



City of Manassas, Virginia
Architectural Review Board Meeting

AGENDA

Architectural Review Board Meeting
Manassas Regional Airport
10600 Harry J. Parrish Blvd.
Manassas, VA 20110
1st Floor Conference Room
Tuesday, April 16, 2024

1. **Call to Order and Pledge of Allegiance - 7:00 p.m.**

2. **Roll Call**

3. **Approval of the Meeting Minutes**
 - 3.1 **Approval of the Meeting Minutes for March 19, 2024**
[Draft Meeting Minutes for March 19, 2024](#)

4. **New Business**
 - 4.1 **ARB #2024-0013, 9078 Center Street (Sign/Awning)**
(Staff: Benjamin Walker, Planner II)
[Staff Report](#)
[Attachment 1. Application](#)
[Attachment 2. Awning Detail](#)
[Attachment 3. Sign Detail](#)
[Attachment 4. Historical Surveys](#)

 - 4.2 **ARB #2024-0011, 9301 Prescott Avenue (Exterior Alterations)**
(Staff: Benjamin Walker, Planner II)
[Staff Report](#)
[Attachment 1. Application](#)
[Attachment 2. Window Details](#)
[Attachment 3. Historical Survey](#)

 - 4.3 **ARB #2024-0015, 9401 East Street (Sign)**
(Benjamin Walker, Planner II)

Staff Report
Attachment 1. Application
Attachment 2. Sign Details
Attachment 3. Historical Survey

**4.4 ARB #2024-0016, 9216 Center Street (Exterior Alterations)
(Staff: Benjamin Walker, Planner II)**

Staff Report
Attachment 1. Application
Attachment 2. Mural Details
Attachment 3. Historical Survey

**4.5 ARB #2024-0014, 8640 Mathis Avenue (Exterior Alterations)
(Staff: Benjamin Walker, Planner II)**

Staff Report
Attachment 1. Application
Attachment 2. Best Western Dumpster Enclosure Plans

**4.6 ARB #2024-0002, 9108 Center Street & 9403 Battle Street
(Staff: Benjamin Walker, Planner II)**

Staff Report
Attachment 1. Application
Attachment 2. Bar & Enclosure Plans
Attachment 3. ARB Special Meeting Minutes 10-06-2023
Attachment 4. Previous Approval of Outdoor Bar: ARB 2022-0031
Attachment 5. Previous Approval of Screening Wall: ARB 16-40000021
Attachment 6. Historic Surveys

5. Other Business

**5.1 Administrative & Enforcement Update
(Staff: Benjamin Walker, Planner II)
Administrative & Enforcement Update - March**

6. Adjournment



MEETING MINUTES
CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD
REGULAR MEETING
TUESDAY, MARCH 19, 2024 – 7:00 P.M.

CALL TO ORDER – 7:00 P.M.

Chairperson Alten called the meeting to order at 7:00 P.M. at the Manassas Airport, at 10600 Harry J. Parrish Blvd. in Manassas, Virginia.

PLEDGE OF ALLEGIANCE

DETERMINATION OF A QUORUM

Clerk took the roll, and a quorum was determined.

MEMBERS PRESENT

Chairperson, Jan Alten
Vice-Chair, Marci Settle
Myra Brent
Robert Carter
Stephen Hersch
Kenneth Jones
Delbert Parks - Alternate
Sean Porter

MEMBERS ABSENT

None

STAFF PRESENT

Gregory Bokan, AICP, Assistant Director of Planning & Development
Benjamin Walker, Planner II
Christen Miller, Boards & Commissions Clerk

APPROVAL OF MINUTES

Robert Carter motioned to **APPROVE** the meeting minutes for February 20, 2024 as presented. **Myra Brent** seconded the motion.

Roll Call by Clerk:

Robert Carter - Yes

Myra Brent - Yes

Chairperson, Jan Alten - Yes

Vice-Chair, Marci Settle - Yes

Stephen Hersch - Yes

Kenneth Jones - Yes

Sean Porter - Yes

The MOTION PASSED UNANIMOUSLY.

PUBLIC COMMENT

Chairperson Alten opened the floor for public comment regarding any items that are not on the agenda. There was none.

NEW BUSINESS

ARB #2024-0010, 9303 Center Street (Sign)

(Staff: Benjamin Walker, Planner II)

Mr. Walker presented an overview of the applicant's proposal for a wall sign.

The applicant was available for questions and material samples were provided to the board.

ARB Discussion:

Mr. Hersch commented that under normal circumstances he would consider this sign too large, but the setback being 130 feet from the street, the size is appropriate. The board agreed.

Myra Brent motioned to **APPROVE** ARB #2024-0010 as submitted. **Vice-Chair Marci Settle** seconded the motion.

Roll Call by Clerk:

Myra Brent - Yes

Vice-Chair, Marci Settle - Yes

Chairperson, Jan Alten - Yes

Robert Carter - Yes

Stephen Hersch - Yes

Kenneth Jones - Yes

Sean Porter - Yes

The MOTION PASSED UNANIMOUSLY.

ARB #2024-0013, 9078 Center Street (Exterior Alterations)

(Staff: Benjamin Walker, Planner II)

Mr. Walker presented an overview of the applicant's proposal to replace the existing awning fabric with a new striped black and gray fabric awning.

The applicant was available for questions and material samples were provided to the board.

ARB Discussion:

Chairperson Alten asked about the proposed sign for this establishment. Mr. Walker let the Board know that the sign was deferred to the April meeting.

Chairperson Alten asked for confirmation that this will be a gelato shop. The applicant confirmed.

Chairperson Alten commented that the proposed awning is lovely and will enhance the business, although it is very similar to two of the neighboring businesses. Ms. Alten commented that rather than the standard colors, Italian colors like green, red and white may be more appropriate. The applicant stated that the logo for the sign is a black and white color and the proposed awning will match well.

Vice-Chair Settle agreed that a light color awning will get dirty easily and said she would like to see it stand out from the other businesses with something other than black and white.

The applicant thanked the Board for their suggestions and offered to bring alternative color options to the Board in April for the awning.

Mr. Porter asked if the store front will be painted. The applicant said there is no plan to paint.

Mr. Delbert asked where the sign will go. The applicant answered the existing bracket hanging on the front of the building.

Mr. Hersch thanked the applicant for bringing their business to Old Town Manassas.

Vice-Chair Marci Settle motioned to **DEFER** ARB #2024-0013 to give the applicant an opportunity to choose alternative colors. **Stephen Hersch** seconded the motion.

Roll Call by Clerk:

Vice-Chair, Marci Settle - Yes

Stephen Hersch - Yes

Chairperson, Jan Alten - Yes

Myra Brent - Yes

Robert Carter - Yes

Kenneth Jones - Yes

Sean Porter - Yes

The MOTION PASSED UNANIMOUSLY.

ARB #2024-0011, 9301 Prescott Avenue (Exterior Alterations)

(Staff: Benjamin Walker, Planner II)

Mr. Walker presented an overview of the applicant's proposal for a variety of exterior alterations to the house to include the replacement of siding on the façade, replacement of the windows on the sunroom/porch, replacement of the sunroom door, and replacement of the exterior sconce lights.

The applicant and contractor were both present for discussion and material samples were provided to the board. The applicant shared that the windows on the sunroom wing currently do not match the rest of the house and that they are fogged up and they are unable to see out of them. She said the proposed replacement windows match what is on the rest of the home. She also shared that the proposed siding is similar to what is currently on the rest of the house.

ARB Discussion:

Chairperson Alten thanked the applicant for removing the fake stone siding on the façade. The applicant responded and referred to their home as a diamond in the ruff and shared that they are excited to increase the quality of their home to have it blend in with the other homes in the neighborhood.

Mr. Hersch welcomed the applicants to Manassas and thanked them for their significant investment. He asked if the reveal on the new Hardi board match what is on the existing. The contractor answered yes.

Mr. Hersch commented on the proposed windows, saying that he understands that they want to match what is on the main portion of the house, but the grilles between the glass makes a house look less substantial, and the ARB should remain consistent rather than match what is currently there. He suggested that the applicant look into the simulated divided light or true divided light or one-over-ones with no muntins.

Mr. Parks mentioned a previous case for a fence at the post office with the same principal, where the applicant was proposing to match what was currently there and noted that case was approved.

Chairperson Alten noted that the size of the windows on the porch are larger than the windows on the house. The applicant commented that they plan to make the window size match the others.

Mr. Porter suggested to reframe the window openings so they match the rest of the house. He said that since it is an addition, we could apply the architecture differently. He suggested one over one windows and not to change the size to match, since it will be a sunroom, you'll want as much glass as you can in the addition and set it apart from the rest of the house. He also suggested casement windows.

Mr. Hersch said that there will be a future opportunity to bring it into conformance. He suggested that rather than creating confusion in the community, create consistency and apply the guidelines. He stated that he feels strongly that replicating the grills between the glass is not appropriate.

Vice-Chair Settle asked Mr. Hersch what materials does he recommend or support. Mr. Hersch said he would support anything but vinyl and the grilles between glass, which is consistent with the staff recommendation.

Mr. Bokan noted that there is a case to be made for the windows to be different because over time the porch has changed, as it was not part of the original structure.

Chairperson Alten suggested changing the side door to match the front door to bring consistency.

Mr. Carter commented that he supports the one over one with fiberglass, Hardi plank and exterior grid on the glass.

Ms. Brent asked if the addition is an enclosed porch or a room. Mr. Walker explained it was a porch and was changed into an enclosed sunroom.

Chairperson Alten noted that it is an addition and stands alone. She commented that narrowing the new windows to match the rest of the house will make it look more uniform.

Mr. Parks asked if it is going to be a porch or a sunroom, the applicant answered that it is a sunroom off of the kitchen. Mr. Parks suggested a single piece of glass to make it distinct from the rest of the home.

Ms. Brent agreed saying the sun porch should look offset from the rest of the house.

Mr. Hersch shared with the applicants a print out from the website of alternate door options with simulated divided lights.

The applicant asked if they will need to come back for items that are not approved. Mr. Bokan answered yes, the items that are approved today, work can be completed. The items that are not approved today will need to come back to the Board for approval.

Mr. Hersch asked if everyone agrees that the ARB's discussion is consistent with the staff recommendation. The Board and staff unanimously agreed.

Stephen Hersch motioned to **APPROVE** ARB #2024-0011 to include the Hardie plank horizontal lap siding, exterior lights, and **DEFERRAL** of the windows and doors to provide applicant opportunity to explore options that are more appropriate for the historic district. **Sean Porter** seconded the motion.

Roll Call by Clerk:

Stephen Hersch - Yes

Sean Porter - Yes

Chairperson, Jan Alten - Yes

Vice-Chair, Marci Settle - Yes

Myra Brent - Yes

Robert Carter - No

Kenneth Jones - Yes

The MOTION PASSED 6/1.

**ARB #2024-0012, 9204 Douglas Street (Exterior Alterations)
(Staff: Benjamin Walker, Planner II)**

Mr. Walker presented an overview of the applicant's proposal to build a two-story addition on the rear of the house and installation of new siding, roofing, trim, and to rebuild the existing one-story porch. It was noted that this case started as a code enforcement case for work without permits. Staff recommends approval of the scale and form of the rear addition, the roofing, siding, exterior door, and porch replacement, as submitted; and deferral of the windows and associated trim.

The applicant was available for questions and material samples were provided to the board.

ARB Discussion:

Chairperson Alten expressed gratitude for restoring this historic home and shared her experience replacing the siding on her own home. She commented that she agrees with the staff recommendations and said vinyl windows are not appropriate.

Ms. Brent asked if the concrete will be replaced on the porch, the applicant answered no. Ms. Brent also expressed her appreciation for the renovation of this home and mentioned she lived in this home when she was born.

Mr. Porter asked the applicant why they propose the two-inch trim and commented that it is very narrow. The applicant said he is open to other options. Mr. Porter recommended a wider trim than what is proposed.

Mr. Hersch agreed with Mr. Porter's comment and suggested a combination of a narrower reveal and wider trim would make the house look proper proportion. He commented that it is important to have the balance with the width of trim and width of siding.

Mr. Hersch commented that the porch columns show a base casing. Mr. Walker noted that the applicant is aware that the submitted plans will need to be updated to show the like-for-like replacement.

Mr. Porter noted for the record that the proposed trim is textured, but the ARB supports the smooth finish.

Stephen Hersch motioned to **APPROVE** ARB #2024-0012 to include the Hardi board siding with a 5-inch reveal, the door, the porch and the roof as submitted and **DEFER** the windows and trim. **Sean Porter** seconded the motion.

Roll Call by Clerk:

Stephen Hersch - Yes

Sean Porter - Yes

Chairperson, Jan Alten - Yes

Vice-Chair, Marci Settle - Yes

Myra Brent - Yes

Robert Carter - Yes

Kenneth Jones - Yes

The MOTION PASSED UNANIMOUSLY.

OTHER BUSINESS

Administrative & Enforcement Update

(Staff: Benjamin Walker, Planner II)

Mr. Walker presented the Administrative and Enforcement Update and opened the floor to discussion. There was none.

Mr. Bokan informed the Board that a Special Meeting has been scheduled for April 2 to discuss the Historic District Design Guidelines.

The Board recognized Ben Walker for his thorough staff reports and effective communication with the applicants noting significant improvement in the quality of the ARB process.

ADJOURNMENT

Myra Brent motioned to adjourn the meeting. The **MOTION CARRIED UNANIMOUSLY BY VOICE VOTE** and the meeting was adjourned at 8:44 P.M.

Jan Alten, Chairperson

Date

Christen Miller, Clerk

Date

ARB #2024-0013
9078 Center Street
April 16, 2024



Summary of Request: Exterior Alterations

Applicant(s): John Windley

Site Owner(s): Center Street LLC (Pasquale Laudiero)

Site Address: 9078 Center Street

Site Location: North side of Center Street, west of its intersection with Main Street

Year Built: 1940s

Age of Structure: approx. 85

Type of Structure: Non-Contributing

ARB #2024-0013
 9078 Center Street
 April 16, 2024



Photo taken 03/07/2024

PROPERTY INFORMATION

Historical Significance – The former National Bank of Manassas building at 9070-9078 Center Street (part of the parcel collectively addressed as 9100 Center Street) was first constructed in 1911, with a two-story brick annex constructed in 1939. When the National Bank of Manassas was founded in 1895, this corner was occupied by the A.A. Hynson residence. The Hynson House was moved in 1911 when the present building was constructed to replace the old National Bank of Manassas Building on Main Street, just north of the present building. This new building was designed by architect Albert Speiden in the Classical Revival style. Classical Revival elements included an entrance flanked by paired painted wood columns of the Tuscan order, which supported a full entablature and pediment that had a lunette window at the center of the tympanum. The entablature included Roman Lattice recessed panels in the frieze and an ornate cornice that featured dentils, modillions, and corbels.

In 1939, a two-story annex (9078 Center Street) was constructed on the west side of the 1911 bank building. This annex originally housed the bank board room and some of their offices. The annex was originally constructed of buff brick with Classical Revival elements to match the earlier façade of the bank. The building was extensively altered ca. 1970, however, and the Classical Revival exterior was stripped and replaced by a simple red brick Colonial Revival exterior. Consequently, the building's integrity has been extremely diminished. The building is a Non-Contributing property.

ARB #2024-0013
 9078 Center Street
 April 16, 2024



Surrounding Properties -

Address	Designation	Notes
9366 Main Street	Landmark; Contributing	
9351 Main Street	Non-Contributing/Vacant Lot	Old Towne Inn Site
9407 Main Street	Contributing	
9073 Center Street	Contributing	Hynson Building
9100 Center Street	Landmark; Contributing	Conner Building

REQUEST/PROPOSAL

The applicant is proposing to replace the existing awning fabric with a new striped awning fabric. The applicant was previously before the ARB in March 2024, at which time the proposed replacement of the awning fabric was deferred. The applicants are back before the Board seeking approval for an updated awning fabric, along with two signs for their business.

The existing awning fabric color is muted dark green and maroon. The new fabric will feature wide stripes in muted light green colors with smaller narrow stripes in several accent colors (Dickson, Boston Lime, Mint 8630). It will be installed on the existing awning frames over the Center Street storefronts and will have the same angled face and straight edge as the existing awning.

The applicant is also proposing to install two new signs: a wall sign and a hanging sign to be installed on an existing bracket. The hanging sign will be a 6 square foot, double sided sign on 0.5-inch MDO wood. It will have an applied black and white design that says “Millie’s Gelato & Sorbetto”. The wall sign will have an area of approximately 15 square feet, and will be printed on 1/8-inch dibond aluminum. It will have a black background with a pink gelato/sorbetto scoop on a brown waffle cone. Below the cone, white text will say “Made Fresh In-Store”. At the bottom of the sign there will be a Facebook and Instagram logo in white alongside white text that says “MilliesGelato”. The aluminum sign is proposed to have a glossed finish.

STAFF ANALYSIS

Awning

The guidelines for Awnings are found on page 136 of the design guidelines document. General design guidelines for awnings include:

- The size, type, and placement of awnings should not interfere with existing signs or distinctive architectural elements of the building or with street trees or other elements along the street.
- The choice of colors should be coordinated as part of an overall color scheme for the building. Solid colors, wide stripes, narrow stripes, and other patterns should be considered appropriate.
- There is a wide variety of materials ranging from traditional painted cotton to new acrylic fabrics. All are appropriate for the Historic District except fabrics used for back-lit awnings.

The proposed striped awning fabric replacement is similar in style to the existing and adheres to the Historic Overlay District design guidelines. The color provides contrast to other awnings currently installed on building facades on Center Street in the commercial core. Additionally, the awning is for a non-contributing building with low integrity due to the extensive exterior alterations that were made

ARB #2024-0013
9078 Center Street
April 16, 2024



during the mid-twentieth century. The colors are reversible with the application of a different awning fabric in the future or through the removal of the awning and frame entirely as it is not a permanent nor original component of the building. The proposed awning will aid in the general branding of the business.

Signage

The guidelines for signs are found on pages 172-173 of the design guidelines document. General design guidelines for signs include:

- The size of each sign and the total area of signs should be appropriate in scale to the building.
- Materials of a sign are much less important than the finished look. With the exception of Gold Leaf, the ARB does not support finishes that appear shiny or look like plastic. Matte finishes should be used whenever possible.
- Sign design and placement should fit the architecture, visibility, and character of the building, and nature of the business.
- Signs should represent the business, including color, graphics, and general branding of the business.

Relevant guidelines specifically for Wall Signs include:

- Wall signs should be placed within obvious areas such as the unadorned frieze of a cornice or the top of a storefront. In general, they should be attached to unadorned surfaces.
- Wall signs on historically commercial buildings may be located in areas such as above the storefront, within the frieze of the cornice, on the pier framing display windows, or lettering on awnings.

The proposed wall sign is scaled appropriately for the building and will be installed on the brick expanse between the two large storefront windows. While the sign may appear large, it meets the zoning requirements for signage. The sign, with a printed gelato cone and white lettering on a black background, provides a pop of color and business while still complimenting the design and matching the primary colors of the hanging sign. Overall, the sign fits within the district and provides for business branding. The aluminum material is appropriate and does not protrude from the building. Staff does, however, have some concerns about the gloss finish since the design guidelines specifically state that the Board “does not support finishes that appear shiny or look like plastic.” Staff recommends that the finish be changed to a matte finish, and asks that the Board provide feedback to the applicant on the finish. Apart from the finish, Staff supports the proposed wall sign.

Relevant guidelines specifically for Projecting Signs include:

- Projecting signs on historically commercial buildings should be placed no higher than the sill of second-story windows for multi-storied buildings and level with the top of the storefront for single-story buildings.
- Brackets and the hanging structure should be black metal, and the design should fit the architectural design of the building.

Overall, the proposed hanging sign meets the design guidelines. Placement is appropriate as the sign is being installed on an existing scrolled black metal bracket above the storefront. The design of the sign, which features white text and a white border on a black background, is simple and complimentary to the

ARB #2024-0013
9078 Center Street
April 16, 2024



historic district. Further, the vertically stacked break-up of the word “GE-LA-TO” in large font is an important design component that helps represent the applicants branding and business.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the awning fabric and hanging sign, and **APPROVAL WITH MODIFICATIONS** of the wall sign as submitted.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Awning Detail
3. Sign Detail
4. Historic Surveys



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

ARB #: 2024-0013

DATE: 03/01/2024
(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 9078 Center Street Manassas, VA 20110
Number Street Name

Tax Map No(s): 101/01 00/ 430A/ / Zoning District: Historic

Date Purchased: 1/3/2001 Age of Structure: Built in 1910

Nature of Proposed Work: Please check all that apply.

- Signage Exterior Alteration Addition
 New Construction Demolition

Description of Proposed Work (use additional pages if necessary): Installation of exterior sign and replacement of existing awning fabric. We will reuse the existing sign bracket and awning frame.

APPLICANT

(All correspondence is addressed to applicant)

John Windley

Name (Please Print)

9366 Main Street

Address

Manassas VA 20110

City State Zip Code

johnwindley13@gmail.com

E-mail Address

703-898-7063

Phone #

Fax #

John Windley
Signature

OWNER

(Leave blank if same as applicant)

Pasquale Laudiero

Name (Please Print)

CENTER STREET LLC

Company

PO BOX 1252

Address

Manassas VA 20108

City State Zip Code

703-395-0458

Phone #

Fax #

davanzatiusa@gmail.com

E-mail Address

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the 14 Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.



CITY OF MANASSAS, VIRGINIA

Community Development • 9800 Godwin Drive, Manassas, VA 20110 • 703-257-8223

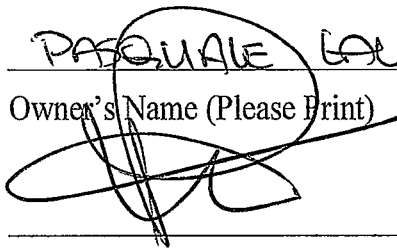
CASE # _____
(Completed by City Staff)

SPECIAL/LIMITED POWER OF ATTORNEY

THIS 29 day of Feb, 2024, I, PASQUALE LAUDIERO, the owner of Tax Map Number 101/01 001 430A11, make, constitute and appoint John and Ellen Windley, my true and lawful attorney-in-fact, and in my name, place and stead giving unto said 9078 Center St Manassas VA full power and authority to do and perform all acts and make all representation necessary, without any limitation whatsoever, to make application for (circle one) (Special Use Permit), (Rezoning), (Architectural Review Board), (Board of Zoning Appeals) in connection with the above described real property.

The right, powers and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on 2-29, 2024, and shall remain in full force and effect thereafter until actual notice, by certified mail, return receipt requested is received by the Office of Community Development of the City of Manassas stating that the terms of this power have been revoked or modified.

PASQUALE LAUDIERO
Owner's Name (Please Print)


Owner's Signature

STATE OF Virginia
COUNTY OF Prince William

I, Grazyna B. Gosselin, a Notary Public in and for the State and County aforesaid, do hereby certify that Pasquale Laudiero whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same.

Given under my hand this 29 day of February, 2024.

GRAZYNA B GOSELIN
NOTARY PUBLIC
REG. # 7966034
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES OCTOBER 31, 2025

Grazyna B. Gosselin
Notary Public

My Commission expires: 10/31/2025 ID: 7966034



**Dickson® North American
Collection Awning
47" Boston Lime / Mint (Genoa)
8630**

Boston Lime / Mint (Genoa)

Item # 897630

This product is currently not available.

Gain access to pricing, inventory, and online ordering by becoming a customer today.

[Click here to apply!](#)

Description

The Dickson North American Collection consists of a broad selection of water-repellent, mildew-resistant fabrics. Its unique Cleangard® coating hinders the creation and growth of grime, making it easy to maintain. Composed of 100% solution-dyed acrylic, this strong awning fabric is durable and heat sealable.

Uses include fixed awnings, window awnings, patio shade, pergolas, and other outdoor canopies. It is great for new installations or awning fabric replacement. Colorfast against the sun, the North American Collection comes in a spectrum of on-trend colors. Offered here in Boston Lime/Mint (Genoa).

Warranty: 10 years. Width: 47 inches. Weight: 8.55 ounces per square yard. Sold by the yard.

Trademark: Dickson® is a registered trademark of Glen Raven, Inc.

Specifications

Grab Tensile:	285 x 170	Heat Sealable:	Yes with Seam Seal Tape
Hydrostat:	40 CM	Mildew Resistant:	Yes

X

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By continuing to use the site, you consent to this use.

OK

Tongue Tear Strength:	12 x 8	Translucent:	No
Weight:	8.55 oz./sq. yd.		
Warranty:	10-Year	Water Repellent:	Yes
Width:	47 in.		
Pattern Direction:	Up the Roll, Selvedge is Left / Right		
Shrinkage Factor:	None		

X

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By continuing to use the site, you consent to this use.

1/8 INCH DIBOND ALUMINUM PRINTED WALL SIGN



MOUNTED WITH
2 INCH MASONRY TAPCONS



2 SIDED 1/2 INCH MDO WOOD SIGN MOUNTED TO EXISTING SIGN BRACKETS



2 SIDED SIGN MOUNTED TO EXISTING SIGN BRACKETS

3/4 INCH MDO WOOD BRACKET SIGN AND 1/8 INCH DIBOND ALUMINUM WALL SIGN

Customer:	John Windley
Company:	Millie's Gelato
Address:	
City:	State/ZIP:
Phone:	
Fax:	

Proof
#1 <input checked="" type="radio"/>
#2 <input type="radio"/>
#3 <input type="radio"/>
#4 <input type="radio"/> + \$30



Ph: 703.335.7446
 Fax: 703.335.7447
 9091 Euclid Ave, Manassas VA, 20110

Job No.: 54960	Date: 3/6/2024
Drawn By: James	Salesperson: James
Folder name: T:\JOBS\IMillie's Gelato\WIP	

IMPORTANT INFORMATION:	File name:
PLEASE REVIEW PROOF VERY CAREFULLY.	54960 - Wood Hanging Bracket Sign & DiBond Aluminum Wall Sign.fs

WE AT SIGN GRAPHX STRIVE FOR EXCELLENCE IN QUALITY AND TEAMWORK AND RELY ON OUR CLIENTS' REVIEW TO PREVENT ADDITIONAL COSTS THAT ARISE FROM ERRORS. PLEASE RESPOND WITH CHANGES OR APPROVAL FOR PRODUCTION PURPOSES. COMMUNICATION, TEAMWORK, EXCELLENCE AND QUALITY - TOGETHER WE CAN MAKE IT HAPPEN. ALL ART DESIGNS CREATED BY SIGNGRAPHX REMAIN PROPERTY OF SIGNGRAPHX AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION. YOUR DESIGN IS AVAILABLE FOR PURCHASE AT AN ADDITIONAL CHARGE.

7795-68-0629



VIRGINIA HISTORIC LANDMARKS COMMISSION

File no. 155-50 Negative no(s). 4367, 4899

SURVEY FORM

Historic name National Bank of Manassas Common name First Virginia Bank
County/Town/City Manassas
Street address or route number 9100 Center Street, Manassas, VA 22110
USGS Quad: Manassas Date or period 1911-1912
Original owner National Bank of Manassas Architect/builder/craftsmen Albert Speiden
Original use Bank
Present owner First Virginia Bank Source of name
Present owner address 6400 Arlington Blvd. Falls Church, VA Source of date Newspaper notice of bank opening.
Present use Bank Stories 1 story
Acreage Foundation and wall const'n Brick
Roof type Asphalt shingles (?) over a gable roof.

State condition of structure and environs Good

State potential threats to structure
Note any archaeological interest

Should be investigated for possible register potential? yes ___ no X

Architectural description (Note significant features of plan, structural system and interior and exterior decoration, taking care to point out aspects not visible or clear from photographs. Explain nature and period of all alterations and additions. List any outbuildings and their approximate ages, cemeteries, etc.)

The front and Main Street side of the bank were faced with wood made to look like rusticated white sandstone. The pedimented front had an ornately bracketed modillion cornice. Long, narrow windows with wrought iron grills were present on either side of the entrance and along the Main Street side. Between the flanking windows and surrounding the main door were four painted wooden columns of the Tuscan Order, supporting a projecting cornice with plain entablature. The main entrance had a pedimented frontispiece supported by consoles. There was a semi-circular window in the gable. Front and sides have been rebricked in the last 10-12 years. The four columns were removed in 1952 and installed on the front of Woodbine Church. The main floor of the bank is raised a few steps from street level. The banking room with the vault at the back take up the whole first floor. The floor is concrete covered with tile. There is no basement. The ceiling (lowered) is covered with acoustical tile. The furniture is from the mid-1960s.

In about 1939, a 2-story annex was constructed in the space between the bank and the Conner Building to the west. The address of this building is 9100-B Center Street. In addition to law offices, the building also houses the Manassas Chamber of Commerce, but originally the bank had its board room and some of its offices in this annex. This building, originally constructed of yellow brick to match the earlier facade of the bank, was rebricked, along with the bank building, about 10-12 years ago.

Interior inspected? yes

Historical significance (Chain of title; individuals, families, events, etc., associated with the property.)

In 1895 this corner was occupied by the A.A. Hynson residence, one of about five dwellings designed and built by Summer Fitts, who was active in Manassas immediately after the Civil War. The Hynson house was moved when the new National Bank of Manassas (renamed the First Virginia Bank since 1970) was erected to replace their old bank on Main Street, just north of the present bank building. The old Manassas National is now the location of the Manassas Museum.

Founded in 1895, the National Bank of Manassas was the first bank in town. In 1912 the bank moved into new quarters designed by Albert Speiden, a Manassas resident who with his brother William had an architectural firm, with offices in Manassas and Washington, D.C. Speiden was involved in designing or renovating many buildings in Manassas, including commercial buildings, residences, churches and a factory.

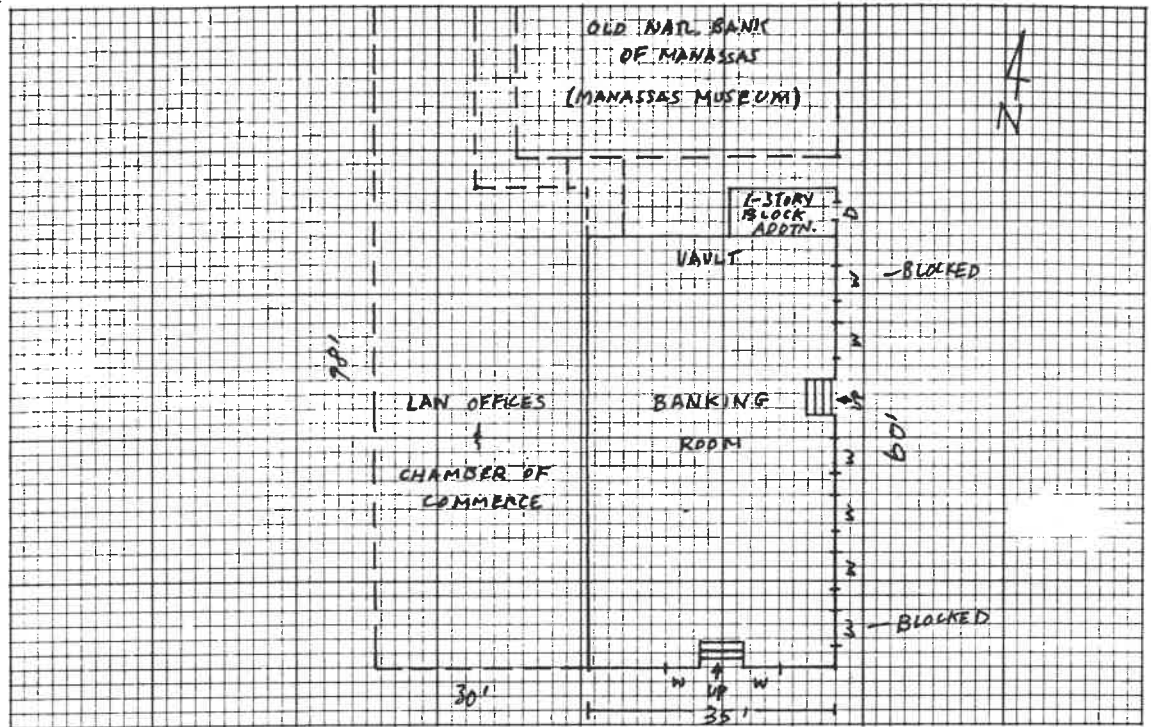
Sources and bibliography
Published sources (Books, articles, etc., with bibliographic data.)

Primary sources (Manuscript documentary or graphic materials; give location.)

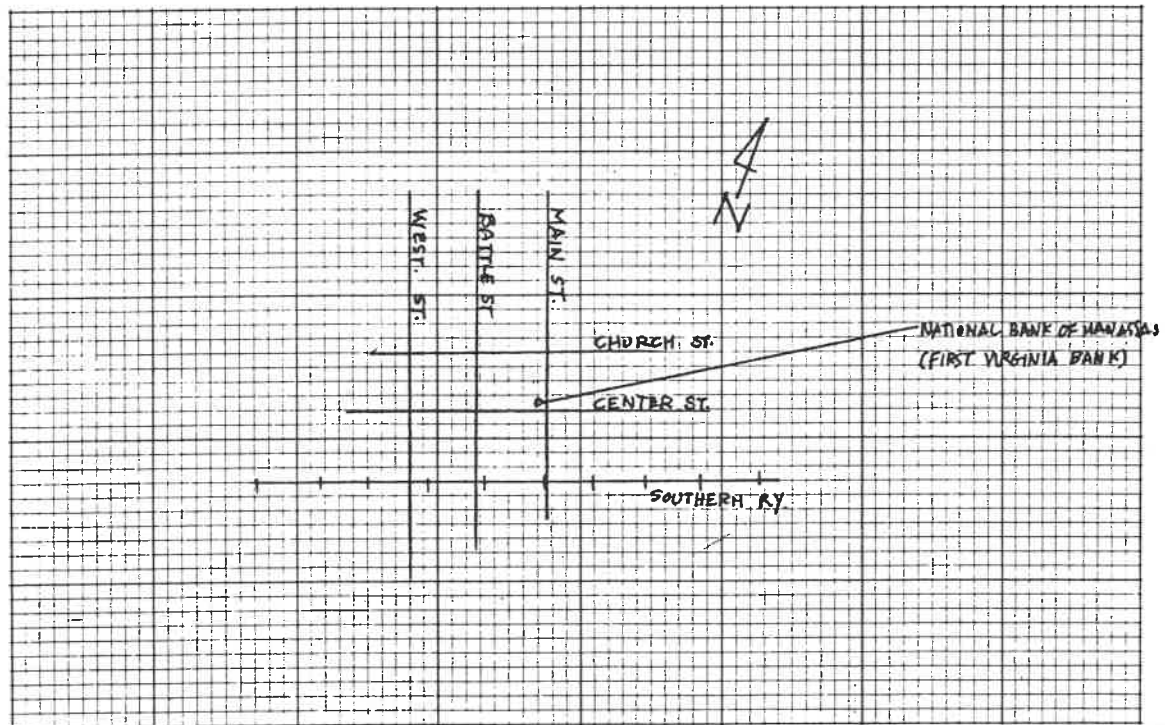
Photo of bank c1912 in Manassas Museum.

Names and addresses of persons interviewed Wm. H. Crouch, officer, First Va. Bank, Manassas, VA.

Plan (Indicate locations of rooms, doorways, windows, alterations, etc.)

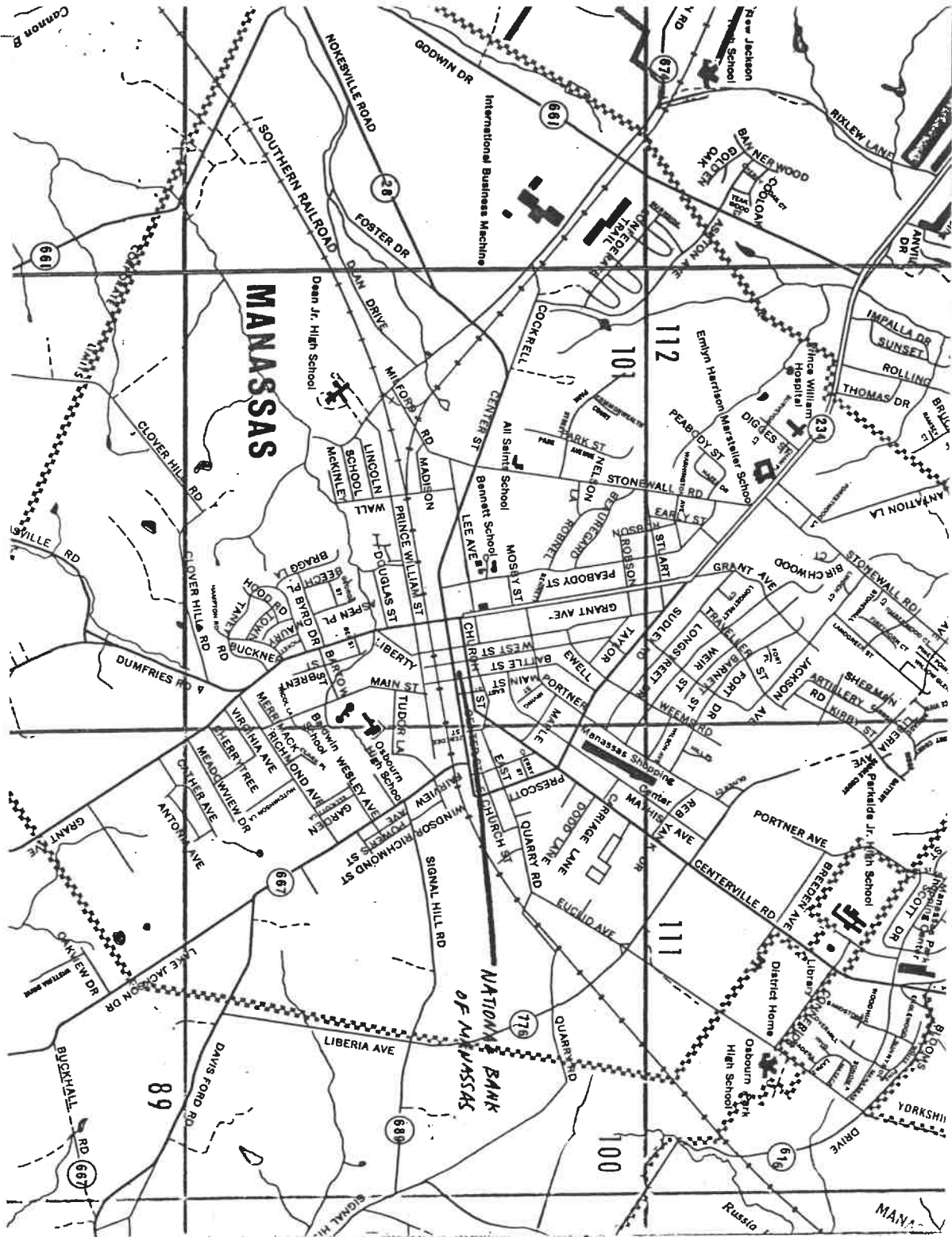


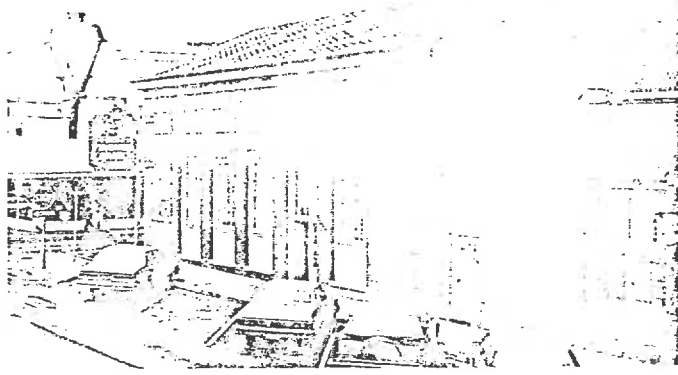
Site plan (Locate and identify outbuildings, dependencies and significant topographical features.)



