

Village of Mukwonago
Notice of Meeting and Agenda

PLAN COMMISSION MEETING
Tuesday, March 12, 2024

Time: **6:30 pm**

Place: **Mukwonago Municipal Building, Board Room, 440 River Crest Ct**

1. Call to Order

2. Roll Call

3. Comments from the Public

Please be advised, per Wisconsin Statute Sec. 19.84(2), information and comment will be received from the public by the Plan Commission. The Public Comment Session is granted to the public at the start of each Plan Commission meeting. The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. However, these time limits may be extended at the discretion of the Chief Presiding Officer. The Plan Commission may not respond to or have any discussion on information received during the public comment session unless it is placed upon the Agenda for a subsequent meeting. Public comments should be addressed to the Plan Commission as a body. Presentations shall not deal in personalities personal attacks on members of the Plan Commission, the applicant for any project or Village Employees. Comments shall not be used to engage others in a debate in this forum. All comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Plan Commission or Staff will be deemed out of order by the Presiding Officer.

4. Approval of Minutes

- 4.1 Discussion and possible approval of regular meeting minutes from February 13, 2024, special meeting minutes from February 21, 2024.

[20240213 PlanCommissionMinutesDraft.pdf](#)

[20240221 PlanCommissionMinutesDraft.pdf](#)

5. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.

- 5.1 Public Hearing for rezoning request for a parcel located at E Wolf Run and Maple Ave (MUKV 2013-995-001), from B-4 Commercial Business Design District to B-3 Commercial Business District, DC Properties LLC, applicant (Darwin Greenwald, agent).

[Greenwald Rezone PH Notice.pdf](#)

6. New Business

Discussion and Possible Action on the Following Items

- 6.1 Discussion and possible recommendation to the Village Board to approve **ORDINANCE 1031** for rezoning request for a parcel located at E Wolf Run and Maple Ave (MUKV 2013-995-001), from B-4 Commercial Business Design District to B-3 Commercial Business District, DC Properties LLC, applicant (Darwin Greenwald, agent).
[Staff_-_Greenwald_-_Rezoning.pdf](#)
[Owner Acknowledgement](#)
[ORDINANCE 1031 - Rezoning_Greenwald.pdf](#)
- 6.2 Discussion and possible approval of **PC-RESOLUTION 2024-02** for Site Plan and Architectural Review request for a parcel located at 110 Main St. (MUKV 1976-112), for Crush Holdings LLC, applicant (Paul Kwiecien, agent).
[Staff_-_SPAR_-_Architectural_110_Main_St.pdf](#)
[Existing_Views.pdf](#)
[Concept Future Views.pdf](#)
[PC-RESOLUTION 2024-02_SPAR_-_110_Main_St.pdf](#)
- 6.3 Discussion and possible recommendation to the Village Board to approve **RESOLUTION 2024-16** for an Extraterritorial Certified Survey Map Review request for a parcel located at W833 CTY TK L in the Town of East Troy (PET1400007B), for Gunars Valters (owner), by Lantech Surveying, applicant (Matt O'Rourke, agent).
[Staff_-_Valters_ETZ \(2\).pdf](#)
[121822_20240124_Map.pdf](#)
[Town of East Troy Approval.pdf](#)
[121822_20240202_CSM_Review_Letter.pdf](#)
[RESOLUTION 2024-16 - ETZ Valters Town of East Troy.pdf](#)
- 6.4 Discussion and possible recommendation to the Village Board to approve **RESOLUTION 2024-17** for a Certified Survey Map Review request to combine the parcels located at 621 and 639 Baxter Dr (MUKV 1970-998-019 & MUKV 1970-998-020), for Adelhelm Lubriccoat (owner), by Keller Inc., applicant (Luke Sebald, agent).
[Staff_-_CSM_-_Adelhelm.pdf](#)
[CSM - Adelhelm.pdf](#)
[RESOLUTION 2024-17 - CSM 621-639 Baxter Dr.pdf](#)
- 6.5 Discussion and possible approval of **PC-RESOLUTION 2024-04** for a Site Plan and Architectural Review request to build an addition on the parcels located at 621 and 639 Baxter Dr (MUKV 1970-998-019 & MUKV 1970-998-020), for Adelhelm Lubriccoat (owner), by Keller Inc., applicant (Luke Sebald, agent).
[Staff_-_SPAR_-_Adelhelm.pdf](#)
[Addition Narrative](#)
[Civil Plans.pdf](#)
[Combined Site Plans.pdf](#)
[PC-RESOLUTION 2024-04 - Adelhelm SPAR.pdf](#)

- 6.6 Discussion and possible denial of a Site Plan and Architectural Review request to build an accessory structure (**PC-RESOLUTION 2024-03**) on the parcel located at 909 Perkins Dr (MUKV 1969-996-005), for L'Bri (owner), by Endpoint Solutions and Campbell Construction (engineer/contractor).

