

**CITY OF DELAWARE
PLANNING COMMISSION MEETING
CITY HALL
COUNCIL CHAMBERS
1 SOUTH SANDUSKY STREET**

AGENDA

6:30 PM

FEBRUARY 7, 2024

Live streaming of meeting will be available under "Events" at www.delawareohio.net.

PUBLIC COMMENT: Emails, letters, and petitions received to the Council Clerk by 10 a.m. the date of the meeting will be presented and submitted into the record. These items will not be read aloud during the meeting but will be available on the website following the meeting at the end of the next business day. Name and address are required. Send to Councilclerk@delawareohio.net.

1. ROLL CALL

2. APPROVAL OF MOTION SUMMARY

2A.. APPROVAL of the Motion Summary of the Planning Commission meeting held on January 17, 2024, as recorded and transcribed.

3. REGULAR BUSINESS

- A. 2024-0074: A request by McDonald's Real Estate Company for approval of a Combined Preliminary and Final Development Plan for McDonald's on 1.438 acres of property zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) at 800 Sunbury Road, further described as Parcel Number 519-444-04-006-000.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

B. Donovan Farms

- 1. 2024-0058: A request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 6.278 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located west of South Houk Road.
- 2. 2023-0060: A request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 107.834 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located between South Section Line Road and South Houk Road.

Anticipated Process

- a. Staff Presentation

- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- 4. PLANNING DIRECTOR'S REPORT
- 5. COMMISSION MEMBER COMMENTS AND DISCUSSION
- 6. NEXT REGULAR MEETING: March 6, 2024
- 7. ADJOURNMENT

PLANNING COMMISSION
JANUARY 17, 2024
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Paul Stelzer, Tajudeen Bakare, Dustin Nanna (arrived at 6:32 p.m.), George Stroud, Vice-Chair Cory Hoffman and Chairman Stacy Simpson

Members Absent: Dean Prall

Motion to excuse: Vice-Chair Hoffman motioned to excuse Mr. Prall and Mr. Nanna, seconded by Mr. Stelzer. Motion approved with a 6-0 vote.

Staff Present: David Gentile, Development Planner, Anna Kelsey, Planning and Zoning Administrator, Carrie Fortman, Project Engineer and Sandra Pereria, Planning and Community Development Director

ITEM 3. APPROVAL OF THE MOTION SUMMARY

- A. Approval of the motion summary of the Planning Commission meeting held on December 6, 2023, as recorded and transcribed.

Motion: Mr. Stelzer motioned to approve the Motion Summary for the Planning Commission meeting held on December 6, 2023, as recorded and transcribed, seconded by Vice-Chair Hoffman. Motion approved with a 6-0 vote.

ITEM 4. REGULAR BUSINESS

- A. Addison Farms North Sections 2 and 3

1. 2023-4568: A request by Addison Properties for approval of a Final Development Plan for Addison Farms North Sections 2 and 3 on approximately 35.11 acres on property zoned A-1 and R-3 PMU (Agricultural District and One-Family Residential District with a Planned Mixed-Use Overlay) and located north and west of future Merrick Parkway and Heritage Boulevard.

2. 2023-4569: A request by Addison Properties for approval of a Final Subdivision Plat for Addison Farms North Section 2 on approximately 17.254 acres on property zoned A-1 and R-3 PMU (Agricultural District and One-Family Residential District with a Planned Mixed-Use Overlay)

and located north and west of future Merrick Parkway and Heritage Boulevard.

3. 2023-4570: A request by Addison Properties for approval of a Final Subdivision Plat for Addison Farms North Section 3 on approximately 17.780 acres on property zoned A-1 and R-3 PMU (Agricultural District and One-Family Residential District with a Planned Mixed-Use Overlay) and located north and west of future Merrick Parkway and Heritage Boulevard.

Anticipated Process

a. Staff Presentation

Ms. Kelsey gave a brief presentation on Case numbers 2023-4568, 2023-4569 and 2023-4570. There is a condition of approval is the applicant will need to coordinate with the fire department to ensure the emergency access lane is blocked but accessible to first responders. The applicant is in contact with the fire department. Staff does recommend approval.

b. Applicant Presentation

Shawn Lanning, Watcon Consulting Engineers
83 Shull Avenue
Gahanna, Ohio

Mr. Lanning stated he had nothing further to add to the presentation that was given.

Mr. Hoffman asked who the builder was for this development. American Homes for Rent is the builder, if this development would be like the Redwood homes and what the rent rates would be.

c. Public Comment (not a public hearing)

There was no public participation.

d. Commission Action

Vice-Chair Hoffman stated the lack of public participation was interesting given the type of housing that will be constructed in regard to traffic concerns within the City. A discussion between staff and the Commission occurred about traffic and what may or may not be driving traffic in Delaware.

Motion: Vice-Chair Hoffman motioned to approve 2023-4568 along with all conditions listed in the staff report, seconded by Mr. Nanna. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4569 along with all conditions listed in the staff report, seconded by Mr. Nanna. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4570 along with all conditions listed in the staff report, seconded by Mr. Nanna. Motion was approved with a 6-0 vote.

B. Townhomes at Addison Farms Section 1

1. 2023-4562: A request by Addison Delaware, LLC for approval of a Final Development Plan for the Townhomes at Addison Farms Section 1 on approximately 10.28 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed-Use Overlay District) and located southwest of the Addison Farms North subdivision.

2. 2023-4563: A request by Addison Delaware, LLC for approval of a Final Subdivision Plat for the Townhomes at Addison Farms Section 1 on approximately 10.28 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed-Use Overlay District) and located southwest of the Addison Farms North subdivision.

Anticipated Process

a. Staff Presentation

Ms. Kelsey gave a brief presentation of 2023-4562 and 2023-4563. The townhomes would be for sale. Ms. Kelsey stated this type of housing would diversify the selection within the City. Staff does recommend approval.

b. Applicant Presentation

Shawn Lanning, Watcon Consulting Engineers
83 Shull Avenue
Gahanna, Ohio

Mr. Lanning had nothing to add to the presentation.

c. Public Comment (not a public hearing)

There was no public participation.

d. Commission Action

Vice-Chair Hoffman asked how this type of housing was decided on. Ms. Kelsey stated there has seemingly been the desire to have different types of housing within Addison Farms.

Motion: Vice-Chair Hoffman motioned to approve 2023-4562 along with the conditions listed in the staff report, seconded by Mr. Nanna. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4563 along with the conditions listed in the staff report, seconded by Mr. Nanna. Motion was approved with a 6-0 vote.

C. Coughlin's Crossing and Bojangles

1. 2023-4576: A request by Delaware Development Plan LTD for approval of an Amended Final Subdivision Plat for a portion of Coughlin's Crossing on approximately 15.427 acres on property zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District and located north of Penny Way.

2. 2023-4577: A request by OH Delaware US 23 LLC for approval of a Combined Preliminary and Final Development Plan for Bojangles on approximately 0.95 acres on property zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District and located north of Penny Way.

Anticipated Process

a. Staff Presentation

Mr. Gentile gave a brief presentation of 2023-4576 and 2023-4577. There is an addition condition from Engineering: for the right in/right out to requirement of a raised median in Penny Way to prevent traffic from making left in/left out of the access drive. Staff does recommend approval.

Ms. Fortman formally requested the commission make the amendment. Ms. Fortman has had discussions with Smith Mannik and they are on the same page.

There was a discussion of access points to US23, Coughlin Crossing, Penny Way and Stratford Road.

b. Applicant Presentation

Daniel Johanni, Mannik Smith Group (representing Delaware Development Plan)
1160 Dublin Road
Columbus, Ohio

Jonathan Cochrane, (representing the applicant of the property)
43 Tigris Way
Greenville, South Carolina

Mr. Johanni and Mr. Cochrane both stated they had nothing further to add to the presentation and had no concerns with the proposed amendment.

c. Public Comment (not a public hearing)

There was no public participation.

d. Commission Action

Vice-Chair Hoffman remarked at the lack of public participation when it comes to places like drive-thru restaurants, which creates more traffic in the particular area; more so than an apartment complex during peak hours. A discussion of the traffic planning that went into Coughlin's Way and the area surrounding occurred.

Motion: Vice-Chair Hoffman motioned to approve 2023-4576 along with the conditions listed in the staff report, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4577 with the amendment along with the conditions in the staff report including the amended condition #2, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

The Planning Commission recessed at 7:44 PM/Reconvened at 7:52 PM

D. Zoning Text Amendments

1. 2023-4694: A request by the City of Delaware for approval of Amendments to Chapter 1111 (Subdivisions) of the Planning and Zoning Code.
2. 2023-4695: A request by the City of Delaware for approval of Amendments to Chapter 1125 (Administration, Powers, and Duties) of the Planning and Zoning Code.
3. 2023-4696: A request by the City of Delaware for approval of Amendments to Chapter 1127 (Enforcement) of the Planning and Zoning Code.

4. 2023-4697: A request by the City of Delaware for approval of Amendments to Chapter 1128 (Appeals and Variances) of the Planning and Zoning Code.
5. 2023-4698: A request by the City of Delaware for approval of Amendments to Chapter 1129 (Procedures) of the Planning and Zoning Code.
6. 2023-4699: A request by the City of Delaware for approval of Amendments to Chapter 1130 (Amendments) of the Planning and Zoning Code.
7. 2023-4700: A request by the City of Delaware for approval to repeal Chapter 1144 (Planned Business Overlay) and replace with Chapter 1144 (Planned Unit Developments) of the Planning and Zoning Code.

Anticipated Process

a. Staff Presentation

Ms. Pereira gave a presentation of the above case numbers. Ms. Pereira stated the current code is outdated, disorganized and procedurally repetitive. There haven't been any major updates to the code in 20 years, therefore by default does not include things like Air B&B, food truck and other items that have come into Delaware and staff is left trying to find a place to apply it.

Some of the departmental changes would be a new website (that would allow for online permit applications and payments), a checklist for each type of application, a development process manual and an updated notification procedure. All these changes would make development more transparent and consistent, not only for developers but for the staff and public. Staff does recommend approval.

Code 1111. Subdivision Regulations

- ☐ No Preliminary Plat when (p.4):
 - ☐ Plat consists of only one section
 - ☐ Development has an approved or in process FDP (FDP serves as Prelim)
 - ☐ Dedication of Park Land (p. 18)
 - ☐ Lot Splits approved by Staff when being combined with another lot (p.19)
 - ☐ Lot combinations, regardless of the number of lots, can be approved by Staff (p. 20)
 - ☐ Remove all requirement lists (throughout code)
- *Staff will be proposing a charter change in 2024 to allow PC to be deciding body on plats

Code 1125. Administration, Powers and Duties

- ☐ Planning Commission shall decide all conditional uses (p. 3)

- ☐ Planning Commission shall approve development plan extensions (p.3)
- ☐ BZA shall hear floodplain variances (p. 4)

Chapter 1127. Enforcement, Certification and Penalty

- ☐ Removal of Certificates of occupancy throughout (p. 6)
- ☐ Charge an additional fee for building without permitting (p. 9)

Chapter 1128. Appeals and Variances

- ☐ Change notification requirement to 200 feet (throughout)
- ☐ Remove one of the variance approval criterion (p. 13)
- ☐ Remove use variances (p. 13)

Chapter 1129. Procedures

- ☐ Outline when Final Development Plan Review is required: (p. 15)
 - ☐ Located within a focus area
 - ☐ Located within existing planned overlay
 - ☐ Located within a Planned Unit Development (PUD) (NEW)
- ☐ FDP Not required:
 - ☐ Permitted use by right that meets all zoning reqs.
 - ☐ Within historic district overlay as long as permitted by right and meets zoning
 - ☐ Preliminary Development Plan no longer required (p. 17)
- ☐ Final Development Review shall be a public hearing at both PC and CC (p. 23)
- ☐ Modifications to FDP (p. 25)
- ☐ Extensions to FDP approved by staff and or PC (p. 40)

Chapter 1130. Amendments

- ☐ Modify sign posting requirement for public hearings

Chapter 1144. Planned Unit Developments

- ☐ No new overlay districts (removed with phase II)
- ☐ Property rezoned to a PUD (C-PUD, R-PUD, I-PUD, MX-PUD)
- ☐ Same procedure: Rezoning to PUD>FDP>Plat
- ☐ Example Resolutions

Summary of Changes:

- ☐ PUD zoning districts will replace overlay districts-Chapter 1144
- ☐ No new overlays-with the exception of the Southwest Focus Area-Chapter 1132
- ☐ Conditional Uses - Uses conditionally permitted in zoning districts will be reviewed and approved by PC
- ☐ Preliminary Subdivisions required only in specific cases
- ☐ Permitted Uses by right-outside of PUDs and Focus Areas

- ☐ Development Plan extensions approved by Staff or Planning Commission
- ☐ Development Plan Modifications approved by Staff or Planning Commission

b. Applicant Presentation

Staff is the applicant.

c. Public Comment (public hearing)

The public hearing was opened at 8:56 PM, closed at 8:57 PM. There was no public participation.

Ms. Pereira stated Mr. Prall did review the proposed changes and had nothing to add.

d. Commission Action

A discussion occurred about removing the word 'final' from development plans and changing the word 'motion' to resolution where applicable for Chapter 1129.

Motion: Vice-Chair Hoffman motioned to approve 2023-4694 regarding requests for approval amendments to Chapter 1111 of the planning and zoning code, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4695 regarding requests for approval amendments to Chapter 1125 of the planning and zoning code, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4696, regarding requests for approval amendments to Chapter 1127 of the planning and zoning code seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4697, regarding requests for approval amendments to Chapter 1128 of the planning and zoning code seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4698, regarding requests for approval amendments to Chapter 1129 of the planning and zoning code along with the recommendation for staff to make the changes

discussed regarding final development plans and motions and resolutions as discussed in this Planning and Commission meeting when they carry forward this to Council, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4699 regarding requests for approval amendments to Chapter 1130 of the planning and zoning code, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

Motion: Vice-Chair Hoffman motioned to approve 2023-4700 regarding repeal to Chapter 1144 of the planning and zoning code, seconded by Mr. Stelzer. Motion was approved with a 6-0 vote.

ITEM 5. PLANNING DIRECTOR'S REPORT

Ms. Pereira had no reports.

ITEM 6. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Nanna: Kudos to the proposed changes, the staff has done a great job.

Mr. Stroud: Echoed the job well done for staff. Mr. Stroud asked about the plans for a Buc-ee's to be built in Delaware. That was just a discussion about one coming to Central Ohio.