Name, address and title of recorder Frances Jones, Architectural
Historian - Surveyor, NVPDC

Date
MARCH 1980





City of Manassas

Manassas

Reconnaissance Level Survey

DHR Id # 155-0050

Resource Identification

Tax Parcel: 101/01 00/ 430/ 1/ 1

Other Id#: 155-0161-0052

GPIN # 7795-68-0629A

Property Name(s): National Bank of Manassas {Historic}, Commercial Building, 9070/9078 Center Street {Current}

Property Date: circa 1911

Address(s): 9070/9078 Center Street {Current}

County/Independent City: Manassas

City: Manassas

State, Zip: Virginia, 20108

USGS Quad Name: MANASSAS

Surrounding Area: City

National Register Eligibility Status

Property is Historic (50 years or older)

Property is associated with the Local Manassas Historic District

Contributing Property to Local Historic Landmarks List

Property is associated with the National Register Manassas Historic District [district]

Resource Description

Ownership Status: Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	Exterior End	Brick	Corbelled Cap
Chimneys	N/A	N/A	N/A
Foundation	Solid	Not Visible	Not Visible
Roof	Gable	Asphalt	Shingle
Porch	N/A	N/A	N/A
Structural System	Masonry	Brick	Flemish Bond
Windows	Storefront	Vinyl	Replacement
Windows	Sash	Metal	6/6

Site Description: Facing south, the former bank is located at the corner of Main and Center Streets on a paved level lot. A paved alley is located at the eastern edge of the property.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Bank	Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
1	Building	Non-Contributing

Individual Resource Information

WUZIT: Bank

Est. Date of Construction: ... circa 1911

Primary Resource?: Yes

Architectural Style: Classical Revival

Interior Plan Type: Unknown

Accessed? : No

Number of Stories: 2

Condition: Good

Threats to Resource: Major Alteration

Description: The two-story Classical Revival-style building has been rehabilitated from a bank into a commercial building. It is constructed of Flemish-bond brick with blind brick panels. It is covered by a gable roof clad in asphalt shingles. The roof features a broken pediment, a wide boxed cornice and returns. Fenestration consists of 16-light vinyl storefront replacement windows on either side of the central entry, and an 8-light fixed transom over the double-leaf fixed glass entry door. Three sunburst-paneled fanlights crown the entry and the two storefront windows, which are framed with wood pilasters. There is a fixed multi-light circular window in the front gable. The rear elevation is not visible because a brick wall closes off the rear alley from the public right-of-way. A two-story Flemish-bond brick annex with a flat roof was constructed on the south elevation in 1939. This addition intersects the gable roof of the former bank. Fenestration of the addition consists of 24-light fixed storefront window, 6/6 double-hung vinyl windows with louvered shutters, and a fixed 1-light glass entry. The building has been extremely altered since its construction in 1912. The building originally was encased with a wood veneer to resemble ashlar masonry and had an ornamental pediment with brackets and a semi-circular window. The entrance was flanked by four large Ionic columns and the windows consisted of long, narrow windows with wrought iron grills. These changes occurred in the 1950s and 1960s (Jones Survey, 1979).

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Commerce/Trade

Time Period(s): World War I to World War II (1914 to 1945)

Significance Statement:

The National Bank of Manassas building at 9070/9078 Center Street, constructed circa 1911, is reflective of commercial buildings constructed after the fire of 1905 and the institution of building codes that required fireproof materials for those structures constructed in the commercial core. The National Bank of Manassas was founded in 1895. Circa 1911, a new building was erected at 9070/9078 Center Street to replace the original bank building located on Main Street. In 1912, the bank moved into their new quarters designed by Albert Speiden, a prominent architect in the Washington D.C. metropolitan area who resided in Manassas. Speiden incorporated the Classical Revival style into the design of the building. The original Classical Revival details such as the wood veneer that resembled ashlar masonry, its Ionic-columned entrance, and the ornamental pediment, have been removed. As a result, the building's integrity has been extremely compromised. This property is a contributing property to Local Historic Landmarks List. Although historic (over 50 years of age), due to the major rehabilitation and change in use, the building at 9070/9078 Center Street is noted as non-contributing to the National Register Historic District. Due to the removal of original architectural elements, the building at 9070/9078 Center Street is Ranked Non-Contributing.

Ownership Information

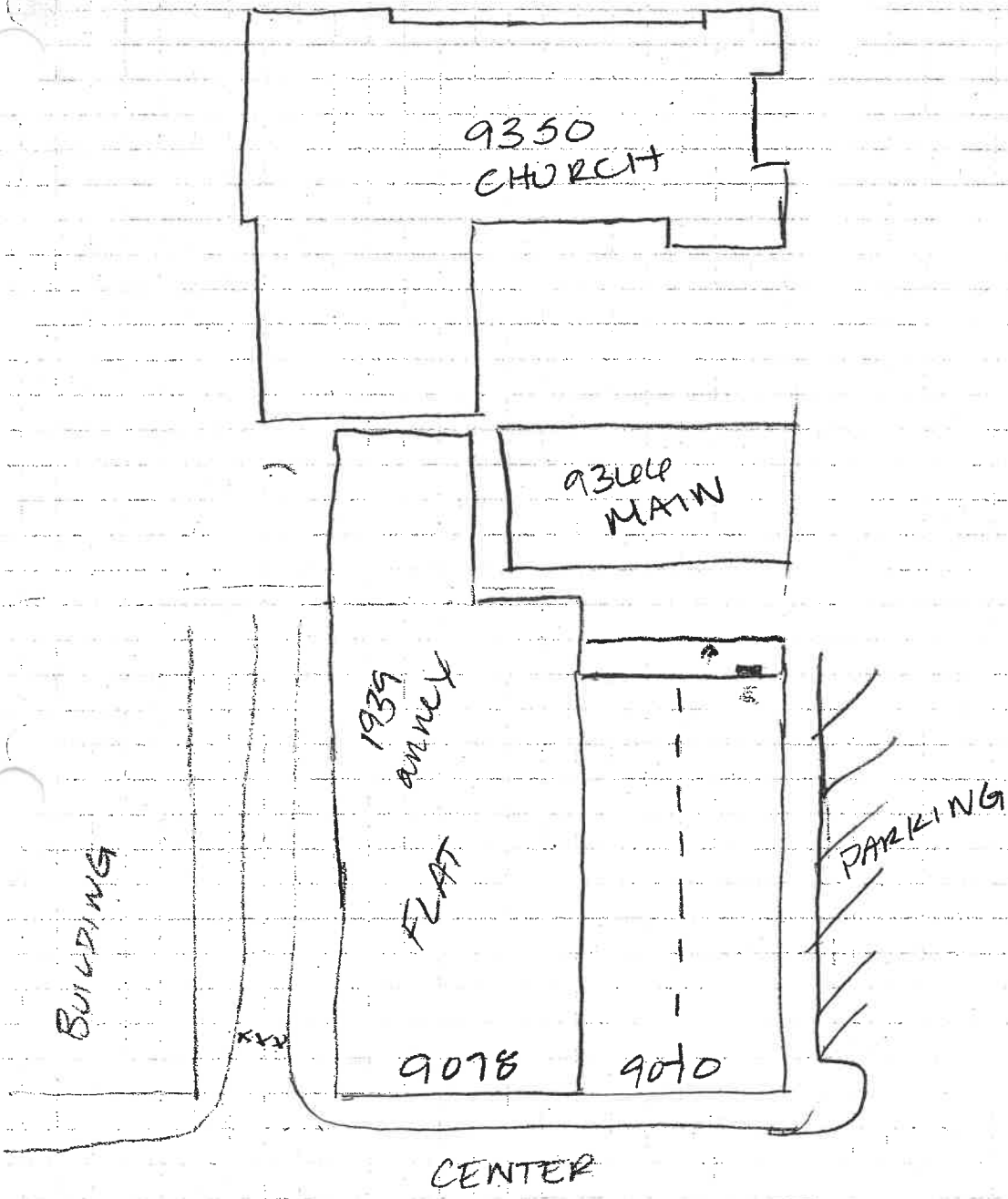
APA LC; Laudiero, Pasquale

Graphic Media Documentation

Medium	Photo Roll	Negative Number	Photo Date
BW 35mm Photos	EHT 2	8-9	11/11/2005
Digital Photos	EHT 2	8-9	11/11/2005

CRM Event

Reconnaissance Survey EJ: EHT Tracerics, Inc. July 12, 2005



N ↑

I.D. # (s) 1795-08-0629A Address 9070 + 9078 Center Street

ARB #2024-0011
9301 Prescott Avenue
April 16, 2024



Summary of Request: Replace sunroom windows and door

Applicant(s): Stan & Terri Dorsey

Site Owner(s): Stan & Terri Dorsey

Site Address: 9301 Prescott Avenue

Site Location: Southeast quadrant of the intersection of Prescott Avenue and Quarry Road

Year Built: ca. 1950

Age of Structure: 74

Type of Structure: Non-contributing

ARB #2024-0011
 9301 Prescott Avenue
 April 16, 2024



Photo from Google Street View June 2022

PROPERTY INFORMATION

Historical Significance – The house at 9301 Prescott Avenue is a one-and-a-half-story Colonial Revival single-family dwelling in the Cape Cod form. The Cape Cod house was reintroduced in the late-1930s and 1940s when small, economical houses were popular. Consequently, the Cape Cod house became a frequent house type in suburban development. This house is a Non-Contributing resource to the Local Historic District.

The dwelling 9301 Prescott Avenue is of wood frame construction and was built in 1950. The house features a side gable plan with gabled dormers, typical of the Cape Cod form. Fenestration includes paired double-hung windows at the first-story and a central single-leaf door. The house originally had aluminum siding on all four elevations with vertical board siding in the gable ends. The siding on the façade was altered, likely in the 1970s, when it was replaced with a faux stone veneer. A one-story side porch was likely enclosed between 1995 and 2005. The current Hardie Plank siding on the secondary elevations and dormers was installed following ARB approval in 2014.

Surrounding Properties -

Address	Designation	Notes
9215 Prescott Avenue	Contributing	
8806 Quarry Road	Contributing	
9303 Prescott Avenue	Landmark; Contributing	G.G. Allen House
9300 Prescott Avenue	Landmark; Contributing	L.B. Williams House
8918 Shadia Place	Not Surveyed/Non-Contributing	

REQUEST/PROPOSAL

The applicants are proposing the replacement of six windows in the one-story sunroom which projects from the north side of the main block of the house. The applicant was previously before the Board in March 2024, at which time they received a COA for the replacement of the siding on the façade, and two exterior lights. At that time, the proposed replacement of the windows and exterior door were deferred. The applicants are back before the Board with an updated window proposal, seeking the Board's approval. The applicants will return at a later meeting date with an updated door proposal.

The applicants are now proposing to replace six, one-over-one double-hung vinyl windows located on all three sides of the sunroom (originally a porch that has been enclosed) on the north side of the house with new Pella Impervia one-over-one, double-hung fiberglass windows. The existing windows are 40"x48", but the applicants would like the new fiberglass windows to be 40"x70". This will require increasing the size of the window openings by removing the sill framing and exterior siding below the existing windows.

STAFF ANALYSIS

Guidelines for Windows and Doors are stated on pages 89-90 of the design guidelines document. Relevant guidelines include:

- Avoid changing the number, location, size, or glazing pattern of windows and doors by cutting new openings, blocking in windows, or installing replacement sash that does not fit the window opening.
- Avoid changing the architectural appearance of windows and doors by using inappropriate materials or finishes which radically change the sash, depth of reveal, and muntin configuration, the reflective quality or color of the glazing, or the appearance of the frame
- Maintain the original number and arrangement of panes. Use true divided lites, or three-part simulated divided lites with integral spacer bars and interior and exterior fixed muntins.
- Where possible, remove inappropriate windows or doors that have been changed previously. When doing so, they must be more historically accurate to the structure – in dimension, profile, and appearance.

The dwelling at 9301 Prescott Avenue is a Non-Contributing single-family dwelling constructed ca. 1950, more than ten years outside the Period of Significance for the Historic District. Since its construction, the house has undergone significant exterior alterations that have diminished its integrity, including the replacement of the original siding and the enclosure of a side porch to create a sunroom.

The existing windows in the house are all double-hung vinyl windows. Those in the enclosed porch are one-over-one, while the window units in the main block of the house are false six-over-six windows with grilles between glass. These windows were installed without ARB review and approval under a previous owner, and have been in place since at least 2012. A survey photograph from October 1993 indicates that the windows in place at that time were six-over-six, double-hung windows, though these were likely authentic divided lights original to the house. The screened porch was still intact that time and had yet to be enclosed. It was likely enclosed sometime between October 1995 and the 2005 fieldwork for the architectural survey update.

ARB #2024-0011
9301 Prescott Avenue
April 16, 2024



9301 Prescott Avenue as it appeared in October 1993.

The proposed fiberglass windows are an appropriate material replacement for windows within the Historic District. In this specific case, the proposed fiberglass windows will be a material upgrade to the existing vinyl windows in the sunroom. It should be noted that the applicants have taken into consideration the recommendations and feedback of the Board, and have revised their proposed window replacement in both material and design. The vinyl windows with grilles between glass that were originally proposed have been revised in favor of a simple one-over-one double-hung fiberglass window with no interior muntins/grilles. Fiberglass is more durable and appropriate than vinyl, and meets the Design Guidelines.

However, Staff does have some concerns about the proposed increase in the size of the windows. While the width of each window unit is the same as the existing (40 inches), the height will increase from 48" (4') to 70" (5'-10"). The guidelines state in part that one should avoid changing the size of windows by installing replacement sash that does not fit the window opening. With this in consideration, Staff also recognizes that this is a Non-Contributing structure with low material integrity. Further, the six window openings as they currently exist are not original to the house since this was originally a one-story screened porch that was enclosed to create a sunroom in either the late 1990s or early 2000s. The increase in the height of the windows has the potential to make this small, one-story wing to read more like a porch—as it was historically—than the existing windows, while also improving the current function of the space as a sunroom. Staff would recommend that the Board provide the applicants with additional feedback at the meeting on the proposed height of the windows.

ARB #2024-0011
9301 Prescott Avenue
April 16, 2024



STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the application as submitted.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Window Details
3. Historic Surveys



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

ARB #: 2024-0011

DATE: 2/23/2024
(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 9301 Prescott Ave Manassas, VA 20110
Number Street Name

Tax Map No(s): _____ Zoning District: _____

Date Purchased: 11/22/23 Age of Structure: 74 years old

Nature of Proposed Work: Please check all that apply.

- Signage
- Exterior Alteration
- Addition
- New Construction
- Demolition

Description of Proposed Work (use additional pages if necessary): _____

1) Fake stone veneer on front of house will be removed and replaced with siding that matches the rest of the house and consistent with what was there originally - whole house will be painted white. (see memo)

APPLICANT

(All correspondence is addressed to applicant)

Stan and Terri Dorsey
Name (Please Print) current address
8323 Garfield Ct.

Address West Springfield VA 22152
City State Zip Code

E-mail Address sdorsey805@gmail.com

Phone # 404-295-0183

Fax # _____
Signature [Signature]

OWNER

(Leave blank if same as applicant)

same
Name (Please Print)

Company _____

Address _____

City State Zip Code _____

Phone # _____ Fax # _____

E-mail Address _____

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.

- 2) Light fixtures by front door will be replaced - currently rusty. (If there is a style preference, please let me know.)
- 3) Window boxes were warped and splintered. They are being rebuilt to exact size & shape.
- 4) Gutters will be replaced.
- 5) Front steps will be power washed.
- 6) Windows in sunroom (an obvious addition to the original house) will be replaced with windows that are consistent with other windows in the house - with panes. Current windows have no panes and have become cloudy.
- 7) Sunroom door was replaced with one identical to what was there. The locking mechanism on the old door was faulty.
- 8) The laundry room (also an addition) had some structural issues. In rebuilding it, the door was also replaced with the same style that was there.
- 9) From reading the style guide, it appears that ornamental shutters are not allowed. Please confirm - if true, we will not add them. If there are color restrictions, let us know.
- 10) Currently planning a white house with black trim and a front door either black, red, blue or green.

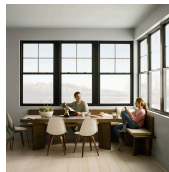


PELLA® IMPERVIA®
FIBERGLASS DOUBLE-HUNG WINDOW

JUMP TO..



BUILD & ADD TO CART



PELLA® IMPERVIA®
Fiberglass Double-Hung Window

3.76 ★★★★★☆ [529 Reviews](#)

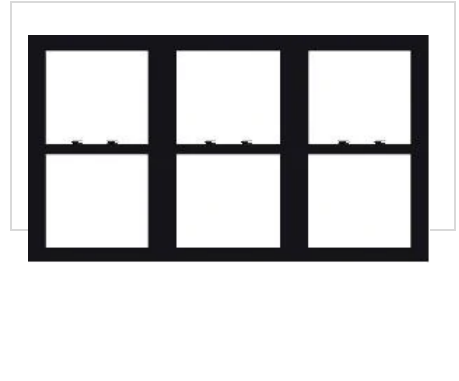
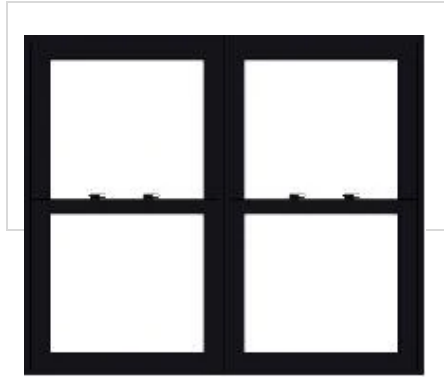
Pella Impervia fiberglass double-hung windows provide outstanding resistance to water, wind and outside noises — while delivering energy efficiency, security and ease of operation. But you don't have to sacrifice performance for style. Clean sightlines provide a consistent aesthetic. And our powder-coat finish gives a durable finish which resists chalking, fading and scratching.

- Commercial grade strength and performance.¹⁵
- Exclusive cam-action lock design improves the security of the window and creates a stronger seal.
- Sashes tilt in, allowing you to easily clean the exterior of your windows from inside your home.



- Product #400001

Configuration: 1-wide





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Pay in 4 interest-free payments of \$242.06 with [PayPal](#). [Learn more](#)


BUILD & ADD TO CART

CONTACT A PELLA REP

 Others are building this window!
 This window has been built 1615 times this month.

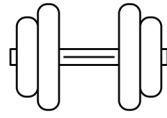
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Pella Impervia Double-Hung Windows Features



Strongest Material for Windows 9

Design Options

GRILLES



Patterns

Grille Profiles

Patterns



Prairie



Traditional



Top Row



Custom



No Grilles

Downloads & Specifications

Design & Performance	+	Specifications	+
2D Cross Section	+	2D Elevation	+
3D & BIM	+	Sell Sheets	+



PELLA IMPERVIA DOUBLE-HUNG WINDOW SPECS & INSTALL DETAILS

- Timeless style and proven performance with unmatched strength and lasting durability
- Handles the most extreme heat and cold⁹
- Interlocking checkrail creates a barrier for air and water infiltration
- Double-hung windows available in sizes up to 47-1/2" x 79-1/2"
- Performance class and grade LC30-LC50

Frame

- Nominal wall thickness of Duracast fiberglass composite members is .050" to .080" thick.
- Frame corners are mitered, joined and bonded with corner locks and mechanically fastened with injected polyurethane adhesive.
- Frame has 10° slope sill.

Sash

All sash members have mitered corners bonded with corner locks and sealed with injected polyurethane adhesive.

Weatherstripping

- Fin-type pile on jambs, top rail and stile of upper sash
- Vinyl-wrapped foam at sill on frame and bottom rail of lower sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- 11/16" insulating glass sealed and bonded to sash.
- High altitude glazing available.

Hardware

- Galvanized block-and-tackle balances connected to sash with polyester cord and concealed within the frame.
- Two locks are installed on units 37" wide or greater.
- Locks are zinc die-cast, self-aligning cam action factory-installed on the interlocker to match finish.

Additional Hardware options

- Optional limited opening device available for field installation on vent units in foamed PVC to match interior of unit; nominal 3-3/4" opening.
- Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

Pella Impervia Reviews

SEE ALL REVIEWS

April 1, 2022



Why Choose Pella

Competitive price for the quality. Excellent sales person.

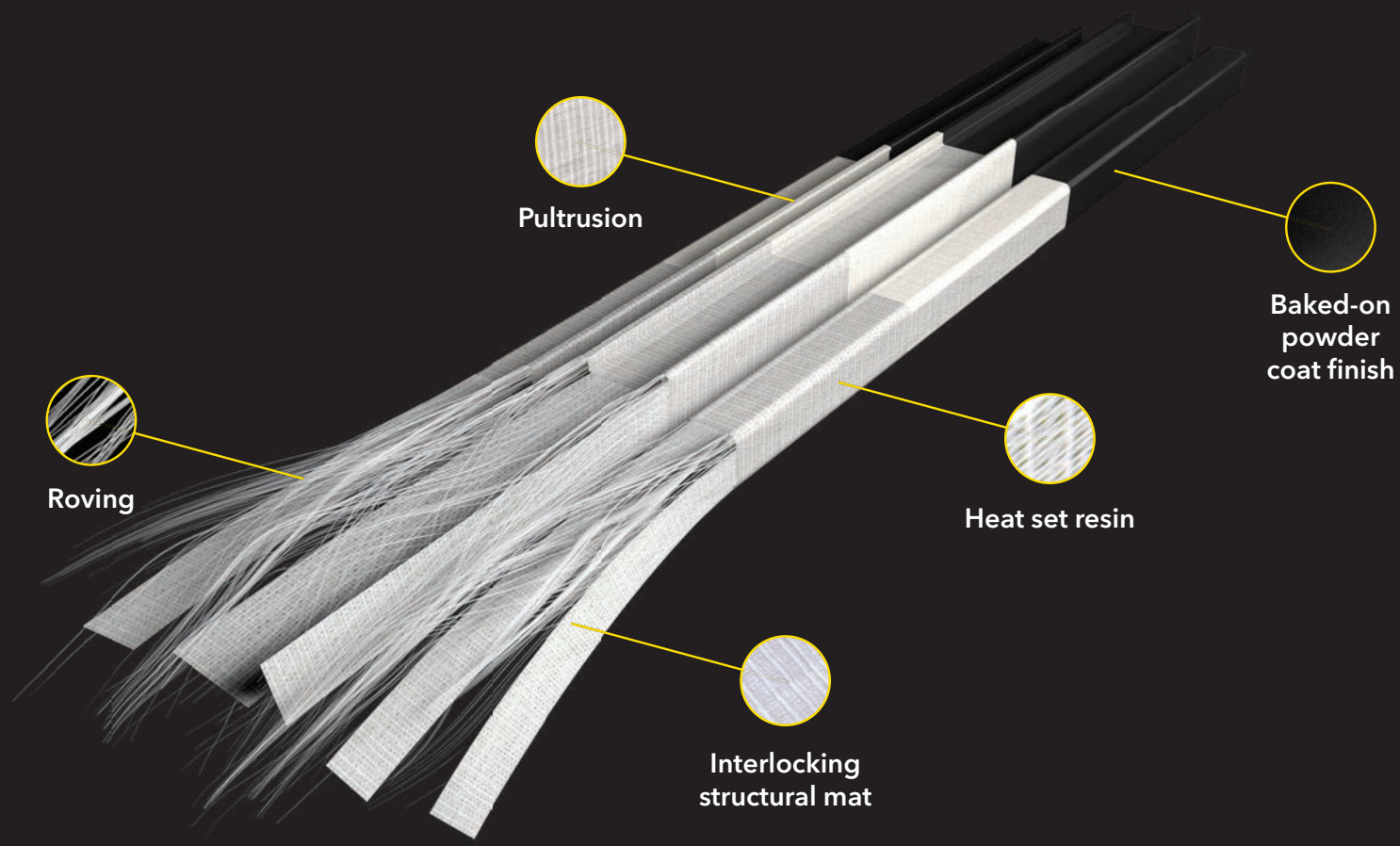
Pella® Impervia®

Fiberglass Windows & Patio Doors



Delivering **unmatched strength!**
Engineered for **lasting durability.**





Behind the dominating strength

Our exclusive formulation withstands extreme temperatures and the test of time. All thanks to our one-of-a-kind manufacturing process.

Strength at its core.

Through a one-of-a-kind manufacturing process, our fiberglass starts with our structural mat which places rovings in a specific, intricate order to meet Pella's high strength standards.

Enduring thermoset material.

With more strategically placed rovings, the materials are pulled through a machine, injected with polymer resin and heated. It creates an entirely new, thermoset material which won't break down when exposed to the elements or lose its shape in extreme heat — unlike other materials.

Tough-as-nails powder coat finish.

Factory-applied and baked on, our long-lasting powder-coat finish resists chipping, chalking and fading for long-lasting durability and beauty.

Fiberglass is strong. We made it the strongest.

Trusted in tools, boats, bridges and more, fiberglass is a naturally strong and durable material making it a superior choice for windows and patio doors. As a leader in innovation since 1925, we created our proprietary fiberglass to give our customers more — more strength for long-lasting use and thinner profiles with more glass.

Stronger than the competition

Our proprietary fiberglass is superior in strength over wood, vinyl, aluminum, Andersen Fibrex®, a material made of plastic and wood fibers, and other fiberglass materials used by leading national brands.^{1,2}

Pella fiberglass won't dent, bend or break as much as the competition.

Won't dent.

On Average,

100x

more impact resistant than Andersen Fibrex.³

Won't bend.

On Average,

10x

stronger than Andersen Fibrex in a bend test.⁴

Won't break.

On Average,

20x

the tensile strength of Andersen Fibrex.⁵

¹ Pella's proprietary fiberglass material has displayed superior strength over wood, vinyl, aluminum, wood/plastic composites, and other fiberglass materials used by leading national brands in tensile and 3-point bend tests performed in accordance with ASTM D638 and D790 testing standards.

² Fibrex is a registered trademark of Andersen® Corporation.

³ Impact testing performance based on testing 7 samples of each material using ASTM D256, Method A.

⁴ 3-point bend testing performance based on testing 10 samples of each material using ASTM D790 test methodology.

⁵ Tensile testing performance based on testing 7 samples of each material using ASTM D638 test methodology.

Superior strength and durability.

Our proprietary fiberglass is superior in strength to wood, vinyl, aluminum, wood/plastic composites and other fiberglass materials! On average, Pella's fiberglass is 100x more impact resistant than Andersen Fibrex, a material made of plastic and wood fibers²

Revolutionary hardware solution.

Open your casement and awning windows with one simple motion using the revolutionary Easy-Slide Operator. The slim, sleek design:

- Simply slides to open, without the effort of cranking
- Features precision venting technology to open your window exactly where you want it
- Provides a modern aesthetic paired with a comfort grip for easy use and smooth operation

Durable three-way corner joints.

For added strength, durability and reliable water performance, Pella Impervia products are secured with corner locks, metal fasteners and injected with sealant.

Larger designs.

The superior strength of Pella's fiberglass allows you to combine standard and special sized windows together to create larger, unique combinations made just for your remodel or new construction project. Sliding patio doors are also available in larger sizes, with up to three panels and 9' and 10' heights³

Strongest.
Innovative.
Tough-as-nails.
Pella® Impervia®.

Energy-efficient options.

Energy-efficient dual- and triple-pane glass options with argon help slow the transfer of heat, keeping your home more comfortable year-round — even in the scorching heat of the summer or the cold of the winter. Insulating foam inside the frame is also available for increased energy efficiency.

Exceptionally strong glass.

Available impact-resistant glass is made of two panes of glass with an exceptionally strong polymer layer located between them. It provides reinforcement and holds the glass together even if it shatters on direct set, casement and awning windows and sliding patio doors.

Outstanding performance.

Provide outstanding resistance to water, wind and outside noises — while increasing energy efficiency, security and ease of operation.

Durable powder-coat finish.

Our long-lasting powder-coat finish resists chipping, chalking, and fading and keeps these timeless style windows and patio doors looking great. Available in popular colors, including Black.

¹ Pella's proprietary fiberglass material has displayed superior strength over wood, vinyl, aluminum, wood/plastic composites, and other fiberglass materials used by leading national brands in tensile and 3-point bend tests performed in accordance with ASTM D638 and D790 testing standards.

² Impact testing performance based on testing 7 samples of each material using ASTM D256, Method A.



Colors & Finishes

Frame Colors

Pella® Impervia® windows and patio doors feature a low-maintenance, durable powder-coat paint finish. Our long-lasting powder-coat finish resists chipping and fading so you never need to paint or refinish.

Solid-Color:



Dual-Color:



Glass & Additional Energy Efficiency Upgrades

InsulShield® Low-E Glass¹



Advanced Low-E insulating dual- or triple-pane glass with argon



AdvancedComfort Low-E insulating dual-pane glass with argon



NaturalSun Low-E insulating dual- or triple-pane glass with argon



NaturalSun+ Low-E insulating dual- or triple-pane glass with argon

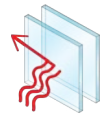


SunDefense™ Low-E insulating dual- or triple-pane glass with argon



SunDefense+™ Low-E insulating dual- or triple-pane glass with argon

Additional Glass Options



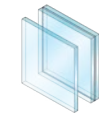
Clear insulating glass



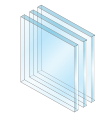
Tempered glass



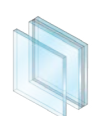
Laminated (non-impact-resistant)², tinted³ or obscure glass



STC (Sound Transmission Class) dual-pane sound control glass⁴



Triple Pane⁵



Impact-resistant glass⁶

Foam Insulation Options

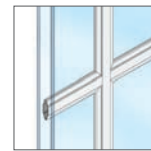
Optional foam-insulated frame and sash are available to increase energy efficiency.



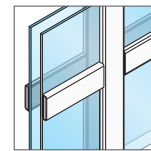
Grilles

Grilles

Grilles are color-matched to the window or patio door interior and exterior frame color.⁷



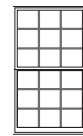
Aluminum Grilles-Between-the-Glass 3/4"



Applied Grilles⁸

Grille Patterns

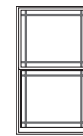
In addition to the patterns shown here, custom grille patterns are available.⁹



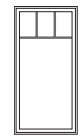
Traditional



6-Lite Prairie



9-Lite Prairie



Top Row



Custom

Hardware

Casement & Awning

Select from two window hardware options for casement and awning windows. The revolutionary, patent-pending, Easy-Slide Operator allows you to simply slide to open, without the effort of cranking. Precision venting technology allows you to open your window exactly where you want. And its sleek design provides an undisturbed look. Or select the fold-away crank, that folds neatly away, against the window frame. Neither solution will interfere with roomside window treatments.

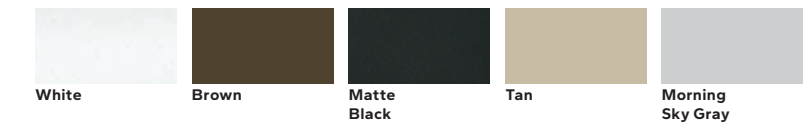


Easy-Slide Operator



Fold-Away Crank

Color-Matched Finishes:



Additional Finish¹:



Satin Nickel

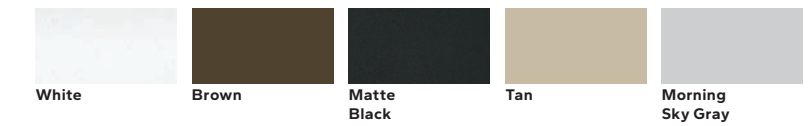
Sliding, Single-Hung & Double-Hung

Pella's cam-action locks pull the sashes against the weatherstripping on single-hung, double-hung and sliding windows for a tighter seal.

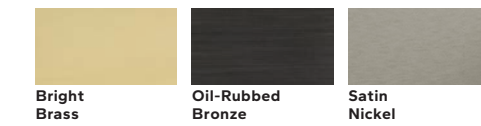


Cam-Action Lock

Color-Matched Finishes:



Additional Finishes:



Bright Brass

Oil-Rubbed Bronze

Satin Nickel

Sliding Patio Door Handle and Secure Vent Lock

Elevate your style and transform your home with a timeless, easy-to-operate sliding patio door handle. A secure vent lock comes standard and provides added safety and security for your home. It withstands 500 pounds of opening force in the vent lock position.

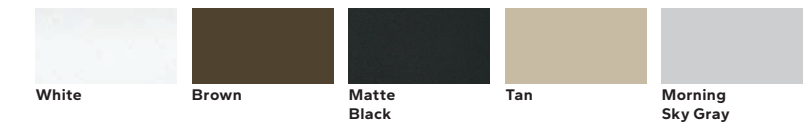


Sliding Patio Door Handle



Secure Vent Lock

Color-Matched Finishes:



Additional Finish¹:

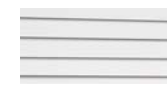


Satin Nickel

Blinds-Between-the-Glass

Blinds-Between-the-Glass

Add privacy and comfort to your home with blinds-between-the-glass for your sliding patio door. Located between panes of glass, blinds are protected from dust, damage and little hands.



White



Slate Gray



Espresso

¹ Optional high-altitude Low-E insulating glass available with or without argon on select products.

² For best performance, the laminated glass may be in the interior or exterior pane of the insulating glass, depending on the product.

³ Available with Advanced Low-E insulating glass with argon with bronze, gray or green tint on select products.

⁴ Sound control glass consists of dissimilar glass thickness (3mm/5mm or 5mm/3mm).

⁵ Available on direct set, awning and casement windows and sliding patio doors. Not available with AdvancedComfort Low-E glass.

⁶ Available on direct set, casement and awning windows and sliding patio doors only. Not available with grilles-between-the-glass.

⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁸ Available on direct set windows only.

⁹ Grille patterns offered may vary by product. See specific product information for availability.

¹ Satin Nickel finish not available on Easy-Slide Operator window hardware or Secure Vent Lock on sliding patio doors.

Resource Identification

Tax Parcel: 100/01 00/ 85/ 11

Other Id#:

GPIN # 7795-89-1904

Property Name(s): House, 9301 Prescott Avenue {Current}

Property Date: circa 1940

Address(s): 9301 Prescott Avenue {Current}

County/Independent City: Manassas

City: Manassas

State, Zip: Virginia, 20108

USGS Quad Name..... MANASSAS

Surrounding Area: City

National Register Eligibility Status

Property is Historic (50 years or older)

Property is associated with the Local Manassas Historic District

Property is associated with the National Register Manassas Historic District [district]

Resource Description

Ownership Status:..... Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	Exterior End	Brick	Corbelled Cap
Chimneys	N/A	N/A	N/A
Foundation	Solid	Brick	Block
Roof	Gable	Asphalt	Shingle
Porch	N/A	N/A	N/A
Structural System	Frame	Brick	Veneer
Windows	Double-Hung	Vinyl	6/6
Windows	N/A	N/A	N/A

Site Description:..... Facing west, this single dwelling is situated on a grassy sloping lot with mature trees and shrubs and is fronted by foundation plantings. This lot on the southeast corner of Prescott Avenue and Quarry Road has a gravel drive located off of Quarry Road to the east of the dwelling. A prefab shed is located to the rear, east of the house.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Single Dwelling	Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
1	Building	Non-Contributing

Individual Resource Information

WUZIT:..... Single Dwelling

Est. Date of Construction: ... circa 1940

Primary Resource?..... Yes

Architectural Style:..... Other: Cape Cod

Interior Plan Type: Unknown

Accessed? No

Number of Stories:..... 1.5

Condition: Good

Threats to Resource:..... None Known

Description: Set on a brick block foundation, this one-and-a-half-story Cape Cod is a single dwelling. It is wood-frame construction clad in stone veneer on the façade and aluminum siding on the remaining elevations. It is covered by a side gable roof sheathed in asphalt shingles. The roof features two gable dormers on the façade and a shed dormer on the rear elevation. Louvered vents are located on the gable ends. Fenestration is comprised of 6/6 double-hung vinyl windows and a central entry that features a pillastered door surround, brick steps, and metal railings. A one-story enclosed porch has been constructed on the north elevation. A second enclosed porch has been constructed on the west elevation and has a raised wooden deck to its north.

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Domestic

Time Period(s): World War I to World War II (1914-1945)

Significance Statement: The house at 9301 Prescott Avenue, constructed circa 1940, is typical of Colonial Revival dwellings constructed in the second quarter of the twentieth century. Typical of the Cape Cod form, the house is a small, one-story building with a steeply pitched roof. The façade has a slight asymmetrical appearance with the door slightly off center leading to the center-hall plan or hall and parlor plan and a Colonial Revival-style door surround. The Cape Cod house was reintroduced in the 1930s and 1940s, when small, economical houses were popular. As a result, the Cape Cod house became a frequent house type in suburban development. This property is a contributing property to National Register Manassas Historic District. As a good example of the Colonial Revival style and the Cape Cod house form, this building is Ranked Contributing.

Ownership Information

Swift, Robert C.

Graphic Media Documentation

Medium	Photo Roll	Negative Number	Photo Date
B/W 35mm Photos	EHT 23	21-22	12/13/2005
Digital Photos	EHT 23	21-22	12/13/2005

CRM Event

Reconnaissance Survey EB: EHT Tracerics, Inc. August 8, 2005

Quarry

Sidewalk

Gravel Parking

Deck

1st fl

Sidewalk

Prescott

5' scope

N
↑

I.D. # (s) 7795-89-1904 Address 9301 Prescott Avenue

HISTORIC LANDMARKS COMMISSION
Survey Form



Tax Parcel #100-01-85
Date of Survey 6/94

File No. 155-161-424
Negative No.(s) 13199
Natl. Reg. Nom. Ref. Item #7, Page 37

Historic Name
Street Address 9301 Prescott Avenue

Common Name

USGS Quad: MANASSAS
Original Owner:
Original Use: residence
Present Owner:
Present Owner Address:

Date or Period: 1940s
Architect/builder/Craftsman:
Source of Name:
Source of Date:
Stories: 1½

Present Use: residence
Acreage: <1
State Condition of Structure & Environs: good

Foundation & Wall Construction:
concrete block/stud
Roof Type: gable

State Potential Threats to Structure: none

Should be investigated for possible register potential? YES _____ NO x

ARCHITECTURAL DESCRIPTION - (note significant features of plan, structural system and interior and exterior decoration, taking care to point out aspects not visible or clear from photographs. Explain nature and period of all alterations and additions. List any outbuildings and their approximate ages, cemeteries, etc.)

