



## **AGENDA**

### **CITY OF HALF MOON BAY PLANNING COMMISSION**

**TUESDAY, MARCH 12, 2019**

**7:00 PM**

**Half Moon Bay EOC  
537 Kelly Ave.  
Half Moon Bay, CA 94019**

**Brian Holt, Chair  
James Benjamin, Vice Chair  
Sara Polgar, Planning Commissioner  
Steve Ruddock, Planning Commissioner  
Rick Hernandez, Planning Commissioner**

**This agenda contains a brief description of each item to be considered. Those wishing to address the Planning Commission on any matter not listed on the Agenda, but within the jurisdiction of the Planning Commission to resolve, may come forward to the podium during the Public Forum portion of the Agenda and will have a maximum of three minutes to discuss their item. Those wishing to speak on an agenda item are asked to fill out a speaker card. Speaker(s) will be called forward at the appropriate time during the agenda item in consideration.**

**Please Note: Please Provide a Copy of Prepared Presentations to the Clerk**

**Copies of written documentation relating to each item of business on the Agenda are on file in the Office of the City Clerk at City Hall and the Half Moon Bay Library where they are available for public inspection. If requested, the agenda shall be available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132.) Information may be obtained by calling 650-726-8271.**

**In compliance with the Americans with Disabilities Act, special assistance for participation in this meeting can be obtained by contacting the City Clerk's Office at 650-726-8271. A 48-hour notification will enable the City to make reasonable accommodations to ensure accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II).**

**<http://hmbcity.com/>**

**MEETING WILL CONCLUDE BY 10:30 PM UNLESS OTHERWISE EXTENDED BY SIMPLE MAJORITY VOTE OF THE PLANNING COMMISSION.**

**PLANNING COMMISSIONER OFF-SITE - TELECONFERENCE**

**Planning Commissioner Hernandez will be teleconferencing from the lobby at:  
Boca Raton Marriott; 5150 Town Center Circle; Boca Raton, FL 33486 USA**

**PLEDGE OF ALLEGIANCE AND ROLL CALL**

**APPROVAL OF MINUTES**

**DRAFT MINUTES 02.26.2019**  
[02.26.2019](#)

**PUBLIC COMMENT**

**1. PUBLIC HEARING ITEMS**

**1.A PROJECT: Coastal Development Permit, Architectural Review, Use Permit, Vesting Tentative Subdivision Map and Planned Unit Development Plan, to allow the subdivision of the subject parcels into 8 lots, construction of 8 new two-story residence and associated improvements.**

**FILE NUMBER: PDP-2018-074**

**APN: 066-092-230 and 066-371-160**

**LOCATION: Vacant parcel between Redondo Beach, Bay Hill Road and Carnoustie Drive**

**APPLICANT/OWNER: Carnoustie, LLC.**

**PROJECT PLANNER: Scott D. Phillips, 650-726-8299, sphillips@hmbcity.com**

[STAFF REPORT](#)

[ATTACHMENT 1 - RESOLUTION](#)

[ATTACHMENT 2 - PLANS](#)

[ATTACHMENT 3 - MAINTENANCE OF STORMWATER LETTER](#)

[ATTACHMENT 4 - TRAFFIC STUDY MEMO](#)

[ATTACHMENT 5 - WRA BIOLOGICAL RECONNAISSANCE REPORT](#)

**PLANNING COMMISSION BUSINESS**

**2019 ANNUAL HOUSING ELEMENT REPORT - ACKNOWLEDGEMENT OF RECEIPT OF THE  
2019 HOUSING ELEMENT REPORT**

[STAFF REPORT - HOUSING ELEMENT](#)

[ATTACHMENT 1 - DRAFT HOUSING ELEMENT ANNUAL PROGRESS REPORT](#)

**DIRECTOR'S REPORT**

**PLANNING COMMISSION COMMUNICATIONS**

**ADJOURNMENT**



**MINUTES**  
**CITY OF HALF MOON BAY PLANNING COMMISSION**  
**TUESDAY, FEBRUARY 26, 2019**  
**EMERGENCY OPERATIONS CENTER (EOC) / 537 KELLY AVENUE**

Chair Holt called the meeting to order at 7:06PM

**PRESENT:** Chair Holt, Vice Chair Benjamin, Commissioners Hernandez, Polgar & Ruddock

**PLEDGE OF ALLEGIANCE AND ROLL CALL**

Chair Holt led the Pledge of Allegiance.

**APPROVAL OF MINUTES**

**Minutes: February 12, 2019**

**M/S: Benjamin/Ruddock**

**Approved: 4-0**

**Abstained:** Commissioner Hernandez was absent at the January 22, 2019 meeting.

**PUBLIC COMMENT**

**NONE**

Introduction of Attorney Winter King with Shute Mihaly & Weinberger. She is now supporting the Planning Commission and Planning staff.

**PUBLIC HEARING ITEM:**

**1.A) STUDY SESSION: DRAFT LOCAL COASTAL LAND USE PLAN (LUP) UPDATE ON CHAPTER 2 – DEVELOPMENT**

Presentation by Jill Ekas, Community Development Director

**ROUND 1 – Planned Developments – General PD Policies and Established PDs**

### **Planning Commission Clarifying Questions –**

**Q:** Does the 160' elevation have precedence?

**A:** Yes, it was brought forward from the existing plan

**Q:** Existing PDs that may move into the new plan; Commissioner may have conflict and want to make clear that he will recuse himself if and when it is discussed.

**A:** Staff acknowledged

### **Public Forum**

**Kerry Burke, resident** – Why isn't Amesport Landing not included as PD? How will the master plan differ from the Specific Plan vs. Precise Plan? Policy 2-11: typo of Downtown instead of Town Center. Policy 2-17: How does this reconcile with 2-22 for traffic mitigation? Cannot ask for this twice. Policy 2-79: is storm water management area in addition to open space area? Or can these go together? Policy 2-91: Limiting single-family homes to 2,000 sq. ft. to address affordable housing? Is this a requirement? Policy 2-134 – Urban Rural Boundary, will such changes require an LCP Amendment? Policy 2-13 – Ag as a priority land use. Policy 2-78 would the City prepare any master plans proactively?

**Mike Ferreira** – lot retirement imposed by Coastal Commission regionally, could use lots from outside City boundary within the Midcoast area. Signed an agreement for Half Moon Bay to do a lot retirement ordinance and it is overdue to be implemented. How to assess lot retirements and have it not compete with a TDR program?

### **Planning Staff Responses to Public Forum Comments**

- Amesport is not included in the land use plan as a PD because it is only shown as a PD on the zoning map. There have never been PD policies in the land use plan for Amesport Landing.
- Specific Plan vs Precise Plan – general PD policies are clear that a master plan is required for each PD, and the type of master plan is defined with each specific PD.
- Policy 2-11: Old references to Measure D policy – ballot measure language is brought forward. Town Center wording cannot be changed in this case due to Measure D ballot measure.
- Comment on development fees understood/
- 5% stormwater to be added to the 20% Open Space – for basic level of area of green infrastructure in the PDs.
- Policy 2-79 – Prepare Master Plan proactively? – depends on City Council Priorities
- Policy 2-134 – Urban Rural Boundary – changing with this LUP update. Coterminous with city boundaries except for High Fire Severity Zone north of Frenchmen's Creek. High fire severity zones function like the outside city limits areas.
- Understand the input on the TDR and lot retirements and will be getting into these topics more as the plan develops.

**ROUND 2 – Planned Developments – Inside Town Center (Podesta, South Downtown Gateway, Stone Pine/Cypress Cove, Stone Pine Public Works & Conservation Corridor)**

**Planning Commission Clarifying Questions**

**Q:** Is using Acres vs Net Acres something new?

**A:** Establishing realistic buildouts with watercourses, ESHA buffers, and habitat. Concept is not new, born from City's density bonus code and similar requirements are found in other cities. It is also consistent with build out of established PDs including Pacific Ridge and Matteucci.

**Q:** Do we have an idea of the conservation corridor location for Stone Pine Public Works PD?

**A:** Drafted some ideas, needs more work and discussion.

**Q:** How does Policy 2-16 interplay with Planned Development density?

**A:** Needs further research.

**Q:** For the undeveloped site in Stone Pine/Cypress Cove, is the only access limited to Highway 92?

**A:** Limited access ways other than 92 right now; note that the PD policy requires consolidating access and not allowing additional access points along Highway 92 in this area.

**Q:** Is the purple buffer areas on all of the maps discussed within these PDs referring to the net acre?

**A:** Purple setbacks are suggestions, distinct from required orange buffers that are removed from net acreage.

**Public Forum**

**Kerry Burke** - is there a number for total amount of buildout densities and bonuses within the Town Center? Know there is an infill for number on the outside. This could help with infrastructure planning. Want more information on the water discussion on Page 2-30. In support of different water connections to support different types of housing needs.

**Mike Ferreira** – Podesta: many years ago, identified that Podesta is the City's most developable property, except for the circulation challenges. The 125 units was a "not to exceed," not an entitlement number. How to deal with circulation with the higher density allowed by TDR and density bonus? Andreotti PD is an old family name, not comfortable throwing it away, for a code that is not a code. The new name is a marketing name, please consider leaving it alone. 22 acre site behind Stone Pine, last read it was 10-12 acres of development area, thought was to have Eastbound entry only off Highway 92 and exit only through Stone Pine Road.

**Scott McVicker** – Stone Pine Public Works PD: man-made pond for previous farming, versus natural creek. Pond shouldn't impact the site as for development unlike the natural stream and habitat.

### **Planning Staff Responses to Public Forum Comments**

- Number of units in the Town Center are being worked through
- Water connection in regard to different building types will be discussed further in the Public Works Chapter
- Renaming of PDs is in response to community members' understanding of the various area and are thus proposed based on location or other factors that reflect on the current condition of the PD. The names do not need to be changed. The Planning Commission is free to provide direction on this topic.
- Policy 2-128E – vehicular access from Stone Pine Road – aware of the circulation concerns and include various options for circulation including the one cited in public comment.
- Would be great to relocate the pond south, so that access to development does not bisect wildlife corridor, but not sure that is viable. Frogs breed in that pond and it is no longer an Ag pond, per definition of ESHA required to treat the pond as protected habitat.

### **ROUND 3 – Planned Developments – Substantially Undeveloped PDs (Nurseryman's Exchange, Surf Beach/Dunes Beach, Venice Beach, Upper Grandview/Glencree, Carter Hill, West of Railroad)**

#### **Planning Commission Clarifying Questions**

**Q:** Glencree is another option to consider access to Upper Grandview?

**A:** Yes, City owns the Glencree property and could be a potential access.

**Q:** For Young Ave/Surf Dunes was there special consideration in 1996 LUP for a visual setback?

**A:** Yes, does include widening the road 25 feet, dedication to State Parks and Rec, and establishing a bike trail. Young Avenue is a visual resources primary coastal access route.

**Q:** Nurserymen's – waterways would be taken out for net acreage? Looks like the North side of the PD is a water way with riparian, surprised it isn't shown or is it missing?

**A:** Staff will double check

**Q:** ESHA buffers around Glencree?

**A:** Showing 100-foot buffer from Beachwood and Pacific Ridge Area A

**Q:** For development of upland PDs, how do we account for downstream impacts from increased imperviousness?

**A:** Staff will get back to this

**Q:** Is planning for Coastal Trail retreat appropriate?

**A:** Yes.

**Q:** Has City Council provided direction on having ADUs in PDs?

**A:** Current ADU ordinance does not address ADUs in established PDs although they are allowed in Matteucci. Staff looked at specific undeveloped PDs to address City Council housing priorities.

### **Public Forum**

**Pete Smith** - resident on south end of Half Moon Bay, thanked Planning Commission and Staff for all of their hard work on this document. Document is large improvement to address community needs, especially affordable housing, circulation control and ag preservation.

**Mike Ferreira** – Nurserymen’s agreement with City that they would reorient their circulation to coincide with Roosevelt, that would need to be completed before the development could move forward with the PD. Alto is not wide enough to serve the PD or for fire access. The Grandview extension – the roads in this development are very narrow, dangerous condition. Don’t see a small subdivision off from the existing development. Many people in the existing neighborhood park on these streets. More vegetation (willows) above Grandview than currently shown. Bolsa Chica Decision –can’t fill wetlands for roads or houses.

**Tim Costello**, resident in Grandview - Grandview was developed in the 1970’s, streets are very narrow, and people park on the streets. Watercourse runs down the south end of development at the end of Golden Gate, you can see the erosion at his neighbor’s home. Doesn’t see how you could create more road and development in this neighborhood. Could we migrate the watercourse south to avoid erosion hazards?

**Lennie Roberts**, Committee for Green Foothills – informing that a Save Dunes Beach petition was submitted to the City Council on January 15, 2019 with 4,700 signatures against the proposed Surf Dunes project. Coastside Land Trust is interested in purchasing this land.

### **5 MINUTE BREAK WAS TAKEN**

#### **Planning Staff Responses to Public Forum Comments**

- Aware of willows and such vegetation up in Glencreed, need to talk to our biologist; however, if they weren’t shown on the maps it is because the City did not have a past study.
- Aware of man-made watercourse next to Grandview, a PD Master Plan could be a tool to address this.

### **ROUND 4 – Planned Developments - (North Wavecrest & potential Dolores PD)**

#### **Planning Commission Clarifying Questions**

**Q:** Will infrastructure (sewer & water) to potential Dolores PD be included?

**A:** Yes

### **Public Forum**

**Mike Ferreira** – In North Wavecrest, why not add other cluster of POST lots west of nurseries into Open Space for Conservation? Dolores is really wet most of the time, properties drain to the west, where else would you drain to? What is the connection for TDR? Childcare Center is actually in the North Wavecrest PD boundary.

**John Callan, San Mateo Building Exchange** – pleased to see Redondo Beach Road as an access road on the maps again. Wetland delineations in North Wavecrest are estimates, need professional up-to-date delineations. Wavecrest Restoration Plan included visitor serving uses all over– City is arbitrarily separating now, should consider a swath of uses.

### **Planning Staff Responses to Public Forum Comments**

- Considered taking the paper lots and streets out that are to the west of the greenhouses, but reasons why staff didn't because some wetlands have changed and not all the lots are owned by land trusts. Can look at this again.
- Showing previous delineations, correct there needs to be new delineations. New policy for master plan site assessments is included for that reason, must complete those delineations prior to submittal of master plan.

### **Planning Commission Discussion (Overall Items)**

- Commissioner Benjamin made a comment about Kehoe Watercourse and his conflict if it ever is discussed at tonight's meeting.
- Grandview/Glenree – Having fewer PDs would be overall better than more.
- Childcare center on the south end of North Wavecrest that is not included in the Dolores PD—could revise PD boundaries. Simplify the process, make it more forward
- Lot retirement program—goal is to protect habitat in the City, should focus on acquiring property in City limits. Could consider selling development rights to high density transit corridors over the hill.
- Monarch Butterfly – Frenchman's Creek – Fish and Wildlife is considering listing this species, challenge for how we look at our eucalyptus tree. Invasive but provides raptor and overwintering habitat.
- Fire regulations – State laws need radical change. Should incorporate comments from Fire Chief's retirement speech/article
- Frog ponds – man-made should still be protected unless in active ag use, frog is an endangered species
- How did the City acquire the Glenree Property? It was donated to the City
- What data do we have on lot retirement and TDR success?
- PD planning in context of the broader landscape. Some constraints you can't design your way out of. 5% may not be sufficient for stormwater management. Drainage in Dolores could be an issue.

- Hazards considerations are just within a specific property, need to consider surrounding areas up front – i.e. fire, emergency access, drainage. Need watershed-level thinking for PD comprehensive planning.
- Cautious on TDRs - allows substantial density increase, need to consider impacts on utilities and infrastructure
- Policy 2-17 – keep lot retirement local
- Eucalyptus – very invasive and high fuel load, should be protected for monarch habitat but needs managing. Need coastal prairie habitat more for raptors.
- Circulation constraints need policy consideration, especially to understand traffic impacts for Podesta.
- Podesta – explore alternative housing types, teacher housing
- Supportive of net acreage concept
- Supportive of the consideration of roundabouts
- Supports trails to connect adjacent open space areas
- New Dolores PD – interested in exploring change of PD boundaries
- Bring back TDRs – need supportive data, more information on how TDR would work in areas with development constraints and with needs for density reduction (Policy 2-16)
- Policies 2-5 and 2-33 could be more robust for addressing fire hazards/offsite impacts of development
- Discuss trails at a later meeting—how to meet community needs and align around habitat constraints
- Commissioner Benjamin recused himself for a brief discussion of Upper Grandview: Upper Grandview has been approached in a piecemeal way—important place for a PD. Supports combining Upper Grandview and Glen Cree into a PD to look at comprehensively.
- Stone Pine & Conservation Corridor - need more information on location of the corridor. Unclear why uses for this site are so constrained, no corridor there now.
- Stone Pine & Conservation Corridor – pond has value for frogs and snakes, need corridor for upland dispersal. Probably can't move pond.
- Received written public comment today, will review and respond
- Topics for next study session(s) should include buildout, TDR, lot retirement, trails, watercourse restoration (Ann Riley), watershed-level thinking (link to Hazards and Natural Resources Chapters)

## **DIRECTOR REPORT**

### **APPOINTMENT OF A PLANNING COMMISSIONER TO SERVE ON THE BICYCLE/PEDESTRIAN COMMITTEE**

Motion to appoint Commissioner Ruddock.

**M/S: Benjamin/Hernandez**

**Vote: 5-0**

**PLANNING COMMISSION COMMUNICATIONS**

**ADJOURNMENT**

**Chair Holt adjourned meeting**

**Meeting adjourned: 10:28 PM**

Respectfully Submitted:

Approved:

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Bridget Jett, Planning Analyst

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Brian Holt, Chair

**BUSINESS OF THE PLANNING COMMISSION  
OF THE CITY OF HALF MOON BAY**

**AGENDA REPORT**

For meeting of: **March 12, 2019**

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**TO:** Honorable Chair and Planning Commissioners

**FROM:** Jill Ekas, Community Development Director  
Scott Phillips, Associate Planner

**TITLE:** Coastal Development Permit, Use Permit, Architectural Review, Vesting Tentative Subdivision Map and Planned Unit Development Plan File No. PDP-18-074 for Assessor’s Parcel Numbers 066-092-230 and 066-371-160

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**RECOMMENDATION**

Adopt Resolution P-19-\_\_ recommending approval of PDP-18-074 to the City Council an application for a Coastal Development Permit, Use Permit, Architectural Review, Vesting Tentative Subdivision Map and Planned Unit Development Plan to allow the creation of eight new lots, construction of a new cul-de-sac, frontage improvements and construction of eight new two-story single family residences, based upon the Findings and Evidence contained in Exhibit A of the Draft Resolution, and subject to the Conditions of Approval in Exhibit B.

**PROJECT BACKGROUND**

**Subdivision History**

Ocean Colony consists of 23 individual subdivisions, which comprises the Half Moon Bay Country Club (Ocean Colony) Planned Development District. Carnoustie Phases 1-3 was the most recent subdivision to be added to this Planned Development District. In 2018, the remaining home in Phase 3 was completed.

<b>Summary of Project</b>	
<b>File Number</b>	PDP-18-074
<b>Requested Permits/Approvals</b>	Coastal Development Permit, Use Permit, Architectural Review, Vesting Tentative Subdivision Map and Planned Unit Development Plan
<b>Site Location</b>	Carnoustie Phase 4 / APN’s 066-092-230 and 066-371-160
<b>Applicant/Property Owner</b>	Carnoustie LLC
<b>Project Planner</b>	Scott Phillips; (650) 726-8299; <a href="mailto:sphillips@hmbcity.com">sphillips@hmbcity.com</a>
<b>Zoning District</b>	PUD, Planned Unit Development (Ocean Colony)

<b>LCP Land Use Plan Designation</b>	Planned Development District		
<b>Water Service</b>	Eight 5/8 inch, non-priority water connection and waterline extension required		
<b>Sewer Service (Sewer Authority Mid-Coast)</b>	Purchase of 2 sewer benefit units per dwelling required.		
<b>Environmental Determination</b>	Categorically Exempt pursuant to California Environmental Quality Act Guidelines, Section 15332 – in-fill development projects.		
<b>Heritage Trees</b>	Seven Heritage Trees Proposed for Removal		
	Sixty Three Replacement Trees Proposed		
<b>Story Poles</b>	<b>Required</b>	<b>Yes</b>	Located in a Visual Resource Area?
		<b>No</b>	Variance or Exception required?
		<b>No</b>	Located in a largely undeveloped area?
<b>Right of Appeal</b>	Any aggrieved person may appeal the Planning Commission’s decision to the City Council within ten (10) working days of the decision.		
	The project is located within the Coastal Commission Appeals Jurisdiction; therefore final City action can be appealed to the California Coastal Commission		

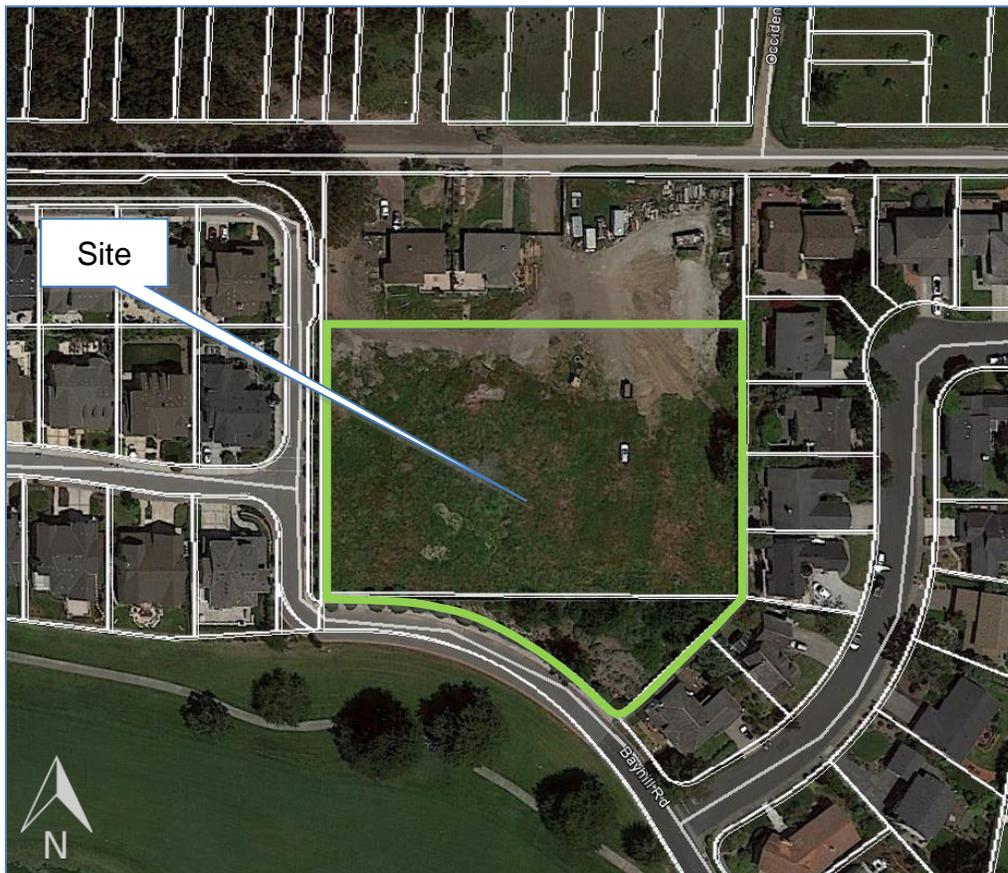


Figure 1. Site Location

**Site and Surrounding Properties**

The project site is located south of Redondo Beach Road, east and north of Bay Hill Road and Carnoustie Drive, and west of St. Andrews Lane. The site is currently vacant; limited vegetation on the site includes weedy ground cover. Several small ornamental trees line the south frontage of the property. The site is located in the Half Moon Bay Country Club Planned Development District land use designation. The site has Planned Unit Development (PUD) zoning and is part of the PUD known as Ocean Colony. Land use and zoning for properties surrounding the subject site are as follows:

Direction	Land Use	Zoning
North	(2) One-story Single-Family Residences along Redondo Beach Road	PUD, Planned Unit Development
South	Bay Hill Road and golf course	PUD, Planned Unit Development (Ocean Colony)
East	Two-story Single-Family Residences	PUD, Planned Unit Development (Ocean Colony)
West	Two-story Single-Family Residences	PUD, Planned Unit Development (Ocean Colony)

The site previously contained a dairy farm, which was demolished sometime ago. A lot line adjustment was approved in 2017 that resulted in the current lot configuration. The property today is vacant, with ornamental landscaping lining the Bay Hill Road frontage.



**Figure 2. Site Photograph Facing West**

### Project Description

The project consists of subdividing the subject property into eight individual lots for development of eight single-family homes. The existing parcel, as shown in Figure 2, is 2.34 acres and pentagonal in shape. The eight new lots would range from 9,095 square feet to 17,901 square feet with an average lot size of 11,338 square feet. A cul-de-sac would provide access to the new newly created properties. Similar to the rest of the frontage improvements in Ocean Colony, the new road would be a private roadway. Project plans are provided in Attachment 2.

The project includes a lot retirement program of seven legal lots within North Wavecrest area. Development rights of the lots will be extinguished through non-development easements, dedications, conveyances or other appropriate means once the discretionary approvals have been granted. This process is comparable to the 34 lots that were retired as part of Carnoustie Phase 1-3 project.

Along with the subdivision, architectural design for the new homes is included with the project application. The new home designs are consistent with the recently constructed Carnoustie neighborhood to the west. Seven Heritage trees along the Bay Hill Road frontage would be removed as part of the project. A comprehensive landscape plan includes fencing, 62 new trees and other plantings similar to the existing Carnoustie development to the west would be installed as part of the project.

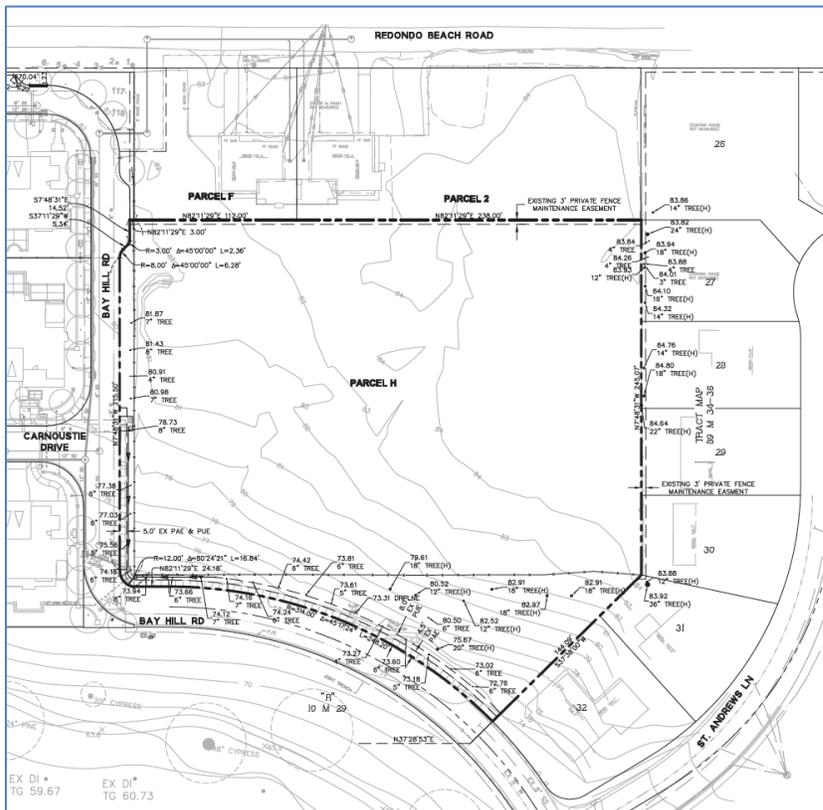
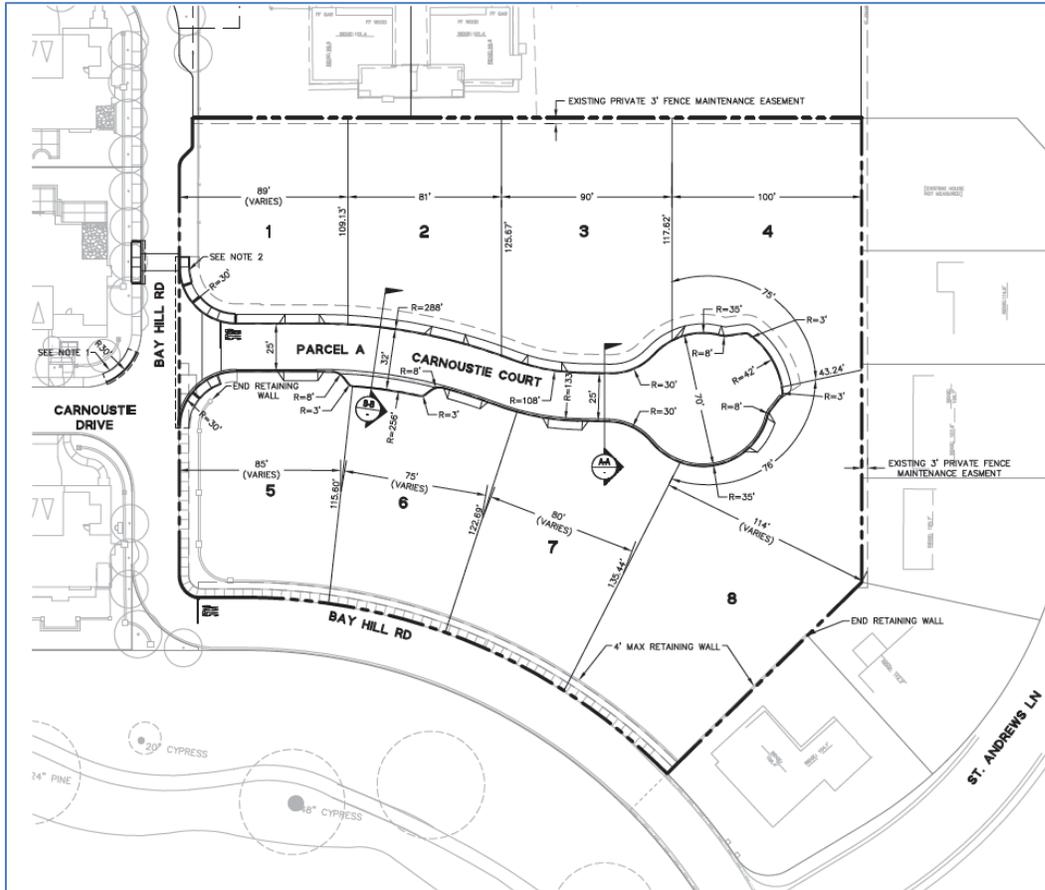


Figure 2. Existing Parcel Configuration



**Figure 3. Proposed Parcel Configuration**

### **ANALYSIS**

The key issues for this project are conformance with the General Plan/Local Coastal Land Use Plan, conformance with the Zoning Code/LCP Implementation Plan, and design compatibility with surrounding development.

#### **Subdivision Ordinance**

The project includes an eight-lot subdivision, which requires the approval of a vesting tentative subdivision map. In order to approve of the tentative map, the Planning Commission will need to determine that the tentative map is in conformance with the provisions of the Subdivision Map Act, Title 17 (Subdivision Ordinance) of the Municipal Code, as well as the Zoning Code and General Plan / Local Coastal Land Use Plan.

The Fire District and Engineering Division have reviewed the tentative map and concluded that the proposed subdivision is in conformance with the Subdivision Map Act as well as the Subdivision Ordinance.

**Conformance with the General Plan/Local Coastal Program Land Use Plan**

The proposed subdivision and new home construction is consistent with the PUD (Ocean Colony) General Plan/Local Coastal Land Use Plan designation. In particular, the Land Use Plan allows for 1,050 residential units within the Half Moon Bay Country Club Planned Development District. With the eight additional houses, the total number of units for Ocean Colony on the order of 600 houses is still well under this amount.

Policy 9.3.16 (d) states, “In order to better provide the types of housing required by the City (requirements which may change over time from those projected in 1972), the City shall, within the density and other development parameters established by the existing Country Club Approvals, consider favorably applications for lot line adjustments and similar changes to the final subdivision map for the Country Club PUD designed to accommodate current residential needs and demands. Any such lot line adjustment or similar change shall not constitute an amendment of this plan so long as it does not change the density and other development parameters for the overall Country Club PUD.” By acknowledging future changes in Ocean Colony to accommodate residential buildout of the PUD, the proposed subdivision and home construction is in conformance with this policy of the Land Use Plan. The total density identified in the Land Use Plan will not be exceeded by the project and comprises less than 1 percent of the maximum theoretic buildout of the Half Moon Bay Country Club PUD.

**Conformance with the Zoning Code**

The proposed subdivision and home construction would be an extension of the surrounding residential uses that comprise Ocean Colony. As indicated in Table 1 below, the proposed project conforms to the development standards of the PUD Zoning District and the required findings for approval of a planned unit development plan is included in Exhibit B of the attached resolution (Attachment 1).

**Table 1. Zoning Regulation Requirements**

<b>Development Standards</b>	<b>Zoning Requirements</b>	<b>Proposed</b>
Min. Parking Spaces	2 garage spaces / unit	2 garage spaces / unit

Table 2 identifies key Zoning Code/LCP Implementation Plan topics and their applicability to the subject site.

**Table 2. Key Zoning Code/LCP Implementation Plan Topics**

Topic	Applicability/Explanation	
Environmentally Sensitive Habitat Area	No	None within 100 feet of the site.
Visual Resource Area	Yes	Located in a Visual Resource Area (PUD) and 106 feet proximity to a scenic corridor.
Public Access	No	House will have no effect on coastal access.
Archaeologically Resource Area	No	Not in area of mapped or known resources.
Historic Resources	No	No historic resources exist on the site.

**Visual Resource Area**

The project conforms to the Visual Resource Standards. The subject property is located within a Visual Resource Area (Planned Unit Development), as well as near a scenic corridor (Redondo Beach Road), as identified in Chapter 18.37 (Visual Resource Protection Standards). Therefore, conformance with the development conditions within the Land Use Plan, as well as the Scenic Corridor Standards (18.37.030), is required. The three criteria related to scenic corridor standards have been included in the findings (Exhibit B). Story poles for the proposed home that will be most visible from Redondo Beach Road, the nearest public right-of-way, will be installed prior to the meeting. This installation is meant to be representative of the project as a whole.

**Planned Unit Development Plan**

For this case, in accordance with Section 18.15.015 review and approval of a PUD plan is required for new improvements within a PUD. The PUD plan consists of the subdivision map, architectural plans and detailed description. The required findings of fact can be made because the site is surrounded by existing residential properties within the Ocean Colony PUD. The project would be an extension of the existing PUD development and comprises the last vacant site within Ocean Colony.

**Use Compatibility**

The project includes 8 new residences within an undeveloped portion of an existing Planned Development District land use designation. Approval of a Use Permit is required for a new development within the PUD zoning district. In approving a Use Permit, the Planning Commission must find the following:

“The establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.”

The proposed residential project is consistent with the PUD (Ocean Colony Planned Unit Development) zoning for the site and with the uses and pattern of development in the

surrounding neighborhood, which consists of single-family residential homes. As proposed, the site and surrounding area includes adequate parking and other facilities to accommodate the project activities without detriment to the public welfare, property or improvements in the surrounding neighborhood.

### **Design Compatibility**

The Single Family Residential Design Guidelines (RDG) encourage flexibility in architectural design to reflect the community's eclectic character and seek to achieve compatible design within existing neighborhoods. The Phase 4 Carnoustie project proposes an extension of the neighboring two-story single-family neighborhood that has already been developed as phases 1-3 of the Carnoustie Subdivision. The eight new homes would utilize similar floor plans as the existing Carnoustie homes. The exterior finishes and architectural design would be distinct between each of the new homes. Proposed architectural styles of the new homes include New England coastal, English cottage and French Normandy.

### **Stormwater Management**

Stormwater runoff from the new subdivision would be directed into the existing filtration vault within the previous phases of the Carnoustie subdivision. The stormwater then would discharge into the existing stormwater detention pond within the nearby golf course. The City Engineer has reviewed the submitted plans and calculations related to stormwater flow and volume for the new subdivision and found the design to meet or exceed City criteria. In addition, Ocean Colony Association (OCA) has agreed to include the stormwater maintenance obligation for Carnoustie Phase 4 into the current maintenance program within their CC&R's. OCA submitted a letter identifying this change (Attachment 3).

The current stormwater management system for the previous phases of Carnoustie has been in place for approximately ten years. No issues related to the stormwater system have been reported. Calculations and details on the current system have been submitted and reviewed showing adequate capacity to treat the minor additional stormwater runoff from the proposal.

### **California Environmental Quality Act (CEQA)**

The project is Categorical Exempt from environmental review pursuant to California Administrative Code Section 15332, In-fill Development Projects. This class consists of projects characterized as in-fill development that are consistent with the applicable general plan designation and policies as well as zoning designation and regulations. In addition, no significant effect on traffic, noise, air/water quality or sensitive species could result from the project. The exemption is as follows:

- A) *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations:* The in-fill development is consistent with the Planned Development District land use and general plan designation, PUD zoning and other applicable policies related to developed PUD's.

- B) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:* The subdivided area is 2.34 acres, which is well below the five-acre threshold to qualify for this exemption.
- C) *The project site has no value as habitat for endangered, rare or threatened species:* As stated in the attached biological reconnaissance report (Attachment 4), the site is disturbed, includes ruderal, non-native plants. The report concludes that the site does not have value as habitat for endangered, rare or threatened species.
- D) *Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality:* Approval of the project would not result in any significant effects relating to traffic. To support this conclusion, a traffic study was prepared to evaluate the potential increase in vehicle circulation related to the additional eight homes. The report concludes that the no substantial increase in traffic delays would result from the proposed project. A copy of the report is included as Attachment 5.

With a similar density in the surrounding neighborhood, the addition of 8 new houses would not increase decibel generation beyond normal suburban activity. Similarly, the construction of 8 additional homes would not result in a significant impact to air or water quality. Standard conditions of approval included with all discretionary permits in the City related to construction would ensure that no impact on air would take place during construction. Furthermore, the Bay Area Air Quality Management District's, Air Quality Guidelines, the project would not exceed the thresholds of significance related to air quality impacts because the project size is far below the project size identified by the Air District that must be evaluated and mitigated.

The City Engineer reviewed the stormwater management system and concluded that the infrastructure conforms to the applicable stormwater management requirements.

- E) *The site can be adequately served by all required utilities and public services:* The project has been reviewed by the Coastside Fire Protection District, Coastside County Water District and City Public Works Department. It has been determined that services and access are available consistent with local standards. The site was part of a lot line adjustment that involved four lots that were reconfigured within the last two years. However, this did not result in the creation of new lots.

Numerous criteria were considered to ensure that the proposed project qualifies for the in-fill development exemption as follows: The project consists of the division of a single 2.34-acre lot into eight lots. The property is located within an urbanized area and zoned for residential use. The proposed vesting subdivision map conforms to the General Plan designation and applicable policies as well as with the zoning designation and regulations. The project also will not impact a scenic highway, which is a requirement of this class of

CEQA exemptions. Highway 1 is not designated as a scenic highway within Half Moon Bay City limits.

### **Conclusion**

Based on the above analysis, staff concludes that the proposed subdivision and residential project is consistent with the General Plan/Local Coastal Land Use Plan, the Zoning Code/LCP Implementation Plan, and the Residential Design Guidelines; is compatible with surrounding development; and conforms to the requirements of the California Environmental Quality Act. Staff recommends approval of the project based on the findings and conditions of approval (Exhibits A and B of the attached Draft Resolution).

### **ATTACHMENTS**

1. Draft Resolution with Findings and Evidence, Exhibit A and Conditions of Approval, Exhibit B.
2. Project Plans
3. Maintenance of Stormwater Facilities Letter
4. Biological Reconnaissance Report
5. Traffic Study Memorandum

**PLANNING COMMISSION RESOLUTION P-19-\_\_**  
**RESOLUTION FOR APPROVAL**  
**PDP-18-074**

**RECOMMENDATION TO THE CITY COUNCIL COASTAL DEVELOPMENT PERMIT, USE PERMIT, ARCHITECTURAL REVIEW, VESTING TENTATIVE SUBDIVISION MAP AND PLANNED UNIT DEVELOPMENT PLAN FOR THE SUBDIVISION OF A SINGLE PARCEL INTO EIGHT PARCELS AND CONSTRUCTION OF EIGHT SINGLE FAMILY HOMES AND ASSOCIATED IMPROVEMENTS IN THE PLANNED UNIT DEVELOPMENT DISTRICT, (APN'S: 066-092-230 AND 066-371-160)**

**WHEREAS**, an application was submitted requesting approval of a Coastal Development Permit Use Permit, Architectural Review, Vesting Tentative Subdivision Map and Planned Unit Development Plan for the subdivision of a single parcel into eight parcels and construction of eight new single-family homes in the PUD Zoning District at the eastern terminus of Carnoustie Drive (APN 066-092-230 and 066-371-160); and

**WHEREAS**, the procedures for processing the application have been followed as required by law; and

**WHEREAS**, the Planning Commission conducted a duly noticed public hearing on March 12, 2019, at which time all those desiring to be heard on the matter were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission considered all written and oral testimony presented for consideration; and

**WHEREAS**, a traffic analysis, biological reconnaissance report and stormwater management calculations were submitted to demonstrate that the subdivision and new home construction would not result in impacts to biological resources, traffic or water quality; and

**WHEREAS**, pursuant to Bay Area Air Quality Management District (BAAQMD) the project impacts are well below the threshold of significance with respect to air quality and greenhouse gas emissions; and

**WHEREAS**, the project site is located within a developed subdivision on where in the ambient noise level is comprised of sound generation of hundreds of existing dwelling units and the proposed project would be consistent with that environment; and

**WHEREAS**, , pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code Section 21000 et seq.) ("CEQA") together with the State CEQA Guidelines (California Code of Regulations, Title 14, Section 15000 et seq.) the Planning Commission has determined that the requested Coastal Development Permit, Use Permit, Architectural Review, Vesting Tentative Subdivision Map and Planned Unit Development Plan is categorically exempt pursuant to California Administrative Code Section 15332, In-fill Development Projects.

**WHEREAS**, the Planning Commission has made the required findings for approval of the project, set forth in Exhibit A to this resolution;

**WHEREAS**, the Planning Commission has independently reviewed and considered the categorical exemption together with the comments and the responses to those comments prior to taking action on the Project; and

**NOW, THEREFORE, BE IT RESOLVED** that, based upon the Findings in Exhibit A and subject to the Conditions of Approval contained in Exhibit B, the Planning Commission takes the following actions:

1. Finds that the subdivision and new homes are categorically exempt under CEQA and the CEQA determination reflects the independent judgment and analysis of the City.
2. Finds that, on the basis of the whole record before it, there is no substantial evidence that the Project as proposed will have a significant effect on the environment.
3. Recommends approval of the project to the City Council.

**PASSED AND ADOPTED** by the City of Half Moon Bay Planning Commission at a duly noticed public hearing held on March 12, 2019.

AYES,  
NOES,  
ABSENT,  
ABSTAIN,

APPROVED:

ATTEST:

\_\_\_\_\_  
Brian Holt, Vice Chair

\_\_\_\_\_  
Jill Ekas, Director- Community Development

## EXHIBIT A

### FINDINGS AND EVIDENCE Planning Commission Resolution P- \_\_\_\_\_ PDP-18-074

#### Coastal Development Permit – Findings for Approval

The required Coastal Development Permit for this project may be approved or conditionally approved only after the approving authority has made the following findings per Municipal Code Section 18.20.070:

**1. Local Coastal Program** – The development as proposed or as modified by conditions, conforms to the Local Coastal Program.

**Evidence:** The project consists of the subdivision of a single parcel into eight new parcels, as well as construction with eight new residences and associated infrastructure. The subdivision is consistent with the General Plan, the Local Coastal Program, and the Zoning Code. In conformance with the Local Coastal Program, the proposed subdivision will not impact sensitive environmental resources, block scenic views, or inhibit coastal access. In conformance with the Subdivision Ordinance, the Vesting Tentative Subdivision Map provides for appropriate services and facilities to serve development on the existing and proposed parcels.

**Coastal Act 30240(b) and Policy 3-3 (b):** *Development in areas adjacent to environmentally sensitive habitat areas shall be sited and designed to prevent impacts which would significantly degrade such areas and shall be compatible with the continuance of such habitat areas.*

**Compliance:** The site is located on disturbed land surrounded largely by residential development. The undeveloped lands to the north of Redondo Beach Road may potentially contain environmentally sensitive habitat. The area closest to the subject property is classified as nonnative grassland is proposed at this time. A biological reconnaissance report was prepared and concluded that the project would not result in impacts to biological resources.

**Coastal Act 30244:** *Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.*

**Compliance:** The proposed project is not located at or near identified archaeological or paleontological resources. If cultural resources or paleontological resources are unexpectedly encountered during subsurface excavation, standard conditions of approval

have been included to require that construction halt until the find can be evaluated and appropriate mitigation identified.

- 2. Growth Management System** – The development is consistent with the annual population limitation system established in the Land Use Plan and Zoning Ordinance.

**Evidence:** Eight Measure D Certificates have been issued for the site to allow the eight new homes that are included with the project; therefore the project conforms to the requirements of the City’s growth management system.

- 3. Zoning Provisions** – The development is consistent with the use limitations and property development standards of the base district as well as the other requirements of the Zoning Ordinance.

**Evidence:** The proposed subdivision is consistent with the use regulations and the development standards of the PUD Zoning District as documented in the staff report.

- 4. Adequate Services** – The proposed development will be provided with adequate services and infrastructure in a manner that is consistent with the Local Coastal Program.

**Evidence:** The proposed tentative subdivision map has been structured to ensure that access and appropriate facilities and services are available to the new parcels.

- 5. California Coastal Act** – Any development to be located between the sea and the first public road parallel to the sea conforms to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**Evidence:** The proposed project is located between the sea and the first public road parallel to the sea. Redondo Beach Road is designated as a major coastal access road. Approval of the map and construction of the new residences will not affect coastal access.

