE

CORNERSTONE NORTHBLOCK
 CORAL SPRINGS, FLORIDA
 MILLCREEK RESIDENTIAL

WASTE PICK-UP EXHIBIT
 Project: DYP2021-00
 Design by: Author
 Checked by: 10/21/22
 Date: 10/21/22

A001



REVISIONS		
No.	Date	Description

DORSKY + YUE
ARCHITECTURE

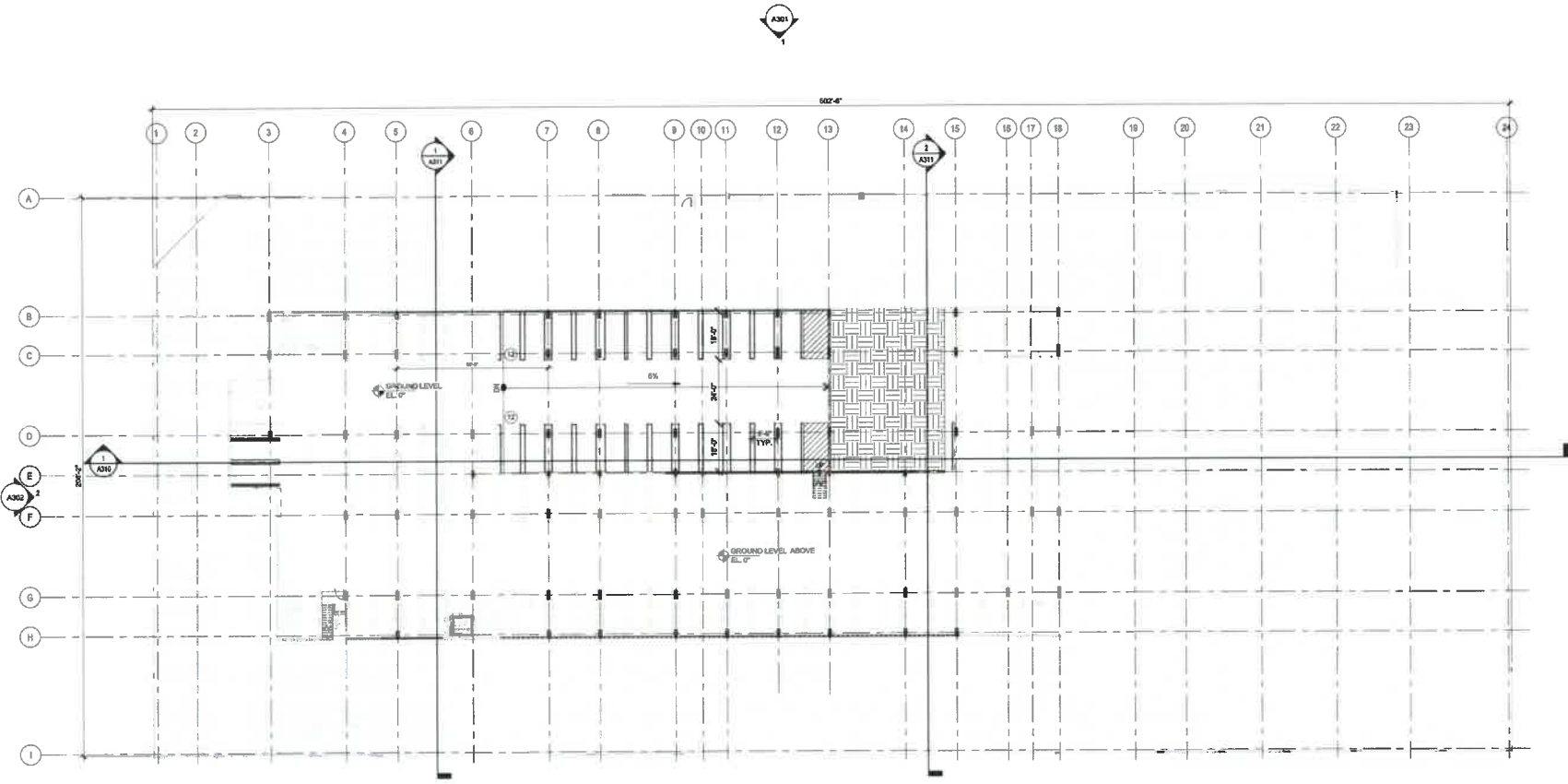
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

MILLCREEK RESIDENTIAL
ALL RIGHTS RESERVED

LOWER PARKING LEVEL

Project No: D7202140
 Drawn by: Author
 Checked by: Author
 Date: 07/29/22

A100b



LOWER PARKING LEVEL
1" = 20'-0"

LOWER LEVEL PARKING COUNT: 24 PARKING SPACES



REVISIONS		
No.	Date	Description

DORSKY + YUE
ARCHITECTURE

CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

HILLCREEK RESIDENTIAL

**GROUND FLOOR
OVERALL PLAN**

Project: 072021-00
Drawn by: AC/GZ
Checked by: Gds
Date: 08/26/2021
ALL RIGHTS RESERVED

A101

W. SAMPLE ROAD

UNIVERSITY DR.

NW 94TH AVE.

MAIN STREET



GROUND FLOOR - OVERALL BUILDING PLAN

GROUND LEVEL PARKING COUNT: 112 PARKING SPACES



AA 26902045
REVISIONS
 No. Date Description

DORSKY + YUE
 ARCHITECTURE

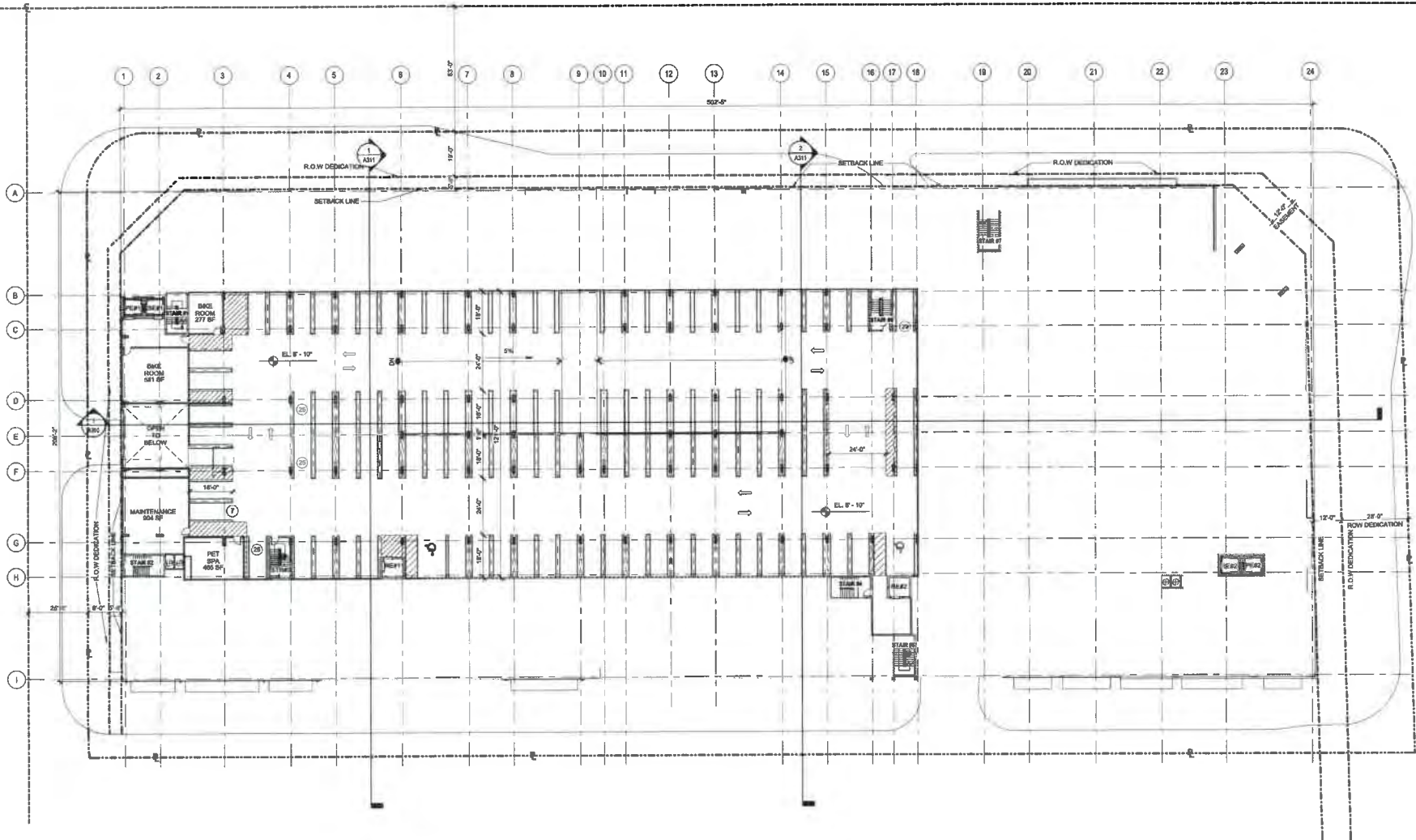
CORNERSTONE NORTHBLOCK
 CORAL SPRINGS, FLORIDA

MILLCREEK RESIDENTIAL
 ALL RIGHTS RESERVED

**MEZZANINE FLOOR
 OVERALL PLAN**

Project: DY2021.00
 Drawn by: Author
 Checked by: Author
 Date: 08/17/22

A101m



MEZZANINE LEVEL - OVERALL BUILDING PLAN
 1" = 20'-0"

MEZZANINE LEVEL PARKING COUNT: 112 PARKING SPACES



REVISIONS		
No.	Date	Description

DORSKY + YUE
ARCHITECTURE

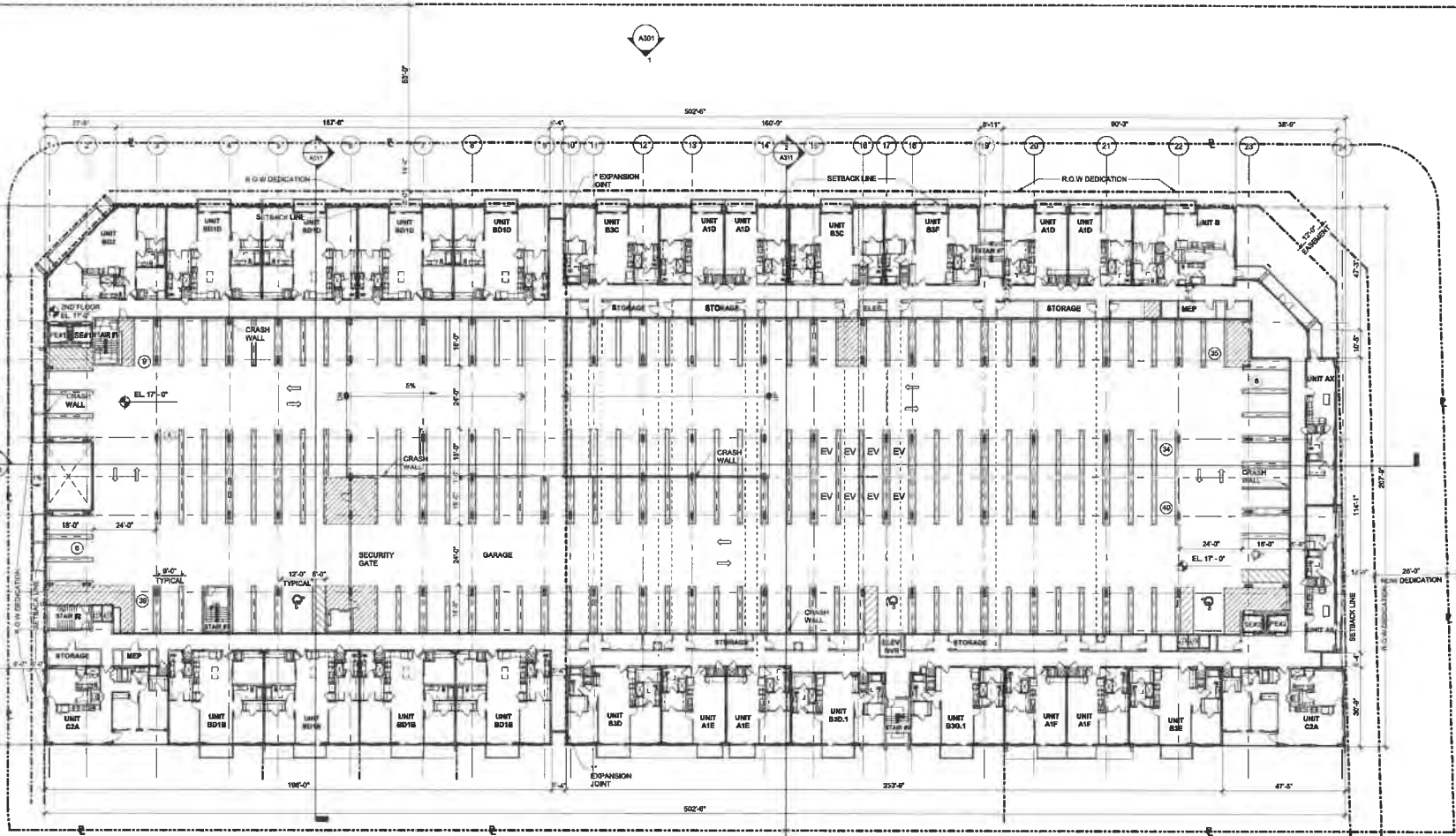
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

MILLCREEK RESIDENTIAL

2ND FLOOR - OVERALL
BUILDING PLAN

Project Number: DY202140
Drawn by: _____
Checked by: _____
Date: 07/20/2021

A102



2ND FLOOR - OVERALL BUILDING PLAN
1 A102 1" = 32'-0"

2ND LEVEL PARKING COUNT: 185 PARKING SPACES



REVISIONS		
No.	Date	Description

DORSKY + YUE
ARCHITECTURE

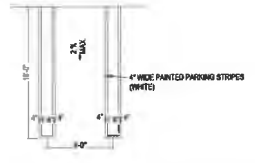
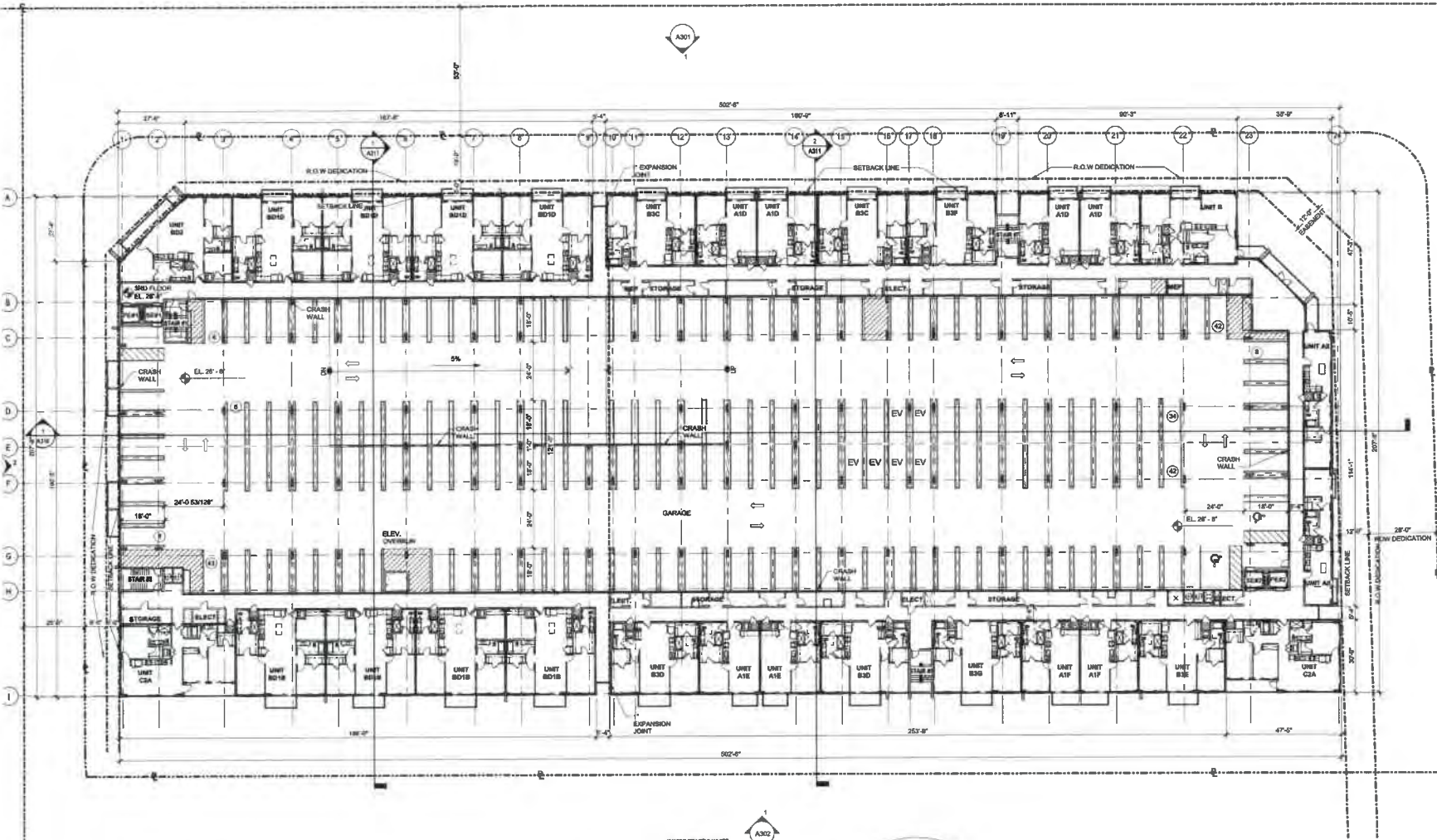
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

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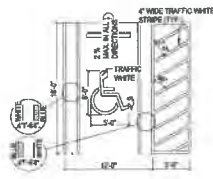
3RD FLOOR - OVERALL
BUILDING PLAN

Project Number: D/202140
Created by: KZ/TS
Checked by: [blank]
Date: 11/12/2021

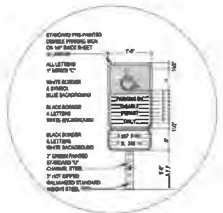
A103



2 DETAIL - TYPICAL PARKING STALL
1/4" = 1'-0"



3 DETAIL - HANDICAP PARKING STALL
1/4" = 1'-0"



1 3RD FLOOR - OVERALL BUILDING PLAN
1" = 32'-0"

3RD LEVEL PARKING COUNT: 188 PARKING SPACES



AA 2882045
REVISIONS
No. Date Description

DORSKY + YUE
ARCHITECTURE

CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

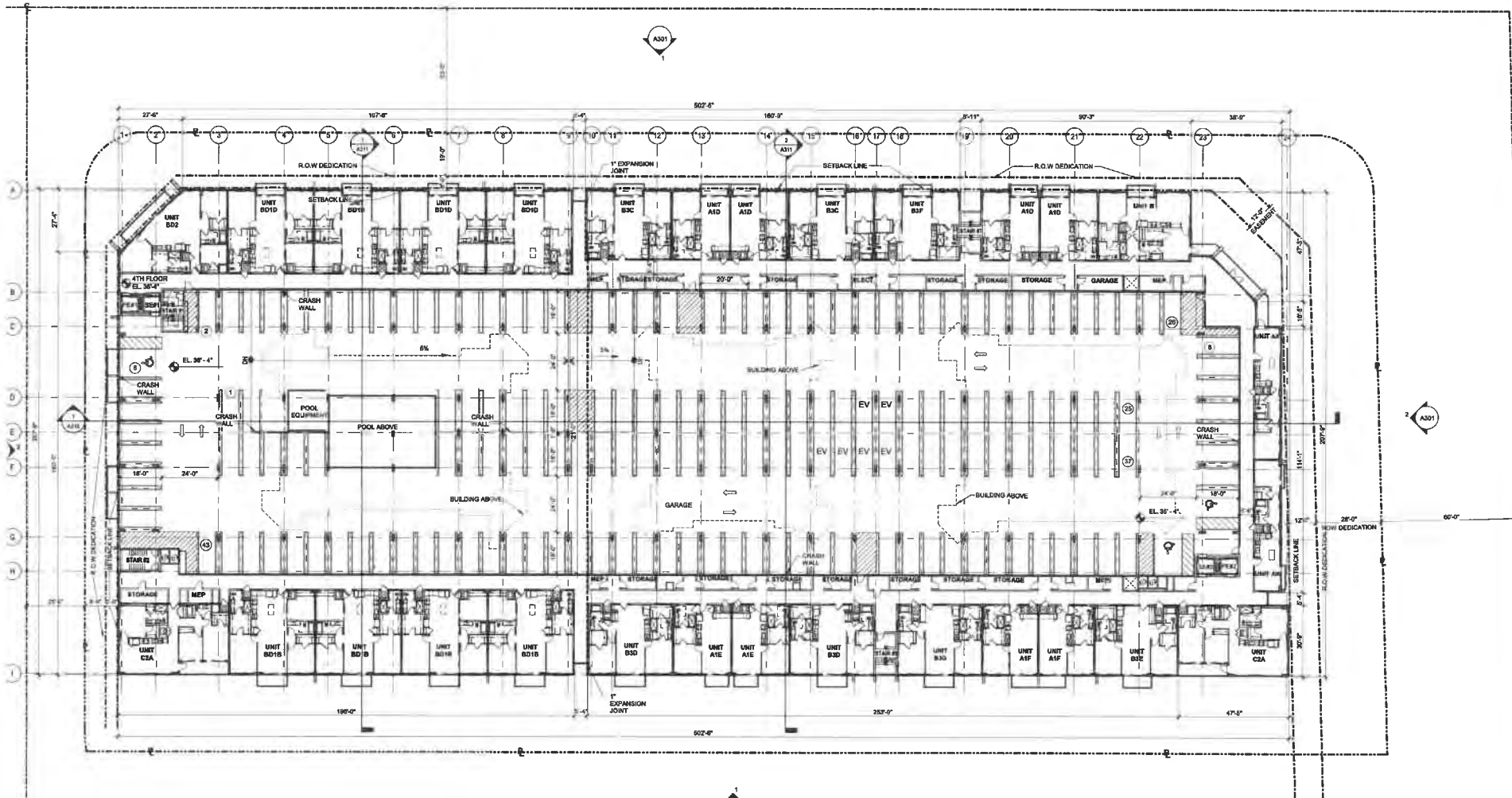
MILLCREEK RESIDENTIAL

ALL RIGHTS RESERVED

4TH FLOOR - OVERALL
BUILDING PLAN

Project number: D/202140
Drawn by: KZ/TJS
Checked by: Date: 11/12/2021

A104



4TH FLOOR - OVERALL BUILDING PLAN
1
A104
1" = 32'-0"