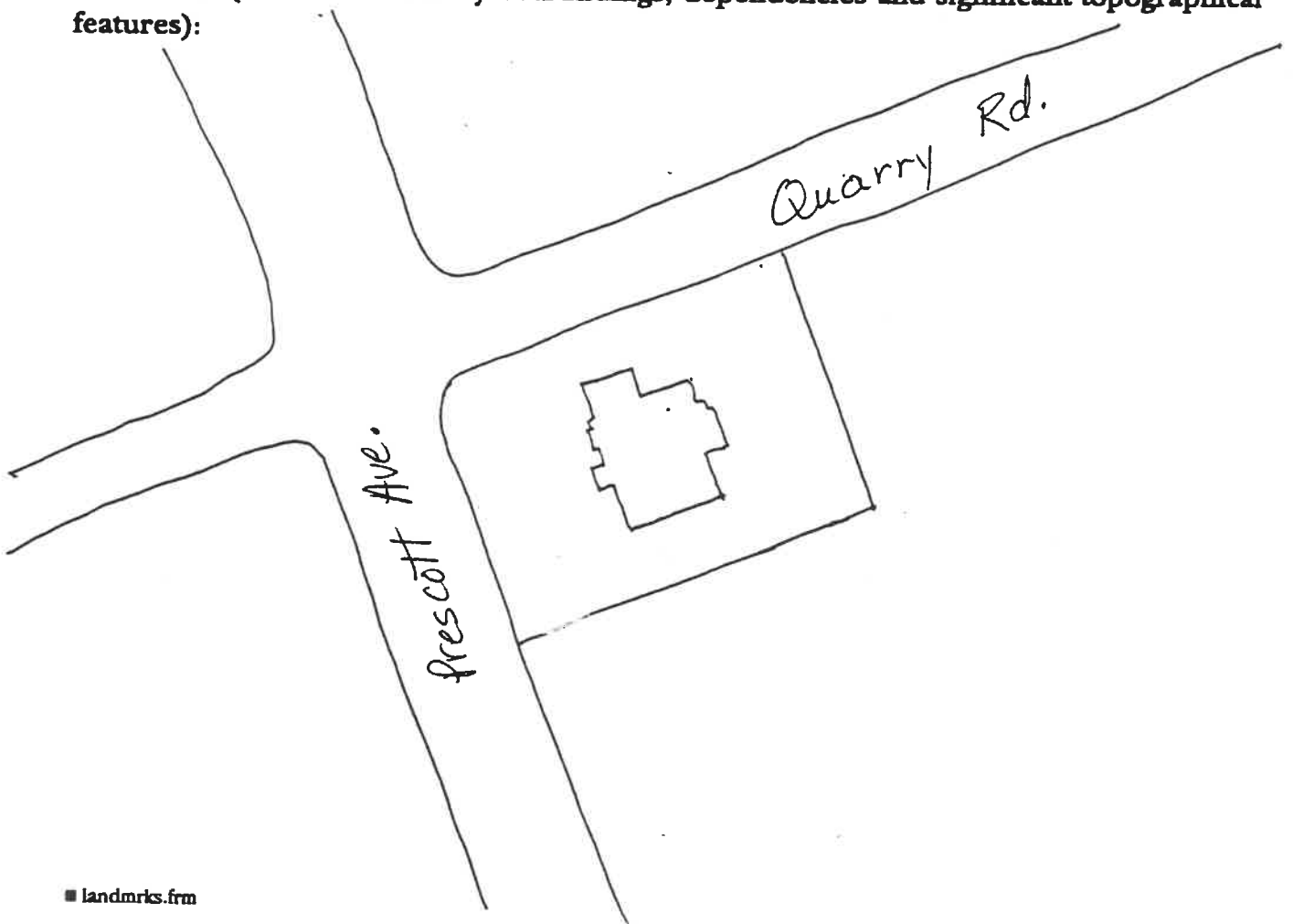
Detached house. Cottage. 1940s. Wood frame (perma-stone); 1½ story, 3 bays (symmetrical); gable, composition (asphalt, asbestos, etc.) shingle roof; 2 front gable dormers; paired 6\6 windows, metal awning over entrance, exterior end brick chimney, side screened porch. Noncontributing.

Historical Significance: Non-contributing.

155-161-424

PLAN (indicate locations of rooms, doorways, windows, alterations, etc.):

SITE PLAN (locate and identify outbuildings, dependencies and significant topographical features):



ARB #2024-0015
9401 East Street
April 16, 2024



Summary of Request: Installation of a wall and hanging sign

Applicant(s): Katherine Colburn

Site Owner(s): Agostino Costa

Site Address: 9401 East Street

Site Location: Southeast corner of the intersection of East and Church streets.

Year Built: ca. 1925

Age of Structure: approx. 99

Type of Structure: Landmark; Contributing

ARB #2024-0015
 9401 East Street
 April 16, 2024



Photo taken 04/09/2024

PROPERTY INFORMATION

Historical Significance – The house at 9401 East Street is a single-family dwelling constructed ca. 1925 and designed in the Colonial Revival style. The building is known as the H. Churchill House as the Churchill’s were the last owners and occupants of the house before it was converted for commercial use. H. Churchill, a photographer, and his wife bought the house in 1953. The house was owned by C.E. Fisher and Olive B. Fisher from 1911 to 1943. C.E. Fisher originally purchased the property in 1911, at which time the lot was unimproved. The Fishers owned the property when the house was built ca. 1925. The house is both a Landmark and Contributing structure within the Local Historic District.

The dwelling at 9401 East Street is a two-story, wood frame house capped by a hip roof with a central closed gable on the façade. A four-lite lunette window is located at the center of the gable. The roof standing-seam metal. A one- and two-story addition is located off the rear (west) elevation. The house originally had wood clapboard siding and a full-width one-story, three-bay front porch. However, it was heavily altered in the 1960s with the construction of a rear addition, enclosure of the front porch, changes to the size of the window openings, and the replacement of the original siding on the side and rear elevation with buff brick veneer siding. While the house is both a Landmark and Contributing property to the Historic District, the mid-twentieth century alterations have diminished its integrity.

Surrounding Properties -

Address	Designation	Notes
9009 Church Street	Not Surveyed/Non-Contributing	Messenger Place
9403 East Street	Non-Contributing	
9351 Main Street	Non-Contributing/Vacant Lot	Old Towne Inn Site
9329 Main Street	Landmark, Contributing	Manassas Presbyterian Church
9012 Church Street	Non-Contributing	

ARB #2024-0015
9401 East Street
April 16, 2024



REQUEST/PROPOSAL

The applicant is proposing to install two new signs: a wall sign and a hanging sign to be installed on a metal bracket. Both signs will be oval shaped and printed on 0.5” thick PVC.

The wall sign will be approximately 1.96 square feet, and will have two lines of text in white and gold on a black background. The larger font white text “PRINCE WILLIAM” is over the small font gold text “MUSIC ACADEMY”. The company’s logo in gold is to the left of the text. The sign will be mounted to the exterior on East Street

The hanging sign will be approximately 4.71 square feet. The company’s name “PRINCE WILLIAM MUSIC ACADEMY” is broken up into four lines of white text on a black square background with the company logo in gold at center. The black square is overlaid on an off-white background. The right and left rounded edges of the sign feature silver musical notes on a black background. The sign will hang from a black 40” steel bracket mounted to the north side of the building facing Church Street in the same location as an existing hanging sign.

STAFF ANALYSIS

The guidelines for signs are found on pages 172-173 of the design guidelines document. General design guidelines for signs include:

- The size of each sign and the total area of signs should be appropriate in scale to the building.
- Materials of a sign are much less important than the finished look. With the exception of Gold Leaf, the ARB does not support finishes that appear shiny or look like plastic. Matte finishes should be used whenever possible.
- Sign design and placement should fit the architecture, visibility, and character of the building, and nature of the business.
- Signs should represent the business, including color, graphics, and general branding of the business.

Relevant guidelines specifically for Wall Signs include:

- Wall signs should be placed within obvious areas such as the unadorned frieze of a cornice or the top of a storefront. In general, they should be attached to unadorned surfaces.
- Wall signs on historically residential buildings may be attached to the wall at the first floor, or between porch columns.

The proposed wall sign is scaled appropriately for the building and will be installed to the left of the main entrance fronting East Street on a portion of the exterior wall. The sign itself is not oversized, and does not overwhelm the façade. The sign, with printed logo and lettering in muted colors printed on PVC, features both a suitable finish and material. The muted colors do not stand out or detract from the building, allowing the sign to fit into the streetscape, both complimenting the district and providing for business branding.

Relevant guidelines specifically for Projecting Signs include:

ARB #2024-0015

9401 East Street

April 16, 2024



- Projecting signs on historically residential buildings should not be located higher than the top of the porch, or attached to the wall at the first floor or porch column.
- Brackets and the hanging structure should be black metal, and the design should fit the architectural design of the building.

Overall, the proposed hanging sign meets the design guidelines. Placement is appropriate as the sign and bracket are being installed in the location of an existing hanging sign on Church Street. The design of the sign, which features text and a musical notes design, primarily features darker, muted colors that do not stand out or detract from the building. Further, the musical notes detail is an important design component that helps represent the applicants branding and business as a music academy. The hanging sign will be installed on a new black metal bracket over the first-story on the north side elevation fronting Church Street. This is the same location as an existing hanging sign that it will replace.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the two signs as submitted.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Sign Details
3. Historic Surveys



CITY OF MANASSAS, VIRGINIA

Community Development • 9800 Godwin Drive, Manassas, VA 20110 • 703-257-8223

ARB #: _____

DATE: _____

(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 9401 East Street Manassas, VA 20110
Number Street Name

Tax Map No(s): 101/01 00/436/1 Zoning District: Historic - B3

Date Purchased: 5/1/2012 Age of Structure: 99 years 0 0

Nature of Proposed Work: Please check all that apply.

- Signage Exterior Alteration Addition
 New Construction Demolition

Description of Proposed Work (use additional pages if necessary): _____

Add hanging double sided sign from left wall of building plus one oval shaped sign attached to front of building next to front door.

APPLICANT

(All correspondence is addressed to applicant)

Katherine Colburn

Name (Please Print)

9588 Basilwood DR.

Address

Manassas Va 20110

City State Zip Code

katherine@pwrstringacademy.com

E-mail Address

703-655-3010

Phone #

Fax #

Katherine Colburn

Signature

OWNER

(Leave blank if same as applicant)

Agostino Costa

Name (Please Print)

Village Concrete

Company

11250 Industrial Road

Address

Manassas Va 20110

City State Zip Code

703-365-8544

Phone #

Fax #

acosta@villageconcrete.com

E-mail Address

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.



CITY OF MANASSAS, VIRGINIA

Community Development • 9800 Godwin Drive, Manassas, VA 20110 • 703-257-8223

CAS 2
(Completed by City Staff)

SPECIAL/LIMITED POWER OF ATTORNEY

THIS _____ day of _____, 20____, I, _____, the owner of Tax Map Number 101/01 00/436 / 1, make constitute and appoint _____ my true and lawful attorney-in-fact, and in my name, place and stead giving unto said _____ full power and authority to do and perform all acts and make all representation necessary, without any limitation whatsoever, to make application for (circle one) (Special Use Permit), (Rezoning), (Architectural Review Board), (Board of Zoning Appeals) in connection with the above described real property

The right, powers and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on _____, 20____, and shall remain in full force and effect thereafter until actual notice, by certified mail, return receipt requested is received by the Office of Community Development of the City of Manassas stating that the terms of this power have been revoked or modified

Agostinho Costa President
Owner's Name (Please Print)

X Agostinho Costa
Owner's Signature

STATE OF VA
COUNTY OF Prince William

I, L. Tatiana S. Alfaro, a Notary Public in and for the State and County aforesaid, do hereby certify that Agostinho Costa whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same

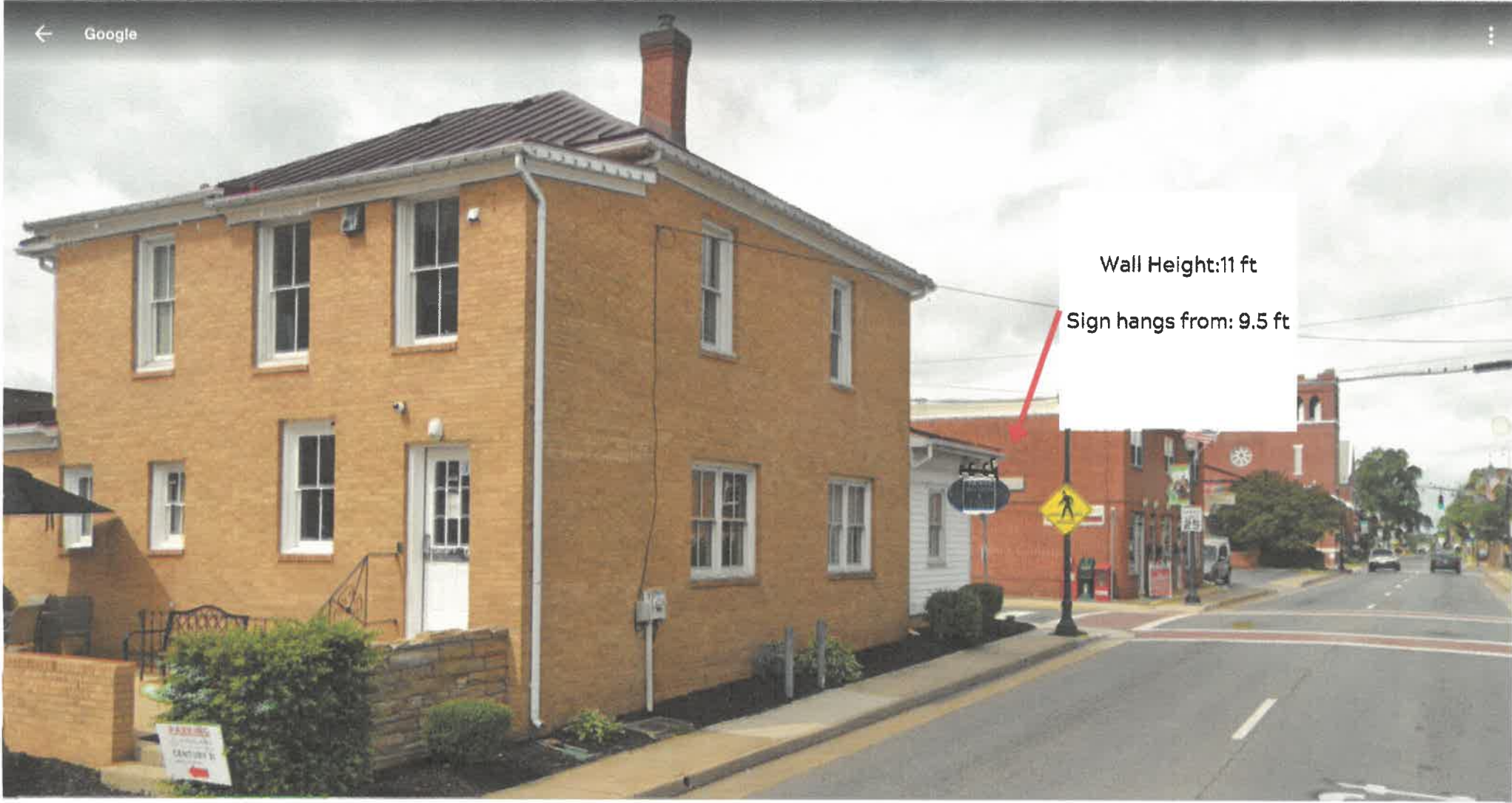
Given under my hand this 8th day of March, 2024

L. Tatiana S. Alfaro
Notary Public

My Commission expires 7/31/26 ID 8015742



Revised December 2021



Wall Height: 11 ft
Sign hangs from: 9.5 ft

Dimensions
from front door
to window: 46"





Sign Dimensions: 24" X ¹⁵~~12~~"
Material: ~~Metal and Composite~~
PVC

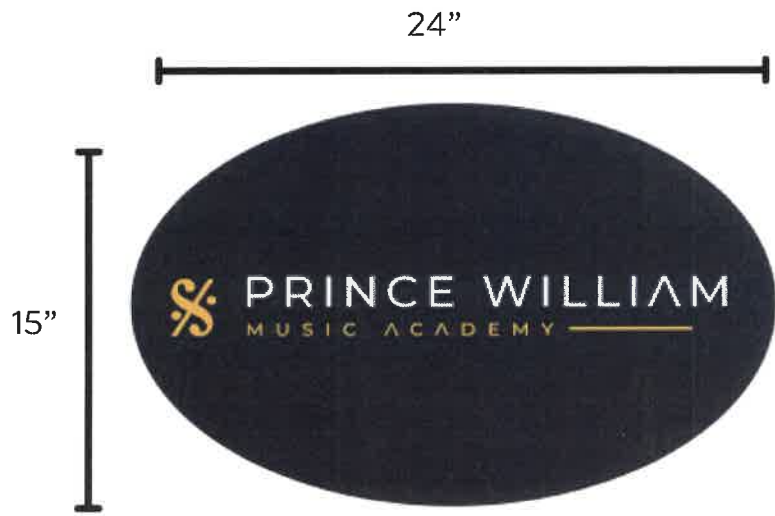


Sign Dimensions: 36" X ²⁴~~18~~"
Same front and back design
Material: ~~Metal and Composite~~
PVC



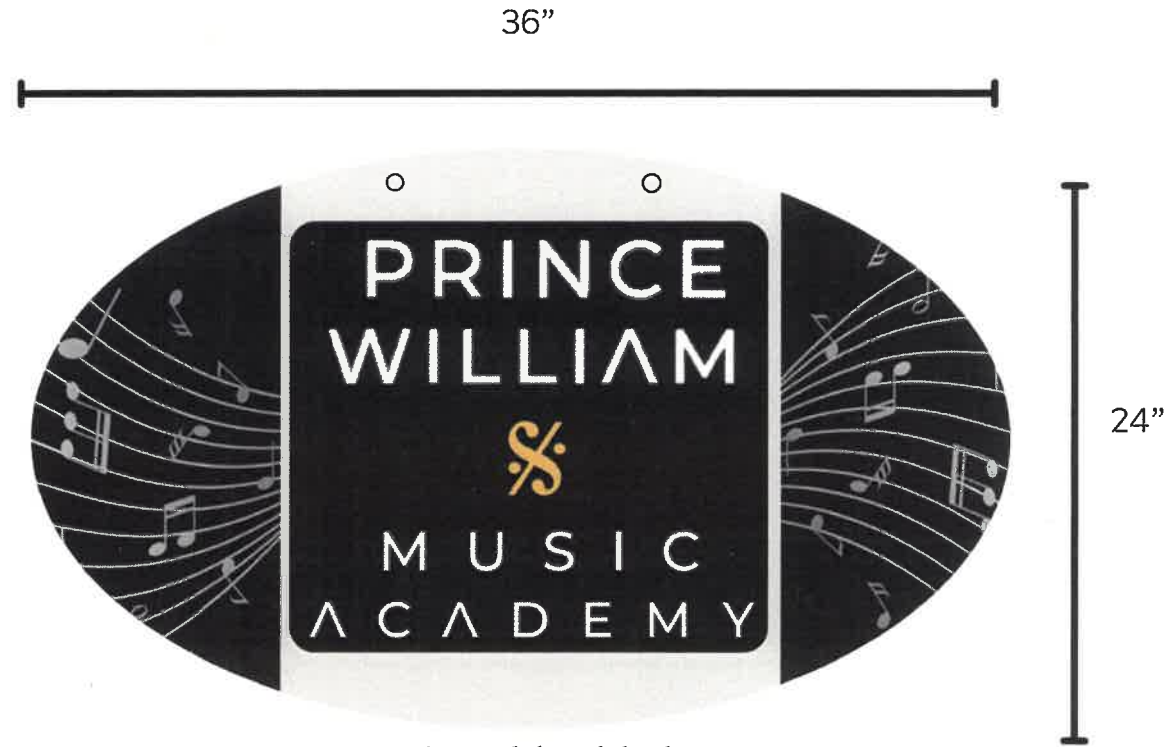
Universal Straight Arm Bracket

- Adjustable Ring Centers
- Bracket Length- 40"
- Steel construction
- back plate 6"X6"
- Can support up to 75 lbs.



single

15" x 24" sign single-sided. All components are made of PVC and is printed with a UV printer. The sign is approx. 1/2" thick and the printing is flat on the surface.



Double-sided

24" x 36" sign double-sided. All components are made of PVC and is printed with a UV printer. The sign is approx. 1/2" thick and the printing is flat on the surface. One side will be textured and the other will be smooth.

**City of Manassas
Reconnaissance Level Survey**

Resource Identification

Tax Parcel: 101/01 00/ 436/ 1/ 1

Other Id#: 155-0161-0081

GPIN # 7795-68-4950

Property Name(s): C. E. Fisher House {Historic} H. Churchill House
{Historic} Commercial Building, 9401 East Street
{Current}

Property Date: circa 1900

Address(s): 9401 East Street {Current}

County/Independent City: Manassas

City: Manassas

State, Zip: Virginia, 20108

USGS Quad Name..... MANASSAS

Surrounding Area: City

National Register Eligibility Status

Property is Historic (50 Years or Older)

Property is associated with the Local Manassas Historic District

Property is associated with the National Register Manassas Historic District [district]

Resource Description

Ownership Status: Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	Interior	Brick	Corbelled Cap
Chimneys	N/A	N/A	N/A
Foundation	Solid	Concrete	Block
Roof	Hip	Asphalt	Shingle
Porch	Enclosed	Wood	Post, Square
Structural System	Frame	Wood	Siding
Windows	Double-Hung	Wood	1/1, 2/2
Windows	Fixed	Wood	40-light, 60-light

Site Description: Facing west, this former single dwelling is sited on a level lot with landscaping and foundation plantings. A paved parking lot is located to the east of the building. This lot is located on the southeast corner of East Street and Church Street. The building currently is used for office space by Thomas Engineering and Surveying, Ltd.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Single Dwelling	Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
1	Building	Contributing

Individual Resource Information

WUZIT: Single Dwelling

Est. Date of Construction: ... circa 1900

Primary Resource? Yes

Architectural Style: Other: I-House

Interior Plan Type: Unknown

Accessed? No

Number of Stories: 2

Condition: Good-Fair

Threats to Resource: None Known

Description: Set on a concrete-block foundation, this two-story, three-bay I-house is wood frame clad in weatherboard with cornerboards and stretcher-bond brick along the north, south and rear elevations. The building has a hipped roof with asphalt shingles, overhanging eaves, frieze board, and a front gable that features a wide frieze board, ovolo molding, and a fanlight. The one-story, three-bay porch is enclosed with weatherboard siding and a half-hip standing-seam metal roof. Fenestration on the north and south consists of 2/2 double-hung wood windows on rowlock sills with louvered shutters, and 40-light fixed windows with louvered shutters. The porch has 60-light fixed windows with wood surrounds. The second story of the façade has 1/1 double-hung vinyl windows. There is a two-story rear, east elevation addition of stretcher-bond brick with a shed roof and rear entrance. The addition's fenestration consists of 6/6 and 2/2 double-hung wood windows with rowlock sills. A second rear addition was constructed to the south of the two-story rear addition. The one-story stretcher-bond brick addition has a hip roof and a second rear entrance. This former single dwelling is not used as a commercial building.

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Domestic

Time Period(s): Reconstruction and Growth (1865 to 1914)

Significance Statement: The house at 9401 East Street, this single dwelling was originally constructed circa 1900 in the Colonial Revival style. The building was altered in the 1960s and is now devoid of most of its architectural-defining elements. This property is a contributing property to National Register Manassas Historic District. The alterations made to this dwelling compromise its integrity, therefore the house at 9401 East Street is Ranked Non-Contributing.

Ownership Information

Properties LLC

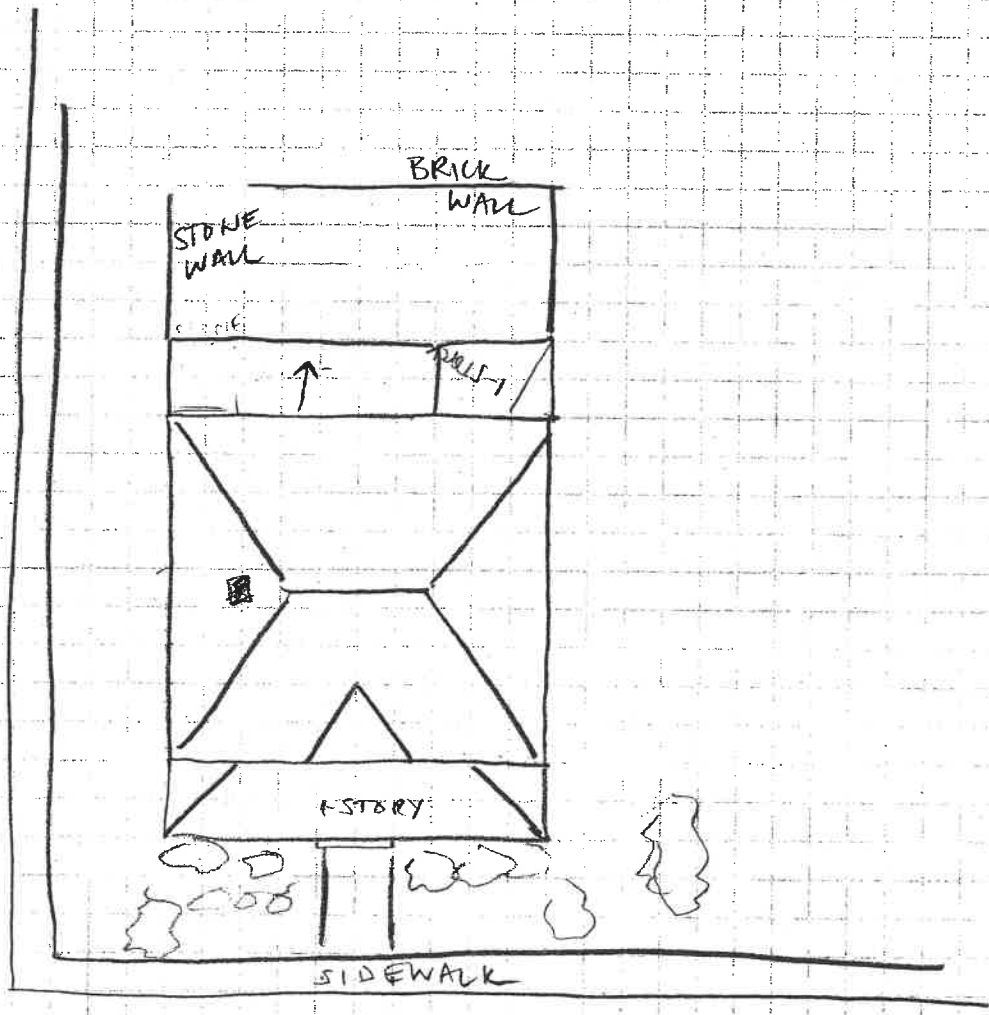
Graphic Media Documentation

Medium	Photo Roll	Negative Number	Photo Date
BW 35mm Photos	EHT 6	28, 33	11/11/2005
Digital Photos	EHT 6	28, 33	11/11/2005

CRM Event

Reconnaissance Survey EB: EHT Tracerics, Inc. September 1, 2005

CHURCH STREET



EAST STREET



I.D. # (s) 7795-68-4958 Address 9401 East Street

7795-68-4950



VIRGINIA
HISTORIC LANDMARKS COMMISSION

File no. 155-140
Negative no(s). 4910

SURVEY FORM

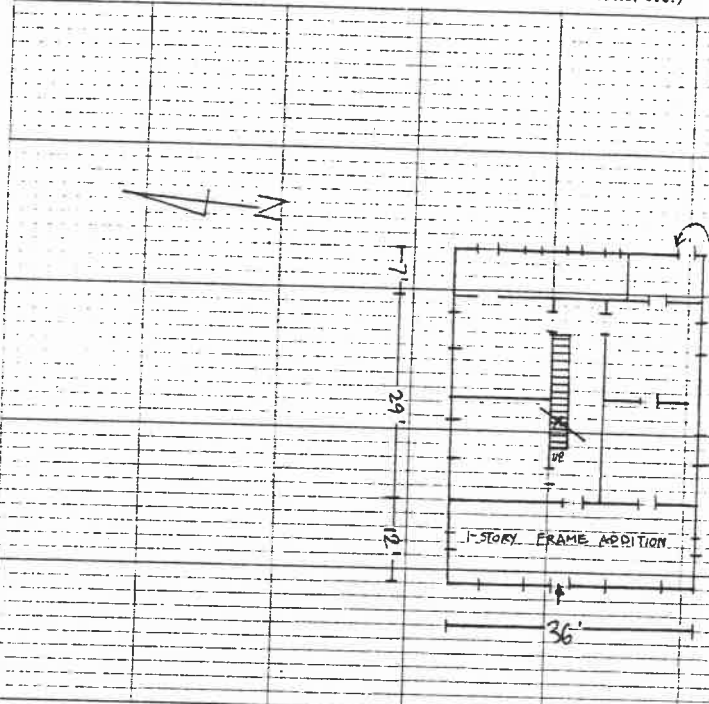
Historic name C. E. Fisher House	Common name H. Churchill House
County/Town/City Manassas	
Street address or route number 9401 East Street, Manassas, VA 22110	
USGS Quad Manassas	Date or period c1905; remodeled mid-1960's.
Original owner C. E. Fisher?	Architect/builder/craftsmen
Original use Residence	
Present owner R. B. Thomas, LTD.	Source of name
Present owner address 9401 East Street	Source of date Architectural evidence; deed refs.
Manassas, VA 22110	Stories 2 stories
Present use Office	Foundation and wall const'n Stone and cinder block foundation, frame walls.
Acreage 1 lot	Roof type Pressed tin-covered hip roof.
State condition of structure and environs Building and grounds in good condition.	
State potential threats to structure	
Note any archaeological interest Small stone foundation beneath part of house.	
Should be investigated for possible register potential? yes ___ no ___	
Architectural description (Note significant features of plan, structural system and interior and exterior decoration, taking care to point out aspects not visible or clear from photographs. Explain nature and period of all alterations and additions. List any outbuildings and their approximate ages, cemeteries, etc.)	
<p>This house has lost some of its yard, owing to recent highway construction along Church Street. The house has also lost its architectural integrity through the partial brick veneering and the addition of a cedar-shingle-covered mansard-roofed, one-story addition on the front. The enlargement of windows on the first floor further alters the house's architectural character. It is basically a hip-roofed, frame-constructed, central entry EL-shaped house with a gable-roofed dormer in the roof containing a semi-circular window. The windows were formerly 2/2 sliding sash.</p> <p>The straight, now closed, but formerly open, stair has a square moulded newel, a moulded rail, and turned balusters. The ceilings have been lowered and covered with tiles; the floors (pine) are carpeted; the walls are covered with wood grain paneling and all of the woodwork except that in the hall has been replaced. It was symmetrically-moulded without cornerblocks.</p> <p>There is a small stone foundation in the basement beneath the north side of the house, possibly a foundation for an earlier house on the lot.</p>	
Interior inspected? Yes.	
Historical significance (Chain of title: individuals, families, events, etc., associated with the property.)	
<p>This house is known as the Churchill House because the Churchills were the best-known owners of the house, and the last owner-occupants before it was converted to offices. H. Churchill, a photographer, and his wife bought the house in 1953 from Roy and Mary Bauserman. Mrs. Bauserman had acquired it in 1943 from Olive B. Fisher. Olive Fisher had received it from C.E. Fisher. C.E. Fisher had acquired the property in 1911 from E. A. Brauner. Prior to that Susan and Louis Butler owned the property, having acquired it from William S. Fewell in 1877. The Fewells had acquired the property from W. Davis.</p> <p>The present owner, an engineering and architectural firm, acquired the property a few years ago from Miller and Long Co. who had purchased it in 1965 from the Churchills.</p>	

Sources and bibliography
Published sources (Books, articles, etc., with bibliographic data.)

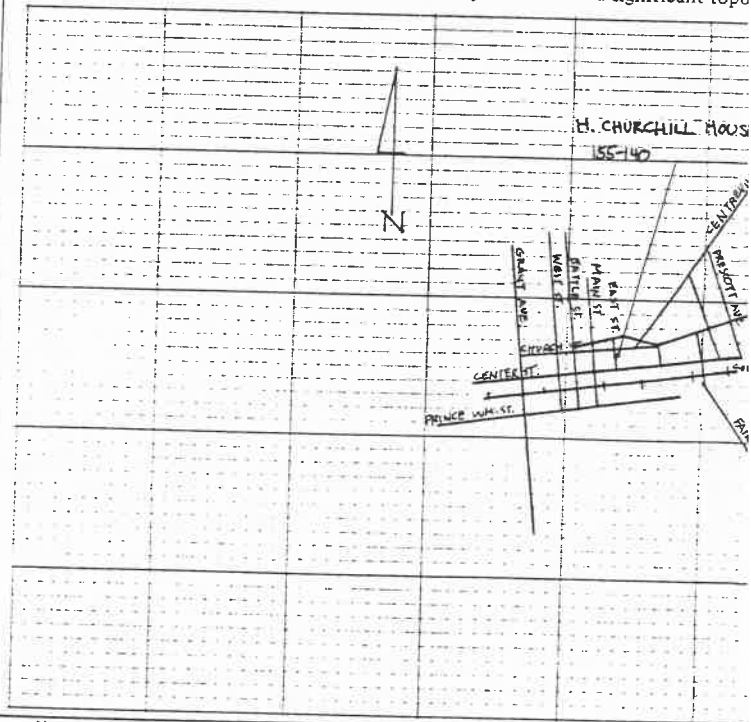
Primary sources (Manuscript documentary or graphic materials; give location)

Names and addresses of persons interviewed Mr. Thomas (owner)

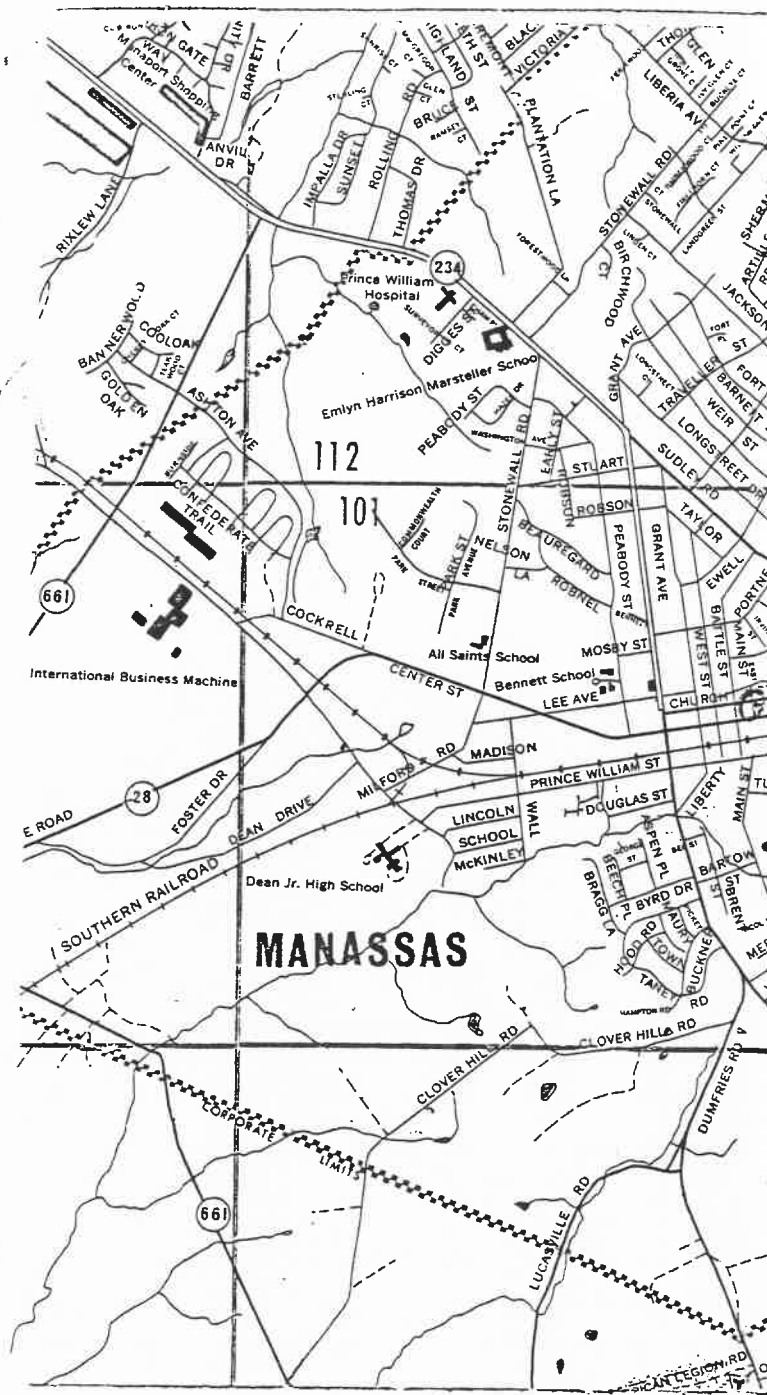
Plan (Indicate locations of rooms, doorways, windows, alterations, etc.)

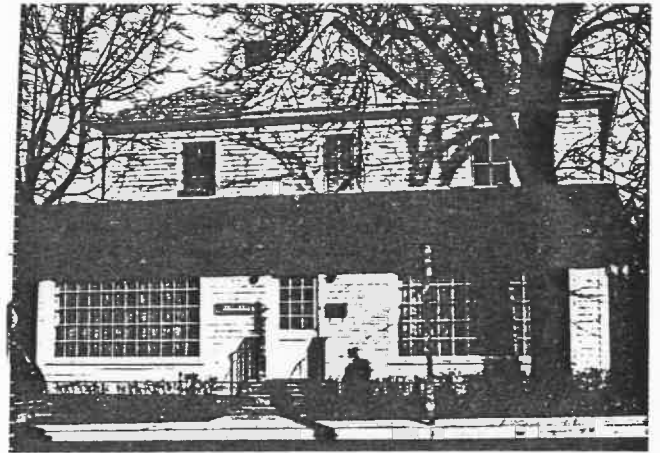
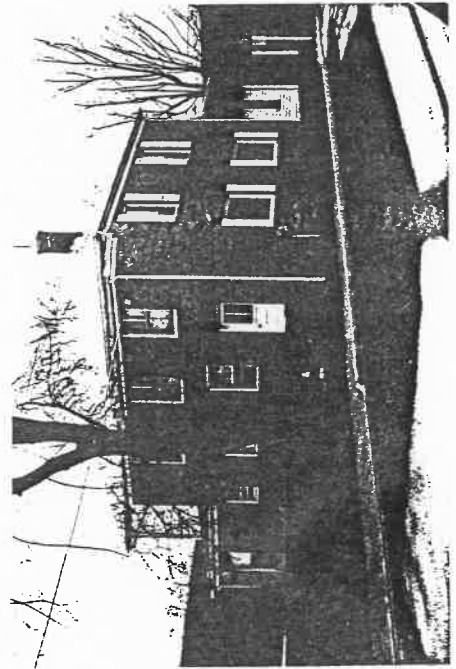
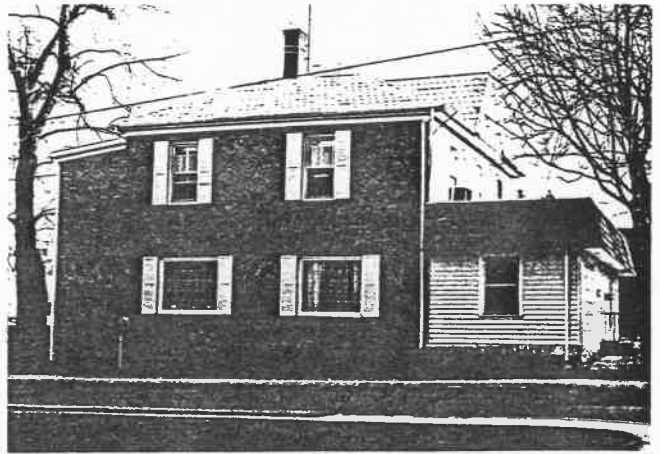
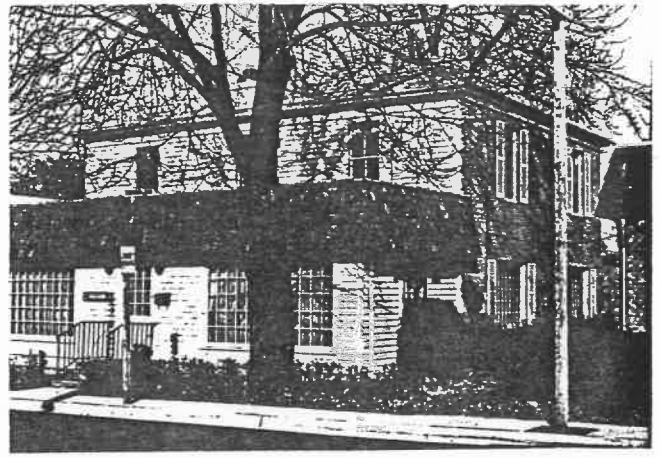


Site plan (Locate and identify outbuildings, dependencies and significant topography)



Name, address and title of recorder Frances Jones, Architectural
Historian - Surveyor, NHPD





ARB #2024-0016
9216 Center Street
April 16, 2024



Summary of Request: Mural

Applicant(s): Historic Manassas, Inc.