### **General Plan Housing Element Conformance – Findings for Approval**

The project is consistent with the Housing Element as it relates to the residential use of the site.

**Evidence:** The subject property is identified as a site suitable for residential development within the Housing Element.

### **Planned Unit Development Plan – Findings for Approval**

The required Planned Unit Development Plan for this project may be approved or conditionally approved only after the approving authority has made the following findings per Municipal Code Section 18.15.040:

- A. That the planned unit development plan is consistent with the adopted general plan, this chapter, and all other applicable policies and ordinances of the city.

**Evidence:** The project consists of the subdivision of a single parcel into eight parcels, as well as the construction of eight new residences. The land use designation for the site is Planned Development District, as is the surrounding properties. The proposed improvements would be consistent with the general plan designation and other applicable policies, since the site is surrounded by existing residential uses.

- B. That the planned unit development plan is compatible with surrounding land uses

**Evidence:** The project would infill and expand the surrounding uses that currently exist within Ocean Colony.

- C. That the adoption and implementation of the planned unit development plan will result in superior design and development of the site.

**Evidence:** The project would improve an underutilized infill site with residences that are similar to the residences that exist within the vicinity.

- D. That the planned unit development plan meets the requirements of any annual dwelling unit allocation system adopted by the city.

**Evidence:** Measure D Certificates have been issued for each of the proposed new residences. Therefore, the project conforms to the City's annual dwelling unit allocation system.

- E. That adoption and implementation of the planned unit development plan will not exceed the capacity of existing or planned infrastructure systems, including but not limited to sewer, water, natural gas, electricity, police and fire protection.

**Evidence:** With the new residences, sewer, water and other utilities would be extended to each of the new parcels. Public Works, Coastside County Water District have both concurred that adequate water and sewer capacity is available for the eight new residences.

- F. That, if adequate utilities, infrastructure, and public services are not available to serve all of the proposed development possible under the planned unit development plan, the plan contains phasing controls or requirements for utility improvements that ensure that demands from proposed development does not exceed utility capacity

**Evidence:** As mentioned in E above, adequate utility capacity, infrastructure and public services are available to allow for the proposed 8 residences. The applicant has acquired both sewer and water rights that are required to allow for the establishment of the eight new residences on the site.

G. That the applicant, or planning commission and city council, have incorporated all appropriate measures and conditions in the planned unit development plan necessary to mitigate any potential adverse impacts identified during the public review process.

**Evidence:** Staff and the project applicant have worked together on the public outreach process. This has included presenting to the Ocean Colony Homeowners Association, noticing the surrounding neighborhood, advertising the public hearing in the newspaper and posting the site.

### **Use Permit – Finding**

The required Use Permit for this project may be approved or conditionally approved only after the approving authority has made the finding per Municipal Code Section 18.22.190 (B). In making this finding, the Planning Commission has considered the compatibility with the surrounding neighborhood, as it relates to the introduction of additional residences.

1. ***The establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.***

**Evidence:** The proposed residential project is consistent with the PUD (Ocean Colony Planned Unit Development) Zoning for the site and with the uses and pattern of development in the surrounding neighborhood, which consists of single-family residential homes. As proposed, the site and surrounding area includes adequate parking and other facilities to accommodate the project activities without detriment to the public welfare, property or improvements in the surrounding neighborhood.

### **Vesting Tentative Subdivision Map – Finding**

1. **Vesting Tentative Subdivision Map** – The Vesting Tentative Subdivision Map is in conformity with the general plan and its elements, the local coastal plan, the zoning ordinance, the provisions of the Subdivision Map Act, and Title 17 of the Half Moon Bay Municipal Code as to design, drainage and utilities.

**Evidence:** As required by the Subdivision Ordinance (Title 17 of the Municipal Code), the proposed Vesting Tentative Subdivision Map is consistent with the General Plan, the Local Coastal Program and the Zoning Code. The Vesting Tentative Subdivision Map allows for the continued use of the site for single family residential use consistent with the General Plan and Zoning Map designation of the site. The Vesting Tentative Subdivision Map conforms to the minimum lot size, minimum lot width, and all other use and development regulations of the PUD Zoning District. The project application includes a Coastal Development Permit in

conformance with the requirements of Zoning Code Chapter 18.20. In conformance with the Local Coastal Program, the proposed subdivision will not impact sensitive environmental resources, block scenic views, or inhibit coastal access. In conformance with the Subdivision Ordinance and the Subdivision Map Act, existing streets are available to serve the existing and proposed parcels. The Vesting Tentative Subdivision Map provides for appropriate services and facilities to serve development on the existing and proposed parcels. Appropriate easements have been included in the project to ensure the continued availability and maintenance of existing services and facilities.

### **Architectural Site and Design Review – Findings**

The required Architectural and/or Site and Design Review for this project may be approved or conditionally approved only after the approving authority has made the findings per Municipal Code Section 14.37.040. In making these findings, the Community Development Director has considered the design approval criteria set forth in Municipal Code Section 14.37.035.

1. *That such buildings, structures, planting, paving and other improvements shall be so designed and constructed that they will not be of unsightly or obnoxious appearance to the extent that they will hinder the orderly and harmonious development of the city;*

**Evidence:** The proposed residential project has been designed in conformance with the requirements of the PUD (Ocean Colony). The eight new homes would be an extension of the existing Carnoustie neighborhood to the west. The project is also in substantial conformance with the Single-Family Residential Design Guidelines, the objectives of which include ensuring compatible design within existing neighborhood contexts.

2. *That such buildings, structures, planting, paving and other improvements will not impair the desirability or opportunity to attain the optimum use and the value of the land and the improvements, or otherwise impair the desirability of living or working conditions in the same or adjacent areas; and*

**Evidence:** The site is currently vacant. The project includes subdividing the vacant parcel into eight lots and constructing eight new residences. The improvements would be an extension of the surrounding residential development that has been established within Ocean Colony.

3. *The project has been designed in conformance and consistency with the Single-Family Residential Design Guidelines (where applicable).*

**Evidence:** The design of the proposed homes conforms to the recommendations of the Residential Design Guidelines in regard to site design, massing and scale, roof form, privacy, window design, and materials and colors.

The design of the proposed residence reflects the neighborhood pattern in terms of site design. The orientation of the proposed homes and follow the existing setback pattern within Carnoustie development to the west.

The proposed houses incorporate building elements and materials in a coherent design that is both innovative and suited to the site location. The homes are well-articulated. Varying elements, roof forms and varied windows add interest to the design, and materials and colors are used effectively to accentuate building elements.

### **Environmental Review – Finding**

**CEQA** – The project will not have a significant effect on the environment.

**Evidence:** The project is Categorically Exempt from environmental review pursuant to California Administrative Code Section 15332, In-fill Development Projects. This class consists of projects characterized as in-fill development that are consistent with the applicable general plan designation and policies as well as zoning designation and regulations. In addition, no significant effect on traffic, noise, air/water quality or sensitive species could result from the project. The exemption is as follows:

- A) *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations:* The in-fill development is consistent with the Planned Development District land use and general plan designation, PUD zoning and other applicable policies related to developed PUD's.
- B) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:* The subdivided area is 2.34 acres, which is well below the five acre threshold to qualify for this exemption.
- C) *The project site has no value as habitat for endangered, rare or threatened specie:* As stated in the attached biological reconnaissance report (Attachment #4), the site is disturbed, includes ruderal, non-native plants. The report concludes that the site does not have value as habitat for endangered, rare or threatened species.
- D) *Approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality:* Approval of the project would not result in any significant effects relating to traffic. To support this conclusion, a traffic study was prepared to evaluate the potential increase in vehicle circulation related to the additional eight homes. The report concludes that the no substantial increase in traffic delays would result from the proposed project. A copy of the report is included as Attachment #5.

With a similar density in the surrounding neighborhood, the addition of \*new houses would not increase decibel generation beyond normal suburban activity. Similarly,

the construction of 8 additional homes would not result in a significant impact to air or water quality. Standard conditions of approval included with all discretionary permits in the City related to construction would ensure that no impact on air would take place during construction. Furthermore, the Bay Area Air Quality Management District's, Air Quality Guidelines, the project would not exceed the thresholds of significance related to air quality impacts because the project size is far below the project size identified by the Air District that must be evaluated and mitigated.

The City Engineer reviewed the stormwater management system and concluded that the infrastructure conforms to the applicable stormwater management requirements.

- E) *The site can be adequately served by all required utilities and public services:* The project has been reviewed by the Coastside Fire Protection District, Coastside County Water District and City Public Works Department. It has been determined that services and access are available consistent with local standards. The site was part of a lot line adjustment that involved four lots that were reconfigured within the last two years. However, this did not result in the creation of new lots.

Numerous criteria were considered to ensure that the proposed project qualifies for the in-fill development exemption as follows: The project consists of the division of a single 2.34-acre lot into eight lots. The property is located within an urbanized area and zoned for residential use. The proposed Vesting Tentative Subdivision Map conforms to the General Plan designation and applicable policies as well as with the zoning designation and regulations. The project also will not impact a scenic highway, which is a requirement of this class of CEQA exemptions. Highway 1 is not designated as a scenic highway within Half Moon Bay City limits.

**EXHIBIT B**  
**CONDITIONS OF APPROVAL**  
**Planning Commission Resolution P-\_\_\_\_**  
**PDP-18-074**

**A. The following Conditions apply to this project:**

1. CONFORMANCE WITH THE TENTATIVE MAP AND APPROVED PLANS. The Final Subdivision Map and subsequent development shall substantially conform to the approved Vesting Tentative Subdivision Map entitled "*Vesting Tentative Map, Carnoustie Phase 4,*" including the project improvement, infrastructure, building and landscaping plans, with a City date stamp of September 27, 2018, specifically including Carnoustie Phase 4 Application Package, sheets CS, SP, PD CS.1.0.0, A.1.0.0, A1.1.1, A1.3.1, A1.5.1, A1.5.2, CS2.0.0, A2.0.0, A2.1.1, A2.3.1, A2.5.1, A2.5.2, CS3.0.0, A3.0.0, A3.1.1, A3.3.1, A3.5.1, A3.5.2, CS4.0.0, A4.0.0, A4.1.1, A4.3.1, A4.5.1, A4.5.2, CS5.0.0, A5.0.0, A5.1.1, A5.3.1, A5.5.1, A5.5.2, CS6.0.0, A6.0.0, A6.1.1, A6.3.1, A6.5.1, A6.5.2, CS7.0.0, A7.0.0, A7.1.1, A7.3.1, A7.5.1, A7.5.2, CS8.0.0, A8.0.0, A8.1.1, A8.1.2, A8.3.1, A8.5.1, A8.5.2, L1, L2, L3 and C8.0. The Community Development Director shall review and may approve any deviation from the approved plans that is determined minor in nature. Any other change shall require the submittal of a major modification application and fees and shall be subject to Planning Commission Review as required by Title 18. (Planning)
2. CONFORMANCE WITH CONDITIONS OF APPROVAL. The Community Development Director shall review and may approve any deviation from the Conditions of Approval that is determined minor in nature. Any other change shall require the submittal of a major modification application and fees and shall be subject to Planning Commission reviews as required by Title 18. (Planning)
3. CONFORMANCE WITH THE MUNICIPAL CODE. No part of this approval shall be construed to permit a violation of any part of the Half Moon Bay Municipal Code. (Planning)
4. LIGHTING. All exterior lighting shall be fully shielded so that no light source is visible from outside the property, except as otherwise expressly approved. (Planning)
5. SIDEWALK, MAINTANENCE AND LIABILITY. It shall be the duty of the Property Owner(s) whose property is adjacent to any portion of a public street or place to maintain any sidewalks along the project frontage in a safe and non-dangerous condition. Sidewalk maintenance shall include removal and replacement of concrete to eliminate tripping hazards; and pruning and trimming of trees, shrubs, ground cover and other landscaping within the public right-of-way. The Property Owner has the primary and exclusive duty to fund and perform such maintenance and repair, whether or not the City has notified the property owner of the need for such maintenance or repairs or has performed similar

maintenance or repairs in the past, pursuant to §12.18.020 and §12.18.030 of the Half Moon Bay Municipal Code. (Engineering)

6. UNDERGROUND UTILITIES/SERVICES. Electric, telecommunication, and cable and utility service to the property shall be through underground service connections only. No overhead utilities are allowed. (Engineering)
7. STREET/PUBLIC RIGHT-OF-WAY CUTS FOR UTILITY CONNECTIONS. Public street cuts for utility connections that are less than twenty (20) feet apart shall be repaired with a single patch. Asphalt repair and overlay for public street cuts shall be in accordance with the City Standard Details. Three or more cuts in the pavement for utility connections will require a 2-inch thick asphalt concrete overlay on the existing pavement across the property frontage. (Engineering)

**B. The following Conditions shall be fulfilled prior to approval and recordation of a Final Map and issuance of the building permits:**

1. SIGNED CONDITIONS OF APPROVAL. The subdivider shall submit a signed copy of the conditions of approval to the Planning Department. (Planning)
2. EASEMENTS. The subdivider shall provide easements on the Final Map for sewer lines, water/fire suppression facilities and utilities. This condition shall be implemented to the satisfaction of the City Engineer.
3. FINAL MAP. The subdivider shall submit a Final Subdivision Map in substantial conformance with the Vesting Tentative Subdivision Map and Title 17 of the Half Moon Bay Municipal Code to the satisfaction of the City Engineer.
4. DEVELOPMENT IMPACT FEES. The following impact fees shall be paid to the City prior to issuance of each unit's building permit in conformance with the City's adopted Master Fee Schedule:
  - a) Sewer Connection Fee
  - b) Storm Drainage Fee
  - c) Capital Outlay Facilities Fee
  - d) Traffic Mitigation Fee
  - e) Park Facilities Fee
5. SCHOOL IMPACT FEES. The permittee shall provide proof of payment of required school Impact fees to Cabrillo Unified School District prior to issuance of building permits for each new dwelling unit.

6. VALID MEASURE D CERTIFICATE. No building permit shall be issued unless the Measure D Certificate issued for the property has not expired and remains valid to the satisfaction of the Community Development Director. (Planning)
7. CONSTRUCTION PLANS. File Number PDP-18-74 and the Conditions of Approval for this project shall be provided on the cover page of the building permit application plan submittal. All plans, specifications, engineering calculations, diagrams, reports, and other data for construction of the building and required improvements shall be submitted with the appropriate permit application to the City's Building and Engineering Divisions for review and approval. Computations and back-up data will be considered a part of the required plans. Structural calculations and engineering calculations shall be prepared, wet-stamped and signed by an engineer or architect licensed by the State of California. The plans must show the location of the sewer connection and property line sewer cleanout. (Planning)
8. WATER CONSERVATION IN LANDSCAPING. The permittee shall submit a detailed landscape plan to the satisfaction of the Community Development Director. If the project includes 500 square feet or more of irrigated landscaping (new or rehabilitated) the permittee shall submit landscape and irrigation plans and an Outdoor Water Efficiency Checklist that demonstrate compliance with the City's Water Conservation in Landscaping Ordinance (Chapter 13.04 of the Municipal Code) prior to issuance of building permits to the satisfaction of the Community Development Director. (Planning)
9. SURVEY REQUIRED. Submit a detailed topographic/site boundary survey certified by a licensed surveyor with building permit application plans. The survey shall include a baseline elevation datum point on, or close to the construction site, indicating the grade as consistent with the conceptual grading plan on sheet C3.0 of the Vesting Tentative Subdivision Map. This datum point shall be permanent, marked, shall remain fixed in the field, and shall not be disturbed throughout the building process. Examples of datum points include: fire hydrants, manhole covers, survey markers, and street curbs. This datum point shall be shown on all site plans including revised/resubmitted plans. The survey must show the footprint and roof plan of the proposed residence and identify the grade elevations at the corners and roof ridgeline of the residence and demonstrated to be consistent throughout the site area with the conceptual grading plan C3.0 of the Vesting Tentative Subdivision Map. (Building)
10. EVIDENCE OF WATER CONNECTION CAPACITY. Prior to the issuance of building permits, the permittee shall submit a letter from Coastside County Water District certifying that the subject site has an adequately-sized water connection for this approved project. (Building)
11. EVIDENCE OF SEWER CONNECTION CAPACITY. Prior to the issuance of building permits, the permittee shall demonstrate issuance of a sewer permit from the Sewer Authority Mid-Coast. (Building)

12. CONSTRUCTION PLANS. Construction plans submitted for building permit(s) shall include a plan sheet showing utility connections, trench restoration details, driveway apron (driveway apron width, spacing between driveways, slopes, etc.), and other improvements in the public right-of-way meeting City standards. (Engineering)
13. ACCESSIBILITY REQUIREMENTS. The proposed project, including street improvements, shall comply with State of California and federal (ADA) accessibility standards and with the line of sight requirements of Half Moon Bay Zoning Code Section 18.06.040(B).
14. LOT GRADING, MATERIALS, EQUIPMENT AND VEHICLE STORAGE. No lot site grading, preparation, storage, or placement of construction materials, equipment, or vehicles shall take place prior to issuance of a building permit and/or grading permit. Any earth movement on or off the site in excess of 50 cubic yards shall require the submittal of a grading plan for review by the City Engineer and issuance of a grading permit. Lot Grading includes, but is not limited to, any leveling, scraping, clearing, or removal of lot surface area. Materials, Equipment, and Vehicles include, but are not limited to:
1. All masonry, wood, and steel construction materials;
  2. All construction-related equipment and storage containers; and
  3. All construction-related vehicles, including temporary trailers. (Engineering)
15. LOT DRAINAGE PLAN AND OFF-SITE DETENTION Construction plans submitted for building permits shall include a Lot Drainage Plan showing how the surface runoff is collected, drained underground to a filtration treatment system and then deposited in the golf course parcel. Plans shall include design details and supporting calculations for storm water detention for the additional run-off from a ten year frequency storm of two hour duration. Plans shall show how the rear and side yards will properly drain to an approved BMP facility, and how the finished grades on the property relate to the existing grades on adjacent property. The Plan shall include pad elevation, finished floor elevation, site high and low points, drainage swales if any, area drains, and existing grade at adjacent property. The permittee shall provide appropriate measures to discharge the flood waters from any unfinished floor areas. (Engineering)
16. STORMWATER MANAGEMENT-TREATMENT (FOR REGULATED PROJECTS). The permittee shall submit storm water management-treatment plan sheet(s)/exhibit(s) showing drainage areas and location, if any, of Low Impact Development (LID) treatment measures; project watershed; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source controls and site design measures to be implemented at the site; hydro modification management measures, and supporting calculations. Hydro modification (HM) controls shall

be designed using the Bay Area Hydrology Model (BAHM), unless the applicant uses an alternative continuous simulation hydrologic computer model as described in Attachment E of the MRP.

17. MAINTENANCE AGREEMENT (FOR REGULATED PROJECTS). This project includes storm water treatment, LID measures, and hydro modification management controls. The permittee shall prepare and submit maintenance plan(s) for the above stormwater controls for City Engineer's approval; and Ocean Colony Association CC&R's will incorporate maintenance responsibilities for Carnoustie Phase 4 including long-term maintenance and servicing of storm water controls.
18. OCEAN COLONY ASSOCIATION. Ocean Colony Association shall allow access to City of Half Moon Bay, local mosquito and vector control agency staff, and Water Board staff to perform O&M inspections of any onsite stormwater treatment measures and hydromodification management controls.
19. APPENDIX G OF THE SMCWPPP. The applicant has demonstrated the intent of the Ocean Colony Association to assume the maintenance obligations of the Carnoustie Phase 4's stormwater treatment measures and hydromodification management controls. The applicant will submit, **prior to issuance of building permit**, an Operations and Maintenance Plan for these stormwater treatment measures and hydromodification management controls in accordance with Appendix G of the SMCWPPP C.3 Stormwater Technical Guidance, for review and approval by the City of Half Moon Bay, and submit documentation that this O&M plan has been accepted by Ocean Colony Association.
20. COPPER BUILDING ELEMENTS. The building plans shall specify that all copper building elements will be pre-patinated at the factory, or if patination will occur on the site, the plans shall identify best management practices in conformance with the *San Mateo Countywide Water Pollution Prevention Program Requirements for Architectural Copper*, to the satisfaction of the City Engineer. (Engineering)
21. EROSION AND SEDIMENT CONTROL. An erosion and sediment control plan shall be submitted that shows effective Best Management Practices (BMP) and erosion and sediment control measures for the site. Construction plans shall also include the "construction best management practices" plan sheet. (Engineering)
22. UNDERGROUND UTILITIES/SERVICES. Electric, telecommunication, and cable and utility service to the property shall be through underground service connections only. No overhead utilities are allowed. Show locations of all utility service connections: sanitary sewer, storm drain (if applicable), water (domestic and fire), cable television, telephone, electrical, and gas. (Engineering)

23. FIRE CLEARANCE REQUIREMENTS. The permittee shall comply with all applicable fire and building codes and standards relating to fire and panic safety as identified by the Coastside Fire Protection District during the building permit process. (Fire)
24. HARD-WIRED SMOKE DETECTORS/ALARMS. Pursuant to the 2016 California Building and Residential Code, State Fire Marshal regulations and current Coastside Fire District Ordinance, the permittee shall install smoke detectors which are hard-wired, interconnected and have battery backup in each new or reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. A minimum of one detector per floor is required. For alterations: If there is an attic, basement, crawl space or removal of a wall or ceiling that provides access, then all smoke alarms shall be hardwired and interconnected. Building plan submittals shall demonstrate conformance with these requirements to the satisfaction of the Building Official prior to issuance of building permits. (Fire)
25. COASTSIDE COUNTY WATER DISTRICT - REGULATIONS. The project shall comply with all applicable regulations and requirements of the Coastside County Water District. Water service shall not be in the same trench as other utilities. (Water District)

**C. The following conditions shall be implemented to the satisfaction of the Community Development Director prior to and during construction:**

1. ARCHAEOLOGY-DISCOVERY OF HUMAN REMAINS. Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the Public Resources Code of the State of California, in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the California Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American(s). If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the permittee shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance. (Planning)
2. ARCHAEOLOGY-DISCOVERY OF RESOURCES. If subsurface historic or archaeological resources are uncovered during construction, all work shall stop, the applicant shall notify the Community Development Director and retain a qualified archaeologist to perform an archaeological reconnaissance and identify any mitigation measures required to protect archaeological resources. Subsurface excavation shall not resume until expressly authorized by the Director. (Building)

3. CONSTRUCTION TRAILERS. Temporary construction trailers are permitted as accessory uses in conjunction with the development of this site, subject to the following conditions:
  - a. The construction trailer shall be used as a temporary construction office only.
  - b. Neither sanitation facilities nor plumbed water is permitted within the trailer.
  - c. No overnight inhabitation of the construction trailer is permitted.
  - d. No construction trailers are permitted on site prior to building permit issuance.
  - e. The construction trailer shall be removed prior to issuance of a certificate of occupancy for the last unit in the project. (Planning)
  
4. AIR QUALITY BEST MANAGEMENT PRACTICES. The project shall implement the following standard BAAQMD dust control measures during all phases of construction on the project site:
  - All active construction areas shall be watered twice daily or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.
  - Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.
  - Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.
  - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or as often as necessary to keep them free of dust and debris associated with site construction. The use of dry power sweeping is prohibited.
  - Subsequent to clearing, grading, or excavating, exposed portions of the site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas and previously graded areas inactive for 10 days or more.
  - Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - Replanting of vegetation in disturbed areas as soon as possible after completion of construction.
  - Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes. Clear signage shall be provided for construction workers at all access points.
  - All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - Post a publicly visible sign with the telephone number and person to contact at the City of Half Moon Bay regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.

5. HAZARDOUS MATERIALS. Any materials deemed hazardous by the San Mateo County Department of Health that are uncovered or discovered during the course of work under this permit shall be disposed in accordance with regulations of the San Mateo County of Health. (Building)
6. COMPLIANCE WITH CBC. All structures shall be constructed in compliance with the standards of the 2016 California Codes of Regulations Title 24, including Building Code, Residential Code, Administrative Code, Mechanical Code, Plumbing Code, Electrical Code, Energy Code, Fire Code and Green Building Code to the satisfaction of the Building Official. (Building)
7. FIRST FLOOR HEIGHT VERIFICATION. Prior to below floor framing or concrete slab steel reinforcement inspection, a stamped and signed building height verification letter shall be submitted to the City from a licensed land survey certifying that the first-floor height as constructed is equal to (or less than) the elevation specified for the first floor height in the approved plans.
8. BUILDING PAD ELEVATION. The building pad shall be at least one-foot above the centerline crown of the roadway or the top of the curb. (Engineering)
9. OVERALL PROJECT HEIGHT. Maximum overall height of the project, including any grading, foundation, pad, and building elevations shall be calculated using the elevation points indicated on the topographic survey map submitted at the time of building permit application and referenced in condition of approval B9 above. The approved height of all residential units will be measured from grades as indicated on the submitted topographical survey established to be consistent with the conceptual grading plan sheet C3.0 of the Vesting Tentative Subdivision Map. (Building)
10. COMPLETION OF UTILITIES. Any public utilities requiring relocation as a result of the construction of the building(s) or improvements under this permit shall be relocated at the owner's expense. (Building)
11. CONSTRUCTION HOURS. Construction work shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturdays; and 10:00 a.m. to 6:00 p.m. Sundays and holidays, except as expressly authorized by the City Engineer in conformance with Section 14.40.020 of the Half Moon Bay Municipal Code. (Engineering)
12. NOTICE OF DISRUPTION. The permittee shall provide written notice to affected property and business owners and a copy of such notice to the City Engineer a minimum of two business days prior to any planned disruption of pedestrian or vehicular traffic, parking, or public service facilities. (Engineering)

13. CONSTRUCTION MATERIAL STORAGE. Construction material shall not be stored in the street right-of-way without issuance of a Temporary Encroachment Permit. (Engineering)
14. ENCROACHMENT PERMIT. The permittee shall obtain an Encroachment Permit prior to starting any construction activity within the City right-of-way or affecting City improvements. All improvements constructed within the City right-of-way shall conform to City standards to the satisfaction of the City Engineer. (Engineering)

**D. The following conditions shall be implemented to the satisfaction of the Community Development Director prior to issuance of an occupancy permit:**

1. EXTERIOR COLORS AND MATERIALS. Exterior building colors and materials shall be in substantial conformance with those shown on the approved color and materials board presented at the March 12, 2019 Planning Commission meeting to the satisfaction of the Director of Community Development. (Planning)
2. TREE INSTALLATION. 1 minimum 24 Inch Box size tree shall be installed in the front setback of the property. The tree shall be planted in conformance with the site distance requirements of Section 18.06.040(B) (4) of the Zoning Code and shall not interfere with utility lines. (Planning/Engineering)
3. CONSTRUCTION OF STREET IMPROVEMENTS. If a deferred street agreement is not executed prior to issuance of building permits, all street improvements shall be constructed in conformance with approved plans and permits prior to issuance of a certificate of occupancy to the satisfaction of the City Engineer. (Engineering)
4. DISPLAY OF SINGLE-FAMILY STREET ADDRESS. Prior to issuance of an Certificate of Occupancy, the residential dwelling shall display an internally-illuminated street address number in a prominent location on the dwelling, visible from the street (a minimum of 6 feet above the surface of the driveway), and with contrasting background and letters/numbers that are 4 inches in height with a minimum 3/4–inch stroke. Where a building is set back from the street or otherwise obscured, a street address with 3-inch reflective numbers/letters shall also be provided near the driveway entrance leading to the dwelling. (Fire/Building)

**E. Validity and Expiration of Permits**

1. EFFECTIVE DATE. This site is located within the California Coastal Commission’s Appeals Jurisdiction. This permit shall take effect after expiration of the Coastal Commission appeal period, or if the permit is appealed to the Coastal Commission during the appeal period, it shall take effect after final Coastal Commission action. (Planning)
2. ACCURACY OF APPLICATION MATERIALS. The applicant shall be responsible for the completeness and accuracy of all forms and material submitted for this application. Any

errors or discrepancies found therein may be grounds for the revocation or modification of this permit and/or any other City approvals.

3. EXPIRATION. The Coastal Development Permit and Tentative Subdivision Map shall expire two years from the date of their approval if a final map has not been recorded during that time. The Planning Commission may approve up to three one-year extensions of this Coastal Development Permit and Subdivision Map based on a written request and fee submitted to the Director prior to expiration of the Permit/Map.
  
4. HOLD HARMLESS. The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against an and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, any review by the California Coastal Commission conducted under the California Coastal Act Public Resources Code Section 30000 et seq., or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

**OWNER'S/PERMITTEE'S CERTIFICATION:**

I have read and understand and hereby accept and agree to implement the foregoing conditions of approval of the Coastal Development Permit.

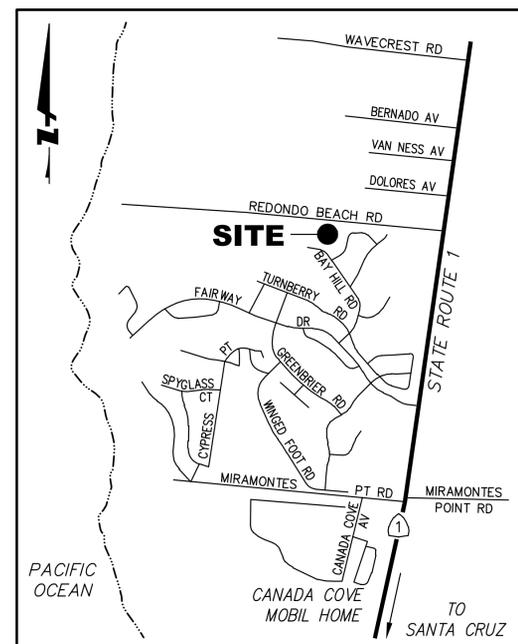
APPLICANT:

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

# VESTING TENTATIVE MAP CARNOUSTIE PHASE 4 CITY OF HALF MOON BAY, CALIFORNIA

## ATTACHMENT 2



**VICINITY MAP**  
NTS

**DRAWING INDEX**

SHT. NO.	DESCRIPTION
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CROSS SECTION
C6.0	STORMWATER CONTROL PLAN OPTION A
C6.1	STORMWATER CONTROL PLAN OPTION B
C7.0	DETAILS
C8.0	TREE SURVEY / REMOVAL PLAN

SEE CONCURRENT CARNOUSTIE PHASE 4 APPLICATIONS FOR ARCHITECTURAL DRAWINGS INCLUDING FLOOR PLANS, ELEVATIONS AND ROOFING PLANS.

**PROJECT SUMMARY**

1. OWNER: CARNOUSTIE, LLC  
2450 SOUTH CABRILLO HIGHWAY, SUITE 200  
HALF MOON BAY, CA 94019  
CONTACT: BRUCE RUSSELL  
TEL: (650) 560-0055
2. SUBDIVIDER: KENMARK REAL ESTATE GROUP, INC.  
2450 SOUTH CABRILLO HIGHWAY, SUITE 200  
HALF MOON BAY, CA 94019  
CONTACT: BRUCE RUSSELL  
TEL: (650) 560-0055
3. ENGINEER: BKF ENGINEERS  
4670 WILLOW ROAD, SUITE 250  
PLEASANTON, CA 94588  
CONTACT: ERIC GIROD  
TEL: (925) 396-7751
4. GEOTECHNICAL ENGINEER: STEVENS FERRONE & BAILEY  
1600 WILLOW PASS COURT  
CONCORD, CA 94522-0815  
CONTACT: KENNETH FERRONE  
TEL: (925) 688-0815
5. ASSESSOR PARCEL NO.: 066-092-230 (PORTION)
6. EXISTING LAND USE: VACANT LAND  
PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL  
EXISTING ZONING: PLANNED UNIT DEVELOPMENT  
PROPOSED ZONING: PLANNED UNIT DEVELOPMENT
7. SUBDIVIDED AREA: 2.34 ACRES, 101770 SQ FT.
8. UTILITIES:  
WATER SUPPLY: COASTSIDE COUNTY WATER DISTRICT  
FIRE PROTECTION: COASTSIDE FIRE DISTRICT  
SANITARY SEWER: SEWER AUTHORITY MID-COASTSIDE  
STORM DRAIN: CITY OF HALF MOON BAY  
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC  
TELECOMMUNICATIONS: AT&T/SBC  
CATV: COMCAST
9. FEMA DESIGNATION: ZONE X

**ENGINEER'S STATEMENT**

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

ERIC A. GIROD, P.E. RCE 59903  
VICE PRESIDENT  
BKF ENGINEERS



DATE

**AERIAL BENCHMARK**

U.S. COAST AND GEODETIC SURVEY STANDARD DISK STAMPED "MOON 2 - 1931". ELEVATION TAKEN AS 70.20 FEET.

**GROUND BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM BASED UPON A GPS SURVEY, AND CHECKING INTO "MOON 2" NGS DISK (PID HT1455) - ELEVATION: 73.00 FEET.

**BASIS OF BEARINGS**

NORTH 82°11'29" EAST, BEING THE NORTHERLY LINE OF PARCELS B AND F AS SHOWN ON THAT CERTAIN TRACT MAP ENTITLED "CARNOUSTIE" FILED FOR RECORD ON JUNE 12, 2009 IN BOOK 137 OF MAPS AT PAGES 1 THROUGH 7, INCLUSIVE

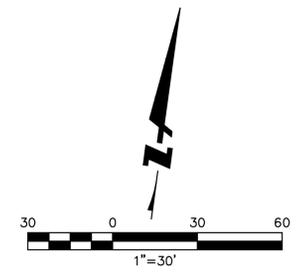
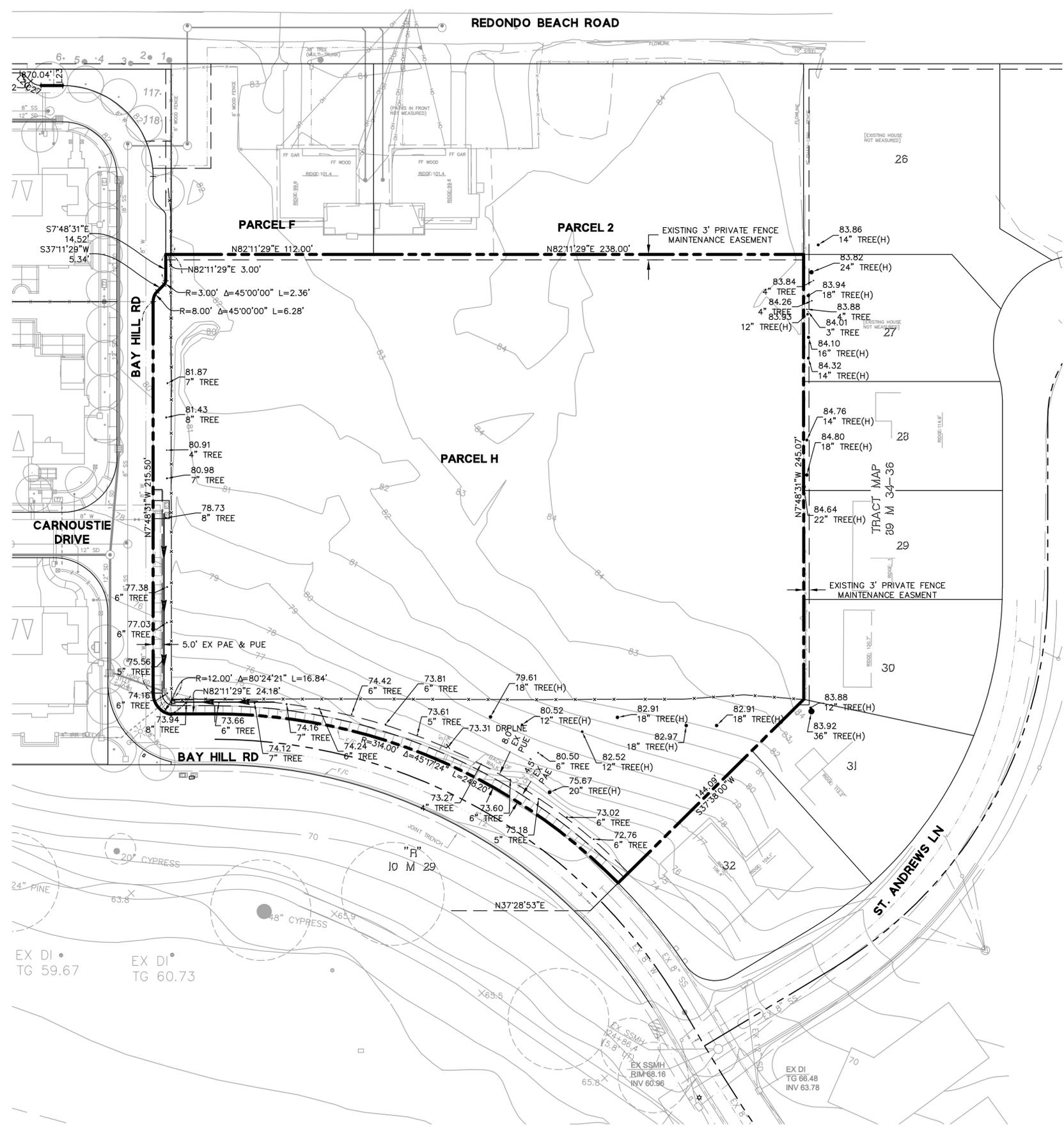
DRAWING NAME: K:\Eng05\057066\DWG\23\_Subdivision-PH-1V\TM\OPT\04-A\SHEETS\00-CA4TMTS.dwg  
PLOT DATE: 09-20-18 PLOTTED BY: arce

**BKF**  
 ENGINEERS / SURVEYORS / PLANNERS  
 4670 WILLOW RD  
 SUITE 250  
 PLEASANTON, CA 94588  
 925-396-7700  
 925-396-7799 (FAX)

VESTING TENTATIVE MAP  
 CARNOUSTIE PHASE 4  
 COVER SHEET  
 CITY OF HALF MOON BAY  
 CALIFORNIA

Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design JJ		
Drawn KA		
Approved EG		
Job No 057066-23		

Sheet Number: **CO.0**



**LEGAL DESCRIPTION**

REFER TO TITLE REPORT.

**SOURCES OF CONTOUR INFORMATION**

1. AERIAL FROM AERO GEODETIC ON AUGUST 1996
2. SUPPLEMENTAL TOPO FROM BKF ENGINEERS ON NOVEMBER 2005 AND BGT LAND SURVEYING ON JANUARY 12, 2015.

**NOTE**

1. NO AREAS WITHIN THE PROJECT SITE ARE SUBJECT TO STORM DRAINAGE INUNDATION.

**LEGEND**

PROPERTY LINE	
LOT LINE	
EASEMENT LINE	
CONTOUR LINE	
STORM DRAIN MAIN	
SANITARY SEWER MAIN	
WATER MAIN	
MANHOLE	
FIRE HYDRANT CATCH	
BASIN	
SPOT ELEVATION STREET	
LIGHT	
AREA DRAIN	
DRAIN INLET	
VALVE	
EXISTING TREE	
EXISTING HERITAGE TREE	

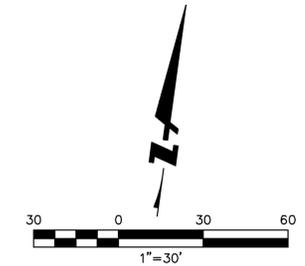
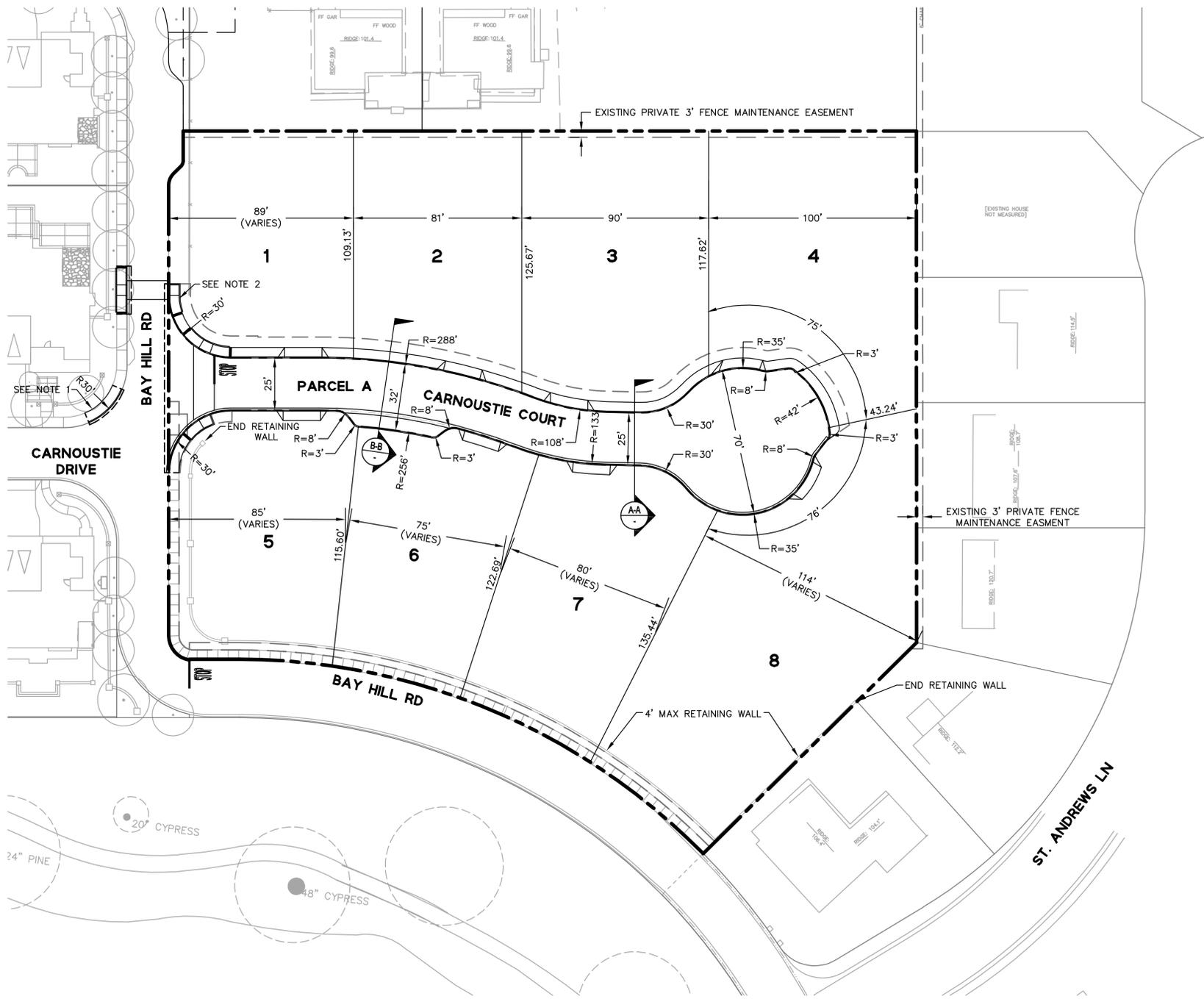
**ABBREVIATIONS**

SYMBOL	DESCRIPTION
CONC.	CONCRETE
EX	EXISTING
F/C	FACE OF CURB
FF	BUILDING FINISH FLOOR
FH	FIRE HYDRANT
P/L	PROPERTY LINE
PAE	PUBLIC ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
W	WATER

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PLOT DATE: 09-20-18  
PLOTTED BY: arce



Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design		
Drawn		
Approved		
EC		
Job No	057066-23	



**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- SAWCUT LINE

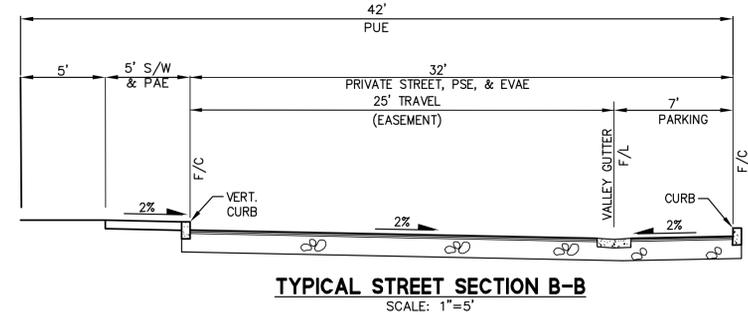
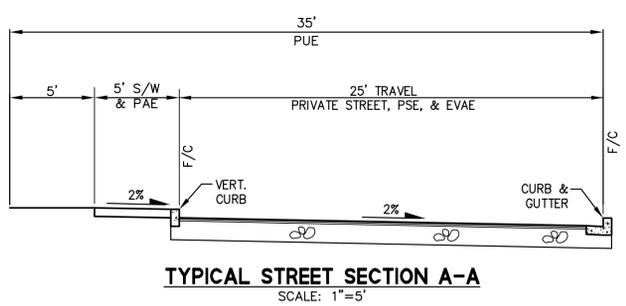
**ABBREVIATIONS**

- PSE PUBLIC SERVICE EASEMENT
- EVAE EMERGENCY VEHICLE ACCESS EASMENT
- PUE PUBLIC UTILITY EASEMENT
- PAE PUBLIC ACCESS EASEMENT

- NOTES**
- REMOVE EXISTING ADA RAMP AND CROSSWALK STRIPING AND REPLACE WITH STANDARD CURB, GUTTER, AND SIDEWALK.
  - NEW ADA RAMP AND CROSS WALK.