[Staff_-_SPAR_-_L_Bri_Acc._Str. \(2\).pdf](#)

[Combined items.pdf](#)

[PC-RESOLUTION 2024-03 - SPAR_-_L_Bri_Acc._Str..pdf](#)

- 6.7 Discussion and possible recommendation to the Village Board for approval of **RESOLUTION 2024-18** for a Preliminary Plat Review of the lands located at S92W27720 Edgewood Ave (per Ord. 1030), for the Hein Development by Neumann Development Inc., applicant (Bryan Lindgren, agent).

[Staff Report for Cardinal Crest Subdivision.pdf](#)

[Combined attachments.pdf](#)

[RESOLUTION 2024-18 Hein-Neumann Prelim_Plat.pdf](#)

- 6.8 Zoning Code Update Review/Binder Handout

7. Adjournment

Membership:

Eric Brill, John Meiners, Karl Kettner, Mark Penzkover, Tim Rutenbeck, Jason Wamser, Fred Winchowky, and Village Planner (Advisory)

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

MINUTES OF THE PLAN COMMISSION MEETING

Tuesday, February 13, 2024

Call to Order

President Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present: Fred Winchowky, Chairman
Jason Wamser
Eric Brill
Tim Rutenbeck
Karl Kettner
John Meiners
Mark Penzkover

Excused:

Also present: Diana Dykstra, Interim Administrator, Clerk-Treasurer
Ron Bittner, Director of Public Works
Tim Schwecke, CiviTech Consulting
Linda Gourdoux, Deputy Clerk/Treasurer

Comments from the Public

No Comments
Closed at 6:31 pm

Approval of Minutes

Motion by Meiners/Brill to approve minutes from December 12, 2023 regular meeting, carried.

Public Hearings

Public Hearing for Comprehensive Plan 2035 Amendment for the future land use of the Hein Property, from Low Density Multi-Family Residential to Small Lot Single Family, located at S92W27720 Edgewood Dr; Parcel MUKV 2091-995; Neumann Development, applicant.

No Comments
Closed 6:33 pm

Public Hearing for Rezoning of the Hein Development located on Edgewood Ave; Parcel MUKV 2091-995; from A-1 Agricultural District to R-3 Single-Family Lot Residential District by Neumann Development, applicant.

No Comments
Closed at 6:34 pm

Public Hearing for Conditional Use for a structure located at 360 McKenzie Rd; Parcel MUKV 1972-999; Village of Mukwonago-Miniwaukan Park; Ron Bittner, Public Works Director, applicant.

No Comments
Closed at 6:35 pm

New Business

Discussion and possible recommendation to the Village Board for ORDINANCE 1026 for a Comprehensive Plan Amendment for Neumann Companies; Edgewood Ave; Parcel MUKV 2091-995.

Dykstra gave overview of project.

Motion Meiners/Penzkover to recommend to Village Board to approve ORDINANCE 1026 for a Comprehensive Plan Amendment for Neumann Companies; Edgewood Ave; Parcel MUKV 2091-995., unanimously carried.

Discussion and possible recommendation to the Village Board for ORDINANCE 1027 for a Rezoning from A-1 Agricultural District to R-3 Single-Family Lot Residential District for Neumann Companies; Edgewood Ave; Parcel MUK V2091-995.

Dykstra gave overview of project.

Motion by Meiners/Penzkover to recommend to the Village Board to approve ORDINANCE 1027 for a Rezoning from A-1 Agricultural District to R-3 Single-Family Lot Residential District for Neumann Companies; Edgewood Ave; Parcel MUK V2091-995, unanimously carried.

Discussion and possible recommendation to the Village Board for RESOLUTION 2024-04 for a Conditional Use Permit for a structure by Village of Mukwonago-Miniwaukan; 360 McKenzie Rd; Parcel MUKV 1972-999.

Bittner gave overview of project.

Motion Meiners/Brill to recommend to the Village Board to approve RESOLUTION 2024-04 for a Conditional Use Permit for a structure by Village of Mukwonago-Miniwaukan; 360 McKenzie Rd; Parcel MUKV 1972-999, unanimously carried.

Discussion and possible approval for PC-RESOLUTION 2024-01 for a Site Plan and Architectural Review for a structure within a park (garage) by Village of Mukwonago; 360 McKenzie Rd; Parcel MUKV 1972-999.

Bittner gave overview of project.

Motion by Meiners/Penzkover to approve PC-RESOLUTION 2024-01 for a Site Plan and Architectural Review for a structure within a park (garage) by Village of Mukwonago; 360 McKenzie Rd; Parcel MUKV 1972-999, unanimously carried.

Discussion and possible recommendation to the Village Board to approve RESOLUTION 2024-05 for an Extraterritorial Review for a three-lot Certified Survey Map located at N8952 E Mirimar Dr in the Town of East Troy, by Mike Greeson-V2G Surveying, applicant.

Dykstra gave overview of project.