4TH LEVEL PARKING COUNT: 150 PARKING SPACES



AA 2682043
 REVISIONS
 No. Date Description

DORSKY + YUE
 ARCHITECTURE

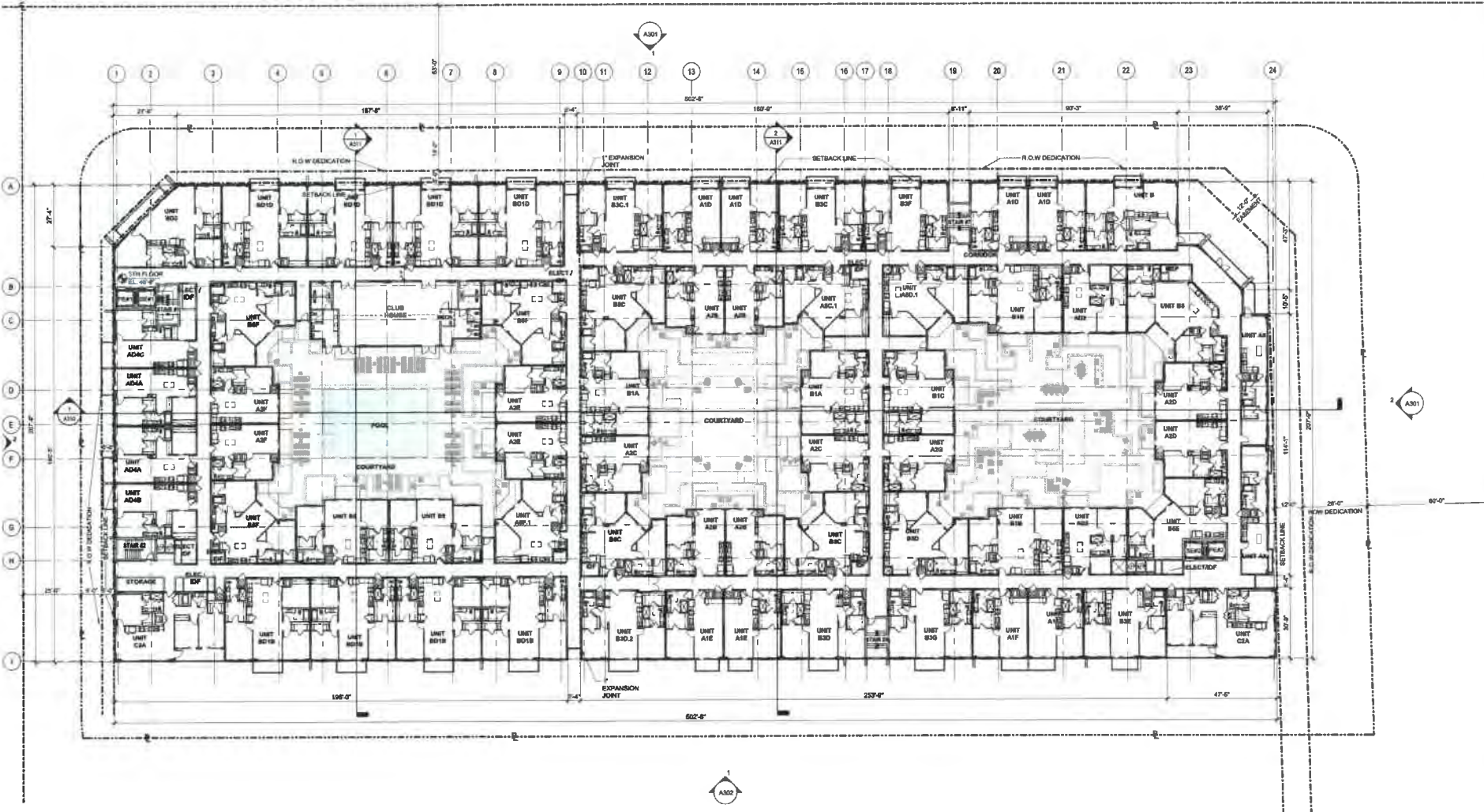
CORNERSTONE NORTHBLOCK
 CORAL SPRINGS, FLORIDA

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**5TH FLOOR - OVERALL
 BUILDING PLAN**

Project Number: DY202160
 Drawn by: [blank]
 Checked by: [blank]
 Date: 08/17/22
 Author: [blank]

A105



5TH FLOOR - OVERALL BUILDING PLAN
 1/8" = 1'-0"



AA 2602945
EXPIRES

DORSKY + YUE
ARCHITECTURE

CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

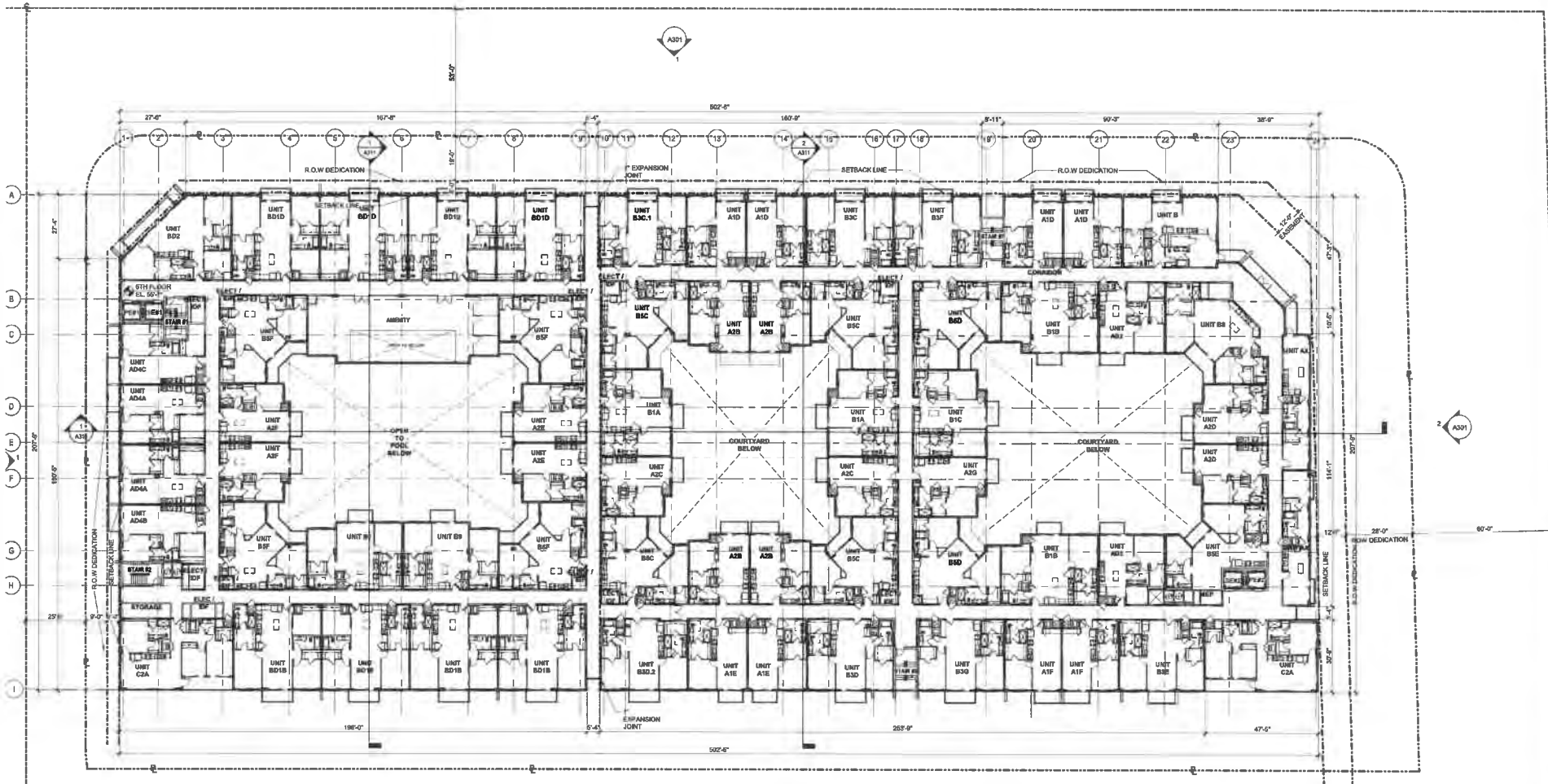
MILLCREEK RESIDENTIAL

ALL RIGHTS RESERVED

**6TH FLOOR - OVERALL
BUILDING PLAN**

Project number: D7202140
Author:
Drawn by:
Checked by:
Date: 06/17/22

A106



1
A106 1" = 20'



AA 3602145
REVISIONS
No. Date Description

DORSKY + YUE
ARCHITECTURE

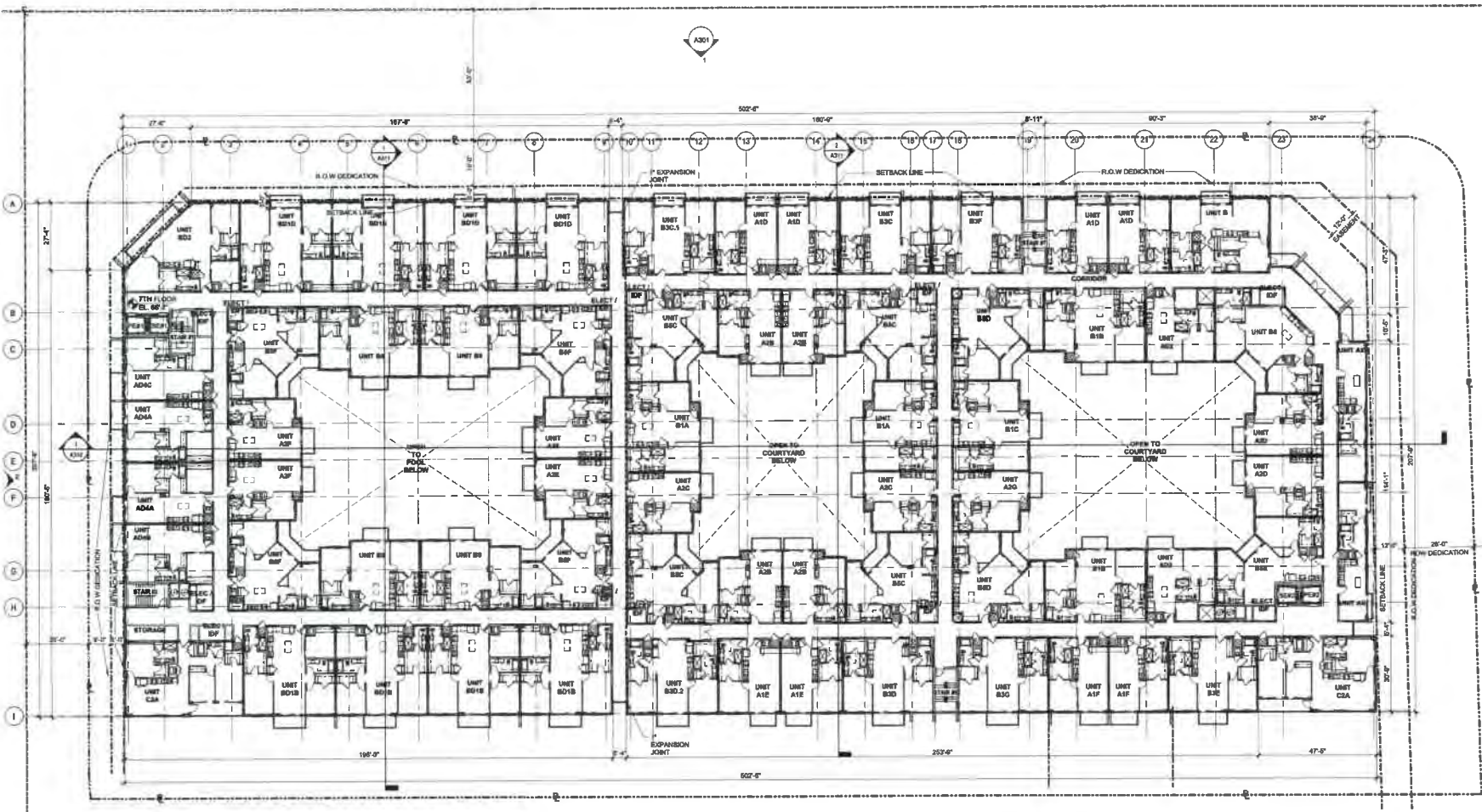
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

MILLCREEK RESIDENTIAL
ALL RIGHTS RESERVED

7TH FLOOR - OVERALL
BUILDING PLAN

Project number: DY202140
Author: Author
Checked by: [blank]
Date: 08/17/22

A107



1
A107 7TH FLOOR - OVERALL BUILDING PLAN
1" = 20'



REVISIONS		
No.	Date	Description

DORSKY + YUE
ARCHITECTURE

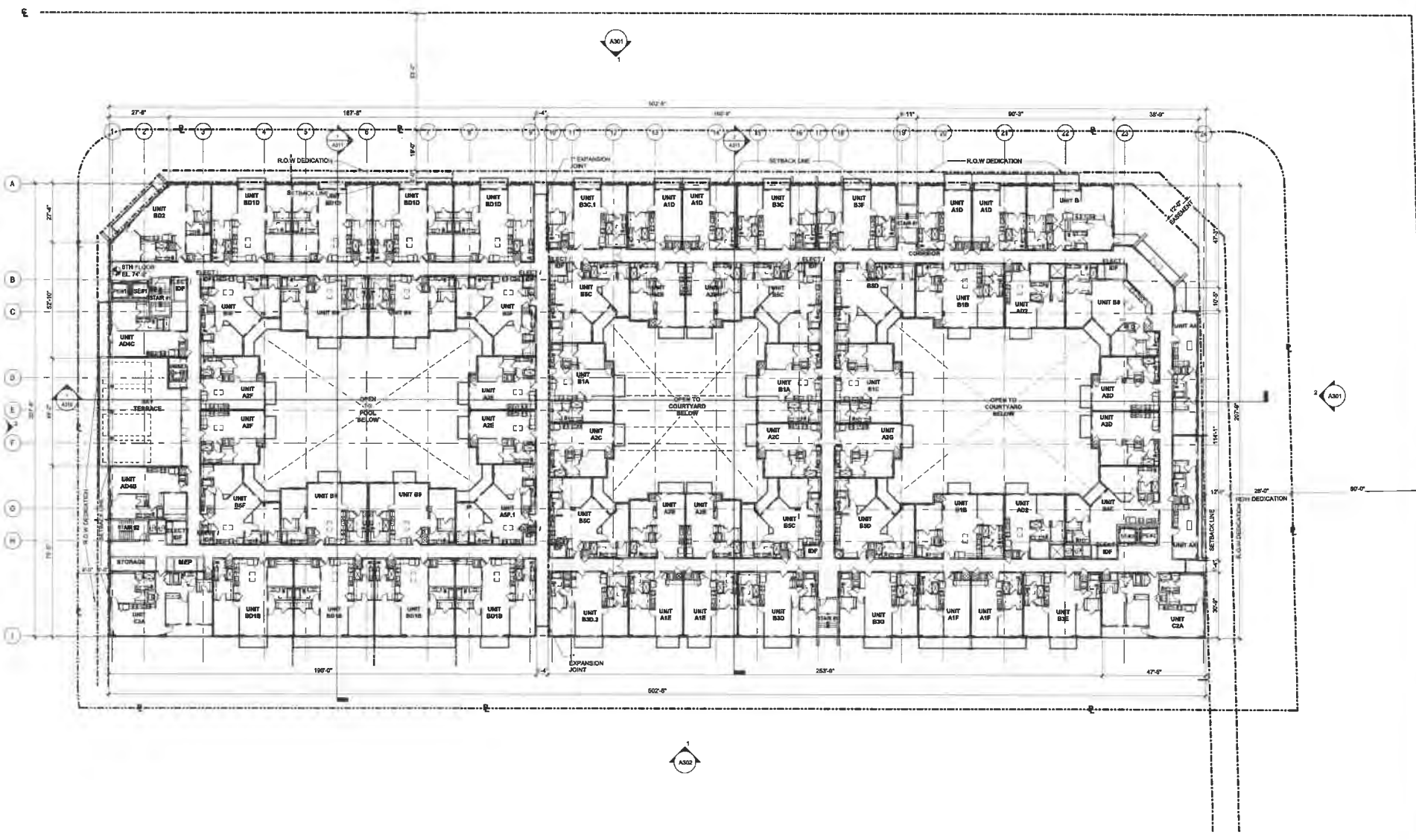
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

8TH FLOOR - OVERALL
BUILDING PLAN

A108

MILLCREEK RESIDENTIAL
ALL RIGHTS RESERVED

Project Number: DY2021-00
Owner: KZ/TS
Checked by: [Signature]
Date: 11/12/2021



1 8TH FLOOR - OVERALL BUILDING PLAN
A108 1" = 32'-0"



REVISIONS
 No. Date Description

DORSKY ARCHITECTURE

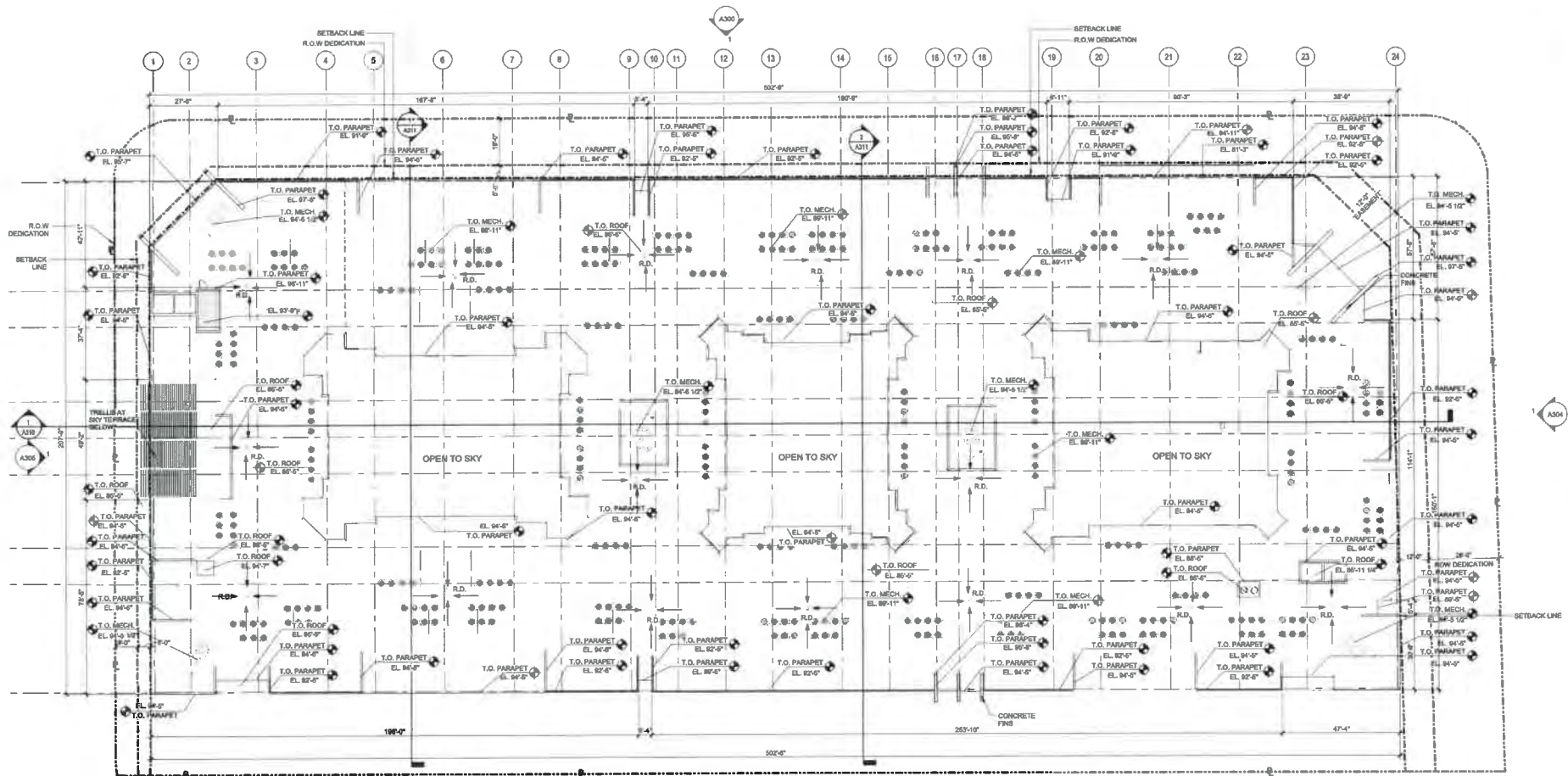
CORNERSTONE NORTHBLOCK
 CORAL SPRINGS, FLORIDA