**BASIS OF BEARINGS**  
 NORTH 82°11'29" EAST, BEING THE NORTHERLY LINE OF PARCELS B AND F AS SHOWN ON THAT CERTAIN TRACT MAP ENTITLED "CARNOUSTIE" FILED FOR RECORD ON JUNE 12, 2009 IN BOOK 137 OF MAPS AT PAGES 1 THROUGH 7, INCLUSIVE

AREA SUMMARY			
LOT AREA		PARCEL AREA	
LOT NO.	AREA (square feet)	PARCEL	AREA (square feet)
1	9348	A	11064
2	9344		
3	11798		
4	12595		
5	10024		
6	9095		
7	10601		
8	17901		
TOTAL	90706		
MIN	9095		
MAX	17901		



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 PLOT DATE: 09-20-18 PLOTTED BY: arce

**BKF**  
 ENGINEERS / SURVEYORS / PLANNERS  
 4670 WILLOW RD  
 SUITE 250  
 PLEASANTON, CA 94588  
 925-396-7700  
 925-396-7799 (FAX)

CALIFORNIA  
**VESTING TENTATIVE MAP**  
**CARNOUSTIE PHASE 4**  
**SITE PLAN**  
 CITY OF HALF MOON BAY



Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design JJ		
Drawn KA		
Approved EC		
Job No 057066-23		

Sheet Number: **C2.0**

DRAWING NAME: K:\Eng05\057066\DWG\23\_Subdivision\PH-1V\TM\OPT\ON-A\SHEETS\03-CA4TMGD.dwg  
PLOT DATE: 09-20-18 PLOTTED BY: arce

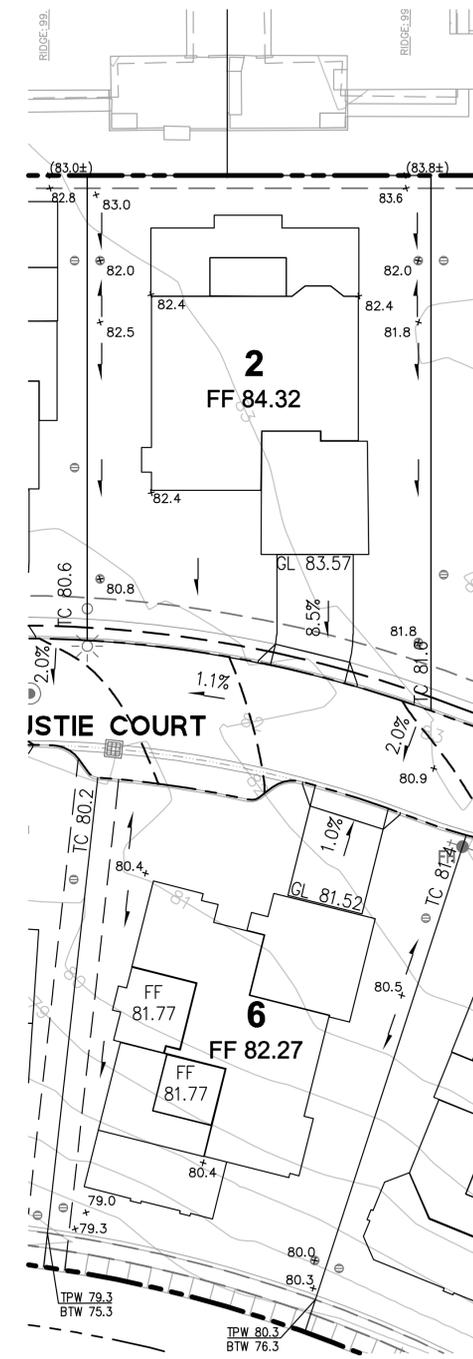
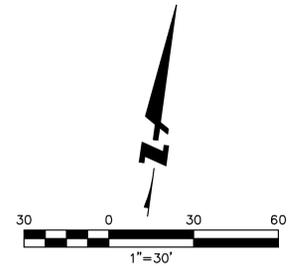


**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED GRADE AND SLOPE DIRECTION
- PROPOSED FINISH GRADE ELEVATION
- EXISTING FINISH GRADE ELEVATION
- AREA DRAIN

**NOTES:**

- ASSUMED 16" PROPOSED ROADWAY PAVEMENT SECTION (PER CARNOUSTIE IMPROVEMENT PLANS TYPICAL ROAD SECTION 4" AC OVER 12" AB)
- ASSUMED BUILDING PAD OF 3.1' BELOW FINISH FLOOR ELEVATIONS OF LOWEST FINISH FLOOR (FF), AND GARAGE PAD AT 1' BELOW GARAGE FINISH FLOOR ELEVATION (FT).
- ASSUMED 8" BELOW FINISH FLOOR ELEVATION OUTSIDE OF BUILDING FOOTPRINT.
- BASED ON 8.5% SLOPE AT DRIVE WAYS FOR LOTS ON NORTH SIDE OF CARNOUSTIE COURT AND 1% SLOPE AT DRIVE WAYS FOR LOTS ON SOUTH SIDE OF CARNOUSTIE COURT.
- ALL EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF HALF MOON BAY AND IN CONFORMANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.



EARTHWORK		
Cut (CY)	Fill (CY)	Net - CUT (CY)
2,811	2,122	689

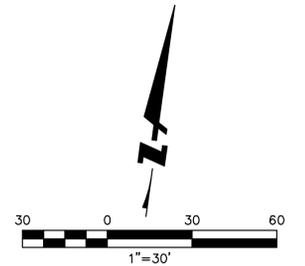
**TYPICAL LOT GRADING**  
SCALE: 1"=20'



Revisions	
No.	DESCRIPTION
1	CITY SUBMITTAL #1

Date	09/21/18
Scale	AS SHOWN
Design	JJ
Drawn	KA
Approved	EC
Sheet Number:	Job No 057066-23

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 CALIFORNIA  
**VESTING TENTATIVE MAP  
 CARNOUSTIE PHASE 4  
 GRADING PLAN**  
 CITY OF HALF MOON BAY



**LEGEND**

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- STORM DRAIN LINE (SD)
- SANITARY SEWER LINE (SS)
- WATER LINE (W)
- JT --- JOINT TRENCH LINE (JT)
- MANHOLE (MH)
- BO BLOWOFF VALVE (BO)
- WV WATER VALVE (WV)
- FH PROPOSED FIRE HYDRANT (FH)
- AREA DRAIN (AD)
- DI DRAIN INLET (DI)
- ☼ STREETLIGHT

**NOTES**

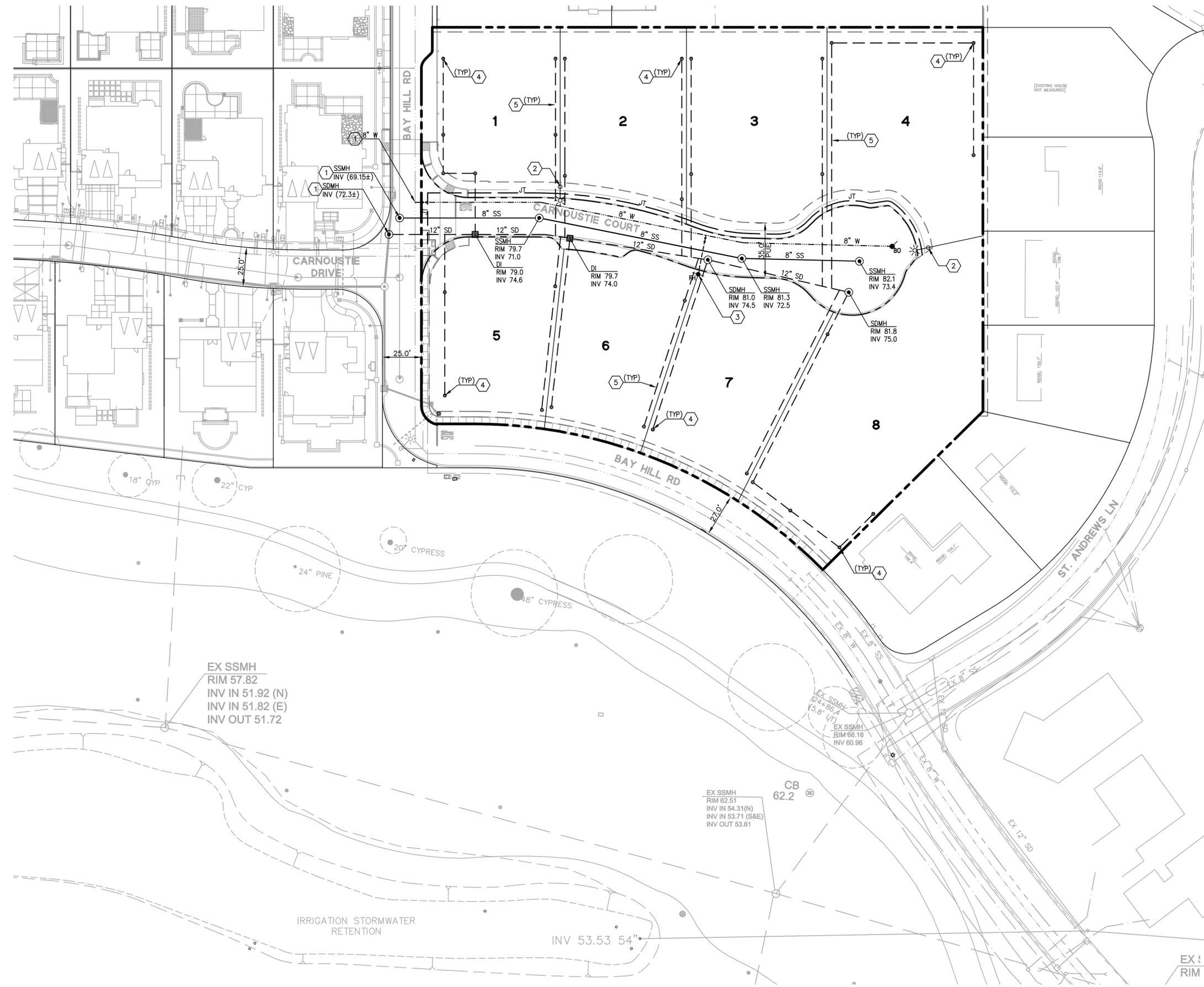
1. THE WATER MAIN, FIRE HYDRANT, AND WATER SERVICE INSTALLATION SHALL BE IN ACCORDANCE WITH COASTSIDE COUNTY WATER DISTRICT STANDARDS AND SPECIFICATIONS.

**KEYNOTES**

- ① CONNECT TO EXISTING UTILITY
- ② PROPOSED STREET LIGHT WITH 3'X3' EASEMENT AT LIGHT BASE
- ③ PROPOSED FIRE HYDRANT WITH 3'X3' EASEMENT
- ④ AREA DRAIN FOR LOT DRAINAGE
- ⑤ 6" STORM DRAIN LATERAL FOR LOT DRAINAGE

**GROUND BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM BASED UPON A GPS SURVEY, AND CHECKING INTO "MOON 2" NGS DISK (PID HT1455) - ELEVATION: 73.00 FEET.

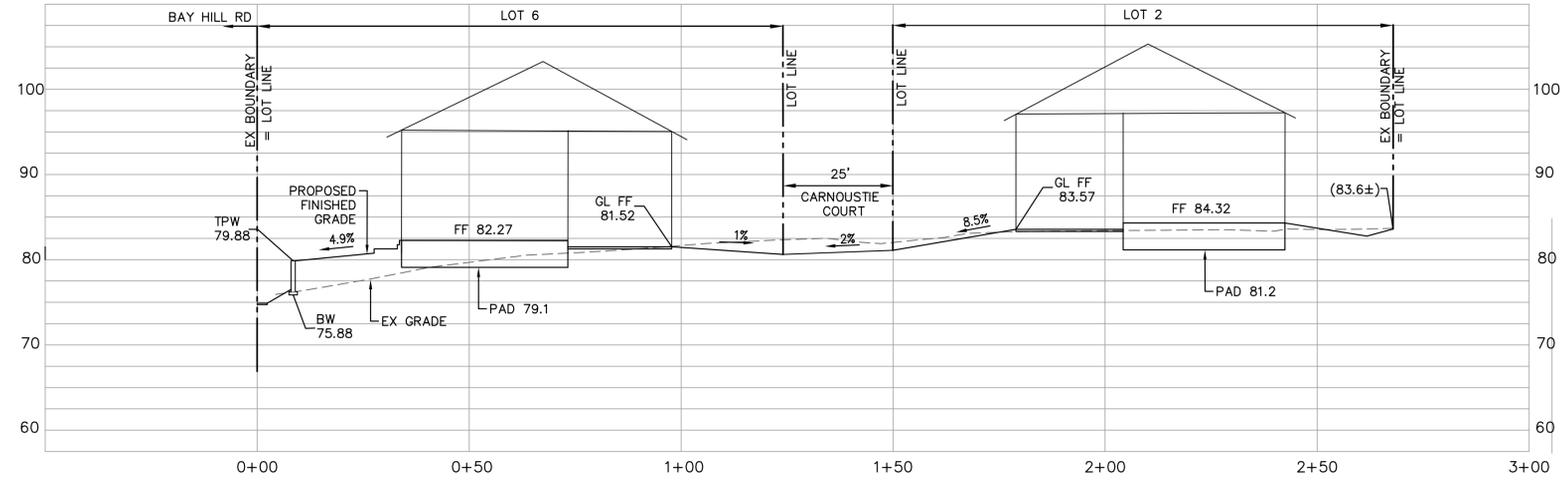


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PLOT DATE: 09-20-18 PLOTTED BY: arcc



Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design JJ		
Drawn KA		
Approved EC		
Job No 057066-23		

DRAWING NAME: K:\Eng05\057066\DWG\23\_Subdivision\PH-1V\TM\OPTION-A\SHEETS\05-C44TMS.dwg  
PLOT DATE: 09-20-18 PLOTTED BY: arcc



**SECTION A**  
SCALE: 1"=20'



Date	09/21/18	No.	1	CITY SUBMITTAL #1	Revisions
Scale	AS SHOWN				
Design	JJ				
Drawn	KA				
Approved	EC				
Job No	057066-23				

Sheet Number: **C5.0**

**VESTING TENTATIVE MAP  
CARNOUSTIE PHASE 4  
CROSS SECTIONS**

CITY OF HALF MOON BAY

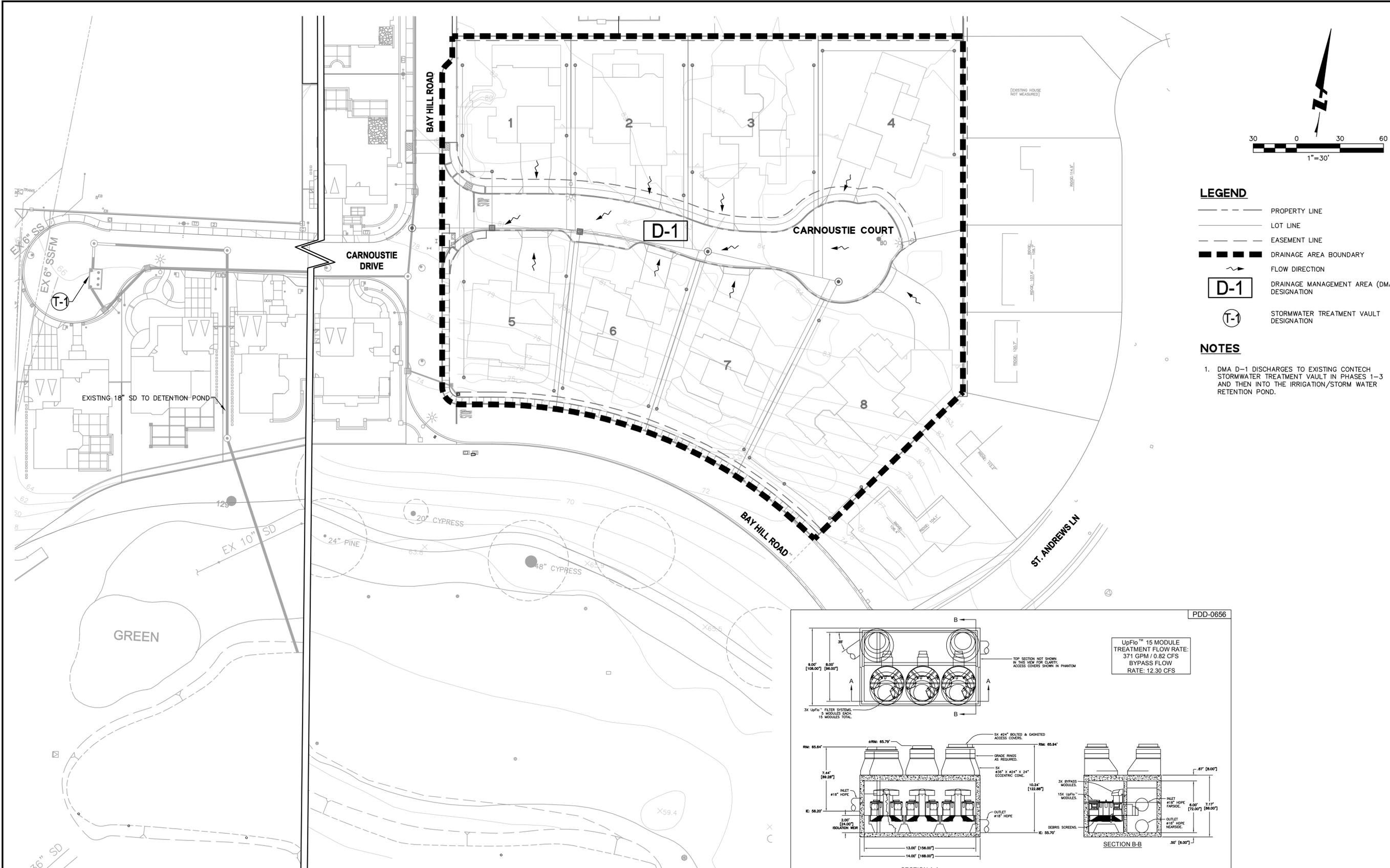
CALIFORNIA

**BKF**  
ENGINEERS / SURVEYORS / PLANNERS

4670 WILLOW RD  
SUITE 250  
PLEASANTON, CA 94588  
925-396-7700 (PHONE)  
925-396-7799 (FAX)

Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design	JJ	
Drawn	KA	
Approved	EC	
Job No 057066-23		

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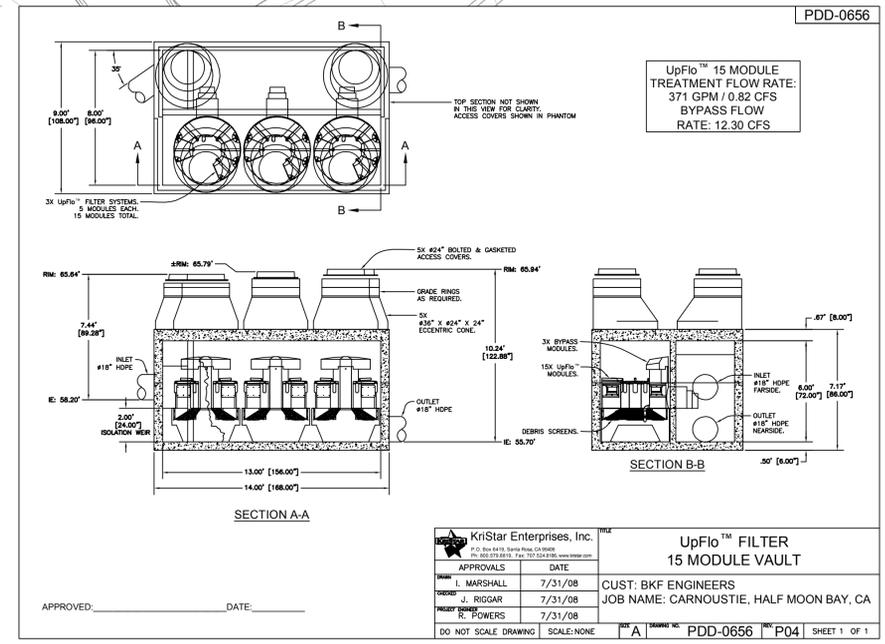


**LEGEND**

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- DRAINAGE AREA BOUNDARY
- FLOW DIRECTION
- D-1** DRAINAGE MANAGEMENT AREA (DMA) DESIGNATION
- (T-1)** STORMWATER TREATMENT VAULT DESIGNATION

**NOTES**

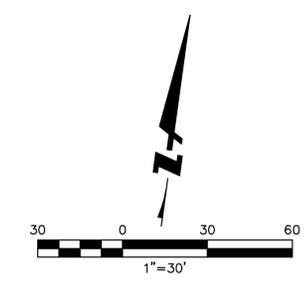
- DMA D-1 DISCHARGES TO EXISTING CONTECH STORMWATER TREATMENT VAULT IN PHASES 1-3 AND THEN INTO THE IRRIGATION/STORM WATER RETENTION POND.



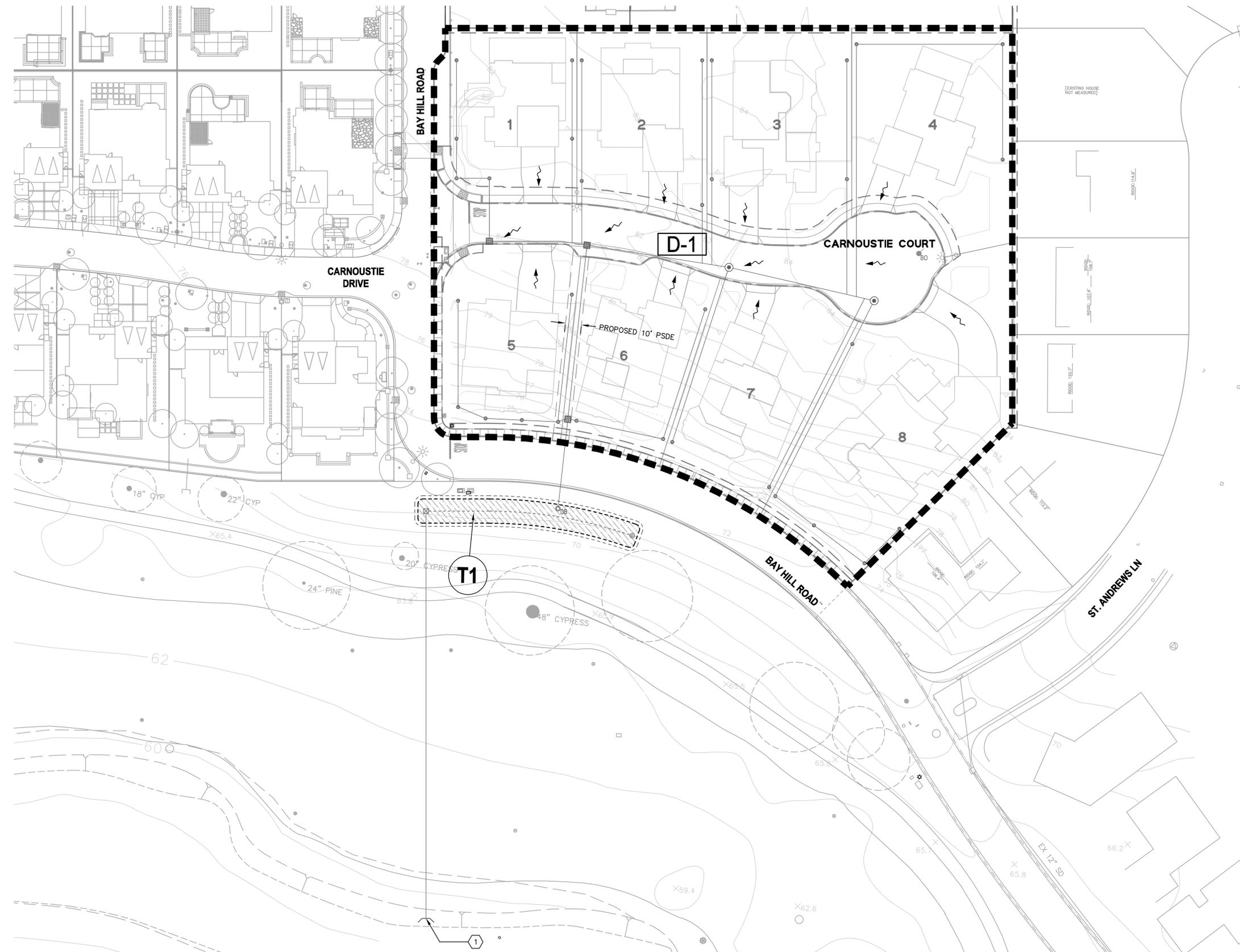
**1** EXISTING CARNOUSTIE PHASE 1-3 STORMWATER TREATMENT VAULT  
NTS



Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design JJ		
Drawn KA		
Approved EC		
Job No 057066-23		



- LEGEND**
- PROPERTY LINE
  - LOT LINE
  - EASEMENT LINE
  - STORM DRAINLINE
  - SUBDRAIN
  - DRAINAGE AREA BOUNDARY
  - BIORETENTION AREA
  - FLOW DIRECTION
  - D-1** DRAINAGE MANAGEMENT AREA (DMA) DESIGNATION
  - T1** TREATMENT AREA DESIGNATION
  - OUTFALL
  - DB DRAINAGE BUBBLER
  - CLEANOUT
- KEYNOTES**
- ① TREATED STORM DRAIN OUTFALL TO EXISTING POND



DRAINAGE AREA DESIGNATION	DRAINAGE AREA (SF)	CUMULATIVE DRAINAGE AREA (SF)	TREATMENT AREA DESIGNATION	TREATMENT TYPE	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	PONDING DEPTH (IN)
D-1	51,465	51,465	T1	BIORETENTION AREA	2059	2,064	6
TOTAL		51,465					

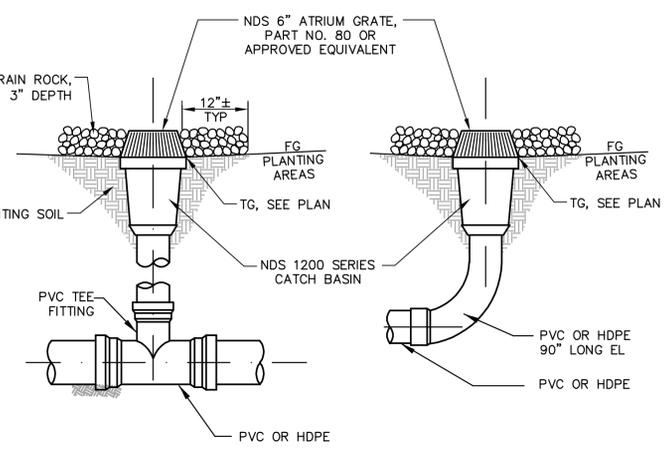


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PLOT DATE: 09-20-18 PLOTTED BY: arce

Revisions	
No.	CITY SUBMITTAL #
1	

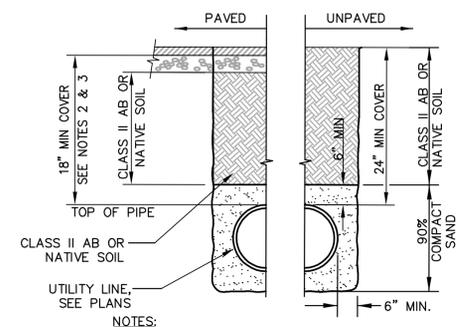
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Scale	AS SHOWN
Design	JJ
Drawn	KA
Approved	EC
Job No.	057066-23

Sheet Number: **C7.0**



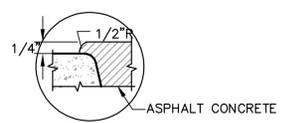
**IN-LINE** **END CONDITION**

**4 AREA DRAIN IN LANDSCAPE AREA**  
NTS



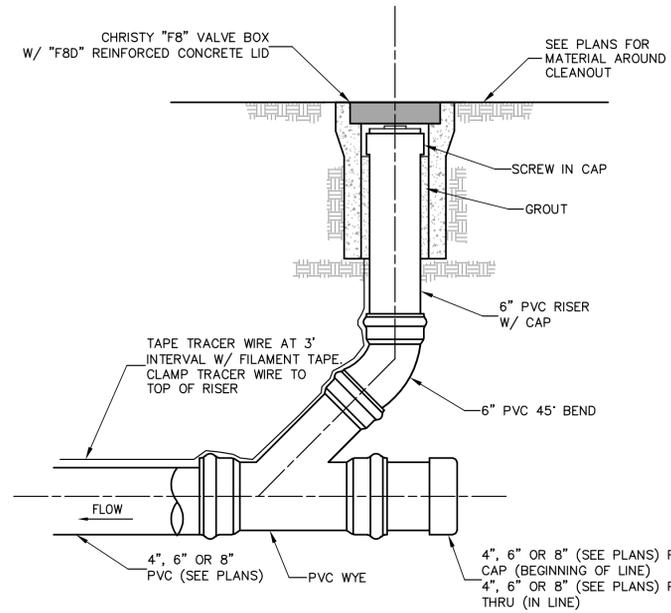
- NOTES:
- RESTORE EXISTING SURFACE TO EXISTING CONDITIONS AFTER TRENCH WORK AND COMPACTION IS COMPLETE.
  - COVER FOR ASPHALT AREAS IS DEFINED FROM TOP OF PIPE TO TOP OF AGGREGATE BASE.
  - COVER FOR CONCRETE AREAS IS DEFINED FROM TOP OF PIPE TO TOP OF FINISHED SURFACE.
  - REFER TO GEOTECHNICAL REPORT FOR BACKFILL MATERIAL COMPACTION AND REQUIREMENTS
  - UTILITY COVER ADJACENT TO BUILDINGS TO BE 18" MINIMUM FOR RAINWATER LEADER CONNECTION.

**8 ON-SITE UTILITY TRENCH**  
NTS

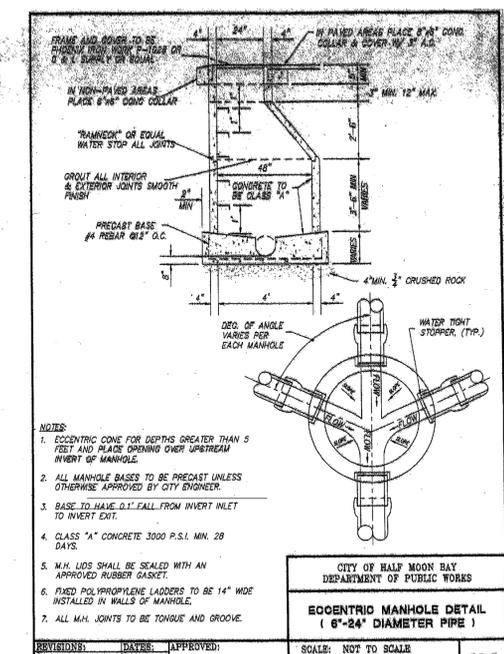


- NOTES:
- CONCRETE SHALL BE CLASS "A".
  - BASE ROCK TO BE EXTENDED A MINIMUM OF 2 FEET BEYOND LIP OF GUTTER PRIOR TO POURING CONCRETE

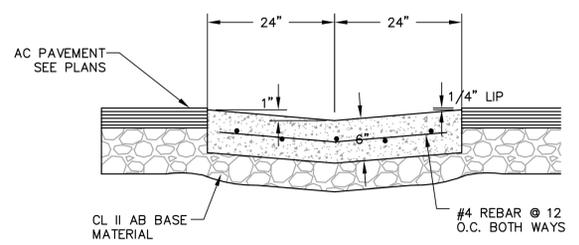
**3 CURB AND GUTTER**  
NTS



**7 CLEANOUT**  
NTS

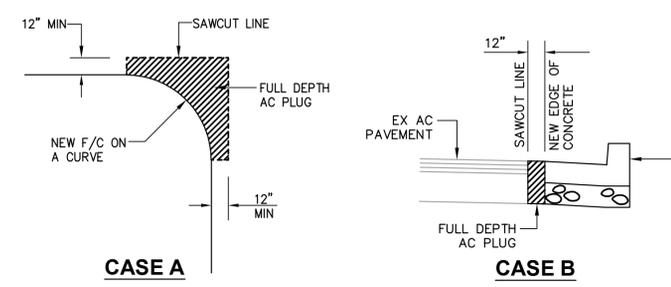


**11 SANITARY SEWER MANHOLE DETAIL**  
NTS



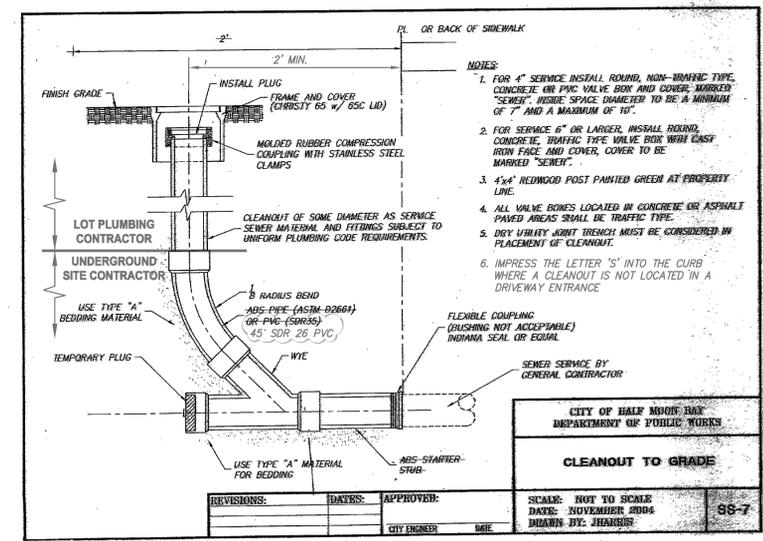
- NOTES:
- CONCRETE SHALL BE CLASS A.
  - EXPANSION JOINTS SHALL BE EVERY 10 FEET. SEE DETAIL 5, SHT. C6.2.

**2 CONCRETE VALLEY GUTTER**  
NTS



NOTE: NEW PLUG SHALL ALIGN FLUSH WITH EXISTING SURFACES ON BOTH SIDES

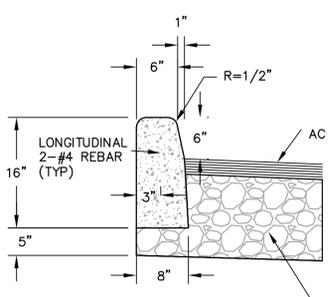
**6 AC PLUG**  
NTS



- NOTES:
- FOR 4" SERVICE INSTALL ROUND, NON-BRASS TYPE, CONCRETE OR PVC VALVE BOX AND COVER, MARKED "SEWER". INSIDE SPACE DIAMETER TO BE A MINIMUM OF 7" AND A MAXIMUM OF 10".
  - FOR SERVICE 6" OR LARGER, INSTALL ROUND, CONCRETE, TRIFLANGE PIPE VALVE BOX WITH CAST IRON FACE AND COVER, COVER TO BE MARKED "SEWER".
  - 4x4 REDWOOD POST PAINTED GREEN AT PROPERTY LINE.
  - ALL VALVE BOXES LOCATED IN CONCRETE OR ASPHALT PAVED AREAS SHALL BE TRAFFIC TYPE.
  - DRY UTILITY JOINT TRENCH MUST BE CONSIDERED IN PLACEMENT OF CLEANOUT.
  - IMPRESS THE LETTER "S" INTO THE CURB WHERE A CLEANOUT IS NOT LOCATED IN A DRIVEWAY ENTRANCE.

CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS	
<b>CLEANOUT TO GRADE</b>	
REVISIONS:	DATE:
APPROVED:	CITY ENGINEER:
SCALE: NOT TO SCALE	DATE: NOVEMBER 2004
DRAWN BY: J.HARRIS	58-7

**10 SANITARY SEWER CLEANOUT**  
NTS



NOTE: CONCRETE SHALL BE CLASS "A".

**1 VERTICAL CURB**  
NTS

FRAME AND GRATE ASSEMBLY TO BE TRAFFIC RATED

DROP INLET			
MODEL NO.	A	B*	WEIGHT
DI363636	42"	36"	3748 LBS.
DI363648	54"	48"	4752 LBS.

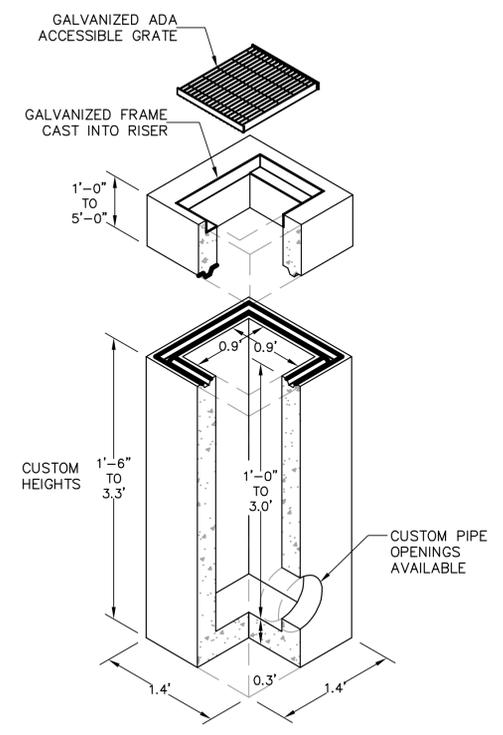
\* BOX ONLY

BOX DESIGN LOAD:  
H-20 TRAFFIC  
FOR COMPLETE DESIGN  
AND PRODUCT INFORMATION,  
CONTACT JENSEN PRECAST.

EXTENSION			
MODEL NO.	C	WEIGHT	
RS363606	6"	525 LBS.	
RS363612	12"	1050 LBS.	

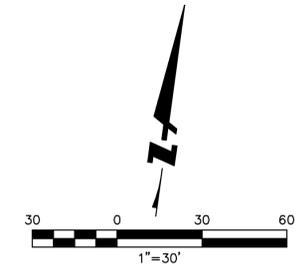
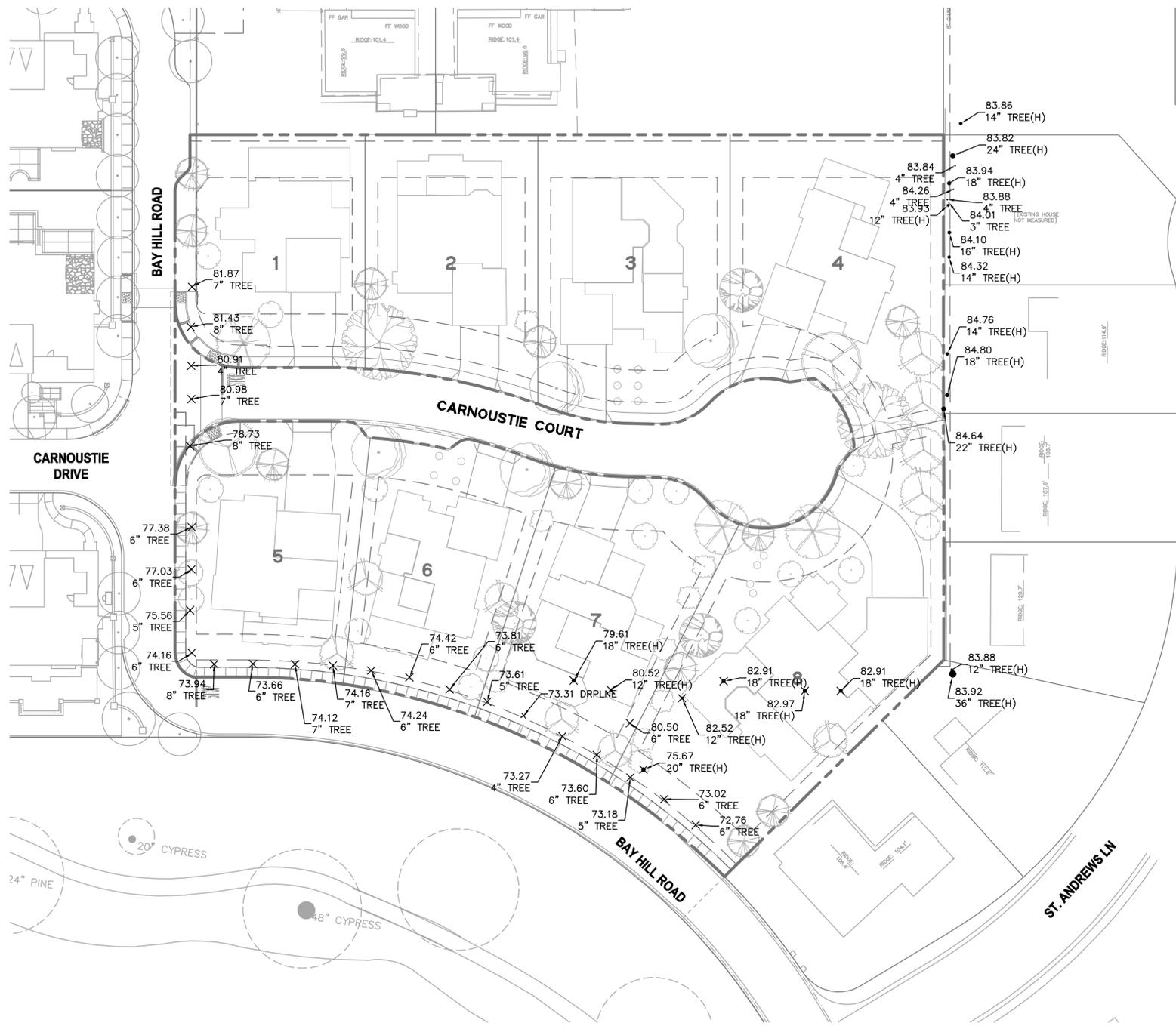
OPTIONAL EXTENSION HEIGHT

**5 CURB INLET**  
NTS



**9 18"X18" DRAIN INLET**  
NTS

DRAWING NAME: K:\Eng05\057066\DWG\23\_Subdiv\1\1\TM\OPT\10N-A\SHEETS\07-C44TMDT.dwg  
PLOT DATE: 09-20-18  
PLOTTED BY: arcc



**LEGEND**

- PROPERTY LINE
- LOT LINE
- ✕ XX.XX  
XX" TREE EXISTING TREE TO BE REMOVED
- XX.XX  
XX" TREE(H) EXISTING HERITAGE TREE TO BE REMOVED

**NOTES**

1. ALL ON-SITE TREES TO BE REMOVED. ALL OFF-SITE TREES TO REMAIN.

TREE DISPOSITION SUMMARY	
HERITAGE TREES TO BE REMOVED	7
NON-HERITAGE TREES TO BE REMOVED	23
NEW TREES (15GAL/24"BOX)	62

DRAWING NAME: K:\Eng05\057066\DWG\23\_Subdivision\PH-1V\TM\OPT\04-A\SHEETS\08-CA4TMR.dwg  
PLOT DATE: 09-20-18 PLOTTED BY: arce



Date	No.	Revisions
09/21/18	1	CITY SUBMITTAL #1
AS SHOWN		
Design JJ		
Drawn KA		
Approved EG		
Job No 057066-23		

**C8.0**

**VESTING TENTATIVE MAP  
CARNoustIE PHASE 4  
TREE SURVEY/REMOVAL PLAN**

CITY OF HALF MOON BAY

CALIFORNIA



4670 WILLOW RD  
SUITE 250  
PLEASANTON, CA 94588  
925-396-7700 (PHONE)  
925-396-7799 (FAX)

# CARNOUSTIE, LLC

APPLICATION FOR CARNOUSTIE PHASE 4 COASTAL DEVELOPMENT PERMIT, USE PERMIT, HERITAGE TREE REMOVAL, ARCHITECTURAL AND SITE / DESIGN REVIEW, AND ADDENDUM TO OCEAN COLONY PLANNED UNIT DEVELOPMENT PLAN

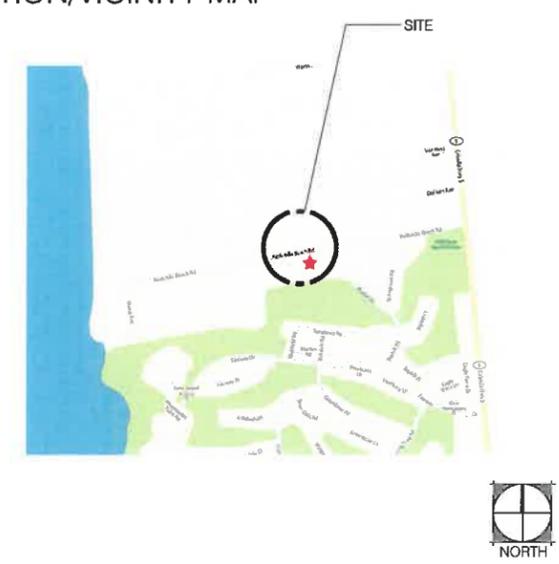
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HALE  
JONES**

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San Francisco, CA 94105  
www.hunt halejones.com  
t. 415-512-1300 f. 415-285-0288

**CARNOUSTIE, LLC**  
2450 SOUTH CABRILLO  
HIGHWAY, SUITE 200  
HALF MOON BAY, CA 94019  
PH: (650) 560-0055  
FX: (650) 560-9198

### LOCATION/VICINITY MAP



### PROJECT TEAM

**APPLICANT:**  
KENMARK REAL ESTATE GROUP INC  
2450 SOUTH CABRILLO HWY, STE 200  
HALF MOON BAY, CA 94019  
650-560-0055

