



Lehi City Council Meeting Agenda January 14, 2025

5:30 PM - Lehi City Council Chambers (153 N. 100 E., Lehi, Utah)

Pre-Council, 5:30 p.m.

1. Welcome and Opening Comment
2. Presentations and Reports
 - 2.1. Presentation and Update on Alpine School District- Stacy Bateman
3. Agenda Questions
The Mayor and City Council discuss and ask questions on items on the Regular Session agenda.
4. Administrative Report
5. Mayor and Council Reports
Calendar items and outside Committee reports

Regular Session, 7:00 p.m.

1. Welcome, Roll Call, Pledge of Allegiance
2. 20 Minute Citizen Input
(for public comments on items not listed on the agenda. Comments limited to 3 minutes per person with a time limit not to exceed 20 minutes for this item.)
3. Consent Agenda
 - 3.1. Approve Purchase Orders
 - [PO Index.pdf](#)
 - [PO #7921- Stone Security.pdf](#)
 - [PO #7922 TV Pros.pdf](#)
 - [PO #7931 Garland.pdf](#)
 - [PO #7923 C&L.pdf](#)
 - [PO #7927- AC Excavation.pdf](#)
 - [PO #7919 Stuart C Irby.pdf](#)

[Spacesaver Intermountain PO \(2\).pdf](#)

3.2. Approve City Council Meeting Minutes

[120324 WS DRAFT.pdf](#)

[121024 CC.pdf](#)

Regular Agenda

4. Consideration of Resolution #2025-02 approving an agreement with C&L Water Solutions for the lining of sewer mains within the city.

Petitioner: Lehi City

[Res 2025-02.docx](#)

[2025 sewer lining agreement.pdf](#)

5. Consideration of Resolution #2025-03 approving an agreement with Geneva Rock for the construction of a box culvert at Willow Park.

Petitioner: Lehi City

[Res 2025-03.docx](#)

[Willow Park Box Culvert agreement legal reviewed .pdf](#)

6. Consideration of Resolution #2025-01 approving a second amendment to the agreement between Lehi City and Utah County for the Dry Creek Lake Regional Recreation Area.

Petitioner: Lehi City

[Res 2025-01.docx](#)

[8820DC_Rec_GrantAmendment-2\(AMBEditions11.08.2024\).pdf](#)

7. Consideration of Resolution #2025-05 approving an easement agreement between Lehi City and Geneva Rock Products on a section of Flight Park Road.

Petitioner: Lehi City

[Lehi Geneva Rock - Easement Agreement - to City Council.docx](#)

[Exhibit A - West Property.pdf](#)

[Exhibit B - East Property.pdf](#)

[Exhibit C - Easement Location.pdf](#)

8. Consideration of Ordinance #01-2025 the Gordon Zone Change on 1.63-acres located at 860 North 2300 West changing the zoning from A-1 to R-1-22 and Neighborhood Commercial.

Petitioner: Kevin and Sarah Gordon

[CC Staff Report Gordon Flag Lot Zone Change 01.14.25.docx](#)

[Gordon Flag Lot Zone Change DRC 12.4.24.docx](#)

[Gordon Zone Change Map legal descriptions 121024.docx](#)

[Ord 01-2025.docx](#)

[Gordon Zone Change map 121024.pdf](#)

[Gordon GP.pdf](#)

[Gordon Zoning.pdf](#)

[Gordon Aerial.pdf](#)

9. Consideration of Final Subdivision approval for the River Point Phase 6 Final Subdivision, a PUD subdivision with 38 single-family homes located at approximately 1100 North 3600 West.

Petitioner: Edge Homes

[CC Staff Report River Point Phase 6 Final Subdivision 01.14.25.docx](#)

[River Point Phase 6 Final DRC 12.18.24.docx](#)

[River Point Phase 6 Final - Narrative.pdf](#)

[River Point Phase 6 - Civil Plans 12.18.24.pdf](#)

[Aerial Map.pdf](#)

[General Plan Map.pdf](#)

[Zoning Map.pdf](#)

10. Consideration of Ordinance #02-2025 the Public Facility Rezone 2024 located at various locations.

Petitioner: Lehi City

[CC Staff Report PF Rezone 2024 Zone Change 01.14.25.docx](#)

[PF Rezone 2024 DRC 11.06.24.docx](#)

[Ord 02-2025.docx](#)

[Public Facility Rezone 2024 Update DRC 11.06.24.pdf](#)

[PF Rezone North Aerial.pdf](#)

[PF Rezone South Aerial.pdf](#)

11. Consideration of Resolution #2025-04 appointing members to the Board of Trustees of the Metropolitan Water District of Lehi.

Petitioner: Lehi City

[Res 2025-04.docx](#)

12. Consideration of Resolution #2025-06 approving an Interlocal Cooperation Agreement with Utah County for an effort to aid the unsheltered.

Petitioner: Lehi City

[Res 2025-06.docx](#)

[Interlocal in Support of the Unsheltered.pdf](#)

13. Adjournment

- Public is invited to attend all City Council Meetings
- In compliance with the Americans with Disabilities Act, persons in need of special accommodations should contact the City Recorder at 385-201-2269
- This agenda has been properly posted and a copy provided to the local news media.

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Presentation

Agenda Section: Presentations and Reports

Subject:

Presentation and Update on Alpine School District- Stacy Bateman

Suggested Action:

Attachments:

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Action Item

Agenda Section: Consent Agenda

Subject:

Approve Purchase Orders

Suggested Action:

Attachments:

[PO Index.pdf](#)

[PO #7921- Stone Security.pdf](#)

[PO #7922 TV Pros.pdf](#)

[PO #7931 Garland.pdf](#)

[PO #7923 C&L.pdf](#)

[PO #7927- AC Excavation.pdf](#)

[PO #7919 Stuart C Irby.pdf](#)

[Spacesaver Intermountain PO \(2\).pdf](#)



LEHI CITY
CITY COUNCIL AGENDA
January 14, 2025

Consent Agenda: Approval of Purchase Orders

INFORMATION:

Company	Description	P O Amount	Budget Balance (before PO)
Stone Security	City Hall/Library Security System PO #7921	\$341,990.68	\$3,000,000.00
TVs Pro	City Hall/Library A/V equipment PO #9722	\$785,020.73	\$3,000,000.00
Garland DBS Requisition	Roofing for Hutchings Museum PO #7931	\$388,259.00	\$369,255.00 (budget or line item adjustment needed)
C&L Water Solutions (Insituform Tech)	Rehabilitation of Sewer Main Line PO #7923	\$253,343.00	\$810,000.00
AC Excavation Inc	Flight Park- North Point Gateways PO #7927 Power Dept	\$274,590.00	\$927,316.00
Stuart C Irby	Power Supplies PO #7919	\$164,800.00	Inventory
Spacesaver Intermountain	Library Shelving PO #To Be Assigned	\$391,214.29	\$16,229,637.00



PURCHASE ORDER
LEHI CITY CORPORATION
153 NORTH 100 EAST
LEHI UT 84043

THIS ORDER
NUMBER
MUST APPEAR
ON YOUR
INVOICE # 7921

ISSUED TO: 4149
STONE SECURITY LLC
351 WEST LAWNSDALE DRIVE
SALT LAKE CITY UT 84115

SHIP TO: LEHI CITY CORPORATION
153 NORTH 100 EAST
LEHI UT 84043

PURCHASE ORDER DATE: 12/16/2024

DEPARTMENT: FINANCE

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
1.00	City Hall Security System	341,990.68	341,990.68	31-50-23-202

Comments/Notes

TOTAL

341,990.68

Authorized By:

Department Head

City Council Approval Date *

Mayor or City Administrator

* City Council approval required if greater than \$125,000

Access Control

Product Details		Qty
S2-R64	S2 Licensing - Upgrade, 64 Portal Expansion for Existing Systems, Extreme (over 64 Portals), Enterprise Select/Ultra2 - S2-R64	1
S2-DMP	S2 Licensing - Integration, DMP XR150/XR550 Panel - S2-DMP	1
S2-NN-E2R-WM	S2 Network Node - 2 Readers, 4 Inputs, 4 Outputs, Wall Mount, Six (6) Available Expansion Slots - S2-NN-E2R-WM	5
S2-ACM	S2 Blade - Access Control Application Extension Blade, 2 Reader, 4 Input, 4 Output - S2-ACM	28
S2-OUTP	S2 Blade - 8 Output Application Extension - S2-OUTP	1
FPO150-B1002C82D8E4	Access Power Supply/Charger - 12A/12V or 6A/24V, 16 Controlled Outputs (fused), 16 Distributed Outputs (fused), B100 Secondary Voltage Module, E4 Enclosure (24" x 20" x 6.5") - FPO150-B1002C82D8E4	5
BT1212	Battery, 12VDC, 12AH - 3.75" x 5.94" x 3.5" (WxLxH) - BT1212	10
40NKS-00-000000	Reader - Signo 40, Switch, Pigtail, Standard Profile (Mobile, SEOS, iClass /SE/SR, Prox), Black Body w/ Silver Trim - 40NKS-00-000000	65
DS160	REX - Exit Motion Sensor w/ Sounder, Door Monitor - DS160 (use with optional TP160)	65
TP160	REX - Exit Motion Sensor, Trim Plate, Gray - TP160 (use with DS160)	65
184-12-W	Door Sensor - 1" Recessed, Steel Door Contact, White - 184-12-W	80
Custom Material	Haven SC-300 - Counter Window Intercom	1
PB3ER	REX - Egress Button, Surface Mount, Momentary - PB3ER	3
3050PGGMV / H10302	Credential - iClass SE Smart Card (2kb memory) ThinCard, 37 Bit, Composite, Vertical Slot - 3050PGGMV / H10302	100
Hardware - AC Misc	Misc. Hardware - Access Control, per device - Hardware - AC Misc	65
Labor	Installation & Configuration	1

Subtotal: **\$138,353.45**

Estimated Tax: **\$5,842.55**

Access Control - Cabling

Product Details		Qty
446100	Wire - Access, 4 Elem Comp Cable CMP White Jkt - 1,000' Roll - 446100	20
CS34P WHT	Wire - Cat6, Unshielded, Solid, Plenum, White, 1000' - CS34P WHT	2
444380	Wire - 22/4 Plenum Cable, White, 1,000' Roll - 444380	3
Labor	Cabling Labor	1

Subtotal: **\$54,360.00**
 Estimated Tax: **\$1,916.88**

Video Surveillance

Product Details		Qty
02374-001	Axis M3086-V - Fixed Vandal Dome, Discreet, 131° Horizontal Angle of View 2.4 mm, 4MP Quad HD 1080P, 60fps, WDR, Corridor Format, SD Slot - 02374-001	39
02677-001	Axis M4215-LV - Compact Mini-Dome, Indoor, 1080P HDTV, 2MP, IR, 3.6-6.6mm Lens, Remote Zoom/Focus, Zipstream, Deep Learning, HDMI Output, I/O, SD Slot - 02677-001	3
02018-001	Axis M3077-PLVE - 6 MP sensor, Complete 180° or 360° overview, indoor & exterior, Two built-in microphones, Compact mini dome, Lightfinder, Axis Forensic WDR, Axis OptimizedIR - 02018-001	7
02634-001	Axis P3737-PLE Panoramic Camera 4X 5MP - 02634-001	4
01513-001	Axis Mount - Pendant Kit - T94N01D - Pendant Kit for AXIS P3717-PLE / P3719-PLE / P3727-PLE, IP Camera, 1.5-inch NPS thread - 01513-001	4
5504-821	Axis Mount - Wall Bracket - T91D61 - (for P33-V/VE Series, Q35-V/VE Series) 1.5" NPS thread for fixed dome pendant kits. Includes mounting plate, pipe seal & conduit hole cover, for , White - 5504-821	4
5017-641	Axis Mount - Corner Bracket - T91A64 - Requires T91D61 Wall Bracket - for Axis P55-series, Q60-series, P33-series Pendant Kit - 5017-641	4
01473-001	Axis Mount - Pole Bracket - T91B67 - Outdoor-ready, 1.5" NPS thread, 1 pair of stainless steel straps, 2.5-6.5", White - 01473-001	1
02415-001	Axis P4705-PLVE - Panoramic Camera – 2*2 MP, multidirectional camera, 2.5x zoom, Each head can be controlled individually, Lightfinder & Forensic WDR. Deep Learning. Zipstream	4

Video Surveillance

Product Details		Qty
02328-001	Axis P3265-LVE -Fixed Dome Camera, Outdoor, HDTV 1080 2MP Vandal Resistant, Optimized IR - 02328-001	2
XPETDL	Milestone - XProtect Expert, Device Channel License - XPETDL	59
YXPETDL	Milestone - Care+, XProtect Expert, Device Channel, 1 Year - YXPETDL	59
BCD Server	BCD Server - BCD104-PVS-336-48T-16 - - Windows Server 2022 - VMS: Milestone Expert, latest, put on desktop - Branding: Stone - (1) Xeon E-2336 - 16 GB RAM total - (2) 240GB M.2 SSD, RAID 1 OS - (3) 16TB SATA HDD - RAID 5 (48TB Raw/29 TB Usable) - (1)	1
BCD Workstation	BCD Workstation	1
BCD Monitor	BCD Monitor - 32" LED	2
OS6360-PH24	ALE Switch - 24 Port 1G PoE+ (380W), 2 Port 1G RJ45/SFP+ Combo, 2 Port 10G SFP+ Uplink/VFL, Internal AC Power Supply	3
UNP-6-DM-1U-24	Patch Panel, Cat6, 24 Port, 1U. Loaded - UNP-6-DM-1U-24	3
X-ITEM - Patch Cable 7'	Patch Cable - Cat6 PVC, 7', (Color) - X-ITEM - Patch Cable 7'	59
Rental - Boom Lift - Weekly	Rental - Equipment Rental, 46' Straight Boom w/ Jib Lift, Weekly Rate (1 Weeks) - Rental - Boom Lift - Weekly	1
Hardware - SV Misc	Misc. Hardware - Surveillance, per device - Hardware - SV Misc	59
Labor	Installation & Configuration	1

Subtotal: **\$100,214.98**

Estimated Tax: **\$5,428.36**

Intrusion Detection

Product Details		Qty
XR550DNL-G	Control Panel - XR550 Series, 10 On-board Zones, 574 Zone Capacity, Up to 16 Keypads, Network, Dialer, Built-in 10/100 Ethernet, Large Grey Enclosure, Includes 50VA Transformer - XR550DNL-G	1
263LTE-V/381-2	Communication - LTE Cellular Communicator for XR150/550 Series Panels, Includes 18" Coax Cable - 263LTE-V/381-2	1
1100XH-W	Expansion - 1100 Wireless Receiver, XR Panels, 500 Transmitters, High Power - 1100XH-W	1

Intrusion Detection

Product Details		Qty
714-16	Expansion - 16 Point Zone Expander, Enclosure w/ Lock (12.5" W x 9.5" H x 2.85" D), Gray - 714-16	2
NP7-12	Battery - 12V, 7AH - NP7-12	1
7060A-W	Keypad - Aqualite Series, Blue LCD with Shortcut Keys, White - 7060A-W	12
DS936	Motion Detector - Bosch - DS936 - Ceiling 360°, PIR, Low Profile, 7.5m (25ft) - DS936	21
1142-B	Panic - 1142 Wireless, 2-Button Hold Up Transmitter, LED Feedback, Under Counter Installation, Black - 1142-B	13
335	Siren - Interior, Steady & Warble Tones, Surface Mounted, 105db, White - 335	1
SecureCom - Activation	Alarm System Monitoring - SecureCom Activation - SecureCom - Activation	1
SecureCom - App Cell	Alarm System Monitoring - Add-On, SecureCom, Virtual Keypad App, Cell Connected - SecureCom - App Cell	1
SecureCom - Cell Pri/Bkup Dly	Alarm System Monitoring - Add-On, SecureCom, Cellular, Primary or Back-up, Daily Test, 50Kb - SecureCom - Cell Pri/Bkup Dly	1
Monitoring - Commercial	Alarm System Monitoring - Commercial, Basic - Monitoring - Commercial	1
Hardware - AC Misc	Misc. Hardware - Access Control, per device - Hardware - AC Misc	1
Labor	Installation & Configuration	1

Subtotal: **\$20,197.00**

Estimated Tax: **\$559.42**

Intrusion Detection - Cabling

Product Details		Qty
444380	Wire - 22/4, Non-shielded, Plenum Cable, White, 1,000' Roll - 444380	10
Labor	Cabling Labor	1

Subtotal: **\$14,975.00**

Estimated Tax: **\$143.04**

Statement of Work

■ Deliverable

Video Surveillance, Access Control and Intrusion Detection project.

■ Exclusions

- Excludes conduit and pathways - provided and installed by electrical contractor.
- Excludes network category cabling to surveillance devices - provided and installed by telecom contractor.
- Excludes electrified door locking hardware - provided and installed by door hardware contractor.
- Excludes ADA operators and buttons.
- Quote excludes fire drop for maglocks. Fire drop must be provided by others
- Quote assumes all doors are in proper working order. Any adjustments to the doors that need to be made for normal opening and closing functionality to take place will not be covered by Stone Security

City Hall & Library Project

Prepared by:

Salt Lake

Jonathan Burton
+18018574811
jonny@stonesecurity.net

Ship To:

Lehi City Corp.

153 North 100 East
Lehi, UT 84043
Justin Orme

jorme@lehi-ut.gov

Bill To:

Lehi City Corp.

153 North 100 East
Lehi, UT 84043
Justin Orme

jorme@lehi-ut.gov

Quote Information:

Quote #: 011802

Version: 4
Delivery Date: 12/04/2024
Expiration Date: 09/27/2024
Net 30

Quote Summary

Description	Amount
Access Control	\$138,353.45
Access Control - Cabling	\$54,360.00
Video Surveillance	\$100,214.98
Intrusion Detection	\$20,197.00
Intrusion Detection - Cabling	\$14,975.00

Subtotal: **\$328,100.43**

Estimated Tax: **\$13,890.25**

Total: **\$341,990.68**

Pricing:

Payment of all applicable state and local taxes are the responsibility of the customer. Please verify that all taxes are correct based on your organization and notify Stone Security if any changes are needed.

Quotes and pricing terms are negotiated between Customer and Stone Security and may be unique to the Customer. Therefore, and except as otherwise provided by law, Customer hereby agrees to keep the pricing arrangement confidential for a period of no less than three (3) years from the date of the signed quote. Customer will not use this confidential information in furtherance of its business, or the business of anyone else, whether or not in competition with Stone Security.

Credit Card payments are subject to a 3% processing fee.

Return Policy:

Purchases are subject to a 30 day return policy on products which are unopened and in new condition. Returns may be subject to a restocking fee depending on manufacturer restrictions. Custom products and open boxes are nonreturnable.

Support:

Systems not covered by a Support Agreement will be billed time and materials.

Acceptance:

By signing below, you agree to the Pricing, Deliverables, Return Policy and Support of this Quote and are duly authorized to sign on behalf of the Company. Please note that all materials will be invoiced upon quote acceptance or receipt of Purchase Order.



PURCHASE ORDER
LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

THIS ORDER
 NUMBER # 7922
 MUST APPEAR
 ON YOUR
 INVOICE

ISSUED TO: 4468
 TVS PRO**
 170 EAST 2100 SOUTH
 SALT LAKE CITY UT 84115

SHIP TO: LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

PURCHASE ORDER DATE: 12/16/2024

DEPARTMENT: FINANCE

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
1.00	City Hall AV Equipment	785,020.73	785,020.73	31-50-23-202

Comments/Notes

TOTAL

785,020.73

Utah State Contract #MA 4093

Authorized By:

 Department Head

 City Council Approval Date *

 Mayor or City Administrator

* City Council approval required if greater than \$125,000

Lehi City Purchase Requisition Request

Supplier	Name	TVS Pro	Vendor#
	Street	170 E 2100 S	Date
	City	SLC	12/16/2024
	Zip	84115	State
			UT
		Phone	801-486-5757

Dean Lundell

City Hall Construction	31-50-23-202	
Requesting Department	Dept. Account No.	Department Head Signature

Quantity	Unit	Materials and Description	Price	Total
		City Hall A/V Equipment		\$785,020.73
Total				\$785,020.73

Justification:	Price Determination	
Utah State Contract #MA 4093	Verbal Quote	
	Informal Bid	
	Written Bid	\$785,020.73
	State Bid	
	Other	



ESTIMATE

Estimate# EST-003179

TVS Pro

170 E 2100 S SLC, Utah 84115
(801) 486-5757 | www.tvsproslc.com

Bill To







Lehi City














Accounts Payable
153 North 100 East
Lehi, Utah 84043
Tel: (385) 201-1000














Ship To














Lehi City Hall & Library Project
Lisa Webster
131 North 100 East
Lehi, Utah 84043
Tel: 818-203-8564














Estimate Date : 10/08/2024
Expiry Date : 01/06/2025
Sales person : Dan Austin
Ship Method : INSTALL - Install














#	Description	Qty	Rate	Amount
1	 State Contract MA-4093	1 EA	0.00	0.00
Small Conference Room 154				
2	 Cable Cubby 1202 Black, AC Module Not Included	1 EA	330.00	330.00
3	 US (2) AC, (1) USBC, (1) USBA Outlets, 12 A Circuit Breaker, Integrated PS, 2 Outlets Under	1 EA	405.00	405.00
4	 Single Space AAP - Black: Right/Middle Version, Grommets Included	1 EA	44.00	44.00
5	 Single Space AAP - Black: Right Version, Grommets Included	2 EA	48.00	96.00
6	 Under-Table Cable Bag for AVEdge and Cable Cubby 600, 650 UT, 700, 800, 1200, 1400, EBP 1200C, TLE 350, TLP Pro 320C, TLP 350CV, and TLP Pro 725C enclosures	1 EA	114.00	114.00













#	Description	Qty	Rate	Amount
7	 DTP3 Transmitter for 4K/60 HDMI and USB Data	1 EA	1,145.00	1,145.00
8	 DTP3 Receiver for 4K/60 HDMI and USB Data	1 EA	1,195.00	1,195.00
9	 Cat 6 Shielded Cable (Black)	8,500 FT	0.55	4,675.00
10	 CP17 TLP RJ45 Connection Panel Plate	1 EA	150.00	150.00
11	 Araknis Networks 220 Series Websmart Gigabit Switch with PoE+ and Rear Ports	1 EA	386.00	386.00
12	 Extron IPCP Pro 250 xi Control Processor	1 EA	1,172.00	1,172.00
13	 Extron 10" Tabletop TouchLink Pro Touchpanel - Black	1 EA	1,995.00	1,995.00
14	 Extron 3x1 4K/60 Collaboration and Presentation Switcher	1 EA	1,596.00	1,596.00
15	 Samsung 43" 4K LED Commercial 500 Nit Display	1 EA	797.00	797.00
16	 Chief Micro-Adjust Tilt Wall Display Mount for Large TV's	1 EA	334.00	334.00
17	 Chief Display Accessory Mount	1 EA	57.00	57.00
18	 WattBox Power Conditioner with Coax and Ethernet Protection - 4 Outlets	1 EA	156.87	156.87
19	 Sennheiser TeamConnect Bar S Soundbar	1 EA	1,249.00	1,249.00














#	Description	Qty	Rate	Amount
20	 Wirepath Cat 6 Ethernet Patch Cable - 7 ft Black	40 EA	6.83	273.20
21	 22/2 Control/Mic Wire-22 gauge, 2 conductor (Black)- priced by the ft.	8,000 FT	0.26	2,080.00
22	 Binary 2M (6.5ft) 4K M-M Pro HDMI Cable-with Griptek	3 EA	26.70	80.10
23	 Shipping Charges	1 EA	250.00	250.00
24	 Hardware, Materials, Connectors & Consumables	1 EA	200.00	200.00
Sound Masking Systems-171, 324, 327, 367, 378				
25	 WattBox Power Conditioner with Coax and Ethernet Protection - 4 Outlets	2 EA	156.87	313.74
26	 Sound Masking Processor / Speaker Controller	2 EA	1,360.99	2,721.98
27	 Crown 2-channel, 300W @ 4 Analog Power Amplifier, 70V/100V	2 EA	1,096.00	2,192.00
28	 16/2 Speaker Wire-16 gauge, 2 conductor (Black)- priced by the ft.	10,000 FT	0.37	3,700.00
29	 Atlas Deluxe Decora Plate Mounted 35W Attenuator, 3dB Steps	4 EA	41.99	167.96
30	 8" Dual Cone Sound Masking Speaker with 4-Watt 70V Transformer and Enclosure - Black	9 EA	86.99	782.91
31	 6" Coaxial In-Ceiling Speaker with 32-Watt 70/100V Transformer and Ported Enclosure	2 EA	357.98	715.96
32	 Rack System	1 EA	1,500.00	1,500.00














#	Description	Qty	Rate	Amount
33	 Shipping Charges	1 EA	150.00	150.00
34	 Hardware, Materials, Connectors & Consumables	1 EA	150.00	150.00
Community Room (Triple Rooms 132)				
35	 Panasonic 8,200 Lumens, LCD, WUXGA Resolution, 4K Input, Laser Projector- (White)	3 EA	7,794.00	23,382.00
36	 Panasonic 1.3-1.7:1 fixed zoom lens for MZ Series projectors (can fill a 184" diagonal 16:9 image from 16.2ft-22ft. back)	3 EA	2,257.00	6,771.00
37	 Chief Pro Universal Projector Mount (Black)	3 EA	269.00	807.00
38	 Strong Suspended Ceiling Tile Adapter Plate - White	3 EA	178.89	536.67
39	 Projector Pipe & Flange	3 EA	50.00	150.00
40	 Da-Lite Tensioned Advantage 16:9 184" Diagonal (160"-W x 90"-H) HD Progressive 1.1 Electric Screen	3 EA	7,433.00	22,299.00
41	 Screen Mounting Hardware	3 EA	250.00	750.00
42	 Screen Shipping Charges	1 EA	350.00	350.00
43	 1G HDMI Scaling Decoder	4 EA	1,280.00	5,120.00
44	 1G HDMI Encoder	10 EA	1,595.00	15,950.00
45	 Extron 1U 6" Deep Basic Rack Shelf	6 EA	66.00	396.00














#	Description	Qty	Rate	Amount
46	 WQ-xxx Liberty Custom Plate CP13 (x3), CP15	4 EA	99.00	396.00
47	 Barco C-10 Gen 2 Clickshare Wireless Collaboration Kit-with 2 USB-C Pucks	3 EA	1,480.00	4,440.00
48	 Binary 2M (6.5ft) 4K M-M Pro HDMI Cable-with Griptek	11 EA	26.70	293.70
49	 48-port Cat6 Rack Patch Panel	2 EA	350.00	700.00
50	 NETGEAR AV Line M4250-26G4F-PoE+ - switch - 24 ports - managed - rack-mountable	1 EA	1,337.00	1,337.00
51	 Araknis 220 Series 24-Port Layer 2 Pro Managed PoE+ Gigabit Switch	1 EA	896.00	896.00
52	 Wirepath Cat 6 Ethernet Patch Cable - 7 ft Black	35 EA	6.83	239.05
53	 Cat 6 Unshielded Cable (Black)	10,000 FT	0.32	3,200.00
54	 IPCP Pro xi Quad Control Processor w/LinkLicense for User Interfaces Upgrade	1 EA	3,880.00	3,880.00
55	 Extron 7" Wall Mount TouchLink Pro Touchpanel - Black	3 EA	1,495.00	4,485.00
56	 Extron Recessed Wall Mount Kit for TLP Pro 1025M, TLP Pro 725M, TLS 1025M, and TLS 725M	3 EA	165.00	495.00
57	 Extron 12x8 ProDSP Digital Matrix Processor with AEC and Dante	2 EA	2,465.00	4,930.00
58	 Handheld Transmitter with SM58 Microphone	6 EA	627.00	3,762.00














#	Description	Qty	Rate	Amount
59	 Dual Digital Wireless Receiver with internal power supply, 1/2 Wave Antenna and Rack Mounting Hardware	3 EA	2,678.00	8,034.00
60	 Dual Docking Charger with PS45US Power Supply	3 EA	217.00	651.00
61	 Passive Antenna Splitter/Combiner Kit. Includes Two Splitter/Combiners, Four Coaxial Cables, and Attaching Hardware	1 EA	227.00	227.00
62	 100' UHF Remote Antenna Extension Cable, BNC-BNC, RG213/U Type	3 EA	286.00	858.00
63	 Wall-Mounted Wideband Antenna	3 EA	498.00	1,494.00
64	 Shure Shipping Charges	1 EA	350.00	350.00
65	 RDL Wall Mounted 1-Gang Decora Bluetooth Wall Plate (White)	3 EA	395.00	1,185.00
66	 Active Single-Pair Receiver - Twisted Pair Format-A - balanced line output	3 EA	244.00	732.00
67	 RDL Power Supply	3 EA	59.95	179.85
68	 Crown 2-channel, 300W @ 4 Analog Power Amplifier, 70V/100V	3 EA	1,276.00	3,828.00
69	 Rack Mount Kits	1 EA	350.00	350.00
70	 ListenIR 2-Channel Transmitter/Radiator Combo	3 EA	577.00	1,731.00
71	 (Control47C/T) JBL 70V Commercial Pro in-ceiling speaker (white)	21 EA	279.00	5,859.00













#	Description	Qty	Rate	Amount
72	 46SP SWINGING WALLRK,28"	1 EA	1,892.00	1,892.00
73	 Rack Equipment	1 EA	500.00	500.00
74	 WattBox Rack Mount Lighted Power Surge Protector - 11 Outlets	1 EA	245.62	245.62
75	 Strong Lockable Rack Drawer 2U	1 EA	137.87	137.87
76	 46SP VENTED FRONT DOOR	1 EA	474.00	474.00
77	 46SP REAR RL KIT SR-46-XX	1 EA	141.00	141.00
78	 4-1/2 QUIET FAN WITH GUAR	2 EA	141.00	282.00
79	 Shipping Charges	1 EA	500.00	500.00
80	 Hardware, Materials, Connectors & Consumables	1 EA	1,500.00	1,500.00
Lobby (102)				
81	 Samsung QM55C 55" UHD 4K Commercial Monitor	2 EA	1,120.00	2,240.00
82	 Chief Micro-Adjust Tilt Wall Display Mount for Large TV's	2 EA	334.00	668.00
Lobby (201)				
83	 Samsung QM55C 55" UHD 4K Commercial Monitor	1 EA	1,120.00	1,120.00













#	Description	Qty	Rate	Amount
84	 Chief Micro-Adjust Tilt Wall Display Mount for Large TVs	1 EA	334.00	334.00
Program Space (Double Rooms 218)				
85	 Panasonic 8,200 Lumens, LCD, WUXGA Resolution, 4K Input, Laser Projector- (White)	2 EA	7,794.00	15,588.00
86	 Panasonic 0.79-0.98 fixed zoom lens for MZ Series projectors (can fill a 184" diagonal 16:9 image from 11-13ft. back)	2 EA	2,728.00	5,456.00
87	 Chief Pro Universal Projector Mount (Black)	2 EA	269.00	538.00
88	 Strong Suspended Ceiling Tile Adapter Plate - White	2 EA	168.00	336.00
89	 Projector Pipe & Flange	3 EA	50.00	150.00
90	 Da-Lite Tensioned Advantage 16:9 184" Diagonal (160"-W x 90"-H) HD Progressive 1.1 Electric Screen	2 EA	7,433.00	14,866.00
91	 Hardware, Materials, Connectors & Consumables	2 EA	250.00	500.00
92	 Shipping Charges	1 EA	300.00	300.00
93	 (Control47C/T) JBL 70V Commercial Pro in-ceiling speaker (white)	18 EA	279.00	5,022.00
94	 WQ-xxx Liberty Custom Plate CP5 (x2), CP9 (x2)	4 EA	85.00	340.00
95	 100 Watt 70 V Mono Amp, AV LAN	1 EA	13,870.00	13,870.00
96	 HDMI Twisted Pair Receiver - 230 feet (70 m)	2 EA	470.00	940.00














#	Description	Qty	Rate	Amount
97	 Binary 2M (6.5ft) 4K M-M Pro HDMI Cable-with Griptek	2 EA	26.70	53.40
98	 Araknis Networks 210 Series Websmart Gigabit 16 Port PoE+ Switch	1 EA	674.00	674.00
99	 Extron 7" Wall Mount TouchLink Pro Touchpanel - Black	2 EA	1,495.00	2,990.00
100	 Extron Recessed Wall Mount Kit for TLP Pro 1025M, TLP Pro 725M, TLS 1025M, and TLS 725M	2 EA	165.00	330.00
101	 Extron 12x8 ProDSP Digital Matrix Processor with AEC and Dante	2 EA	2,465.00	4,930.00
102	 Handheld Transmitter with SM58 Microphone	4 EA	627.00	2,508.00
103	 Dual Digital Wireless Receiver with internal power supply, 1/2 Wave Antenna and Rack Mounting Hardware	1 EA	2,678.00	2,678.00
104	 Dual Docking Charger with PS45US Power Supply	2 EA	217.00	434.00
105	 Passive Antenna Splitter/Combiner Kit. Includes Two Splitter/Combiners, Four Coaxial Cables, and Attaching Hardware	2 EA	296.00	592.00
106	 100' UHF Remote Antenna Extension Cable, BNC-BNC, RG213/U Type	2 EA	282.00	564.00
107	 Wall-Mounted Wideband Antenna	2 EA	498.00	996.00
108	 Shure Shipping Charges	1 EA	300.00	300.00
109	 RDL Wall Mounted 1-Gang Decora Bluetooth Wall Plate (White)	2 EA	395.00	790.00













#	Description	Qty	Rate	Amount
110	 Active Single-Pair Receiver - Twisted Pair Format-A - balanced line output	2 EA	244.00	488.00
111	 Crown 2-channel, 300W @ 4 Analog Power Amplifier, 70V/100V	2 EA	1,276.00	2,552.00
112	 Extron Rack Mount Kits	1 EA	250.00	250.00
113	 WattBox Rack Mount Lighted Power Surge Protector - 11 Outlets	1 EA	245.62	245.62
114	 Strong Lockable Rack Drawer 2U	1 EA	137.87	137.87
115	 ListenIR 2-Channel Transmitter/Radiator Combo	2 EA	577.00	1,154.00
116	 24SP/26D WALLRK W/PLEXI	1 EA	1,598.00	1,598.00
117	 Rack Shipping Charges	1 EA	250.00	250.00
118	 Rack Equipment	1 EA	500.00	500.00
119	 Shipping Charges	1 EA	550.00	550.00
120	 Hardware, Materials, Connectors & Consumables	1 EA	500.00	500.00
Medium Conference Room (228, 332, 344)				
121	 Cable Cubby 1202 Black, AC Module Not Included	3 EA	330.00	990.00
122	 US (2) AC, (1) USBC, (1) USBA Outlets, 12 A Circuit Breaker, Integrated PS, 2 Outlets Under	3 EA	405.00	1,215.00













#	Description	Qty	Rate	Amount
123	 Single Space AAP - Black: Right/Middle Version, Grommets Included	3 EA	44.00	132.00
124	 Single Space AAP - Black: Right Version, Grommets Included	6 EA	48.00	288.00
125	 Under-Table Cable Bag for AVEdge and Cable Cubby 600, 650 UT, 700, 800, 1200, 1400, EBP 1200C, TLE 350, TLP Pro 320C, TLP 350CV, and TLP Pro 725C enclosures	3 EA	114.00	342.00
126	 DTP3 Transmitter for 4K/60 HDMI and USB Data	3 EA	1,145.00	3,435.00
127	 DTP3 Receiver for 4K/60 HDMI and USB Data	3 EA	1,195.00	3,585.00
128	 WQ-xxx Liberty Custom Plate	3 EA	99.00	297.00
129	 Araknis Networks 220 Series Websmart Gigabit Switch with PoE+ and Rear Ports	3 EA	386.00	1,158.00
130	 Extron IPCP Pro 250 xi Control Processor	3 EA	1,172.00	3,516.00
131	 Extron 10" Tabletop TouchLink Pro Touchpanel - Black	3 EA	1,995.00	5,985.00
132	 Extron 3x1 4K/60 Collaboration and Presentation Switcher	3 EA	1,596.00	4,788.00
133	 Samsung 75" 4K LED Commercial 500 Nit Display-with 3yr warranty	1 EA	1,982.00	1,982.00
134	 Samsung 85" 4K LED Commercial 500 Nit Display-with 3yr warranty	2 EA	2,870.00	5,740.00
135	 Micro-Adjust Tilt Wall Mount, X-Large	2 EA	381.00	762.00










#	Description	Qty	Rate	Amount
136	 Chief Micro-Adjust Tilt Wall Display Mount for Large TVs	1 EA	334.00	334.00
137	 Chief Display Accessory Mount	6 EA	57.00	342.00
138	 WattBox Power Conditioner with Coax and Ethernet Protection - 4 Outlets	3 EA	156.87	470.61
139	 (TC Bar M) Sennheiser TeamConnect Bar M Soundbar	3 EA	1,854.00	5,562.00
140	 Wirepath Cat 6 Ethernet Patch Cable - 7 ft Black	15 EA	6.83	102.45
141	 Binary 2M (6.5ft) 4K M-M Pro HDMI Cable-with Griptek	9 EA	26.70	240.30
142	 Rack Equipment	3 EA	200.00	600.00
143	 Shipping Charges	3 EA	200.00	600.00
144	 Hardware, Materials, Connectors & Consumables	3 EA	150.00	450.00
Scheduling Panels				
145	 5" Wall Mount TouchLink Scheduling Panel - Black	18 EA	1,185.00	21,330.00
146	 Recessed Wall Mount Kit for TLP Pro 525M and TLS 525M	18 EA	165.00	2,970.00
Lobby (301)				
147	 (QM43C) Samsung QM43C 43" UHD 4K Commercial Monitor	1 EA	797.00	797.00

#	Description	Qty	Rate	Amount
148	 Samsung QM55C 55" UHD 4K Commercial Monitor	1 EA	1,120.00	1,120.00
149	 Chief Micro-Adjust Tilt Wall Display Mount for Large TV's	1 EA	334.00	334.00
150	 MEDIUM UNIVERSAL TILT MOUNT	1 EA	147.00	147.00
151	 Chief Display Accessory Mount	2 EA	57.00	114.00
Lounge (321)				
152	 Room Hardware	1 EA	1,500.00	1,500.00
Lounge/Reception (351)				
153	 Samsung QM55C 55" UHD 4K Commercial Monitor	1 EA	1,120.00	1,120.00
154	 Chief Micro-Adjust Tilt Wall Display Mount for Large TV's	1 EA	334.00	334.00
155	 Chief Display Accessory Mount	4 EA	57.00	228.00
Boardroom (358)				
156	 (60-1696-12A) Extron DTP 884 Crosspoint with Control Processor, Amplifier, LL UI Upgrade	1 EA	17,840.00	17,840.00
157	 Araknis Networks 210 Series Pro 24-Port Gigabit PoE Switch	1 EA	890.00	890.00
158	 HDMI Twisted Pair Transmitter - 230 feet (70 m)	2 EA	460.00	920.00
159	 HDMI Twisted Pair Receiver - 230 feet (70 m)	2 EA	460.00	920.00

#	Description	Qty	Rate	Amount
160	 Vaddio AV Bridge 2x1 N/A	1 EA	2,792.00	2,792.00
161	 Barco Clickshare C-10 Set Gen2, Base + 1 Button, TAA Compliant	1 EA	1,319.00	1,319.00
162	 Room Hardware	1 EA	2,500.00	2,500.00
163	 Ceiling Array Microphone, Square, White, 24 inch	2 EA	4,136.00	8,272.00
164	 Middle Atlantic SRSR EXTENDED,12 SPACE	1 EA	1,157.00	1,157.00
165	 4K/60 HDMI Multi-Window Processor	1 EA	6,870.00	6,870.00
166	 Samsung QM98T 98" UHD 4K Commercial Monitor	2 EA	6,344.00	12,688.00
167	 Micro-Adjust Tilt Wall Mount, X-Large	2 EA	381.00	762.00
168	 ROBOSHOT 20 UHD SYSTEM WHITE	1 EA	5,244.00	5,244.00
169	 AV BRIDGE SYSTEM	1 EA	2,240.00	2,240.00
170	 Rack Equipment	1 EA	3,000.00	3,000.00
171	 Shipping Charges	1 EA	750.00	750.00
172	 Hardware, Materials, Connectors & Consumables	1 EA	600.00	600.00

#	Description	Qty	Rate	Amount
173	 Cable Cubby 1202 Black, AC Module Not Included	2 EA	430.00	860.00
174	 Extron US (2) AC, (1) USBC, (1) USB A Outlets, 12 A Circuit Breaker, Integrated PS, 2 Outlets Under	2 EA	460.00	920.00
175	 Single Space AAP - Black: Left Version, Grommets Included	2 EA	48.00	96.00
176	 Single Space AAP - Black: Right Version, Grommets Included	2 EA	48.00	96.00
177	 Single Space AAP - Black: Blank Plate	2 EA	23.00	46.00
178	 Under-Table Cable Bag for AVEdge and Cable Cubby 600, 650 UT, 700, 800, 1200, 1400, EBP 1200C, TLE 350, TLP Pro 320C, TLP 350CV, and TLP Pro 725C enclosures	2 EA	122.00	244.00
Medium Conference Room (356)				
179	 (60-1696-12A) Extron DTP 884 Crosspoint with Control Processor, Amplifier, LL UI Upgrade	1 EA	17,840.00	17,840.00
180	 Araknis Networks 210 Series Pro 24-Port Gigabit PoE Switch	1 EA	890.00	890.00
181	 HDMI Twisted Pair Transmitter - 230 feet (70 m)	2 EA	480.00	960.00
182	 HDMI Twisted Pair Receiver - 230 feet (70 m)	1 EA	480.00	480.00
183	 AV Bridge 2x1 N/A	1 EA	2,792.00	2,792.00
184	 Ceiling Array Microphone, Square, White, 24 inch	1 EA	4,136.00	4,136.00

#	Description	Qty	Rate	Amount
185	 Barco Clickshare C-10 Set Gen2, Base + 1 Button, TAA Compliant	1 EA	1,319.00	1,319.00
186	 Room Hardware	1 EA	2,500.00	2,500.00
187	 4K/60 HDMI Multi-Window Processor	1 EA	6,870.00	6,870.00
188	 Samsung 85" 4K LED Commercial 500 Nit Display- with 3yr warranty	1 EA	2,870.00	2,870.00
189	 Micro-Adjust Tilt Wall Mount, X-Large	1 EA	381.00	381.00
190	 ROBOSHOT 20 UHD SYSTEM WHITE	1 EA	5,244.00	5,244.00
191	 AV BRIDGE SYSTEM	1 EA	2,240.00	2,240.00
192	 Rack Equipment	1 EA	3,000.00	3,000.00
193	 Shipping Charges	1 EA	750.00	750.00
194	 Hardware, Materials, Connectors & Consumables	1 EA	600.00	600.00
Council Conference Room (328)				
195	 Room Hardware	1 EA	44,000.00	44,000.00
Small Conference Room (304)				
196	 Room Hardware	1 EA	7,500.00	7,500.00
Council Chambers (302)				

#	Description	Qty	Rate	Amount
197	 Room Hardware	1 EA	155,000.0 0	155,000.00
Carillon Tower Speaker System				
198	 Carillon Verdin Supreme Touch Controller & Verdin 250W 70V Amp	1 EA	9,799.00	9,799.00
199	 Middle Atlantic 2SP VENTED UTILITY SHELF	1 EA	65.00	65.00
200	 JBL High Output 12" 2-way Full-Range 90 x 50 Loudspeaker-GRAY. Priced as each.	2 EA	2,988.00	5,976.00
201	 16/2 Speaker Wire-16 gauge, 2 conductor (Black)-priced by the ft.	400 FT	0.37	148.00
Installation & Programming				
202	 System Installation *Every install comes with a standard 90 day warranty on all installation labor. Contact your salesman about 1 year or 2 year extensions on the labor warranty.	1.00 hrs	68,000.00	68,000.00
203	 Control System Programming	1.00 hrs	35,000.00	35,000.00
204	 Shipping Charges	1 EA	3,500.00	3,500.00
205	 Hardware, Materials, Connectors & Consumables	1 EA	3,000.00	3,000.00
			Sub Total	785,020.73
			Total	\$785,020.73

Terms & Conditions

Pricing on all items are subject to change without notice and will remain in affect until the listed Expiry date. After which the estimate will be considered void unless accepted and approved by TV Specialists Inc. d.b.a. TVS Pro and the customer.

Title to merchandise hereon shall remain with the seller until invoice amount is paid in full. 2% per month 24% per annum shall be charged on the past due accounts whether incurred before or after judgement. In the event that the buyer defaults or seller incurs

collection costs, whether judicial or non-judicial, the abovesigned, jointly or severally, agrees to pay all attorney fees, legal expenses, and collection costs including all costs and fees incurred in bankruptcy court or on appeal. 20% restocking fee on returned items. Special ordered items are non-returnable.

Authorized Signature _____



PURCHASE ORDER
LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

THIS ORDER
 NUMBER
 MUST APPEAR
 ON YOUR
 INVOICE **# 7931**

ISSUED TO: 5065
 GARLAND DBS INC
 3800 EAST 91ST STREET

 CLEVELAND OH 44105

SHIP TO: LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

PURCHASE ORDER DATE: 12/31/2024

DEPARTMENT: BUILDINGS

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
1.00	FLAT ROOFING	149,027.00	149,027.00	10-77-54-000
1.00	CLAY ROOFING	239,232.00	239,232.00	10-77-54-000

TOTAL 388,259.00

Comments/Notes

State Contract MICPA#PW1925

Authorized By:

 Stephen Marchbanks
 Department Head

 City Council Approval Date *

 Mayor or City Administrator

* City Council approval required if greater than \$125,000



Garland/DBS, Inc.
3800 East 91st Street
Cleveland, OH 44105
Phone: (800) 762-8225
Fax: (216) 883-2055



ROOFING MATERIAL AND SERVICES PROPOSAL

Lehi City
Hutchings Museum
55 N Center St
Lehi, Utah 84043

Date Submitted: 12/19/2024
Proposal #: 25-UT-241177
MICPA # PW1925

UTAH General Contractor License #: 7685360-5501

Purchase orders to be made out to: Garland/DBS, Inc.

Please Note: The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

Scope of Work: 60mil Fully Adhered KEE Option

1. Prepare site for removal of existing PVC membrane & damaged polyisocyanurate.
2. Replace any damaged insulation by mechanically attaching polyisocyanurate.
3. Install ½” dens deck over entirety of roof sections.
4. Install fully adhered Solar Brite KEE FB 60mil membrane in accordance with wind uplift standards.
5. Ensure curbed units achieve 6” minimum clearance from roofing assembly.
6. Install new 24-gauge coping cap & counter flashings.
7. Ensure no ponding, install crickets or adjust slope as needed.
8. All details to be installed in accordance with manufacturers guidelines.
9. Refer to project specifications manual for further information.
10. Contractor responsible for all disconnect and reconnect of mechanical equipment.

Proposal Price Based Upon Market Experience: \$ 149,027

Garland/DBS Price Based Upon Local Market Competition:

1 American Roofing	\$	149,027
2 North Face Roofing	\$	150,302
3 Conwest Inc	\$	277,536

Scope of Work: Clay Tile Roofing

1. Remove existing clay tile roof & underlayment.
2. Install Terra Seal self-adhered underlayment to entire roof deck. (Application guide in supporting files)
 1. Apply Flashing bond mastic on all end laps.
3. Install new drip edge metal stripped in with ice & water shield.
4. Install 2x treated field stringers. (if existing reusable, then credit provided)
5. Plan to reuse 2x hip and ridge nailers. (damaged to be replaced on a per unit basis)
6. Install bird stop.
7. Install 2-piece straight barrel mission premium clay roof tile.
8. Install mortar as required.
9. Install hip and ridge.
10. Install pipe boots where needed.

Proposal Price Based Upon Market Experience: \$ 239,232

Garland/DBS Price Based Upon Local Market Competition:

1 American Roofing	\$ 239,232
2 Conwest Inc	\$ 267,380
3 North Face Roofing	\$ 325,370

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

Clarifications/Exclusions:

1. Permits are excluded. If permits are required this will be addressed via change order.
2. Plumbing, Mechanical, Electrical work is excluded.
3. Masonry work is included to which it obtains to the scope of work.
4. Interior Temporary protection is excluded.
5. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

Jarod Miller

Jarod Miller
Garland/DBS, Inc.
(216) 430-3606



PURCHASE ORDER
LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

THIS ORDER
 NUMBER
 MUST APPEAR
 ON YOUR
 INVOICE # 7923

ISSUED TO: 687
 C & L WATER SOLUTIONS INC.
 PO BOX 631100

 HIGHLANDS RANCH CO 80163

SHIP TO: LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

PURCHASE ORDER DATE: 12/16/2024

DEPARTMENT: PW - SEWER

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
1.00	REHABILITATION OF SEWER MAIN LINE	253,343.00	253,343.00	52-50-10-002

Comments/Notes

TOTAL 253,343.00

This is for the lining project for the rehabilitation of sewer pipe for three blocks of 10" RCP and 6 blocks of 12" RCP. This will occur on 1500 N from Trinnaman to 1400 W endon 1200 W from 1500 N to 1300 N.

Authorized By:

Department Head

City Council Approval Date *

Mayor or City Administrator

* City Council approval required if greater than \$125,000

AGREEMENT FOR THE 2025 SEWER MAIN LINING PROJECT

THIS AGREEMENT FOR THE 2025 Sewer Main Lining Project ("Agreement") is made and entered into and effective as of the date the last party signs below ("Effective Date") by and between Lehi City, 153 North 100 East, Lehi, Utah 84043 ("City") and **Insituform Technologies, LLC dba C&L Water Solutions** whose principal place of business is located at 580 Goddard Avenue, Chesterfield, MO 63005 ("Contractor").

WHEREAS, City desires to contract for the lining of sewer mains within Lehi City as described in the documents included in the 2024-13 RFB (the "Work"); and

WHEREAS, City RFB #2024-13 and Contractor submitted a Response to RFB #2024-13 which City determined to be the lowest responsive and most responsible proposal/bid and the City desires to contract with Contractor to perform the Work;

NOW, THEREFORE, in consideration of the premises, the covenants and conditions set forth in this Agreement, and in further consideration of the execution of this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, City and Contractor agree as follows:

1. **Scope of Work.** City hereby hires Contractor and Contractor agrees to be bound to the City to perform the Work as described in RFB #2024-13 and Contractor's Response to RFB #2024-13 dated October 29, 2024, both attached hereto as Exhibit A, and referred to as the "Contract Documents" and by this reference are incorporated herein and made a part of this Agreement.

2. **Term.** The Work shall commence February 1, 2025, or as weather permits, and shall be completed no later than June 1, 2025 ("Term"). Failure to complete the Work by the end of the Term constitutes an event of default. The actual damages to the City for the delay in completion may be difficult or impossible to determine. Therefore, in lieu of actual damages, the Contractor shall pay to the City, liquidated damages for each calendar day in completing performance of the Work past the end of the Term, in an amount of \$500 per day. The final costs for liquidated damages shall be deducted from the Payment amount identified in Section 3 below.

3. **Payment.** City shall pay \$253,343.00 within 30 days of invoice after the completion of the project.

4. **Changes in Performance.** All changes in performance of this Agreement shall be described in detail on a change order request form, provided by the City, and which must be authorized in writing by an authorized representative of the City prior to commencing any proposed changes in performance. Contractor shall not be entitled to any additional consideration for changes in performance which were not authorized as contemplated by this section, nor for the correction of any mistakes attributable in any way to Contractor, or its

employees, agents, subcontractors, independent contractors, and the like.

5. **Withholding Payment for Defective Performance.** The City may withhold or, on account of subsequently discovered evidence, nullify the whole or part of any of the Payment to the extent that the City reasonably determines such withholding is necessary to protect itself from loss or liability on the account of defective or incomplete performance by Contractor, including but not limited to defective goods or services not remedied, or any other failure to comply with the terms and conditions of this Agreement.

6. **Termination.** The City may terminate this Agreement at any time if, in the sole discretion of the City, Contractor's performance under this Agreement is unsatisfactory, Contractor fails to perform its duties and obligations required by this Agreement with diligence or within the time specified herein, or Contractor has otherwise materially breached this Agreement.

6.1 Before terminating this Agreement if Contractor's performance is unsatisfactory, the City shall first provide written notice to Contractor of the City's intention to terminate this Agreement. The notice of termination must be provided by City to Contractor at least seven (7) calendar days prior to termination. After receiving such notice of termination from City, Contractor shall have the next five (5) working days in which to cure any deficiency noted by the City. If Contractor adequately cures any such deficiency to the sole satisfaction of the City, this Agreement shall continue. However, in the event Contractor fails to adequately cure any such deficiency, this Agreement shall terminate and Contractor shall be liable for any resulting damages associated with the deficiency and breach of this Agreement. The City may pursue any such damages through all available means, whether in law or in equity, or both.

6.2 The City may, in its sole discretion, terminate, suspend, or abandon this Agreement without cause at any time by providing written notice to Contractor of the City's intention to terminate this Agreement without cause. The notice of termination shall be provided by the City to Contractor at least seven (7) calendar days prior to termination.

6.3 Any Work which Contractor has completed or performed prior to the date of any termination, suspension, or abandonment shall be recorded and tangible work documents shall be transferred to, and become the sole property of, the City. If the City has terminated this Agreement without cause, then subsequently requests Contractor to recommence its performance of the Work after more than three (3) months from the date of termination, the consideration payment amount shall be subject to renegotiation at the request of either party hereto.

If City terminates this Agreement without cause, Contractor shall be paid a pro rata portion of the Payment for the reasonable value of the Work that Contractor has completed or performed prior to the date of termination.

7. Taxes.

7.1 Each party shall be solely responsible for any tax liability which it may incur as a result of this Agreement.

8. Indemnification and Insurance.

8.1 Contractor shall be solely responsible for any damage or injury which it, or its employees, agents, subcontractors, independent contractors, and the like may cause in the performance of this Agreement. Consequently, to the fullest extent permitted by law, Contractor shall indemnify, defend, and hold harmless the City, any subsidiary or affiliate of the City, and its past, present and future agents, representatives, and employees from and against all claims, damages, lawsuits, losses, liabilities, liens, cost, citations, penalties, fines and expenses, including but not limited to attorneys' fees, arising out of or resulting from Contractor's performance of this Agreement, provided that such claims, damages, losses, liabilities, liens, costs, citations, penalties, fines, and expenses are caused in whole or in part by any negligent, grossly negligent, reckless, or intentional act or omission attributable in any way to Contractor, or its employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by Contractor or any subcontractor, or any party for whose acts Contractor may be liable, regardless of whether liability is imposed upon such party. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity, which may otherwise exist in favor of the City. In any and all claims against the City, or any subsidiary or affiliate, or any of its past, present or future agents, representatives; or employees, by Contractor, or its current or former employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in any way by the amount or types of damages, compensations, or benefits payable by or for Contractor, or any subcontractor, worker's compensation acts, disability benefit acts, or other employee benefit acts.

8.2 Contractor, at its own expense, shall provide: Workers' Compensation Insurance: Statutory workers' compensation insurance (Part A). Such insurance shall also include employer's liability (Part B) insurance in a limit of not less than \$1,000,000 for each: accident, disease and employee. No owner or officer may be excluded. Rights of subrogation against the city shall be waived.

8.3 Contractor, at its own expense, shall maintain General Liability Insurance: Commercial General Liability insurance written on an occurrence basis, arising out of claims for bodily injury (including death), property damage, products liability, completed operations liability, personal injury, advertising injury, damage to

premises rented to you, with not less than \$3,000,000 per occurrence and \$3,000,000 aggregate, with the contractor naming the City as Additional Insured for ongoing and completed operations, on a primary and non-contributory basis, with rights of subrogation against the city waived.

8.4 Contractor, at its own expense, shall maintain commercial automobile liability insurance with combined single limits of at least \$1,000,000. Such benefits and coverage shall not be deemed to limit Contractor's liability under this Agreement. It is intended by this Section that the requirements set forth herein will satisfy applicable minimum requirements under Utah law. However, in the event that the foregoing requirements do not satisfy applicable Utah law, Contractor must maintain commercial automobile liability insurance in amounts satisfying applicable Utah law.

8.5 Builder's Risk / Installation Floater: Contractor shall provide optional terms for builder's risk insurance or installation floater, with the proposed premium broken out as a separate line item. Contractor agrees to have City approve builder's risk insurance program including limits, deductibles, terms, etc. The City shall maintain the right to directly purchase builder's risk coverage at their discretion.

8.6 Before commencing the Work, and at any time thereafter upon written request by the City, Contractor shall furnish the City with a copy of certificates of insurance as evidence that policies providing the coverage required by this Agreement are in effect. The City reserves the right to require complete, certified copies of all required insurance policies, with all endorsements, at any time.

8.7 All insurance required by this Agreement, with the exception of worker's compensation and employer's liability policies, shall include the City, its directors, officers, agents, and employees as additional insured persons with respect to the activities of Contractor in the performance of this Agreement, or that of its employees, agents, subcontractors, independent contractors, and the like. Any certificate presented as evidence of insurance shall specify the date when such benefits and insurance expire. Unless a different length of time is expressly set forth in this Agreement, Contractor shall maintain any insurance required by this Agreement until after the Work has been fully performed by Contractor, and subsequently approved and accepted by the City. Contractor shall provide the City with written notice at least sixty (60) days in advance of any cancellation, termination, or material alteration of said policies of insurance.

9. **Performance and Warranty Bonds or Letters of Credit.**

9.1 Prior to commencing work on the Scope of Service, Contractor must provide the City with a performance bond and a payment bond in the amount of the Payment. The completed performance bond and payment bond are attached hereto as

Exhibit B. In the event that Contractor fails to provide a performance bond and a payment bond within 10 days of the Effective Date, this Agreement shall be void.

9.2 The purpose of the performance bond and payment bond are to guarantee the proper completion by Contractor of the Work as contemplated by this Agreement and property payment to subcontractors; if any.

9.3 The performance bond and payment bond shall remain valid until the City approves of and accepts the Work, as set forth in Section 9.6.

9.4 Prior to the City's approval and acceptance of the Work, Contractor must provide the City with a warranty bond/warranty letter of credit in the amount of 10% of the Payment. The completed warranty bond/warranty letter of credit is attached as Exhibit C.

9.4.1 The purposes of the warranty bond/letter of credit is to guarantee that the Work:

(A) complies with this Agreement; and

(B) will not fail in any material respect as a result of poor workmanship or materials within the Warranty Period.

9.5 The warranty bond/warranty letter of credit shall remain valid for the entire Warranty Period.

9.6 Approval and acceptance of the Work shall be deemed to have occurred when each of the following events have been satisfied:

(A) Contractor provides written notice to the City that Contractor considers the Work to be complete.

(B) The City provides written approval and acceptance of the Work, or fails to provide a written response to Contractor, within thirty (30) days after receiving the notification contemplated by Section 9.6(A), indicating the additional work which the City considers incomplete pursuant to this Agreement.

10. Representations and Warranties.

10.1 Each party represents that:

10.1.1. Its signatory has the authority to the party to this Agreement.

10.1.2 It has not sold, assigned, or otherwise transferred any interest in the claims or subject matter contemplated by this Agreement.

10.2 Contractor represents and warrants that:

10.2.1. Contractor has sufficiently and reasonably researched the requirements of this Agreement, understands the same, and is able to competently perform each of its duties and obligations required hereunder.

10.2.2. Contractor warrants the workmanship, materials, proper functioning, and manner of the Work contemplated by this Agreement for the entire Warranty Period. In the event that any portion of the Work does not remain in good and operating condition (in the sole judgment of the City) during the Warranty Period (ordinary wear and tear excepted), Contractor, at its own expense, shall immediately perform all necessary repairs and replacements to maintain such inadequate Work in good and operating condition (to the City's sole satisfaction). Should any portion of the Work imminently jeopardize the health and safety of the City, or any other individual, the City may perform any necessary repairs and replacements (or arrange for a third party to perform such services) at Contractor's expense – to be paid by Contractor within thirty (30) days of receiving a notice of indebtedness from the City.

10.2.3. Contractor shall perform its obligations required by this Agreement in a manner consistent with applicable professional and technical standards for Work of a similar and comparable nature, and shall ensure that the implementation thereof is also performed in an applicable professional, technical, and workman-like manner. Contractor shall correct any defect in its performance at no additional cost to the City. Upon request by the City, Contractor must be able to summarize and concisely report pertinent information associated with this Agreement and the performance thereof to the City in a timely manner. Contractor shall not make any alterations or variations in or additions to, or omissions from, its duties and obligations contemplated by this Agreement, without the prior written consent of the City

10.3 Contractor's licensure or authority to transact business issued by the Utah Division of Corporations and Commercial Code and the Utah Division of Occupational and Professional Licensing, as well as any other required licensure,

is currently active, and shall remain active throughout the performance of this Agreement.

11. **Confidentiality.** The parties acknowledge that this Agreement may be subject to public disclosure pursuant to the Government Records Access and Management Act, UTAH CODE ANN. § 63G-2-101, *et seq.*, as the same may be amended from time to time.

Notwithstanding the above, Contractor agrees that, except as directed by the City, Contractor shall not at any time during or after the term of this Agreement disclose to any person or entity any information or document provided by the City which the City has designated as “confidential” or “private.” Upon the conclusion or termination of this Agreement, Contractor shall turn over to the City all documents, papers, and other matter, including copies thereof, which are in Contractor’s possession or control, and which are designated “confidential” or “private.” Contractor further agrees to bind its employees and any sub-contractors to the terms and conditions of this Section 11.

12. **Authority.** Each individual signing this Agreement warrants and represents that he or she has been authorized by appropriate action of the party which he or she represents and has authority to enter into this Agreement on behalf of the party.

13. **Notice.**

13.1 If any notice is required to be provided pursuant to the terms and conditions of this Agreement, said notice must be provided as follows:

To the City:
Lehi City Corporation

Attn: Greg Allred
2538 North 300 West
Lehi, Utah 84043

To Contractor:
Insituform Technologies, LLC
dba C & L Water Solutions
Attn: Whitney Schulte
580 Goddard Avenue
Chesterfield, MO 63005

13.2 If notice is sent via regular mail, commercial courier, and the like, receipt thereof shall be presumed on the third Calendar Day thereafter.

14. **Attorneys’ Fees and Costs.** Each party shall bear its own attorneys’ fees and costs incurred in connection with the drafting, execution, and performance of this Agreement. However, if any action at law or in equity is necessary to enforce or interpret the terms of this Agreement, the prevailing party in such action shall be entitled to recover reasonable attorneys’ fees, legal costs, and other collection fees and costs incurred by the prevailing party in connection with the suit, both before and after the judgment, in addition to any other relief to which such party may be entitled.

15. **Non-Waiver.** No failure to exercise and no delay in exercising any right, remedy, or power under this Agreement shall operate as a waiver thereof, nor shall any single or partial exercise of any right, remedy, or power under this Agreement preclude any other or further exercise thereof, or the exercise of any other right, remedy or power provided herein or by law or in equity.

16. **Binding Effect.** This Agreement is binding upon the parties and their proper and allowable heirs, legatees, representatives, successors, and assignees.

17. **Assignment.** Neither party may assign this Agreement nor delegate any responsibilities under this Agreement without prior written consent. Any purported assignment or delegation in violation of this Section without prior written consent from the non-assigning party, shall be void and will be considered a material breach of this Agreement.

18. **Amendments.** This Agreement may not be modified, amended, or terminated, except by an instrument in writing.

19. **Time.** Time is of the essence with this Agreement, as well as every term, covenant, and condition contained herein.

20. **Force Majeure.** Neither party shall be liable for any failure or delay in performing an obligation under this Agreement that is due to causes beyond its reasonable control, such as natural catastrophes, governmental acts or omissions, laws or regulations, labor strikes or difficulties, pandemics, transportation stoppages or slowdowns or the inability to procure parts or materials. If any of these causes continue to prevent or delay performance for more than 180 days, the non-delaying party may terminate this Agreement, effective immediately upon notice to the delaying party.

21. **Severability.** If any provision of this Agreement is determined to be invalid or unenforceable, the remaining provisions of this Agreement shall, nevertheless, be construed, performed, and enforced as if the invalidated or unenforceable provision had not been included in the text of the Agreement.

22. **Governing Law.** This Agreement shall be construed in accordance with the laws of the State of Utah.

23. **Entire Agreement.** All agreements, covenants, representations and warranties, express or implied, oral or written, of the parties concerning the subject matter hereof are contained solely in this Agreement, subject to any implied warranties and conditions imposed upon the parties by Utah law. No other agreements, covenants, representations, or warranties have been made by any party to any other party concerning the subject matter hereof. All prior and contemporaneous conversations, negotiations, possible and alleged agreements, representations, covenants, and warranties concerning the subject matter hereof are merged herein. This is an integrated agreement.

Dated the 9th day of DECEMBER, 2024.

Insituform Technologies, LLC dba C & L Water Solutions

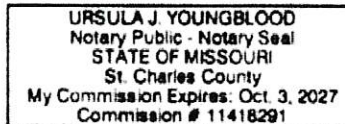
Whittney Schulte
By: Whittney Schulte
Its: Contracting & Attesting Officer

STATE OF MISSOURI)
 : ss.
COUNTY OF SAINT LOUIS)

On this 6 day of December, 2024, personally appeared before me Whittney Schulte, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the Contracting & Attesting Officer of Insituform Technologies, LLC dba C & L Water Solutions and that said document was signed by him/her in behalf of said Company by Authority of its Articles of Organization, Operating Agreement, or Resolution of its Members/Managers and said Whittney Schulte acknowledged to me that said Company executed the same.

Witness my hand and official seal.

Ursula J. Youngblood
(notary signature)



Dated the ____ day of _____, 2024.

Lehi City Corporation

Mayor Mark Johnson

Attest:

Teisha, Wilson, City Recorder

EXHIBIT A – Contract Documents

Bid Schedule
Lehi City Sanitary Sewer Lining Project 2024

Item No.	Description	Est. Quantity	Units	Unit Price	Total
1	Installation of 10" UV CIPP Liner - Includes lateral reinstatements	1,047	feet	\$57.00	\$59,679.00
2	Installation of 12" UV CIPP Liner - Includes lateral reinstatements	2,298	feet	\$60.00	\$137,880.00
3	Mobilization	1	ea.	\$28,518.00	\$28,518.00
4	Pipe prep / Cleaning & Inspection	1	ea.	\$15,604.00	\$15,604.00
5	Traffic Control Plan	1	ea.	\$6,762.00	\$6,762.00
6	Sewer Bypass	1	ea.	\$4,112.00	\$4,112.00
7	Notification to all residents affected by project 24 -48 hours before project begins for each section of work.			\$788.00	\$788.00
Two Hundred Fifty-Three Thousand, Three Hundred Forty-Three Dollars and No Cents					
Grand Total					\$253,343.00



City of Lehi
c/o Weston Winters
Wastewater Supervisor
(385) 201-2424

RE: RFB
Lehi City Sewer Pipe Lining 2025 Project
Project No. 2024-13

Mr. Winters:

We are pleased to present Iron Horse LLC's qualifications to work in the City of Lehi. Over the years, we have diversified ourselves to offer a solution to difficult pipeline problems, where others may not have the means or knowledge. We have worked closely with owners and municipalities to assess their systems and create solutions in challenging situations. We have several clients that we have performed between two and four phases of their projects. Our company offers two superintendents, four mainline crews, a T-Liner crew, and an office full of support staff to serve the west coast. For this project, you can expect to work with Carlie Moore, Managing Member, Brandon Fulton, General Manager, Colby Rios, General Superintendent, Riley Madden, Mainline Superintendent, and Jered Teel Project Manager. Iron Horse does not have any litigation, prosecution, or other claims by or against a proponent.

Due to the small size of this project, we will have flexibility of scheduling as needed. This project as outlined is what we do every day. Iron Horse LLC would be happy to lead this team through the rehabilitation of Lehi's wastewater system for this and future projects to come!

Respectfully,

Carlie Moore
Managing Member
Iron Horse Pipeline Services LLC
PO Box 1472/5501 NE 223rd Ave Bldg D
Fairview, OR 97024
(503) 674-0980
(503) 674-0989

Bid Schedule
Lehi City Sanitary Sewer Lining Project 2024

Item No.	Description	Est. Quantity	Units	Unit Price	Total
1	Installation of 10" UV CIPP Liner - Includes lateral reinstatements	1,047	feet	63	65,961
2	Installation of 12" UV CIPP Liner - Includes lateral reinstatements	2,298	feet	65	149,370
3	Mobilization	1	ea.		20,000
4	Pipe prep / Cleaning & Inspection	1	ea.		10,000
5	Traffic Control Plan	1	ea.		15,000
6	Sewer Bypass	1	ea.		12,000
7	Notification to all residents affected by project 24 -48 hours before project begins for each section of work.				1,000
Grand Total					273,331

10/7/2024

Lehi City
153 North 100 East
Lehi, Utah 84043

Lehi City Sewer Pipe Lining 2025 Project
Request for Bids (RFB)
No. 2024-13

Bid Due: October 29, 2024; 5:00 pm



Submitted by:
Inliner Solutions, LLC
7915 Cherrywood Loop, Klowa, CO 80117
Phone: 303.880.4710

Contacts: Mark Slack, Regional Vice President
E-mail: mark.slack@puriscorp.com

Joe Moya, Estimator
E-mail: joe.moya@puriscorp.com



Bid Schedule
Lehi City Sanitary Sewer Lining Project 2024

Item No.	Description	Est. Quantity	Units	Unit Price	Total
1	Installation of 10" UV CIPP Liner - Includes lateral reinstatements	1,047	feet	\$58.00	\$60,726.00
2	Installation of 12" UV CIPP Liner - Includes lateral reinstatements	2,298	feet	\$75.00	\$172,350.00
3	Mobilization	1	ea.	\$35,000.00	\$35,000.00
4	Pipe prep / Cleaning & Inspection	1	ea.	\$10,500.00	\$10,500.00
5	Traffic Control Plan	1	ea.	\$28,500.00	\$28,500.00
6	Sewer Bypass	1	ea.	\$1,000.00	\$1,000.00
7	Notification to all residents affected by project 24 -48 hours before project begins for each section of work.	1	LS	\$750.00	\$750.00
Grand Total					\$308,826.00

Bid Schedule
Lehi City Sanitary Sewer Lining Project 2024

Item No.	Description	Est. Quantity	Units	Unit Price	Total	
1	Installation of 10" UV CIPP Liner - Includes lateral reinstatements	1,047	feet	\$90.00	\$94,230.00	
2	Installation of 12" UV CIPP Liner - Includes lateral reinstatements	2,298	feet	\$93.00	\$213,714.00	
3	Mobilization	1	ea.	\$73,200.00	\$73,200.00	
4	Pipe prep / Cleaning & Inspection	1	ea.	\$27,800.00	\$27,800.00	
5	Traffic Control Plan	1	ea.	\$20,000.00	\$20,000.00	
6	Sewer Bypass	1	ea.	\$170,500.00	\$170,500.00	
7	Notification to all residents affected by project 24 -48 hours before project begins for each section of work.			Included above		
Whitaker Construction Co. Inc.					Grand Total	\$599,444.00



Whitaker Construction Co Inc.

44 South 1050 West

Brigham City, UT 84302

Ken Hamson

Office: 435-723-2921

Ken.Hamson@whitcon.com

Fax: 435-723-5800

Vice President

Dear Lehi City,

Within the attached RFB, you will find Whitaker Construction's Quote for the Lehi City Sewer Pipe Lining 2025 Project.

We look forward to the opportunity to work with Lehi City on this project. Along with the attached proposal we have included information regarding our project team, references and qualifications, a schedule showing a timeline of when the project will be completed, and our current financial report.

Thank you for trusting us to complete this project with you. We appreciate your business and look forward to working with you. Please review the official RFB and respond with your thoughts.

If you have any additional questions, feel free to contact me anytime at Kolten Watterson (Kolten.watterson@whitcon.com) or Ken Hamson (Ken.hamson@whitcon.com) . We look forward to speaking with you further on this project.

Sincerely,

A handwritten signature in blue ink, appearing to be 'KH' or similar initials.

Ken Hamson



PURCHASE ORDER
LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

THIS ORDER
 NUMBER # 7927
 MUST APPEAR
 ON YOUR
 INVOICE

ISSUED TO: 46
 AC EXCAVATION INC
 1584 WEST 900 NORTH
 LEHI UT 84043

SHIP TO: LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

PURCHASE ORDER DATE: 12/17/2024

DEPARTMENT: POWER

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
1.00	FLIGHT PARK - NORTH POINT GATEWAYS	274,590.00	274,590.00	73-50-22-002

Comments/Notes

TOTAL

274,590.00

EXCAVATION CONTRACT

Authorized By:

Joel Eves
 Department Head

City Council Approval Date *

Mayor or City Administrator

* City Council approval required if greater than \$125,000

Lehi City Purchase Requisition Request

Supplier	Name	AC Excavation	Vendor #	
	Street	1584 W 900 N	Date	12/3/2024
	City	Lehi	State	UT
	Zip	84043	Phone	

Dean Lundell



Power	73-50-22-002	
Requesting Department	Dept. Account No.	Department Head Signature

Quantity	Unit	Materials and Description	Price	Total
1		Flight Park - North Point Getaways	\$274,590.00	\$274,590.00
Total				\$274,590.00

Justification: Excavation Contract	Price Determination State Bid Informal Bid Written Bid State Bid Other	
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AC Excavation

1584 W 900 N
Lehi, UT, 84043
ac@acexcavation.com
CON LIC: 4923333-5501 E100
801-420-3081
Tax Reg N°: 87-0670994

Estimate

Estimate No: 93
Date: 03/23/2023

For: Lehi Power Bid

Job Flight Park

Description	Quantity	Rate	Amount
Equipment & base installation	25	\$650.00	\$16,250.00
6" Conduit	9,500	\$16.75	\$159,125.00
6' RMC Elbow	50	\$725.00	\$36,250.00
4" RMC	15	\$350.00	\$5,250.00
6" FA	100	\$25.00	\$2,500.00
Ground rods	90	\$32.00	\$2,880.00
Concrete 90s	65	\$125.00	\$8,125.00
4" Female Adaptor	30	\$15.00	\$450.00
Back fill sand	3,800	\$3.25	\$12,350.00
Burial tape	7,600	\$1.10	\$8,360.00
6 ft trench	1,900	\$9.50	\$18,050.00
Compaction test	25	\$200.00	\$5,000.00

AC Excavation - Estimate 93 - 03/23/2023

Subtotal	\$274,590.00
Total	\$274,590.00

Total	\$274,590.00
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PURCHASE ORDER
LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

THIS ORDER
 NUMBER # 7919
 MUST APPEAR
 ON YOUR
 INVOICE

ISSUED TO: 4164
 STUART C IRBY CO.**
 P.O. BOX 843959
 DALLAS TX 75284

SHIP TO: LEHI CITY CORPORATION
 153 NORTH 100 EAST
 LEHI UT 84043

PURCHASE ORDER DATE: 12/12/2024

DEPARTMENT: POWER

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL	GL ACCOUNT
200.00	HPS 625BTN41 ELBOW 25KV 600 AMP KIT 1000 6X6 T-BODY KIT FOR 1100 WIRE	128.00	25,600.00	53-1415
400.00	HPS CHANCE 615EPTN41C T BODY 1000 KCMIL LP KIT W/200A BUSING NO TEST PT 600 AMP ELBOW KIT 6X2 T-BODY KIT W/DUMMY COVER	276.00	110,400.00	53-1415
600.00	3M 7000132477 8454 CABLE ACCESSORY SEALING KIT	48.00	28,800.00	53-1415

TOTAL **164,800.00**

Comments/Notes

THESE KITS ARE FOR 1100 WIRE PROJECTS INVERNESS PHASES AND SKYE PHASES GETAWAYS FROM SUBSTATIONS VISTAS AT TEH POINT LDS TEMPLE AND CHURCH ON SKYE/INVERNESS
 20 WEEK LEAD TIMES

Authorized By:

Joel Eves

 Department Head

 City Council Approval Date *

 Mayor or City Administrator

* City Council approval required if greater than \$125,000

Lehi City Purchase Requisition Request

Supplier	Name	STUART C. IRBY CO.	Vender #	
	Street	PO BOX 843959	Date	12/10/2024
	City	DALLAS	State	TX
	Zip	75284	Phone	801-724-3000

Dean Lundell

POWER	53-1415	
Requesting Department	Dept. Account No.	Department Head Signature

Quantity	Unit	Materials and Description	Price	Total
200		HPS 625BTN41 ELBOW, 25KV 600 AMP KIT 1000 6X6 T-BODY KIT FOR 1100 WIRE	\$128.00	\$25,600.00
400		HPS CHANCE 615EPTN41C T BODY 1000 KCMIL LB KIT W/200A BUSHING NO TEST PT 600 AMP ELBOW KIT 6X2 T-BODY KIT W/DUMMY COVER	\$276.00	\$110,400.00
600		3M 7000132477 8454 CABLE ACCESSORY SEALING KIT	\$48.00	\$28,800.00
		THESE KITS ARE FOR 1100 WIRE PROJECTS INVERNESS PHASES AND SKYE PHASES GETAWAYS FROM SUBSTATIONS VISTAS AT THE POINT LDS TEMPLE AND CHURCH ON SKYE / INVERNESS		
		20 WEEK LEAD TIMES		
				\$164,800.00

Justification: SEE ATT.	<table border="0" style="width: 100%;"> <tr><td>Price Determination</td><td style="text-align: center;">*</td></tr> <tr><td>Verbal Quote</td><td></td></tr> <tr><td>Informal Bid</td><td></td></tr> <tr><td>Written Bid</td><td style="text-align: center;">*</td></tr> <tr><td>State Bid</td><td></td></tr> <tr><td>Other</td><td></td></tr> </table>	Price Determination	*	Verbal Quote		Informal Bid		Written Bid	*	State Bid		Other	
Price Determination	*												
Verbal Quote													
Informal Bid													
Written Bid	*												
State Bid													
Other													



STUART C IRBY BR 1093 SALT LAKE CITY
 6312 WEST BEAGLEY ROAD
 WEST VALLEY CITY UT 84128
 385-285-3199

Quotation

QUOTE DATE	ORDER NUMBER
11/27/24	S014122191
REMIT TO: STUART C. IRBY CO. POST OFFICE BOX 843959 DALLAS TX 75284	PAGE NO. 1

SOLD TO:
 LEHI CITY CORP
 153 NO 100 EAST
 LEHI, UT 84043

SHIP TO:
 LEHI CITY CORP
 560 WEST GLENN CARTER DRIVE
 LEHI, UT 84043
 801-768-7100

ORDERED BY: KENNY

CUSTOMER NUMBER		CUSTOMER ORDER NUMBER		JOB/RELEASE NUMBER		OUTSIDE SALESPERSON	
222013		LEHI CITY T BODY KITS				Gregory J McPhie	
INSIDE SALESPERSON		REQD DATE		FRGHT ALLWD		SHIP VIA	
JOSEPH C RHO		11/27/24		Yes			
ORDER QTY	SHIP QTY	LINE	DESCRIPTION	Prc/Uom	Ext.Amt		
200EA		1	***** Shipping Instructions ***** * SCOTT PECK 801-494-9684 * * KENNY 385-201-2612 OFC * * 801-655-3042 MBL * ***** HPS 625BTN41 ELBOW, 25KV 600A KIT 1000 ***** 20 WEEK LEAD TIME *****	128.000EA	25600.00		
400EA		2	HPS CHANCE 615ETPN41C T BODY 1000KCMIL LB KIT W/200A BUSHING NO TEST PT 600A ELBOW KIT ***** 20 WEEK LEAD TIME *****	276.000ea	110400.00		
600EA		3	3M 7000132477 8454 CABLE ACCESSORY SEALING KIT	48.000EA	28800.00		

*** This is a quotation ***

Prices firm for acceptance within 30 days with the exception of commodity prices which are subject to change daily. Quotation is void if changed. Complete quote must be used unless authorized in writing.

All transactions are subject to and exclusively governed by our Terms and Conditions of Sale which are incorporated herein and available at: <https://www.irbyutilities.com/terms>. Additional or conflicting terms are rejected, void, and of no force or effect.

Subtotal	164800.00
S&H CHGS	0.00
Sales Tax	0.00
TOTAL	164800.00

** Reprint ** Reprint ** Reprint **



QUOTE

3130 SOUTH 1030 WEST SUITE 2
SALT LAKE CITY, UT 84119

Phone: (801) 288-2831
Fax: 801.288.2837

ORDERED BY	QUOTE DATE	QUOTE NO.
KENNY	12/05/24	6255826-00
P.O. DATE	P.O. NUMBER	PAGE NO.
12/05/24	QUOTE	1 of 1
SALES REP	TAKEN BY	FREIGHT OUT
WRIS	WRIL	NO



CUST #: 6001692

BILL TO: LEHI CITY
153 NORTH 100 EAST
LEHI, UT 84043

SHIP TO: LEHI CITY POWER
POWER DEPT WAREHOUSE
560 WEST GLEN CARTER BLVD
LEHI, UT 84043-3670

INSTRUCTIONS	SHIP POINT	VIA	SHIPPED	TERMS
	Anixter - wSlc/3304	Best Way		Net 30

LINE NO.	PRODUCT AND DESCRIPTION	ORDERED	BO	SHIPPED	UM	PRICE	NET AMOUNT
1	615ETPN41C HUBBELL ELBOW 15KV 600A ETP KIT 1000 IC LEAD TIME: 20 WEEKS	400		400	each	276.60	110640.00
2	625BTN41 ELBOW 25KV 600A 96359392071 Quote# HPS SHEET 1 Quote Exp Dt: 12/31/24 LEAD TIME: 20 WEEKS	39207 200		200	EA	124.65	24930.00
3	8454 KIT SEALING 750-1500 1.60"-3.50" COLD SHRINK	49938 600		600	EA	50.58	30348.00
3 Lines Total			Qty Shipped Total	1200		Total	165918.00
						Invoice Total	165918.00

Last Page

All sales are subject to the Anixter Terms & Conditions of Sale found at www.anixter.com/termsandconditions. Product safety data sheets may be found on the same website. Wesco may charge you storage and transportation fees if you do not take possession or accept delivery of the above products within ninety (90) days or agreed upon time from such products being available for delivery or pick-up.

QUOTATION

Western United Electric Supply Corp

1010 North Hwy 198
Salem, UT 84653
US
801-822-2174



Order Number	
2100224	
Order Date	Page
12/09/2024 13:26:03	1 of 1

Quote Expires On: 12/16/2024

Pricing and lead times are subject to change at time of shipment due to market volatility

Bill To:

Lehi City
560 Glen Carter Dr
Lehi, UT 84043-3670
US

Ship To:

Lehi City
560 WEST GLEN CARTER DRIVE
LEHI, UT 80403
US

Attn: Penny Jensen

Requested By: Kenny Norris

Customer ID: 10346

PO Number	Ship Route	Taker
HUBBELL T BODY KITS		CCHRISTENSEN

Quantities					Item ID	Pricing UOM	Unit Price	Extended Price
Ordered	Allocated	Remaining	UOM Unit Size	Disp.				
400.00	0.00	400.00	EA		615ETPN41C	EA	381.358696	152,543.48
				1.0	15 kV Elbow Tap Plug Kit ***20 WEEKS ARO***	1.0		
200.00	0.00	200.00	EA		625BTN41	EA	231.586957	46,317.39
				1.0	25/28 kV, 600 Amp, T-Body Kit ***20 WEEKS ARO***	1.0		
600.00	0.00	600.00	EA		8454	EA	32.844444	19,706.67
				1.0	Sealing Kit 15kv 750-1500 25kv 600-1250 ***100 IN STOCK - BALANCE IN 1-2 WEEKS***	1.0		

Total Lines: 3

SUB-TOTAL: 218,567.54
TAX: 0.00
AMOUNT DUE: 218,567.54
U.S. Dollars

Effective July 1, 2024, Colorado imposes a retail delivery fee of \$0.29 on all deliveries by motor vehicle to a location in Colorado with at least one item of tangible personal property subject to state sales or use tax. The fee will be assessed at the time of shipment and included on your invoice.



Library shelving Proposal

Spacesaver Intermountain, LLC
14761 South Future Way
Suite 101
Draper, UT 84020

Quote/Order No	121022
Date	09/23/2024
Customer PO No	
Customer Account	LEHI CITY
Sales Associate	KEN YORK
Project Number	
Page	1 of 5

T LEHI CITY CORPORATION
O 153 NORTH 100 EAST
LEHI, UT 84043

ATTN: Accounts Payable

S LEHI CITY CORPORATION
H 153 NORTH 100 EAST
I New Library
P LEHI, UT 84043

T
O ATTN: Accounts Payable

Prepared for : Accounts Payable

The pricing is based on UT State Contract - MA-1943 and includes Material and Freight for the cantilever shelving as well as Installation of Spacesaver Cantilever shelving and owner supplied end panels and canopy tops

The pricing is valid for 90 Days for placement of order, If ordered by December 1, 2024 we can hold manufacture /shipment/delivery until November, 2025

The current estimated lead time is 11-12 weeks from point of order.

Colors are to be from Spacesaver Standard color selections-Designer Grey has been selected

Line	Quantity	Catalog Number/Description	Unit Price	Extended Amount
2	1.00 Each	<p>SPACESAVER CANTILEVER SHELVING Furnish new Static Spacesaver Cantilever shelving as well as Spacesaver Flexible Cantilever shelving. Install customer provided stack end panels and canopy tops.</p> <p>The breakdown by area for the furnished cantilver shelving is as follows:</p> <p>Adult Area Elevation C9- Qty (69) at 36" w x 18"d x 84" h- DF - 6 levels Qty (1)8" d Flat base slotted shelf per side with full height back stop Qty (5) 8" d Flat adj slotted shelf per side Qty (1) narrow height slotted Back stop per level-per side No dividers per level per side</p> <p>Adult Area Elevation C18- Qty (16) at 30" w x 18"d x 84" h- DF - 6 levels Qty (1) 8" d Flat base slotted shelf per side with full height back stop Qty (5) 8" d Flat adj slotted shelf per side Qty (1) narrow height slotted Back stop per level-per side No dividers per level per side</p> <p>Children's-Picture Books Elevation C10- Qty (55) at 36" w x 26"d x 66" h- DF - 5 levels Qty (1) 12" d slotted base shelf per side with Full Height Back Stop Qty (4) 12" d slotted adj shelf per side Qty (1) narrow height stop per level-per side Qty (3) dividers per level per side</p> <p>Children's-Carts Elevation C11 And C15-Cart- 20" deep x 72" Wide and 66" wide Qty (27) at 36" w x 20"d x 42" h- DF - 3 levels</p>	391,214.29	391,214.29

Library shelving Proposal

Spacesaver Intermountain, LLC
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Suite 101
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Quote/Order No	121022
Date	09/23/2024
Customer PO No	
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Project Number	
Page	2 of 5

	<p>Overall height +/- 49"</p> <p>Qty (1) 9" d flat- slotted adjustable shelves per side Qty (2) 8" d sloped- slotted adjustable shelves per side Qty (1) Full height Back stop per level-per side Qty (4) dividers per level per side</p> <p>Children's Carts Elevation C16-Cart- 20" deep x 66" wide Qty (9) at 30" w x 20"d x 42" h- DF - 3 levels Overall height +/- 49" Qty (1) 9" d flat- slotted adjustable shelves per side Qty (2) 8" d sloped- slotted adjustable shelves per side Qty (1) Full height Back stop per level-per side Qty (4) dividers per level per side</p> <p>Childrens-Back Packs and Kits Elevation C12- Qty (1) at 36" w x 14"d x 66" h- SF - 5 levels Qty (1) 12" d Flat slotted base shelf per side with Full Height Back Stop Qty (4) 12" d Flat slotted adj shelf per side Qty (1) narrow Back stop per level-per side Qty (5) dividers per level per side</p> <p>Childrens-Back Packs and Kits Elevation C17- Qty (4) at 30" w x 14"d x 66" h- SF - 5 levels Qty (1) 12" d Flat slotted base shelf per side with Full Height Back Stop Qty (4) 12" d Flat slotted adj shelf per side Qty (1) narrow Back stop per level-per side Qty (5) dividers per level per side</p> <p>Childrens-Back Packs and Kits Elevation C8- Qty (3) at 36" w x 14"d x 66" h- SF - 5 levels Qty (1) 12" d Flat slotted base shelf per side with Full Height Back Stop Qty (4) 12" d Flat slotted adj shelf per side Qty (1) narrow Back stop per level-per side Qty (5) dividers per level per side</p> <p>Spanish Elevation C6- Qty (10) at 30" w x 26"d x 66" h- DF - 5 levels Qty (1) 12" d Flat base slotted shelf per side with full height back stop Qty (4) 12" d flat adj slotted shelf per side Qty (1) narrow height slotted Back stop per level-per side Qty (3) dividers per level per side</p> <p>Young Adults/Teen Elevation C1- Qty (63) at 36" w x 20"d x 84" h- DF - 6 levels Qty (1) 8" d sloped base slotted shelf per side</p>	
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Library shelving Proposal

Spacesaver Intermountain, LLC
14761 South Future Way
Suite 101
Draper, UT 84020

Quote/Order No	121022
Date	09/23/2024
Customer PO No	
Customer Account	LEHI CITY
Sales Associate	KEN YORK
Project Number	
Page	3 of 5

	<p>with Full height back stop Qty (5) 8" d sloped adj slotted shelf per side Qty (1) Full height Back stop per level-per side Qty (2) dividers per level per side</p> <p>Young Adults/Teen Elevation C2- Qty (2) at 24" w x 20"d x 84" h- DF - 6 levels Qty (1) 8" d sloped base slotted shelf per side with Full height back stop Qty (5) 8" d sloped adj slotted shelf per side Qty (1) Full height Back stop per level-per side Qty (2) dividers per level per side</p> <p>Audio/CD's Elevation C3- Niche area-Qty (7) at 36" w x 10"d x 84" h- SF - 6 levels Qty (1) 8" d sloped slotted base shelf with full height back stop Qty (5) 6" d sloped slotted adj shelf Qty (1) Full Height Back stop per level Qty (2) dividers per level</p> <p>Audio/CD's Elevation C4- Niche area-Qty (3) at 30" w x 10"d x 84" h- SF - 6 levels Qty (1) 8" d sloped slotted base shelf with full height back stop Qty (5) 6" d sloped slotted adj shelf Qty (1) Full Height Back stop per level Qty (2) dividers per level</p> <p>Audio/CD's Elevation C7- Niche area-Qty (7) at 36" w x 20"d x 84" h- DF - 6 levels Qty (1) 8" d sloped slotted base shelf with full height back stop Qty (5) 6" d sloped slotted adj shelf Qty (1) Full Height Back stop per level Qty (2) dividers per level</p> <p>Audio/CD's Elevation C5- Niche area-Qty (4) at 30" w x 20"d x 84" h- DF - 6 levels Qty (1) 8" d sloped slotted base shelf with full height back stop Qty (5) 6" d sloped slotted adj shelf Qty (1) Full Height Back stop per level Qty (2) dividers per level</p> <p>Qty (35) extra 8" deep slotted sloped with full height back stop</p> <p>See Drawing for layouts and elevations</p>		
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Library shelving Proposal

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Quote/Order No	121022
Date	09/23/2024
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Customer Account	LEHI CITY
Sales Associate	KEN YORK
Project Number	
Page	4 of 5

Bank Details: Wells Fargo Bank
420 Montgomery St. San Francisco CA 94104
Bank Account:.....5762873718
Routing Number.....124002971
SWIFT Code.....WFBIUS6S
Please send remittance statement to:
AR@HBWorkplaces.com

SUB TOTAL: \$391,214.29
Required Deposit 50.0%: \$195,607.15

Account Manager - Ken York
E-Mail - kyork@spacesaverim.com
Direct Telephone- 801-994-6384
Spacesaver Intermountain, LLC small business cage code- 3ECJ3

End Panels and canopy tops by others-Pricing does not include pick-up or delivery

Buyer agrees to purchase the goods and services described on this and all preceding pages, in accordance with the TERMS AND CONDITIONS on the following page, including but not limited to the "Payment" and "Default, Interest and Fees" provisions. This proposal is only an offer to purchase and is not binding upon the SELLER until accepted by the SELLER in writing. This proposal is valid for 30 days unless noted otherwise. SELLER SHALL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES.