Site Owner(s): Day and Walker LLC

Site Address: 9216 Center Street

Site Location: North side of Center Street, east of the intersection with Grant Avenue

Year Built: 1950

Age of Structure: 74

Type of Structure: Non-Contributing

ARB #2024-0016
 9216 Center Street
 April 16, 2024



Photo taken 04/09/2024

PROPERTY INFORMATION

Historical Significance – The commercial building at 9216 Center Street, built ca. 1950, is typical of mid-century commercial architecture in the post-war era. The building has a simple façade largely void of ornamentation, and originally featured a recessed entrance. Sometime after the October 1993 architectural survey, the entrance was infilled with the existing Colonial Revival storefront which features a multi-lite window and single-leaf door. The building was constructed outside the period of significance and is a Non-Contributing structure.

Built on a poured concrete foundation, this one-story commercial building is constructed of concrete block masonry, capped by a flat roof with a low parapet that has metal coping. The façade is finished with a stretcher-bond brick veneer. Alterations include the addition of Colonial Revival details in the 1990s, including the multi-lite fixed wood window, multi-lite glazed door, apron panel and entry surround, and non-functioning shutters on the west elevation.

Surrounding Properties -

Address	Designation	Notes
9220 Center Street	N/A	Vacant – Parking Lot
9407 Grant Avenue	Non-Contributing	
9210 Center Street	N/A	Vacant – Parking Lot
9215 Center Street	Non-Contributing	
9219 Center Street	Contributing	

ARB #2024-0016
9216 Center Street
April 16, 2024



REQUEST/PROPOSAL

The applicant is seeking approval for a new mural to replace an existing mural on the west elevation of the building at 9216 Center Street. The existing mural was done years ago by high school students, and features a hilly landscape, train, and several buildings. The new mural will be colorful and lively, showing a variety of plants and pollinators to reflect Manassas status as a registered “Bee City USA” affiliate committed to conserving native pollinators.

STAFF ANALYSIS

The guidelines for Public Art & Murals are stated on pages 176-177. Relevant guidelines include:

1. Murals are considered to be reversible if applied to previously painted surfaces. Murals should be painted using materials that can be removed without destructive methods such as sandblasting.
3. In most cases, do not place murals on primary facades of historic landmark or contributing buildings. Side facades of buildings are appropriate for murals as long as they do not conceal historically significant details such as cornices, bay windows or other decorative elements.
5. Murals should complement and enhance building design and be incorporated architecturally into the elevations of the building.
6. The location of a mural on the building should not cover or detract from significant or character-defining architectural features.

The mural is proposed on a non-contributing structure and will replace an existing mural located on the west side elevation - which has limited fenestration. The location of the elevation with the mural faces a surface parking lot and the intersection of Grant Avenue and Center Street. The buildings directly opposite the mural on the opposite side of Grant Avenue are also non-contributing. The non-historic concrete block wall is already adorned with an existing mural that features a hilly landscape, a train, and several buildings. The new mural will be colorful and lively, showing a variety of plants and pollinators to reflect Manassas status as a registered “Bee City USA” affiliate. The painting of the mural is reversible with the application of paint in the future. There is no impact to the structure’s primary elevation or any architectural features. The proposed mural will provide visual interest to visitors entering the historic downtown from Center Street.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the application as submitted.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Mural Details
3. Historic Survey



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

ARB #: 2024-0016

DATE: 4/5/2024

(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 9216 Center Street Manassas, VA 20110
Number Street Name

Tax Map No(s): 101/01 00/ 37111 Zoning District: _____

Date Purchased: _____ Age of Structure: _____

Nature of Proposed Work: Please check all that apply.

- Signage
- Exterior Alteration
- Addition
- New Construction
- Demolition

Description of Proposed Work (use additional pages if necessary):
remove existing mural and repaint new mural

APPLICANT

(All correspondence is addressed to applicant)

Historic Manassas, Inc

Name (Please Print)

9431 West Street

Address

Manassas VA 20110

City State Zip Code

mbolsen@gte.net

E-mail Address

703 928-3993

Phone #

Fax #

[Signature]
Signature

OWNER

(Leave blank if same as applicant)

Day and Walker LLC

Name (Please Print)

Company

213 Sutter Dr.

Address

Myrtle Beach VA 29575

City State Zip Code

Phone #

Fax #

E-mail Address

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.

Proposal for New Wall Mural at 9216 Center Street

February 2024

*Presented by
Patricia Kouttab, Kerbobble Toys
Cassidy Jellison, Kerbobble Toys*

Introduction

The City of Manassas is well-known for being a great supporter of the arts community and we would like to contribute to that reputation by proposing a new wall mural at 9216 Center Street. This building is one of the first facades seen by visitors as they enter the Historic District. We feel a new work of art to replace the existing one, would be a welcome change by residents and visitors alike. A new, meaningful mural would encourage people to come together and appreciate the rich beauty of the City of Manassas. This mural could be an exciting new change for a city that is constantly growing and evolving. We welcome your support and input for our presentation and the following plan for this endeavor.

Contact

Patricia Kouttab, owner of Kerbobble Toys
703-420-2180 store, 703-517-1939 cell
patricia@kerbobbletoys.com

Cassidy Jellison, General Manager of Kerbobble Toys
703-420-2180 store
cassidy@kerbobbletoys.com

Building and Existing Mural

The building at 9216 Center Street is historically significant to the City of Manassas. It is located on the corner of Center Street and Grant Avenue. This is a one story, all brick-face structure built in 1950. It is currently owned by Sherry Day, of Day and Walker LLC. It is occupied by Kerbobble Toys which opened in December of 2019.

The current mural was a collaboration of artists from the local high school many years ago. This existing mural is well-loved by the community but is now worn and faded. A new, vibrant mural full of color would be attractive to the city and would greatly improve the first impression of the Historic District.

Also included in the proposal is the removal of the large hedges. New plants will be added after the mural is complete. This will create a visibly nicer landscape while also allowing more of the wall and new mural to be apparent.



*Existing mural on building facing Grant Street,
hedges proposed to be removed*



Proposed Mural Design

Visitors entering the city will be greeted with an exuberant and lively mural at the very start of the Historic District. The proposed mural will be richly colorful and eye-catching. The City of Manassas is a registered **Bee City USA** (<https://beecityusa.org/>) affiliate and is committed to conserving native pollinators. The mural will encompass this status by featuring a variety of pollinators including bees, butterflies, ladybugs, humming birds and more. It will also showcase plants and flowers native to Virginia. The design will be bright, colorful and a very positive addition to the city's welcoming landscape.

Draft painting of the mural :



Caption

Cost Breakdown

Art supplies for the painting
Golden Heavy Body Acrylic Paints - variety needed
Estimated: \$800 -\$1000
(<https://www.dickblick.com/>)

Base coat primer and background paint:
Estimated: TBD

Final coat clear, UV and weather protectant
Estimated: TBD

Professional Stripping and Removal of existing paint, power washing, fixing concrete in places that need patching
Provided by Ed Spall, Edwards Enterprises in Manassas. Website: <https://www.edentcustompainting.com/>
Estimated: TBD

Cost to Patricia Kouttab for time painting: 0 (contribution)

Cost to Cassidy Jellison for time painting: \$TBD

Contributions

Mark Olsen of Olde Towne Landscaping has offered to contribute to the project by removing the existing bushes and the poles that were formerly part of a gas station.

“Friends of the Manassas Bee Festival” <https://www.ManassasBeeFestival.com> has offered to donate and plant new flowers and plants that will help pollinators to replace the hedges.

About the Artists

Patricia Kouttab

Patricia Kouttab is the owner and operator of Kerbobble Toys, along with her husband Nadim. She has experience as an artist and a graphic designer. Her vibrant paintings most often focus on nature and feature flowers and butterflies. She has self published 3 coloring books (available on Amazon) two of which are nature themed. She continues to create drawings, paintings and products with her art and examples can be found on her website at <https://patriciakouttab.com/>

Cassidy Jellison

Cassidy Jellison is the general manager at Kerbobble Toys. She enjoys painting and creating unique pieces of art. She graduated from Northern Virginia Community College with a major in Welding and also Studied Photography. In addition to her creative spirit, she has experience painting, drawing and making hand-made products.

Timeline

(weather dependent)

Phase 1 - Preparing the Surface

Estimated to begin in Mid-March 2024

This process includes stripping the existing paint, power-washing the wall, patching any existing holes or wall damage
Removal of bushes and poles

Phase 2 - Preparing the Surface

Estimated end of March 2024 (if weather is warm enough)

Painting the wall with a primer and a blue base coat

Phase 3 - Painting of the Mural

Estimated April - May

Includes sketching the design on the wall, painting and creating the mural

Phase 4 - Finishing Top Coat and Plant

Installation

Estimated beginning of June

Includes applying final protective top coat, installing plants and flowers

Resource Identification

Tax Parcel: 101/01 00/ 371/ 1/ 1/ 1/

Other Id#:

GPIN # 7795-58-2817

Property Name(s): Credit Bureau {Historic} Commercial Building, 9216
Center Street {Current}

Property Date: circa 1960
Address(s): 9216 Center Street {Current}
County/Independent City: Manassas
City: Manassas
State, Zip: Virginia, 20108
USGS Quad Name..... MANASSAS
Surrounding Area: City

National Register Eligibility Status

Property is Not Historic (50 years or older)
Property is associated with the Local Manassas Historic District

Resource Description

Ownership Status:..... Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	N/A	N/A	N/A
Chimneys	N/A	N/A	N/A
Foundation	Solid	Concrete	Block
Roof	Flat with parapet	Not Visible	Not Visible
Porch	N/A	N/A	N/A
Structural System	Masonry	Concrete	Block
Windows	Double-Hung	Metal	1/1
Windows	Fixed	Wood	30-light

Site Description:..... Facing south, the building is sited on a paved level lot. On the east portion of the property, there are immature trees and shrubs. A parking lot is on the west and north portions of the property.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Commercial Building	Non-Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
----------	-------------------------	----------------------------

Individual Resource Information

WUZIT:..... Commercial Building

Est. Date of Construction: ... circa 1960
Primary Resource?..... Yes
Architectural Style:..... Colonial Revival
Interior Plan Type: Unknown
Accessed? No
Number of Stories:..... 1
Condition: Good-Excellent
Threats to Resource:..... None Known

Description: Set on a concrete-block foundation, this one-story, two-bay Colonial Revival commercial building is masonry construction. It has a stretcher-bond brick façade and concrete-block sides and rear. It is covered by a flat roof with a parapet that has metal coping. Fenestration includes 1-light double-hung metal sash windows and a 30-light fixed wood window. Additional features include a Colonial Revival-style door surround and wood shutters.

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Commerce/Trade

Time Period(s): The New Dominion (1945 to Present)

Significance Statement: The commercial building at 9216 Center Street, built circa 1960, is typical of the modern interpretation of the Colonial Revival style that was popular during the mid-twentieth Century. Appearing toward the end of the 1960s and continuing to present day, the Modern Colonial Revival style was not originally architect-designed, but rather introduced through property developers and builders. The style seeks variations on established themes and employs only a small degree of historically derived detailing. Because it is less than fifty years old and was constructed outside the period of significance, the commercial building at 9216 Center Street is Ranked Non-Contributing..

Ownership Information

Day and Walker LLC

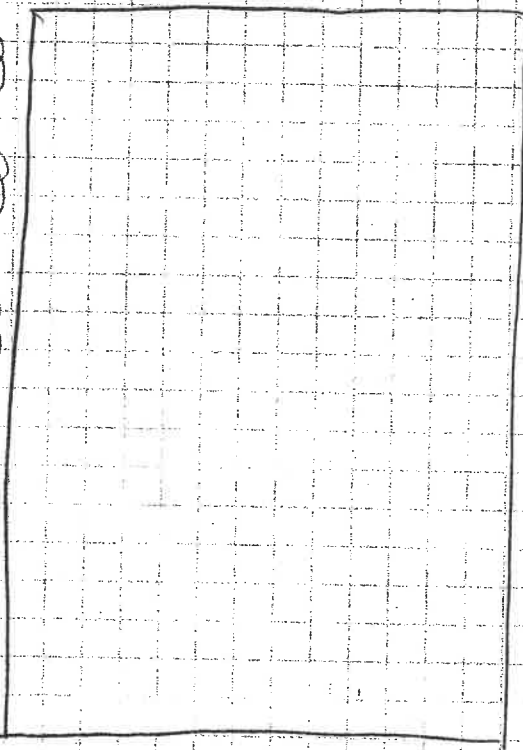
Graphic Media Documentation

<i>Medium</i>	<i>Photo Roll</i>	<i>Negative Number</i>	<i>Photo Date</i>
BW 35mm Photos	EHT 4	26-27	11/11/2005
Digital Photos	EHT 4	26-27	11/11/2005

CRM Event

Reconnaissance Survey EJ: EHT Tracerics, Inc. August 7, 2005

CENTER



PO
RANKIN

GRANT

APPROXIMATE

N ↓

I.D. # (s) 7795-58-2817 Address 9216 Center Street

ARB #2024-0014
8640 Mathis Avenue
April 16, 2024



Summary of Request: Dumpster Enclosure

Applicant(s): Loveless Porter Architects LLC

Site Owner(s): Panram Limited Partnership

Site Address: 8640 Mathis Avenue

Site Location: Northern quadrant of the intersection of Breeden and Mathis avenues

Year Built: 1987

Age of Structure: 37

Type of Structure: Not Surveyed/Non-Contributing

ARB #2024-0014
 8640 Mathis Avenue
 April 16, 2024



Photo taken 04/09/2024

PROPERTY INFORMATION

Historical Significance – N/A

Surrounding Properties -

Address	Designation	Notes
8655 Breeden Avenue	Non-Contributing	
8800 Mathis Avenue	Vacant Land	City Parkland/Liberia Site
8630 Mathis Avenue	Outside of the HOD	
8655 Mathis Avenue	Outside of the HOD	

REQUEST/PROPOSAL

The applicant is proposing to build a dumpster enclosure on the property in a portion of the parking lot fronting Mathis Avenue. The enclosure will be approximately 12.66' x 12.66'. The four corner posts will be 4" High-Speed Steel posts surrounded by masonry with a Dryvit StucCoat acrylic finish (resembles typical stucco), and topped with concrete capping. The enclosure walls and doors will be constructed using 4x4 wood posts clad with staggered 1x6 wood board panels stained to match Sherwin Williams SW 9182.

STAFF ANALYSIS

The guidelines for commercially zoned properties in the Liberia Mansion Historic District are found on page 198 of the design guidelines document. Relevant guidelines include:

ARB #2024-0014
8640 Mathis Avenue
April 16, 2024



- Projects outside of the viewshed should complement the Liberia Mansion historic site, and maintain a high level of design to create a cohesive look in the historic district.

The proposed dumpster enclosure meets the Design Guidelines. Due to the way that the site was developed with the hotel building located in the northeast corner of the parcel, the enclosure is not able to be placed to the side or rear of the structure. Consequently, it can only be placed in front of the building along Mathis Avenue. Since this location does not meet Zoning Requirements, the property owner applied for and received a waiver so that the dumpster and enclosure can be placed in this non-conforming location.



Present location of the dumpster where the enclosure will be placed.

The dumpster enclosure is not visible from the Liberia Mansion or the surrounding City Park since it will be located in a portion of the parking lot on the west side of the hotel building fronting Mathis Avenue. The proposed stucco masonry finish of the four corner posts, along with the staining color of the wood enclosure walls and gate, are similar to and complement the existing hotel building.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the dumpster enclosure as submitted.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Enclosure Plans



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

ARB #: _____

DATE: _____
(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 8640 Mathis Ave. Manassas, VA 20110

Tax Map No(s): 111 - 15 - part of C 2 Zoning District: B-4

Date Purchased: 6/2/1986 Age of Structure: 36 years

Nature of Proposed Work: Please check all that apply.

- Signage Exterior Alteration Addition
 New Construction Demolition

Description of Proposed Work (use additional pages if necessary):
Relocated the dumpster from back of the property to the front of the property at the request of City of Manassas. The City requesting to provide the dumpster enclosure.

APPLICANT

(All correspondence is addressed to applicant)

Sean M. Porter RA LEED AP

Name (Please Print)

9000 Center Street

Address

Manassas VA 20110

City

State Zip Code

sporter@lpallc.net & dhawkins@lpallc.net

E-mail Address

703-368-1600

Phone #

Fax #

Signature

OWNER

(Leave blank if same as applicant)

Pan Ram; LP

Name (Please Print)

Best Western Hotel

Company

8640 Mathis Ave

Address

Manassas VA 20110

City

State Zip Code

703-932-8588 703-368-1529

Phone #

Fax #

spatel@yourdhotels.com

E-mail Address

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.



CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

CASE # _____
(Completed by City Staff)

SPECIAL/LIMITED POWER OF ATTORNEY

THIS 22 day of March, 2024, I, Pan Ram, the owner of Tax Map Number 111 - 15 - Part of C 2, make, constitute and appoint Sean M. Porter, RA, my true and lawful attorney-in-fact, and in my name, place and stead giving unto said Sean M. Porter, RA full power and authority to do and perform all acts and make all representation necessary, without any limitation whatsoever, to make application for (circle one) (Special Use Permit), (Rezoning), (Architectural Review Board), (Board of Zoning Appeals) in connection with the above described real property.

The right, powers and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on April 16, 2024, and shall remain in full force and effect thereafter until actual notice, by certified mail, return receipt requested is received by the Office of Community Development of the City of Manassas stating that the terms of this power have been revoked or modified.

SHANKER K. PATEL

Owner's Name (Please Print)

[Handwritten Signature]

Owner's Signature

STATE OF Virginia

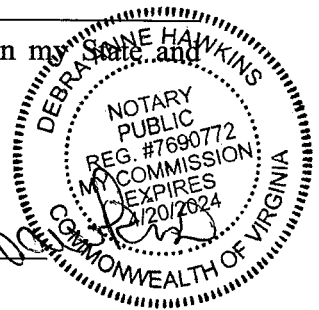
COUNTY OF City of Manassas, Prince W

I, Debra Anne Hawkins, a Notary Public in and for the State and County aforesaid, do hereby certify that Shanker K. Patel whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same.

Given under my hand this 25 day of March, 2024.

[Handwritten Signature]

Notary Public



My Commission expires: 4/20/2024

ID: VA Drivers Lic
T62740528



CITY OF MANASSAS
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLANNING & DEVELOPMENT
9800 Godwin Drive
Manassas, Virginia 20110
Phone: 703-257-8223 Fax: 703-257-5831

FOR STAFF USE ONLY

ARB #: _____

DATE: _____

ARCHITECTURAL REVIEW BOARD
APPLICATION CHECKLIST

The applicable items listed below comprise the minimum supporting materials for ARB applications. Staff or the ARB may request additional information during application review. A complete application includes the following:

All Applications:

- Application fee (see Fee Schedule for amount)
- Payment of delinquent taxes and fees on the property
- Completed application
- Special/Limited Power of Attorney Form (when applicant acts on behalf of property owner)
- One electronic copy of the application should be sent to ARB@manassasva.gov

Signage

- Dimensioned drawings of proposed signage identifying materials, colors, means of attachment and illumination (if applicable)
- Drawing identifying location of sign
- Dimensions of existing signs to remain (if applicable)
- Dimensions of building wall on which sign is to be installed (if applicable)
- Material samples

Exterior Alteration (i.e. door/window/siding/roof replacement, shed, fence, painting, etc.)

- Clear and labeled photographs of the site depicting the area impacted by the alterations
- Exterior elevation drawings (if applicable)
- Site plan or scaled location survey showing location and dimensions of alterations such as sheds or fences (if applicable)
- Manufacturer's specifications for materials
- Material samples
- Color samples (not required for residential properties)

Additions and New Construction

- Site plan or scaled location survey showing location and dimensions of proposed structure or addition
- Exterior elevation drawings
- Manufacturer's specifications for materials
- Material samples
- Color samples

Demolition

- Description of reason for demolition

City of Manassas
FEE SCHEDULE FOR LAND USE APPLICATIONS
Effective: July 1, 2022

REZONING*

<u>Type</u>	<u>Zone</u>	<u>Fee</u>
AGRICULTURAL & RESIDENTIAL	A-1, R-1 THROUGH R-5	\$1,000 + \$100 PER ACRE
COMMERCIAL & INDUSTRIAL	B-1, B-2, B-4, I-1, I-2, AND I-A	\$2,000 + \$100 PER ACRE
PLANNED & CITY CENTER DISTRICTS	R-6, R-7, B-3, B-3.5, PMD	\$3,000 + \$100 PER ACRE

PROFFER AMENDMENT*: 50% of initial application fee

SPECIAL USE PERMIT*

<u>Use</u>	<u>Fee</u>
ANY PROPOSED SPECIAL USE IN THE A-1 AND R-1 THROUGH R-5 ZONES EXCEPT AS LISTED BELOW:	\$1,000
ANY PROPOSED SPECIAL USE IN THE B-1, B-2, B-4, I-1, I-2, AND I-A ZONES EXCEPT AS LISTED BELOW:	\$2,000
ANY PROPOSED SPECIAL USE IN THE R-6, R-7, B-3, B-3.5, AND PMD ZONES EXCEPT AS LISTED BELOW:	\$3,000
HOME BUSINESS	\$200

SPECIAL USE PERMIT CONDITION AMENDMENT*: 50% of initial application fee

ARCHITECTURAL REVIEW BOARD REVIEW**

<u>Type</u>	<u>Fee</u>
NON-RESIDENTIAL AND MIXED-USE (R-6, R-7, B, I, AND P DISTRICTS) NEW BUILDINGS, ADDITIONS, DEMOLITIONS, AND APPEALS	\$1,000
RESIDENTIAL (A-1 and R-1 through R-5) NEW BUILDINGS, ADDITIONS, DEMOLITIONS, AND APPEALS	\$500
NON-RESIDENTIAL AND MIXED-USE ALTERATIONS AND ACCESSORY STRUCTURES	\$250
RESIDENTIAL ALTERATIONS & ACCESSORY STRUCTURES	\$100
SIGNS AND PAINTING	\$50

* Applicant will be billed for the cost of the newspaper advertising for the Planning Commission and City Council public hearings.

**** Applicant will be billed for the cost of the newspaper advertising for the public hearing(s).**

OTHER ZONING FEES

<i>Type</i>	<i>Fee</i>
BZA APPEAL AND VARIANCE**	\$500
PUBLIC DANCEHALL PERMIT**	\$50
PUBLIC DANCEHALL LICENSE	\$500
HOME OCCUPATION	\$25
PLANNING COMMISSION COMPREHENSIVE PLAN CONSISTENCY REVIEW**	\$1000
TEMPORARY SIGN PERMIT	\$50
TEMPORARY SALES OR FOOD TRUCK PERMIT	\$50
TEMPORARY OUTDOOR EVENT PERMIT	\$50
ZONING ADMINISTRATOR INTERPRETATION OR VERIFICATION	\$150
ZONING CERTIFICATION	\$50

*** Applicant will be billed for the cost of the newspaper advertising for the Planning Commission and City Council public hearings.**

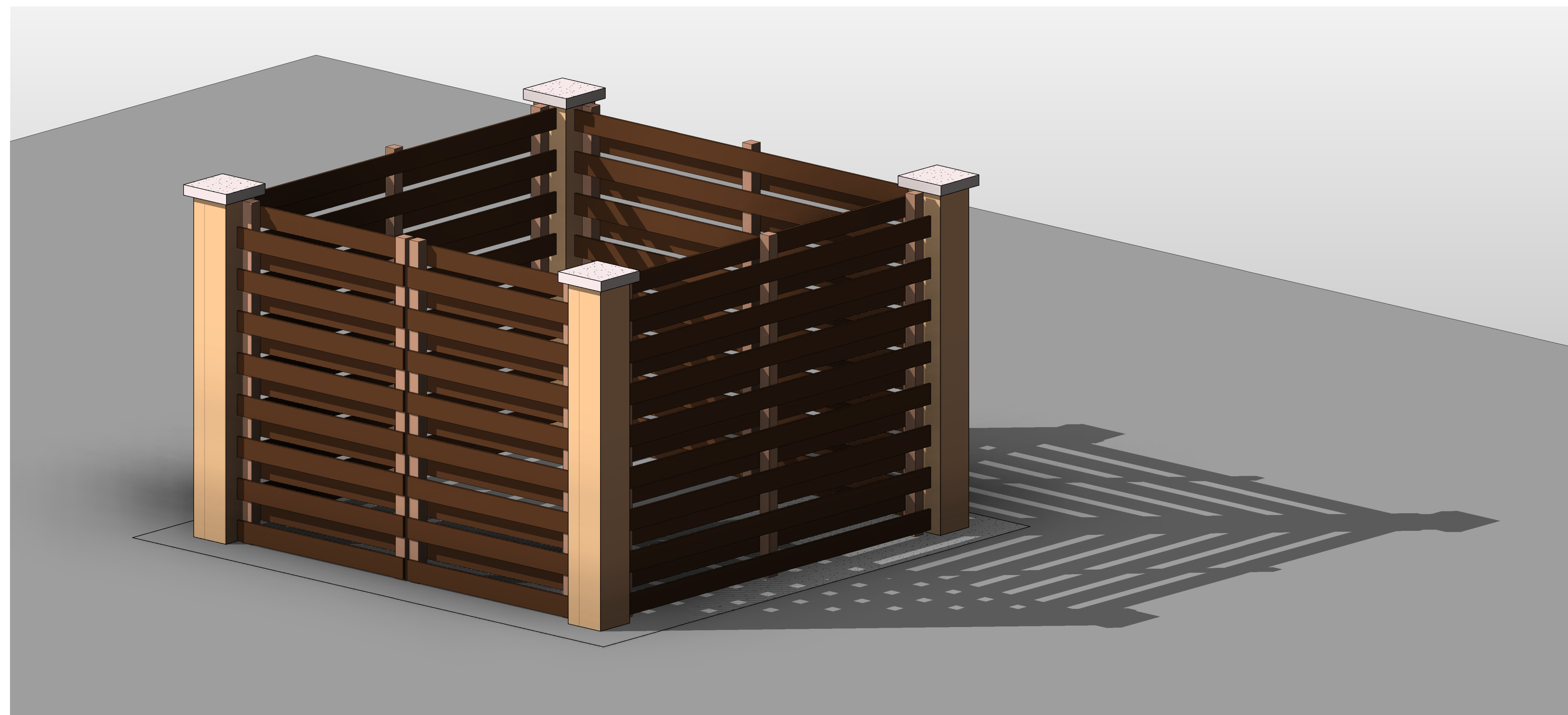
**** Applicant will be billed for the cost of the newspaper advertising for the public hearing(s).**



LOVELESS PORTER

ARCHITECTS, LLC

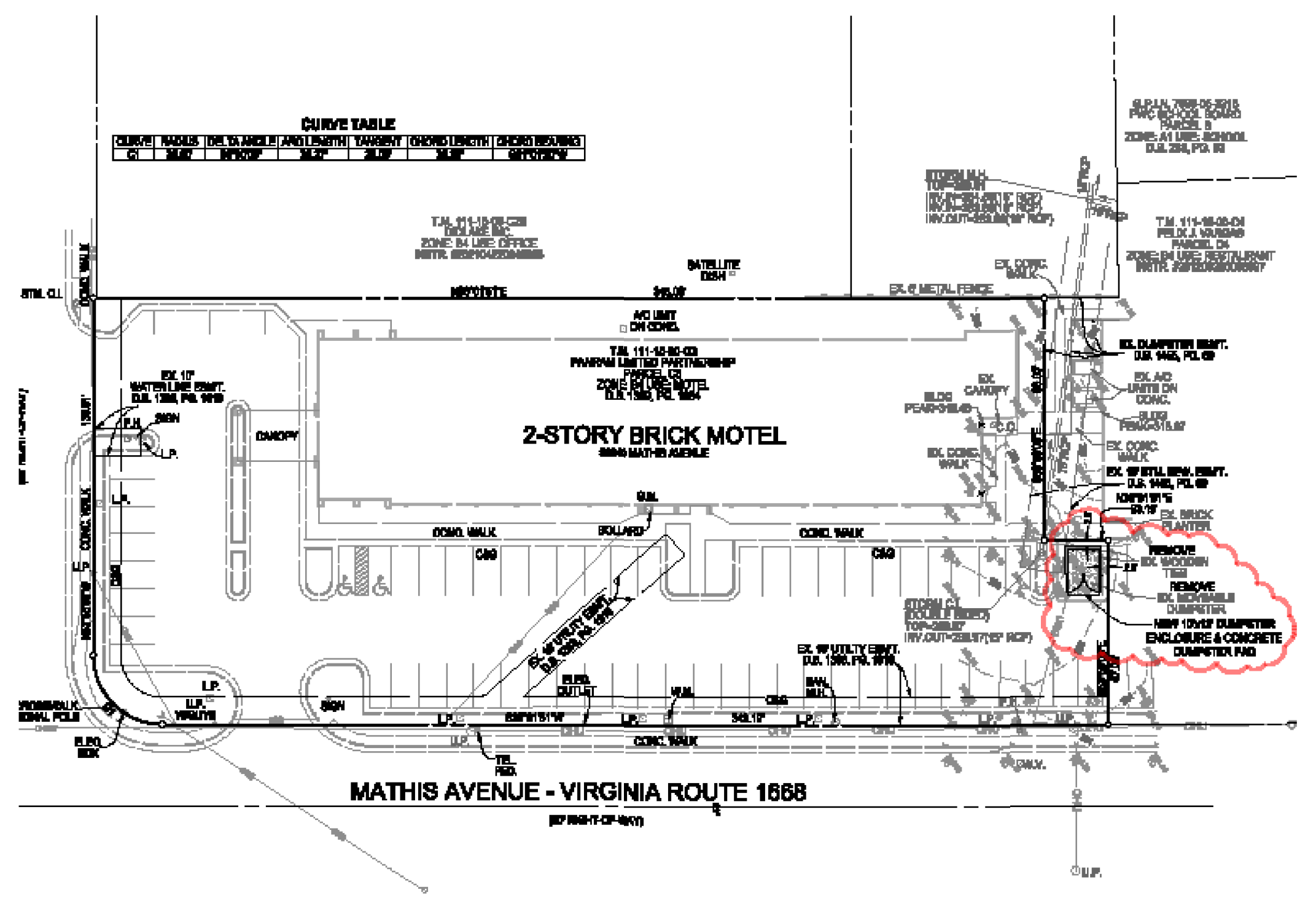
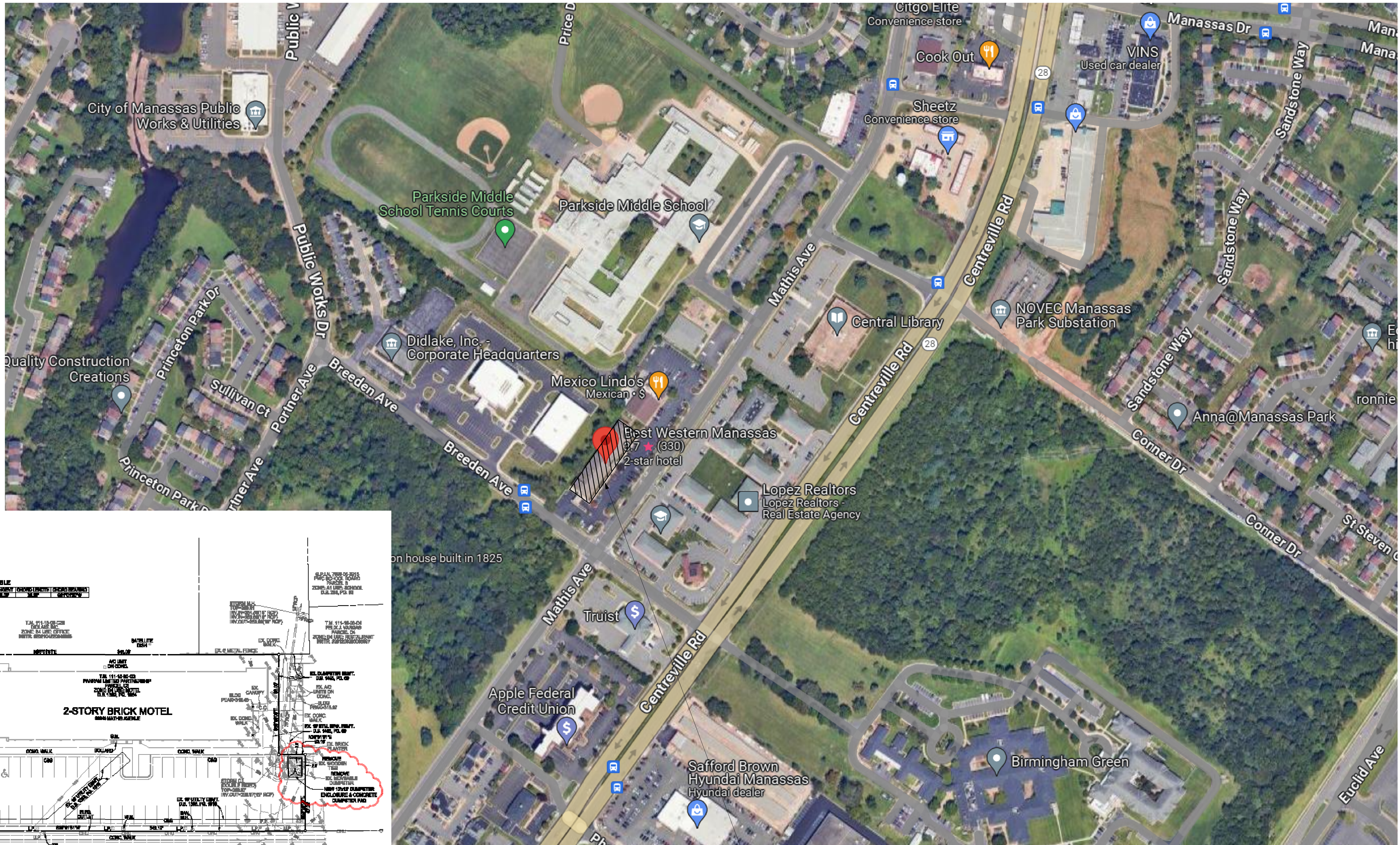
9000 CENTER STREET, MANASSAS VIRGINIA 20110
703.368.1600
WWW.LPALLC.NET



SHEET INDEX

ARB-0.1	COVER SHEET
ARB-0.2	SITE
ARB-0.3	EXISTING CONDITIONS
ARB-1.0	PROPOSED FLOOR PLAN
ARB-2.1	PROPOSED FRONT/REAR ELEVATION PLAN
ARB-2.2	PROPOSED LEFT/RIGHT ELEVATION PLAN
ARB-3.1	PROPOSED PERSPECTIVES
ARB-3.2	PROPOSED AXON
ARB-4.1	CUT SHEET





LOCATION OF SITE

BEST WESTERN DUMPSTER ENCLOSURE

ARB - 0.2





APPROX. DUMPSTER LOCATION



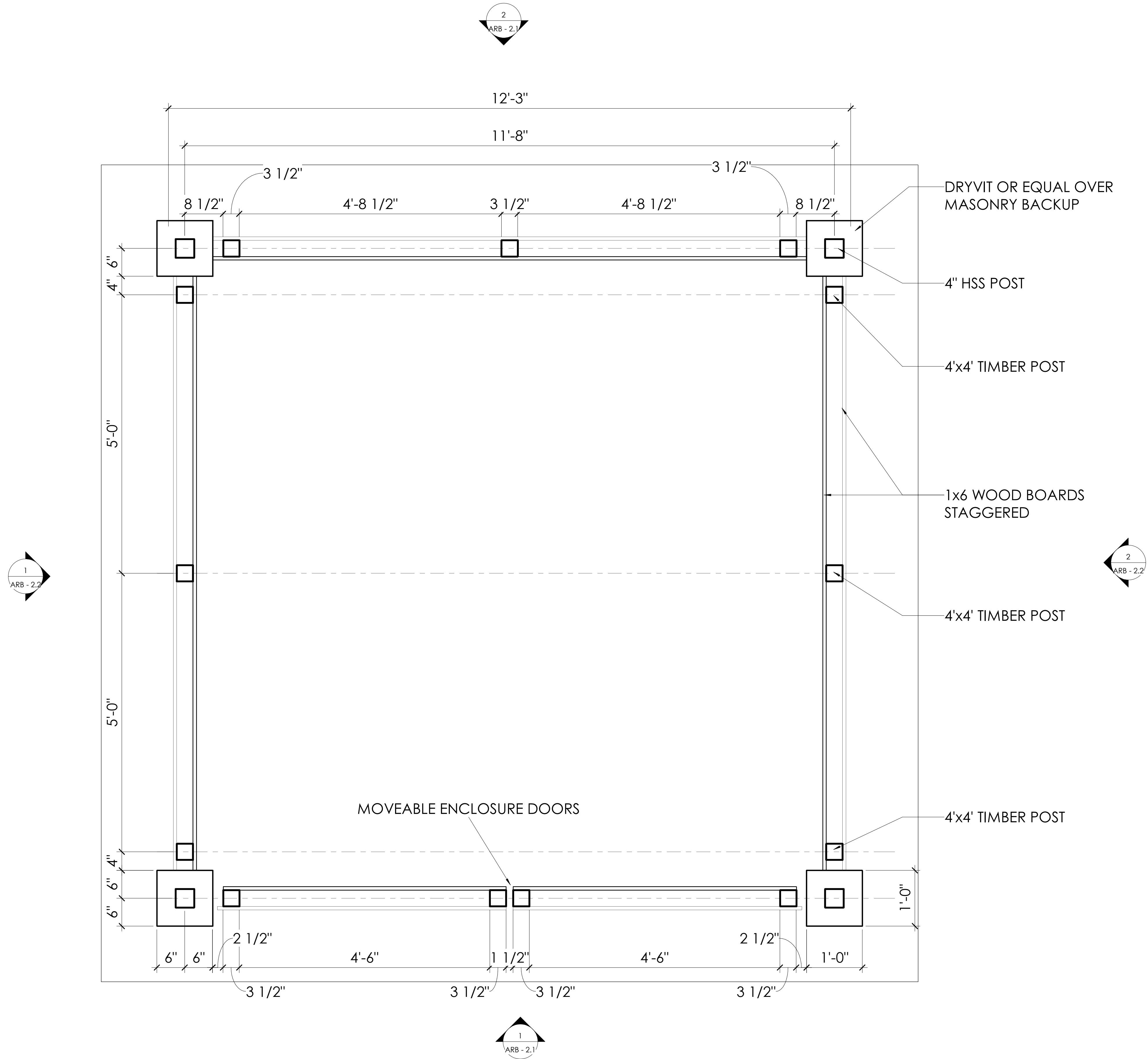
BEST WESTERN DUMPSTER ENCLOSURE

Existing Conditions

ARB - 0.3

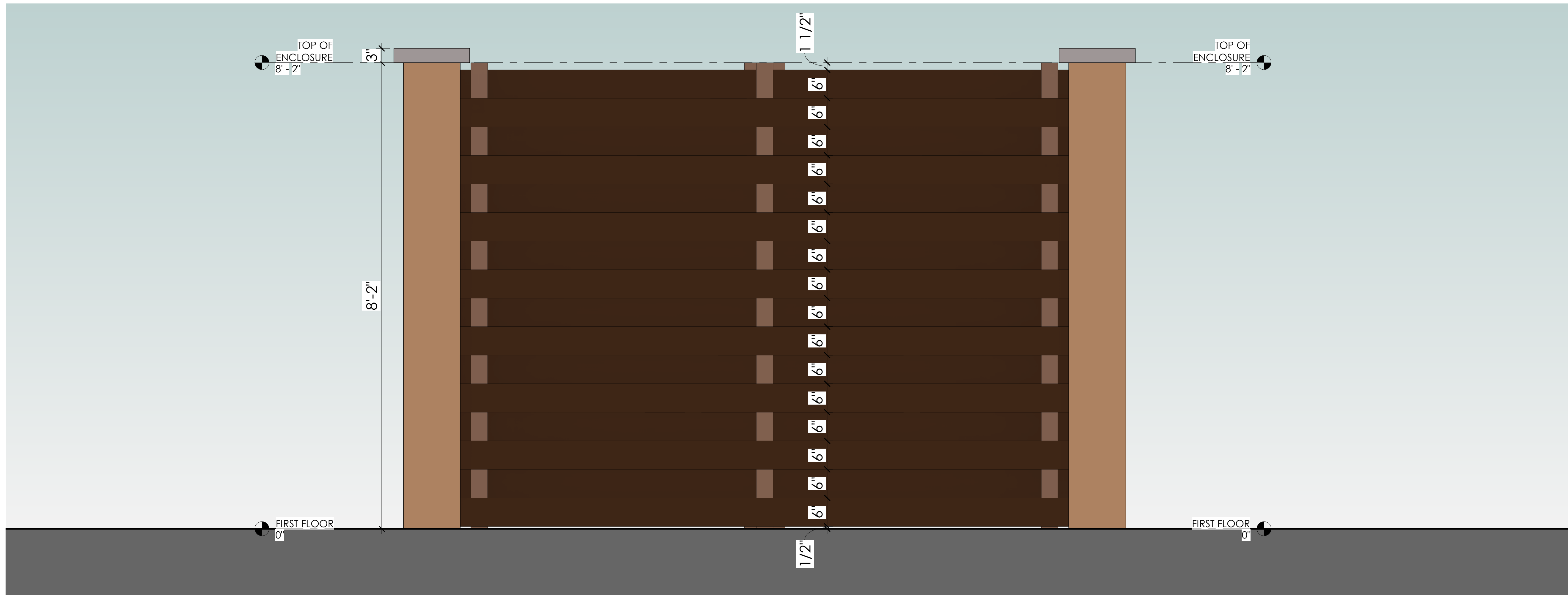
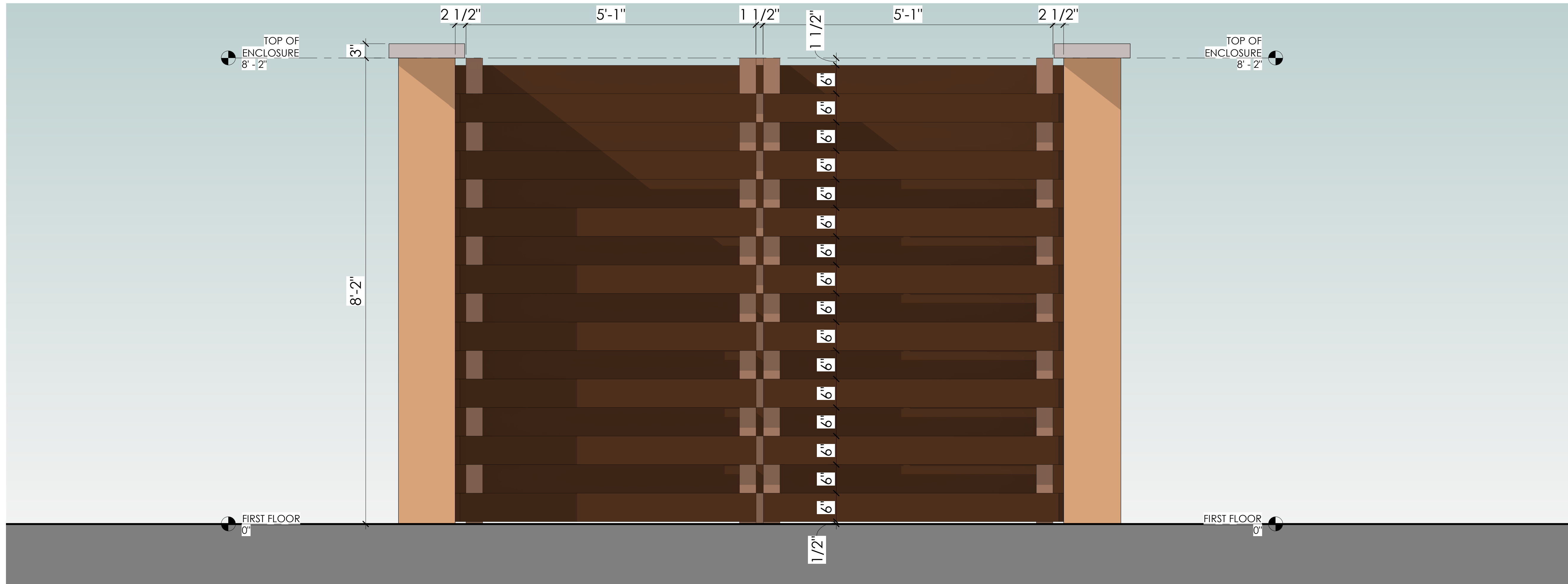
03/22/2024