**OWNER:**  
CARNOUSTIE, LLC  
2450 SOUTH CABRILLO HWY, STE 200  
HALF MOON BAY, CA 94019  
650-560-0055

**ARCHITECT:**  
HUNT HALE JONES ARCHITECTS  
444 SPEAR ST. SUITE 105  
SAN FRANCISCO, CA 94105  
415-568-3832

**CIVIL ENGINEERS:**  
BKF ENGINEERING  
255 SHORELINE DRIVE, SUITE 200  
REDWOOD CITY, CA 94065  
650-482-6300

**LANDSCAPE:**  
RIPLEY DESIGN GROUP, INC.  
1615 BONANZA STREET, SUITE 314  
WALNUT CREEK, CA 94596  
925-938-7377

**GEO-TECH:**  
STEVEN, FERRONE AND BAILEY  
1600 WILLOW PASS COURT  
CONCORD, CA 94520  
925-688-1001

### DRAWING INDEX

- CS - COVER SHEET
- SP - OVERALL SITE PLAN
- PD - PROJECT DATA
- LOT 1
- CS1.0.0 - LOT 1 COVER SHEET
- A1.0.0 - LOT 1 SITE PLAN
- A1.1.1 - LOT 1 FLOOR PLANS
- A1.3.1 - LOT 1 ROOF PLAN
- A1.5.1 - LOT 1 FRONT RIGHT ELEVATIONS
- A1.5.2 - LOT 1 REAR LEFT ELEVATIONS
- LOT 2
- CS2.0.0 - LOT 2 COVER SHEET
- A2.0.0 - LOT 2 SITE PLAN
- A2.1.1 - LOT 2 FLOOR PLANS
- A2.3.1 - LOT 2 ROOF PLAN
- A2.5.1 - LOT 2 FRONT RIGHT ELEVATIONS
- A2.5.2 - LOT 2 REAR LEFT ELEVATIONS
- LOT 3
- CS3.0.0 - LOT 3 COVER SHEET
- A3.0.0 - LOT 3 SITE PLAN
- A3.1.1 - LOT 3 FLOOR PLANS
- A3.3.1 - LOT 3 ROOF PLAN
- A3.5.1 - LOT 3 FRONT RIGHT ELEVATIONS
- A3.5.2 - LOT 3 REAR LEFT ELEVATIONS
- LOT 4
- CS4.0.0 - LOT 4 COVER SHEET
- A4.0.0 - LOT 4 SITE PLAN
- A4.1.1 - LOT 4 FLOOR PLANS
- A4.3.1 - LOT 4 ROOF PLAN
- A4.5.1 - LOT 4 FRONT RIGHT ELEVATIONS
- A4.5.2 - LOT 4 REAR LEFT ELEVATIONS
- LOT 5
- CS5.0.0 - LOT 5 COVER SHEET
- A5.0.0 - LOT 5 SITE PLAN
- A5.1.1 - LOT 5 FLOOR PLANS
- A5.3.1 - LOT 5 ROOF PLAN
- A5.5.1 - LOT 5 FRONT RIGHT ELEVATIONS
- A5.5.2 - LOT 5 REAR LEFT ELEVATIONS
- LOT 6
- CS6.0.0 - LOT 6 COVER SHEET
- A6.0.0 - LOT 6 SITE PLAN
- A6.1.1 - LOT 6 FLOOR PLANS
- A6.3.1 - LOT 6 ROOF PLAN
- A6.5.1 - LOT 6 FRONT RIGHT ELEVATIONS
- A6.5.2 - LOT 6 REAR LEFT ELEVATIONS
- LOT 7
- CS7.0.0 - LOT 7 COVER SHEET
- A7.0.0 - LOT 7 SITE PLAN
- A7.1.1 - LOT 7 FLOOR PLANS
- A7.3.1 - LOT 7 ROOF PLAN
- A7.5.1 - LOT 7 FRONT RIGHT ELEVATIONS
- A7.5.2 - LOT 7 REAR LEFT ELEVATIONS
- LOT 8
- CS8.0.0 - LOT 8 COVER SHEET
- A8.0.0 - LOT 8 SITE PLAN
- A8.1.1 - LOT 8 MAIN FLOOR PLAN
- A8.1.2 - LOT 8 UPPER FLOOR PLAN
- A8.3.1 - LOT 8 ROOF PLAN
- A8.5.1 - LOT 8 FRONT RIGHT ELEVATIONS
- A8.5.2 - LOT 8 REAR LEFT ELEVATIONS
- L1 - PRELIMINARY LANDSCAPE PLAN
- L2 - PRELIMINARY PLANT LEGEND AND DATA
- L3 - PRELIMINARY CONSTRUCTION DETAILS
- CS.0 TREE SURVEY/REMOVAL PLAN

**CARNOUSTIE  
PHASE 4**  
BAY HILL ROAD  
HALF MOON BAY, CA 94019

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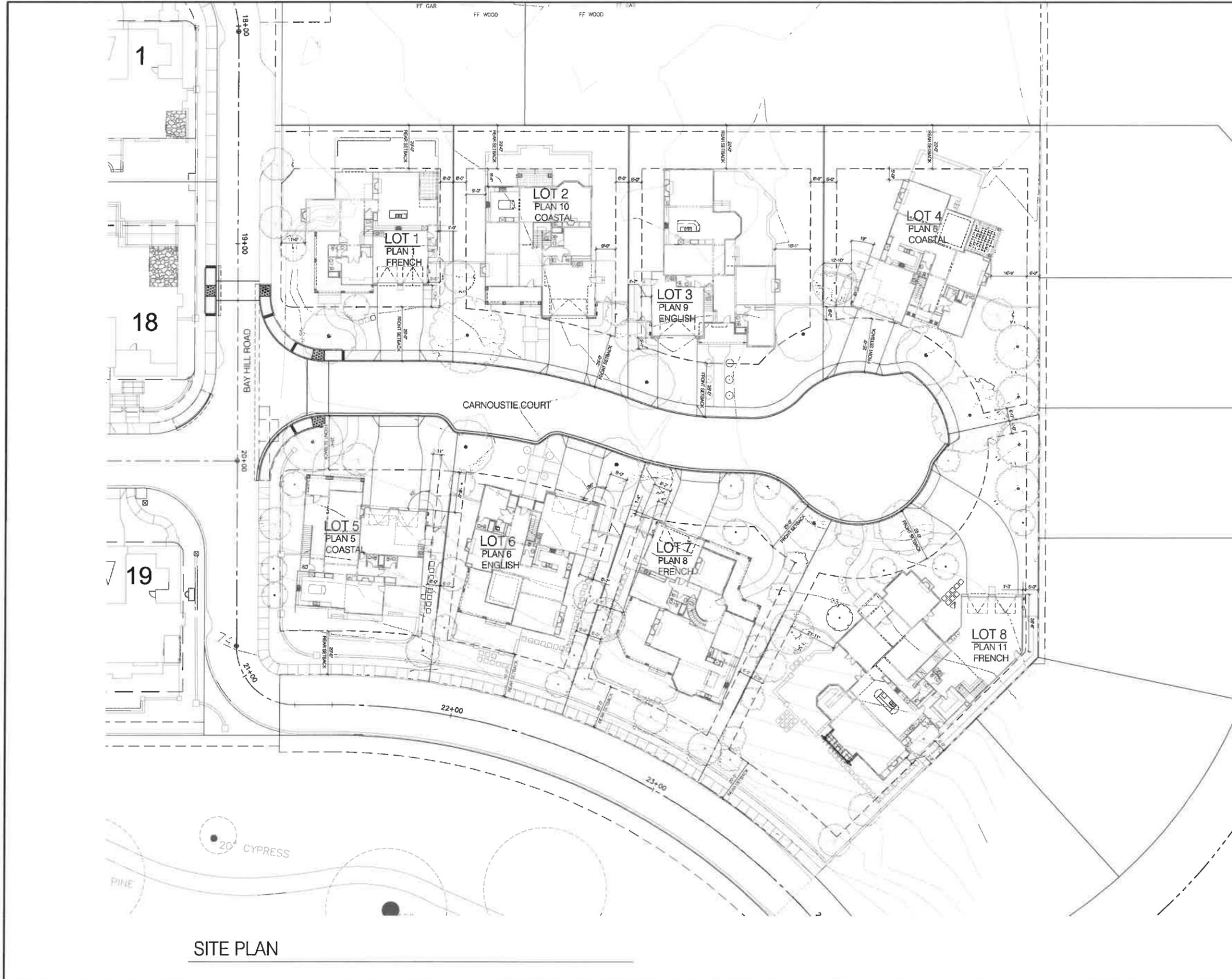
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COVER SHEET

Scale	N/A
Drawn	
Checked	
Date	DR SUBMITTAL SET 08-12-2018
Project#	24000500

CS

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE



SITE PLAN

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Revisions:

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Sheet Description

SITE PLAN

Scale	3/8"=1'-0"
Drawn	
Checked	
Date	
Project#	240006.00

SP











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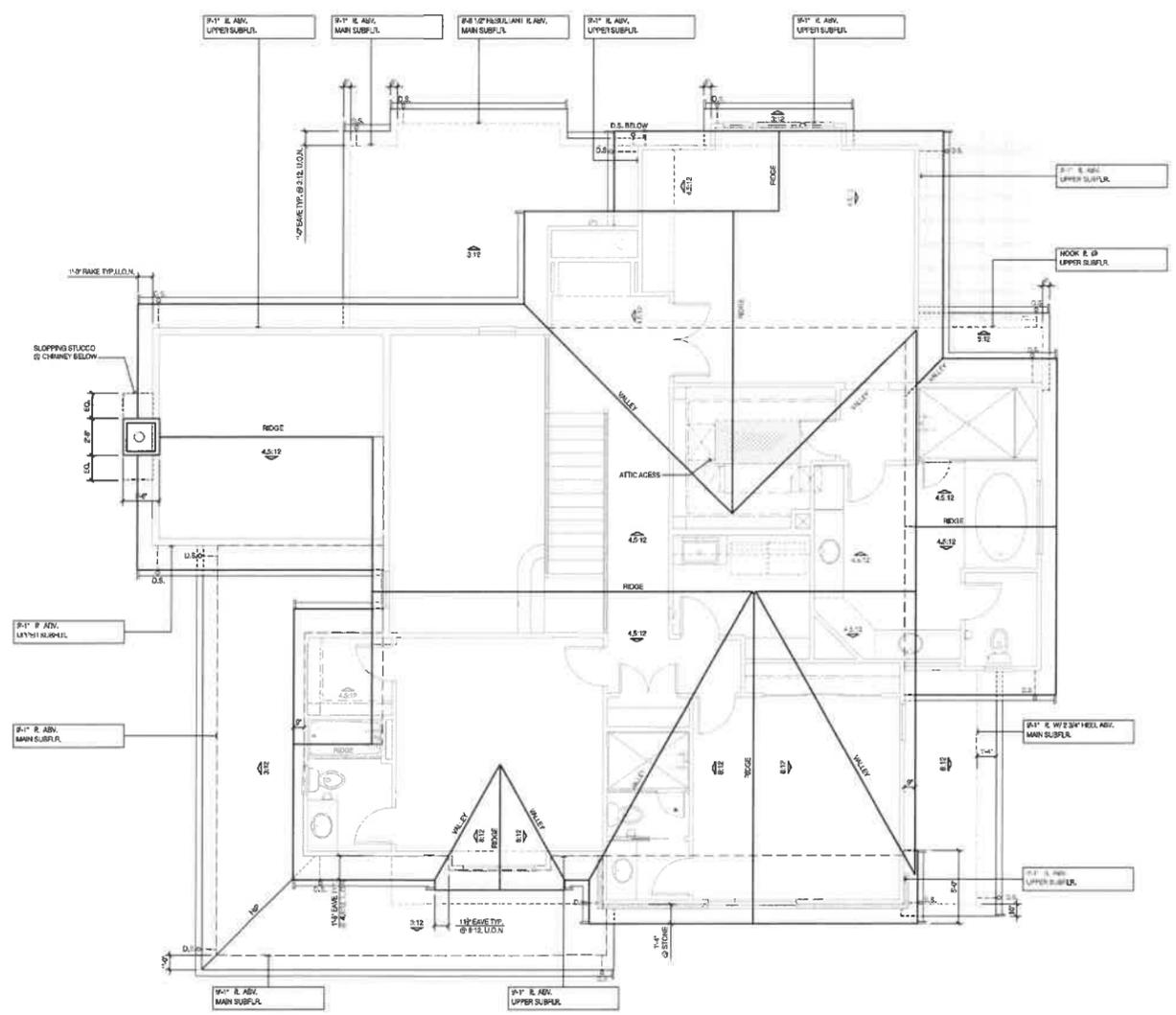
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Revisions:

No.	Date	Revision

Sheet Description:

LOT 1  
PLAN 1 - FRENCH  
ROOF PLAN  
Scale: 3/16"=1'-0"  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 09-12-2018  
Project#: 240006.00



ROOF PLAN

PLAN 1 - FRENCH      LOT 1

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

A 1.3.1



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 AND TO HOLD HUNT HALE JONES ARCHITECTS HARMLESS  
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 INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS,  
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Revisions:

No.	Date	Revision

Sheet Description:

LOT 1  
 PLAN 1 - FRENCH  
 EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"

Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

Date: 09-12-2018

Project #: 240006.00



FRONT ELEVATION

PLAN 1 - FRENCH LOT 1



RIGHT ELEVATION

PLAN 1 - FRENCH LOT 1



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Revisions:

No.	Date	Revision

Sheet Description:

LOT 1  
PLAN 1 - FRENCH  
EXTERIOR ELEVATIONS  
Scale 3/16"=1'-0"  
Drawn  
Checked  
Date OR SUBMITTAL SET 09-12-2018  
Project# 240006.00

A 1.5.2



REAR ELEVATION

PLAN 1 - FRENCH LOT 1



LEFT ELEVATION

PLAN 1 - FRENCH LOT 1



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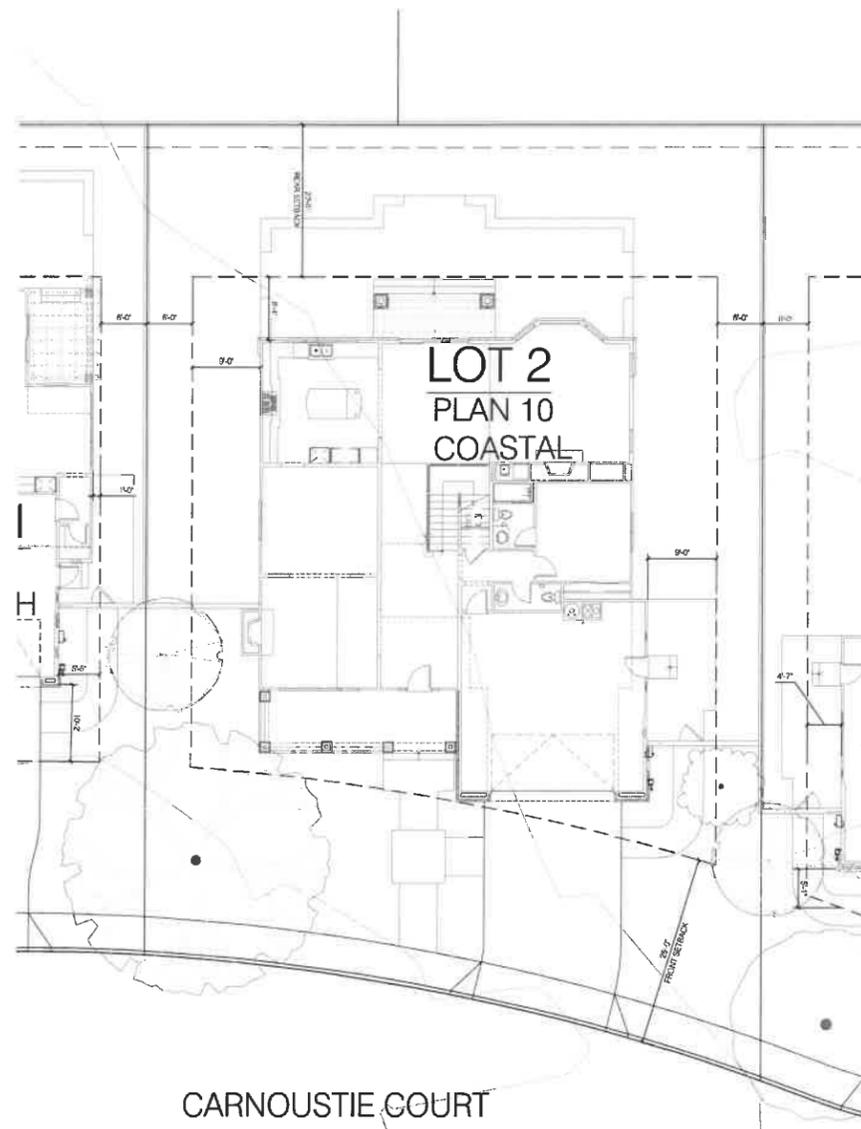
No.	Date	Revision

Sheet Description:

LOT 2  
SITE PLAN

Scale 3/32"=1'-0"  
 Drawn \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Date DR SUBMITTAL SET 09-12-2018  
 Project# 242006.00

A2.0.0



SITE PLAN

PLAN10 - COASTAL

LOT 2







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Sheet Description:

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 PLAN 10 - COASTAL  
 EXTERIOR ELEVATIONS

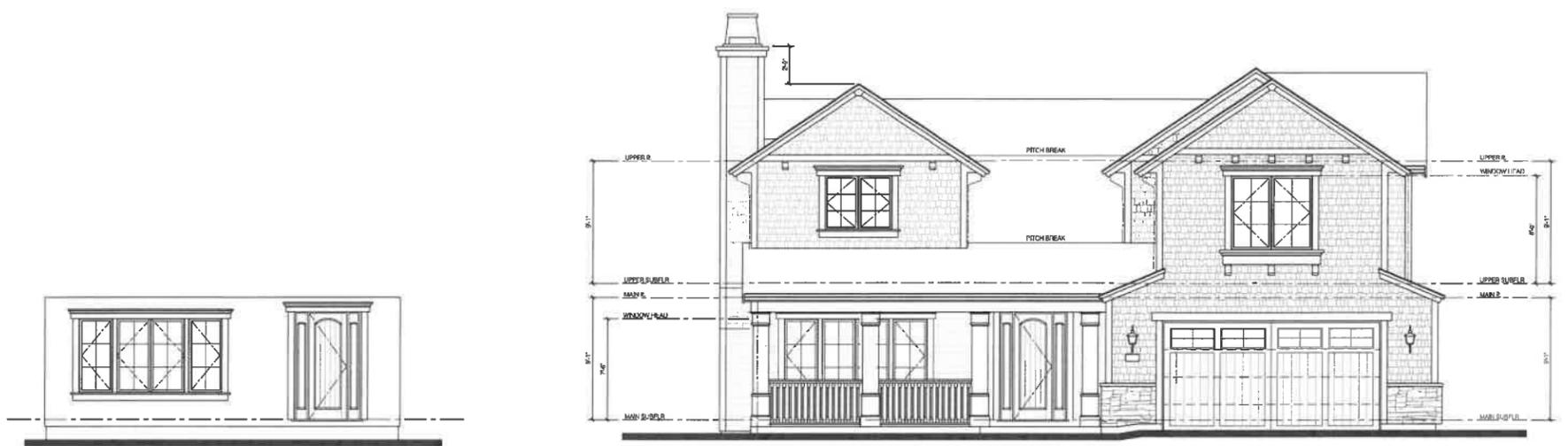
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Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

Date: DR. SUBMITTAL SET 09-12-2016

Project#: 240006.00



PORCH ELEVATION

PLAN 10 - COASTAL LOT 2

FRONT ELEVATION

PLAN 10 - COASTAL LOT 2



RIGHT ELEVATION

PLAN 10 - COASTAL LOT 2

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

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Sheet Description:

COVER SHEET  
LOT3  
PLAN9 - ENGLISH  
Scale: N/A  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 09-12-2018  
Project#: 240000.00

CS3.0.0



MATERIALS LIST:

- COMPOSITION SHINGLE ROOF
- WOOD TRIM
- STUCCO
- BRICK VENEER

FRONT ELEVATION

PLAN9 - ENGLISH LOT 3



LEFT ELEVATION

PLAN9 - ENGLISH LOT 3



REAR ELEVATION

PLAN9 - ENGLISH LOT 3



RIGHT ELEVATION

PLAN9 - ENGLISH LOT 3



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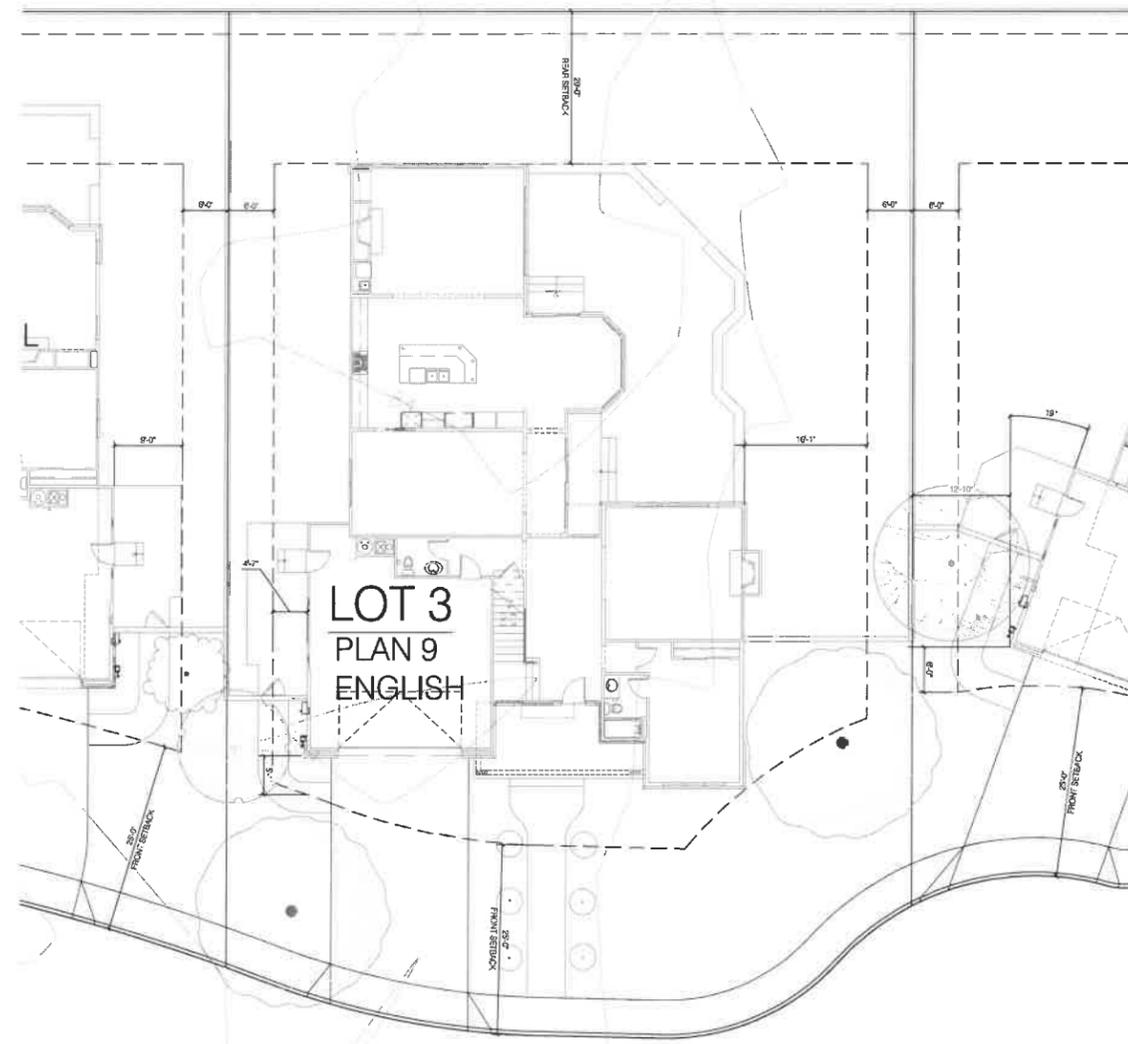
No.	Date	Revision

Sheet Description:

LOT 3  
 SITE PLAN

Scale: 3/32"=1'-0"  
 Drawn: \_\_\_\_\_  
 Checked: DR SUBMITTAL SET 09-12-2018  
 Date: \_\_\_\_\_  
 Project#: 245000.00

A3.0.0



**SITE PLAN**

PLAN9 - ENGLISH

LOT3



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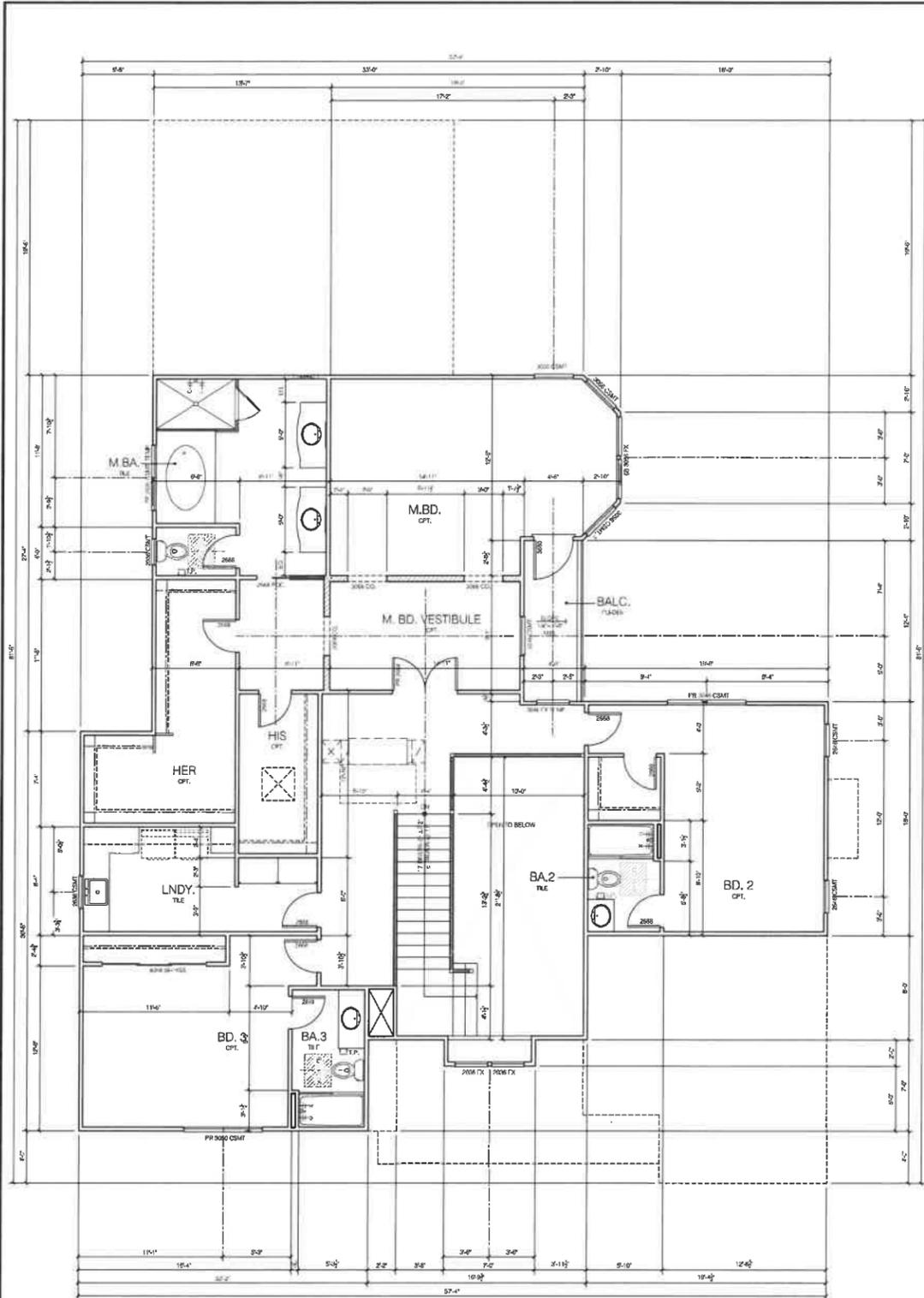
No. Date Revision

No.	Date	Revision

Sheet Description:

LOT 3  
PLAN 9 - ENGLISH  
FLOOR PLAN  
DIMENSION PLAN

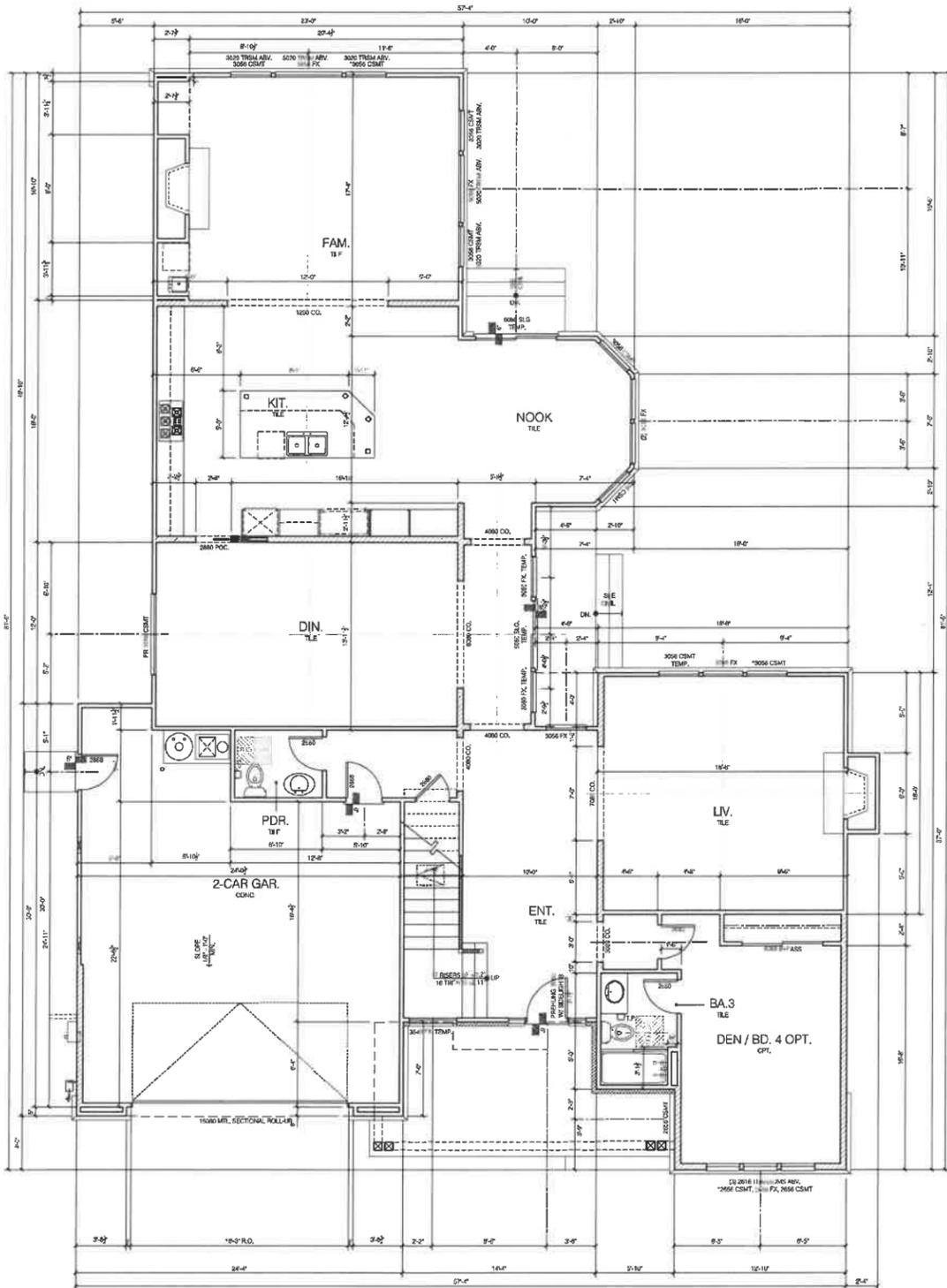
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Date: OR SUBMITTAL SET 09-12-2018  
Project#: 240005.00



**UPPER FLOOR PLAN**

PLAN 9 - ENGLISH LOT 3

UPPER LIVING: 1979 SQ. FT.



**MAIN FLOOR PLAN**

PLAN 9 - ENGLISH LOT 3

MAIN LIVING: 2424 SQ. FT.  
TOTAL LIVING: 4404 SQ. FT.  
GARAGE: 635 SQ. FT.

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A3.1.1



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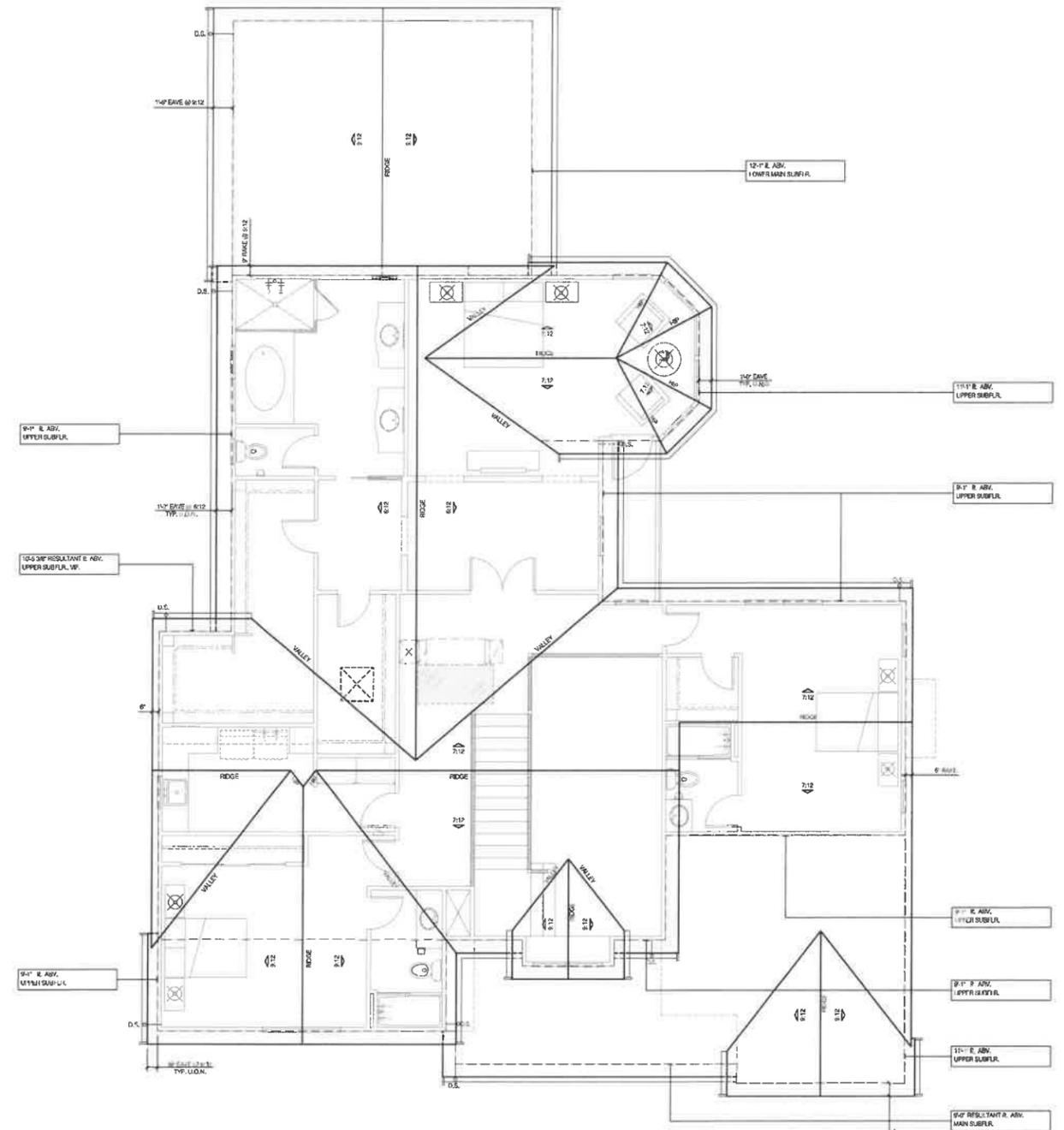
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 PLAN 9 - ENGLISH  
 ROOF PLAN  
 Scale: 3/8" = 1'-0"  
 Drawn: \_\_\_\_\_  
 Checked: DR SUBMITTAL SET 09-12-2018  
 Date: \_\_\_\_\_  
 Project#: 24006.00



**ROOF PLAN**  
 PLAN 9 - ENGLISH      LOT 3

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

A 3.3.1

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LOT 3  
PLAN 9 - ENGLISH  
EXTER ELEVATIONS

Scale: 3/16"=1'-0"

Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

Date: DR SUBMITTAL SET 09-12-2018

Project#: 24000600

A3.5.1



FRONT ELEVATION

PLAN 9 - ENGLISH LOT 3



RIGHT ELEVATION

PLAN 9 - ENGLISH LOT 3

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No.	Date	Revision

Sheet Description:

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PLAN 9 - ENGLISH  
EXTERIOR ELEVATIONS

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Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 06-12-2018  
Project#: 24800620

A3.5.2



REAR ELEVATION

PLAN 9 - ENGLISH LOT 3



LEFT ELEVATION

PLAN 9 - ENGLISH LOT 3



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Sheet Description:

COVER SHEET  
LOT4  
PLAN6 - COASTAL

Scale: N/A  
 Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: DR SUBMITTAL SET 09-12-2018  
 Project#: 24000500

CS4.0.0



MATERIALS LIST:

- COMPOSITION SHINGLE ROOF
- WOOD TRIM
- HORIZONTAL SIDING

FRONT ELEVATION

PLAN6 - COASTAL LOT 4



LEFT ELEVATION

PLAN6 - COASTAL LOT 4



REAR ELEVATION

PLAN6 - COASTAL LOT 4



RIGHT ELEVATION

PLAN6 - COASTAL LOT 4



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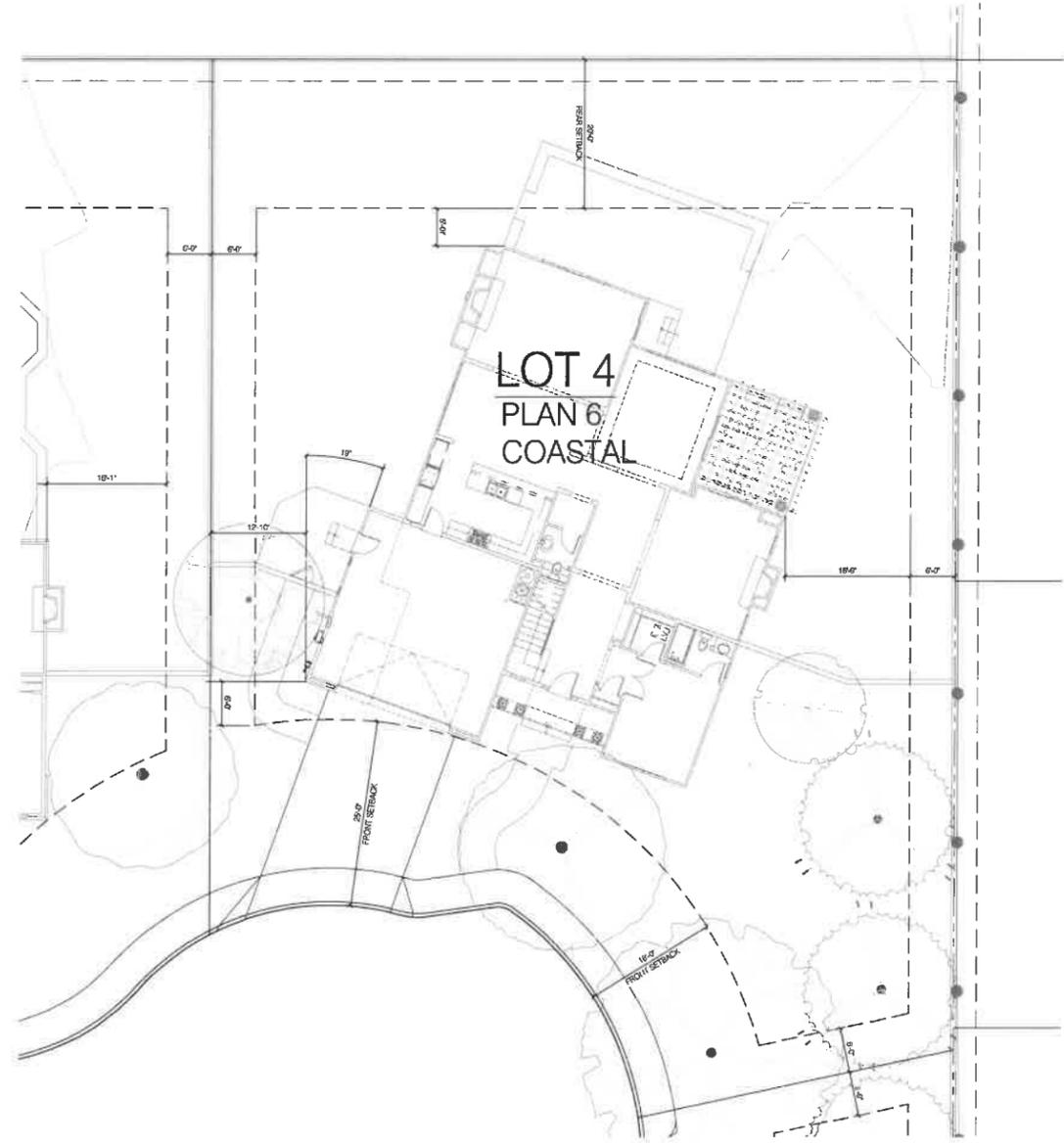
Revisions:

No.	Date	Revision

Sheet Description:

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SITE PLAN  
Scale 3/32"=1'-0"  
Drawn  
Checked DR SUBMITTAL SET 06-12-2018  
Date  
Project# 2-0208-01

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SITE PLAN  
PLAN6 - COASTAL LOT 4

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Sheet Description:

LOT 4  
PLAN 6 - COASTAL  
FLOOR PLAN  
DIMENSION PLAN

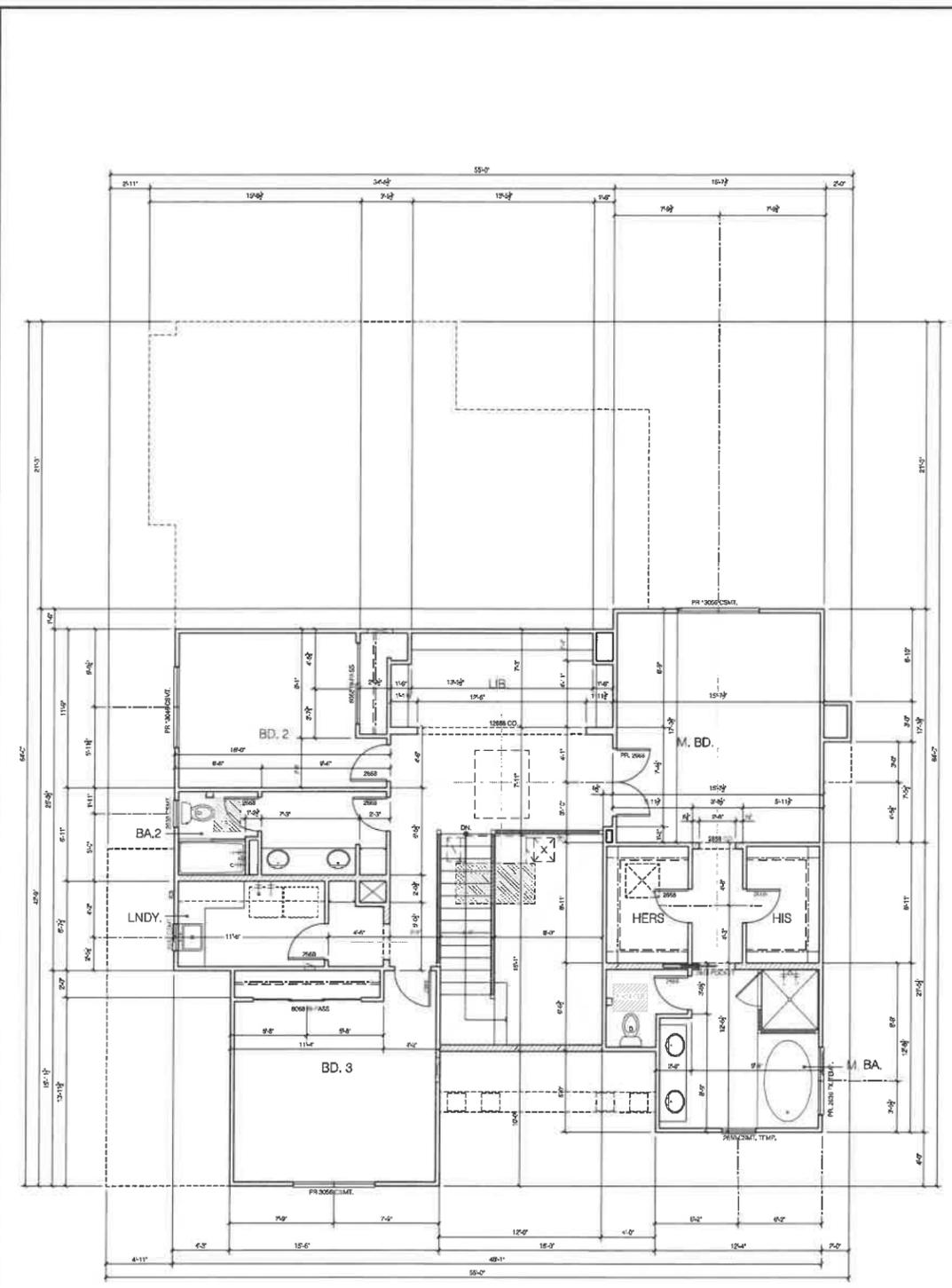
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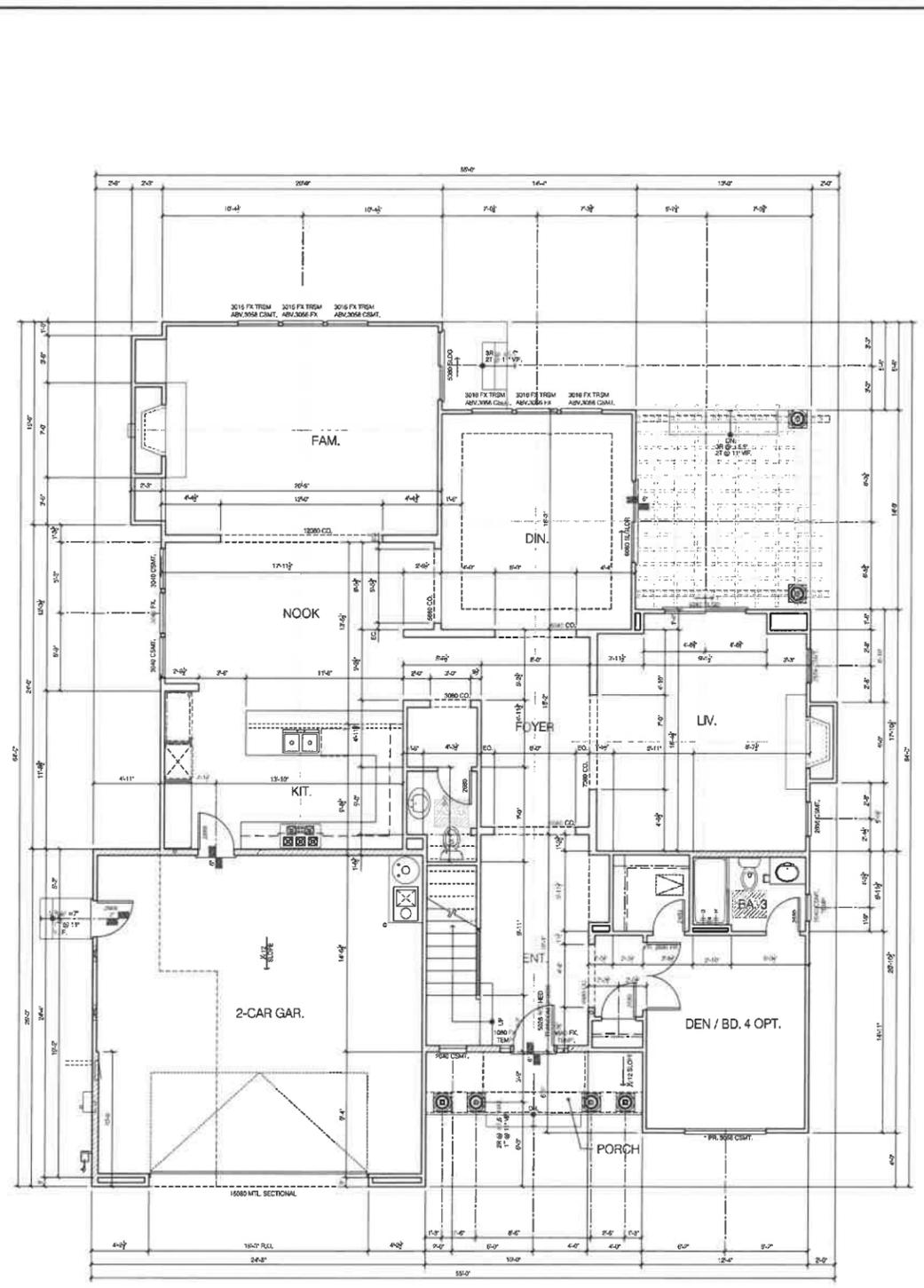
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Date: DR SUBMITTAL SET 09-13-2018

Project#: 140006.00



**UPPER FLOOR PLAN**  
PLAN 6 - COASTAL LOT 4 UPPER LIVING: 1537 SQ. FT.



**MAIN FLOOR PLAN**  
PLAN 6 - COASTAL LOT 4 MAIN LIVING: 2062 SQ. FT.  
TOTAL LIVING: 3598 SQ. FT.  
GARAGE: 603 SQ. FT.