SIGNATURE: _____

DATE: _____

PRINT NAME: _____

TITLE: _____

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Action Item

Agenda Section: Consent Agenda

Subject:

Approve City Council Meeting Minutes

Suggested Action:

Attachments:

[120324 WS DRAFT.pdf](#)

[121024 CC.pdf](#)



153 North 100 East
Lehi, UT 84043
(801) 768-7100

Minutes of the **Work Session** of the **Lehi City Council** held Tuesday, **December 3, 2024**, at Lehi City Hall, 153 North 100 East, Lehi, Utah. The meeting began at approximately 4:00 PM.

Present: Mark Johnson, Mayor
Paige Albrecht, Council Member
Heather Newall, Council Member
Michelle Stallings, Council Member

Excused: Chris Condie, Council Member
Paul Hancock, Council Member

Others Present: Brent Everett, Planning Commission Vice Chair; Tyson Eyre, Planning Commission Member; Kim Struthers, Community Development Director; Katie Bussell, Planner; Jacob Curtis, Planner; Brittney Harris, Planner; Noreen Edwards, Planning Administrative Assistant; Beau Thomas, Deputy City Administrator; Cameron Boyle, Assistant City Administrator; Sherrie Benson, Executive Assistant; Jeanteil Livingston, Communications Manager; Teisha Wilson, City Recorder; Kate Morgan, Deputy City Recorder

1. Senior Staff Christmas Dinner

Mayor Mark Johnson welcomed everyone and thanked everyone for a great year in Lehi City.

2. Regular Agenda

2.a. Consideration of Adjourning into a Closed Session for Active Threat Trainings.

Motion: Councilor Stallings moved to Adjourn into a Closed Session for Active Threat Training. Councilor Albrecht seconded the motion.

Roll Call Vote: Councilor Albrecht, Yes; Councilor Newall, Yes; Councilor Stallings, Yes. The motion passed unanimously.

The meeting recessed at approximately 5:05 p.m.

The meeting reconvened at approximately 7:27 p.m.

3. Adjournment

With no further business to come before the City Council at this time the meeting adjourned at approximately 7:28 p.m.

Approved:

Attest:

Mark Johnson, Mayor

Kate Morgan, Deputy City Recorder



Minutes of the **Pre Council and Regular Session** of the **Lehi City Council** held Tuesday, **December 10, 2024**, at Lehi City in the Council Chamber, 153 N 100 E. Lehi, UT.

Members Present: Mark Johnson, Mayor
Paige Albrecht, Council Member
Chris Condie, Council Member
Heather Newall, Council Member
Michelle Stallings, Council Member

Excused: Paul Hancock, Council Member

Others Present: Jason Walker, City Administrator; Ryan Wood, City Attorney; Lorin Powell, City Engineer; Kim Struthers, Community Development Director; Cameron Boyle, Assistant City Administrator; Marlin Eldred, Economic Development Director; Beau Thomas, Deputy Administrator; Dean Lundell, Finance Director; Matthew Lee, Management Analyst; Steve Marchbanks, Park and Facilities Manager; and Teisha Wilson, City Recorder.

Pre Council, 5:00 p.m.

1. Welcome and Opening Comment

Mayor Johnson welcomed everyone and noted that all Councilmembers were present except for Council Hancock who is excused. Councilor Condie joined the meeting at approximately 5:23 p.m. Councilor Albrecht gave the opening comment.

2. Consideration of Adjourning into a Closed Session to discuss pending or reasonably imminent litigation.

This item was moved to later in Pre-Council.

3. Presentations and Reports

Item 3.4 was heard first

3.4) Quarterly Finance Report

Dean Lundell, Finance Director, presented the city's quarterly financial report. He noted that the early part of the year typically doesn't have as much activity, as many revenues don't come in until later. Lundell explained that the city's sales tax receipts have been a bit behind budget and lower than the previous year, though he said this isn't too concerning yet. He mentioned that statewide, sales tax growth has been modest compared to the high growth the city has seen in recent years. Lundell also discussed the city's general fund balance, which is projected to be just above 35% of the budget. He said the city will work with the insurance provider to determine appropriate reserve levels, including for things like natural disasters. Lundell provided an update on the city's PARC tax, noting that about \$3 million of the \$4.3 million collected so far is available for capital projects, with the first \$5 million set aside for the Family Park project.

48 Finally, Lundell shared data on building permit and development fee revenues, which have been
49 down a bit compared to recent high years, but are still relatively strong.

50

51 3.1) Parks and Recreation Master Plan Update

52

53 Councilor Condie joined the meeting at approximately 5:24 p.m.

54

55 The presentation outlined the development of Lehi's new parks and recreation system plan, a
56 long-range planning tool to evaluate service gaps and identify improvement opportunities.
57 Presenters shared initial analysis on Lehi's rapid growth and large youth population. They
58 discussed the community engagement process, including a highly successful survey that revealed
59 strong demand for amenities like splash pads, playgrounds, trails, and indoor facilities, as well as
60 a desire for more trees and youth programming. Based on this input, the presenters outlined five
61 key plan themes: engaging outdoor experiences, diverse play and programming, community
62 connection, matching resources to growth, and nature. The next steps will be developing specific
63 strategies and priorities to implement the plan over the next 10 years.

64

65 2. Consideration of holding a Closed Session to discuss pending or reasonably imminent 66 litigation.

67

68 **Motion:** Councilor Albrecht moved to hold a Closed Session to discuss pending or
69 reasonably imminent litigation. Councilor Newall seconded the motion.

70

71 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock, Yes;
72 Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed unanimously.

73

74 The meeting closed at approximately 6:06 p.m.

75 The meeting resumed at approximately 6:36 p.m.

76

77 3.2) Point of the Mountain Chamber of Commerce Report

78 Marcy Gundrey- Chamber President presented a report for the Chamber of Commerce. She
79 highlighted the importance of community engagement. The Chamber has hosted several
80 successful events over the past year, including a state of the community event with the mayor
81 and a Halloween on Main Street event that attracted 1,500 kids. The chamber has also served as
82 stewards of the historic railroad depot, hosting events and ribbon cuttings for new businesses.
83 The chamber's membership has grown to over 400 members, with 50% being Lehi businesses.
84 Looking ahead to 2025, the chamber plans to focus on providing tailored resources for
85 businesses of all sizes, expanding educational and networking opportunities, and continuing to
86 engage with the city and promote local commerce. Ms. Gundrey expressed gratitude for the city's
87 partnership and support, and welcomed feedback from the community.

88

89 3.3) Discussion on Attainable Housing Overlay Zone

90 Brittney Harris, Lehi Planner, presented on the proposed attainable housing overlay zone. The
91 goal of the overlay is to focus on single-family housing for critical and essential workers by
92 setting a target price for homes and adjusting the density to meet that price point. The process
93 would be voluntary for developers. The proposal includes a 10-year deed restriction for owner-
94 occupancy.

95 The Council raised several concerns. Councilor Condie and Councilor Stallings questioned
96 whether the proposal would truly reach affordable levels. Stallings also expressed reservations
97 about using zoning to control land prices, arguing this is not the primary purpose of zoning.
98 Mayor Johnson emphasized the need for appropriate infrastructure to support new development.
99 Overall, the council agreed this is a complex issue and decided to hold a work session to further
100 discuss the proposal and explore other affordable housing solutions.

101

102

103 **3. Agenda Questions**

104 None.

105

106 **4. Administrative Report**

107 None.

108

109 **5. Mayor and Council Reports**

110 None.

111

112

113 **Regular Session, 7:08 p.m.**

114 **1. Welcome, Roll Call, Pledge of Allegiance**

115 Mayor Johnson welcomed everyone and noted that all Councilmembers were present except for
116 Councilor Hancock who is excused. Mayor Johnson led the Pledge of Allegiance.

117

118 **2. Presentation and Reports**

119 **2.1) Lehi City Proclamation for Commitment to Volunteerism**

120 Mayor Johnson read and then signed the proclamation and Rob Craig for leading volunteer efforts
121 in Lehi.

122

123 **3. 20 Minute Citizen Input**

124 A community member suggests returning to traditional voting methods due to the complexity and
125 confusion caused by ranked-choice voting.

126

127 Casey Smith from the Utah Wing of the Civil Air Patrol invited the Council to a unit activation
128 ceremony for a new cadet squadron.

129

130 Ross Carter expressed frustration with noise and light industrial activities from Hadco that
131 negatively affects his neighborhood and asked for better enforcement and legislation.

132

133 Two Skyridge High School students proposed adding a 4-way stop at an intersection near the new
134 Family Park to improve pedestrian safety.

135

136 **4. Consent Agenda**

137 4.1) Approve City Council Minutes

138 4.2) Approve Purchase Orders

139 4.4) Approve the 2025 City Council Meeting Schedule

- 140 4.5) Consideration of Resolution #2024-61 approving an Amendment to the Water
141 Infrastructure Development and Cost Sharing Agreement with Geneva Rock
142 Products.- *Pulled from the Agenda*
143 4.6) Consideration of Resolution #2024-60 approving an Amendment to the Interlocal
144 Cooperation Agreement for the operation of the Utah County Major Crimes Task
145 Force.

146
147 **Motion:** Councilor Condie moved to approve the consent agenda, with the exception of item
148 4.5 which has been pulled. Councilor Albrecht seconded the motion.
149

150 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock, Absent;
151 Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in favor and
152 1 absent.
153

154
155 **5. Consideration of Resolution #2024-62 approving the City's Application to the Broadband**
156 **Infrastructure Grant Program.**

157 Shaye Ruitenbeek Fiber Department Manager presented the resolution, which would approve
158 the City's application to pre-register for the broadband infrastructure grant program. This is a
159 federal grant program that the state of Utah has been awarded \$317 million for. Ruitenbeek
160 explained that this resolution does not commit the city to applying for the grant, but rather
161 allows the city to pre-register and keep the option open to apply in the future. She noted that
162 there are some requirements around low-cost options that the city is still evaluating as part of
163 the pros and cons of potentially applying. The explained that the Council would have further
164 discussions and approvals before any actual grant application is submitted. The council
165 ultimately approved the resolution, with the understanding that more details would be
166 brought back for further consideration before deciding whether to apply for the grant
167 funding.
168

169 **Motion:** Councilor Albrecht moved to approve Resolution #2024-62 approving the City's
170 Application to the Broadband Infrastructure Grant Program, with the understanding
171 that more details would be brought back for further consideration before deciding
172 whether to apply for the grant funding. Councilor Newall seconded the motion.
173

174 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
175 Absent; Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in
176 favor and 1 absent.
177

178
179 **6. Consideration of approval for the Sunrise Office Building Condominium Conversion**
180 **including 5 units located at 573 West Sunrise Way.**

181 Andrew Evans was representing the applicant.
182

183 **Motion:** Councilor Newall moved grant approval of the Sunrise Office Building
184 Condominium Conversion including 5 units located at 573 West Sunrise Way;
185 included all Development Review Committee Comments. Councilor Albrecht
186 seconded the motion.

187
188 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
189 Absent; Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in
190 favor and 1 absent.

191 .
192
193 **7. Consideration of Ordinance #67-2024, a Development Code Amendment to Chapter 37,**
194 **adding an exception to the connectivity standards for vehicular safety**

195 Rick Magnus from AWA Engineering presented the development code amendment to allow
196 an exception to the connectivity standards. This was related to a new grocery store
197 development, where there were safety concerns about the grade difference and the orientation
198 of the building.

199
200 Magnus explained that the grade difference of 5-7 feet between the stub street and the back of
201 the grocery store building posed a safety risk, especially for vehicles or entering from the
202 residential street. Additionally, the large footprint of the grocery store and power line
203 easements limited the building's placement options.

204
205 The Council discussed the proposal and the applicant agreed to work with staff on addressing
206 the safety and connectivity concerns.

207
208 **Motion:** Councilor Condie moved to approve Ordinance #67-2024, a Development Code
209 Amendment to Chapter 37, adding an exception to the connectivity standards for
210 vehicular safety; also remove the word “however” from paragraph 5A and include
211 all Planning Commission and Development Review Committee comments.
212 Councilor Newall seconded the motion.

213
214 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
215 Absent; Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in
216 favor and 1 absent.

217
218
219 **8. Consideration of Resolution #2024-59 approving a First Amendment to the Interlocal**
220 **Agreement for the Creation of a School District among the cities of Lehi, Cedar Hills,**
221 **Highland, Alpine, American Fork, and Draper.**

222 Jason Walker, City Administrator, explained that the interlocal board would be granted
223 extended authority until the school board is elected. This led to a lengthy debate, with
224 Councilor Stallings expressing concerns that the amendment expands the city's role beyond
225 what was originally intended and what is required by current state law. She argued that the
226 division of assets and other responsibilities should be left to the future school board members.
227 Mayor Johnson and other Council members countered that someone needs to take
228 responsibility for the necessary work until the new school board is in place, and that the cities
229 involved feel a sense of duty to ensure a smooth transition. Councilor Newall and Councilor
230 Condie acknowledged the concerns but saw the amendment as precautionary. The discussion
231 centered around finding a balance between the city's role and the need to prepare for the new
232 school district's establishment, while also respecting the future school board's authority.

233

234 **Motion:** Councilor Newall moved to approve Resolution #2024-59 approving a First
235 Amendment to the Interlocal Agreement for the Creation of a School District
236 among the cities of Lehi, Cedar Hills, Highland, Alpine, American Fork, and
237 Draper. Councilor Albrecht seconded the motion.
238

239 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
240 Absent; Councilor Newall, Yes; and Councilor Stallings, No. The motion passed with 3 in
241 favor, 1 opposed, and 1 absent.
242

243 Council Stallings stated that she voted no because she believes this goes beyond the city's role.
244
245

246 **9. Consideration of Resolution #2024-57 appointing a member to the Lehi Library Board**
247 **of Directors.**
248

249 **Motion:** Councilor Stallings moved to approve Resolution #2024-57 appointing a member
250 to the Lehi Library Board of Directors. Councilor Albrecht seconded the motion.
251

252 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
253 Absent; Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in
254 favor and 1 absent.
255
256

257 **10. Consideration of Resolution #2024-58 appointing members to the Lehi City Planning**
258 **Commission.**
259

260 **Motion:** Councilor Condie moved to approve Resolution #2024-58 appointing members to
261 the Lehi City Planning Commission. Councilor Newall seconded the motion.
262

263 **Roll Call Vote:** Councilor Albrecht, Yes; Councilor Condie, Yes; Councilor Hancock,
264 Absent; Councilor Newall, Yes; and Councilor Stallings, Yes. The motion passed with 4 in
265 favor and 1 absent.
266

267 **11. Adjournment**

268 With no further business to come before the City Council at this time, Councilor Condie
269 moved to adjourn the meeting. Councilor Newall seconded the motion. The motion passed
270 unanimously. The meeting was adjourned at approximately 8:43 p.m.
271
272

273 Approved: January 14, 2025

Attest:

274

275

276

277

278 _____
Mark Johnson, Mayor

Teisha Wilson, City Recorder

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-02 approving an agreement with C&L Water Solutions for the lining of sewer mains within the city.

Suggested Action:

Attachments:

[Res 2025-02.docx](#)

[2025 sewer lining agreement.pdf](#)



RESOLUTION NO. 2025-02

A RESOLUTION OF THE LEHI CITY COUNCIL APPROVING AN AGREEMENT WITH INSITUFORM TECHNOLOGIES LLC DBA C&L WATER SOLUTIONS FOR THE LINING OF SEWER MAINS WITHIN THE CITY

WHEREAS, City desires to contract for the lining of sewer main within the City, and;

WHEREAS, the City selected Insituform Technologies LLC dba C&L Water Solutions as the lowest responsive and responsible bidder; and

WHEREAS, on January 14, 2025, the Lehi City Council held a duly-noticed public meeting to ascertain the facts regarding this matter, which facts and comments are found in the meeting record; and,

WHEREAS, after considering the facts and comments presented to the City Council, the Council finds: (i) that it should approve an Agreement with Insituform Technologies LLC dba C&L Water Solutions; and (ii) such action furthers the health, safety and welfare of the citizens of Lehi.

NOW, THEREFORE, be it resolved by the City Council of Lehi City, Utah, as follows:

1. The Agreement between Lehi City and Insituform Technologies dba C&L Water Solutions attached hereto as Exhibit "A" is hereby approved and the Mayor is authorized to execute the Agreement and take all other such action as is necessary to make it effective.
2. This resolution shall take effect immediately.

Approved and Adopted by the City Council of Lehi City, Utah this 14th day of January, 2025.

LEHI CITY

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

EXHIBIT "A"

AGREEMENT FOR THE 2025 SEWER MAIN LINING PROJECT

THIS AGREEMENT FOR THE 2025 Sewer Main Lining Project ("Agreement") is made and entered into and effective as of the date the last party signs below ("Effective Date") by and between Lehi City, 153 North 100 East, Lehi, Utah 84043 ("City") and Insituform Technologies, LLC dba C&L Water Solutions whose principal place of business is located at 580 Goddard Avenue, Chesterfield, MO 63005 ("Contractor").

WHEREAS, City desires to contract for the lining of sewer mains within Lehi City as described in the documents included in the 2024-13 RFB (the "Work"); and

WHEREAS, City RFB #2024-13 and Contractor submitted a Response to RFB #2024-13 which City determined to be the lowest responsive and most responsible proposal/bid and the City desires to contract with Contractor to perform the Work;

NOW, THEREFORE, in consideration of the premises, the covenants and conditions set forth in this Agreement, and in further consideration of the execution of this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, City and Contractor agree as follows:

1. **Scope of Work.** City hereby hires Contractor and Contractor agrees to be bound to the City to perform the Work as described in RFB #2024-13 and Contractor's Response to RFB #2024-13 dated October 29, 2024, both attached hereto as Exhibit A, and referred to as the "Contract Documents" and by this reference are incorporated herein and made a part of this Agreement.

2. **Term.** The Work shall commence February 1, 2025, or as weather permits, and shall be completed no later than June 1, 2025 ("Term"). Failure to complete the Work by the end of the Term constitutes an event of default. The actual damages to the City for the delay in completion may be difficult or impossible to determine. Therefore, in lieu of actual damages, the Contractor shall pay to the City, liquidated damages for each calendar day in completing performance of the Work past the end of the Term, in an amount of \$500 per day. The final costs for liquidated damages shall be deducted from the Payment amount identified in Section 3 below.

3. **Payment.** City shall pay \$253,343.00 within 30 days of invoice after the completion of the project.

4. **Changes in Performance.** All changes in performance of this Agreement shall be described in detail on a change order request form, provided by the City, and which must be authorized in writing by an authorized representative of the City prior to commencing any proposed changes in performance. Contractor shall not be entitled to any additional consideration for changes in performance which were not authorized as contemplated by this section, nor for the correction of any mistakes attributable in any way to Contractor, or its

employees, agents, subcontractors, independent contractors, and the like.

5. **Withholding Payment for Defective Performance.** The City may withhold or, on account of subsequently discovered evidence, nullify the whole or part of any of the Payment to the extent that the City reasonably determines such withholding is necessary to protect itself from loss or liability on the account of defective or incomplete performance by Contractor, including but not limited to defective goods or services not remedied, or any other failure to comply with the terms and conditions of this Agreement.

6. **Termination.** The City may terminate this Agreement at any time if, in the sole discretion of the City, Contractor's performance under this Agreement is unsatisfactory, Contractor fails to perform its duties and obligations required by this Agreement with diligence or within the time specified herein, or Contractor has otherwise materially breached this Agreement.

6.1 Before terminating this Agreement if Contractor's performance is unsatisfactory, the City shall first provide written notice to Contractor of the City's intention to terminate this Agreement. The notice of termination must be provided by City to Contractor at least seven (7) calendar days prior to termination. After receiving such notice of termination from City, Contractor shall have the next five (5) working days in which to cure any deficiency noted by the City. If Contractor adequately cures any such deficiency to the sole satisfaction of the City, this Agreement shall continue. However, in the event Contractor fails to adequately cure any such deficiency, this Agreement shall terminate and Contractor shall be liable for any resulting damages associated with the deficiency and breach of this Agreement. The City may pursue any such damages through all available means, whether in law or in equity, or both.

6.2 The City may, in its sole discretion, terminate, suspend, or abandon this Agreement without cause at any time by providing written notice to Contractor of the City's intention to terminate this Agreement without cause. The notice of termination shall be provided by the City to Contractor at least seven (7) calendar days prior to termination.

6.3 Any Work which Contractor has completed or performed prior to the date of any termination, suspension, or abandonment shall be recorded and tangible work documents shall be transferred to, and become the sole property of, the City. If the City has terminated this Agreement without cause, then subsequently requests Contractor to recommence its performance of the Work after more than three (3) months from the date of termination, the consideration payment amount shall be subject to renegotiation at the request of either party hereto.

If City terminates this Agreement without cause, Contractor shall be paid a pro rata portion of the Payment for the reasonable value of the Work that Contractor has completed or performed prior to the date of termination.

7. Taxes.

7.1 Each party shall be solely responsible for any tax liability which it may incur as a result of this Agreement.

8. Indemnification and Insurance.

8.1 Contractor shall be solely responsible for any damage or injury which it, or its employees, agents, subcontractors, independent contractors, and the like may cause in the performance of this Agreement. Consequently, to the fullest extent permitted by law, Contractor shall indemnify, defend, and hold harmless the City, any subsidiary or affiliate of the City, and its past, present and future agents, representatives, and employees from and against all claims, damages, lawsuits, losses, liabilities, liens, cost, citations, penalties, fines and expenses, including but not limited to attorneys' fees, arising out of or resulting from Contractor's performance of this Agreement, provided that such claims, damages, losses, liabilities, liens, costs, citations, penalties, fines, and expenses are caused in whole or in part by any negligent, grossly negligent, reckless, or intentional act or omission attributable in any way to Contractor, or its employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by Contractor or any subcontractor, or any party for whose acts Contractor may be liable, regardless of whether liability is imposed upon such party. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity, which may otherwise exist in favor of the City. In any and all claims against the City, or any subsidiary or affiliate, or any of its past, present or future agents, representatives, or employees, by Contractor, or its current or former employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in any way by the amount or types of damages, compensations, or benefits payable by or for Contractor, or any subcontractor, worker's compensation acts, disability benefit acts, or other employee benefit acts.

8.2 Contractor, at its own expense, shall provide: Workers' Compensation Insurance: Statutory workers' compensation insurance (Part A). Such insurance shall also include employer's liability (Part B) insurance in a limit of not less than \$1,000,000 for each: accident, disease and employee. No owner or officer may be excluded. Rights of subrogation against the city shall be waived.

8.3 Contractor, at its own expense, shall maintain General Liability Insurance: Commercial General Liability insurance written on an occurrence basis, arising out of claims for bodily injury (including death), property damage, products liability, completed operations liability, personal injury, advertising injury, damage to

premises rented to you, with not less than \$3,000,000 per occurrence and \$3,000,000 aggregate, with the contractor naming the City as Additional Insured for ongoing and completed operations, on a primary and non-contributory basis, with rights of subrogation against the city waived.

8.4 Contractor, at its own expense, shall maintain commercial automobile liability insurance with combined single limits of at least \$1,000,000. Such benefits and coverage shall not be deemed to limit Contractor's liability under this Agreement. It is intended by this Section that the requirements set forth herein will satisfy applicable minimum requirements under Utah law. However, in the event that the foregoing requirements do not satisfy applicable Utah law, Contractor must maintain commercial automobile liability insurance in amounts satisfying applicable Utah law.

8.5 Builder's Risk / Installation Floater: Contractor shall provide optional terms for builder's risk insurance or installation floater, with the proposed premium broken out as a separate line item. Contractor agrees to have City approve builder's risk insurance program including limits, deductibles, terms, etc. The City shall maintain the right to directly purchase builder's risk coverage at their discretion.

8.6 Before commencing the Work, and at any time thereafter upon written request by the City, Contractor shall furnish the City with a copy of certificates of insurance as evidence that policies providing the coverage required by this Agreement are in effect. The City reserves the right to require complete, certified copies of all required insurance policies, with all endorsements, at any time.

8.7 All insurance required by this Agreement, with the exception of worker's compensation and employer's liability policies, shall include the City, its directors, officers, agents, and employees as additional insured persons with respect to the activities of Contractor in the performance of this Agreement, or that of its employees, agents, subcontractors, independent contractors, and the like. Any certificate presented as evidence of insurance shall specify the date when such benefits and insurance expire. Unless a different length of time is expressly set forth in this Agreement, Contractor shall maintain any insurance required by this Agreement until after the Work has been fully performed by Contractor, and subsequently approved and accepted by the City. Contractor shall provide the City with written notice at least sixty (60) days in advance of any cancellation, termination, or material alteration of said policies of insurance.

9. Performance and Warranty Bonds or Letters of Credit.

9.1 Prior to commencing work on the Scope of Service, Contractor must provide the City with a performance bond and a payment bond in the amount of the Payment. The completed performance bond and payment bond are attached hereto as

Exhibit B. In the event that Contractor fails to provide a performance bond and a payment bond within 10 days of the Effective Date, this Agreement shall be void.

9.2 The purpose of the performance bond and payment bond are to guarantee the proper completion by Contractor of the Work as contemplated by this Agreement and property payment to subcontractors; if any.

9.3 The performance bond and payment bond shall remain valid until the City approves of and accepts the Work, as set forth in Section 9.6.

9.4 Prior to the City's approval and acceptance of the Work, Contractor must provide the City with a warranty bond/warranty letter of credit in the amount of 10% of the Payment. The completed warranty bond/warranty letter of credit is attached as Exhibit C.

9.4.1 The purposes of the warranty bond/letter of credit is to guarantee that the Work:

(A) complies with this Agreement; and

(B) will not fail in any material respect as a result of poor workmanship or materials within the Warranty Period.

9.5 The warranty bond/warranty letter of credit shall remain valid for the entire Warranty Period.

9.6 Approval and acceptance of the Work shall be deemed to have occurred when each of the following events have been satisfied:

(A) Contractor provides written notice to the City that Contractor considers the Work to be complete.

(B) The City provides written approval and acceptance of the Work, or fails to provide a written response to Contractor, within thirty (30) days after receiving the notification contemplated by Section 9.6(A), indicating the additional work which the City considers incomplete pursuant to this Agreement.

10. Representations and Warranties.

10.1 Each party represents that:

10.1.1. Its signatory has the authority to the party to this Agreement.

10.1.2 It has not sold, assigned, or otherwise transferred any interest in the claims or subject matter contemplated by this Agreement.

10.2 Contractor represents and warrants that:

10.2.1. Contractor has sufficiently and reasonably researched the requirements of this Agreement, understands the same, and is able to competently perform each of its duties and obligations required hereunder.

10.2.2. Contractor warrants the workmanship, materials, proper functioning, and manner of the Work contemplated by this Agreement for the entire Warranty Period. In the event that any portion of the Work does not remain in good and operating condition (in the sole judgment of the City) during the Warranty Period (ordinary wear and tear excepted), Contractor, at its own expense, shall immediately perform all necessary repairs and replacements to maintain such inadequate Work in good and operating condition (to the City's sole satisfaction). Should any portion of the Work imminently jeopardize the health and safety of the City, or any other individual, the City may perform any necessary repairs and replacements (or arrange for a third party to perform such services) at Contractor's expense – to be paid by Contractor within thirty (30) days of receiving a notice of indebtedness from the City.

10.2.3. Contractor shall perform its obligations required by this Agreement in a manner consistent with applicable professional and technical standards for Work of a similar and comparable nature, and shall ensure that the implementation thereof is also performed in an applicable professional, technical, and workman-like manner. Contractor shall correct any defect in its performance at no additional cost to the City. Upon request by the City, Contractor must be able to summarize and concisely report pertinent information associated with this Agreement and the performance thereof to the City in a timely manner. Contractor shall not make any alterations or variations in or additions to, or omissions from, its duties and obligations contemplated by this Agreement, without the prior written consent of the City

10.3 Contractor's licensure or authority to transact business issued by the Utah Division of Corporations and Commercial Code and the Utah Division of Occupational and Professional Licensing, as well as any other required licensure,

is currently active, and shall remain active throughout the performance of this Agreement.

11. **Confidentiality.** The parties acknowledge that this Agreement may be subject to public disclosure pursuant to the Government Records Access and Management Act, UTAH CODE ANN. § 63G-2-101, *et seq.*, as the same may be amended from time to time.

Notwithstanding the above, Contractor agrees that, except as directed by the City, Contractor shall not at any time during or after the term of this Agreement disclose to any person or entity any information or document provided by the City which the City has designated as “confidential” or “private.” Upon the conclusion or termination of this Agreement, Contractor shall turn over to the City all documents, papers, and other matter, including copies thereof, which are in Contractor’s possession or control, and which are designated “confidential” or “private.” Contractor further agrees to bind its employees and any sub-contractors to the terms and conditions of this Section 11.

12. **Authority.** Each individual signing this Agreement warrants and represents that he or she has been authorized by appropriate action of the party which he or she represents and has authority to enter into this Agreement on behalf of the party.

13. **Notice.**

13.1 If any notice is required to be provided pursuant to the terms and conditions of this Agreement, said notice must be provided as follows:

To the City:
Lehi City Corporation

Attn: Greg Allred
2538 North 300 West
Lehi, Utah 84043

To Contractor:
Insituform Technologies, LLC
dba C & L Water Solutions
Attn: Whittney Schulte
580 Goddard Avenue
Chesterfield, MO 63005

13.2 If notice is sent via regular mail, commercial courier, and the like, receipt thereof shall be presumed on the third Calendar Day thereafter.

14. **Attorneys’ Fees and Costs.** Each party shall bear its own attorneys’ fees and costs incurred in connection with the drafting, execution, and performance of this Agreement. However, if any action at law or in equity is necessary to enforce or interpret the terms of this Agreement, the prevailing party in such action shall be entitled to recover reasonable attorneys’ fees, legal costs, and other collection fees and costs incurred by the prevailing party in connection with the suit, both before and after the judgment, in addition to any other relief to which such party may be entitled.

15. **Non-Waiver.** No failure to exercise and no delay in exercising any right, remedy, or power under this Agreement shall operate as a waiver thereof, nor shall any single or partial exercise of any right, remedy, or power under this Agreement preclude any other or further exercise thereof, or the exercise of any other right, remedy or power provided herein or by law or in equity.

16. **Binding Effect.** This Agreement is binding upon the parties and their proper and allowable heirs, legatees, representatives, successors, and assignees.

17. **Assignment.** Neither party may assign this Agreement nor delegate any responsibilities under this Agreement without prior written consent. Any purported assignment or delegation in violation of this Section without prior written consent from the non-assigning party, shall be void and will be considered a material breach of this Agreement.

18. **Amendments.** This Agreement may not be modified, amended, or terminated, except by an instrument in writing.

19. **Time.** Time is of the essence with this Agreement, as well as every term, covenant, and condition contained herein.

20. **Force Majeure.** Neither party shall be liable for any failure or delay in performing an obligation under this Agreement that is due to causes beyond its reasonable control, such as natural catastrophes, governmental acts or omissions, laws or regulations, labor strikes or difficulties, pandemics, transportation stoppages or slowdowns or the inability to procure parts or materials. If any of these causes continue to prevent or delay performance for more than 180 days, the non-delaying party may terminate this Agreement, effective immediately upon notice to the delaying party.

21. **Severability.** If any provision of this Agreement is determined to be invalid or unenforceable, the remaining provisions of this Agreement shall, nevertheless, be construed, performed, and enforced as if the invalidated or unenforceable provision had not been included in the text of the Agreement.

22. **Governing Law.** This Agreement shall be construed in accordance with the laws of the State of Utah.

23. **Entire Agreement.** All agreements, covenants, representations and warranties, express or implied, oral or written, of the parties concerning the subject matter hereof are contained solely in this Agreement, subject to any implied warranties and conditions imposed upon the parties by Utah law. No other agreements, covenants, representations, or warranties have been made by any party to any other party concerning the subject matter hereof. All prior and contemporaneous conversations, negotiations, possible and alleged agreements, representations, covenants, and warranties concerning the subject matter hereof are merged herein. This is an integrated agreement.

Teisha, Wilson, City Recorder

EXHIBIT A – Contract Documents

Bid Schedule
Lehi City Sanitary Sewer Lining Project 2024

Item No.	Description	Est. Quantity	Units	Unit Price	Total
1	Installation of 10" UV CIPP Liner - Includes lateral reinstatements	1,047	feet	\$57.00	\$59,679.00
2	Installation of 12" UV CIPP Liner - Includes lateral reinstatements	2,298	feet	\$60.00	\$137,880.00
3	Mobilization	1	ea.	\$28,518.00	\$28,518.00
4	Pipe prep / Cleaning & Inspection	1	ea.	\$15,604.00	\$15,604.00
5	Traffic Control Plan	1	ea.	\$6,762.00	\$6,762.00
6	Sewer Bypass	1	ea.	\$4,112.00	\$4,112.00
7	Notification to all residents affected by project 24 -48 hours before project begins for each section of work.			\$788.00	\$788.00
Two Hundred Fifty-Three Thousand, Three Hundred Forty-Three Dollars and No Cents					
Grand Total					\$253,343.00

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-03 approving an agreement with Geneva Rock for the construction of a box culvert at Willow Park.

Suggested Action:

Attachments:

[Res 2025-03.docx](#)

[Willow Park Box Culvert agreement legal reviewed .pdf](#)



RESOLUTION NO. 2025-03

A RESOLUTION OF THE LEHI CITY COUNCIL APPROVING
AN AGREEMENT WITH GENEVA ROCK FOR
THE CONSTRUCTION OF A BOX CULVERT AT WILLOW PARK

WHEREAS, City desires to contract for the construction of a box culvert at Willow Park;
and

WHEREAS, the City selected Geneva Rock as the lowest responsive and responsible
bidder; and

WHEREAS, on January 14th, 2025, the Lehi City Council held a duly-noticed public
meeting to ascertain the facts regarding this matter, which facts and comments are found in
the meeting record; and,

WHEREAS, after considering the facts and comments presented to the City Council, the
Council finds: (i) that it should approve an Agreement for the construction of a box culvert at
Willow Park with Geneva Rock; and (ii) such action furthers the health, safety and welfare of
the citizens of Lehi.

NOW, THEREFORE, be it resolved by the City Council of Lehi City, Utah, as follows:

1. The Agreement between Lehi City and Geneva Rock attached hereto as Exhibit "A"
is hereby approved and the Mayor is authorized to execute the Agreement and take all other
such action as is necessary to make it effective.
2. This resolution shall take effect immediately.

Approved and Adopted by the City Council of Lehi City, Utah this 14th day of January, 2025.

LEHI CITY

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

EXHIBIT "A"

AGREEMENT FOR WILLOW PARK BOX CULVERT

THIS AGREEMENT FOR THE Willow Park Box Culvert ("Agreement") is made and entered into and effective as of the date the last party signs below ("Effective Date") by and between Lehi City, 153 North 100 East, Lehi, Utah 84043 ("City") and Geneva Rock, whose principal place of business is located at 1565 West 400 North Orem, Utah 84057 ("Contractor").

WHEREAS, City desires to contract for the Construction of a new box culvert and Waste Ditch diversion structure at the entrance to Willow Park. (the "Work"); and

WHEREAS, City issued RFB LEHI 2024-14, and Contractor submitted a Response to LEHI 2024-14 which City determined to be the lowest responsive and most responsible proposal/bid. City now desires to contract with Contractor to perform the Work;

NOW, THEREFORE, in consideration of the premises, the covenants, and conditions set forth in this Agreement, and in further consideration of the execution of this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, City and Contractor agree as follows:

1. **Scope of Work.** City hereby hires Contractor, and Contractor agrees to be bound to the City to perform the Work as described in RFB LEHI 2024-14 and Contractor's Response to RFB LEHI 2024-14 dated December 18, 2024, both attached hereto as Exhibit A, and referred to as the ("Contract Documents") and by this reference are incorporated herein and made a part of this Agreement.

2. **Term.** The Work shall commence on the Effective Date and shall be completed no later than April 1st, 2025 ("Term"). Failure to complete the Work by the end of the Term constitutes an event of default. The actual damages to the City for the delay in completion may be difficult or impossible to determine. Therefore, in lieu of actual damages, the Contractor shall pay to the City liquidated damages for each calendar day in completing performance of the Work past the end of the Term in an amount of \$500.00 per day. The final costs for liquidated damages shall be deducted from the Payment amount identified in Section 3 below.

3. **Payment.** City shall pay a total contract price of \$693,437.50, paid out in monthly invoices for the duration of the project.

4. **Changes in Performance.** All changes in performance of this Agreement shall be described in detail on a change order request form provided by the City, and which must be authorized in writing by an authorized representative of the City prior to commencing any proposed changes in performance. Contractor shall not be entitled to any additional consideration for changes in performance which were not authorized as contemplated by this section, nor for the correction of any mistakes attributable in any way to Contractor, or its employees, agents, subcontractors, independent contractors, and the like.

5. **Withholding Payment for Defective Performance.** The City may withhold or, on account of subsequently discovered evidence, nullify the whole or part of any of the Payment to the extent that the City reasonably determines such withholding is necessary to protect itself from loss or liability on the account of defective or incomplete performance by Contractor. Including, but not limited to defective goods or services not remedied, or any other failure to comply with the terms and conditions of this Agreement.

6. **Termination.** The City may terminate this Agreement at any time if, in the sole discretion of the City, Contractor's performance under this Agreement is unsatisfactory, Contractor fails to perform its duties and obligations required by this Agreement with diligence or within the time specified herein, or Contractor has otherwise materially breached this Agreement.

6.1 Before terminating this Agreement, if Contractor's performance is unsatisfactory, the City shall first provide written notice to Contractor of the City's intention to terminate this Agreement. The notice of termination must be provided by City to Contractor at least seven (7) calendar days prior to termination. After receiving such notice of termination from City, Contractor shall have the next five (5) business days in which to cure any deficiency noted by the City. If Contractor adequately cures any such deficiency to the sole satisfaction of the City, this Agreement shall continue. However, in the event Contractor fails to adequately cure any such deficiency, this Agreement shall terminate and Contractor shall be liable for any resulting damages associated with the deficiency and breach of this Agreement. The City may pursue any such damages through all available means, whether in law or in equity, or both.

6.2 The City may, in its sole discretion, terminate, suspend, or abandon this Agreement without cause at any time by providing written notice to Contractor of the City's intention to terminate this Agreement without cause. The notice of termination shall be provided by the City to Contractor at least seven (7) calendar days prior to termination.

6.3 Any Work which Contractor has completed or performed prior to the date of any termination, suspension, or abandonment shall be recorded and tangible work documents shall be transferred to, and become the sole property of, the City. If the City has terminated this Agreement without cause, then subsequently requests Contractor to recommence its performance of the Work after more than three (3) months from the date of termination, the consideration payment amount shall be subject to renegotiation at the request of either party hereto.

6.4 If City terminates this Agreement without cause, Contractor shall be paid a pro rata portion of the Payment for the reasonable value of the Work that Contractor has completed or performed prior to the date of termination.

7. Taxes.

7.1 Each party shall be solely responsible for any tax liability which it may incur as a result of this Agreement.

8. Indemnification and Insurance.

8.1 Contractor shall be solely responsible for any damage or injury which it, or its employees, agents, subcontractors, independent contractors, and the like may cause in the performance of this Agreement. Consequently, to the fullest extent permitted by law, Contractor shall indemnify, defend, and hold harmless the City, any subsidiary or affiliate of the City, and its past, present and future agents, representatives, and employees from and against all claims, damages, lawsuits, losses, liabilities, liens, cost, citations, penalties, fines and expenses, including but not limited to attorneys' fees, arising out of or resulting from Contractor's performance of this Agreement, provided that such claims, damages, losses, liabilities, liens, costs, citations, penalties, fines, and expenses are caused in whole or in part by any negligent, grossly negligent, reckless, or intentional act or omission attributable in any way to Contractor, or its employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by Contractor or any subcontractor, or any party for whose acts Contractor may be liable, regardless of whether liability is imposed upon such party. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity, which may otherwise exist in favor of the City. In any and all claims against the City, or any subsidiary or affiliate, or any of its past, present or future agents, representatives, or employees, by Contractor, or its current or former employees, agents, subcontractors, independent contractors, and the like, or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in any way by the amount or types of damages, compensations, or benefits payable by or for Contractor, or any subcontractor, worker's compensation acts, disability benefit acts, or other employee benefit acts.

8.2 Contractor, at its own expense, shall provide: Workers' Compensation Insurance: Statutory workers' compensation insurance (Part A). Such insurance shall also include employer's liability (Part B) insurance in a limit of not less than \$1,000,000 for each: accident, disease and employee. No owner or officer may be excluded. Rights of subrogation against the city shall be waived.

8.3 Contractor, at its own expense, shall maintain General Liability Insurance: Commercial General Liability insurance written on an occurrence basis, arising out of claims for bodily injury (including death), property damage, products liability, completed operations liability, personal injury, advertising injury, damage to

premises rented to you, with not less than \$3,000,000 per occurrence and \$3,000,000 aggregate, with the contractor naming the City as Additional Insured for ongoing and completed operations, on a primary and non-contributory basis, with rights of subrogation against the city waived.

8.4 Contractor, at its own expense, shall maintain commercial automobile liability insurance with combined single limits of at least \$1,000,000. Such benefits and coverage shall not be deemed to limit Contractor's liability under this Agreement. It is intended by this Section that the requirements set forth herein will satisfy applicable minimum requirements under Utah law. However, in the event that the foregoing requirements do not satisfy applicable Utah law, Contractor must maintain commercial automobile liability insurance in amounts satisfying applicable Utah law.

8.5 Builder's Risk / Installation Floater: Contractor shall provide optional terms for builder's risk insurance or installation floater, with the proposed premium broken out as a separate line item. Contractor agrees to have City approve builder's risk insurance program including limits, deductibles, terms, etc. The City shall maintain the right to directly purchase builder's risk coverage at their discretion.

8.6 Before commencing the Work, and at any time thereafter upon written request by the City, Contractor shall furnish the City with a copy of certificates of insurance as evidence that policies providing the coverage required by this Agreement are in effect. The City reserves the right to require complete, certified copies of all required insurance policies, with all endorsements, at any time.

8.7 All insurance required by this Agreement, with the exception of worker's compensation and employer's liability policies, shall include the City, its directors, officers, agents, and employees as additional insured persons with respect to the activities of Contractor in the performance of this Agreement, or that of its employees, agents, subcontractors, independent contractors, and the like. Any certificate presented as evidence of insurance shall specify the date when such benefits and insurance expire. Unless a different length of time is expressly set forth in this Agreement, Contractor shall maintain any insurance required by this Agreement until after the Work has been fully performed by Contractor, and subsequently approved and accepted by the City. Contractor shall provide the City with written notice at least sixty (60) days in advance of any cancellation, termination, or material alteration of said policies of insurance.

9. Performance and Warranty Bonds or Letters of Credit.

9.1 Prior to commencing work on the Scope of Service, Contractor must provide the City with a performance bond and a payment bond in the amount of the Payment. The completed performance bond and payment bond are attached hereto as

Exhibit B. In the event that Contractor fails to provide a performance bond and a payment bond within 10 days of the Effective Date, this Agreement shall be void.

9.2 The purpose of the performance bond and payment bond are to guarantee the proper completion by Contractor of the Work as contemplated by this Agreement and property payment to subcontractors; if any.

9.3 The performance bond and payment bond shall remain valid until the City approves of and accepts the Work, as set forth in Section 9.6.

9.4 Prior to the City's approval and acceptance of the Work, Contractor must provide the City with a warranty bond/warranty letter of credit in the amount of 10% of the Payment. The completed warranty bond/warranty letter of credit is attached as Exhibit C.

9.4.1 The purposes of the warranty bond/letter of credit is to guarantee that the Work:

(A) complies with this Agreement; and

(B) will not fail in any material respect as a result of poor workmanship or materials within the Warranty Period.

9.5 The warranty bond/warranty letter of credit shall remain valid for the entire Warranty Period.

9.6 Approval and acceptance of the Work shall be deemed to have occurred when each of the following events have been satisfied:

(A) Contractor provides written notice to the City that Contractor considers the Work to be complete.

(B) The City provides written approval and acceptance of the Work, or fails to provide a written response to Contractor, within thirty (30) days after receiving the notification contemplated by Section 9.6(A), indicating the additional work which the City considers incomplete pursuant to this Agreement.

10. **Representations and Warranties.**

10.1 Each party represents that:

10.1.1. Its signatory has the authority to the party to this Agreement.

10.1.2 It has not sold, assigned, or otherwise transferred any interest in the claims or subject matter contemplated by this Agreement.

10.2 Contractor represents and warrants that:

10.2.1. Contractor has sufficiently and reasonably researched the requirements of this Agreement, understands the same, and is able to competently perform each of its duties and obligations required hereunder.

10.2.2. Contractor warrants the workmanship, materials, proper functioning, and manner of the Work contemplated by this Agreement for the entire Warranty Period. In the event that any portion of the Work does not remain in good and operating condition (in the sole judgment of the City) during the Warranty Period (ordinary wear and tear excepted), Contractor, at its own expense, shall immediately perform all necessary repairs and replacements to maintain such inadequate Work in good and operating condition (to the City's sole satisfaction). Should any portion of the Work imminently jeopardize the health and safety of the City, or any other individual, the City may perform any necessary repairs and replacements (or arrange for a third party to perform such services) at Contractor's expense – to be paid by Contractor within thirty (30) days of receiving a notice of indebtedness from the City.

10.2.3. Contractor shall perform its obligations required by this Agreement in a manner consistent with applicable professional and technical standards for Work of a similar and comparable nature, and shall ensure that the implementation thereof is also performed in an applicable professional, technical, and workman-like manner. Contractor shall correct any defect in its performance at no additional cost to the City. Upon request by the City, Contractor must be able to summarize and concisely report pertinent information associated with this Agreement and the performance thereof to the City in a timely manner. Contractor shall not make any alterations or variations in or additions to, or omissions from, its duties and obligations contemplated by this Agreement, without the prior written consent of the City

10.3 Contractor's licensure or authority to transact business issued by the Utah Division of Corporations and Commercial Code and the Utah Division of Occupational and Professional Licensing, as well as any other required

licensure, is currently active, and shall remain active throughout the performance of this Agreement.

11. **Confidentiality.** The parties acknowledge that this Agreement may be subject to public disclosure pursuant to the Government Records Access and Management Act, UTAH CODE ANN. § 63G-2-101, *et seq.*, as the same may be amended from time to time.

Notwithstanding the above, Contractor agrees that, except as directed by the City, Contractor shall not at any time during or after the term of this Agreement disclose to any person or entity any information or document provided by the City which the City has designated as "confidential" or "private." Upon the conclusion or termination of this Agreement, Contractor shall turn over to the City all documents, papers, and other matter, including copies thereof, which are in Contractor's possession or control, and which are designated "confidential" or "private." Contractor further agrees to bind its employees and any sub-contractors to the terms and conditions of this Section 11.

12. **Authority.** Each individual signing this Agreement warrants and represents that he or she has been authorized by appropriate action of the party which he or she represents and has authority to enter into this Agreement on behalf of the party.

13. **Notice.**

13.1 If any notice is required to be provided pursuant to the terms and conditions of this Agreement, said notice must be provided as follows:

To the City:

Lehi City Corporation
Attn: Greg Allred
153 North 100 East
Lehi, Utah 84043

To Contractor:

Geneva Rock
Attn: Josh Jensen
1565 West 400 North
Orem, Utah 84057

13.2 If notice is sent via regular mail, commercial courier, and the like, receipt thereof shall be presumed on the third Calendar Day thereafter.

14. **Attorneys' Fees and Costs.** Each party shall bear its own attorneys' fees and costs incurred in connection with the drafting, execution, and performance of this Agreement. However, if any action at law or in equity is necessary to enforce or interpret the terms of this Agreement, the prevailing party in such action shall be entitled to recover reasonable attorneys' fees, legal costs, and other collection fees and costs incurred by the prevailing party in connection with the suit, both before and after the judgment, in addition to any other relief to which such party may be entitled.

15. **Non-Waiver.** No failure to exercise, and no delay in exercising any right, remedy, or power under this Agreement shall operate as a waiver thereof, nor shall any single

or partial exercise of any right, remedy, or power under this Agreement preclude any other or further exercise thereof, or the exercise of any other right, remedy or power provided herein or by law or in equity.

16. **Binding Effect.** This Agreement is binding upon the parties and their proper and allowable heirs, legatees, representatives, successors, and assignees.

17. **Assignment.** Neither party may assign this Agreement nor delegate any responsibilities under this Agreement without prior written consent. Any purported assignment or delegation in violation of this Section without prior written consent from the non-assigning party, shall be void and will be considered a material breach of this Agreement.

18. **Amendments.** This Agreement may not be modified, amended, or terminated, except by an instrument in writing.

19. **Time.** Time is of the essence with this Agreement, as well as every term, covenant, and condition contained herein.

20. **Force Majeure.** Neither party shall be liable for any failure or delay in performing an obligation under this Agreement that is due to causes beyond its reasonable control, such as natural catastrophes, governmental acts or omissions, laws or regulations, labor strikes or difficulties, pandemics, transportation stoppages or slowdowns or the inability to procure parts or materials. If any of these causes continue to prevent or delay performance for more than 180 days, the non-delaying party may terminate this Agreement, effective immediately upon notice to the delaying party.


21. **Severability.** If any provision of this Agreement is determined to be invalid or unenforceable, the remaining provisions of this Agreement shall, nevertheless, be construed, performed, and enforced as if the invalidated or unenforceable provision had not been included in the text of the Agreement.

22. **Governing Law.** This Agreement shall be construed in accordance with the laws of the State of Utah.

23. **Entire Agreement.** All agreements, covenants, representations and warranties, express or implied, oral or written, of the parties concerning the subject matter hereof are contained solely in this Agreement, subject to any implied warranties and conditions imposed upon the parties by Utah law. No other agreements, covenants, representations, or warranties have been made by any party to any other party concerning the subject matter hereof. All prior and contemporaneous conversations, negotiations, possible and alleged agreements, representations, covenants, and warranties concerning the subject matter hereof are merged herein. This is an integrated agreement.

Dated the 30th day of DECEMBER, 2024.

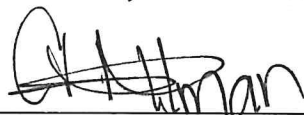
Geneva Rock


By: JOSH JENSEN
Its: AREA MANAGER

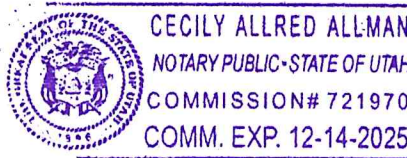
STATE OF UTAH)
 : ss.
COUNTY OF UTAH)

On this 30 day of December, 2024, personally appeared before me Josh Jensen, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the Area Manager of Geneva Rock and that said document was signed by him/her in behalf of said Corporation by Authority of its Articles of Organization, Operating Agreement, or Resolution of its Members/Managers and said Josh Jensen acknowledged to me that said Company executed the same.

Witness my hand and official seal.



(notary signature)



Dated the 30 day of December, 2024.

Lehi City Corporation

Mayor Mark Johnson

Attest:

Teisha, Wilson, City Recorder

EXHIBIT A – Contract Documents

BID SCHEDULE					
Item No.	Item Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
Base Bid					
1-1	Mobilization	L.S.	1	58,000.00	58,000.00
1-2	Sawcut and Remove Existing Asphalt	S.F.	1465	2.50	3,662.50
1-3	Remove Existing Culvert	L.S.	1	2,350.00	2,350.00
1-4	Remove and Salvage Existing Guardrail	L.F.	125	18.00	2,250.00
1-5	Remove Existing Fence	L.F.	53	40.00	2,120.00
1-6	Remove Existing Concrete walls and Headwall Structure	L.S.	1	3,800.00	3,800.00
1-7	Demo Existing Dog Park Headwall and Coat Saw Cut Concrete	L.S.	1	9,500.00	9,500.00
1-8	Dog Park Channel Regrading	L.S.	1	3,000.00	3,000.00
1-9	Cast-in-Place Inlet Wingwalls and Apron	L.S.	1	75,000.00	75,000.00
1-10	Cast-in-Place Outlet Wingwalls and Apron	L.S.	1	169,000.00	169,000.00
1-11	16" Steel Casings	L.F.	100	172.00	17,200.00
1-12	Reinstall Guardrail	L.F.	75	50.00	3,750.00
1-13	Removable Galvanized Handrail with Concrete Base	L.F.	84	310.00	26,040.00
1-14	Native Fill Over north End of Box Culvert Beyond ROW	C.Y.	63	74.00	4,662.00
1-15	Road Base Fill Over South End of Box Culvert Beyond ROW	C.Y.	44	89.00	3,916.00
1-16	Box Culvert and Diversion Structure Inlet and Outlet Riprap D50 = 9.5"	C.Y.	73	134.00	9,782.00
1-17	Downstream Concrete Channel Base - 5" Thick with 6" Gravel Base	S.F.	2355	13.00	30,615.00
1-18	Downstream Channel Slope Armoring D50 = 8" with Fabric	C.Y.	120	175.00	21,000.00
1-19	Reseed Disturbed Landscaping	S.F.	1135	4.00	4,540.00
1-20	3" Asphalt Paving	S.Y.	168	50.00	8,400.00
1-21	Roadbase	C.Y.	48	50.00	2,400.00
1-22	Concrete Diversion Structure and Channel Grading	L.S.	1	29,000.00	29,000.00
1-23	Pipe Inlet Structure with Gate Valve and Grate	L.S.	1	30,000.00	30,000.00
1-24	Diversion Structure Upstream Concrete Channel Base - 5" Thick with 6" Gravel Base	S.F.	150	92.00	13,800.00
1-25	Diversion Structure Upstream Channel Slope Armoring D50 = 8" with Fabric	C.Y.	16	225.00	3,600.00
Alternative No. 1					
1-26	5'x18' Cast-in-Place Concrete Box Culvert	L.F.	69	3,650.00	251,850.00
Alternative No. 2					
1-27	5'x18' Precast Concrete Box Culvert	L.F.	69	3,650.00	251,850.00
Total Bid Price - Alternative 1					693,437.50
Total Bid Price - Alternative 2					693,437.50

EXHIBIT B – Performance Bond and Payment Bond

EXHIBIT C – Warranty Bond

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-01 approving a second amendment to the agreement between Lehi City and Utah County for the Dry Creek Lake Regional Recreation Area.

Suggested Action:

Attachments:

[Res 2025-01.docx](#)

[8820DC_Rec_GrantAmendment-2\(AMBEditions11.08.2024\).pdf](#)



RESOLUTION NO. 2025-01

A RESOLUTION OF THE LEHI CITY COUNCIL APPROVING A SECOND AMENDMENT TO THE AGREEMENT AND FIRST AMENDMENT TO THE AGREEMENT BETWEEN LEHI CITY AND UTAH COUNTY FOR THE DRY CREEK LAKE REGIONAL RECREATION AREA

WHEREAS, the parties previously entered an agreement on December 9, 2020, which was then amended on April 13, 2022; and

WHEREAS, the original agreement was to create a recreation facility similar to the Tibble Fork Reservoir Facility in American Fork Canyon. The amendment proposed a much more enhanced facility based on a water level that would only vary up to three to five feet; and

WHEREAS, the enhanced recreation facility was not able to be built due to cost and the variability of the water level which could be as much as twenty feet, particularly during the flood season; and

WHEREAS, the Utah County Tax Advisory Board recommended approval of an amended Dry Creek Recreation Facility December 4, 2023, that would be similar to the Tibble Fork Recreation Facility; and

WHEREAS, on January 14th, 2025, the City Council held a duly noticed public meeting to ascertain the facts regarding this matter, which facts and comments are found in the meeting record; and

WHEREAS, after considering the facts and comments presented to the City Council, the Council finds: (i) that it should approve the Second Amendment to the Agreement with Utah County for the Dry Creek Lake Regional Recreation Area; and (ii) such action furthers the health, safety and welfare of the citizens of Lehi.

NOW, THEREFORE, be it resolved by the City Council of Lehi City, Utah, as follows:

1. The Agreement attached hereto as Exhibit "A" are hereby approved and the Mayor is authorized to execute the agreements and take all other such action as is necessary to make them effective.
2. This resolution shall take effect immediately.

Approved and Adopted by the City Council of Lehi City, Utah this 14th day of January, 2025.

LEHI CITY

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

Exhibit "A"

**AMENDMENT NO. 2
TO
AGREEMENT NO. 2020-1030 AND AMENDMENT NO. 1
BETWEEN
UTAH COUNTY AND LEHI CITY (PARTIES)
FOR THE DRY CREEK LAKE REGIONAL RECREATION AREA**

WHEREAS, The Dry Creek Dam rehabilitation and reservoir facility has been built according to the Plans; and

WHEREAS, The Parties previously entered into Agreement No. 2020-1030 on December 9, 2020 which was amended on April 13, 2022; and

WHEREAS, The original agreement was to create a recreation facility similar to the Tibble Fork Reservoir Facility in American Fork Canyon. The amendment to the original agreement proposed a much more enhanced recreation facility based on a water level that would generally only vary up to three to five feet; and

WHEREAS, The enhanced recreation facility was not able to be built due to cost and the variability of the water level which could be as much as twenty feet, particularly during the flood season; and

WHEREAS, The Utah County Tax Advisory Board recommended approval of an amended Dry Creek Recreation Facility December 4, 2023 that would be similar to the Tibble Fork Recreation Facility; and

WHEREAS, The North Utah County Water Conservancy District has continued to improve the Dry Creek Facility by eliminating combustible dead growth etc. around the facility, installing a better debris catching system, removing the sediment from the sediment basin and installing fencing along the southeast side of the facility; and

WHEREAS, Lehi City and Lehi Metropolitan Water District have also continued to improve the Dry Creek facility by: installing a pedestrian bridge over the inlet; fixing the trail on the north and south sides so it was passable, above the high water mark, not too steep, wider and rerouted around the southeast inlet bay; providing an access to the inlet; installing new sediment basin outlet so that draining of the sediment basin did not require pumping; removing a very steep bank at the southeast inlet bay; creating a debris removal path above the high water mark; creating two possible canoe launches; installing crushed asphalt to the existing roadways and future parking lot; installing a monitoring system at the dam for flooding; installing a system to help remove trash from the outlets; grading out an area that can be used to let the removed sediment drain before it is hauled off; and

WHEREAS, Lehi City with the help of the Lehi Metropolitan Water District have expended about \$4,600,000 to date on the Dry Creek Facility; and

NOW, THEREFORE, the Parties hereto agree as follows:

- Lehi City will install, per the attached Exhibit, two paved parking lots with a total of 200 parking stalls, a 10 foot wide concrete trail adjacent to the main parking lot, a sandy beach that extends from the main parking lot to the low water level, paved and curbed access roads, a 12 stall flush toilet restroom with fish cleaning station and entry gates.
- The last sentence of Subsection (3) of Agreement No. 2020-1030 is amended to read: No reimbursement for any costs incurred after June 30, 2026 and submitted after September 30, 2026 will be made by County to Lehi City.
- Subsection (4) is amended to read: This agreement commences on December 9, 2020 and terminates on

September 30, 2026.

- All other terms and conditions of Agreement No. 2020-1030 and Amendment No. 1 remain the same.

IN WITNESS WHEREOF, the parties have executed this Amendment No. 2 to Agreement No. 2020-1030 and Amendment No.1 this _____ day of _____.

BOARD OF COUNTY COMMISSIONERS
UTAH COUNTY, UTAH

BRANDON B. GORDON, Chairman

ATTEST:
AARON R. DAVIDSON
Utah County Clerk

By: _____
Deputy Clerk

APPROVED AS TO FORM AND LEGALITY:
JEFFREY S. GRAY
Utah County Attorney

By: _____
Deputy

LEHI CITY:

By: _____
Mayor

ATTEST:

By: _____
Lehi City Recorder Teisha Wilson

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-05 approving an easement agreement between Lehi City and Geneva Rock Products on a section of Flight Park Road.

Suggested Action:

Attachments:

[Lehi Geneva Rock - Easement Agreement - to City Council.docx](#)

[Exhibit A - West Property.pdf](#)

[Exhibit B - East Property.pdf](#)

[Exhibit C - Easement Location.pdf](#)

WHEN RECORDED, RETURN TO:

Geneva Rock Products, Inc.
Attn: Bill Gammell
4393 Riverboat Rd., Suite 400
Taylorsville, UT 84123

APNs: 58:001:0026; and
58:001:0076 - 58:001:0079, inclusive

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (“**Agreement**”) is made as of the ___ day of _____, 2024 (the “**Effective Date**”), by and between **GENEVA ROCK PRODUCTS, INC.**, a Utah corporation (“**Grantor**”), and **LEHI CITY**, a political subdivision of the State of Utah (“**Grantee**”). Grantor and Grantee are sometimes collectively referred to as the “**Parties**” and individually as a “**Party**”.

A. Grantor is the owner of certain real property located in Utah County, Utah, which is more particularly described on the attached **Exhibit A** (the “**West Property**”).

B. A transit-oriented development is being developed on real property located in the vicinity of the West Property, which is more particularly described on the attached **Exhibit B** (the “**East Property**”). Grantor is an owner of a portion of the East Property.

C. Grantor desires to grant and Grantee desires to receive a perpetual, non-exclusive easement over, under, across, and through that certain portion of the West Property more particularly described on the attached **Exhibit C** and generally depicted on the attached **Exhibit D** (the “**Easement Area**”), for the limited purposes and pursuant to the terms set forth below. The Easement Area is a section of the road commonly referred to as “Flight Park Road” in Utah County, Utah (the “**Road**”).

NOW, THEREFORE, in consideration of the mutual promises set forth herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Recitals**. The recitals set forth above are hereby incorporated in this Agreement as if fully set forth in the body of this Agreement.

2. **Easement**. For purposes of this Agreement, “**Permittees**” shall mean the respective Party’s successors and assigns and the property owners within the East Property, and its and their respective tenants, subtenants, contractors, agents, invitees, employees, and licensees. Grantor hereby conveys, declares, and grants to Grantee a perpetual, non-exclusive, and continuous easement and right-of-way over, upon, and across the Easement Area (the “**Easement**”). The Easement and use of the Easement shall be limited to the following purposes: (i) providing secondary and/or emergency vehicular ingress, egress, and access to and from the East Property

over the Easement Area by Grantee and its Permittees, (ii) permitting Grantee's construction, grading, asphalt paving, and ongoing maintenance of roadway improvements to the Easement Area, in accordance with Section 5 below.

3. **Retained Rights; Grantee Acknowledgements.**

(a) Subject to the provisions of this Agreement, Grantor may use the Easement Area for any purpose that does not unreasonably interfere with use of the Easement in accordance with the terms of this Agreement. Without limiting the generality of this Section 3, Grantor expressly reserves the right to conduct mining activities in Utah County and on the West Property, to use the Road, including the Easement Area, in connection with Grantor's mining activities or other business operations, and to operate Grantor's or its Permittees' equipment, machinery (including heavy machinery), and trucks in connection with those activities or other business operations. Grantor reserves the right at any time and from time to time to exclude and restrain any person who is not a Permittee from the use of the Easement Area.

(b) Grantee acknowledges that the Easements are non-exclusive, and that the Easement Area is located in an area that may currently or in the future be used for purposes benefitting Grantor, its successors and assigns, and its related persons and invitees and the West Property or Grantor's other properties, and that Grantee accepts the Easements granted hereby subject to such uses. Grantee and its Permittees shall not unreasonably interfere with the other uses of the Easement Area. Grantee acknowledges that it is accepting each of the Easement and Easement Area in its present AS-IS condition, with no warranties, express or implied, as to its fitness for any purpose; Grantee further acknowledges that no representations, statements, or warranties, express or implied, have been made by or on behalf of Grantor with respect thereto, and Grantor shall in no event be liable for any patent or latent defects. The Easement is granted subject to all matters of record and all applicable requirements, permits, ordinances, regulations, and approvals of all applicable governmental authorities for the use and improvement of the Easement and the Easement Area.

4. **No Interference.** Except to the extent reasonably necessary (on a temporary basis) for reasonable construction, for repair and maintenance, for traffic regulation and control or to prevent a public dedication or the accrual of any rights to the public, no fence, gate, wall, barricade or other obstruction, whether temporary or permanent in nature, that limits or impairs the free and unimpeded use of the Easement Area shall be constructed or erected, nor shall any Party in any other manner unreasonably obstruct or interfere with the use of the Easement. The Easement Area established and granted herein shall be used and enjoyed in such a manner as not to unreasonably interfere with, obstruct, or delay the use of the West Property and Grantor's other properties. The Easement established and granted here are limited to the Easement Area. Grantee and its Permittees are not granted any right to access or to use any other portions of the West Property.

5. **Construction and Maintenance.** Grantee may, from time to time, improve the Easement Area (including, without limitation, grading and asphalt paving), at its sole cost and expense, provided that Grantee obtains Grantor's prior written approval of the improvement plans and specifications to the Easement Area. Grantee shall be responsible, at its sole cost and expense, for the maintenance and repair of the Easement Area to the required standards of the improvements made to the Easement Area in accordance with this Section, including any improvements installed

by Grantee, except where such maintenance or repairs are necessitated by the negligent acts of Grantor or Grantor's Permittees but not mere use of the Easement Area.

6. **Indemnification**. Grantee ("**Indemnitor**") shall indemnify, defend, and hold harmless Grantor and its successors, assigns, affiliates, equity owners, officers, agents, tenants, and representatives (collectively, "**Indemnitees**") for, from, and against all claims, damages, expenses (including, without limitation, reasonable attorney fees and reasonable investigative, litigation costs, and discovery costs), liabilities, losses, and judgments arising out of or resulting from, or claimed to arise out of or result from, in whole or in part: (i) except as expressly permitted herein, the construction or maintenance of improvements on or within the Easement and the Easement Area by Indemnitor; (ii) any liens, claims of lien, judgments, proceedings and causes of action arising out of or in any way connected with the construction, alteration, grading, filling, excavation, maintenance, repair or modification of any improvements on or within the Easement or the Easement Area; and (iii) injury to persons, loss of life, or damage to property (a) occurring on or within the Easement or the Easement Area, (b) arising out of the performance of any of the obligations set forth in this Agreement, or (c) Grantee's or the Permittees' use of the Easement Area and/or the Road, except to the extent such claims are due solely to the gross negligence or willful act or omission of an Indemnitee. If such indemnification claim is based upon any claim, demand, suit, or action of any third-party claim, Indemnitor shall defend against such third-party claim. The covenants in this Section and the obligations of Indemnitor contained in this Section shall survive the termination of this Agreement.

7. **Rights Run with The Land**. Subject to the terms hereof, all provisions of this Agreement, including the benefits and burdens, shall run with the land and are binding upon and shall inure to the benefit of the successors and assigns of the Parties.

8. **No Public Dedication/No Third-Party Beneficiaries**. The provisions of this Agreement are not intended to and do not constitute a dedication for public use of the Easement, and the rights herein created are for private use of Grantee and the Permittees, and no other. This Agreement is not intended to confer benefits on any other party.

9. **Reservation of Rights**. The Parties acknowledge that the City asserts that it and the public may have certain rights that have been acquired prescriptively over time. Notwithstanding anything to the contrary in this Agreement, the Parties agree that by executing this Agreement, the City is not intending to waive, relinquish, dispose of, or affect in any way, any prescriptive right over any of the Road property that is the subject of this Agreement that may be currently held by the City or by the public in general. The Parties further acknowledge and agree that Grantor expressly reserves and does not waive or relinquish, nor shall execution of this Agreement in any way affect any of, its rights, claims, or defenses related to any assertion or claim of the City or the public as referenced in this Section or otherwise.

10. **Miscellaneous**. If any term, provision or condition contained in this Agreement shall to any extent be deemed invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each remaining term, provision and condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law. This Agreement shall be governed by the laws of the State of Utah, without giving effect to its conflict of laws principles. All references in this Agreement to exhibits shall, unless otherwise expressly provided, be deemed to be

references to the exhibits attached to this Agreement. All such exhibits attached hereto are incorporated into this Agreement as though fully set forth herein. No modification, waiver, or amendment of any provision of this Agreement shall be made except by a written agreement signed by the Parties, or their successors or assigns, and recorded in the office of the Utah County Recorder. This Agreement shall constitute the entire agreement and understanding of the Parties pertaining to the subject matter contained in this Agreement.

[Signatures and Acknowledgements on Following Pages]

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the Effective Date.

GRANTOR:

GENEVA ROCK PRODUCTS, INC.,
a Utah corporation

By: _____
Name: _____
Its: _____

STATE OF UTAH)
 : ss
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 2024 by _____, as _____ of GENEVA ROCK PRODUCTS, INC., a Utah corporation, on behalf of such corporation.

Notary Public

[Signatures and Acknowledgements Continue on Following Page]

GRANTEE:

LEHI CITY,
a political subdivision of the State of Utah

By: _____
Name: _____
Its: _____

Approved as to form:

Lehi City Attorney's Office

Attest and countersigned:

Lehi City Recorder's Office

STATE OF UTAH)
 : ss
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 2024 by _____, as _____ of LEHI CITY, a political subdivision of the State of Utah, on behalf of such political subdivision.

Notary Public

EXHIBIT A

[Legal Description of the West Property]

[Insert legal description of 58:001:0026]

EXHIBIT B

[Legal Description of the East Property]

[Insert legal description of 58:001:0076 - 58:001:0079]

EXHIBIT C

[Legal Description of the Easement Area]

[Insert legal description of the Easement Area]

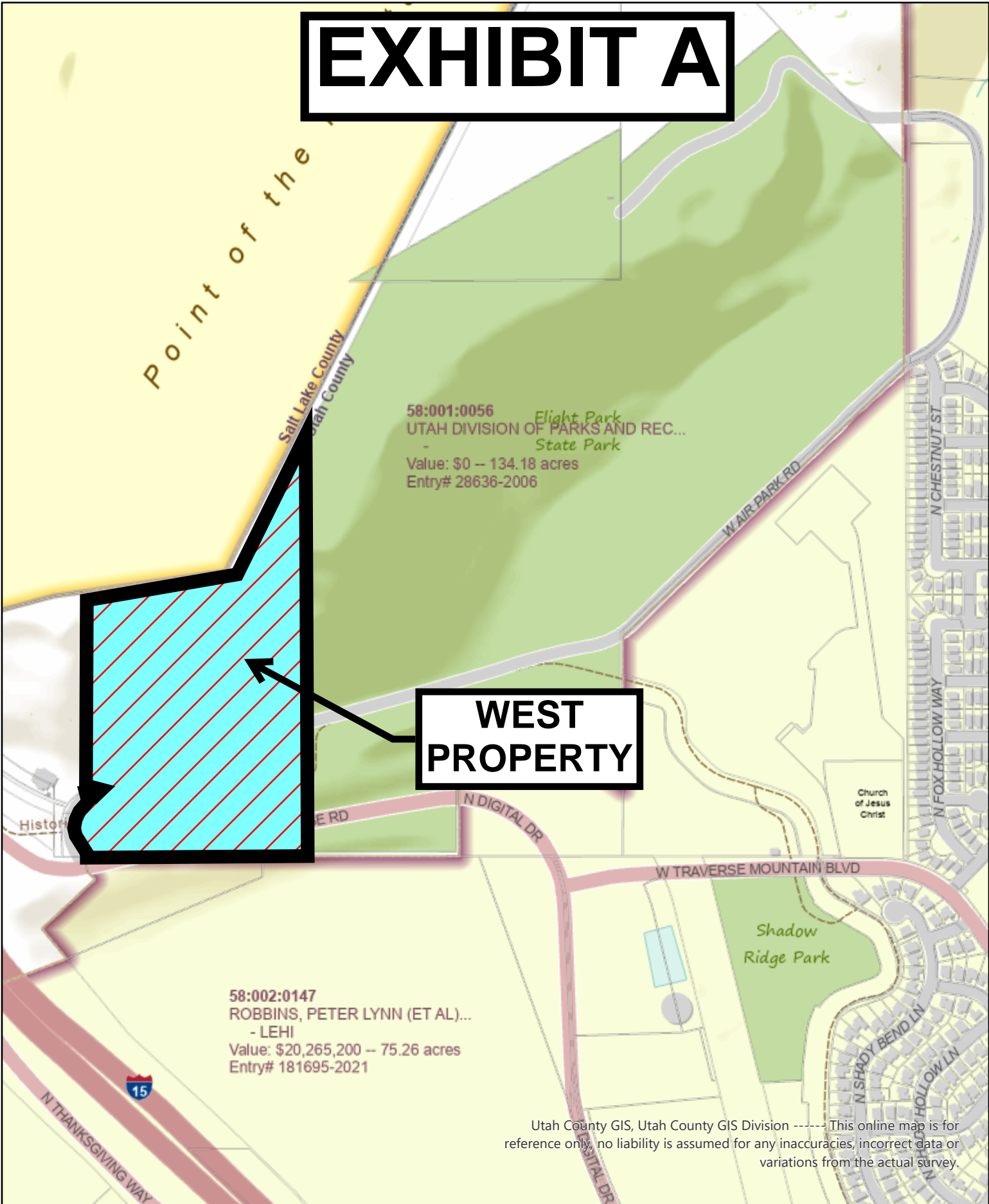
EXHIBIT D

[General Depiction of the Easement Area]

[Insert general depiction of the Easement Area]

Summary report:	
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Intelligent Table Comparison: Active	
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Modified DMS: nd://4921-5735-3219/4/Lehi Geneva Rock - Easement Agreement.docx	
Changes:	
<u>Add</u>	7
<u>Delete</u>	7
<u>Move From</u>	0
<u>Move To</u>	0
<u>Table Insert</u>	0
<u>Table Delete</u>	0
<u>Table moves to</u>	0
<u>Table moves from</u>	0
Embedded Graphics (Visio, ChemDraw, Images etc.)	0
Embedded Excel	0
Format changes	0
Total Changes:	14

EXHIBIT A



Utah County GIS, Utah County GIS Division ----- This online map is for reference only, no liability is assumed for any inaccuracies, incorrect data or variations from the actual survey.

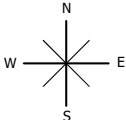


EXHIBIT B

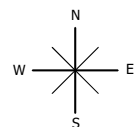
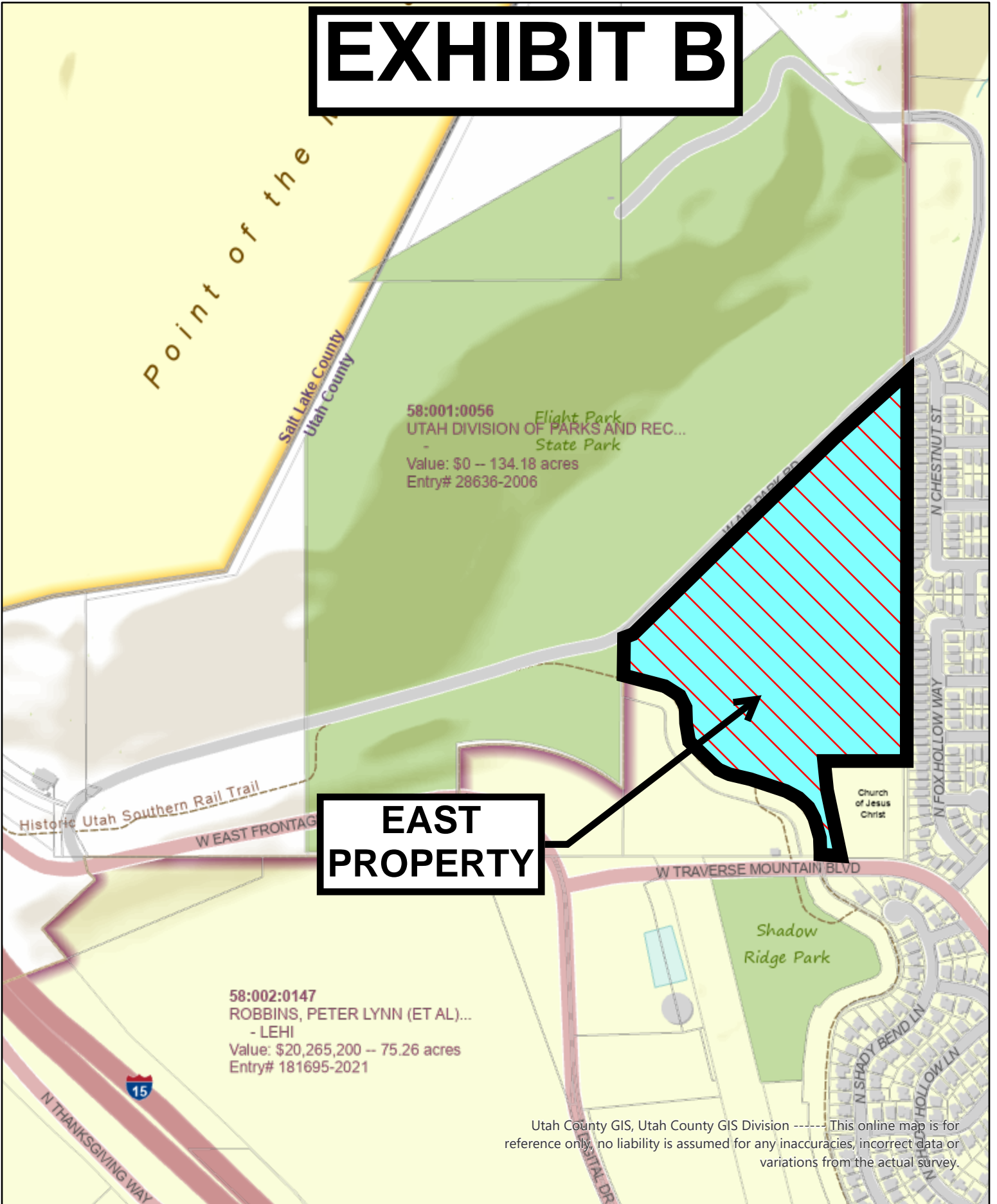
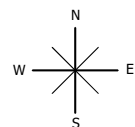
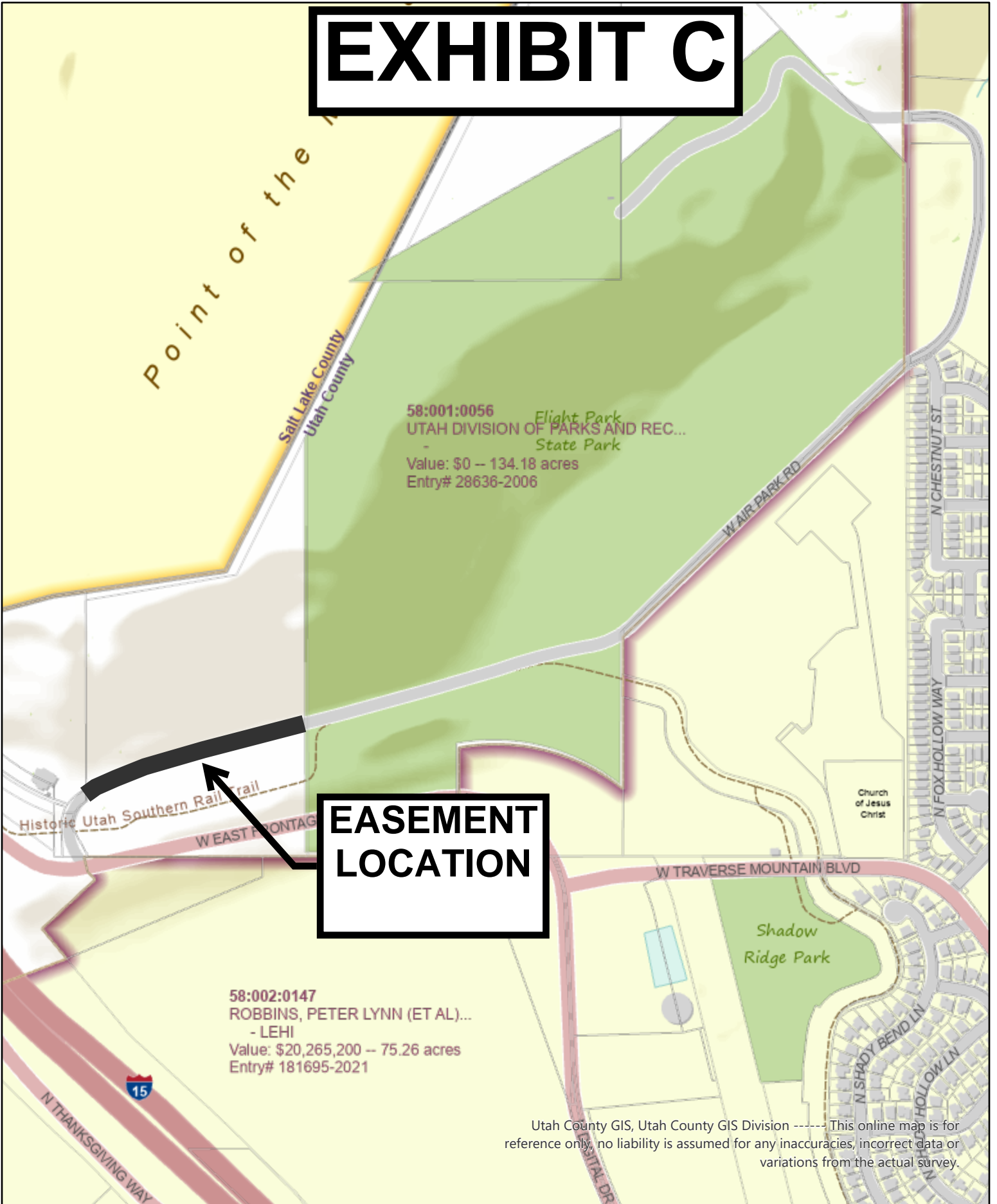


EXHIBIT C



City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Jacob Curtis

Submitting Department: Planning Division

Item Type: Ordinance

Agenda Section: Regular Agenda

Subject:

Consideration of Ordinance #01-2025 the Gordon Zone Change on 1.63-acres located at 860 North 2300 West changing the zoning from A-1 to R-1-22 and Neighborhood Commercial.

Suggested Action:

Attachments:

[CC Staff Report Gordon Flag Lot Zone Change 01.14.25.docx](#)

[Gordon Flag Lot Zone Change DRC 12.4.24.docx](#)

[Gordon Zone Change Map legal descriptions 121024.docx](#)

[Ord 01-2025.docx](#)

[Gordon Zone Change map 121024.pdf](#)

[Gordon GP.pdf](#)

[Gordon Zoning.pdf](#)

[Gordon Aerial.pdf](#)

GORDON FLAG LOT ZONE CHANGE

CITY COUNCIL REPORT

Applicant	Kevin & Sarah Gordon		
Meeting Date	January 14, 2025		
Requested Action/Purpose	Approval of a proposed zone change		
Location	860 N 2300 W		
Project Area	1.63 acres		
Existing Zoning	A-1		
Proposed Zoning	NC & R-1-22		
Existing General Plan Land Use Designation	NC		
Adjacent Zoning and Land Use	<i>North</i>	R-1-22	Grange Acres
	<i>South</i>	R-1-22	Cloverleaf Fields
	<i>East</i>	A-1	Ascent Academy School
	<i>West</i>	A-1	Single Family Residential
Date of DRC Review	December 4, 2024		
Date of Planning Commission Review	December 12, 2024		
Assigned Planner	Jacob Curtis		

REQUIRED ACTION

Planning Commission	Review and recommendation
City Council	Final approval

APPLICABLE GENERAL PLAN GOALS AND POLICIES

NEIGHBORHOOD COMMERCIAL (NC)

The Neighborhood Commercial (NC) classification is to allow for smaller-scale retail and service-oriented businesses and can provide basic goods and services to residential areas. Developments within this zone should be designed for a sensitive transition between commercial and residential uses.

INTERPRETATION OF LAND USE MAP

It should be noted that the Land Use Map is based on a "broad brush" approach in that, unlike the City's Planning Zone Map; it does not precisely locate every land use to an individual parcel level. The Land Use map shows general locations of land use activities, facilities, and physical characteristics, but emphasis should also be given to the written policies for land use decision-making. The Zoning Administrator shall be responsible for general interpretation of the Land Use Map. The Zoning Administrator may, at his/her discretion, forward any interpretation issue of the Land Use Map to the Planning Commission for their review and interpretation. If a conflict occurs between the Land Use Map and adopted policies, the written policies are the controlling factors in decision-making.

APPLICABLE DEVELOPMENT CODE REGULATIONS

Section 04.060 Criteria for Approval, of the Lehi City Development Code, the Planning Commission should consider the following factors, among others, when reviewing a zone amendment:

1. The effect of the proposed amendment on the character of the surrounding area;
2. Consistency with the goals and policies of the General Plan;
3. Consistency and compatibility of the proposed zone with the General Plan land uses of nearby and adjoining properties;
4. The suitability of the properties for the uses requested and their suitability for the existing uses identified by the General Plan;
5. Whether a change in the uses allowed for the affected properties will unduly affect the uses, or proposed uses for nearby and adjoining properties;
6. The gain to the public health, safety, and welfare from the existing classification to the proposed amendment; and
7. The overall community benefit of the proposed amendment.

PROPERTY HISTORY

December 11, 1978 – This property was annexed into the City with the Lehi Meadows Addition.

April 21, 2022 - a general plan amendment was approved changing the General Plan designation to Neighborhood Commercial (NC) with intentions of building a childcare center.

March 26, 2024 - a zone change was approved for this property was approved to Neighborhood Commercial, but it was not finalized with water dedication and recording.

REPORT ANALYSIS

The applicant is seeking approval of a proposed zone change from A-1 (Agriculture) to NC (Neighborhood Commercial) and R-1-22 on 1.63 acres located at approximately 860 N 2300 W. This will be a future flag lot with just over half an acre as R-1-22 and the front one-acre lot as NC.

As per a previous development agreement with Lehi City, a zone change to NC was required and a stipulation was put in place that the NC zoning will only allow for a childcare center on the property. The proposed zone change is consistent with the General Plan designation of Neighborhood Commercial for the property.

After the previous zone change request was approved, the applicant approached staff to ask about the possibility of doing a flag lot. The Zoning Administrator felt comfortable with a broad brush approach view of the General Plan to consider this for R-1-22 because of the previous history of this property being VLDRA.