Mr. Bakare: Wanted to thank the staff for breaking the items down for the commission to discuss. Glad to see the zoning code is becoming more transparent.

Mr. Stelzer: Thank you to the staff for their work. The Hayes High School boys' team is doing very well this season. If possible, get out to see them.

Vice-Chair Hoffman: Very impressed with the proposed changes.

ITEM 6. NEXT REGULAR MEETING: February 7, 2024

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting was adjourned at 9:11 p.m.

Chairperson

Sarah Dinovo, Council Clerk

CASE NUMBER: 2024-0074

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: McDonald's – Glennwood Commons

MEETING DATE: February 7, 2024

AUTHOR: David Gentile, Development Planner

APPLICANT/OWNER

McDonald's Real Estate Company
2 Easton Oval, Suite 200
Columbus, OH 43219

REQUEST

2024-0074: A request by McDonald's Real Estate Company for approval of a Combined Preliminary and Final Development Plan for McDonald's on 1.438 acres of property zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) at 800 Sunbury Road, further described as Parcel Number 519-444-04-006-000.

PROPERTY LOCATION & DESCRIPTION

The 1.438-acre property is located on the south side of US 36/37 (Sunbury Road) east of Mill Run Crossing and is an out parcel of the Glennwood Commons Shopping Center. The property to the north across US 36/37 is zoned B-3 (Community Commercial District), the property to the west is zoned B-3 and B-4 (General Business District) while the properties to the east and south are within the Glennwood Commons Shopping Center and zoned B-3 PMU (Community Business District with a Planned Mixed-Use Overlay).

BACKGROUND/PROPOSAL

In January 2006, City Council approved a mixed-use commercial, office, and residential rezoning for 150 acres which included Glennwood Commons Shopping Center. In 2013, the development plan was amended for the Quail Pass apartment development to the south. Since 2006, several big box buildings and a few out lot buildings were approved by City Council and constructed.

Now, the applicant is proposing to construct a 3,694 square foot restaurant with a drive-through. This site would have 49 parking spaces with one full movement curb cut from the internal shopping center access road and one right-in-only curb cut along the entry drive to the shopping center (there would be no direct access from Sunbury Road to the subject site).

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is B-3 PMU. Under the current zoning, the proposed drive-thru restaurant is a permitted use. The applicant is pursuing a Combined Preliminary and Final Development Plan, which would need to be approved by City Council prior to construction.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The subject site would be accessed by one full movement curb cut from the existing east-west internal shopping center access road with no direct access to Sunbury Rd. The applicant is also proposing a second right-in only access point off the access road on the east side of the site. An on-site access drive would loop the restaurant to provide full access around the proposed building and drive-through. The Engineering department has recommended to the Applicant that they pursue, instead, connecting their parking lot to the existing cross-access easement on the Cane's site to the west and shift their full-access curb cut eastward, to prevent customers from queuing on the access road. The sketch provided to the applicant (Exhibit A) is on the following page for reference. This proposed revision, though multi-faceted, would be insignificant enough to the overall site that it would not require the applicant to pursue any further approvals through Planning Commission or City Council. All revisions in line with this recommendation would be considered minor and could be reviewed administratively during the process of Engineering review.

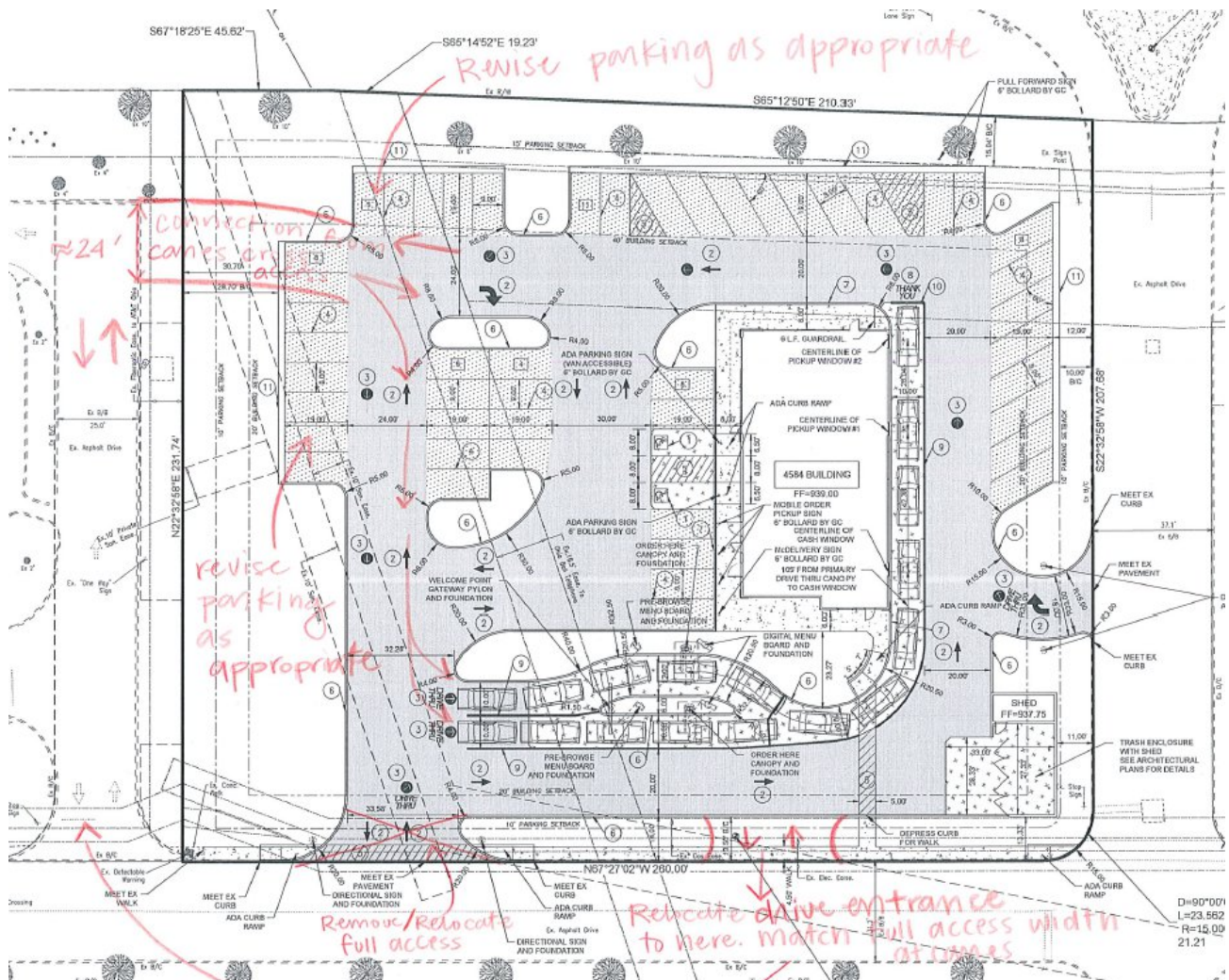


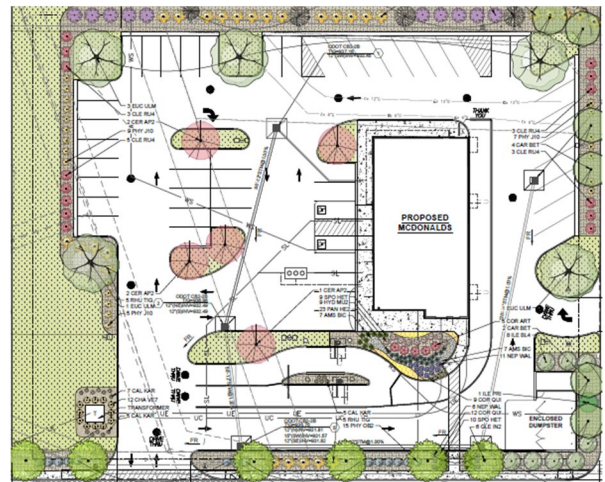
Exhibit A: Proposed site access revisions from City Engineer

- SITE CONFIGURATION:** The 1.438-acre site would contain a 3,694 square foot restaurant surrounded by an internal loop and 49 space parking lot. The Zoning Code requires 50 parking spaces, so the applicant will need to add one additional space as they finalize their engineering plans. The restaurant would have a dual drive-through order point on the south side of the building with the pick-up windows on the eastern side of the building. The building would have two entrances (one each on the north and west elevations) and a proposed double dumpster in the southeast corner of the site. A shed is proposed to be constructed next to the dumpster enclosure. A five-foot sidewalk would be required on the site along the shopping center internal access road with a striped pedestrian walkway is shown on the site plan to provide access to the building entrance from the sidewalk. Storm water would be detained in the existing Glennwood Commons detention basins.
- BUILDING DESIGN:** As mentioned above, the entrances to the restaurant would be on the north and west elevations while the drive-through pick-up windows would be on the east elevation. The proposed building would have four-sided architecture, much of which would be "Gauntlet Gray" Hardie-Board with brown wood grain metal accent battens near the building and storefront corners. Per the approved Development Text for Glennwood Commons, the building elevations are required to contain stone. The applicant will need to revise their elevations to include



Delaware Blue Vein Limestone prior to the issuance of any building permit. Staff would recommend replacing the Hardie-Board with a limestone veneer to accommodate those requirements. Staff will work with the applicant to ensure that their proposed elevation is in accordance with the approved Development Text and harmonious with the rest of the Glennwood Commons development. The building would have a flat roof with a parapet wall of varying heights. All mechanical equipment should be screened from view. All building appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building color. Also, staff would require submittal of each building material with color samples to ensure compliance is achieved at building permit approval.

- **TREE REMOVAL & REPLACEMENT:** Tree removal and replacement were considered at the time the overall shopping center was developed. There is no additional action required by this applicant.
- **LANDSCAPING & SCREENING:** When Glennwood Commons Shopping Center was constructed, the shopping center developer installed street trees along Sunbury Road but not along Mill Run Crossing. As such, the applicant will be required to provide the required street trees, front yard trees, interior parking lot landscaping, parking lot screening and foundation landscaping. The applicant is proposing the appropriate number of street trees along Mill Run Crossing and the appropriate number of shade trees along Sunbury Road and Mill Run Crossing. The parking lot screening (shrubs a minimum 3 feet high at installation) along Sunbury Road and Mill Run Crossing appears to be appropriate, but such screening would also be required adjacent to the parking spaces fronting the shopping center internal access road along the southern portion of the site. The proposed landscape plan has foundation landscaping and the appropriate parking lot trees along with installing trees and shrubs around the building and the double dumpster enclosure.
- **SIGNS:** The applicant is proposing signage on three elevations. While the development text for Glennwood Shopping Center only allows two signs, it allows flexibility because of the restrictions on ground signs in the shopping center. Because the outparcel has essentially three (Sunbury Road, the internal shopping center access drive, and the access drive from Sunbury Road), staff could support signage on the north (Sunbury Road), south (internal shopping center access drive) and east (access drive) elevations in accordance with square footage requirements of the zoning code. No freestanding signage is permitted for the out-parcel buildings, but internal directional signage is permitted at the discretion of the Planning staff.
- **LIGHTING:** The applicant is proposing light poles and minimal building lighting. Per the zoning code, the light poles shall be black in color while the light fixtures shall be decorative to be consistent with other developed out-parcels in the Glennwood Commons development. All lighting must meet the requirements of the Planning & Zoning Code and be approved by the Chief Building Official.



STAFF RECOMMENDATION (2024-0074 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by McDonald's Real Estate Company for a Combined Preliminary and Final Development Plan for McDonald's on 1.438 acres of property zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) at 800 Sunbury Road, further described as Parcel Number 519-444-04-006-000, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The applicant shall work with the Engineering Department to revise their site access in a manner not dissimilar to Exhibit A.
3. The applicant shall provide 50 parking spaces.

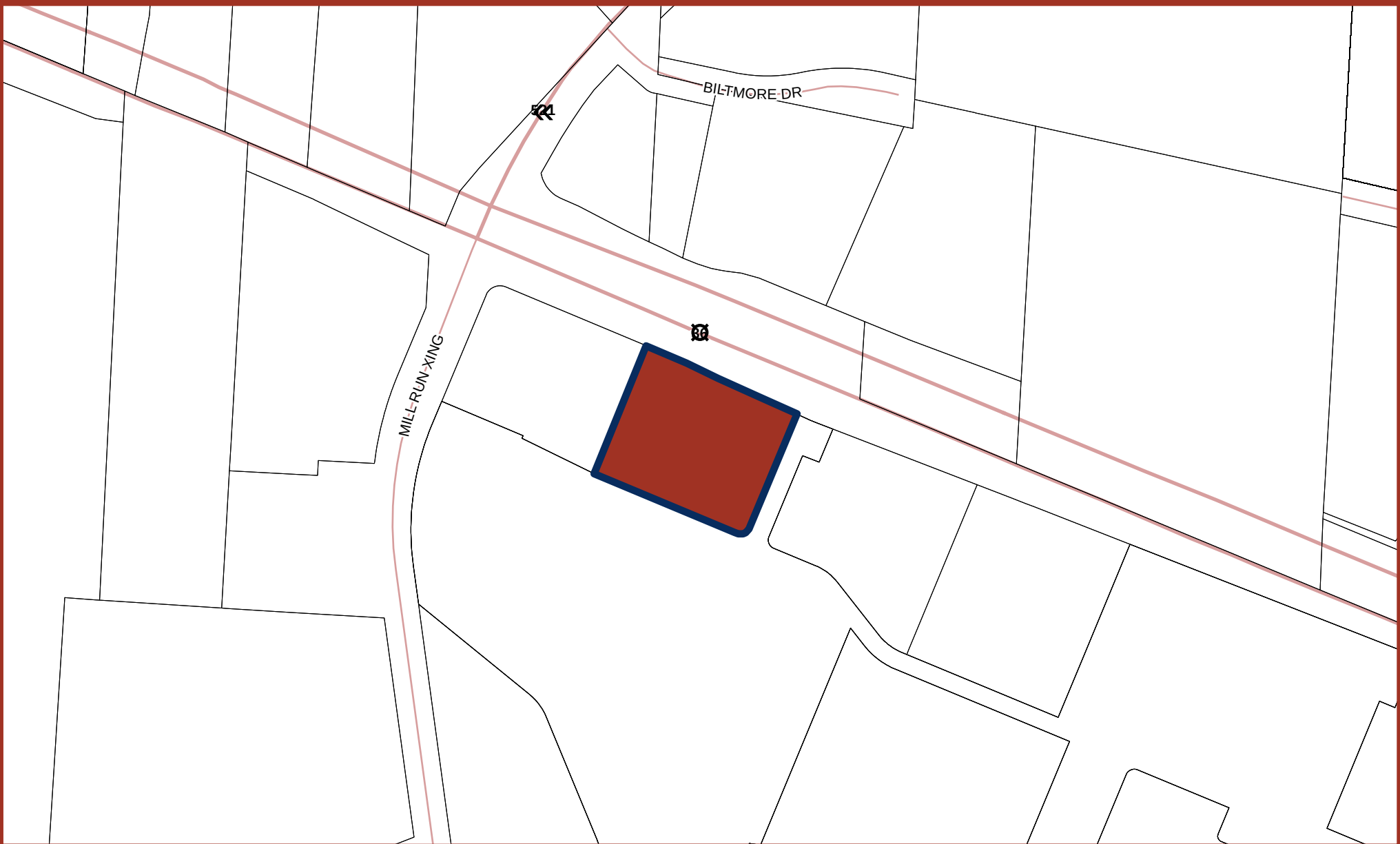
4. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
5. All roof top mechanical equipment shall be screened by a parapet wall or approved screening device.
6. The applicant shall revise their building elevations to include Delaware Blue Vein Limestone in accordance with Development Text requirements. Final design and materials shall be reviewed and approved by Planning staff to ensure compliance prior to release of a building and zoning permit.
7. The dumpster enclosure and shed shall be designed with materials to match the primary structure with wood doors painted or stained to match. Final design and materials shall be reviewed and approved by Planning staff to ensure compliance prior to release of a building and zoning permit.
8. Shrubs a minimum 3-feet at installation shall be installed on the north, east, and south sides of the site adjacent to the parking lot.
9. The lighting plan shall be reviewed and approved by the Chief Building Official and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
10. All light fixtures shall be cut off and recessed, black in color, and not dissimilar to the other outparcels in Glennwood Commons. They shall be located within islands and unpaved areas.
11. All signage shall conform to the approved Comprehensive Sign Plan for Glennwood Commons and shall require a separate permit through the Planning Department.