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

A 4.1.1



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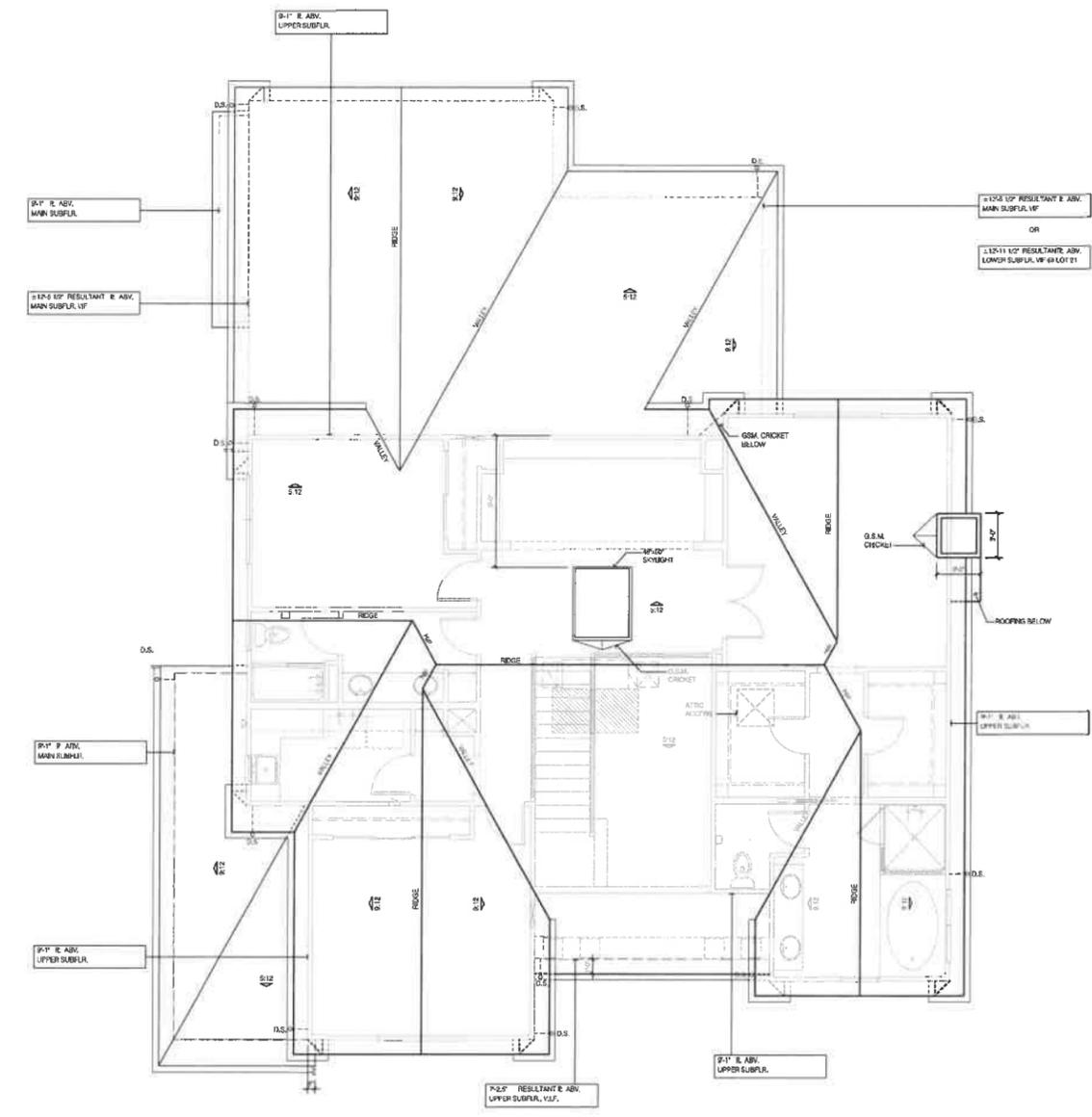
Revisions:

No.	Date	Revision

Sheet Description:

LOT 4  
PLAN 6 - COASTAL  
ROOF PLAN  
Scale 3/8"=1'-0"  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Date DR SUBMITTAL SET 09-12-2018  
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ROOF PLAN

PLAN 6 - COASTAL LOT 4

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

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Sheet Description:

LOT 4  
PLAN 6 - COASTAL  
EXTERIOR ELEVATIONS  
Scale: 3/16"=1'-0"  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 08-12-2018  
Project#: 240006.00

A4.5.1



**FRONT ELEVATION**

PLAN 6-COASTAL LOT 4



**RIGHT ELEVATION**

PLAN 6-COASTAL LOT 4



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**MATERIALS LIST:**

- COMPOSITION SHINGLE ROOF
- WOOD TRIM
- SHINGLES

**FRONT ELEVATION**

PLANS - COASTAL LOT 5



**LEFT ELEVATION**

PLANS - COASTAL LOT 5



**REAR ELEVATION**

PLANS - COASTAL LOT 5



**RIGHT ELEVATION**

PLANS - COASTAL LOT 5

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COVER SHEET  
LOTS  
PLANS - COASTAL

Scale: N/A  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: 08-12-2018  
Project#: 245000.00

CS5.0.0

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Sheet Description:

LOT 5  
PLAN 5 - COASTAL  
ROOF PLAN

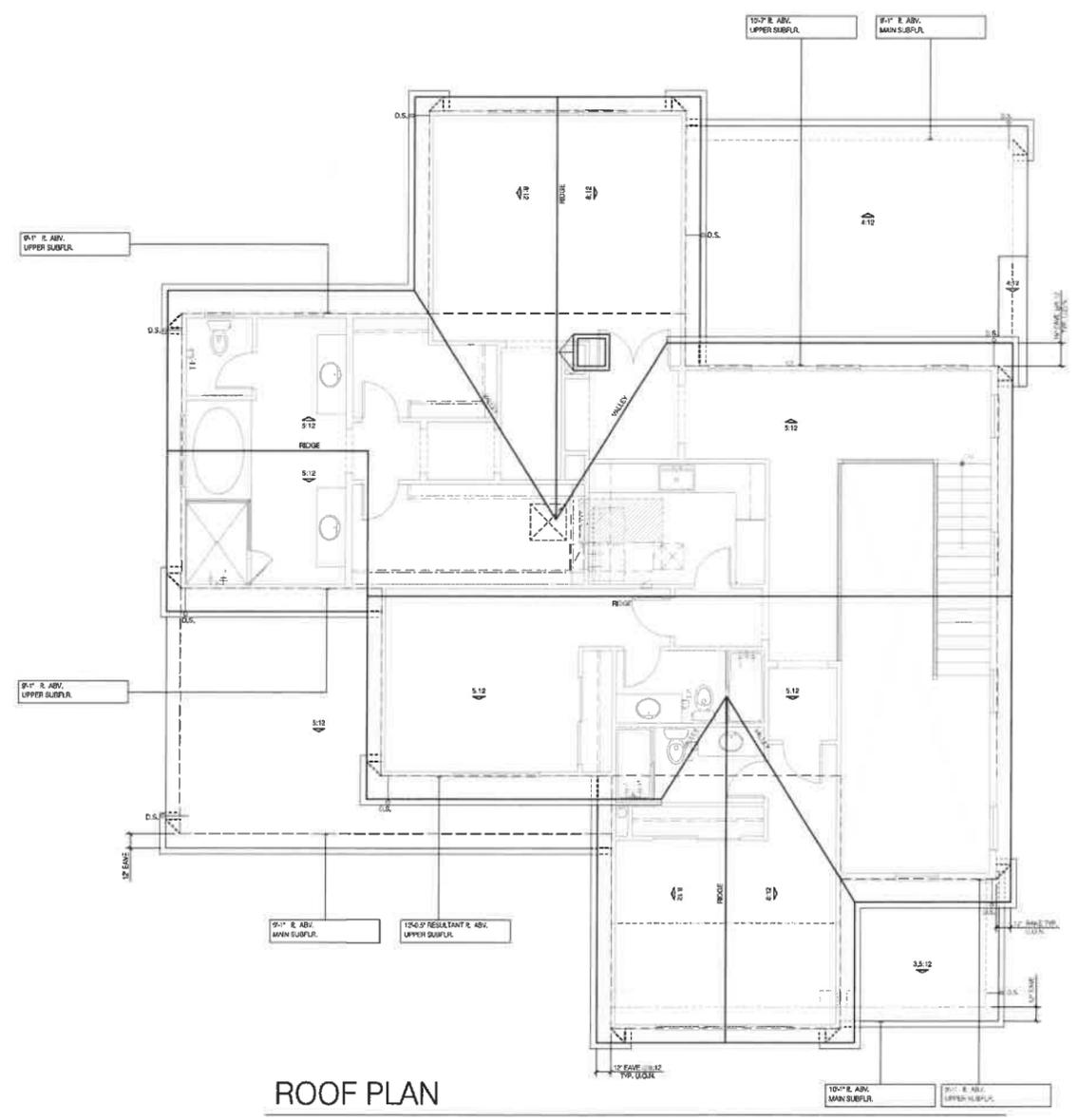
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Checked: \_\_\_\_\_

Date: OR SUBMITTAL SET 08-12-2018

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ROOF PLAN  
PLAN 5 - COASTAL LOT 5

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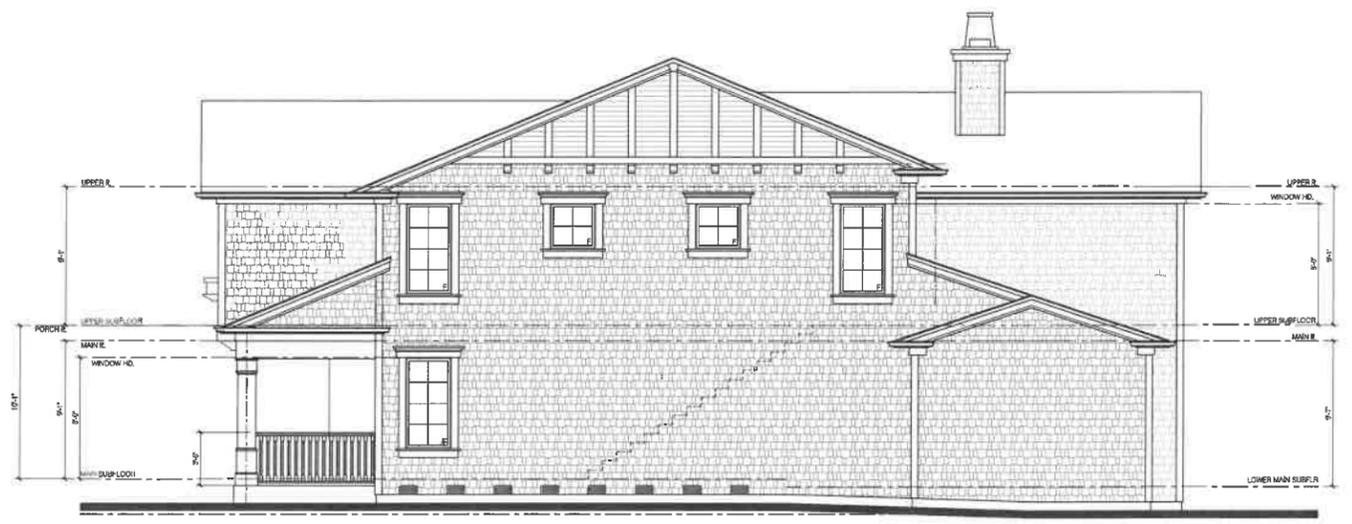
LOT 5  
PLAN 5 - COASTAL  
EXTERIOR ELEVATIONS  
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Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: 08 SUBMITTAL SET 08-12-2018  
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FRONT ELEVATION

PLAN 5 - COASTAL LOT 5



RIGHT ELEVATION

PLAN 5 - COASTAL LOT 5





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No.	Date	Revision

Sheet Description:

COVER SHEET  
LOT6  
PLAN6 - ENGLISH  
Scale: 1/8" = 1'-0"  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: 03 SUBMITTAL SET 08-12-2018  
Project#: 240006.00

CS6.0.0



**MATERIALS LIST:**

- COMPOSITION SHINGLE ROOF
- WOOD TRIM
- STUCCO
- BRICK VENEER

**FRONT ELEVATION**

PLAN6 - ENGLISH LOT 6



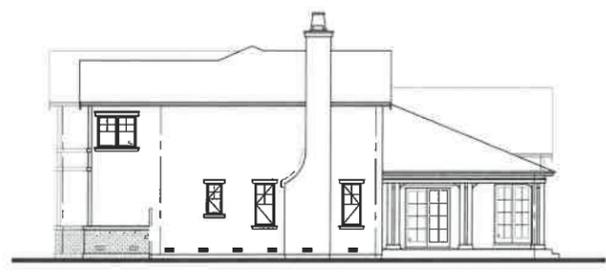
**LEFT ELEVATION**

PLAN6 - ENGLISH LOT 6



**REAR ELEVATION**

PLAN6 - ENGLISH LOT 6



**RIGHT ELEVATION**

PLAN6 - ENGLISH LOT 6





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Sheet Description:

LOT 6  
 PLAN 6 - ENGLISH  
 FLOOR PLAN  
 DIMENSION PLAN

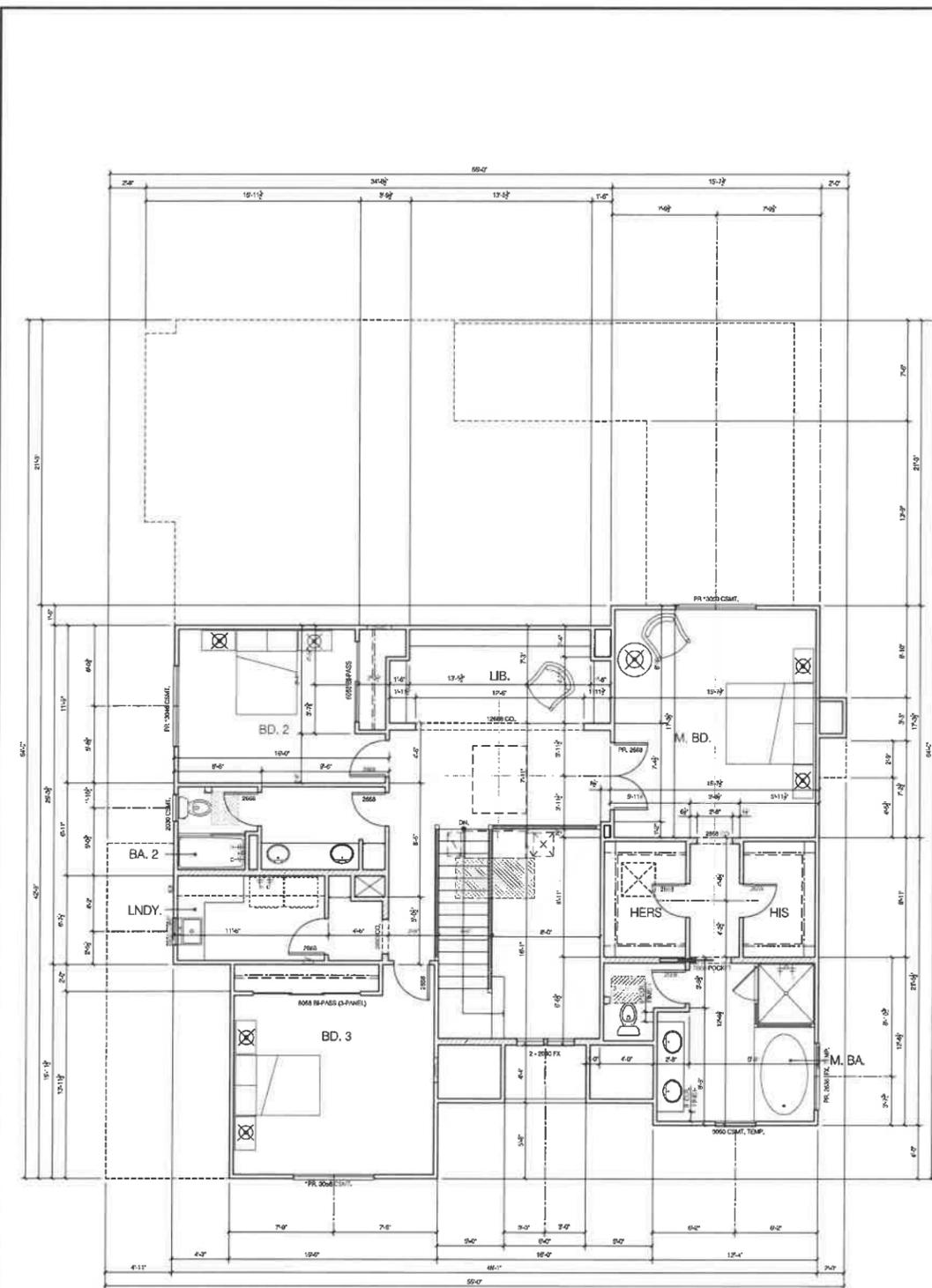
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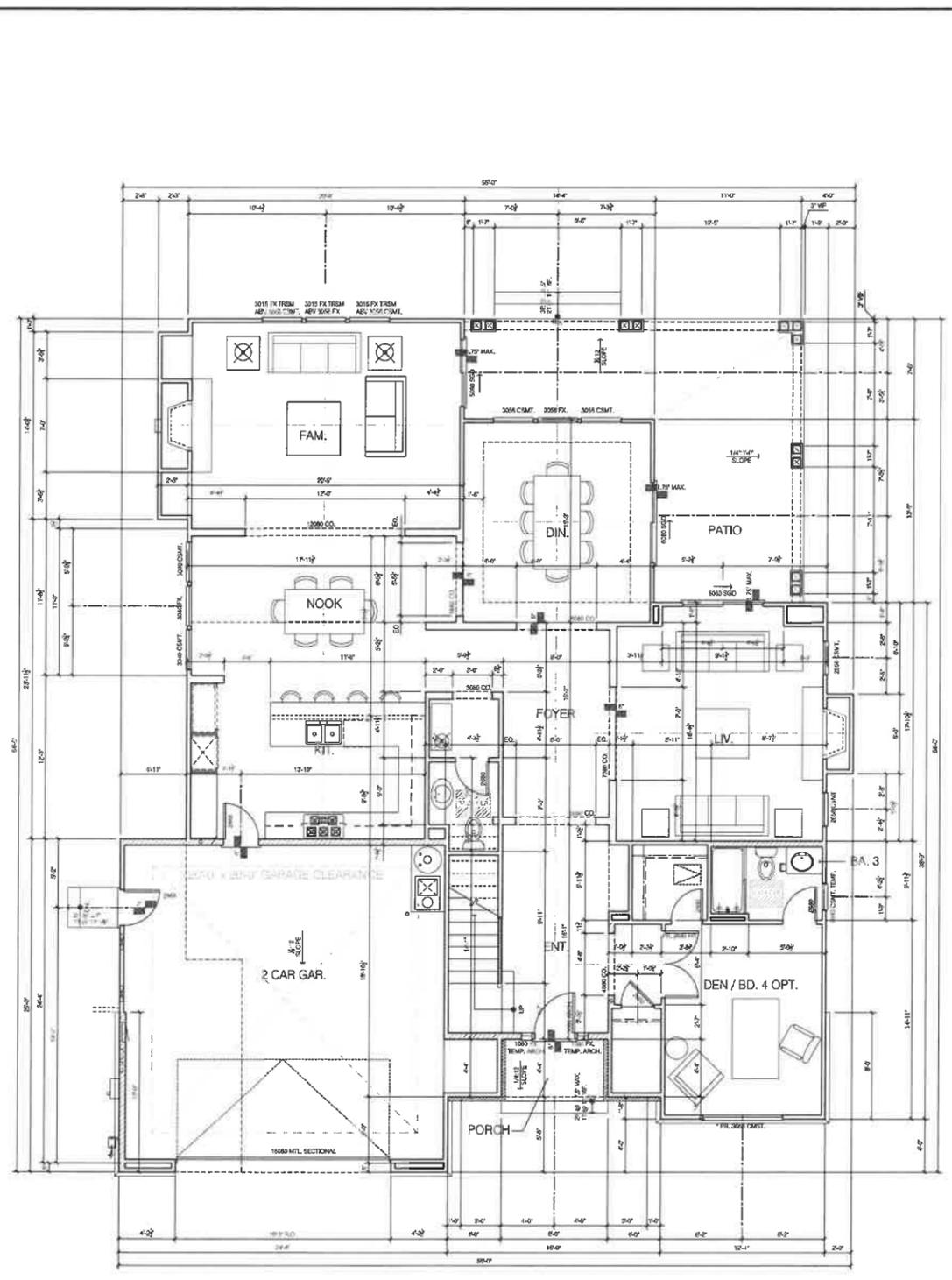
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Date: 09 SUBMITTAL SET 09-12-2018

Project#: 240006.00



**UPPER FLOOR PLAN**  
 PLAN 6 - ENGLISH LOT 6 UPPER LIVING: 1,537 S.F.



**MAIN FLOOR PLAN**  
 PLAN 6 - ENGLISH LOT 6 MAIN LIVING: 2,065 S.F.  
 TOTAL LIVING: 3,602 S.F.  
 GARAGE: 621 S.F.

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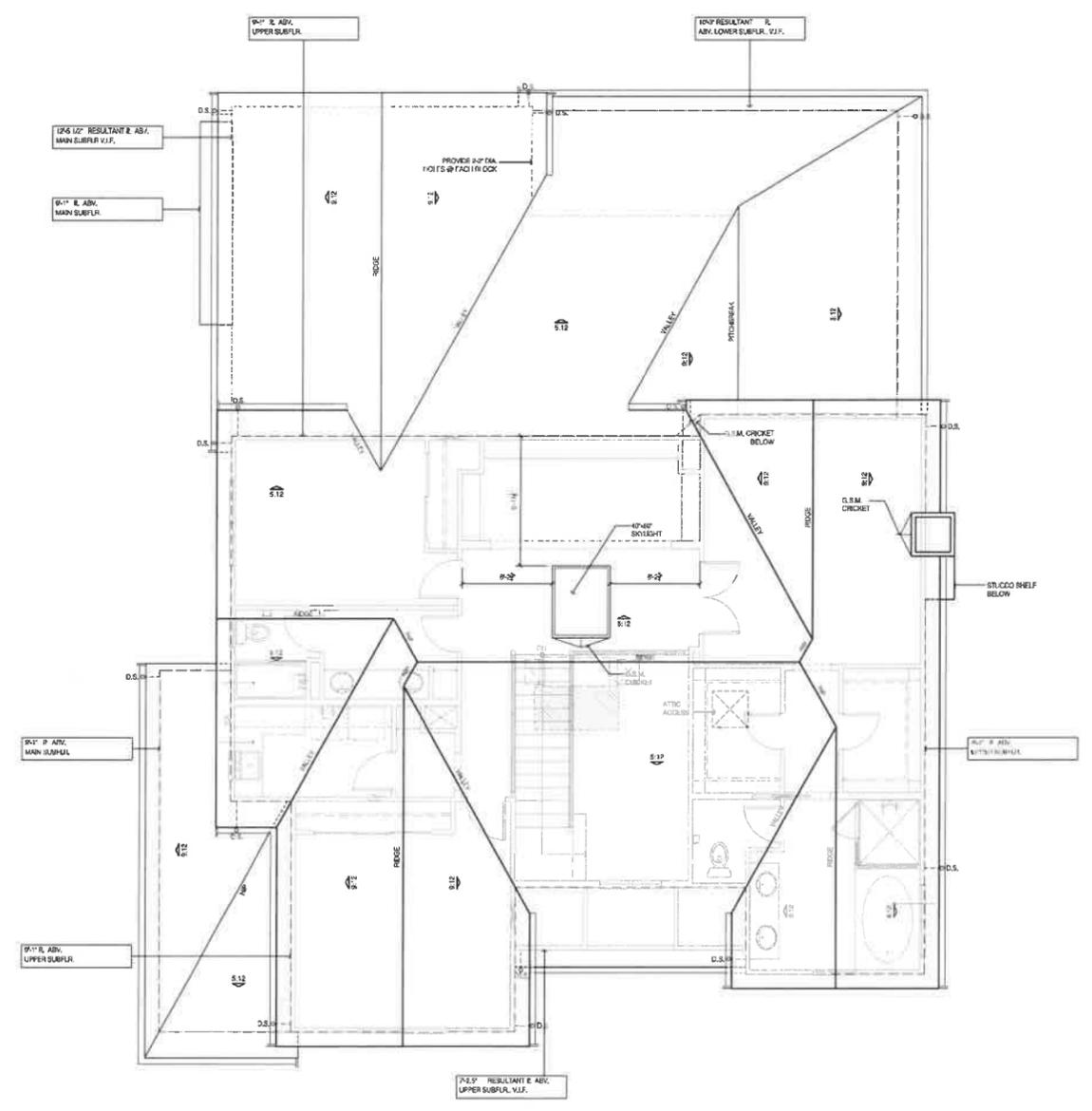
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No.	Date	Revision

Sheet Description:

LOT 6  
PLAN 6 - ENGLISH  
ROOF PLAN  
Scale: 3/16" = 1'-0"  
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Date: DR SUBMITTAL SET 08-12-2018  
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ROOF PLAN

PLAN 6 - ENGLISH      LOT 6

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE

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Revisions:

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Sheet Description:

LOT 6  
PLAN 6 - ENGLISH  
EXTERIOR ELEVATIONS  
Scale: 3/16"=1'-0"  
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Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 09-12-2018  
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FRONT ELEVATION

PLAN 6-ENGLISH LOT 6



RIGHT ELEVATION

PLAN 6-ENGLISH LOT 6



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Sheet Description:

LOT 6  
PLAN 6 - ENGLISH  
EXTERIOR ELEVATIONS  
Scale 3/16"=1'-0"  
Drawn \_\_\_\_\_  
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Date DR SUBMITTAL SET 06-12-2019  
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REAR ELEVATION

PLAN 6-ENGLISH LOT 6



LEFT ELEVATION

PLAN 6-ENGLISH LOT 6



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LOT7  
PLAN8 - FRENCH  
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Drawn: \_\_\_\_\_  
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Date: 03 SUBMITTAL SET 08-12-2018  
Project#: 240006.00

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- MATERIALS LIST:**
- COMPOSITION SHINGLE ROOF
  - WOOD TRIM
  - STUCCO
  - STONE VENEER

FRONT ELEVATION

PLAN8 - FRENCH LOT 7



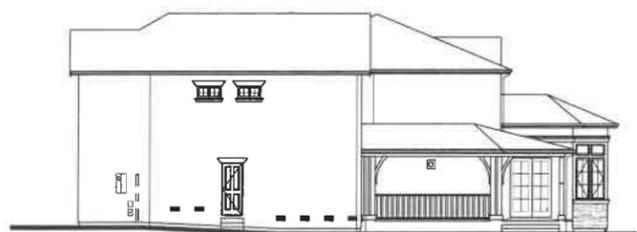
LEFT ELEVATION

PLAN8 - FRENCH LOT 7



REAR ELEVATION

PLAN8 - FRENCH LOT 7



RIGHT ELEVATION

PLAN8 - FRENCH LOT 7



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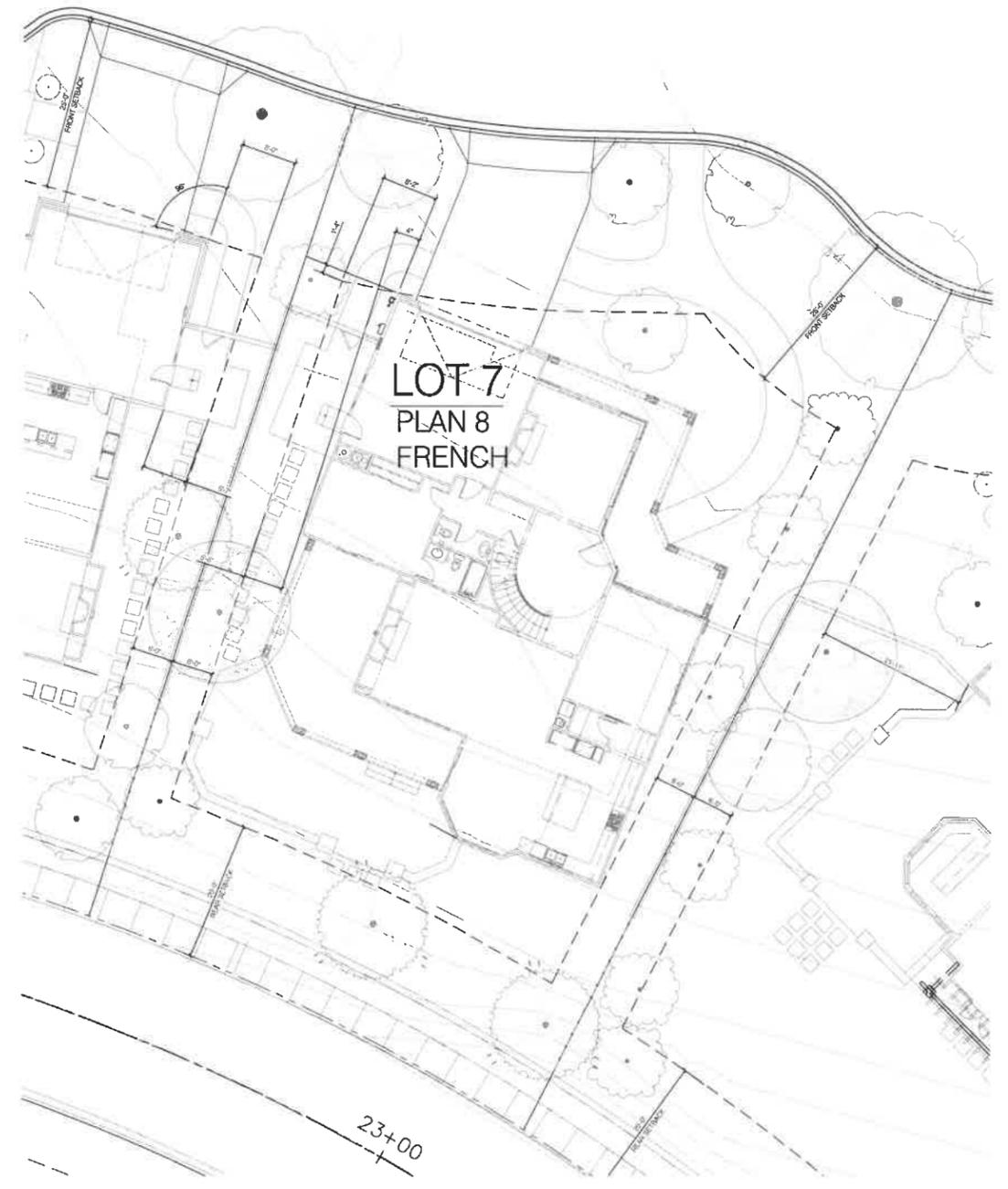
No.	Date	Revision

Sheet Description:

LOT 7  
SITE PLAN

Scale	3/32"=1'-0"
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Date	DR SUBMITTAL SET 09-12-2018
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SITE PLAN

PLAN8 - FRENCH LOT 7





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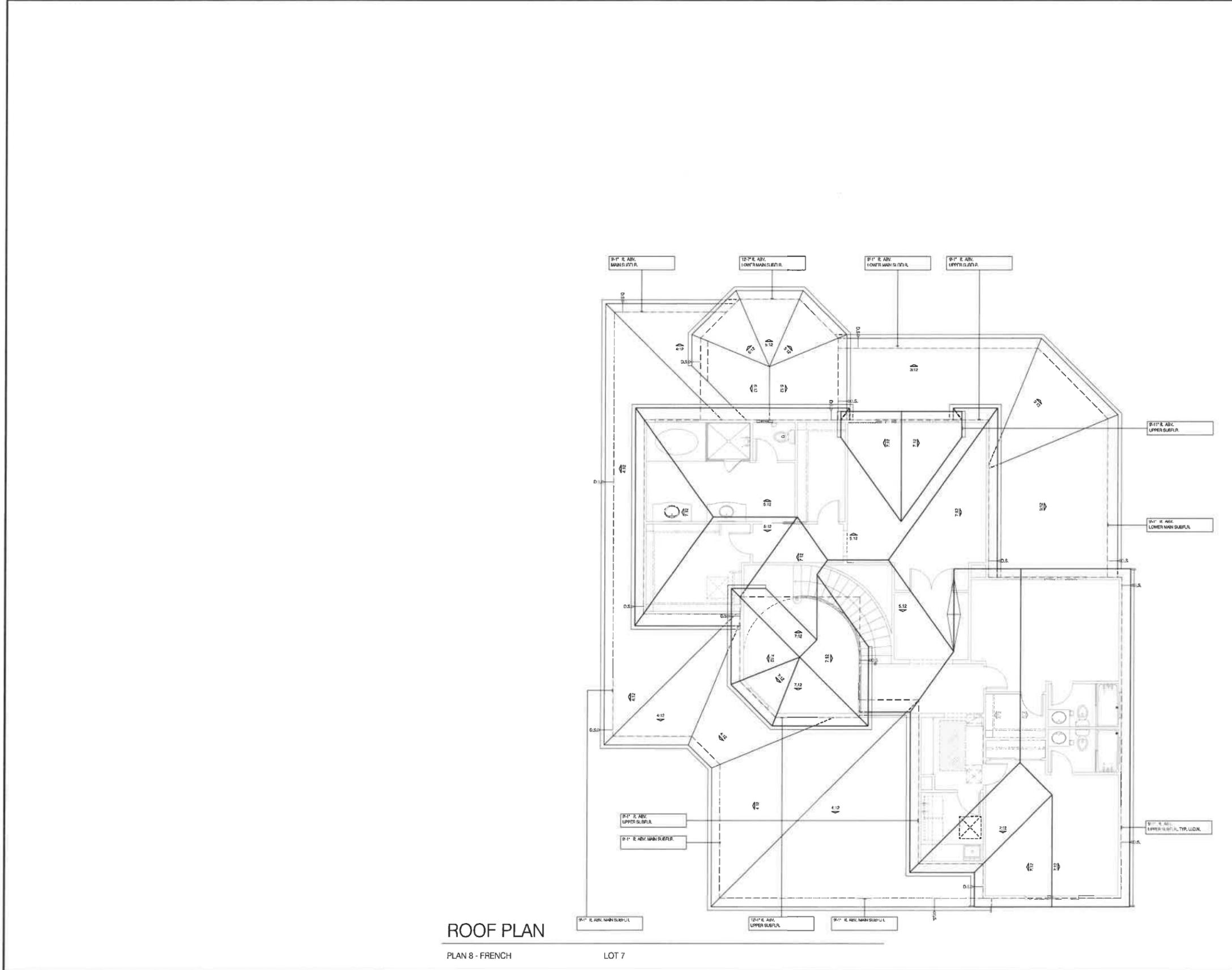
No.	Date	Revision

Sheet Description:

LOT 7  
PLAN 8 - FRENCH  
ROOF PLAN  
  
Scale: 3/8"=1'-0"  
Drawn: \_\_\_\_\_  
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Project#: 240006.00

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ROOF PLAN

PLAN 8 - FRENCH LOT 7



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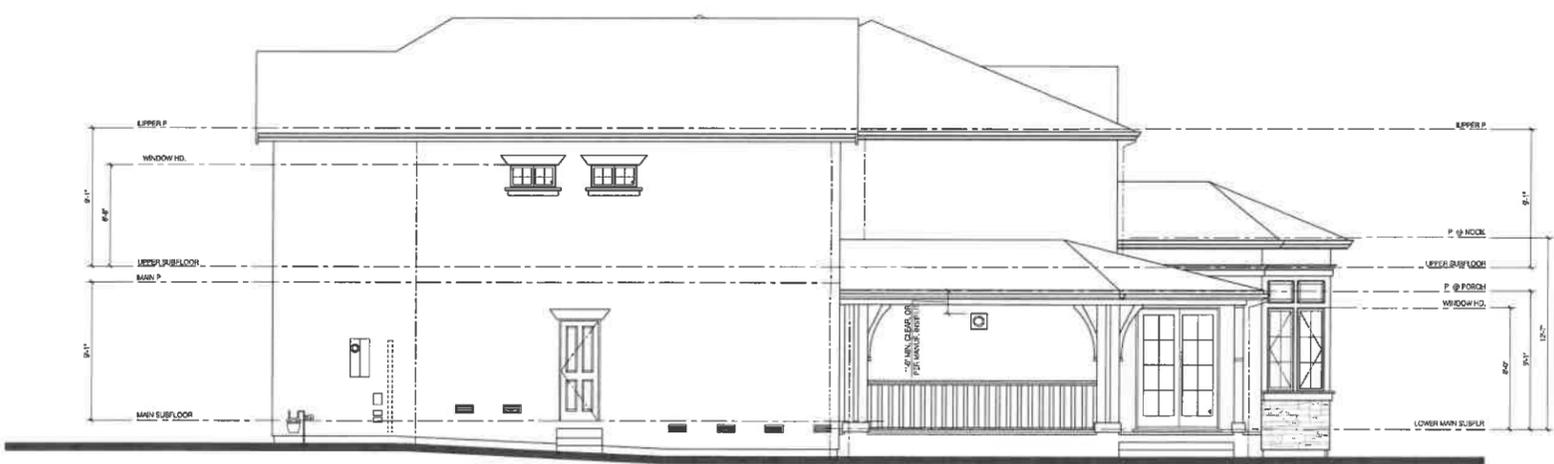
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PLAN 8 - FRENCH  
EXTERIOR ELEVATIONS  
Scale: 3/8"=1'-0"  
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Project#: 240000.00

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FRONT ELEVATION

PLAN 8 - FRENCH LOT 7



RIGHT ELEVATION

PLAN 8 - FRENCH LOT 7





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Sheet Description:

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PLAN11  
Scale: NO SCALE  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: DR SUBMITTAL SET 06-12-2018  
Project#: 240000.00

CS8.0.0



MATERIALS LIST:

- COMPOSITION SHINGLE ROOF
- WOOD TRIM
- STUCCO
- STONE VENEER

FRONT ELEVATION  
PLAN11 - FRENCH LOT 8



LEFT ELEVATION  
PLAN11 - FRENCH LOT 8



REAR ELEVATION  
PLAN11 - FRENCH LOT 8



RIGHT ELEVATION  
PLAN11 - FRENCH LOT 8





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Revisions:

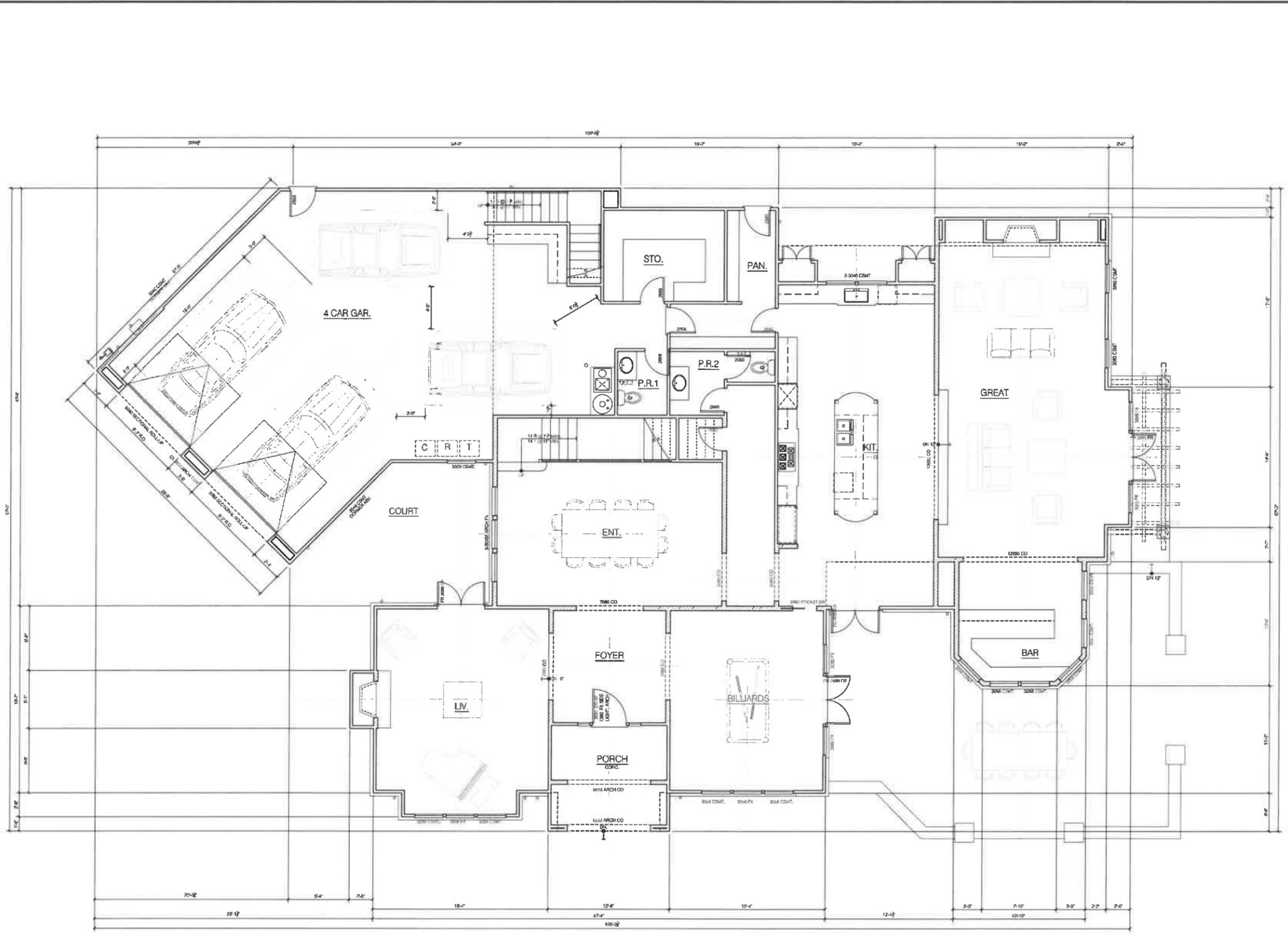
No.	Date	Revision

Sheet Description:

LOT 8  
 PLAN 11 - FRENCH  
 MAIN FLOOR DIMENSION PLAN

Scale: 3/8"=1'-0"

Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Project#: 24000200

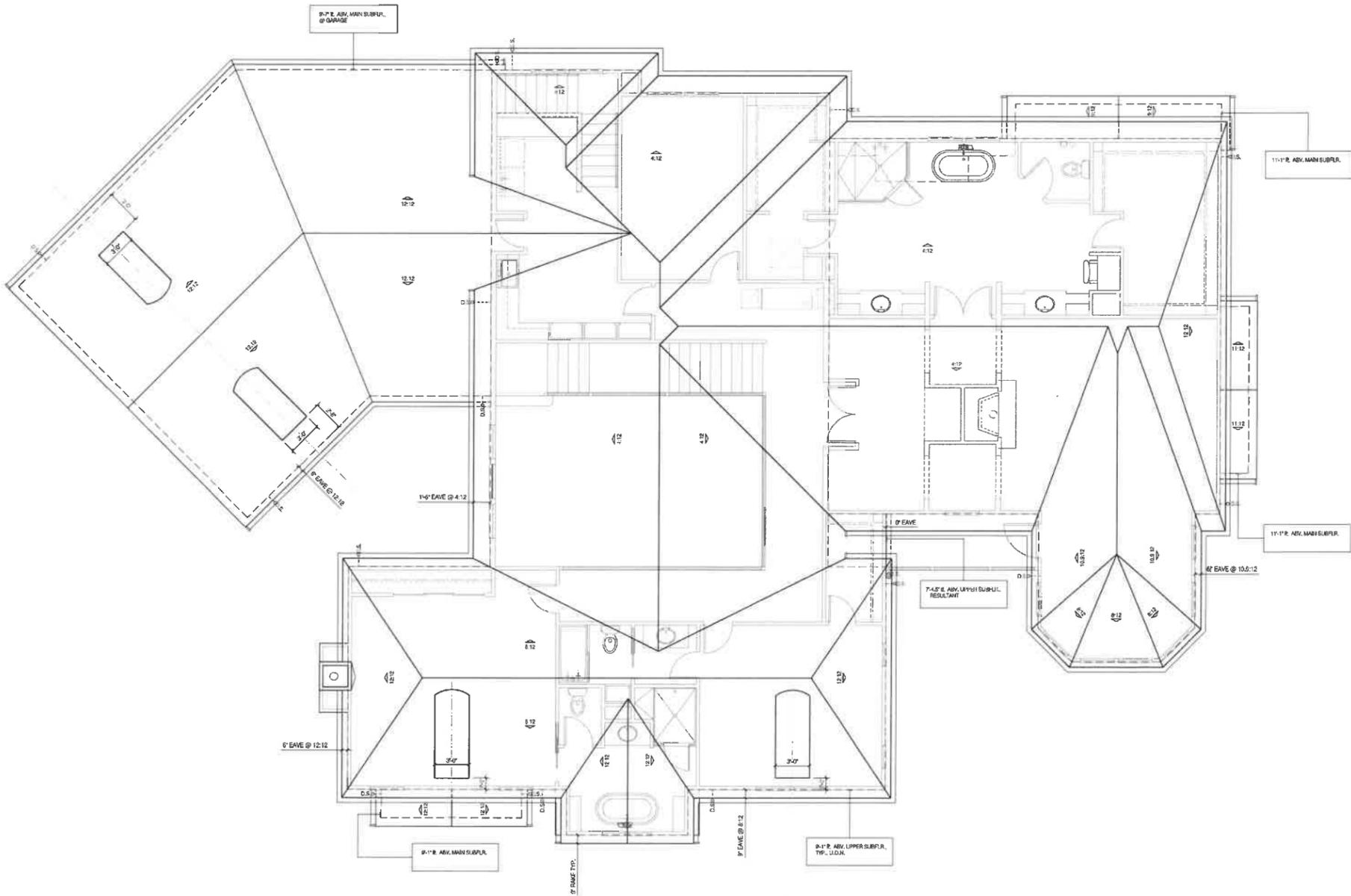


**MAIN FLOOR PLAN**

PLAN 11 - FRENCH      LOT 8

MAIN LIVING: 3,104 SQ. FT.  
 TOTAL LIVING: 5,922 SQ. FT.  
 GARAGE: 1,778 SQ. FT.