ROOF PLAN

MILLCREEK RESIDENTIAL
 ALL RIGHTS RESERVED

Project Number: DY202140
 Drawn by: [blank]
 Checked by: [blank]
 Date: 09/14/22
 Author: [blank]

A110



1 A110 ROOF PLAN
 1" = 32"



1 NORTH ELEVATION
1" = 20'



2 EAST ELEVATION
1" = 20'

KEY NOTES:

(1A) STUCCO FINISH (WHITE)	(1F) STUCCO FINISH (BROWN)	(8) IMPACT RESISTANT FIXED WINDOW (BLUE-GREEN GLAZING)	(1B) ADDRESS IDENTIFICATION/ 4" MIN - 8" MAX HIGH LETTERS PER CODE
(1B) STUCCO FINISH (LIGHT GREEN)	(2) CONTROL JOINT	(7) ALUMINUM GUARDRAIL	
(1C) STUCCO FINISH (CHARCOAL GRAY)	(3) IMPACT RESISTANT STOREFRONT SYSTEM (CLEAR GLAZING)	(5) DECORATIVE EIFS EXTRUSION	
(1D) SCORED STUCCO FINISH (BROWN)	(4) IMPACT RESISTANT SLIDING GLASS DOOR (BLUE-GREEN GLAZING)	(9) FUTURE BUILDING SIGN	
(1E) STUCCO FINISH (ELEPHANT GRAY)	(6) IMPACT RESISTANT WINDOW (BLUE-GREEN GLAZING)	(10) FABRIC AWNING	



AA26002045
No. / Issue / Date
10016 / 1 / 06/09/2022

DORSKY + YU
ARCHITECTURE

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NORTH & EAST ELEVATIONS
Drawn: Checked: Date: 10/26/2022
Job No: D12021-01

A301



AA21602045
No. Sheet Date
06/09/2022

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ARCHITECTURE

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MILLCREEK RESIDENTIAL
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SOUTH & WEST ELEVATIONS
Drawn: Date: 10/26/2022
Checked: 10/26/2022
Job No.: DY2021.40

A302



1 SOUTH ELEVATION
1" = 20'



2 WEST ELEVATION
1" = 20'

KEY NOTES:			
1A	STUCCO FINISH (WHITE)	1F	STUCCO FINISH (BROWN)
1B	STUCCO FINISH (LIGHT GREEN)	2	CONTROL JOINT
1C	STUCCO FINISH (CHARCOAL GRAY)	3	IMPACT RESISTANT STOREFRONT SYSTEM (CLEAR GLAZING)
1D	SCORED STUCCO FINISH (BROWN)	4	IMPACT RESISTANT SLIDING GLASS DOOR (BLUE-GREEN GLAZING)
1E	STUCCO FINISH (ELEPHANT GRAY)	5	IMPACT RESISTANT WINDOW (BLUE-GREEN GLAZING)
6	IMPACT RESISTANT FIXED WINDOW (BLUE-GREEN GLAZING)	7	ALUMINUM GUARDRAIL SYSTEM
8	DECORATIVE EIFS EXTRUSION	8	FUTURE BUILDING SIGN
9	FABRIC AWNING	10	ADDRESS IDENTIFICATION/ 4" MIN - 9" MAX HIGH LETTERS PER CODE



AA 2680249

REVISIONS		
No.	Date	Issue/Action

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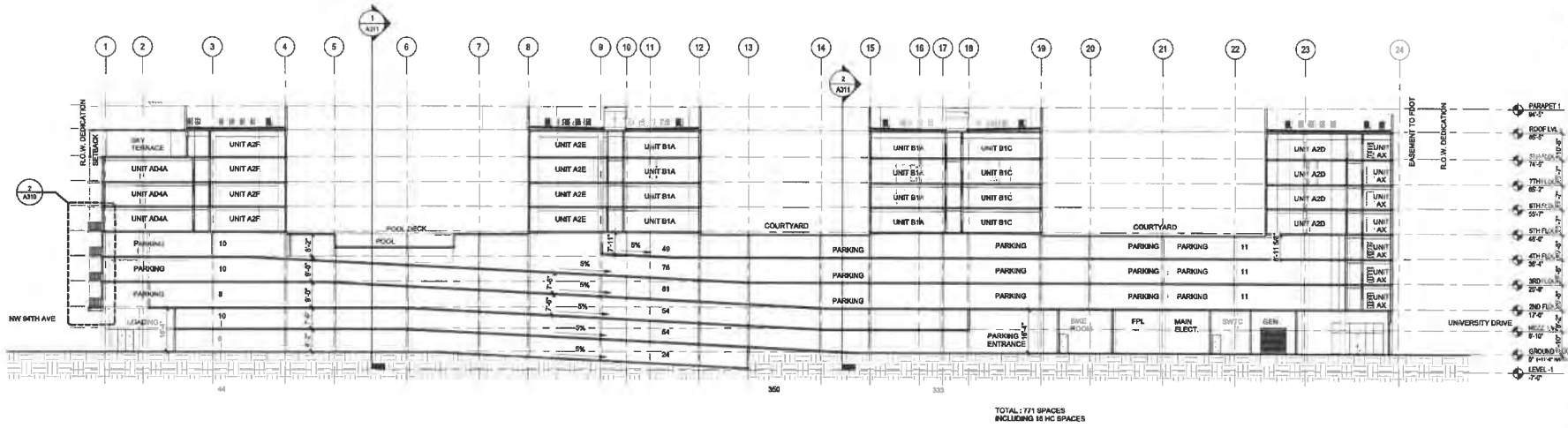
CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA

BUILDING SECTIONS

MILLCREEK RESIDENTIAL
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Project number: DY202140
Owner: KZTS
Checked by: Date: 06/30/2021

A310



TOTAL: 771 SPACES
INCLUDING 16 HC SPACES

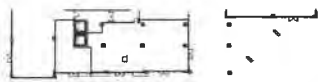


3 NORTH PLAN
A310 1" = 48'-0"

1 WEST TO EAST BUILDING SECTION
A310 1" = 20'-0"



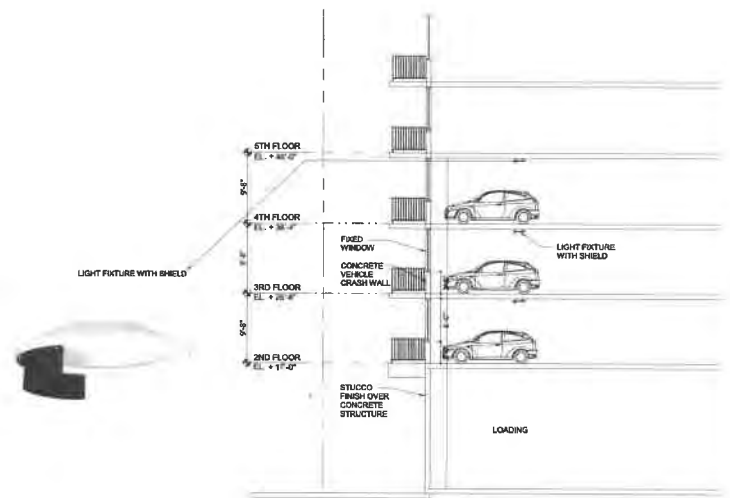
4 NORTH FACADE
A316 1" = 48'-0"



6 EAST PLAN
A310 1" = 48'-0"



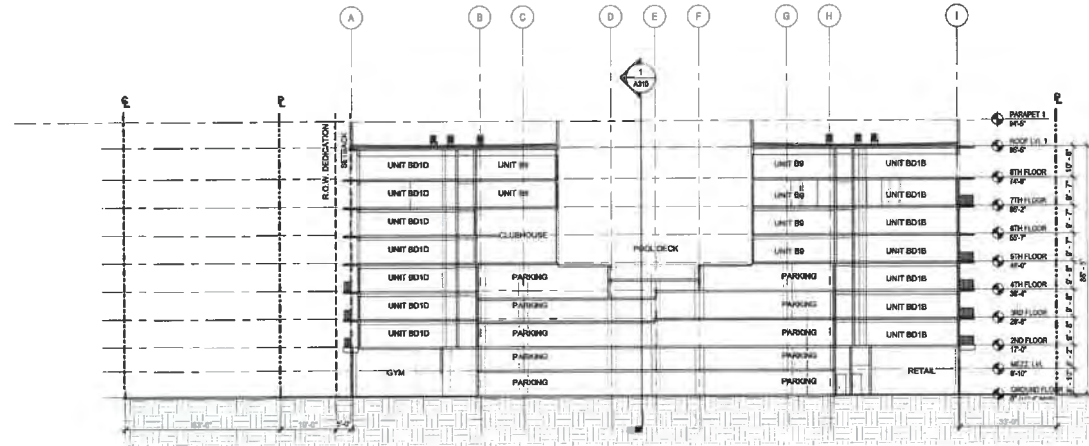
5 EAST FACADE
A310 1" = 48'-0"



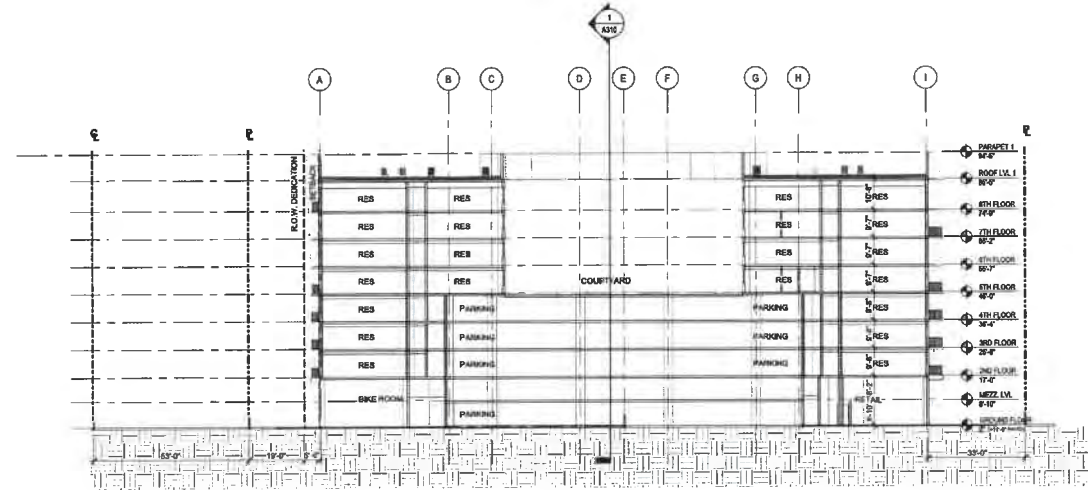
2 PARKING SECTION DETAIL
A310 1/8" = 1'-0"



REVISIONS		
Rev.	Date	Description



1 NORTH TO SOUTH BUILDING SECTION - COURTYARD 1
A311 1"=2'-0"



2 NORTH TO SOUTH BUILDING SECTION - COURTYARD 2
A311 1"=2'-0"

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CORNERSTONE NORTHBLOCK
CORAL SPRINGS, FLORIDA
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BUILDING SECTIONS
Project Number: DY202140
Drawn by: KZ/TS
Checked by: Date: 06/30/2023

A311

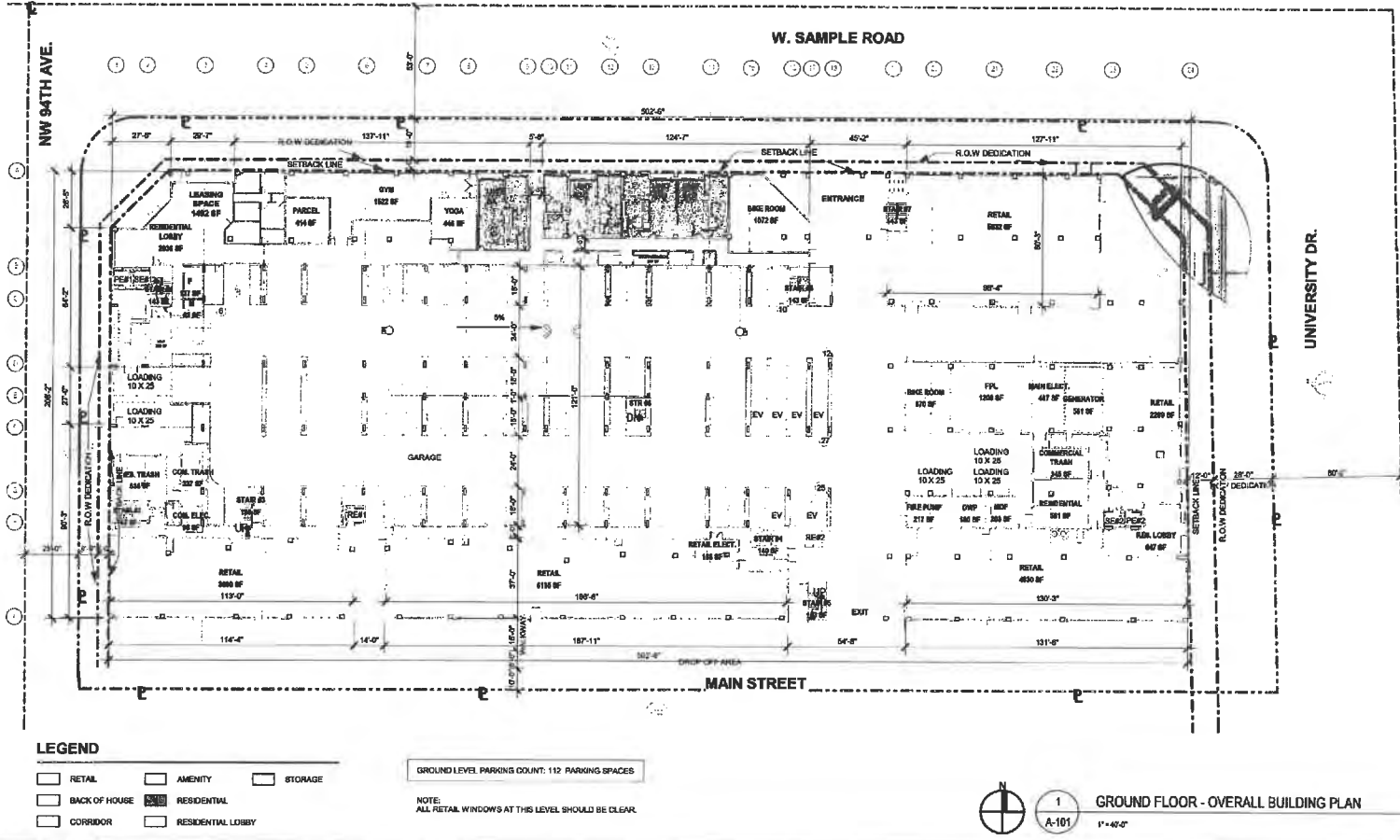
TX Result Report

P 1
 11/06/2022 12:17
 Serial No. A79K011027763
 TC: 197603

Addressee	Start Time	Time	Prints	Result	Note
	11-08 12:16	00:00:56	000/018	NO ANS	

Note
 TMR:Timer Tx, POL:polling, ORG:original size setting, FME:Frame Erase Tx,
 DPG:page separation, TX, MIX:Mixed Original Tx, CALL:Manual TX, CSIC:CSIC,
 ECD:Error Code, PWD:Password, BND:Binding direction, SP:Special orignal,
 IPADR:IP Address, FAX:1-Fax, INTERNET FAX

Result
 OK: Communication OK; S-OK: Stop Communication, PW-OFF: Power Switch OFF,
 TEL: Rx from TEL; NG: Other Error; Cont: Continue, No Ans: No Answer
 PWR: Back Recipient Refused, Busy: Busy; M-Full: Memory Full; LOUR: Receiving length over,
 DSN: DSN Response; EV: Over Print; Compulso: Compulsory Memory Document Print;
 DEL: Compulsory Memory Document Delete; SEND: Compulsory Memory Document Send.



DORSKY + YUE
 ARCHITECTURE

CORNERSTONE NORTHBLOCK

3111 UNIVERSITY DRIVE,
 CORAL SPRINGS, FL 33065



GROUND FLOOR - OVERALL BUILDING PLAN

MILL CREEK
 RESIDENTIAL

DATE: 09/14/22
 PROJECT NO: 01202190
 PAGE NUMBER: A-101

WEST CAMPBELL ROAD (WWW 34th STREET)

S89°31'50"E 502.52'

R=25.00'
CA=88°31'2"
A=38.63'

POINT O
BEGINNI

R=25.00'
CA=90°00'00"
A=39.27'

N00°28'01"E 230.00'

R=486.98'
CA=281°00'00"
A=435.53'

MULTI-STORY COMMERCIAL BUILDING

S01 00°48'E 547.13'

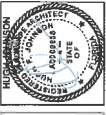
SHEET L-101

SHEET L-102

- NOTES:
1. SEE SHEETS L-101 AND L-102 FOR TREE DISPOSITION PLANS
 2. SEE SHEET L-105 FOR TREE DISPOSITION SCHEDULE.

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast, it's free, it's the law.
Call 811 two business days
before digging.



Revision Dates

- 1. 10/07/2022: 100% DESIGN DEVELOPMENT
- 2. 10/07/2022: TREE DISPOSITION PLAN

100% DESIGN DEVELOPMENT
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

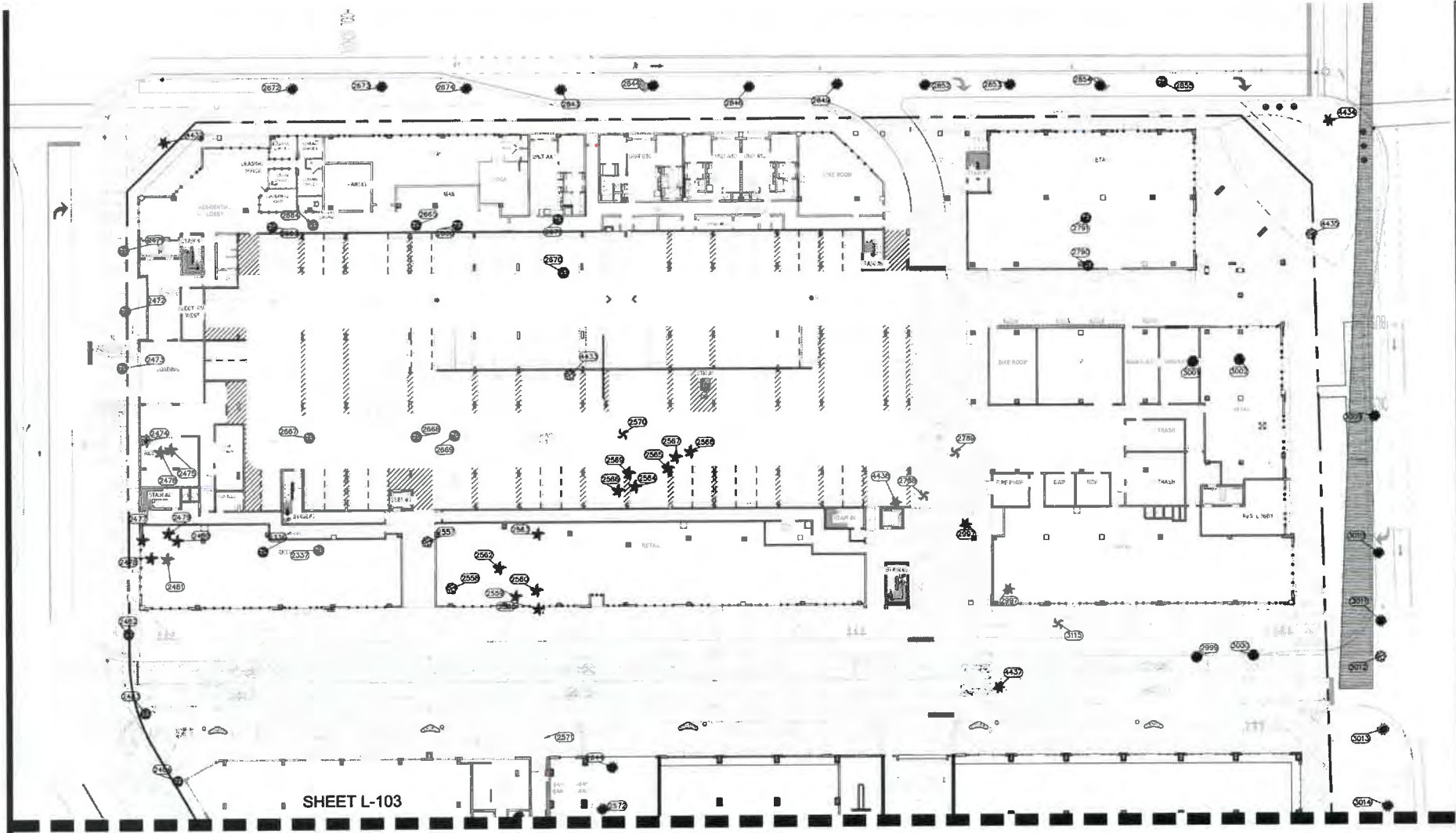
Sheet Description
TREE DISPOSITION PLAN

Release Date
10-07-2022

Project Number
2223

Drawing Number

L-101
SHEET 1 OF 5



SHEET L-103
SHEET L-104

- NOTES:
1. SEE SHEETS L-101 AND L-102 FOR TREE DISPOSITION PLANS
 2. SEE SHEET L-105 FOR TREE DISPOSITION SCHEDULE.