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd approved denied tabled _____

CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 1/26/2024
REVISED:



2024-0074
Combined Preliminary and Final Development Plan
McDonald's at Glennwood Commons
Location Map



B-4 General
Business
District

MILL-RUN-XING

ROW

B-3 Community
Business
District



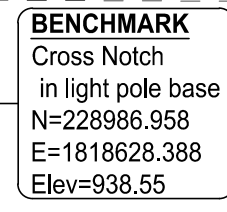
2024-0074
Combined Preliminary and Final Development Plan
McDonald's at Glennwood Commons
Zoning Map





2024-0074
Combined Preliminary and Final Development Plan
McDonald's at Glennwood Commons
Aerial Map





1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. WHEN CONNECTING TO EXISTING ASPHALT PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT TO PROVIDE A CLEAN EDGE. ITEM 407 TACK COAT SHALL BE APPLIED TO THE ENTIRE CUT FACE OF THE EXISTING PAVEMENT PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT.
3. ADDITIONAL PAVEMENT/CURB WORK DUE TO EXTENTS OF DEMO OR REWORK SHALL BE INCLUDED AS PART OF THE CONTRACTORS SCOPE OF WORK.
4. ALL CURB RAMPS TO HAVE DETECTABLE WARNING SURFACE THAT MEETS ODOT'S APPROVED PRODUCTS LIST (APL). SURFACE APPLIED, STAMPED AND BRICK PRODUCTS ARE NOT PERMITTED.
5. SEE SHEET C3.2 FOR PAVEMENT SECTIONS.

	LIGHT DUTY ASPHALT PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
	CONCRETE PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE SHEET C3.2 FOR PAVEMENT SECTION
	PARKING COUNT

- ① PROPOSED ADA PARKING (PAINTED HANDICAP SYMBOL)
- ② DIRECTIONAL ARROW (WHITE)
- ③ DRIVE THRU PAVEMENT MARKINGS (YELLOW)
- ④ PROPOSED PARKING, 4" WIDE SOLID WHITE STRIPE, TYP.
- ⑤ 4" PAINTED WHITE STRIPE
- ⑥ PROPOSED 6" CONCRETE CURB
- ⑦ PROPOSED 6" CURB & SIDEWALK
- ⑧ "THANK YOU" (YELLOW)
- ⑨ 6" PAINTED YELLOW STRIPE
- ⑩ 8" PAINTED YELLOW STRIPE
- ⑪ 2' CONCRETE CURB

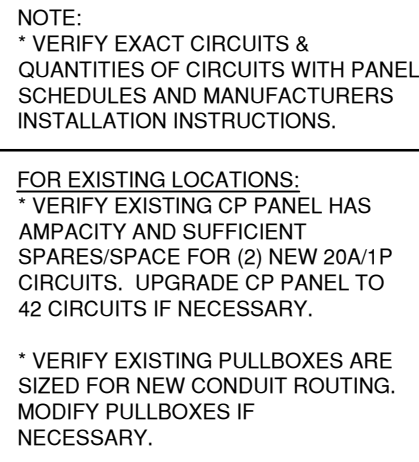


CAUTION!!!
 ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

--	--

L/C# 34-2078

JOB NO. 23-0108
DATE: 09-29-23
SCALE: 1"=20'
<i>SITE PLAN</i>
SHEET: C3.0



NOT TO SCALE



CASH WINDOW

PE POLLARD, FLUSH
THE BACK OF CURE
THE BUILDING WALL

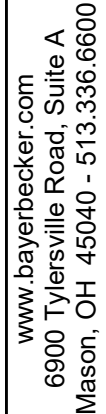


- ① 2 PANEL OUTDOOR DIGITAL MENU BOARD (PRIMARY)
- ② "ORDER HERE" CANOPY/ CANOPY FOUNDATION (PRIMARY)
- ③ 2 PANEL OUTDOOR DIGITAL MENU BOARD (SECONDARY)
- ④ "ORDER HERE" CANOPY/ CANOPY FOUNDATION (SECONDARY)
- ⑤ PRE-BROWSE BOARD
- ⑥ WELCOME POINT GATEWAY PYLON

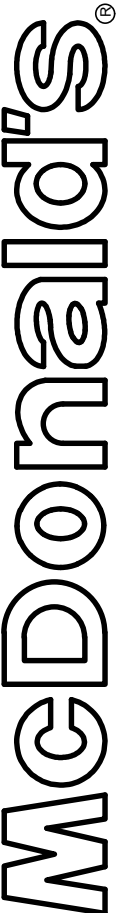
- ① 2 PANEL OUTDOOR DIGITAL MENU BOARD (PRIMARY)
- ② "ORDER HERE" CANOPY/ CANOPY FOUNDATION (PRIMARY)
- ③ 2 PANEL OUTDOOR DIGITAL MENU BOARD (SECONDARY)
- ④ "ORDER HERE" CANOPY/ CANOPY FOUNDATION (SECONDARY)
- ⑤ PRE-BROWSE BOARD
- ⑥ WELCOME POINT GATEWAY PYLON



ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.



L/C# 34-2078



PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT IT THEIR WRITTEN PERMISSION

PROPOSED McDONALD'S RESTAURANT AT:

800 SUNBURY ROAD
CITY OF DELAWARE, DELAWARE COUNTY, OHIO

SHEET: C3.1

GENERAL NOTES

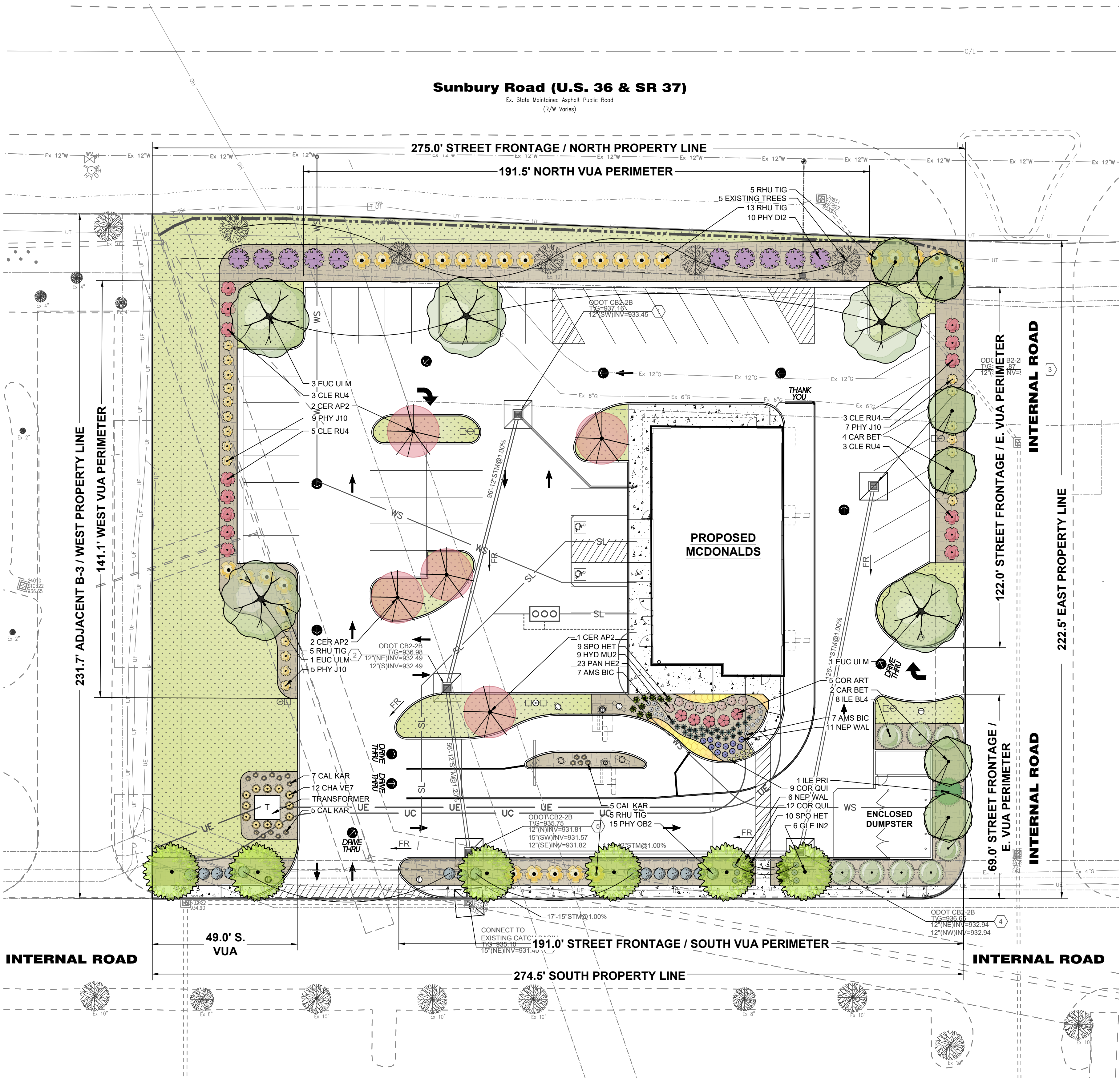
1. SEE SHEET Z1.0 FOR ZONING NOTES & REQUIREMENTS
2. SEE SHEET L2.0 FOR PLANTING NOTES & DETAILS
3. UTILITIES ARE NOT SHOWN FOR DRAWING CLARITY

LEGEND

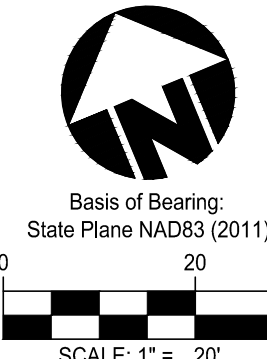
SYMBOL	DESCRIPTION	QTY
	MULCH	9,426 sf
	SEED	11,762 sf

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
DECIDUOUS TREES					
CAR BET	6	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	B & B	1.75" Cal
EUC ULM	5	Eucommia ulmoides	Hardy Rubber Tree	B & B	3.0" Cal
GLE IN2	6	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust	B & B	1.75" Cal
ORNAMENTAL TREES					
CER AP2	5	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	B & B	3.0" Cal
ANNUALS AND PERENNIALS					
AMS BIC	14	Amsonia x 'Blue Ice'	Blue Ice Bluestar	2 gal	Clump
COR QUI	21	Coreopsis verticillata	Tickseed	2 gal	Clump
NEP WAL	17	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	3 gal	Clump
DECIDUOUS SHRUBS					
CLE RU4	14	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	5 gal	36" Ht.
COR ART	5	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	5 gal	36" Ht.
HYD MU2	9	Hydrangea quercifolia 'Munchkin'	Oakleaf Hydrangea	5 gal	36" Ht.
PHY J10	21	Physocarpus opulifolius 'Jefam'	First Editions® Amber Jubilee® Ninebark	5 gal	36" Ht.
PHY DI2	11	Physocarpus opulifolius 'Diabolo'	Diablo Ninebark	5 gal	36" Ht.
PHY OB2	15	Physocarpus opulifolius 'Obsidian'	Obsidian Ninebark	5 gal	36" Ht.
RHU TIG	28	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	5 gal	36" Ht.
EVERGREEN SHRUBS					
CHA VE7	12	Chamaecyparis obtusa 'Verdoni'	Verdoni Hinoki False Cypress	B & B	36" Ht.
ILE BL4	8	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	5 gal	30" Ht.
ILE PRI	1	Ilex x meserveae 'Blue Prince' TM	Blue Prince Holly	10 gal	30" Ht.
ORNAMENTAL GRASSES					
CAL KAR	17	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 gal	Clump
PAN HE2	23	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	3 gal	Clump
SPO HET	19	Sporobolus heterolepis	Prairie Dropseed	2 gal	Clump
GROUND COVERS					
JUN ZRO	34	Juniperus horizontalis 'Golden Carpet'	Golden Carpet Juniper	flat	24" o.c.