**ROOF PLAN**

PLAN 11 - FRENCH LOT 8



444 Spear Street, Suite 105  
 San Francisco, CA 94105  
 www.hunthalejones.com  
 t. 415-512-1300 f. 415-288-0288

**CARNOUSTIE, LLC**  
 2450 SOUTH CABRILLO  
 HIGHWAY, SUITE 200  
 HALF MOON BAY, CA 94019  
 PH: (650) 560-0055  
 FX: (650) 560-9198

**CARNOUSTIE  
 PHASE 4**  
 BAY HILL ROAD  
 HALF MOON BAY, CA 94019

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Revisions:

No.	Date	Revision

Sheet Description:

LOT 8  
 PLAN 11  
 ROOF PLAN

Scale: 3/16"=1'-0"

Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

Date: DR SUBMITTAL SET 06-12-2018

Project#: 245006.00

A8.3.1

9/12/2018 CARNOUSTIE PHASE 4 APPLICATION PACKAGE





Architecture | Planning | Interiors  
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San Francisco, CA 94105  
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t. 415-512-1300 f. 415-288-0288

CARNOUSTIE, LLC  
2450 SOUTH CABRILLO  
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Revisions:

No.	Date	Revision

Sheet Description:

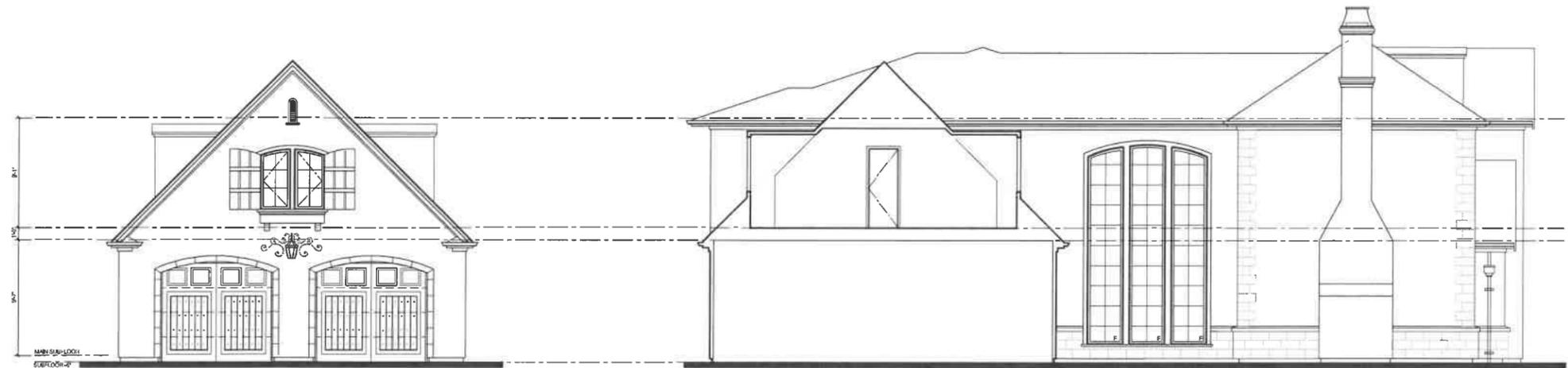
LOT 8  
PLAN 11 - FRENCH  
EXTERIOR ELEVATIONS  
Scale 3/16"=1'-0"  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Date DR SUBMITTAL SET 09-12-2016  
Project# 24500020

A8.5.2



RIGHT ELEVATION

PLAN 11 - FRENCH LOT 8

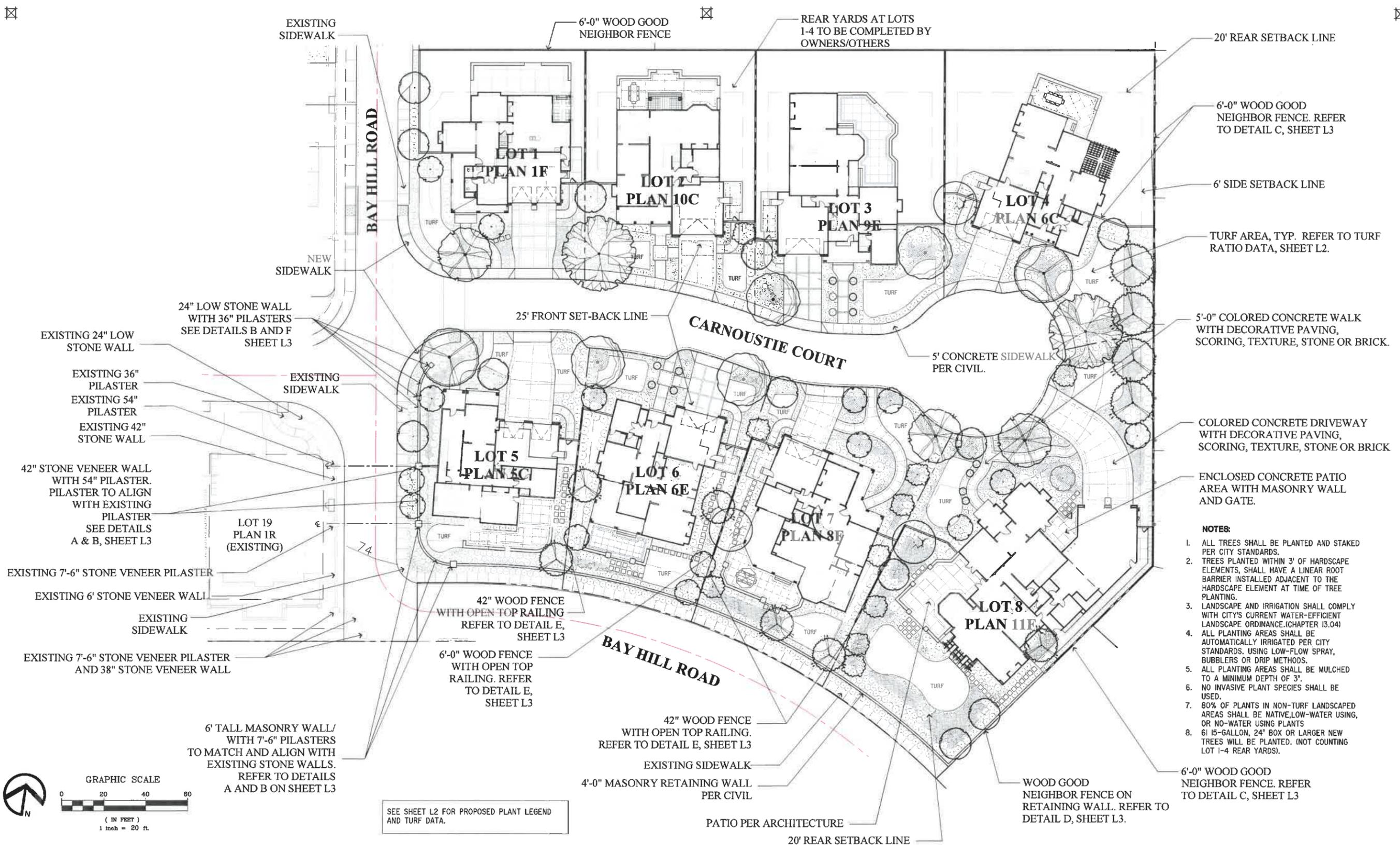


GARAGE ELEVATION

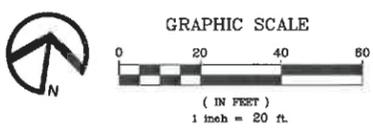
PLAN 11 - FRENCH LOT 8

LEFT ELEVATION

PLAN 11 - FRENCH LOT 8



- NOTES:**
1. ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
  2. TREES PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
  3. LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE (CHAPTER 13.04)
  4. ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS, USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
  5. ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3".
  6. NO INVASIVE PLANT SPECIES SHALL BE USED.
  7. 80% OF PLANTS IN NON-TURF LANDSCAPED AREAS SHALL BE NATIVE, LOW-WATER USING, OR NO-WATER USING PLANTS
  8. 61 15-GALLON, 24" BOX OR LARGER NEW TREES WILL BE PLANTED. (NOT COUNTING LOT 1-4 REAR YARDS).



SEE SHEET L2 FOR PROPOSED PLANT LEGEND AND TURF DATA.

**RIPLEY DESIGN**  
 LANDSCAPE ARCHITECTURE  
 LAND PLANNING  
 1615 BONANZA STREET  
 SUITE 314  
 WALNUT CREEK, CA 94596  
 TEL: 925.938.7377  
 FAX: 925.9387436

CARNOUSTIE, LLC

# Preliminary Landscape Plan

# Carnoustie Phase 4

Half Moon Bay, California

August 28, 2018

**NOTES:**

1. ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
2. TREES PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
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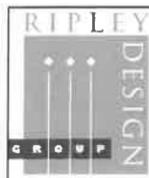
**TURF RATIO DATA:**

Lot	Landscape Area	Turf Area	Turf Percentage	Tier Type
1	3279*	417	13%	2
2	4203*	430	10%	2
3	5933*	525	9%	2
4	7752*	870	11%	2
5	3024	503	17%	2
6	3951	854	22%	2
7	4403	875	20%	2
8	8641	1904	22%	2

\* Assumes Future Rear Yard Landscaping by owners/others at lots 1-4

**PROPOSED PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
ACE BUE	ACER BUERGERIANUM	TRIDEN MAPLE
ACE PAL	ACER PALMATUM	JAPANESE MAPLE
ARB 'MAR'	ARBUTES 'MARINA'	NCN
BET PEN	BETULA PENDULA	BIRCH
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD
GIN BIL	GINKGO BILoba 'AUTUMN GOLD'	GINKGO
LAG IND	LAGERSTROEMIA INDICA	CRAPE MYRTLE
MAG 'L.G.'	MAGNOLIA G. 'ST. MARY'S'	ST. MARY'S MAGNOLIA
MAG 'STE'	MAGNOLIA 'STELLATA'	STAR MAGNOLIA
MAY BOA	MAYTENUS BOARIA	MAYTEN TREE
MET EXC	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE
OLEA 'S.H.'	OLEA E. 'SWAN HILL'	OLIVE
PRU 'KWAN'	PRUNUS 'KWANZAN'	FLOWERING CHERRY
PRU 'K.V.'	PRUNUS C. 'KRAUTER VESUVIUS'	PURPLE FLOWERING PLUM
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK
TRI LAU	TRISTANOPSIS LAURINA	WATER GUM
UMB CAL	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY TREE
<b>SHRUBS</b>		
ABE 'GOU'	ABELIA G. 'EDWARD GOUCHER'	GLOSSY ABELIA
AGA AFR	AGAPANTHUS AFRICANS	LILY-OF-THE-NILE
ARB 'COM'	ARBUTES U. 'COMPACTA'	DWARF STRAWBERRY TREE
AZA SPE	AZALEA SPECIES	AZALEA
BUX JAP	BUXUS M. 'JAPONICA	JAPANESE BOXWOOD
BUS DAY	BUDLEIA 'DAVID'	BUTTERFLY BUSH
DIO 'S.G.'	DIOSMA P. 'SUNSET GOLD'	PINK BREATH OF HEAVEN
ESC 'COM'	ESCALLONIA 'COMPACTA'	ESCALLONIA
EUC 'G.S.'	EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES EUONYMUS
FES MAI	FESTUCA MAIREI	ATLAS FESCUE
GRE 'NOG'	GREVILLEA 'NOELLI'	FERN PINE
HEB 'BUX'	HEBE 'BUXFOLIA'	BOXWOOD-HEBE
HEM HYB	HEMEROCALLIS HYBRID	DAYLILY
JUN 'CON'	JUNIPERUS 'CONICAL TOPIARY'	CONICAL TOPIARY JUNIPER
JUN 'MED'	JUNIPERUS 'MEDORA'	MEDORA JUNIPER
JUN 'SPI'	JUNIPERUS 'SPIRAL TOPIARY'	SPIRAL TOPIARY JUNIPER
LAV 'MUN'	LAVANDULA A. 'MUNSTEAD'	MUNSTEAD LAVENDER
LIG 'TEX'	LIGUSTRUM J. 'TEXANUM'	PRIVET
LIG 'TOP'	LIGUSTRUM 'SPIRAL TOPIARY'	SPIRAL TOPIARY PRIVET
LIM PER	LIMONIUM PEREZII	NCN
LIR 'S.S.'	LIRIOPE 'SILVERY SUNPROOF'	BIG BLUE LILY TURF
LOR 'P.P.'	LOROPETALUM C. 'PURPLE PIXIE'	CHINESE FRINGE FLOWER
LOR 'RAZ'	LOROPETALUM C. 'RAZZLEBERRY'	CHINESE FRINGE FLOWER
MOR BIC	MORAEA BICOLOR	FORTNIGHT LILY
MOR IRI	MORAEA IRIDIODES	FORTNIGHT LILY
MYR 'COM'	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE
MYR 'VAR'	MYRTUS C. 'VARIGATA'	TRUE MYRTLE
NAN 'COM'	NANDINA 'COMPACTA'	HEAVENLY BAMBOO
OLE 'L.O.'	OLEA E. 'LITTLE OLLIE'	DWARF OLIVE
PEN HYB	PENSTEMON HYBRID	GARDEN PENSTEMON
PHO 'B.A.'	PHORMIUM 'BLACK ADDER'	NEW ZEALAND FLAX
PHO 'D.D.'	PHORMIUM 'DARK DELIGHT'	NEW ZEALAND FLAX
PHO 'M.M.'	PHORMIUM 'MAORI MAIDEN'	NEW ZEALAND FLAX
PHO 'VAR'	PHORMIUM T. 'VARIEGATUM'	VARIEGATED NEW ZEALAND FLAX
PHO 'Y.W.'	PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX
PIT EUG	PITTOSPORUM EUGENIODES	NCN
PIT 'S.S.'	PITTOSPORUM T. 'SILVER SHEEN'	NCN
PIT 'VAR'	PITTOSPORUM T. 'VARIEGATA'	VARIEGATED TOBIRA
PIT 'W.D.'	PITTOSPORUM T. 'WHEELER'S DWARF'	DWARF TOBIRA
POD GRA	PODOCARPUS GRACILIOR	FERN PINE
POL 'P.B.'	POLYGALA F. 'PETITE BUTTERFLIES'	DWARF SWEET PEA SHRUB
PRU 'B.T.'	PRUNUS 'BRIGHT & TIGHT'	CAROLINA LAUREL CHERRY
RHA 'E.C.'	RHAMNUS C. 'EVE CASE'	COFFEEBERRY
RHA 'L.S.'	RHAMNUS CAL. 'LITTLE SUR'	DWARF COFFEEBERRY
RHA 'BAL'	RHAPHIOLEPIS 'BALLERINA'	BALLERINA HAWTHORN
RHA 'W.E.'	RHAPHIOLEPIS 'WHITE ENCHANTRESS'	WHITE HAWTHORN
ROS 'C.B.'	ROSA 'CECILE BRUNNER'	SHRUB ROSE
ROS 'ME'	ROSA 'MEIDLAND'	SHRUB ROSE
ROS 'T.B.'	ROSMARINUS O. 'TUSCAN BLUE'	ROSEMARY
STR REQ	STRELITZIA REGINAE	BIRD OF PARADISE
TIB URV	TIBOUCHINA URVILLEANA	PRINCESS FLOWER
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE
VIB JAP	VIBURNUM JAPONICUM	VIBURNUM
VIB 'S.B.'	VIBURNUM T. 'SPRING BOUQUET'	VIBURNUM
VIB SUS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM
VIB TIN	VIBURNUM TINUS	VIBURNUM
XYL COM	XYLOSMA COMPACTA	DWARF XYLOSMA
<b>VINES</b>		
ROS BAN	ROSA BANKSAIE	LADY BANKS ROSE
SOL JAS	SOLANUM JASMINOIDES	POTATO VINE
<b>GROUNDCOVERS</b>		
TURF	BOLERO PLUS AVAILABLE FROM DELTA BLUEGRASS	SOODED TURF
	SCAEVOLA 'MAUVE CLUSTERS' 1 GAL. • 36" O.C.	FAN FLOWER
	ROSMARINUS D. 'PROSTATUS' 1 GAL. • 36" O.C.	ROSEMARY
	APTENIA 'RED APPLE' 1 GAL. • 36" O.C.	APTENIA
	ARCTOSTAPHYLOS 'EMERALD CARPET' 1 GAL. • 36" O.C.	BEARBERRY



**LANDSCAPE ARCHITECTURE  
LAND PLANNING**  
1615 BONANZA STREET  
SUITE 314  
WALNUT CREEK, CA 94596  
TEL: 925.938.7377  
FAX: 925.9387436



CARNOUSTIE, LLC



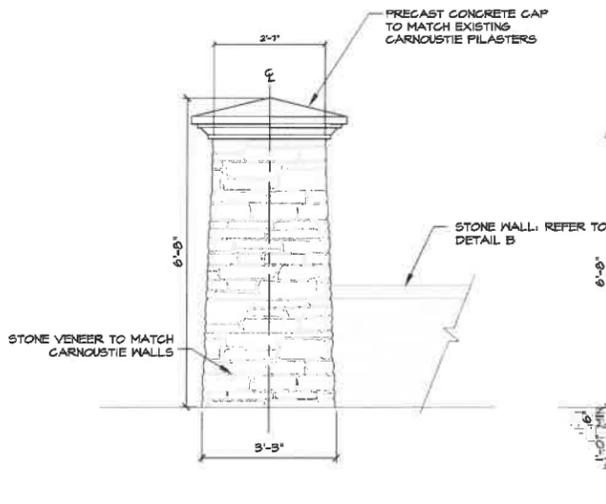
**Preliminary Plant Legend and Data**

**Carnoustie Phase 4**

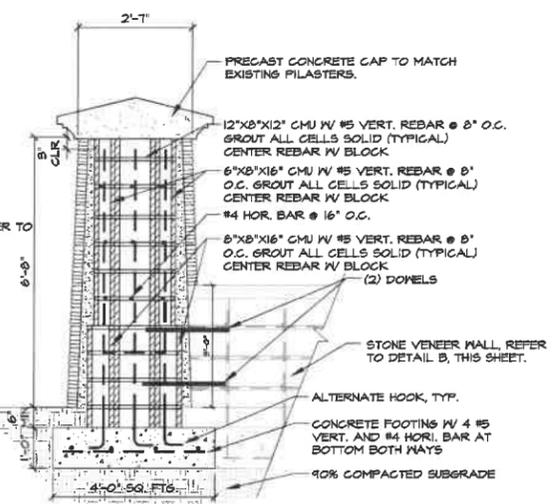
Half Moon Bay, California

August 28, 2018

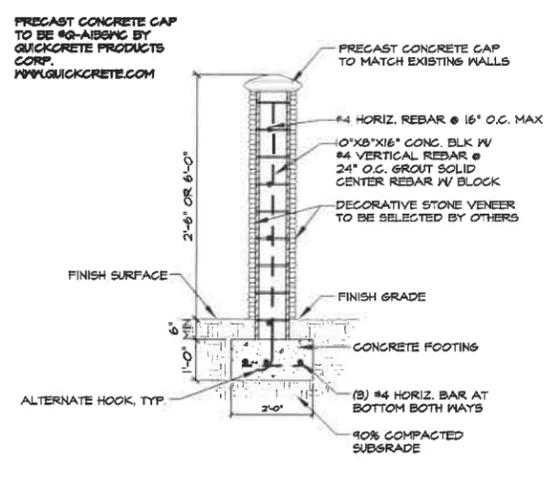
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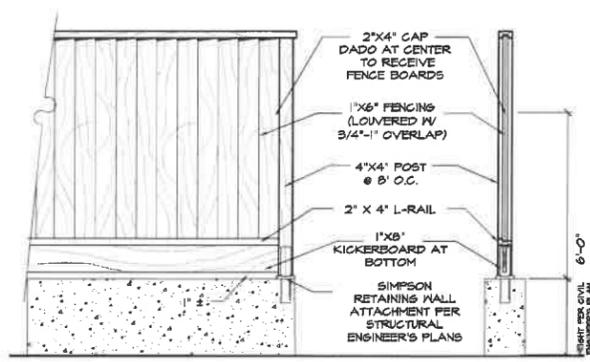
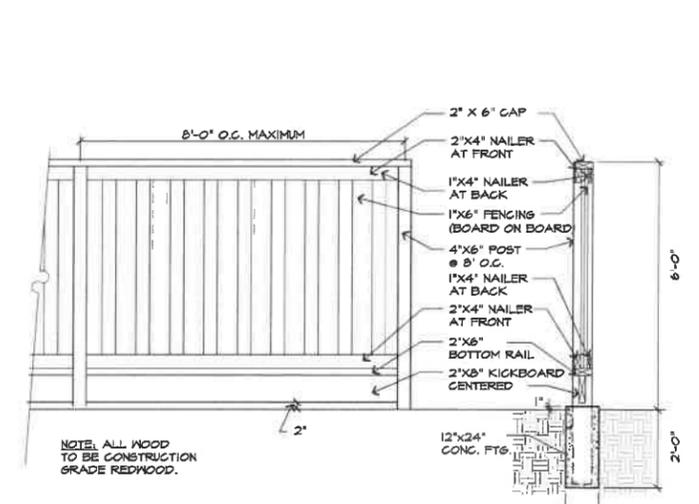
**A ENTRY PILASTER** SCALE: 1/2" = 1'-0" 024 -



**B STONE VENEER WALL** SCALE: 1/2" = 1'-0" 024 -

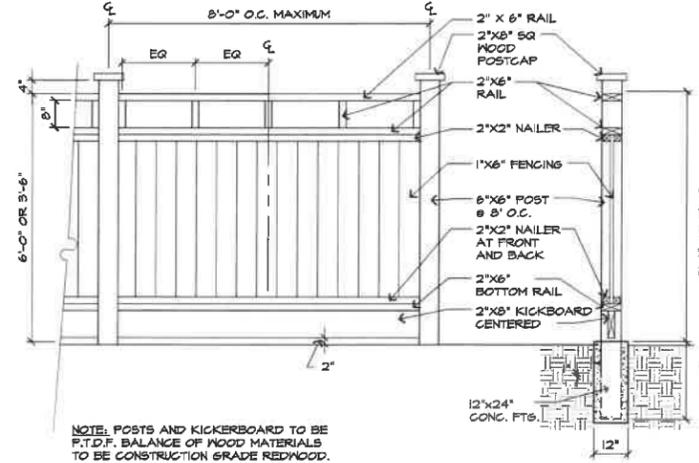


**C WOOD NEIGHBORHOOD FENCE** SCALE: 1/2" = 1'-0" 024 -

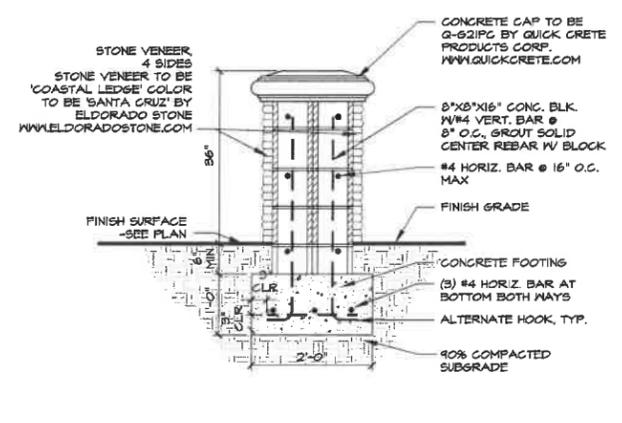


NOTE: ALL WOOD TO BE CONSTRUCTION GRADE REDWOOD

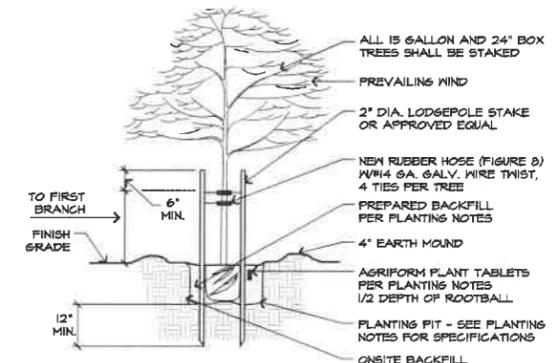
**D 6' WOOD NEIGHBORHOOD FENCE RETAINING WALL** SCALE: 1/2" = 1'-0" 024 -



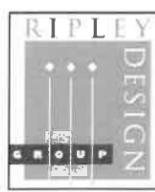
**E ENHANCED SIDE YARD FENCE WITH OPEN TOP RAIL** SCALE: 1/2" = 1'-0" 024 -



**F 36" STONE PILASTER** SCALE: 3/4" = 1'-0" 024 -



**G TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0" 024 -



**LANDSCAPE ARCHITECTURE  
LAND PLANNING**  
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SUITE 314  
WALNUT CREEK, CA 94596  
TEL: 925.938.7377  
FAX: 925.938.7436

CARNOUSTIE LLC

**Preliminary Construction Details**

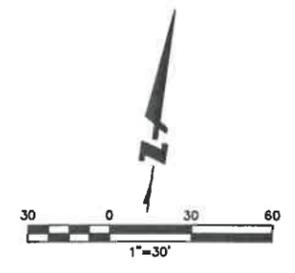
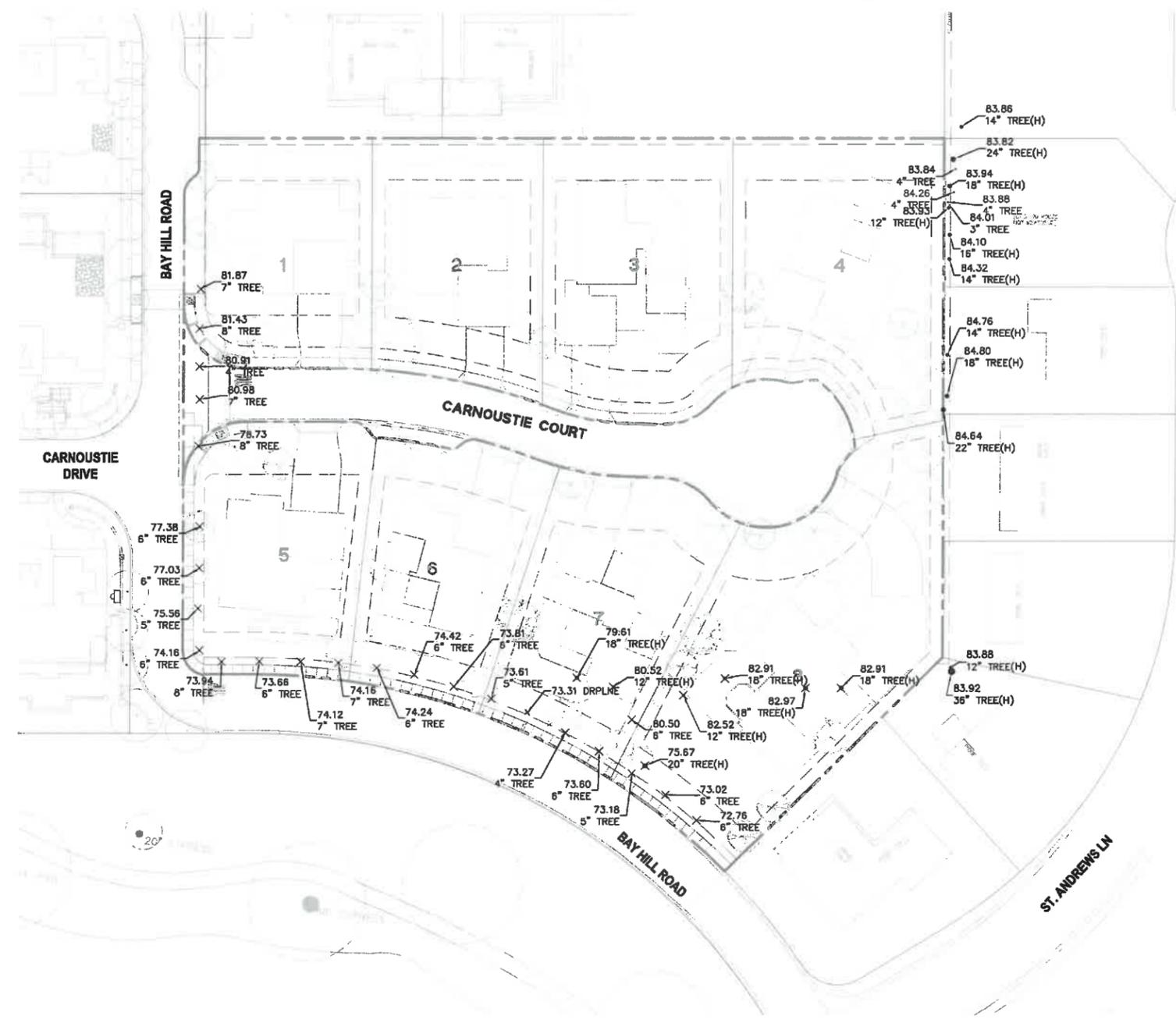
**Carnoustie Phase 4**  
Half Moon Bay, California

August 28, 2018

L3

**VESTING TENTATIVE MAP  
CARNOUSTIE PHASE 4  
TREE SURVEY/REMOVAL PLAN**

CITY OF HALF MOON BAY



**LEGEND**

- PROPERTY LINE
- - - LOT LINE
- XXX.XX EXISTING TREE TO BE REMOVED
- XX" TREE
- XX.XX EXISTING HERITAGE TREE TO BE REMOVED
- XX" TREE(H)

**NOTES**

1. ALL ON-SITE TREES TO BE REMOVED. ALL OFF-SITE TREES TO REMAIN.

TREE DISPOSITION SUMMARY	
HERITAGE TREES TO BE REMOVED	7
NON-HERITAGE TREES TO BE REMOVED	23
NEW TREES (15GAL/24" BOX)	62

DRAWING NAME: K:\Engos\057066\DWG\23\_Subdivision-PH-IV\TA\OPTION-A\SHEETS\08-CA4TMTR.dwg  
PLOT DATE: 09-13-18 PLOTTED BY: orco



Date	09/14/18	No.	1	Revisions
Scale	AS SHOWN	CITY SUBMITTAL #1		
Design	JJ			
Drawn	KA			
Approved	EG			
Job No	057066-23			

**C8.0**



February 18, 2019

**Via Email & US Mail**

Scott Phillips  
Associate Planner  
City of Half Moon Bay  
501 Main Street  
Half Moon Bay, CA 94019

**RE: MAINTENANCE OF STORMWATER FACILITIES WITHIN OCEAN COLONY**

Dear Mr. Phillips;

In connection to PDP-18-074, Ocean Colony Association has been asked to prepare this letter as it relates to the maintenance obligations of the stormwater drainage and treatment system.

Pursuant to the Ocean Colony Association CC&Rs (originally recorded in 1974 and amended several times over the years), Ocean Colony Association maintains all of the common areas within Ocean Colony, including roads, sidewalks, street lighting, park and common area landscaping, perimeter fencing, and the stormwater drainage and treatment systems. As part of Carnoustie Phases 1 -3, the Association assumed the maintenance obligations of the development's stormwater drainage and treatment system which includes an underground microfiltration facility.

We understand that Carnoustie, LLC is currently processing a map and other approvals to develop an additional eight (8) single family homes ("Carnoustie Phase 4"). As part of the Carnoustie Phase 4 project, and subject to the City approval and inspection of any connections, we have agreed to allow Carnoustie, LLC to connect to the existing stormwater drainage and treatment system, and we will assume the maintenance obligations as set forth in the CC&Rs. Attached to this letter please find the manufacturer specifications and maintenance manual for the stormwater treatment system, which includes suggested maintenance services for that system.

If you have any further questions, or require additional information as it relates to the maintenance obligations, please contact me directly at 650-726-7676.

Sincerely,

*Deborah Gatzek Kratter, President  
On behalf of the Board of Directors  
Ocean Colony Association*

*attachment*

**RECOMMENDED EQUIPMENT**

- Safety Equipment (traffic cones, etc)
- Crow bar to remove grate or lid
- Pole with skimmer or net (if floatables removal is not to be done with vactor hose)
- Sediment probe (such as a Sludge Judge®)
- Vactor truck (flexible hose preferred)
- OSHA Confined Space Entry Equipment
- Up-Flo Filter Replacement Media Packs (available from DPS)
- Up-Flo Filter Maintenance Log
- Screwdriver (flat head)
- Replacement Drain Down Filter components supplied by DPS

**MEDIA PACK AND DRAIN DOWN FILTER REPLACEMENT PROCEDURES**

1. Follow Floatables and Sump Cleanout Procedures, 1 – 10.
2. Following OSHA Confined Space Entry procedures, enter the Up-Flo Filter Chamber.
3. Open the Filter Module by turning the three cam latches on the front and sides of the module. Remove the lid **1** to gain access to the Media Pack (Figure 6).
4. Remove and discard the spent **Media Pack**. The **Media Pack** contents include:
  - A top layer of green **2** Flow-Distributing Media.
  - Two (2) Media Bags **3** equipped with nylon handles.
  - A bottom layer of green **2** Flow-Distributing Media.

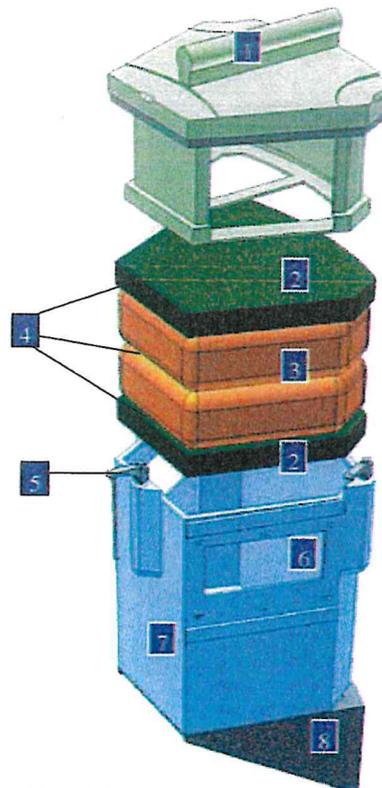
**1. FILTER MODULE COVER AND MEDIA RESTRAINT****2. FLOW-DISTRIBUTING MEDIA****3. FILTER MEDIA BAGS****4. REPLACEABLE MEDIA PACK****5. CAM LATCH****6. CONVEYANCE CHANNEL****7. FILTER MODULE****8. SUPPORT BRACKET / ANGLED SCREEN**

Figure 6: The Filter Module houses the Media Restraint and the Media

9.



- 5. Insert a new Media Pack, supplied by DPS.
  - First, insert a bottom layer of green **Flow-Distributing Media**. Be sure that the media sits snugly and level at the bottom of the Filter Module.
  - Next, insert the first of two (2) replacement **Media Bags**. Smooth the bag out with your hands to make sure that the bag extends snugly to the walls and corners of the Filter Module.
  - Insert the second **Media Bag**, following the same procedure.
  - Insert the top layer of green **Flow-Distributing Media**. Be sure that the piece fits snugly against the walls and corners of the Filter Module.
  - Put the lid on and secure the three latches. Check to make sure that the latches are closed properly.
- 6. Use a screwdriver to unscrew the **Drain Down Filter** from the face of the Outlet Module (see Figure 7). **DO NOT DISCARD THIS PIECE.**
- 7. Install new **Drain Down Filter** supplied by DPS.
- 8. Exit the Up-Flo Filter chamber and securely replace the grate or lid.

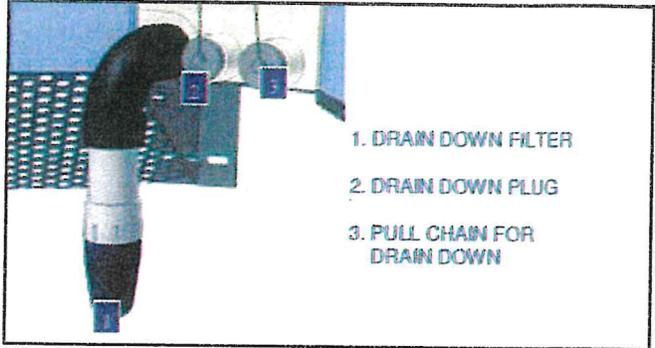


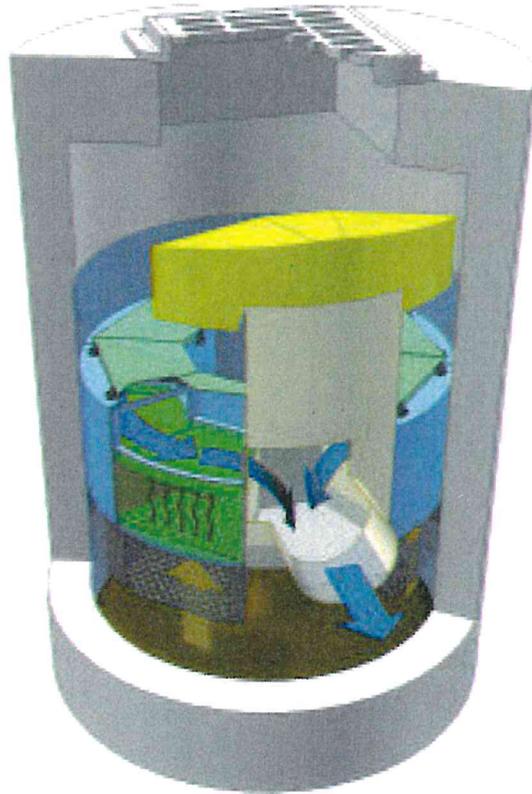
Figure 7: The Drain Down Filter

- 9. On the Maintenance Log provided by DPS, record the date, unit location, estimated volume of floatables, oil and gross debris removed, and the depth of sediment measured. Note the number of Media Packs replaced. Note any irregularities such as damaged components or blockages.
- 10. Remove safety equipment.
- 11. Dispose of spent media packs at your local landfill, following local regulations.
- 12. Return the spent Drain Down Filter to DPS.
- 13. Contact DPS to discuss any irregularities noted during annual maintenance.

## Maintenance at a Glance

ACTIVITY	FREQUENCY
Inspection	- Regularly during first year of installation - Every 6 months after the first year of installation
Floatables/Oils Removal	- Twice per year or as needed - Following a contaminated spill in the drainage area
Sediment Removal	- Twice per year or as needed - Following a contaminated spill in the drainage area
Media Pack Replacement	- Once per year or as needed - Following a contaminated spill in the drainage area
Drain Down Filter Replacement	- Once per year with Media Pack replacement - As needed, in the event of continuous base flow conditions





# The Up-Flo™ Filter

Stormwater Treatment System

Operation and Maintenance Manual

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**DISCLAIMER:** Information and data contained in this manual is exclusively for the purpose of assisting in the operation and maintenance of Hydro International plc's Up-Flo™ Filter. No warranty is given nor can liability be accepted for use of this information for any other purpose. Hydro International plc have a policy of continuous product development and reserve the right to amend specifications without notice.

## Up-Flo™ Filter by Hydro International

Hydro International's Up-Flo™ Filter is the new standard in stormwater treatment.

Designed to meet the most stringent stormwater regulations by targeting a wide range of pollutants including fine sediment, nutrients, bacteria, metals, oils and grease, and organics, the Up-Flo™ Filter is a high rate, modular system that combines a patented upward flow path and unique Drain Down design.

The multiple treatment train capabilities of the Up-Flo™ Filter - settling, screening and filtration - make it the most effective and economical stormwater treatment system available.

### BENEFITS OF UP-FLO™ TECHNOLOGY

- Longer filter runs
- Higher flow capacities
- Resistant to clogging
- 'Self-cleans' during drain-down period
- Media is not submerged between events
- Media does not re-release captured materials

### CAPABILITIES

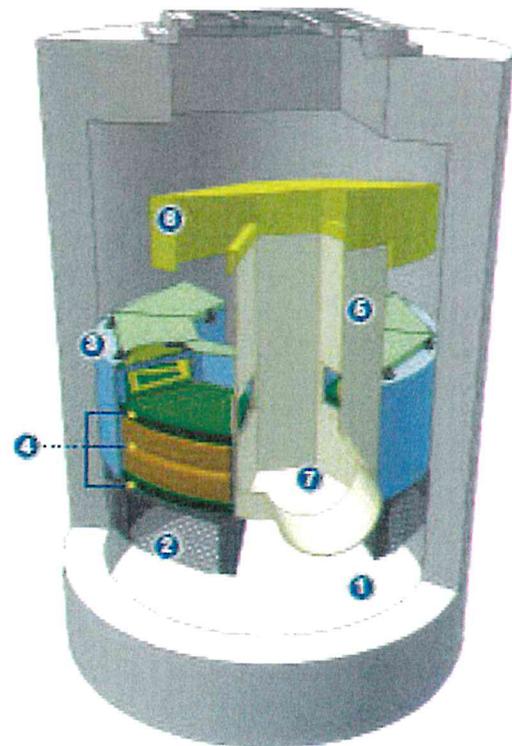
- Removes trash, sediments, nutrients, organics, metals and oils
- No pollutant washouts
- Wide range of treatment flows
- Drain down prevents leaching of captured pollutants
- Modular design allows for easy retrofit installations
- Small footprint
- Easy maintenance

### APPLICATIONS

- New developments and retrofits
- Catch basin or flow-through chambers
- Streets and roadways
- Parking lots
- Vehicle maintenance wash-down yards
- Industrial and commercial facilities
- Wetlands protection
- Utility yards

### UP-FLO™ FILTER COMPONENTS

1. Sump
2. Angled Screen
3. Filter Module
4. Media Pack
5. Outlet Module
6. Bypass Siphon with Floatables Baffle
7. Drain Down Port





## Operation

### INTRODUCTION

The Up-Flo™ Filter operates on simple fluid hydraulics. It is self-activating, has no moving parts, no external power requirements and is fabricated with durable non-corrosive components. No measures are required to operate the unit and maintenance is limited to periodic inspections, sediment and floatables removal, and media pack replacement.

### POLLUTANT CAPTURE

The Up-Flo™ Filter is designed to work as a "treatment train" by incorporating multiple treatment technologies into a single device. Trash and gross debris are removed by sedimentation and screening before they are introduced to the filtration media, preventing the filter media from clogging. The Up-Flo™ Filter is a wet-sump device. In between storm events, oil and floatables are stored on the water surface separate from the sediment storage volume in the sump (see Figure 1). The high-capacity bypass siphon also acts as a floatables baffle to prevent washout of captured floatable pollutants during high-intensity events.

### REDUCED CLOGGING

The Up-Flo™ Filter has been designed to minimize the chance of clogging and blinding. The Up-Flo™ Filter employs a unique Drain Down design that allows the water level in the chamber to drop below the filter media between events. The Drain Down mechanism creates a light backwashing effect that washes captured pollutants off the surface of the filter bag, helping to prevent blinding. By allowing the water to drain out, the drain-down mechanism also reduces the weight of the filter bags. This makes the bags easier and safer to remove during maintenance operations.

### OVERFLOW PROTECTION

The Angled Screens are designed to minimize the chance of ragging and blinding. The Angled Screens are situated below the Filter Modules, sheltering them from the direct path of the influent. Coarse debris settles into the sump before the runoff flows up through the screens, protecting them from blinding. In the unlikely event of a blockage, the high capacity Siphonic Bypass is designed to pass 7 cfs of excess flow directly to the outlet.