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
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before digging.



AAL
Architectural Alliance Landscape
225 SW 4th Ave., Fort Lauderdale, FL 33301
TEL: 954-562-2222 FAX: 954-562-2222

Revision Dates

100% DESIGN DEVELOPMENT
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

Sheet Description
TREE SKETCH OVERLAY

Release Date
10-07-2022

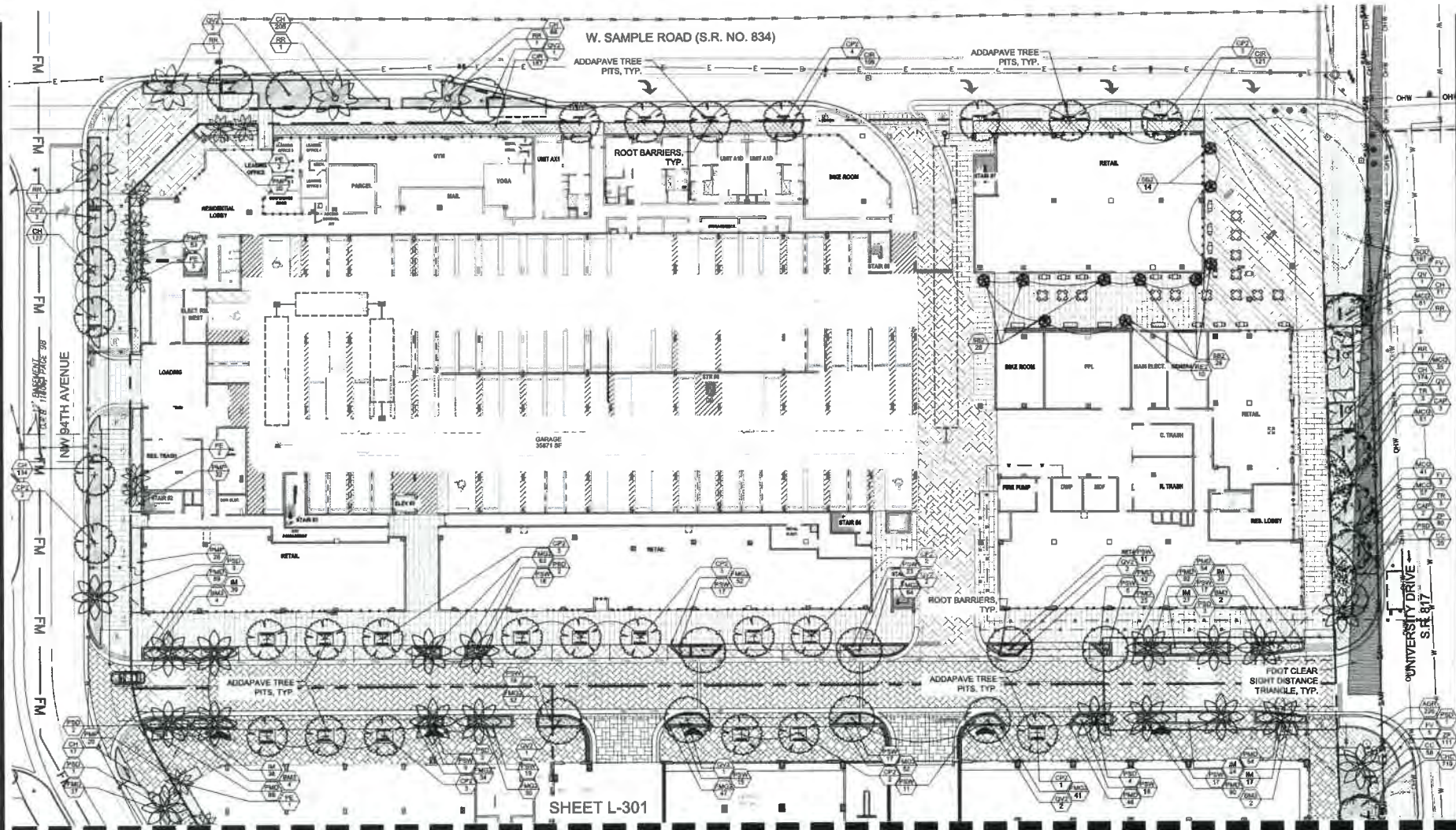
Project Number
2223

Drawing Number
L-103
SHEET 3 OF 5

Tree Number (BY FIELD)	Botanical Name	Common Name	DBH (Inches)	Height (feet)	Canopy (feet)	Palm	Condition	Disposition	Remarks
2337	<i>Quercus virginiana</i>	Southern Live Oak	22"	20	20		50%	Remove	
2472	<i>Quercus virginiana</i>	Southern Live Oak	22"	20	20		60%	Remove	
2473	<i>Quercus virginiana</i>	Southern Live Oak	22"	20	20		70%	Remove	
2474	<i>Quercus virginiana</i>	Southern Live Oak	26"	25'	25'		50%	Remove	
2475	<i>Quercus virginiana</i>	Southern Live Oak	24"	20'	20'		60%	Remove	
2476	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		40%	Remove	
2477	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2478	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2479	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2480	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2481	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2482	<i>Quercus virginiana</i>	Southern Live Oak	24"	20'	20'		60%	Remove	
2483	<i>Quercus virginiana</i>	Southern Live Oak	26"	25'	25'		60%	Remove	
2484	<i>Quercus virginiana</i>	Southern Live Oak	30"	25'	40'		30%	Remove	
2485	<i>Quercus virginiana</i>	Southern Live Oak	28"	25'	30'		40%	Remove	
2486	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2487	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2488	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2489	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2490	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		40%	Remove	
2491	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2492	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2493	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2494	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2495	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2496	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		30%	Remove	
2497	<i>Taxodium canadense</i>	Yellow Trumpet Tree	24"	15'	25'		40%	Remove	Leaning
2498	<i>Dyckia stricta</i>	Yellow Palm	12"	15'	1		50%	Remove	Clump of 5
2499	<i>Areca palm</i>	Areca Palm	12"	15'	1		50%	Remove	Clump of 5
2500	<i>Areca palm</i>	Areca Palm	12"	15'	1		50%	Remove	Clump of 5
2501	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
2502	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2503	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		40%	Remove	
2504	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
2505	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
2506	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2507	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2508	<i>Bucido buceras</i>	Black Olive	36"	30'	30'		50%	Remove	
2509	<i>Bucido buceras</i>	Black Olive	15"	20'	20'		60%	Remove	
2510	<i>Bucido buceras</i>	Black Olive	12"	20'	20'		50%	Remove	
2511	<i>Bucido buceras</i>	Black Olive	15"	25'	25'		60%	Remove	
2512	<i>Bucido buceras</i>	Black Olive	18"	30'	30'		50%	Remove	
2513	<i>Bucido buceras</i>	Black Olive	15"	25'	20'		55%	Remove	
2514	<i>Bucido buceras</i>	Black Olive	12"	20'	20'		40%	Remove	
2515	<i>Bucido buceras</i>	Black Olive	18"	30'	40'		50%	Remove	
2516	<i>Bauhinia x blakeana</i>	Hong Kong Orchid	8"	20'	15'		30%	Remove	
2517	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		60%	Remove	
2518	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2519	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
2522	<i>Collinsonia</i>	Bottlebrush Tree	30"	20'	20'		50%	Remove	
2528	<i>Collinsonia</i>	Bottlebrush Tree	24"	15'	20'		50%	Remove	
2529	<i>Sabal palmetto</i>	Cabbage Palm	35"	10'	1		50%	Remove	
2530	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2531	<i>Sabal palmetto</i>	Cabbage Palm	35"	10'	1		50%	Remove	
2532	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2533	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2534	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2535	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2536	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2537	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2538	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		60%	Remove	
2539	<i>Sabal palmetto</i>	Cabbage Palm	40"	10'	1		50%	Remove	
2543	<i>Collinsonia</i>	Bottlebrush Tree	24"	25'	25'		55%	Remove	
2570	<i>Rovillea repens</i>	Royal Palm	50"	15'	1		30%	Remove	
2571	<i>Bauhinia x blakeana</i>	Hong Kong Orchid	6"	20'	15'		50%	Remove	
2572	<i>Bucido buceras</i>	Black Olive	18"	40'	25'		30%	Remove	
2573	<i>Bucido buceras</i>	Black Olive	20"	30'	30'		60%	Remove	
2574	<i>Bucido buceras</i>	Black Olive	18"	30'	25'		50%	Remove	
2575	<i>Sabal palmetto</i>	Cabbage Palm	30"	10'	1		50%	Remove	
2576	<i>Coconut palm</i>	Coconut Palm	18"	20'	15'		50%	Remove	
2577	<i>Coconut palm</i>	Coconut Palm	12"	15'	20'		50%	Remove	
2578	<i>Coconut palm</i>	Coconut Palm	16"	15'	10'		50%	Remove	
2644	<i>Bucido buceras</i>	Black Olive	48"	50'	60'		50%	Remove	
2663	<i>Quercus virginiana</i>	Southern Live Oak	34"	20'	30'		60%	Remove	
2664	<i>Quercus virginiana</i>	Southern Live Oak	24"	25'	25'		50%	Remove	
2665	<i>Quercus virginiana</i>	Southern Live Oak	18"	25'	25'		60%	Remove	
2666	<i>Quercus virginiana</i>	Southern Live Oak	24"	23'	25'		55%	Remove	
2667	<i>Quercus virginiana</i>	Southern Live Oak	30"	20'	30'		50%	Remove	
2668	<i>Quercus virginiana</i>	Southern Live Oak	10"	20'	15'		50%	Remove	
2669	<i>Quercus virginiana</i>	Southern Live Oak	24"	30'	35'		50%	Remove	

- 2,007 INCHES OF DBH TO BE REMOVED.
- 71 PALMS TO BE REMOVED.

4432	<i>Phoenix roebelinii</i>	Pygmy Date Palm	4"	12"	10"		20%	Remove	Double
2670	<i>Quercus virginiana</i>	Southern Live Oak	16"	25'	25'		50%	Remove	
2671	<i>Quercus virginiana</i>	Southern Live Oak	24"	25'	25'		50%	Remove	
2672	<i>Bucido buceras</i>	Black Olive	36"	30'	50'		50%	Remove	
2673	<i>Bucido buceras</i>	Black Olive	20"	25'	20'		50%	Remove	
2674	<i>Bucido buceras</i>	Black Olive	24"	25'	30'		50%	Remove	
2788	<i>Agave attenuata</i>	Royal Palm	22"	40'	20'		30%	Remove	
2789	<i>Agave attenuata</i>	Royal Palm	22"	40'	20'		50%	Remove	
2790	<i>Quercus virginiana</i>	Southern Live Oak	24"	25'	20'		50%	Remove	
2843	<i>Bucido buceras</i>	Black Olive	24"	25'	35'		60%	Remove	
2844	<i>Bucido buceras</i>	Black Olive	22"	25'	35'		60%	Remove	
2846	<i>Bucido buceras</i>	Black Olive	26"	25'	35'		55%	Remove	
2849	<i>Bucido buceras</i>	Black Olive	26"	25'	30'		55%	Remove	
2852	<i>Bucido buceras</i>	Black Olive	24"	25'	30'		55%	Remove	
2853	<i>Bucido buceras</i>	Black Olive	20"	25'	30'		60%	Remove	
2854	<i>Bucido buceras</i>	Black Olive	20"	20'	25'		60%	Remove	
2855	<i>Quercus virginiana</i>	Southern Live Oak	16"	20'	25'		60%	Remove	
4434	<i>Alseodaphne nobilis</i>	Bismarck Palm	12"	10'	10'		65%	Remove	
4435	<i>Bauhinia x blakeana</i>	Hong Kong Orchid	32"	25'	30'		40%	Remove	
4436	<i>Phoenix roebelinii</i>	Pygmy Date Palm	4"	12"	10"		20%	Remove	Double
2997	<i>Phoenix roebelinii</i>	Pygmy Date Palm	4"	12"	10"		20%	Remove	
2998	<i>Phoenix roebelinii</i>	Pygmy Date Palm	4"	12"	10"		20%	Remove	
4437	<i>Phoenix roebelinii</i>	Pygmy Date Palm	4"	12"	10"		20%	Remove	
3099	<i>Sweetflag</i>	Marigold	24"	30'	20'		50%	Remove	
3000	<i>Sweetflag</i>	Marigold	44"	30'	45'		50%	Remove	
3001	<i>Sweetflag</i>	Marigold	30"	30'	30'		60%	Remove	
3002	<i>Sweetflag</i>	Marigold	40"	30'	45'		50%	Remove	
3009	<i>Bucido buceras</i>	Black Olive	18"	20'	25'		55%	Remove	
3010	<i>Bucido buceras</i>	Black Olive	16"	25'	20'		40%	Remove	
3011	<i>Bucido buceras</i>	Black Olive	16"	25'	35'		40%	Remove	
3012	<i>Pongamia pinnata</i>	Pongamia Tree	40"	30'	25'		40%	Remove	
3013	<i>Bucido buceras</i>	Black Olive	30"	30'	35'		50%	Remove	
3014	<i>Bucido buceras</i>	Black Olive	18"	20'	20'		55%	Remove	
3015	<i>Bucido buceras</i>	Black Olive	30"	25'	35'		50%	Remove	
3016	<i>Bucido buceras</i>	Black Olive	24"	25'	30'		40%	Remove	
3115	<i>Bucido buceras</i>	Black Olive	24"	40'	20'		50%	Remove	
3116	<i>Bucido buceras</i>	Black Olive	28"	30'	40'		50%	Remove	
3117	<i>Bucido buceras</i>	Black Olive	20"	30'	30'		50%	Remove	
3118	<i>Bucido buceras</i>	Black Olive	24"	25'	25'		50%	Remove	
3119	<i>Sweetflag</i>	Marigold	48"	35'	35'		40%	Remove	
3120	<i>Sabal palmetto</i>	Cabbage Palm	25"	10'	1		50%	Remove	
3121	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		30%	Remove	
3190	<i>Sabal palmetto</i>	Cabbage Palm	30"	10'	1		50%	Remove	
3191	<i>Sabal palmetto</i>	Cabbage Palm	30"	10'	1		50%	Remove	
3192	<i>Sabal palmetto</i>	Cabbage Palm	25"	10'	1		30%	Remove	
3341	<i>Quercus virginiana</i>	Southern Live Oak	30"	20'	20'		50%	Remove	
3342	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	25'		50%	Remove	
3313	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	25'		60%	Remove	
3314	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	25'		50%	Remove	
3334	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	15'		60%	Remove	
3335	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	15'		50%	Remove	
3336	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	15'		50%	Remove	
3337	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	25'		50%	Remove	
3362	<i>Quercus virginiana</i>	Southern Live Oak	18"	20'	20'		60%	Remove	
3363	<i>Quercus virginiana</i>	Southern Live Oak	18"	25'	25'		50%	Remove	
3364	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	20'		50%	Remove	
3365	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	20'		55%	Remove	
3366	<i>Sabal palmetto</i>	Cabbage Palm	25"	10'	1		50%	Remove	
3367	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		60%	Remove	
3368	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
3369	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		55%	Remove	
3370	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		40%	Remove	
3371	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
3380	<i>Chamaecyparis</i>	Areca Palm	15"	5'	1		30%	Remove	Clump of 5
3381	<i>Chamaecyparis</i>	Areca Palm	15"	5'	1		60%	Remove	Clump of 5
3382	<i>Chamaecyparis</i>	Areca Palm	15"	5'	1		50%	Remove	Clump of 5
3409	<i>Bauhinia x blakeana</i>	Hong Kong Orchid	12"	25'	20'		50%	Remove	
3424	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
3425	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
3426	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
3427	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		55%	Remove	
3428	<i>Sabal palmetto</i>	Cabbage Palm	20"	10'	1		50%	Remove	
3429	<i>Sabal palmetto</i>	Cabbage Palm	25"	10'	1		50%	Remove	
3430	<i>Sabal palmetto</i>	Cabbage Palm	15"	15'	1		40%	Remove	
3431	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	
3432	<i>Sabal palmetto</i>	Cabbage Palm	15"	10'	1		50%	Remove	Booted
3440	<i>Sabal palmetto</i>	Cabbage Palm	30"	10'	1		60%	Remove	



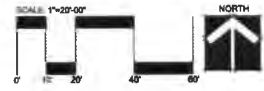
SHEET L-301

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. SEE SHEET L-300 - L-308 FOR PLANTING PLAN
4. ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF SAID CURB.
5. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
6. ALL SHADE AND MEDIUM TREES INSTALLED WITHIN 6' OF A PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM.
7. POLES AND TIES ARE TO BE REMOVED FROM TREE PRIOR TO PLANTING. TREES ARE TO BE ABLE TO STAND WITHOUT SUPPORT. THOSE THAT CANNOT STAND UPRIGHT ALONE WILL BE REJECTED.
8. THE USE OF CYPRESS MULCH IS DISCOURAGED AND ALL MULCH IS TO BE KEPT AT A MINIMUM OF 6" FROM BASE OF ALL PLANT MATERIAL.
9. THE USE OF SIGAL STRAPPING/ROPE IS REQUIRED TO BE INCORPORATED AROUND THE TREE WHEN WELLINGTON TAPE IS USED TO STABILIZE THE PLANTING.
10. A LANDSCAPE MAINTENANCE AGREEMENT IS REQUIRED TO BE EXECUTED PRIOR TO FINAL LANDSCAPE INSPECTION

SHEET L-302 NOTES:

1. TREE GRATES WILL BE MAINTAINED TO ALLOW FOR FUTURE GROWTH OF TRUNKS
2. ALL MECHANICAL EQUIPMENT, DUMPSTER ENCLOSURES, AC UNITS, BACKFLOW PREVENTORS, ETC. SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.
3. A BROWARD COUNTY TREE REMOVAL PERMIT IS REQUIRED TO REMOVE TREES IN COUNTY RIGHT-OF-WAY.