Motion by Penzkover/Rutenbeck to recommend to the Village Board to approve RESOLUTION 2024-05 for an Extraterritorial Review for a three-lot Certified Survey Map located at N8952 E Mirimar Dr in the Town of East Troy, by Mike Greeson-V2G Surveying, applicant, unanimously carried. (Meiners expressed concern regarding sewer)

The application for the Planned Unit Development at 1271 Honeywell Road; Parcels MUKV 2011-990 and MUKV 2011-992-013; Warren Hansen, applicant, has been withdrawn. *Information Only*

Sign and Zoning Code Overview

Schwecke gave overview of project to date.

Discussion on changing the date of August 13, 2024 Plan Commission meeting. Meeting will conflict with August Primary Election.

Motion by Meiners/Brill to change the date of the August Plan Commission meeting to August 12, 2024 at 6:30 pm, unanimously carried.

Adjournment

Meeting adjourned at 7:34 p.m.

Respectfully Submitted,
Linda Gourdoux, WCMC, CMC
Deputy Clerk/Treasurer

DRAFT

MINUTES OF THE PLAN COMMISSION MEETING

Wednesday, February 21, 2024

Call to Order

President Winchowky called the meeting to order at 5:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present: Fred Winchowky, Chairman
Jason Wamser
Eric Brill
Tim Rutenbeck
Karl Kettner
John Meiners (arrived 5:34 pm)

Excused: Mark Penzkover

Also present: Diana Dykstra, Interim Administrator, Clerk-Treasurer
Erin Scharf, Planner
Linda Gourdoux, Deputy Clerk/Treasurer

Comments from the Public

No Comments
Closed at 5:31 pm

Public Hearings

Public Hearing for a Comprehensive Plan 2035 Amendment request for the future land use of a property from Low Intensity Commercial/Business with a Business Mixed Use Overlay to Government and Institutional, located at 917-919 Main St (MUKV 2009-964), submitted by Mukwonago Area School District (future owner).

No Comments
Closed 5:33 pm

Public Hearing for a Rezoning request for the property located at 917-919 Main St (MUKV 2009-964), from B-2 General Business District to P-1 Public and Semipublic District by applicant (Mukwonago Area School District, future owner).

No Comments
Closed at 5:34 pm

Public Hearing for a Conditional Use request for a School located at 917-919 Main St (MUKV 2009-964), by Mukwonago Area School District (applicant/future owner).

No Comments
Closed at 5:35 pm

New Business

Discussion and possible recommendation to the Village Board to approve ORDINANCE 1028 for the request to Amend the 2035 Comprehensive Plan for the future land use of a property located at 917-919 Main St (MUKV 2009-964), from Low Intensity Commercial/Business with a Business Mixed Use Overlay to Government and Institutional, submitted by Mukwonago Area School District (future owner).

Scharf gave overview of project.

Tom Karthausser, MASD, gave overview of project.

Motion Meiners/Brill to recommend to Village Board to approve ORDINANCE 1028 or the request to Amend the 2035 Comprehensive Plan for the future land use of a property located at 917-919 Main St (MUKV 2009-964), from Low Intensity Commercial/Business with a Business Mixed Use Overlay to Government and Institutional, submitted by Mukwonago Area School District (future owner), unanimously carried.

Discussion and possible recommendation to the Village Board to approve ORDINANCE 1029 for the request to rezone the property located at 917-919 Main St; Parcel MUKV 2009-964; from B-2 General Business District to P-1 Public and Semipublic District, submitted by Mukwonago Area School District (future owner).

Scharf gave overview of project.

Motion by Meiners/Brill to recommend to the Village Board to approve ORDINANCE 1028 for the request to rezone the property located at 917-919 Main St; Parcel MUKV 2009-964; from B-2 General Business District to P-1 Public and Semipublic District, submitted by Mukwonago Area School District (future owner), unanimously carried.

Discussion and possible recommendation to the Village Board to approve RESOLUTION 2024-06 for the Conditional Use request for a school at the property located at 917-919 Main St (MUKV2009964), submitted by Mukwonago Area School District (future owner).

Scharf gave overview of project.

Motion Meiners/Brill to recommend to the Village Board to approve RESOLUTION 2024-04 for the Conditional Use request for a school at the property located at 917-919 Main St (MUKV2009964), submitted by Mukwonago Area School District (future owner), with the amendment to state 30 students maximum, unanimously carried.

Adjournment

Meeting adjourned at 5:47 p.m.

Respectfully Submitted,
Linda Gourdoux, WCMC, CMC
Deputy Clerk/Treasurer

NOTICE OF PUBLIC HEARINGS
VILLAGE OF MUKWONAGO PLAN COMMISSION

The Village of Mukwonago Plan Commission will conduct a public hearing on Tuesday, March 12, 2024, for the following:

Rezoning request for a parcel located at E Wolf Run and Maple Ave (MUKV2013995001), from B-4 Commercial Business Design District to B-3 Commercial Business District, by DC Properties LLC, applicant (Darwin Greenwald, agent).