BEST WESTERN DUMPSTER ENCLOSURE





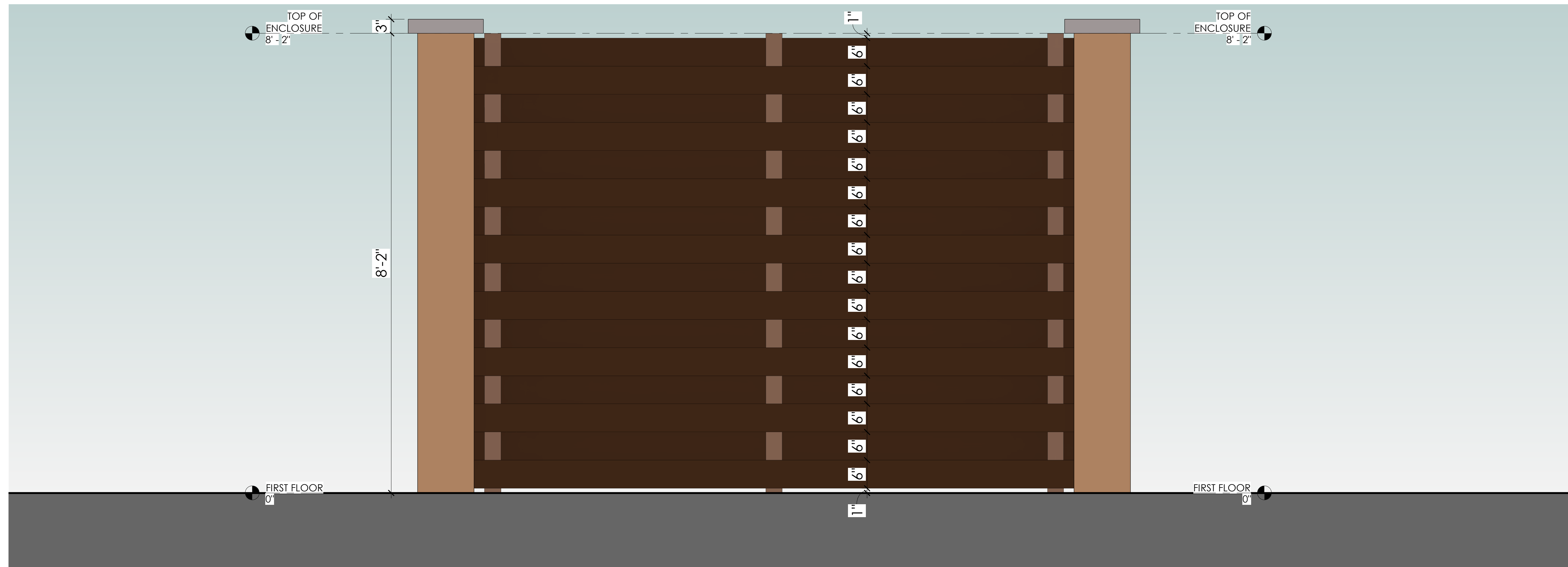
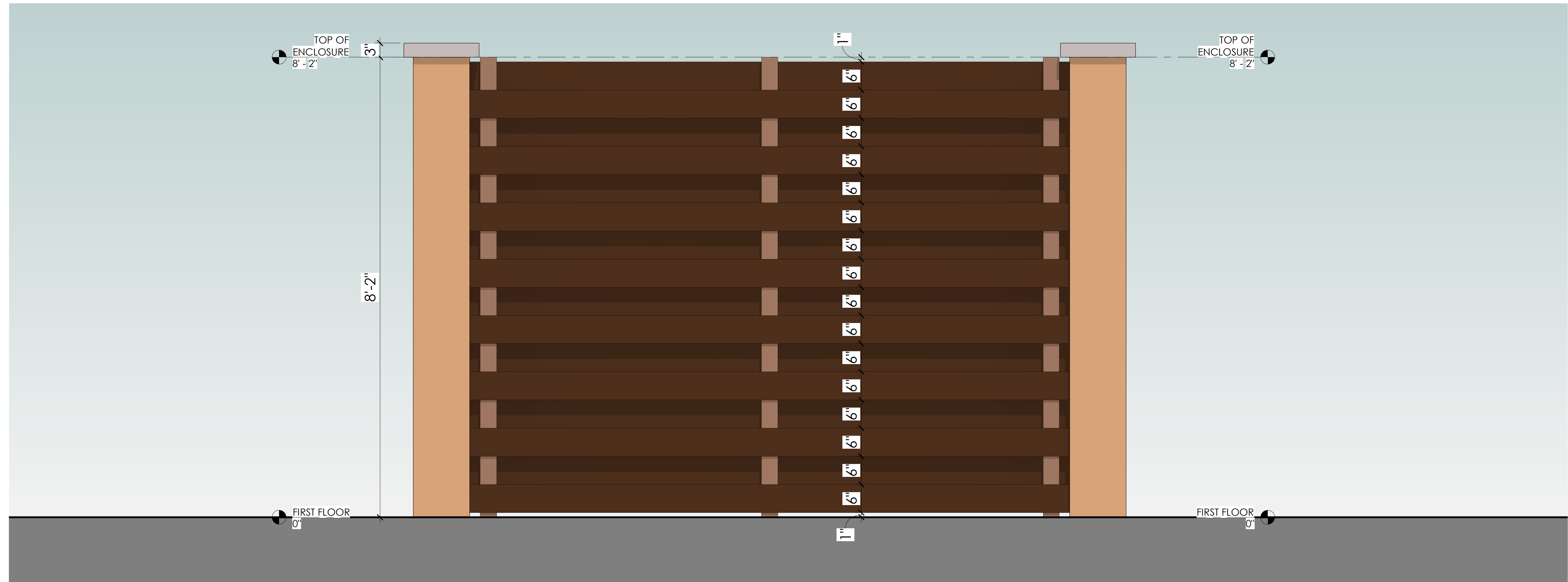
BEST WESTERN DUMPSTER ENCLOSURE

Elevation

ARB - 2.1

03/22/2024





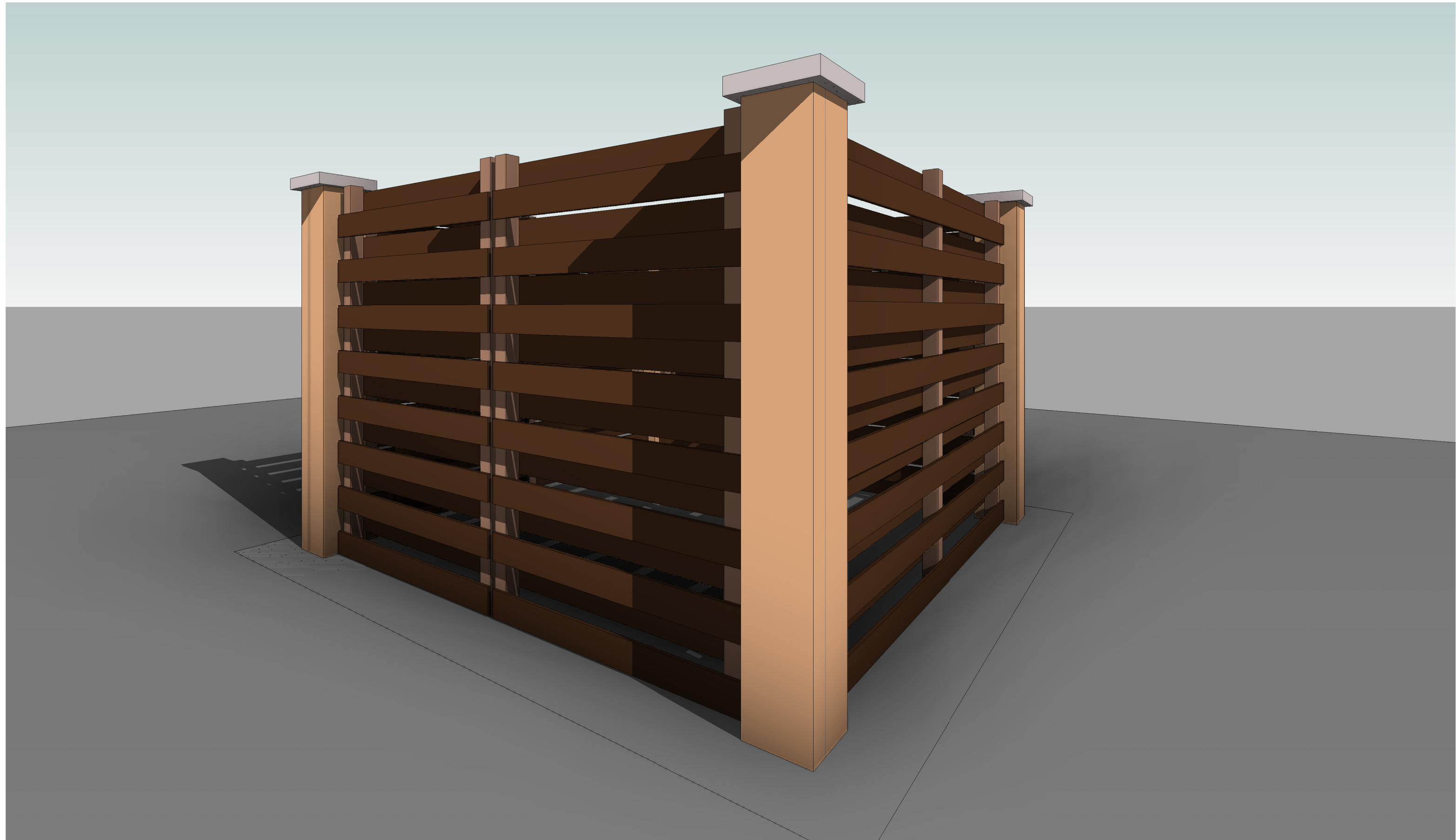
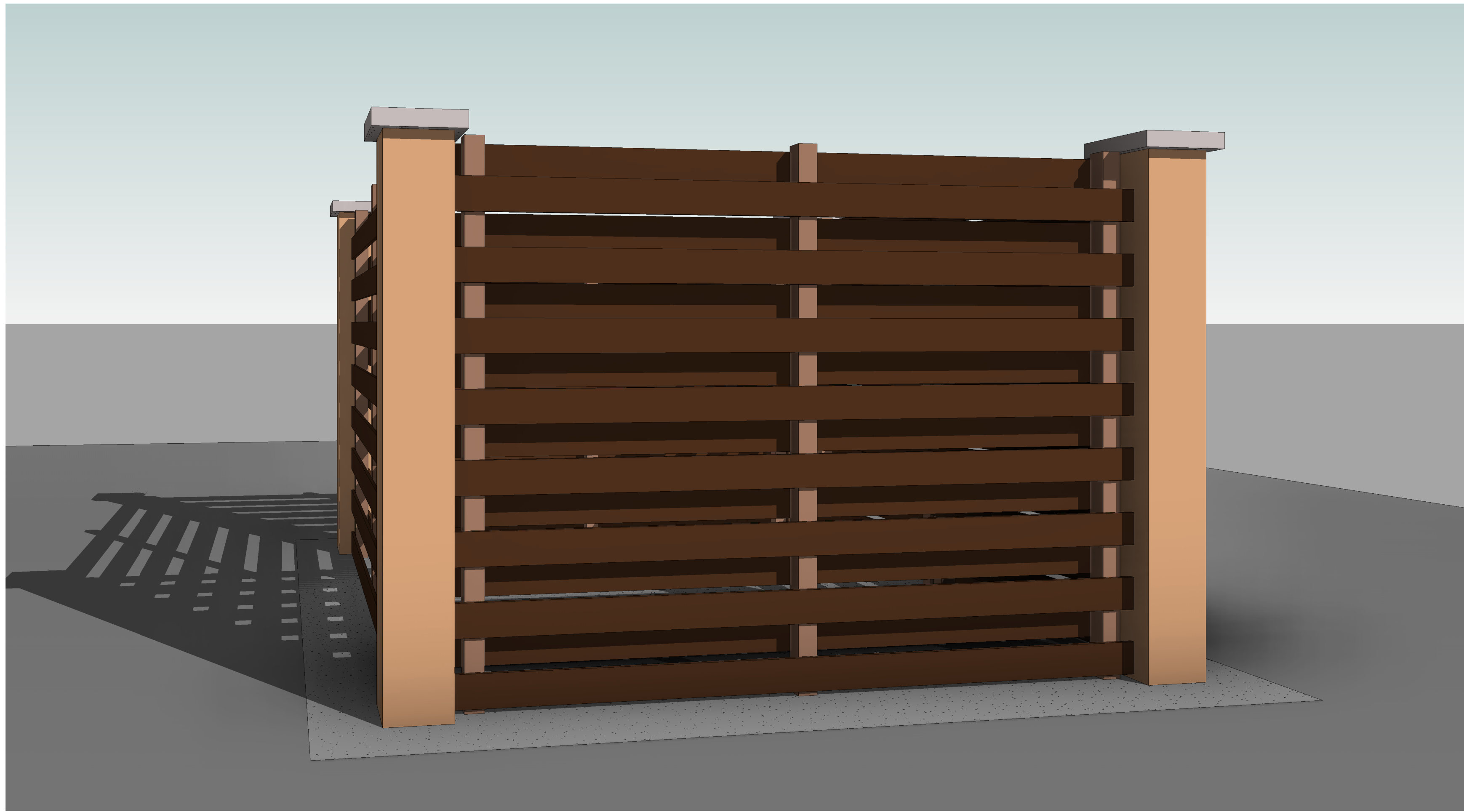
BEST WESTERN DUMPSTER ENCLOSURE

Elevation

ARB - 2.2

03/22/2024





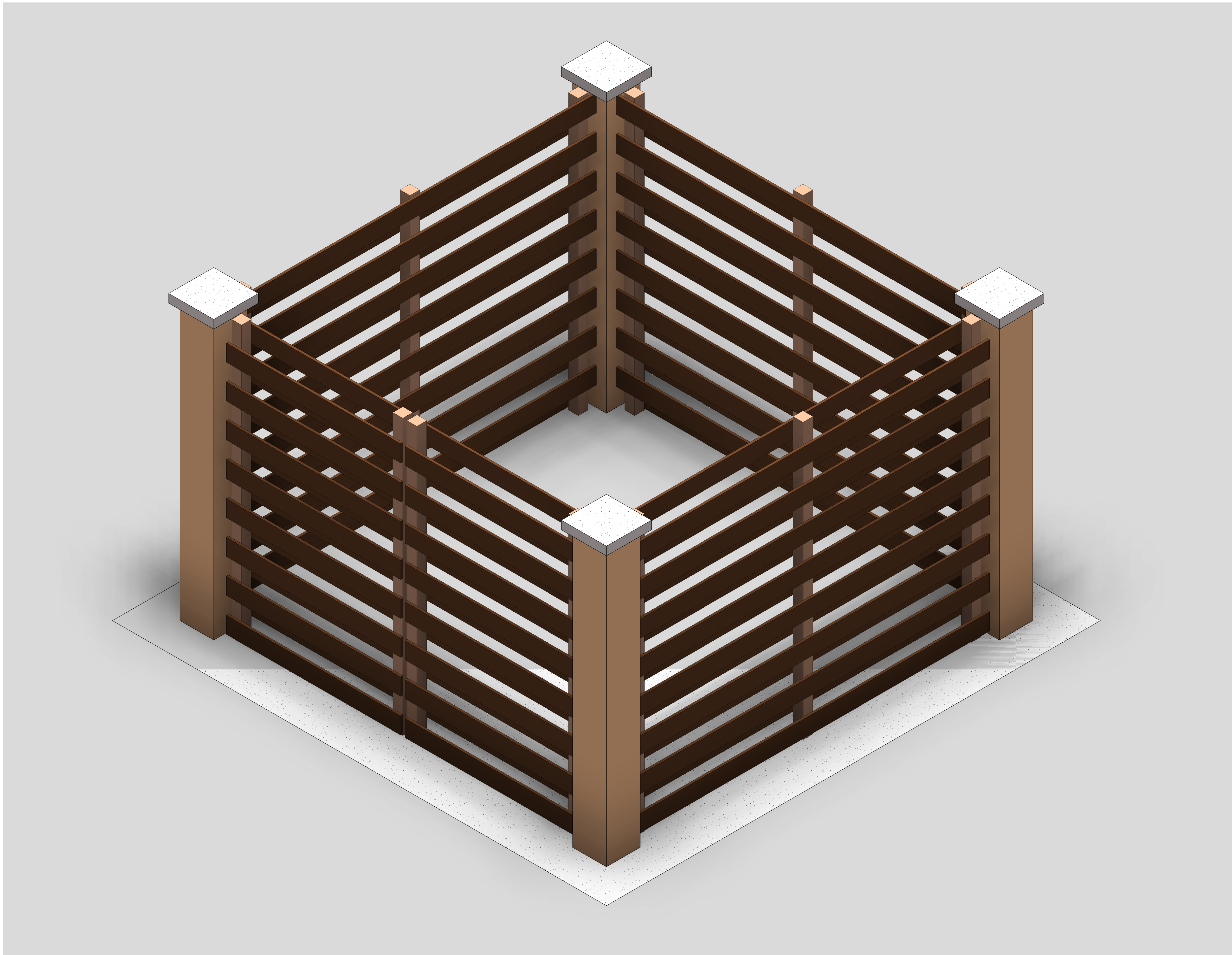
BEST WESTERN DUMPSTER ENCLOSURE

Perspective Render

ARB - 3.1

03/22/2024





BEST WESTERN DUMPSTER ENCLOSURE

Axon Render

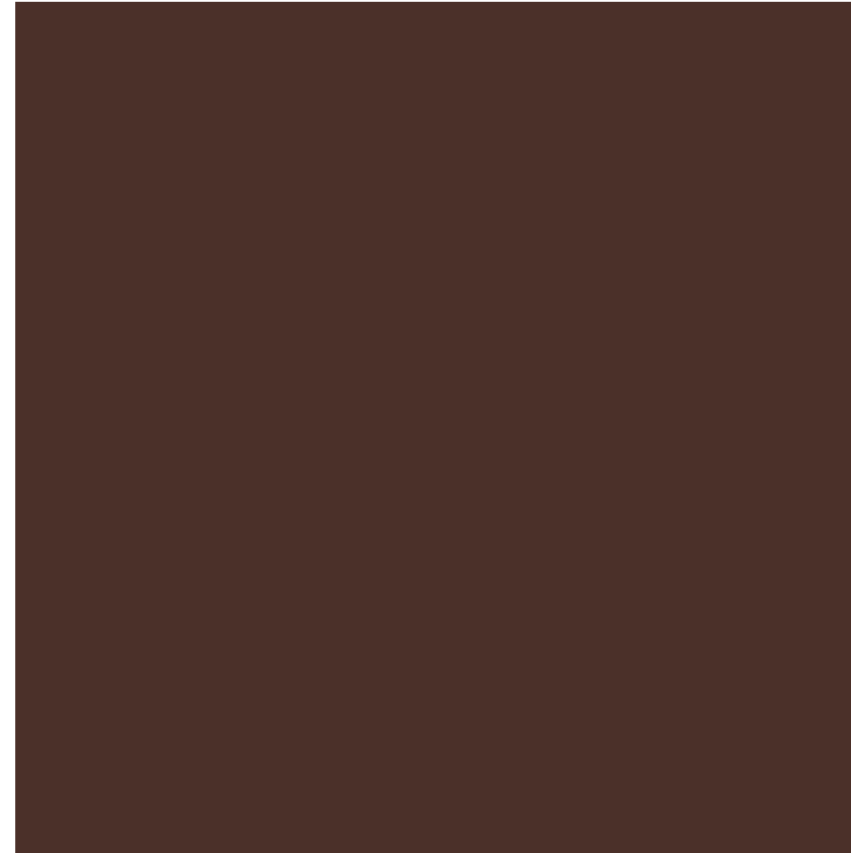
ARB - 3.2

03/22/2024




WOOD POSTS TO BE UNSTAINED PRESSURE TREATED

WOOD 1x6 SIDE PANELS TO BE STAINED TO MATCH SW 9182




STUCCOAT ACRYLIC FINISH TO BE APPLIED OVER PLASTER SUBSTRATE AS A FINISH MATERIAL



STUCCOAT® ACRYLIC FINISH A
durable, integrally colored, DPR textured wall finish for application over stucco, concrete and masonry DS444

TECHNICAL DATA SHEET

PRODUCT DESCRIPTION
Stuccoat is a high quality, integrally colored, acrylic copolymer finish offered in four textures. All textures include DPR (dirt pickup resistant) chemistry, which will keep the wall looking cleaner longer.



BASIC USES
Stuccoat is specifically designed to provide texture and color over Portland cement based plaster, cast-on-site, pre-cast concrete and concrete masonry units. It is not for use in EIFS.

FEATURES & BENEFITS

FEATURE

- Multiple textures
- Acrylic copolymer
- Integrally colored
- Vapor permeable

BENEFIT

- Offers design freedom
- Flexible and cleans up with water
- No mixing of color or painting
- Will not trap moisture vapor

PROPERTIES
Drying Time: Drying of the finish is dependent on the air temperature, relative humidity and coating thickness. Under average drying conditions (70°F (21 °C), 55% R.H.), protect work from rain for at least 24 hours.
Water Vapor Transmission (ASTM E96): The Stuccoat finishes are permeable to water vapor.

Accelerated Weathering (ASTM G 26 Xenon Arc):

- Weatherometer, Test Method 1, BH apparatus for 2000 hrs exposure.
- After the exposure, panels received a 10 (no effect) rating for:

PROPERTY	ASTM METHOD
Erosion	ASTM D 622-93
Cracking	ASTM D 661-93
Blistering	ASTM D 714
Rutting	ASTM D 630
Chalking	ASTM D 4214; Method B

Salt Spray Testing:
ASTM B 117 for 1000 hours exposure.
After salt spray exposure, all panels received a 10 (no effects) rating for:

PROPERTY	ASTM METHOD
Erosion	ASTM D 622-93
Cracking	ASTM D 661-93
Blistering	ASTM D 714
Rutting	ASTM D 630
Chalking	ASTM D 4214; Method B

Flexibility by Mandrel Bend (ASTM D 522 Method B, cylindrical):
Results listed below:

COATING THICKNESS	23 °C	0 °C
1.4 mm	2 in	3 in
1.9 mm	3 in	3 in

PROPERTIES

Taber Abrasion Resistance (ASTM C 4060 Modified):

- Use H-22 wheels and 500g weights.
- Cycles to failure values ranged from 3900-9500

Job Conditions: Air and surface temperature for application of finishes must be 40 °F (4 °C) or higher and must remain so for a minimum of 24 hours.

Temporary Protection: Shall be provided at all times until the primer, finish and permanent flashings, sealants, etc. are completed to protect the wall from weather and other damage.

SURFACE PREPARATION

Surfaces must not be below 40 °F (4 °C) or painted and must be clean, dry, structurally sound and free of efflorescence, grease, oil, form release agents and curing compounds.

- Stucco: Finishes may be applied directly to the cured brown coat. If additives are present in the stucco, a test patch shall be made and bond strength checked prior to application. Color Prime-W™ may be applied to reduce wall suction.
- Concrete: Shall have cured a minimum of 28 days prior to application of the finishes. If form release agents or curing compounds are present on the concrete surface, the surface shall be thoroughly washed with muriatic acid and flushed to remove residual acid. All projections shall be removed and small voids filled with Primus®, Primus DM™, Genesis® or Genesis DM™ base coat. Dryvit Color Prime-W™ shall be applied to the prepared concrete surface using a roller or brush.
- Masonry: The masonry surface, with joints struck flush, shall be "skim coated" with Primus, Primus DM, Genesis or Genesis DM to produce a smooth, level surface.

MIXING

Thoroughly mix Stuccoat finish with a Goldblatt Jiffier Mixer until a uniform workable consistency is attained.

APPLICATION

Using a stainless-steel trowel, apply and level a coat of Standard or Fine to a uniform thickness. (Standard – no thicker than the largest aggregate; Fine – applied in a thickness of 3/64 in (1.2 mm) – approximately 1-1/2 times the largest aggregate.) The textures are achieved by uniform hand motion and/or type of tool used. Maintain wet edge for uniformity of color and texture. For Bold or Lace, roughly apply an even coat of finish to a thickness slightly thicker than the largest aggregate size. Then, pull across the rough application coat using a horizontal trowel motion and develop a uniform thickness no greater than the largest aggregate of the material. Using a stainless-steel trowel, install a coat of the Lace slightly thicker than 1/16 in (1.6 mm). The texture is either pulled out of this base, or the texture may be achieved by adding more Lace finish to the base coat using the same texture motions that are used with other plaster materials, such as a skip trowel finish. The thickness of any Lace finish texture shall not exceed 1/4 in (6.4 mm).

COVERAGE

All coverages are approximate and depend-upon substrate, details and individual application technique. The finishes are shipped in five-gallon pails.
Standard: 2 sq ft per pound.
Fine: 2 sq ft per pound.
Bold: 1.8 sq ft per pound.
Lace: Varies with texture.

TEXTURE

Standard: Can be troweled and floated to a rilled texture defined by the rolling of the larger aggregate.
Fine: Can be troweled or sprayed followed by floating to obtain uniform sand-type texture.
Bold: Can be troweled or sprayed followed by floating to obtain a larger, uniform aggregate texture without rills.
Lace: Is developed by trowel application of a uniform, smooth application over the substrate, followed by random-area trowel applications of material with or without trowel knockdown/stipple effects. This texture is not floated and produces effects similar to traditional stucco textures.

STORAGE

Finishes must be stored at a minimum of 40 °F (4 °C) and a maximum of 100 °F (38 °C) in tightly sealed containers protected from weather and out of direct sunlight.

The shelf life is 2 years from date of manufacture when properly stored in unopened pails.

MAINTENANCE

All Dryvit products are designed to require minimal maintenance. However, as with all building products, some cleaning may be required. See Dryvit publication DS152 on cleaning and recoating.

CAUTIONS & LIMITATIONS

- Avoid applying Stuccoat Finish in direct sunlight. Always work on the shady side of the wall or protect the area with appropriate shading material.
- Finishes must not be used on exposed exterior horizontal surfaces. Minimum slope is 6 in12 which is 27°. Maximum length of slope is 12 in (305 mm).
- Stuccoat finishes are not intended for direct-applied, vertical applications over exterior type gypsum based sheathing board, foam plastic insulation or other type insulation board.
- Stuccoat finishes shall not be returned into any sealant joint. Instead, a coat of Dryvit Color Prime or Dryvit Demandit® Smooth should be applied over the base coat in the joint.
- Not suitable for application in an EIF system.

CLEAN UP

Clean tools with water while the finishes are still wet.


TECHNICAL AND FIELD SERVICES

Available on request.


Information contained in this product sheet conforms to the standard detail recommendations and specifications for the installation of Dryvit products as of the date of publication of this document and is presented in good faith. Dryvit assumes no liability, expressed or implied, as to the architecture, engineering or workmanship of any project. To ensure that you are using the latest, most complete information, contact Dryvit.

For more information on Dryvit or Continuous Insulation, [click here](#).

Printed in USA, Issued 1.1.2022
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Construction Products Group

3725 Green Rd. | Beachwood, OH 44122
800.321.7968 | tremco-cpg.com

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CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD STAFF REPORT

ARB #2024-0002
9108 Center Street & 9403 Battle Street
April 16, 2024



Summary of Request: Alterations to Outdoor Bar and Screening Wall/Enclosure

Applicant(s): Hazem Rahim; Alice Pires

Site Owner(s): Cockes Building Inc.; Battle and Church LLC

Site Address: 9108 Center Street; 9403 Battle Street

Site Location: East side of Battle Street between Center and Church Streets.

Year Built: ca. 1890

Age of Structure: approx. 132

Type of Structure: Landmark; Contributing

ARB #2024-0002
 9108 Center Street & 9403 Battle Street
 April 16, 2024



Picture taken 08/01/2023

PROPERTY INFORMATION

Historical Significance – The commercial building at 9108 Center Street, constructed ca. 1890, is a representative of late-nineteenth century commercial architecture. This building is one of the few commercial buildings in the historic district that predate the 1905 fire that decimated most of the City’s commercial core. The westernmost store was renovated in the 1920s or 1930s to reflect the Mission style. The store fronts at the first-story have been significantly altered. The property is a Landmark Structure and Contributing property to the Historic District. Significant alterations, however, including changes to the façade, addition of an entrance on Battle Street, awnings, etc., have diminished its integrity.

On the adjacent property north of 9108 Center Street is the W.C. Wagener House at 9403 Battle Street. Constructed ca. 1890, the house is a two-and-a-half-story, three-bay, Queen Anne style dwelling of wood frame construction clad in weatherboard siding. It served as the residence of W. C. Wagener, a furniture and hardware store owner who established his business in Manassas in 1899. He also owned a tavern and was the Mayor of Manassas from 1901 to 1905. The property is a Landmark Structure and Contributing property to the Historic District.

Surrounding Properties -

Address	Designation	Notes
9350 Main Street	Contributing	Grace Methodist Church (BRUU)
9100 Center Street	Landmark; Contributing	Conner Building
9110 Center Street	Landmark; Contributing	Old People’s National Bank
9408 Battle Street	Contributing	



ARB #2024-0002
9108 Center Street & 9403 Battle Street
April 16, 2024

9406 Battle Street	Landmark; Contributing	Hazen Building
9404 Battle Street	Non-Contributing	
9402 Battle Street	Non-Contributing	
9113 Church Street	Non-Contributing	

REQUEST/PROPOSAL

The subject site was previously before the Board in the Spring of 2022 under ARB-2022-0031 for the construction of an outdoor bar on an existing patio abutting the dumpster enclosure wall on the south side of the 9403 Battle Street property. This prior approval noted that the bar was to be 4 feet wide and 38 feet long with a concrete countertop embedded with blue glass flakes. The supports of the bar are black metal with unfinished corrugated metal sheet siding. There were two proposed location options for the bar, both of which were approved. The bar was constructed in one of those locations.

After ARB approval a building permit for the bar was issued on August 23, 2022. As the bar was constructed, however, additional work was done that was not approved by the ARB. These unapproved alterations to the bar design included a steel I-beam frame of posts and girders built into the bar structure to support a proposed corrugated metal roof, as well as metal shelving at the back of the bar which was capped by terracotta roofing tiles.

In addition to the alterations to the bar, the applicant is seeking retroactive approval for alterations to the dumpster enclosure wall and concrete ramp area that was included in a 2013 Site Plan and approved by the ARB in 2016 per case 16-40000021. The masonry wall was built to screen a concrete access ramp and dumpster storage area which were approved as part of this prior case, along with a light fixture and fence replacement. After constructing the concrete ramp and dumpster enclosure/screening wall, the applicant altered the wall without ARB approval or acquiring the relevant permits. These alterations included slightly increasing the height of the wall and roofing in the enclosure area.

Code Enforcement issued a warning on July 6, 2023, which prompted the applicant to seek retroactive approval for these alterations to the bar design. The applicant presented these changes to the Board at the September 19, 2023 meeting, at which time the Board deferred the case to give the applicant time to take into consideration the Board’s feedback and present revised plans at a later meeting date. After the September meeting, a Special Meeting of the ARB was held on-site on October 6, 2023, to allow Board members to see the bar in-person and provide additional feedback to the applicant.

Since that time, the applicant has hired S2R Architects to draw revised plans for the outdoor bar. Revisions include an update to the columns, roofing, and bar shelving. The applicant is back before the Board today seeking approval for this updated design.

STAFF ANALYSIS

Outdoor Bar Alterations

Bar Details

The guidelines for Outdoor Dining and Seating are stated on page 168 of the design guidelines document. Relevant guidelines include:

**ARB #2024-0002****9108 Center Street & 9403 Battle Street****April 16, 2024**

- Design and locate outdoor patio and dining areas so they enhance and add value to the historic context and streetscape.
- Use designs that complement buildings.

Guidelines for Materials and Details, stated on pages 158-159 of the design guidelines document, also apply. Relevant guidelines include:

- Use building materials that complement the scale, color, texture, patterns, and finish of those historically seen in the district.
- The selection of materials and textures for a new building should be compatible with and complement neighboring historic context.
- Incorporate building elements and details that reflect historic patterns and context.

Under ARB 2022-0031, the Board approved the outdoor bar. However, the approved design did not include a roof nor shelving at the back of the bar. When presented to the Board at the September 19, 2023 meeting, the bar's scale and massing had an overwhelming heavy feel due to the extensive use of black steel. The Board stated at that time that the design should be revised to make it appear lighter and less visually overpowering to bring it into conformance with the Design Guidelines. The Board also specifically mentioned that several materials presented at that time, including rebar and clay tile, are not appropriate.

The updated bar design includes several revisions, including wrapping the existing steel columns in a white Fypon PVC column wrap with a standard base and cap trim detail. Additionally, the rebar that was added over the bar shelving is to be removed and replaced with top-hinged wood panel doors, and the structural steel roof framing over the bar will be painted white to match the column wrapping. These revisions bring the outdoor bar alterations closer into conformance with the Design Guidelines. The wrapping of the structural columns in white Fypon PVC gives them an appearance that is more compatible with the surrounding historic buildings, specifically 9403 Battle Street. Additionally, the white color of the columns allows the bar to be less visually disruptive in relation to its surrounding context when seen from the street. It should be noted that the applicant took into consideration other recommendations from the Board as the terra cotta tile that was installed will be completely removed, and the rebar used on the shelving is being removed and replaced with small wood doors. The removal of these inappropriate materials and their replacement with compatible elements creates a design that is less impactful on the streetscape and meets the Design Guidelines.

Awning Roof

The most significant revision to the design is the change to the proposed roof over the bar. While the design proposed in September 2023 included a corrugated steel roof supported by black steel supports, the new roof will be a fabric roof awning. The awning will span the three bays of the bar and the area leading into the bar/patio area from Battle Street. The awning will be approximately 39'-1" wide, with the 32' wide section over the bar projecting out 13'-5.5" (including 4' beyond the bar top), and the 7'-1" wide section over the entry area projecting out 9'-6.5". The applicant is proposing two color options: black and light tan. They have expressed their preference for the black option.

ARB #2024-0002
9108 Center Street & 9403 Battle Street
April 16, 2024



Guidelines for Awnings & Canopies are on page 136 of the Design Guidelines document. Relevant guidelines include:

- Avoid using overly ornate or metal awnings.
- The choice of colors should be coordinated as part of an overall color scheme for the building. Solid colors, wide stripes, narrow stripes, and other patterns should be considered appropriate.
- There is a wide variety of materials ranging from traditional painted cotton to new acrylic fabrics. All are considered appropriate for the district except fabrics used for back-lit awnings.

Staff is generally supportive of the proposed awning. The awning frame will be supported by the underlying wrapped columns and structural framing, and will be installed by the manufacturer. The fabric material is not a permanent building element, and can therefore be removed in the future. While the applicant has indicated their preference for the black fabric option, Staff recommends the tan/beige option as it will be more appropriate for the overall color scheme of both buildings: 9108 Center Street, which is painted a cream/off-white color; and 9403 Battle Street, which is painted white. Either color meets the guidelines, however, and both are reversible with the application of a different awning fabric in the future. Overall, the proposed awning is an improvement to the original proposal and meets the Design Guidelines.

Fencing

At the October 6, 2023 Special Meeting on-site, it was discovered that additional alterations previously unknown included the addition of a black metal and corrugated steel panel fence at the east end of the bar/patio area. It was conveyed to the applicant at that time that the fence exceeded the maximum 7' height allowed per the Zoning Ordinance, and that the corrugated steel was an inappropriate material. The applicant has proposed a new design with the height reduced to 7 feet, which complies with zoning requirements, and a new material: sylvanex panel in a brown color.