The DRC reviewed the proposed Zone Change and had three redline comments pertaining to water dedication, needing a legal description, and one comment relating to Code Enforcement compliance. The property has been used for RV storage which is not allowed in the NC zone. The DRC comments are as follows:

1. Property needs to be brought into compliance before recording the zone change.
2. As a condition of recording the zone change ordinance, water dedication will be required. The amount of water for the NC Zone is 1.35 acre feet per acre of culinary water and 1.25 acre feet per acre of irrigation water. The amount of water for the R-1-22 Zone is 0.79 acre feet per acre of culinary water and 2.90 acre feet per acre of irrigation water.
3. Need separate legal descriptions for each part of the zone change.

Please consider DRC comments in the motion.

POSSIBLE MOTIONS AND FINDINGS

The City Council may move to approve or deny the proposed zone change. Any motion should include findings. Possible findings include:

1. The proposed zone change is/is not consistent with the goals and policies of the General Plan.
2. The proposed change is/is not consistent and compatible with the General Plan land uses of nearby and adjoining properties.
3. The proposed change will/will not unduly affect the uses, or proposed uses for nearby and adjoining properties.

PLANNING COMMISSION RECOMMENDATION

The Planning Commission reviewed the proposed zone change on December 12, 2024. The minutes and motion from this meeting are as follows:

3.3) Public Hearing and recommendation of Kevin and Sarah Gordon's request for review of the Gordon Zone Change on 1.63-acres located at 860 North 2300 West changing the zoning from A-1 (agriculture) to R-1-22 (residential/agriculture) and Neighborhood Commercial.

Katie Bussell presented on this item. A previous zone change was approved on the condition that only the proposed daycare would be placed within the zone. The necessary forms were provided by the applicant, but not until after the packet was created. The zone change is within the normal range. The DRC stated that the lot currently is storing trailers against code, and that those must be taken care of first.

Commissioner Everett asked if the trailer enforcement concern had been taken care of. Katie stated that it has not, but it is in progress. Commissioner Everett also asked about the status of the daycare. Kim Struthers stated that it was still the only plan in place. Commissioner Eyre asked if any other uses for the land were available. Struthers stated that it was only approved for the planned daycare.

Commissioner Kunze asked if this is the same proposal that came before the Commission in 2022. Kim Struthers affirmed that it is. Commissioner Everett asked if there is a time frame on the resolution of the code violation. Struthers stated that there is not a solid time frame yet, but the applicants are working on it. The DRC comments recommend not rezoning until all the trailers are moved.

Commissioner Eyre asked about the drive aisle, and if the driveway for the house and the business are going to be shared access. Gary Ellis stated that it would be. Kevin and Sarah Gordon, the applicants, were present. They believe that this is a better use of the land than solely putting the daycare in place. The front of the lot will be dedicated to parking for the daycare, so they don't think the house's driveway will be disturbed. Commissioner Eyre expressed concern over drop-off and pick-up times. The Gordons explain that they intend on living in the house on the property.

Commissioner Everett opened and closed public comment.

Commissioner Jones asked city staff if the trailers would still need to be moved before the zone change happens if they provided a positive recommendation to the City Council. Kim Struthers stated that if it is a requirement for the zone change, it will set a time frame, and that city staff is comfortable with that. Commissioner Eyre asked staff if the property would require a right-in right-out. Gary Ellis stated that Luke Seegmiller has been considering it, but there has not been a decision yet. That is something that will be decided when a site plan is presented.

Commissioner Everett asked if there were any other properties with a shared driveway for a home and a residential consumer business. Commissioner Kunze mentioned Hamilton Motors on Main Street. Kim Struthers explained that the applicant would prefer to have two separate driveways, but that Luke Seegmiller recommended one driveway to limit the number of tension points on the street. The property is in a difficult position to connect, as it's landlocked on three sides.

Motion: Commissioner Jones moved to give a positive recommendation to the City Council for the zone change, as the effect of the proposed amendment on the character of the surrounding area falls in line with the general plan, it will be consistent with the goals and policies of the general plan, as well as compatible with the proposed zones and land uses of nearby and adjoining properties, the suitability of the property for the uses of this land, and the overall community benefit of the proposed amendment. Kunze seconded. Commissioner Everett asked that the motion be amended to include all DRC comments, especially that it must come into code compliance before it can be affected. Commissioner Jones agreed. Kunze seconded the amended motion.

Vote: Commissioner Everett, yes. Commissioner Lockhart, yes. Commissioner Eyre, yes. Commissioner Kunze, yes. Commissioner Jones, yes.

Motion passed unanimously.

**Gordon Residential Zone Change
DRC Redline Comments**

Kevin & Sarah Gordon- requests review of the **Gordon zone change** on 1.63 acres located at 860 North 2300 West changing the zoning from A-1 to NC and R-1-22.

DRC Members Present: Glade Kirkham, Garion Rowett, Ryan Allred, Shelby Brewer, Kim Struthers, Gary Smith, Gary Ellis, James Farnsworth

Assigned Planner: Jacob Curtis

Representatives of the Applicant Present: Sarah Gordon

Date of Plans Reviewed: 11/19/24

Time Start: 1:58 pm

Time End: 2:00 pm

DRC REDLINE COMMENTS:

Glade – Power: No comments

Garion – Fire: No comments

Ryan – Water/Sewer: No comments

James – Parks: No comments

Gary S.– Building/Inspections: No comments

Shelbey– Public Works: No comments

Gary E. – Engineering: No comments

Kim – Planning:

1. Property needs to be brought into compliance before recording the zone change.
2. As a condition of recording the zone change ordinance, water dedication will be required. The amount of water for the NC Zone is 1.35 acre feet per acre of culinary water and 1.25 acre feet per acre of irrigation water. The amount of water for the R-1-22 Zone is 0.79 acre feet per acre of culinary water and 2.90 acre feet per acre of irrigation water.
3. Need separate legal descriptions for each part of the zone change.

THIS ITEM IS SCHEDULED FOR PLANNING COMMISSION ON DECEMBER 12, 2024.

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

Gordon Zone Change Map legal descriptions

R-1-22 legal description

Beginning at a point located South 0°27'02" West along section line 329.49 feet and East 359.23 feet from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian, said point being the southwest corner of Grange Acres Plat "A";

thence South 89°12'53" East 410.80 feet; thence South 00°46'44" West 173.36 feet; thence North 89°15'08" West 127.00 feet; thence North 00°46'44" East 153.44 feet; thence North 89°12'53" West 283.49 feet; thence North 00°07'03" West 20.00 feet to the point of beginning.

Containing 27,695 square feet or 0.6358 acres, more or less

Neighborhood Commercial description

Beginning at a point located South 0°27'02" West along section line 349.49 feet and East 359.43 feet from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian, said point being the southwest corner of Grange Acres Plat "A";

thence South 89°12'53" East 283.49 feet; thence South 00°46'44" West 153.44 feet; thence North 89°15'08" West 281.08 feet; thence North 00°07'03" West 153.65 feet to the point of beginning.

Containing 43,341 square feet or 0.9950 acres, more or less.



ORDINANCE NO: 01-2025

**AN ORDINANCE APPROVING A ZONE DISTRICT DESIGNATION
AMENDMENT AND ZONING DISTRICT MAP AMENDMENT
LOCATED AT 860 NORTH 2300 WEST**

WHEREAS, Kevin and Sarah Gordon, applicants for property located at 860 North 2300 West and further described by the legal description attached as Exhibit “A”, has applied for an amendment to the Zone District and Zoning District Map; and

WHEREAS, the applicant seeks to have said parcel designated as NC (Neighborhood Commercial) and R-1-22; and

WHEREAS, following a public hearing on December 12, 2024, the Lehi City Planning Commission reviewed the proposed Zoning District Designation and Zoning District Map amendment and forwarded it to the City Council to decide on the proposed amendment; and

WHEREAS, on January 14, 2025, the Lehi City Council held a duly noticed meeting to receive public comment and ascertain the facts regarding this matter, which facts and comments are found in the hearing record and which include the staff report, minutes from the Planning Commission meeting of December 12, 2024; and

WHEREAS, after considering the facts and comments presented to the Municipal Council, the Council finds: (i) the request for a Zone District Designation amendment and Zoning District amendment is consistent with the Lehi City General Plan Land Use Map adopted by the Lehi City Council on January 25, 2022 (and as subsequently amended); and (ii) such action furthers the health, safety and welfare of the citizens of Lehi.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Lehi City, Utah as follows:

PART I:

The Zone District Designation and the Zoning District Map of the property described on Exhibit “A” are hereby amended to Neighborhood Commercial and R-1-22.

PART II:

- A. If a provision of this Ordinance -2025 conflicts with a provision of a previously

adopted ordinance concerning the same title, chapter, and/or section number amended herein, the provision in this Ordinance shall prevail.

B. This ordinance and its various section, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause or phrase is adjudged to be unconstitutional or invalid, the remainder shall not be affected thereby.

C. The City Council hereby directs that the official copy of the Lehi City Code be updated to reflect the provisions enacted by this Ordinance.

D. This Ordinance shall take effect immediately after being posted or published as required by law.

Approved and Adopted by the City Council of Lehi City this 14th day of January 2025.

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

EXHIBIT "A"

GORDON FLAG LOT ZONE CHANGE

R-1-22 legal description

Beginning at a point located South 0°27'02" West along section line 329.49 feet and East 359.23 feet from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian, said point being the southwest corner of Grange Acres Plat "A";

thence South 89°12'53" East 410.80 feet; thence South 00°46'44" West 173.36 feet; thence North 89°15'08" West 127.00 feet; thence North 00°46'44" East 153.44 feet; thence North 89°12'53" West 283.49 feet; thence North 00°07'03" West 20.00 feet to the point of beginning.

Containing 27,695 square feet or 0.6358 acres, more or less

Neighborhood Commercial description

Beginning at a point located South 0°27'02" West along section line 349.49 feet and East 359.43 feet from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian, said point being the southwest corner of Grange Acres Plat "A";

thence South 89°12'53" East 283.49 feet; thence South 00°46'44" West 153.44 feet; thence North 89°15'08" West 281.08 feet; thence North 00°07'03" West 153.65 feet to the point of beginning.

Containing 43,341 square feet or 0.9950 acres, more or less.

DESCRIPTION

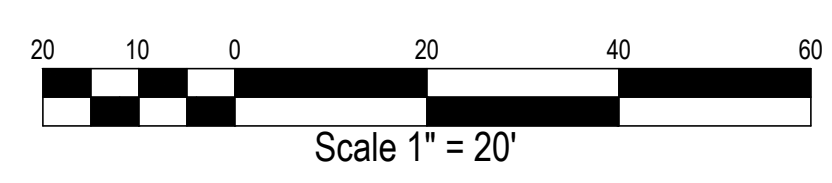
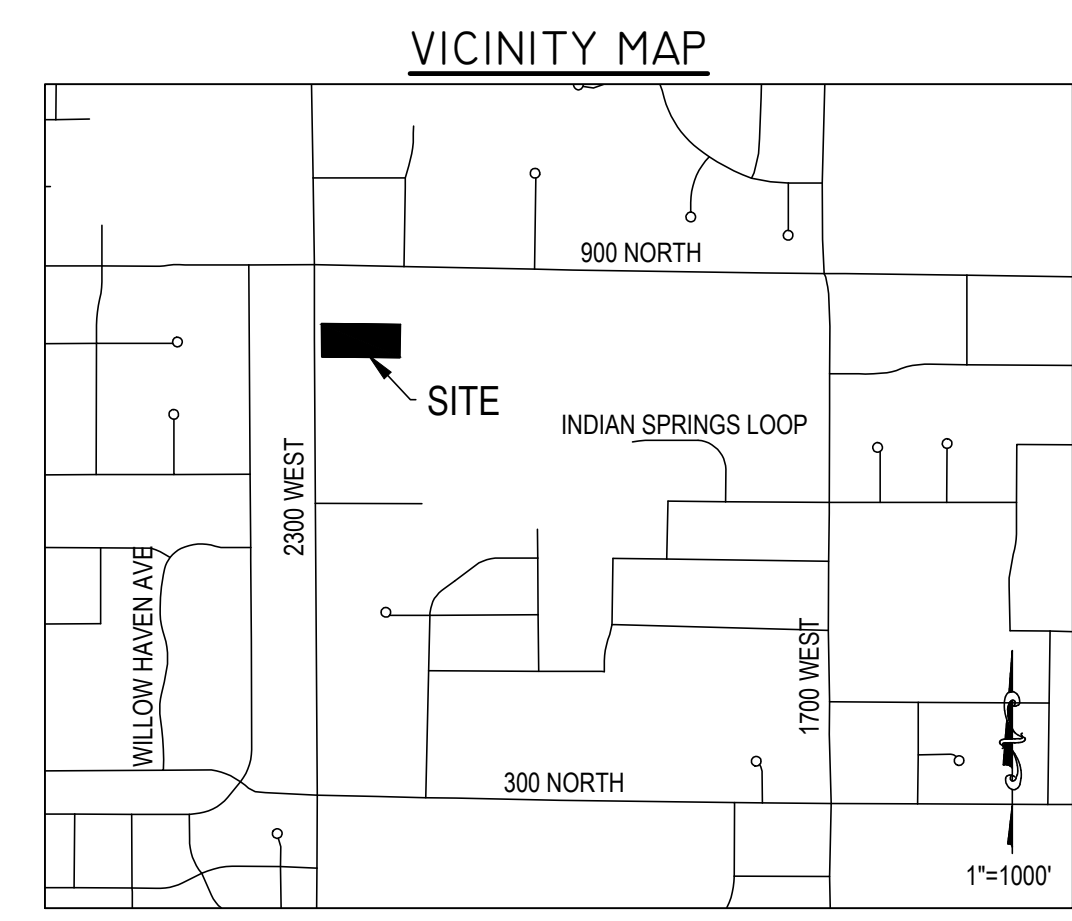
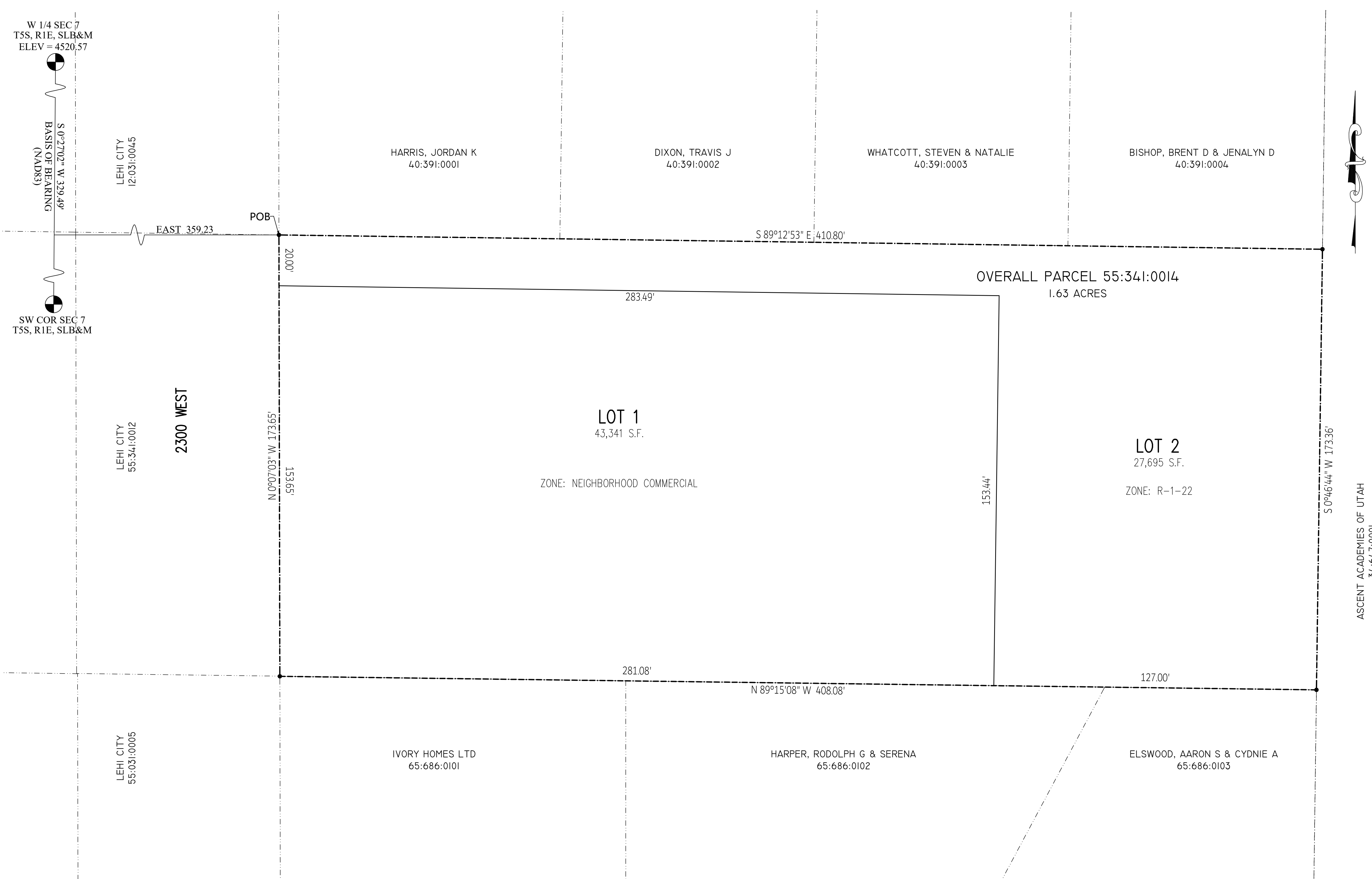
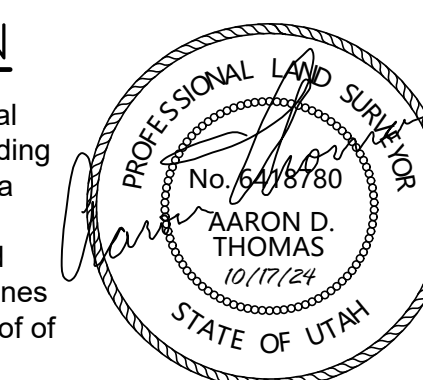
Beginning at a point located South 0°27'02" West along section line 329.49 feet and East 359.23 feet from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian, said point being the southwest corner of Grange Acres Plat "A"; thence South 89°12'53" East along said plat a distance of 410.80 feet; thence South 0°46'44" West along the westerly boundary of Ascent Academy Lehi Subdivision a distance of 173.36 feet; thence North 89°15'08" West along the northerly boundary of Cloverleaf Fields Plat Subdivision a distance of 408.08 feet; thence North 0°07'03" West along the easterly right-of-way of 2300 West Street a distance of 173.65 feet to the point of beginning.
Area = 1.63 Acres

NARRATIVE

The Basis of Bearing for this survey is South 0°27'02" West along Section Line from the West Quarter Corner of Section 7, Township 5 South, Range 1 East, Salt Lake Base and Meridian to the Southwest Corner of said Section 7. Both monuments were located as shown on county tie sheets. The purpose of this survey was to determine an overall boundary and locate existing improvements to facilitate the design of future improvements. Final boundary markers are to be set with construction of the future development.

CERTIFICATION

I Aaron D. Thomas, do hereby certify that I am a Professional Land Surveyor, licensed to practice in the State of Utah, holding license number 6418780, and that in October 2024, I made a survey of the property described on this plat. This survey was made in conformity with generally accepted local surveying practices. It does not guarantee title to the lines set, nor purport to show all easements of record nor is it proof of ownership.



ENGINEER:
EXCEL ENGINEERING
12 W. 100 N., Suite 201, American Fork, UT, 84003
(801) 756-4504

SURVEYOR:
AZTEC ENGINEERING
732 N. 780 W. AMERICAN FORK, UT, 84003
azteceengineering@gmail.com

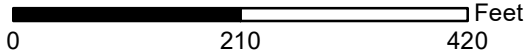
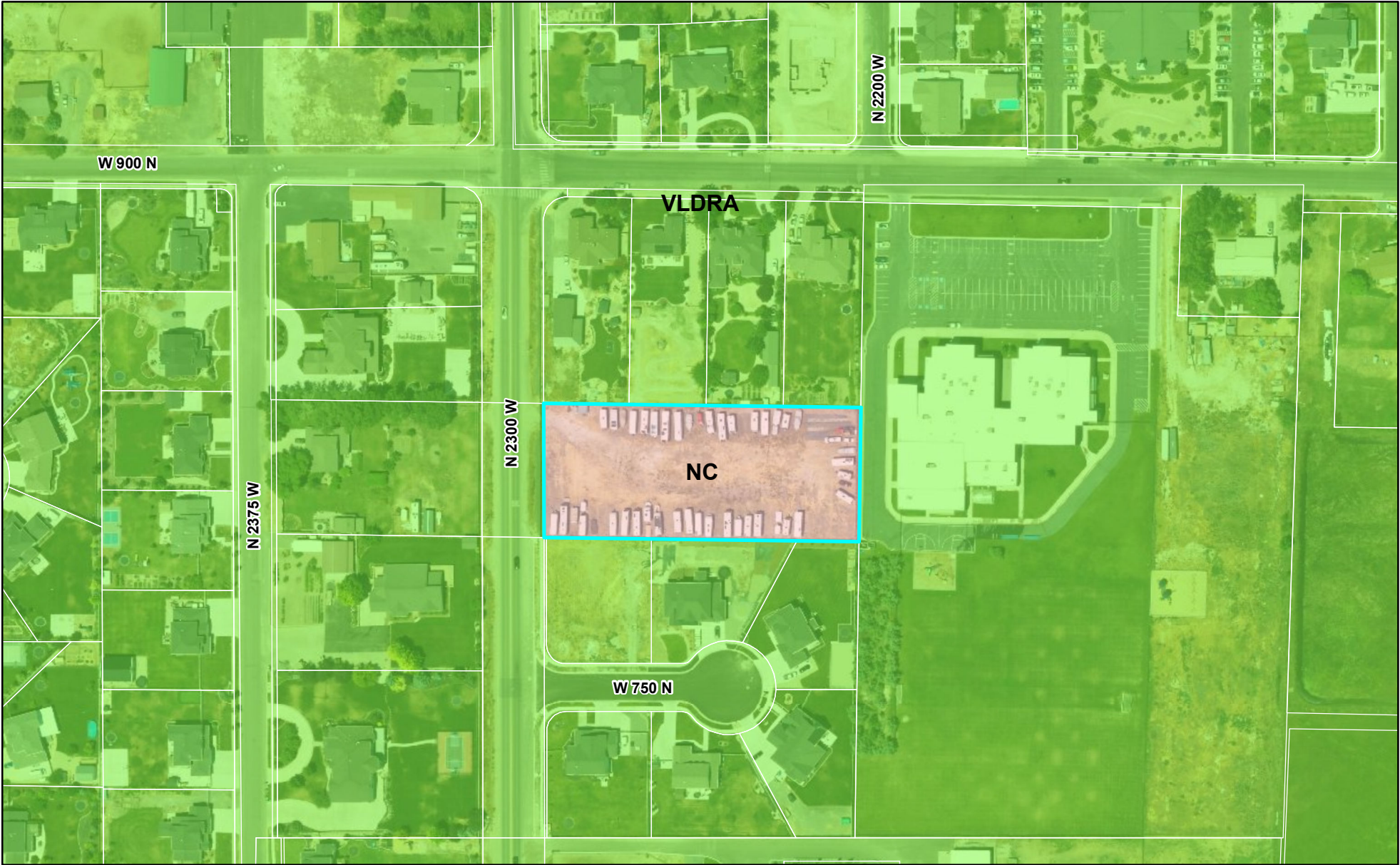
BOUNDARY & TOPOGRAPHIC SURVEY
ADDRESS +/- 850 NORTH 2300 WEST
CITY: LEHI COUNTY: UTAH STATE: UTAH

ZONE CHANGE MAP
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SLB&M

SHEET:	1 OF 1
DATE:	NOV 8, 2024
SCALE:	1"=20'

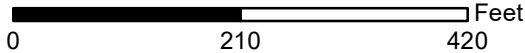
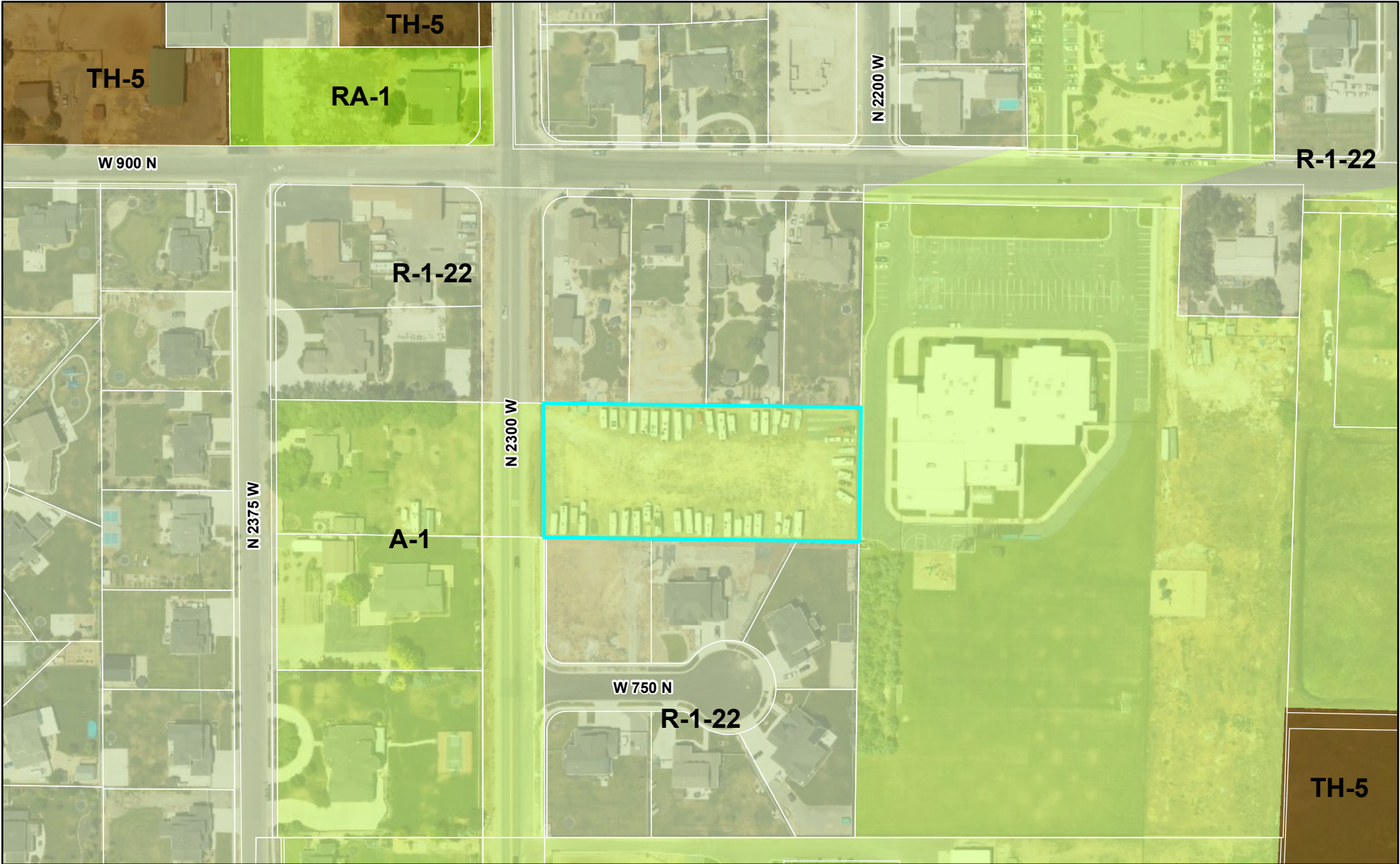
Gordon Flag Lot Zone Change & Conditional Use

General Plan



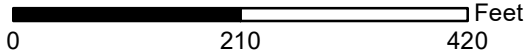
Gordon Flag Lot Zone Change & Conditional Use

Zoning



Gordon Flag Lot Zone Change & Conditional Use

Aerial



City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Katie Bussell

Submitting Department: Planning Division

Item Type: Action Item

Agenda Section: Regular Agenda

Subject:

Consideration of Final Subdivision approval for the River Point Phase 6 Final Subdivision, a PUD subdivision with 38 single-family homes located at approximately 1100 North 3600 West.

Suggested Action:

Attachments:

[CC Staff Report River Point Phase 6 Final Subdivision 01.14.25.docx](#)

[River Point Phase 6 Final DRC 12.18.24.docx](#)

[River Point Phase 6 Final - Narrative.pdf](#)

[River Point Phase 6 - Civil Plans 12.18.24.pdf](#)

[Aerial Map.pdf](#)

[General Plan Map.pdf](#)

[Zoning Map.pdf](#)

RIVER POINT PHASE 6 FINAL SUBDIVISION

CITY COUNCIL REPORT

Applicant	Edge Homes		
Meeting Date	January 14 th , 2025		
Requested Action/Purpose	Approval of a final subdivision		
Location	Approximately 3600 West 1100 North		
Existing Land Use	Agricultural		
Existing Zoning	R-1-8		
General Plan Land Use Designation	Low Density Residential (LDR)		
Number of Lots/Units	38		
Adjacent Zoning and Land Use	<i>North</i>	R-1-8	Agricultural
	<i>South</i>	TH-5	Agricultural, single-family home
	<i>East</i>	R-1-15	Agricultural
	<i>West</i>	R-2	Gardner Point Townhomes and Condos
Date of DRC Review	December 18, 2024		
Assigned Planner	Katie Bussell		

REQUIRED ACTION

City Council	Final approval
---------------------	----------------

APPLICABLE DEVELOPMENT CODE REGULATIONS

Section 11.180. Effective Period of Final Subdivision Plat Approval.

The approval of a final subdivision plat shall be effective for a period of two (2) years from the date the final plat is approved and signed by the City Council, at the end of which time such final subdivision plat shall have been recorded in the office of the Utah County Recorder.

PROPERTY HISTORY

November 16, 2021 City Council approved River Point Concept Plan.

September 10, 2024 City Council approved the River Point Phase 3a Preliminary Subdivision.

REPORT ANALYSIS

The applicant is requesting final approval of the River Point Phase 6 PUD Subdivision. This is a Planned Unit Development subdivision, the concept of which received approval from City Council on November 16, 2021. A total of 499 units were approved for the River Point PUD, but an additional 7 were transferred from the Gardner Point Phase 6 subdivision to the River Point PUD. The total number of allowed units is now 506. The River Point Phase 3a Preliminary Subdivision covered the area of the River Point Phase 6 subdivision. This report will describe the PUD requirements, the number of units, and the DRC comments.

PUD Requirements

A Planned Unit Development (PUD) is a residential overlay that allows applicants to cluster development to provide varied lot sizes and a larger amount of open space than would be allowed by traditional zoning. The density for a

PUD is determined based on the underlying zoning district. River Point Phase 3a Preliminary was approved to have 174 units. Phase 6 has only 38 units, leaving 136 units remaining for the rest of the phases. The lots for this phase will be single-family lots only.

DRC Comments

The DRC had 10 redline comments, many pertaining to small items that need to be included on the final plat. Some of note include:

1. Note the trail easement in favor of Lehi City.
2. Our standard is a 20' ROW to be owned by Lehi for a master planned trail in an independent ROW. Show and note on the plat and plans.

Please consider all DRC comments in your motion.

POSSIBLE MOTIONS AND FINDINGS

The City Council may move to approve, approve with modifications, or deny the proposed final subdivision. Any motion should include findings. Possible findings include:

1. The proposed subdivision does/does not meet the requirements of the Development Code in regard to subdivision approvals.
2. Other findings based upon information presented at the public meeting.

**River Point Phase 6 Final
DRC Redline Comments**

Edge- requests final subdivision review of River Point Phase 6, a 38-lot single family subdivision located at approximately 3600 West 1100 North.

DRC Members Present: Glade Kirkham, Garion Rowett, Ryan Allred, Shelbey Brewer, Kim Struthers, Gary Smith, Gary Ellis, James Farnsworth

Assigned Planner: Katie Bussell

Representatives of the Applicant Present: Brandon Parr, Michael Budge

Date of Plans Reviewed: 12/10/24

Time Start: 1:50 PM

Time End: 2:00 PM

DRC REDLINE COMMENTS:

Glade – Power:

- 1. Some linework on the power plan is not on the pdf. Coordinate with Mike at Active Power.
 - a. General comment – removing OHP line on the south boundary is dependent upon Lehi power infrastructure in place prior to OHP line removal.

Garion – Fire: No comments.

Ryan – Water/Sewer:

- 2. Add culinary valve going east in cluster.
- 3. move water services in lot 621 so they are not in the approach
- 4. missing valve in cluster for 4" blow off.
- 5. 2-6" crossing for Mclachlan to flood Irrigate? install 4-12" RCP crossings.
- 6. will require 2 12' gates on both end of Rocky Mountains property. for Lehi City.

James – Parks: No comments.

Gary S. – Building/Inspections: No comments.

Shelbey – Public Works: No comments.

Gary E.– Engineering:

- 7. Place radius on access road for trucks

Kim – Planning:

- 8. Remove note 6 on the final plat
- 9. Note the trail easement in favor of Lehi City.
- 10. Our standard is a 20' wide ROW to be owned by Lehi for a master planned trail in an independent ROW. Show and note on the plat and plans.
 - A. Informational comment:
 - a. For future phase, show the trail connection being direct and tee the sidewalk into the trail

PRECON MEETING REQUIRED? (FULL, TAILGATE, NONE)

ITEMS TO COMPLETE PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING:

APPLICANT

- 1. For checkoff plans, a full plan submission is required including, where applicable: erosion control plan with BMPS, landscape plans, civil plans, building elevations, power plans, etc.
- 2. Provide an engineer’s cost estimate for the cost of all improvements to Lehi City Engineering. (Stefanie Daggs- Sdaggs@lehi-ut.gov or 385-201-2523)
- 3. 10% Warranty Escrow Bond or Letter of Credit and Public/Private Improvement Agreement for all public and private improvements must be in place (from a financial institution with a branch in Utah).
- 4. Pay all necessary inspection fees and any up-front supply costs required by the City for power supplies, water system supplies, public signs (stop signs, address signs, etc.) and any other associated costs so that the City can order all necessary supplies for the development.
- 5. A written and recorded easement is required for the off-site sewer
- 6. Reimbursement Agreement for any reimbursable improvement items must be in place.

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

7. Include surveyor's and engineer's stamps and signatures on the construction drawings.
8. New property line adjacent to existing roads and any new trails must be staked and reviewed by the City.
9. Update SWPPP to include this phase. Submit Storm Water Pollution Prevention Plan (SWPPP) through ComplianceGo.com for review by Lehi Public Works (Submit to lehicystormwater@gmail.com). More information available at <https://www.lehi-ut.gov/departments/water/storm-water/>
10. Schedule a SWPPP inspection through Daniel Hadlock at (801) 836-3523 or Greg Soper at (385) 415-4073). This should be the last item completed prior to scheduling a preconstruction meeting.
11. Obtain PLSS (Public Land Survey System) clearance letter from the Utah County Surveyor Office. If there are PLSS monuments located on or adjacent to property a monument excavation permit may be required. Per Utah Code 17-23-14 and 17-23-15. Contact info. Email surveyor@utahcounty.gov Address 2855 South State Street, Provo, UT 84606 (801) 851-8671 or (801) 851-8669.

STAFF

12. Address any comments or conditions from Planning Commission approval of the preliminary
13. Include addresses on the final plat. Coordinate with Planning.
14. Plans need to be signed by Community Development Director and Public Works Director before precon can be scheduled

PRIOR TO RECORDING OF PLAT:

1. Submit a digital copy of the plat to the planner after receiving addresses but before printing mylar.
2. Provide a Mylar of the final plat for recording with the owners notarized signature(s).
3. Include surveyor's and engineer's stamps and signatures on the plat.
4. Submit a title report to the planner over the project for review.
5. Developer shall provide a letter with an exhibit of the property covered from their title company guaranteeing that the property taxes including rollback/greenbelt taxes have been paid of open space or right of way is being dedicated.
6. Provide a signed easement verification sheet (for proposed public utility easements on the plat).
7. Provide a signed original copy of the CC&Rs to record with the plat (to be reviewed by City Attorney).
8. All City utilities/infrastructure has been accepted and signed off by all Lehi City Inspectors.

DRC GENERAL COMMENTS:

1. On the power, developer will install conduit; Lehi City Power will install all other required power infrastructure shown on the plans and charge the developer for the costs. These costs are separate from power impact fees that are paid with the building permit.
2. Developer is responsible to purchase, move or remove any existing RMP facilities.
3. Developer is responsible to furnish adequate rights of way or easements for construction of off-site power line extensions.
4. Once approved by the Planning Commission or City Council (whichever is applicable) plans may be submitted for check-off. Check-off plans consist of one 24x36 set of plans submitted to the Planning Department. When changes need to be made to a check-off set, revise the affected sheets only. Each new submittal will require a revision date on each new sheet.
5. Prior to the pre-construction meeting, Lehi City Staff will make copies of plans for the meeting from the check-off set and the developer will pay fees for the copies.
6. All signage will require a separate review and approval process
7. All required private improvements (except private landscaping) shall be completed prior to the certificate of occupancy being granted.
8. The approval of a development shall be effective for a period of two (2) years from the date the development is approved by the Planning Commission or City Council, whichever is applicable.
9. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either a twenty (20) foot minimum width temporary or permanent road, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be kept clear of all fencing, barricades, dumpsters, vehicles, construction materials and debris and maintained until permanent fire apparatus access roads are available.

THIS ITEM WILL BE SCHEDULED FOR CITY COUNCIL ON JANUARY 14TH.

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

PLANNER REMEMBER TO SEND PLAN SET TO POWER

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

Dear Lehi City,

The following narrative is intended to address the issues outlined in the Application for Final Subdivision Plat Application for the Riverpoint Phase 6 Subdivision.

Following the Preliminary Plat Approval and the Phases 1-5 Final Plat Approval by City Council, Edge Homes is excited for the opportunity to present Lehi City with our fourth Final Subdivision Plat Application for Riverpoint.

We were given many great suggestions from the planning department, Planning Commission, and City Council during the Concept Plan, Preliminary Plat, and Final Plat Approval processes. We believe these ideas will help enhance the look and feel of this community to both those passing through it and those who will call it home. We appreciate your input and expertise and are pleased to introduce these elements into Riverpoint.

The vision for this community is to add to the existing area currently developed or under development. The location and design of the green byways, community gathering areas, and future public parks and open space are a result of many productive meetings with Lehi City Planning and Engineering.

The 6th final plat submittal lies in current Lehi city boundaries and will consist of 38 single family lots.

The full buildout of this project will be substantial and will continue to serve the demand of the residents looking for all the conveniences Lehi has to offer. We are excited to continue to provide homes and communities to Lehi City and look forward to working through this project together.

Respectfully,

Brandon Parr

Edge Homes

December 10, 2024

Lehi City DRC
51 N Center St,
Lehi, UT 84043

RE: Response to DRC Redline Comments
River Point Phase 6 Final Plat – 8069EE
1100 North & 3600 West

Below are responses (in red) to comments received on the preliminary review of the River Point Phase 2 Final Subdivision dated 11/12/2024:

DRC REDLINE COMMENTS:

Glade – Power:

1. Removing the OHP line on the south boundary is dependent upon Lehi power infrastructure in place prior to OHP line removal.
OHP lines shown as remaining in place for now until Lehi power is in place.
2. Label western most power transmission line easement in favor of Lehi Power.
Label updated to reflect Lehi Power easement.
3. Indicate the existing and relocated RMP line along 3600 W and if it will remain overhead or move to underground.
Exiting RMP OHP line shown on C-100 Demo Plan. Proposed 6” RMP underground conduit shown on C-401.
4. Some linework on the power plan is not on the pdf. Coordinate with Mike at Active Power.
Still awaiting updated power plans from Mike. Followed up with him and copied Glade by email.

Garion – Fire:

5. Insert fire hydrant and culinary blow-off details.
Details added on sheets C-609 and C-610. Utility keynotes update with detail sheet callouts.

Ryan – Water/Sewer:

6. Keep the 10" sewer main from Pearl drive to 3290 west that was approved in preliminary plans.
Sewer alignment has shifted west per updated comments sent to Ensign Engineering on 12/5.
7. Change Keynote 11 to 2" temp blow off.
Utility plan keynote #11 has been updated to reflect this.
8. Show flanged bends off 4" valves for all blow offs.
Adequate bends shown on utility plans where needed.
9. Remove future water line stubs into future Church property.
Water line stubs to future church are no longer shown on plans.
10. Show 4" valve flanged to tee 1100 north.
Valve shown on utility plans.
11. keep both water mains straight in intersection of 1100 north
Water mains have been straightened in plan view.
12. Existing culinary connection in 3600 west is a 8" tee. this will need a 8x8 cross with 4 8" valves flanged to tee.
Existing and proposed pipe and fitting sizing has been updated to reflect this.
13. Existing PI connection is 12 tee 12 vale going west, change to a 12" cross 12" going west, 8" valve going east.
Existing and proposed pipe and fitting sizing has been updated to reflect this.
14. change label 4 to 12" DR-18 C900
Utility plan keynote #4 has been updated to reflect this.
15. Bell joint restraints on the last 80' of both water mains required on 3290 west, 1050 north. Add note to plan set.

See new utility plan keynote #16.1

16. No COV's will be allowed in phase 6 before Wet well #2 is equipped and operational in Cold spring lift station.
Acknowledged.
17. 400' max runs from MH to MH Per lehi city standards.
4' SSMH #621 has been added to reduce the length of the sewer runs.
18. Install 6" sewer lateral behind PUE.
Future church sewer lateral has been extended to the PUE line.

James – Parks: No comments.

Gary S. – Building/Inspections: No comments.

Shelbey – Public Works: No comments.

Gary E. – Engineering:

19. 42' Radius (Plat). Update note.
Easement note updated.
20. 42' Radius (C-200). Update note.
Callout on sheet C-200 has been updated.
21. Show PU&RCE (Plat)
Plat note updated.
22. Show gutter slopes at each of the ADA crossings and verify that they are according to the Lehi Drawings RD-6,7,8,9,17 and meet minimum slope of 0.40%
All gutter slopes notated on plan and profile sheets and slope requirements met.
23. Provide flow arrows and grades at the bump-outs and roadway cross-slopes
All bump-out slopes notated on plan and profile sheets and slope requirements met.
24. Provide flow arrows and grades around the knuckle and roadway cross-slopes
All knuckle slopes notated on plan and profile sheets and slope requirements met.

Luke – Traffic: No comments.

Kim – Planning:

25. Use standard Lehi plat template, which includes a larger County Recorder box in the title block.
Plat has been updated.
26. Align the trail ramp on the NE corner of 3600 W and 1100 N to face southward (basically mirror the ramp on the south side of the street). We want to direct trail users to stay on the trail and not out into 3600 W.
Trail ramp adjusted to direct traffic north and south.
27. Show 7' turning radii for all intersecting trails.
Turning radii updated where needed.
28. Update number of lots on plat to be 38. Currently saying 39, but the number of lots on the site plan and the narrative says 38.
Number of lots updated to 39.
29. I believe that we shouldn't say the common areas are owned by the HOA, but that they are just maintained by the HOA. I think Common Area means every homeowner has partial ownership.
Common area note revised to read 'maintained by HOA'.
30. Is the proposal for the common area to start at the back of curb on 3600 W? If so, we may want to show a trail easement on it since it will provide public access.
Trail easement added though this common area.
31. An overall note could be added to the notes list stating that all common areas will be maintained by the HOA. Though it may work as it is.
Note added.
32. This plat is located in the R-1-8 and R-1-12 zones - update on plat.
Zone note revised.

33. Relocate the trail to be under the power lines to go north when the trail leaves the public ROW to avoid an easement.
Trail has been added
34. Show a trail easement for the Powerline Trail since it is a public trail in the common area. Dedication is usually preferred for this though I don't know if the concept or preliminary plans noted one way or the other.
Trail easement added.
35. Smooth the bends in the trail to meet the minimum 40' centerline radius standard.
Bends have been smooth to meeting 40' centerline radius, where needed.
36. General/considerations:
 - a. Just a general note since this is separate from the subdivision approval, when the church comes through for approval, they will have to provide a sidewalk connection to the trail. Based on this concept layout, that might best be done along the south property line so one doesn't have to cross through the parking lot.
Future sidewalk linework has been added to plans for clarity/note for future.
 - b. Future church will require a separate site plan submission.
Noted.

Please feel free to contact us with any questions or concerns.
Sincerely,



Michael Budge, PE
Project Manager



BENCHMARK
EAST QUARTER CORNER SECTION 2 TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE & MERIDIAN ELEVATION = 4536.22

RIVER POINT PHASE 6

A RESIDENTIAL PUD SUBDIVISION

3600 WEST 1500 NORTH
LEHI, UTAH

FOR REVIEW
NOT FOR CONSTRUCTION

DATE PRINTED
December 10, 2024



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

INDEX OF DRAWINGS

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2 OF 2	FINAL PLAT
C-001	GENERAL NOTES
C-100	OVERALL DEMOLITION PLAN
C-200	OVERALL SITE PLAN
C-200A	CIRCULATION PLAN
C-200B	JORDAN RIVER SITE FEATURES PLAN
C-200C	TEMPORARY CONSTRUCTION PARKING CONTROL PLAN
C-201	SITE PLAN
C-202	SITE PLAN
C-300	OVERALL GRADING AND DRAINAGE PLAN
C-301	GRADING AND DRAINAGE PLAN
C-302	GRADING AND DRAINAGE PLAN
C-303	OFFSITE DRAINAGE PLAN

C-400	OVERALL UTILITY PLAN
C-401	UTILITY PLAN
C-402	UTILITY PLAN
C-403	PHASE 6 POWER PLAN
C-403A	OVERALL POWER PLAN
C-404	OFFSITE UTILITY PLAN
C-500	EROSION CONTROL PLAN
PP-1	PLAN AND PROFILE - 1100 NORTH
PP-2	PLAN AND PROFILE - 1100 NORTH
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PP-4	PLAN AND PROFILE - 1050 NORTH
PP-5	PLAN AND PROFILE - 1050 NORTH
PP-6	PLAN AND PROFILE - 3600 WEST
PP-7	PLAN AND PROFILE - 3570 WEST
PP-8	PLAN AND PROFILE - KESTREL DRIVE

PP-9	PLAN AND PROFILE - KESTREL DRIVE AND 3290 WEST
PP-10	PLAN AND PROFILE - OFFSITE SEWER
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C-600	DETAILS
C-601	DETAILS
C-602	DETAILS
C-603	DETAILS
C-604	DETAILS
C-605	DETAILS
C-606	DETAILS
C-607	DETAILS
C-608	DETAILS
C-609	DETAILS
C-610	DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

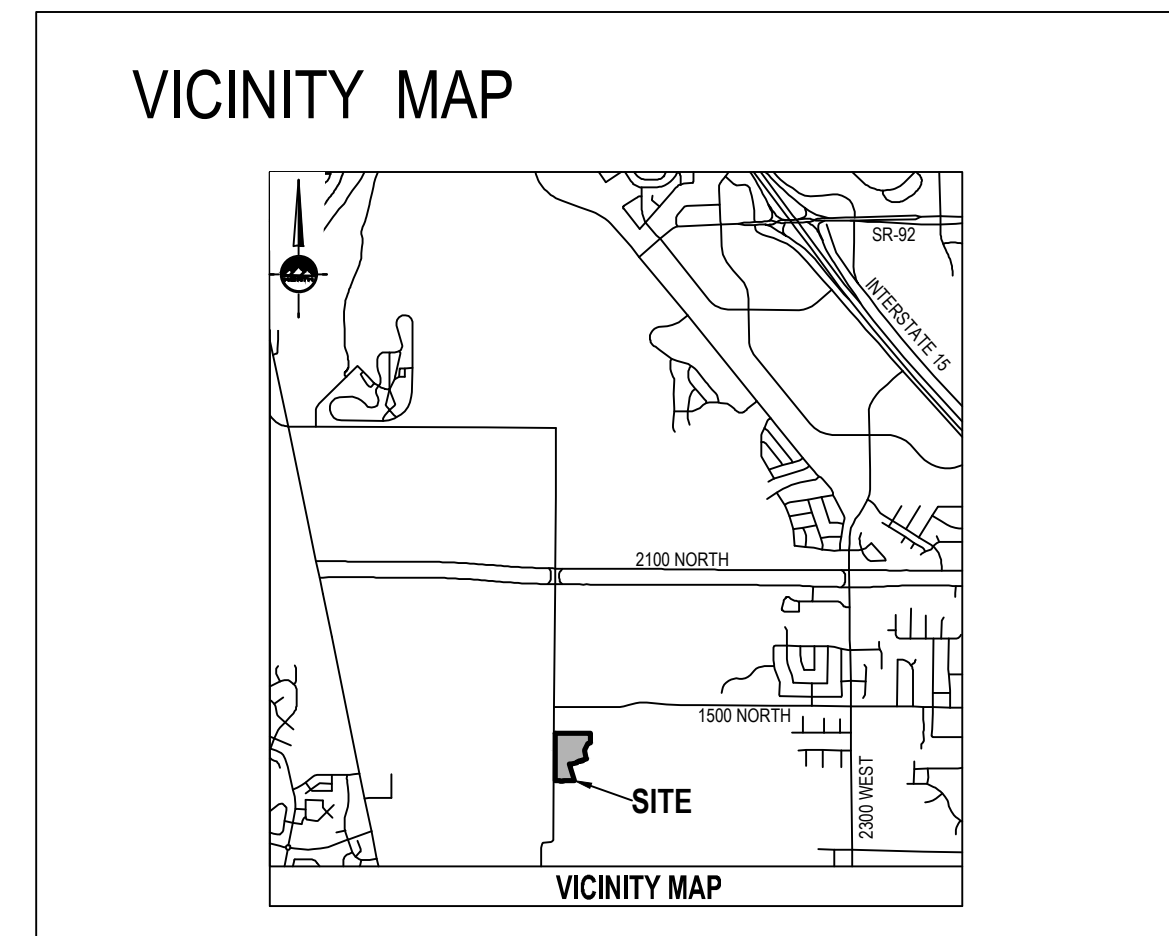
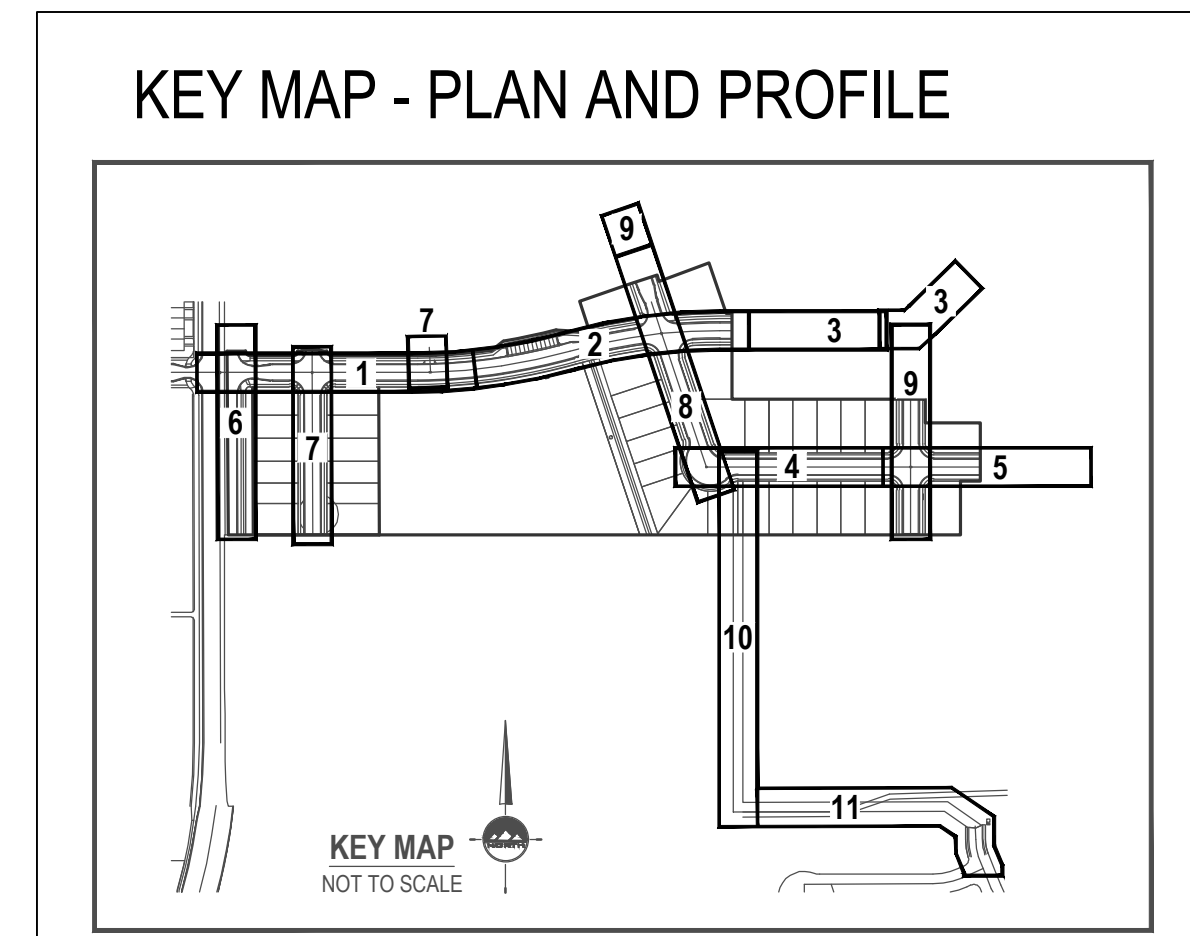
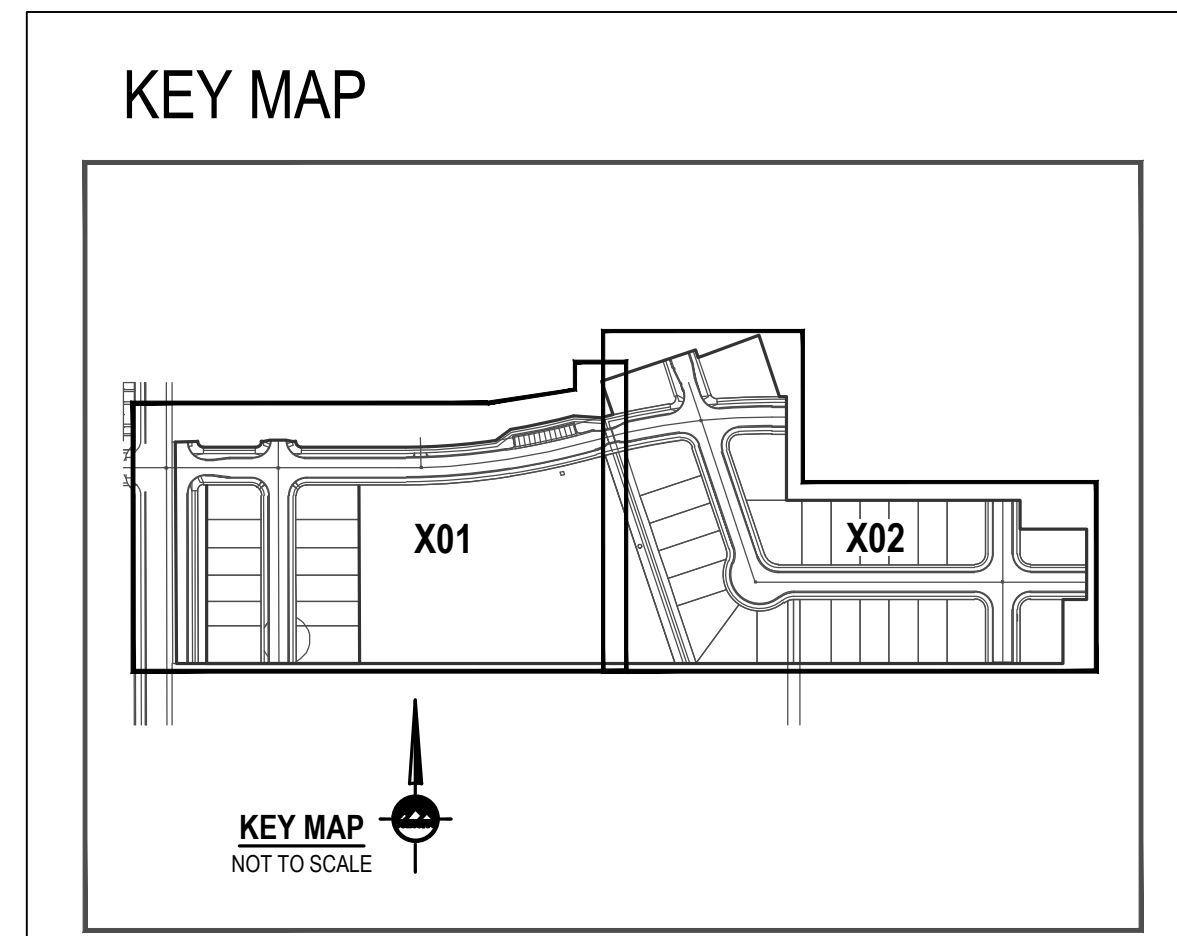
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

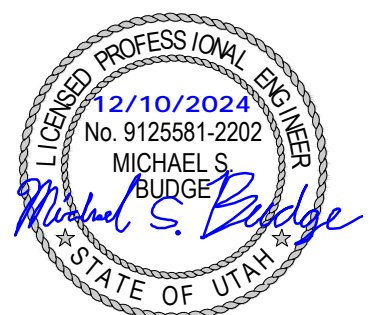
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO LEHI CITY STANDARDS & SPECIFICATIONS.

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
 3600 WEST 1500 NORTH
 LEHI, UTAH

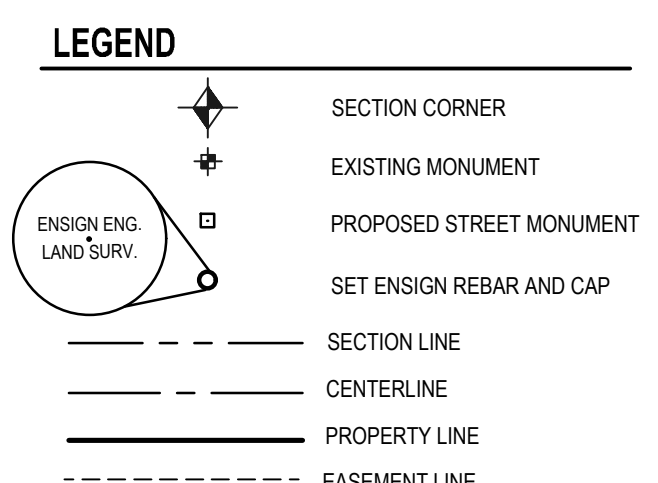
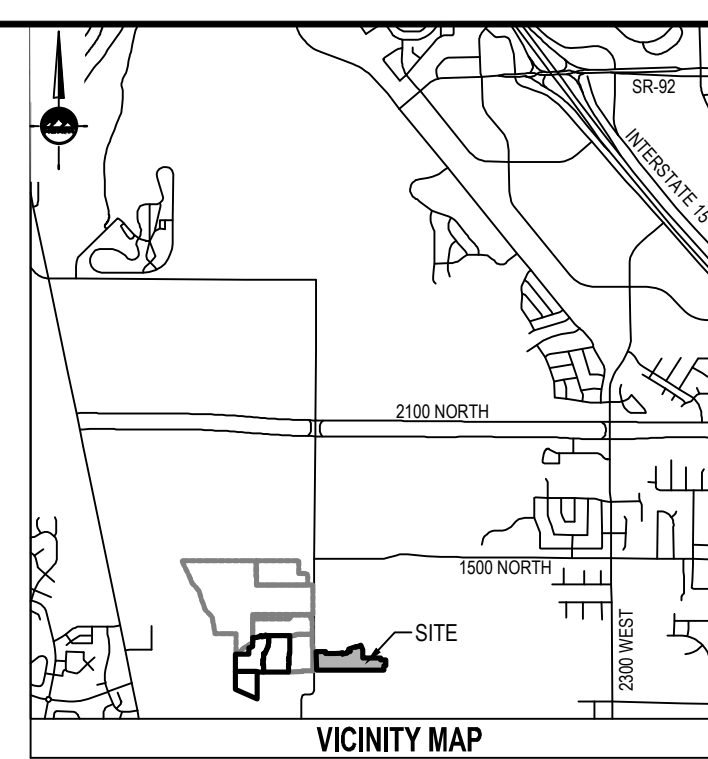
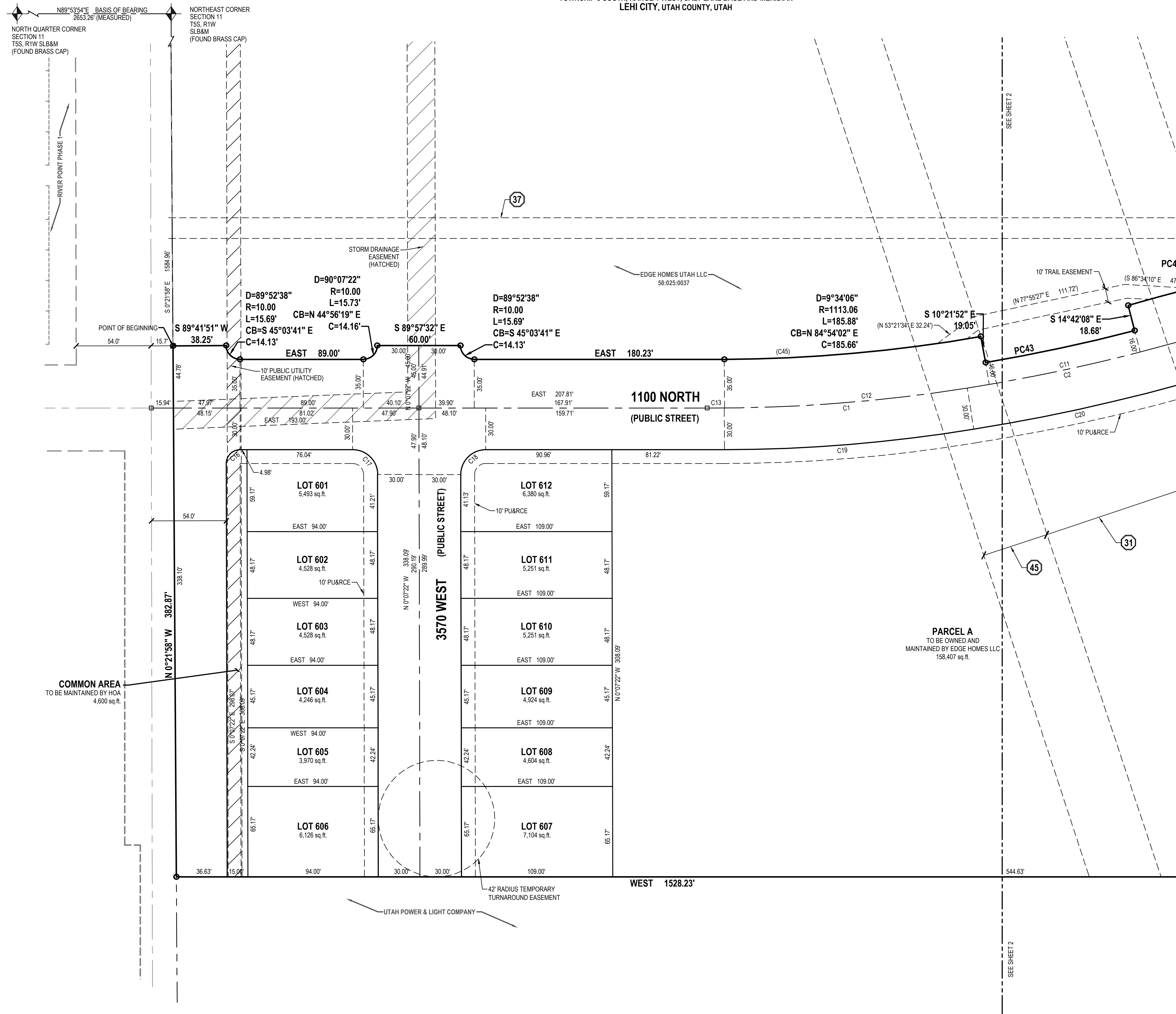


PROJECT NUMBER: 8069EE
 PROJECT MANAGER: M. B.
 PRINT DATE: 2024-12-10
 DESIGNED BY: C. O.

RIVER POINT PHASE 6 PLAT

A RESIDENTIAL PUD SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
LEHI CITY, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE
I, **PATRICK M. HARRIS**, do hereby certify that I am a Licensed Land Surveyor, and that I hold Certificate No. **286882**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **RIVER POINT PHASE 6 PLAT**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION
A parcel of land situated in the Northwest Quarter of Section 12, Township 5 South, Range 1 West, Salt Lake Base and Meridian, being more particularly described as follows:
Beginning at a point on the section line, said point being South 0°21'58" East 1,584.96 feet along the section line from the Northeast Corner of Section 11, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running
thence North 89°41'51" East 38.25 feet;
thence Southeasterly 15.69 feet along the arc of a 10.00 foot radius curve to the left (center bears North 89°52'38" East and the chord bears South 45°03'41" East 14.13 feet with a central angle of 89°52'38");
thence East 89.00 feet;
thence Northeasterly 15.73 feet along the arc of a 10.00 foot radius curve to the left (center bears North and the chord bears North 44°56'19" East 14.13 feet with a central angle of 90°07'22");
thence South 89°52'38" East 60.00 feet;
thence Southeasterly 15.69 feet along the arc of a 10.00 foot radius curve to the left (center bears North 89°52'38" East and the chord bears South 45°03'41" East 14.13 feet with a central angle of 89°52'38");
thence East 180.23 feet;
thence Easterly 185.88 feet along the arc of a 1,113.06 foot radius curve to the left (center bears North 00°18'55" West and the chord bears North 84°54'02" East 185.66 feet with a central angle of 09°34'06");
thence South 10°21'52" East 19.05 feet;
thence Easterly 109.95 feet along the arc of a 1,287.28 foot radius curve to the left (center bears North 09°39'53" West and the chord bears North 77°53'16" East 109.95 feet with a central angle of 04°53'43");
thence North 14°42'08" West 18.68 feet;
thence Easterly 68.20 feet along the arc of a 1,203.68 foot radius curve to the right (center bears South 16°24'21" East and the chord bears North 75°13'02" East 68.19 feet with a central angle of 03°14'47");
thence North 18°33'00" West 60.96 feet;
thence North 71°27'00" East 171.00 feet;
thence South 18°33'00" East 13.65 feet;
thence North 69°48'00" East 111.05 feet;
thence South 18°33'00" East 111.81 feet;
thence East 12.30 feet;
thence South 179.00 feet;
thence East 403.00 feet;
thence South 49.31 feet;
thence East 114.57 feet;
thence South 121.69 feet;
thence West 40.57 feet;
thence South 111.00 feet;
thence West 1,528.23 feet to the section line;
thence North 00°21'58" West 382.87 feet along said section line to the point of beginning.

Contains 580,760 Square Feet or 13.332 Acres, 38 Lots and 1 Parcel.

DATE: _____ PATRICK M. HARRIS
LICENSE NO. 286882

UTILITY DEDICATION
By execution of this plat, the Owner(s) shown below does hereby grant and convey to the Lehi City and other public utility companies, a permanent easement and right of way in and to those areas reflected on the map and defined as "COMMON AREA" for construction and maintenance of approved public utilities and appurtenances together with right of access thereon.

RESERVATION OF COMMON AREAS
By execution of this plat, the Owner(s) shown below does hereby reserve all areas shown on this plat "COMMON AREA" for the common enjoyment of all owners and such owners guests and invitees to the project.

OWNER'S DEDICATION
Know all by these presents that I / we, the undersigned owner(s) of the above described tract of land, having caused same to be subdivided, hereafter known as the

RIVER POINT PHASE 6 PLAT
do hereby dedicate the streets, easements and other public areas as indicated hereon for the perpetual use of the public. Pursuant to Code 10-9a-604d the owner hereby conveys the Common Area and Private Streets as indicated hereon to _____
In witness whereof I / we have hereunto set our hand (s) this _____ day of _____ A.D., 20____.

By: _____
Its: _____

ACKNOWLEDGMENT
STATE OF UTAH _____ J.S.S.
COUNTY OF _____
ON THE _____ DAY OF _____ A.D., 20____
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY DID EXECUTE THE SAME.

NUMBER _____

NOTARY PUBLIC (SIGNATURE) _____ PRINTED NAME _____ MY COMMISSION EXPIRES: _____
RESIDING IN UTAH COUNTY, STATE OF UTAH

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D., 20____, BY THE PLANNING COMMISSION.
DIRECTOR/SECRETARY _____ CHAIR, PLANNING COMMISSION _____

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF LEHI, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSE FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D., 20____.

Mayor: _____
Attest: _____
CLERK/RECORDER (SEE SEAL BELOW)

RIVER POINT PHASE 6 PLAT
A RESIDENTIAL PUD SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
LEHI CITY, UTAH COUNTY, UTAH

Easement Notes:
23. The effects, terms and conditions of the Grant of Easement and/or Right-of-Way, in favor of Utah Power & Light Company, recorded November 14, 1942 as Entry No. 9231, in Book 370, at Page 418 in the official records.
31. The effects, terms and conditions of the Grant of Easement and/or Right-of-Way, in favor of Utah Power and Light Company, recorded February 16, 1978 as Entry No. 6393, in Book 1622, at Page 430 in the official records.
37. The effects, terms and conditions of the Grant of Easement and/or Right-of-Way, in favor of Wardley McLachlan, LLC, recorded December 31, 2002, as Entry No. 158371/2002 in the official records.
45. The effects, terms and conditions of the Easements and/or Right-of-Ways as disclosed by means instruments of record, including but not limited to that contain Easement Agreement, recorded January 19, 2016, as Entry No. 5936/2016 in the official records.

NOTES
1. SET 5/8" REBAR AND CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV." AT ALL LOT CORNERS. BRASS PINS TO BE PLACED AT THE TOP BACK OF CURB AT EACH PROJECTED PROPERTY LINE.
2. REQUIRED STORM DRAIN DETENTION FOR THIS PHASE OF THE RIVER POINT DEVELOPMENT HAS BEEN PROVIDED IN THE REGIONAL DETENTION BASIN INSTALLED WITH PHASE 1 OF CONSTRUCTION. SAID DETENTION SYSTEM CANNOT BE MODIFIED WITHOUT PERMISSION FROM THE LEHI CITY ENGINEER.
3. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, FACILITIES AND ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK. PRIVATE STREETS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
4. LAND DRAIN LATERALS ARE NOT REQUIRED FOR THE PROJECT AS LONG AS BASEMENT FLOOR ELEVATIONS ARE SET AT A MINIMUM OF 3 FEET ABOVE THE HIGHEST MEASURED GROUNDWATER ELEVATION AS STATED IN THE LETTER PROVIDED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. DATED MAY 23, 2024.
5. NO ON-STREET PARKING ALONG PARK DRIVE.

SETBACKS FOR THE SINGLE FAMILY LOTS:
FRONT: 16' TO HOUSE; 20' TO GARAGE
REAR: 15'
SIDE: 5'
FRONT PROPERTY LINE: 12' FROM TBC (PUBLIC STREETS)
0' FROM TBC (PRIVATE STREETS)

LAND USE TABULATIONS	
TOTAL PLAT ACREAGE	13.332 ACRES
TOTAL LOT ACREAGE	5.334 ACRES
TOTAL ACREAGE IN COMMON AREA	0.465 ACRES
TOTAL ACREAGE IN PUBLIC STREET	3.906 ACRES
NUMBER OF LOTS	38
LOCATED WITHIN R-1-S AND R-1-12 ZONES	

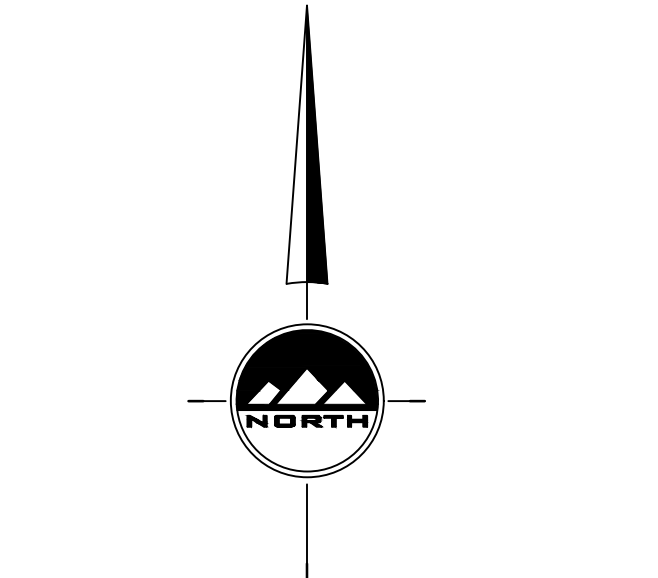
OWNER
EDGE HOMES UTAH, LLC
13702 S. 200 W. B12
DRAPER, UTAH 84020
801-494-0150



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSGNENG.COM

LAYTON
Phone 801.541.1100
TOOELE
Phone 435.843.3990
CELEBRITY CITY
Phone 435.865.1463
RICHFIELD
Phone 435.996.3963

SHEET 1 OF 2
PROJECT NUMBER: 8086EE
MANAGER: BDM
DRAWN BY: SJL
CHECKED BY: KFW
DATE: 12/9/24



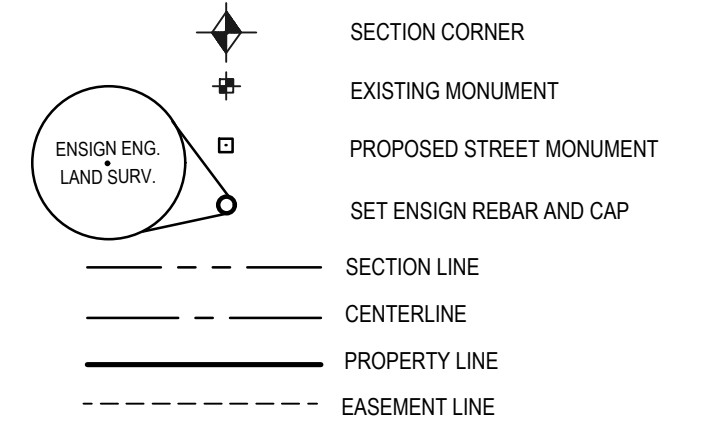
SURVEYOR'S SEAL No. 286882 PATRICK M. HARRIS STATE OF UTAH	NOTARY PUBLIC SEAL	CITY ENGINEER'S SEAL	CLERK-RECORDER SEAL
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RIVER POINT PHASE 6 PLAT

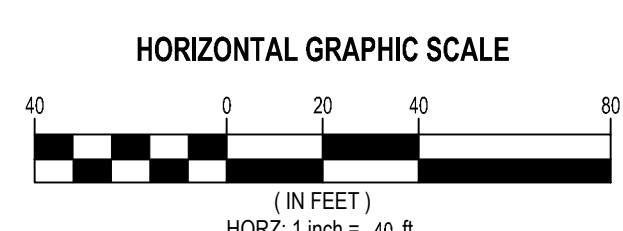
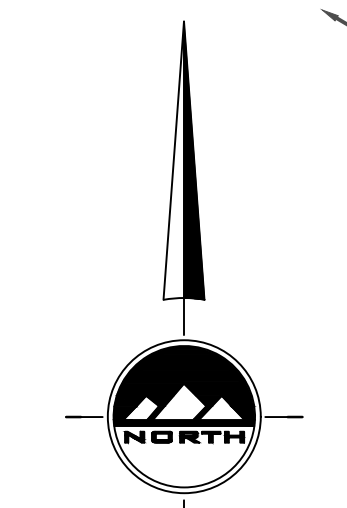
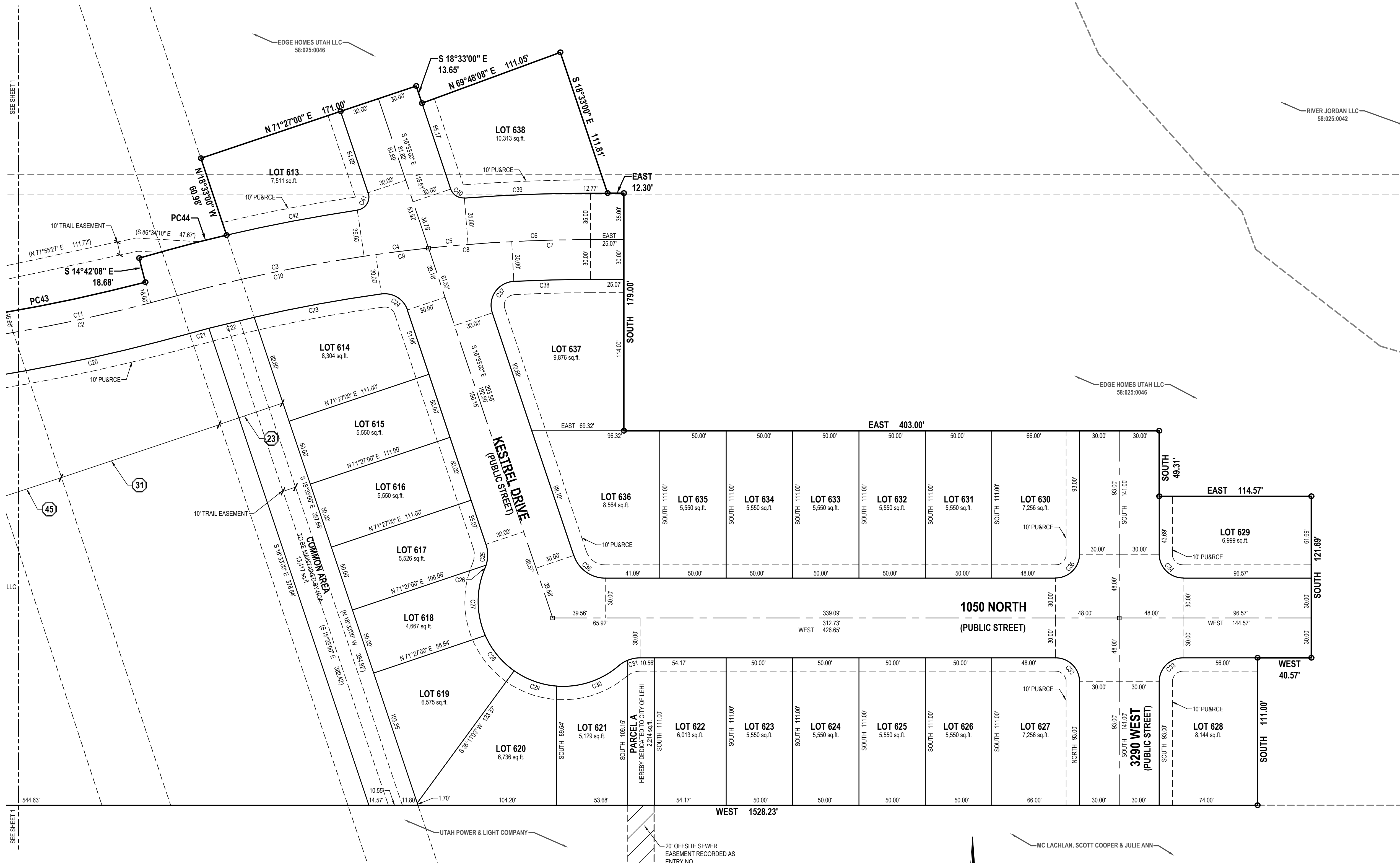
A RESIDENTIAL PUD SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
LEHI CITY, UTAH COUNTY, UTAH

LEGEND



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	1148.06'	175.94'	8°46'50"	N85°18'17"E	175.77'
C2	1303.28'	145.92'	6°24'54"	N77°50'06"E	145.84'
C3	1168.68'	146.08'	7°09'43"	S78°01'42"W	145.99'
C4	1168.68'	48.90'	2°23'50"	S82°48'29"W	48.89'
C5	1168.68'	29.90'	1°27'57"	S84°44'22"W	29.90'
C6	1168.68'	92.39'	4°31'47"	S87°44'14"W	92.37'
C7	1168.68'	59.45'	2°54'53"	S88°32'41"W	59.45'
C8	1168.68'	62.84'	3°04'51"	S85°32'49"W	62.83'
C9	1168.68'	39.99'	1°57'38"	S83°01'35"W	39.99'
C10	1168.68'	154.99'	7°35'55"	S78°14'49"W	154.88'
C11	1303.28'	111.35'	4°53'43"	N77°53'16"E	111.31'
C12	1155.83'	191.82'	9°30'32"	N84°54'46"E	191.60'
C13	1148.06'	12.31'	0°36'52"	S89°59'53"E	12.31'
C16	10.00'	15.73'	90°07'22"	S44°56'19"W	14.16'
C17	18.00'	28.24'	89°52'38"	N45°03'41"W	25.43'
C18	18.00'	28.31'	90°07'22"	S44°56'19"W	25.48'
C19	1100.56'	180.53'	9°23'54"	N85°18'19"E	180.33'
C20	1369.15'	153.16'	6°24'33"	N77°45'01"E	153.08'
C21	1115.66'	14.74'	0°45'26"	S74°56'31"W	14.74'
C22	1115.66'	35.12'	1°48'14"	S76°13'20"W	35.12'
C23	1115.66'	97.33'	4°59'54"	S79°37'24"W	97.30'
C24	18.00'	24.95'	79°24'14"	N58°15'07"W	23.00'
C25	25.00'	16.00'	38°39'28"	N0°13'16"W	15.72'
C26	25.00'	2.23'	5°06'08"	N20°39'33"E	2.23'
C27	64.00'	52.30'	46°49'32"	S0°12'09"E	50.86'
C28	64.00'	34.75'	31°06'37"	S39°10'13"E	34.33'
C29	64.00'	34.35'	30°45'04"	S70°06'04"E	33.94'
C30	64.00'	50.55'	45°15'32"	N71°53'38"E	49.25'
C31	25.00'	9.68'	22°11'29"	S78°54'15"W	4514.68'
C32	18.00'	28.27'	90°00'00"	S45°00'00"W	25.46'
C33	18.00'	28.27'	90°00'00"	S45°00'00"W	25.46'
C34	18.00'	28.27'	90°00'00"	S45°00'00"E	25.46'
C35	18.00'	28.27'	90°00'00"	N45°00'00"E	25.46'
C36	25.00'	31.18'	71°27'00"	S54°16'30"E	29.19'
C37	18.00'	33.19'	105°38'15"	S34°16'07"W	28.68'
C38	1138.68'	57.93'	2°54'53"	S88°32'41"W	57.92'
C39	1317.34'	95.16'	4°08'19"	S87°44'14"W	95.13'
C40	10.00'	13.26'	75°58'39"	S86°32'20"E	12.31'
C41	10.00'	17.48'	100°09'34"	N31°31'47"E	15.34'
C42	1203.68'	100.19'	4°46'08"	S79°13'30"W	100.16'
C45	1113.06'	154.24'	7°56'22"	N85°42'54"E	154.11'
PC44	1203.68'	68.20'	3°14'47"	S75°13'02"W	68.19'



OWNER
EDGE HOMES UTAH, LLC
13702 S. 200 W. B12
DRAPER, UTAH 84020
801-494-0150

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RICHFIELD
Phone: 435.936.3983

SHEET 2 OF 2

PROJECT NUMBER : 8098EE
MANAGER : BDM
DRAWN BY : S.JL
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DATE : 12/9/24

RIVER POINT PHASE 6 PLAT

A RESIDENTIAL PUD SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
LEHI CITY, UTAH COUNTY, UTAH

PROFESSIONAL LAND SURVEYOR
No. 286882
PATRICK M. HARRIS
STATE OF UTAH

NOTARY PUBLIC SEAL
CITY ENGINEER'S SEAL
CLERK-RECORDER SEAL

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE ABOVE SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNATED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHenever EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AJWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EDA	EDGE OF ASPHALT
EDG	EDGE OF GRAVEL
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LOW	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OC/W	ON CENTER EACH WAY
OWP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
YOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	EXISTING WATER METER		EXISTING FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		EXISTING STORM DRAIN SERVICE LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		



BENCHMARK	
EAST QUARTER CORNER SECTION 2 TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE & MERIDIAN	ELEVATION = 4536.22

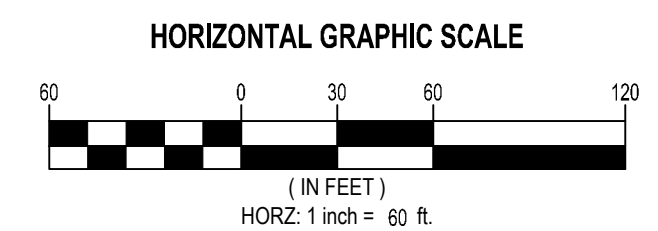
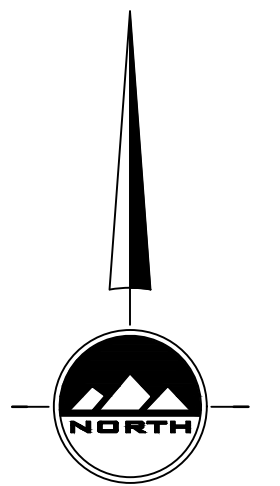
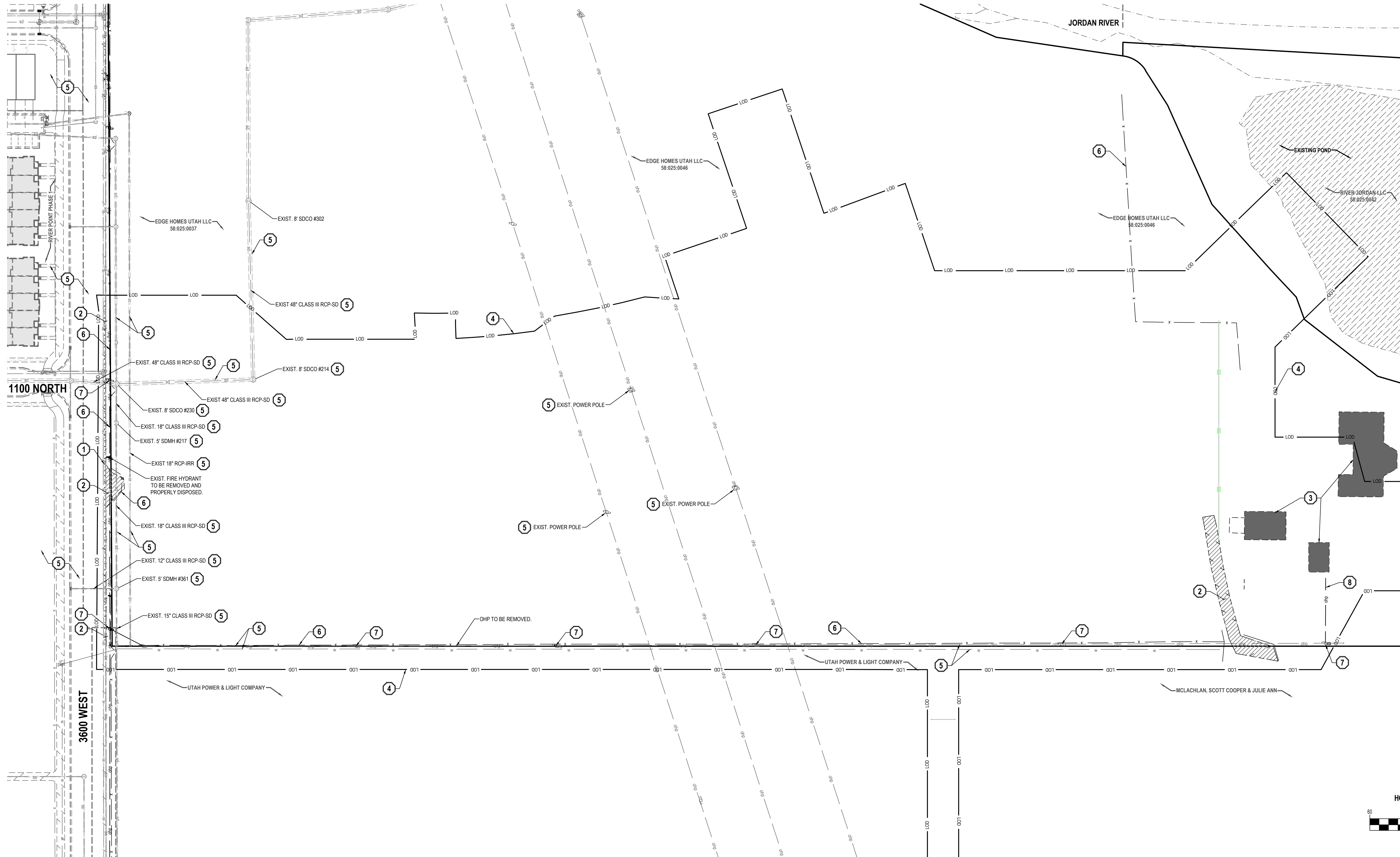
GENERAL NOTES

1. ALL WORK TO COMPLY WITH LEHI CITY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- 3 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- 4 PHASE 6 LIMIT OF DISTURBANCE.
- 5 PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
- 6 REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- 7 EXISTING POWER POLES AND OVERHEAD POWER LINES SERVICING MCHLACHLAN RANCH. OHP TO BE REMOVED IN THE FUTURE DEPENDANT ON LEHI POWER INFRASTRUCTURE IN PLACE TO SERVE EXISTING USER.