BY	DESCRIPTION
CDO	REVISE PER CITY COMMENTS
DATE	REV
11-20-23	1



L/C# 34-2078

McDonald's®

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT AT:
800 SUNBURY ROAD
CITY OF DELAWARE, DELAWARE COUNTY, OHIO

JOB NO. 23-0108

DATE: 09-29-23

SCALE: 1"=20'

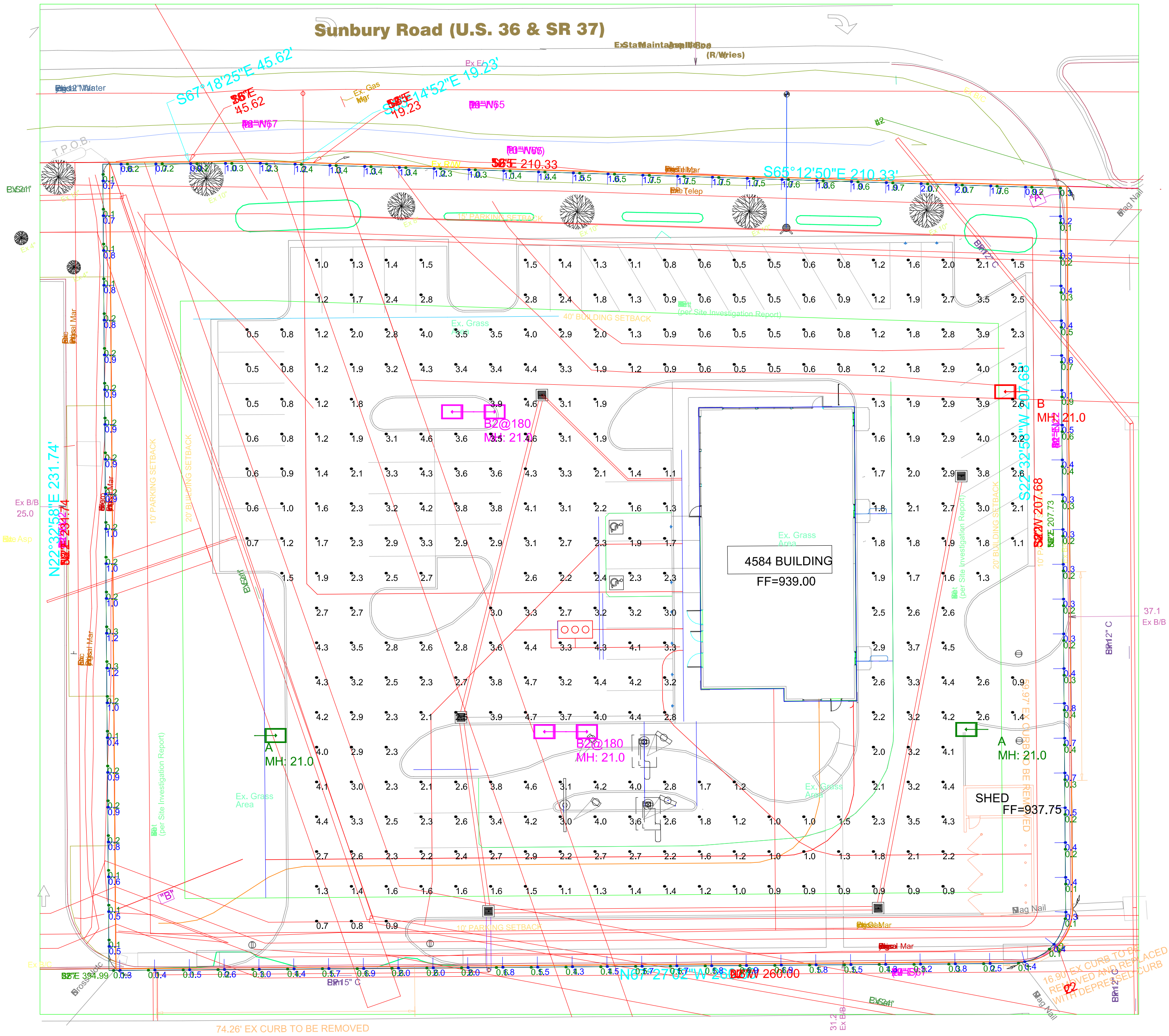
ZONING MINIMUM PLANTING PLAN

SHEET: L1.0

NOTES:

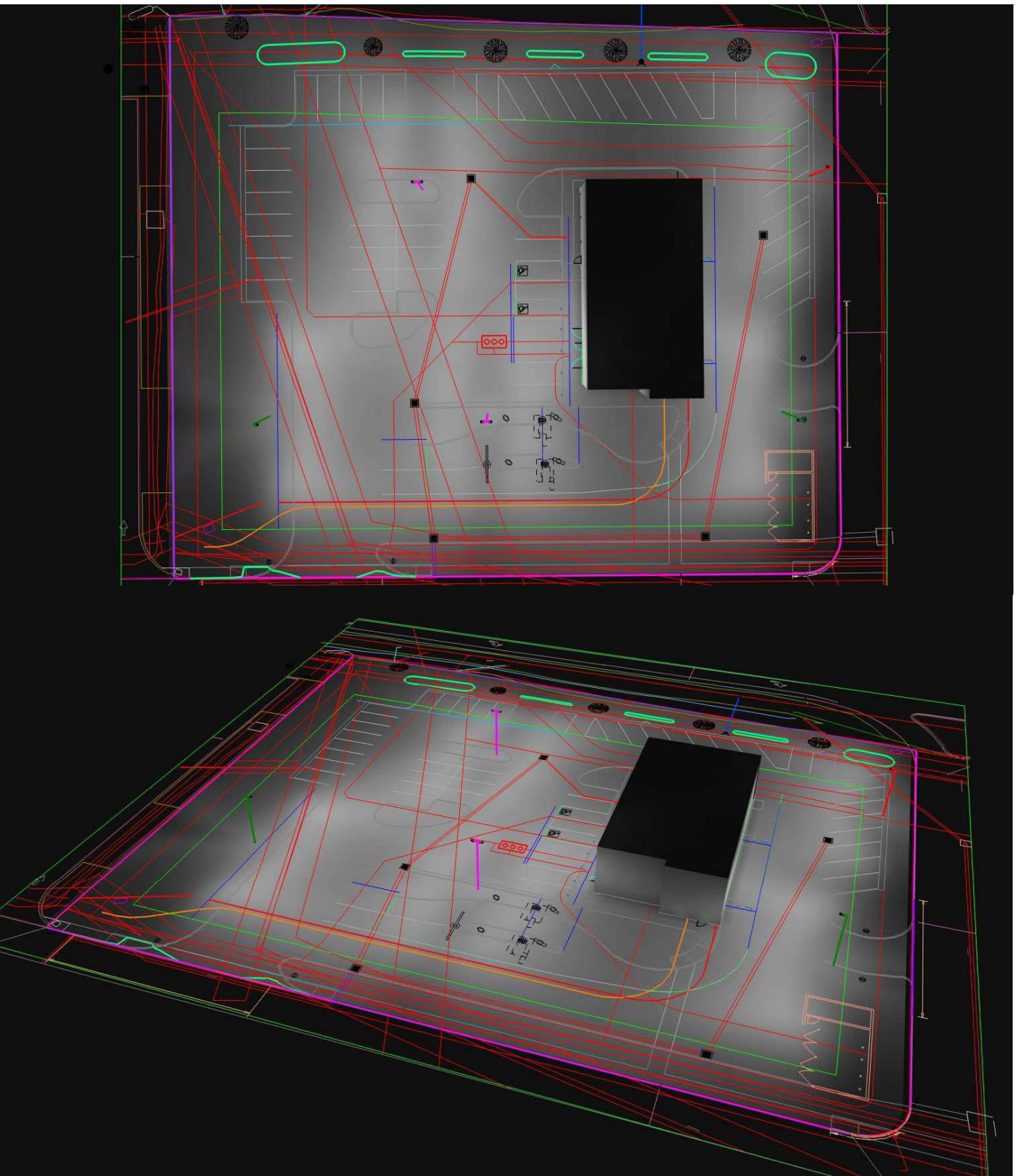
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

2. DISTANCE BETWEEN READINGS _____ 10'



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFAVE READINGS	Illuminance	Fc	2.33	4.7	0.5	4.66	9.40
PROPERTY LINE READINGS H	Illuminance	Fc	0.34	0.9	0.1	3.40	9.00
PROPERTY LINE READINGS V	Illuminance	Fc	1.03	2.0	0.1	10.30	20.00

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	2	A	Single	0.900	RAR2-320L-110-5K7-4W-U	100.3	0.607	21	SES-18-40-1-TA-GL-xx (4")
	1	B	SINGLE	0.900	RAR2-320L-140-5K7-4W	133.2	0.607	21	SES-18-40-1-TA-GL-xx (4")
	2	B2@180	BACK-BACK	0.900	RAR2-320L-140-5K7-4W	133.2	1.214	21	SES-18-40-1-TA-GL-xx (4")



Pole Fixtures Are Full Cutoff
Tilt=0
Calculation Grids Are At Grade
Pole Light Mounting Height=21ft
(18' Pole + 3' Base)

Regional Drawing
342078

- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AD. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECTOR RESPONSIBLE FOR THE PROJECT.
- LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NOMINAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
- THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SD THAT REVISIONS MAY BE MADE TO THE DRAWING.

PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL
ALLOWED EPA 13.6 @ WIND LOAD 90 MPH

SECURITY LIGHTING™

2100 Golf Road, Suite 400, Rolling Meadows, IL 60008
1-800-544-8888

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE 1"=20' 0"

DRAWN BY CLB LEED AP BD+C

POINT-BY-POINT FOOTCANDLE PLOT FOR

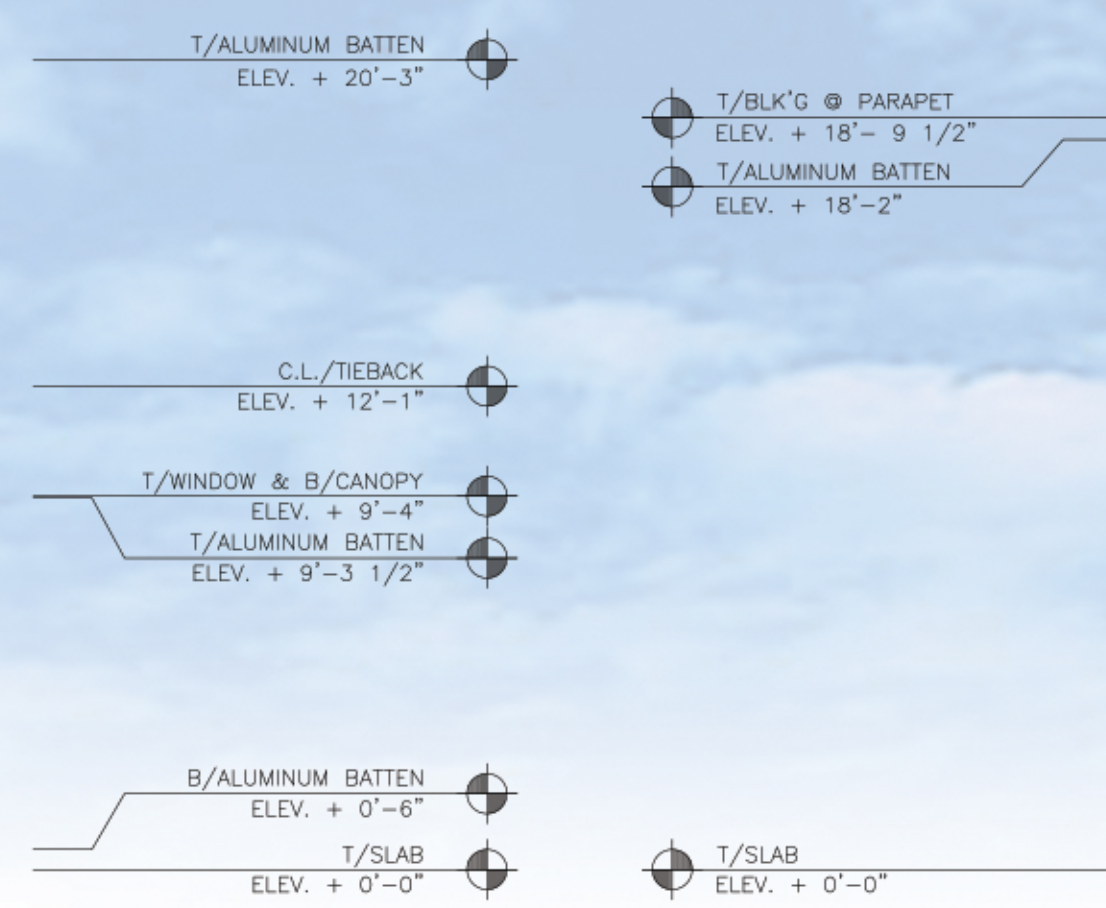
MCDONALD'S
800 SUNBURY RD
DELAWARE, OH 43015