Professional Title

PRC SUBMITTAL

CORNERSTONE DOWNTOWN

CORAL SPRINGS, FLORIDA

Sheet Designer:
LANDSCAPE PLANTING PLAN

Release Date:
2-21-2020

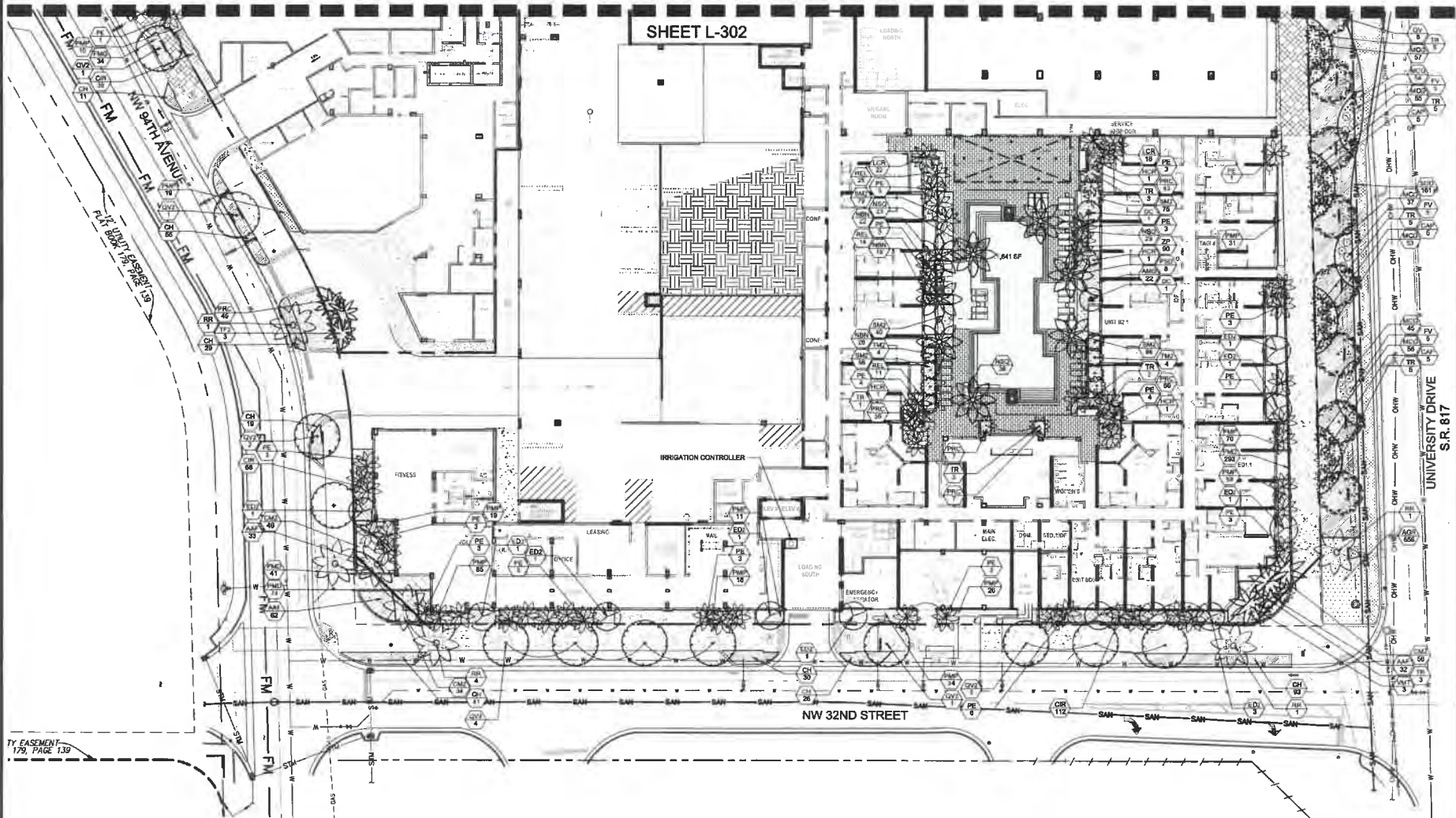
Project Number:
1900

Drawing Number:
L-301

SHEET 1 OF 10

SHEET L-301

SHEET L-302



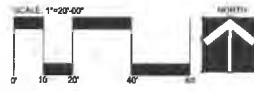
TY EASEMENT 179, PAGE 139

NOTES:

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NOTES:

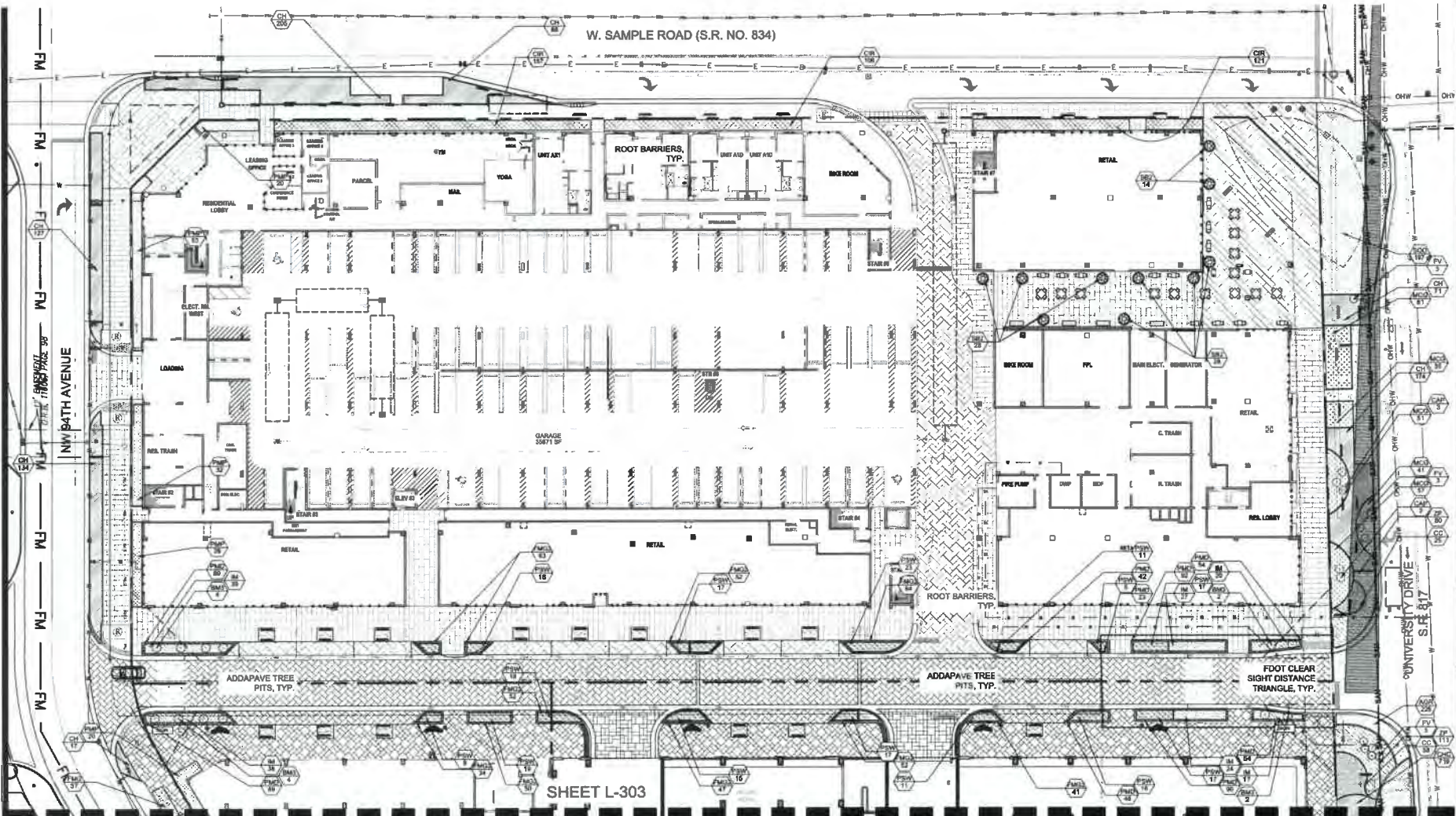
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AAL
Architectural Alliance Landscape
612 NW 4th Ave., 4th Floor, Fort Lauderdale, FL 33301 (954) 333-5577
TEL: 954-764-8289 FAX: 954-764-8289 EMAIL: info@aall.com

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
FLORIDA STATE BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS
No. 12000
12000 STATE STREET, SUITE 100
CORAL SPRINGS, FL 33066
TEL: 954-351-1100
WWW.AALFL.COM

PROFESSIONAL DESIGN
CORNERSTONE DOWNTOWN
LANDSCAPE PLANNING PLAN
Release Date: 2-21-2020
Project Number: 1930
Drawing Number: L-302
SHEET 2 OF 10



NOTES:

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DRG SUBMITTAL

CORNERSTONE DOWNTOWN

CORAL SPRINGS, FLORIDA

Sheet Description
LANDSCAPE SHRUB & GROUNDCOVER PLANTING PLAN

Release Date
2-21-2020

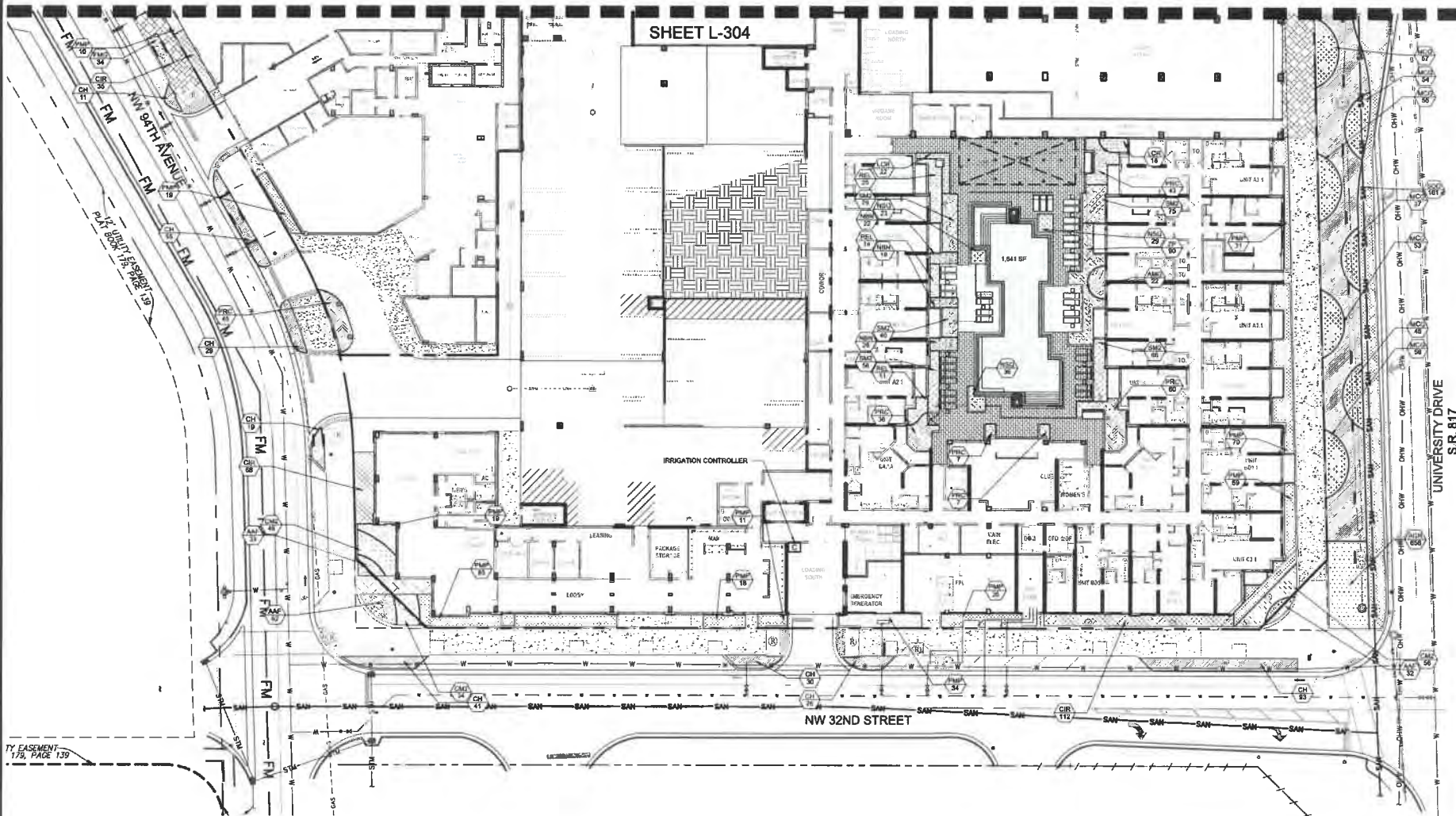
Project Number
1930

Drawing Number
L-303

SHEET 3 OF 10

SHEET L-303

SHEET L-304

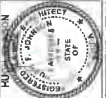
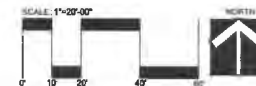


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Robert D. Brown
Professional Engineer

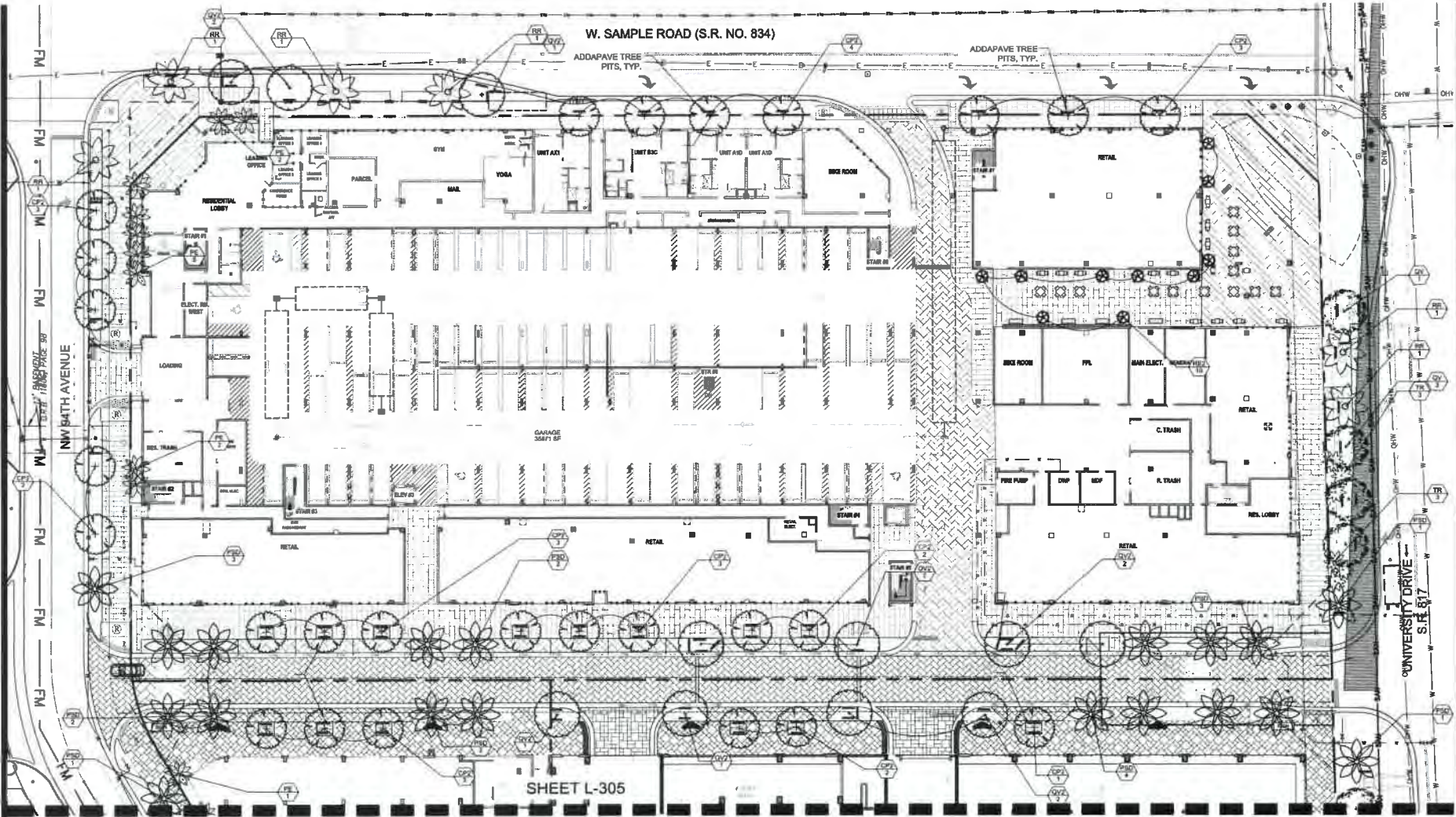
DRC SUBMITTAL
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

Item Description
LANDSCAPE
SHRUB &
GROUNDCOVER
PLANTING PLAN

Release Date
2-21-2020

Project Number
1930

Drawing Number
L-304
SHEET 4 OF 19



NOTES:

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Architectural Alliance Landscape
412 SW 4th Ave., Fort Lauderdale, FL 33311, LCC000177
TEL: 954-562-6418 EMAIL: info@aal.com



Professional Engineer
No. 12587
State of Florida
Exp. 12/31/2024

Division Dates:
12/15/2020 - 12/15/2020
12/15/2020 - 12/15/2020
12/15/2020 - 12/15/2020
12/15/2020 - 12/15/2020
12/15/2020 - 12/15/2020

CORNERSTONE DOWNTOWN

CORAL SPRINGS, FLORIDA

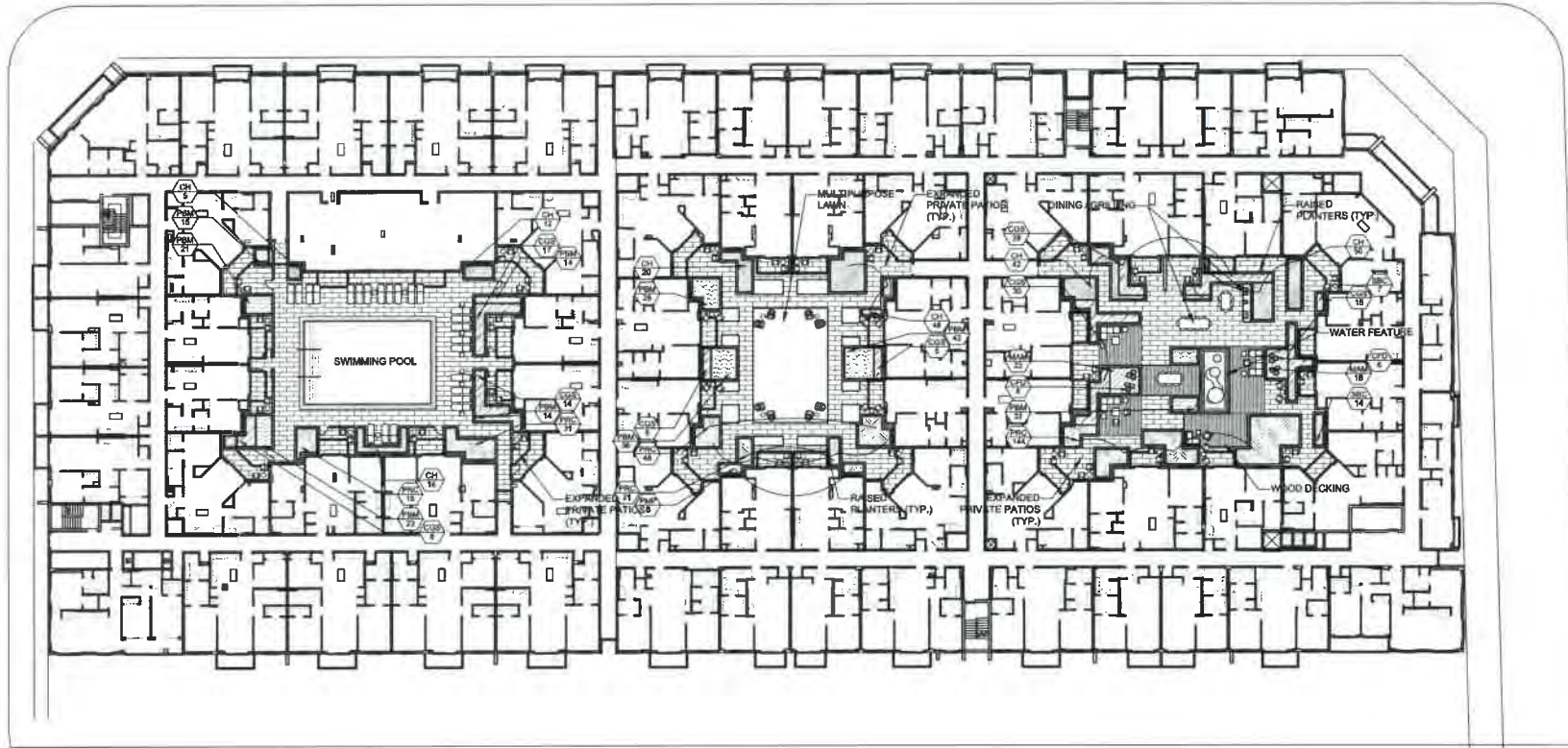
Sheet Description
**LANDSCAPE
TREE & PALM
PLANTING PLAN**

Release Date
2-21-2020

Project Number
1630

Drawing Number
L-305

SHEET 5 OF 10

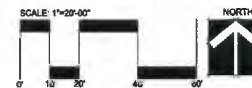


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Revision Dates

NO. 1	DATE	DESCRIPTION
1	06-03-2022	ISSUED FOR PERMIT
2	06-03-2022	ISSUED FOR PERMIT
3	06-03-2022	ISSUED FOR PERMIT
4	06-03-2022	ISSUED FOR PERMIT
5	06-03-2022	ISSUED FOR PERMIT
6	06-03-2022	ISSUED FOR PERMIT
7	06-03-2022	ISSUED FOR PERMIT
8	06-03-2022	ISSUED FOR PERMIT
9	06-03-2022	ISSUED FOR PERMIT
10	06-03-2022	ISSUED FOR PERMIT