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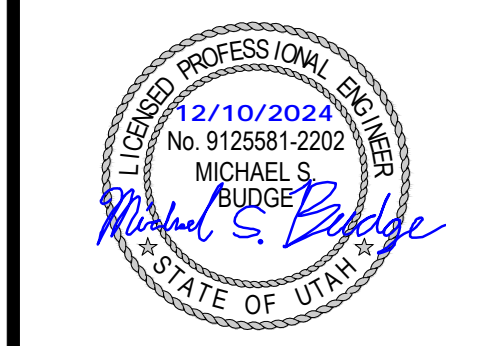
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FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**

**3600 WEST 1500 NORTH
LEHI, UTAH**



DEMOLITION PLAN

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

C-100

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BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

GENERAL NOTES

1. ALL WORK TO COMPLY WITH LEHI CITY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

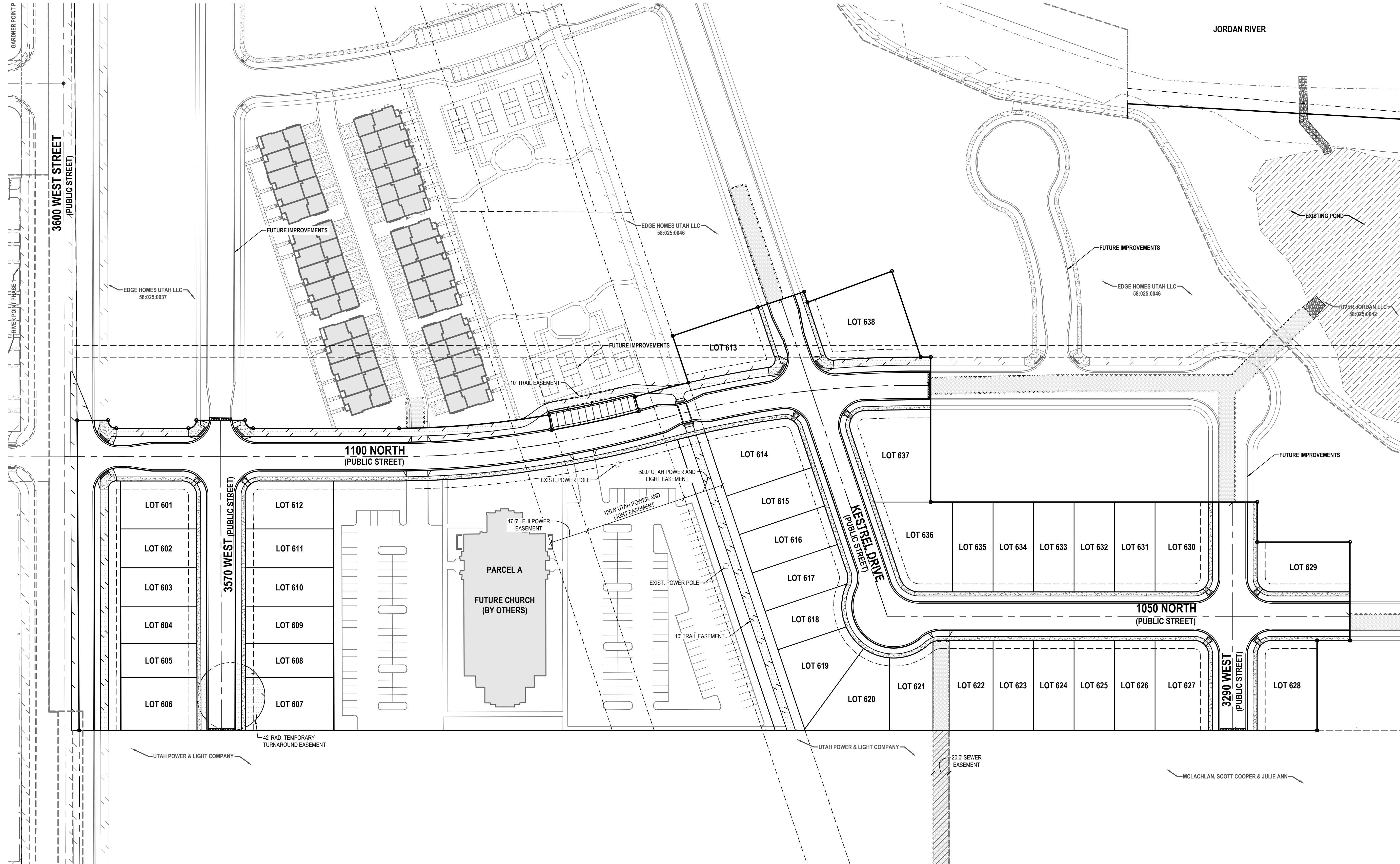
PARKING DATA TABLE

SURFACE (GUEST) PARKING	12
HANDICAP-ACCESSIBLE STALLS	0
TOTAL PARKING PROVIDED	12

TYPE OF DEVELOPMENT:
RESIDENTIAL PUD
UNIT COUNT

SINGLE FAMILY RESIDENTIAL = 38
TOTAL UNITS = 38
UNITS PER ACRE = 2.85
TOTAL AREA = 13.332 ACRES

THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, FACILITIES AND ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.



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**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**
3600 WEST 1500 NORTH
LEHI, UTAH

12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
JUDGE
STATE OF UTAH

OVERALL SITE PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

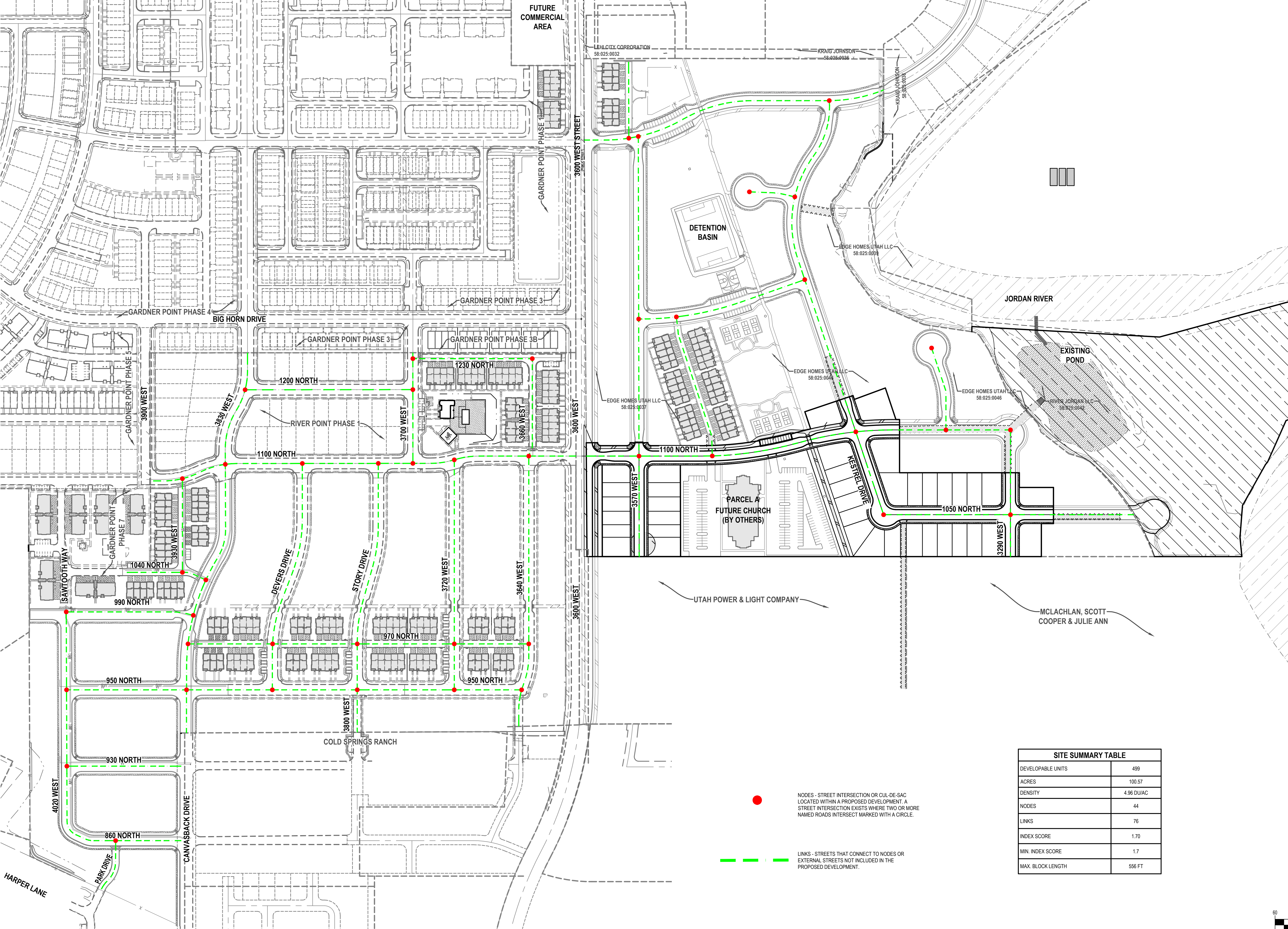
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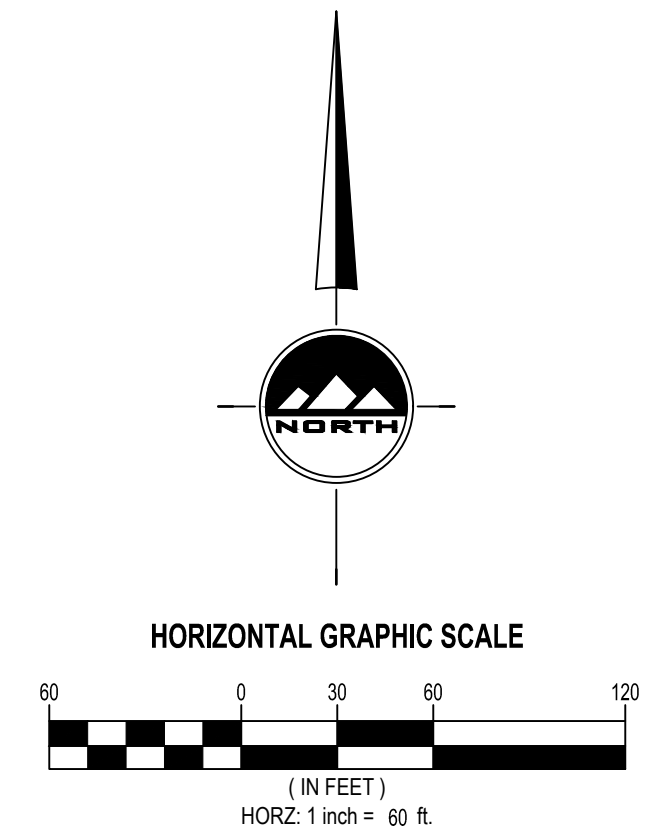
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● NODES - STREET INTERSECTION OR CUL-DE-SAC LOCATED WITHIN A PROPOSED DEVELOPMENT. A STREET INTERSECTION EXISTS WHERE TWO OR MORE NAMED ROADS INTERSECT MARKED WITH A CIRCLE.

--- LINKS - STREETS THAT CONNECT TO NODES OR EXTERNAL STREETS NOT INCLUDED IN THE PROPOSED DEVELOPMENT.

SITE SUMMARY TABLE	
DEVELOPABLE UNITS	499
ACRES	100.57
DENSITY	4.96 DU/AC
NODES	44
LINKS	76
INDEX SCORE	1.70
MIN. INDEX SCORE	1.7
MAX. BLOCK LENGTH	556 FT



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12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
JUDGE
STATE OF UTAH

CIRCULATION PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

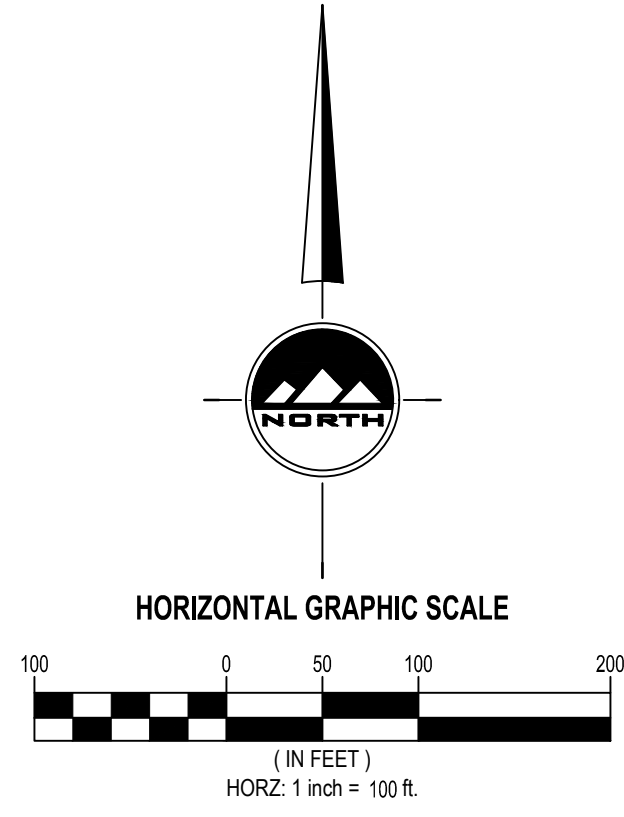
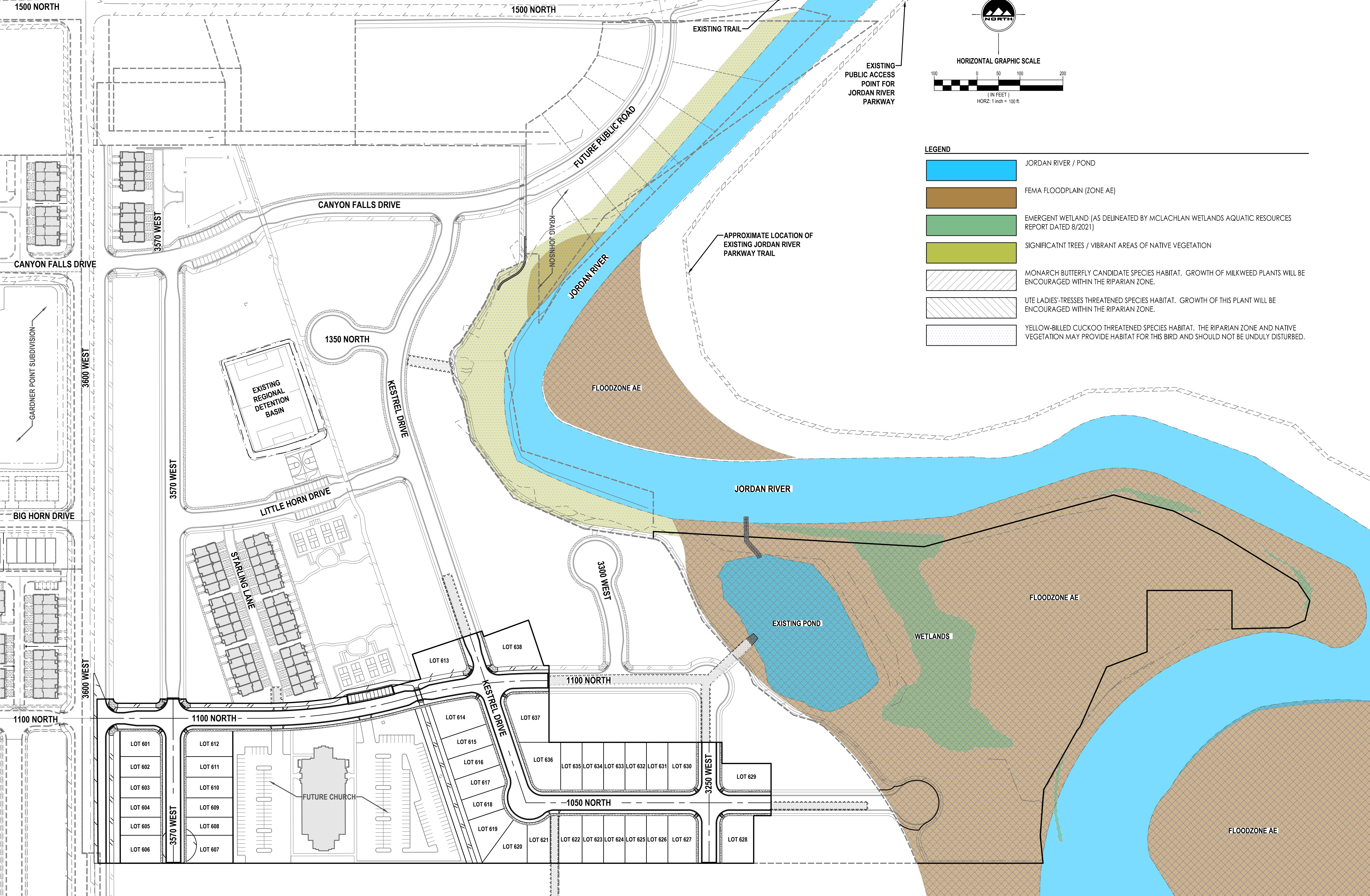
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LEGEND

	JORDAN RIVER / POND
	FEMA FLOODPLAIN (ZONE AE)
	EMERGENT WETLAND (AS DELINEATED BY MCLACHLAN WETLANDS AQUATIC RESOURCES REPORT DATED 8/2021)
	SIGNIFICANT TREES / VIBRANT AREAS OF NATIVE VEGETATION
	MONARCH BUTTERFLY CANDIDATE SPECIES HABITAT. GROWTH OF MILKWEED PLANTS WILL BE ENCOURAGED WITHIN THE RIPARIAN ZONE.
	UTE LADIES'-TRESSES THREATENED SPECIES HABITAT. GROWTH OF THIS PLANT WILL BE ENCOURAGED WITHIN THE RIPARIAN ZONE.
	YELLOW-BILLED CUCKOO THREATENED SPECIES HABITAT. THE RIPARIAN ZONE AND NATIVE VEGETATION MAY PROVIDE HABITAT FOR THIS BIRD AND SHOULD NOT BE UNDULY DISTURBED.

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12/10/2024
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MICHAEL S. RUDGE
Professional Engineer
STATE OF UTAH

**JORDAN RIVER
SITE FEATURES MAP**

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B. DESIGNED BY: C. O.

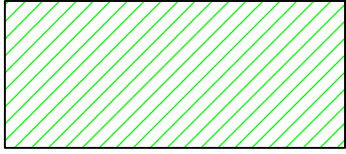
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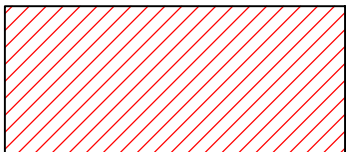
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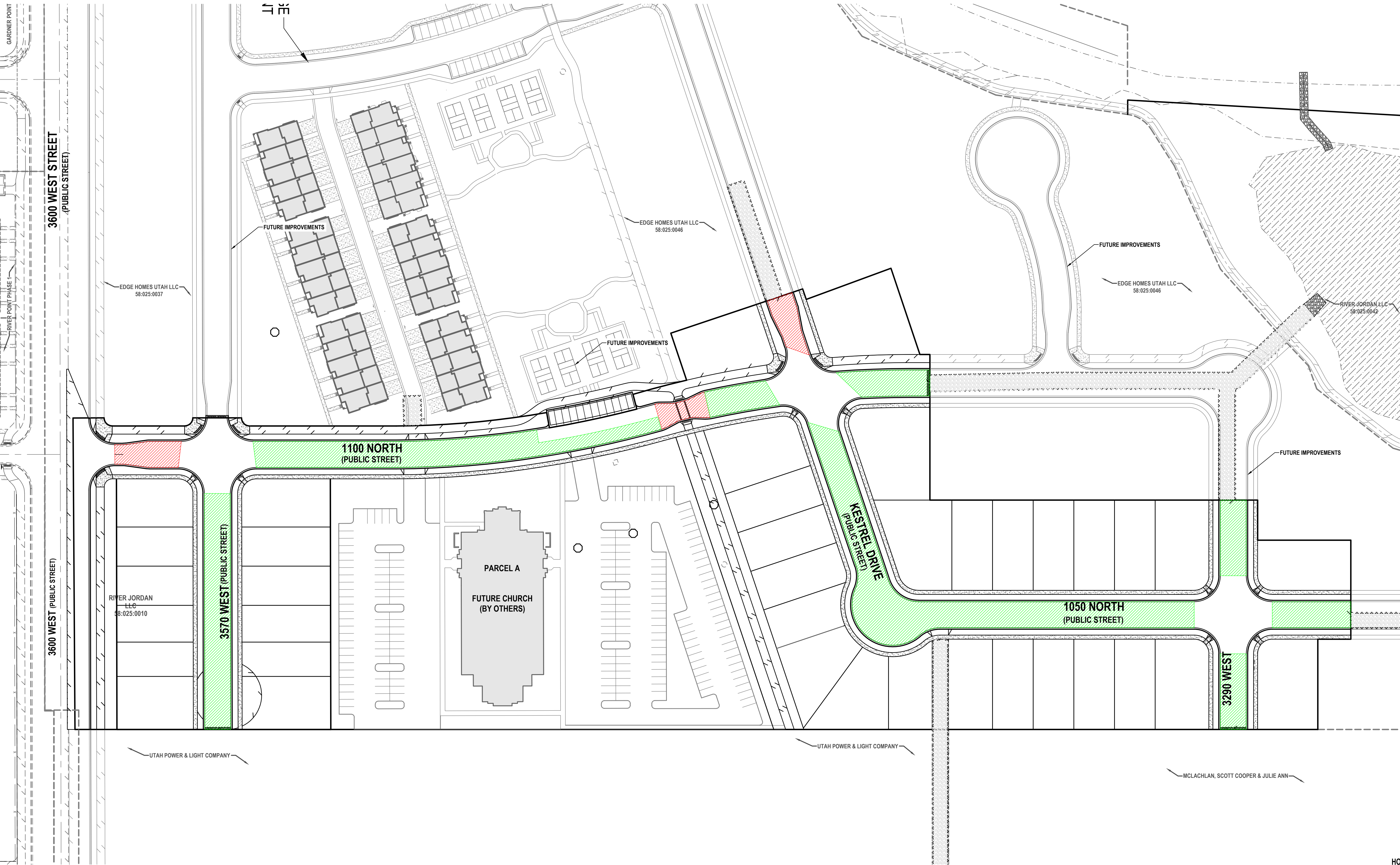
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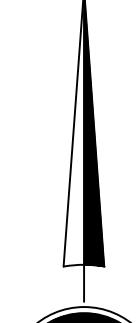
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SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

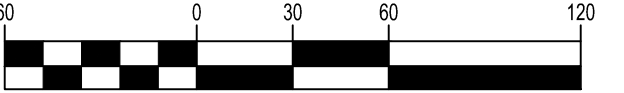
 DURING CONSTRUCTION, ON STREET PARKING PERMITTED

 NO PARKING ALLOWED ANYTIME





HORIZONTAL GRAPHIC SCALE



(IN FEET)
HORZ: 1 inch = 60 ft.

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Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

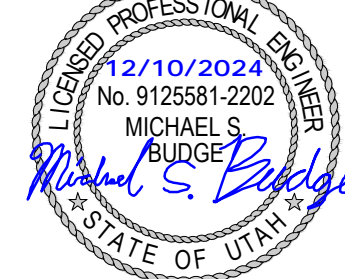
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FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**

3600 WEST 1500 NORTH
LEHI, UTAH



**TEMPORARY
CONSTRUCTION PARKING
CONTROL PLAN**

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

C-200C

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

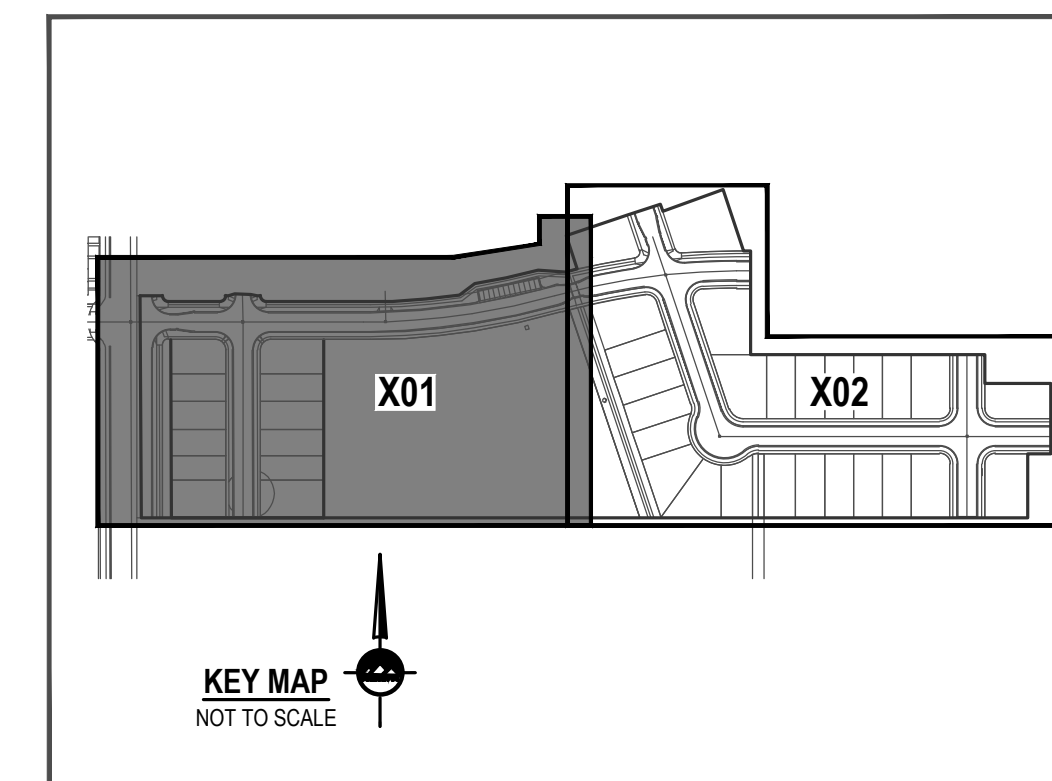
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2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
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4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOG, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 HIGH BACK CURB AND GUTTER PER LEHI CITY STD DRAWING RD-05.
- 2 6" THICK CONCRETE SIDEWALK PER LEHI CITY STANDARDS AND SPECIFICATIONS.
- 3 ADA RAMP PER LEHI CITY STANDARD DRAWING RD-06.
- 4 6' WHITE VINYL FENCE.
- 5 INSTALL FLARED DRIVE APPROACH PER LEHI CITY STANDARD DRAWING RD-11.
- 6 ASPHALT TRAIL PER LEHI CITY STANDARD DRAWING TR-01. WIDTH PER PLAN.
- 7 10' WIDE ADA RAMP PER LEHI CITY STANDARD DRAWING RD-19.
- 8 INSTALL (2) K-RAILS WITH M.U.T.C.D. SIGN OM4-2 (18" SIGN) ATTACHED TO EACH.
- 9 INSTALL 20' WIDE ALL WEATHER ACCESS PER LEHI CITY STANDARD DRAWING RD-14.
- 10 DOUBLE WHITE STRIPED PARKING STALL MARKING.
- 11 INSTALL 3" WATERWAY PER DETAIL 8/C-600.
- 12 IN ORDER TO MAINTAIN ACCESSIBILITY AND REDUCE COMPLAINTS DURING CONSTRUCTION, NO PARKING SIGNS HAVE BEEN IDENTIFIED ON THE SITE PLAN. THESE TEMPORARY NO PARKING SIGNS WILL BE ALLOWED TO BE PHASED WITH THE PACE OF CONSTRUCTION AS THE DEVELOPER AND FIRE CODE OFFICIAL SEES FIT. PERMANENT PARKING SIGNAGE TO BE IDENTIFIED AND MAINTAINED BY HOA OR PROPERTY MANAGER.
- 13 EXIST EDGE OF ASPHALT.
- 14 INTERSECTION TRAIL CROSSING PER LEHI STANDARD DRAWING RD-17.
- 15 MID-BLOCK TRAIL CROSSING PER LEHI STANDARD DRAWING RD-17.



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PHONE: 801-494-0150

**RIVER POINT PHASE 6
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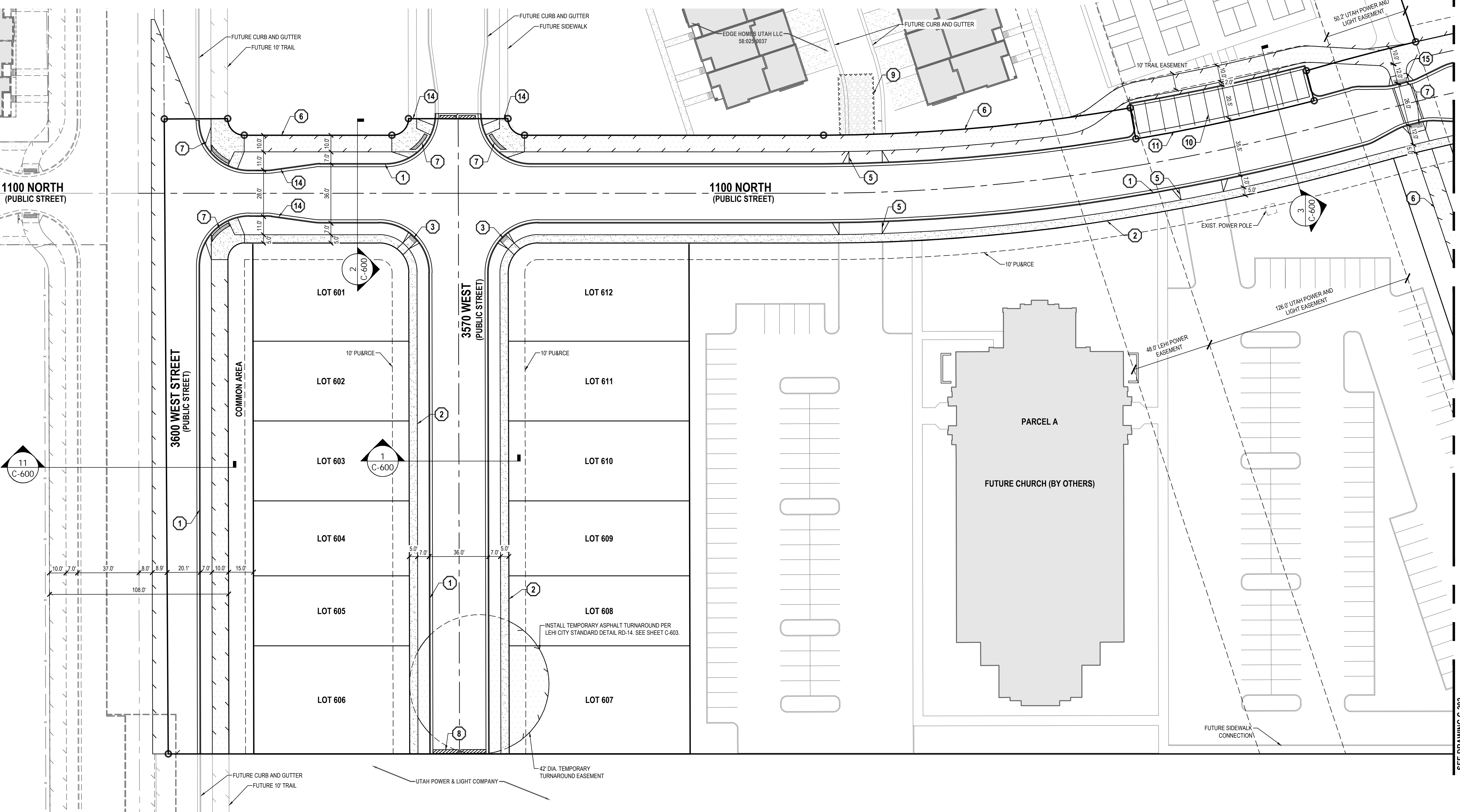
3600 WEST 1500 NORTH
LEHI, UTAH

PROFESSIONAL ENGINEER
12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
BRIDGE
STATE OF UTAH

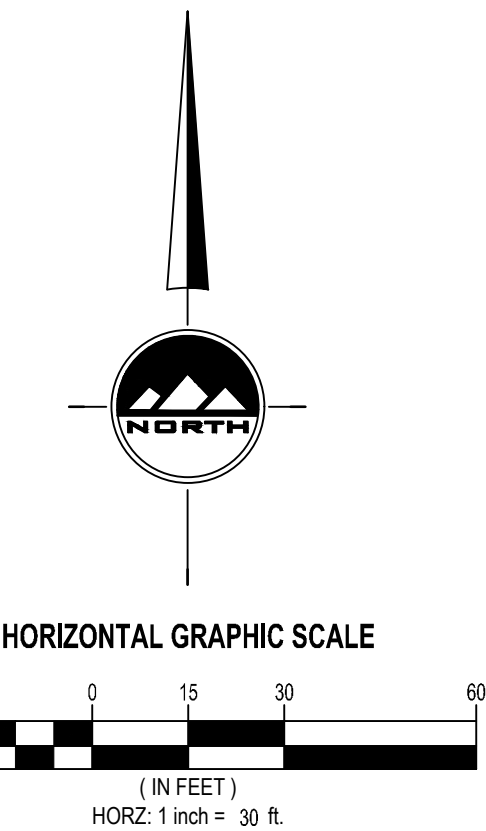
SITE PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-201



SEE DRAWING C-202



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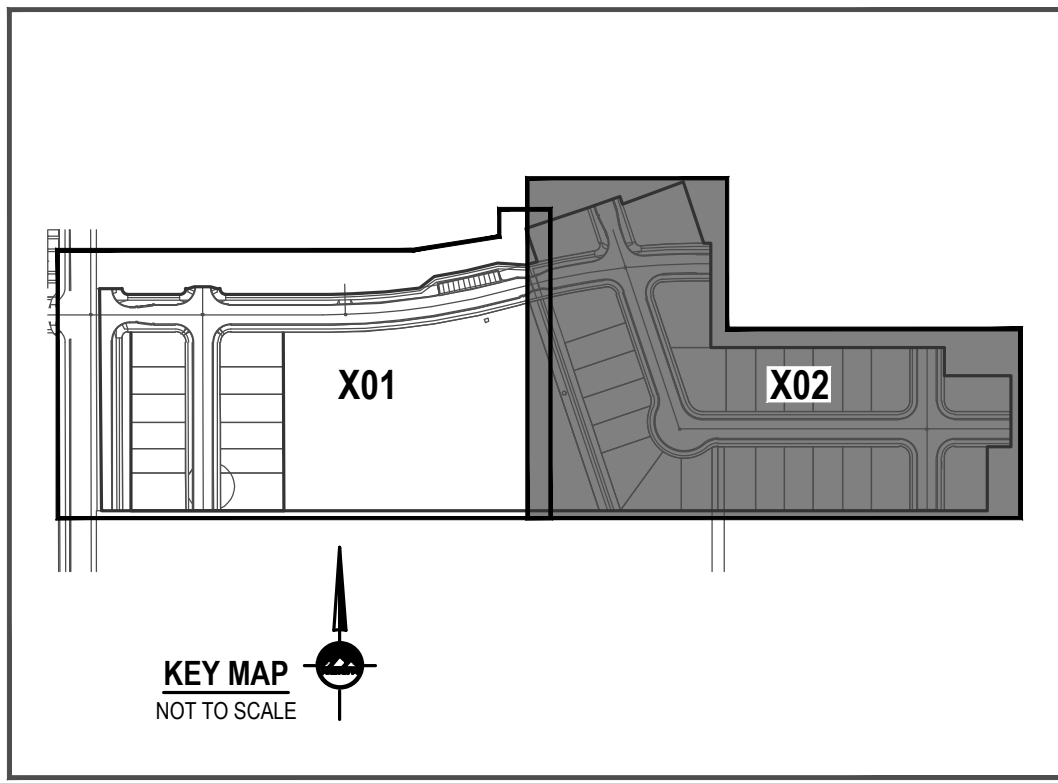
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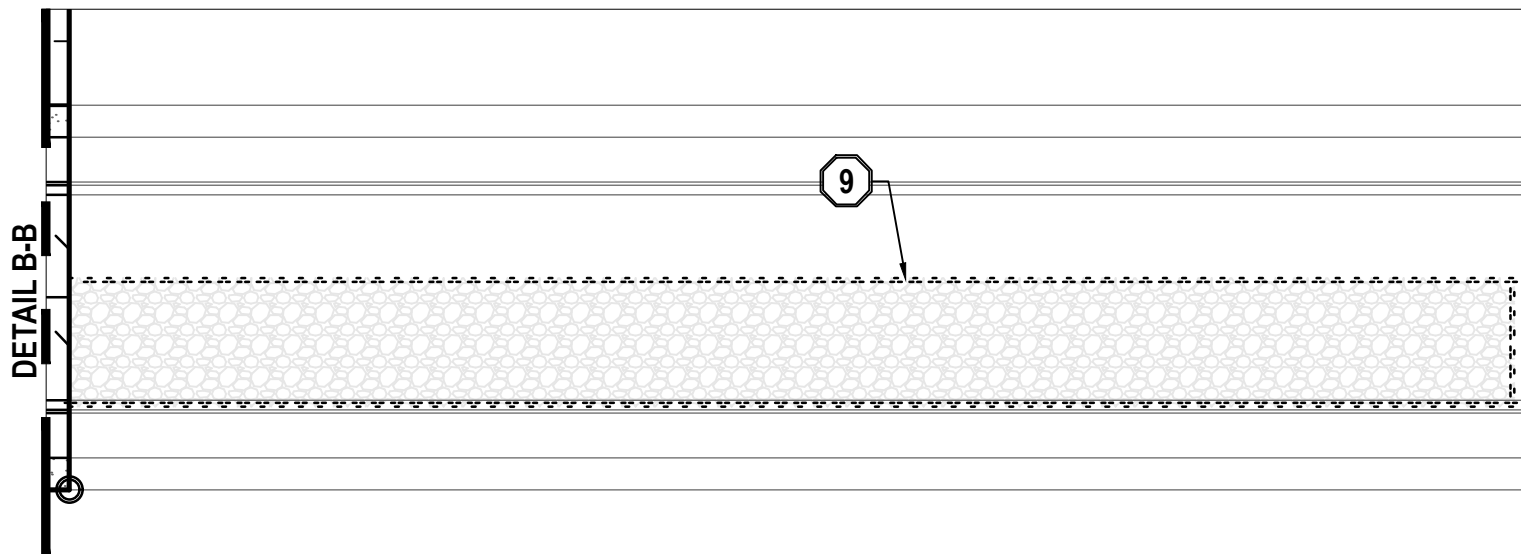
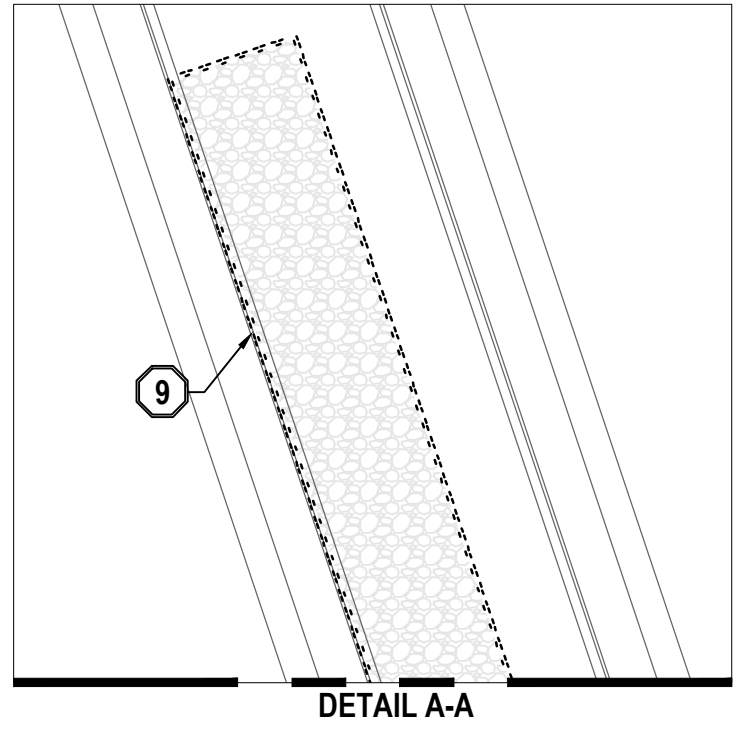
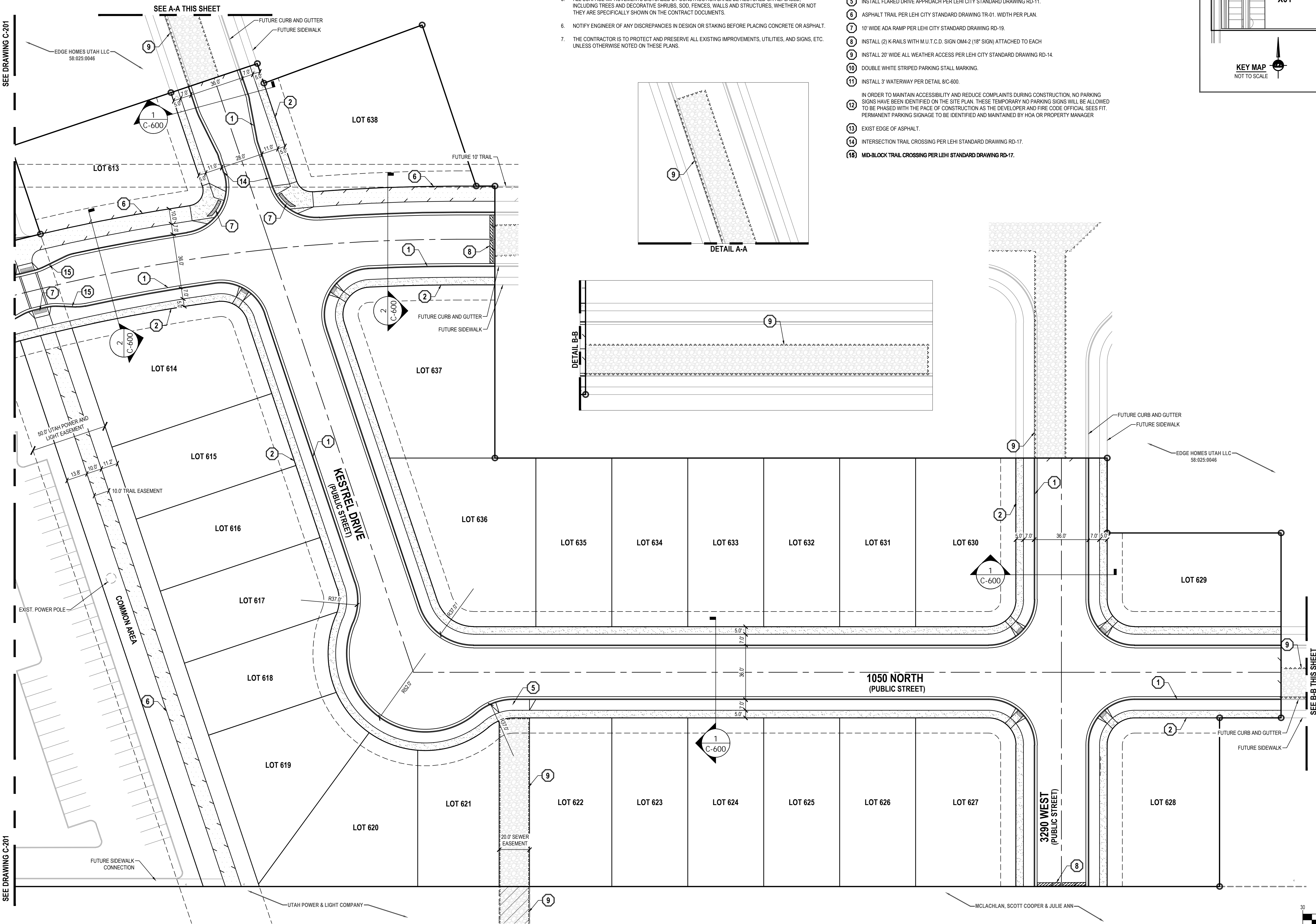
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CONTACT:
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PHONE: 801-494-0150



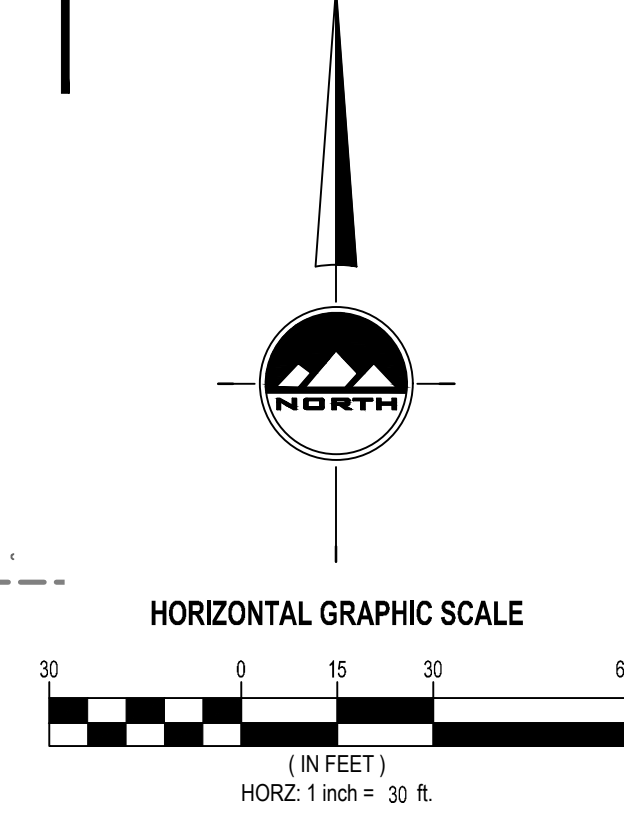
RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH

REGISTERED PROFESSIONAL ENGINEER
12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
JUDGE
STATE OF UTAH

SITE PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-202



SEE DRAWING C-201

SEE DRAWING C-201

SEE B-B THIS SHEET

SEE A-A THIS SHEET



BENCHMARK	
EAST QUARTER CORNER SECTION 2 TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE & MERIDIAN	ELEVATION = 4536.22

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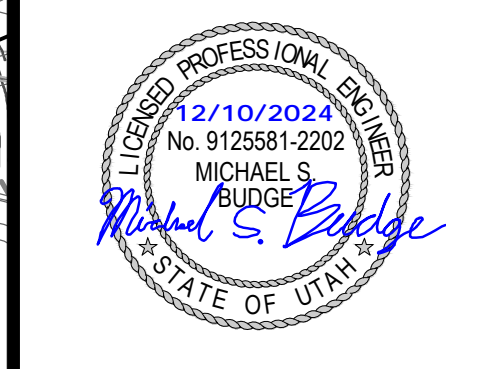
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CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
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3600 WEST 1500 NORTH
LEHI, UTAH

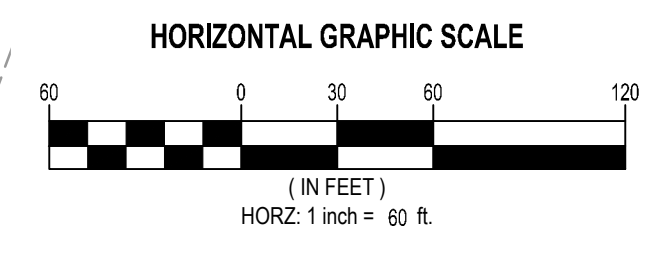
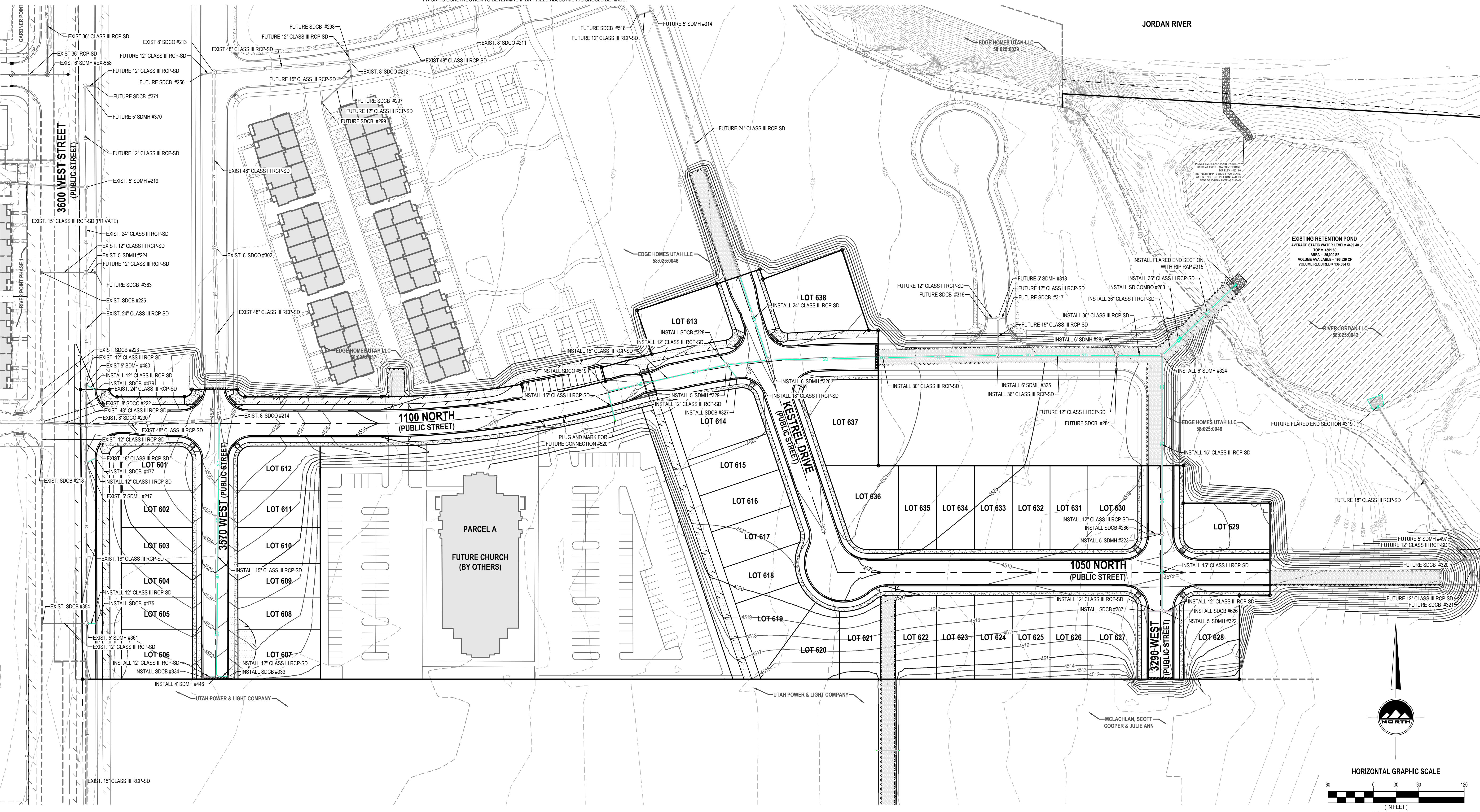


OVERALL GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

C-300

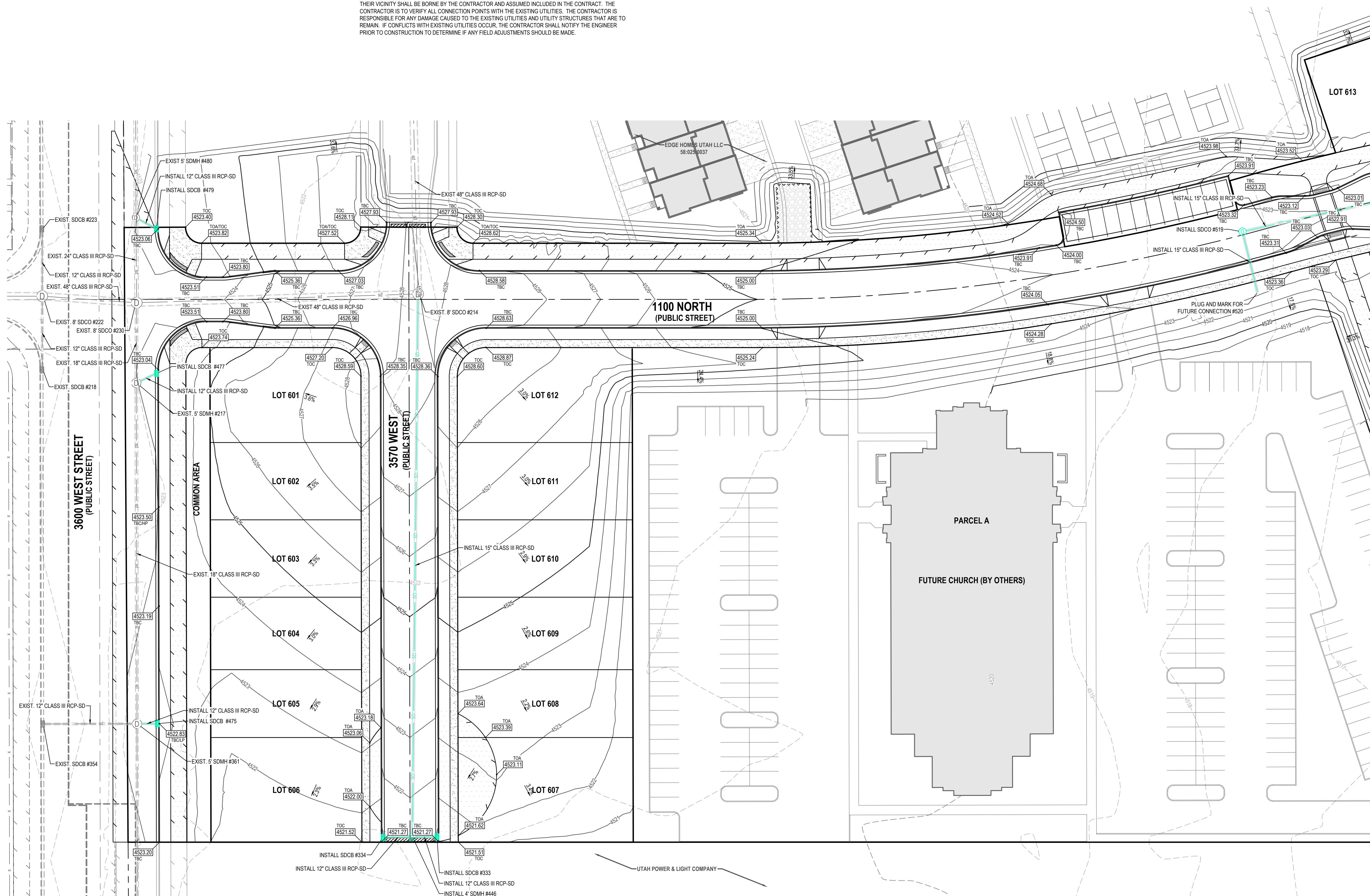
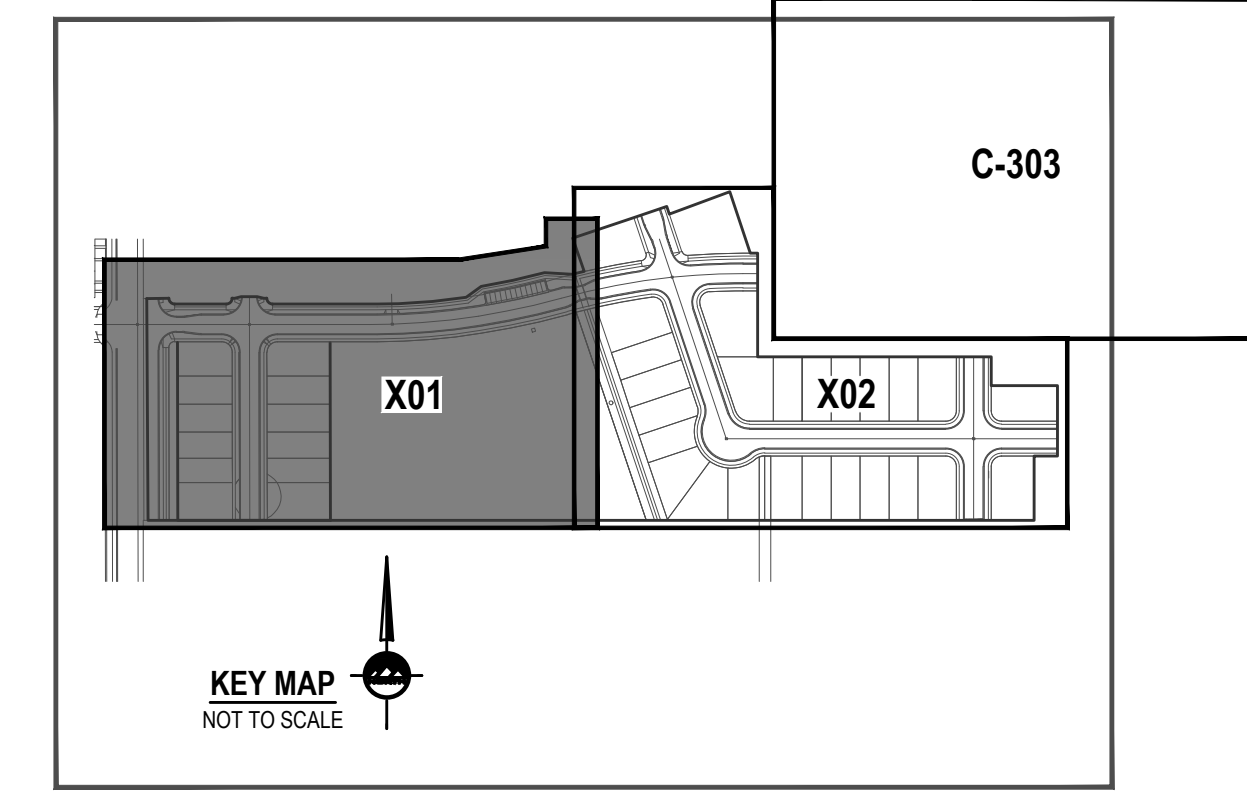




BENCHMARK
 EAST QUARTER CORNER
 SECTION 2
 TOWNSHIP 5 SOUTH, RANGE 1 WEST
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 ELEVATION = 4536.22

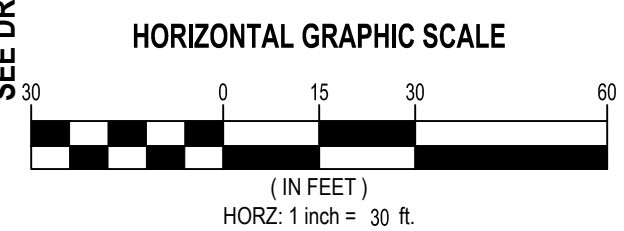
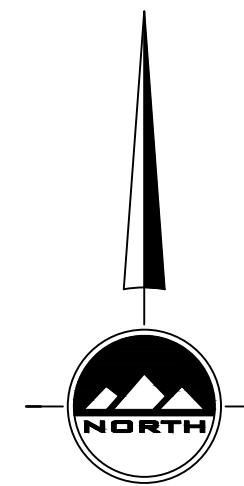
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SEE DRAWING C-302

SEE DRAWING C-302



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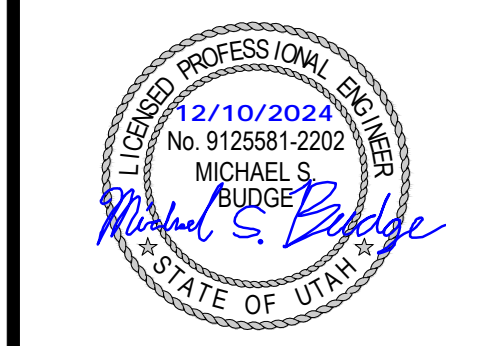
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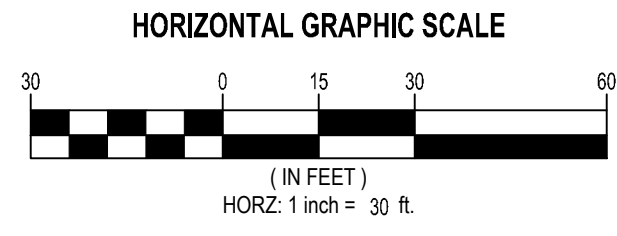
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 8069EE
 PRINT DATE: 2024-12-10
 PROJECT MANAGER: M. B.
 DESIGNED BY: C. O.

C-301

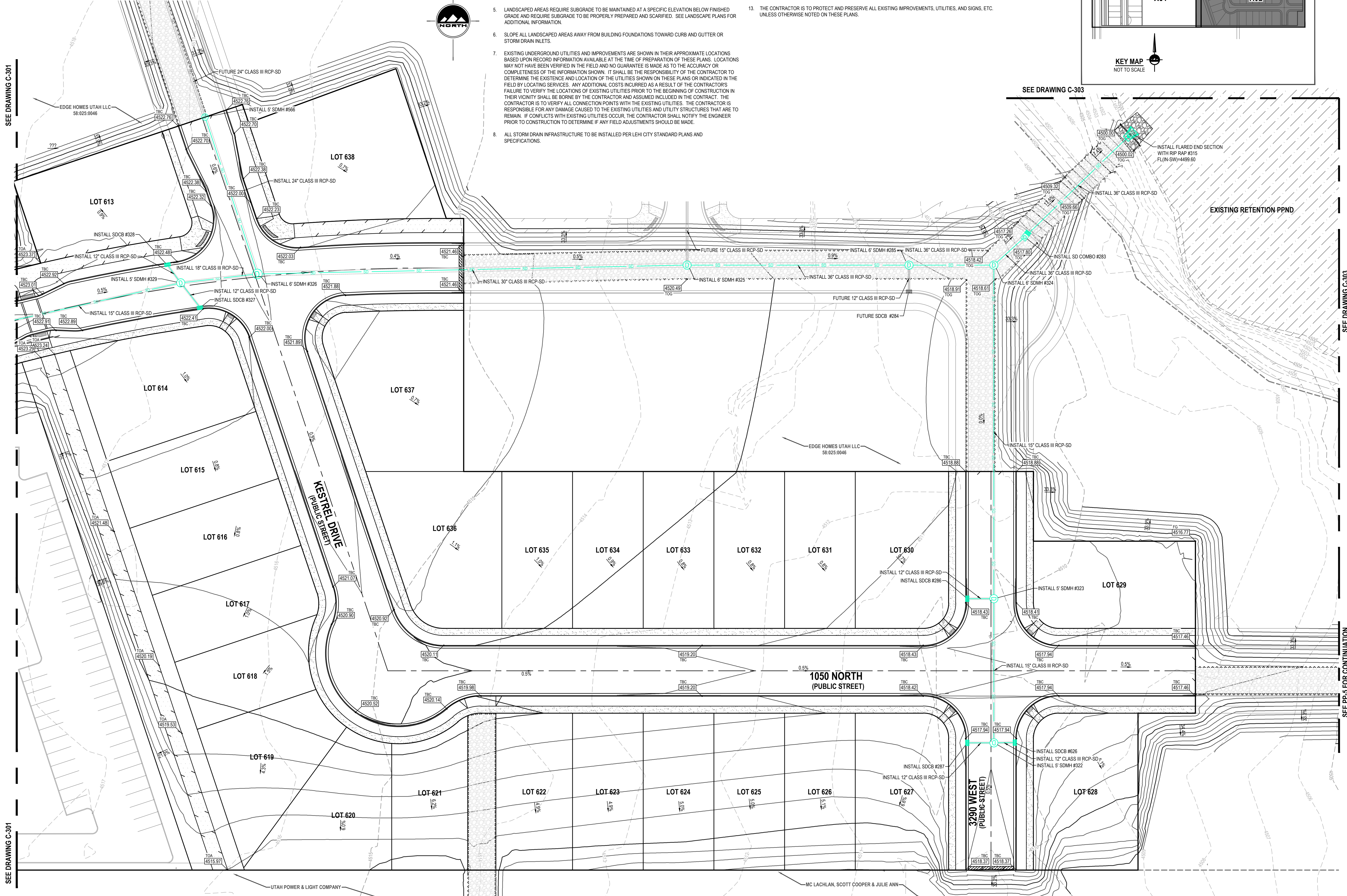
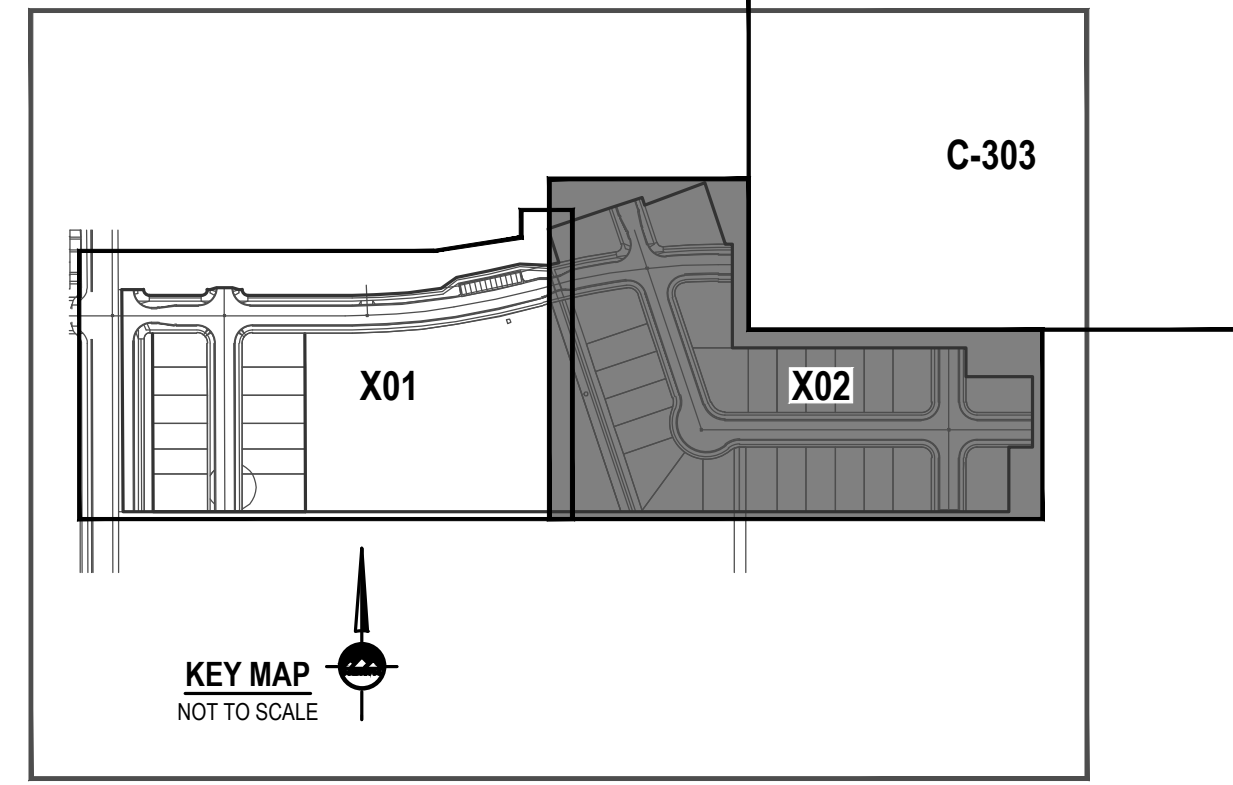
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- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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CONTACT:
BRANDON PARR
PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH

REGISTERED PROFESSIONAL ENGINEER
12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
STATE OF UTAH

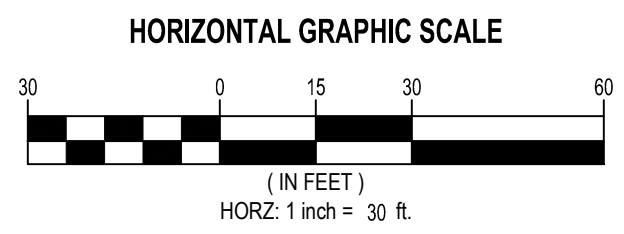
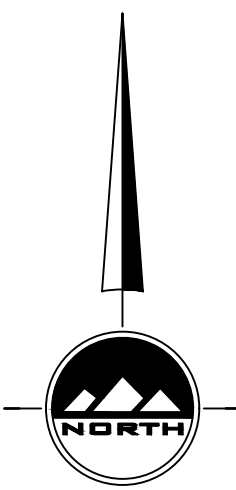
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B. DESIGNED BY: C. O.

C-302

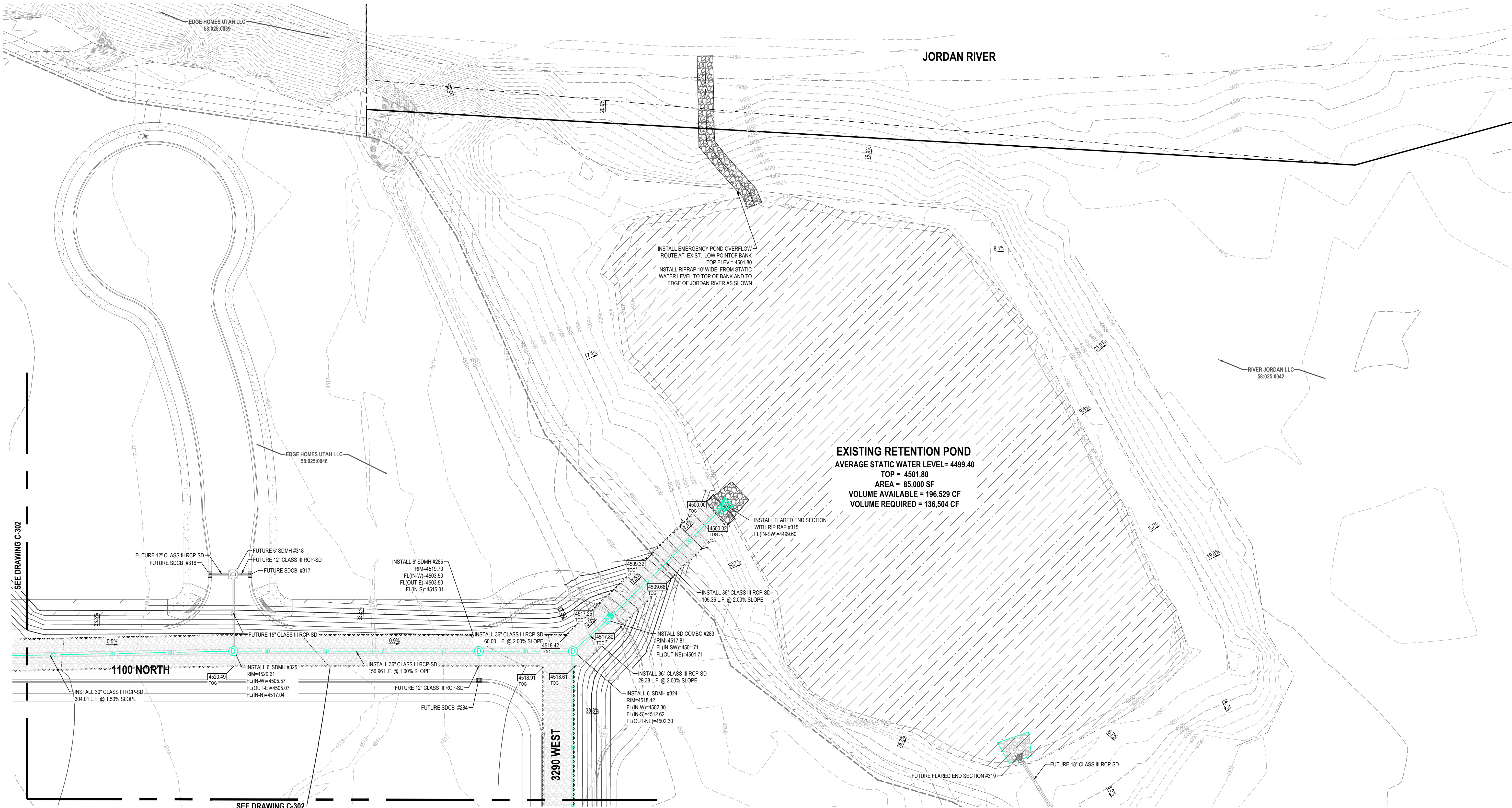
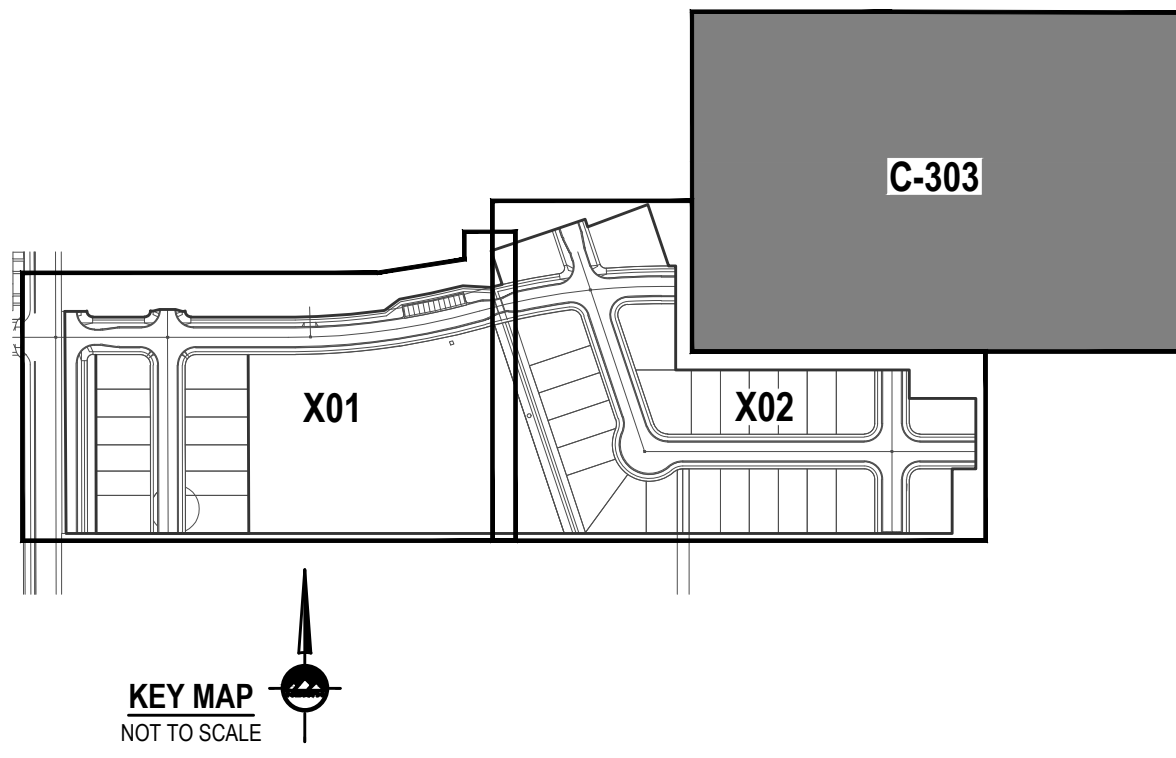
811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22



GENERAL NOTES

1. ALL WORK TO COMPLY WITH LEHI CITY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER LEHI CITY STANDARD PLANS AND SPECIFICATIONS.
9. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
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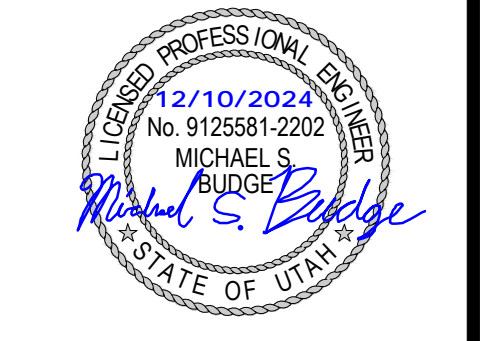
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RIVER POINT PHASE 6
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OFF-SITE DRAINAGE PLAN

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.
PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

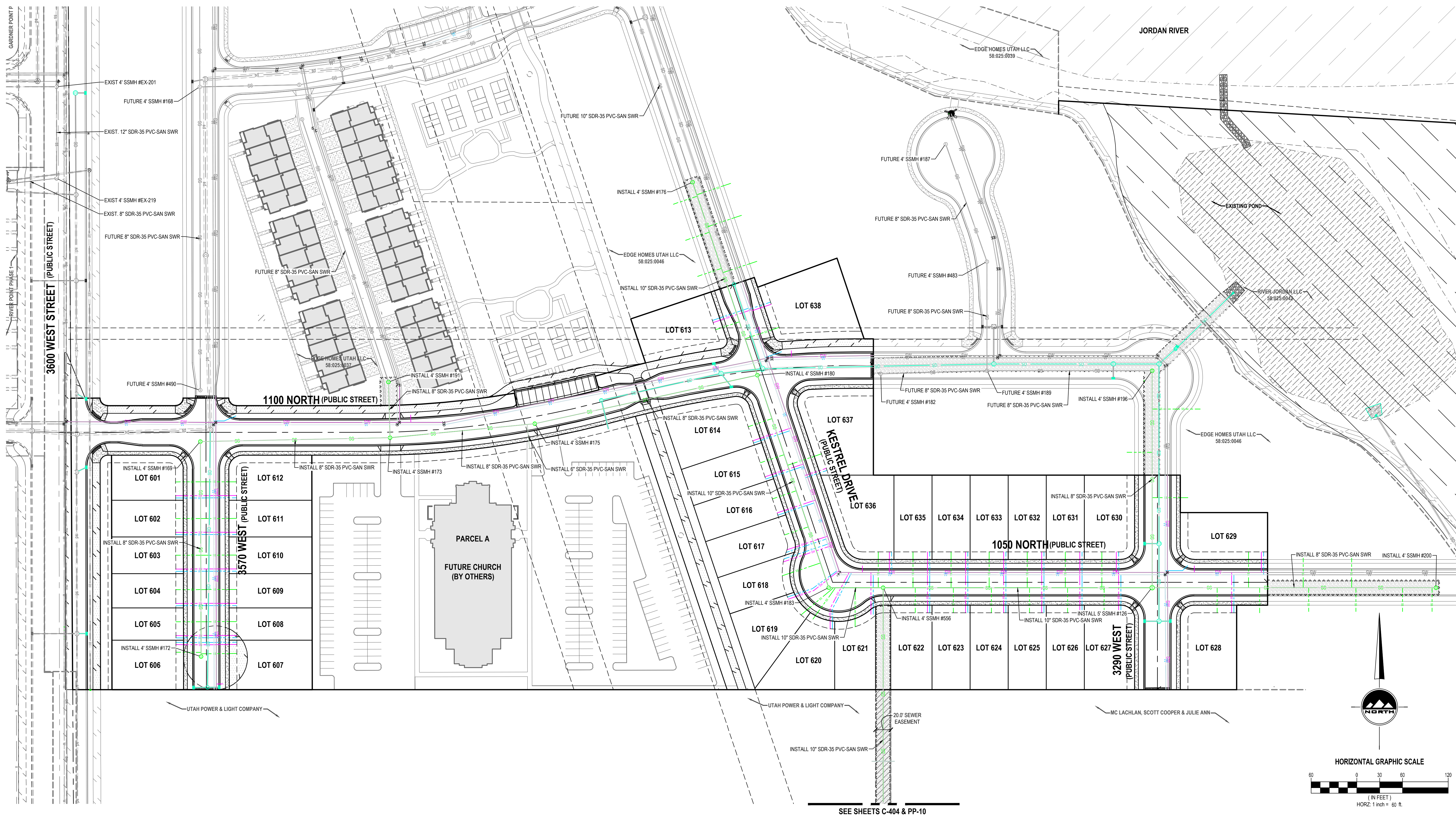
C-303



BENCHMARK	
EAST QUARTER CORNER SECTION 2 TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE & MERIDIAN	ELEVATION = 4536.22

GENERAL NOTES

- ALL WORK TO COMPLY WITH LEHI CITY'S STANDARDS AND SPECIFICATIONS.
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- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER LEHI CITY'S STANDARD PLANS AND SPECIFICATIONS.
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- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER LEHI CITY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
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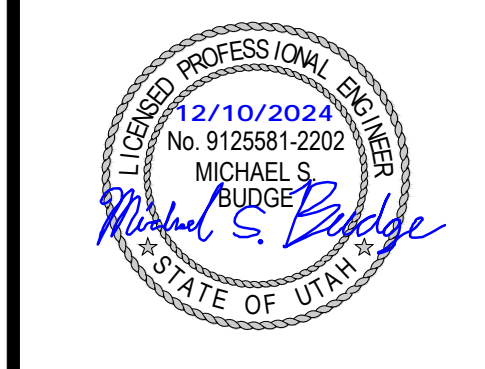
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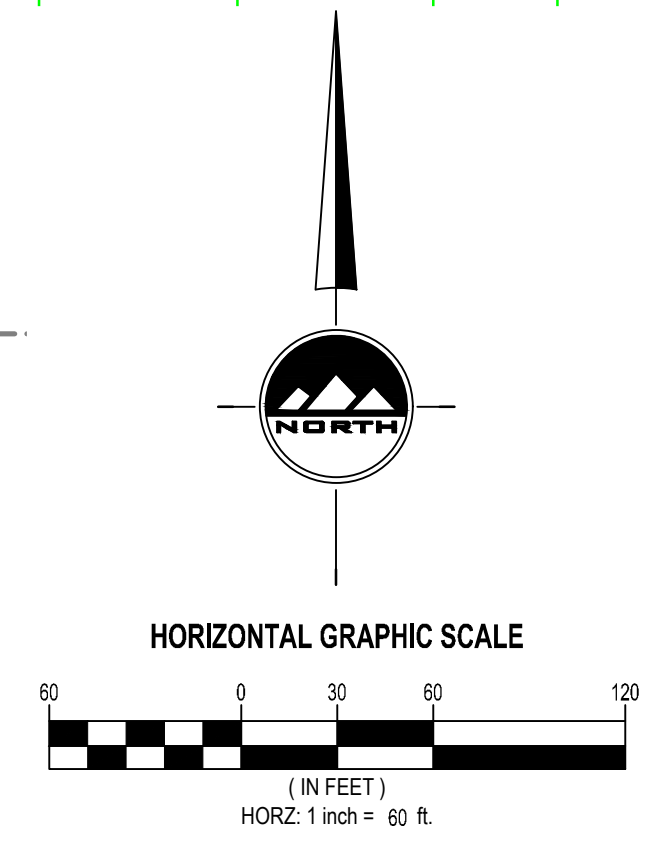


OVERALL UTILITY PLAN

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

C-400



SEE SHEETS C-404 & PP-10



BENCHMARK	
EAST QUARTER CORNER SECTION 2 TOWNSHIP 5 SOUTH, RANGE 1 WEST SALT LAKE BASE & MERIDIAN	ELEVATION = 4536.22

GENERAL NOTES

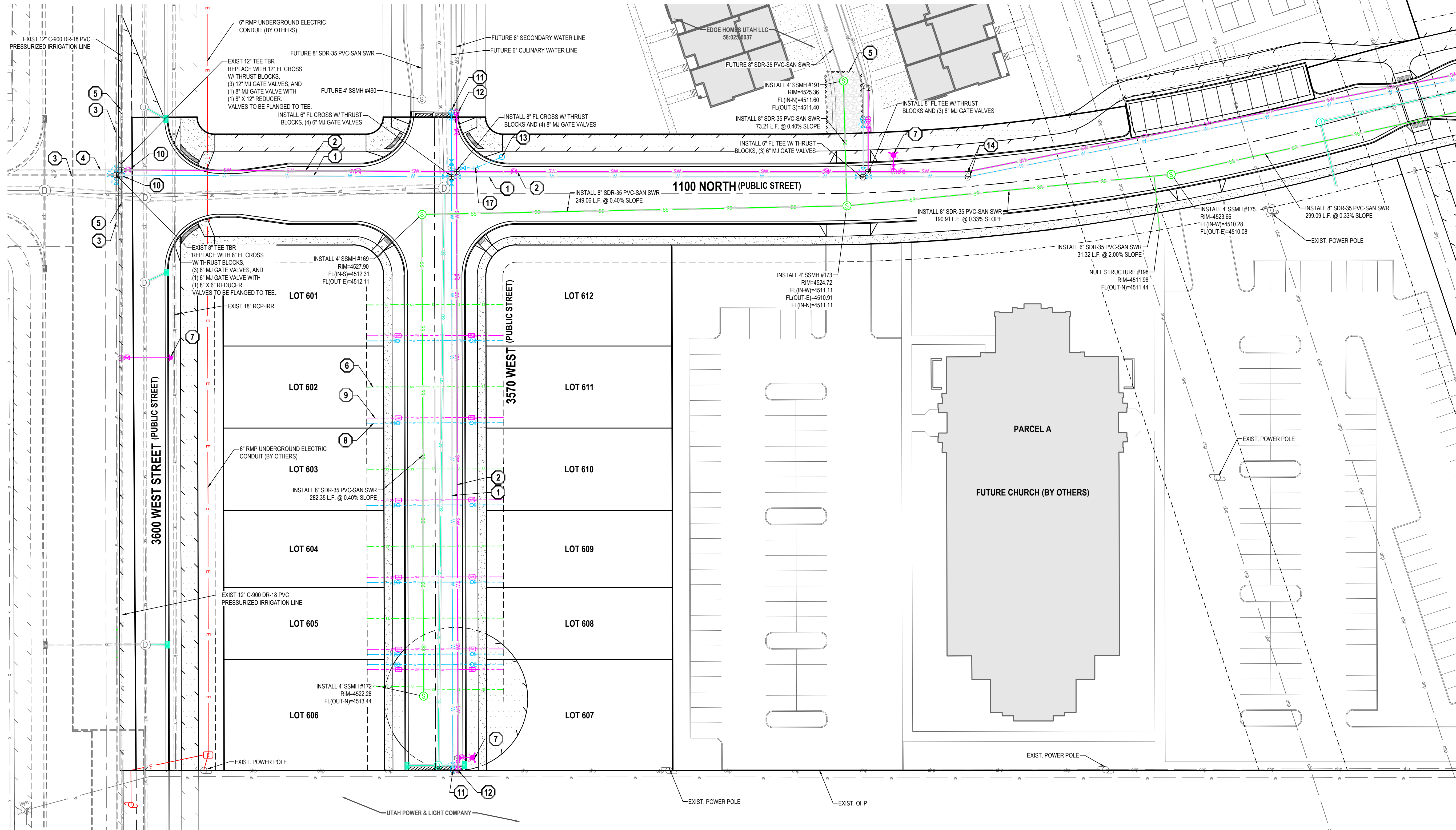
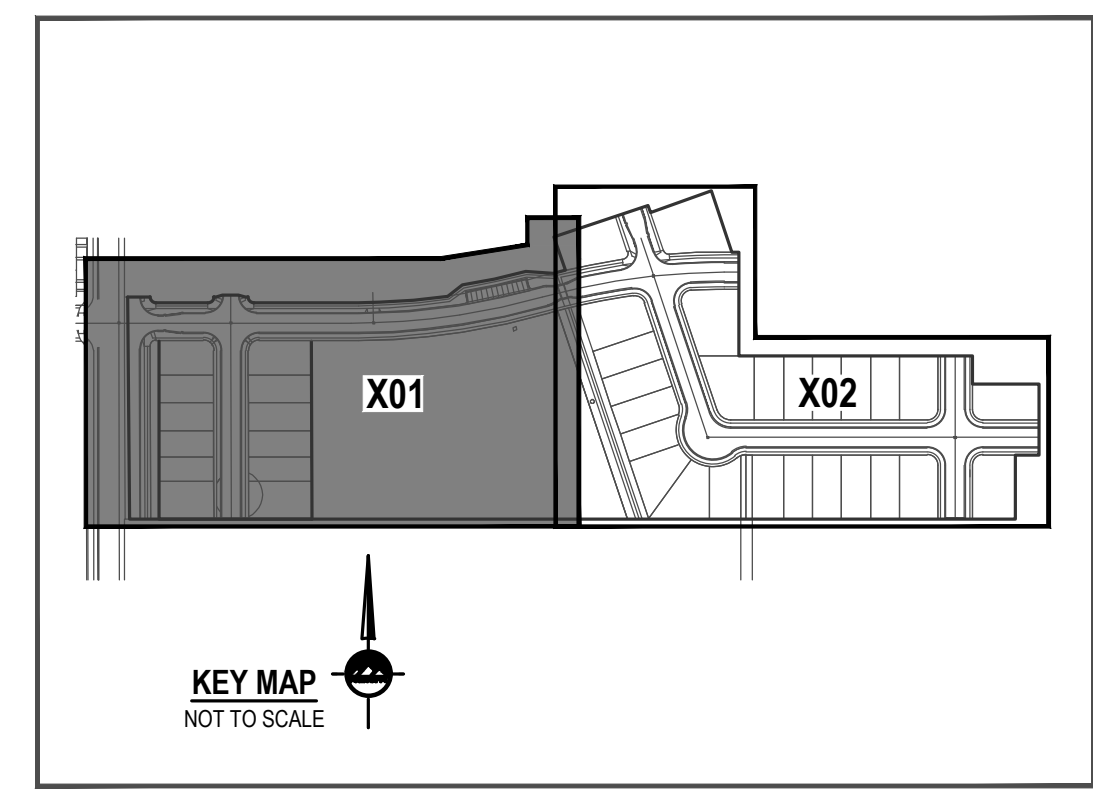
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- MANHOLES ON SLOPES GREATER THAN 5% SHALL UTILIZE THE WHIRLYGIG MANHOLE RISER SYSTEM AT INSTALLATION.