Guidelines for Fences are on page 163 of the Design Guidelines document. Relevant guidelines include:

- The design of fences should take cues from nearby existing historic designs, and the aesthetic of the streetscape. Typical materials include metal in the color black, and wood.
- Fences in commercial areas should relate to material of the building. In areas adjoining neighborhoods, care should be taken to relate the commercial fence to the residential fences in the area.

The proposed revisions to the fence have removed the corrugated metal that was previously installed without approval. The new fence exterior material is Sylvanix – a composite material made of 90% recycled wood and 10% plastic. While the proposed material is not true wood, the material and design appear similar to wood. Additionally, the fence is setback far from both Battle and Church Streets where it is not highly visible and therefore, it does not have any adverse effects on the streetscape. The proposed fence appears in conformance with both the Design Guidelines and the Zoning Ordinance.

ARB #2024-0002
9108 Center Street & 9403 Battle Street
April 16, 2024



Lighting

The guidelines for Lighting are stated on page 167 of the Design Guidelines document. Relevant guidelines include:

- Lighting fixtures should be understated and compatible with the quality of the surrounding area and the building. Light levels should provide for adequate safety without being too bright, particularly around residential buildings or commercial buildings with residential units.

Additional relevant guidelines for Outdoor Dining and Seating, as stated on page 168, include:

- Decorative lighting should be of a style fitting the type of user and existing outdoor patio furniture. Electrical generators should not be used in the outdoor patio areas. Instead, lighting should be connected to an on-site electrical receptacle.

Generally, Staff supports the installation of exterior lights on a non-contributing modern addition to a building within the historic district. Stylistically, the lights fit within the context of the historic district. The small sconce lights fit well in their location on the posts supporting the bar roof. The applicant has proposed two options for a post light to be located on top of the square masonry pier closest to Battle Street leading to the entrance to the outdoor dining patio and bar. While both design options are appropriate for the historic district, the Nantucket Outdoor Post Light is more similar to the sconce light, which it would complement to a greater degree than the Homesteader Post Light. Staff would ask that the Board provide the applicant with feedback at the meeting regarding these two options.

Screening Wall/Enclosure Alterations

The addition of a roof to the screening wall/enclosure has effectively created an addition to 9108 Center Street. The guidelines for Additions to Existing Buildings are found on page 157 of the design guidelines document. Relevant guidelines include:

- Locate and design additions to be compatible with the historic context of the original building and street.
- Attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
- Located additions on landmark structures on the rear elevation and minimally visible from the street.

Under ARB 16-4000021, the Board approved the screening wall/enclosure, including a concrete ramp that led along the rear of the building to the east side. After constructing the concrete ramp and dumpster enclosure/screening wall as approved, the applicant altered the wall by increasing the height and roofing in the enclosure area, thus effectively making it a building addition to 9108 Center Street.

As stated at the September 2023 meeting, while Staff is not generally opposed to the roof addition on the former screening wall/trash enclosure, it was not approved by the Board. The profile of the roof is not readily visible and the overall design does not detract from the main building at 9108 Center Street. Despite the increased height, the enclosure remains one-story with a relatively low profile. Additionally,

ARB #2024-0002

9108 Center Street & 9403 Battle Street

April 16, 2024



it is setback from the public right-of-way along Battle Street, and the painted brick masonry and Miter Arch entrance were approved by the Board under the previous case. Staff is supportive of the addition of the roof to the trash enclosure. However, if it is approved, the owner will need to vacate the property line separating 9108 Center Street and 9403 Battle Street since the roof has made the enclosure a non-permitted building addition across a property line.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the updated bar design and the screening wall/enclosure alterations.

Staff: Benjamin Walker, Planner II

Contact Information: 703-257-8247, bwalker@manassasva.gov

Attachments:

1. Application
2. Bar & Enclosure Plans
3. ARB Special Meeting Minutes: October 6, 2023
4. Previous Approval of Outdoor Bar: ARB 2022-0031
5. Previous Approval of Screening Wall: ARB 16-40000021
6. Historic Surveys



CITY OF MANASSAS, VIRGINIA

Community Development • 9800 Godwin Drive, Manassas, VA 20110 • 703-257-8223

ARB #: 2024-0002

DATE: 8/1/2023
(Completed by City Staff)

ARCHITECTURAL REVIEW BOARD Application for Certificate of Appropriateness

Site Address: 7403 BATTLE ST. Manassas, VA 20110

Tax Map No(s): 101/0100/428B// Zoning District: B3
Number Street Name

Date Purchased: _____ Age of Structure: _____

Nature of Proposed Work: Please check all that apply.

- Signage
- Exterior Alteration
- Addition
- New Construction
- Demolition

Description of Proposed Work (use additional pages if necessary): _____

MODIFICATION TO AN EXISTING PLAN & PERMIT
PLAN OPTIDH # 1. INSTALL BAR ROOF MATERIAL TO MATCH
EXISTING GALVANIZED SHEET CORRUGATED METAL

APPLICANT

(All correspondence is addressed to applicant)

HABEM RAHIM

Name (Please Print)

8201 EUCLID CT. #302

Address

MANASSAS PARK VA 20111

City State Zip Code

hrahim@index.land

E-mail Address

703-330-4704

Phone #

Fax #

Signature

OWNER

(Leave blank if same as applicant)

ALICE PILES

Name (Please Print)

COCKES BUILDING, INC.

Company

9403 BATTLE ST.

Address

MANASSAS VA 20110

City State Zip Code

703-595-7524

Phone #

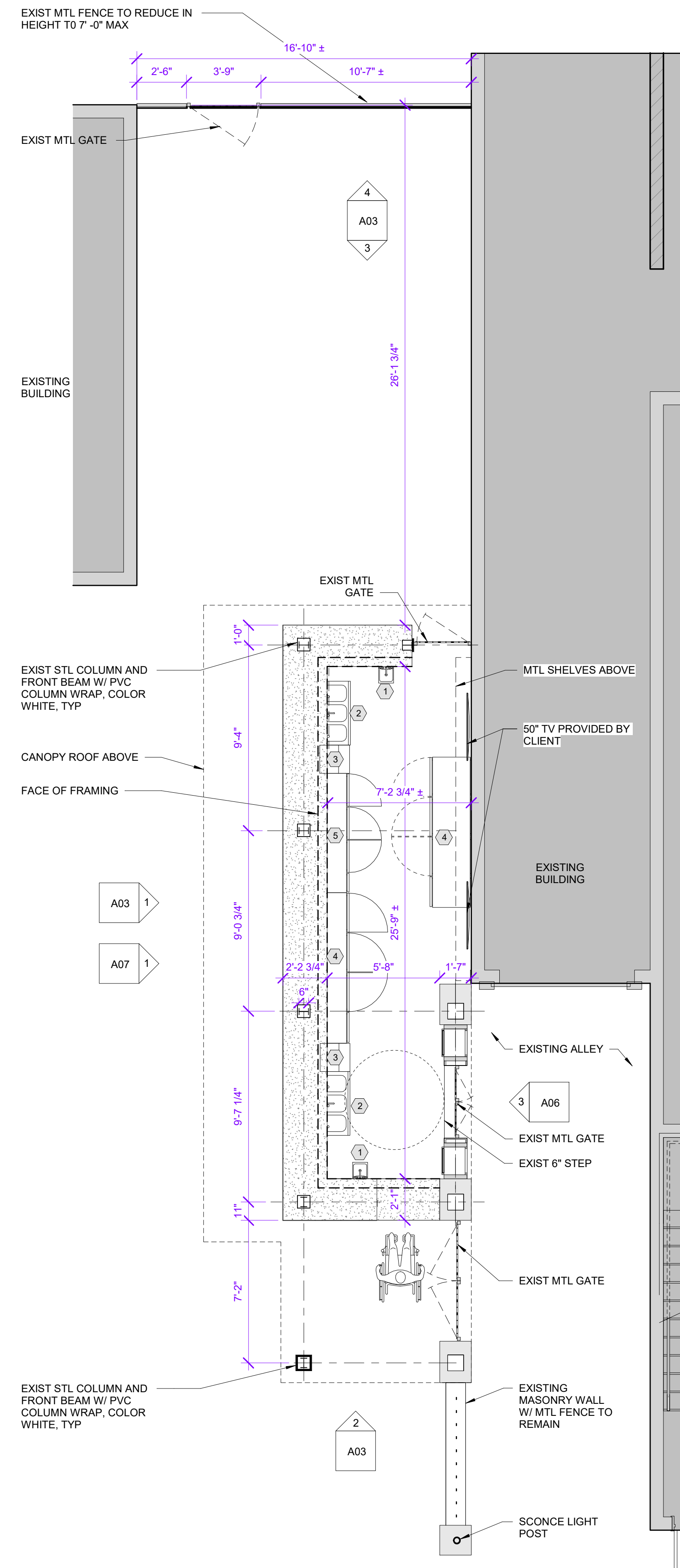
Fax #

APiles1961@gmail.com

E-mail Address

I hereby certify that I have the authority to make the foregoing application, that the application and information provided herein is correct and that the construction will conform to the regulations in the Building Code, the Zoning Ordinance, or private building restrictions, if any, which may be imposed on the above property by deed.

SCHEDULE - EQUIPMENT & FIXTURES				
ITEM	TYPE	MANUF	MODEL	COMMENTS
1	KITCHEN HAND SINK	ROYAL INDUSTRIES	ROYHSW12	PROVIDE BLOCKING
2	3 COMPARTMENT SINK	GRIDMANN	NSF-GR12-3BAR	
3	ICE MAKER	AGLUSKU	HZB-45	
4	TAP KEGERATOR	AVANTCO	UDD-4-HC (2)	(4) 1/2 KEG CAPACITY
5	BACK BAR REFRIGERATOR	AVANTCO	UBB072G-HC73	
6	KITCHEN HAND SINK FAUCET	JUST MANUFACTURING	JS-47-TGSA	PROVIDE INSTANT WATER HEATER



OFFICIAL COUNTY USE ONLY

10486 COLONEL COURT
MANASSAS VA 20110
(703)420-8141
www.S2RArchitects.com
Office@S2RArchitects.com

PROJECT NAME AND ADDRESS

**OPTION 2 MONZA
OUTDOOR BAR**
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT #

PROJ#J22006

SCALE

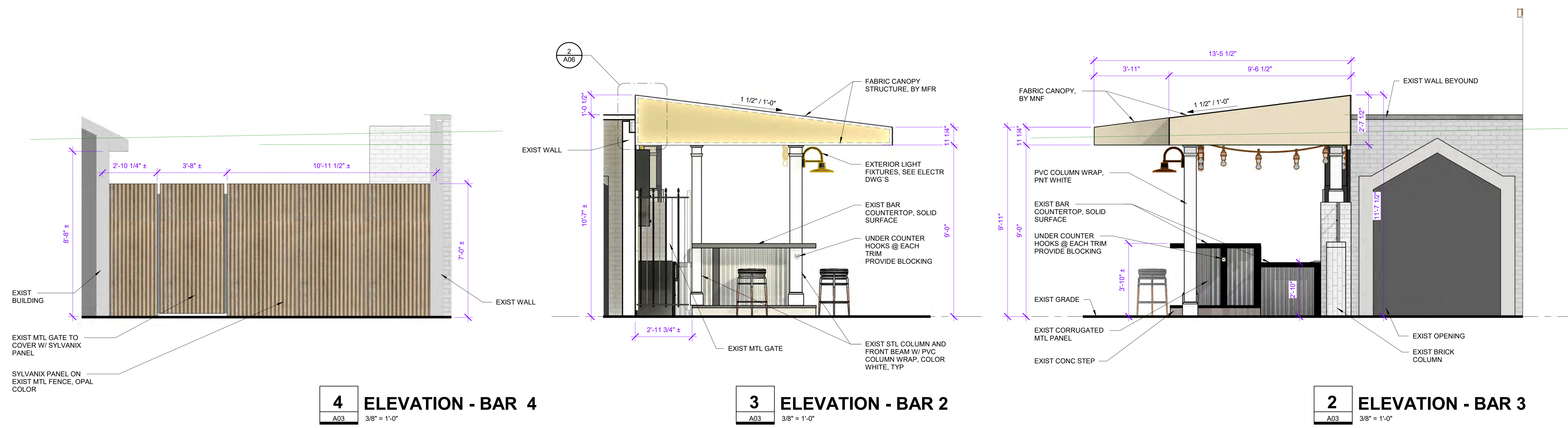
REVISION	DATE
	03/20/2024

ISSUE DATE

SHEET TITLE

FLOOR PLAN

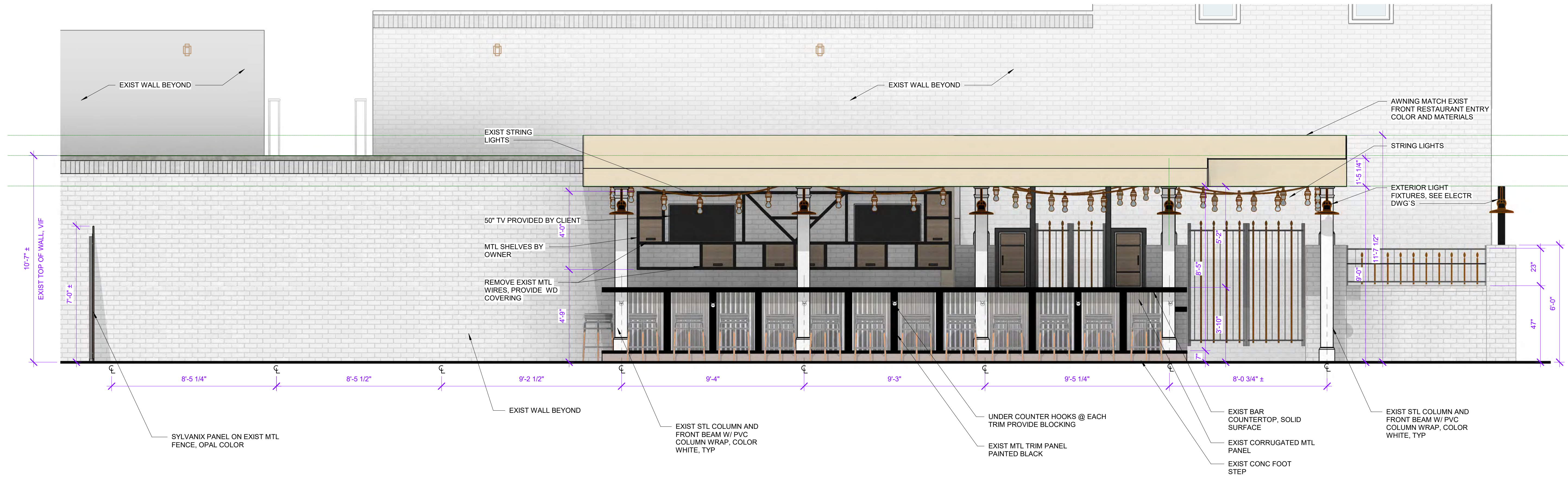
A02



4 ELEVATION - BAR 4
A03 3/8" = 1'-0"

3 ELEVATION - BAR 2
A03 3/8" = 1'-0"

2 ELEVATION - BAR 3
A03 3/8" = 1'-0"



1 ELEVATION - BAR 1
A03 3/8" = 1'-0"



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**OPTION 2 MONZA
OUTDOOR BAR**
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT# J22006

PROJECT #

REVISION	DATE

ISSUE DATE
03/20/2024

SHEET TITLE
ELEVATIONS

SHEET #
A03



VIEW FROM BATTLE STREET - EXISTING RESTAURANT

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OPTION 2 MONZA
OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT # J22006

PROJECT #

PROJECT NAME AND ADDRESS

SCALE

REVISION DATE

03/20/2024

EXTERIOR BAR - 3D VIEWS

A04

ISSUE DATE
SHEET TITLE
SHEET #



(A)

Nantucket Outdoor Sconce - Small

SKU: OL0402 MATTE_BLK
\$130.00

Color: Matte Black

Actual Size: 11.25"Hx8"Wx3.25"D

In stock and ready to ship

Qty: 1



MANHATTAN 3000 Watts

FROM \$479.00

- ★★★★★ (10 reviews)
- Key Features:**
- Wall or ceiling mounted infrared heater
 - 3kW (2 x 1.5 kW) carbon infrared lamps
 - Performance range, ultra-low glare
 - Suitable for outdoor use (IP54)
 - 2 power levels & timer, remote control
 - Commercial grade heater

MODEL / WATTAGE	DIMENSIONS	HEATS FT ²	PRICE
M-MANHATTAN-3000-US 3000W, 240V (13A)	41.1 x 3.3 x 6in	95 - 150 Outdoors 129 - 236 Indoors	\$479.00 <input type="button" value="BUY"/>



(B)

OPTION 1

Nantucket Outdoor Post Light

SKU: OL0403P BLACK
\$240.00

Color: Matte Black

Actual Size: 36"Hx15"W

In stock and ready to ship

Qty: 1



OPTION 2

Homesteader Seeded Class Outdoor Post Light

SKU: OL0803P_BZ
\$119.00

Color: Bronze

Actual Size: 20.5"Hx8"Wx8"D

Backordered with manufacturer for 4-8 weeks.

Qty: 1



(C)

52" Pierce Smart Ceiling Fan

SKU: FA19032 BK
\$350.00

Color: Matte Black

Actual Size: 12.75"Hx52"Wx52"D

In stock and ready to ship

Optional Accessories

DOWNRODS

Variety of Colors

Porcelain RAL-9001	White RAL-9003	Silver RAL-7004
Bendstone RAL-1001	Yellow RAL-1016	Beige RAL-6081
Bronze RAL-9004	Rust RAL-3022	Midnight Green RAL-6005
Claret RAL-3005	Bright Red RAL-3020	Aquamarine RAL-5015
Black RAL-9005	Blaze RAL-7026	Navy Blue RAL-5011

Available Styles

- Standard Hip
- "T" Type Cantilever
- 2 Post Cantilever

Standard Sizes

- 10' X 10'
- 10' X 20'
- 15' X 15'
- 18' X 27'
- 20' X 10'
- 10' X 12'
- 12' X 20'
- 18' X 18'
- 20' X 20'
- 30' X 30'

www.victoryawning.net

FABRIC AWNING, COLOR - SANDSTONE, VALANCE STYLE - CONTEMPORARY



SYLVANIX outdoor products inc.

Cladding Board	Butt Joint
12' 0.8" X 6.1"	12' 1.5" X 3.5"
Inner Corner (Vertical)	Outer Corner (Vertical)
12' 1.4" X 3.1"	12' 3.3" X 3.5"
Inner Corner (Horizontal)	Outer Corner (Horizontal)
12' 1.5" X 2.7"	12' 3.8" X 3.9"
F-Trim (Horizontal)	
12' 2.5" X 3.5"	

FENCE COVER - SYLVANIX OUTDOOR PANEL -SOARSIGNATURE COLLECTION, COLOR - TYGER EYE

FYPON COLUMN WRAP



PremiumSelect Square Flat Panel

CWPM6X96SFT

SHAFT WIDTH: 6"
HEIGHT: 96"

QUANTITY:



FYPON CAP AND BASE

Square Cap and Base Traditional

CWCB6TR

★★★★★ (0) Write a review Ask a question

LENGTH: 6"

QUANTITY:

\$92.05

Pay in 4 interest-free installments of \$23.01 with shopify

Specifications

- Installation Cleats are applied on the exterior of the shaft.
- Fypon Column Wraps won't twist with L-shaped installation methodology.

Part Code	CWPM6X96SFT	Material	PVC
Product Texture	Smooth	Weight	35
Pack Quantity	1 Pack	Shaft Width	6"
Height	96"	Actual Outside Width	5-3/4"
Bottom Base Height	9 5/8"	Actual Inside Width	4 3/4"
Top Cap Height	7 5/8"		

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OPTION 2 MONZA OUTDOOR BAR

9108 CENTER STREET
MANASSAS, VA 20110

PROJECT #

PROJ#J22006

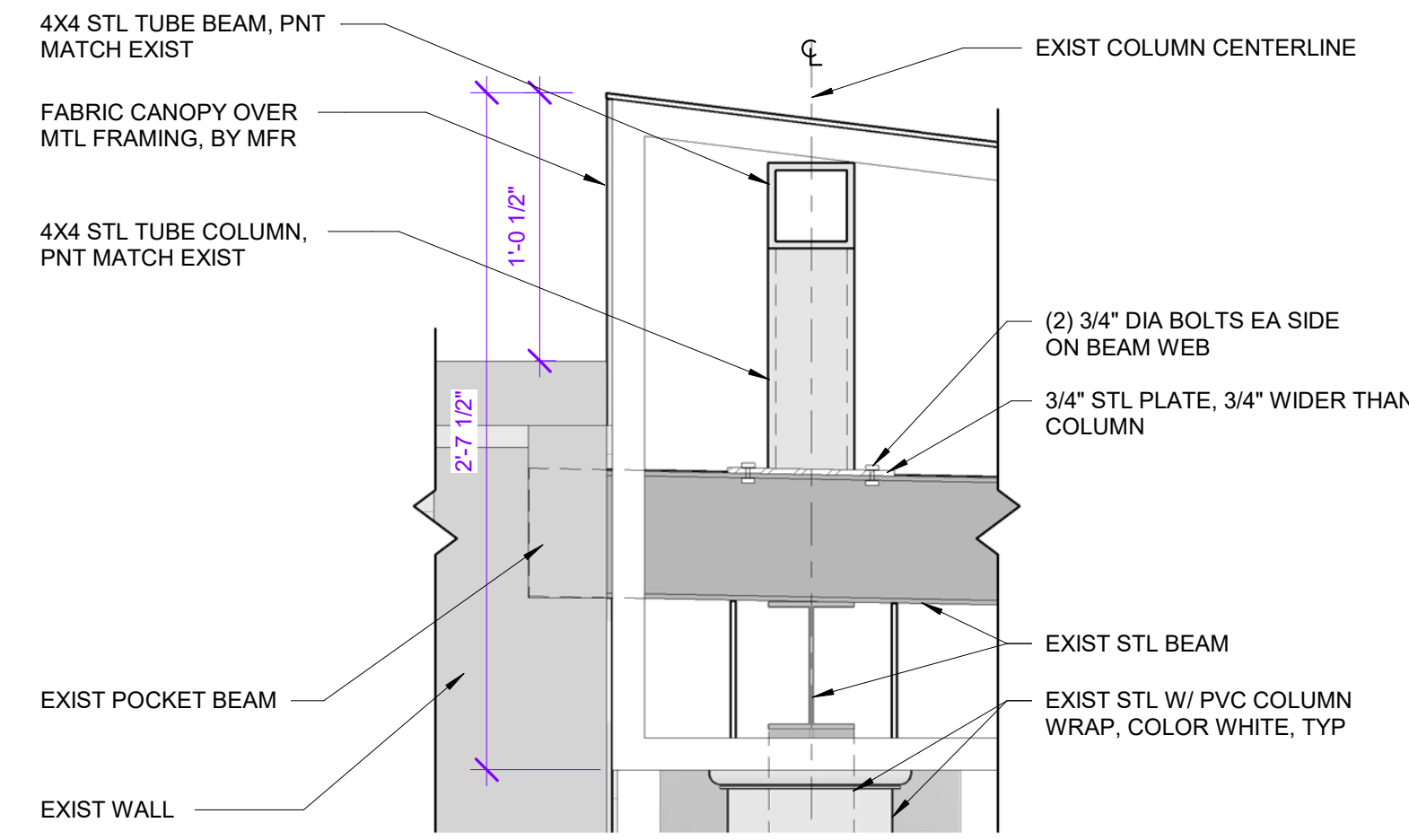
REVISION DATE

03/20/2024

SHEET TITLE

LIGHT FIXTURES & FINISH MATERIAL CUT SHEETS

A05



2 DETAIL- CANOPY
 A06 1 1/2" = 1'-0"

GENERAL CEILING AND ELECTRICAL NOTES

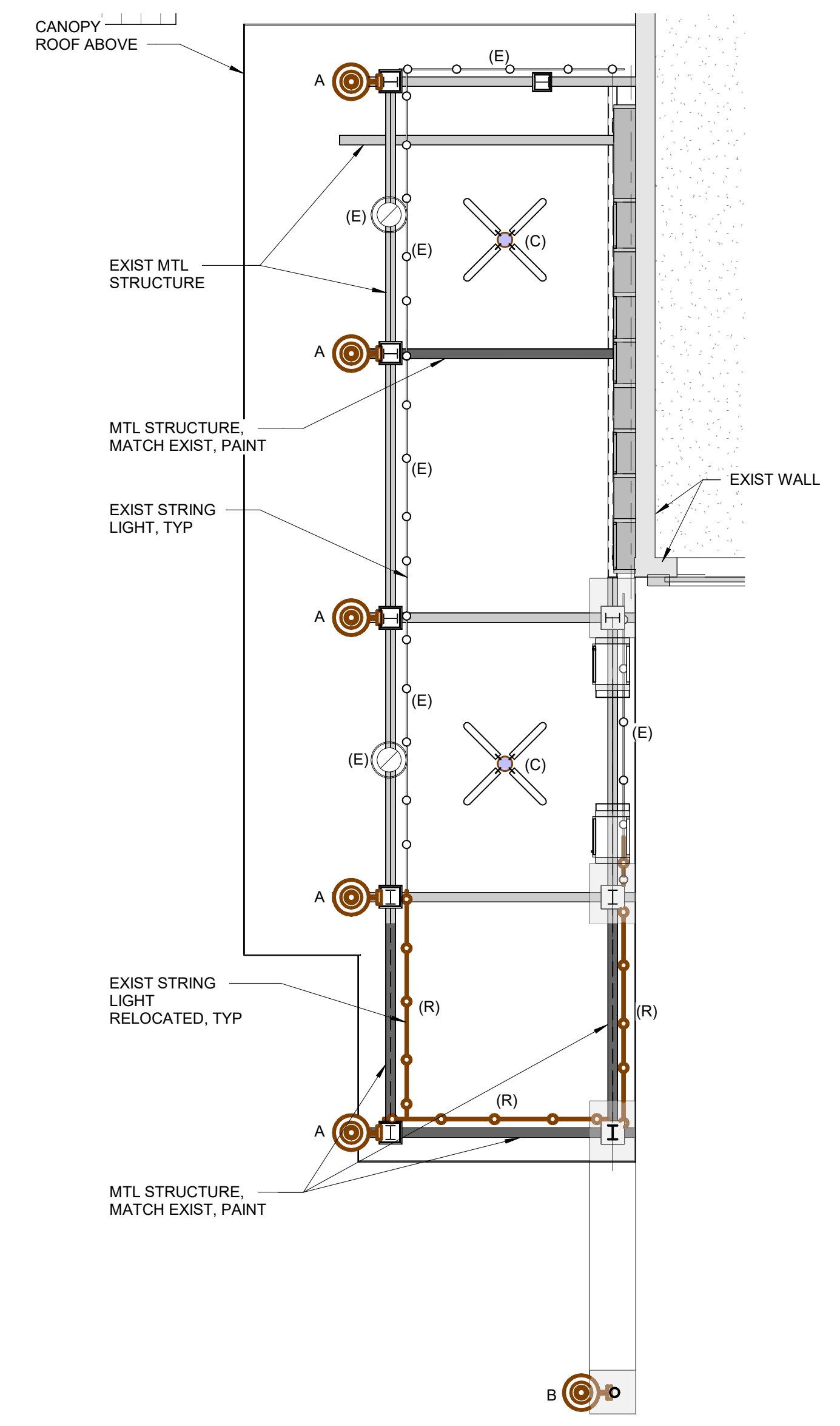
- TYPICAL CEILING HEIGHT TO MATCH EXISTING A.F.F. UNO.
- COORDINATE WORK WITH DEMOLITION AND EXISTING CONDITIONS.
- MOUNT ACT MOUNTED DEVICES CENTERED ON CEILING TILE
- IN EACH ROOM/SPACE PROVIDE OCCUPANCY / VACANCY SENSOR & POWERPACK DIMMING MODULE RMJ-EC032-DV-B ZONE CAN BE CONTROLLED WITH SAME SENSOR PER MANUF. OR MULTIPLE @ EACH FIXTURE. INSTALL PER MANUF. SPECS AND ZONE CONTROL ON SAME CIRCUIT.
- PROVIDE DIMMING SWITCHES / ABILITY ON LED LIGHTING.
- REUSE EXISTING GRID AND TILE AS REQUIRED PER EXTEND OF WORK IF IN AS NEW CONDITION. PROVIDE NEW CEILING GRID AND TILE TO MATCH EXISTING AS REQUIRED.
- THROUGHOUT SUITE AND COMMON AREAS AT THE EXTENT OF WORK REPLACE DAMAGED AND STAINED CEILING GRID AND TILE WITH NEW TO MATCH EXISTING.
- CLEAN AND REBULB RELOCATED AND EXISTING FIXTURES TO REMAIN. COORDINATE WITH BUILDING OWNER IF BULBS HAVE RECENTLY BEEN REPLACED.
- VERIFY ALL EMERGENCY LIGHTING, EXIT SIGNS AND BATTERIES TO BE IN WORKING CONDITION. REPLACE WITH NEW IF NOT FUNCTIONING. CONFIRM LAYOUT OF EXISTING AS SHOWN, PROVIDE NEW EXIT SIGNS IF MISSING.

1 KEY NOTES

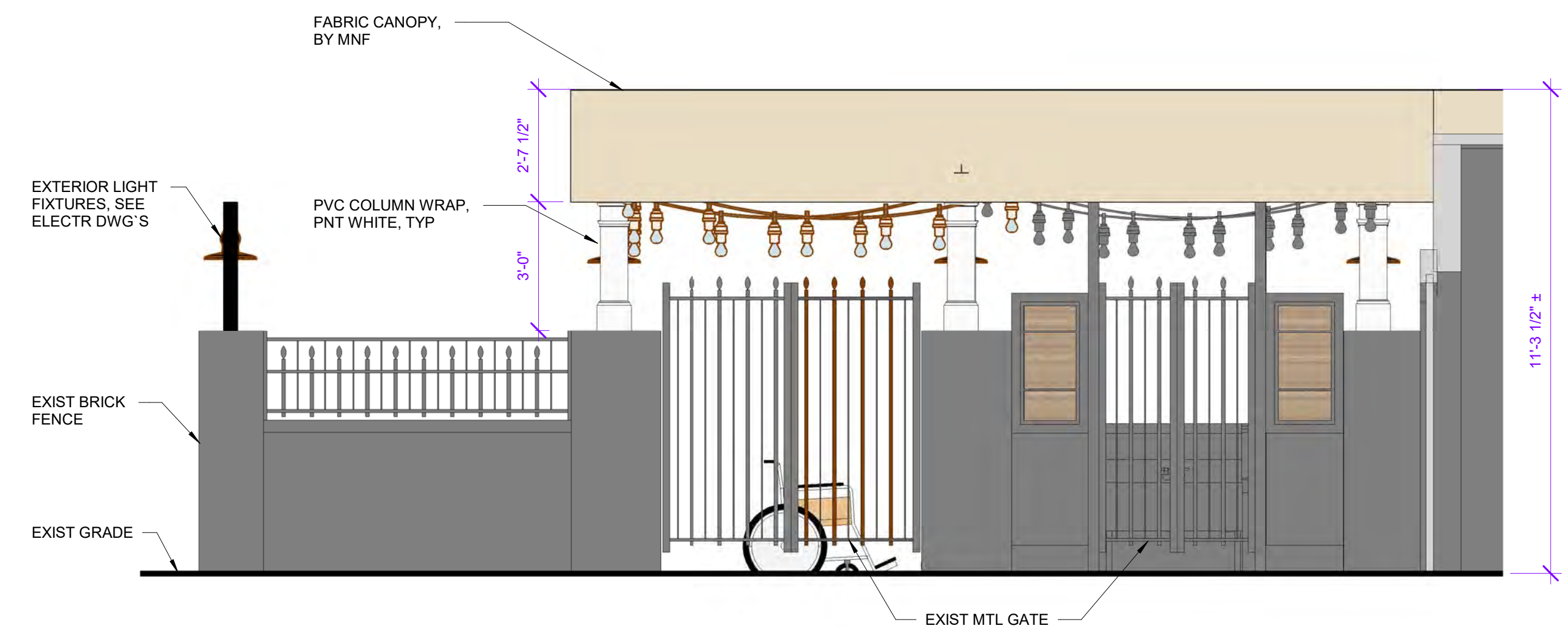
- NO WORK IN THIS AREA
- EXISTING LIGHTING TO REMAIN

ELECTRICAL LEGEND

- ROUND OR SQUARE DOWNLIGHT
- STRING LIGHTS
- ✕ CEILING FAN (C)
- WALL SCONCE (A)
- POST SCONCE (B)
- (E) EXISTING FIXTURE OR DEVICE
- (R) RELOCATED EXISTING FIXTURE OR DEVICE



1 RCP
 A06 1/4" = 1'-0"



3 ELEVATION - BAR 5
 A06 3/8" = 1'-0"



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**OPTION 2 MONZA
 OUTDOOR BAR**
 9108 CENTER STREET
 MANASSAS, VA 20110

PROJECT # J22006

REVISION	DATE

ISSUE DATE: 03/20/2024

SHEET TITLE: RCP PLAN, DETAIL- CANOPY

SHEET # A06

DEMOLITION NOTES	
A.	G.C. TO REVIEW AND FAMILIARIZE WITH SCOPE AND CONTENT OF ALL CONSTRUCTION DOCUMENTS FOR ALL DISCIPLINES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO DELIVERING CONSTRUCTION COST OR STARTING WORK.
B.	COORDINATE ALL DEMOLITION WORK WITH NEW WORK.
C.	COVER AND PROTECT EXISTING EQUIPMENT TO REMAIN FROM DEBRIS, DUST AND DAMAGE DURING DEMOLITION AND CONSTRUCTION.
D.	DEMOLISH EXISTING FINISHES INCLUDING FLOOR, BASE, WALL COVERING AND TRIM THROUGHOUT SUITE AND AREAS OF WORK U.N.O. PATCH AND REPAIR AREAS TO RECEIVE NEW FINISHES AS SCHEDULED. EXISTING FINISHES IN COMMON AREAS TO REMAIN, COVER/PROTECT FINISHES AND ADJUST ACCORDINGLY PER NEW LAYOUT.
E.	REPOINT EXISTING INTERIOR BRICK WALLS THROUGHOUT AREA OF WORK.
F.	REPLACE / REPAIR EXISTING CEILING JOISTS THROUGHOUT.

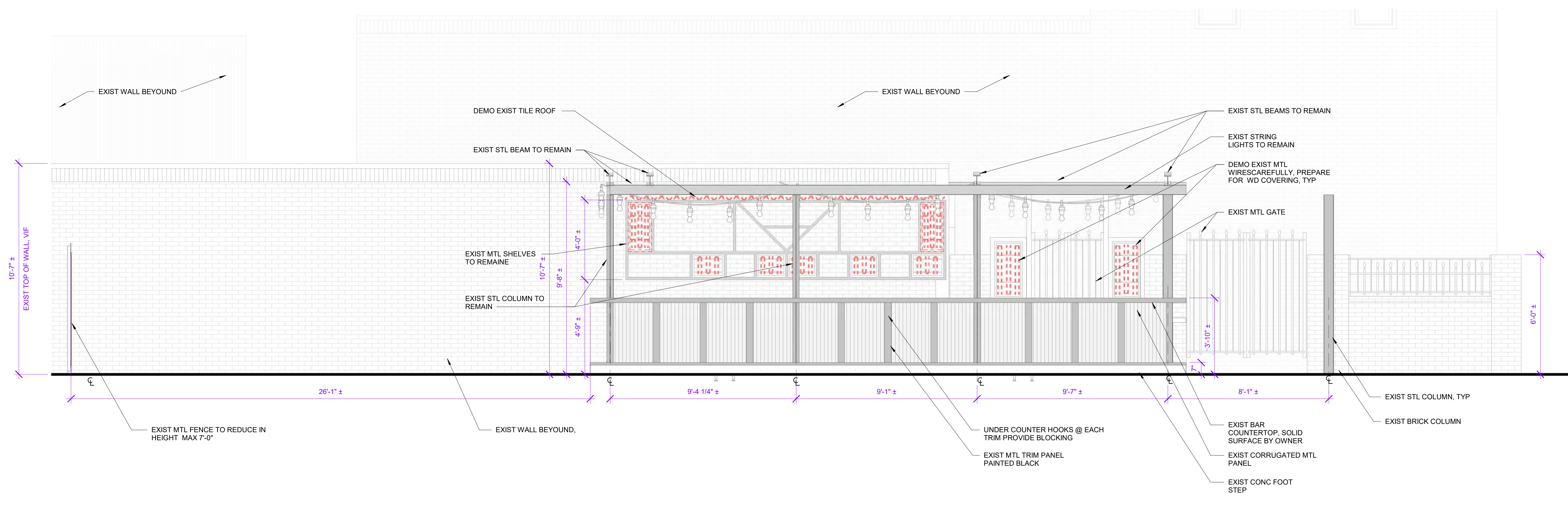
1 KEY NOTES	
1.	NO WORK IN THIS AREA / EXISTING TO REMAIN OR FINISHES ONLY.
2.	EXISTING COLUMN TO REMAIN.