NATIONAL STORE NUMBER
40654

DATE 11/16/2023
DRAWING NUMBER A231862B.AGI



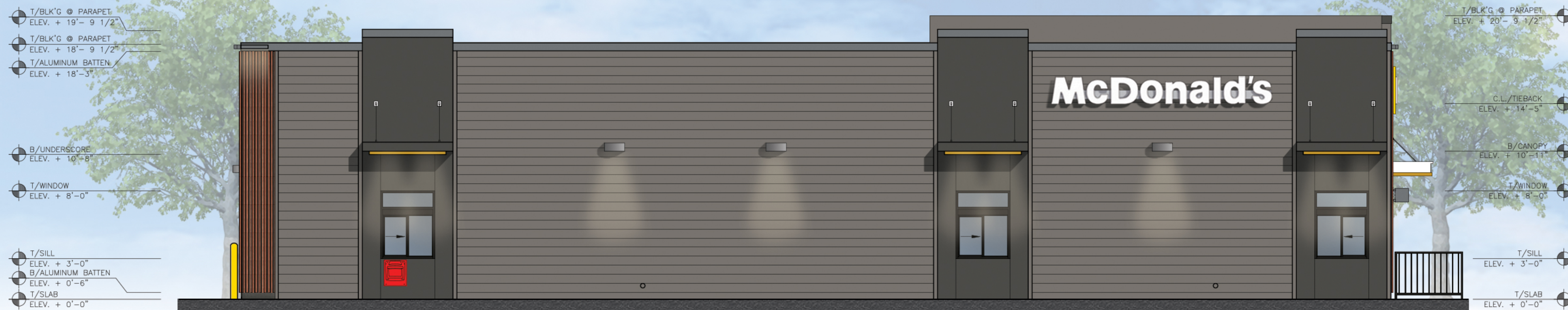
Front Elevation



Rear Elevation



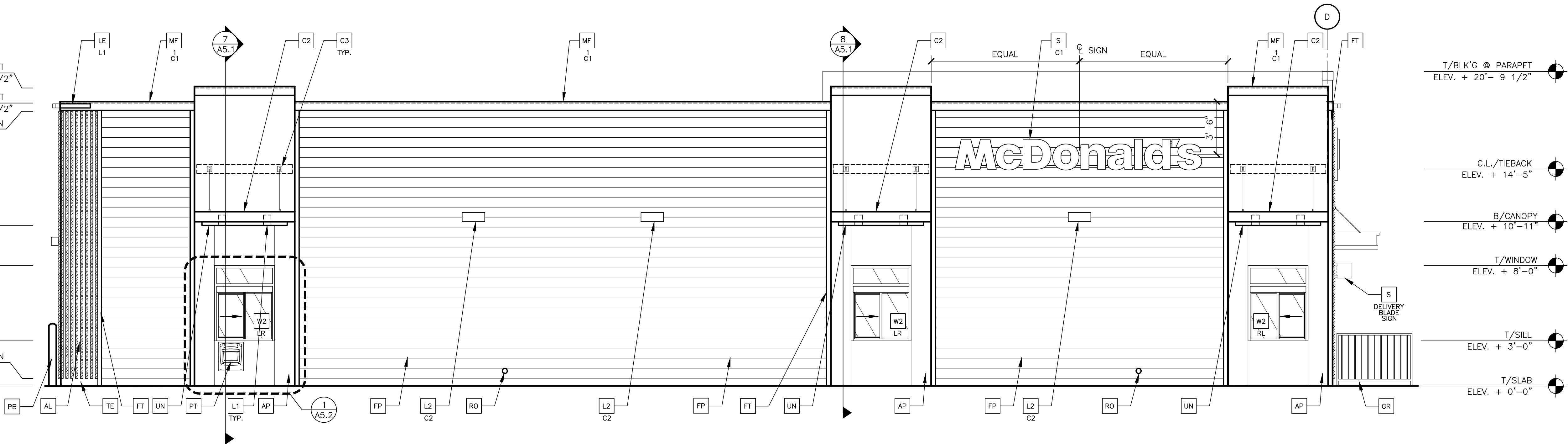
Non-Drive-Thru Side Elevation



Drive-Thru Side Elevation

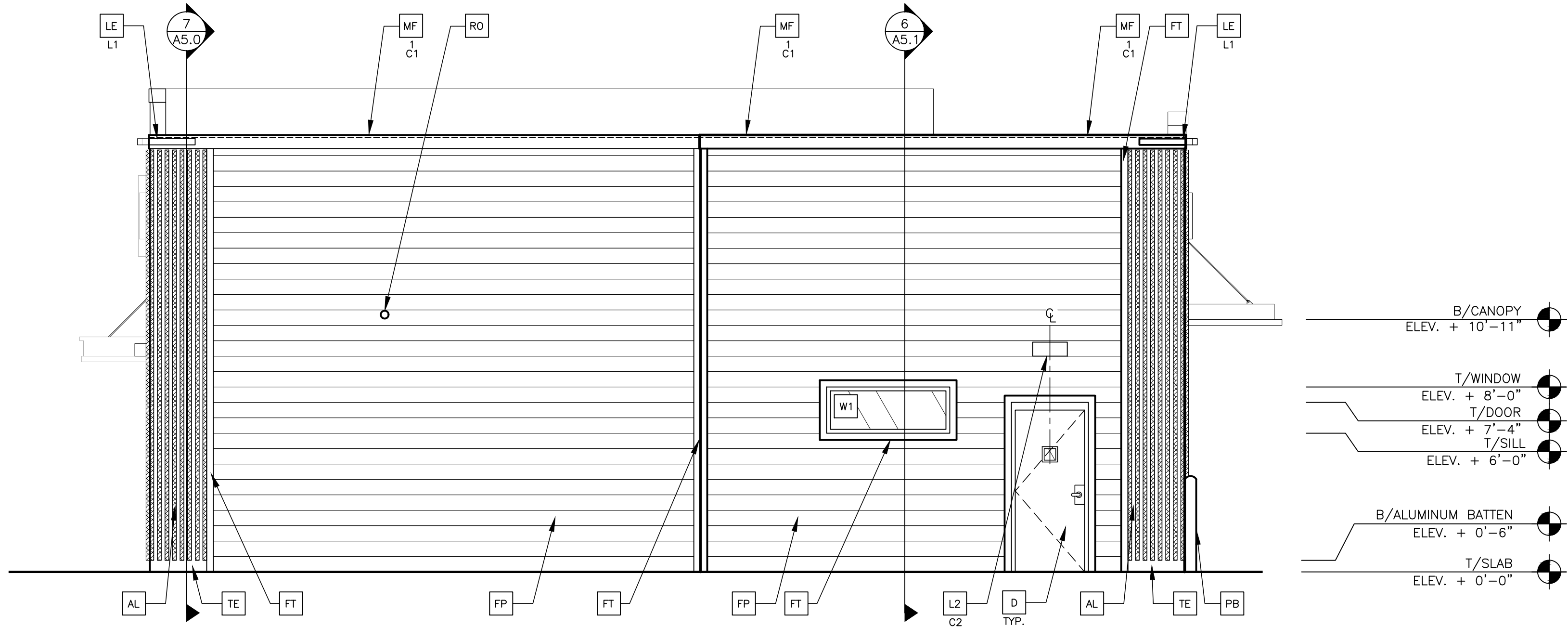
Materials Legend	
	Fiber Cement Lap Siding - Hardie-Board Plank "Gauntlet Grey" SW7019 by Sherwin Williams
	Apolitic Metal Panel (Feature Wall) "RAL 7022"
	Aluminum Battens Wood grain
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Underscore (Prefinished) "Gold"
	Aluminum Trellis (Prefinished) "RAL 7022"
	Glazing (Windows & Storefront) 1" Insulated Clear Glass
	Storefront Mullions "Deep Bronze"
	Substrate Exterior Trim "Iron Ore" SW7069 by Sherwin Williams
	Metal Coping "Weathered Zinc"
	Service Doors & Frames "Gauntlet Grey" SW7019 by Sherwin Williams

- T/BLK'G @ PARAPET
ELEV. + 19'- 9 1/2"
- T/BLK'G @ PARAPET
ELEV. + 18'- 9 1/2"
- T/ALUMINUM BATTEN
ELEV. + 18'-3"
- B/UNDERSCORE
ELEV. + 10'-8"
- T/WINDOW
ELEV. + 8'-0"
- T/SILL
ELEV. + 3'-0"
- B/ALUMINUM BATTEN
ELEV. + 0'-6"
- T/SLAB
ELEV. + 0'-0"



1
A2.1 DRIVE THRU ELEVATION
1/4" = 1'-0"

- T/BLK'G @ PARAPET
ELEV. + 18'- 9 1/2"
- T/ALUMINUM BATTEN
ELEV. + 18'-2"
- T/SLAB
ELEV. + 0'-0"



2
A2.1 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: DON GRAY)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS,
WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- CJ CONTROL JOINT
1 -TYPE: 1 = EIFS
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.16)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1
5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1= COLOR:
C1= WHITE
C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1= LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
C1 -TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER

- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1= COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

DRAWN BY B.ABDALLA		2023 STANDARD BUILDING – BB20		REVIEWED BY M.PELINI		DESCRIPTION WOOD BEARING WALLS W/HARDIE BOARD EXTERIOR FINISH WOOD TRUSS ROOF FRAMING ALPOLIC/BATTEN/LAP SIDING EXTERIOR FINISH		NSK 40654		SITE ADDRESS 1200 SUNBURY RD DELAWARE, OH		DATE		REV		BY	
STD ISSUE DATE 2023 09		4584—WOOD/WOOD		DATE ISSUED 09 06 2023		C.S.G. PROJECT # MCD.37443		L/C: 034-2078		L/C: 034-2078							
TITILE		034-2078.00.0		A2.1		ELEVATIONS		034-2078.00.0									
PREPARED FOR:		© 2023 McDonald's Corporation		McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of this specific site in connection with this project and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. Reproduction of the contract documents for reuse on another project is not authorized.		44 East Main Street Somerville, NJ 08876 908.462.7000 corporate@mc.com		CORE STATES GROUP							

FOR OFFICE USE ONLY

DATE RECEIVED



Master Zoning Application

FOR OFFICE USE ONLY

2024-0074

PERMIT NUMBER

Planning Commission

- ☐ Amended Final Development Plan
- ☐ Amended Final Subdivision Plat
- ☐ Amended Preliminary Development Plan
- ☐ Amended Preliminary Subdivision Plat
- ☐ Annexation Review
- ☐ Combined Preliminary & Final Development Plan
- ☐ Comprehensive Plan Amendment
- ☐ Concept Plan
- ☐ Conditional Use Permit
- ☐ Determination of Similar Use
- ☐ Development Plan Exemption

- ☐ Final Development Plan
- ☐ Final Development Plan Extension
- ☐ Final Subdivision Plat
- ☐ Final Subdivision Plat Extension
- ☐ Floodplain Permit
- ☐ Lot Split / Combination
- ☐ Pre-annexation Agreement
- ☒ Preliminary Development Plan
- ☐ Preliminary Development Plan Extension
- ☐ Preliminary Subdivision Plat
- ☐ Preliminary Subdivision Plat Extension
- ☐ Rezoning
- ☐ Subdivision Variance

- ☐ Substitution of a Non-Conforming Use
- ☐ Vacation-Alley
- ☐ Vacation-Easement
- ☐ Vacation-Street

Board of Zoning Appeals

- ☐ Appeal Administrative Decision or Interpretation
 - ☐ Conditional Use Permit
 - ☐ Substitution of Equal or Less Non-Conforming Use
 - ☐ Variance
- ### Administrative
- ☐ Zoning Determination Letter

Subdivision / Project Name McDonald's Restaurant

Address 800 Sunbury Road, Delaware, OH, USA

Acreage 1.4377

Square Footage 3694

Number of Lots 1

Number of Units

Zoning District / Land Use B-PUD

Proposed Zoning / Land Use Fast food restaurant with drive-thru

Parcel Number 51944404006000

Applicant Name Cathy Stephens | Permit Solutions

Contact Person Cathy Stephens | Permit Solutions

Applicant Address 100 North Ave. Suite 103-164

Phone 330-327-1023

Fax

Email cstephens@permitsolutionsohio.com

Owner Name McDonald's REAL Estate Corp. COMPANY

Contact Person Larry Drake/ Area Construction Mgr.

Owner Address 2 Easton Oval, Suite 200 Columbus OH 43219

Phone 513-267-2046

Fax

Email lawrence.drake@us.mcd.com

Engineer/Architect/Attorney Name Greg Koch

Address 6900 Tylersville Road, Suite A Mason, OH 45040

Phone 513-492-9825

Fax

Email gregkoch@bayerbecker.com

The undersigned do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature

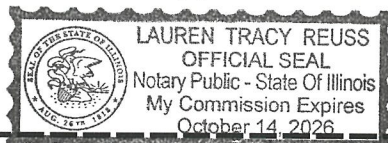
Jacob Steinfink

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 11th day of January, 2024

Notary Stamp



Notary Public

CASE NUMBERS: 2024-0058, 0060

REQUEST: Preliminary and Final Subdivision Plats

PROJECT: Donovan Farms

MEETING DATE: February 7, 2024

AUTHOR: Anna Kelsey, Planning and Zoning Administrator

APPLICANT

Maronda Homes
5900 Wilcox Place
Dublin, OH 43016

OWNER

Medrock, LLC
3895 Stoneridge Lane
Dublin, OH 43017

OWNER

Donovan Farms, Inc.
1723 S Section Line Road
Delaware, OH 43015

REQUESTS

2024-0058: A request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 6.278 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located west of South Houk Road.

2023-0060: A request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 107.834 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located between South Section Line Road and South Houk Road.

PROPERTY LOCATION & DESCRIPTION

The subject site is located between South Section Line Road and South Houk Road, south and west of Boulder Park. The site is zoned R-4 PMU (Medium-Density Residential District with a Planned Mixed-Use Overlay). The Boulder Farms property to the north is zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay) and the Heatherton subdivision to the north is zoned R-3 PRD (One-Family Residential District with a Planned Residential District). The property to the south is zoned M-2 (General Manufacturing District).

BACKGROUND/PROPOSAL

In October 2023, the applicant received City Council approval for a Rezoning, Conditional Use Permit, and Preliminary Development Plan for Donovan Farms (Ordinances 23-67, 23-68, 23-72). The zoning for Donovan Farms outlines permitted uses including Single-Family detached residences, multi-family dwelling units, and mixed commercial and multi-family out lots. The approved Preliminary Development Plan is show below:

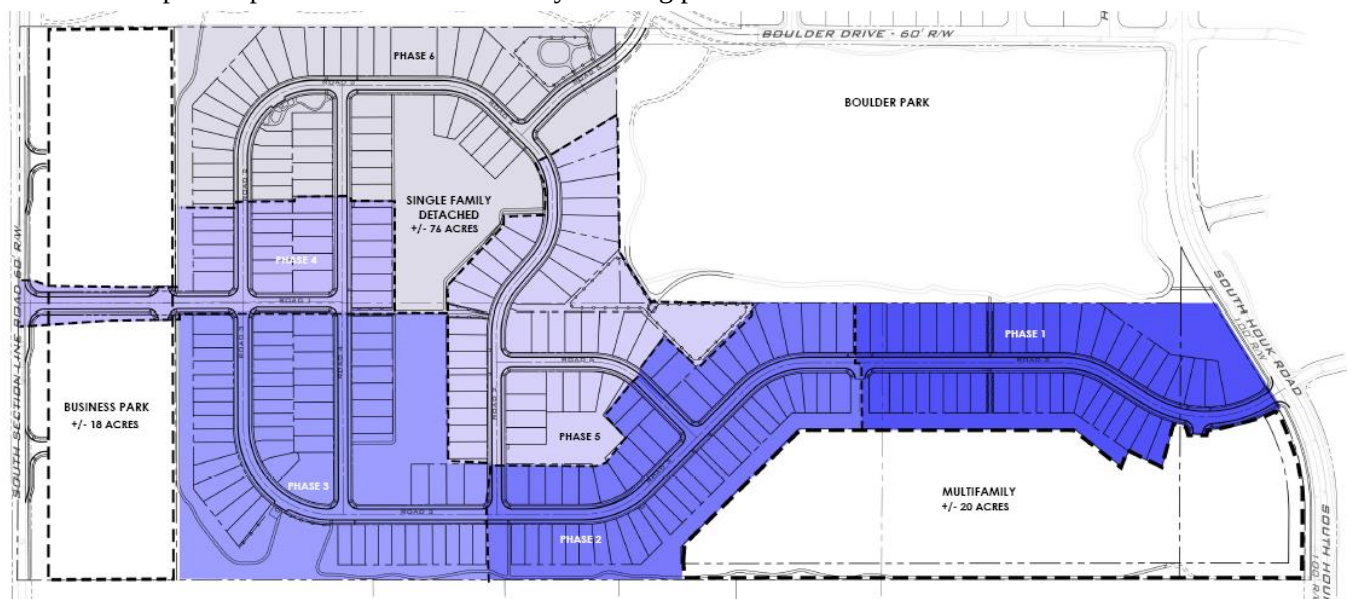


Now, the applicant is requesting a Preliminary and Final Plat for this subdivision for the purpose of property conveyance. This plat would be recorded, but would not be a building plat. Rather, it would simply re-configure the existing parcel lines so that the applicant can purchase the property from the current owner in phases generally in conformance with the phasing approved with the Preliminary Development Plan.