The meeting will be held in the Board Room of the Village Hall located at 440 River Crest Court, Mukwonago, Waukesha and Walworth counties. The meeting starts at 6:30 pm and the public hearings will be conducted in the order listed on the meeting agenda.

For information regarding these public hearings, contact the Village Planner/Zoning Administrator, at planner@villageofmukwonago.gov or 262-363-6420 *2111 during regular office hours. All interested parties will be heard.

Notice was sent to property owners within 250 feet of the property and surrounding municipality Clerk's within 1000 feet of the Village of Mukwonago boundary.

Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, please contact, Diana Dykstra, at 262-363-6420.

VILLAGE OF MUKWONAGO
Diana Dykstra, Clerk-Treasurer

Legal notice to be published in the *Waukesha Freeman* on February 20 and February 27, 2024.



PLANNING COMMISSION

March 12, 2024, at 6:30 pm
Mukwonago, WI

ZONING MAP AMENDMENTS

MUKV2013995001

Project Summary

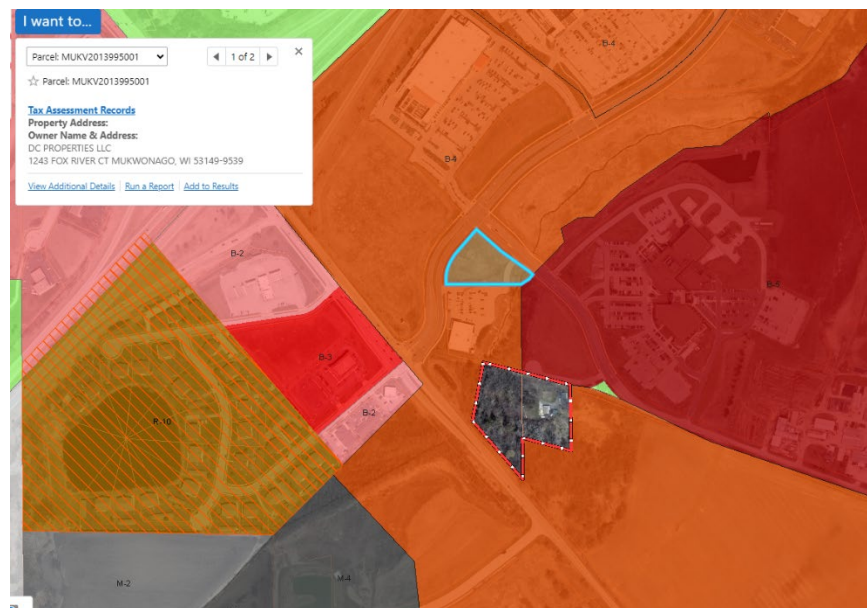
Request:	Rezoning
Applicant:	Darwin Greenwald of DC Properties
Location:	Southwest corner of Maple Ave and E Wolf Run
Acreage:	Parcel A: 2.8607 acres and Parcel B: 5.4297 acres
Current Use:	Business Commercial
Zoning Classification:	B-4 Commercial Business Design District

Planning Staff Review

Rezoning The applicant is petitioning to rezone the parcel at the Southwest corner of Maple Ave and E Wolf Run from B-4 (Commercial Business Design) district to B-3 (Community Business) district.

The request to rezone this parcel to allow for development. It was found to be a substandard parcel and zoned B-4 since this area was developed. Prior to that it was farmland. The lot area does not meet the minimum square footage requirement for a B-4 lot. It is unable to be designated as a satellite lot without incorporating it into a larger development. It appears that this occurred when E Wolf Run was built in the early 2000's and Maple Ave was expanded at the intersection. We do know that this was not subdivided from the Aldi parcel when that development occurred. The current easement does not affect future development.

Lot Area: 1.798 (78,320sf) B-4 Lot Area Min: 3 Acres (130,680 sf) B-3 Lot Area Min: 0.918 Acres (40,000 sf)



Recommendation:

Recommend approval to the Village Board for the proposed rezoning of the parcel at the Southwest corner of Maple Ave and E Wolf Run (MUKV2013995001) from B-4 (Commercial Business Design) district to B-3 (Community Business) district as set forth in Ordinance 2024-xx (as drafted OR as amended).

Attachments

1. Draft Ordinance 2024-xx

From: [Darwin Greenwald](#)
To: [Erin Scharf](#)
Subject: Rezoning of parcel MUKV2013995001
Date: Tuesday, February 13, 2024 8:09:29 AM

**CAUTION: This email originated from outside the organization.
Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Erin,

I am requesting that the village petition a rezoning of parcel MUKV2013995001 from B-4 to B-3 for potential development.

Thank you,

Darwin Greenwald
DC Properties, LLP

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

ORDINANCE NO. 1031

**AN ORDINANCE TO AMEND THE ZONING MAP INCLUDED AS PART OF
CHAPTER 100 OF THE VILLAGE OF MUKWONAGO MUNICIPAL CODE**

The Village Board of the Village of Mukwonago, Waukesha/Walworth Counties, Wisconsin do ordain as follows:

SECTION I

Change the zoning classification of Tax Parcel MUKV2013995001 from B-4 (Commercial Business Design) district to B-2 (Community Business) district.