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OPTION 2 MONZA
OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT # J22006



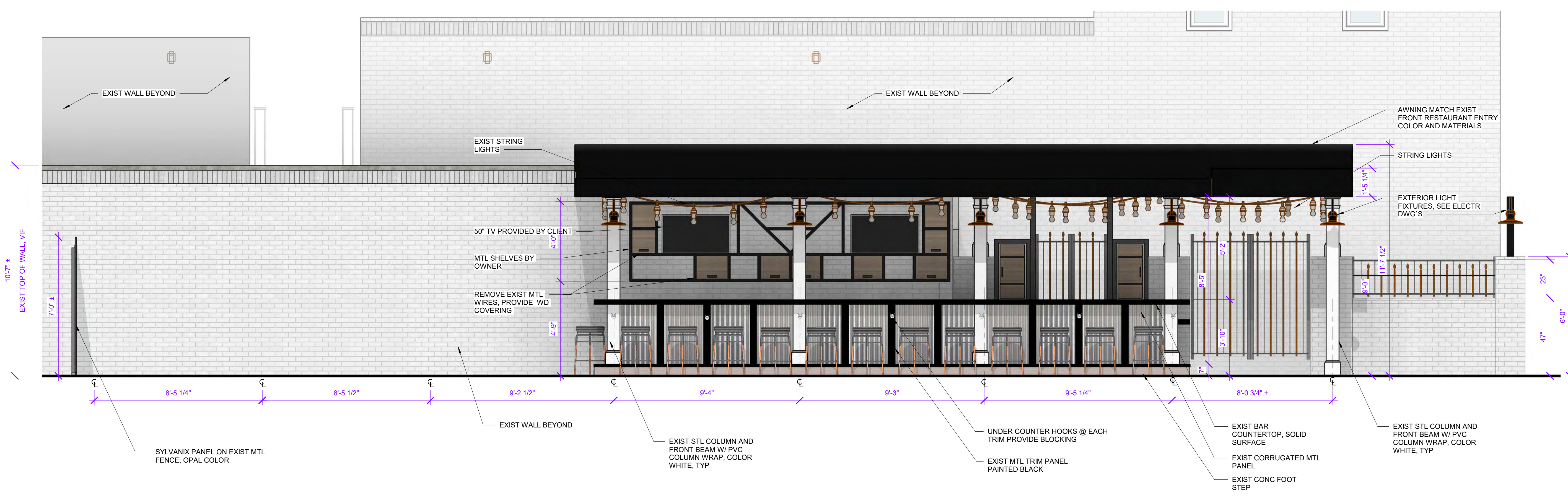
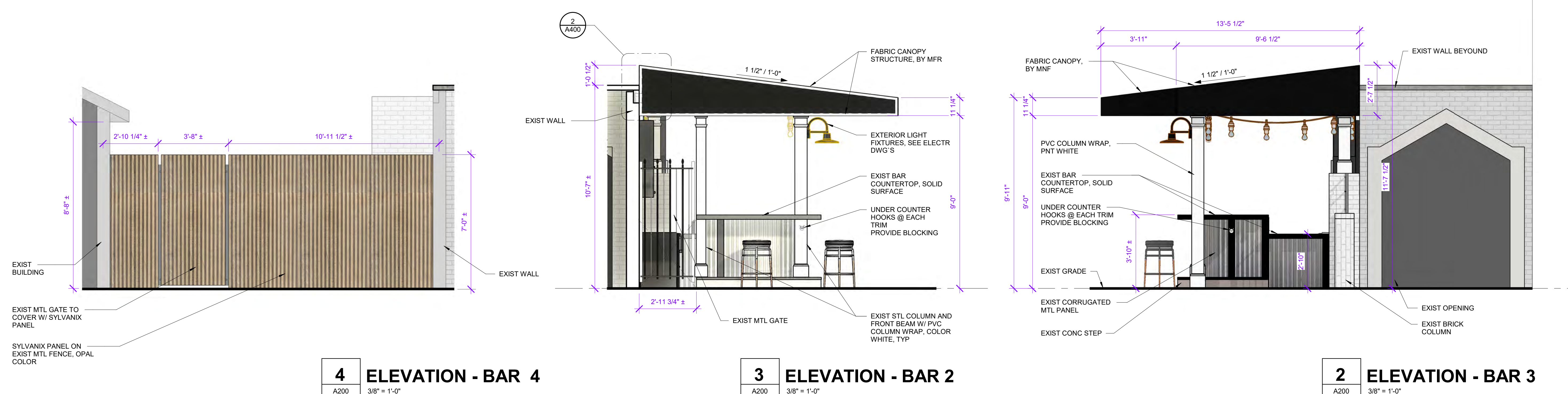
1 ELEVATION - BAR DEMOLITION
A07 3/8" = 1'-0"

REVISION	DATE

ISSUE DATE
03/20/2024

SHEET TITLE
ELEVATION -DEMOLITION

SHEET #
A07



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MONZA OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT # J24014



REVISION	DATE

ISSUE DATE: 03/20/2024

SHEET TITLE: ELEVATIONS

SHEET # A200

DEMOLITION NOTES	
A.	G.C. TO REVIEW AND FAMILIARIZE WITH SCOPE AND CONTENT OF ALL CONSTRUCTION DOCUMENTS FOR ALL DISCIPLINES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO DELIVERING CONSTRUCTION COST OR STARTING WORK.
B.	COORDINATE ALL DEMOLITION WORK WITH NEW WORK.
C.	COVER AND PROTECT EXISTING EQUIPMENT TO REMAIN FROM DEBRIS, DUST AND DAMAGE DURING DEMOLITION AND CONSTRUCTION.
D.	DEMOLISH EXISTING FINISHES INCLUDING FLOOR, BASE, WALL COVERING AND TRIM THROUGHOUT SUITE AND AREAS OF WORK U.N.O. PATCH AND REPAIR AREAS TO RECEIVE NEW FINISHES AS SCHEDULED. EXISTING FINISHES IN COMMON AREAS TO REMAIN, COVER/PROTECT FINISHES AND ADJUST ACCORDINGLY PER NEW LAYOUT.
E.	REPOINT EXISTING INTERIOR BRICK WALLS THROUGHOUT AREA OF WORK.
F.	REPLACE / REPAIR EXISTING CEILING JOISTS THROUGHOUT.

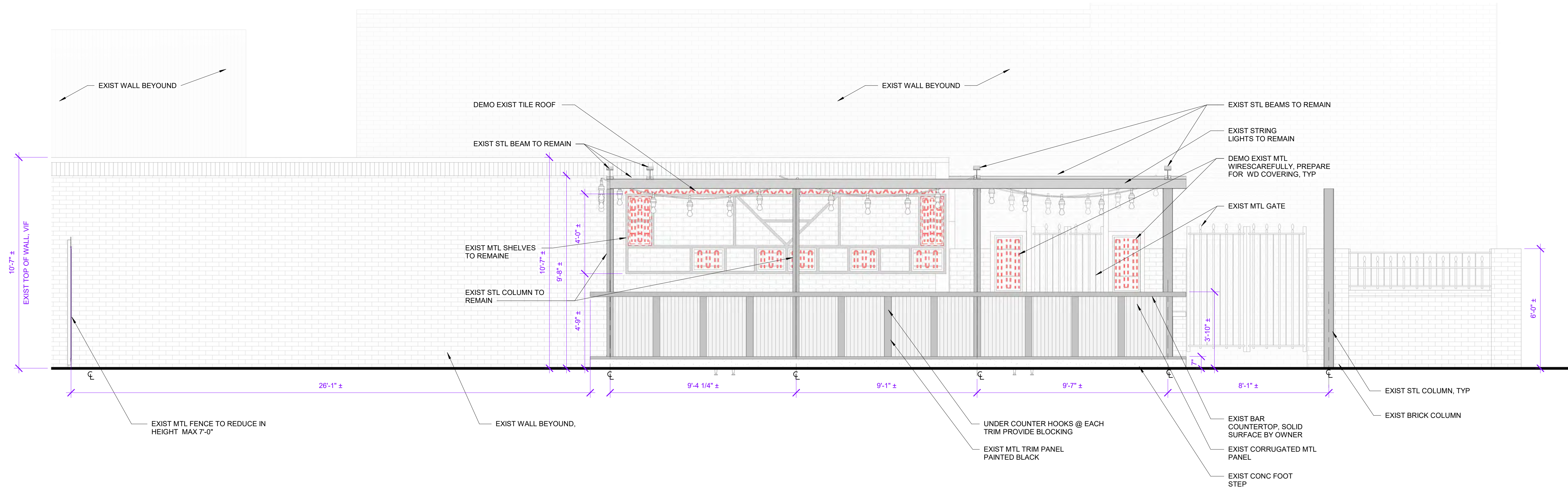
1 KEY NOTES	
1.	NO WORK IN THIS AREA / EXISTING TO REMAIN OR FINISHES ONLY.
2.	EXISTING COLUMN TO REMAIN.



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MONZA OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJ#J24014



1 ELEVATION - BAR DEMOLITION
A201 3/8" = 1'-0"

PROJECT NAME AND ADDRESS

PROJECT #



REVISION DATE

ISSUE DATE
03/20/2024

SHEET TITLE
ELEVATION -DEMOLITION


SHEET #
A201

3/27/2024 6:02:10 PM COPYRIGHT, 2021 S2R ARCHITECTS PC



VIEW FROM BATTLE STREET - EXISTING RESTAURANT

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PROJECT NAME AND ADDRESS
MONZA OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT #
PROJ#J24014

03.20.2024

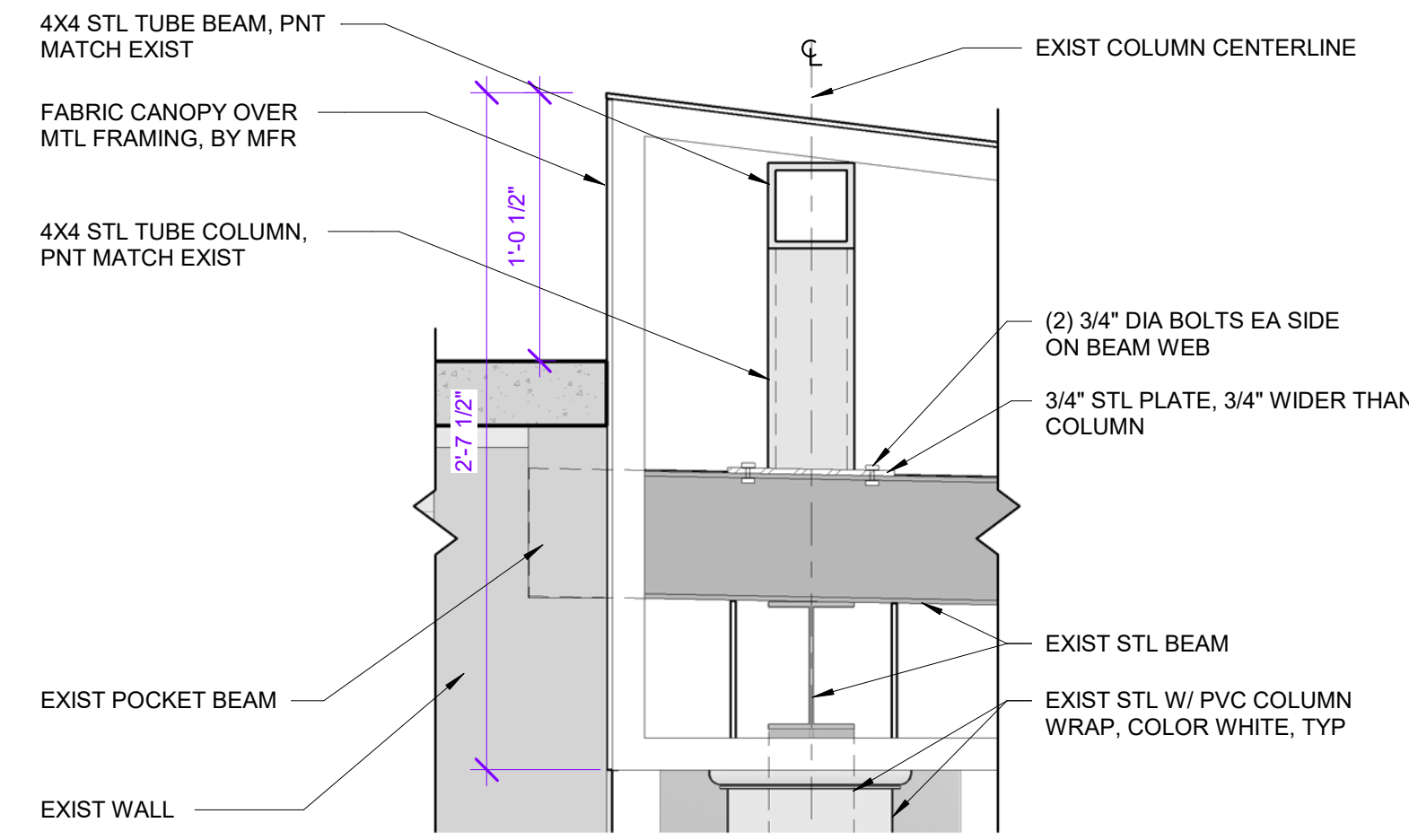
REVISION DATE

03/20/2024

EXTERIOR BAR - 3D VIEWS

A300

3/27/2024 6:02:11 PM
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2 DETAIL- CANOPY
A400 1 1/2" = 1'-0"

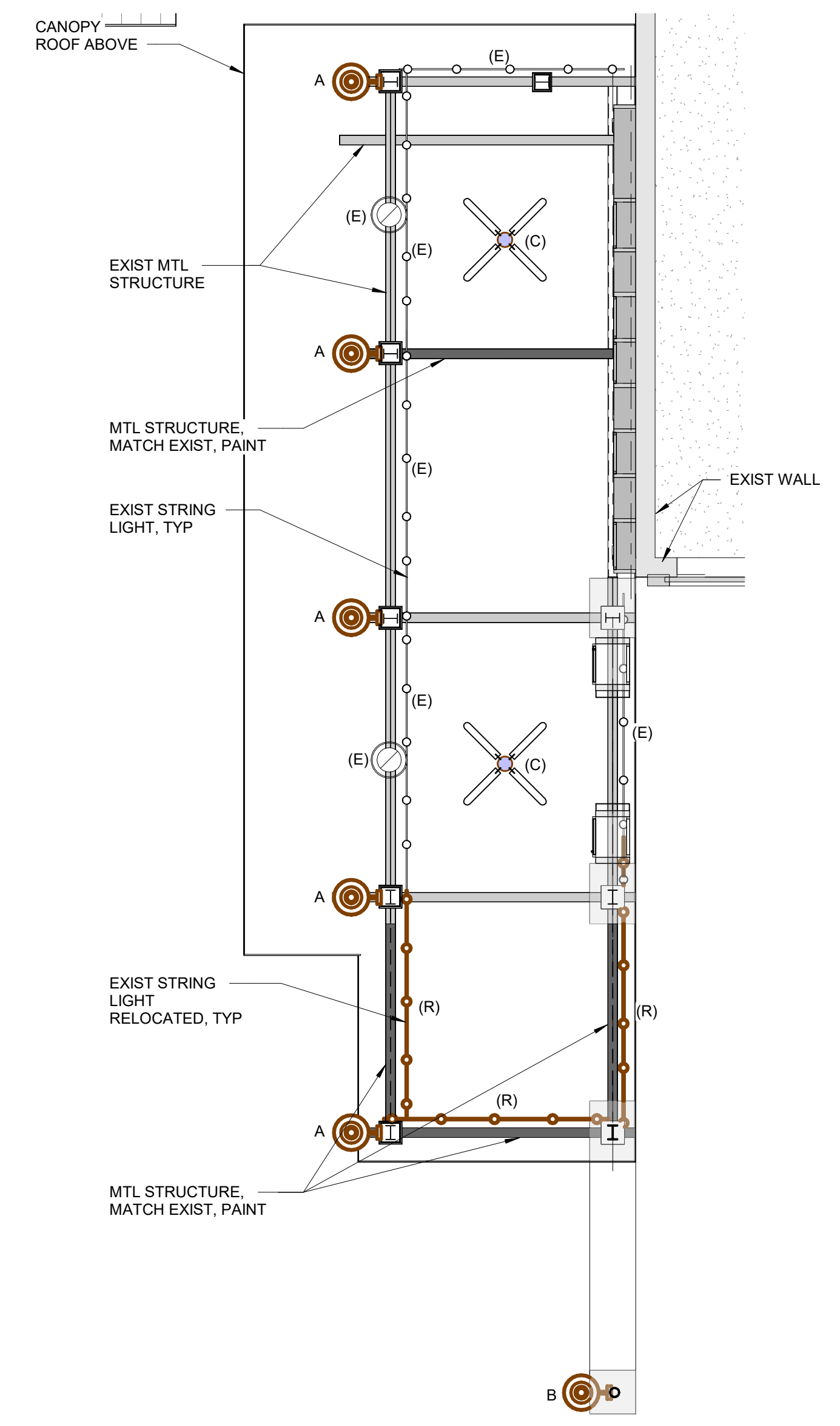
- GENERAL CEILING AND ELECTRICAL NOTES**
- A. TYPICAL CEILING HEIGHT TO MATCH EXISTING A.F.F. UNO.
 - B. COORDINATE WORK WITH DEMOLITION AND EXISTING CONDITIONS.
 - C. MOUNT ACT MOUNTED DEVICES CENTERED ON CEILING TILE IN EACH ROOM/SPACE PROVIDE OCCUPANCY / VACANCY SENSOR & POWERPACK DIMMING MODULE RMJ-EC032-DV-B ZONE CAN BE CONTROLLED WITH SAME SENSOR PER MANUF. OR MULTIPLE @ EACH FIXTURE. INSTALL PER MANUF. SPECS AND ZONE CONTROL ON SAME CIRCUIT.
 - E. PROVIDE DIMMING SWITCHES / ABILITY ON LED LIGHTING.
 - F. REUSE EXISTING GRID AND TILE AS REQUIRED PER EXTEND OF WORK IF IN AS NEW CONDITION. PROVIDE NEW CEILING GRID AND TILE TO MATCH EXISTING AS REQUIRED.
 - G. THROUGHOUT SUITE AND COMMON AREAS AT THE EXTENT OF WORK REPLACE DAMAGED AND STAINED CEILING GRID AND TILE WITH NEW TO MATCH EXISTING.
 - H. CLEAN AND REBULB RELOCATED AND EXISTING FIXTURES TO REMAIN. COORDINATE WITH BUILDING OWNER IF BULBS HAVE RECENTLY BEEN REPLACED.
 - I. VERIFY ALL EMERGENCY LIGHTING, EXIT SIGNS AND BATTERIES TO BE IN WORKING CONDITION. REPLACE WITH NEW IF NOT FUNCTIONING. CONFIRM LAYOUT OF EXISTING AS SHOWN, PROVIDE NEW EXIT SIGNS IF MISSING.

1 KEY NOTES

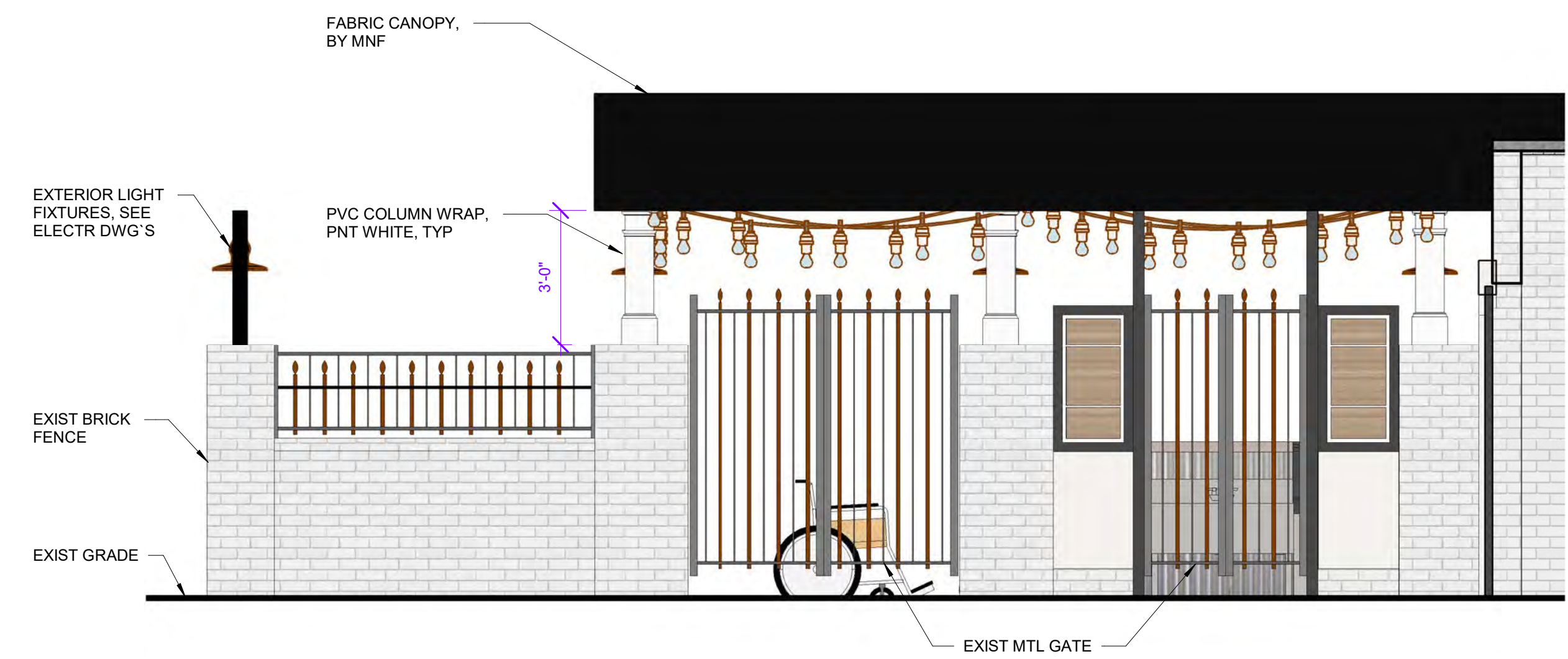
- 1. NO WORK IN THIS AREA
- 2. EXISTING LIGHTING TO REMAIN

ELECTRICAL LEGEND

- ⊙ ROUND OR SQUARE DOWNLIGHT
- ⊙ STRING LIGHTS
- ⊗ CEILING FAN (C)
- ⊕ WALL SCONCE (A)
- ⊕ POST SCONCE (B)
- (E) EXISTING FIXTURE OR DEVICE
- (R) RELOCATED EXISTING FIXTURE OR DEVICE



1 RCP
A400 1/4" = 1'-0"



3 ELEVATION - BAR 5
A400 3/8" = 1'-0"



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MONZA OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT # J24014



REVISION	DATE
	03/20/2024

RCP PLAN,
DETAIL- CANOPY

A400



(A)

Nantucket Outdoor Sconce - Small

SKU: OL0402 MATTE_BLK
\$130.00

Color: Matte Black

Actual Size: 11.25"Hx8"Wx3.25"D

In stock and ready to ship

Qty: 1



Find other [Patio Heaters](#)

MANHATTAN 3000 Watts FROM \$479.00

★★★★★ (10 reviews)

Key Features:

- Wall or ceiling mounted infrared heater
- 3kW (2 x 1.5 kW) carbon infrared lamps
- Performance range, ultra-low glare
- Suitable for outdoor use (IP54)
- 2 power levels & timer, remote control
- Commercial grade heater

Order now for 10 to 14 days delivery.

MODEL / WATTAGE	DIMENSIONS	HEATS FT ²	PRICE
M-MANHATTAN-3000-US 3000W, 240V (13A)	41.1 x 3.3 x 6in	95 - 150 Outdoors 129 - 236 Indoors	\$479.00 <input type="button" value="BUY"/>



(B)

OPTION 1

Nantucket Outdoor Post Light

SKU: OL0403P BLACK
\$240.00

Color: Matte Black

Actual Size: 36"Hx15"W

In stock and ready to ship

Qty: 1



OPTION 2

Homesteader Seeded Class Outdoor Post Light

SKU: OL0003P_RZ
\$119.00

Color: Bronze

Actual Size: 20.5"Hx8"Wx8"D

Backordered with manufacturer for 4-8 weeks.

Qty: 1



(C)

52" Pierce Smart Ceiling Fan

SKU: FA19032 BK
\$350.00

Color: Matte Black

Actual Size: 12.75"Hx52"Wx52"D

In stock and ready to ship

Optional Accessories

DOWNRODS

Variety of Colors

Porcelain RAL-9001	White RAL-9003	Silver RAL-7004
Bendstone RAL-1001	Yellow RAL-1016	Beige RAL-6021
Bronze RAL-9004	Rust RAL-3022	Midnight Green RAL-6005
Claret RAL-3005	Bright Red RAL-3020	Aquamarine RAL-5015
Black RAL-9005	Black RAL-7026	Navy Blue RAL-5011

Colors shown are representations.

Available Styles

- Standard Hip
- "T" Type Cantilever
- 2 Post Cantilever

Standard Sizes

- 10' X 10'
- 10' X 20'
- 15' X 15'
- 18' X 27'
- 10' X 12'
- 12' X 20'
- 18' X 18'
- 20' X 20'
- 30' X 30'

www.victoryawning.net

FABRIC AWNING, COLOR - SANDSTONE, VALANCE STYLE - CONTEMPORARY

SYLVANIX
outdoor products inc™

FENCE COVER - SYLVANIX OUTDOOR PANEL -SOARSIGNATURE COLLECTION, COLOR - TYGER EYE

Part Code	CWPM6X96SFT	Material	PVC
Product Texture	Smooth	Weight	35
Pack Quantity	1 Pack	Shaft Width	6"
Height	96"	Actual Outside Width	5-3/4"
Bottom Base Height	9 5/8"	Actual Inside Width	4 3/4"
Top Cap Height	7 5/8"		

Specifications

- Installation Cleats are applied on the exterior of the shaft.
- Fypon Column Wraps won't twist with L-shaped installation methodology.

Cladding Board: 12' 0.8" X 6.1"

Butt Joint: 12' 1.5" X 3.5"

Inner Corner (Vertical): 12' 1.4" X 3.1"

Outer Corner (Vertical): 12' 3.5" X 3.5"

Edge Trim (Vertical): 12' 3.3" X 3.5"

Inner Corner (Horizontal): 12' 1.5" X 2.7"

Outer Corner (Horizontal): 12' 3.8" X 3.9"

F-Trim (Horizontal): 12' 2.5" X 3.5"



FYPON COLUMN WRAP

PremiumSelect Square Flat Panel

CWPM6X96SFT

SHAFT WIDTH: 6"

HEIGHT: 96"

QUANTITY: - 1 +



FYPON CAP AND BASE

Square Cap and Base Traditional

CWCB6TR

★★★★★ (0) Write a review Ask a question

LENGTH: 6"

QUANTITY: - 1 +

\$92.05

Pay in 4 interest-free installments of \$23.01 with shopify

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PROJECT NAME AND ADDRESS

MONZA OUTDOOR BAR
9108 CENTER STREET
MANASSAS, VA 20110

PROJECT #

PROJ#J24014

SEAL

COMMONWEALTH OF VIRGINIA
GARY SCOTT BRANKEE
PRO. NO. 0401016621
ARCHITECT

03.20.2024

REVISION DATE

ISSUE DATE

SHEET TITLE

LIGHT FIXTURES & FINISH MATERIAL CUT SHEETS

A500



MEETING MINUTES
CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD
SPECIAL MEETING
FRIDAY, OCTOBER 6, 2023 – 10:30 A.M.

CALL TO ORDER – 10:30 A.M.

Chairperson Alten called the meeting to order at 10:30 A.M. in front of Old Town Hall, at 9025 Center Street in Manassas, Virginia. The Board and Staff then walked to the site visit at 9403 Battle Street.

MEMBERS PRESENT

Chairperson, Jan Alten
Vice-Chair, Marci Settle
Myra Brent
Robert Carter
Stephen Hersch
Kenneth Jones
Sean Porter

MEMBERS ABSENT

Delbert Parks - Alternate

STAFF PRESENT

Gregory Bokan, AICP, Assistant Director of Planning & Development
Eric Lowe, City Building Official
Benjamin Walker, Planner II
Christen Miller, Boards & Commissions Clerk

NEW BUSINESS

ARB #2024-0002, 9403 Battle Street & 9108 Center Street

(Staff: Greg Bokan, AICP, Assistant Director of Planning & Development & Ben Walker, Planner II)

The Board gathered for a site visit in front of Old Town Hall, 9025 Center Street and walked to the case site at 9403 Battle Street. The applicant and co-owner showed plans and explained the work that was done. Staff asked if the Board had any recommendations for modifications to the work that was completed.

ARB Discussion:

Mr. Hersch commented on the scale and massing noting it gave an overwhelming/heavy feel and in general the overall materials and design provided an industrial look which is not compatible with the HOD. He commented that the brick enclosure was originally off-white but may have recently been painted pure white.

Ms. Brent commented that rebar should not be used.

Mr. Carter said the design of the bar should tie in more with the house.

Architectural Review Board Minutes – October 6, 2023

Mr. Porter said that the design could be altered to bring it into conformance with the Design Guidelines, (i.e. box in the steel to be a column with a base and capital, add wood boxed trim, soffit at the horizontal beam, and the back of the bar could be trimmed and more ornate than black steel.)

Mr. Hersch pointed out that the clay tiles have been painted white. He noted that tile is not appropriate anywhere.

Members of the Board commented that the new fence at the east end of the bar was not presented to the Board for approval prior to building. The Board noted that it should be replaced, along with the temporary barriers along Battle Street, with a more appropriate ornate black metal fence with finer detail similar to some of the surrounding properties in the HOD.

The Board requested a final design of the building addition that includes any additional planned alterations, to include the proposed stairs and railing next to the outdoor bar.


ADJOURNMENT

Chairperson **Alten** motioned to adjourn the meeting. The **MOTION CARRIED UNANIMOUSLY BY VOICE VOTE** and the meeting was adjourned at 11:35 A.M.



Jan Alten, Chairperson

November 21, 2023
Date



Christen Miller, Clerk

11/21/23
Date

CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD STAFF REPORT

ARB #2022-0031
9403 Battle Street
April 19, 2022



Summary of Request: Outdoor Bar

Applicant(s): Alice Pires

Site Owner(s): Alice Pires

Site Address: 9403 Battle Street

Site Location: Southeast intersection of Church Street and Battle Street

Year Built: 1890

Age of Structure: 132 years

Type of Structure: Landmark

CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD STAFF REPORT

ARB #2022-0031
9403 Battle Street
April 19, 2022



PROPERTY INFORMATION

Historical Significance – Constructed circa 1890 and known as the W.C. Wagener house, the structure is a two and a half stories, three bay, Queen Anne-style dwelling of wood frame construction, clad in weatherboard siding. There is decorative fish-scale wood siding under the gable ends. The structure was previously used as a residence but is being rehabilitated into a new mixed use 2 story restaurant and residential apartment building. The roof, which is clad in asphalt shingles, includes overhanging eaves, returning ogee cornice with raised frieze and scrolled brackets. Fenestration consists of a combination of 2/2 and 1/1 double hung windows, including wood, louvered shutters. A one-story canted bay frames the one-story, one-bay porch on the Battle Street elevation. The porch is set on brick piers and is capped with a half-hip roof.

Surrounding Properties -

Address	Designation	Notes
9108 Center St.	Contributing	Cocke's Pharmacy
9100 Center St.	Contributing	Conner Building
9350 Main St.	Contributing	Bull Run Unitarian Church
9113 Church St.	Non-contributing	
9402 Battle St.	Non-contributing	

REQUEST/PROPOSAL

This project proposes to add an outdoor bar on the existing outdoor patio. The proposed bar is 4 feet wide and 38 feet long. The counter top will be concrete material embedded with blue glass flakes. The supports of the bar will be black metal, with unfinished corrugated sheets. There is no proposed electricity or plumbing included in the project.

There are two proposed options for the bar. Option one is the preferred choice, placing the bar near the edge of the property bordering 9108 Center Street. Staff has consulted with the Engineering department, and there may be conflicts with the drainage system. Based on this feedback, the second option places the bar in an L-shape closer to the garage.

STAFF ANALYSIS

Although the guidelines do not speak to outdoor dining elements, the project components meet the intent of the guidelines. The main structure, a historic residential house converted to commercial use, is a designated landmark.

The bar fits into the commercial street-scape without distracting from the historic integrity of the house. The black metal supports, gray and blue colored counter top, and metal corrugated sheets are materials and designs seen throughout the historic district. Both proposed location options place the bar in areas that do not disrupt the rhythm of the street. Additionally, the bar enhances the pedestrian oriented design downtown strives to achieve.

CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD STAFF REPORT

ARB #2022-0031
9403 Battle Street
April 19, 2022



One suggestion is to paint the corrugated sheets to give the bar supports a finished appearance as unfinished metal is not typically seen in the historic district. However, Staff generally supports this proposal and both proposed locations of the bar.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the application as submitted.

Staff: Dorothy Baker, AICP, Planner

Contact Information: 703-257-8247, drbaker@manassasva.gov

Attachments:

1. Application
2. Bar Details
3. Placement Options
4. Existing Conditions
5. Historic Surveys



**CITY OF MANASSAS ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS**

Issued Date: April 19, 2022

Expires: April 19, 2024

ARB CASE #2022-0031

Owner(s): Battle and Church LLC
Applicant(s): Alice Pires
Site Address: 9403 Battle Street
Tax Map #: 101/01 00/427//

Motion: Mr. Hersch, Mr. Porter

Ayes: Mr. Hersch, Mr. Porter, Chairperson Alten, Vice-Chair Carter, Ms. Brent, Ms. Settle,

Recused: Mr. Pires

Approved Activity:

Outdoor Patio: Proposed bar is 4 feet wide and 38 feet long. The counter top will be concrete material embedded with blue glass flakes. The supports of the bar will be black metal, with black painted corrugated sheets.

Outdoor Patio Locations: Two proposed options were approved for the location of the bar. See attached pictures that show approved options.

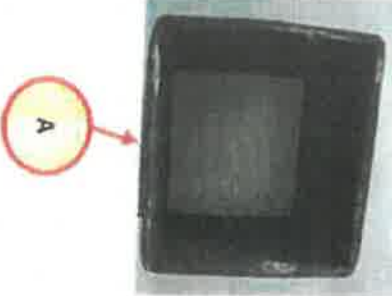
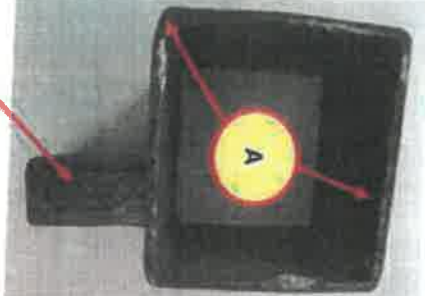
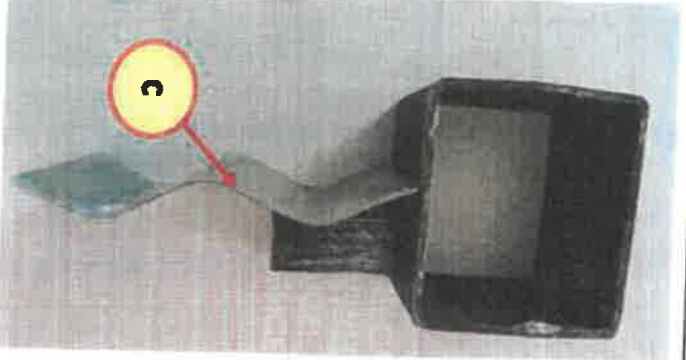
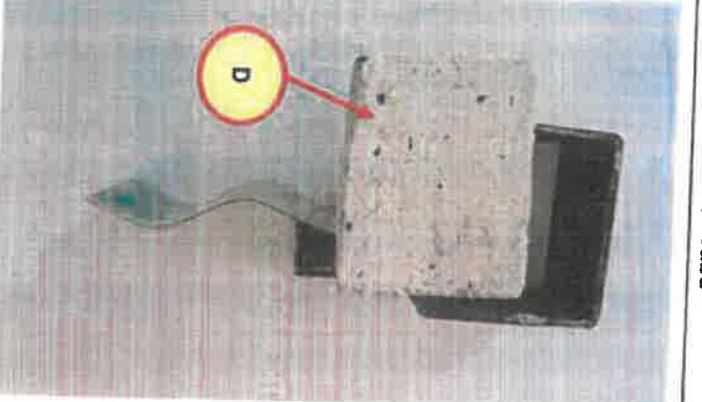

Jan Alten, Chairperson

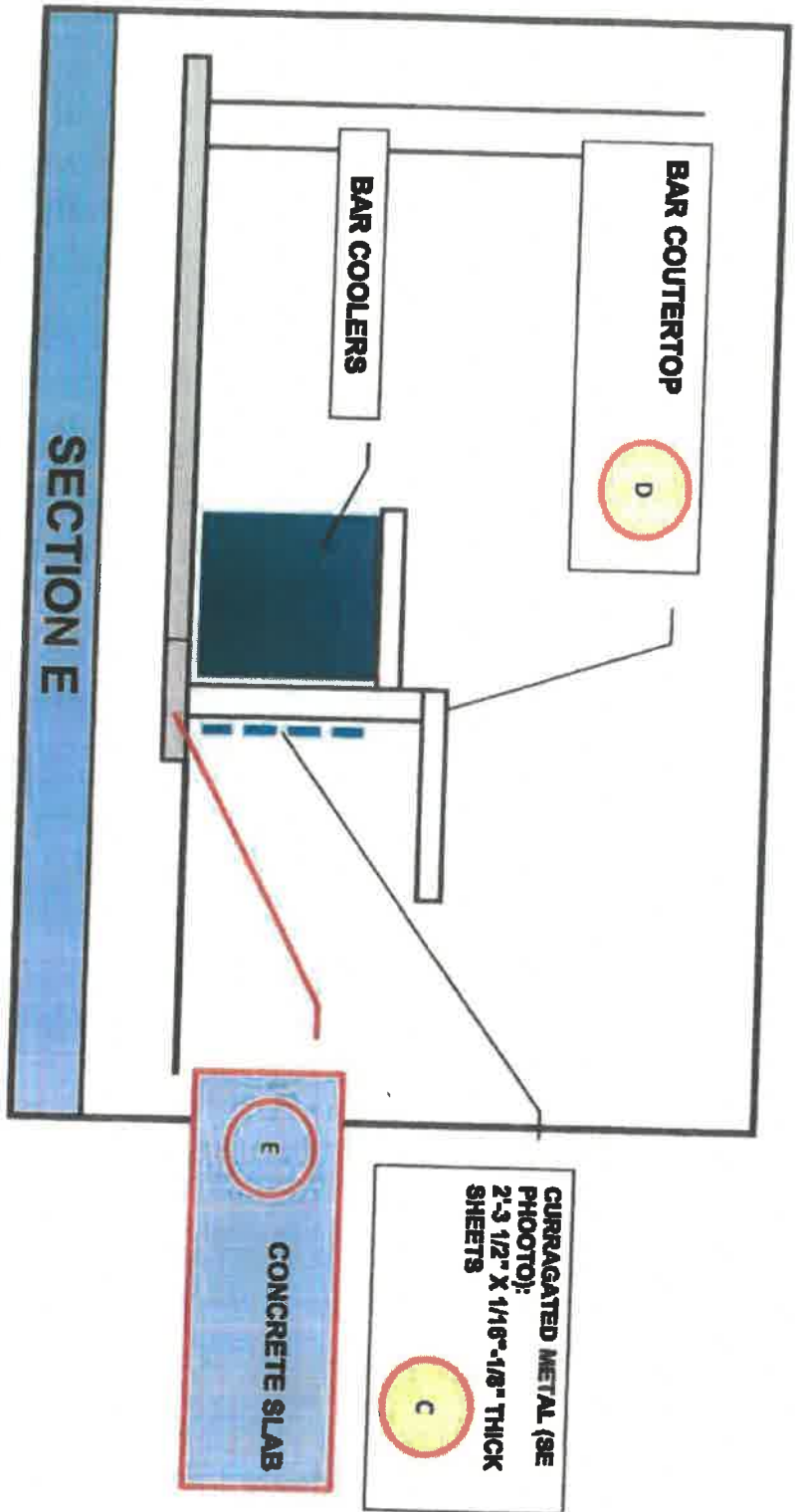

Christen Miller, Clerk

Attachments Enclosed: Bar Details and Placement Options

DATE: March 8, 2022
 TO: CITY OF MANASSAS
 PROJECT: MONZA BAR
 SUBJECT: MATERIALS USED

APPROVED DESIGN
 ARB CASE #: 2022-0031
 SIGNED: *M. Miller*
 DATE: 4/19/2022
 OFFICE OF COMMUNITY DEVELOPMENT

1	2	3	4
A - 3" x 3" Tube	B - 1" x 1" Tube A - 3" x 3" Tube	C - Corrugated Metal B - 1" x 1" Tube A - 3" x 3" Tube	D - Countertop C - Corrugated Metal B - 1" x 1" Tube A - 3" x 3" Tube
			



MONZA BAR - SECTION - E THROUGH BAR

APPROVED DESIGN
 ARB CASE #: 2002-0031
 SIGNED: *[Signature]*
 DATE: 4/19/2003
 OFFICE OF COMMUNITY DEVELOPMENT



City of Manassas

Building (Non-Residential) Permit

Permit #: BLDC-2023-0004
Issued Date: August 23, 2022
Project Address: 9403 BATTLE ST
 MANASSAS, VA 20110

Parcel #: 34978
Expiration Date: February 20, 2023
Project:

Owner: BATTLE AND CHURCH, LLC
Address: 9403 BATTLE ST
 MANASSAS, VA 20110

Contractor: Independent Excavation & Land Development
Address: 8201 Euclid AVE 302
 Manassas Park, VA 20111
Phone: 7033304704

SQ Ft: 0
Description: Exterior bar at north yard

Project Details
Valuation: \$0.00

Permit Fees		Amount	Paid	Due
Name				
State Training Surcharge		\$7.60	\$7.60	\$0.00
Interior Renovations/Alterations/Basement		\$230.00	\$230.00	\$0.00
Plan Review – All Other Construction Types		\$150.00	\$150.00	\$0.00
Training Surcharge		\$4.75	\$4.75	\$0.00
Totals:		\$392.35	\$392.35	\$0.00

The permit holder affirms that the activity proposed above will conform to all local, state, and federal requirements and as identified in this application and conditions for approval. Should the activity deviate from this approval, it is the permit holder's responsibility to submit a revised application for approval. Issuance of this permit does not negate compliance with or supersede any private covenants or restrictions attached to the land that would otherwise prohibit this activity.