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

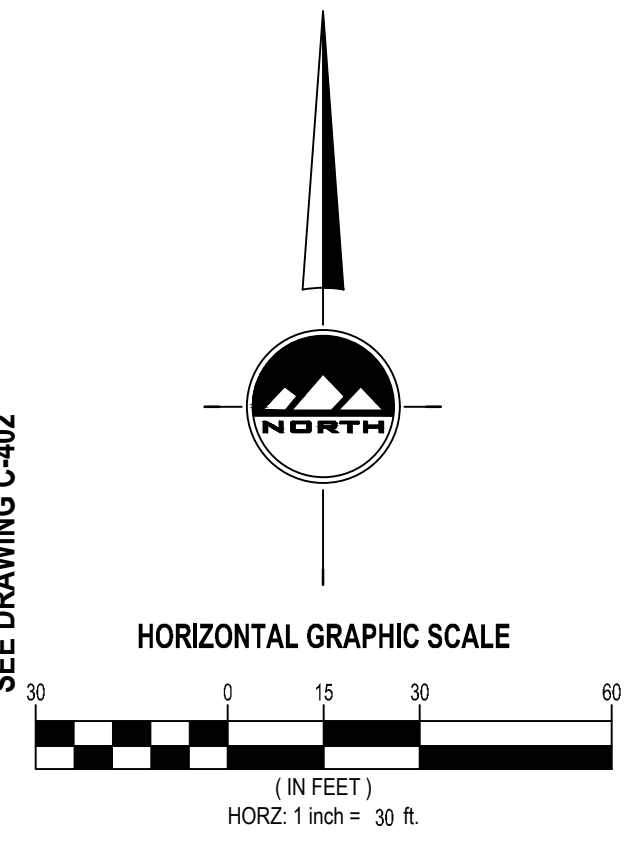
- INSTALL 6" C-900 DR-18 PVC POTABLE WATERLINE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
- INSTALL 8" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
- EXISTING 8" C-900 DR-18 PVC POTABLE WATERLINE.
- EXISTING 12" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE.
- INSTALL 20" WIDE ALL WEATHER ACCESS PER LEHI CITY STANDARD DRAWING RD-14.
- INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.00% MINIMUM SLOPE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
- INSTALL FIRE HYDRANT (COMPLETE) PER LEHI CITY STANDARD DETAIL WT-02. SEE SHEET C-609.
- INSTALL 3/4" IPS POLY POTABLE WATER SERVICE CONNECTION WITH 3/4" METER PER LEHI CITY STANDARD DRAWING WT-06.
- INSTALL 1" IPS POLY PRESSURE IRRIGATION SERVICE CONNECTION PER LEHI CITY STANDARD DRAWING WT-08.
- INSTALL CONSTRUCTION VALVE WHEN CONNECTING TO EXISTING CULINARY AND PRESSURIZED IRRIGATION MAINS PER LEHI CITY STANDARDS.

- INSTALL 2" TEMPORARY BLOW OFF AT DEAD END WITH TRAFFIC PROTECTION PER LEHI CITY STANDARD DRAWING WT-03. PLUG, CAP, AND MARK FOR FUTURE USE. SEE SHEET C-610.
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- INSTALL 4" BLOW OFF PER LEHI CITY STANDARD DRAWING WT-03. INCORPORATE MAINLINE VALVES INTO A VALVE CLUSTER WITH VALVES FLANGED TO THE TEE. SEE SHEET C-610.
- INSTALL 11.25" BEND.
- INSTALL 45" BEND.
- INSTALL BELL JOINT RESTRAINTS ON LAST 80' OF DEAD END PRESSURIZED CULINARY AND IRRIGATION WATER LINES.
- INSTALL 22.5" BEND.



SEE DRAWING C-402

SEE DRAWING C-402



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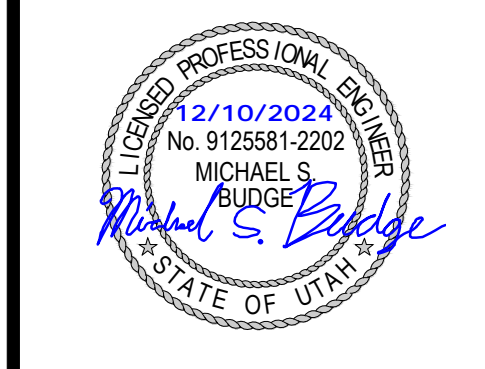
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UTILITY PLAN

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
PROJECT MANAGER: M.B. DESIGNED BY: C.O.

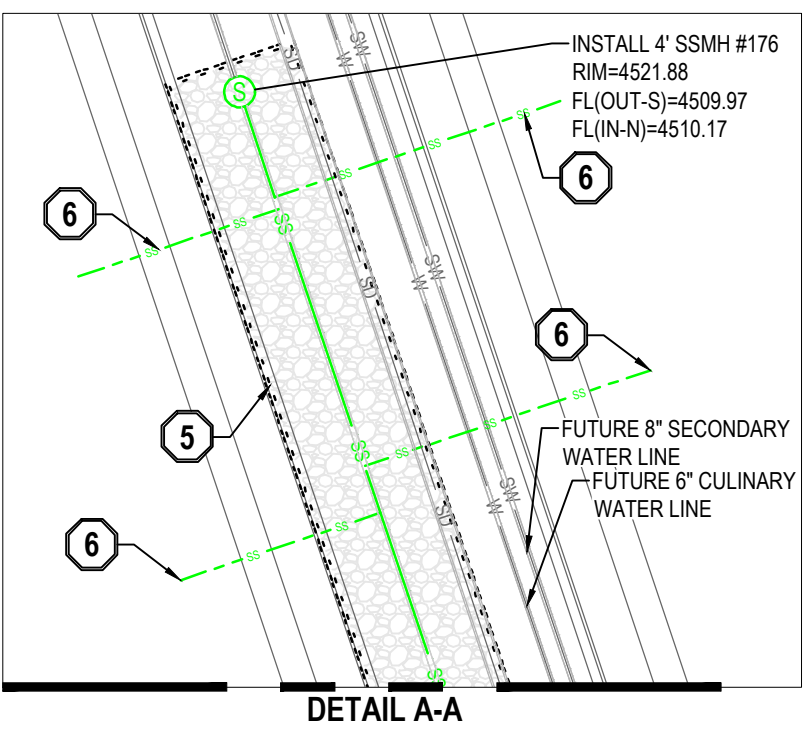
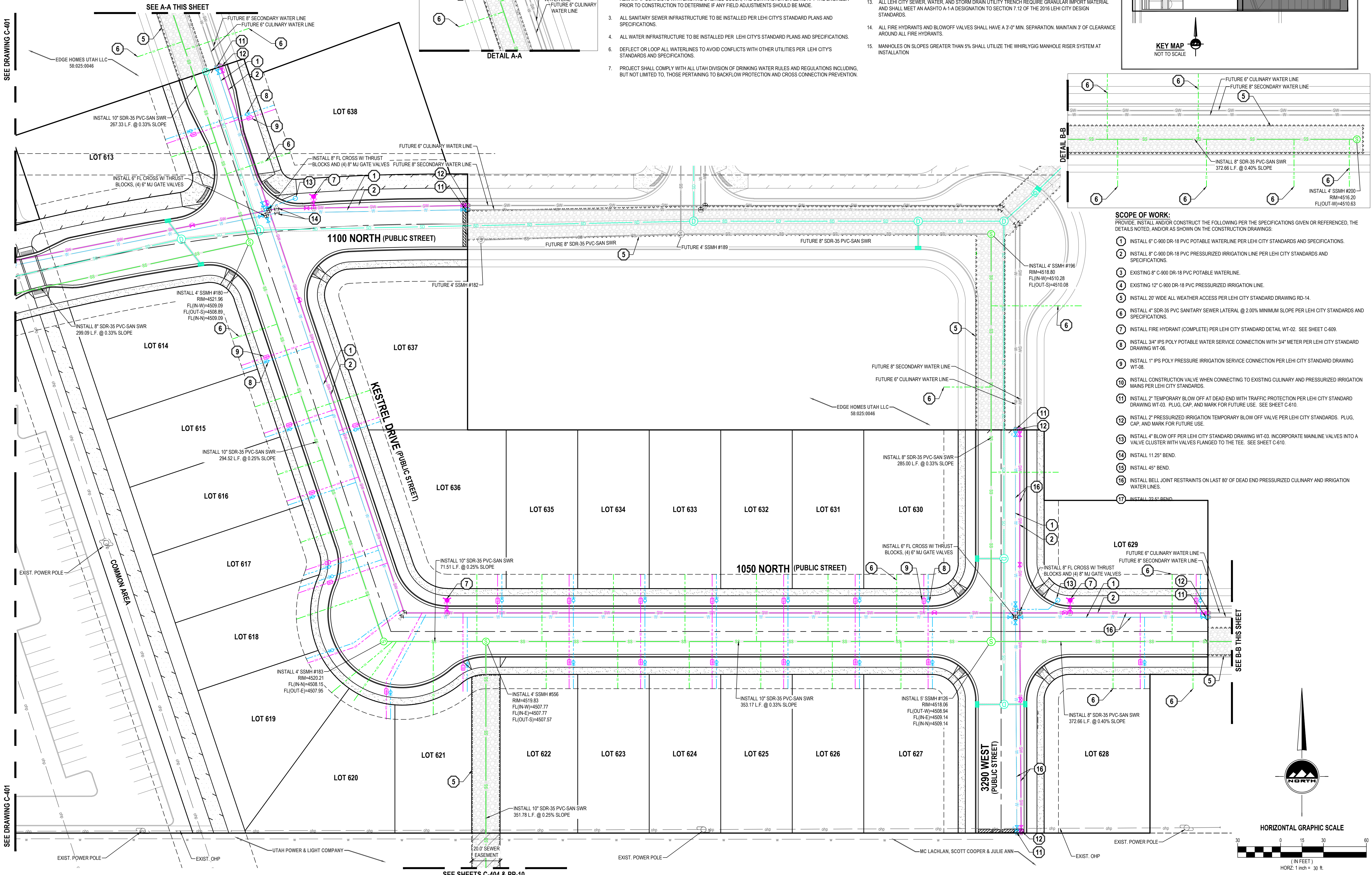
C-401

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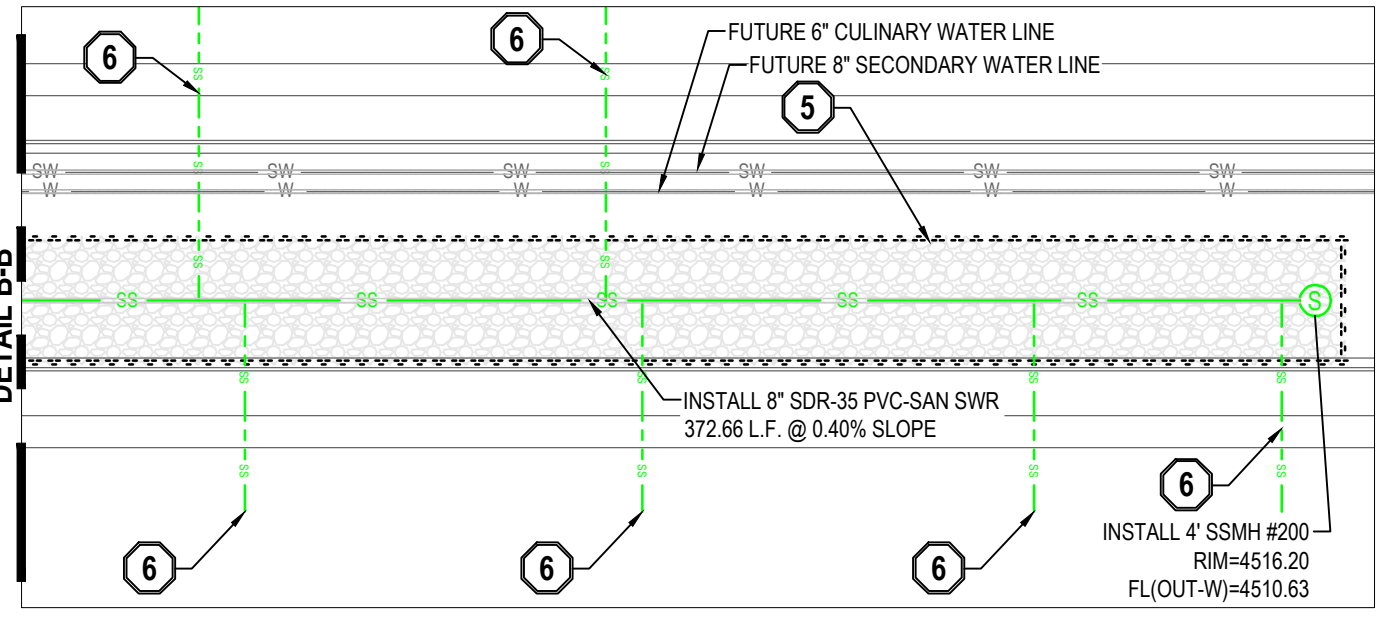
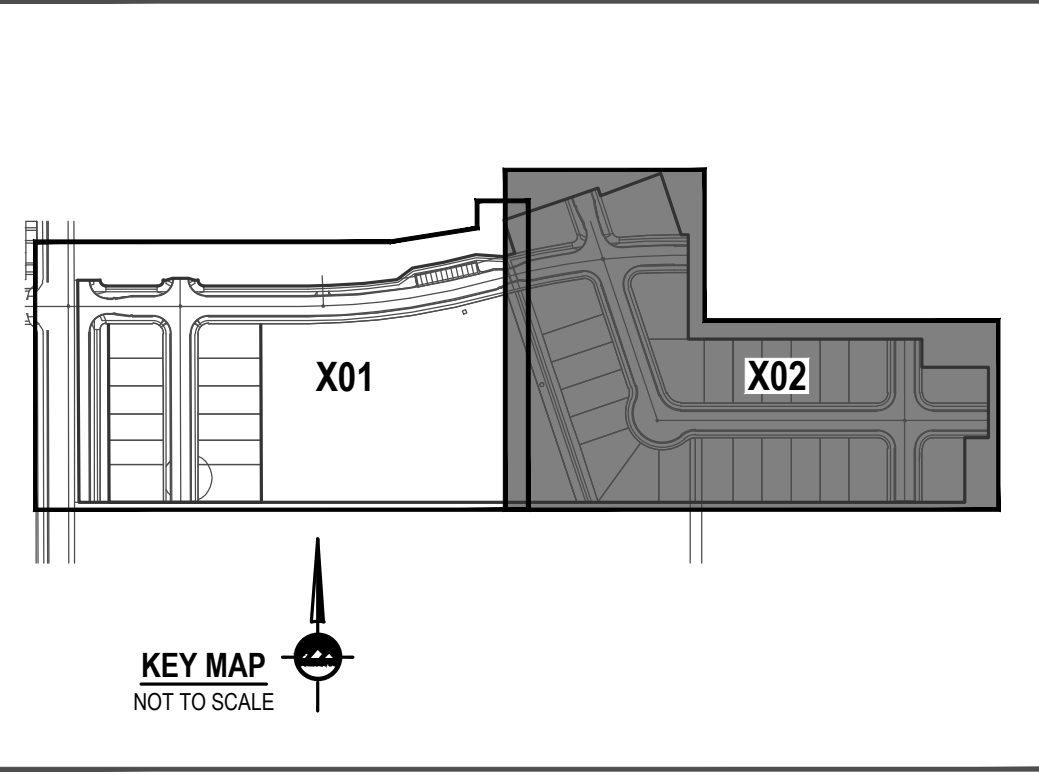
BENCHMARK
EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

SEE DRAWING C-401



GENERAL NOTES

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- INSTALL FIRE HYDRANT (COMPLETE) PER LEHI CITY STANDARD DETAIL WT-02. SEE SHEET C-609.
- INSTALL 3/4" IPS POLY POTABLE WATER SERVICE CONNECTION WITH 3/4" METER PER LEHI CITY STANDARD DRAWING WT-06.
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FOR:
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13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**

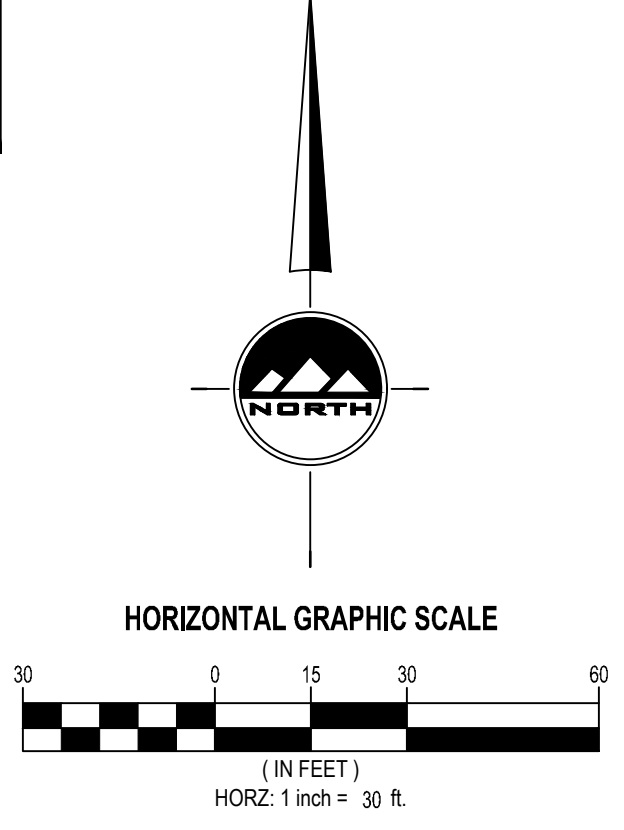
PROFESSIONAL ENGINEER
12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
STATE OF UTAH

UTILITY PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10

PROJECT MANAGER: M.B.
DESIGNED BY: C.O.

C-402



SEE DRAWING C-401

SEE SHEETS C-404 & PP-10

811

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CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22



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










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Phone: 435.896.2983

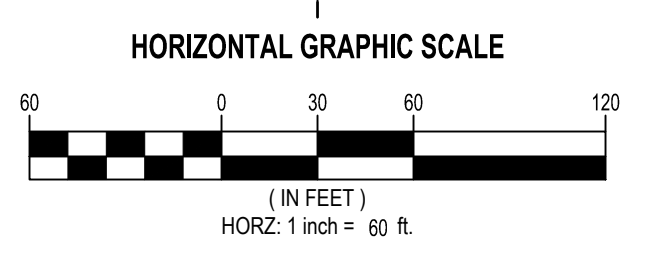
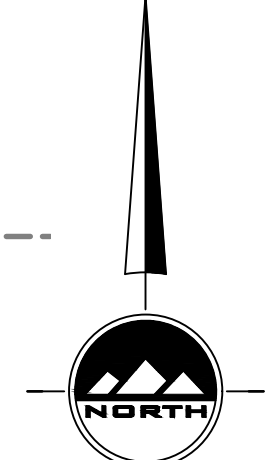
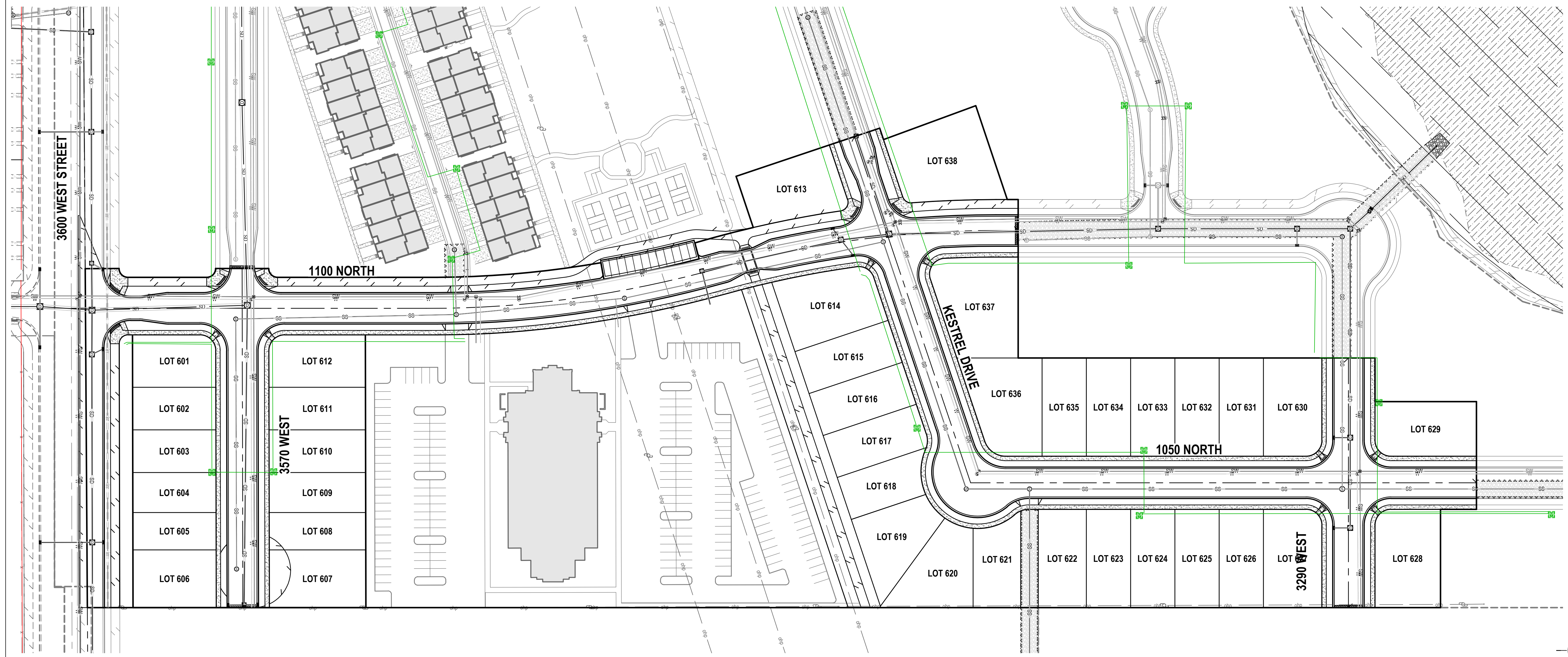
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FOR:
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DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

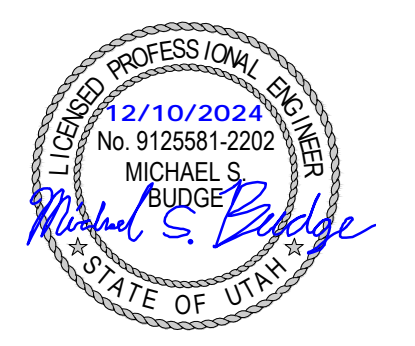
LEGEND:

-  SWITCH
-  GROUNDSLEEVE/SECTIONALIZER
-  TRANSFORMER
-  SECONDARY JUNCTION
-  STREET LIGHT
-  6" DIA. CNDT.
-  4" DIA. CNDT.
-  3" DIA. PRIMARY CNDT.
-  3" DIA. SECONDARY CNDT.
-  3" DIA. SECONDARY SERVICE STUB
-  NOTE: INSTALL COMM. SYS. MICRODUCT WITH ALL CNDT. RUNS.



**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**

3600 WEST 1500 NORTH
LEHI, UTAH



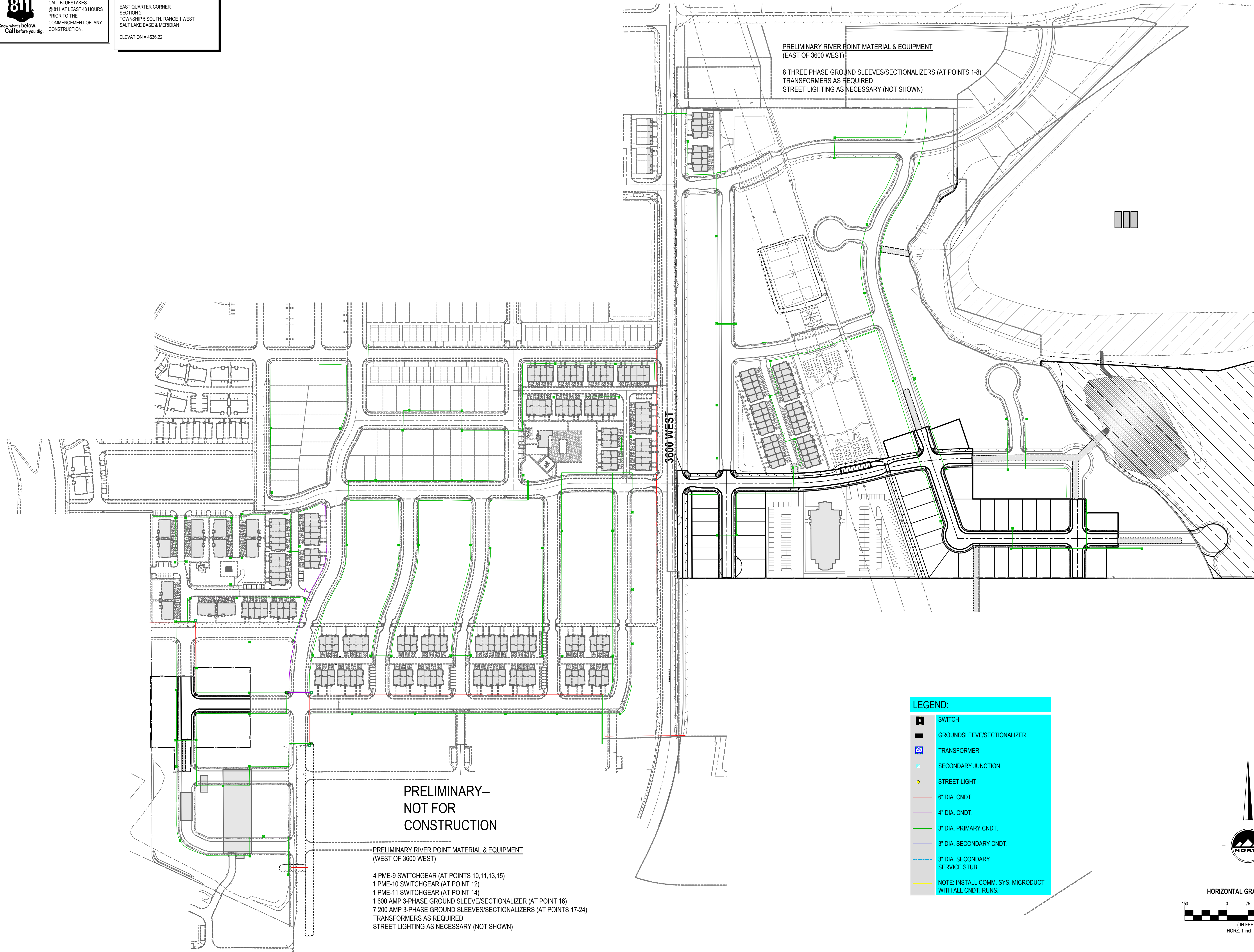
PHASE 6 POWER PLAN

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
 PROJECT MANAGER: M. B. DESIGNED BY: C. O.

C-403

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BENCHMARK
 EAST QUARTER CORNER
 SECTION 2
 TOWNSHIP 5 SOUTH, RANGE 1 WEST
 SALT LAKE BASE & MERIDIAN
 ELEVATION = 4536.22



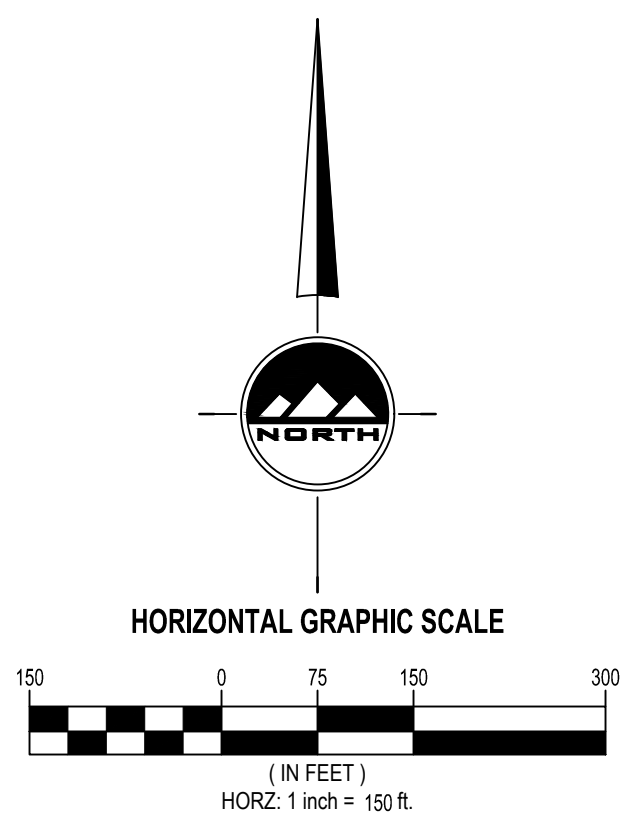
PRELIMINARY RIVER POINT MATERIAL & EQUIPMENT
 (EAST OF 3600 WEST)
 8 THREE PHASE GROUND SLEEVES/SECTIONALIZERS (AT POINTS 1-8)
 TRANSFORMERS AS REQUIRED
 STREET LIGHTING AS NECESSARY (NOT SHOWN)

PRELIMINARY--
 NOT FOR
 CONSTRUCTION

PRELIMINARY RIVER POINT MATERIAL & EQUIPMENT
 (WEST OF 3600 WEST)
 4 PME-9 SWITCHGEAR (AT POINTS 10,11,13,15)
 1 PME-10 SWITCHGEAR (AT POINT 12)
 1 PME-11 SWITCHGEAR (AT POINT 14)
 1 600 AMP 3-PHASE GROUND SLEEVE/SECTIONALIZER (AT POINT 16)
 7 200 AMP 3-PHASE GROUND SLEEVES/SECTIONALIZERS (AT POINTS 17-24)
 TRANSFORMERS AS REQUIRED
 STREET LIGHTING AS NECESSARY (NOT SHOWN)

LEGEND:

□	SWITCH
■	GROUND SLEEVE/SECTIONALIZER
⊕	TRANSFORMER
○	SECONDARY JUNCTION
●	STREET LIGHT
— (Red)	6" DIA. CNDT.
— (Purple)	4" DIA. CNDT.
— (Green)	3" DIA. PRIMARY CNDT.
— (Blue)	3" DIA. SECONDARY CNDT.
— (Black)	3" DIA. SECONDARY SERVICE STUB
— (Grey)	NOTE: INSTALL COMM. SYS. MICRODUCT WITH ALL CNDT. RUNS.



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FOR:
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 13702 SOUTH 200 WEST B12
 DRAPER, UTAH 84020
 CONTACT:
 BRANDON PARR
 PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
 3600 WEST 1500 NORTH
 LEHI, UTAH

LICENSED PROFESSIONAL ENGINEER
 12/10/2024
 No. 9125581-2202
 MICHAEL S. BRIDGE
 JUDGE
 STATE OF UTAH

OVERALL POWER PLAN

PROJECT NUMBER: 8069EE
 PROJECT MANAGER: M. B.
 PRINT DATE: 2024-12-10
 DESIGNED BY: C. O.

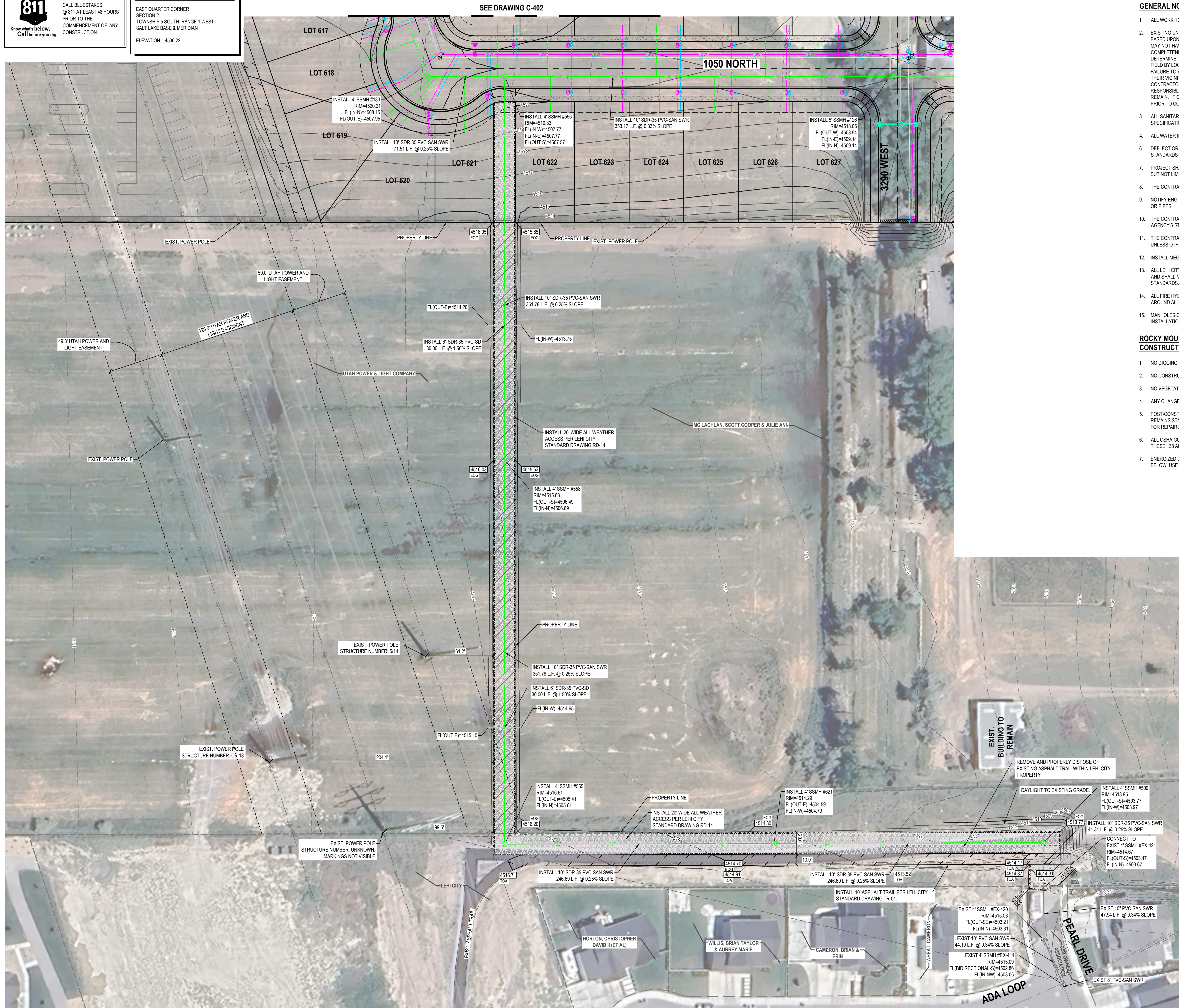
C-403A

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BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH LEHI CITY'S STANDARDS AND SPECIFICATIONS.
 - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 - ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER LEHI CITY'S STANDARD PLANS AND SPECIFICATIONS.
 - ALL WATER INFRASTRUCTURE TO BE INSTALLED PER LEHI CITY'S STANDARD PLANS AND SPECIFICATIONS.
 - DEFLECT OR LOOP ALL WATER LINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER LEHI CITY'S STANDARDS AND SPECIFICATIONS.
 - PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
 - THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - INSTALL MEGA LUGS ON ALL MECHANICAL JOINTS (OR APPROVED EQUAL).
 - ALL LEHI CITY SEWER, WATER, AND STORM DRAIN UTILITY TRENCH REQUIRE GRANULAR IMPORT MATERIAL AND SHALL MEET AN AASHTO A-1-A DESIGNATION TO SECTION 7.12 OF THE 2016 LEHI CITY DESIGN STANDARDS.
 - ALL FIRE HYDRANTS AND BLOWOFF VALVES SHALL HAVE A 3'-0" MIN. SEPARATION. MAINTAIN 3' OF CLEARANCE AROUND ALL FIRE HYDRANTS.
 - MANHOLES ON SLOPES GREATER THAN 5% SHALL UTILIZE THE WHIRLYGIG MANHOLE RISER SYSTEM AT INSTALLATION.

- ROCKY MOUNTAIN POWER TRANSMISSION CONSTRUCTION GUIDELINES**
- NO DIGGING OR TRENCHING WITHIN 50 FEET OF THE TRANSMISSION STRUCTURES.
 - NO CONSTRUCTION OR DIGGING DIRECTLY BENEATH TRANSMISSION LINE WITHOUT PRIOR APPROVAL.
 - NO VEGETATION OTHER THAN GRASS MAY BE ADDED WITHIN THE PARCEL.
 - ANY CHANGES TO EXISTING GRADE SHOULD BE SENT TO RMP FOR PRIOR APPROVAL.
 - POST-CONSTRUCTION GRADING SHOULD PROVIDE SUFFICIENT AND PROPER DRAINAGE SO THAT GROUND REMAINS STABLE ENOUGH TO SUPPORT EQUIPMENT WEIGHING MORE THAN 50 TONS TO ACCESS THE AREA FOR REPAIRS, MAINTENANCE, OR IMPROVEMENTS.
 - ALL OSHA GUIDELINES FOR WORKING NEAR ENERGIZED TRANSMISSION LINES MUST BE FOLLOWED FOR THESE 138 AND 230KV LINES.
 - ENERGIZED LINES MAY INDUCE ELECTRICAL CHARGE IN UNGROUNDED VEHICLES OR EQUIPMENT STATIONED BELOW. USE PROPER GROUNDING TECHNIQUES.

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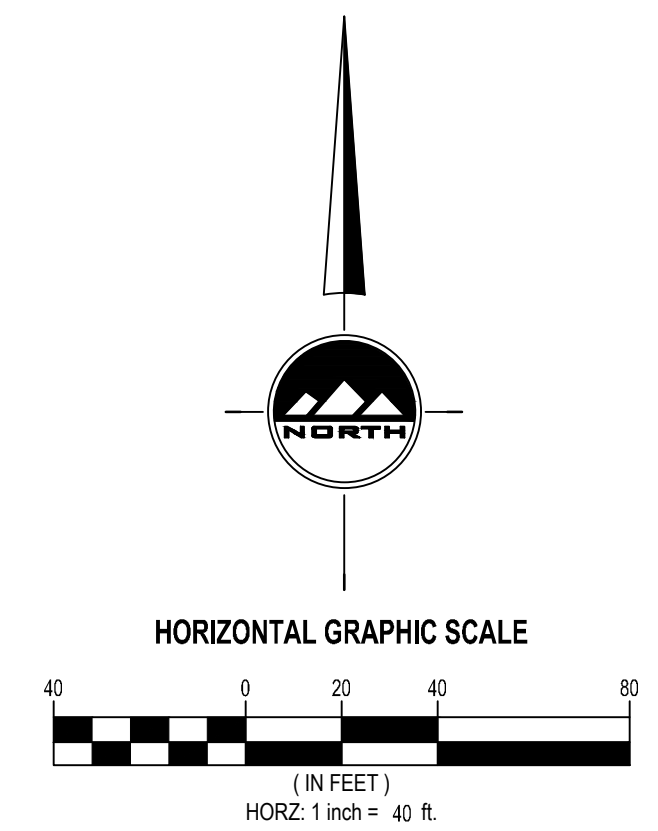
RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH

12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
STATE OF UTAH

OFFSITE UTILITY PLAN

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-404



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SECTION 2
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SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

GENERAL NOTES

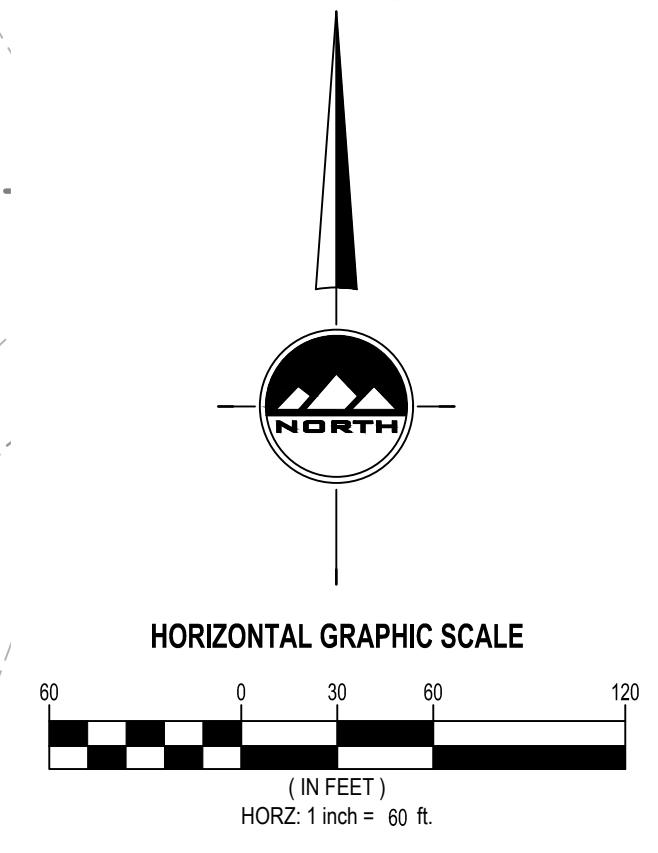
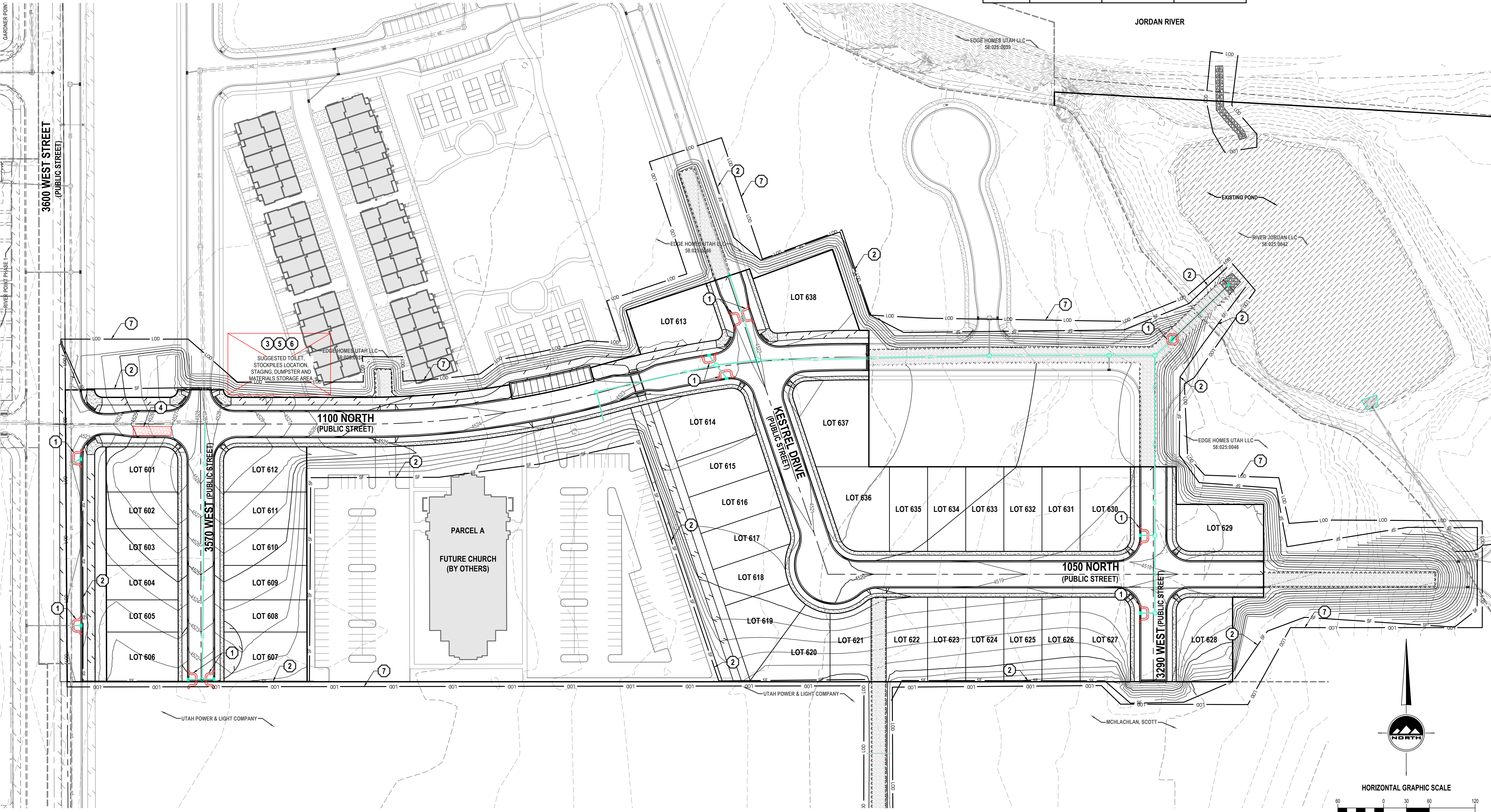
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.

- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- INLET PROTECTION PER DETAIL 8/C-600.
- SILT FENCE PER DETAIL 9/C-600.
- PORTABLE TOILET PER DETAIL 10/C-600.
- VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 7/C-600.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- PHASE 6 LIMIT OF DISTURBANCE.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
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11			
12			



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CONTACT:
BRANDON PARR
PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH

REGISTERED PROFESSIONAL ENGINEER
12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
STATE OF UTAH

EROSION CONTROL PLAN

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

C-500



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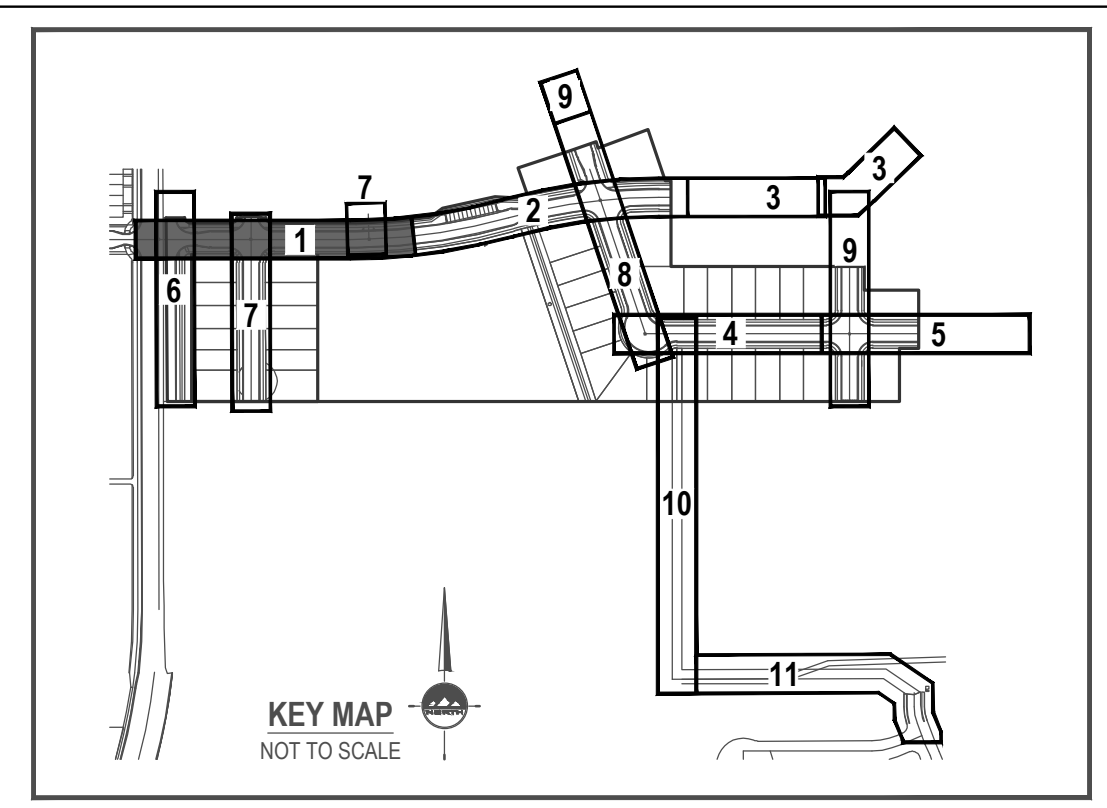
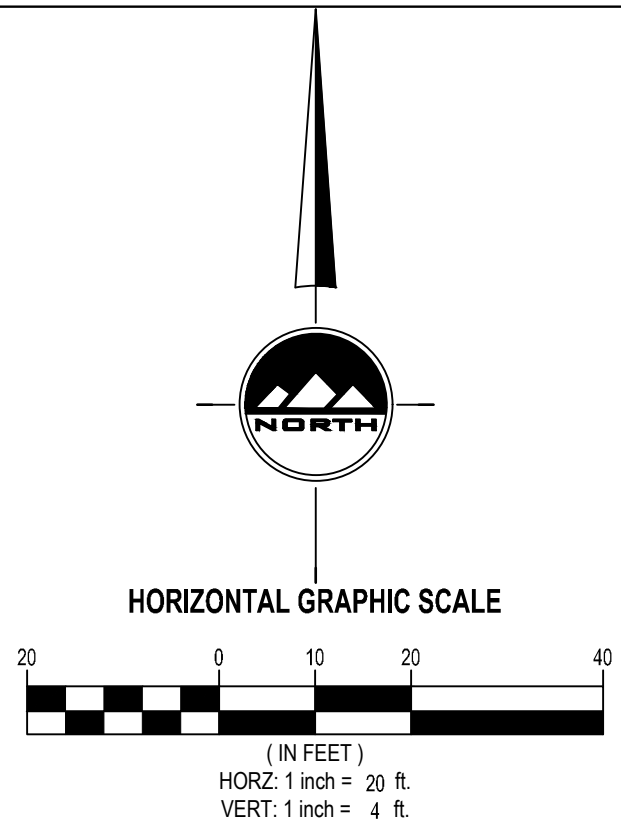
BENCHMARK

EAST QUARTER CORNER
SECTION 2
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SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- INSTALL 6" C-900 DR-18 PVC POTABLE WATERLINE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL 8" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
 - EXISTING 8" C-900 DR-18 PVC POTABLE WATERLINE.
 - EXISTING 12" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE.
 - INSTALL 20" WIDE ALL WEATHER ACCESS PER LEHI CITY STANDARD DRAWING RD-14.
 - INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.00% MINIMUM SLOPE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL FIRE HYDRANT (COMPLETE) PER LEHI CITY STANDARD DETAIL WT-02. SEE SHEET C-609.
 - INSTALL 3/4" IPS POLY POTABLE WATER SERVICE CONNECTION WITH 3/4" METER PER LEHI CITY STANDARD DRAWING WT-06.
 - INSTALL 1" IPS POLY PRESSURE IRRIGATION SERVICE CONNECTION PER LEHI CITY STANDARD DRAWING WT-08.

- INSTALL CONSTRUCTION VALVE WHEN CONNECTING TO EXISTING CULINARY AND PRESSURIZED IRRIGATION MAINS PER LEHI CITY STANDARDS.
- INSTALL 2" TEMPORARY BLOW OFF AT DEAD END WITH TRAFFIC PROTECTION PER LEHI CITY STANDARD DRAWING WT-03. PLUG, CAP, AND MARK FOR FUTURE USE. SEE SHEET C-610.
- INSTALL 2" PRESSURIZED IRRIGATION TEMPORARY BLOW OFF VALVE PER LEHI CITY STANDARDS. PLUG, CAP, AND MARK FOR FUTURE USE.
- INSTALL 4" BLOW OFF PER LEHI CITY STANDARD DRAWING WT-03. INCORPORATE MAINLINE VALVES INTO A VALVE CLUSTER WITH VALVES FLANGED TO THE TEE. SEE SHEET C-610.
- INSTALL 11.25" BEND.
- INSTALL 45" BEND.
- INSTALL BELL JOINT RESTRAINTS ON LAST 80' OF DEAD END PRESSURIZED CULINARY AND IRRIGATION WATER LINES.
- INSTALL 22.5" BEND.



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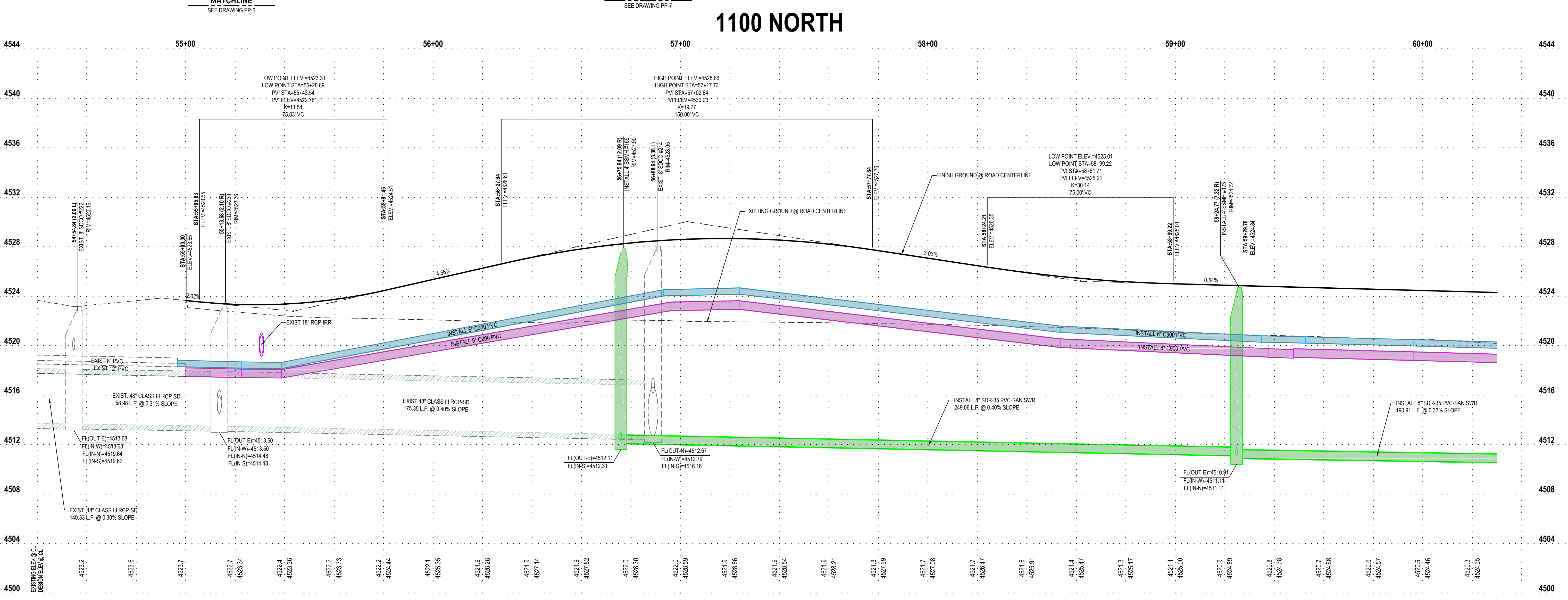
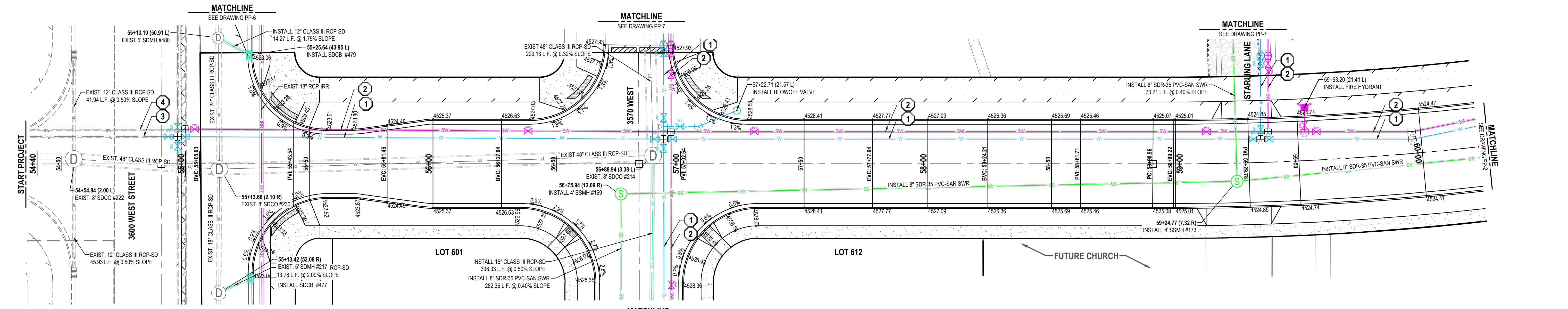
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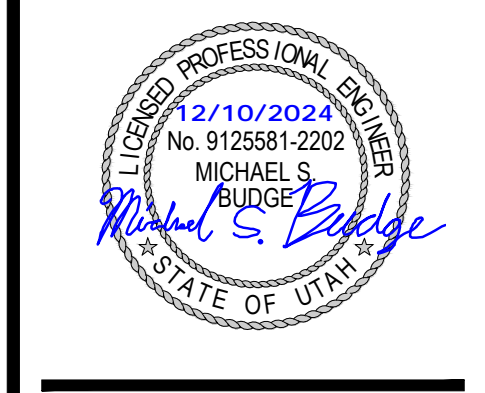
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CONTACT:
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PHONE: 801-494-0150



RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH



PLAN AND PROFILE
1100 NORTH

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10

PROJECT MANAGER: M. B.
DESIGNED BY: C. O.



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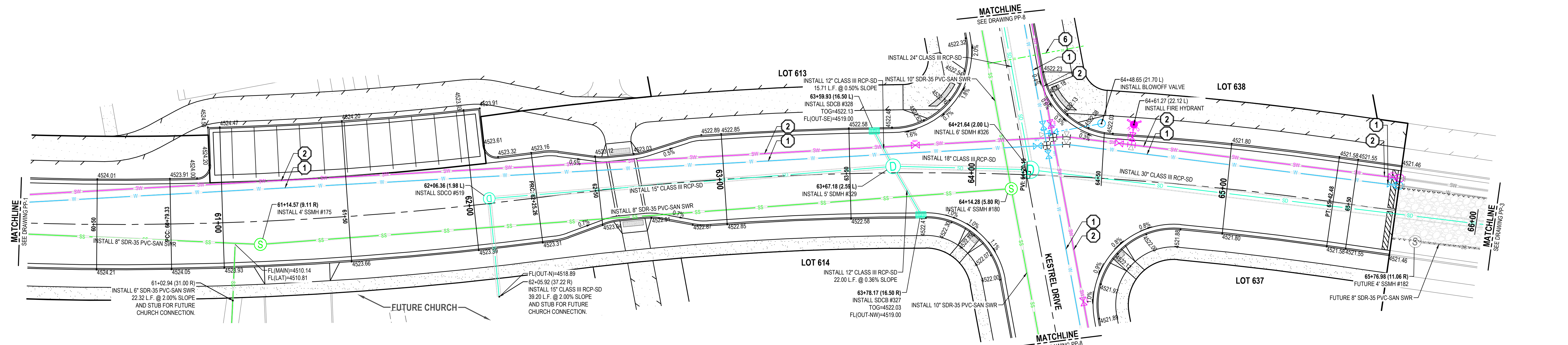
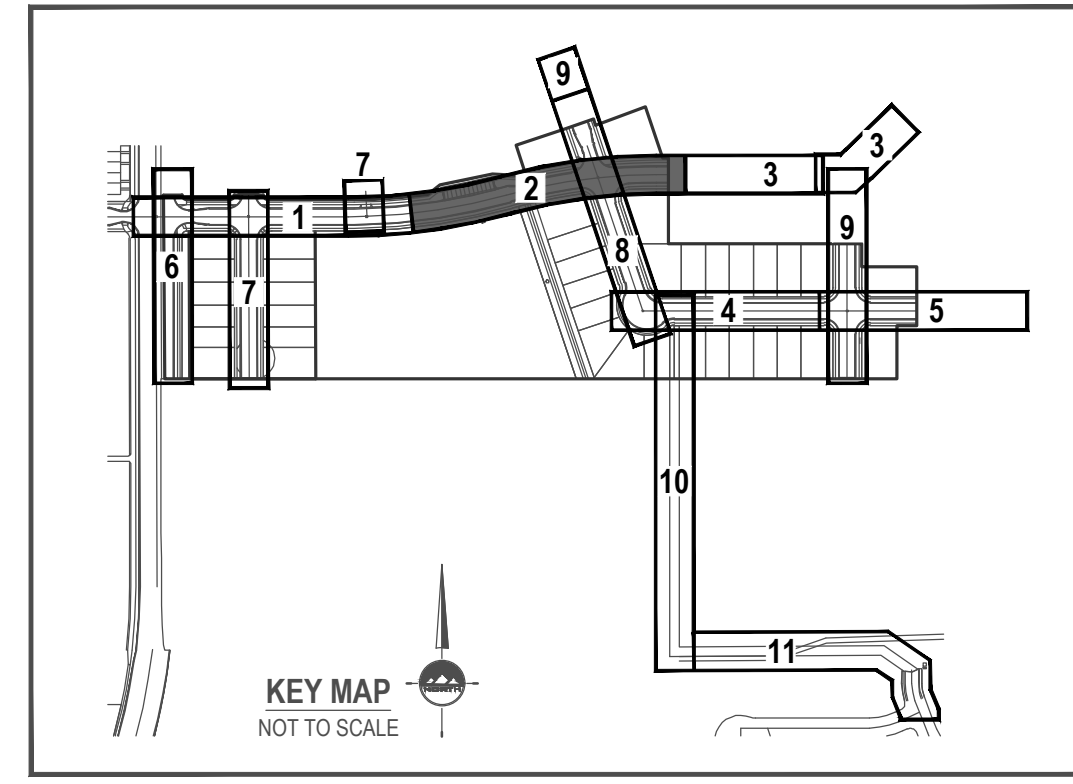
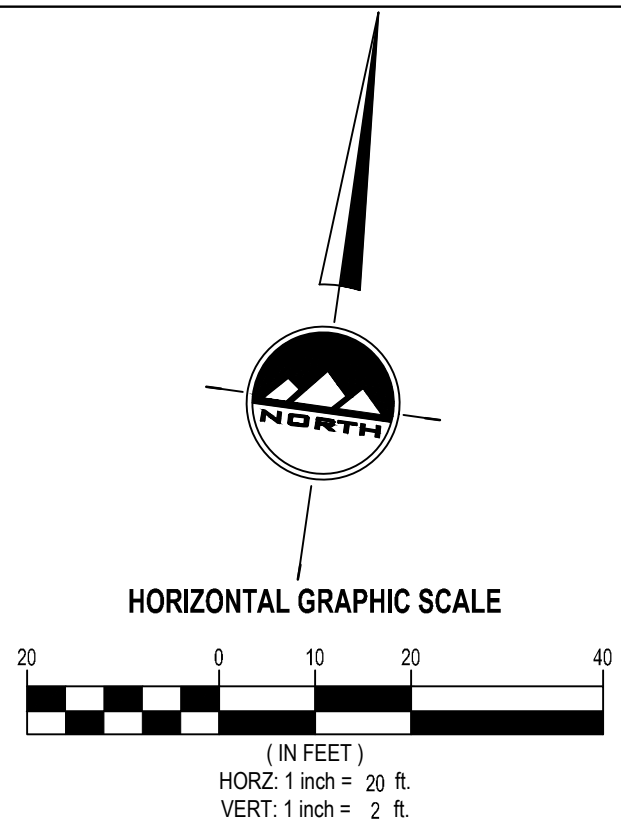
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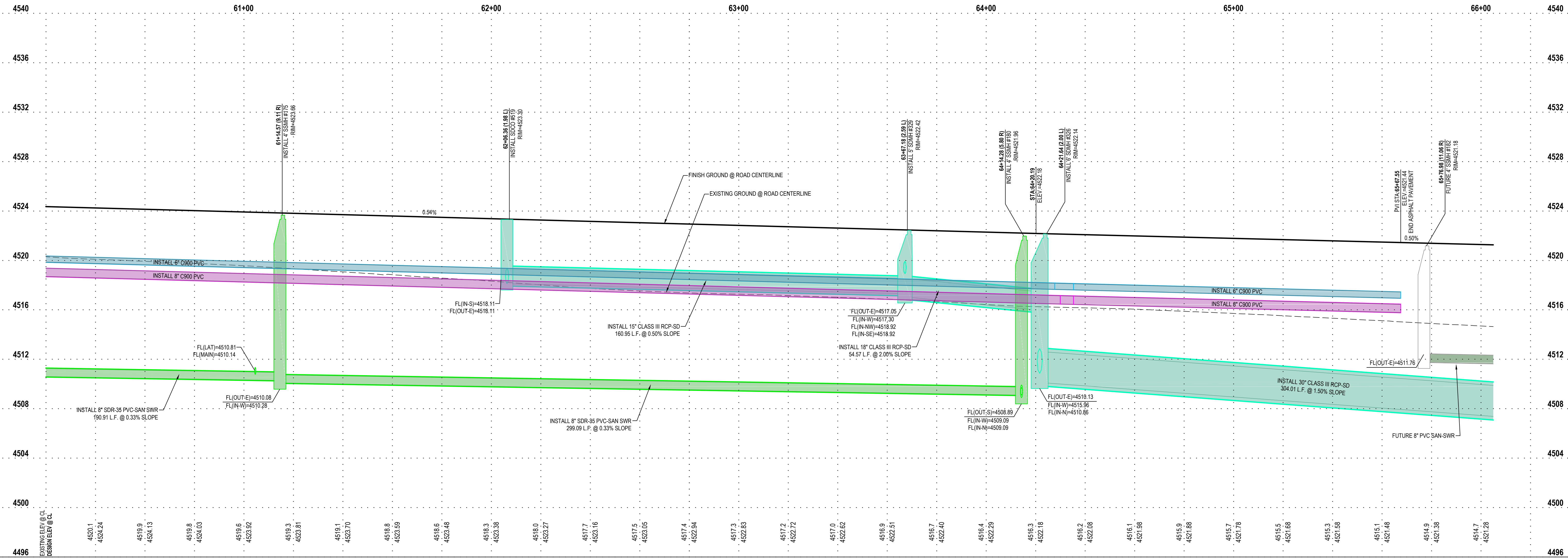
SCOPE OF WORK:

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 - INSTALL 6" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
 - EXISTING 8" C-900 DR-18 PVC POTABLE WATERLINE.
 - EXISTING 12" C-900 DR-18 PVC PRESSURIZED IRRIGATION LINE.
 - INSTALL 20" WIDE ALL WEATHER ACCESS PER LEHI CITY STANDARD DRAWING RD-14.
 - INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.00% MINIMUM SLOPE PER LEHI CITY STANDARDS AND SPECIFICATIONS.
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 - INSTALL 1" IPS POLY PRESSURE IRRIGATION SERVICE CONNECTION PER LEHI CITY STANDARD DRAWING WT-08.

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- INSTALL 45° BEND.
- INSTALL BELL JOINT RESTRAINTS ON LAST 80' OF DEAD END PRESSURIZED CULINARY AND IRRIGATION WATER LINES.
- INSTALL 22.5° BEND.



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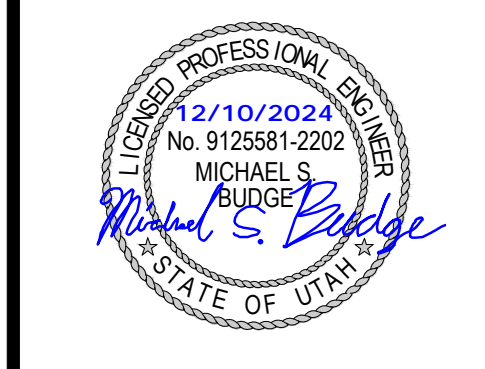
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CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**

**3600 WEST 1500 NORTH
LEHI, UTAH**



**PLAN AND PROFILE
1100 NORTH**

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.



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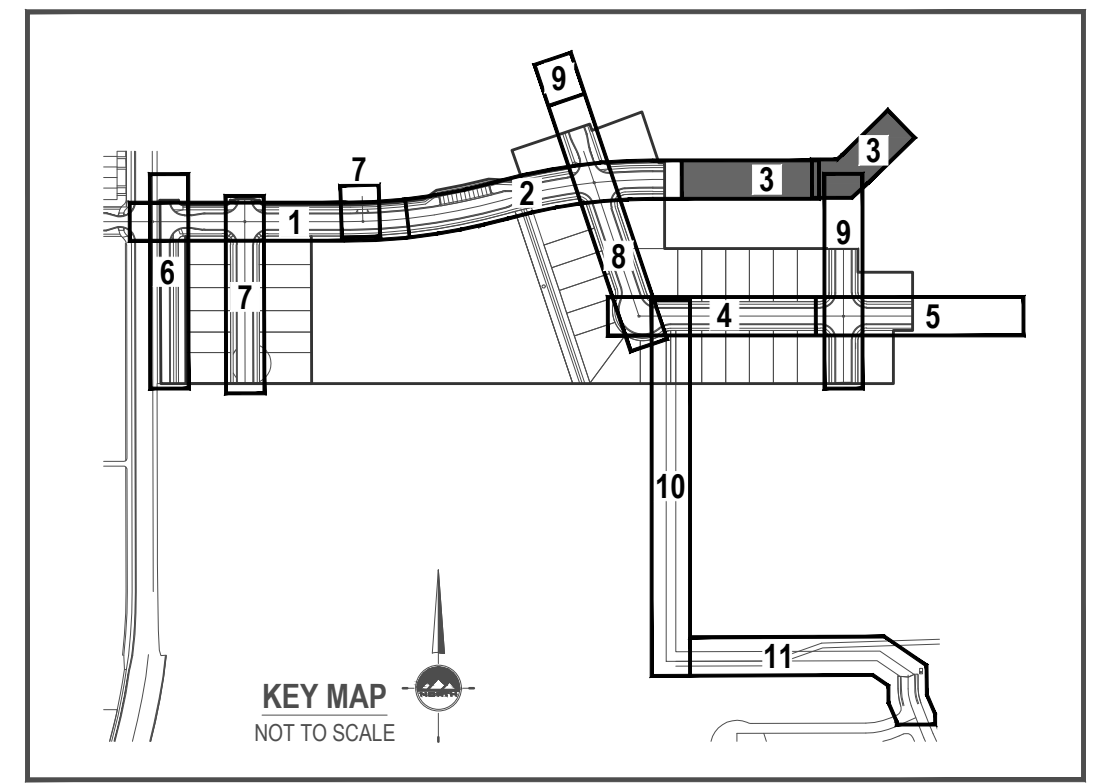
BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

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- INSTALL 2" BLOW OFF AT DEAD END WITH TRAFFIC PROTECTION PER LEHI CITY STANDARD DRAWING WT-03. MAINTAIN 3' SEPARATION EDGE TO EDGE FROM FIRE HYDRANT. PLUS, CAP, AND MARK FOR FUTURE USE. SEE SHEET C-610.
- INSTALL 2" PRESSURIZED IRRIGATION TEMPORARY BLOW OFF VALVE AND CONNECT TO EXISTING 8" PRESSURIZED IRRIGATION LINE PER LEHI CITY STANDARDS. PLUS, CAP, AND MARK FOR FUTURE USE.
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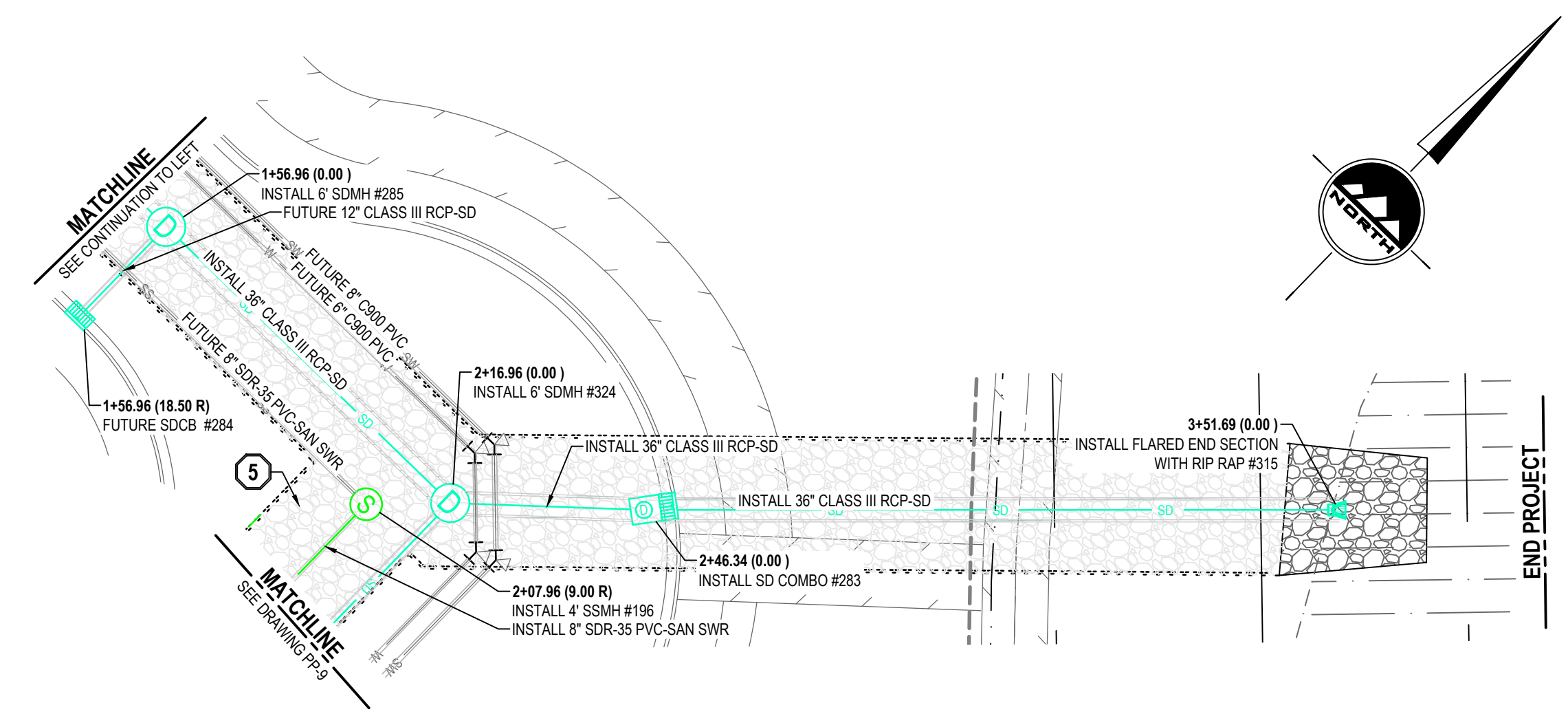
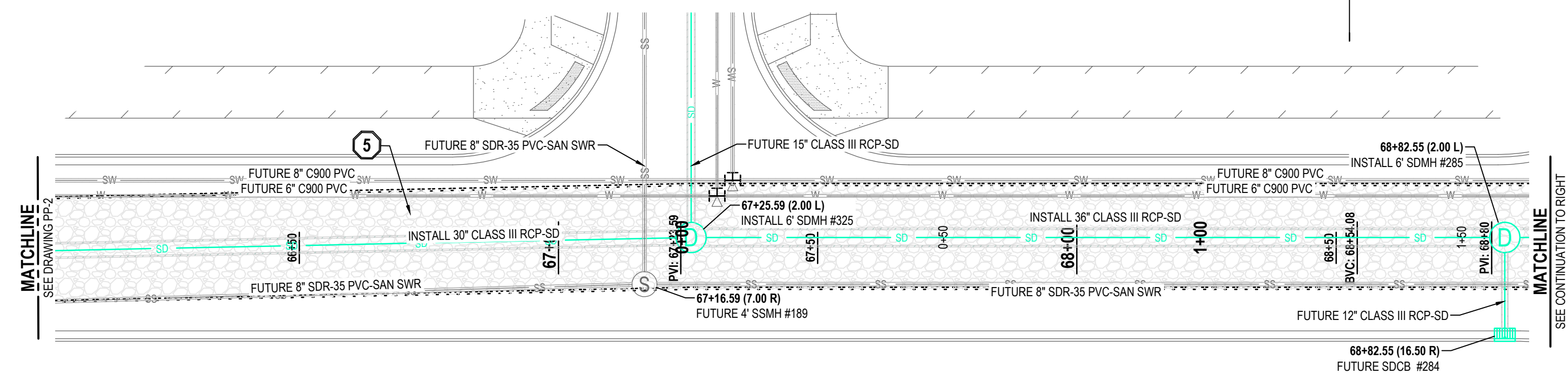
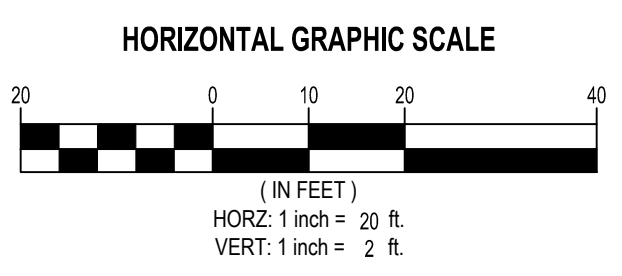
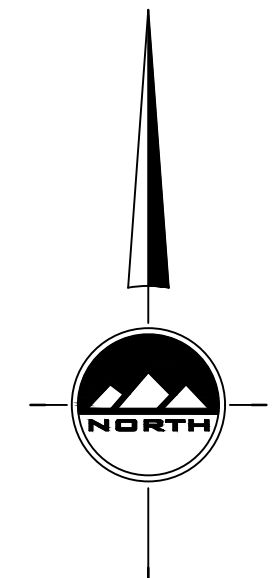
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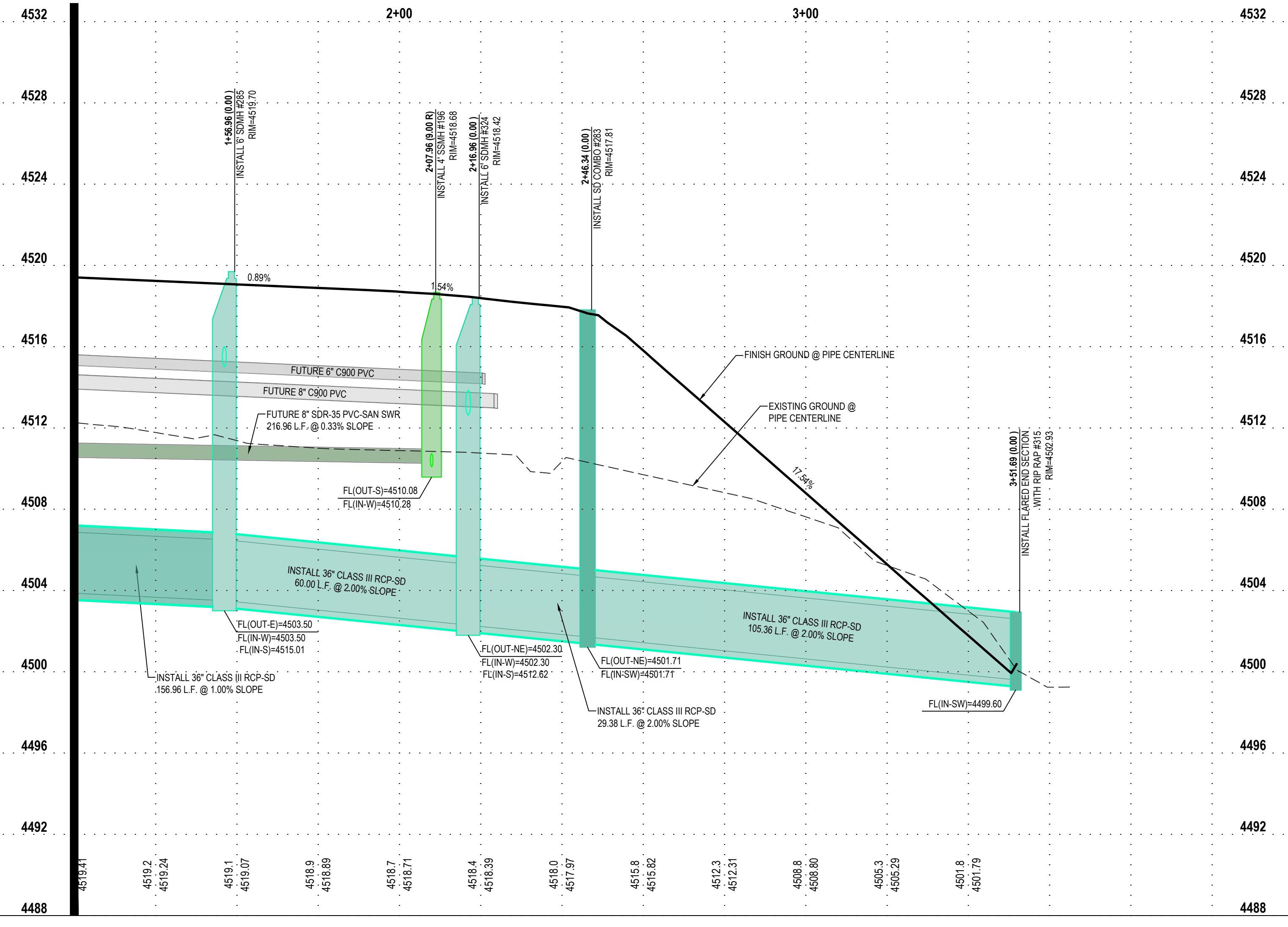
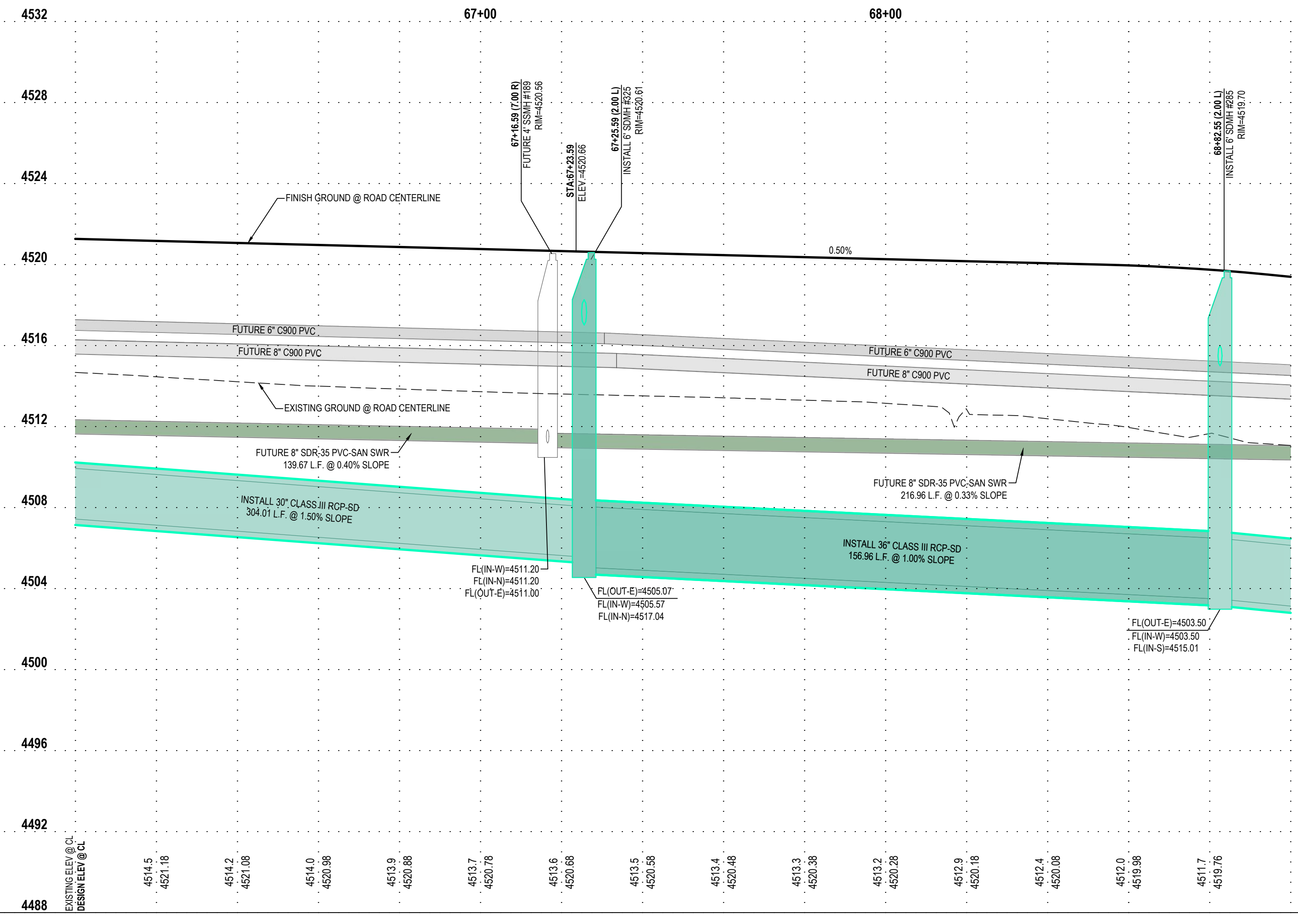
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PHONE: 801-494-0150

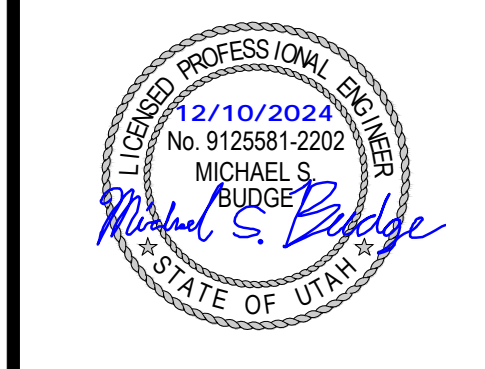


1100 NORTH

OFFSITE STORM DRAIN



RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH



PLAN AND PROFILE
1100 NORTH AND
OFFSITE STORM DRAIN

PROJECT NUMBER: 8069EE
PROJECT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

PP-3



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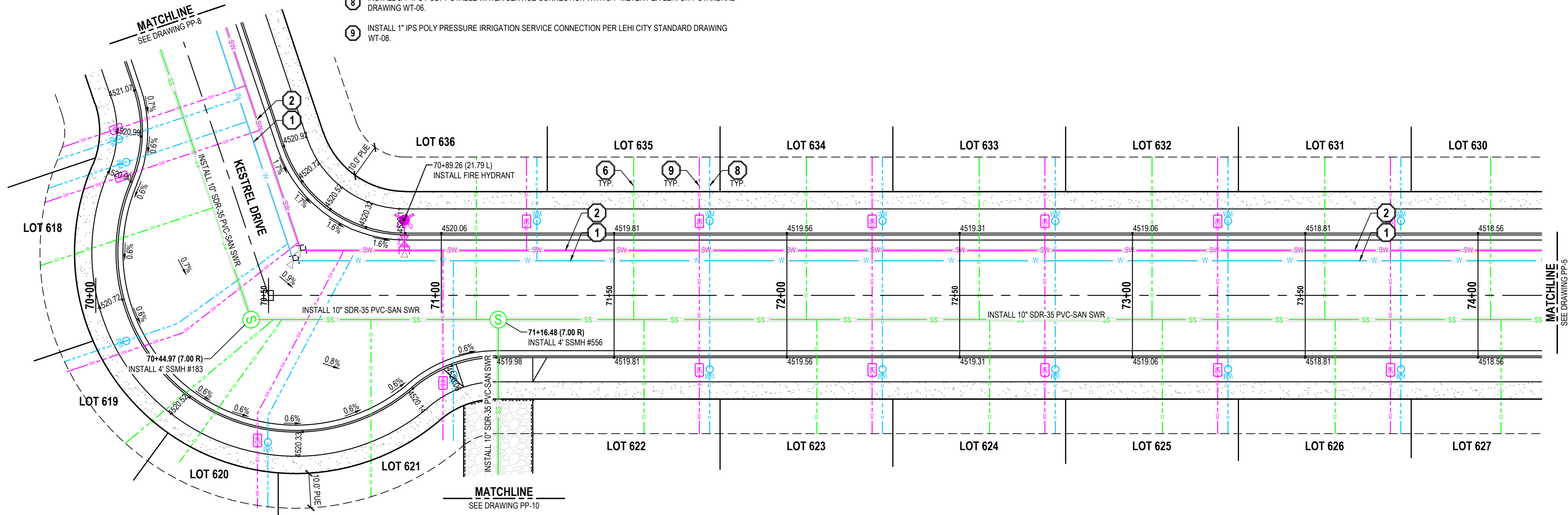
BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

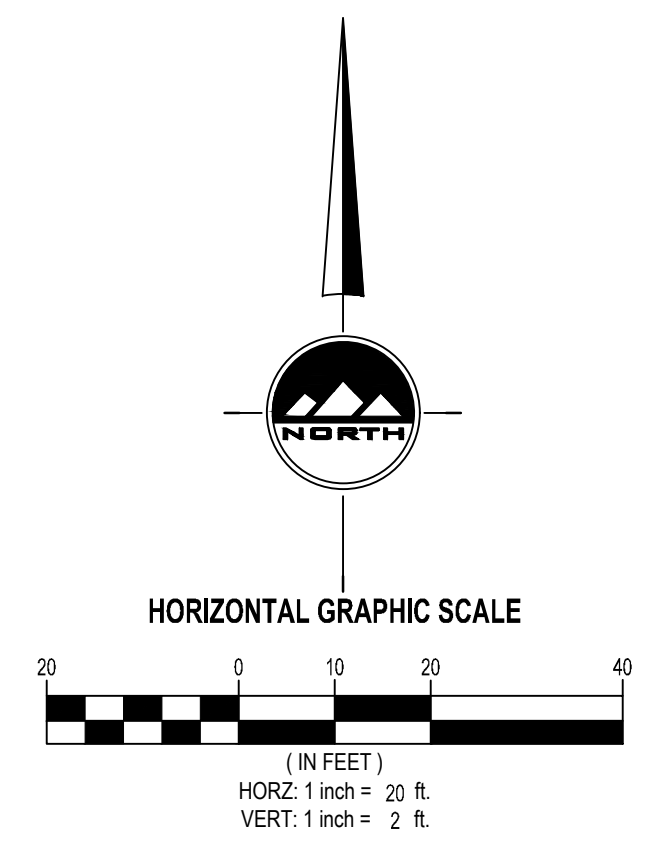
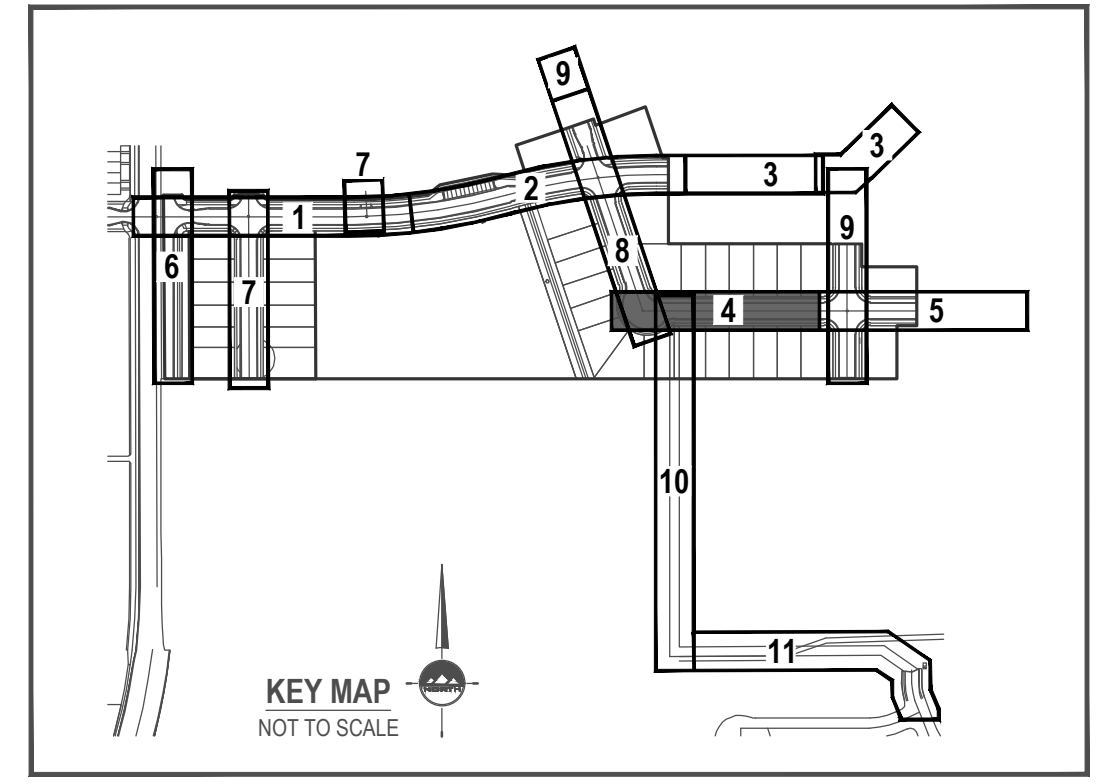
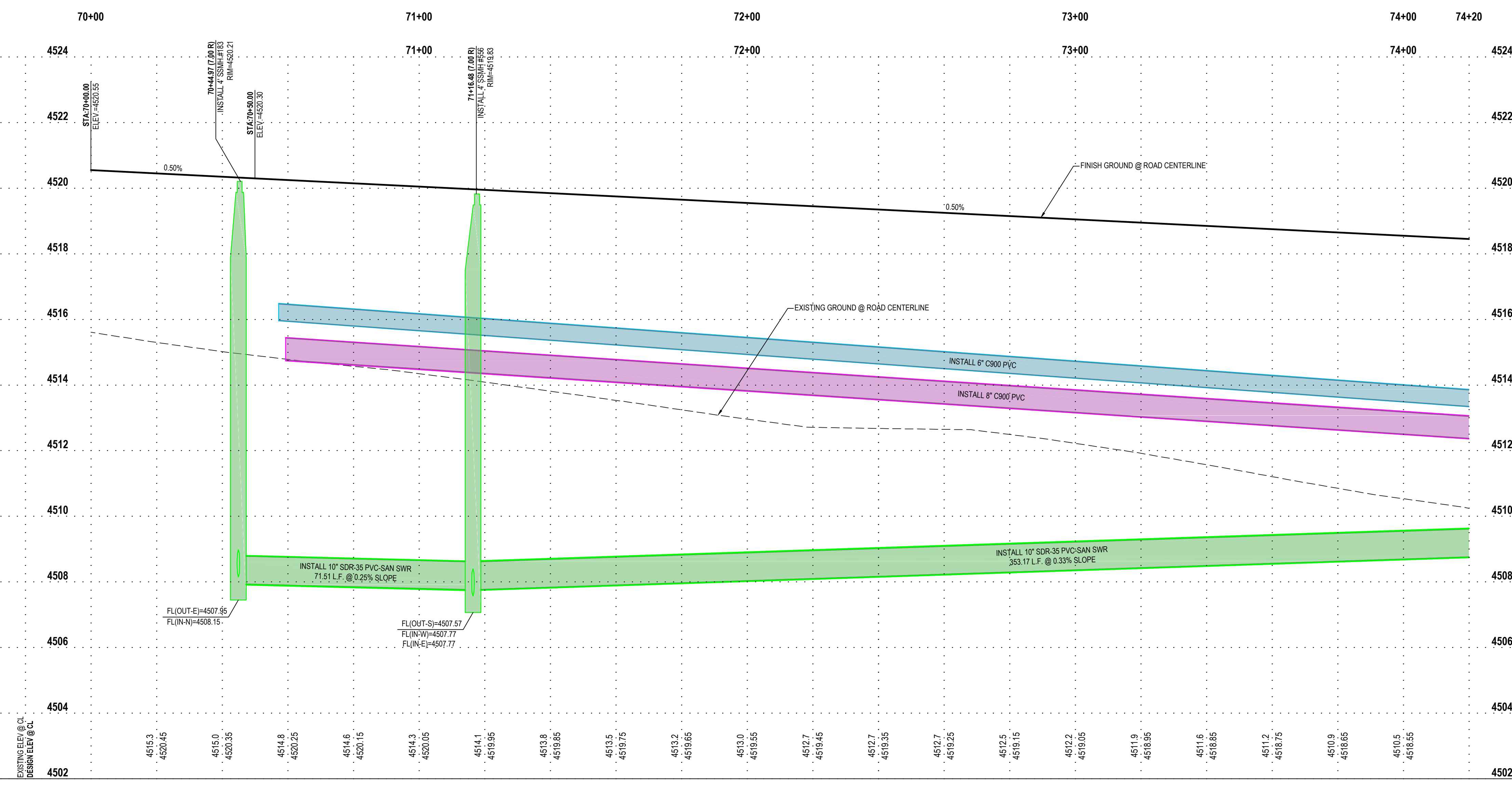
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1050 NORTH



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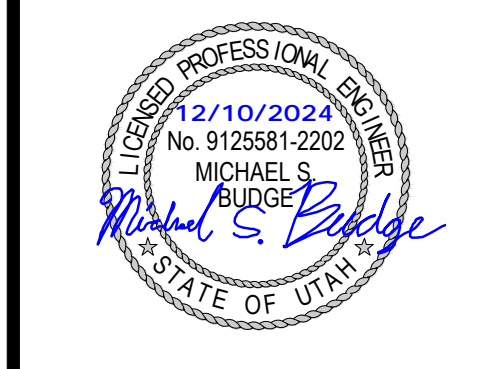
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CONTACT:
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PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
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PLAN AND PROFILE
1050 NORTH

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M.B.