SECTION II

All Ordinances or parts of Ordinances contravening the terms and conditions of this ordinance are hereby to that extent repealed.

SECTION III

This Ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago and shall indicate the date and number of this amending Ordinance therein.

PASSED AND ADOPTED by the Village Board this 20th day of March 2024.

APPROVED:

Fred Winchowky, Village President

Countersigned:

Diana Dykstra, Village Clerk/Treasurer

Architectural Review Request

Staff has reviewed the plan and has no concerns. The building is located on Main Street in the Village Center.

The owner is requesting to replace 5 exterior windows to their original size. The two on the West /front of the building will be sliders and the three on the North side are double hung. All are to be white vinyl. The roofs over the awnings are to be replaced with metal roofing to match the texture and color of the existing metal wall caps which are copper in color. When weather permitting, March or April, we plan to paint the facade and rear facing exterior walls in light tan. The color is similar to the current color. The headers and sills of the windows are to be charcoal black and the wood structure holding the awing roof will be stained black; however, the wood grain will remain showing. Prior to painting, exterior tuck pointing where needed will be completed.

Crush Wine Bar will be located in the lower space and the residential unit will remain upstairs.

This will vastly improve the aesthetics of the building.

Any signage will need to be approved by staff with the proper permits.

Staff Review

Engineering	No concerns at this time
Public Works	No concerns at this time
Utilities	No concerns at this time
Police	No concerns at this time
Fire	No concerns at this time
Building Inspection	No concerns at this time
Planning	No concerns at this time