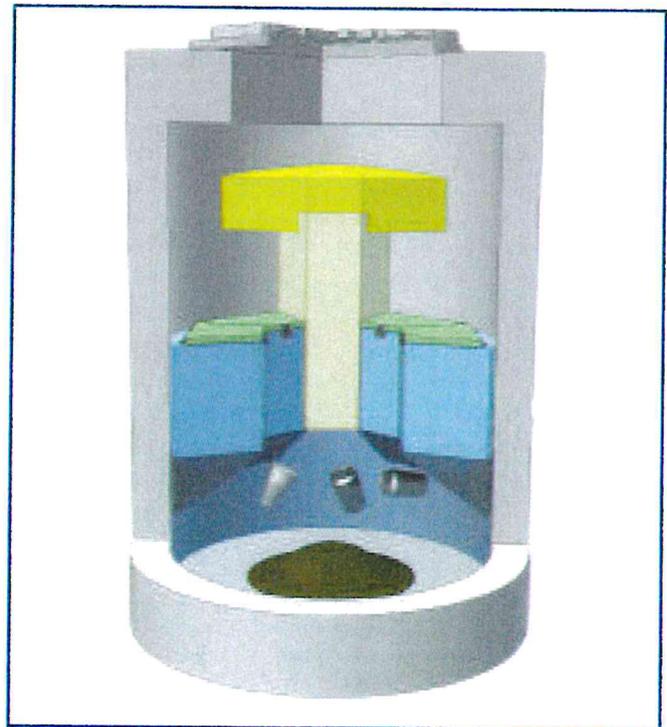


Figure 1: Pollutants captured in the Up-Flo™ Filter

## Maintenance

### OVERVIEW

The Up-Flo™ Filter protects the environment by removing a wide range of pollutants from stormwater runoff. Periodic removal of these captured pollutants is essential to the proper functioning of the Up-Flo™ Filter.

The Up-Flo™ Filter design allows for easy and safe inspection, monitoring and clean-out procedures. The Up-Flo™ Filter has a wide central clearance for easy and comfortable access to the Up-Flo™ Filter components (see Figure 2).

Maintenance events can be categorized as Routine or Annual. Routine maintenance can include inspection, floatables removal and/or sediment removal. Routine maintenance events do not require entry into the Up-Flo™ chamber. In the case of inspection and floatables removal, a vector truck is not required. However, a vector truck is required if the maintenance event is to include sediment removal from the sump of the Up-Flo™ vessel. Annual maintenance includes Media Pack replacement in addition to sediment and floatables removal. In most instances, entry into the Up-Flo™ vessel is required for Media Pack replacement. There is the need to follow OSHA Confined Space Entry procedures when performing annual maintenance.

### DETERMINING YOUR MAINTENANCE SCHEDULE

The frequency of maintenance procedures can be determined in the field after installation. Hydro International, however, recommends that routine maintenance be completed at least every six months during the first year of operation. Typically, annual maintenance is recommended once per year.

During the first year of operation, the unit should be inspected every six months to determine the rate of sediment and floatables accumulation. To prevent from blocking the entryway to the filter media, the sediment must be removed before it completely fills the sump. A simple probe, such as the Sludge-Judge® can be used to determine the level of solids in the sediment storage facility. This information can be recorded in maintenance logs to establish a routine maintenance schedule. Pollutant storage volume will be dependent on the sump depth of the Up-Flo™ Filter. A typical 4-ft round manhole Up-Flo™ Filter has 0.6 yd<sup>3</sup> of sediment storage.

Routine and Annual maintenance procedures for a typical 4-ft diameter manhole Up-Flo™ Filter take less than 30 minutes and removes about 360 gallons of water in the process. Spent Media Bags weigh about 40 lbs. Spent Media Packs should be disposed of at your local landfill.

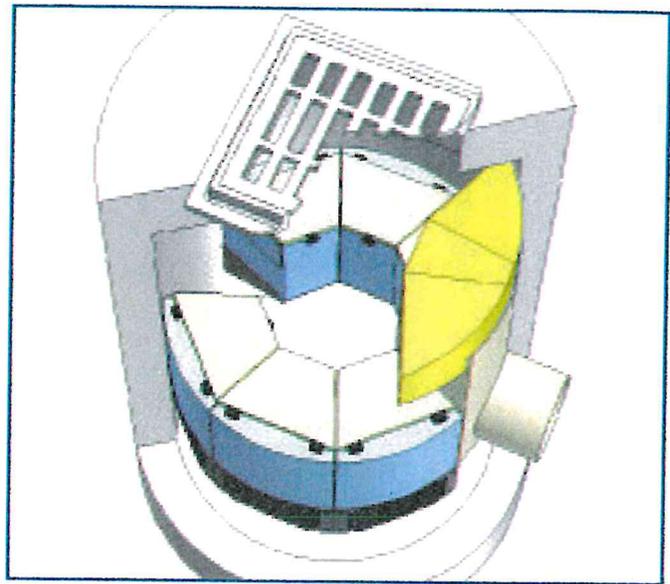


Figure 2: The wide clearance in the Up-Flo™ Filter

### ROUTINE MAINTENANCE PROCEDURE

#### INSPECTION

Inspection is a simple process that does not involve entry into the Up-Flo™ chamber. Maintenance crews should be familiar with the Up-Flo™ Filter and its components prior to inspection.

#### SCHEDULING

- The first year following installation, it is important to inspect your Up-Flo™ Filter regularly to determine your site-specific rate of pollutant accumulation
- Typically, inspection may be conducted during any season of the year

#### RECOMMENDED EQUIPMENT

- Safety Equipment and Personal Protective Equipment (traffic cones, work gloves, etc.)
- Crow bar to remove grate or lid
- Pole with skimmer or net
- Sediment probe (such as a Sludge Judge®)
- Hydro International Up-Flo™ Filter Maintenance Log
- Trash bag for removed floatables
- Up-Flo™ Filter Maintenance Log

**INSPECTION PROCEDURES**

1. Set up any necessary safety equipment (such as traffic cones) around the access port or grate of the Up-Flo™ Filter. Safety equipment should notify passing pedestrian and road traffic that work is being done.
2. Remove the grate or lid to the manhole or vault.
3. Without entering the vessel, look down into the chamber to inspect the inside. Make note of any irregularities. See Figure 4 for a typical Inspection View.
4. Without entering the vessel, use the pole with the skimmer net to remove floatables and loose debris from the chamber.
5. Using a sediment probe such as a Sludge Judge®, measure the depth of sediment that has collected in the sump of the vessel.
6. On the Maintenance Log provided by Hydro International, record the date, unit location, estimated volume of floatables and gross debris removed, and the depth of sediment measured. Also note any apparent irregularities such as damaged components or blockages.
7. Securely replace the grate or lid.
8. Take down safety equipment.
9. Contact Hydro International to discuss any irregularities noted during inspection.

**FLOATABLES AND SUMP CLEANOUT**

A commercially or municipally owned sump-vac is used to remove captured sediment and floatables (Figure 5).

Floatables and loose debris can also be netted with a skimmer and pole. The access port located at the top of the manhole provides unobstructed access for a vactor hose and skimmer pole to be lowered to the base of the sump.

**SCHEDULING**

- Floatables and sump cleanout may typically be done during any season of the year
- Floatables and sump cleanout should occur as soon as possible following a spill in the contributing drainage area

**RECOMMENDED EQUIPMENT**

- Safety Equipment (traffic cones, etc)
- Crow bar to remove grate or lid
- Pole with skimmer or net (if only floatables are being removed)
- Sediment probe (such as a Sludge Judge®)
- Vactor truck (flexible hose preferred)
- Hose, pressure washer, or other screen-cleaning device
- Hydro International Up-Flo™ Filter Maintenance Log

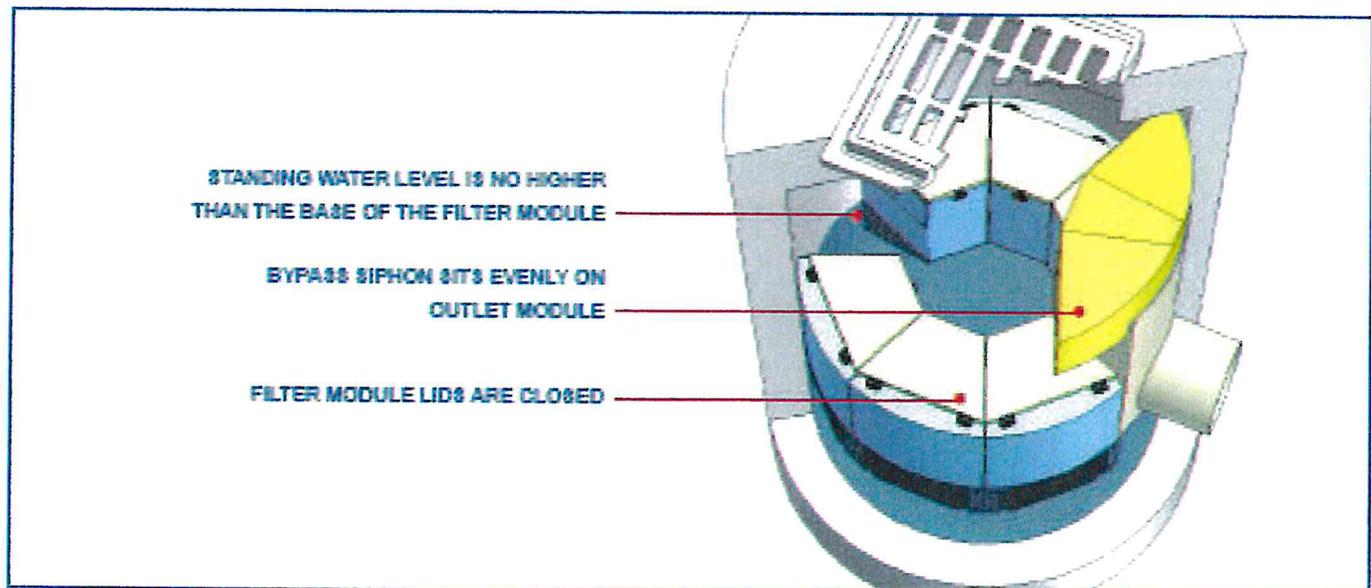


Figure 4: Inspection view of the Up-Flo™ Filter

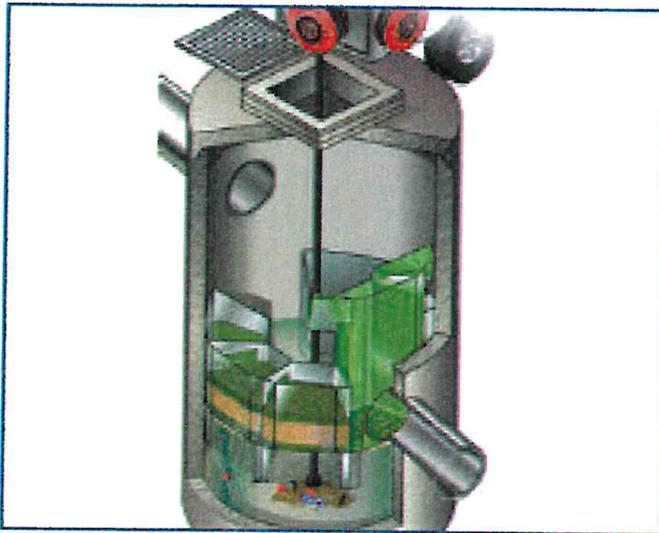


Figure 5: Sediment is removed with a vacuum hose

#### FLOATABLES AND SUMP CLEAN OUT PROCEDURES

1. Set up any necessary safety equipment (such as traffic cones) around the access port or grate of the Up-Flo™ Filter. Safety equipment should notify passing pedestrian and road traffic that work is being done.
2. Remove the grate or lid to the manhole or vault.
3. Without entering the vessel, look down into the chamber to inspect the inside. Make note of any irregularities.
4. Remove floatables stored on the surface of the water with the vacuum hose or the skimmer net.
5. Using a sediment probe such as a Sludge Judge®, measure the depth of sediment that has collected in the sump of the vessel.
6. Once all floatables have been removed, drop the vacuum hose to the base of the sump. Vacuum out the sediment and gross debris off the sump floor.
7. Retract the vacuum hose from the vessel.
8. Inspect the Angled Screens for blockages and ragging. If present, remove any obstructing or ragged materials from the surface using a hose or other screen-cleaning device.
9. On the Maintenance Log provided by Hydro International, record the date, unit location, estimated volume of floatables and gross debris removed, and the depth of sediment measured. Also note any apparent irregularities such as damaged components or blockages.

10. Securely replace the grate or lid.
11. Take down safety equipment.
12. Contact Hydro International to discuss any irregularities noted during cleanout.

#### ANNUAL MAINTENANCE PROCEDURES

##### REPLACEMENT OF MEDIA PACKS

Unless the Up-Flo™ Filter has been installed as a very shallow unit, it is necessary to have an OSHA-trained person enter the vessel to switch out Media Packs.

##### SCHEDULING

- Because Media Pack replacement requires entry into the Up-Flo™ chamber, maintenance events should be scheduled during the dry season
- Media Pack replacement should occur immediately after a spill in the contributing drainage area

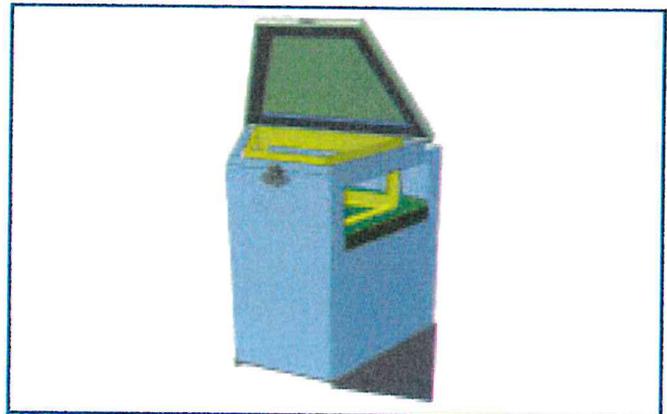


Figure 6: Up-Flo™ Filter Module with open lid



Figure 7: Cut-away view of the Filter Module

**RECOMMENDED EQUIPMENT**

- Safety Equipment (traffic cones, etc)
- Crow bar to remove grate or lid
- Pole with skimmer or net (if floatables removal is not to be done with vector hose)
- Sediment probe (such as a Sludge Judge®)
- Vector truck (flexible hose preferred)
- OSHA Confined Space Entry Equipment
- Up-Flo™ Filter Replacement Media Packs (available from Hydro International)
- Hydro International Up-Flo™ Filter Maintenance Log

**MEDIA PACK REPLACEMENT PROCEDURES**

1. Follow Floatables and Sump Cleanout Procedures 1 – 8.
2. Following OSHA Confined Space Entry procedures, enter the Up-Flo™ Filter Chamber.
3. Open the Filter Module by turning the quarter turn latch on the front of the module. Flip the lid up to gain access to the Media Pack (Figure 6).
4. Remove the Media Restraint (the plastic bracket that sits on the Media Pack). **DO NOT DISCARD THIS PIECE.** See Figure 8.
5. Remove and discard the spent Media Pack. The Media Pack contents include:
  - A top layer of blue Flow-Distributing Media.
  - Two (2) Media Bags equipped with nylon handles.
  - A bottom layer of green Flow-Distributing Media.

1. MEDIA RESTRAINT
2. FLOW-DISTRIBUTING MEDIA
3. FILTER MEDIA BAGS
4. REPLACEABLE MEDIA PACK
6. FILTER MODULE LID
8. CONVEYANCE CHANNEL
7. FILTER MODULE
8. SUPPORT BRACKET / ANGLED SCREEN

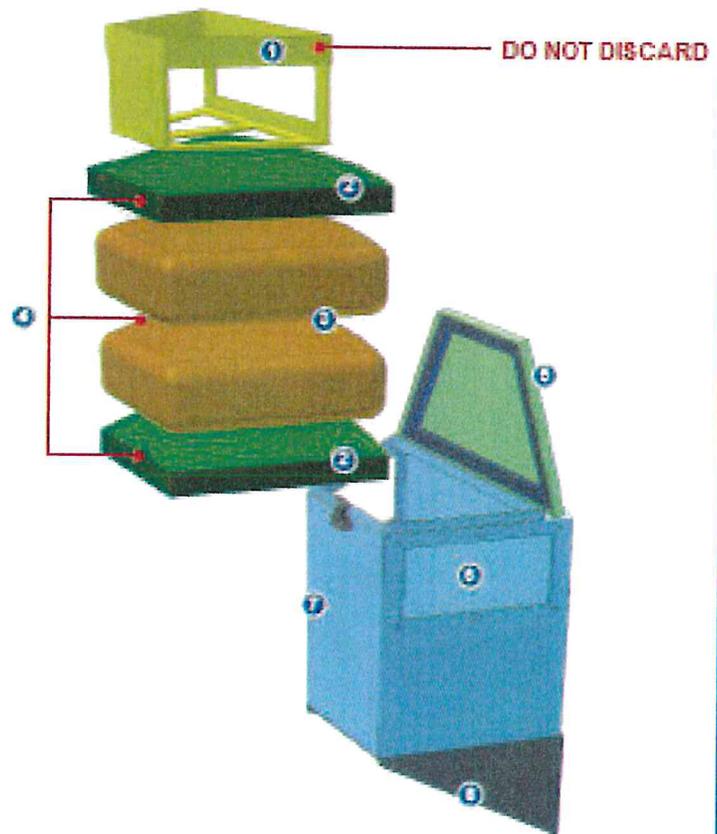


Figure 8: The Filter Module houses the Media Restraint and the Media Pack.

6. Insert a new Media Pack, supplied by Hydro International.
  - First, insert a bottom layer of green Flow-Distributing Media. Be sure that the media sits snugly at the bottom of the Filter Module.
  - Next, insert the first of two (2) replacement Media Bags. Smooth the bag out with your hands to make sure that the bag extends snugly to the walls and corners of the Filter Module.
  - Insert the second Media Bag, following the same procedures.
  - Insert the top layer of Flow-Distributing Media. Be sure that the piece fits snugly against the walls and corners of the Filter Module.
  - Replace the Media Restraint (the plastic bracket) that was set aside earlier.
  - Flip the lid down and close the latch. Check to make sure that the latch is firmly clasped.
7. Lift spent bags out of vessel.
8. On the Maintenance Log provided by Hydro International, record the date, unit location, estimated volume of floatables and gross debris removed, and the depth of sediment measured. Note the number of Media Racks replace. Also note any apparent irregularities such as damaged components or blockages.
9. Securely replace the grate or lid.
10. Take down safety equipment.
11. Dispose of spent media packs at your local landfill.
11. Contact Hydro International to discuss any irregularities noted during annual maintenance.

## Maintenance at a Glance

TYPE	ACTIVITY	FREQUENCY
Routine	Inspection	- Regularly during first year of installation - Every 6 months after the first year of installation
	Floatables Removal	- Twice per year or as needed - Following a spill in the drainage area
	Sediment Removal	- Twice per year or as needed - Following a spill in the drainage area
Annual	Media Rack Replacement	- Once per year or as needed - Following a spill in the drainage area



**Hydro**  
International 

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1219 Briggs Avenue  
Santa Rosa, CA 95401

## Up-Flo™ Filter Installation Log

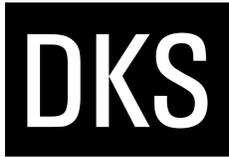
HYDRO INTERNATIONAL REFERENCE NUMBER:	
SITE NAME:	
SITE LOCATION:	
OWNER:	CONTRACTOR:
CONTACT NAME:	CONTACT NAME:
COMPANY NAME:	COMPANY NAME:
ADDRESS:	ADDRESS:
TELEPHONE:	TELEPHONE:
FAX:	FAX:

INSTALLATION DATE:    /    /

CONFIGURATION (CIRCLE ONE):    MANHOLE                      RETROFIT                      VAULT SYSTEM

TOTAL NUMBER OF UP-FLO™ FILTER MODULES:





1970 Broadway, Suite 740  
Oakland, CA 94612-2219  
510.763.2061  
www.dksassociates.com

## MEMORANDUM

DATE: January 22, 2019

TO: Jill Ekas, City of Half Moon Bay

FROM: Josh Pilachowski, DKS Associates  
Aditi Meshram, DKS Associates

SUBJECT: Carnoustie Phase 4 Residential Development Traffic Study

---

The purpose of this memo is to summarize the findings of a traffic study conducted to determine the level of impact for the proposed Carnoustie Phase 4 residential development project in Half Moon Bay. This is performed by determining project trip volumes, calculating the existing intersection Level of Service (LOS) and comparing these with the LOS due to addition of Phase 4, as well as the 2040 future buildout scenario.

The proposed project description includes eight single-family detached residential units to be constructed on a vacant parcel south of Redondo Beach Road at Carnoustie Drive and Bayhill Road in Half Moon Bay, as shown in Figure 1. Access from the proposed project to Highway 1 would be provided via Bayhill Road and Fairway Drive.



Figure 1: Project Site

## METHODOLOGY

To determine potential nearby impacts from the proposed project, previous transportation studies and plans for the surrounding area were reviewed to identify any intersections that are currently operating worse than operational standards or are expected to under future conditions. The relevant finished or ongoing projects that were reviewed include the Carnoustie Phase 1-3 EIR (2007), an ongoing transportation study for the Jameson Hotel, the San Mateo Midcoast Comprehensive Transportation Management Plan (CTMP) (ongoing), and the Plan Half Moon Bay Existing Conditions Report (2014). Based on this review, the following intersections were identified for analysis of potential impacts:

1. Highway 1 & Higgins Canyon Rd/Main Street
2. Highway 1 & Wavecrest Road
3. Highway 1 & Redondo Beach Road
4. Highway 1 & Fairway Drive

As the purpose of this study is to gauge the potential impact from a small-scale development, new counts were not considered necessary unless an impact was determined to potentially exist. Instead, previously collected counts from the CTMP were used for the intersections of Highway 1 & Higgins Canyon Rd/Main Street and Highway 1 & Fairway Drive. Volumes from the 2007 Carnoustie Phase 1-3 with Project conditions for Bayhill Road, Redondo Beach Road and



Wavecrest Road were proportionally scaled up to match Highway 1 volumes from the CTMP, with no additional side street volumes added.

The future (2040) scenario assumes signalized operations at the intersection of Highway 1 & Higgins Canyon Rd/Main Street and removal of the westbound protected right-turn channel from westbound Main Street to northbound Highway 1 as programmed.

Trip generation and assignment were performed to document the expected peak hour trips added to the study intersections due to the proposed project. This analysis step utilized standard ITE trip generation rates (ITE Trip Generation Manual 10<sup>th</sup> Edition) and followed trip assignment patterns as assumed in the Carnoustie Phase 1-3 Study given similar land use. The existing and project volumes were added to obtain existing-plus-project scenario volumes, while future and project volumes were added to get future buildout traffic volumes.

A total of 68 daily trips are expected to be generated from the Phase-4 project, of which 5 external trips would take place during weekday AM peak hours and 7 trips during PM peak hours. During the weekend, 7 external trips would occur during the Saturday midday peak.

**Table 1. Carnoustie Phase-4 Peak Hour Trip Generation**

Residential Land Use (ITE Code 210) - 8 SFDU	Weekday Daily Trips	Weekday AM Peak			Weekday PM Peak			Saturday Midday Peak		
		In	Out	Total	In	Out	Total	In	Out	Total
Trip Rates (In/Out %)	9.44	0.19 (25%)	0.56 (75%)	0.74	0.63 (63%)	0.36 (37%)	0.99	0.50 (54%)	0.43 (46%)	0.93
Project Trips	76	2	4	6	5	3	8	4	3	7
Internal Trip Capture (10%)	8	0	0	-1	-1	0	-1	0	0	0
Net External Trip Generation	68	1	4	5	4	3	7	4	3	7

Based on the above results, delay and LOS were calculated for each intersection for weekday AM/PM peak and weekend peak hour periods. As per Highway Capacity Manual (HCM) 2010, the level of service (LOS) descriptions considering vehicle delay for signalized and unsignalized intersections are shown in Tables 2 and 3 respectively.

**Table 2. LOS Criteria for Signalized Intersections**

Level of Service	Average Control Delay (seconds/vehicle)	General Description
A	≤10	Free Flow
B	>10 - 20	Stable flow (slight delays)
C	>20 - 35	Stable flow (acceptable delays)
D	>35 - 55	Approaching unstable flow (tolerable delay, occasionally wait through more than one signal cycle before proceeding)
E	>55 - 80	Unstable flow (intolerable delay)
F	>80	Forced flow (congested and queues fail to clear)

Source: Highway Capacity Manual 2010, Transportation Research Board, 2010.

**Table 3. LOS Criteria for Unsignalized Intersections**

Level of Service	Average Control Delay (seconds/vehicle)
A	0 - 10
B	>10 - 15
C	>15 - 25
D	>25 - 35
E	>35 - 50
F	>50

Source: Highway Capacity Manual 2010, Transportation Research Board, 2010.

# RESULTS

## Existing Conditions

As shown in Tables 4 and 5, the project does not result in any increase in delay between existing and existing plus project traffic conditions. For the Existing Plus Project Conditions shown in Table 5, the additional trips would not cause the LOS to become deficient (LOS F) and any intersection already operating at LOS F will see a minimal increase in trip volumes of less than 0.3%.

**Table 4. Existing Intersection LOS**

EXISTING CONDITION								
Intersection	Control	Movement/ Approach	Weekday AM Peak		Weekday PM Peak		Saturday Midday Peak	
			Delay (sec)	LOS	Delay (sec)	LOS	Delay (sec)	LOS
Highway 1 & Higgins Canyon Rd/Main Street	TWSC	SBL	9.2	A	8.7	A	9.0	A
		WBL	26.4	D	28.6	D	>50	F
		WBR	26.4	D	28.6	D	>50	F
Highway 1 & Wavecrest Road	TWSC	EBL	26.4	D	36.1	E	>50	F
		NBL	8.7	A	9.6	A	11.4	B
Highway 1 & Redondo Beach Road	TWSC	EBL	24.0	C	33.7	D	>50	F
		NBL	8.7	A	9.6	A	11.5	B
Highway 1 & Fairway Drive	Signalized	All	8.6	A	6.2	A	27.1	C



**Table 5. Existing Plus Project Intersection LOS**

EXISTING PLUS PROJECT CONDITION								
Intersection	Control	Movement/ Approach	Weekday AM Peak		Weekday PM Peak		Saturday Midday Peak	
			Delay (sec)	LOS	Delay (sec)	LOS	Delay (sec)	LOS
Highway 1 & Higgins Canyon Rd/Main Street	TWSC	SBL	9.2	A	8.7	A	9.0	A
		WBL	26.4	D	28.6	D	>50	F
		WBR	26.4	D	28.6	D	>50	F
Highway 1 & Wavecrest Road	TWSC	EBL	26.4	D	36.1	E	>50	F
		NBL	8.7	A	9.6	A	11.4	B
Highway 1 & Redondo Beach Road	TWSC	EBL	24.0	C	33.7	D	>50	F
		NBL	8.7	A	9.6	A	11.5	B
Highway 1 & Fairway Drive	Signalized	All	8.6	A	6.2	A	27.1	C

### Cumulative Conditions

Tables 6 and 7 show the future 2040 baseline and future plus project scenarios, where the intersection of Highway 1 & Higgins Canyon Rd/Main Street is signalized. The additional trips would not cause the LOS to become deficient (LOS F) and any intersection already operating at LOS F will see a minimal increase in trip volumes of less than 0.3%.

**Table 6. Cumulative Intersection LOS**

CUMULATIVE BASELINE								
Intersection	Control	Movement/ Approach	Weekday AM Peak		Weekday PM Peak		Saturday Peak	
			Delay (sec)	LOS	Delay (sec)	LOS	Delay (sec)	LOS
Highway 1 & Higgins Canyon Rd/Main Street	Signalized	Signalized	6.3	A	7.6	A	7.6	A
Highway 1 & Wavecrest Road	TWSC	EBL	>50	F	>50	F	>50	F
		NBL	11.5	B	13.3	B	16.4	C
Highway 1 & Redondo Beach Road	TWSC	EBL	>50	F	>50	F	>50	F
		NBL	11.6	B	13.4	B	16.3	C
Highway 1 & Fairway Drive	Signalized	All	10.3	B	7.2	A	>50	F



**Table 7. Cumulative Plus Project Intersection LOS**

CUMULATIVE PLUS PROJECT								
Intersection	Control	Movement/ Approach	Weekday AM Peak		Weekday PM Peak		Saturday Peak	
			Delay (sec)	LOS	Delay (sec)	LOS	Delay (sec)	LOS
Highway 1 & Higgins Canyon Rd/Main Street	Signalized	N/A (Signalized)	6.3	A	7.6	A	8.0	A
Highway 1 & Wavecrest Road	TWSC	EBL	>50	F	>50	F	>50	F
		NBL	11.5	B	13.3	B	16.4	C
Highway 1 & Redondo Beach Road	TWSC	EBL	>50	F	>50	F	>50	F
		NBL	11.6	B	13.4	B	16.4	C
Highway 1 & Fairway Drive	Signalized	N/A	10.3	B	7.3	A	>50	F

## CONCLUSION

The Carnoustie Phase 4 project-associated traffic would add a very small number of trips to the existing street network and has no significant effect on delay at nearby intersections and therefore would not result in any significant intersection impacts for the weekday AM and PM or Saturday midday peak hours for the Existing Plus Project and 2040 Cumulative Plus Project Conditions. Since no potentially significant intersection impacts have been found for the proposed project and the project is expected to have no appreciable effect on traffic on Highway 1, an infill exception would be appropriate as long as no other non-traffic impacts are identified for the project.



September 20, 2018

Duke Leggett  
Carnoustie, LLC  
c/o Kenmark Real Estate Group  
2450 South Cabrillo Highway, Suite 200  
Half Moon Bay, CA 94019

Re: Biological Reconnaissance Report for the Carnoustie Phase 4 Project, Half Moon Bay, CA

Dear Mr. Leggett,

The purpose of this Biological Reconnaissance Report (BRR) is to determine if sensitive biological resources are present on the property located on Bayhill Road as a part of the Carnoustie Phase 4 development (Project), Half Moon Bay, San Mateo County, California (Figure 1 in Attachment A). This BRR was performed to determine if the Project is located in or within 100 feet of any sensitive habitat area, riparian corridor, bluff and sea-cliff areas, and any wetland under Chapter 18.38.035 of the City of Half Moon Bay Municipal Code, and determine whether the Project site has value as habitat for endangered, rare, or threatened species under Section 15332 of the California Environmental Quality Act (CEQA) Guidelines. Endangered, rare, or threatened species are defined in Section 15380 of the CEQA Guidelines.

The Project involves the construction of several residences on a portion of Assessor's Parcel Number [APN] 066-092-230 and Parcel H on Bayhill Road (Project Area). The evaluation focused on the Project Area and surrounding 100 feet (Study Area; Figure 2 in Attachment A). A site assessment and investigation of potential Sensitive Habitat Areas listed by the City (Chapter 18.38.020) was conducted on August 24, 2018.

This report evaluates existing biological conditions and describes any Sensitive Habitat Areas and/or endangered, rare, or threatened species in the Study Area. Figures are provided as Attachment A, a list of plant and wildlife species observed is provided in Attachment B, and photographs of the Study Area conditions are provided in Attachment C.

## **Project Description**

The proposed Project is eight single family residences along a new cul-de-sac extending from Bayhill Road and opposite Carnoustie Drive in the existing Ocean Colony development. The project is the final phase of the Carnoustie Project, and new houses will be comparable in size, style and finish to those completed in Phases 1-3. Phase 4 will involve the grading and development of the Project Area and removal of some landscaped trees.

## Survey Methods

### Biological Communities

On August 24, 2018, the Study Area was traversed on foot to determine (1) plant communities present within the Study Area, (2) if existing conditions provide suitable habitat for any endangered, rare, or threatened plant or wildlife species, and (3) if Sensitive Habitat Areas as defined by Chapter 18.38. 020 (A) are present. Prior to the site visit, aerial photographs, local soil maps, the *List of Vegetation Alliances* (CDFG 2010), and *A Manual of California Vegetation* (Sawyer et al. 2009) were reviewed to assess the potential for sensitive biological communities to occur in the Study Area. Plant nomenclature follows Baldwin et al. (2012) and subsequent revisions by the Jepson Flora Project (2018), except where noted. Because of recent changes in classification for many of the taxa treated by Baldwin et al. and the Jepson Flora Project, relevant synonyms are provided in brackets. For cases in which regulatory agencies, CNPS, or other entities base rarity on older taxonomic treatments, precedence was given to the treatment used by those entities.

In addition to the identification of upland plant communities and species, additional analysis was conducted to determine the presence of any plant communities that meet the definition of a wetland under the Coastal Act and City of Half Moon Bay LCP definitions. Plant species identified in the Study Area were assigned a wetland status according to the National Wetland Plant List (Lichvar et al. 2016). This wetland classification system is based on the expected frequency of plant species occurrence in wetlands as follows:

<b>Classification (Abbreviation)</b>	<b>Definition*</b>	<b>Hydrophytic Species? (Y/N)</b>
Obligate (OBL)	Almost always is a hydrophyte (>99% frequency), rarely in uplands	Y
Facultative Wetland (FACW)	Usually is a hydrophyte (67–99% frequency), but occasionally found in uplands	Y
Facultative (FAC)	Commonly occurs as either a hydrophyte or non-hydrophyte (34–66% frequency)	Y
Facultative Upland (FACU)	Occasionally is a hydrophyte (1–33% frequency), but usually occurs in uplands	N
Upland/Not Listed (UPL/NL)	Rarely is a hydrophyte (<1% frequency), almost always in uplands	N

\*See Lichvar (2016).

### Endangered, Rare, or Threatened Species

#### *Literature Review*

Potential occurrence of endangered, rare, or threatened species in the Study Area was evaluated by first determining which endangered, rare, or threatened species occur in the vicinity of the Study Area through a literature and database search. Database searches for known occurrences of endangered, rare, or threatened species focused on the Half Moon Bay,

Montara Mountain, San Mateo, Woodside, La Honda, and San Gregorio 7.5 minute U.S. Geological Survey (“USGS”) quadrangles. The following sources were reviewed to determine which endangered, rare, or threatened plant and wildlife species have been documented to occur in the vicinity of the Study Area:

- California Natural Diversity Database records (CDFW 2018)
- USFWS Information for Planning and Conservation (IPaC; USFWS 2018)
- CNPS Electronic Inventory records (CNPS 2018)
- CDFG publication “California’s Wildlife, Volumes I-III” (Zeiner et al. 1990)
- CDFG publication “California Bird Species of Special Concern” (Shuford and Gardali 2008)
- CDFW publication “California Amphibian and Reptile Species of Special Concern” (Thomson et al. 2016)
- A Field Guide to Western Reptiles and Amphibians (Stebbins 2003)
- City of Half Moon Bay Local Coastal Plan (1993)
- Invasive Plant Inventory Database (Cal-IPC 2018)

#### *Site Assessment*

An investigation of the Study Area was conducted to determine if existing conditions provide suitable habitat for any endangered, rare, or threatened plant or wildlife species. The potential for each endangered, rare, or threatened species to occur in the Study Area was evaluated according to the following criteria:

- No Potential. Habitat in the Study Area is clearly unsuitable for the species requirements (foraging, breeding, cover, substrate, elevation, hydrology, plant community, site history, disturbance regime).
- Unlikely. Few of the habitat components meeting the species requirements are present, and/or the majority of habitat in the Study Area is unsuitable or of very poor quality. The species is not likely to be found in the Study Area.
- Moderate Potential. Some of the habitat components meeting the species requirements are present, and/or only some of the habitat in the Study Area is unsuitable. The species has a moderate probability of being found in the Study Area.
- High Potential. All of the habitat components meeting the species requirements are present and/or most of the habitat in the Study Area is highly suitable. The species has a high probability of being found in the Study Area.
- Present. Species is observed in the Study Area or has been recorded (i.e. CNDDDB, other reports) in the Study Area recently.

The Study Area investigation was intended to identify the presence or absence of suitable habitat for each endangered, rare, or threatened species known to occur in the vicinity in order to determine its potential to occur in the Study Area. The BRR does not constitute a protocol-level survey and was not intended to determine the actual presence or absence of a species; however, if an endangered, rare, or threatened species was observed during the site visit, its presence was recorded and discussed.

The following sections present the results and discussion of the BRR within the Study Area.

## Results

### Study Area Description

The Study Area is located in Half Moon Bay, California, within an existing residential neighborhood. In the Study Area, residences and buildings are present to the north, east, and west of the proposed Project, and Bayhill Road and a golf course is present to the south of the proposed Project. The Study Area is dominated by non-native herbaceous vegetation, landscaped vegetation, roads, and residences. To the north of the Study Area exists Redondo Beach Road and undeveloped open space, east and west of the Study Area are residences, and the golf course with landscaped vegetation is present to the south.

A portion of the Project Area previously contained a ranch house and associated buildings; however, currently only a compacted access road remains; all structures have been removed. The majority of the Project Area is currently bare ground with sparse non-native herbaceous vegetation growing. An area in the southern portion of the Project Area along Bayhill Road is landscaped and maintained vegetation installed as part of the Carnoustie Phase 1-3.

Based on the site investigation, no sensitive biological communities were found. Non-sensitive biological communities in the Study Area include developed/landscaped, and ruderal/disturbed. Figure 3 (Attachment A) depicts biological communities within the Study Area.

Table 1. Biological Community Acreages within the Study Area.

<b>Biological Community</b>	<b>Listed as Sensitive<sup>1,2</sup></b>	<b>Acreage (Project Area/Study Area)</b>	
Developed/Landscaped	No	On-site	0.33
		Off-site	3.25
Ruderal/disturbed	No	On-site	2.07
		Off-site	0.46
<b>Project Area Total (On-site)</b>		<b>2.40</b>	
<b>Study Area Total (On-site + Off-site)</b>		<b>6.11</b>	

<sup>1</sup>Determination based on the *List of California Terrestrial Natural Communities* (CDFG 2010)

<sup>2</sup>Determination based on the *Half Moon Bay Local Coastal Program* (HMB 1993) and *Coastal Resource Zoning Code* (HMB 2016)

### Non-sensitive Biological Communities

#### *Developed/Landscaped*

The Study Area contains developed habitats consisting of residential housing, paved roads, and associated infrastructure. Existing vegetation is landscaped within this community, ornamentals are present along several roadsides within the Study and Project Area. Landscaped vegetation in the Study Area near residences and the golf course includes wax myrtle (*Morella cerifera* NL), Monterey cypress (*Hesperocyparis macrocarpa* NL), Toyon (*Hetermeles arbutifolia* NL), and one Monterey pine (*Pinus radiata* NL).

Monterey pine forests only occur naturally in three stands in California; near Año Nuevo in Santa Cruz and San Mateo counties, in Cambria in San Luis Obispo County, and on the Monterey Peninsula. Only native Monterey pine groves are considered rare, with a Rarity Ranking of G1 S1.2.

Monterey pines outside of the native range are not sensitive; however, Monterey pine is a unique species under the LCP.

#### *Ruderal/Disturbed*

Ruderal/disturbed community is present throughout the Study and Project Area. Non-native annuals dominate this community and include Italian rye grass (*Festuca perennis* FAC), slender oat (*Avena barbata* NL), bristly ox tongue (*Helminthotheca echioides* FAC), crabgrass (*Digitaria* sp. NL), curly dock (*Rumex crispus* FAC), and soft brome (*Bromus hordeaceus* FACU).

This community within the Project Area is predominantly bare and scraped ground with sparse non-native herbaceous vegetation. Although plant species listed as FAC (meaning 50 percent chance in uplands and 50 percent chance in wetlands) were observed, there is no area in which hydrophytic species were dominant. In addition, no hydric soils or wetland hydrology indicators were observed. The presence of these non-native annual FAC plant species is not indicative of wetland conditions but rather the species' invasive tendencies and adaptation to persistent coastal fog conditions. Therefore it was determined during the August 24, 2018 that there are no wetlands subject to Section 404 of the Clean Water Act nor coastal wetlands as defined by City of Half Moon Bay LCP and/or California Coastal Commission.

#### *Sensitive Habitat Areas (Chapter 18.38.020)*

No sand dunes; marine habitats; sea cliffs; riparian areas; wetlands, coastal tidelands and marshes, lakes and ponds, and adjacent shore habitats; coastal and off-shore areas supporting water-associated birds; areas used for scientific study for fish and wildlife and existing game or wildlife refuges; rocky intertidal zones; and coastal scrub community associated with coastal bluffs and gullies are present in the Study Area.

No habitats containing or supporting rare and endangered species defined by the State Fish and Game Commission or the federal Endangered Species Act are present within the Study Area. However, habitats containing or supporting unique species under the LCP were also considered. Unique species are defined in Chapter 18.38.090 and include raptors, California red-legged frog, sea mammals, California wild strawberry, and Monterey pine.

No habitat is present for California red-legged frog which is discussed in more detail in the following section. Sea mammals and California wild strawberry are not present in the Study Area. One Monterey pine is present in the Project Area in the southern portion which was planted in a landscaped section during Carnoustie Phase 1-3.

No habitat is present for raptors in the Project Area. Trees in the Project Area are not of sufficient size or structure to support nesting raptors. Trees in the Study Area are also unlikely to support raptor nesting based on the structure of the trees including the Monterey cypress in the eastern portion and eucalyptus in the northwest. In addition, no evidence of raptor nesting was observed in these trees. Trees along Redondo Beach Road are outside of the Study Area. The Study Area is predominantly developed/landscaped or ruderal and does not provide significant foraging habitat for raptors. Raptors may opportunistically forage in the Study Area; however, the size and habitat present does not constitute a primary foraging area. This is consistent with previous biological studies which included the Study Area between 2004 and 2007 for the Carnoustie Phase 1-3 Project. These studies determined that the trees (including the trees in the current Study Area) had unlikely or no potential nesting habitat for raptors (see Carnoustie Residential Project 200 ft. Biological Assessment, WRA, Inc, May 18, 2006, p.11; Carnoustie Residential Development, FEIR, LSA, February 2007, pp. 105-114).

## Endangered, Rare, or Threatened Species

### *Plants*

A list of observed plant species in the Study Area is presented in Attachment B. No endangered, rare, or threatened plant species were observed during WRA's August 2018 site visit. No endangered, rare, or threatened plant species have been documented within 5 miles of the Study Area in the CNDDDB (CDFW 2018), and none are likely to occur within the Study Area based on a lack of suitable habitat. No coastal scrub, prairie, marsh, dune, or wetland habitats are present.

### *Wildlife*

Based upon a review of the resources and databases, 21 endangered, rare, or threatened wildlife species have been documented in the vicinity of the Study Area. Four endangered, rare, or threatened wildlife species have been documented within 5 miles of the Study Area in the CNDDDB (CDFW 2018), and include California red-legged frog (*Rana draytonii*), San Francisco gartersnake (*Thamnophis sirtalis tetrataenia*), marbled murrelet (*Brachyramphus marmoratus*), and steelhead (central California coast DPS; *Oncorhynchus mykiss irideus*).

No endangered, rare, or threatened wildlife species are likely to occur based on a lack of suitable habitat within the Study Area. No ponds, wetlands, serpentine, scrub, old-growth forest, stream, or marsh habitat is present within the Study Area. Two species listed under the federal Endangered Species Act that are unlikely to occur but are documented in proximity are discussed further below.

**San Francisco Garter Snake (*Thamnophis sirtalis tetrataenia*; SFGS), Federal Endangered, State Endangered, CDFW Fully Protected, LCP Rare Species.** The preferred habitat of the SFGS is a densely vegetated pond near an open hillside where they can sun themselves, feed, and find cover in rodent burrows; however, considerably less ideal habitats can be successfully occupied. Temporary ponds and other seasonal freshwater bodies are also used. Emergent and bankside vegetation such as cattails (*Typha* spp.), bulrushes (*Scirpus* spp.) and spike rushes (*Juncus* spp. and *Eleocharis* spp.) apparently are preferred and used for cover. The area between stream and pond habitats and grasslands or bank sides is used for basking; while nearby dense vegetation or water often provide escape cover. Snakes also use floating algal or rush mats, if available.

There are two significant components to SFGS habitat: 1) ponds that support California red-legged frog (*Rana draytonii*, CRLF), American bullfrog (*Lithobates catesbeiana*), or the Pacific treefrog (*Pseudacris regilla*) and 2) surrounding upland that supports Botta's pocket gopher (*Thomomys bottae*) and the California meadow vole (*Microtus californicus*) (USFWS 2006). Ranid frogs are an obligate component of the SFGS's diet (USFWS 2006).

The Study Area does not contain aquatic or pond habitat and no cover or refugia is present to support this species. Therefore it is unlikely SFGS is present in the vicinity and unlikely to occur within the Study Area. The Study Area does not provide any habitat value for this species.

**California red-legged frog (*Rana draytonii*; CRLF), Federal Threatened, CDFW Species of Concern, LCP Unique Species.** Typical CRLF breeding habitat is characterized by deep and still or slow-moving water associated with emergent marsh and/or riparian vegetation. CRLF often seek upland refugia during the dry months, over-summering in small mammal burrows, moist leaf litter, incised stream channels, or large cracks in the bottom of dried ponds (Jennings

and Hayes 1994). Adult and sub-adult CRLF may disperse between breeding habitats and nearby riparian and/or estivation habitats during the respective rainy season and summer. During such dispersals, frogs can travel up to one mile over a variety of topographic and habitat types during rain events or wet weather (Bulger et al. 2003, Fellers and Kleeman 2007, USFWS 2010); however, typical dispersal distances are less than 0.5 mile (Fellers 2005). Dispersal habitat is defined as accessible upland or riparian habitats between occupied locations within one mile of each other that allow for movement between these sites and do not contain barriers to movement (USFWS 2010). Moderate to high density urban or industrial developments, large reservoirs and heavily traveled roads without bridges or culverts are considered barriers to dispersal (USFWS 2010).

The Study Area does not contain aquatic or pond habitat and no cover or upland refugia is present. Therefore it is unlikely CRLF is present in the vicinity and unlikely to occur within the Study Area. The Study Area does not provide any habitat value for this species.

### **Summary**

This BRR determined the Project Area does not contain a sensitive habitat area as defined in Chapter 18.38.035 of the City of Half Moon Bay Municipal Code nor is it within 100 feet (Study Area) of a sensitive habitat area. Neither the Project Area nor the larger Study Area contain sensitive communities including LCP defined sensitive habitat areas or coastal wetlands.