PRINT DATE: 2024-12-10
DESIGNED BY: C.O.

PP-4



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BENCHMARK

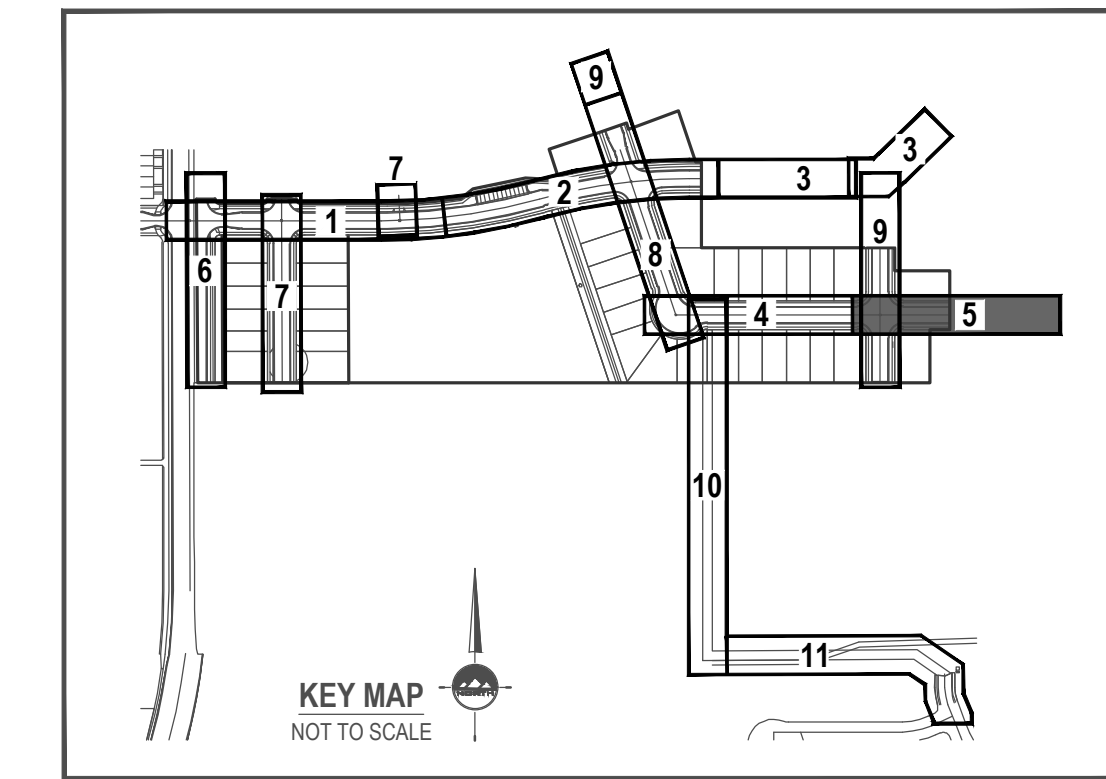
EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

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- 17 INSTALL 22.5" BEND.



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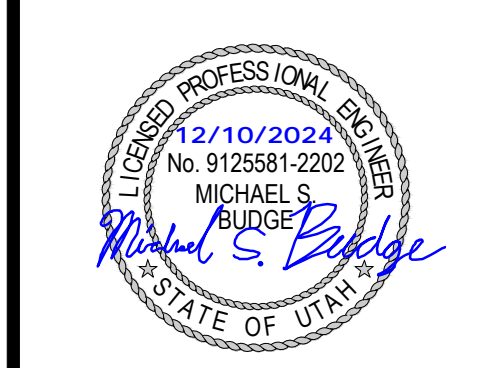
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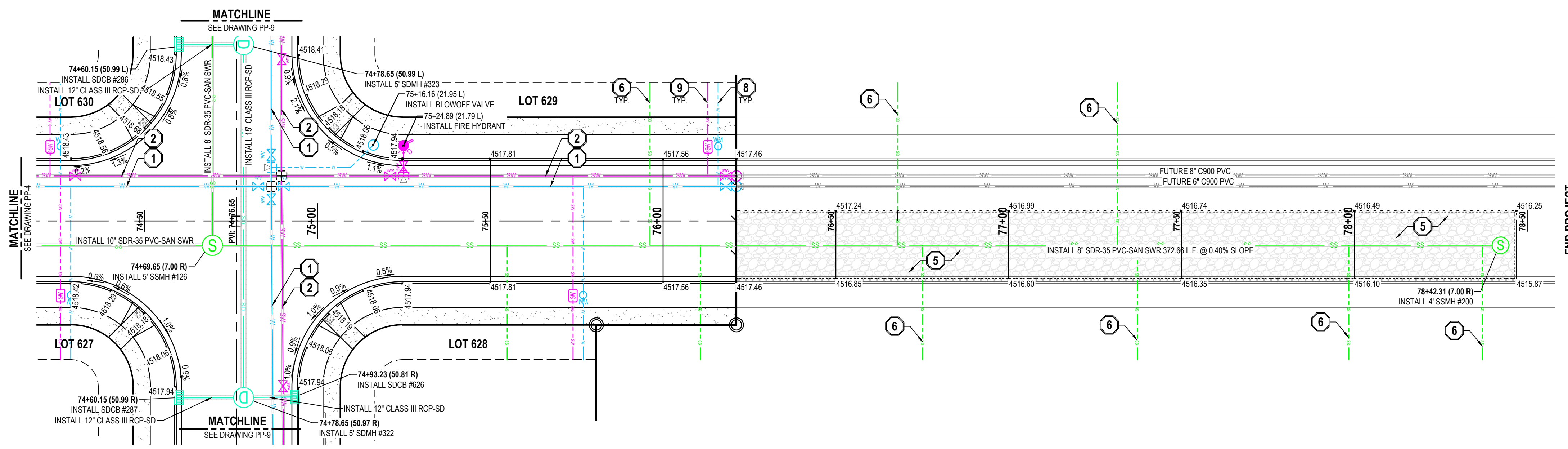
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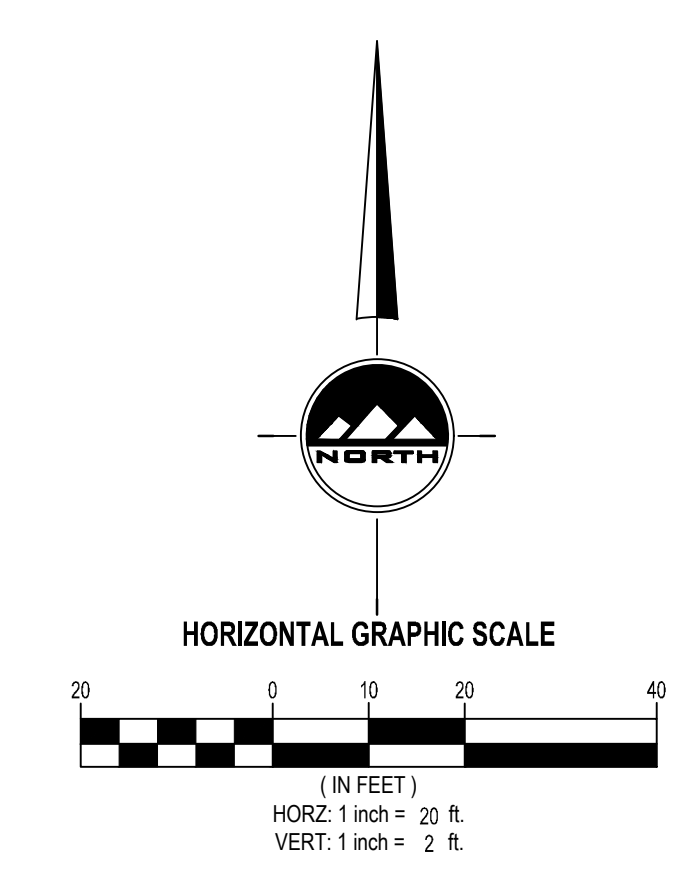
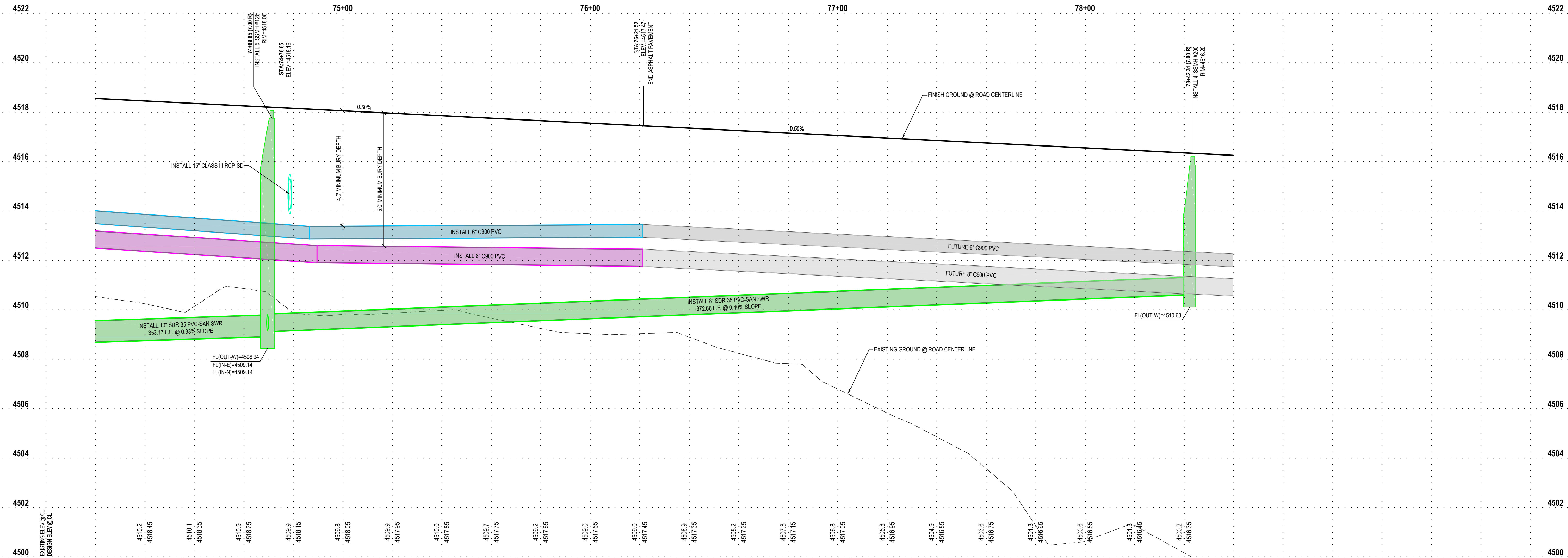
PLAN AND PROFILE
1050 NORTH

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
PROJECT MANAGER: M.B. DESIGNED BY: C.O.

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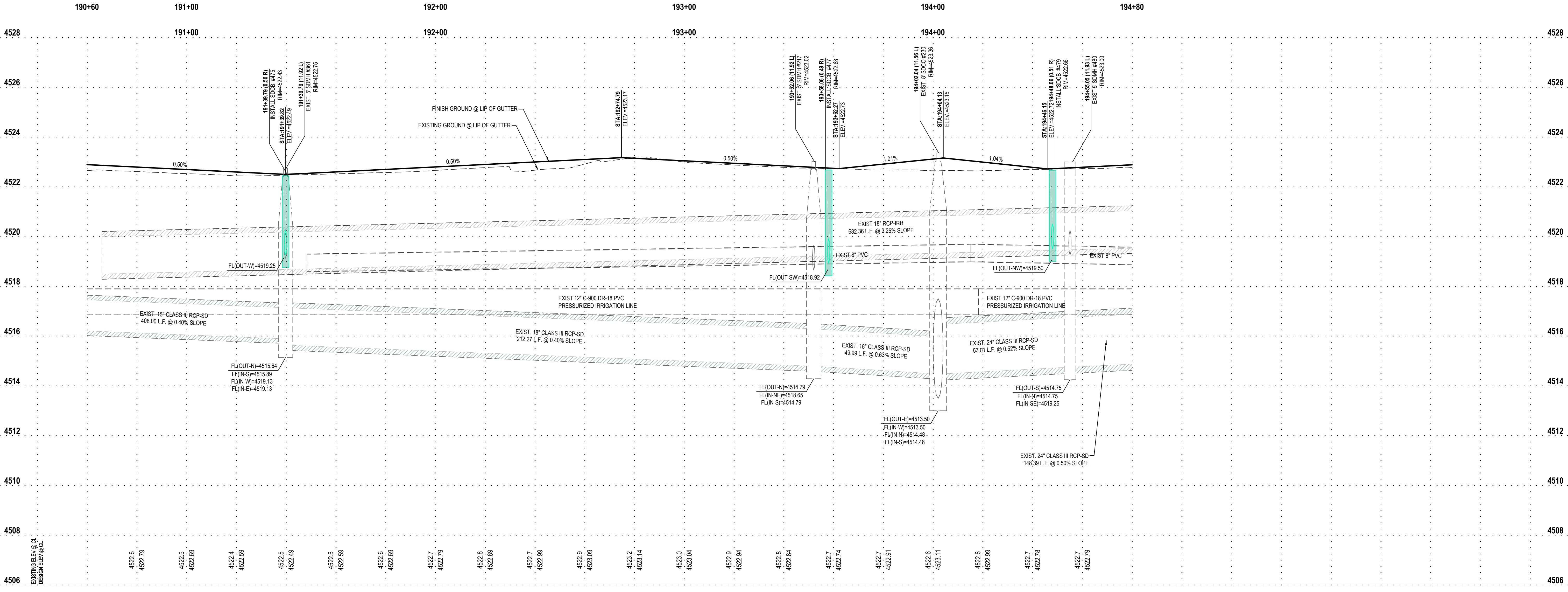
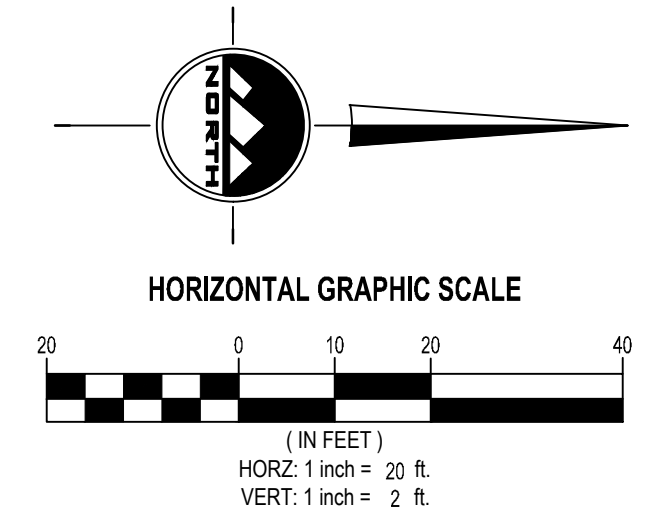
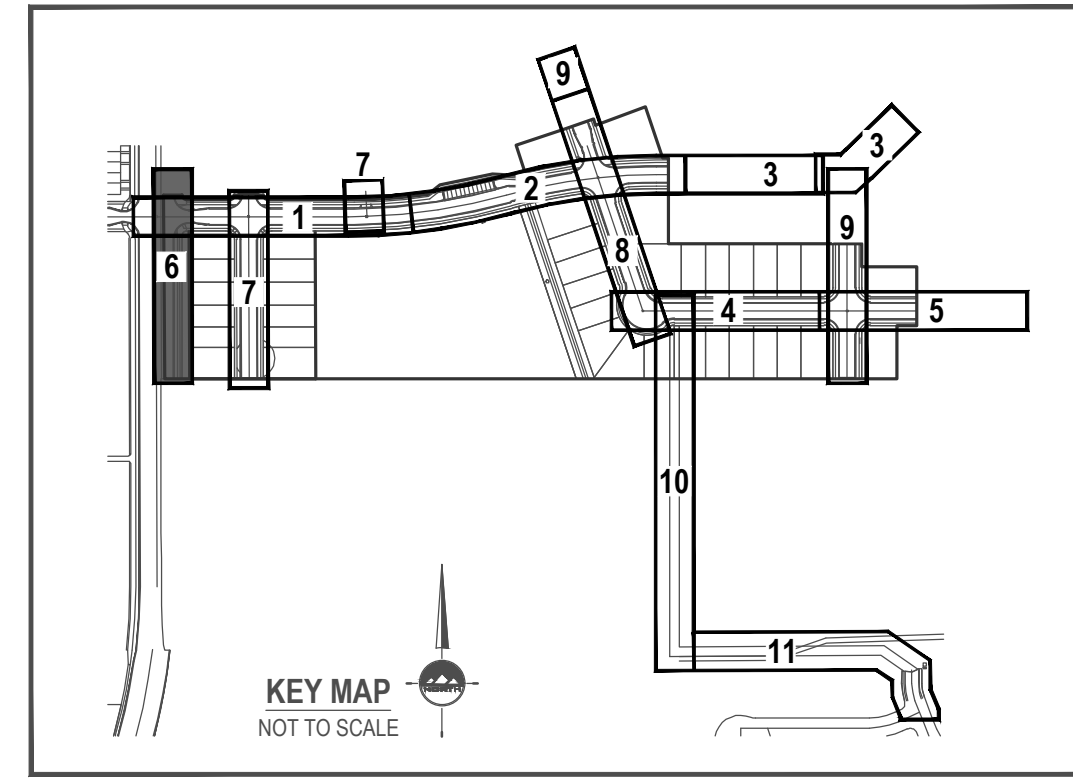
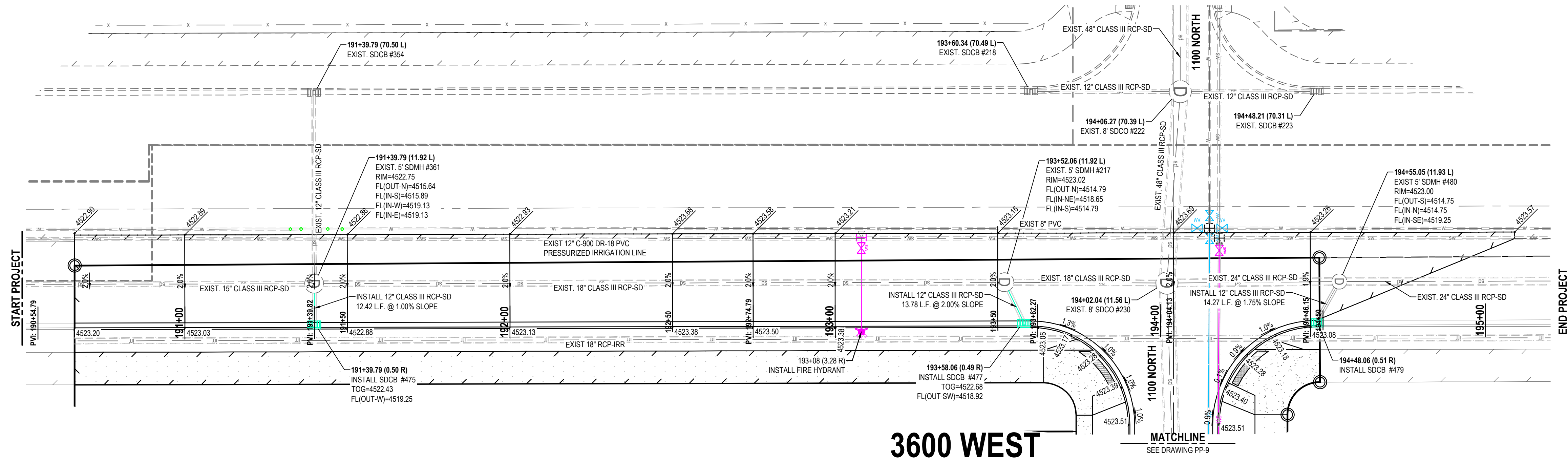
EAST QUARTER CORNER
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PLAN AND PROFILE
3600 WEST

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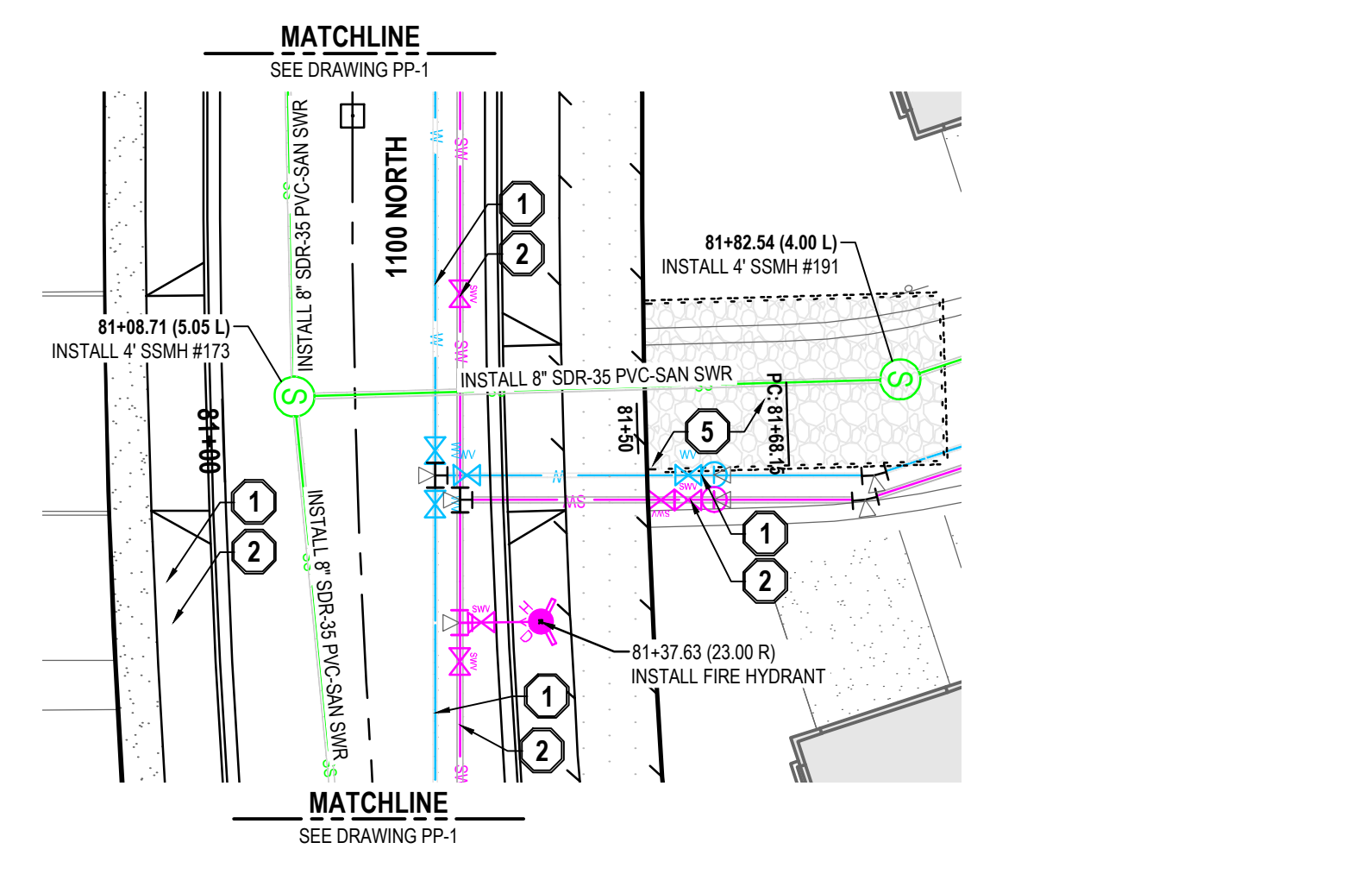
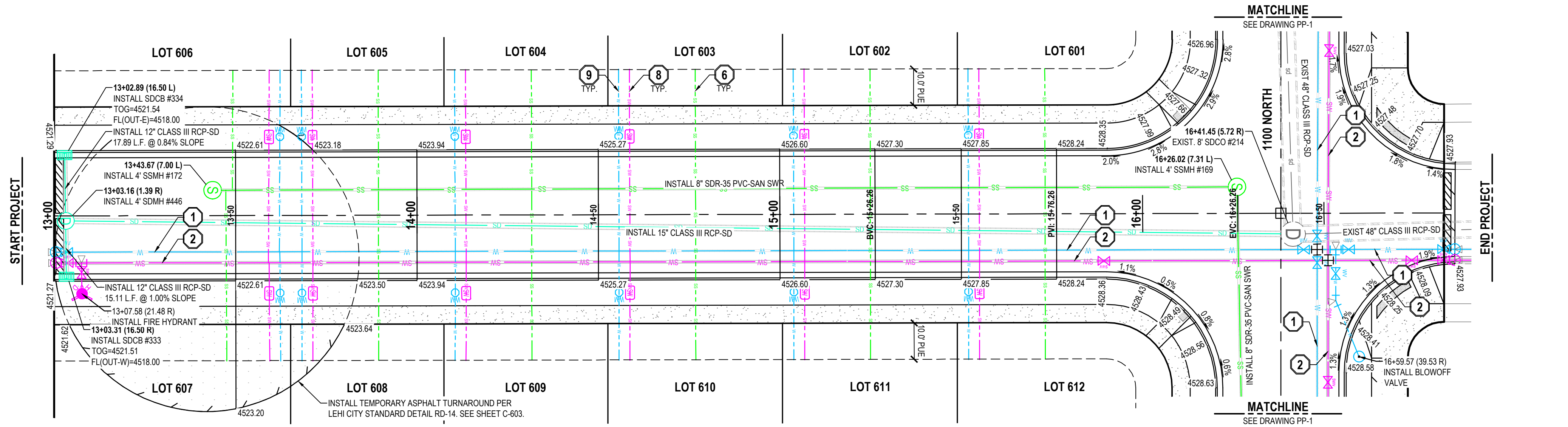
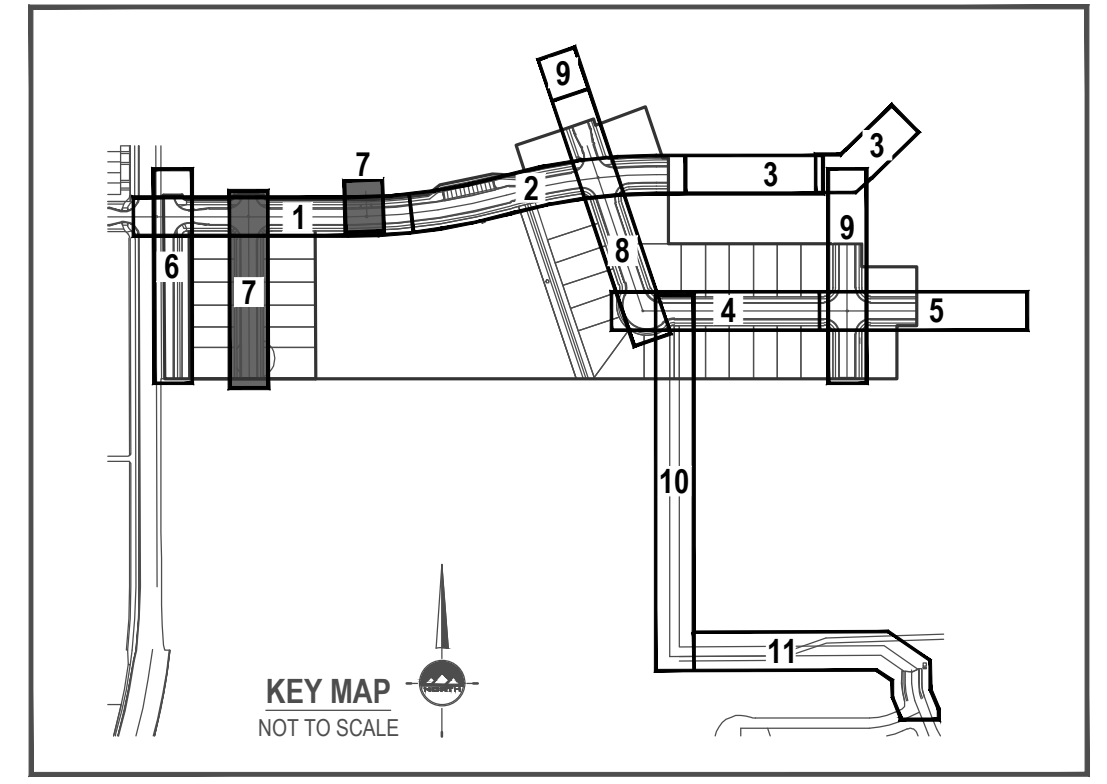
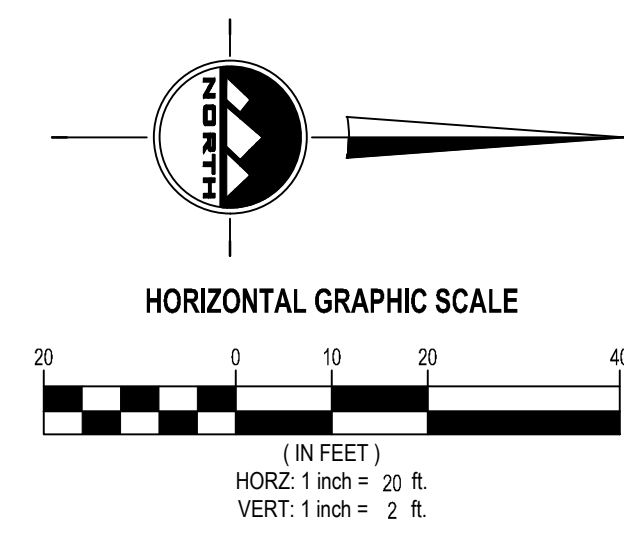
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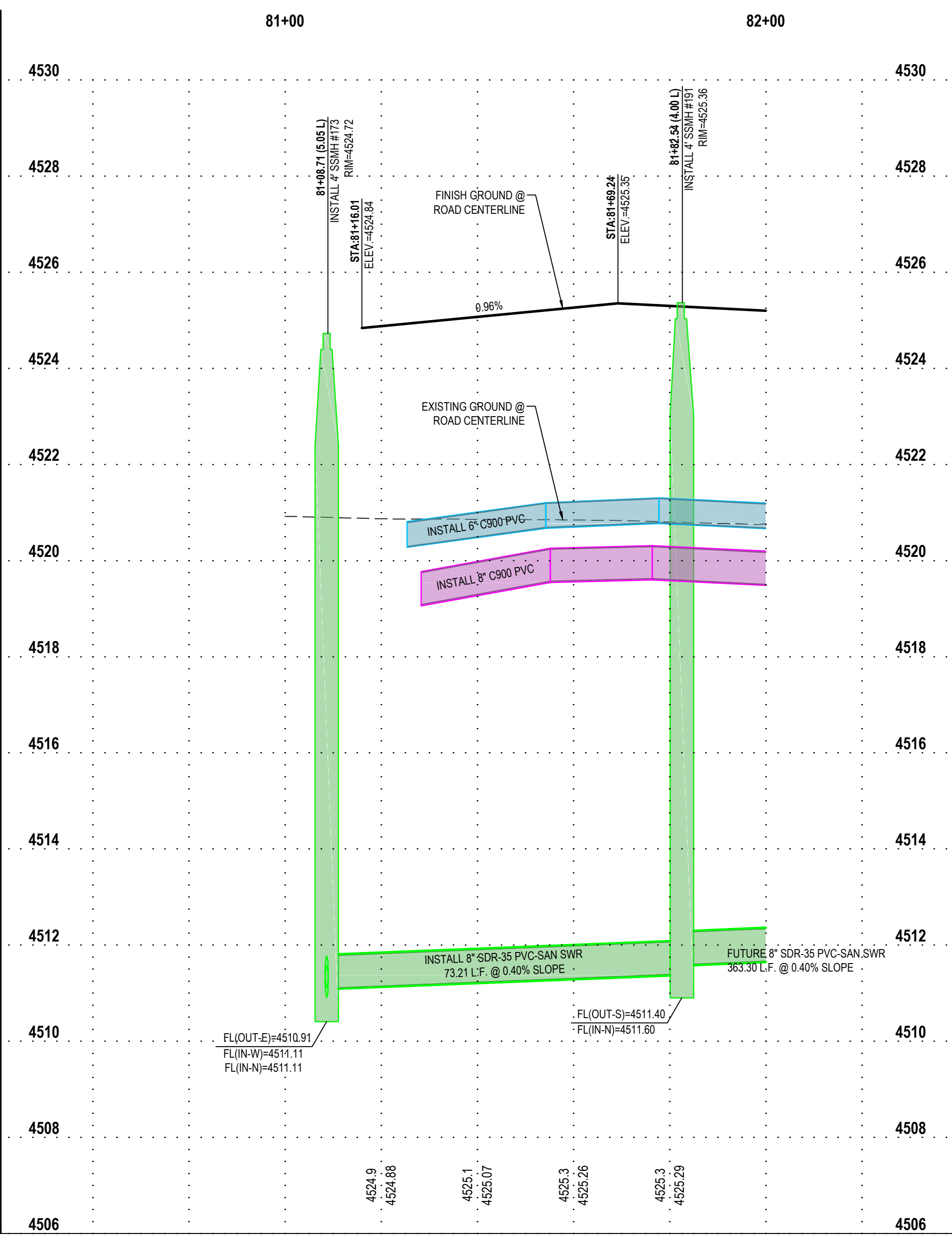
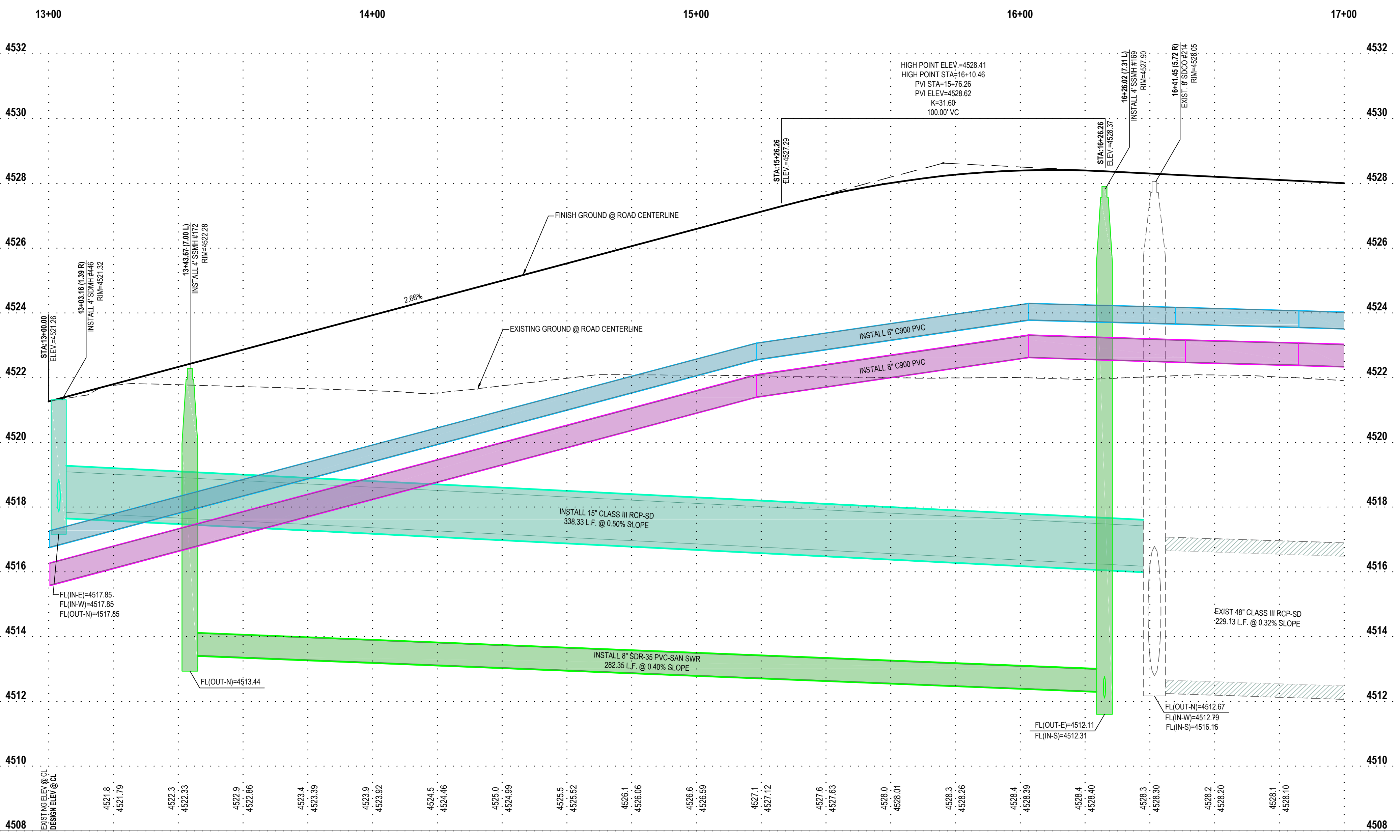
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- INSTALL 45° BEND.
- INSTALL BELL JOINT RESTRAINTS ON LAST 80' OF DEAD END PRESSURIZED CULINARY AND IRRIGATION WATER LINES.
- INSTALL 22.5° BEND.



3570 WEST

SEWER



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TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**



**PLAN AND PROFILE
3570 WEST AND SEWER**

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.



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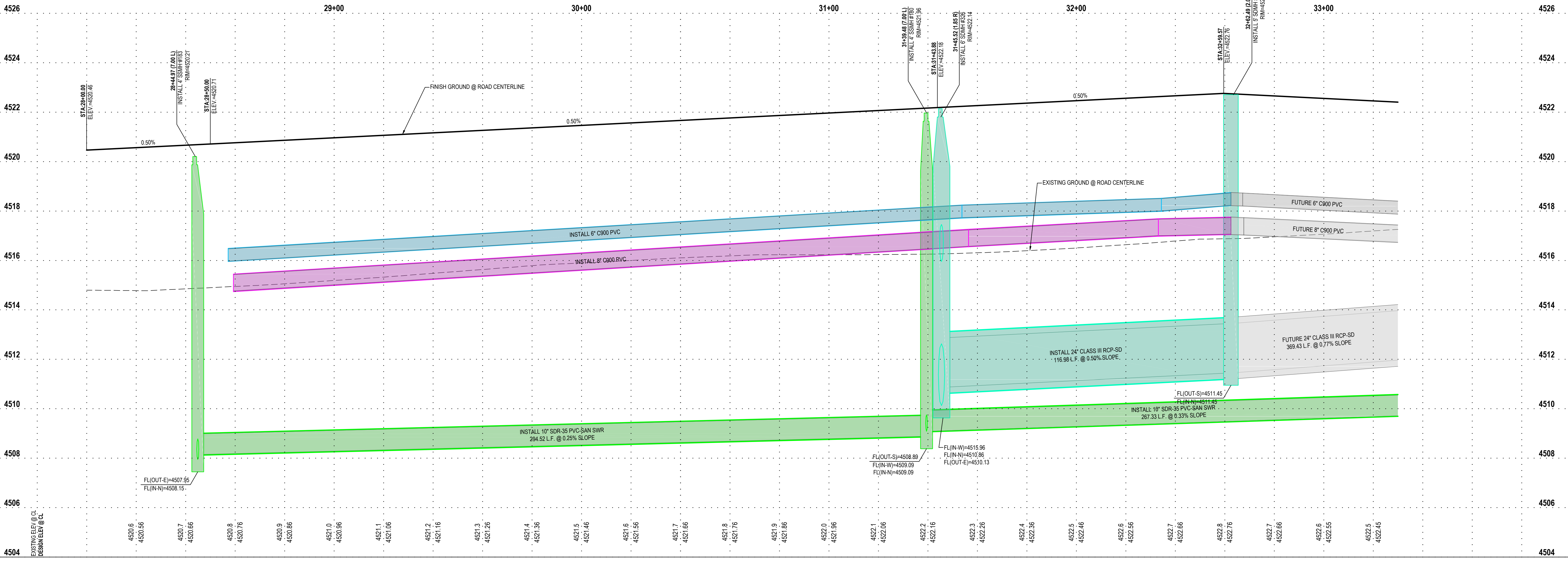
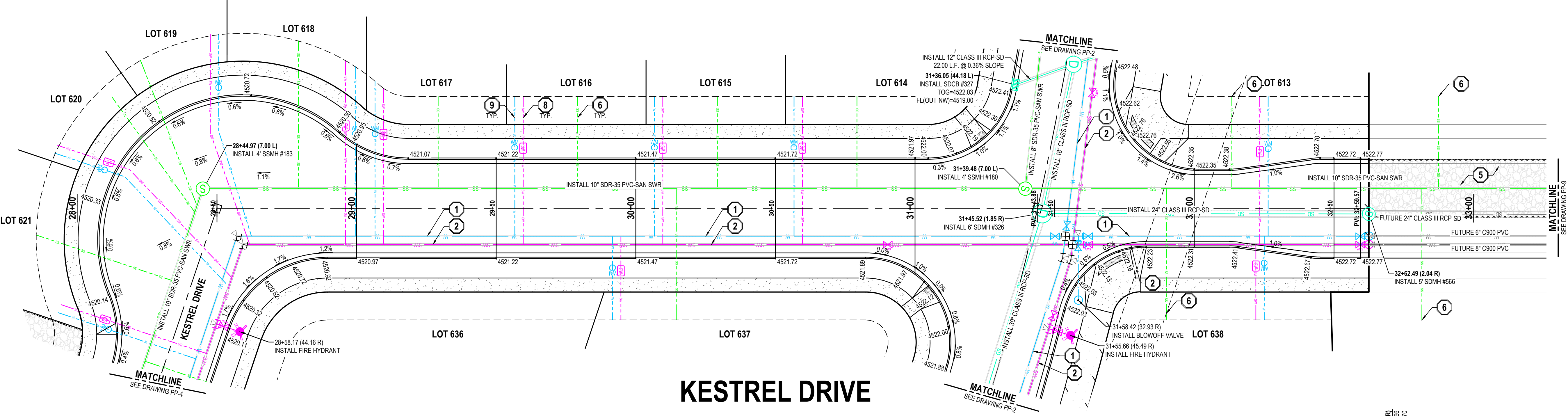
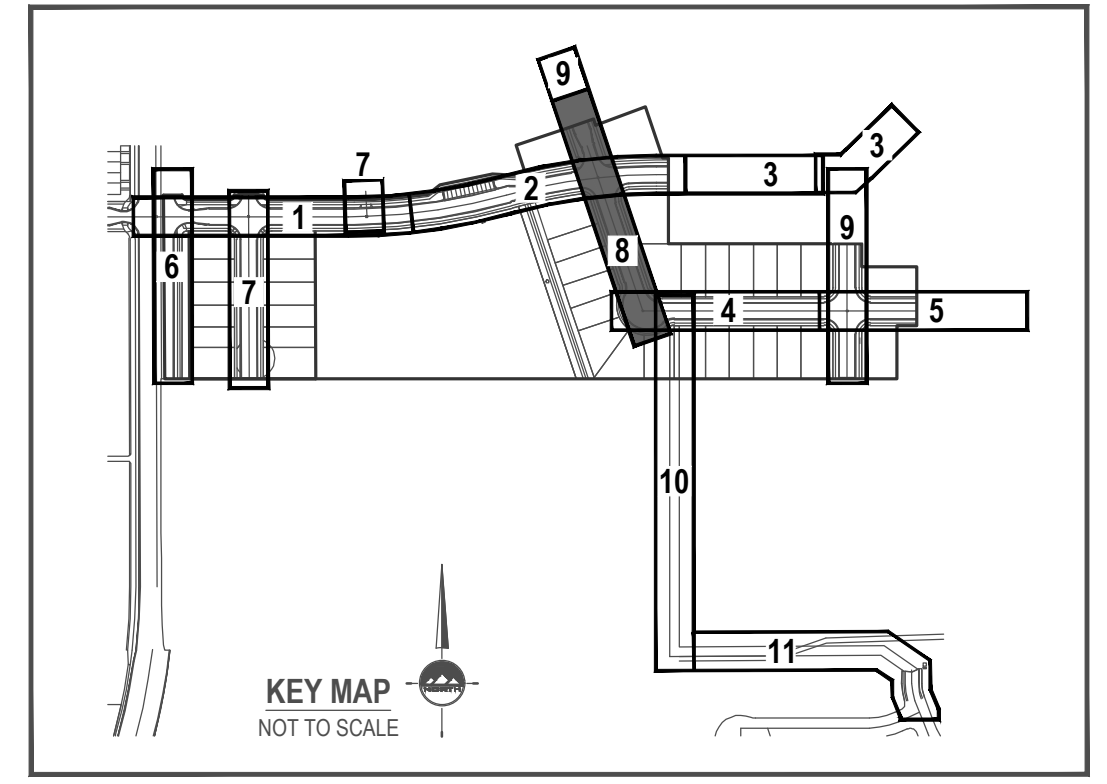
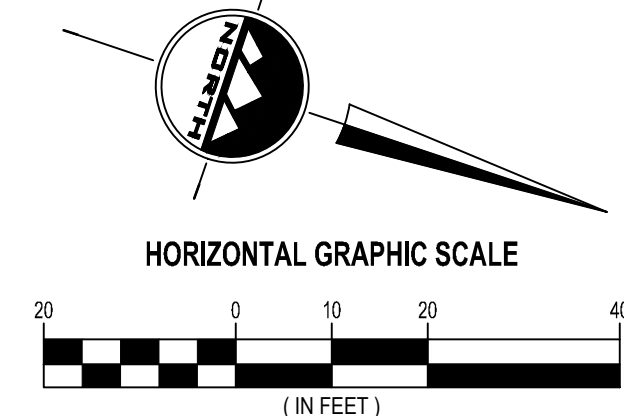
BENCHMARK

EAST QUARTER CORNER
SECTION 2
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

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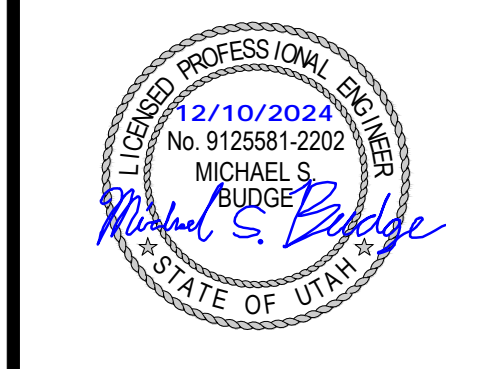
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CONTACT:
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PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**



**PLAN AND PROFILE
KESTREL DRIVE**

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.



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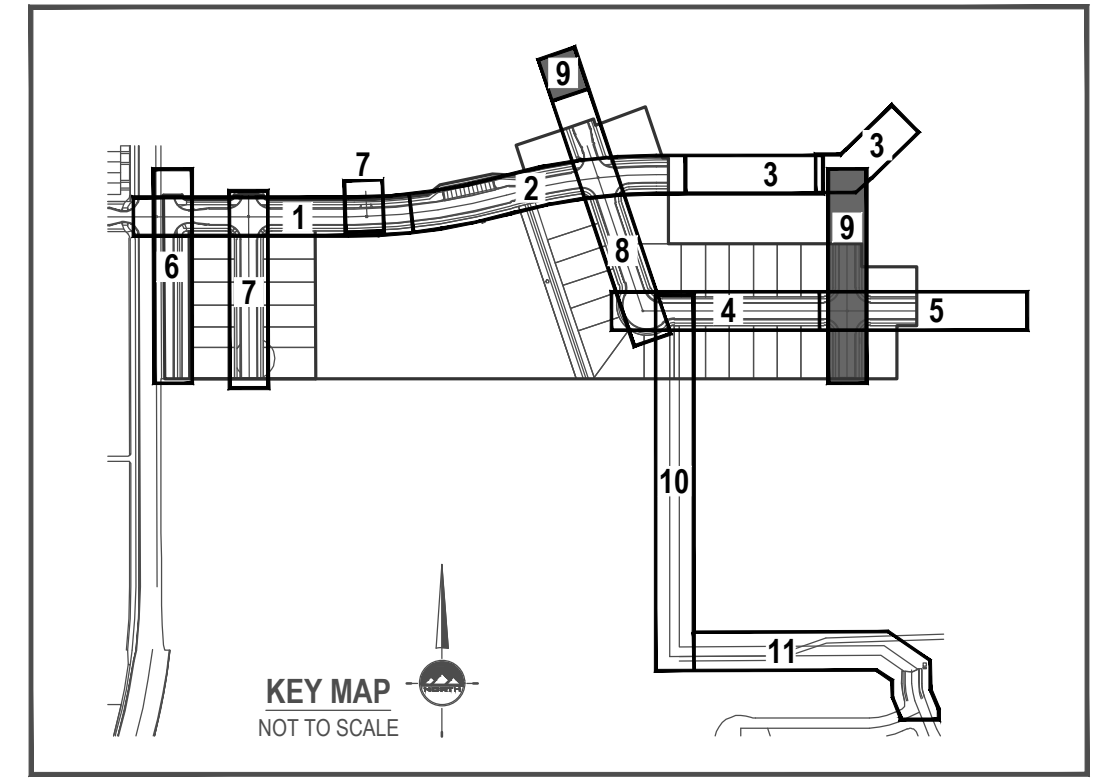
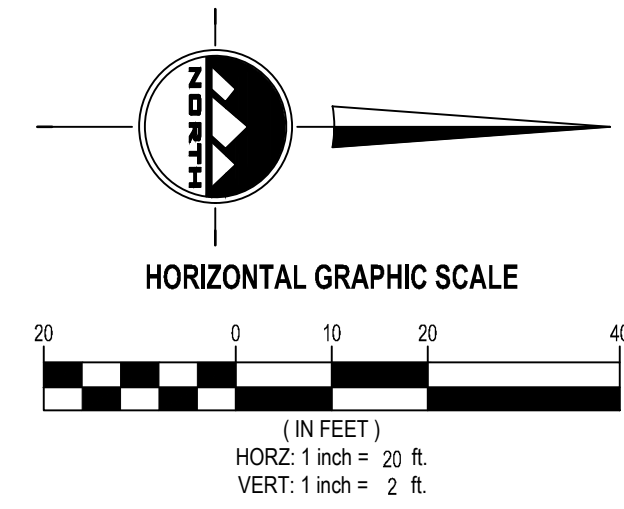
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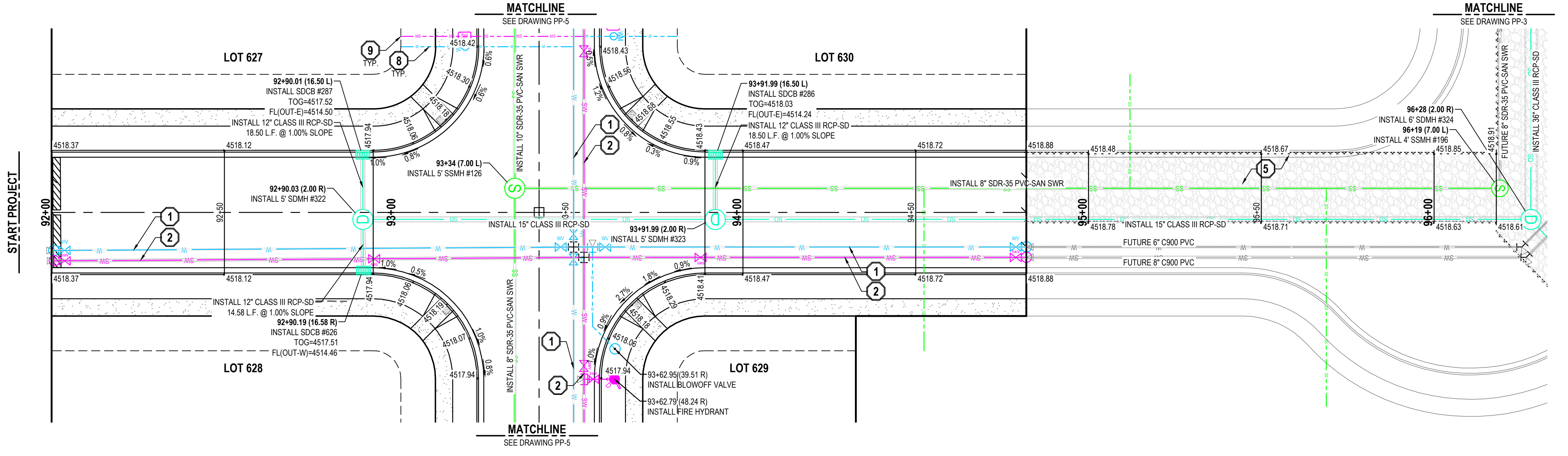
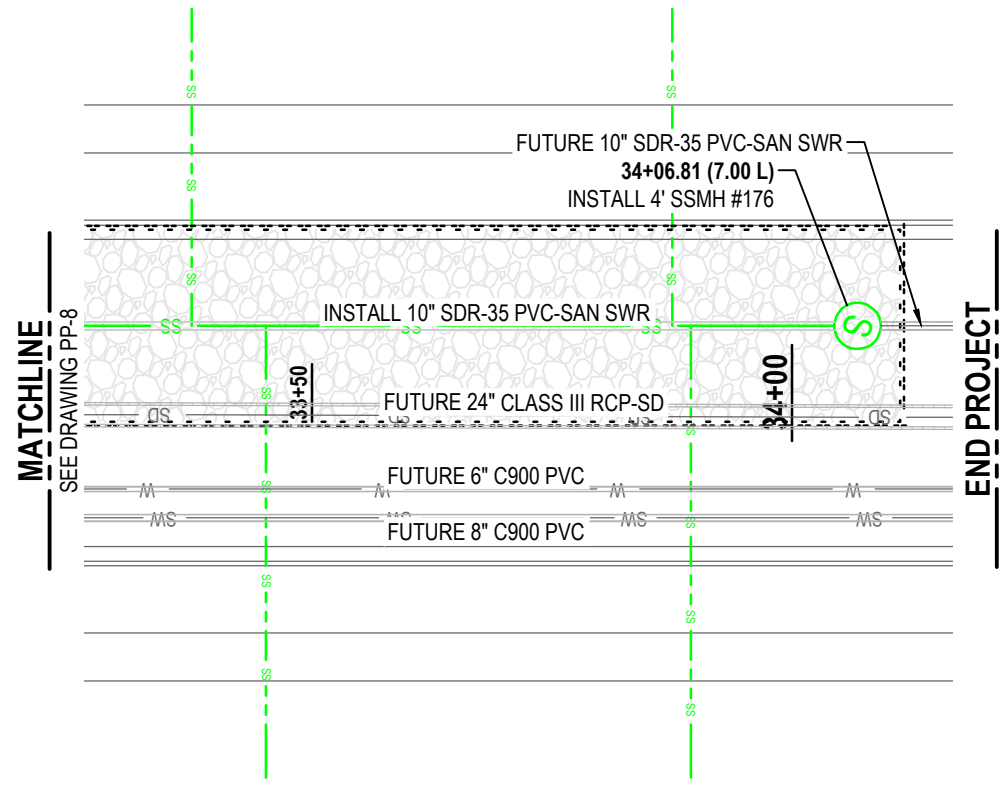
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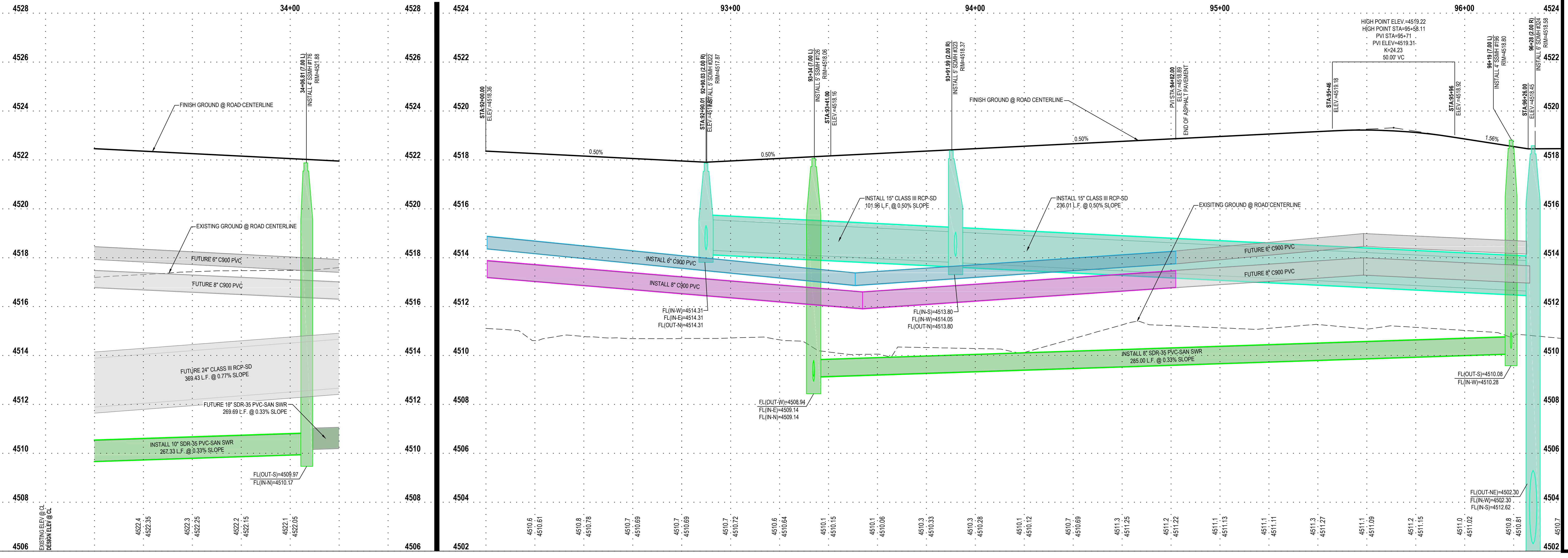
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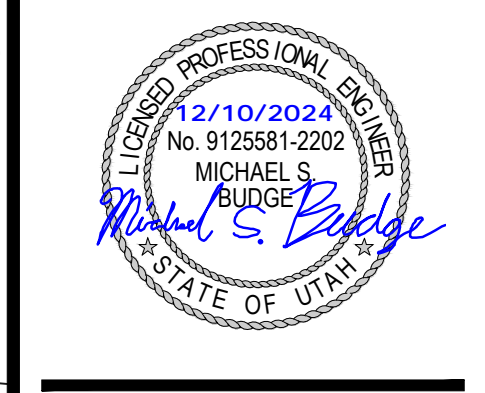


KESTREL DRIVE

3290 WEST



**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**
3600 WEST 1500 NORTH
LEHI, UTAH



**PLAN AND PROFILE
KESTREL DRIVE AND
3290 WEST**

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.



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SALT LAKE BASE & MERIDIAN
ELEVATION = 4536.22

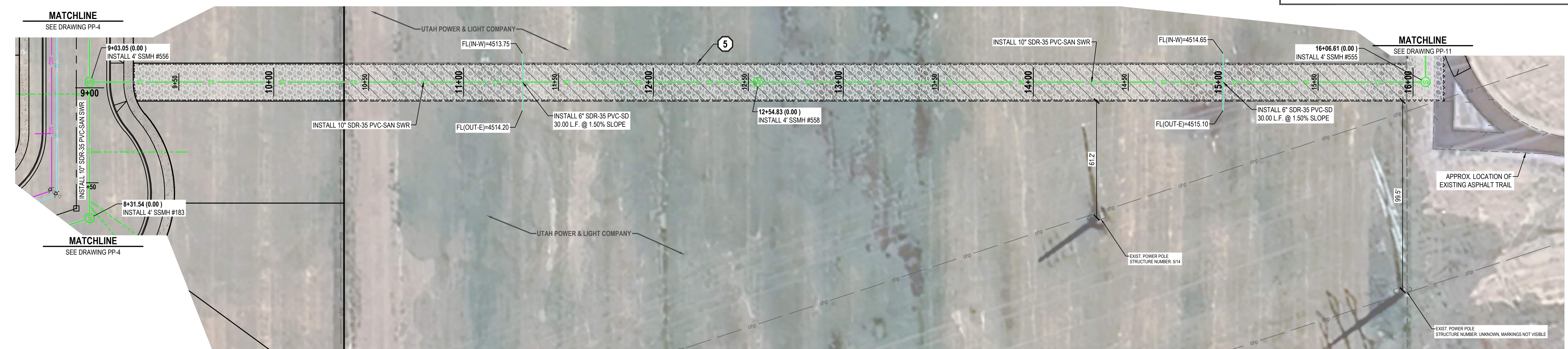
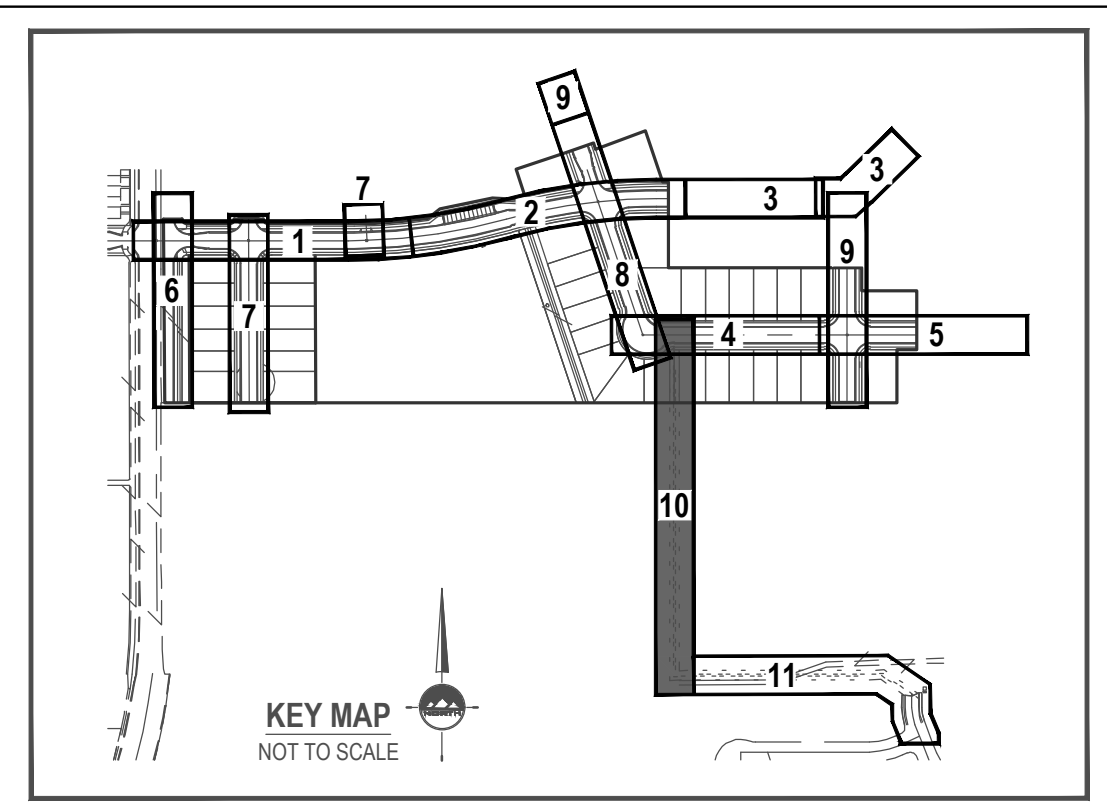
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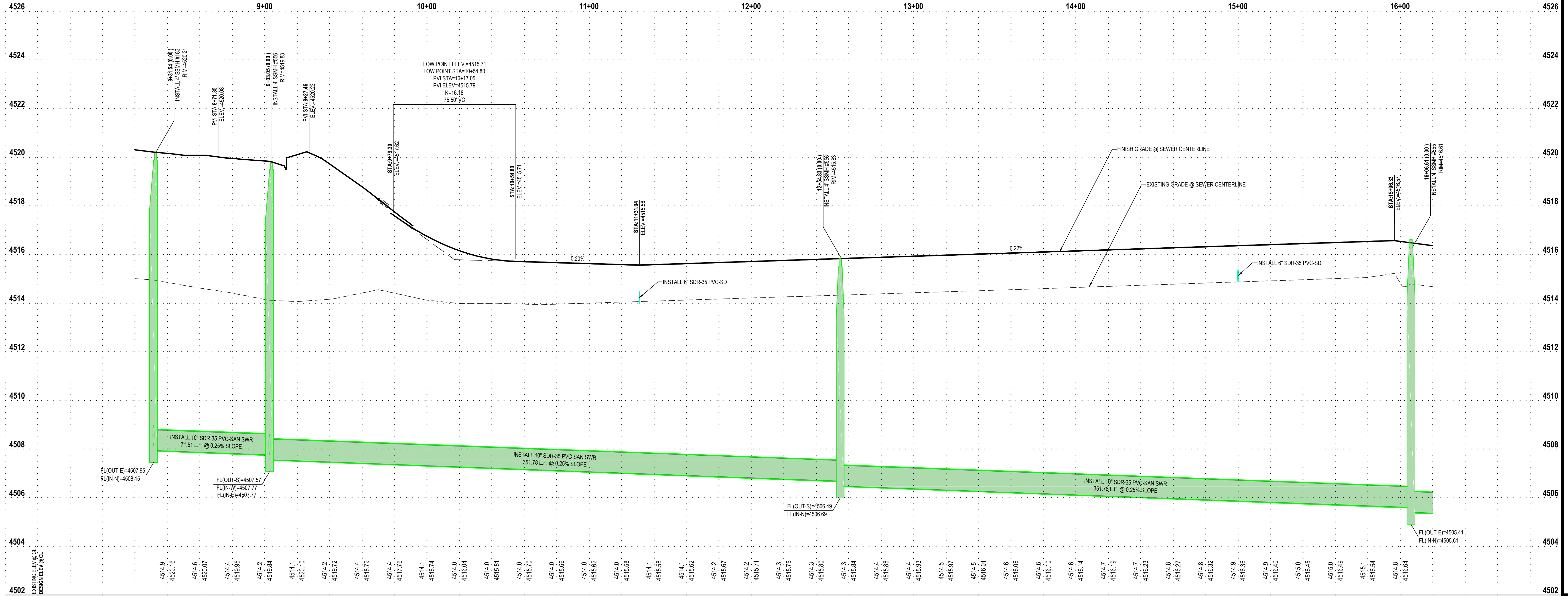
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**ROCKY MOUNTAIN POWER TRANSMISSION
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- NO VEGETATION OTHER THAN GRASS MAY BE ADDED WITHIN THE PARCEL.
- ANY CHANGES TO EXISTING GRADE SHOULD BE SENT TO RMP FOR PRIOR APPROVAL.
- POST-CONSTRUCTION GRADING SHOULD PROVIDE SUFFICIENT AND PROPER DRAINAGE SO THAT GROUND REMAINS STABLE ENOUGH TO SUPPORT EQUIPMENT WEIGHING MORE THAN 50 TONS TO ACCESS THE AREA FOR REPAIRS, MAINTENANCE, OR IMPROVEMENTS.
- ALL OSHA GUIDELINES FOR WORKING NEAR ENERGIZED TRANSMISSION LINES MUST BE FOLLOWED FOR THESE 138 AND 230KV LINES.
- ENERGIZED LINES MAY INDUCE ELECTRICAL CHARGE IN UNGROUNDED VEHICLES OR EQUIPMENT STATIONED BELOW. USE PROPER GROUNDING TECHNIQUES.



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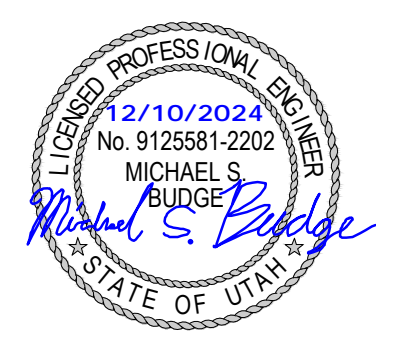
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CONTACT:
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PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**



**PLAN AND PROFILE
OFFSITE SEWER**

PROJECT NUMBER: 8069EE
PROJECT MANAGER: M. B.

PRINT DATE: 2024-12-10
DESIGNED BY: C. O.

PP-10



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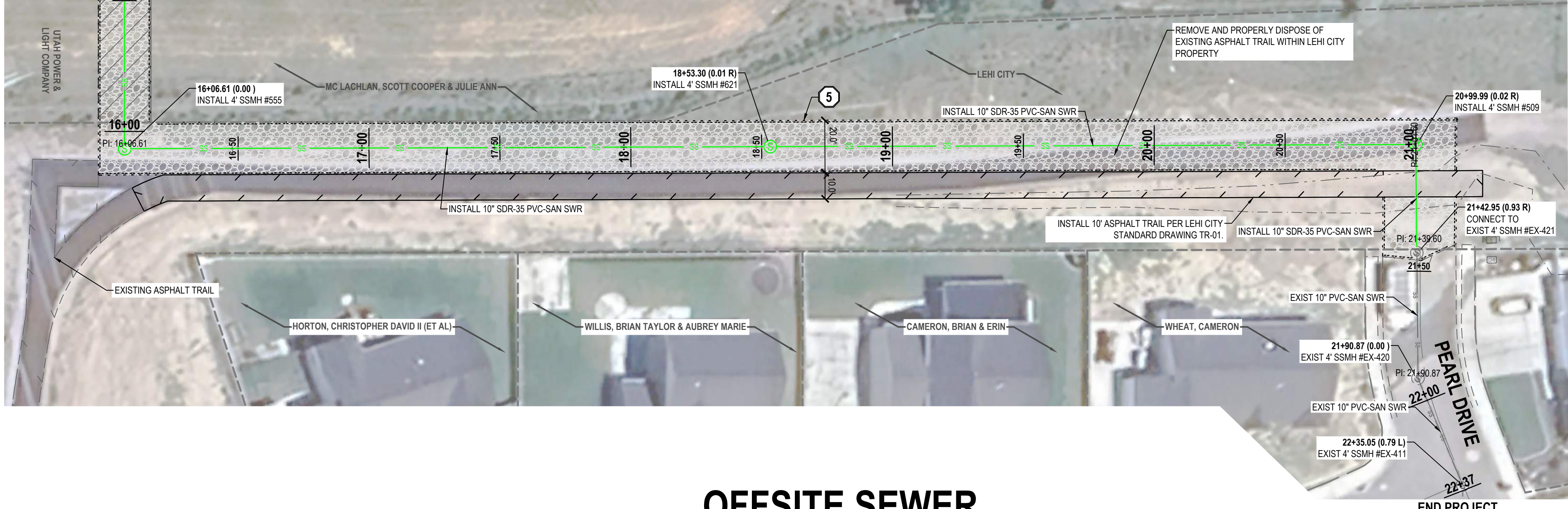
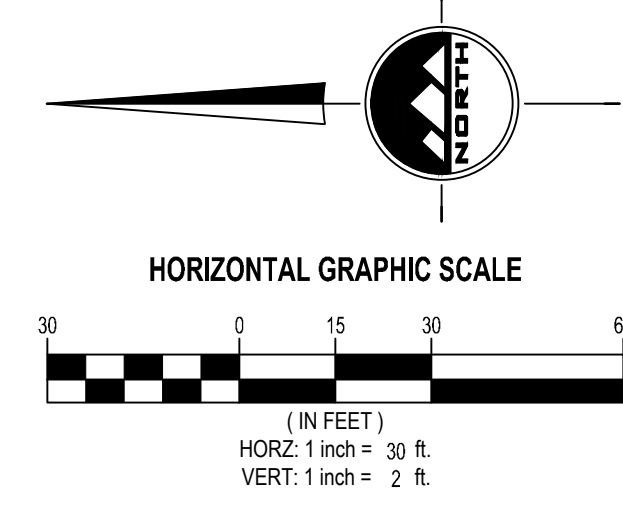
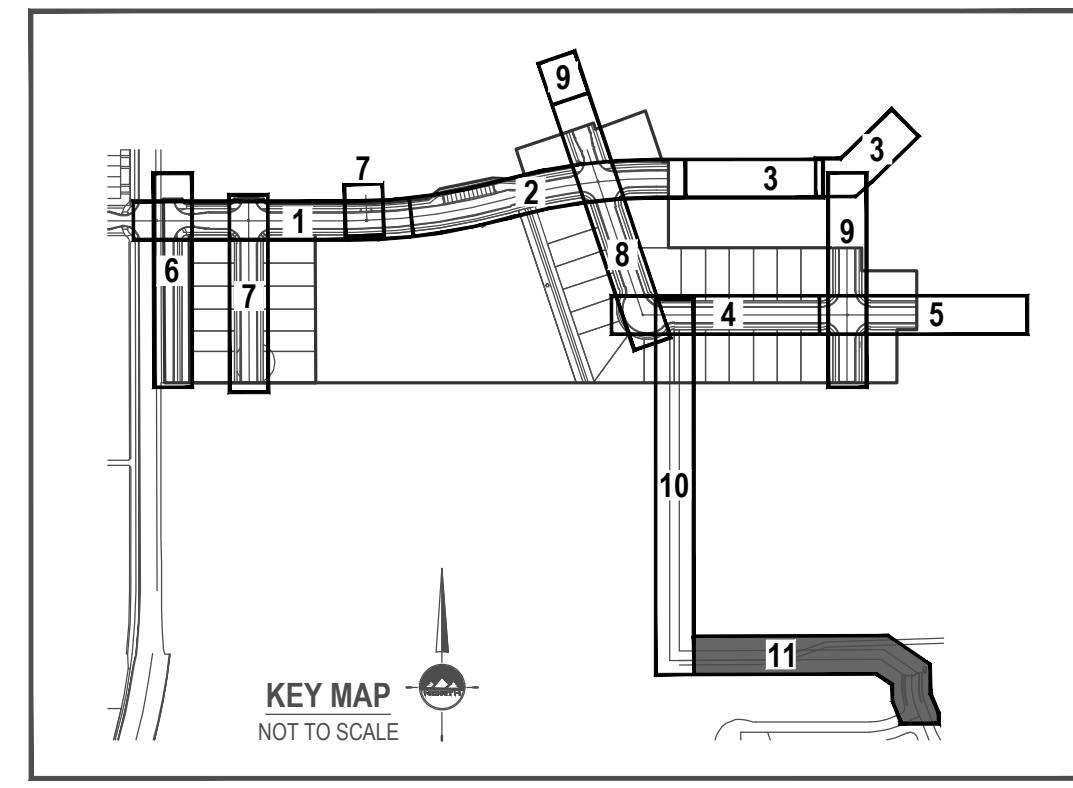
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MATCHLINE
SEE DRAWING PP-10

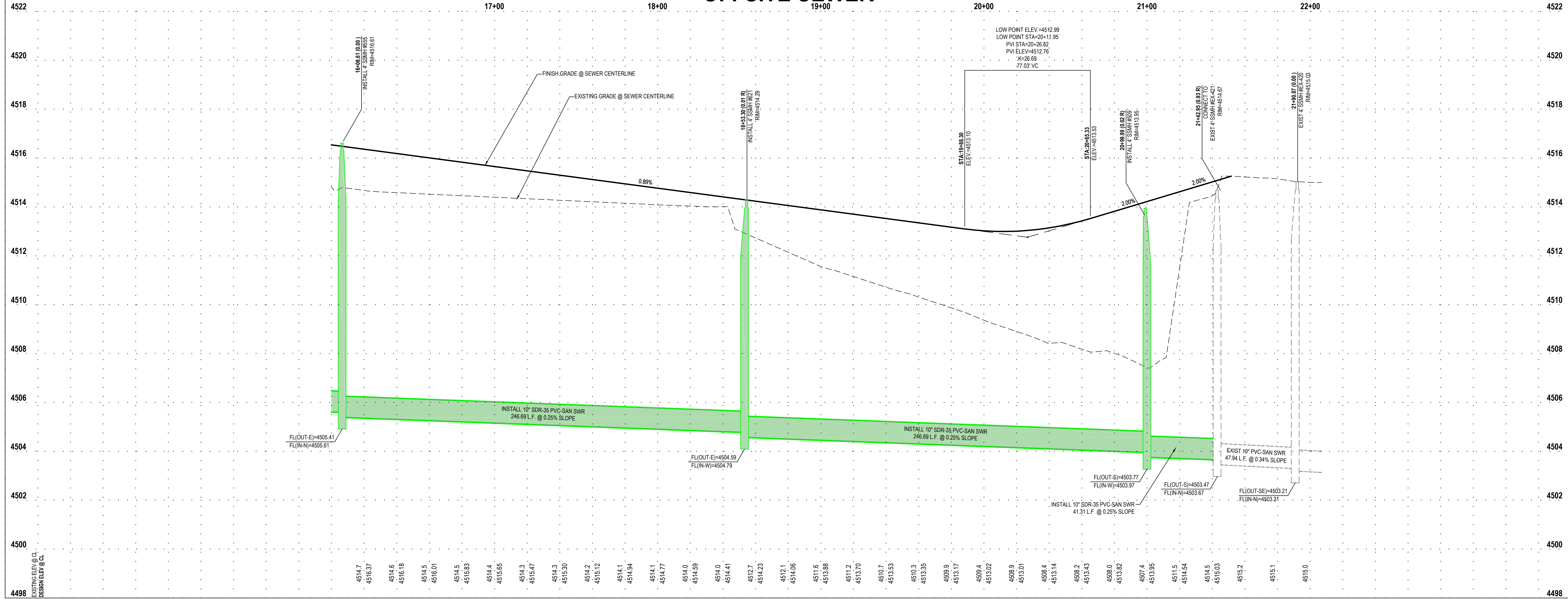
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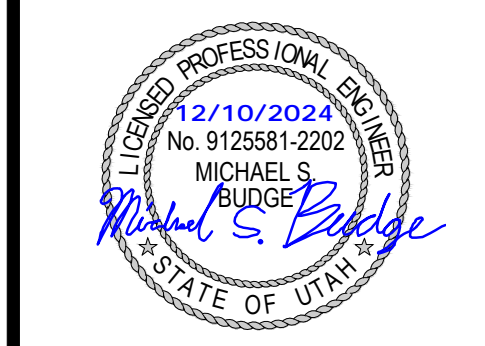
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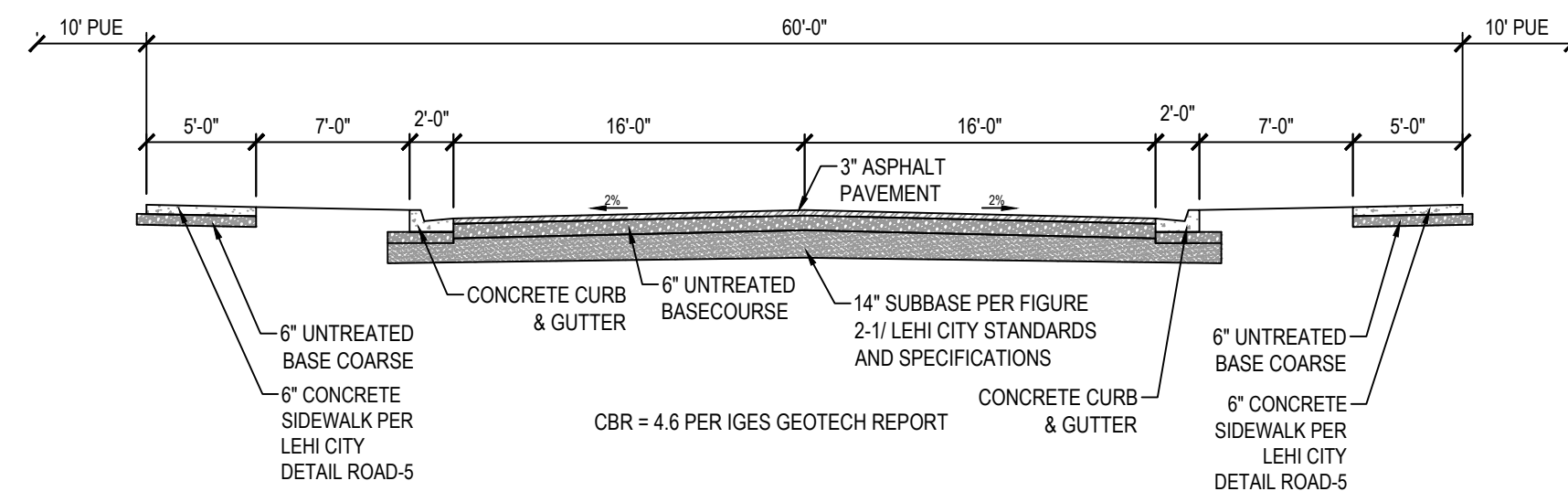
**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**

**3600 WEST 1500 NORTH
LEHI, UTAH**

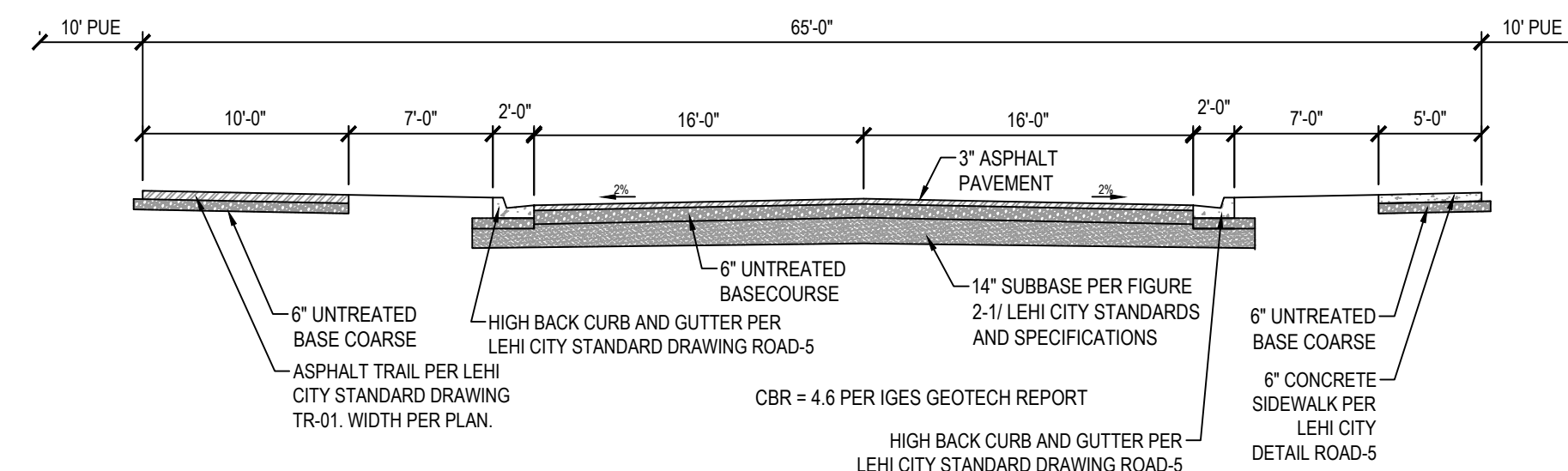


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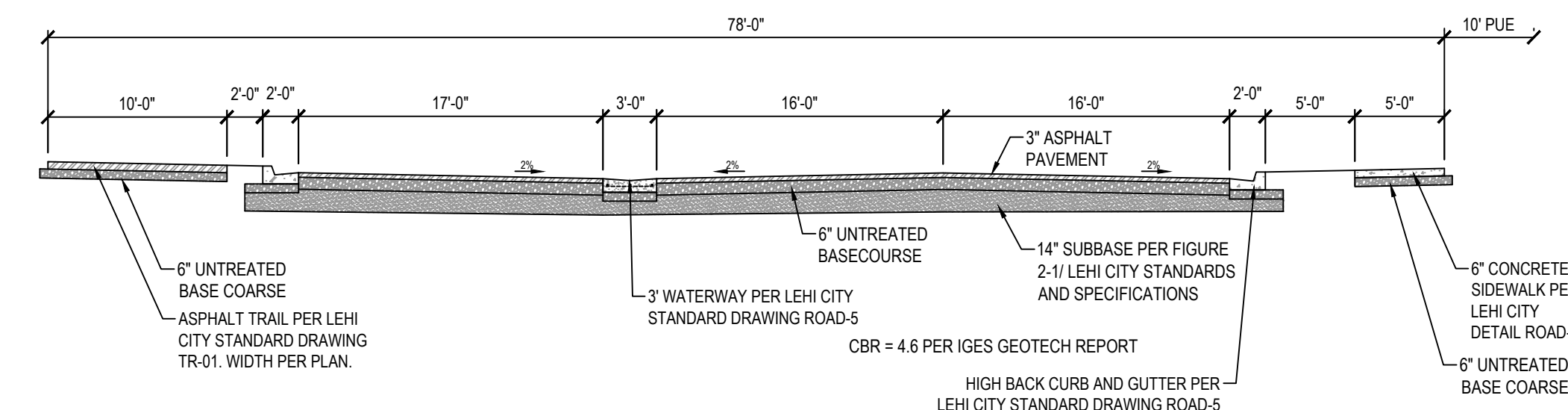
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DESIGNED BY: C. O.