Additional Information

Lien Agent: None Designated

Eric P. Lane

Approved _____

Date _____

B



PERMIT CORRECTIONS REPORT (BLDC-2023-0004) FOR CITY OF MANASSAS

PERMIT ADDRESS: 9403 Battle St
Manassas, VA 20110

APPLICATION 07/12/2022

DESCRIPTION: Exterior bar at north yard

COMMENT LETTER DATE: 07/27/2022 v.1

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Hazem Rahim	Independent Excavation & Land Development LLC	8201 Euclid Ave Manassas, VA 20111
Designer		S2R Architects PC	10486 Colonel Ct Manassas, VA 20110
General Contractor		Independent Excavation & Land Development LLC	8201 Euclid Ave Manassas Park, VA 20111
Owner		Battle And Church, LLC	9403 Battle St Manassas, VA 20110

Commercial Building Plan Review

Review Item	Status	Reviewer
Development Services - Building	Approved	
Development Services - Zoning	Corrections Needed	Dorothy Baker 703-257-8247 drbaker@manassasva.gov
1. Correction: ARB/HOD Approval v.1 corrective action	Comments: ARB/HOD Conformance Please note the colors and materials from COA 2022-0031. Please note that the black poles for the hanging light must be black metal.	



CITY OF MANASSAS
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLANNING & DEVELOPMENT
 9800 Godwin Drive
 Manassas, VA 20110
 Phone: 703-257-8278 Fax: 703-257-5831
www.manassasva.gov/permits
permitstatus@manassasva.gov

FOR STAFF USE ONLY

APPLICATION NUMBER BLDC-2022-0004
 BUILDING APPROVAL _____ APPROVAL DATE _____
 ZONING APPROVAL _____ APPROVAL DATE _____
 TOTAL OCCUPANCY _____ TOTAL PERMIT FEES \$ 392.35

JUL 06 2022

BY: _____

BUILDING PERMIT APPLICATION

Owner/Property Information

9108 Center St, Manassas, VA 20110 Monza Exterior Bar
 Property/Site Address Monza Restaurant apires1961@gmail.com 703-401-5289
 Property Owner Name Casey Cooke's Building Property Owner Email Address Property Owner Phone Number

Project Information

Monza Restaurant Monza Exterior Bar
 Tenant Name Monza Exterior Bar
 Subdivision / Project Name

New Addition Alteration/Repair Demolition Signs Foundation Other _____
 Type of Improvement

Residential Commercial/Industrial Public Other _____ Const. Type: R2
 Type of Construction (Ex: 1a, 1b, 2a, 2b, 3a, 3b, 4a, 4b, 5a, 5b)

330 B3 Yes No IBC IRC
 Use Group of Building Total Sq. Ft. Zoning District Suppression System Building Code Used

Is this building located in a Historic Overlay District? Yes No If yes, please provide ARB Case # 2022-0031
 Plans and Specifications attached Value of Work or Contract Cost: \$ 25,000

Project Description:
 Installing an Exterior Bar (6'x50') to serve drinks at the north yard owned by the restaurant.

Applicant Information

Independent Excavating & Land Development, LLC
 Applicant Name Architect Engineer Agent Monza Restaurant
 Business Name
8201 Euclid Court, Suite 302, Manassas Park, VA 20111
 Applicant Address 703-330-4704
 Applicant Phone Number
hrahim@index.land
 Applicant Email Address Alternate Phone Number

Contractor Information

Independent Excavating & Land Development, LLC hrahim@index.land 703-330-4704
 Contractor Name Contractor Email Address Contractor Phone Number
2705169138 hrahim@index.land A
 State Contractor License Number License Expiration Date Classification
01/31/2023
 City Business License Number License Expiration Date
 Note: City Business License Number is required if office is located in City OR if work inside the City exceeds \$25,000 in a calendar year or per permit/job
 Lien Agent? Yes No (If yes, please provide information below)
 Name _____ Address _____ Phone Number _____

Disclaimer and Signature

I hereby certify that I am the owner of record for the property listed on this application, or that have been authorized by the owner to make application as their authorized agent. I hereby certify that all information provided for the issuance of this permit is true and accurate and agree to conform to all applicable laws of the City of Manassas. For the work described in this application, I authorize the code official or their authorized representative to have the authority to enter areas covered by this permit at any reasonable time to inspect and enforce the provisions of the code.

Signature: _____ Date: _____



Department of Community Development

ARCHITECTURAL REVIEW BOARD

RESOLUTION

Adopted: November 9, 2016

WHEREAS, the Manassas City Architectural Review Board has received an application for a Certificate of Appropriateness from Battle & Church LLC / Tim Donlon, ARB Case #16-4000021, for the approval of an access ramp and wall, add light fixture, and replace the fence located at 9403 Battle Street & 9108 Center Street; and

WHEREAS, the plan has been recommended for approval as presented by the City administrative staff; and

WHEREAS, the intent of the request has been found in conformance with the intent and purpose of the City of Manassas Historic District and design guidelines to preserve and protect the community's history.

NOW, THEREFORE, BE IT RESOLVED by the Architectural Review Board of the City of Manassas meeting in regular session on November 9, 2016, APPROVE ARB Case #16-4000021 with the following modifications:

- The light fixture will measure 12"-14" in height
- The proposed brick will match the existing brick

William Rush
Chairman

Jamie Collins
Development Services Manager



Department of Community Development

ARCHITECTURAL REVIEW BOARD

CERTIFICATE OF APPROPRIATENESS

ARB CASE #16-4000021

At the regular meeting of the City of Manassas Architectural Review Board, the above referenced case was approved, and the Certificate of Appropriateness was authorized to be issued subject to the specifications as noted on the attached resolution.

- Applicant(s): Battle & Church LLC / Tim Donlon
- Site Address: 9403 Battle Street & 9108 Center Street
- Site Description: Located on the east side of Battle Street, between Church and Center Street
- Approved Activity: Access ramp and wall, add light fixture, and fence replacement
- Approved Date: November 9, 2016
- Expiration Date: November 9, 2018



 Jamie Collins
 Development Services Manager

City of Manassas

Manassas

Reconnaissance Level Survey

DHR Id # 155-0084, 155-0125

Resource Identification

Tax Parcel: 101/01 00/ 428B// /

Other Id#: 155-0161-0055, 155-0161-0057 **GPIN #** 7795-58-9828

Property Name(s): E. R. Conner's Market {Historic} Cocks's Pharmacy
 {Historic} Carmello's, 9108 Center Street {Current}

Property Date: circa 1890

Address(s): 9108 Center Street {Current}

County/Independent City: Manassas

City: Manassas

State, Zip: Virginia, 20108

USGS Quad Name: MANASSAS

Surrounding Area: City

National Register Eligibility Status

Property is Historic (50 years or older)
 Property is associated with the Local Manassas Historic District
 Contributing Property to Local Historic Landmarks List
 Property is associated with the National Register Manassas Historic District [district]

Resource Description

Ownership Status: Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	Interior	Metal	Stovepipe
Chimneys	N/A	N/A	N/A
Foundation	Solid	Brick	Stretcher
Roof	Flat with parapet	Not Visible	Not Visible
Porch	Awning	Wood	Shingles
Structural System	Masonry	Brick	6-course American
Windows	Double-Hung	Wood	6/6
Windows	Storefront	Metal	1-light

Site Description: Located in the commercial area of Old Town Manassas, the building is sited on a paved level lot. The east elevation of the building is attached to the building at 9100 Center Street.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Commercial Building	Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
1	Building	Contributing
1	Building	Non-Contributing

Individual Resource Information

WUZIT: Commercial Building

Est. Date of Construction: ... circa 1890

Accessed? No

Primary Resource? Yes

Number of Stories: 2

Architectural Style: Mission Revival

Condition: Fair

Interior Plan Type: Unknown

Threats to Resource: None Known

Description: The building at 9108 Center Street is comprised of three separate structures. The prominent Mission Revival-styled façade was added in the 1920s to the westernmost building. It is a two-story, three-bay, 6-course American-bond brick building with a 1920s stretcher-bond brick facade and brick quoins. It is covered by a flat roof with curvilinear parapet. Fenestration includes 6/6 double-hung wood windows with louvered shutters. Alterations include a second-story window with arch motif and a modern storefront with a false mansard roof. A two-story addition, constructed ca. 1950, is cinder block construction clad with 6-course American-bond brick veneer. It has a separate entrance from Battle Street and currently served as a kitchen. The two-story, three-bay center structure is masonry construction with a stretcher-bond brick façade. It is covered by a flat roof with a parapet that has a stretcher-bond brick cornice with dog-tooth brick work. Fenestration on the second story is 1/1 metal sash windows with segmental arches. The two-story, three-bay easternmost structure is constructed with 6-course American-bond. It is covered by a flat roof with a parapet. Decorative elements of the parapet include rusticated-concrete block and a stretcher-bond brick cornice with dog-tooth brick work. The first story on the façade has been rebuilt. The storefront windows have been replaced on all three buildings. Originally surveyed as two separate buildings, the Manassas National Register Historic District Nomination has two contributing properties for this building.

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Commerce/Trade

Time Period(s): Reconstruction and Growth (1865 to 1914)

Significance Statement: The commercial building at 9108 Center Street, constructed circa 1890, is representative of late nineteenth century commercial buildings in the City of Manassas. This building is one of the few commercial buildings in the local historic district that predate a devastating fire in 1905, which completely destroyed the town's commercial block bounded by Main, Center, and Battle Streets and the railroad. W.C. and B.D. Merchant had this store constructed in 1890 for use as a hardware store. Divided into three storefronts, the westernmost store was renovated in the 1920s to reflect the then-fashionable Mission style. Since its construction, the building has housed several hardware stores, Cocke's Pharmacy, and a restaurant. The storefronts on the first stories have been completely replaced. The 1920s alterations diminish the integrity of the building's design, materials, workmanship, and feeling; thus, the building must be evaluated as a 1920s Mission Revival-style structure. This property is a contributing property to Local Historic Landmarks List. This property is a contributing property to National Register Manassas Historic District. As a good example of a 1920s renovated commercial building in Manassas, the building at 9108 Center Street is Ranked Contributing.

Ownership Information

Cocke's Building, Inc.

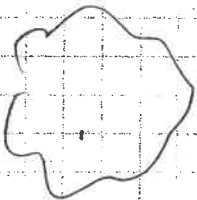
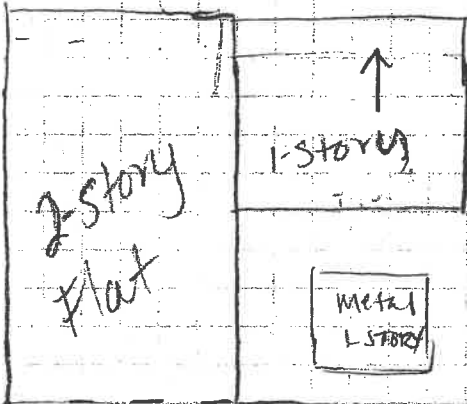
Graphic Media Documentation

Medium	Photo Roll	Negative Number	Photo Date
BW 35mm Photos	EHT 3	30,32	11/11/2005
Digital Photos	EHT 3	30,32	11/11/2005

CRM Event

Reconnaissance Survey EJ: EHT Tracerics, Inc. August 7, 2005

BATTLE ST



9108 CENTER

9100 CENTER

CENTER ST

N↑

155-0661-0057
 I.D. # (s) 7795-58-9828 Address 9108 Center Street

7795-58-9828



VIRGINIA
HISTORIC LANDMARKS COMMISSION

File no. 155-125
Negative no(s). 4908

SURVEY FORM

Historic name <u>Cocke's Pharmacy</u>	Common name <u>AKA Wittington's Hardware; Nash's Hardware; Nash & Fisher Hardware; Cocke's Drugs</u>
County/Town/City <u>Manassas</u>	
Street address or route number <u>9108 Center Street, Manassas, VA 22110</u>	
USGS Quad <u>Manassas</u>	Date or period <u>c1885-1895</u>
Original owner <u>W.C. & B.D. Merchant</u>	Architect/builder/craftsmen <u>W.C. & B.D. Merchant (Builders)</u>
Original use <u>Commercial Building</u>	
Present owner <u>Ernest C. Spitler, Jr.</u>	Source of name
Present owner address <u>914 West Street - Manassas, VA 22110</u>	Source of date <u>Architectural evidence; local historians.</u>
Present use <u>Commercial Building</u>	Stories <u>2 stories</u>
Acreage <u>1 lot</u>	Foundation and wall const'n <u>stone foundation; brick walls.</u>
	Roof type <u>Metal-covered shed roof.</u>

State condition of structure and environs Building is in good condition.

State potential threats to structure
Note any archaeological interest

Should be investigated for possible register potential? yes ___ no ___

Architectural description (Note significant features of plan, structural system and interior and exterior decoration. taking care to point out aspects not visible or clear from photographs. Explain nature and period of all alterations and additions. List any outbuildings and their approximate ages, cemeteries, etc.)

This is a 2-story brick commercial building, thought to have been constructed in the late 1880's or early 1890's. It has a 2-story addition to the rear, built in the 1940's or 50's. The front, which faces Center Street, is painted cream color with brown trim, and has a sculptured roofline which, along with the semi-circular arched window on the second floor, may date to the 1920's when a new front facade may have been added. (An early photograph shows a pair of 2/2 windows on the second floor front above a traditional store front, a moulded brick cornice, and a moulded wooden cornice above the first floor front.) The main entrance has modern, glass, store-front windows and a central entrance. Sheltering the front entrance is a cedar shingle-covered shed-roofed porch.

The long side, or west wall, which fronts on Battle Street is painted dark red and laid in 6-course American bond. It has a moulded brick cornice (which probably formerly continued around to the front) and, at the second floor, 6/6 sliding sash windows topped by jack arches. There is an old, unused display case converted from a window opening on the first floor. It is surrounded by plain box trim. Signs of two blocked openings, a door and a window, appear on this side near where the main building was joined to the 2-story addition. The windows, front and side, were previously 2/2 sliding sash, as can be seen in an early undated photograph taken in about 1910. Star-shaped metal ends of the building's lateral braces can be seen on the west wall (*tie rods*).

The 2-story addition, constructed in about 1950, of brick-faced cinder blocks, contains storage space, and has a separate outside entrance.

The interior consists of a large, open, shelf-lined sales area with a lunch counter dating to c1935 along the east wall. The first floor has a linoleum-covered floor, tile ceiling,

(Continued)

Interior inspected? Yes.

Historical significance (Chain of title; individuals, families, events, etc., associated with the property.)

Family tradition and local histories have it that W.C. and B.D. Merchant, brothers, came to Manassas after the Civil War and opened a store. Some say their first store was in the brick residence on Fairview Avenue, on the south side of the railroad, the W. Hill Brown House 155-31, in this survey. Others deny that this house was ever used as a store. The Merchant Brothers soon built a brick building on Main Street, possibly the oldest standing commercial building in Manassas. This building now houses Brady's Restaurant on the second floor and is located north of the railroad. Next the Merchants built the building now known as Cocke's Pharmacy. The Merchants had a hardware store there. Later it became Wittington's Hardware (c1895). In 1908 it was Nash's Hardware; then Nash and Fisher's Hardware; and finally Cocke's Drugstore.

Present owner Ernest Spitler purchased the building from George B. Cocke in 1965.

ARCHITECTURE (Cont.)

and florescent lights. The lunch counter has an "art deco" style food preparation counter, its walls veneered with satinwood and the ends of the counter having concealed florescent light fixtures behind thick, rippled glass reflectors. Behind the sales area is a prescription room, and behind that is storage space.

The second floor is presently unused.

Sources and bibliography

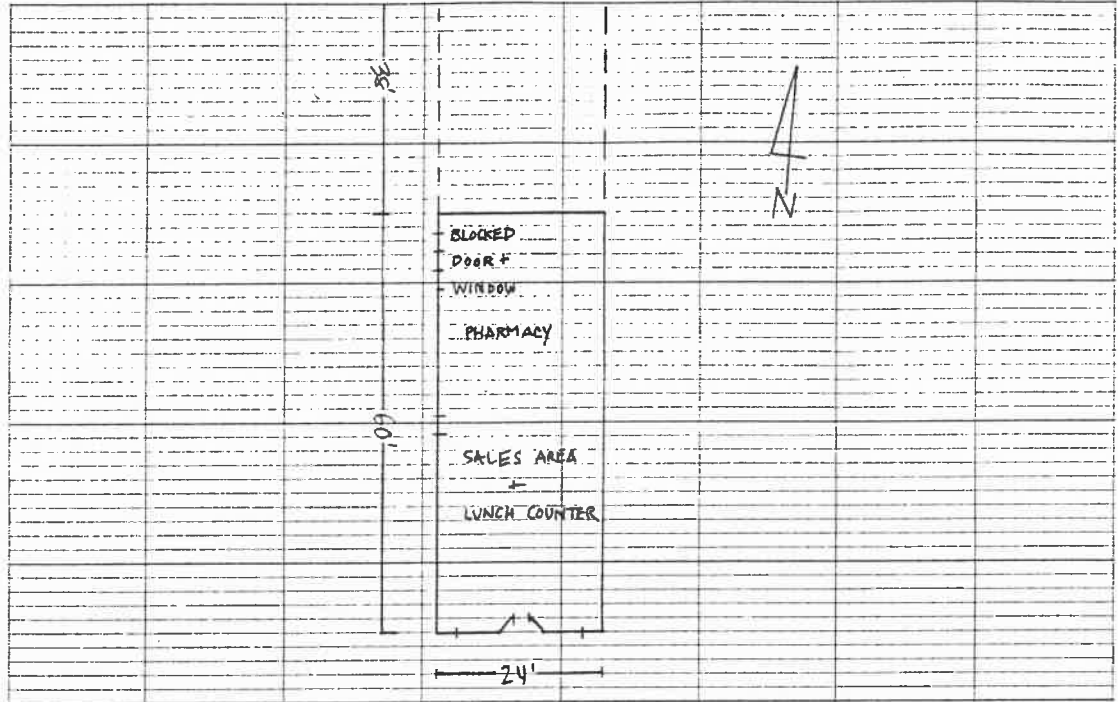
Published sources (Books, articles, etc., with bibliographic data.)

Ratcliffe, R.J., This Was Manassas (c1973), p. 35 and map on endcover.

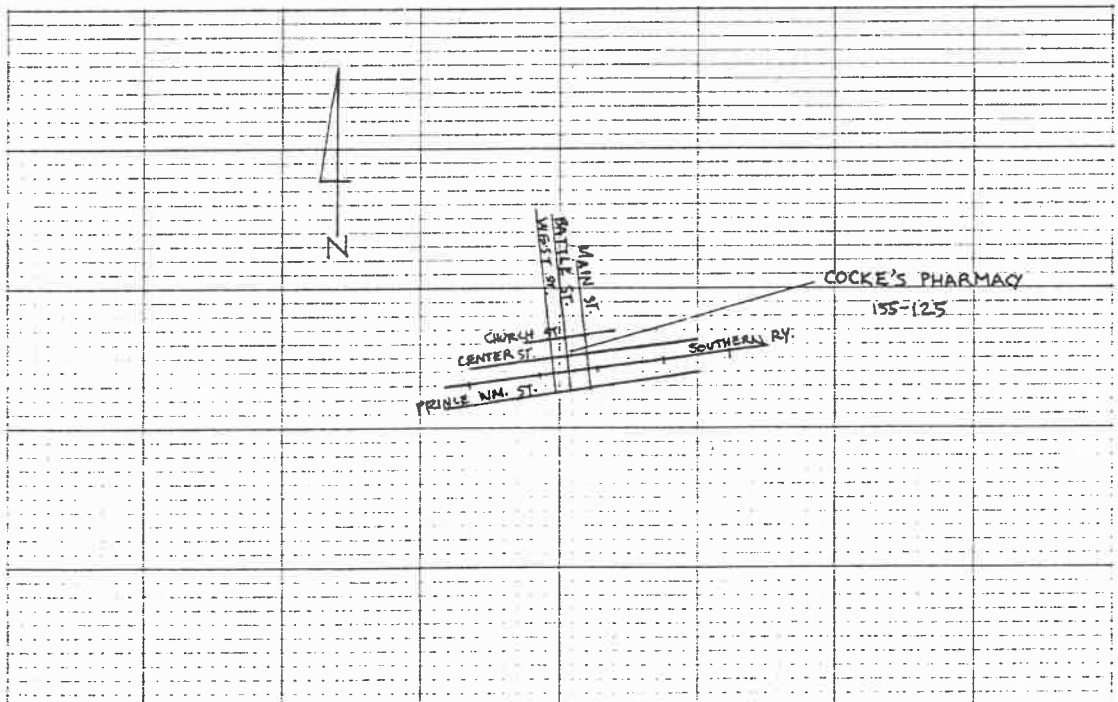
Primary sources (Manuscript documentary or graphic materials; give location.)

Names and addresses of persons interviewed Ratcliffe, R.J.; E.R. Conner, III, Manassas Museum; Jack Merchant, 9115 Grant Avenue, Manassas, VA

Plan (Indicate locations of rooms, doorways, windows, alterations, etc.)

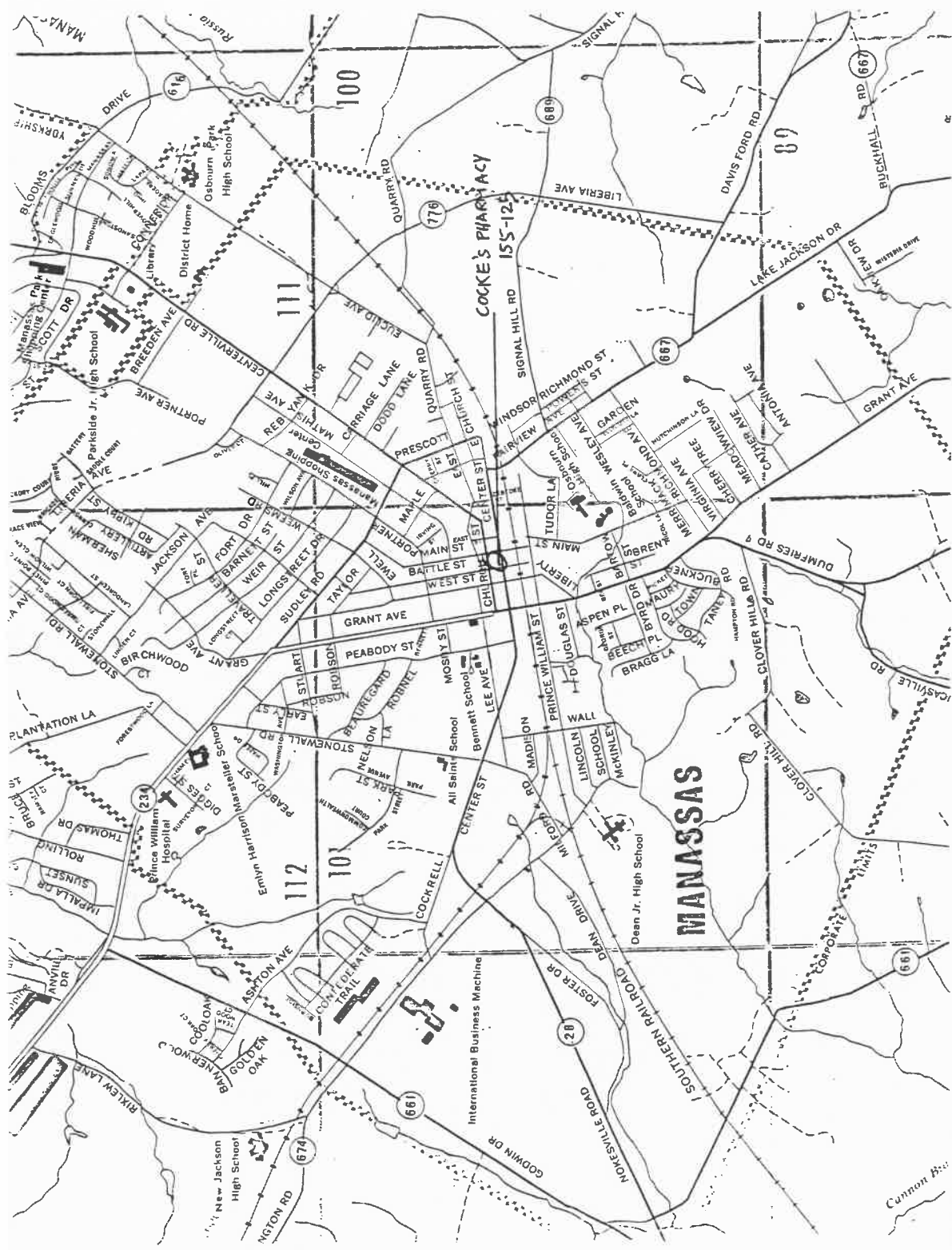


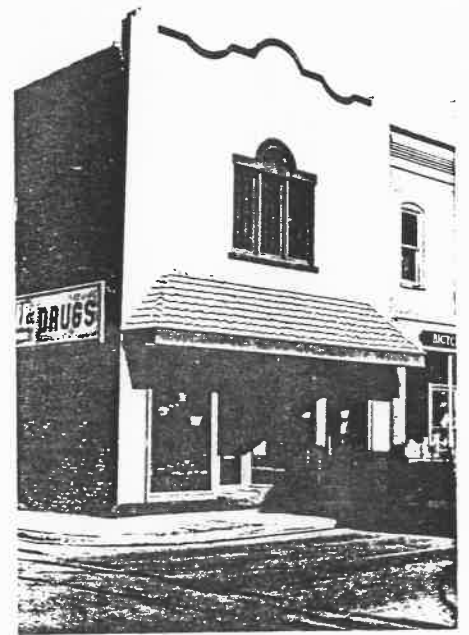
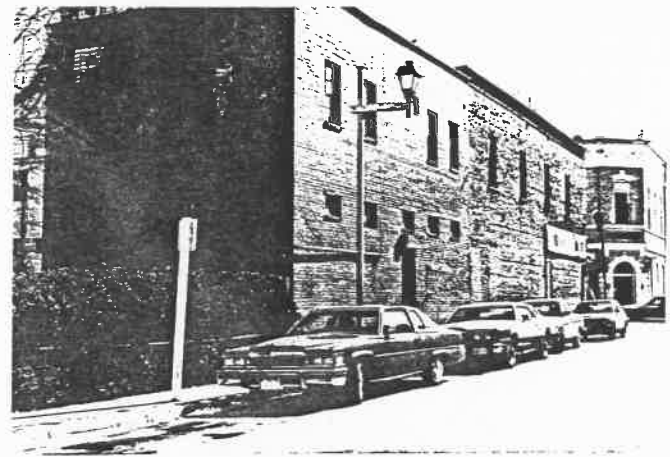
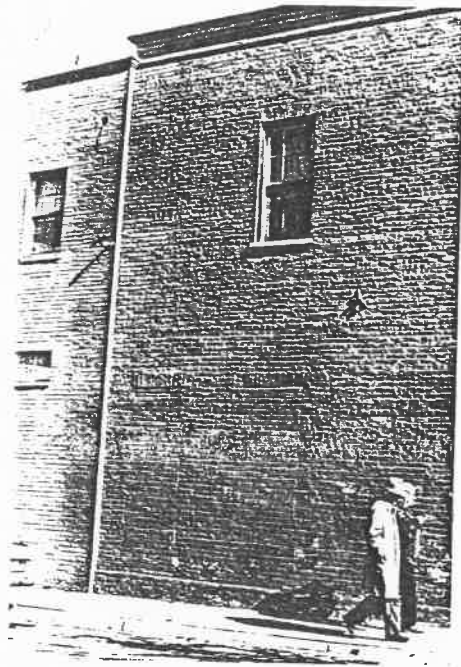
Site plan (Locate and identify outbuildings, dependencies and significant topographical features.)



Name, address and title of recorder: FANCES Jones, Architectural Historian - Surveyor, NYPDC

Date: JUN 1980





City of Manassas

Manassas

Reconnaissance Level Survey

DHR Id # 155-0038

Resource Identification

Tax Parcel: 101/01 00/ 427/ 11

Other Id#: 155-0161-0013

GPIN # 7795-58-9938

Property Name(s): W.C. Wagener House, 9403 Battle Street {Current}

Property Date: circa 1890

Address(s): 9403 Battle Street {Current}

County/Independent City: Manassas

City: Manassas

State, Zip: Virginia, 20108

USGS Quad Name..... MANASSAS

Surrounding Area: City

National Register Eligibility Status

Property is Historic (50 years or older)

Property is associated with the Local Manassas Historic District

Contributing Property to Local Historic Landmarks List

Property is associated with the National Register Manassas Historic District [district]

Resource Description

Ownership Status:..... Private

Primary Resource Exterior Component Description:

<u>Component</u>	<u>Comp Type/Form</u>	<u>Material</u>	<u>Material Treatment</u>
Chimneys	Interior	Brick	Corbelled Cap
Chimneys	Interior	Brick	Corbelled Cap
Foundation	Solid	Not Visible	Not Visible
Roof	Gable, Side	Asphalt	Shingle
Porch	1-story, 1-bay	Wood	Post, Turned
Structural System	Frame	Wood	Siding
Windows	Double-Hung	Wood	1/1
Windows	Double-Hung	Wood	2/2

Site Description:..... Located on the southeast corner of Church and Battle Streets, this building is sited on a large grassy lot. It is surrounded by landscaped mature trees and shrubs and is fronted with foundation plantings. A paved driveway is located at the eastern edge of the property and is accessed from Church Street. A wood fence encloses the property.

WUZIT Count:

<u>No.</u>	<u>Wuzit Types</u>	<u>Historic?</u>
1	Single Dwelling	Historic

NR Resource Count:

<u>#</u>	<u>NR Resource Type</u>	<u>Contributing Status</u>
1	Building	Contributing

Individual Resource Information

WUZIT:..... Single Dwelling

Est. Date of Construction: ... circa 1890

Primary Resource?..... Yes

Architectural Style:..... Queen Anne

Interior Plan Type: Unknown

Accessed? No

Number of Stories:..... 2.5

Condition: Good

Threats to Resource:..... None Known

Description: The two-and-one-half-story, three-bay Queen Anne-style single dwelling is wood-frame construction clad with weatherboard siding. The cornerboards have square capitals. The gable ends and projecting central gable have fish-scale shingles. It is covered by a side gable roof sheathed with asphalt shingles. Roof features include overhanging eaves, returning ogee cornice with a raised frieze and scrolled brackets. A clock is located in the projecting central gable. The 2/2 and 1/1 double-hung wood windows have pedimented lintels and wood louvered shutters. Pointed-arched windows are located in the gable ends. One-story canted bays frame the one-story, one-bay porch. The porch is set on brick piers and is capped by a half-hipped roof with ogee cornice, scrolled brackets, and double frieze. It is supported by turned posts with turned balusters. A two-story, wood-frame gable ell addition is attached to the east elevation. It has a boxed cornice and cornerboards with square capitals. The 2/2 double-hung wood windows have pedimented lintels. A one-story flat-roof enclosed side entrance is attached to the east elevation of the main block and the north elevation of the ell addition. A one-story addition, clad in aluminum siding and covered by a flat roof, connects the ell addition to a once free standing garage. Set on a concrete-block foundation, the one-story, two-bay now-attached garage is wood frame clad in aluminum siding. It is covered by a gable roof and has a returning boxed cornice and round wood louvers in the fish-scale-clad gable ends. Fenestration includes two roll-up doors and 2/2 double-hung wood sash window with wood louvered shutters. A one-story screened-in porch with square posts is attached to the south elevation.

Cemetery Information

National Register Eligibility Information (Intensive Level Survey)

Historic Context(s): Architecture/Community Planning, Domestic

Time Period(s): Reconstruction and Growth (1865 to 1914)

Significance Statement:

The W.C. Wagener House at 9403 Battle Street was constructed circa 1890. W.C. Wagener, a furniture and hardware store owner, established his business in Manassas in 1899. He also owned a tavern and was the Mayor of Manassas from 1901 to 1905. The Wagener House is an excellent representative of a late-nineteenth-century domestic form popular in Manassas. The form was three bays wide, two bays deep, with a central entry located in a square projecting tower topped by an open pedimented gable roof with scrolled brackets. This is the most intact example of the form documented in Manassas. This property is a contributing property to Local Historic Landmarks List. This property is a contributing property to National Register Manassas Historic District. As an excellent example of a specific domestic form, which illustrated the Queen Anne style, and because of its association with W.C. Wagener, the house at 9403 Battle Street is Ranked Notable. An intensive-level interior survey and research are recommended.

Ownership Information

Bodenhamer, Claude D. & Diane K.

Graphic Media Documentation

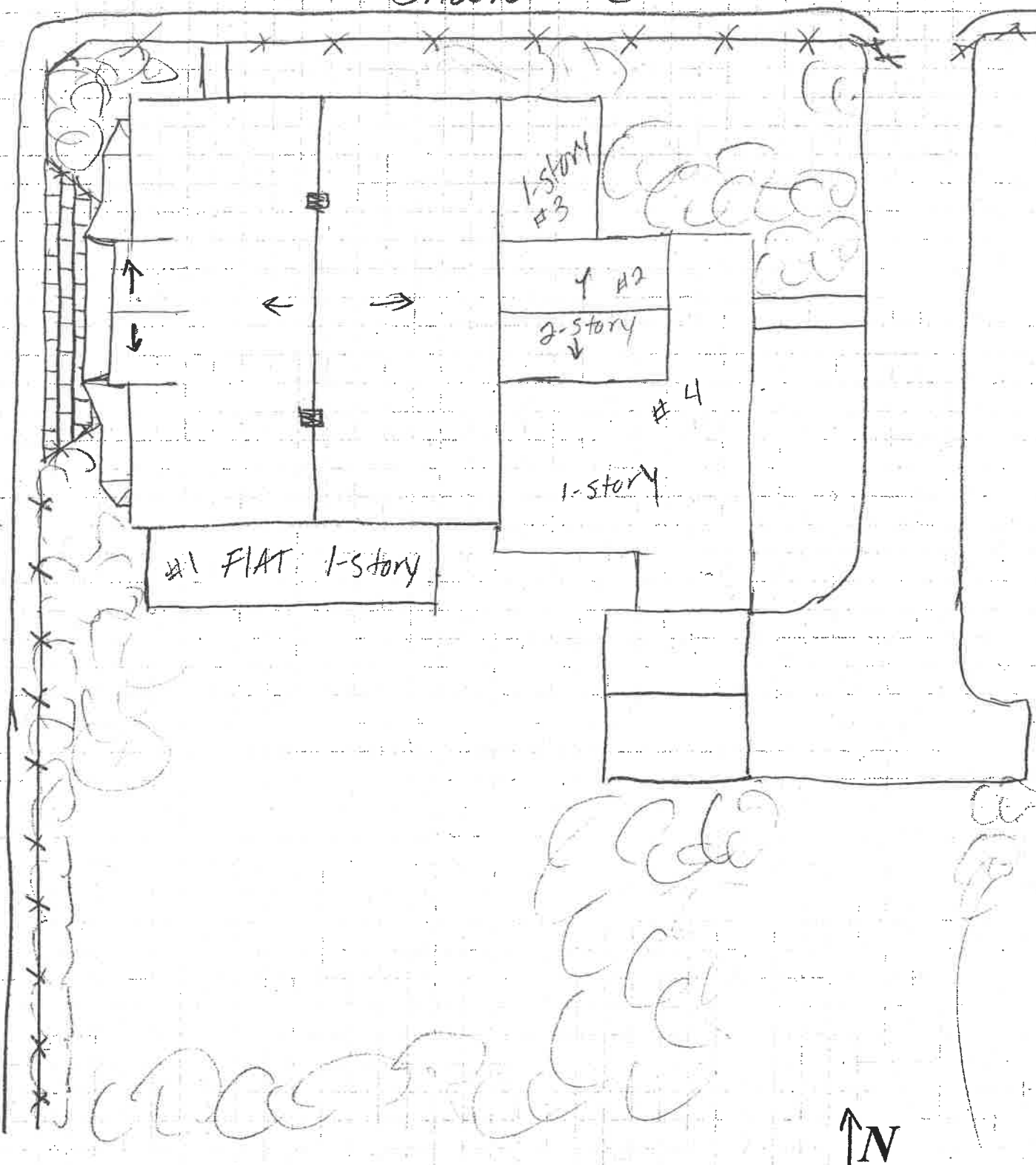
Medium	Photo Roll	Negative Number	Photo Date
BW 35mm Photos	EHT 32	16-18	12/20/2005
Digital Photos	EHT 32	16-18	12/20/2005

CRM Event

Reconnaissance Survey EJ: EHT Tracerics, Inc. September 2, 2005

Church St

Battle St



I.D. # (s) 7795-58-9938

Address 9403 BATTLE STREET

7795-58-9938



VIRGINIA HISTORIC LANDMARK COMMISSION

 File no. 155-38
 Negative no(s). 4367, 43

SURVEY FORM

Historic name	W.C. Wagener House	Common name AKA	Wagener-McBryde House
County/Town/City	Manassas		
Street address or route number	9403 Battle St., Manassas		
USGS Quad	Manassas	Date or period	c1890-1900
Original owner	W.C. Wagener	Architect/builder/craftsmen	
Original use	Residence		
Present owner	Amelia McBryde	Source of name	Previous owner
Present owner address	9403 Battle St. Manassas, VA.	Source of date	
Present use	Residence	Stories	2 stories
Acreage	-1 acre.	Foundation and wall const'n	Stone foundation, frame wa.
		Roof type	Asphalt shingle-covered gable roof.

State condition of structure and environs House and grounds in good condition.

State potential threats to structure
 Note any archaeological interest

Should be investigated for possible register potential? yes ___ no ___

Architectural description (Note significant features of plan, structural system and interior and exterior decoration, taking care to point out aspects not visible or clear from photographs. Explain nature and period of all alterations and additions. List any outbuildings and their approximate ages, cemeteries, etc.)

A two-story wing or addition on the south end, seen in 1911 historical photo and thought to be older than the rest of the house, was removed to the rear of the house. South end now has a one-story porch only. One-story addition to east side of house opening onto Church Street.

Present owners redecorated house throughout, sanded and refinished the floors, rewired and insulated it, and installed a furnace and new bathrooms. Wageners closed off fireplaced but left mantels.

Interior inspected?

Historical significance (Chain of title; individuals, families, events, etc., associated with the property.)

W.C. Wagener, a furniture and hardware store owner who established his business in Manassas in 1899 (although R.J. Ratcliffe identifies Wagener's store in his map of Manassas in 1895), probably had this house built in the late 1890's or early 1900's. Present owners purchased it in 1936. *W.C. Wagener also owned a tavern in Manassas, and was Mayor of the City 1901-1905.*

It is remarkable that this house, located where it is, has been so little changed and continues in use as a residence.



March 1, 2024 – March 31, 2024
Architectural Review Board
Monthly Administrative & Enforcement Update

Zoning Permits

Address	Property Type	Type of Permit	Work Completed	Status	Date Issued
9209 Center Street	Contributing	Zoning	Window Sign	Issued	03/06/2024
9212 Center Street	Not Surveyed/Non-Contributing	Zoning	Installed new metal door	Issued	03/20/2024

Building Permits

Address	Property Type	Type of Permit	Work Completed	Status	Date Issued
9309 Center Street	Non-Contributing	Building	Wall Sign (ARB 2024-0009)	Issued	03/06/2024
9215 Prescott Avenue	Contributing	Building	Temporary Structure – Gazebo	Issued	03/27/2024
9112 Center Street	Landmark; Contributing	Building	Alterations for restaurant (ARB 2023-0003 & 0019)	Issued	03/26/2024
9110 Center Street	Landmark; Contributing	Building	Alterations for restaurant (ARB 2023-0003 & 0019)	Issued	03/26/2024

Property Code Enforcement Cases

Address	Property Type	Type of Violation	Comments	Status	Date Issued or Closed
9301 Prescott Avenue	Non-Contributing	Work Without Permits	Replacing siding (approved last month ARB 2024-0011)	Active	03/12/2024
9017 Grant Avenue	Contributing	Zoning - Civil	Exterior work – Siding and Windows	Active	03/21/2024
9307 Center Street	Contributing	Zoning - Civil	Exterior work – Roof	Active	03/29/2024