DRG SUBMITTAL
CORNERSTONE DOWNTOWN
 CORAL SPRINGS, FLORIDA

Sheet Description	UPPER LEVEL SHRUB & ORNAMENTAL PLANTING PLAN
Release Date	6-03-2022
Project Number	2222
Drawing Number	L-308
SHEET 6 OF 10	

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
CP2	25	COCCOLOBA DIVERSIFOLIA	PIGEEB PALM	FG98B	2.5" CAL	14' HT. X 6" SPR. 6' CT	YES	HIGH	
BD2	11	ELAEAGARUS DECIPENS	JAPANESE BLUEBERRY TREE	6B8 FIELD GROWN	3"	12' DA. HT.	NO	HIGH	
OV	12	QUERCUS VIRGINIANA	LINE OAK	FG98B	3.0" CAL	16' HT X 7" SPR. 7' CT	YES	HIGH	
OV2	23	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	FG98B	3.0" CAL	16' HT X 7" SPR. 7' CT	YES	MEDIUM	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
DC	2	DYSPIS CADABEA	CADABA PALM	FG98B	14" 18" GA	NO	MEDIUM		
PRD	27	PHOENIX SYLVESTRIS	WILD DATE PALM	FG98B	12" CT, MATCHED HEIGHTS	NO	HIGH		
PE	64	PHYCOSPHERA ELEGANS	SCALYBARK PALM	FG98B	16" 20" GA, SINGLE TRUNK	NO	HIGH		
RE	10	RHAPHIS EXCELSA	LADY PALM	6B8 FIELD GROWN	6-8" GA, FULL CLUMP	NO	MEDIUM		
RR	4	ROSTKIA PALMIA	ROSTKIA PALM	FG98B	12" SWR, MATCHED GA HEIGHTS	YES	MEDIUM		
TRD	3	TRINAX MORRISII	KEY TRINAX PALM	FG98B	7" DA. HT.	YES	HIGH		
TR	37	TRINAX NADIATA	FLORIDA MATCH PALM	6B8 FIELD GROWN	7" DA. HT.	YES	HIGH		
TF2	3	TRACHYCARPUS FORTUNEI	WANDMILL PALM	FG98B	6" GA	NO	MEDIUM		
VMT	3	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	6B8 FIELD GROWN	13-18" CT, STAGGERED DA HTS., TRIPLE TRUNK	NO	MEDIUM		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
BMD	12	BOUQUINVILLEA X 'MONEY' TM	MULPLE QUEEN BOUQUINVILLEA	FG98B	7" DA HT, STANDARD	NO	HIGH	48" o.c.	
CP2	20	CRISPA AUGUSTINA 'QUEEN EMMA'	'QUEEN EMMA' CRISPA	FG98B	38" HT. X 30" SPR.	NO	HIGH	48" o.c.	
FMP2	457	FIGUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIGUS	-	14" HT X 18" SPR	NO	HIGH	12" o.c.	
FV	25	FILICOLA OBNIVATA 'VARIEGATA'	FALSE AGAVE	-	30" HT. X 30" SPR.	NO	HIGH	48" o.c.	
HCR	4	HELIOPSIS CARIBAEA X BIRAI 'RICHMOND RED'	HELIOPSIS INDIAN HELIOPSIS	-	6" DA., SPECIMEN	NO	MEDIUM	50" o.c.	
PMD	656	PODOCARPUS MACROPHYLLUS 'OWARI PRINCE'	OWARI PODOCARPUS	-	NO	HIGH	12" o.c.		
SB2	70	SANSEVIERIA TRIFASCIATA 'BLACK CORAL'	BLACK CORAL SANSEVIERIA	-	24-30" HT	NO	HIGH	18" o.c.	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
AMG	22	ALCOZIA MACRORHIZOS	IBAND ELEPHANT'S EAR	-	20" HT X 20" SPR	NO	HIGH	24" o.c.	
AAP	127	ASPARAGUS AETHIOPICUS	FOXTAIL FERN	-	18" HT X 18" SPR	NO	MEDIUM	18" o.c.	
CH	1,120	CHRYSOBLANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-	20" HT. X 20" SPR. FULL	YES	MEDIUM	24" o.c.	
CH2	718	CHRYSOBLANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-	20" HT. X 20" SPR. FULL	YES	MEDIUM	24" o.c.	
CIR	559	CHRYSOBLANUS ICAGO 'REDTOP'	RED TOP COCOPLUM	-	24" HT. X 24" SPR	YES	MEDIUM	24" o.c.	
CC	83	CODAUM VARIEGATUM 'CURLYBOY'	CURLYBOY CROTON	-	30" HT X 24" SPR	NO	MEDIUM	24" o.c.	
CM2	136	CODAUM VARIEGATUM 'MAGNIFICENT'	CROTON	-	30" HT X 24" SPR	NO	MEDIUM	24" o.c.	
FMG	71	FIGUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIGUS	-	14" HT X 18" SPR	NO	HIGH	18" o.c.	
IR	165	IPOMOEA COCCINEA 'MAUI SUNSET'	MAUI SUNSET IPOMOEA	-	24" HT X 24" SPR	NO	MEDIUM	24" o.c.	
LCR	45	LEEA COCCINEA 'RUBRA'	RED LEEA	-	30" HT. X 24" SPR	NO	MEDIUM	24" o.c.	
PRD	168	PHILODENDRON X 'ROYAL CONGO'	WAKS CONGO PHILODENDRON	-	24" HT X 24" SPR	NO	MEDIUM	24" o.c.	
PMP	533	PODOCARPUS MACROPHYLLUS	PODOCARPUS	-	5" HT	NO	MEDIUM	50" o.c.	
REL	60	RHAPHIS EXCELSA	LADY PALM	-	6-8" DA	NO	MEDIUM	50" o.c.	
SMD	518	SANSEVIERIA TRIFASCIATA 'BLACK CORAL'	BLACK CORAL SANSEVIERIA	-	12" HT X 12" SPR	YES	HIGH	18" o.c.	
ZP	251	ZAMIA PALMILA	COONTIE	-	18" HT X 18" SPR	YES	HIGH	24" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
AGR	652	ARACHIS GLABRATA	PEANUT	-	6" HT. X 12" SPR.	NO	HIGH	12" o.c.	
BNM	67	HECORAELLA X 'BOSSA NOVA'	GREEN & WHITE BROMELIAD	-	12" HT X 20" SPR	NO	MEDIUM	20" o.c.	
NSG	63	HECORAELLA X 'TEQUILA'	TEQUILA BROMELIAD	-	12" HT. X 12" SPR	NO	HIGH	18" o.c.	
BOO/BED	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
SOD	4,358 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	FLORITAM ST. AUGUSTINE SOD	SOD					
TALL GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
MG2	622	MURBENBERGIA CAPILLARIS	FINE LEAFY GRASS	-	24" HT. X 24" SPR	YES	MEDIUM	24" o.c.	
PSW	211	PENNISETUM SETACEUM 'WHITE'	WHITE FOXTAIL GRASS	-	24" HT. X 24" SPR	YES	HIGH	24" o.c.	

PLANT SCHEDULE UPPER LEVEL COURTYARDS

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
BD2	6	ELAEAGARUS DECIPENS	JAPANESE BLUEBERRY TREE	6B8 FIELD GROWN	3"	12' DA. HT.	NO	HIGH	
LJ2	2	LEUCISTEM JAPONICUM	JAPANESE PRIVET	FG98B	12" HT. X 7" SPR, SPECIMEN	NO	HIGH		
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
PRD	4	PHOENIX ROSELENI	POINY DATE PALM	6B8 FIELD GROWN	16" GA, TRIPLE TRUNK	NO	HIGH		
PE	4	PHYCOSPHERA ELEGANS	WILD DATE PALM	FG98B	12" CT, MATCHED HEIGHTS	NO	HIGH		
RE2	10	RHAPHIS EXCELSA	LADY PALM	6B8 FIELD GROWN	6-8" GA, FULL CLUMP	NO	MEDIUM		
VMD	13	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	6B8 FIELD GROWN	14-18" DA HT, DOUBLE TRUNK	NO	MEDIUM		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
CPD	12	CORYLINE FRUTICOSA 'DR. BROWN'	DR. BROWN TI PLANT	FG98B	24-28" GA	NO	MEDIUM		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
CH	118	CHRYSOBLANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-	20" HT. X 20" SPR. FULL	YES	MEDIUM	24" o.c.	
CGS	122	CLISSA GUTTIFERA	SMALL LEAF TI USA	-	40" HT X 24" SPD	YES	HIGH	30" o.c.	
MAN	40	MONSTERA ADANSONI	ADANSONI'S MONSTERA	-	18" HT. X 18" SPD.	NO	MEDIUM	24" o.c.	
PBM	264	PHILODENDRON X 'BURLE MARCK'	PHILODENDRON	-	18" HT X 18" SPR	NO	MEDIUM	20" o.c.	
PRC	237	PHILODENDRON X 'ROYAL CONGO'	ROYAL CONGO PHILODENDRON	-	24" HT X 24" SPR	NO	MEDIUM	24" o.c.	
PMP	6	PODOCARPUS MACROPHYLLUS	PODOCARPUS	-	5" HT	NO	MEDIUM	50" o.c.	
SB2	21	SANSEVIERIA TRIFASCIATA 'BLACK CORAL'	BLACK CORAL SANSEVIERIA	-	24" GA FULL	NO	MEDIUM	18" o.c.	

NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET L-300 - L-308 FOR PLANTING PLAN
- ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF SAID CURB.
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
- ALL SHADE AND MEDIUM TREES INSTALLED WITHIN 6' OF A PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM.
- POLES AND TIES ARE TO BE REMOVED FROM TREE PRIOR TO PLANTING. TREES ARE TO BE ABLE TO STAND WITHOUT SUPPORT. THOSE THAT CANNOT STAND UPRIGHT ALONE WILL BE REJECTED.
- THE USE OF CYPRESS MULCH IS DISCOURAGED AND ALL MULCH IS TO BE KEPT AT A MINIMUM OF 6" FROM BASE OF ALL PLANT MATERIAL.
- THE USE OF SISAL STRAPPING/ROPE IS REQUIRED TO BE INCORPORATED AROUND THE TREE WHEN WELLINGTON TAPE IS USED TO STABILIZE THE PLANTING.
- A LANDSCAPE MAINTENANCE AGREEMENT IS REQUIRED TO BE EXECUTED PRIOR TO FINAL LANDSCAPE INSPECTION

NOTES:

- ALL MECHANICAL EQUIPMENT, DUMPSTER ENCLOSURES, AC UNITS, BACKFLOW PREVENTORS, ETC. SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.
- A BROWARD COUNTY TREE REMOVAL PERMIT IS REQUIRED TO REMOVE TREES IN COUNTY RIGHT-OF-WAY.

LANDSCAPE CALCULATIONS		
SITE AREA	271,802 SF	6.24 AC
BUILDING AND GARAGE FOOTPRINT	211,241 SF	
TOTAL VUA AREA	27,498 SF	
TOTAL LANDSCAPE PERVICULOUS AREA	9,267 SF	
SIDEWALK	24,236 SF	
	REQUIRED	PROVIDED
SEC. 250(3)(b) Min. Landscape Required Zoning Districts		
1 Tree per 500 SF of total area	13 Trees	22 Trees
3,267 SF / 1,000 SF = 10 Trees and 47 Shrubs	47 Shrubs	47+ Shrubs
SEC. 250(17)(a) Special Provisions - Street Trees		
1 Tree per 40 LF	13 Trees	13 Trees
(W) West Orange Road: 528 LF / 40 LF = 13.0 Trees	13 Trees	13 Trees
(E) University Drive: 572 LF / 40 LF = 14.3 Trees	14 Trees	14 Trees
(S) NW 32nd Street: 435 LF / 40 LF = 10.87 Trees	11 Trees	10 Trees
(W) NW 24th Avenue: 528 LF / 40 LF = 13.2 Trees	14 Trees	14 Trees
SEC. 250(1)(b) L.L.A. Permitted Zones and Landscape Standards		
1 Landscaping Tree / 30 LF of Building Footprint	18 Trees	18 Trees
Main Street North Side: 513 LF / 30 LF = 17.1	18 Trees	18 Trees
Main Street South Side: 598 LF / 30 LF = 19.9	18 Trees	18 Trees
SEC. 250(3)(b) Parking Lot/Landscaping		
1 Tree per Island and 15% of total VUA to be landscaping	NA	NA
Island parking islands	4,081 SF	4,355 SF
15% (27,208 SF) = 4,081 SF = 4,081 SF		
SEC. 250(3)(4)		
50% of island trees shall be native	51 Trees	74 Trees
(102 Trees x .5 = 51 Trees)		
50% of required shrubs/groundcover shall be native	34 Shrubs	3,702 Shrubs
57 Required shrubs x .5 = 28.5 Native Shrubs/groundcover		
Totals:	102 Trees	111 Trees

Planting Pals = 1:1. Date Palms = 1:1
 ALL SOIL AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE. MODIFY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE NEW PLANTINGS. IF NOT ALREADY, IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH A RAIN SENSOR.



PROFESSIONAL ENGINEER
 DAVID J. ...
 STATE OF FLORIDA
 LICENSE NO. ...
 EXPIRES ...

CORNERSTONE DOWNTOWN
 CORAL SPRINGS, FLORIDA

Sheet Description
LANDSCAPE PLANTING SCHEDULE

Release Date
 2-21-2020

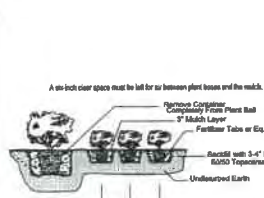
Project Number
 1930

Drawing Number
L-309

SHEET 9 OF 10

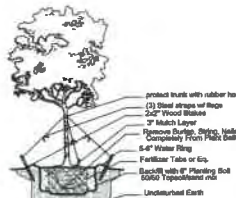


Know What's Below
 ALWAYS CALL 811 BEFORE YOU DIG
 It's fast. It's free. It's the way to call 811 two business days before digging.



Shrub & Ground Cover Planting Detail

NTS



Small Tree Planting Detail

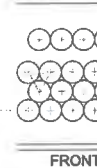
NTS

C: 1/4" for all 1 gal.
3/4" for all 3 gal. or greater
volume not included

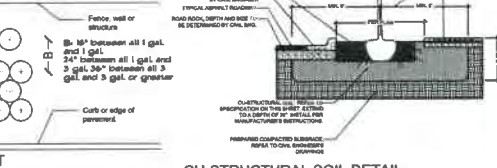
NOTE: All shrub and groundcover measure to use standard spacing except as a singular height or where noted. Refer to the plant list for individual plant spacing.

A: 1/4" for all 1 gal.
3/4" for all 3 gal. or greater

Typical Plant Spacing

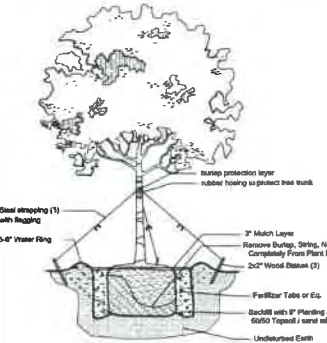


FRONT



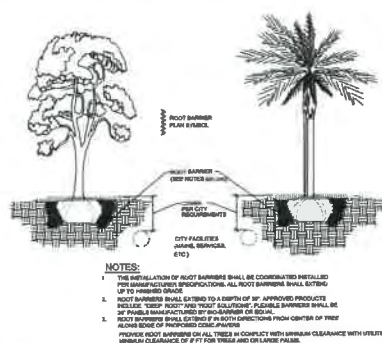
CU-STRUCTURAL SOIL DETAIL

NTS



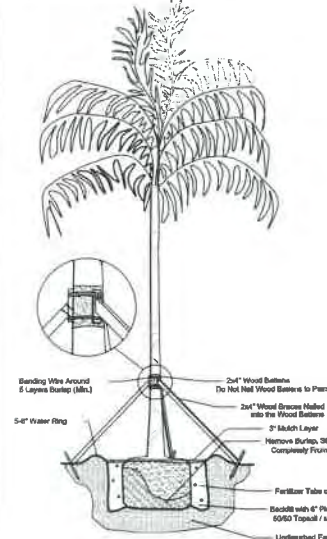
Large Tree Planting Detail

NTS



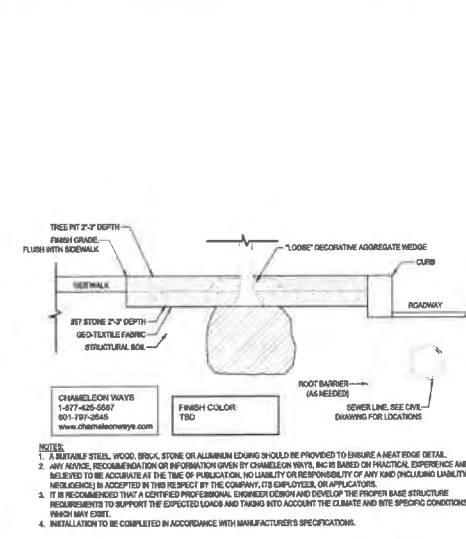
Typical Root Barrier Detail

NTS



Palm Planting Detail

NTS



ADDAPAVE DETAIL

NTS

CU-STRUCTURAL SOIL SPECIFICATIONS

NOTES:

GENERAL PLANTING REQUIREMENTS

ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLANS WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR FLORIDA NURSERY PLANTS" AND "GRADES AND STANDARDS FOR FLORIDA NURSERY TREES". ALL MATERIAL SHALL BE INSTALLED AS PER CSI SPECIFICATIONS.

ALL PLANT MATERIAL AS INCLUDED HEREIN SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD AS FOLLOWS: ALL TREES AND PALMS FOR 12 MONTHS, ALL SHRUBS, VINES, GROUNDCOVERS AND MISCELLANEOUS PLANTING MATERIALS FOR 90 DAYS, AND ALL LAWN AREAS FOR 60 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER OR OWNERS REPRESENTATIVE.

ALL PLANT MATERIAL SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN, LOOSE AND FRAGILE CONDITION. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, AND OBJECTIONABLE MATERIAL INCLUDING WEEDS AND WEED SEEDS AS PER CSI SPECIFICATIONS.

TWELVE INCHES (12") OF PLANTING SOIL, 50/50 SAND/TOPSOIL MIX IS REQUIRED AROUND AND BENEATH THE ROOT BALL OF ALL TREES AND PALMS, AND 1 CUBIC YARD PER 50 BEDDING OR GROUNDCOVER PLANTS.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH EUCALYPTUS OR STERILIZED SEED FREE MELALEUCA MULCH TO A MINIMUM DEPTH OF THREE INCHES (3") OF COVER WHEN SETTLED. A SIX-INCH CLEAR SPACE MUST BE LEFT FOR AIR BETWEEN PLANT BASES AND THE MULCH. CYPRESS BARK MULCH SHALL NOT BE USED.

ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING; NO DRY PLANTING PERMITTED. ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE.

ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SPRINKLER SYSTEM ADJUSTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. ALL HEADS SHALL BE ADJUSTED TO 100% OVERLAP AS PER MANUFACTURERS SPECIFICATIONS AND PERFORMANCE STANDARDS UTILIZING A RUST FREE WATER SOURCE. EACH SYSTEM SHALL BE INSTALLED WITH A RAIN SENSOR.

IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INSURE THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND DURING ALL PLANT WARRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO ADJUST NATURAL RAINFALL AND SITE IRRIGATION IS MANDATORY TO INSURE PROPER PLANT DEVELOPMENT AND SHALL BE PROVIDED AS A PART OF THIS CONTRACT.

ALL PLANT MATERIAL SHALL BE INSTALLED WITH FERTILIZER, WHICH SHALL BE STATE APPROVED AS A COMPLETE FERTILIZER CONTAINING THE REQUIRED MINIMUM OF PHOSPHORUS IN ADDITION TO NPK, OF WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM AN ORGANIC SOURCE AS PER CSI SPECIFICATIONS.

CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH THE OWNERS AND APPROPRIATE PUBLIC AGENCIES TO LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE EXCLUSIVE PROPERTY OF ARCHITECTURAL ALLIANCE LANDSCAPE. THE PLAN TAKES PRECEDENCE OVER THE PLANT LIST.

SPECIAL INSTRUCTIONS

GENERAL SITE AND BERM GRADING TO +1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.

ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOGRAPHUM SECUNDATUM, ST. AUGUSTINE PALMETTO TO SOD. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. SEE SHEET L-300 - L-306 FOR PLANTING PLAN
4. ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' AWAY FROM SAID CURB.
5. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
6. ALL SHADE AND MEDIUM TREES INSTALLED WITHIN 6' OF A PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM.
7. POLES AND TIES ARE TO BE REMOVED FROM TREE PRIOR TO PLANTING. TREES ARE TO BE ABLE TO STAND WITHOUT SUPPORT. THOSE THAT CANNOT STAND UPRIGHT ALONE WILL BE REJECTED.
8. THE USE OF CYPRESS MULCH IS DISCOURAGED AND ALL MULCH IS TO BE KEPT AT A MINIMUM OF 6" FROM BASE OF ALL PLANT MATERIAL.
9. THE USE OF SISAL STRAPPING/TAPE IS REQUIRED TO BE INCORPORATED AROUND THE TREE WHEN WELLINGTON TAPE IS USED TO STABILIZE THE PLANTING.
10. A LANDSCAPE MAINTENANCE AGREEMENT IS REQUIRED TO BE EXECUTED PRIOR TO FINAL LANDSCAPE INSPECTION

NOTES:

1. TREE GRATES WILL BE MAINTAINED TO ALLOW FOR FUTURE GROWTH OF TRUNKS.
2. ALL MECHANICAL EQUIPMENT, DUMPSTER ENCLOSURES, AC UNITS, BACKFLOW PREVENTORS, ETC. SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.
3. A BROWARD COUNTY TREE REMOVAL PERMIT IS REQUIRED TO REMOVE TREES IN COUNTY RIGHT-OF-WAY.



CU-STRUCTURAL SOIL SPECIFICATIONS

- PART 2 - MATERIALS
- 2.1 CLAY LOAM
 - A. Soil shall be a "loam" with a minimum clay content of 20% or a "dry loam" based on the "USDA Classification System" as determined by mechanical analysis (ASTM D 2482) and shall be of uniform composition, without admixture of subsoil. It shall be free of stones, twigs, sticks and other matter, debris and other objectionable matter. It shall not contain toxic substances harmful to plant growth. (Dry loam shall contain not less than 2% or more than 2% organic matter as determined by the loss on ignition of an analytical sample. Test samples shall be analyzed in a constant weight at a temperature of 220 degrees C, plus or minus 9 degrees.)
 - B. Mechanical analysis for the loam or clay loam shall be as follows:

Material Class	Percent	Max. Total Weights
Coarse	Less than 5%	Less than 5%
Fine	5%	20-50%
Clay	20-50%	20-50%
 - C. "Chemical analysis" shall, as indicated, meet the following criteria:
 1. pH between 5.5 to 6.5
 2. Percent organic matter 2% - 2% by weight
 - D. Adequate nutrient levels
 - E. Soluble salt less than 1.0 meq/liter
 - F. Cation Exchange Capacity (CEC) greater than 10
 - G. Carbon Nitrogen ratio less than 20:1
 - H. Losses of clay loam shall not exceed USDA - Classification process standard.
 - 2.2 FERTILIZER (if needed)
 - A. Should contain analysis equal to the loam or clay loam local additional nutrient, as shall be established by "local" regional producer.
 - 2.3 MULCH (if needed)
 - A. Mulch shall be a commercial grade, 90% pine needles, with material and analysis appearing on the label container.
 - B. Mulch shall be loose pH shall be a ferrous sulfate formulation.
 - C. Application rates shall be dependent on soil test results.
 - 2.4 LIME (if needed)
 - A. Agricultural lime containing a minimum of 85% calcium.
 - B. Application rates shall be dependent on soil test results.
 - 2.5 CRUSHED STONE
 - A. The size of the crushed stone shall be 0.75 inches to 1.5 inches allowing for up to 10% by weight greater than 1.5 inches, and up to 30% less than 0.75 inches.
 - B. Acceptable aggregate dimensions will not exceed 2:1:0 for any size or dimension.
 - C. Minimum 90% with less or more than 3 inches from
 - D. Results of Aggregate Gradation Tests shall not exceed 10%.
 - E. Lumps from LA 1/2 inch or less shall not exceed 40%.
 - 2.6 HYDRANT
 - A. Hydrant shall be a cast-iron pressure pipe, pressure pipe, and pipe (Chicago) Hydrant 1 1/2 inch as manufactured by, Manning, Jewett & McCracken.
 - 2.7 WALKER
 - A. The installing contractor shall be responsible to furnish his own supply of water (if needed) for the installation, to the site.
 - 2.8 CU-STRUCTURAL SOIL
 - A. A uniformly blended mixture of equal parts of crushed stone, clay loam and Geotextile Hydrant 1 1/2 inch, as produced by an American/Canadian company, used in the following proportion:

Material	Quantity	Notes
Crushed Stone	100 units dry weight	1 1/2 inch (3/4) sieve
Clay Loam	100 units dry weight	20 - 25 mesh (No. 60) sieve
Chicago 1 1/2 inch Hydrant	0.015 units dry weight	ASTM D 1996 - 1997 (1) 99 specimen moisture

AAAL
Architectural Alliance Landscape
1315 W. 4th Ave., Fort Lauderdale, FL 33304
Tel: 754-561-1111
Fax: 754-561-1112

PROJECT
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

DRC SUBMITTAL
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

Sheet Description
LANDSCAPE NOTES AND DETAILS

Release Date
2-21-2020

Project Number
1930

Drawing Number
L-310
SHEET 10 OF 10

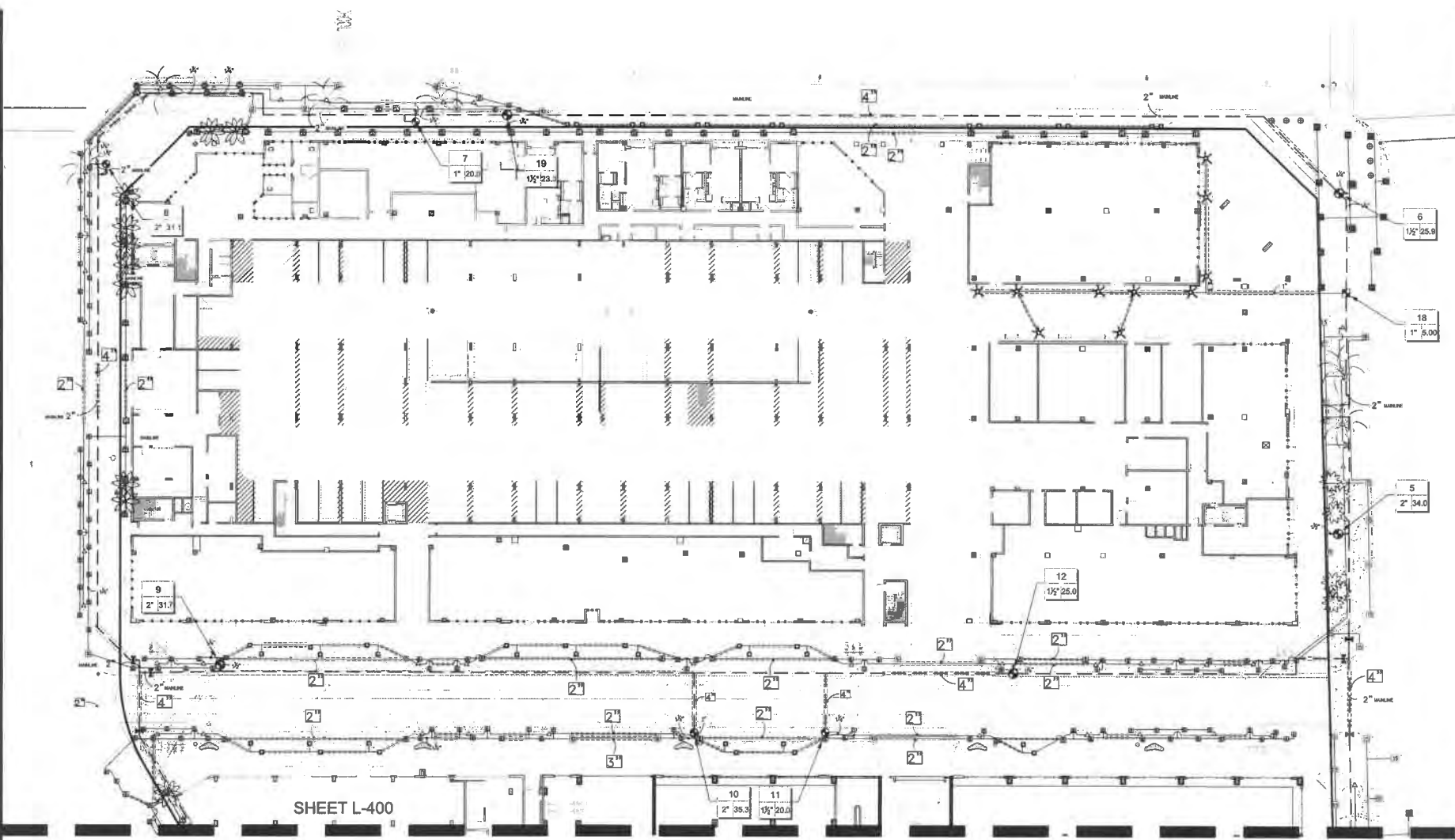


Revision Dates

NO. 1	DATE	DESCRIPTION
1	08/20/20	ISSUED FOR PERMIT
2	08/20/20	REVISIONS
3	08/20/20	REVISIONS
4	08/20/20	REVISIONS
5	08/20/20	REVISIONS
6	08/20/20	REVISIONS
7	08/20/20	REVISIONS
8	08/20/20	REVISIONS
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19	08/20/20	REVISIONS
20	08/20/20	REVISIONS

DRC SUBMITTAL
CORNERSTONE DOWNTOWN
 CORAL SPRINGS, FLORIDA

Sheet Description	IRRIGATION PLAN
Release Date	2-21-2020
Project Number	1930
Drawing Number	L-401



SHEET L-400
 SHEET L-401

MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO IRRIGATION SPECIFICATIONS AND DETAILS.

INSTALL DIRECT BURIAL CONTROL WIRE ADJACENT TO MAINLINE FROM CONTROLLER TO VALVES. USE 2" CONDUIT FOR CONTROL WIRE UNDER PAVEMENT

ONLY PIPE SLEEVES LOCATED WITHIN VEHICULAR USE AREAS HAVE SIZES THAT ARE LABELED. FOR ALL OTHER PIPE SLEEVES REFER TO SLEEVING SCHEDULE.

SLEEVING SCHEDULE	
PIPE SIZE	SLEEVING PIPE SIZE
3/4"	2"
1"	2"
1-1/4"	3"
1-1/2"	3"
2"	4"
3"	6"
4"	6"
6"	12"
8"	16"

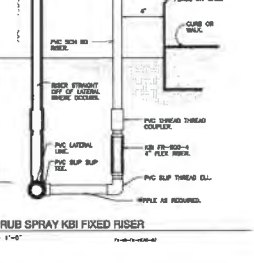
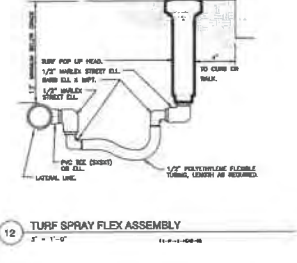
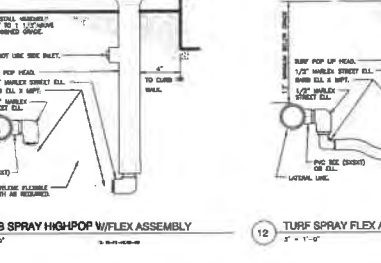
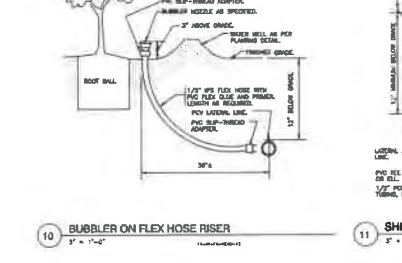
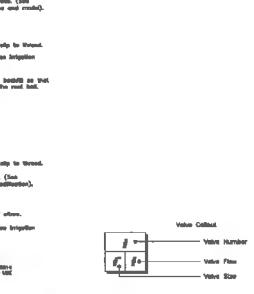
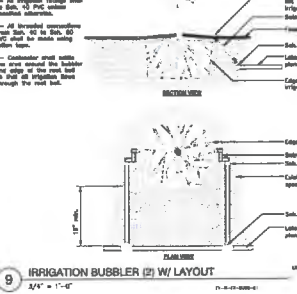
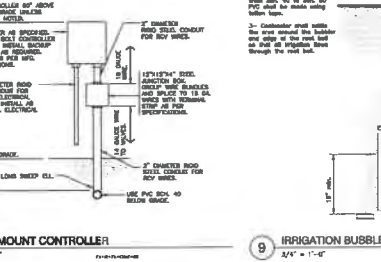
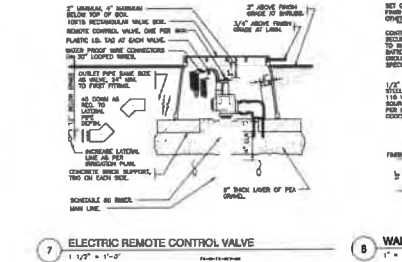
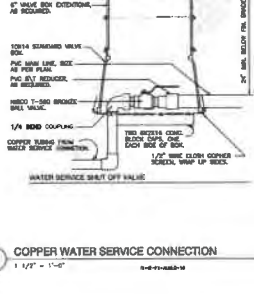
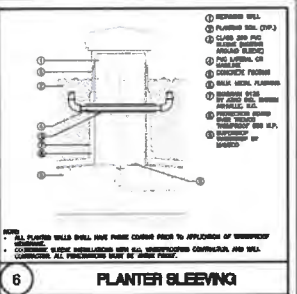
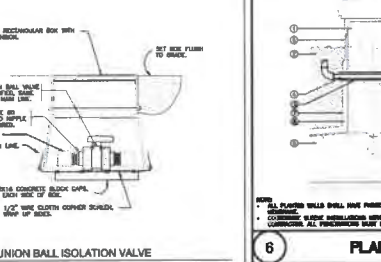
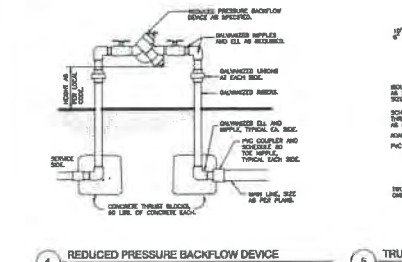
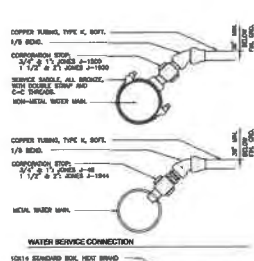
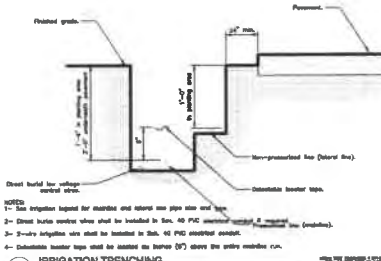
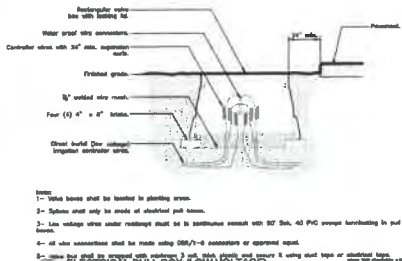
NOTES:

1. INSTALLER IS REQUIRED TO CONDUCT FINAL TESTING AND ADJUSTMENT TO ACHIEVE DESIGN SPECIFICATIONS PRIOR TO COMPLETION OF THE SYSTEM AND ACCEPTANCE BUY THE OWNER OR OWNERS REPRESENTATIVE.
2. CHECK VALVES MUST BE INSTALLED AT IRRIGATION HEADS AS NEEDED TO PREVENT LOW HEAD DRAINAGE AND FLOODING.
3. CONTROL SYSTEM SHALL HAVE ABILITY TO MAINTAIN TIME DURING POWER OUTAGES FOR A MINIMUM OF 3 DAYS.
4. CONTROL SYSTEM SHALL PROVIDE ABILITY TO ACCOMMODATE MULTIPLE START TIMES AND PROGRAMS.
5. CONTROL SYSTEM SHALL PROVIDE AUTOMATIC SHUT OFF AFTER ADEQUATE RAINFALL OR DETECTION OF ADEQUATE SOIL MOISTURE.
6. CONTROL SYSTEM TO PROVIDE ABILITY TO BE PROGRAMMED IN MINUTES, WEEKDAY, SEASON, AND TIME OF DAY.
7. IRRIGATION SYSTEM SHALL MAINTAIN AND OPERATE A RAIN SENSOR DEVICE OR SWITCH WITH 100 PERCENT COVERAGE AND 50 PERCENT OVERLAP THAT WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL OCCURS.
8. NOZZLE PRECIPITATION RATES FOR ALL HEADS WITHIN EACH VALVE CIRCUIT MUST BE MATCHED TO WITHIN 20 PERCENT OF ONE ANOTHER.
9. NO IRRIGATION SPRAY SHALL BE APPLIED UNDER ROOF OVERHANGS.
10. PRECIPITATION RATES FOR SPRINKLERS AND ALL OTHER EMITTERS IN THE SAME ZONE SHALL BE MATCHED, EXCEPT THAT MICROIRRIGATION EMITTERS MAY BE SPECIFIED TO MEET THE REQUIREMENTS OF INDIVIDUAL PLANTS.

811 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG

It's fast, it's free, it's the law
 Call 811 two business days
 before digging





IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
[Symbol]	RAIN BIRD 1800-SAM-PRS 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	2	30
[Symbol]	RAIN BIRD 1800-SAM-PRS ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	1	30
[Symbol]	RAIN BIRD 1800-SAM-PRS HE-VAN SERIES TURF SPRAY 8.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	38	30
[Symbol]	RAIN BIRD 1800-SAM-PRS 16 STRIP SERIES SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE, ON FIXED RISER, ADJUST HEIGHT 80 TOP OF POP UP IS 2' BELOW SURROUNDING PLANT MATERIAL WHEN NOT IN USE.	6	30
[Symbol]	RAIN BIRD 1800-SAM-PRS 5 SERIES MPR SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE, ON FIXED RISER, ADJUST HEIGHT 80 TOP OF POP UP IS 2' BELOW SURROUNDING PLANT MATERIAL WHEN NOT IN USE.	5	30
[Symbol]	RAIN BIRD 1800-SAM-PRS 5 SERIES MPR SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE, ON FIXED RISER, ADJUST HEIGHT 80 TOP OF POP UP IS 2' BELOW SURROUNDING PLANT MATERIAL WHEN NOT IN USE.	1	30
[Symbol]	RAIN BIRD 1800-SAM-PRS ADJ SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE, ON FIXED RISER, ADJUST HEIGHT 80 TOP OF POP UP IS 2' BELOW SURROUNDING PLANT MATERIAL WHEN NOT IN USE.	4	30
[Symbol]	RAIN BIRD 1800-SAM-PRS HE-VAN SERIES SHRUB SPRAY 8.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE, ON FIXED RISER, ADJUST HEIGHT 80 TOP OF POP UP IS 2' BELOW SURROUNDING PLANT MATERIAL WHEN NOT IN USE.	10	30
[Symbol]	RAIN BIRD 1812-SAM-PRS BQ SERIES SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	5	30
[Symbol]	RAIN BIRD 1812-SAM-PRS 15 STRIP SERIES SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	25	30
[Symbol]	RAIN BIRD 1812-SAM-PRS 5 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	62	30
[Symbol]	RAIN BIRD 1812-SAM-PRS 8 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	10	30
[Symbol]	RAIN BIRD 1812-SAM-PRS ADJ SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	203	30
[Symbol]	RAIN BIRD 1812-SAM-PRS HE-VAN SERIES SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	120	30
[Symbol]	RAIN BIRD 1800-1400 FLOOD 1401 FIXED FLOW RATE (0.29-2.20MPH), FULL CIRCLE BUBBLER, 1/2" FPT.	143	30
[Symbol]	RAIN BIRD 1804-SAM-PRS 5 SERIES STREAM STREAM BUBBLER 4" POP-UP WITH CHECK VALVE AND PRESSURE REGULATOR.	6	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
[Symbol]	RAIN BIRD 2027-100-PPF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE WITH 1" PRESSURE REGULATING FILTER AT, AND MDCP WITH 3" GPM-15 GPM.	3	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
[Symbol]	RAIN BIRD P88-PRS-D 1", 1/2" 2" PLASTIC INDUSTRIAL VALVE, LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	17	
[Symbol]	GROSVOLD ISOLATOR 1 BRASS DRIP VALVE WITH UNION BALL VALVE, INCLUDES PLUG IN BOSS, SIZES 1/2" THROUGH 2", INSTALL SAME SIZE AS IRRIGATION LINE, 100 MESH STAINLESS STEEL STRAINER AND PACKING GLAND BALL VALVE ARE IDEAL FOR DIRTY WATER APPLICATIONS.	6	
[Symbol]	FEDCO 8297 2" REDUCED PRESSURE BACKFLOW PREVENTER	1	
[Symbol]	RAIN BIRD ESP12L2MFC WITH (01) ESP12M3M12 24 STATION COMMERCIAL CONTROLLER, PLASTIC WALL MOUNT, FLOW SENSING.	1	
[Symbol]	WATER METER 2"	1	
[Symbol]	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 ONLY LATERAL LINES SIZED 1-1/4" AND LARGER ARE LABELED, WITH ALL OTHER LINES BEING 1" IN SIZE.	9,423	L.F.
[Symbol]	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.	2,829	L.F.
[Symbol]	PIPE SLEEVE PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE, PIPE SLEEVE SIZE SHALL BE AT MINIMUM THREE TIMES THE DIAMETER OF THE IRRIGATION PIPE IT IS TO ENCASE, AND ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH.	3,068	L.F.