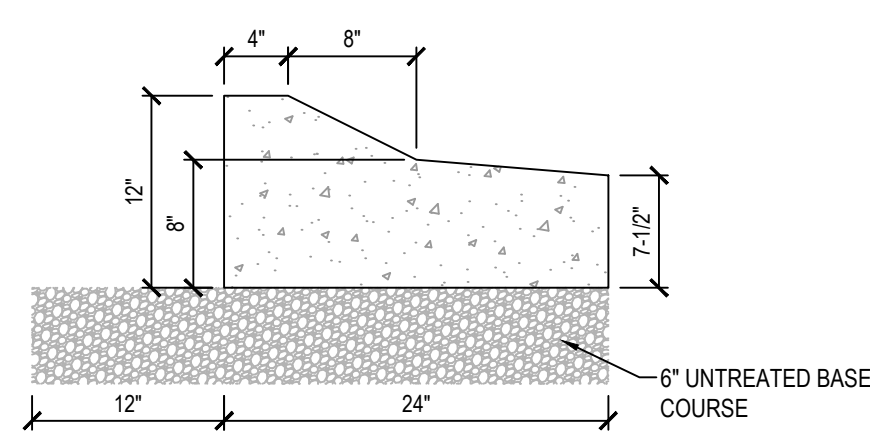
1 60' ROW PUBLIC STREET CROSS SECTION
SCALE: NONE



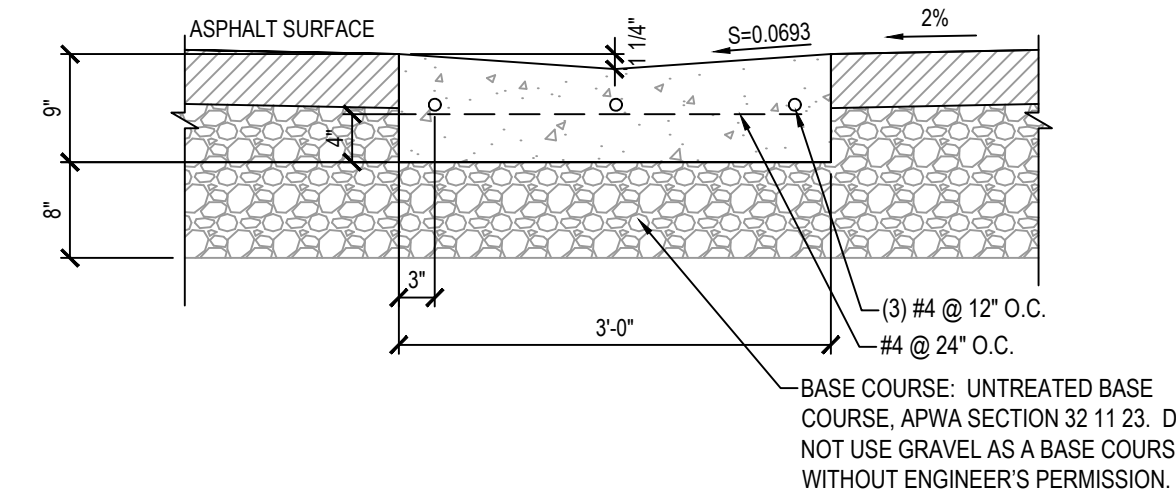
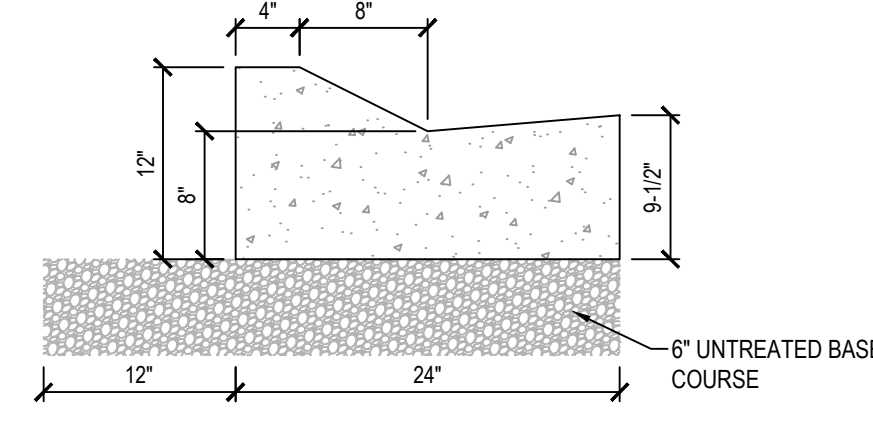
2 65' ROW PUBLIC STREET CROSS SECTION
SCALE: NONE



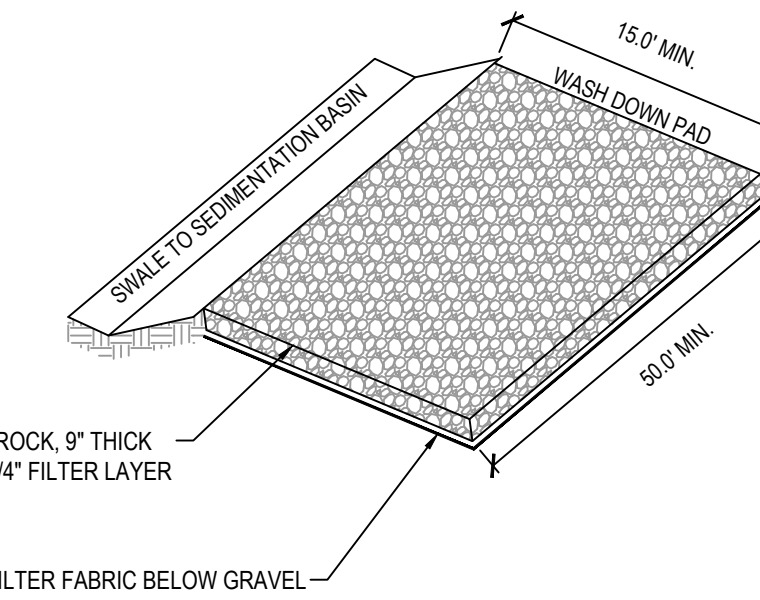
3 86' ROW PUBLIC STREET CROSS SECTION
SCALE: NONE



NOTE:
1. CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

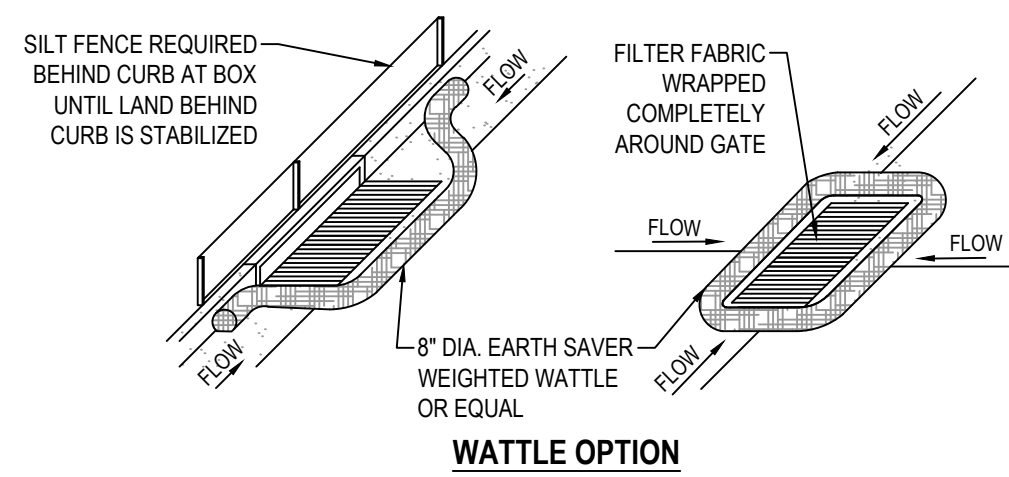


NOTE:
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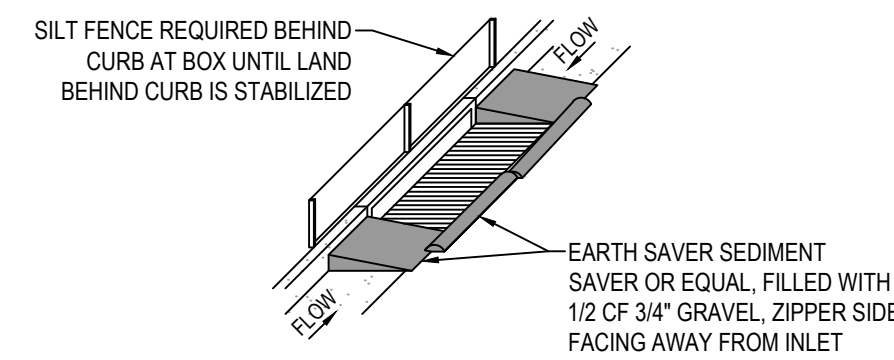


NOTE:
1. PLACE SIGN ADJACENT TO ENTRANCE - CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION

4 24" MOUNTABLE REVERSE PAN CURB AND GUTTER
SCALE: NONE



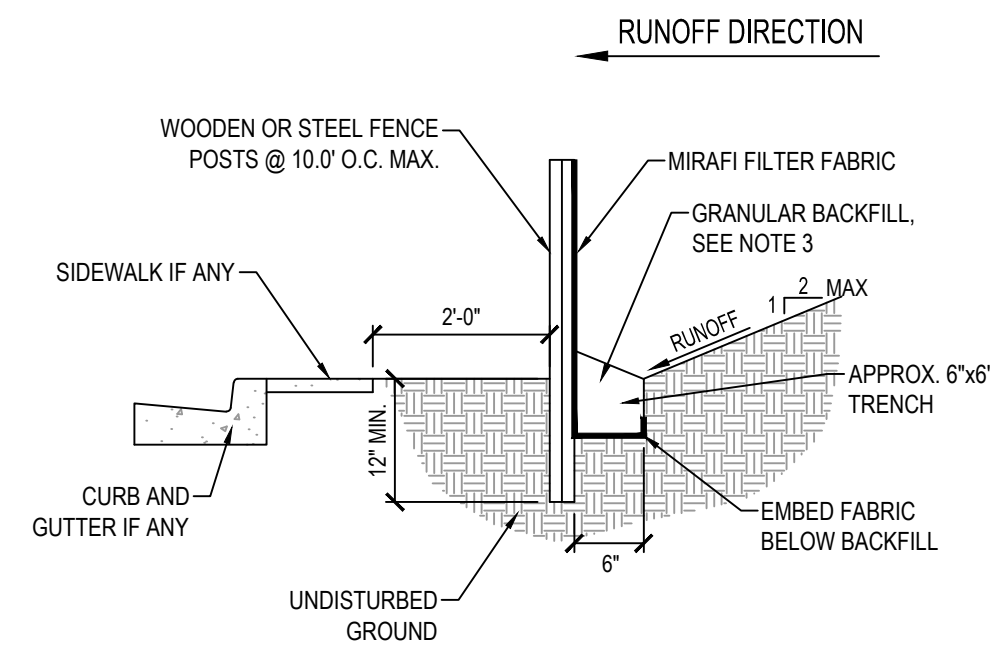
NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6\"/>



NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
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6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6\"/>

8 SAG INLET PROTECTION
SCALE: NONE

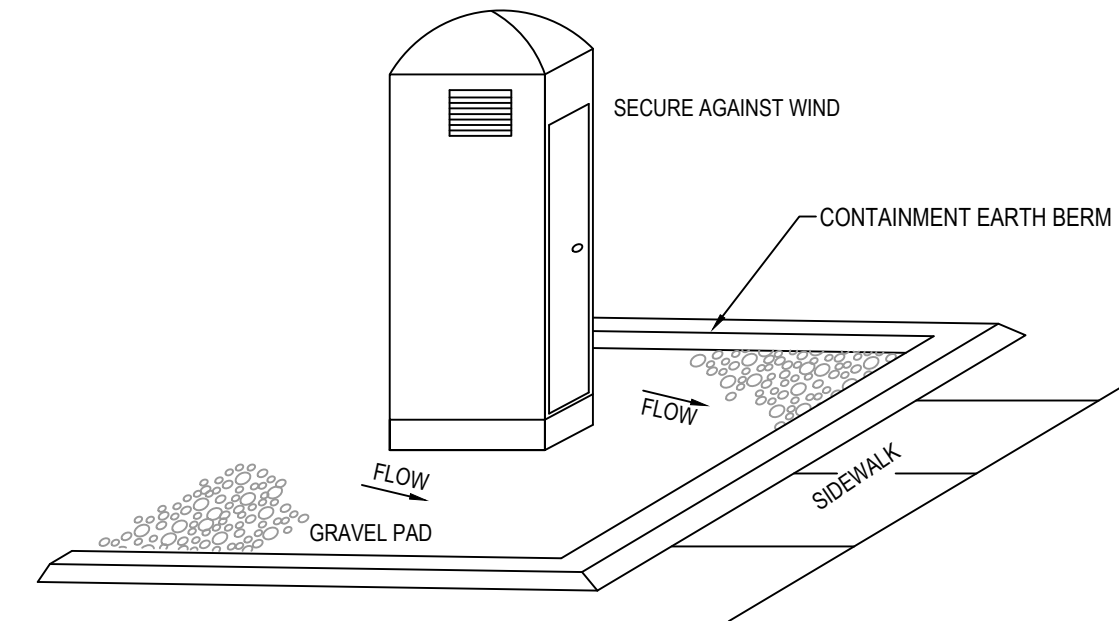
5 24" MOUNTABLE CURB AND GUTTER
SCALE: NONE



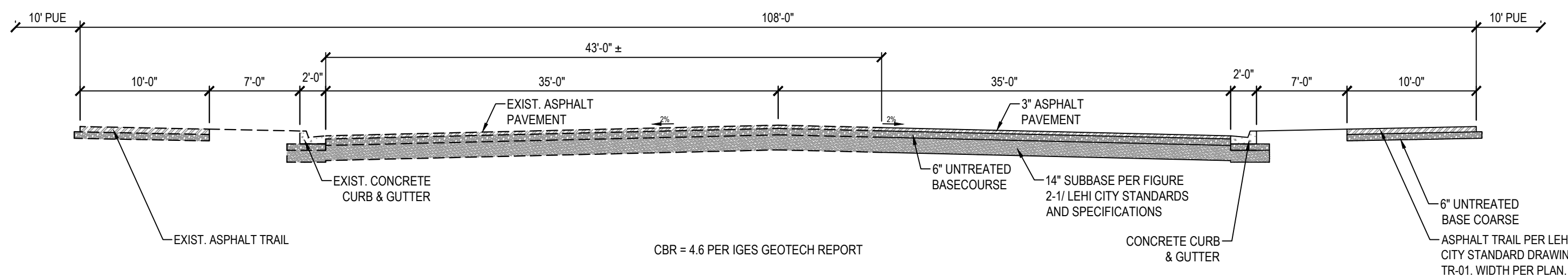
NOTES:
1. EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
3. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
4. 10' MAX. SPACING BETWEEN STAKES.
5. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

9 TEMPORARY SILT FENCE
SCALE: NONE

6 3' WATERWAY
SCALE: NONE



10 PORTABLE TOILET
SCALE: NONE



11 3600 WEST PUBLIC STREET CROSS SECTION
SCALE: NONE

HIGH BACK CURB & GUTTER

NOTES:
1. PAN OF GUTTER SHALL BE FLATTENED WITHIN "CLEAR SPACE" OF ADA RAMP

SEE NOTE 1 BELOW

ROAD BASE
SUB BASE (PER SECTION 2)

REVERSE SLOPE CURB & GUTTER

NOTES:
1. THE USE OF THIS CROSS SECTION IS SUBJECT TO APPROVAL OF THE CITY ENGINEER

ROAD BASE
SUB BASE (PER SECTION 2)

MODIFIED CURB & GUTTER (MOUNTABLE TYPE)

NOTES:
1. THIS CROSS SECTION IS ONLY FOR COMMERCIAL, INDUSTRIAL ZONES AND TEMPORARY TURNAROUNDS.
2. THE USE OF THIS CROSS SECTION IS SUBJECT TO APPROVAL OF THE CITY ENGINEER

4' DRAIN GUTTER

ROAD BASE
SUB BASE (PER SECTION 2)
NO. 4 REBAR @ 10 1/2" BOTH WAYS (SAME REINFORCING PATTERN REQ'D IN FILLETS SHOWN IN INTERSECTION DRAWING)

SIDEWALK

NOTES:
1. 5' SIDEWALK WIDTH WHEN USED IN CONJUNCTION WITH PLANTER.
5' SIDEWALK WIDTH AGAINST CURB & GUTTER.
6' SIDEWALK WIDTH WHEN USED AGAINST A CURB & GUTTER WITHIN A PARKING LOT.
2. SIDEWALK THICKNESS MAY BE 5" AND ROAD BASE THICKNESS 4" OUTSIDE OF SUBDIVISIONS IN AREA WITH NO ACCESSES AS APPROVED BY THE REVIEWING DEPARTMENTS.

WIDTH VARIES (SEE NOTE BELOW)
SLOPE @ 2% MAX. (TOWARD STREET)
6" TYP.
6" MIN. OF ROAD BASE EXCEPT AS NOTED BELOW

6" EXCEPT AS NOTED BELOW

ROAD BASE
SUB BASE (PER SECTION 2)

ADA RAMP PLANTER STRIP (AT INTERSECTION)

ROAD BASE
SUB BASE (PER SECTION 2)
NO. 4 REBAR @ 10 1/2" BOTH WAYS (SAME REINFORCING PATTERN REQ'D IN FILLETS SHOWN IN INTERSECTION DRAWING)

LEHI CITY

LEHI CITY STANDARD DETAIL

CURB, GUTTER AND SIDEWALK

RD-05 DATE: JUNE 2024

PLAN VIEW

SECTION A-A

GENERAL NOTES:
1. ROAD/FIELD GRADES MAY REQUIRE ADJUSTMENT AS PER APPROVAL BY PUBLIC WORKS DEPARTMENT
2. DETECTABLE WARNING SURFACES SHALL EXTEND (24 IN) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP (EXCLUSIVE OF FLARES), THE LANDING, OR THE BLENDED TRANSITION.
3. 4'x4' MIN. CLEAR SPACE REQUIRED.
a. MAX. 5% GRADE ALONG RUNNING SLOPE.
b. CROSS SLOPE WITHIN CLEAR SPACE
i. MAX. 2% GRADE WHEN EITHER LEG OF INTERSECTION IS STOP CONTROLLED
ii. MAX. 5% GRADE WHEN INTERSECTION IS UNCONTROLLED OR SIGNAL CONTROLLED
4. PEDESTRIAN BUTTON (OR RELATED APPURTENANCES) SHALL BE 40" - 44" ABOVE LANDING AND A MAXIMUM OF 10" FROM THE LANDING.

DETECTABLE RAMP DETAIL

* SPACING
1.2" MIN.
1.6" MAX.

RAISED TRUNCATED DOME DETAIL

PUBLIC WORKS DEPARTMENT MUST APPROVE TYPES AND COLOR OF DETECTABLE WARNING DEVICES USED.

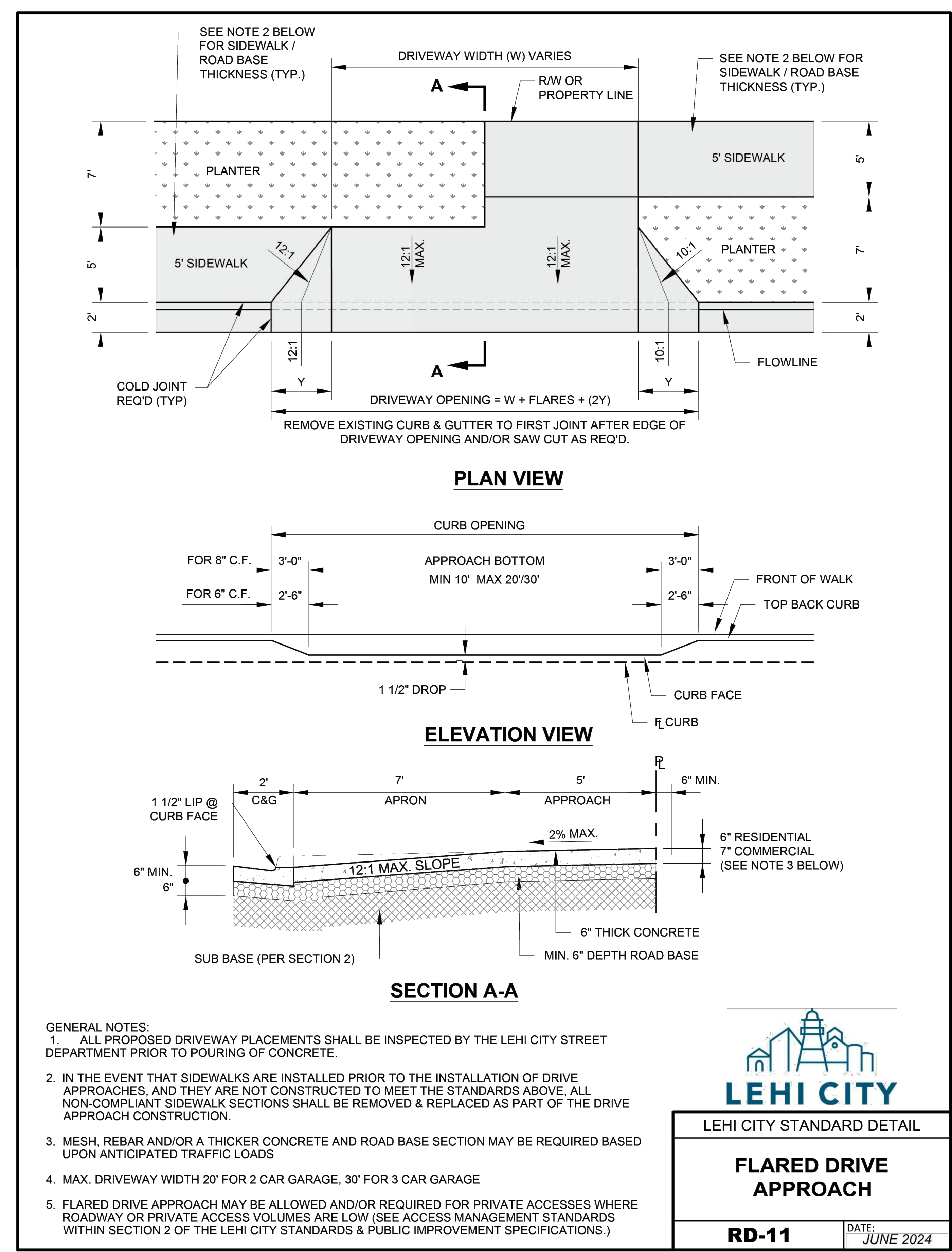
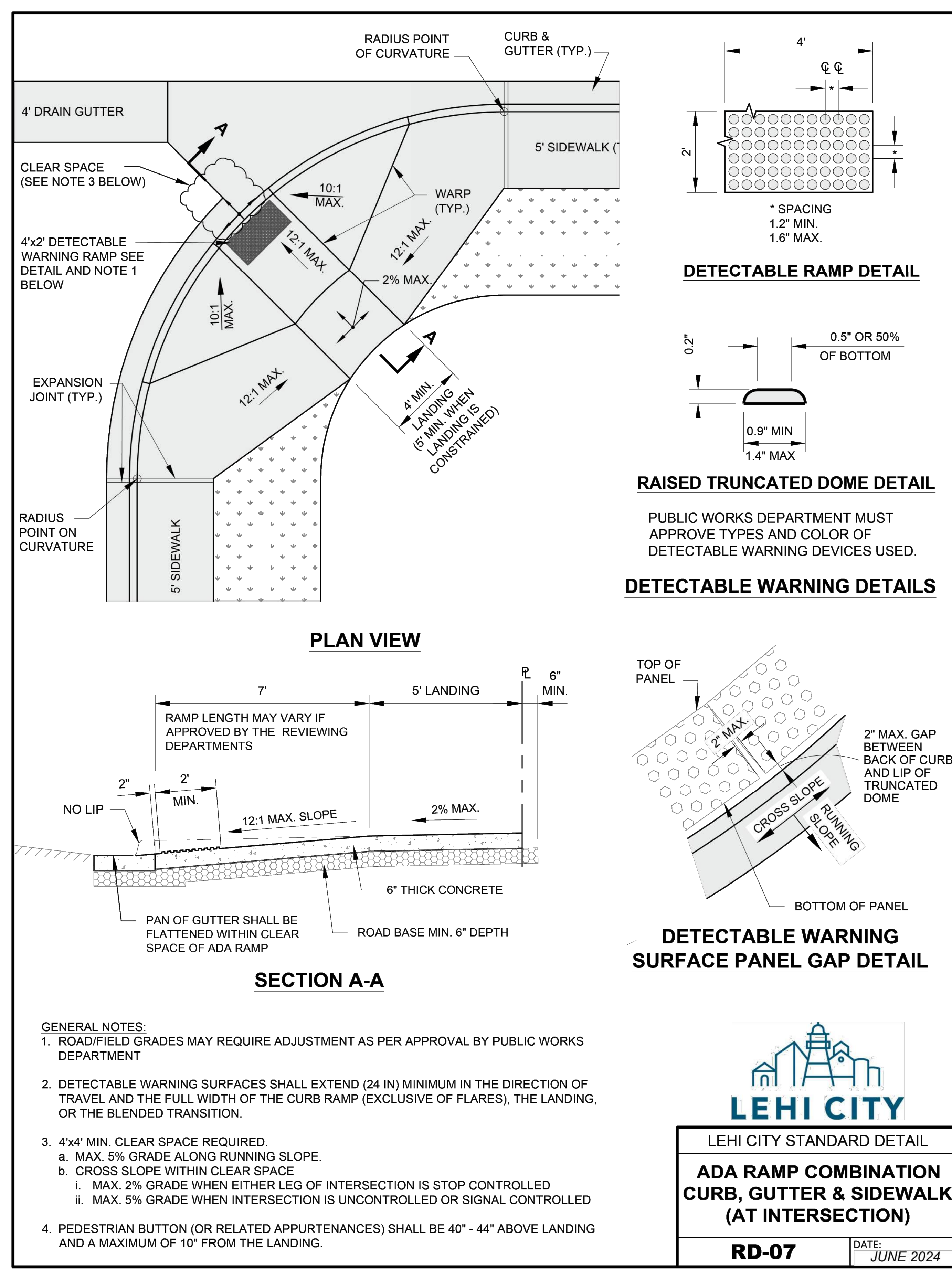
DETECTABLE WARNING SURFACE PANEL GAP DETAIL

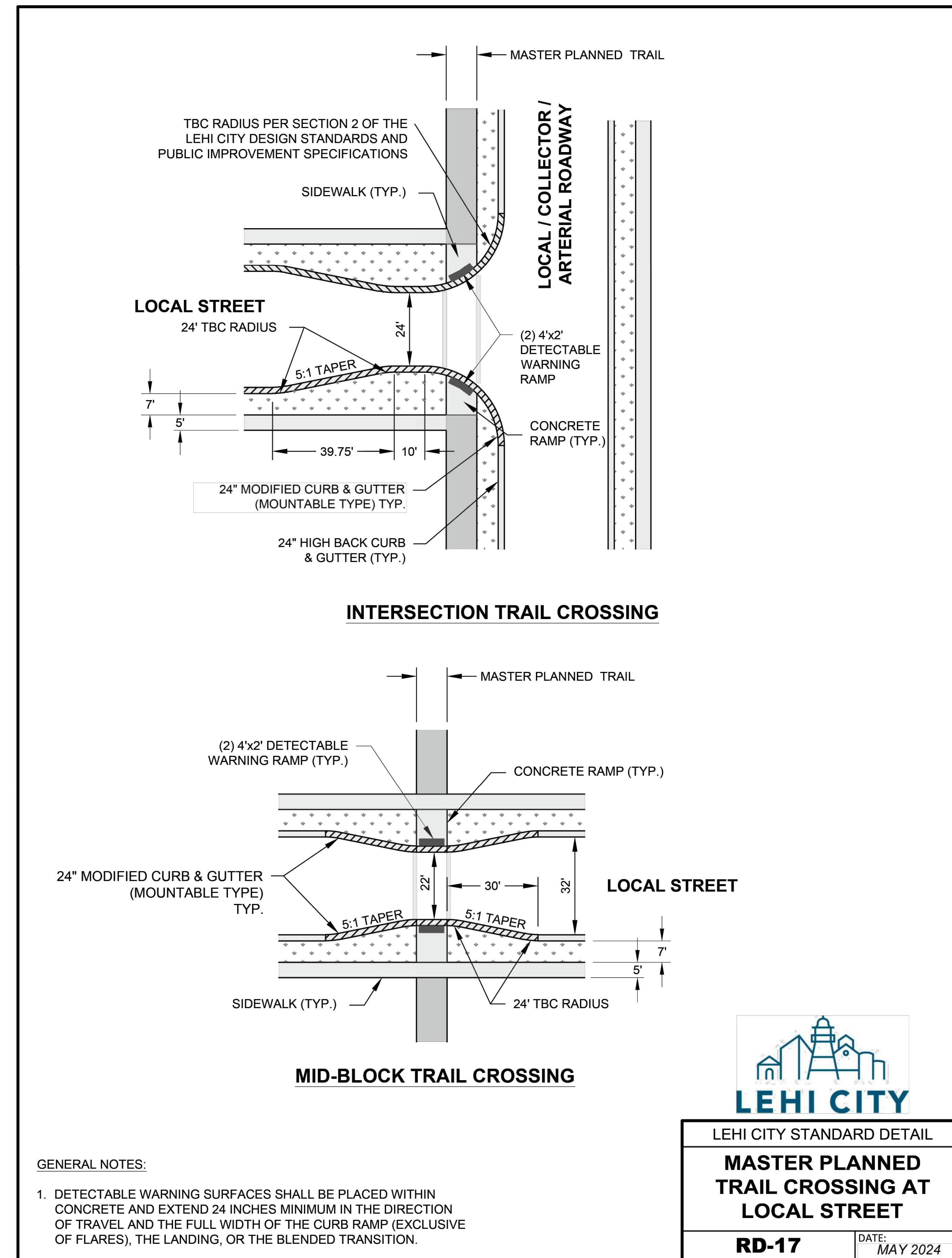
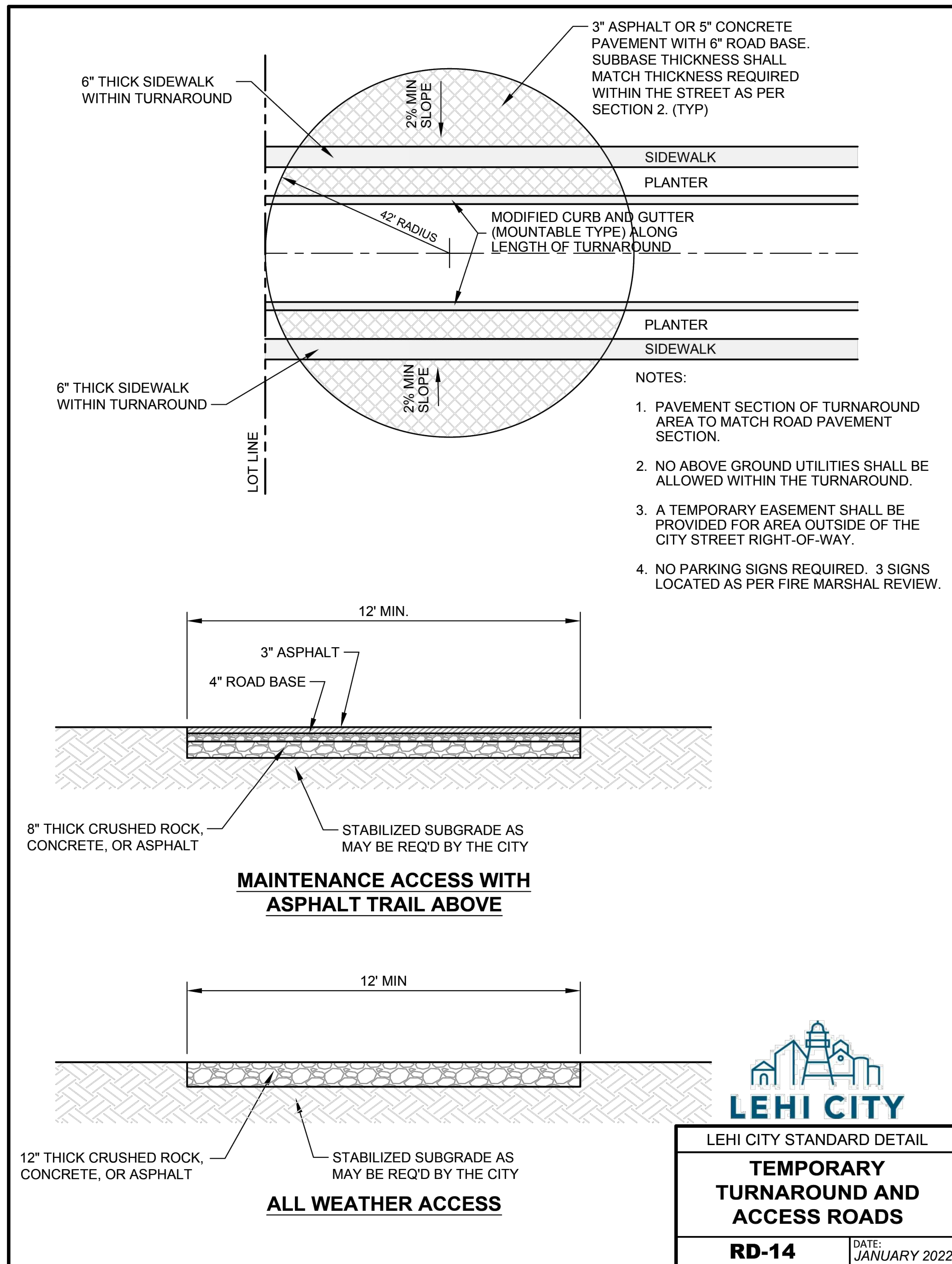
LEHI CITY

LEHI CITY STANDARD DETAIL

ADA RAMP PLANTER STRIP (AT INTERSECTION)

RD-06 DATE: JUNE 2024





ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

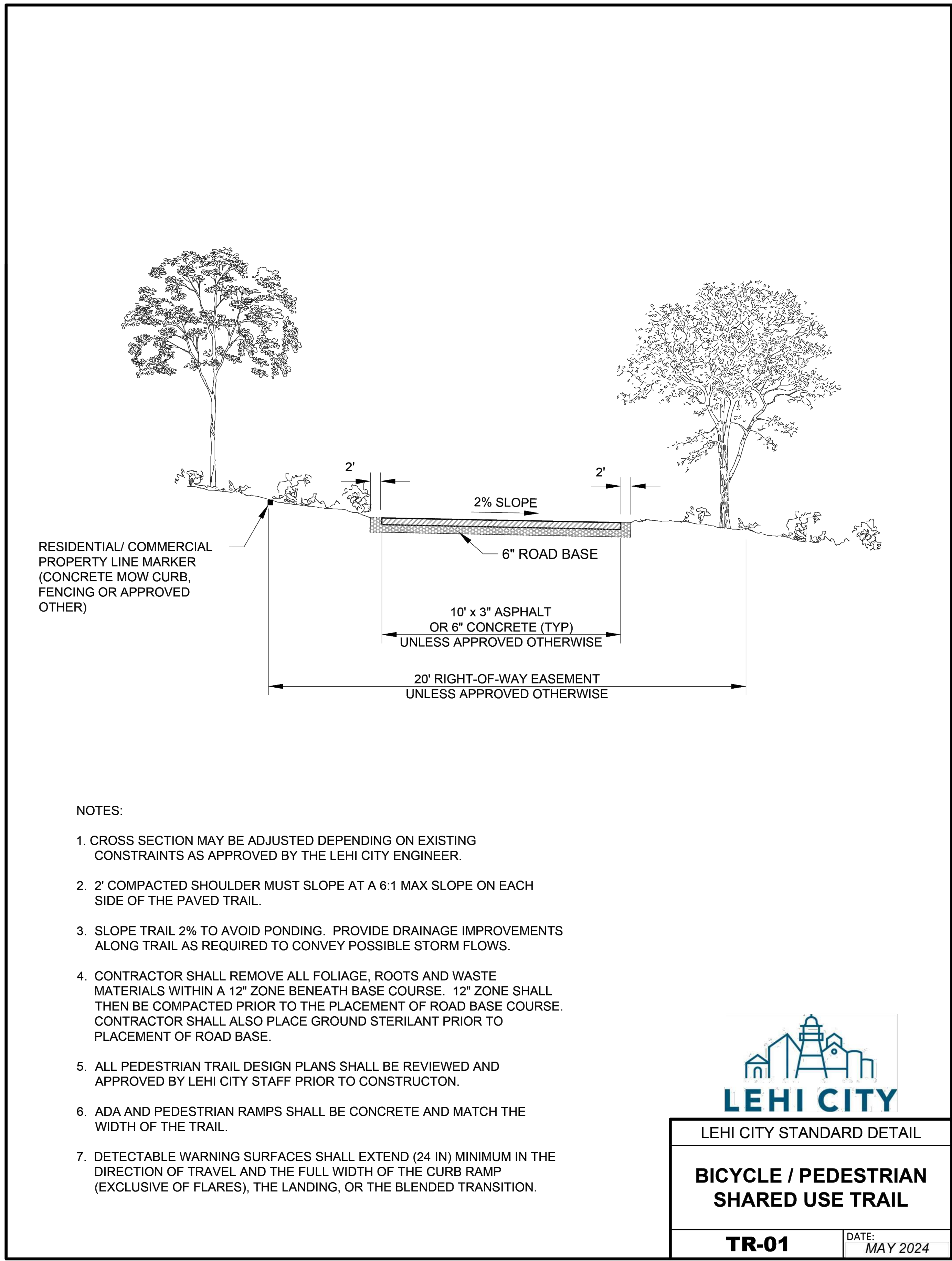
CONTACT:
BRANDON PARR
PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH

12/10/2024
No. 9125581-2202
MICHAEL S. BRIDGE
JUDGE
STATE OF UTAH

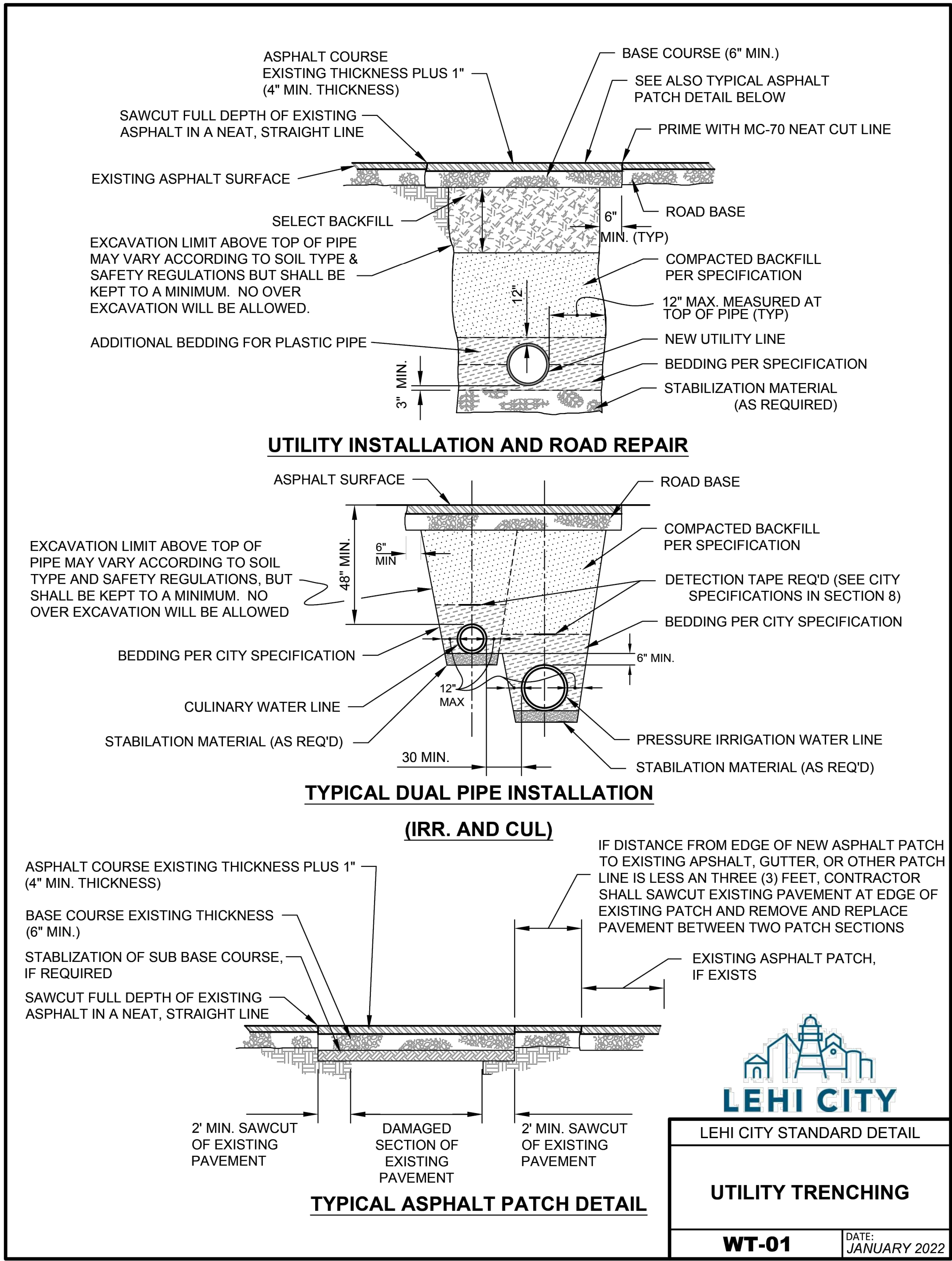
PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

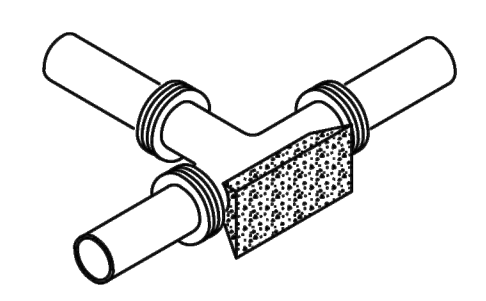
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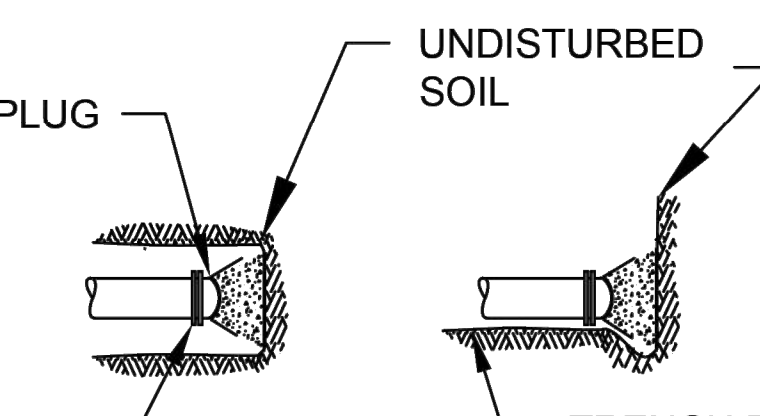
NOTES:

- CROSS SECTION MAY BE ADJUSTED DEPENDING ON EXISTING CONSTRAINTS AS APPROVED BY THE LEHI CITY ENGINEER.
- 2' COMPACTED SHOULDER MUST SLOPE AT A 6:1 MAX SLOPE ON EACH SIDE OF THE PAVED TRAIL.
- SLOPE TRAIL 2% TO AVOID PONDING. PROVIDE DRAINAGE IMPROVEMENTS ALONG TRAIL AS REQUIRED TO CONVEY POSSIBLE STORM FLOWS.
- CONTRACTOR SHALL REMOVE ALL FOLIAGE, ROOTS AND WASTE MATERIALS WITHIN A 12" ZONE BENEATH BASE COURSE. 12" ZONE SHALL THEN BE COMPACTED PRIOR TO THE PLACEMENT OF ROAD BASE COURSE. CONTRACTOR SHALL ALSO PLACE GROUND STERILANT PRIOR TO PLACEMENT OF ROAD BASE.
- ALL PEDESTRIAN TRAIL DESIGN PLANS SHALL BE REVIEWED AND APPROVED BY LEHI CITY STAFF PRIOR TO CONSTRUCTION.
- ADA AND PEDESTRIAN RAMPS SHALL BE CONCRETE AND MATCH THE WIDTH OF THE TRAIL.
- DETECTABLE WARNING SURFACES SHALL EXTEND (24 IN) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP (EXCLUSIVE OF FLARES), THE LANDING, OR THE BLENDED TRANSITION.

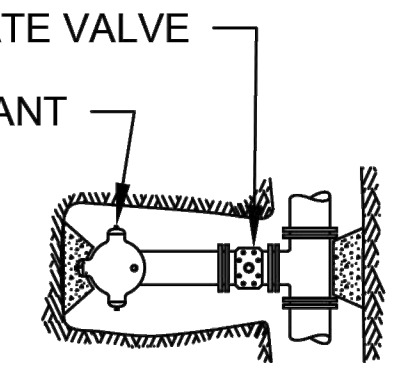




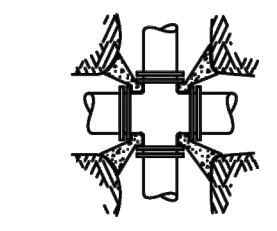
THRUST BLOCK TYPICAL




PLUG DETAIL



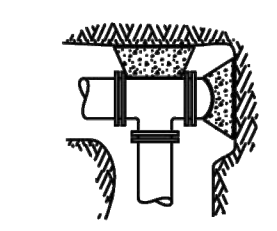
FIRE HYDRANT




CROSS



TEE



TEE (PLUGGED)



ELBOW

SIZE	BENDS				TEES *	GATE VALVES	DEAD ENDS	CROSS W/ 1 BRANCH PLUGGED	CROSS W/ 2 BRANCH PLUGGED
	30°	45°	22 1/2°	11 1/4°					
3	1.0	0.6	0.3	0	0.7	0.5	0.7	0.7	0.7
4	1.8	1.0	0.5	0	1.3	0.5	1.3	1.3	1.3
6	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6		17.6	17.6	17.6
16	28.4	15.3	8.0	4.0	20.0		20.0	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4		25.4	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4		31.4	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6		34.6	34.6	34.6
22	54.0	29.0	14.8	7.4	38.0		38.0	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0		45.0	45.0	45.0
30	100.0	54.0	27.6	13.8	71.0		71.0	71.0	71.0
36	144.0	78.0	40.0	20	102.0		102.0	102.0	102.0

* SIZE IS BRANCH SIZE

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I. AND A SOIL BEARING CAPACITY OF 1000 LBS. PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

F = $\frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS./SQ. IN.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$

TABLE OF BEARING AREAS IN SQ. FT. FOR CONCRETE THRUST BLOCKING

SIZE	BENDS		
	45°	22 1/2°	11 1/2°
3	3.7	1.9	1.4
4	6.5	3.3	1.7
6	14.6	7.5	3.7
8	26.0	13.2	6.6
10	40.5	20.7	10.3
12	58.5	30.0	14.8
14	79.5	40.7	20.2
15	91.0	46.6	23.2
16	104.0	53.0	26.5
18		67.3	33.4
20		83.0	41.0
21			45.5
22			50.0
24			59.5
30			
36			


REQ'D FOR VERT. BEND ANCHOR BLOCKS FOR 100 P.S.I. PRESSURE ADJUST VOLUMES BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F".

F = $\frac{\text{ACTUAL SPECIFIED TEST PRESSURE}}{100}$

TABLE OF VOLUMES OF CONCRETE (IN CU. FT.)

NOTES:

- ALL FITTINGS SHALL BE COVERED WITH PLASTIC OR OTHER APPROVED MATERIAL PRIOR TO POURING THE THRUST BLOCK
- FM GRADE GREASE SHALL BE USED FOR ALL BOLTED FITTINGS.
- ALL TRUST BLOCKS AGAINST NON-NATIVE MATERIALS SHALL BE UPSIZED UNLESS A BEARING PRESSURE OF 1000 LBS. PER SQ.FT. IS PROVIDED.
- POST MIX OR SAC-CRETE IS NOT ALLOWED FOR THRUST BLOCKS.

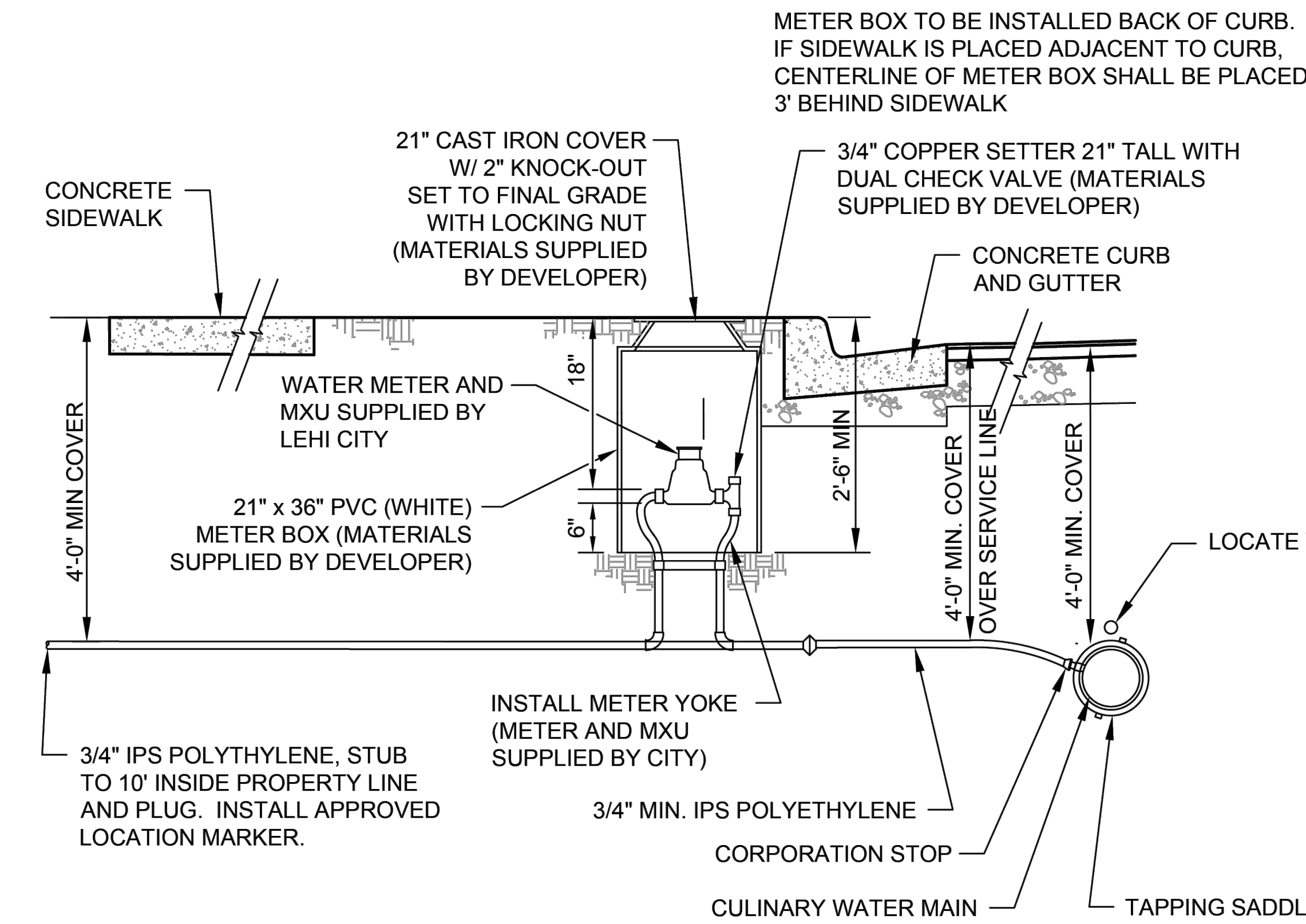


LEHI CITY

LEHI CITY STANDARD DETAIL

THRUST BLOCKING

WT-05 DATE: JANUARY 2022



METER BOX TO BE INSTALLED BACK OF CURB. IF SIDEWALK IS PLACED ADJACENT TO CURB, CENTERLINE OF METER BOX SHALL BE PLACED 3' BEHIND SIDEWALK

21" CAST IRON COVER W/ 2" KNOCK-OUT SET TO FINAL GRADE WITH LOCKING NUT (MATERIALS SUPPLIED BY DEVELOPER)

3/4" COPPER SETTER 21" TALL WITH DUAL CHECK VALVE (MATERIALS SUPPLIED BY DEVELOPER)

CONCRETE CURB AND GUTTER

WATER METER AND MXU SUPPLIED BY LEHI CITY

21" x 36" PVC (WHITE) METER BOX (MATERIALS SUPPLIED BY DEVELOPER)

3/4" IPS POLYETHYLENE, STUB TO 10' INSIDE PROPERTY LINE AND PLUG. INSTALL APPROVED LOCATION MARKER.

INSTALL METER YOKE (METER AND MXU SUPPLIED BY CITY)

3/4" MIN. IPS POLYETHYLENE CORPORATION STOP


CULINARY WATER MAIN

TAPPING SADDLE BRASS DOUBLE STRAP FOR DUCTILE IRON.

LOCATE WIRE

GENERAL NOTES

- 10'-0" EDGE TO EDGE HORIZONTAL CLEARANCE IS REQUIRED BETWEEN WATER AND SEWER LATERAL SERVICE LINES.
- WHERE WATER AND SEWER LATERALS MUST CROSS, WATER LATERAL SHALL BE 18" ABOVE THE SEWER LATERAL AS MEASURED FROM THE BOTTOM OF THE WATER LATERAL TO THE TOP OF THE SEWER LATERAL. THIS SEPARATION SHALL BE MAINTAINED FOR A MINIMUM OF 10'-0" EITHER SIDE OF THE CROSSING POINT.
- ALL CULINARY WATER METERS SHALL BE CONSTRUCTED BEHIND PROPOSED CURB AND GUTTER, AND SHALL BE SERVICEABLE FROM THE STREET, REGARDLESS OF WHETHER OR NOT THE TYPICAL STREET CROSS SECTION CONTAINS A PLANTER STRIP.
- COORDINATE PLACEMENT OF WATER METER WITH LEHI WATER DEPARTMENT.
- TEFLON TAPE REQUIRED ON ALL THREADED CONNECTIONS.
- CULINARY WATER METERS SHALL NOT BE PLACED WITHIN DRIVABLE AREAS UNLESS OTHERWISE APPROVED BY WATER DEPARTMENT.
- ALL PIPING, FITTINGS, ECT WILL BE PROVIDED BY DEVELOPER AND INSPECTED BY LEHI CITY WATER INSPECTOR.
- METER AND MXU WILL BE SUPPLIED BY LEHI CITY.
- ALL BRASS FITTINGS, VALVES, ETC. SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C-800, LATEST REVISION. ALL BRASS PRODUCTS ARE TO BE CERTIFIED TO THE REQUIREMENTS OF NSF / ANSI 61 ANNEX F&G AND NSF / ANSI 372.
- HOMES WITH FIRE SPRINKLERS REQUIRE A 1" OR LARGER WATER SERVICE AS REQUIRED BY FIRE SPRINKLER DESIGN.
- NO SPLICES OR FITTINGS ALLOWED BETWEEN THE CORPORATION STOP AND THE METER SETTER.
- METERS THAT FALL WITHIN DRIVEWAYS MAY BE RELOCATED A MAXIMUM OF 3' LATERALLY, OTHERWISE THE SERVICE MUST BE TERMINATED AT THE MAIN AND REINSTALLED OUTSIDE OF THE DRIVEWAY.

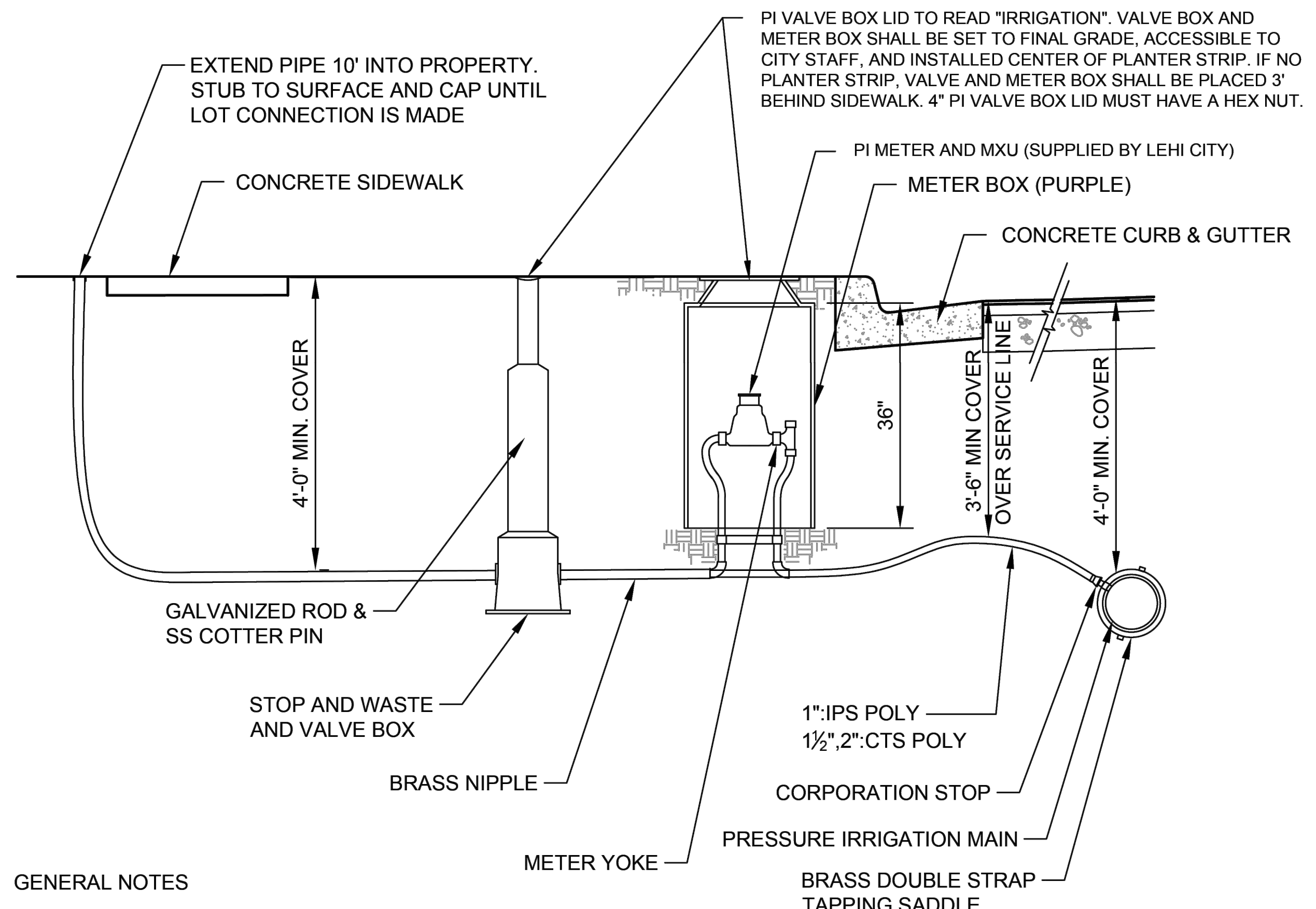


LEHI CITY

LEHI CITY STANDARD DETAIL

CULINARY SERVICE CONNECTION

WT-06 DATE: JANUARY 2022



GENERAL NOTES

- 10'-0" EDGE TO EDGE HORIZONTAL CLEARANCE IS REQUIRED BETWEEN WATER AND SEWER LATERAL SERVICE LINES.
- WHERE WATER AND SEWER LATERALS MUST CROSS, WATER LATERAL SHALL BE 18" ABOVE THE SEWER LATERAL AS MEASURED FROM THE BOTTOM OF THE WATER LATERAL TO THE TOP OF THE SEWER LATERAL. THIS SEPARATION SHALL BE MAINTAINED FOR A MINIMUM OF 10'-0" EITHER SIDE OF THE CROSSING POINT.
- ALL PRESSURE IRRIGATION METERS SHALL BE CONSTRUCTED BEHIND PROPOSED CURB AND GUTTER, AND SHALL BE SERVICEABLE FROM THE STREET, REGARDLESS OF WHETHER OR NOT THE TYPICAL STREET CROSS SECTION CONTAINS A PLANTER STRIP.
- COORDINATE PLACEMENT OF PI METER WITH LEHI WATER DEPARTMENT.
- TEFLON TAPE REQUIRED ON ALL THREADED CONNECTIONS.
- PRESSURE IRRIGATION METERS SHALL NOT BE PLACED WITHIN DRIVABLE AREAS UNLESS OTHERWISE APPROVED BY WATER DEPARTMENT.
- ALL PIPING, FITTINGS, ECT WILL BE PROVIDED BY DEVELOPER AND INSPECTED BY LEHI CITY WATER INSPECTOR.
- METER AND MXU WILL BE SUPPLIED BY LEHI CITY.
- ALL BRASS FITTINGS, VALVES, ETC. SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C-800, LATEST REVISION. ALL BRASS PRODUCTS ARE TO BE CERTIFIED TO THE REQUIREMENTS OF NSF / ANSI 61 ANNEX F&G AND NSF / ANSI 372.
- METERS THAT FALL WITHIN DRIVEWAYS MAY BE RELOCATED A MAXIMUM OF 3' Laterally, OTHERWISE THE SERVICE MUST BE TERMINATED AT THE MAIN AND REINSTALLED OUTSIDE OF THE DRIVEWAY.

PART NAME	METER SIZE		
	1" METER	1 1/2" METER	2" METER
SETTER	FORD VB-74-15W-11-44	FORD VBB76-15-11-66	FORD VBB77-15-11-77
NIPPLE	1X12 BRASS	1-1/2X12 BRASS	2X12 BRASS
STOP AND WASTE	FORD BC-11-444-SW 1	FORD B11-666SW-NL 1 1/2	Ford B11-777SW-NL 2
RING	D&L L-2244	D&L L-2242	
RING ADAPTER	NA	L-2336 30 CI MTR ADPT RING	
LID	DFW12AUT-5MW+T-IRRI-G-LID PURPLE		
METER INSULATOR	4x28 FOAM	4x30 FOAM	
VALVE BOX	93D CAST IRON W/HEX NUT		
BASE	NA		
ROD	M-9080 W/COTTER OSW EXT KEY		
METER BOX	SIGMA RMP-212436-PTR	SIGMA RMP-203036-PTR	
SERVICE LINE	1" IPS POLY	1 1/2" CTS POLY	2" CTS POLY

*LISTED MODEL NUMBERS OR APPROVED EQUAL REQUIRED

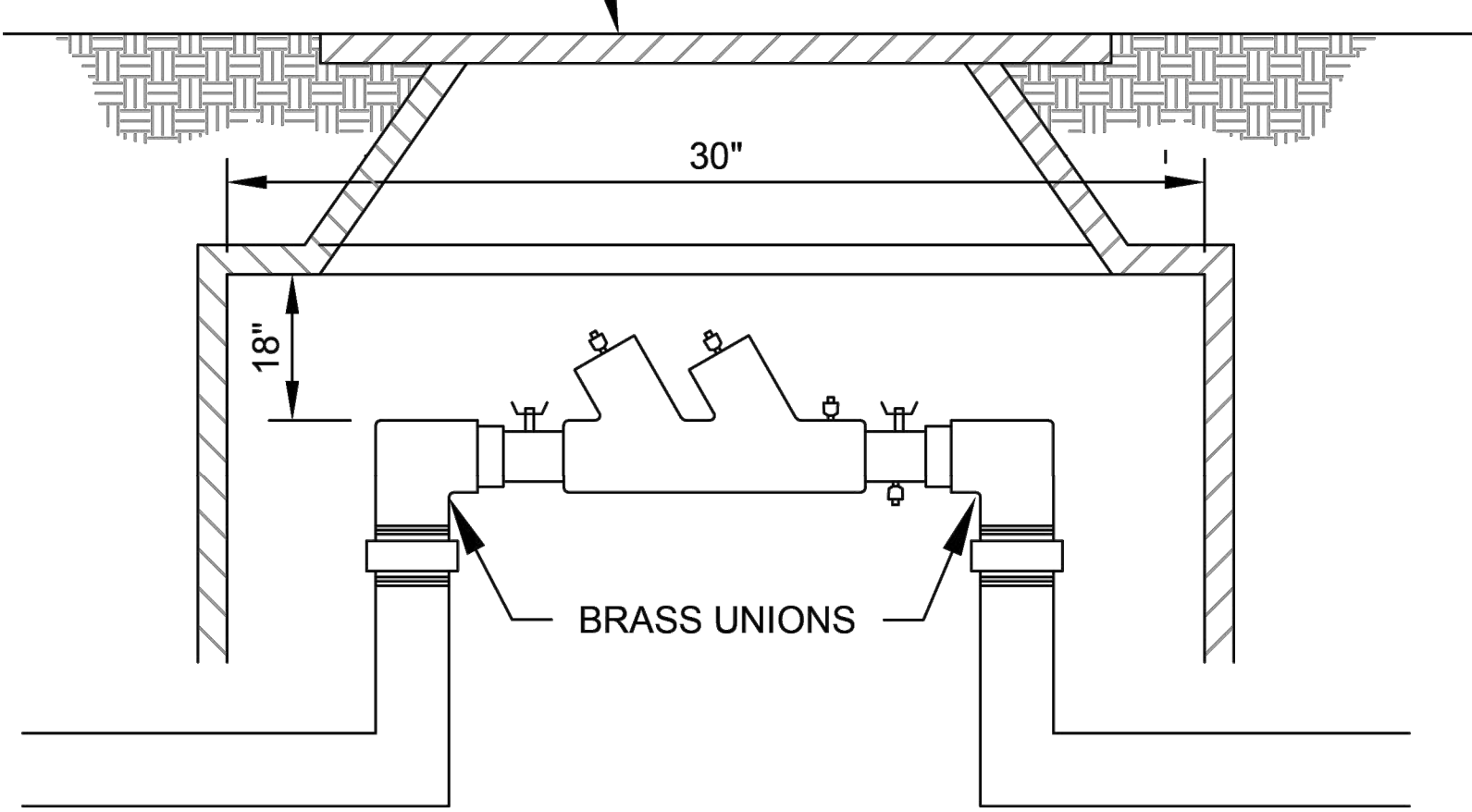


LEHI CITY STANDARD DETAIL

PRESSURE IRRIGATION SERVICE CONNECTION

WT-08 DATE: JANUARY 2022

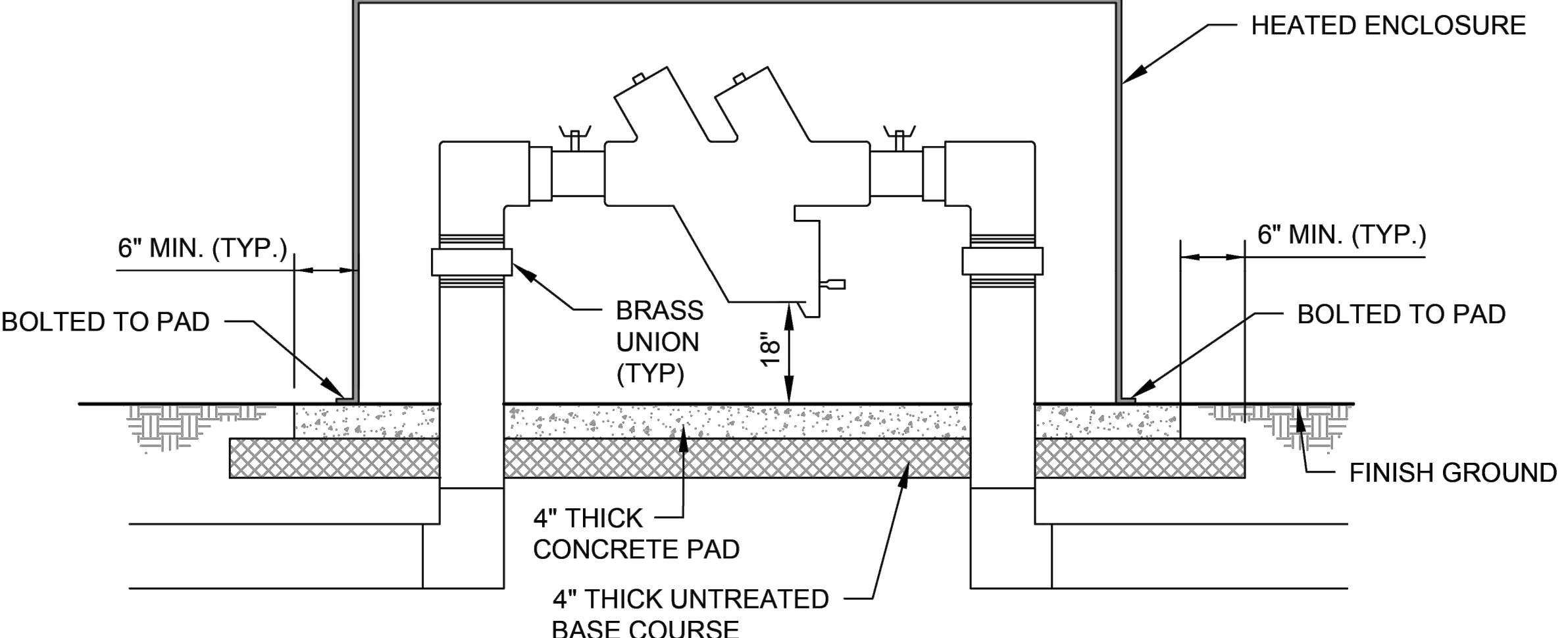
18" CAST IRON COVER W/ 2" KNOCK-OUT SET TO FINAL GRADE WITH LOCKING NUT (MATERIALS SUPPLIED BY LEHI CITY)



DOUBLE CHECK BACKFLOW PREVENTER

NOTES:

- MUST BE INSTALLED IN A 30" METER BOX.
- PIPEWORK MUST BE BRASS OR RIGID COPPER (ONLY). ALL PARTS SHALL CONFORM TO THE AWWA C-800 NO LEAD RULE.
- AFTER INSTALLATION, BACKFLOW PREVENTER MUST BE TESTED WITHIN 10 DAYS AND RESULTS GIVEN TO LEHI CITY WATER DEPARTMENT.
- DOUBLE CHECK BACKFLOW PREVENTOR INSTALLED IN A VAULT MUST BE TESTABLE AND MAINTAINABLE FROM THE TOP POSITION.



REDUCED PRESSURE BACKFLOW PREVENTER

NOTES:

- PIPEWORK MUST BE BRASS OR RIGID COPPER (ONLY). ALL PARTS SHALL CONFORM TO THE AWWA C-800 NO LEAD RULE.
- HEAT SOURCE DESIGNED TO PROTECT BACKFLOW PREVENT TO -30 F MUST BE INSTALLED WITHIN HEATED ENCLOSURE.
- HEATED ENCLOSURE MUST BE INSTALLED AND ANCHORED TO PAD.
- AFTER INSTALLATION, BACKFLOW PREVENTER MUST BE TESTED WITHIN 10 DAYS AND RESULTS GIVEN TO LEHI CITY WATER DEPARTMENT.



LEHI CITY STANDARD DETAIL

BACKFLOW PREVENTION

WT-13 DATE: JANUARY 2022



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

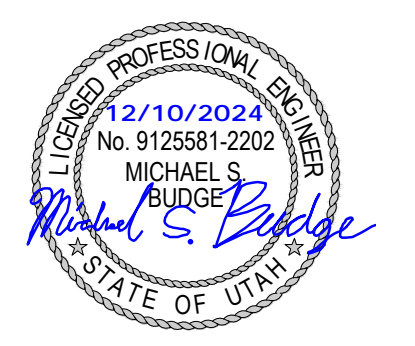
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
 3600 WEST 1500 NORTH
 LEHI, UTAH



LEHI CITY STANDARD DETAIL

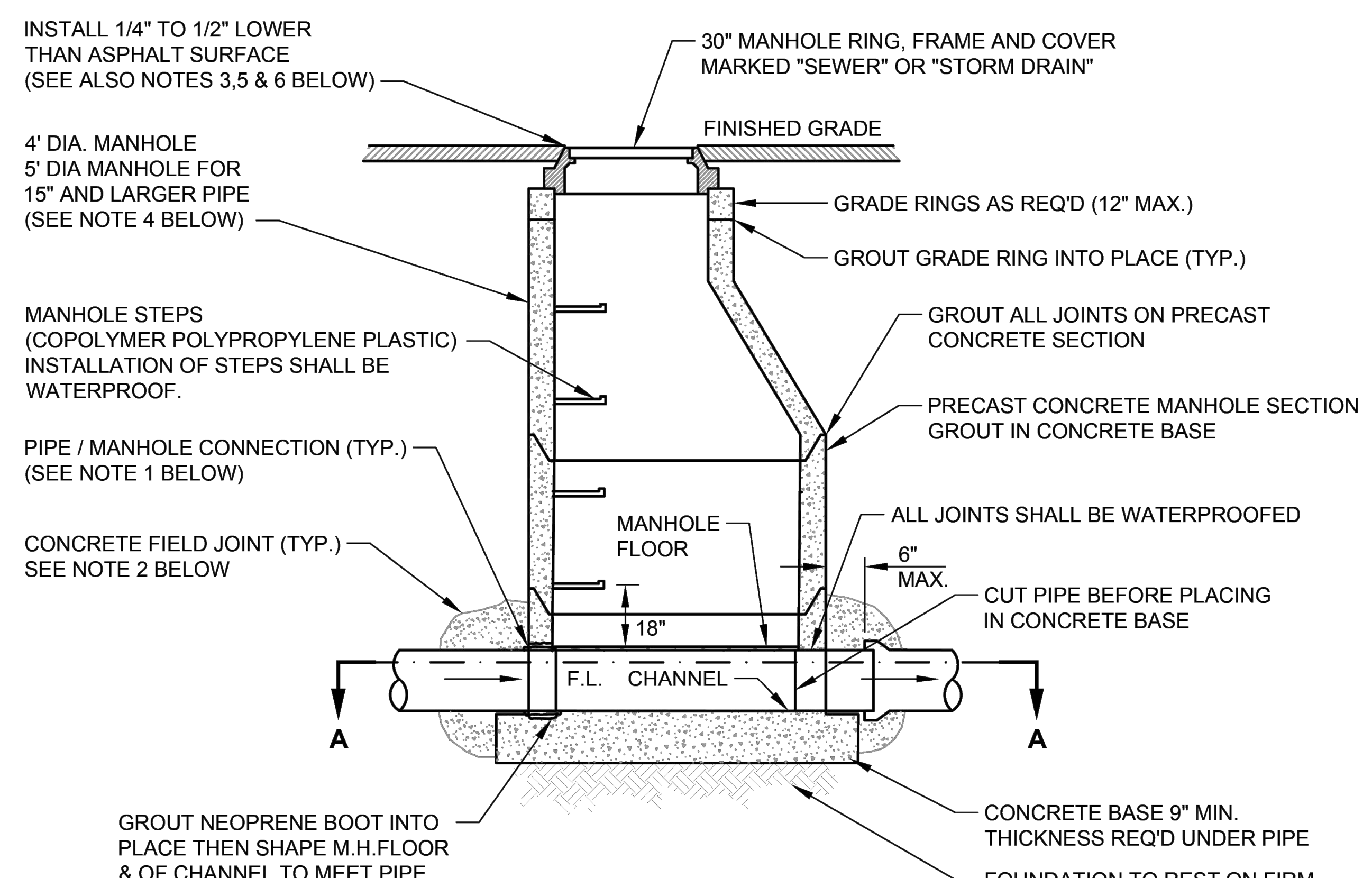
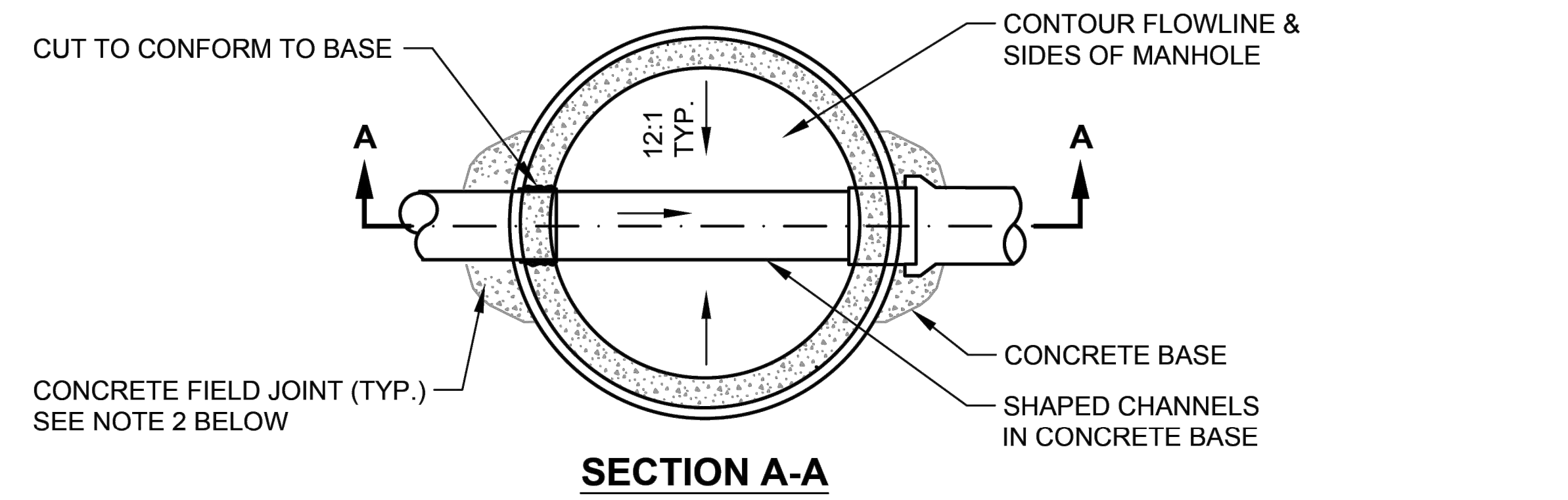
BACKFLOW PREVENTION

WT-13 DATE: JANUARY 2022

DETAILS

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-606



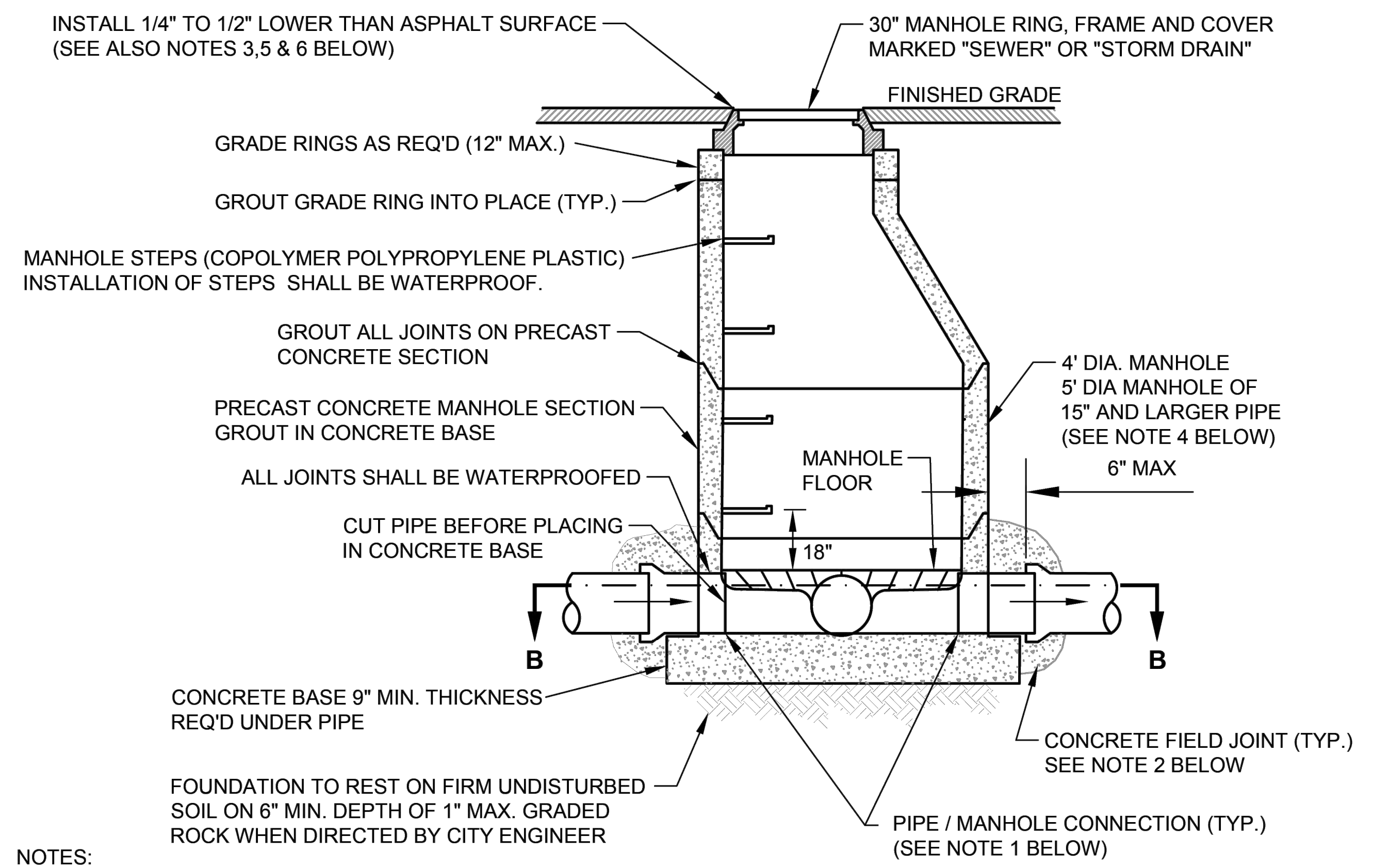
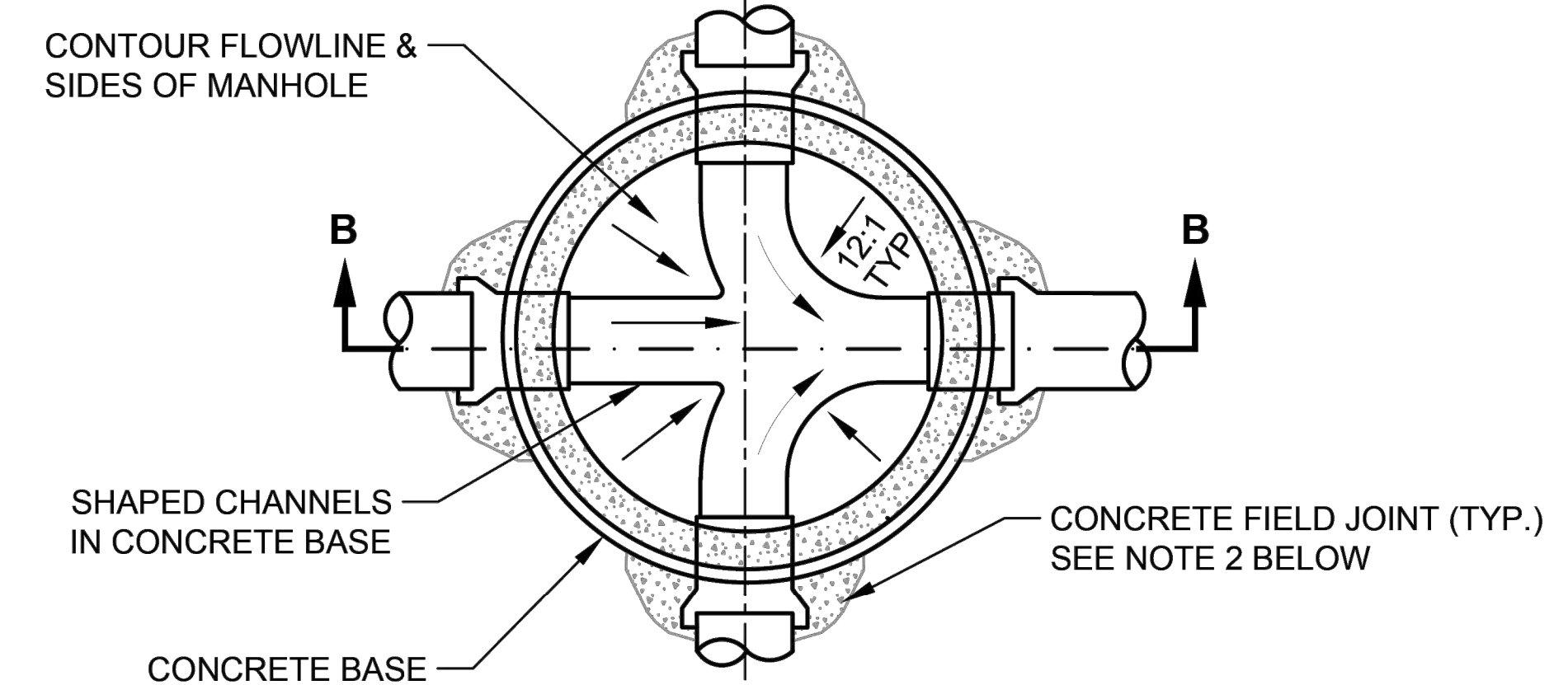
- NOTES:
1. INSTALL NEOPRENE BOOT WITH STAINLESS STEEL BANDS & GROUT INSIDE OF MANHOLE FOR SANITARY SEWER PIPE CONNECTIONS. GROUT INSIDE & OUTSIDE PIPE CONNECTIONS FOR STORM DRAIN & OTHER DRAINAGE PIPES.
 2. INSTALL 8" THICK CONCRETE FIELD JOINT AROUND ALL STORM DRAINAGE PIPES (TYP.). INSTALL AROUND ALL CONCRETE SEWER PIPES 18" DIA. & LARGER.
 3. MANHOLE RING & COVER SHALL MATCH GRADE & CROSS SLOPE OF ROADWAY. ("TWIST", ROTATING OR ADJUSTABLE MANHOLE RING & COVER MAY BE REQUIRED).
 4. LARGER MANHOLES MAY BE REQUIRED DEPENDING ON PIPE SIZINGS AND ORIENTATION WITHIN MANHOLE.
 5. TOP OF MANHOLE COVER SHALL BE SET TO FINAL GRADE PRIOR TO PAVING. CONCRETE COLLARS MAY BE ALLOWED, BUT ONLY AFTER PRIOR APPROVAL OF LEHI CITY STREET DEPARTMENT. IF APPROVED, CONCRETE COLLARS SHALL BE 12" MIN. WIDE (FROM EDGE OF MANHOLE RING) AND 12" MIN. THICKNESS.
 6. IN NON-PAVED AREAS, A 12" THICK BY 12" WIDE (FROM EDGE OF MANHOLE RING) CONCRETE COLLAR SHALL BE PROVIDED FLUSH WITH THE TOP OF THE MANHOLE COVER.