Recommendation

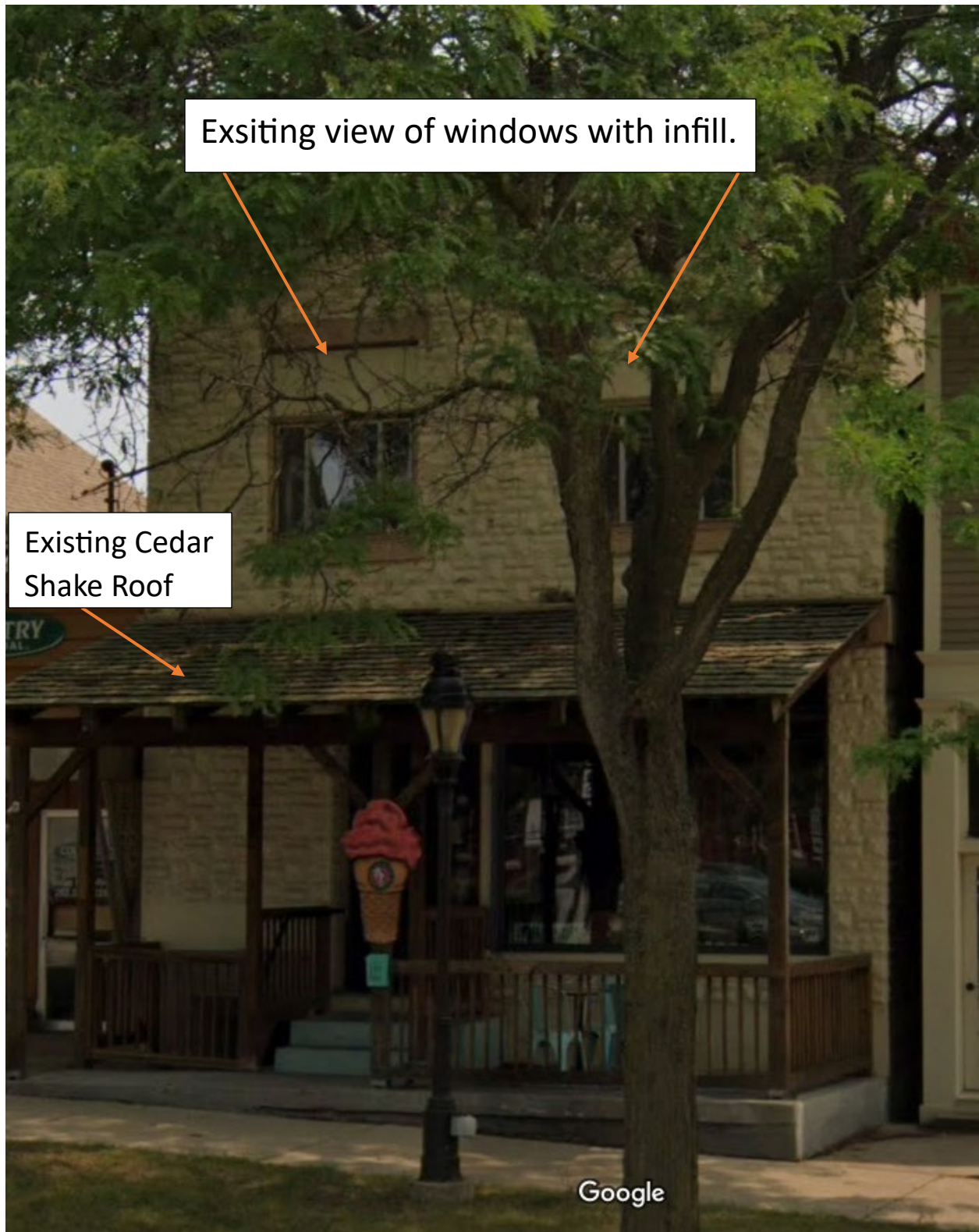
Architectural Review

Staff recommends the Planning Commission approve with conditions, for the request to replace the windows with full size windows, paint and replace the porch roof as set forth in the attached resolution.

1. Obtain any necessary permits from the Village Building Inspection Department.
2. Any signage shall be approved by Village staff with the proper submittal of permits.
3. Final Inspection by Village staff once complete.
4. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, additions, etc. may require Site Plan and Architectural Review by the Plan Commission.

Attachments

1. Plans
2. Resolution



Exsiting view of windows with infill.

Existing Cedar
Shake Roof

Google



Existing Rear View

Front



Back



**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

PC RESOLUTION NO. 2024-02

**A RESOLUTION FOR ARCHTIEICTURAL REVIEW FOR CRUSH HOLDINGS, LLC AT
110 MAIN STREET, PARCEL MUKV 1976-112**

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for an architectural review has been filed for the approval for architectural modifications, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Paul Kwiecien (Owner),

WHEREAS, the use is permitted within the Village Center/B-2 General Business District – in which the subject property is located, and

WHEREAS, the plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago, Wisconsin hereby approves the architectural review for the modifications at 110 Main Street, based upon the plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this architectural review approval shall be subject to the following conditions:

1. Obtain any necessary permits from the Village Building Inspection Department.
2. Any signage shall be approved by Village staff with the proper submittal of permits.
3. Final Inspection by Village staff once complete.
4. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, additions, etc. may require Site Plan and Architectural Review by the Plan Commission.

NOW THEREFORE BE IT RESOLVED, that the Village of Mukwonago,

Approved an Adopted this 12th day of March 2024 by the Plan Commission of the Village of Mukwonago, Wisconsin.

APPROVED:

ATTESTATION:

Fred H. Winchowky, Village President

Linda Gourdoux, WCMC, CMC
Deputy Clerk-Treasurer



PLANNING COMMISSION

March 12, 2024, at 6:30 pm

Mukwonago, WI

EXTRATERRITORIAL REVIEW OF A THREE-LOT CERTIFIED SURVEY MAP LOCATED AT W838 CTY TK L IN THE TOWN OF EAST TROY, WALWORTH COUNTY

Project Summary

Request: Extraterritorial review of a three-lot certified survey map
Applicant: Gunars Valters, owner (Matt O'Rourke-Landtech Surveying, applicant)
Location: W838 CTY TK L (Town of East Troy)
Parcel number: P ET1400007B (Walworth County)

Planning Staff Review

Gunars Valters owns a parcel off CTY TK L in the Town of East Troy and has submitted a certified survey map to create three parcels. The Village is reviewing this survey in the Town because it is within the Village's extraterritorial review area. The Town of East Troy and Walworth County have already approved the certified survey map.



Potential Plan Commission Motion:

Recommend to the Village Board the approval of the proposed certified survey map as set forth in Resolution (as drafted OR as amended)

Attachments

1. Certified survey map & Town Resolution
2. Draft Resolution

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 15 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, ALL IN TOWN 4 NORTH, RANGE 18 EAST, TOWN OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

[illegible]

- SEE SHEET 2 FOR LEGEND.