AAAL
Architectural Alliance Landscape
412 NW 4th Ave., Fort Lauderdale, FL 33307
TEL: 561-525-5252 FAX: 561-525-5253

CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

DRC SUBMITTAL

Sheet Description
IRRIGATION DETAILS & SCHEDULE
Release Date
2-21-2020
Project Number
1930
Drawing Number
L-403

WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltage.

Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

- Wires sized, numbered and colored as follows:
#14 white for common
#14 spare black common
#14 individual color coded hot wire
#14 spare yellow hot wire

Spare wires
Leaving each controller, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (5 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 6" and be readily accessible by opening the valve box lid. These wires must all be color coded and numbered as required in the plans.

Controller end pump station Control Panel grounding - Contractor to utilize 4"x8"x3/4" copper grounding plates, 3/4"x10" copper clad grounding rods, (one 3/8" x 3" x 3/4" CAD well) at all connection points. #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification on a licensed electrical contractor's letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded on tested. Each component must have its own separate ground grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust layout and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail sheet.

Spray heads shall be installed 4' from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4' from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalk, roadway, curbing, building foundations, and/or any other landscaped areas. Shrub heads shall be installed to a standard height of 2' above maintain height of plants and shall be installed a minimum of 6" within planted areas to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will spray water. In this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the furthest valve from the POC operates first and the closest to the POC operates last. The closest valve to the POC should be the last valve in the program sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve ID letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple joints unless otherwise detailed. All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replace any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Weld Pipe: Cut all pipe square and debur. Clean pipe on fittings of foreign material then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement first apply a thin layer to the pipe, next a thin layer into the fitting, and finally another very thin on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/4 turn and hold for 10 seconds. Make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded. Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing may be required refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.

BACK FILL

The back fill of below, 6" above, and around all piping shall be clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Main line pipe depth measure to the top of pipe shall be:
24" minimum for 3/4" - 2 1/2" PVC with a 30" minimum at vehicular crossings;
30" minimum for 1" & 1 1/2" PVC with a 36" minimum at vehicular crossings.

Lateral the depths measure to top of pipe shall be:
18" minimum for 3/4" - 3" PVC with a 30" minimum at vehicular crossings;
24" minimum for 4" PVC and above with a 36" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2" on each side of every joint (all fittings, 90's, tees, 45's, etc.). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walks, walls and paving.

TESTING

Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.

Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. hose bibs and gate valves shall not be tested against during a pressure test unless authorized by written permission from the owner. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure

at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.

If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

Lateral Lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works satisfactorily from the controller. This demonstration requires each zone to be turned on in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to puddle or runoff. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

See Construction Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicate each item one being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review. In lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion

As a condition of final acceptance, the irrigation contractor shall provide the owner with:
1. Irrigation AS-built - shall be provided accurately locating all mainlines, steves, remote control valves, gate valves, independent wet runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, IR wells and water source connections. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Steves will be located at end points and every 20' of length. All underground items shall include depth in inch format.
2. Controller charts - Upon completion of "as-built" prepare controller charts; one per controller. Indicate on each control valve controlled by a remote control valve using a unique color for each zone. This chart shall be reduced to a size that all fit inside the controller door. The reduction shall be hermetically sealed inside two (2) pieces of clear plastic.

3. Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrical tester head indication location tested (using IR plan symbols), date, the test method and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owner's representative to their satisfaction, as follows:

- 1.Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.
2.Mainline location inspections - All mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method.
3.Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.
4.Flow meter calibration - All flow meters must be calibrated. Provide certified calibration report for all flow meters.
5.Coverage and operational test
6.Final inspection
7.Funch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

- 1.All above inspections are completed, documented, approved by owner.
2.Completion and acceptance of "as-built" drawings.
3.Acceptance of required controller charts and placement inside controllers.
4.All other submittals have been made to the satisfaction of the owner.

GUARANTEE The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

1. Every irrigation zone should be checked monthly and written reports generated describing the status; each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:

- A. Turn on each zone from the controller to verify automatic operation.
B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an IA-certified auditor for methods used in determining proper irrigation scheduling requirements.
C. Check remote control valve to ensure proper setting, if present.
D. Check setting on pressure regulator to verify proper setting, if present.
E. Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.
F. Check for leaks - mainline, lateral lines, valves, heads, etc.
G. Check all heads as follows:
1. Proper set height (top of sprinkler is 1" below nose height)
2. Verify head pop-up height - 6" in turf, 18" in grass/cover, and riser in shrub beds
3. Check wiper seal for leaks - if leaking, clean head and re-inspect.
4. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed.
6. Check for proper alignment - perfectly vertical; coverage area is correct; minimize over spray onto landscapes.
7. Riser height adjusted/inserted to accommodate plant growth patterns and ensure proper coverage.
8. Verify pop-ups retract after operation. If not, repair/replace as needed.
H. Check controller/CELL grounds for resistance (10 ohms or less) once per year. Submit written reports.
I. Check rain shut-off device monthly and clean/repair/replace as needed.
J. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
L. Inspect all filters monthly and clean/repair/replace as needed.
M. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.
N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.
O. Winterize, if applicable, as weather in your area dictates; follow manufacturer recommendations and blow out all lines on an equivalent using compressed air. Perform seasonal start-up of system as per manufacturer recommendations.
P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

SOIL MOISTURE SENSOR (when applicable)

- 1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit.
2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (use a rain switch per manufacturer directions).

VALVE SCHEDULE

Table with columns: NUMBER, MODEL, SIZE, TYPE, GPM, HEADS, WIRE, PSI, PSI @ POC, PRECIP. Rows include TURF SPRAY, SHRUB SPRAY, and BUBBLER for various models and sizes.

WATERING SCHEDULE

Table with columns: NUMBER, MODEL, TYPE, PRECIP, IN/AWEK, MIN/AWEK, GAL/WEEK, GAL/DAY. Rows include TURF SPRAY, SHRUB SPRAY, and BUBBLER for various models and sizes.

CRITICAL ANALYSIS

Generated: 2022-08-02 09:56
P.O.C. NUMBER: 01
View Source Information
FLOW AVAILABLE
Water Meter Size: 2"
Flow Available: 77.18 GPM
PRESSURE AVAILABLE
Static Pressure at POC: 88.00 PSI
Elevation Change: 5.0' R
Service Line Size: 2.0"
Length of Service Line: 20.00 R
Pressure Available: 66.00 psi
DESIGN ANALYSIS
Maximum Station Flow: 37.85 GPM
Flow Available at POC: 77.18 GPM
Residual Flow Available: 39.32 GPM
Ortinal Station: 13
Design Pressure: 30 PSI
Friction Loss: 2.22 PSI
Pitong Loss: 0.32 PSI
Elevation Loss: 0 PSI
Loss through Valve: 4.0 PSI
Pressure Req. at Critical Station: 38.35 PSI
Loss for Friction: 1.14 PSI
Loss for Main Lines: 11.27 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.25 PSI
Loss for Water Meter: 1.17 PSI
Critical Station Pressure at POC: 63.86 PSI
Pressure Available: 66 PSI
Residual Pressure Available: 1.14 PSI

Architectural Alliance Landscape
4115 NW 14th Ave., Fort Lauderdale, FL 33307
Tel: 954-561-8888
Email: info@alliancelandscape.com



Revision Details
1. Initial Design
2. Final Design
3. Construction Documents

DRG SUBMITTAL
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

Sheet Description
IRRIGATION NOTES & SCHEDULES
Release Date
2-21-2020
Project Number
1930
Drawing Number
L-404
SHEET 4 OF 4



DATE: 02/20/2020
PROJECT: L-405
DRAWING: IRRIGATION PLAN
DESIGNED BY: DA
CHECKED BY: DA
APPROVED BY: DA

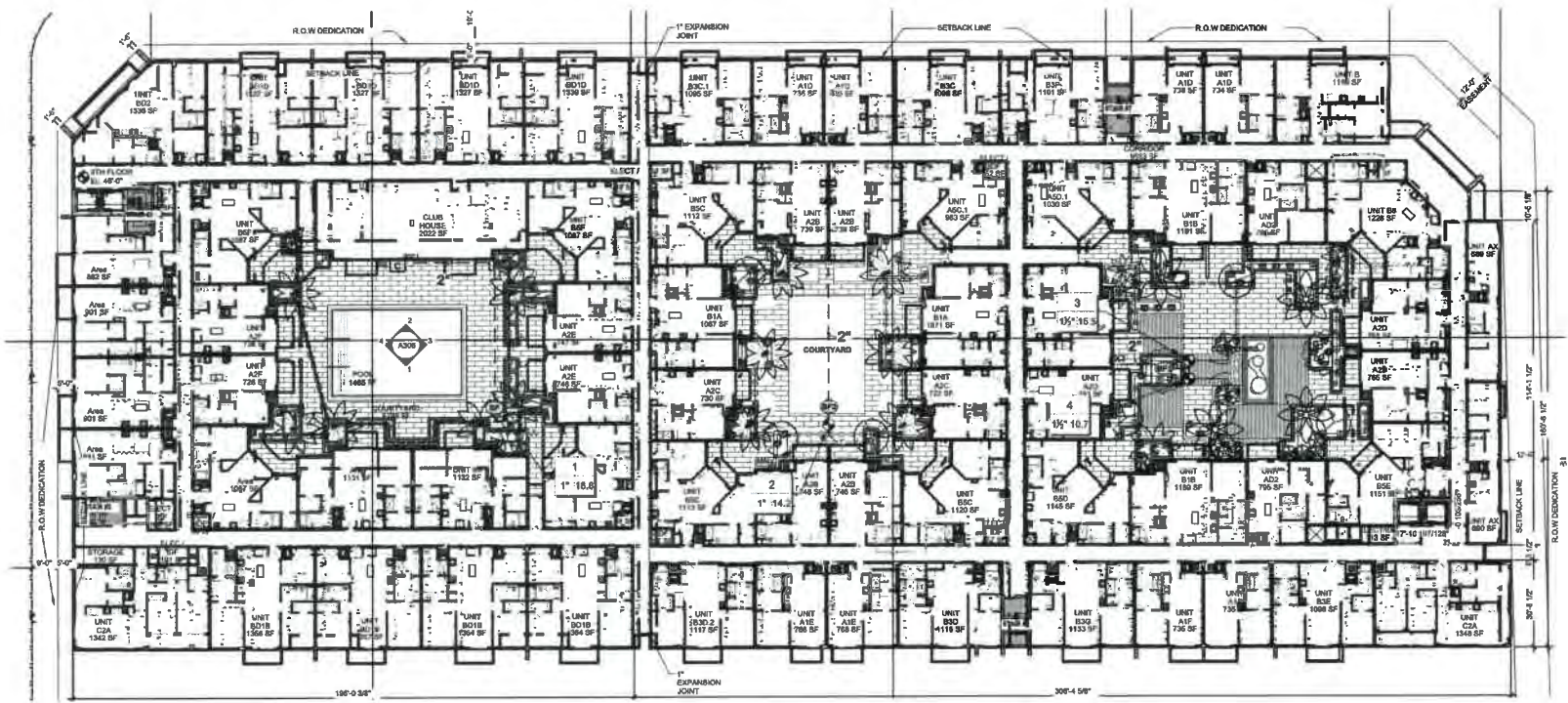
DRC SUBMITTAL
CORNERSTONE DOWNTOWN
CORAL SPRINGS, FLORIDA

Sheet Description
**UPPER LEVEL
IRRIGATION PLAN**

Release Date
2-21-2020

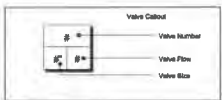
Project Number
1930

Drawing Number
L-405
SHEET 5 OF 5



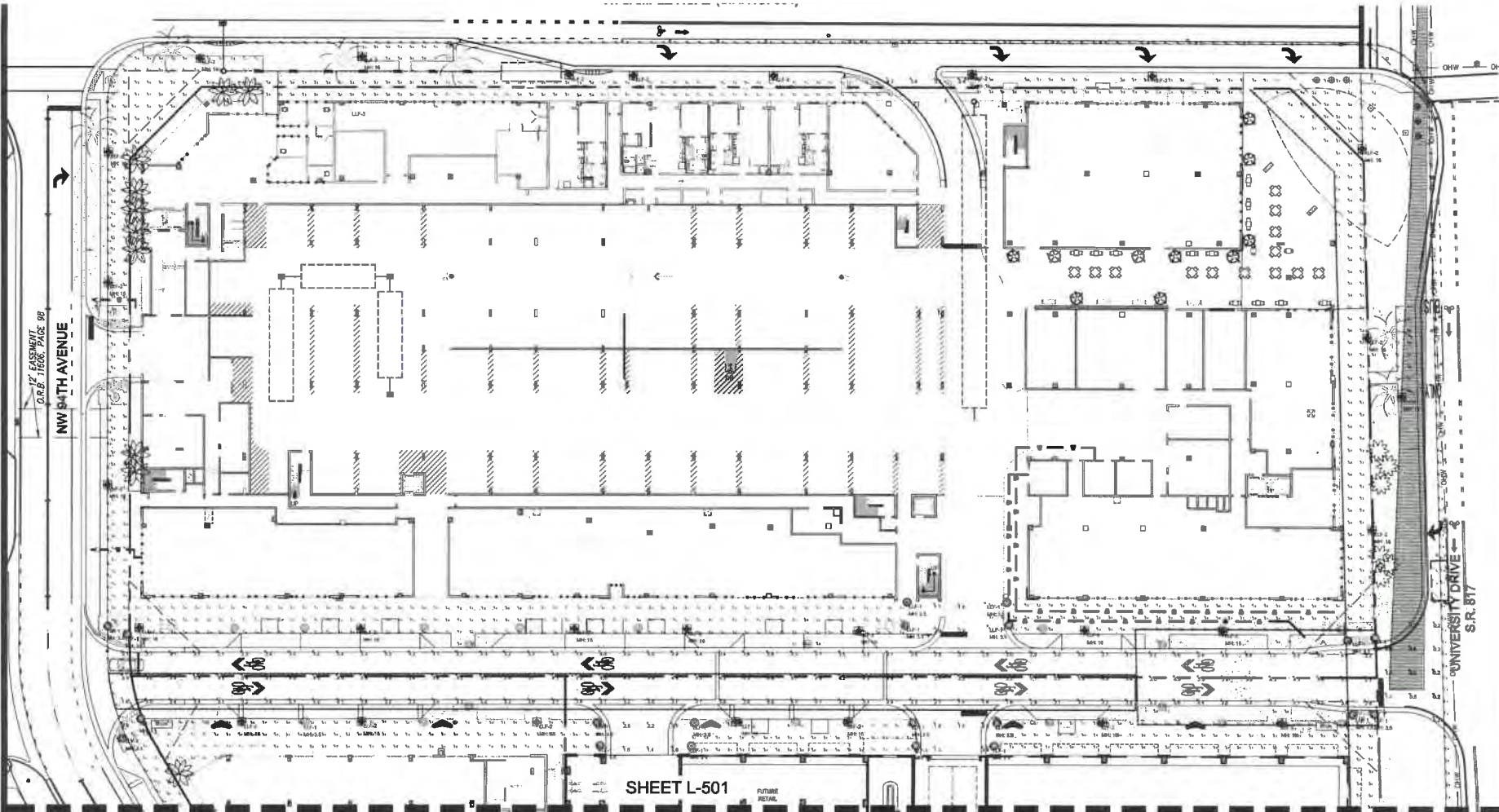
IRRIGATION SCHEDULE - UPPER LEVEL			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSH
	RAIN BIRD 1806-SAM-PRS 5 SERIES MPR SHRUB SPRAY 6.0\"	1	30
	RAIN BIRD 1812-SAM-PRS 5Q SERIES SHRUB SPRAY 12.0\"	33	30
	RAIN BIRD 1812-SAM-PRS 6 SERIES MPR SHRUB SPRAY 12.0\"	60	30
	RAIN BIRD 1812-SAM-PRS 8 SERIES MPR SHRUB SPRAY 12.0\"	3	30
	RAIN BIRD 1812-SAM-PRS 10 SERIES MPR SHRUB SPRAY 12.0\"	8	30
	RAIN BIRD 1812-SAM-PRS ADJ SHRUB SPRAY 12.0\"	66	30
	RAIN BIRD 1812-SAM-PRS 18 SERIES SHRUB SPRAY 12.0\"	19	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD P85-PR5-0 1\", 1-1/2\", 2\"	4
	FEBCO 805Y 1\" REDUCED PRESSURE BACKFLOW PREVENTER	1
	FEBCO 805Y 1\" REDUCED PRESSURE BACKFLOW PREVENTER	1
	RAIN BIRD T800-B14 4 STATION BLUETOOTH BATTERY OPERATED CONTROLLER WITH INFRARED PORT, MASTER VALVE AND SENSOR OUTPUT. INSTALL WITH (T800SPQ) 9V, DC POTTED LATCHING SOLENOID. USE (T800ADAP) OR (T800ADAPB) ADAPTERS FOR NON-RAIN BIRD PLASTIC/BRASS VALVES. COMPATIBLE W/ LEGACY HAND-HELD TRANSMITTER OR RAIN BIRD MOBILE APP.	1
	RAIN BIRD WR2-RC WIRELESS RAIN SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN SENSOR TRANSMITTER.	1
	POINT OF CONNECTION 1\" CONNECT TO BUILDING WATER SUPPLY	1
	POINT OF CONNECTION 1\" CONNECT TO BUILDING WATER SUPPLY	1
	POINT OF CONNECTION 1\" CONNECT TO BUILDING WATER SUPPLY	1
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 ONLY LATERAL LINES SIZED 1-1/4\" AND LARGER ARE LABELED, WITH ALL OTHER LINES BEING 1\" IN SIZE.	1,489 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.	177.4 L.F.
	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL BE AT MINIMUM TWICE THE DIAMETER OF THE IRRIGATION PIPE IT IS TO ENCASE, AND ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH.	304.2 L.F.



811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's Not, It's Free, It's Us.
Call 811 two business days before digging.





Cornerstone Coral Springs Lighting - AAL LIGHTING SCHEDULE

EXCEPT WHERE NOTED OTHERWISE, ALL FIXTURES SHALL BE PROVIDED WITH THE FOLLOWING SPECIFICATIONS:

TYPE	FIGURE SYMBOL	DESCRIPTION	FINISH	WATT	LED/TYPE NUMBER	LUMENS	VOLUME	BEAM FIELDS	BEAM ANGLE	REMARKS
L-501		RECESSED SQUARE FIXTURE	FL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-502		RECESSED SQUARE FIXTURE	FL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-503		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-504		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-505		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-506		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-507		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-508		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-509		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM
L-510		TRACK LIGHTING	RECESSED METAL	150W	150W-150LM-150LM-150LM-150LM	15000LM	1500	150	150°	15000LM

SHEET L-501
FUTURE
FIXTURES

SHEET L-502

NOTE:
1. A CERTIFIED REPORT FROM A LICENSED ELECTRICAL OR LIGHTING ENGINEER AND OR CONTRACTOR TO VERIFY THAT THE PHOTOMETRIC PLAN MEETS THE APPROVED PLAN SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF COMPLETION AN OR OCCUPANCY.

- LIGHTING SCHEDULE NOTES
- CONTACT FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT: [LEIGH HARDA 786 491-7322 LEIGH.HARDA@LDI.COM](mailto:LEIGH.HARDA@LDI.COM)
 - EXCEPT WHERE NOTED OTHERWISE, ALL FIXTURES SHALL BE PROVIDED WITH THE FOLLOWING SPECIFICATIONS:
 - THE ABOVE FIXTURE SCHEDULE IS INDICATED PERFORMANCE, BIDDING INFORMATION, AND IS DESIGNED TO MEET CERTAIN AESTHETIC CRITERIA. ANY ALTERNATIVE SELECTIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO BID DATE.
 - IF THERE IS A DISCREPANCY BETWEEN A FIXTURE DESCRIPTION AND GENERAL NOTES, THE FIXTURE DESCRIPTION AND GENERAL NOTES SHALL PREVAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL DESIGN CONSTRUCTION TYPE AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND FURNISH ALL LUMINAIRE WITH THE CORRECT MOUNTING DEVICES WHETHER OR NOT SUCH VARIATIONS ARE INDICATED IN THE LUMINAIRE CATALOG.
 - ALL LUMINAIRE SHALL BEAR THE AAL LIGHTING LABELS FROM A NATIONALLY RECOGNIZED TESTING LABORATORY.



Revision Dates

1. 08/20/2020	ISSUED FOR BIDDING
2. 08/20/2020	ISSUED FOR BIDDING
3. 08/20/2020	ISSUED FOR BIDDING
4. 08/20/2020	ISSUED FOR BIDDING

CORNERSTONE DOWNTOWN

CORAL SPRINGS, FLORIDA

DRC SUBMITTAL

LANDSCAPE LIGHTING PLAN

Release Date: 2-21-2020

Project Number: 2223

Drawing Number: L-501

SHEET 1 OF 5