LEHI CITY STANDARD DETAIL

**LINE MANHOLE
(SEWER & STORM DRAIN)**

SD-01 DATE: JANUARY 2022



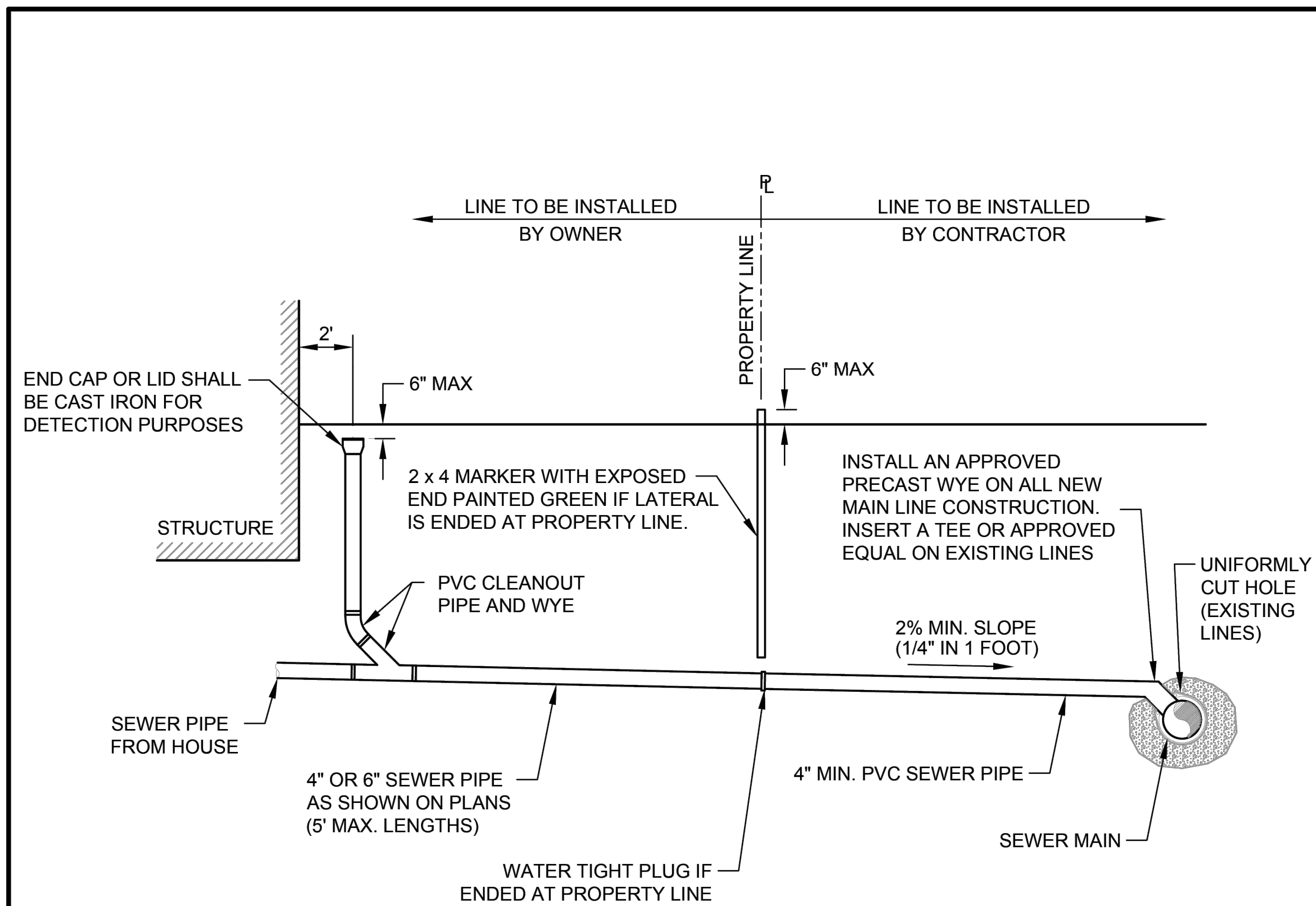
- NOTES:
1. INSTALL NEOPRENE BOOT WITH STAINLESS STEEL BANDS & GROUT INSIDE OF MANHOLE FOR SANITARY SEWER PIPE CONNECTIONS. GROUT INSIDE & OUTSIDE PIPE CONNECTIONS FOR STORM DRAIN & OTHER DRAINAGE PIPES.
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 3. MANHOLE RING & COVER SHALL MATCH GRADE & CROSS SLOPE OF ROADWAY. ("TWIST", ROTATING OR ADJUSTABLE MANHOLE RING & COVER MAY BE REQUIRED).
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 6. IN NON-PAVED AREAS, A 12" THICK BY 12" WIDE (FROM EDGE OF MANHOLE RING) CONCRETE COLLAR SHALL BE PROVIDED FLUSH WITH THE TOP OF THE MANHOLE COVER.



LEHI CITY STANDARD DETAIL

**JUNCTION MANHOLE
(SEWER & STORM DRAIN)**

SD-02 DATE: JANUARY 2022



NOTES:

1. MAXIMUM DISTANCE BETWEEN CLEANOUTS: 100 FEET
2. LATERALS SHALL NOT ENTER MANHOLES UNLESS OTHERWISE APPROVED BY CITY ENGINEER

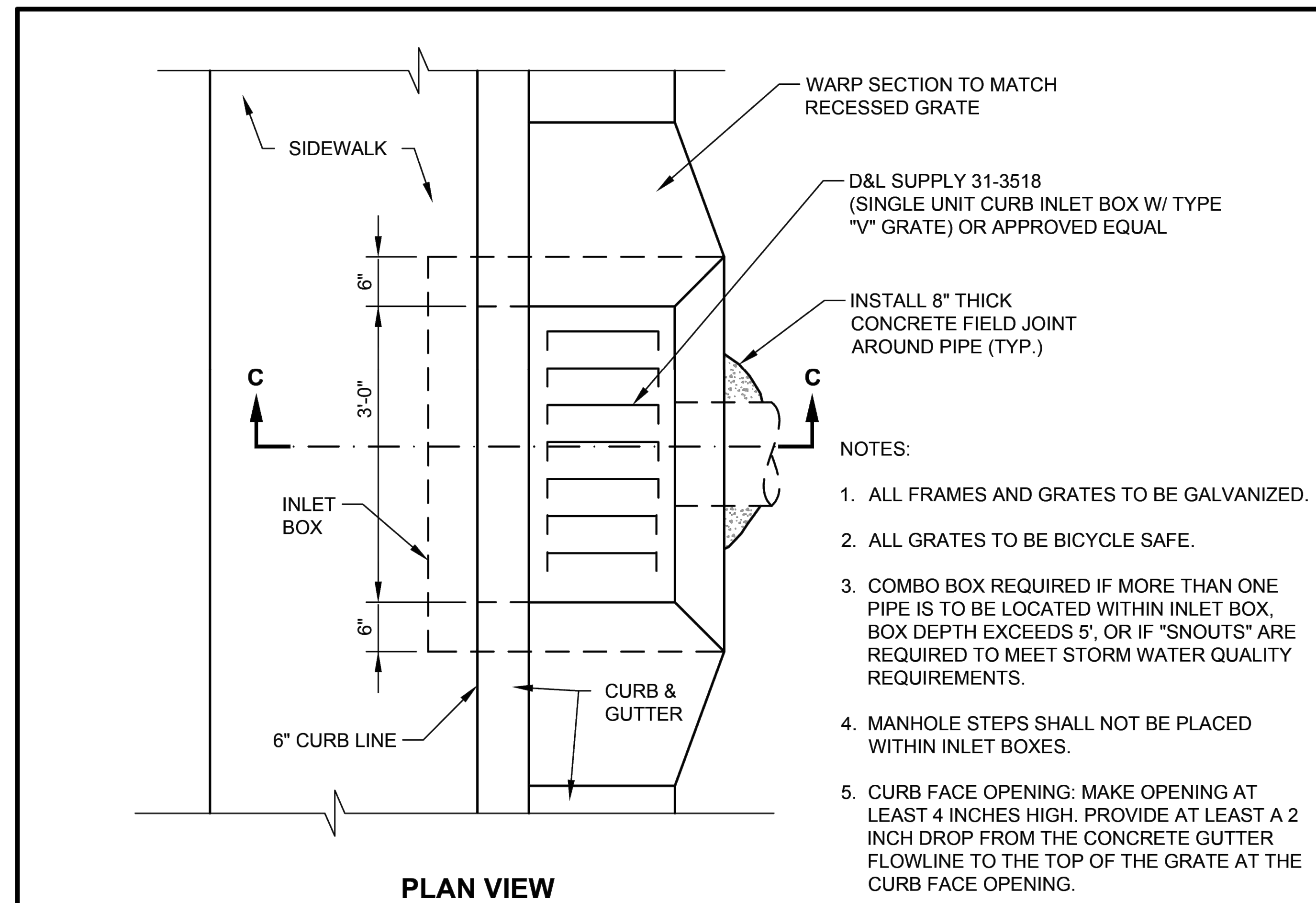


LEHI CITY STANDARD DETAIL

SEWER LATERAL

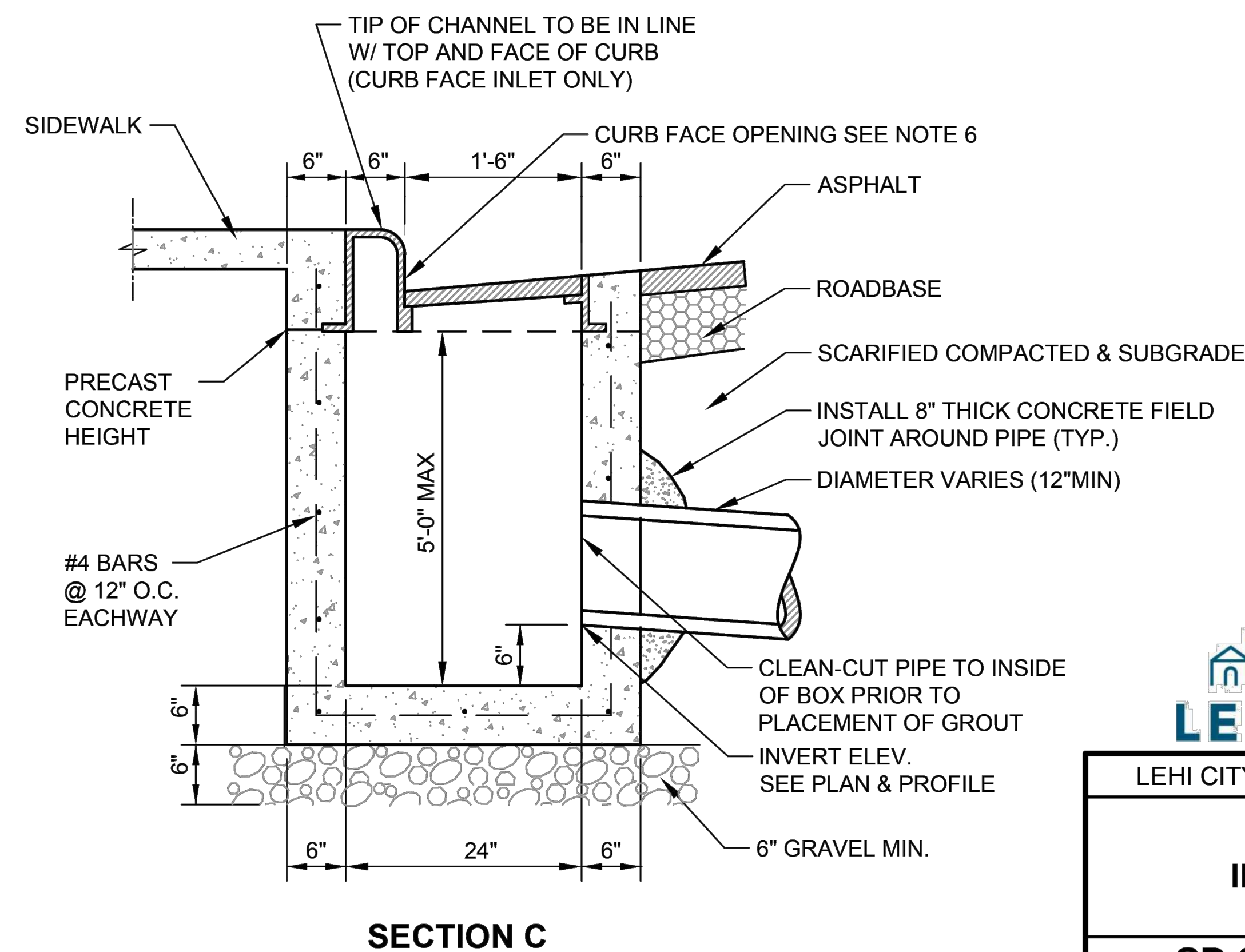
SD-05

DATE: JANUARY 2022



NOTES:

1. ALL FRAMES AND GRATES TO BE GALVANIZED.
2. ALL GRATES TO BE BICYCLE SAFE.
3. COMBO BOX REQUIRED IF MORE THAN ONE PIPE IS TO BE LOCATED WITHIN INLET BOX, BOX DEPTH EXCEEDS 5', OR IF "SNOUTS" ARE REQUIRED TO MEET STORM WATER QUALITY REQUIREMENTS.
4. MANHOLE STEPS SHALL NOT BE PLACED WITHIN INLET BOXES.
5. CURB FACE OPENING: MAKE OPENING AT LEAST 4 INCHES HIGH. PROVIDE AT LEAST A 2 INCH DROP FROM THE CONCRETE GUTTER FLOWLINE TO THE TOP OF THE GRATE AT THE CURB FACE OPENING.



LEHI CITY STANDARD DETAIL

INLET BOX

SD-07

DATE: JANUARY 2022

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

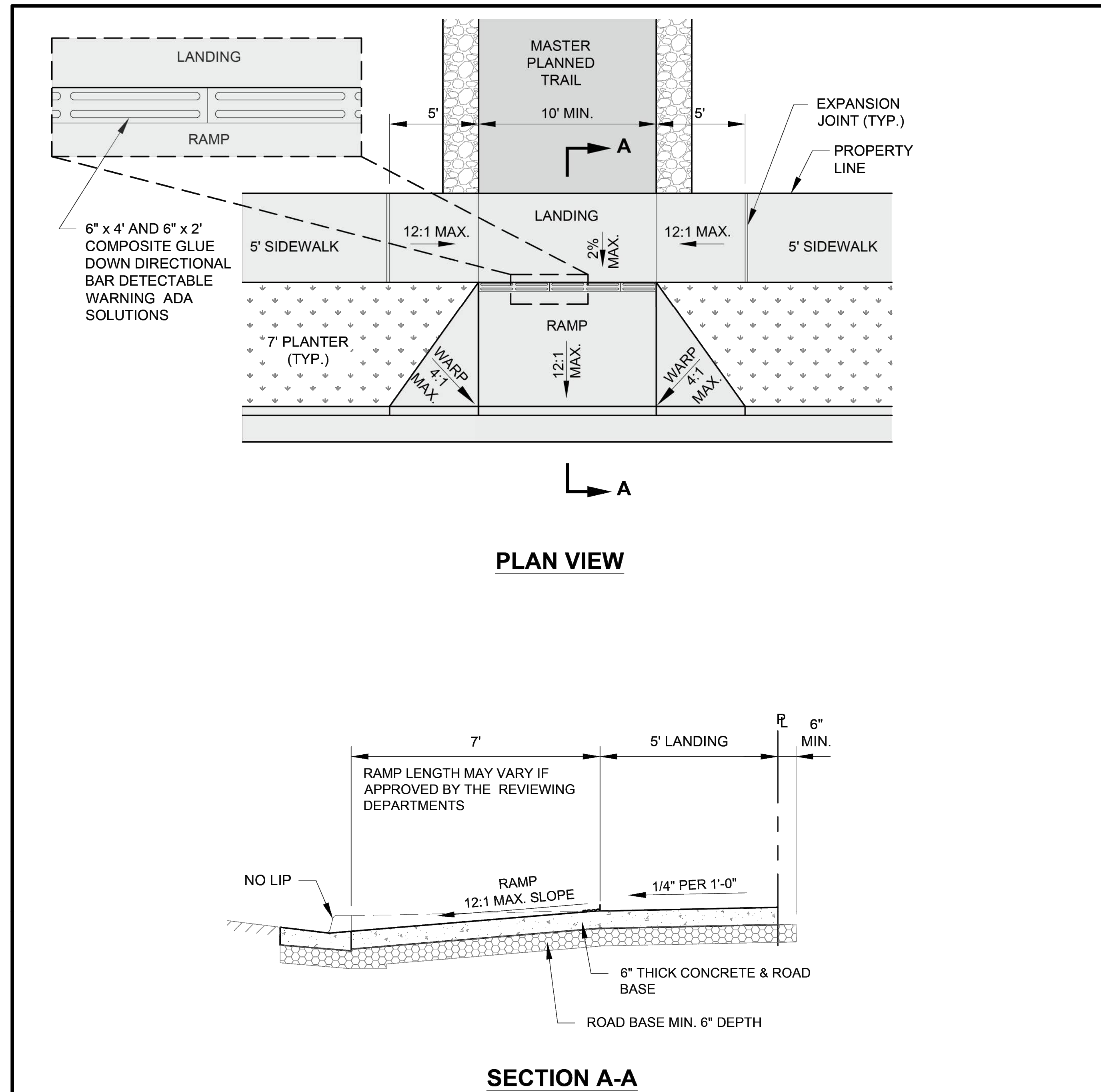
**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**



DETAILS

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-608



GENERAL NOTES:

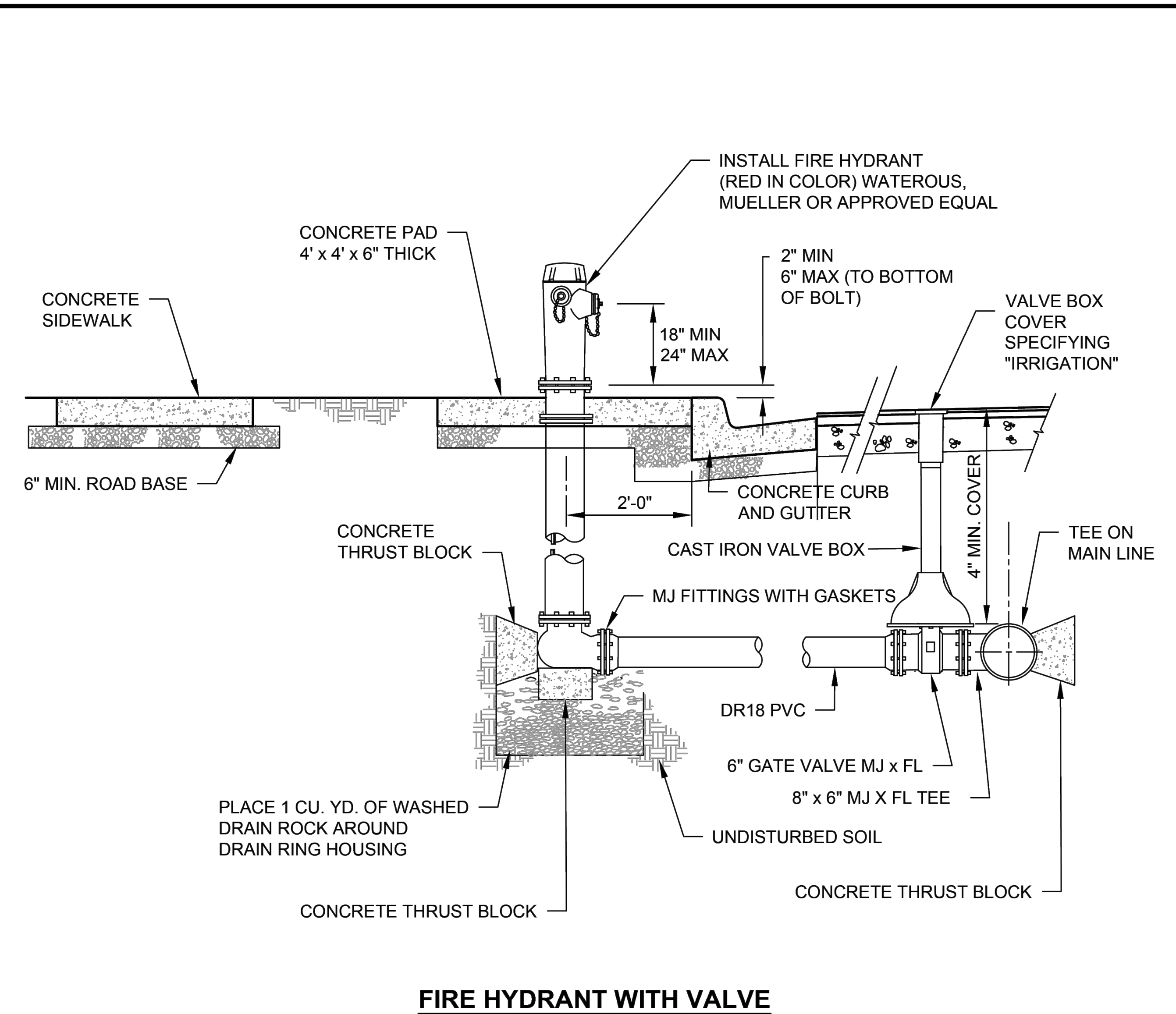
1. ROAD/FIELD GRADES MAY REQUIRE ADJUSTMENT AS PER APPROVAL BY PUBLIC WORKS DEPARTMENT
2. DETECTABLE WARNING SURFACES SHALL BE PLACED IN CONCRETE AND EXTEND THE FULL WIDTH OF THE RAMP (EXCLUSIVE OF FLARES, THE LANDING, OR THE BLENDED TRANSITION.)
3. PUBLIC WORKS DEPARTMENT MUST APPROVE TYPES AND COLOR OF DETECTABLE WARNING DEVICES USED.



LEHI CITY STANDARD DETAIL

**TRAIL RAMP
(BIKE-TO-STREET
ACCESS ONLY)**

RD-19 DATE: MAY 2024



NOTES:

1. ALL BOLTS SHALL BE FREE FROM CONCRETE AND FULLY ACCESSIBLE.
2. HYDRANT SHALL BE INSTALLED 2' BEHIND THE WALK WITH CONCRETE PAD WHEN THERE IS NO PLANTER.
3. WHEN INSTALLING CONCRETE PAD AROUND FIRE HYDRANT, CONTRACTOR SHALL PLACE CRACK CONTROL JOINTS DIAGONALLY FROM THE HYDRANT TO THE CORNERS OF SAID PAD.
4. A THREE (3) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED AROUND THE OUTSIDE OF ALL FIRE HYDRANTS.
5. STEAMER OUTLET SHALL FACE THE ROAD.



LEHI CITY STANDARD DETAIL

FIRE HYDRANT

WT-02 DATE: JANUARY 2022



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
EDGE HOMES
13702 SOUTH 200 WEST B12
DRAPER, UTAH 84020

CONTACT:
BRANDON PARR
PHONE: 801-494-0150

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION**
3600 WEST 1500 NORTH
LEHI, UTAH

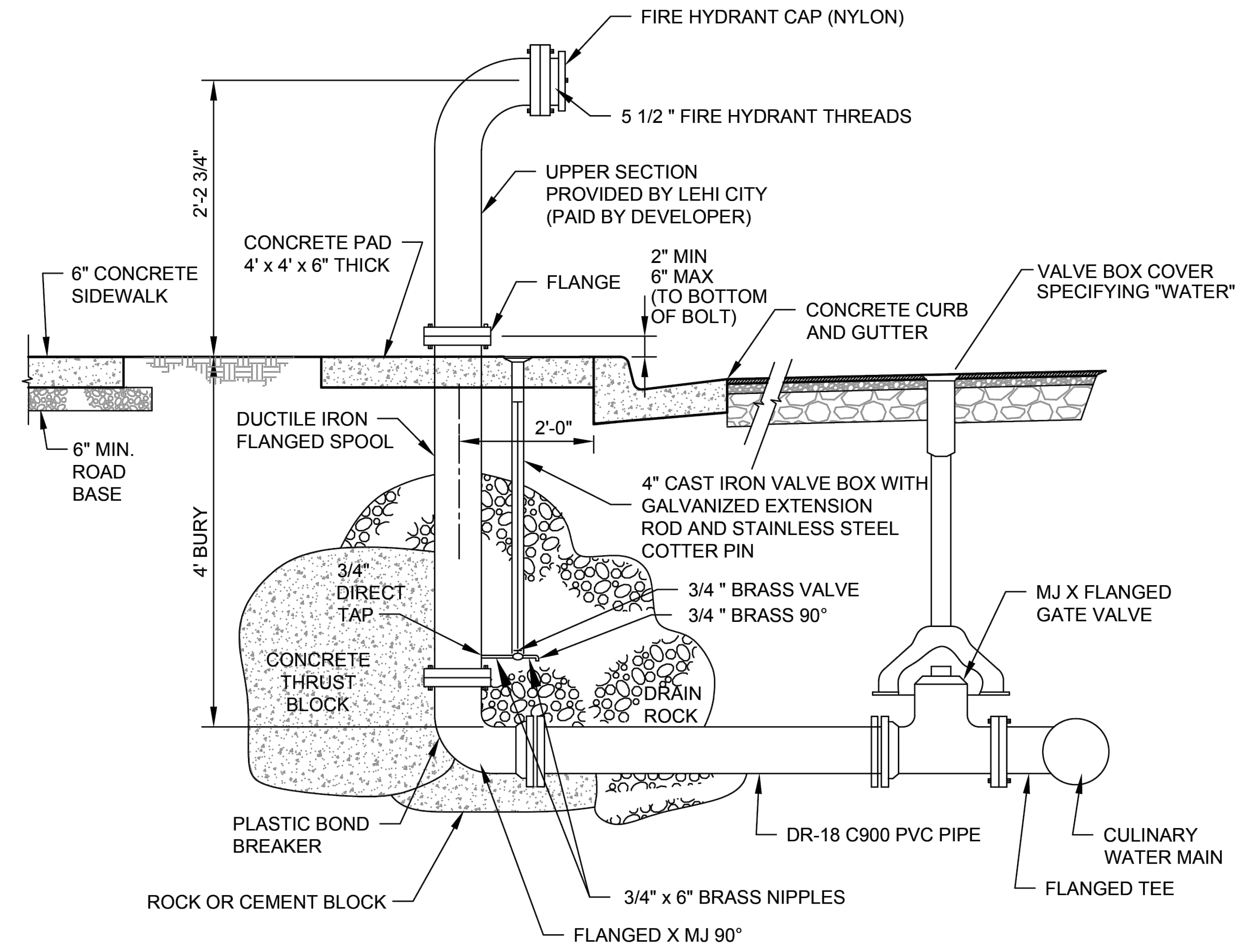


DETAILS

PROJECT NUMBER: 8069EE
PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B.
DESIGNED BY: C. O.

C-609

**RIVER POINT PHASE 6
A RESIDENTIAL PUD SUBDIVISION
3600 WEST 1500 NORTH
LEHI, UTAH**



NOTE:

1. 4" SIZE FOR 8" OR SMALLER LINES 6" SIZE FOR 10" OR LARGER LINES OTHER SIZES AS DIRECTED BY THE WATER DEPARTMENT DIRECTOR.
2. BLOWOFF SHALL BE INSTALLED 2' BEHIND THE WALK WITH CONCRETE PAD WHEN THERE IS NO PLANTER.
3. WHEN INSTALLING CONCRETE PAD AROUND BLOW-OFF, CONTRACTOR SHALL PLACE CRACK CONTROL JOINTS DIAGONALLY FROM THE BLOW-OFF TO THE CORNERS OF SAID PAD.
4. A THREE (3) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED AROUND THE OUTSIDE OF ALL BLOW-OFFS.
5. BLOWOFF TOP, ADAPTOR, AND CAP TO BE SUPPLIED BY LEHI CITY WATER DEPARTMENT.



LEHI CITY STANDARD DETAIL

BLOW-OFF

WT-03 DATE: JANUARY 2022

DETAILS

PROJECT NUMBER: 8069EE PRINT DATE: 2024-12-10
PROJECT MANAGER: M. B. DESIGNED BY: C. O.

C-610

River Point Phase 3 Offsite Sewer

A parcel of land situate in the Northwest Quarter of Section 12, Township 5 South, Range 1 West, Salt Lake Base and Meridian, being more particularly described as follows:

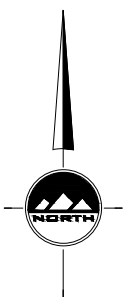
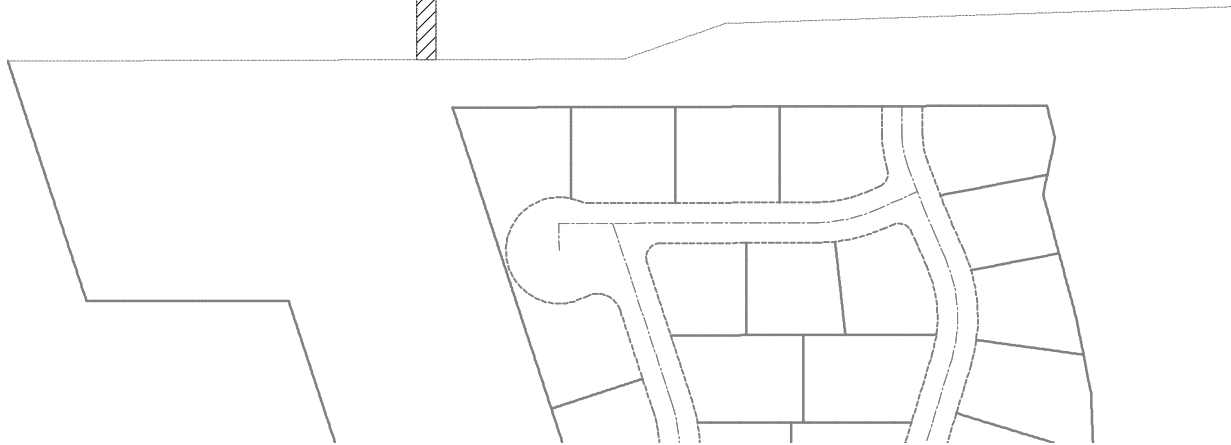
Beginning at a point being South 00°21'58" East 1054.06 feet along the section line and East 1407.23 feet from the Northwest Corner of Section 12, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence East 20.00 feet;
thence South 559.50 feet;
thence West 20.00 feet;
thence North 559.50 feet to the point of beginning.

Contains 11,190 Square Feet or 0.257 Acres



20' WIDE OFFSITE SEWER EASEMENT



PROJECT # 8069BB DATE 12/9/24

C1.0

FILE: F1

**RIVER POINT PHASE 3 PLAT
OFFSITE SEWER**
3600 WEST
LEHI, UTAH
EXHIBIT

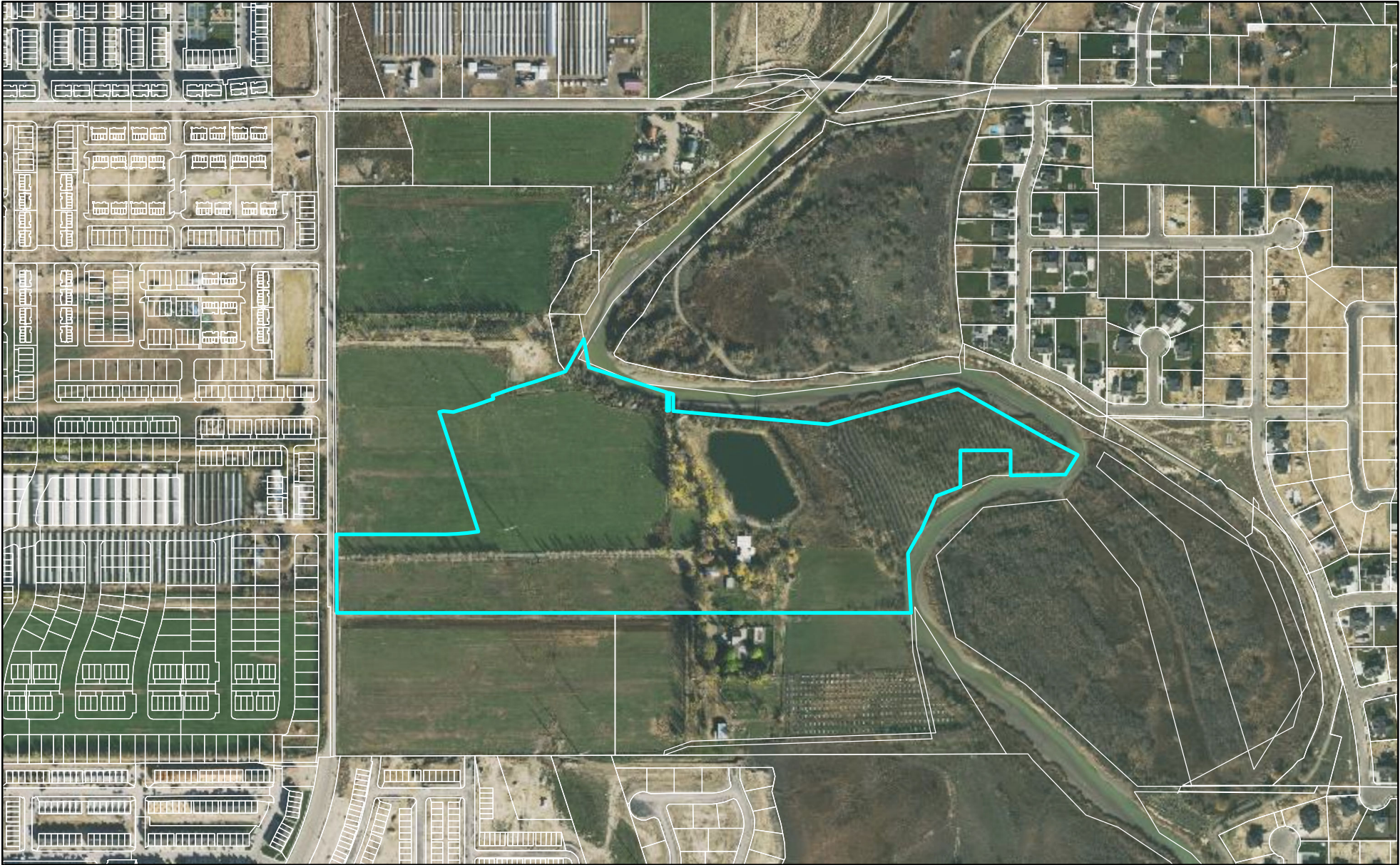
FOR:
EDGE HOMES
13702 S. 200 W. B12
DRAPER, UTAH 84020
PHONE: 801-494-0150

45 W. 10000 S. Ste 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
www.ensigneng.com



River Point Phase 6 Final Subdivision

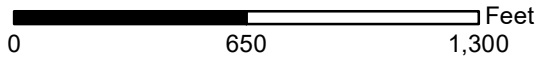
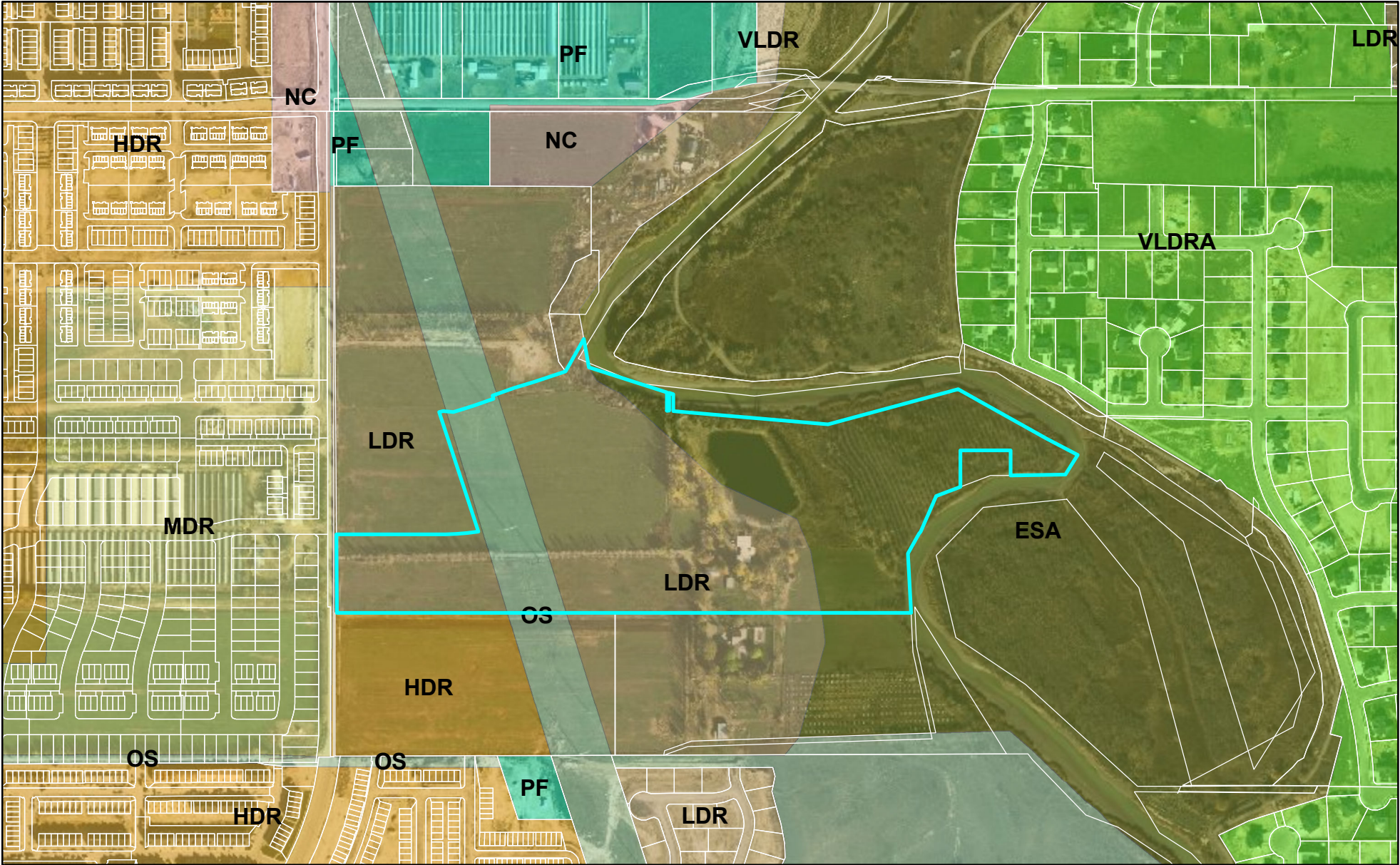
Aerial Map



0 650 1,300 Feet

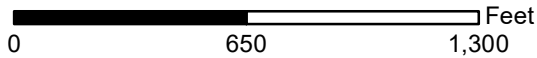
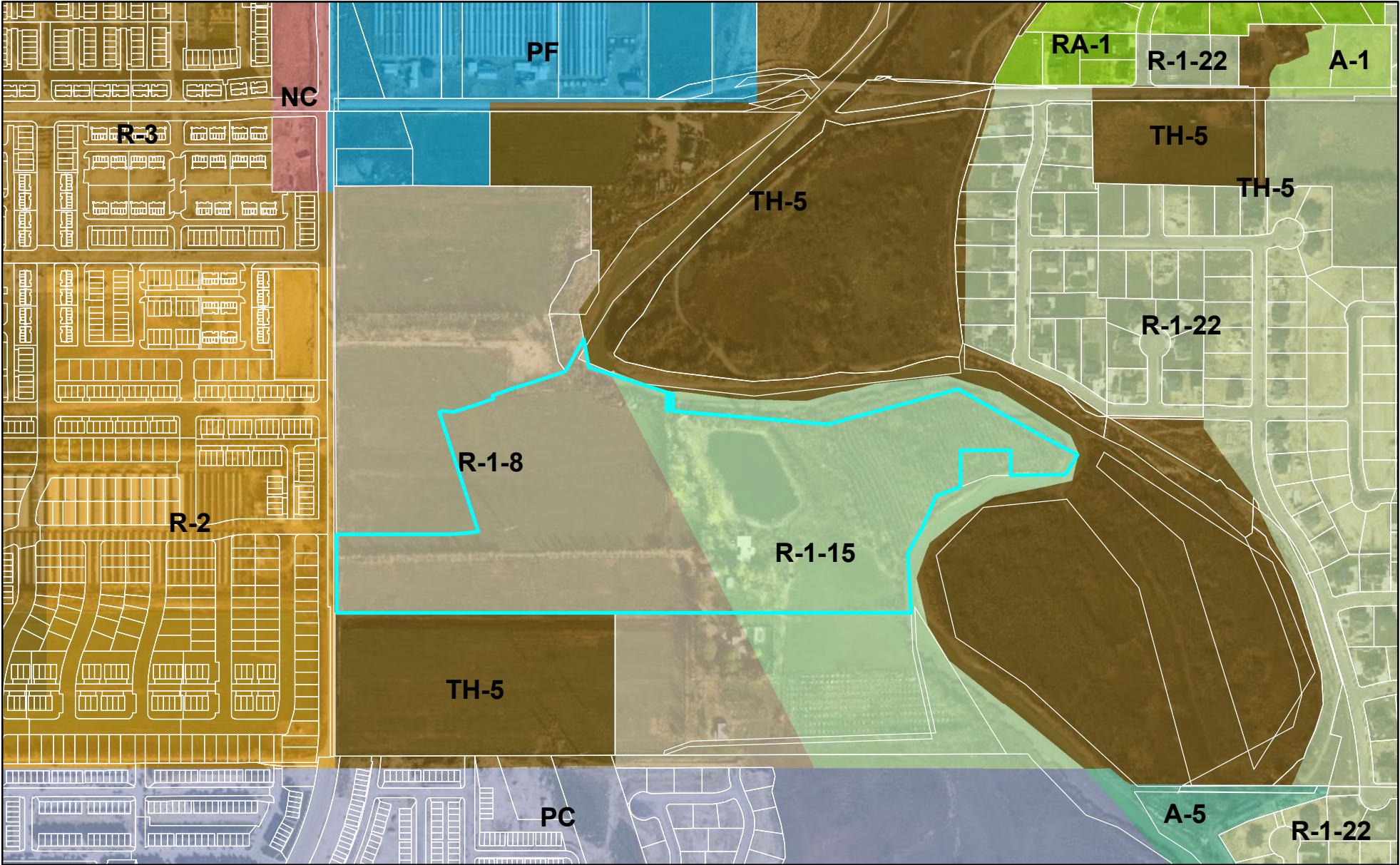
River Point Phase 6 Final Subdivision

General Plan Map



River Point Phase 6 Final Subdivision

Zoning Map



City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Jacob Curtis

Submitting Department: Planning Division

Item Type: Ordinance

Agenda Section: Regular Agenda

Subject:

Consideration of Ordinance #02-2025 the Public Facility Rezone 2024 located at various locations.

Suggested Action:

Attachments:

[CC Staff Report PF Rezone 2024 Zone Change 01.14.25.docx](#)

[PF Rezone 2024 DRC 11.06.24.docx](#)

[Ord 02-2025.docx](#)

[Public Facility Rezone 2024 Update DRC 11.06.24.pdf](#)

[PF Rezone North Aerial.pdf](#)

[PF Rezone South Aerial.pdf](#)

PF REZONE 2024 ZONE CHANGE

CITY COUNCIL REPORT

Applicant	Lehi City
Meeting Date	January 14, 2025
Requested Action/Purpose	Approval of a proposed zone change
Location	Citywide (See map)
Project Area	Approximately 95 acres
Existing Zoning	Multiple
Proposed Zoning	PF (Public Facility)
Existing General Plan Land Use Designation	Various
Date of DRC Review	November 6, 2024
Date of Planning Commission Review	December 12, 2024
Assigned Planner	Jacob Curtis

REQUIRED ACTION

Planning Commission	Review and recommendation
City Council	Final approval

APPLICABLE DEVELOPMENT CODE REGULATIONS

Section 04.060 Criteria for Approval, of the Lehi City Development Code, the Planning Commission should consider the following factors, among others, when reviewing a zone amendment:

1. The effect of the proposed amendment on the character of the surrounding area;
2. Consistency with the goals and policies of the General Plan;
3. Consistency and compatibility of the proposed zone with the General Plan land uses of nearby and adjoining properties;
4. The suitability of the properties for the uses requested and their suitability for the existing uses identified by the General Plan;
5. Whether a change in the uses allowed for the affected properties will unduly affect the uses, or proposed uses for nearby and adjoining properties;
6. The gain to the public health, safety, and welfare from the existing classification to the proposed amendment; and
7. The overall community benefit of the proposed amendment.

Section 05.020. Zoning Districts Purpose.

Z. The **Public Facilities (PF) District** is established to provide areas for publicly owned buildings and facilities.

1. Lehi City recognizes that, in attempting to serve the general public, there are unique needs that are difficult to address through standard residential or commercial zoning regulations. Therefore, the intent of this zone is to create a balance between the needs of the City and other governmental or public entities and the interests of adjacent property owners, who should be aware of the potential use of neighboring publicly owned lands and have assurance of continued public use.
2. Some uses in the PF District will be allowed in other zones to initially accommodate public facilities in appropriate areas without undue difficulty; however it is intended that the PF District would then be applied by the City to all such facilities for ease of recognition on the Lehi City Planning Zone Map and accurate statistical indexing of land uses.
3. The establishment of a PF District may only be initiated by Lehi City; however, changes from a PF District to another district may be initiated by any party.

4. When a property in the PF zone changes from one land use to another (as defined in the Table of Uses for the PF zone), Lehi City will hold a public hearing and send a notice to all property owners whose holdings are located partly or entirely within three hundred feet of the PF-zoned property.
5. Uses typical to the PF District may include:
 - (a) Public parks, playgrounds, swimming pools, trails and similar public recreation facilities.
 - (b) Public schools.
 - (c) Public cemeteries.
 - (d) Public buildings such as administrative buildings, libraries, courthouse, museums, public safety buildings, and similar structures.
 - (e) Municipal reservoirs, well sites, pump stations, maintenance shops, storage areas and similar public utility buildings and structures.
 - (f) Municipal parking lots and parking areas to serve a public use.

REPORT ANALYSIS

Lehi City seeks approval of a proposed zone change to Public Facilities for multiple public properties within the city. These properties include trails, open spaces, Family Park, and others; a full map and list are available in the Planning Commission packet. This is part of a series of rezones to change all publicly owned property in the City to the Public Facility zone.

Staff proposes this zone change to ensure the long-term public use of these properties. Every listed property is currently a zone other than PF. Staff feels that rezoning these properties to PF adds another layer of protection to their public use. The PF zone also helps public properties to be easily identified on the Zoning map.

During DRC Staff recognized that a portion of Family Park was still designated as VLDR on the General Plan. Because it is a city-owned property, a general plan amendment and zone change can be submitted concurrently for this property.

DRC had three redline comments that were updated prior to the Planning Commission meeting. As a note, this included:

1. Submit a GP amendment for the LDR portions of Family Park.

Please consider all DRC Comments in your motion.

POSSIBLE MOTIONS AND FINDINGS

The City Council may move to approve or deny the proposed zone change. Any motion should include findings. Possible findings include:

1. The proposed zone change is/is not consistent with the goals and policies of the General Plan.
2. The proposed change is/is not consistent and compatible with the General Plan land uses of nearby and adjoining properties.
3. The proposed change will/will not unduly affect the uses, or proposed uses for nearby and adjoining properties.

PLANNING COMMISSION RECOMMENDATION

The Planning Commission reviewed the proposed zone change on December 12, 2024. The minutes and motion from this meeting are as follows:

3.5) Public Hearing and recommendation of Lehi City’s request for review of the Public Facility Rezone 2024 located at various locations.

Katie Bussell presented the item. The rezone is an effort to change all public property to the Public Facility zoning designation. It was brought to the attention of the planners when they noticed zoning irregularities in Family Park.

Commissioner Everett asked if the rezoning would require a General Plan Amendment. Katie Bussell stated that it wouldn't, as these are properties that just need to be redone. City staff had no additional comments.

Commissioner Everett opened public comment.

Wayne Pearson came forward with questions about the rezoning. He lives close to the areas being rezoned and wanted to know why the zone change was happening. Katie Bussell explained that Family Park and the city cemetery are being rezoned to add a layer of protection and prevent additional development from coming in. Kim Struthers added that the purpose is to recognize the areas as public facilities. Pearson brought up a piece of property in front of his house that he's been trying to buy from the city for about 20 years. He's been taking care of it, but it has never been signed for. He wants to know if the zone change will affect that. Struthers pulled up the map and determined that the area wouldn't be affected by the zone change, and that the purchase should still be possible. Pearson thanked the Commission and city staff for answering his questions.

Bill Anderson asked if the zone change applied to private property. Commissioner Everett explained that it will only affect properties already owned by the city. Anderson brought up a note he got from the police department about a potential rezone. Kim Struthers explained that his property will not be affected, he was just within the 300 foot radius of an adjacent property that is being rezoned as a public facility. Katie Bussell clarified that no private property was being rezoned at the meeting.

Commissioner Everett closed public comment.

Motion: Commissioner Kunze moved to make a positive recommendation, finding that the effect of the proposed amendment on the character of the surrounding area is positive, that it is consistent with the goals and policies of the general plan, that it is consistent and compatible with the general plan land uses of nearby and adjoining properties, and that the suitability of the property of the land use is requested, and the suitability for the existing uses defined by the general plan are also positive. She included all DRC comments. Commissioner Lockhart seconded.

Vote: Commissioner Everett, yes. Commissioner Lockhart, yes. Commissioner Eyre, yes. Commissioner Kunze, yes. Commissioner Jones, yes.

Motion passed unanimously.

**PF Rezone 2024
DRC Redline Comments**

Lehi City- requests review of the 2024 Public Facility Rezone update for various properties.

DRC Members Present: Glade Kirkham, Garion Rowett, Ryan Allred, Shelby Brewer, Kim Struthers, Gary Smith, Gary Ellis, James Farnsworth, Luke Seegmiller

Assigned Planner: Jacob Curtis

Representatives of the Applicant Present: N/A

Date of Plans Reviewed: 10/25/24

Time Start: 1:02 pm

Time End: 1:06 pm

DRC REDLINE COMMENTS:

Glade – Power: No comments

Garion – Fire: No comments

Ryan – Water/Sewer: No comments

James – Parks: No comments

Gary S. – Building/Inspections:

1. Add approximate address to all plat numbers.

Shelby – Public Works: No comments

Gary E. – Engineering: No comments

Luke- Traffic: No comments

Kim – Planning:

2. Submit a GP amendment for the LDR portions of Family Park.
3. Show all parcels highlighted in blue for any maps that have multiple parcels.

THIS ITEM WILL BE SCHEDULED FOR PLANNING COMMISSION ON DECEMBER 12, 2024.

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.



ORDINANCE NO: 02-2025

**AN ORDINANCE APPROVING A ZONE DISTRICT DESIGNATION
AMENDMENT AND ZONING DISTRICT MAP AMENDMENT
FOR SEVERAL CITY PROPERTIES TO PUBLIC FACILITY**

WHEREAS, Lehi City, authorized agent for the owner of properties located at various locations and further described by the legal descriptions attached as Exhibit “A”, has applied for an amendment to the Zone District and Zoning District Map; and

WHEREAS, the applicant seeks to have said parcels designated as Public Facility (PF);
and

WHEREAS, following a public hearing on December 12, 2024, the Lehi City Planning Commission reviewed the proposed Zoning District Designation and Zoning District Map amendment and forwarded it to the City Council to decide on the proposed amendment; and

WHEREAS, on January 14, 2025, the City Council held a duly noticed meeting to receive public comment and ascertain the facts regarding this matter, which facts and comments are found in the hearing record and which include the staff report, minutes from the Planning Commission meeting of December 12, 2024; and

WHEREAS, after considering the facts and comments presented to the Municipal Council, the Council finds: (i) the request for a Zone District Designation amendment and Zoning District amendment is consistent with the Lehi City General Plan Land Use Map adopted by the Lehi City Council on January 25, 2022 (and as subsequently amended); and (ii) such action furthers the health, safety and welfare of the citizens of Lehi.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Lehi City, Utah as follows:

PART I:

The Zone District Designation and the Zoning District Map of the properties described on Exhibit “A” are hereby amended to Public Facility (PF).

PART II:

A. If a provision of this Ordinance 02 -2025 conflicts with a provision of a previously adopted ordinance concerning the same title, chapter, and/or section number amended herein, the provision in this Ordinance shall prevail.

B. This ordinance and its various section, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause or phrase is adjudged to be unconstitutional or invalid, the remainder shall not be affected thereby.

C. The City Council hereby directs that the official copy of the Lehi City Code be updated to reflect the provisions enacted by this Ordinance.

D. This Ordinance shall take effect immediately after being posted or published as required by law.

Approved and Adopted by the City Council of Lehi City this 14th day of January 2025.

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

EXHIBIT "A"

- 1) 65:420:0154- Legal Description: PARCEL B, PLAT A, CRANBERRY RIDGE PUD. AREA 1.372 AC.
- 2) 55:810:0047- Legal Description: LOT A, PLAT A, WILLIS CROSSING SUB AREA 2.003 AC.
- 3) 01:037:0002- Legal Description: COM. 5 1/2 RDS W OF SE COR OF LOT 1, BLK41, PLAT A, LEHI CITY SURVEY; N 2.70 CHS; W 1 CHS; S 2.70 CHS; E 1 CH TO BEG.
- 4) 66:808:0022-Legal Description: PARK, PLAT A, SOUTH CREEK SUB AREA 1.555 AC.
- 5) 13:030:0100- Legal Description: COM N 89 DEG 44' 4" E 1678.97 FT & S 437.11 FT FR N 1/4 COR. SEC. 19, T5S, R1E, SLB&M.; S 0 DEG 42' 10" W 50.47 FT; N 79 DEG 53' 0" W 66.35 FT; N 86 DEG 2' 54" W 25.11 FT; S 85 DEG 45' 3" W 22.54 FT; S 71 DEG 58' 42" W 38.42 FT; S 69 DEG 52' 56" W 47.24 FT; S 75 DEG 28' 28" W 26.67 FT; S 83 DEG 2' 33" W 27.1 FT; N 85 DEG 32' 6" W 30.09 FT; N 78 DEG 25' 15" W 22.54 FT; N 73 DEG 17' 5" W 60.84 FT; N 74 DEG 11' 47" W 75.13 FT; N 88 DEG 20' 56" W 22.22 FT; S 82 DEG 43' 51" W 18.56 FT; S 73 DEG 15' 26" W 26.37 FT; S 62 DEG 46' 12" W 26.15 FT; S 49 DEG 27' 57" W 29.11 FT; S 41 DEG 58' 47" W 26.51 FT; S 33 DEG 48' 28" W 20.74 FT; S 28 DEG 43' 10" W 25.49 FT; S 19 DEG 11' 51" W 39.01 FT; S 0 DEG 8' 24" W 382.53 FT; S 89 DEG 51' 36" E 589.47 FT; S 0 DEG 42' 9" W 29.09 FT; S 87 DEG 55' 10" W 676.92 FT; N 4 DEG 45' 18" W 52.84 FT; N 1 DEG 29' 5" W 43.51 FT; N 11 DEG 32' 53" E 20.44 FT; N 0 DEG 11' 3" E 27.46 FT; N 12 DEG 52' 6" E 71.41 FT; N 0 DEG 19' 0" W 116.17 FT; N 29 DEG 59' 46" E 45.05 FT; N 0 DEG 50' 22" W 11.06 FT; N 56 DEG 10' 59" W 18.93 FT; N 8 DEG 23' 31" E 50.81 FT; N 0 DEG 44' 21" W 57.5 FT; N 0 DEG 31' 26" W 154.48 FT; N 1 DEG 36' 32" E .84 FT; S 89 DEG 16' 19" E 326.44 FT; ALONG A CURVE TO R (CHORD BEARS: S 82 DEG 36' 36" E 334.12 FT, RADIUS = 1440 FT) TO BEG. AREA 2.890 AC.
- 6) 12:013:0177- Legal Description: COM N 232.931 FT & W 97.673 FT FR S 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; N 60 DEG 9' 54" W 27.71 FT; N 54 DEG 8' 32" W 99.45 FT; N 0 DEG 28' 0" E 537.35 FT; S 17 DEG 22' 8" E 162.02 FT; S 0 DEG 59' 45" E 110 FT; S 0 DEG 59' 44" E 20 FT; S 0 DEG 59' 45" E 133.98 FT; S 88 DEG 23' 44" E 47.33 FT; S 189.48 FT TO BEG. AREA 0.781 AC.
- 7) 12:013:0180- Legal Description: COM N 305.029 FT & W 202.389 FT FR S 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; N 54 DEG 8' 32" W 343.39 FT; N 61 DEG 4' 38" W 175.88 FT; N 0 DEG 19' 0" W 295.46 FT; E 424.68 FT; S 17 DEG 14' 12" E 15.48 FT; S 0 DEG 28' 0" E 566.91 FT TO BEG. AREA 4.239 AC.
- 8) 12:013:0176- Legal Description: COM N 886.67 FT & W 211.58 FT FR S 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; W 415.14 FT; N 104 FT; E 401.97 FT; S 5 DEG 18' 38" E 88.26 FT; S 17 DEG 14' 9" E 16.88 FT TO BEG. AREA 0.971 AC.
- 9) 12:013:0175- Legal Description: COM N 25.87 FT & E 2661.17 FT FR W 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; S 0 DEG 15' 23" E 1650 FT; S 89 DEG 44' 31" W 6.7 FT; N 0 DEG 19' 39" W 84.33 FT; N 0 DEG 19' 39" W 105.68 FT; S 89 DEG 40' 21" W 207.21 FT; S 1 DEG 56' 14" W 105.77 FT; S 1 DEG 40' 38" W 84.11 FT; S 89 DEG 44' 37" W 438.97 FT; S 0 DEG 15' 23" E 419.37 FT; N 58 DEG 22' 19" W 165.49 FT; S 0 DEG 2' 14" E 65.04 FT; N 51 DEG 23' 23" W 17.09 FT; N 55.58 FT; N 57 DEG 3' 0" W 440.36 FT; N 51 DEG 23' 23" W 106.88 FT; S 58 DEG 7' 46" E 70.5 FT; N 349.54 FT; W 89.13 FT; N 0 DEG 15' 23" W 591.15 FT; S 34 DEG 59' 59" E 2.22 FT; N 0 DEG 0' 1" E 35 FT; S 89 DEG 56' 28" E 458.82 FT; N 0 DEG 3' 13" W 25.9 FT; N 88 DEG 43' 11" E 1.94 FT; N 0 DEG 3' 14" W 267.65 FT; N 41 DEG 33' 14" W 4.87 FT; N 0 DEG 15' 23" W 48.86 FT; S 54 DEG 23' 57" E 121.29 FT; N 35 DEG 21' 34" E 271.68 FT; N 54 DEG 23' 47" W 28.47 FT; N 35 DEG 20' 37" E 8.03 FT; S 54 DEG 39' 23" E 23.84 FT; N 54 DEG 24' 56" E 401.59 FT; N 89 DEG 44' 37" E 248.26 FT TO BEG. AREA 39.690 AC.
- 10) 12:016:0011- Legal Description: COM AT NW COR. OF SE 1/4 SEC. 4, T5S, R1E, SLB&M.; S 40 RD; E 20 RD; N 40 RD; W 20 RD TO BEG. AREA 5.000 AC.

- 11) 12:016:0148- Legal Description: COM N 0 DEG 43' 19" W 625.44 FT & W 2068.49 FT FR E 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; S 1287 FT; S 89 DEG 57' 20" W 233.63 FT; N 660 FT; N 89 DEG 57' 20" E 132 FT; N 627 FT; N 89 DEG 57' 20" E 101.63 FT TO BEG. AREA 5.003 AC.
- 12) 12:015:0096- Legal Description: COM N 452.83 FT & W 2664.61 FT FR E 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; S 0 DEG 19' 12" E 454.9 FT; N 89 DEG 57' 22" E 460.93 FT; N 0 DEG 17' 32" E 454.9 FT; S 89 DEG 57' 22" W 465.79 FT TO BEG. AREA 4.839 AC.
- 13) 12:015:0023- Legal Description: COM N 592.14 FT & W 2667.42 FT FR E 1/4 COR. SEC. 4, T5S, R1E, SLB&M.; S 1 DEG 46' 27" W 139.39 FT; N 89 DEG 57' 22" E 472.91 FT; N 0 DEG 17' 32" E 601.07 FT; N 86 DEG 15' 20" W 132.53 FT; S 41 DEG 20' 55" W 173.07 FT; S 33 DEG 54' 22" W 164.42 FT; S 33 DEG 7' 24" W 244.02 FT TO BEG. AREA 4.860 AC.
- 14) 65:401:0121- Legal Description: OPEN SPACE, PLAT A, COLONIAL PARK SUB AREA 0.783 AC.
- 15) 65:567:0121- Legal Description: DRY CREEK AREA 2, CREEKSIDE FARM RESIDENTIAL SUB AREA 0.177 AC.
- 16) 65:567:0120- Legal Description: DRY CREEK AREA 1, CREEKSIDE FARM RESIDENTIAL SUB AREA 0.317 AC.
- 17) 12:016:0033- Legal Description: COM N 28' W 998.55 FT FR S 1/4 COR OF S3, T5S, R1E, SLBM; N 28' W 325.82 FT; N 89 DEG 53' E 354.75 FT; S 28' E 326.54 FT; W 354.75 FT TO BEG.

Public Facility Rezone

We noticed some additional properties that need to be rezoned to Public Facility to match with the General Plan.

65:420:0154 (Approximately 2100 N 2490 W)



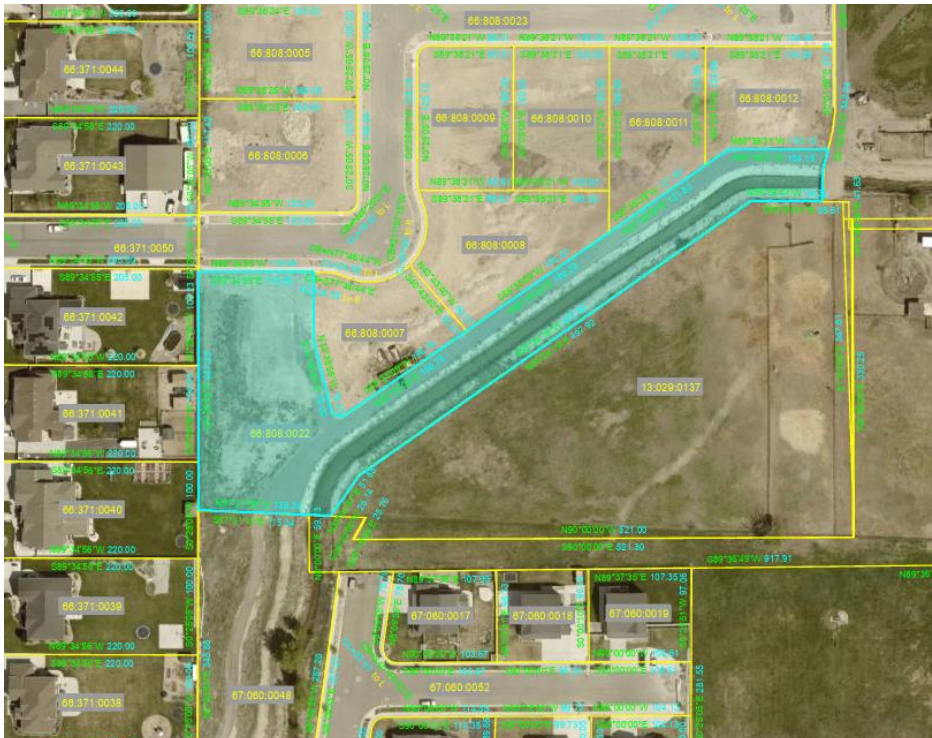
55:810:0047 (Approximately 200 E 1630 S)



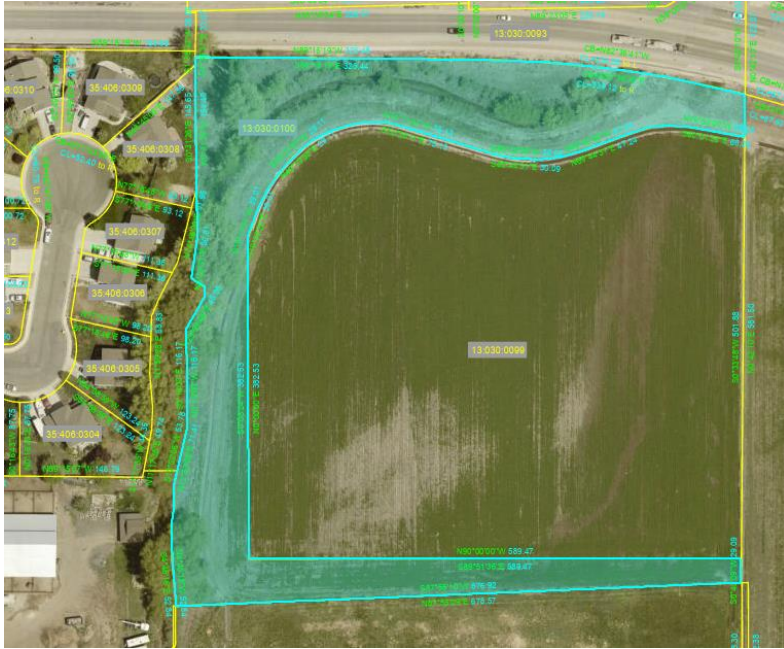
01:037:0002 (69 E Main)



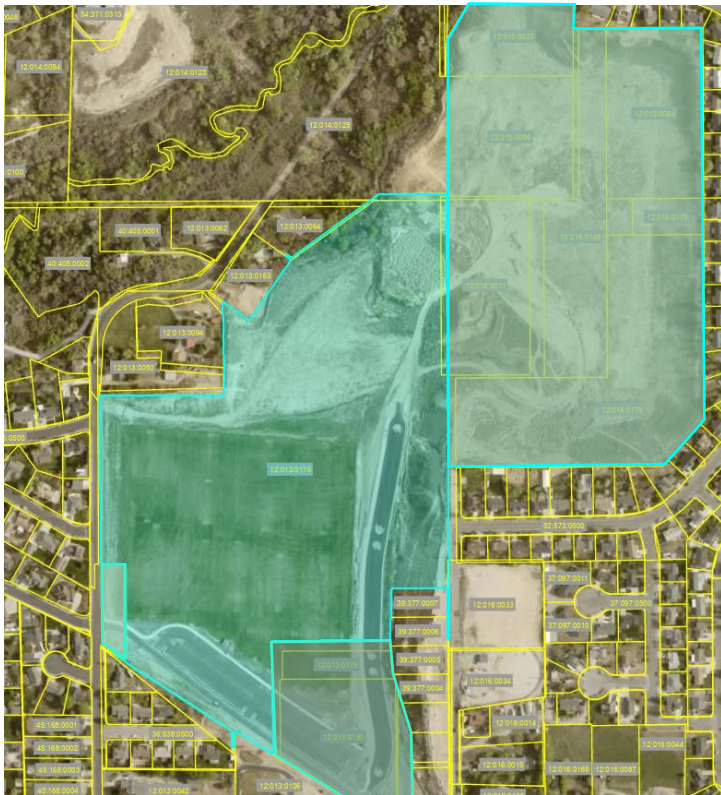
66:808:0022 (1987 W 1450 S)



13:030:0100 (Approximately 1500 W 1000 S)



Family Park (multiple parcels)- 12:013:0177, 12:013:0180, 12:013:0176, 12:013:0175, 12:016:0011, 12:016:0148, 12:015:0096, 12:015:0023 (1999 N 600 E)



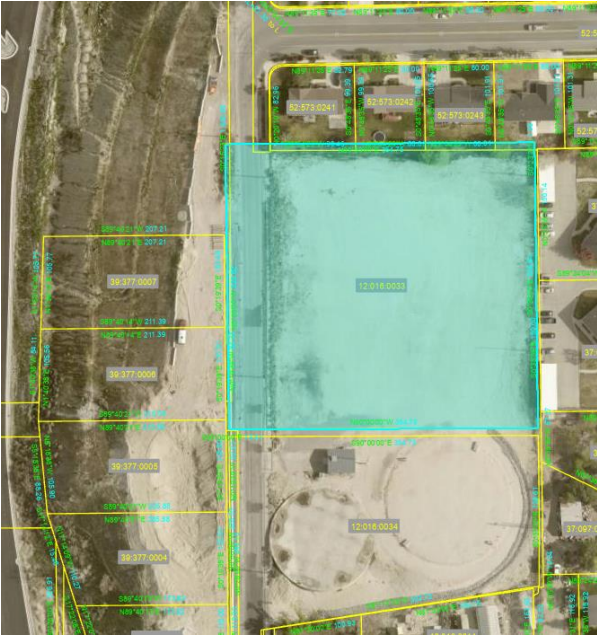
65:401:0121 (Approximately 850 S 1180 W)



65:567:0121 & 65:567:0120 (Approximately 600 S Creekside Drive)

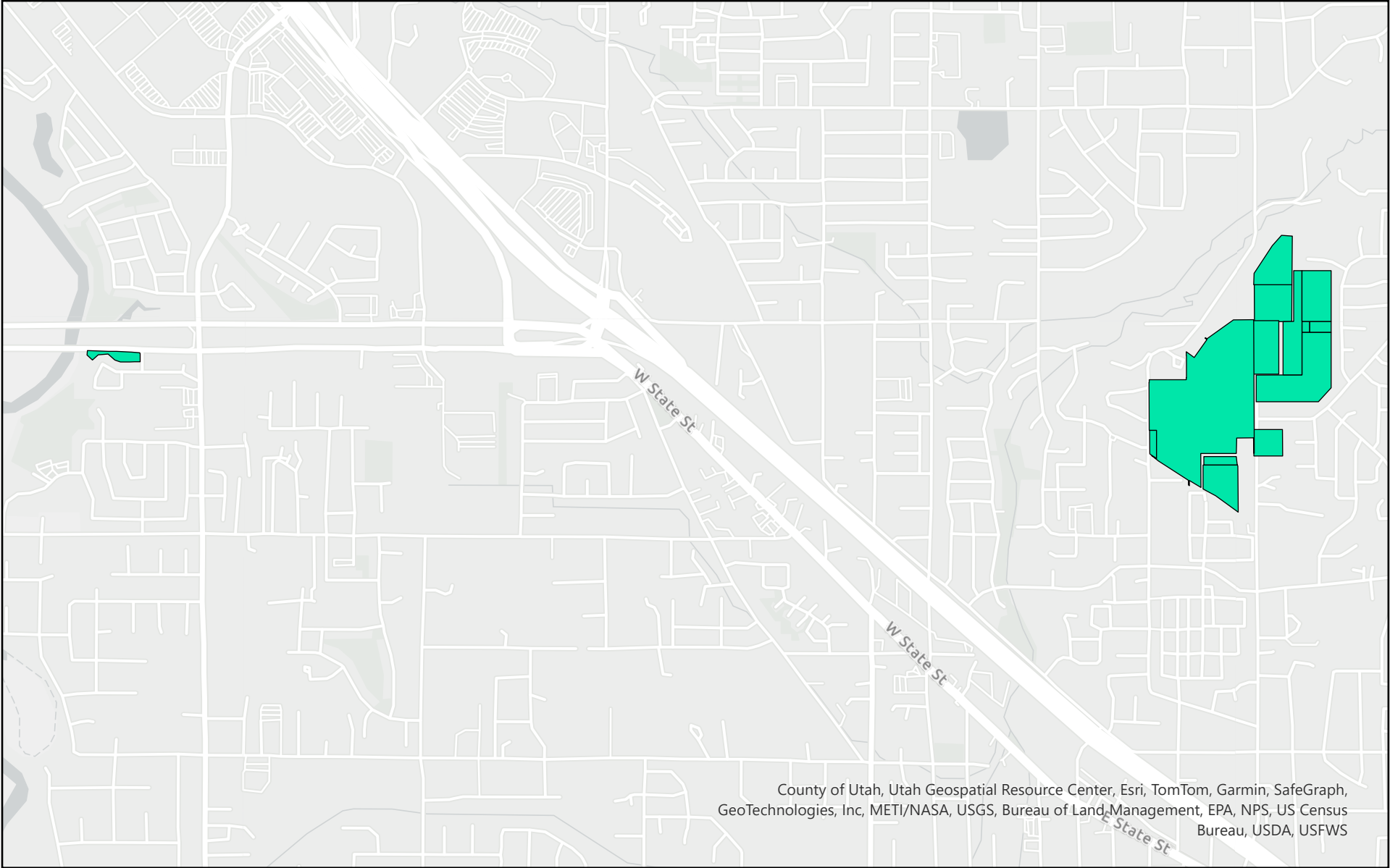


12:016:0033 (Approximately 1800 N 600 E)



Public Facility Rezone Map - North

Aerial



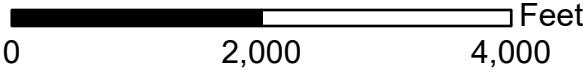
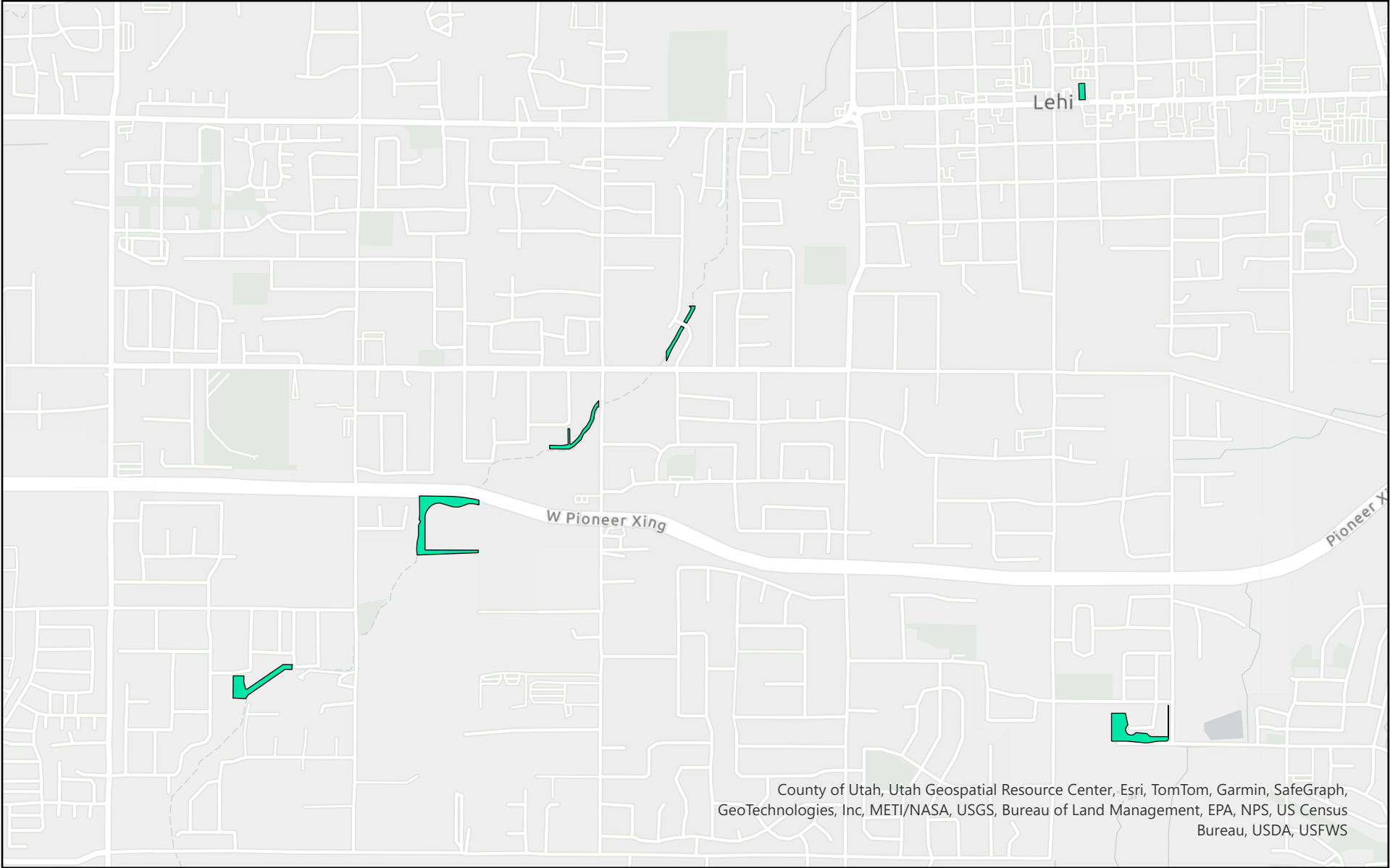
0 2,000 4,000 Feet

PF Rezone



Public Facility Rezone Map - South

Aerial



 PF Rezone



City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-04 appointing members to the Board of Trustees of the Metropolitan Water District of Lehi.

Suggested Action:

Attachments:

[Res 2025-04.docx](#)



RESOLUTION NO. 2025-04

**A RESOLUTION OF THE LEHI CITY COUNCIL APPOINTING A MEMBER
TO THE BOARD OF TRUSTEES OF THE METROPOLITAN WATER
DISTRICT OF LEHI.**

WHEREAS, Utah State Code 17B-1-303 and 17B-2a-604 outline the terms and qualifications for the Metropolitan Water District Board of Trustees; and

WHEREAS, Section 17B-2a-604(5)(a) prohibits elected or appointed officials of the appointing municipality from serving as Board Trustees, except for the officer with responsibility over the municipality's water supply and distribution system; and

WHEREAS, the Metropolitan Water District of Lehi currently has a vacant position and the terms of the Board members need to be re-established; and

WHEREAS, the Mayor of Lehi City wishes to appoint, with the advice and consent of the City Council, the following individual to the Metropolitan Water District of Lehi.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF LEHI, UTAH, as follows:

1. Reappoint John Peterson as a Trustee. Mr. Peterson's term shall begin immediately and will remain effective until replaced.
2. Appoint Steve Holbrook as a Trustee. Mr. Holbrook's term shall begin immediately and will remain effective until replaced.
3. The provisions of this resolution shall take effect immediately upon passage.

PASSED and APPROVED this 14th day of January, 2024.

LEHI CITY

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

City Council Agenda Item Report

Meeting Date: January 14, 2025

Submitted By: Teisha Wilson

Submitting Department:

Item Type: Resolution

Agenda Section: Regular Agenda

Subject:

Consideration of Resolution #2025-06 approving an Interlocal Cooperation Agreement with Utah County for an effort to aid the unsheltered.

Suggested Action:

Attachments:

[Res 2025-06.docx](#)

[Interlocal in Support of the Unsheltered.pdf](#)



RESOLUTION NO. 2025-06

A RESOLUTION OF THE LEHI CITY COUNCIL APPROVING AN INTERLOCAL COOPERATION AGREEMENT BETWEEN UTAH COUNTY AND LEHI CITY FOR AN EFFORT TO AID THE HOMELESS

WHEREAS, the Utah Interlocal Co-operation Act, Title 11, Chapter 13, Utah Code Annotated (1953), as amended, permits local governmental units including cities, counties and political subdivisions of the State of Utah to make the most efficient use of their powers by enabling them to cooperate with other public entities;

WHEREAS, Lehi City ("City") and Utah County ("County") recognize that homelessness is a problem in our communities and that each can play a role in alleviating suffering and other effects of homelessness;

WHEREAS, City and County desire to support the Utah County Winter Response Task Force and its 2024-2025 Winter Response Plan and future Plans which plans include an ecosystem of services to serve Utah County's unsheltered population during the cold season; and which plan has been and will continue to be approved by the Utah Office of Homeless Services;

WHEREAS, City agrees to contribute funds in support of the Utah County Winter Response Task Force and its Winter Response Plans, which contributions contribute to the safety, health, prosperity, moral well-being, peace, order, comfort, or convenience of City and County residents.;

WHEREAS, on January 14th, 2025, the City Council held a duly noticed public meeting to ascertain the facts regarding this matter, which facts and comments are found in the meeting record; and

WHEREAS, after considering the facts and comments presented to the City Council, the Council finds: (i) that it should approve the Interlocal Cooperation Agreement with Utah County; and (ii) such action furthers the health, safety and welfare of the citizens of Lehi.

NOW, THEREFORE, be it resolved by the City Council of Lehi City, Utah, as follows:

1. The Interlocal Cooperation Agreement attached hereto as Exhibit "A" is hereby approved and the Mayor is authorized to execute the agreement and take all other such action as is necessary to make it effective.
2. This resolution shall take effect immediately.

Approved and Adopted by the City Council of Lehi City, Utah this 14th day of January, 2025.

LEHI CITY

ATTEST

Mark Johnson, Mayor

Teisha Wilson, City Recorder

Exhibit "A"

INTERLOCAL COOPERATION AGREEMENT

Between UTAH COUNTY AND

Lehi City (CITY)

For an effort to aid the homeless

THIS AGREEMENT, made and entered into this ___ day of _____ 2024, by and between UTAH COUNTY, a body corporate and politic of the State of Utah, (hereinafter “County”) and _____, a political subdivision of the State of Utah, (hereinafter “City”).

WHEREAS, the Utah Interlocal Cooperation Act, Utah Code Title 11, Chapter 13, permits local governmental units including cities, counties and political subdivisions of the State of Utah to make the most efficient use of their powers by enabling them to cooperate with other public entities on the basis of mutual advantage and to exercise joint cooperative action for the benefit of their respective citizens; and

WHEREAS, City and County are local governmental units under the Interlocal Cooperation Act; and

WHEREAS, City and County recognize that homelessness is a problem in our communities and that each can play a role in alleviating suffering and other effects of homelessness; and

WHEREAS, City and County desire to support the Utah County Winter Response Task Force and its 2024-2025 Winter Response Plan and future Plans which plans include an ecosystem of services to serve Utah County’s unsheltered population during the cold season; and which plan has been and will continue to be approved by the Utah Office of Homeless Services; and

WHEREAS, City agrees to contribute funds in support of the Utah County Winter Response Task Force and its Winter Response Plans, which contributions contribute to the safety, health, prosperity, moral well-being, peace, order, comfort, or convenience of City and County residents.

NOW THEREFORE, in consideration of the covenants and agreements contained herein and other valuable consideration, the sufficiency of which is hereby acknowledged, City and County hereby agree as follows:

Section 1. PURPOSES.

This Agreement has been established and entered into between the County and the City for the

purpose of providing aid and relief to the homeless and in support of the Utah County Winter Response Task Force and its Winter Response Plans.

Section 2. ADMINISTRATION OF AGREEMENT.

The parties hereto agree that, pursuant to Utah Code Section 11-13-207, the Utah County Administrator, shall act as the administrator responsible for the administration of this Agreement. The parties further agree that this Agreement does not anticipate nor provide for any organizational changes in the parties. The administrator agrees to keep all books and records in such form and manner as the Utah County Auditor shall specify and further agrees that said books shall be open for examination by the parties hereto at all reasonable times. The parties agree that they will not acquire, hold nor dispose of real property pursuant to this Agreement during this joint undertaking.

Section 3. EFFECTIVE DATE, DURATION.

This Agreement shall become effective and shall enter into force within the meaning of the Interlocal Cooperation Act, upon the submission of this Agreement to, and the approval and execution hereof by the governing bodies of the County and the City. The term of this Agreement shall be from the date of execution hereof and extend for a term no to exceed 50 years.

Either party to this Interlocal Cooperation Agreement may cancel the Agreement at any time by submitting a written notice of cancellation to the other party. Upon cancellation, County agrees to no longer send invoices to City for the contribution described herein; refunds will not be allowable.

Section 4. NO SEPARATE LEGAL ENTITY.

The County and the City do not contemplate nor intend to establish a separate legal or administrative entity under the terms of this Agreement.

Section 5. TERMS.

A. City Contribution: City agrees to make a financial contribution in support of the Utah County Winter Response Task Force and its Winter Response Plans which contributes to the safety, health, prosperity, moral well-being, peace, order, comfort, or convenience of City and County residents in the amount of \$9,022.70. Such amount is made in consideration of City's population in relation to the total Utah County population.

B. Management of Funds: County will hold and expend the funds contributed by City under this Interlocal Agreement solely for the benefit of the homeless and as directed by the Utah County Winter Response Task Force.

Section 6. FILING OF INTERLOCAL COOPERATION AGREEMENT.

Executed copies of this Agreement shall be placed on file with the official keeper of records of the County and the City, and shall remain on file for public inspection during the term of this Agreement.

Section 7. AMENDMENTS.

This Agreement may not be amended, changed, modified or altered except by an instrument in writing which shall be: (a) approved by Resolution of the governing body of each of the parties, (b) executed by a duly authorized official of each of the parties, and (c) filed in the official records of each party.

Section 8. SEVERABILITY.

If any term or provision of this Agreement or the application thereof shall to any extent be invalid or unenforceable, the remainder of this Agreement, or the application of such term or provision to circumstances other than those with respect to which it is invalid or unenforceable, shall not be affected thereby, and shall be enforced to the extent permitted by law. To the extent permitted by applicable law, the parties hereby waive any provision of law, which would render any of the terms of this Agreement unenforceable.

Section 9. GOVERNING LAW.

All questions with respect to the construction of this Agreement, and the rights and liability of the parties hereto, shall be governed by the laws of the State of Utah.

Section 10. INDEMNIFICATION.

The parties to this Agreement are political subdivisions of the State of Utah. The parties agree to indemnify and hold harmless the other for damages, claims, suits, and actions arising out of the negligent errors or omissions of its own officials or employees in connection with this Agreement. It is expressly agreed that neither party waives any immunity, protection, or benefit of the Utah Governmental Immunity Act.

IN WITNESS WHEREOF, the parties have signed and executed this Agreement, after resolutions duly and lawfully passed, on the dates listed below:

UTAH COUNTY

Authorized by Resolution No. 2024-____, authorized and passed on the ____ day of _____ 2024.

BOARD OF COUNTY COMMISSIONERS
UTAH COUNTY, UTAH

BRANDON B. GORDON, Chair

ATTEST:
AARON R. DAVIDSON
Utah County Clerk

By: _____
Deputy Utah County Clerk

REVIEWED AS TO FORM AND
COMPATIBILITY WITH APPLICABLE LAW:
JEFFREY S. GRAY
Utah County Attorney

By: _____
Deputy Utah County Attorney

_____ CITY

Authorized by Resolution No. _____, authorized and passed on the _____ day of
_____ 2024.

CITY

Its _____ (title)

ATTEST:

City Recorder

By: _____

REVIEWED AS TO FORM AND
COMPATIBILITY WITH APPLICABLE
LAW:

City Attorney

By: _____