STAFF ANALYSIS

- **ZONING:** Though it is not common, it is possible for a preliminary and final plat be submitted concurrently as described in Section 1111.02(g), such that there are no new streets created in the proposed platting. As the applicant is not proposing to plat any new streets but rather divide the site to enable the transfer of property in phases, the Director has determined that the applicant could proceed with this combined plat submittal. The Zoning Code does require that all lots have street frontage. Due to the arrangement of the existing parcels, one of the proposed lots will not have road frontage.

The applicant is seeking a Variance pursuant to Section 1111.21 which states the following: “Council shall have the power to authorize upon recommendation from the Planning Commission in a specific case, such variances from the terms, provisions or requirements of this Chapter as will not be contrary to the public interest, but only in cases where, owing to special conditions pertaining to a specific piece of property, a literal enforcement of the provisions and requirements of this Chapter will result in practical difficulty or undue hardship. The spirit of this Chapter shall be observed, public safety and welfare secured and substantial justice done. A variance is adopted by adoption of the plat. The existing lot orientation and ownership does not make it possible for the lots to be split both in accordance with the approved phasing plan (below) and with the provision that all lots have street frontage. Staff would not usually be supportive of this variance request, but the applicant has included a note on their plats stating “Not a building plat, to be re-platted into lots per Zoning ordinance”. Staff also recommends a condition on the plat approval which would require that the lots be re-platted prior to the issuance of any building permit.



Notably, there are five existing lots making up this site, one of which does not currently have street frontage. This request is no more nonconforming than the existing conditions. This, in concert with the temporary nature of this request, is why Staff recommends approval of this application.

STAFF RECOMMENDATION – (2024-0058 PRELIMINARY AND FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 6.278 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located west of South Houk Road, with the following conditions:

1. The applicant shall submit an Amended Final Subdivision Plat application at the time of Final Development Plan submittal for each section.
2. No building permits shall be issued until the Amended Final Subdivision Plat is approved and recorded for the applicable section.

STAFF RECOMMENDATION – (2024-0060 PRELIMINARY AND FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Maronda Homes for approval of a Combined Preliminary and Final Plat for Donovan Farms for the purpose of property transfer on approximately 107.834 acres on property zoned R-4 PMU (Medium Density Residential District with a Planned Mixed-Use Overlay) and located between South Section Line Road and South Houk Road, with the following conditions:

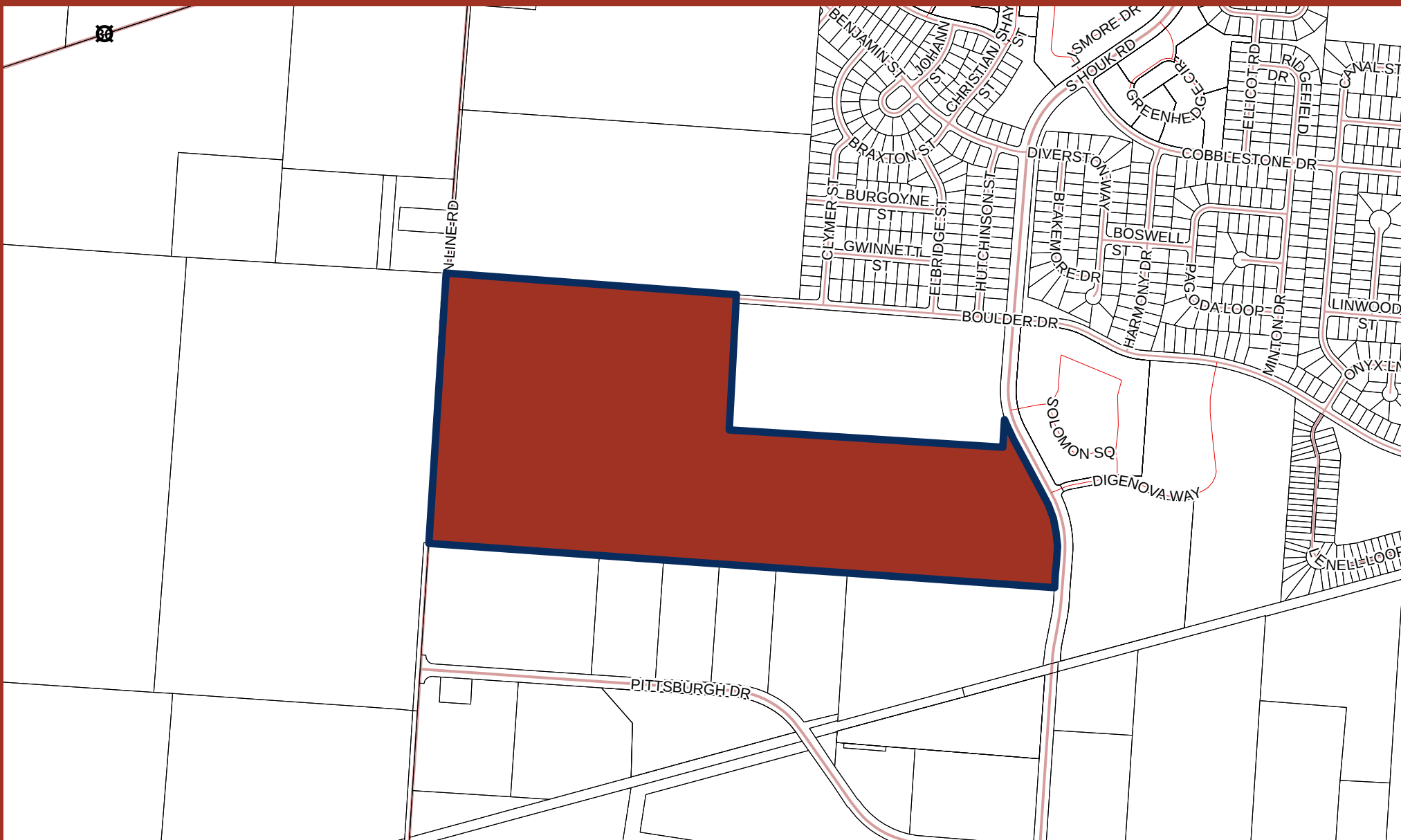
- 1. The applicant shall submit an Amended Final Subdivision Plat application at the time of Final Development Plan submittal for each section.
- 2. No building permits shall be issued until the Amended Final Subdivision Plat is approved and recorded for the applicable section.

COMMISSION NOTES:

MOTION: _____ *1st* _____ *2nd* *approved* *denied* *tabled*_____

CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 1/22/2024
REVISED:



2024-0058, 0060
Combined Preliminary and Final Subdivision Plat
Donovan Farms
Location Map



WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIEN HOLDERS OF THE LANDS HEREIN PLATTED, DO HEREBY ACKNOWLEDGE THE MAKING AND SIGNING OF SAID RECORD PLAN TO BE OUR VOLUNTARY ACT AND DEED.

SIGANTURE OF OWNER & TITLE

WITNESSED BY

STATE OF _____,
COUNTY OF DELAWARE, SS:
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 20 _____ BEFORE ME, A NOTARY
PUBLIC, IN AND FOR SAID STATE, PERSONALLY CAME _____ OF, MIDROCK
LLC TO BE KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE THEIR
VOLUNTARY ACT AND DEED.
IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DATE
WRITTEN ABOVE.

NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES _____

BEING A SUBDIVISION OF PARCEL 419-220-01-025-000. BEING PART OF FARM LOT 16.

TITLE TO REAL ESTATE VESTED IN MEDROCK, LLC BY DEED BOOK 123, PAGE 1143 OF THE DELAWARE COUNTY RECORDER'S OFFICE AND REFERENCED AS DELAWARE COUNTY AUDITORS PARCEL 419-220-01-025-000.

DATE _____, 20____

STATE OF OHIO,
COUNTY OF DELAWARE, S.S.

_____, BEING DULY SWORN, SAYS THAT ALL PERSONS AND CORPORATIONS, TO THE BEST OF HIS/HER KNOWLEDGE, INTERESTED IN THIS DEDICATION, EITHER AS OWNERS OR LIENHOLDERS, HAVE UNITED IN ITS EXECUTION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DATE WRITTEN ABOVE.

NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES

PO CASE NO. APPROVED BY THE PLANNING COMMISSION ON

APPROVED AND ACCEPTED THIS _____ DAY OF _____ BY ORDINANCE NO. _____
WHEREIN ALL EASEMENTS, SHOWN DEDICATED HEREON ARE ACCEPTED AS SUCH BY
THE CITY COUNCIL OF THE CITY OF DELAWARE, OHIO

CITY CLERK: _____ DATE _____

CITY MANAGER: _____ DATE _____

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR: _____ DATE: _____

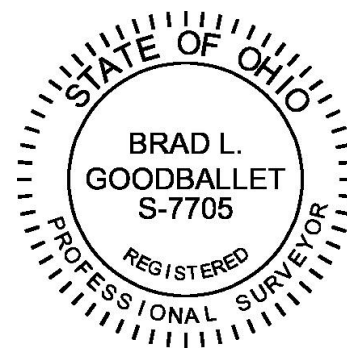
PUBLIC WORKS DIRECTOR/CITY ENGINEER: _____ DATE _____

DIRECTOR OF PUBLIC UTILITIES: _____ DATE _____

CITY CLERK: _____ DATE: _____

I HEREBY CERTIFY THAT THIS PLAN OF SUBDIVISION AND THE SURVEY IT REPRESENTS TO BE CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT WAS PERFORMED IN ACCORDANCE WITH OHIO ADMINISTRATIVE CODE CHAPTER 4733-37 - STANDARDS FOR BOUNDARY SURVEYS.

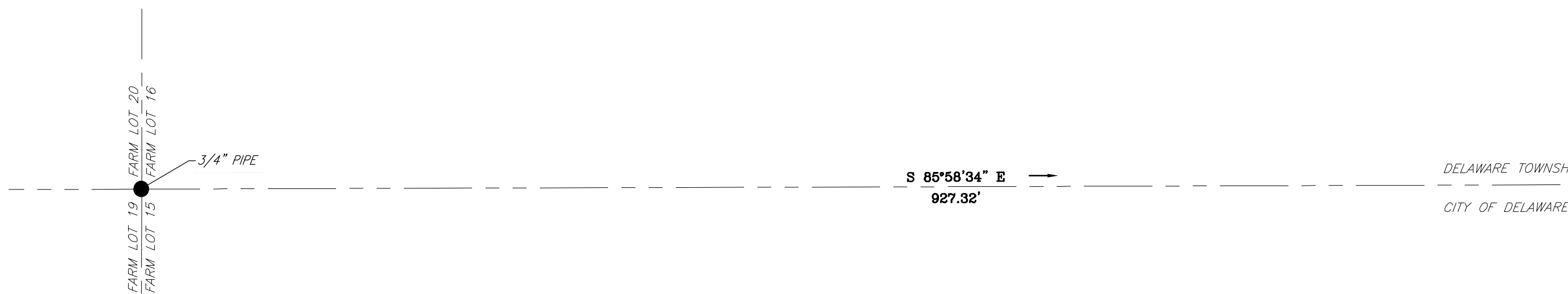
BRAD L. GOODBALLET
OHIO REGISTERED SURVEYOR NO. S-7705



-BEARINGS AS SHOWN ARE USED TO DENOTE ANGLES ONLY AND ARE RELATIVE TO THIS PLAN OF SUBDIVISION.