PREPARED FOR:
GUNARS VALTERS
12545 W BURLEIGH RD. STE 3
BROOKFIELD WI, 53005



LAND SURVEYING ● LAND PLANNING
111 W. 2ND STREET
OCONOMOWOC, WI 53066
WWW.LANDTECHWI.COM
(262) 367-7599

DATED 01/24/2024
JOB# 23066

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771 SHEET 1 OF 4

WALWORTH CO. CERTIFIED SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 15 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, ALL IN TOWN 4 NORTH, RANGE 18 EAST, TOWN OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:
under the direction of...
THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 15 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, ALL IN TOWN 4 NORTH, RANGE 18 EAST, TOWN OF EAST TROY, WALWORTH COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 14, TOWN 4 NORTH, RANGE 18 EAST; THENCE S 00°32'45" W, ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 14, 310.72 FEET; THENCE N 89°27'15" W, 1797.45 FEET TO THE CENTER OF C.T.H. "L" AND POINT OF BEGINNING; THENCE ALONG THE CENTERLINE OF C.T.H. "L" FOR THE FOLLOWING 3 COURSES: 1.: THENCE S 66°01'21" W, 87.00 FEET; 2.: THENCE S 66°08'13" W, 250.74 FEET; 3.: THENCE S 65°21'54" W, 772.89 FEET TO AN EXTENSION OF THE EAST LINE OF LOT 1 OF CSM 2387; THENCE N 00°46'23" W, ALONG AN EXTENSION OF AND THE EAST LINE OF LOT 1 OF CSM 2387; 559.18 FEET TO THE SOUTH RIGHT-OF WAY OF A PRIVATE DRIVE KNOWN AS SHOREWOOD DRIVE; THENCE ALONG THE SOUTH RIGHT-OF-WAY OF A PRIVATE DRIVE KNOWN AS SHOREWOOD DRIVE FOR THE FOLLOWING 3 COURSES 1.: THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 140.20 FEET, A RADIUS OF 286.60 FEET, A DELTA ANGLE OF 28°01'39", AND A CHORD BEARING S 79°26'30" E, 138.80 FEET; 2.: THENCE N 86°32'46" E, 448.94 FEET; 3.: THENCE N 71°09'16" E, 283.32 FEET; THENCE S 21°44'15" E, 99.67 FEET; THENCE N 66°05'01" E, 86.02 FEET; THENCE S 20°28'30" E, 144.74 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 340,173 SQUARE FEET OR 7.809 ACRES.












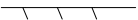
THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF WALWORTH COUNTY, TOWN OF EAST TROY AND VILLAGE OF MUKWONAGO (EXTRATERRITORIAL) IN DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20_____.

MATTHEW T. O'ROURKE, S-2771

LEGEND

	SECTION CORNER MONUMENT	found/set
	FOUND 3/4 REBAR" OR NOTED	
	FOUND 1" IRON PIPE OR NOTED	
	SET 0.75" O.D. X 18" REBAR	
	WEIGHING 1.502 LBS/FT.	
	FOUND IRON ROD	
	WELL	
	SEPTIC VENT	
	EXISTING HOUSE	
	EXISTING BARN	
	EXISTING OUTBUILDING	
	DRIVEWAY LOCATION	
	NO ACCESS	

WALWORTH CO. CERTIFIED SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 15 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, ALL IN TOWN 4 NORTH, RANGE 18 EAST, TOWN OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNERS WE GUNARS AND ELLIE VALTERS, HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: WALWORTH COUNTY, TOWN OF EAST TROY AND VILLAGE OF MUKWONAGO (EXTRATERRITORIAL).

WITNESS THE HAND AND SEAL OF SAID OWNERS:
THIS _____ DAY OF _____, 20_____.

GUNARS VALTERS

ELLIE VALTERS

STATE OF WISCONSIN)SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____DAY OF _____, 20_____, THE ABOVE NAMED GUNARS AND ELLIE VALTERS, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE _____
PRINT NAME _____
MY COMMISSION EXPIRES _____

CONSENT OF CORPORATE MORTGAGEE

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS PLAT, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF _____, OWNER.

IN WITNESS WHEREOF, _____
HAS CAUSED THESE PRESENTS TO BE SIGNED BY, _____ITS _____,
AT _____WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED
THIS _____DAY OF _____, 20_____.

IN THE PRESENCE OF:

CORPORATE NAME

PRINT TITLE: _____ DATE _____

CORPORATE MORTGAGEE NOTARY CERTIFICATE

STATE OF WISCONSIN)
_____COUNTY)SS

PERSONALLY CAME BEFORE ME THIS _____DAY OF _____20_____,
_____, _____ OF THE ABOVE NAMED CORPORATION, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH _____OF SAID CORPORATION, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICERS AS THE DEED OF SAID CORPORATION, BY ITS AUTHORITY.

NOTARY SIGNATURE _____
PRINT NAME _____
MY COMMISSION EXPIRES _____

WALWORTH CO. CERTIFIED SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 15 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, ALL IN TOWN 4 NORTH, RANGE 18 EAST, TOWN OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

TOWN OF EAST TROY BOARD APPROVAL CERTIFICATE

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWN OF EAST TROY,
THIS ____ DAY OF _____, 20____.

JOSEPH KLARKOWSLI – CHAIRPERSON

KIM BUCHANAN – CLERK

VILLAGE OF MUKWONAGO (EXTRATERRITORIAL)

THIS LAND DIVISION AND DEDICATION IS HEREBY APPROVED BY VILLAGE OF MUKWONAGO BOARD OF TRUSTEES
THIS_____ DAY OF _____, 20_____.

FRED WINCHOWKY, PRESIDENT

DIANA DYKSTRA, VILLAGE CLERK–TREASURER

WALWORTH COUNTY ZONING AGENCY APPROVAL CERTIFICATE

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE WALWORTH COUNTY ZONING AGENCY,
ON THIS ____ DAY OF _____, 20_____.