The Project Area is developed/landscaped or ruderal habitats; however, one Monterey pine, a unique species in the LCP, is present at the southern edge of the Project Area. The Monterey pine was planted as part of the Carnoustie Phase 1-3 Project. Therefore, WRA concludes that this tree should not be considered a sensitive habitat area; however, the City will need to make this determination on conformance with Chapter 18.38.035.

The Project and Study Areas also do not support and are not likely to support endangered, rare, or threatened species under Section 15332 of the CEQA Guidelines. No endangered, rare, or threatened plant or wildlife species are present or have a moderate or high potential to be present.

Sincerely,



Patricia Valcarcel  
Associate Wildlife Biologist

### **Attachments**

- Attachment A – Figures
- Attachment B – Plant and Wildlife Species Observed
- Attachment C – Representative Photographs

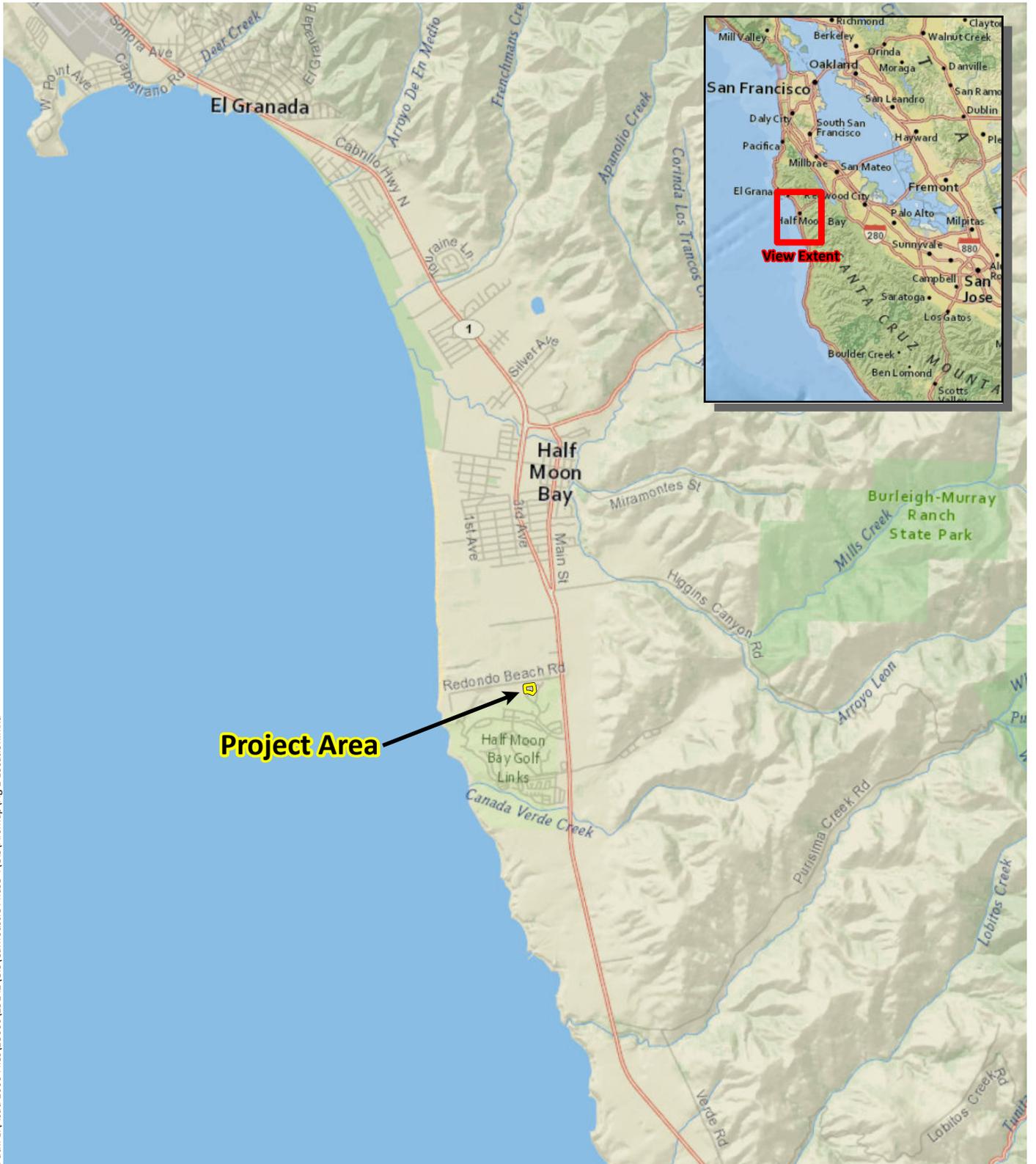
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**Attachment A**

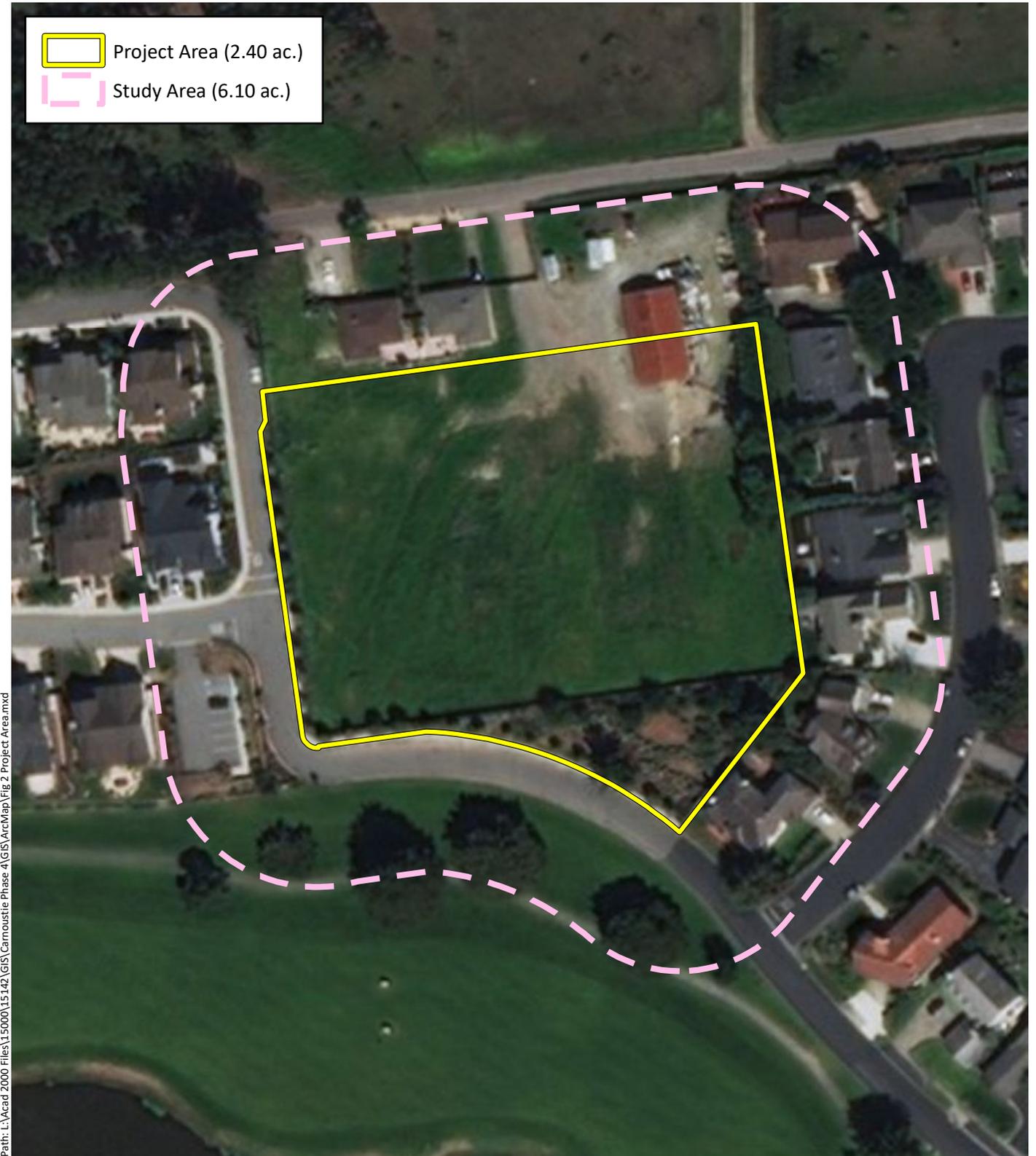
**Figures**



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Sources: National Geographic, WRA | Prepared By: czumwalt, 8/31/2018

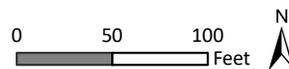
**Figure 1. Project Area Location**



Sources: National Geographic, WRA | Prepared By: czumwalt, 9/4/2018

**Figure 2. Project and Study Area**

Carnoustie Phase 4  
Half Moon Bay, California



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Sources: National Geographic, WRA | Prepared By: czumwalt, 9/12/2018

**Figure 3. Biological Communities within the Study Area**

**Attachment B**

**Plant and Wildlife Species Observed**

Attachment B-1. Plant species observed in the Study Area on August 24, 2018.

Scientific Name	Common Name	Origin	Life Form	Rarity Status <sup>1</sup>	Invasive Status <sup>2</sup>	Wetland Indicator <sup>3</sup>
<i>Arum italicum</i>	Italian lords and ladies	non-native	perennial herb	-	-	-
<i>Baccharis pilularis</i>	Coyote brush	native	shrub	-	-	-
<i>Bromus catharticus</i>	Rescue grass	non-native	annual, perennial grass	-	-	-
<i>Bromus hordeaceus</i>	Soft chess	non-native (invasive)	annual grass	-	Limited	FACU
<i>Cirsium vulgare</i>	Bullthistle	non-native (invasive)	perennial herb	-	Moderate	FACU
<i>Digitaria sanguinalis</i>	Crabgrass	non-native	annual grass	-	-	FACU
<i>Ehrharta erecta</i>	Upright veldt grass	non-native (invasive)	perennial grass	-	Moderate	-
<i>Epilobium brachycarpum</i>	Willow herb	native	annual herb	-	-	-
<i>Epilobium ciliatum</i>	Slender willow herb	native	perennial herb	-	-	FACW
<i>Epilobium densiflorum</i>	Willow herb	native	annual herb	-	-	FACW
<i>Erigeron canadensis</i>	Canada horseweed	native	annual herb	-	-	FACU
<i>Erodium cicutarium</i>	Red stemmed filaree	non-native (invasive)	annual herb	-	Limited	-
<i>Festuca perennis</i>	Italian rye grass	non-native (invasive)	annual, perennial grass	-	Moderate	FAC
<i>Frangula californica</i>	California coffeeberry	native	shrub	-	-	-
<i>Hedera helix</i>	English ivy	non-native (invasive)	vine, shrub	-	High	FACU
<i>Heliotropium amplexicaule</i>	Clasping heliotrope	non-native	perennial herb	-	Watch	-
<i>Helminthotheca echioides</i>	Bristly ox-tongue	non-native (invasive)	annual, perennial herb	-	Limited	FAC
<i>Hesperocyparis macrocarpa</i>	Monterey cypress	native	tree	Rank 1B.2	-	-

Scientific Name	Common Name	Origin	Life Form	Rarity Status <sup>1</sup>	Invasive Status <sup>2</sup>	Wetland Indicator <sup>3</sup>
<i>Heteromeles arbutifolia</i>	Toyon	native	shrub	-	-	-
<i>Hirschfeldia incana</i>	Short-podded mustard	non-native (invasive)	perennial herb	-	Moderate	-
<i>Holcus lanatus</i>	Common velvetgrass	non-native (invasive)	perennial grass	-	Moderate	FAC
<i>Hordeum murinum</i>	Foxtail barley	non-native (invasive)	annual grass	-	Moderate	FACU
<i>Juncus effusus</i>	Common bog rush	native	perennial grasslike herb	-	-	FACW
<i>Linum bienne</i>	Flax	non-native	annual herb	-	-	-
<i>Lotus corniculatus</i>	Bird's foot trefoil	non-native	perennial herb	-	-	FAC
<i>Lysimachia arvensis</i>	Scarlet pimpernel	non-native	annual herb	-	-	FAC
<i>Malva sp.</i>	-	-	-	-	-	-
<i>Mentha pulegium</i>	Pennyroyal	non-native (invasive)	perennial herb	-	Moderate	OBL
<i>Pinus radiata</i>	Monterey pine	native	tree	Rank 1B.1	-	-
<i>Pittosporum undulatum</i>	Victorian box	non-native	tree, shrub	-	Watch	-
<i>Plantago coronopus</i>	Cut leaf plantain	non-native	annual herb	-	-	FAC
<i>Polypogon monspeliensis</i>	Annual beard grass	non-native (invasive)	annual grass	-	Limited	FACW
<i>Pseudognaphalium luteoalbum</i>	Jersey cudweed	non-native	annual herb	-	-	FAC
<i>Raphanus sativus</i>	Wild radish	non-native (invasive)	annual, biennial herb	-	Limited	-
<i>Rubus ursinus</i>	California blackberry	native	vine, shrub	-	-	FAC
<i>Rumex crispus</i>	Curly dock	non-native (invasive)	perennial herb	-	Limited	FAC
<i>Solanum sp.</i>	-	-	-	-	-	-

Scientific Name	Common Name	Origin	Life Form	Rarity Status <sup>1</sup>	Invasive Status <sup>2</sup>	Wetland Indicator <sup>3</sup>
<i>Symphyotrichum chilense</i>	Pacific aster	native	perennial herb	-	-	FAC
<i>Vicia sativa</i>	Spring vetch	non-native	annual herb, vine	-	-	FACU

All species identified using the Jepson Manual, 2nd Edition (Baldwin et al. 2012) and Jepson eFlora (2018); nomenclature follows Jepson eFlora. Sp.: "species", intended to indicate that the observer was confident in the identity of the genus but uncertain which species. Cf: intended to indicate a species appeared to the observer to resemble a certain species, but was not confirmed.

<sup>1</sup>Rare Status: The CNPS Inventory of Rare and Endangered Plants (CNPS 2018)

FE: Federal Endangered

FT: Federal Threatened

SE: State Endangered

ST: State Threatened

SR: State Rare

Rank 1A: Plants presumed extirpated in California and either rare or extinct elsewhere

Rank 1B: Plants rare, threatened, or endangered in California and elsewhere

(\*Rank 1B: Rare in native stands only)

Rank 2A: Plants presumed extirpated in California, but more common elsewhere

Rank 2B: Plants rare, threatened, or endangered in California, but more common elsewhere

Rank 3: Plants about which we need more information – a review list

Rank 4: Plants of limited distribution – a watch list

<sup>2</sup>Invasive Status: California Invasive Plant Inventory (Cal-IPC 2018)

High: Severe ecological impacts; high rates of dispersal and establishment; most are widely distributed ecologically.

Moderate: Substantial and apparent ecological impacts; moderate-high rates of dispersal, establishment dependent on disturbance; limited- moderate distribution ecologically

Limited: Minor or not well documented ecological impacts; low-moderate rate of invasiveness; limited distribution ecologically

Assessed: Assessed by Cal-IPC and determined to not be an existing current threat

<sup>3</sup>Wetland Status: National List of Plant Species that Occur in Wetlands, Arid West Region (Lichvar et al. 2016)

OBL: Almost always a hydrophyte, rarely in uplands

FACW: Usually a hydrophyte, but occasionally found in uplands

FAC: Commonly either a hydrophyte or non-hydrophyte

FACU: Occasionally a hydrophyte, but usually found in uplands

UPL: Rarely a hydrophyte, almost always in uplands

NL: Rarely a hydrophyte, almost always in uplands

NI: No information; not factored during wetland delineation

**Attachment B-2.** Wildlife Species Observed in the Study Area on August 24, 2018.

Scientific Name	Common Name	Status
Mammals		
<i>Microtus sp.</i>	Vole (burrow)	-
Birds		
<i>Cathartes aura</i>	turkey vulture (flyover)	-
<i>Sayornis nigricans</i>	black phoebe	-
<i>Corvus brachyrhynchos</i>	American crow	-
<i>Aphelocoma californica</i>	California scrub jay	-
<i>Haemorhous mexicanus</i>	house finch	-
<i>Columba livia</i>	rock pigeon	-
<i>Carduelis psaltria</i>	lesser goldfinch	-
<i>Zonotrichia leucophrys</i>	white crowned song sparrow	-
<i>Zenaida macroura</i>	mourning dove	-
<i>Psaltriparus minimus</i>	bushtit	-
<i>Buteo jamaicensis</i>	red-tailed hawk (flyover)	-
<i>Calypte anna</i>	Anna's hummingbird	-
<i>Setophaga petechia</i>	yellow warbler	SSC <sup>1</sup>
<i>Circus hudsonius</i>	northern harrier (flyover)	SSC <sup>1</sup>

<sup>1</sup> California Department of Fish and Wildlife (CDFW) Species of Special Concern

**Attachment C**  
**Representative Photographs**



Photograph 1. Representative photograph of the Project Area ruderal and disturbed biological community. East facing



Photograph 2. Representative photograph of the Project Area ruderal and disturbed biological community. Northwest facing



Photograph 3. Representative photograph of ruderal and disturbed biological community within the 100-ft buffer (Study Area). West facing



Photograph 4. Representative photograph of developed and landscaped biological community within the Project Area. North facing



Photograph 5. Representative photograph of developed and landscaped biological community within the 100-ft buffer (Study Area). West facing



Photograph 6. Representative photograph of developed and landscaped biological community within the 100-ft buffer (Study Area). West facing

**BUSINESS OF THE PLANNING COMMISSION OF THE CITY OF HALF MOON BAY**

**AGENDA REPORT**

For meeting of: **March 12, 2019**

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**TO:** Chair Holt and Planning Commission  
**FROM:** Jill Ekas, Community Development Director  
**TITLE:** **2018 Housing Element Annual Progress Report**

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**RECOMMENDATION:**

Confirm receipt of Housing Element Annual Progress Report.

**BACKGROUND:**

Pursuant to Government Code Section 65400, each city and county is required to prepare a Housing Element Annual Progress Report (APR) on the status of implementation of the jurisdiction's housing element. The APR must be prepared using forms and definitions adopted by the California Department of Housing and Community Development (HCD). The APR is meant to serve as a tool for implementing a jurisdiction's Housing Element.

Half Moon Bay's 2015-2023 Housing Element was adopted by City Council in March 2015 and certified by HCD the following October. This element is on an eight-year cycle as provided for by the regional planning oversight of the Association of Bay Area Government's compliance with SB 375 the Sustainable Communities and Climate Protection Act. Without this structure, housing elements must be updated on five-year cycles.

State Legislations as part of the 2017 Housing Package (AB 879 and SB 35) added new reporting requirements which take effect with the 2018 APR.

**DISCUSSION:**

Half Moon Bay's APR is attached. In previous years of this Housing Element cycle, Half Moon Bay opted to count unit production based on issuance of certificates of occupancy. Typically, in other jurisdictions, production is counted when building permit applications are submitted. This has not been consistently applied in Half Moon Bay and because of the highly variable time involved in completion of projects, City and HCD staff previously agreed that certificate of occupancy is a better milestone for the City. Because the City consistently requires and issues such certificates upon project completion, it is also accurate. That said, the new reporting format counts issuance of building permits, thus the City may be missing the ability to count some units caught between the two different reporting methods. Staff will work with HCD after filing the report to review. Resolution may require amending past annual reports to align with building permit issuance for all of the reporting years in this housing element cycle.

The new format requires more data for the sake of future tracking and ensuring accountability with respect to housing production. Each site is identified by assessor's parcel number, and all milestones occurring in 2018 are indicated by date including submittal for planning

entitlements, approval of planning entitlements, issuance of building permits, and issuance of certificates of occupancy. The report also tracks affordability levels as before along with additional information required for affordable units that are not deed restricted. The report acknowledges if sites are considered to be infill or not and also tracks applications seeking new streamlining requirements. Sites within the Coastal Zone are exempt from these streamlining requirements and thus the City, being located entirely within the Coastal Zone, is not subject to these regulations.

Progress on Housing Element program implementation is summarized toward the end of the APR (Table D). For this new format, we have included all of the Housing Element programs with a brief explanation regarding progress made in the reporting year. Note that many programs are being addressed on an on-going basis, while other are complete. Certification of the Accessory Dwelling Unit ordinance in 2018 represented a milestone for the 2<sup>nd</sup> Unit program and also addressed several other topics. For 2019, staff anticipates bringing forth zoning amendments aimed at reducing constraints as identified in the Housing Element, including revising parking requirements, updating the Below Market Rate Ordinance (BMR), and others as indicated in the report.

The APR will be provided to City Council at their next meeting on March 19, 2019 and will be submitted to HCD by April 1, 2019. In that this format and a number of requirements have changed, staff may identify areas that need to be improved or corrected for the final report. We will inform the Planning Commission of any necessary substantive revisions.

**ATTACHMENT:**

1. Housing Element Annual Report

## Please Start Here

General Information	
Jurisdiction Name	Half Moon Bay
Reporting Calendar Year	2018
Contact Information	
First Name	Scott
Last Name	Phillips
Title	Associate Planner
Email	<a href="mailto:sphillips@hmbcity.com">sphillips@hmbcity.com</a>
Phone	(650) 726-8299
Mailing Address	
Street Address	<u>501 Main Street</u>
City	Half Moon Bay
Zipcode	94019

## Submittal Instructions

Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:

1. **Online Annual Progress Reporting System (Preferred)** - This enters your information directly into HCD's database limiting the risk of errors. If you would like to use the online system, email [APR@hcd.ca.gov](mailto:APR@hcd.ca.gov) and HCD will send you the login information for your jurisdiction. *Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is [opr.apr@opr.ca.gov](mailto:opr.apr@opr.ca.gov).*

2. **Email** - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at [APR@hcd.ca.gov](mailto:APR@hcd.ca.gov) and to OPR at [opr.apr@opr.ca.gov](mailto:opr.apr@opr.ca.gov). Please send the Excel workbook, not a scanned or PDF copy of the tables.

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Table A

Housing Development Applications Submitted

Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Notes		
1				2	3	4	5							6	7	8	9	10	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Date Application Submitted	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project (Auto-calculated Can Be Overwritten)	Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Notes*
Summary Row: Start Data Entry Below																			
	064-062-630	390 Myrtle Street		PDP 2018-001	SFD	O	1/3/2018							1	1	1		No	Substandard lot and parking exception to facilitate development of small infill unit.
	048-133-010	2801 Champs Elysee Blvd.		PDP 2018-004	SFD	O	1/26/2018							1	1	1		No	
	064-281-430	636 Metzgar Street		PDP 2018-007	SFD	R	2/6/2018							1	1	1		No	New single-family home to be used as family care home for six or fewer residents.
	064-281-430	636 Metzgar Street		PDP 2018-007	ADU	O	2/6/2018						1		1	1		No	ADU associated with the family care home at same address for the owner/caretaker.
	064-112-240	456 Spruce Street		PDP 2018-008	ADU	R	2/8/2018						1		1	1		No	
	064-104-310	575 Filbert Street		PDP 2018-011	SFD	O	3/6/2018							1	1	1		No	Substandard lot and parking exception to facilitate development of small infill unit.
	064-281-012	604 Metzgar Street		PDP 2018-012	SFD	O	3/15/2018							1	1	1		No	New single-family home with an ADU, see below.
	064-281-012	604 Metzgar Street		PDP 2018-012	ADU	R	3/15/2018						1		1	1		No	ADU with new single-family home, see above.
	056-182-030	520 Kelly Avenue		PDP 2018-017	2 to 4	R	4/13/2018						4		4			No	Mixed-use infill; Planning Commission hearing anticipated spring 2019.
	056-105-040	328 Kelly Avenue		PDP 2018-033	SFD	O	6/7/2018							1	1	1		No	
	056-914-080	332 Valdez Avenue		PDP 2018-039	ADU	R	6/27/2018						1		1	1		No	
	056-191-020	700 Main Street		PDP 2018-042	SFD	O	7/9/2018							1	1			No	Conversion of existing building from commercial to residential use.
	056-192-090	778 Johnston Street		PDP 2018-052	SFD	O	8/3/2018							1	1	1		No	Modular pre-fabricated construction type.
	064-104-240	543 Filbert Street		PDP 2018-057	SFD	O	8/9/2018							1	1	1		No	
	064-103-230	567 Myrtle Street		PDP 2018-070	ADU	R	9/13/2018						1		1	1		No	
066-092-230, 066-371-160		Carmoustie Drive	Carmoustie Phase 4	PDP 2018-074	SFD	O	9/28/2018							8	8			No	Planning Commission hearing scheduled for March 12, 2019. Housing Element site inventory presents realistic yield to be 4 units
	056-141-330	219 Pilarcitos Avenue		PDP 2018-076	2 to 4	R	10/12/2018						3		3			No	
	056-055-040	415 Chesterfield Avenue		PDP 2018-081	SFD	O	10/22/2018							1	1			No	
	064-141-290	604 Filbert Street		PDP 2018-088	ADU	R	12/10/2018						1		1			No	ADU approved in early 2019 and will be shown in 2019 annual report.
	048-125-180	2909 Champs Elysee Blvd.		PDP 2018-089	SFD	O	12/13/2018							1	1			No	Replacing an existing single-family home

## ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

25 §6202)

<b>Jurisdiction</b>	Half Moon Bay	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

Note: + Optional field  
Cells in grey contain auto-calculation formulas

**Table A2**

**Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units**

Project Identifier					Unit Types		Affordability by Household Incomes - Completed Entitlement							# of Units issued Entitlements	
1					2	3	4							5	6
Prior APN <sup>+</sup>	Current APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
y Row: Start Data Entry Below							0	0	0	0	0	14	11		25
	048-310-110	800 Frenchmans Creek Road		PDP 031-07, PDP 2015-08, CDPE 2016-003	SFD	O									0
	066-600-040	281 Bayhill Road	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	066-600-290	123 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	066-600-310	127 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	056-056-040	112 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-010	100 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-020	104 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-030	108 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-060	101 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-070	105 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-090	117 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-100	102 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-110	106 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-120	110 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-130	114 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-140	118 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-150	701 Upper Terrace Avenue	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-160	103 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-170	107 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-180	111 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-190	115 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	066-600-300	125 Carnoustie Drive	Carnoustie Phase 3	PDP 2011-098	SFD	O									0
056-171-120	056-171-180, 056-171-170, 056-171-150	574, 576, 578, 580 Kelly Avenue		PDP 2014-056	2 to 4	O									0

	056-072-280	32 Jenna Lane		PDP 2015-052	SFD	O							1	5/22/2018	1
	048-115-010	2901 Naples Avenue		PDP 2015-086	ADU	R									0
	056-103-240	217 Valdez Avenue		PDP 2015-095	SFD	O									0
	048-121-100	2782 Pullman Avenue		PDP 2015-096	SFD	O							1	3/27/2018	1
	056-082-160	697 Terrace Avenue		PDP 2016-012	SFD	O									0
	056-082-840	693 Terrace Avenue		PDP 2016-031	SFD	O									0
	056-115-080	447 Miramontes Street		PDP 2016-033	SFD	O									0
	056-115-080	447 Miramontes Street		PDP 2016-033	ADU	R									0
	056-118-300	412 Valdez Avenue		PDP 2016-040	SFD	O									0
	056-108-020	312 Valdez Avenue		PDP 2016-041	SFD	O									0
	048-233-340	1350 Cabrillo Highway North		PDP 2016-057	ADU	R									0
	064-141-480	623 Spruce Street		PDP 2016-079	ADU	R									0
	056-115-330	412 Kelly Avenue		PDP 2016-083	ADU	R						1		1/15/2018	1
	056-105-020	312 Kelly Avenue		PDP 2017-001	SFD	O									0
	056-163-080	300 Main Street		PDP 2017-039	5+	R						6		4/10/2018	6
	056-133-350	525 Railroad Avenue		PDP 2017-040	SFD	O							1	4/17/2018	1
	056-133-360	565 Railroad Avenue		PDP 2017-041	SFD	O									0
	064-342-200	544 Magnolia Blvd		PDP 2017-049	SFD	O							1	3/14/2018	1
	056-141-340	225 Pilarcitos Avenue		PDP 2017-050	SFD	O									0
	056-105-130	316 Kelly Avenue		PDP 2017-052	SFD	O									0
	056-179-010	814 Miramontes Street		PDP 2017-069	ADU	R						1		3/14/2018	1
	048-091-050	30 Ventura Street		PDP 2017-075	ADU	R						1		2/14/2018	1
	056-055-085	417 Chesterfield Avenue		PDP 2017-085	SFD	O							1	6/27/2018	1
	064-062-630	390 Myrtle Street		PDP 2018-001	SFD	O							1	4/10/2018	1
	064-281-430	636 Metzgar Street		PDP 2018-007	SFD	O							1	8/29/2018	1
	064-281-430	636 Metzgar Street		PDP 2018-007	ADU	R								8/29/2018	1
	064-112-240	456 Spruce Street		PDP 2018-008	ADU	R						1		4/11/2018	1
	064-104-310	575 Filbert Street		PDP 2018-011	SFD	O							1	6/26/2018	1

	064-281-630	604 Metzgar Street		PDP 2018-012	SFD	O							1	11/7/2018	1
	064-281-630	604 Metzgar Street		PDP 2018-012	ADU	R						1		11/7/2018	1
	056-105-040	328 Kelly Avenue		PDP 2018-033	SFD	O						1		9/20/2018	1
	056-914-080	332 Valdez Avenue		PDP 2018-039	ADU	R						1		8/15/2018	1
	056-192-090	778 Johnston Street		PDP 2018-052	SFD	O						1		10/17/2018	1
	064-103-230	567 Myrtle Street		PDP 2018-070	ADU	R						1		11/14/2018	1

<b>Jurisdiction</b>	Half Moon Bay
<b>Reporting Year</b>	2018 (Jan. 1 - Dec. 31)

Project Identifier					Unit Types		Affordability by Household Incomes - Building Permits								
1					2	3	7							8	9
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Building Permits Date Issued	# of Units Issued Building Permits
/ Row: Start Data Entry Below							0	0	0	0	0	3	10		13
	048-310-110	800 Frenchmans Creek Road		PDP 031-07, PDP 2015-08, CDPE 2016-003	SFD	O									0
	066-600-040	281 Bayhill Road	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	066-600-290	123 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	066-600-310	127 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O									0
	056-056-040	112 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-010	100 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-020	104 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-030	108 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-060	101 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-070	105 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-090	117 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-100	102 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-110	106 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-120	110 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-130	114 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-140	118 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-150	701 Upper Terrace Avenue	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-160	103 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-170	107 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-180	111 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	056-560-190	115 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O									0
	066-600-300	125 Carnoustie Drive	Carnoustie Phase 3	PDP 2011-098	SFD	O									0
056-171-120	056-171-180, 056-171-170, 056-171-150	574, 576, 578, 580 Kelly Avenue		PDP 2014-056	2 to 4	O									0
	056-072-280	32 Jenna Lane		PDP 2015-052	SFD	O									0





<b>Jurisdiction</b>	Half Moon Bay
<b>Reporting Year</b>	2018 (Jan. 1 - Dec. 31)

Project Identifier					Unit Types		Affordability by Household Incomes - Certificates of Occupancy									
1					2	3	10							11	12	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness	
/ Row: Start Data Entry Below							0	0	0	0	0	0	4	31	35	
	048-310-110	800 Frenchmans Creek Road		PDP 031-07, PDP 2015-08, CDPE 2016-003	SFD	O								1	11/6/2018	1
	066-600-040	281 Bayhill Road	Carnoustie Phase 3	PDP 087-00	SFD	O								1	7/16/2018	1
	066-600-290	123 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O								1	4/25/2018	1
	066-600-310	127 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O								1	4/11/2018	1
	056-056-040	112 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	9/11/2018	1
	056-560-010	100 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	10/18/2018	1
	056-560-020	104 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	10/18/2018	1
	056-560-030	108 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	10/1/2018	1
	056-560-060	101 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	4/11/2018	1
	056-560-070	105 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	8/9/2018	1
	056-560-090	117 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	8/1/2018	1
	056-560-100	102 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	8/1/2018	1
	056-560-110	106 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	4/13/2018	1
	056-560-120	110 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	6/4/2018	1
	056-560-130	114 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	3/21/2018	1
	056-560-140	118 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	3/21/2018	1
	056-560-150	701 Upper Terrace Avenue	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	6/4/2018	1
	056-560-160	103 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	4/11/2018	1
	056-560-170	107 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	4/25/2018	1
	056-560-180	111 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	12/13/2018	1
	056-560-190	115 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O								1	3/21/2018	1
	066-600-300	125 Carnoustie Drive	Carnoustie Phase 3	PDP 2011-098	SFD	O								1	4/25/2018	1
056-171-120	056-171-180, 056-171-170, 056-171-150	574, 576, 578, 580 Kelly Avenue		PDP 2014-056	2 to 4	O								4	12/14/2018	4
	056-072-280	32 Jenna Lane		PDP 2015-052	SFD	O										0





Jurisdiction	Half Moon Bay
Reporting Year	2018 (Jan. 1 - Dec. 31)

Project Identifier		Unit Types		Streamlining	Infill	Housing with Financial Assistance and/or Deed Restrictions	Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Notes					
1		2	3	13	14	15	16	17	18	19	20		21				
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	How many of the units were Extremely Low Income?*	Was Project APPROVED using GC 65913.4(b)? (SB 35 Streamlining) Y/N	Infill Units? Y/N*	Assistance Programs for Each Development (see instructions)	Deed Restriction Type (see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units*	Demolished or Destroyed Units*	Demolished/Destroyed Units Owner or Renter*	Notes*
/ Row: Start Data Entry Below													0	0	0		
	048-310-110	800 Frenchmans Creek Road		PDP 031-07, PDP 2015-08, CDPE 2016-003	SFD	O		N	N								Single-family home for owner/operator of agricultural property
	066-600-040	281 Bayhill Road	Carnoustie Phase 3	PDP 087-00	SFD	O		N	Y								
	066-600-290	123 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O		N	Y								
	066-600-310	127 Carnoustie Drive	Carnoustie Phase 3	PDP 087-00	SFD	O		N	Y								
	056-056-040	112 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-010	100 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-020	104 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-030	108 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-060	101 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-070	105 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-090	117 Pumpkin Hollow Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-100	102 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-110	106 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-120	110 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-130	114 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-140	118 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-150	701 Upper Terrace Avenue	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-160	103 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-170	107 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-180	111 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	056-560-190	115 Red Hawk Court	Pacific Ridge Phase 1	PDP 2011-098	SFD	O		N	Y								
	066-600-300	125 Carnoustie Drive	Carnoustie Phase 3	PDP 2011-098	SFD	O		N	Y								
056-171-120	056-171-180, 056-171-170, 056-171-150	574, 576, 578, 580 Kelly Avenue		PDP 2014-056	2 to 4	O		N	Y								Ownership live/work units
	056-072-280	32 Jenna Lane		PDP 2015-052	SFD	O		N	Y								
	048-115-010	2901 Naples Avenue		PDP 2015-086	ADU	R		N	Y			This explanation applies to all ADUs: ADUs are anticipated to be affordable by design to moderate income households or lower. Such affordability is generally confirmed by evaluation of the local rental market and housing affordability requirements. Future surveys may indicate that many of these units are affordable to lower income levels.					
	056-103-240	217 Valdez Avenue		PDP 2015-095	SFD	O		N	Y								
	048-121-100	2782 Pullman Avenue		PDP 2015-096	SFD	O		N	Y								
	056-082-160	697 Terrace Avenue		PDP 2016-012	SFD	O		N	Y								
	056-082-840	693 Terrace Avenue		PDP 2016-031	SFD	O		N	Y								

056-115-080	447 Miramontes Street		PDP 2016-033	SFD	O		N	Y											New single-family home with an ADU, see below.
056-115-080	447 Miramontes Street		PDP 2016-033	ADU	R		N	Y			See above explanation regarding ADUs.								ADU with new single-family home, see above.
056-118-300	412 Valdez Avenue		PDP 2016-040	SFD	O		N	Y											
056-108-020	312 Valdez Avenue		PDP 2016-041	SFD	O		N	Y											
048-233-340	1350 Cabrillo Highway North		PDP 2016-057	ADU	R		N	Y			See above explanation regarding ADUs.								
064-141-480	623 Spruce Street		PDP 2016-079	ADU	R		N	Y			See above explanation regarding ADUs.								
056-115-330	412 Kelly Avenue		PDP 2016-083	ADU	R		N	Y			See above explanation regarding ADUs.								
056-105-020	312 Kelly Avenue		PDP 2017-001	SFD	O		N	Y											
056-163-080	300 Main Street		PDP 2017-039	5+	R		N	Y			Converted hotel rooms will result in smaller than typical apartment units which are affordable by design to moderate income households. Such affordability is generally confirmed by evaluation of the local rental market and housing affordability requirements.								Conversion of 12 hotel rooms into 6 small apartments; City permitted conversion of priority use to non-priority use to reduce the cost of water connections as a means to support affordability
056-133-350	525 Railroad Avenue		PDP 2017-040	SFD	O		N	Y											
056-133-360	565 Railroad Avenue		PDP 2017-041	SFD	O		N	Y											
064-342-200	544 Magnolia Blvd		PDP 2017-049	SFD	O		N	Y											
056-141-340	225 Pilarcitos Avenue		PDP 2017-050	SFD	O		N	Y											
056-105-130	316 Kelly Avenue		PDP 2017-052	SFD	O		N	Y											
056-179-010	814 Miramontes Street		PDP 2017-069	ADU	R		N	Y			See above explanation regarding ADUs.								
048-091-050	30 Ventura Street		PDP 2017-075	ADU	R		N	Y			See above explanation regarding ADUs.								
056-055-085	417 Chesterfield Avenue		PDP 2017-085	SFD	O		N	Y											
064-062-630	390 Myrtle Street		PDP 2018-001	SFD	O		N	Y											
064-281-430	636 Metzgar Street		PDP 2018-007	SFD	O		N	Y											New single-family home to be used as family care home for six or fewer residents.
064-281-430	636 Metzgar Street		PDP 2018-007	ADU	R		N	Y			See above explanation regarding ADUs.								ADU associated with the family care home at same address for the owner/caretaker.
064-112-240	456 Spruce Street		PDP 2018-008	ADU	R		N	Y			See above explanation regarding ADUs.								
064-104-310	575 Filbert Street		PDP 2018-011	SFD	O		N	Y											
064-281-630	604 Metzgar Street		PDP 2018-012	SFD	O		N	Y											New single-family home with an ADU, see below.
064-281-630	604 Metzgar Street		PDP 2018-012	ADU	R		N	Y			See above explanation regarding ADUs.								ADU with new single-family home, see above.
056-105-040	328 Kelly Avenue		PDP 2018-033	SFD	O		N	Y											
056-914-080	332 Valdez Avenue		PDP 2018-039	ADU	R		N	Y			See above explanation regarding ADUs.								
056-192-090	778 Johnston Street		PDP 2018-052	SFD	O		N	Y											
064-103-230	567 Myrtle Street		PDP 2018-070	ADU	R		N	Y			See above explanation regarding ADUs.								

Table B													
Regional Housing Needs Allocation Progress													
Permitted Units Issued by Affordability													
		1	2									3	4
Income Level		RHNA Allocation by Income Level	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	52											52
	Non-Deed Restricted												
Low	Deed Restricted	31											31
	Non-Deed Restricted												
Moderate	Deed Restricted	36										12	24
	Non-Deed Restricted			6	3	3							
Above Moderate		121	9	14	12	10						45	76
Total RHNA		240											
Total Units			9	20	15	13						57	183

Note: units serving extremely low-income households are included in the very low-income permitted units totals  
Cells in grey contain auto-calculation formulas



**Table D**

**Program Implementation Status pursuant to GC Section 65583**

**Housing Programs Progress Report**

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
1-1 Housing Rehabilitation	1-2 housing rehabilitation loans/year and home repairs to six senior, disabled, or special needs homes each year, subject to County program funding availability.	On-going	2018 City provided grant funding to Senior Coastsiders for weatherization of senior citizen residences.
1-2 Condominium & Mobile Home Conversions	Revise Chapter 17.62 of the Municipal Code to address both condominium and mobile home park conversion.	Mid 2016	A portion of the code revisions were implemented in 2015. Anticipated completion in 2019 with additional associated code amendments.
1-3 Conversion of At-Risk Units	Zoning Amendment to require enhanced notification and other protections for at-risk units.	Mid 2016	Anticipated completion in 2019 with additional associated code amendments.
2-1 Below Market Rate Program	Implement the Below Market Rate (BMR) program by improving administration, establishing agreements for affordability in perpetuity, encouraging provision of units on-site as part of market-rate development, provide density bonuses or other incentives	On-going	In 2018, updated the City's affordable housing agreement template to improve administration of the BMR ordinance; City Council approved an affordable housing agreement for subdivision of 940 Main Street requiring that units be built on-site; anticipated update to BMR ordinance to include rental units in 2019.
2-2 Density Bonus	Determine financial feasibility of fee waivers as an incentive for affordable housing.	Mid-2016	Anticipated completion in 2019 with additional associated code amendments.
2-3 Second Units	Encourage development of accessory dwelling units.	On-going	Comprehensive update to the Accessory Dwelling Unit ordinance completed and certified by the California Coastal Commission in December 2018; staff is monitoring processing time and prioritizing completion of entitlement and building permit review for accessory dwelling units; increased in interest and number of applications for accessory dwelling units evident
2-4 Small Lot Development	Encourage development of substandard or severely substandard lots for two such lots developed per year.	On-going	Meeting and/or exceeding goal of two substandard or severely substandard lots developed per year and on track to meet the objective of 16 units during the housing element cycle; all applications for development of substandard or severely substandard lots have been approved by the applicable hearing body (Community Development Director or Planning Commission) when the applications are brought forward to hearing.
2-5 Adequate Sites	Provide adequate sites as part of the Local Coastal Program and General Plan Update.	Mid 2016	The LCP/General Plan update process is on-going; in December 2018 a public draft of the Development Chapter of the Local Coastal Land Use Plan was brought to the Planning Commission; the draft plan maintains adequate sites and includes numerous new sites.
2-6 Consistency in Planning Documents	Ensure consistency with existing conditions, policy, and regulations in planning documents.	Mid 2016	The LCP/General Plan update process is on-going; in December 2018 a public draft of the Development Chapter of the Local Coastal Land Use Plan was brought to the Planning Commission; the draft plan maintains adequate sites and includes numerous new sites which in some cases will require zoning amendments to be brought concurrently to the Coastal Commission
2-7 Utilization of Affordable Housing Fund	Establish an allocation method for the City's affordable housing fund including an RFP process to solicit proposals for affordable housing developments.	On-going	Community engagement regarding use of these funds included in two "Community Conversations about Housing" in July and October 2018; on-going discussions with City Council in September, November and December 2018; anticipated 2019/2020.
2-8 Affordable Housing Resources	Identify funding sources and notify developers of these options.	On-going	City will hire a part-time housing specialist in 2019 to further implement this and other programs.
2-9 Housing Element Annual Report	Prepare and submit Annual Housing Element Report to HCD by April 1st following an update to the Planning Commission and City Council	On-going annually	Continued annual compliance with this program.
2-10 Annual review of Residential Dwelling Unit Allocation System	Conduct annual evaluation of Measure D implementation in December each year	On-going annually	Continued annual compliance with this program.
2-11 Mixed Use Development and Housing Stock Diversity	Identify and plan for diverse housing types.	Mid 2016	The LCP/General Plan update process is on-going; two "Community Conversations about Housing" in 2018 confirmed a range of diverse housing types to be included in the updated plan; in December 2018 a public draft of the Development Chapter of the Local Coastal Land Use Plan was brought to the Planning Commission; the draft plan maintains adequate sites and includes numerous new sites including several within the City's defined "Town Center" area.
3-1 Removal of Constraints	Continue to assess and update the zoning ordinance to address constraints	On-going	The ADU ordinance update completed in 2018 reduced constraints for the development of ADUs.
3-2 Senior and Disabled Housing	Encourage development of housing for seniors and the disabled, including persons with development disabilities/	On-going	A family care home was approved in 2018 for elderly residents; City staff routinely meets with developers and encourages development of housing for seniors and the disabled as well as use of the density bonus incentives.





**ANNUAL ELEMENT PROGRESS REPORT**  
**Housing Element Implementation**  
 (CCR Title 25 §6202)

<b>Jurisdiction</b>	Half Moon Bay
<b>Reporting Period</b>	2018 (Jan. 1 - Dec. 31)

Note: + Optional field  
 Cells in grey contain auto-calculation formulas

**Table F**

**Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)(2)**

This table is optional. Jurisdictions may list (for informational purposes only) units that do not count toward RHNA, but were substantially rehabilitated, acquired or preserved. To enter units in this table as progress toward RHNA, please contact HCD at APR@hcd.ca.gov. HCD will provide a password to unlock the grey fields. Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in Government Code section 65583.1(c)(2).

Activity Type	Units that Do Not Count Towards RHNA <sup>+</sup> Listed for Informational Purposes Only				Units that Count Towards RHNA <sup>+</sup> Note - Because the statutory requirements severely limit what can be counted, please contact HCD to receive the password that will enable you to populate these fields.				The description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1 <sup>+</sup>
	Extremely Low-Income <sup>+</sup>	Very Low-Income <sup>+</sup>	Low-Income <sup>+</sup>	TOTAL UNITS <sup>+</sup>	Extremely Low-Income <sup>+</sup>	Very Low-Income <sup>+</sup>	Low-Income <sup>+</sup>	TOTAL UNITS <sup>+</sup>	
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Total Units by Income									

<b>Jurisdiction</b>	Half Moon Bay	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

<b>Entitled Units Summary</b>		
<b>Income Level</b>		<b>Current Year</b>
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	14
Above Moderate		11
<b>Total Units</b>		<b>25</b>

Note: units serving extremely low-income households are included in the very low-income permitted units totals

<b>Submitted Applications Summary</b>	
Total Housing Applications Submitted:	20
Number of Proposed Units in All Applications Received:	32
Total Housing Units Approved:	12
Total Housing Units Disapproved:	0

<b>Use of SB 35 Streamlining Provisions</b>	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

<b>Units Constructed - SB 35 Streamlining Permits</b>			
<b>Income</b>	<b>Rental</b>	<b>Ownership</b>	<b>Total</b>
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>

Cells in grey contain auto-calculation formulas