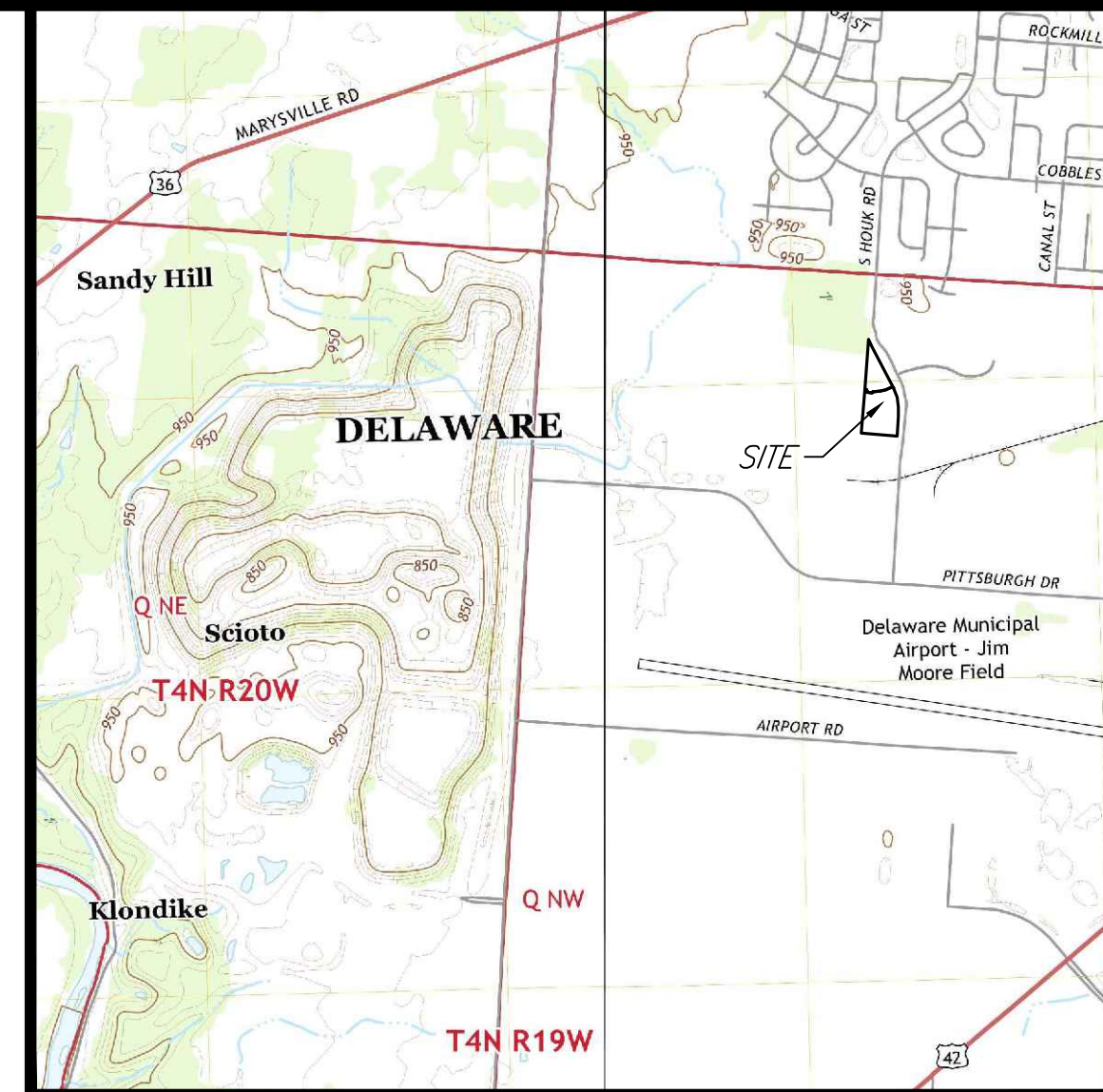
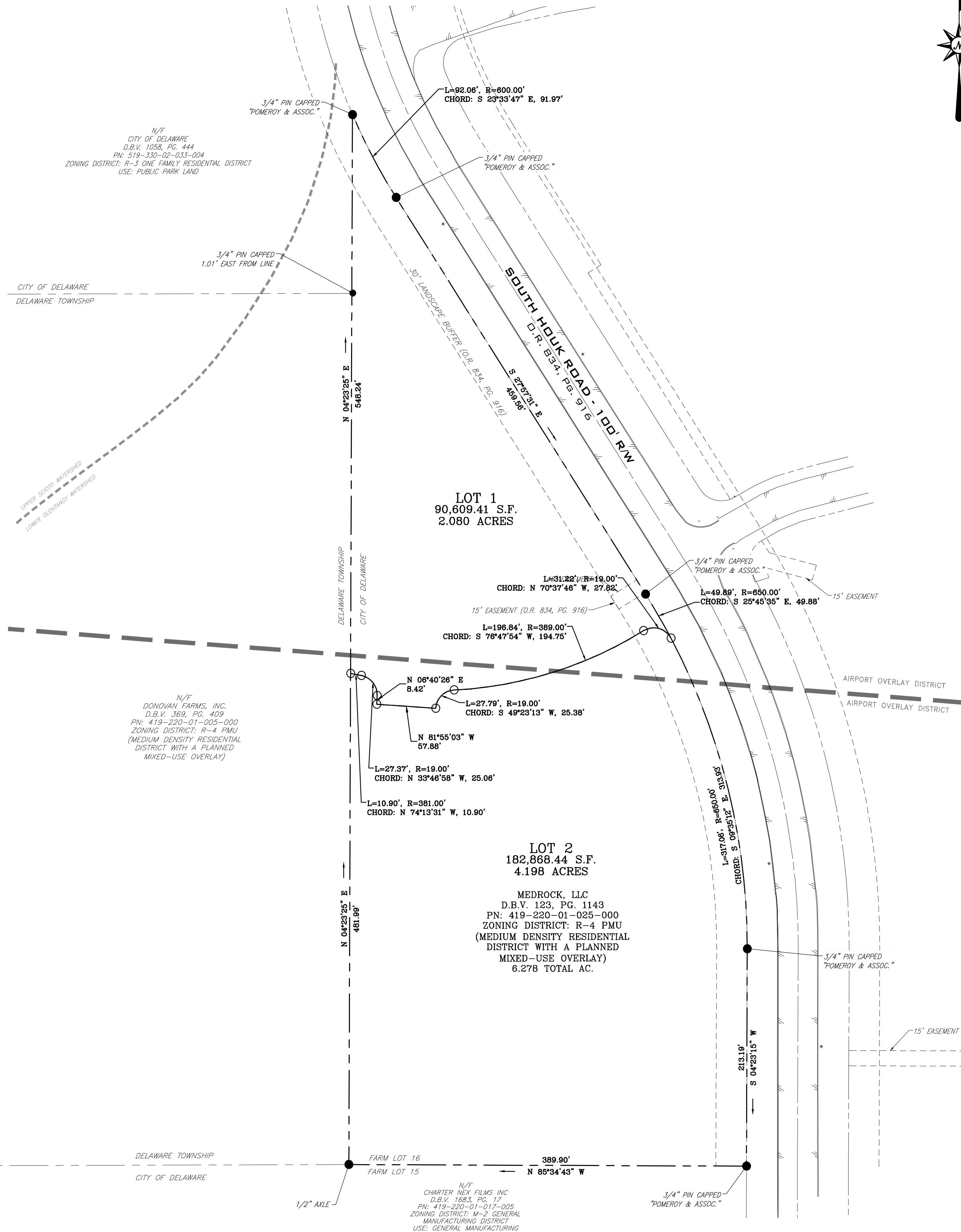
-BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM SOUTH ZONE, [NAD 83 (2011)], FROM GPS-VRS OBSERVATIONS ON EXISTING MONUMENTS.

-IRON PINS SET ARE 5/8-INCH DIAMETER REBAR, 30-INCHES IN LENGTH WITH CAP MARKED "LSSE, INC."



NOTE:
NOT A BUILDING PLAT, TO BE RE-PLATTED
INTO LOTS PER ZONING ORDINANCE.

SECTION 2, TOWN 4, RANGE 19,
PART OF FARM LOT 16,
UNITED STATES MILITARY LANDS
CITY OF DELAWARE, DELAWARE COUNTY, OHIO
6.278 ACRES TOTAL ACRES



PORTIONS OF MAP TAKEN FROM DELAWARE, OHIO-DELAWARE COUNTY USGS QUADRANGLE &
OSTRANDER, OHIO USGS QUADRANGLE

1"=2000

— — — — —	PROPERTY LINE (SUBJECT)
— — — — —	PROPERTY LINE (ADJOINER)
- - - - -	RIGHT-OF-WAY
— — — — —	CENTERLINE OF RIGHT-OF-WAY
— — — — —	EASEMENT
— — — — —	EDGE OF PAVEMENT
○	IRON PIN (SET)
●	IRON PIN (FOUND)

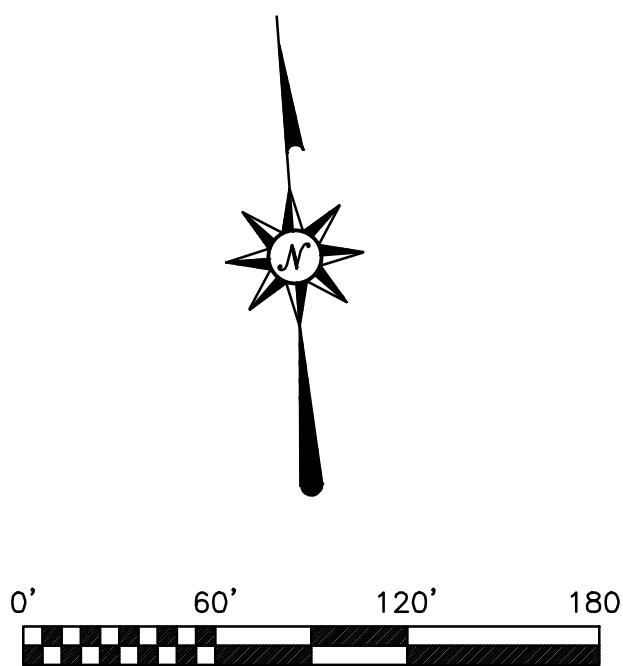
PROPERTY OWNERS
MEDROCK, LLC

PROPERTY ADDRESS
HOUK ROAD,
DELAWARE, OH 43015

DEVELOPER
MARONDA HOMES OF CINCINNATI
5900 WILCOX PLACE
DUBLIN, OHIO 43016

HORIZONTAL: NORTH AMERICAN DATUM [NAD 83 (2011)]
OHIO STATE PLANE - NORTH ZONE

MAP NO. 39041C0111K
REVISION DATE DATE: 4/16/2009
ZONE X

[illegible]

5980 Wilcox Place, Suite J
Dublin, Ohio 43016
Phone: (614) 395-1661
Corporate: (412) 264-1200
email: info@lsse.com

Filename: 308324SUB-lot Split No1.dwg
Date: JANUARY 2024

SOUTH HOUK ROAD
PLAN NO. 1

CITY OF DELAWARE, DELAWARE COUNTY, OHIO

Sheet Title SUBDIVISION PLAN

Drawing No.	308-324-1	Sheet No.	1 of 1
-------------	-----------	-----------	--------

SOUTH HOUK ROAD PLAN NO. 2
SECTION 2, TOWN 4, RANGE 19,
PART OF FARM LOT 20 AND PART OF FARM LOT 16,
UNITED STATES MILITARY LANDS
DELAWARE TOWNSHIP, DELAWARE COUNTY, OHIO
107.834 ACRES TOTAL ACRES

DEDICATION STATEMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIEN HOLDERS OF THE LANDS HEREIN PLATTED, DO
HEREBY ACKNOWLEDGE THE MAKING AND SIGNING OF SAID RECORD PLAN TO BE OUR VOLUNTARY ACT AND
DEED.

SIGNED: DONOVAN FARMS, INC.

SIGNATURE OF OWNER & TITLE

WITNESSED BY:

WITNESSED BY:

STATE OF _____,
COUNTY OF DELAWARE, SS:
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 20 ____ BEFORE ME, A NOTARY
PUBLIC, IN AND FOR SAID STATE, PERSONALLY CAME _____ OF, DONOVAN
FARMS, INC. TO BE KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO
BE THEIR VOLUNTARY ACT AND DEED.
IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DATE
WRITTEN ABOVE.

NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES _____

DESCRIPTION

BEING A SUBDIVISION OF PARCELS 419-220-01-003-000, 419-220-01-004-000 AND 419-220-01-005-000. BEING PART OF
FARM LOT 20 AND PART OF FARM LOT 16.

TITLE TO REAL ESTATE VESTED IN DONOVAN FARMS, INC. BY DEED BOOK 369, PAGE 409 OF THE DELAWARE
COUNTY RECORDERS OFFICE AND REFERENCED AS DELAWARE COUNTY AUDITORS PARCELS 419-220-01-003-000,
419-220-01-004-000 AND 419-220-01-005-000.

OWNERS STATEMENT

DATE _____, 20 ____
STATE OF OHIO,
COUNTY OF DELAWARE, S.S.

_____, BEING DULY SWORN, SAYS THAT ALL
PERSONS AND CORPORATIONS, TO THE BEST OF HIS/HER KNOWLEDGE, INTERESTED IN THIS DEDICATION, EITHER
AS OWNERS OR LIENHOLDERS, HAVE UNITED IN ITS EXECUTION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DATE
WRITTEN ABOVE.

NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES _____

APPROVAL

PO CASE NO. _____ APPROVED BY THE PLANNING COMMISSION ON _____

APPROVED AND ACCEPTED THIS _____ DAY OF _____ BY ORDINANCE NO. _____
WHEREIN ALL EASEMENTS, SHOWN DEDICATED HEREON ARE ACCEPTED AS SUCH BY
THE CITY COUNCIL OF THE CITY OF DELAWARE, OHIO

CITY CLERK: _____ DATE: _____

CITY MANAGER: _____ DATE: _____

PLANNING AND COMUNITY DEVELOPMENT DIRECTOR: _____ DATE: _____

PUBLIC WORKS DIRECTOR/CITY ENGINEER: _____ DATE: _____

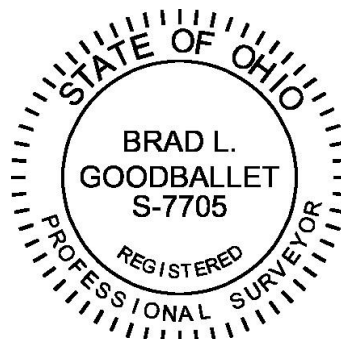
DIRECTOR OF PUBLIC UTILITIES: _____ DATE: _____

CITY CLERK: _____ DATE: _____

SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN OF SUBDIVISION AND THE SURVEY IT REPRESENTS TO BE CORRECT TO THE
BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT WAS PERFORMED IN ACCORDANCE WITH
OHIO ADMINISTRATIVE CODE CHAPTER 4733-37 - STANDARDS FOR BOUNDARY SURVEYS.

BRAD L. GOODBALLETT
OHIO REGISTERED SURVEYOR NO. S-7705



-BEARINGS AS SHOWN ARE USED TO DENOTE ANGLES ONLY AND ARE RELATIVE TO THIS PLAN OF SUBDIVISION.
-BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM SOUTH ZONE, [NAD 83 (2011)], FROM GPS-VRS
OBSERVATIONS ON EXISTING MONUMENTS.
-IRON PINS SET ARE 5/8-INCH DIAMETER REBAR, 30-INCHES IN LENGTH WITH CAP MARKED "LSSE, INC."

NOTE:
NOT A BUILDING PLAT, TO BE RE-PLATTED
INTO LOTS PER ZONING ORDINANCE.

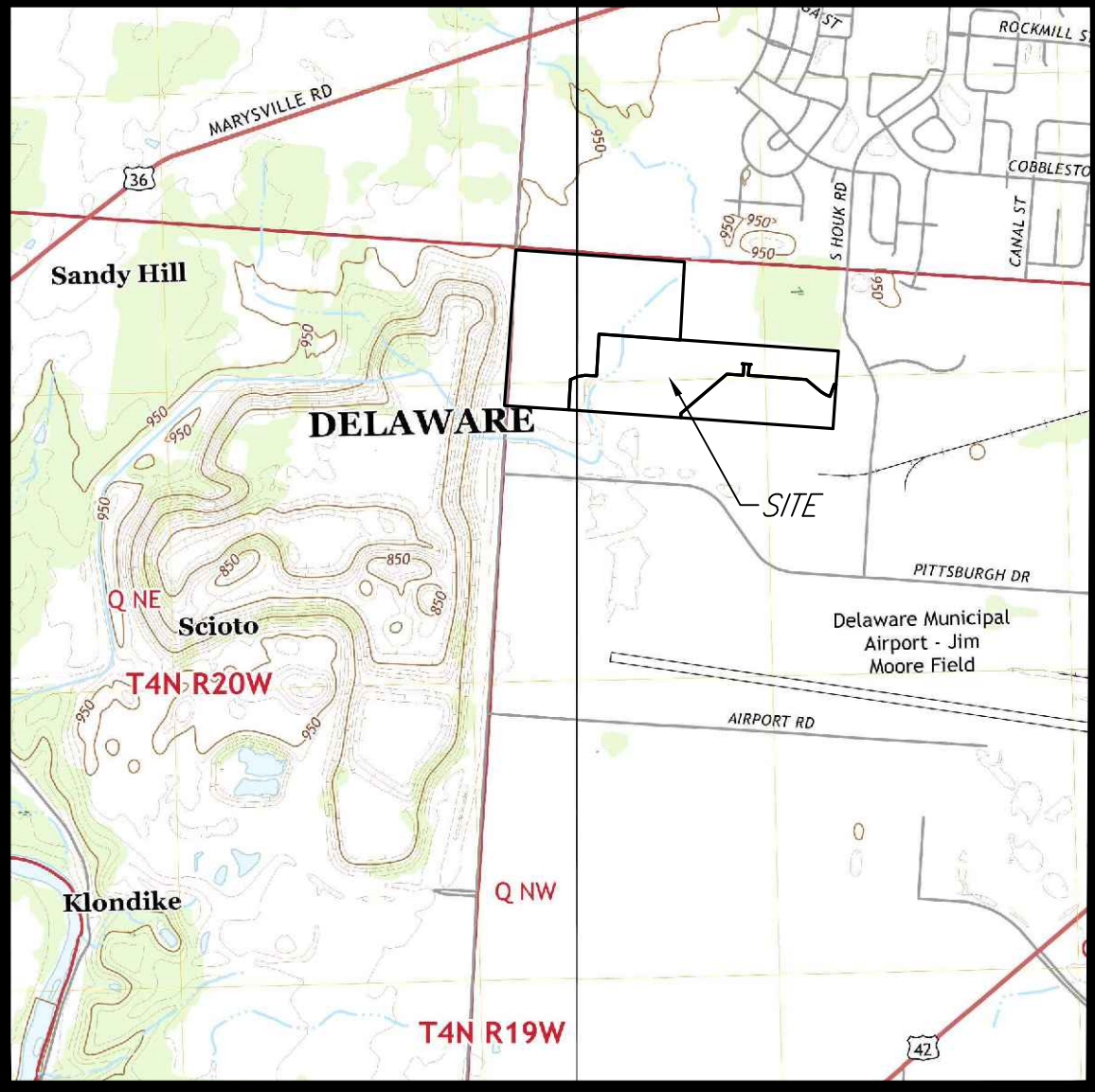


5980 Wilcox Place, Suite J
Dublin, Ohio 43016
Phone: (614) 395-1661
Corporate: (412) 264-1200
email: info@lsse.com

Filename:
308324SUB-lot Split No2.dwg
Date:
JANUARY 2024

SOUTH HOUK ROAD
PLAN NO. 2
DELAWARE TOWNSHIP, DELAWARE COUNTY, OHIO

Sheet Title
SUBDIVISION PLAN
Drawing No. 308-324-1 Sheet No. 1 of 1



Location Map
1"=2000'

LEGEND
--- PROPERTY LINE (SUBJECT)
--- PROPERTY LINE (ADJOINER)
--- RIGHT-OF-WAY
--- CENTERLINE OF RIGHT-OF-WAY
--- EASEMENT
--- EDGE OF PAVEMENT
○ IRON PIN (SET)
● IRON PIN (FOUND)

PROPERTY OWNERS
DONOVAN FARMS, INC.

PROPERTY ADDRESS
SECTION LINE ROAD,
DELAWARE, OH 43015

DEVELOPER
MARONDA HOMES OF CINCINNATI
5900 WILCOX PLACE
DUBLIN, OHIO 43016

PROJECT DATUM
HORIZONTAL: NORTH AMERICAN DATUM [NAD 83 (2011)]
OHIO STATE PLANE - NORTH ZONE

FIRM INFORMATION
MAP NO. 39041C011K
REVISION DATE DATE: 4/16/2009
ZONE X

N:\VPC\308324SUB-lot Split No2.dwg User=Michael Voss Plot=17/2/2024 1:41 PM

FOR OFFICE USE ONLY

DATE RECEIVED



Master Zoning Application

FOR OFFICE USE ONLY

PERMIT NUMBER

Planning Commission

- ☐ Amended Final Development Plan
- ☐ Amended Final Subdivision Plat
- ☐ Amended Preliminary Development Plan
- ☐ Amended Preliminary Subdivision Plat
- ☐ Annexation Review
- ☐ Combined Preliminary & Final Development Plan
- ☐ Comprehensive Plan Amendment
- ☐ Concept Plan
- ☐ Conditional Use Permit
- ☐ Determination of Similar Use
- ☐ Development Plan Exemption

- ☐ Final Development Plan
- ☐ Final Development Plan Extension
- ☒ Final Subdivision Plat
- ☐ Final Subdivision Plat Extension
- ☐ Floodplain Permit
- ☒ Lot Split / Combination
- ☐ Pre-annexation Agreement
- ☐ Preliminary Development Plan
- ☐ Preliminary Development Plan Extension
- ☐ Preliminary Subdivision Plat
- ☐ Preliminary Subdivision Plat Extension
- ☐ Rezoning
- ☐ Subdivision Variance

- ☐ Substitution of a Non- Conforming Use
- ☐ Vacation-Alley
- ☐ Vacation-Easement
- ☐ Vacation-Street

Board of Zoning Appeals

- ☐ Appeal Administrative Decision or Interpretation
- ☐ Conditional Use Permit
- ☐ Substitution of Equal or Less Non-Conforming Use

Variance

- ☐ Zoning Determination Letter

Subdivision / Project Name South Houk Road Plan No. 1 **Address** Houk Road, Delaware, OH 43015

Acreage 6.278 **Square Footage** 273,477.85 **Number of Lots** 2 **Number of Units** N/A

Zoning District / Land Use M-1/Vacant **Proposed Zoning / Land Use** M-1/Vacant **Parcel Number** 419-220-01-025-000

Applicant Name Maronda Homes **Contact Person** Todd Lipschutz

Applicant Address 5900 Wilcox Place, Dublin, OH 43106

Phone 614.659.1546 **Fax** **Email** lipschutz@maronda.com

Owner Name Medrock, LLC **Contact Person** Ron Sabatino

Owner Address

Phone **Fax** **Email**

Engineer/Architect/Attorney Name LSSE, Inc.

Address 5980 Wilcox Place, Suite J, Dublin, OH 43016

Phone 412.264.4400 **Fax** 412.264.1200 **Email** info@lsse.com

The undersigned do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature

Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this ____ day of _____, 20__.

Notary Stamp

Notary Public

FULL SCHEDULE OF FEES IN ORDINANCE 22-107

Application	Fee	
	Single-Family Lot	All Other Development ¹
Comprehensive Plan Amendment	\$550	\$550
Rezoning	\$275	\$550 plus \$110 per acre
Concept Plan	Non-applicable ²	\$550
Preliminary Development Plan	Non-applicable	\$825 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Final Development Plan	Non-applicable	\$1,100 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Combined Preliminary & Final Development Plans	Non-applicable	\$1,100 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Development Plan Exemption	Non-applicable	\$550
Development Plan Amendment	Non-applicable	\$825
Development Plan-Approval Deadline Extension	Non-applicable	\$550
Conditional Use Permit (Planning Commission or Board of Zoning Appeals)	\$165	\$550
Variance (Zoning)	\$165	\$330 for the first variance and \$55 for each subsequent variance
Substitution of a Non-Conforming Use	\$110	\$220
Appeal of an Administrative Decision	\$110	\$220
Code Interpretation/ Determination	\$30	\$140
Determination of a Substantially Similar Use	Non-applicable	\$85
Variance: Extension of the Approval Deadline	\$30	\$165
Preliminary Plat	Non-applicable	\$825 plus \$110 per lot or \$55 per acre if a non-single-family subdivision plat
Final Plat	Non-applicable	\$1,100 plus \$110 per lot or \$55 per acre if a non-single-family subdivision plat
Amended Plat (Preliminary or Final Plat)	Non-applicable	\$825
Extension of the Plat Approval Deadline	Non-applicable	\$550
Subdivision Variance	Non-applicable	\$330 for the first variance and \$55 for each subsequent variance
Lot Split (Minor Subdivision)	\$85	\$110 plus \$55 per lot to be split
Floodplain Use Permit	\$110	\$330
Floodplain Letter of Interpretation	\$55	\$220
Alley, Street, or Easement Vacation	\$100	\$250
Annexation Review	\$55	\$550

¹ Includes single-family subdivision plats.

² "Non-Applicable" means that the noted application does not apply to an existing single-family lot. If the code is amended to extend an application to single-family lots, then the appropriate fee must be established.

FOR OFFICE USE ONLY

DATE RECEIVED



Master Zoning Application

FOR OFFICE USE ONLY

PERMIT NUMBER

Planning Commission

- ☐ Amended Final Development Plan
- ☐ Amended Final Subdivision Plat
- ☐ Amended Preliminary Development Plan
- ☐ Amended Preliminary Subdivision Plat
- ☐ Annexation Review
- ☐ Combined Preliminary & Final Development Plan
- ☐ Comprehensive Plan Amendment
- ☐ Concept Plan
- ☐ Conditional Use Permit
- ☐ Determination of Similar Use
- ☐ Development Plan Exemption

- ☐ Final Development Plan
- ☐ Final Development Plan Extension
- ☒ Final Subdivision Plat
- ☐ Final Subdivision Plat Extension
- ☐ Floodplain Permit
- ☒ Lot Split / Combination
- ☐ Pre-annexation Agreement
- ☐ Preliminary Development Plan
- ☐ Preliminary Development Plan Extension
- ☐ Preliminary Subdivision Plat
- ☐ Preliminary Subdivision Plat Extension
- ☐ Rezoning
- ☐ Subdivision Variance

- ☐ Substitution of a Non- Conforming Use
- ☐ Vacation-Alley
- ☐ Vacation-Easement
- ☐ Vacation-Street

Board of Zoning Appeals

- ☐ Appeal Administrative Decision or Interpretation
- ☐ Conditional Use Permit
- ☐ Substitution of Equal or Less Non-Conforming Use

Variance

- ☐ Zoning Determination Letter

Subdivision / Project Name South Houk Road Plan No. 2 **Address** Section Line Rd. Delaware, OH 43015

Acreage 107.834 **Square Footage** 4,697,227.47 **Number of Lots** 3 **Number of Units** N/A

Zoning District / Land Use FR-1/General Farm **Proposed Zoning / Land Use** FR-1/General Farm **Parcel Number** 419-220-01-003-000
419-220-01-004-000
419-220-01-005-000

Applicant Name Maronda Homes **Contact Person** Todd Lipschutz

Applicant Address 5900 Wilcox Place, Dublin, OH 43106

Phone 614.659.1546 **Fax** **Email** lipschutz@maronda.com

Owner Name Donovan Farms, Inc. **Contact Person**

Owner Address

Phone **Fax** **Email**

Engineer/Architect/Attorney Name LSSE, Inc.

Address 5980 Wilcox Place, Suite J, Dublin, OH 43016

Phone 412.264.4400 **Fax** 412.264.1200 **Email** info@lsse.com

The undersigned do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature **Owner Printed Name**

Agent Signature **Agent Printed Name**

Sworn to before me and subscribed in my presence this ____ day of _____, 20__.

Notary Stamp

Notary Public

FULL SCHEDULE OF FEES IN ORDINANCE 22-107

Application	Fee	
	Single-Family Lot	All Other Development ¹
Comprehensive Plan Amendment	\$550	\$550
Rezoning	\$275	\$550 plus \$110 per acre
Concept Plan	Non-applicable ²	\$550
Preliminary Development Plan	Non-applicable	\$825 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Final Development Plan	Non-applicable	\$1,100 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Combined Preliminary & Final Development Plans	Non-applicable	\$1,100 plus \$55 per acre or \$110 per dwelling unit if multi-family or condominium
Development Plan Exemption	Non-applicable	\$550
Development Plan Amendment	Non-applicable	\$825
Development Plan-Approval Deadline Extension	Non-applicable	\$550
Conditional Use Permit (Planning Commission or Board of Zoning Appeals)	\$165	\$550
Variance (Zoning)	\$165	\$330 for the first variance and \$55 for each subsequent variance
Substitution of a Non-Conforming Use	\$110	\$220
Appeal of an Administrative Decision	\$110	\$220
Code Interpretation/ Determination	\$30	\$140
Determination of a Substantially Similar Use	Non-applicable	\$85
Variance: Extension of the Approval Deadline	\$30	\$165
Preliminary Plat	Non-applicable	\$825 plus \$110 per lot or \$55 per acre if a non-single-family subdivision plat
Final Plat	Non-applicable	\$1,100 plus \$110 per lot or \$55 per acre if a non-single-family subdivision plat
Amended Plat (Preliminary or Final Plat)	Non-applicable	\$825
Extension of the Plat Approval Deadline	Non-applicable	\$550
Subdivision Variance	Non-applicable	\$330 for the first variance and \$55 for each subsequent variance
Lot Split (Minor Subdivision)	\$85	\$110 plus \$55 per lot to be split
Floodplain Use Permit	\$110	\$330
Floodplain Letter of Interpretation	\$55	\$220
Alley, Street, or Easement Vacation	\$100	\$250
Annexation Review	\$55	\$550

¹ Includes single-family subdivision plats.

² "Non-Applicable" means that the noted application does not apply to an existing single-family lot. If the code is amended to extend an application to single-family lots, then the appropriate fee must be established.