RYAN SIMONS, CHAIRMAN

TOWN OF EAST TROY

N9330 Stewart School Road • P.O. Box 872
East Troy, Wisconsin 53120
Telephone (262) 642-5386
Fax (262) 642-9701

RESOLUTION APPROVAL PETITION REZONE / CSM

Whereas, the Planning Commission for the Town of East Troy convened on November 01, 2023; and

Whereas, the owners / applicants Gunars and Ellie Valters, Parcel No. P ET 1400007B applied for a REZONE / CSM. The applicants are requesting to separate the property into three lots and rezone their A-2 and R-1 property to become R-2 in order to connect the property to the sanitary district 2 sewage system. Chairman Cook asked if this would have an impact on Shorewood Drive, the applicants said no; and

Whereas, the applicants also had the wetlands delineated with SEWRPC and would like the zoning to reflect the C-4 property as shown in the delineation; and

Whereas, there was discussion among Commissioners, the consensus was that the property is non-conforming A-2 due to the current lot size being under 35 acres, and it appears that it has not been used for agricultural use in some time. Commissioners also noted that this request does fit within the 2035 Comprehensive Plan; and

Whereas, the Planning Commission voted unanimously to APPROVE the applicants' REZONE / CSM on November 1, 2023;


Whereas, the Town Board met on November 13, 2023 to consider the recommendation of the Planning Commission as it related to this applicant's proposed REZONE / CSM Request at the location described above and approved the same unanimously:

NOW, THEREFORE, BE IT RESOLVED that the proposed REZONE / CSM Request as stated at W838 County Road L., East Troy, WI Parcel No. P ET 1400007B is APPROVED.

STATE OF WISCONSIN
SS
COUNTY OF WALWORTH

I, KIM BUCHANAN do hereby certify that I am the duly elected, qualified and acting Clerk of the Town of East Troy and that the foregoing is a true and correct copy of a resolution duly adopted at a meeting of the Board of Supervisors of the Town of East Troy held in said Town on the 13th day of November, 2023, at which meeting a quorum was present and that said resolution is duly recorded in the minutes of said meeting.

IN WITNESS WHEREOF, I have affixed my name as Clerk on this 14th day of November, 2023.


KIM BUCHANAN, CLERK/TREASURER
Town of East Troy



TONY EVERS
GOVERNOR
KATHY BLUMENFELD
SECRETARY-DESIGNEE
Plat Review
PO Box 1645, Madison WI 53701
E-mail: plat.review@wi.gov
<https://doa.wi.gov/platreview>

February 02, 2024

Matthew O'Rourke
LAND TECH SURVEYING LLC
111 W 2ND STREET, OCONOMOWOC WI 53066
morourke@landtechwi.com

FILE NO. 121822
Certified Survey Map
GUNARS VALTERS,
Town of East Troy, Walworth County

Dear Matthew O'Rourke:
Per request, we have reviewed this certified survey map (CSM) for compliance with s. 236.34 Wis. Stats. Our comments are as follows:

REVIEW COMMENTS:

A-E 7.05 (4) Section and 1/4 section corner monuments should be noted as found or set.

s. 236.15 (1) (c) & (2) (b) Many lot corners are shown unmonumented; monument symbols should be shown at these corners and/or the monuments at these corners should be described in the Legend.

s. 236.20 (2) (c) The sum of lot lengths should total the overall lengths shown along Shorewood Drive and for line L6.

s. 236.34 (1m) (c) It appears that the graphic scale bar should be labeled 1inch = 300 feet; please verify and revise as needed.

s. 236.34 (1m) (d) The Surveyor's certificate should state by whose direction the survey, land division and map was made.

If you have any questions regarding this review, please contact me as listed above.

Regards,

Don Sime, PLS
Plat Review

Enc: Certified Survey Map

cc: Clerk, Town of East Troy
Walworth County Planning Agency
Village of Mukwonago

VILLAGE OF MUKWONAGO RESOLUTION 2024-16

**RESOLUTION APPROVING A CERTIFIED SURVEY FOR A PROPERTY LOCATED AT
W838 CTY TK L IN THE TOWN OF EAST TROY, WALWORTH COUNTY**

WHEREAS, Matt O'Rourke (surveyor/applicant) on behalf of Gunars Valters (owner), this property located in the Town of East Troy and has submitted a three-lot certified survey map to the Village for review; and

WHEREAS, the property is located in the Village's extraterritorial review area and is therefore subject to the review by the Village; and

WHEREAS, the Village Plan Commission reviewed the petitioner's request at their meeting on March 12, 2024, and recommended approval of the same as set forth in this resolution; and

NOW, THEREFORE, BE IT RESOLVED, the Village Board of the Village of Mukwonago approves the proposed certified survey map subject to the following conditions:

1. The surveyor's seal, signature, and date must appear on all sheets of the final CSM. The same revision date must also be noted on each sheet.
2. The certified survey map must comply with the Town of East Troy's approval which was granted on November 13, 2023.
3. The property owner must pay all fees and charges that are owed to the Village.

The Village President is authorized to sign the original certified survey map when the above conditions have been satisfied as determined by the Village Planner.

Passed and dated this 20th day of March 2024.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk



PLANNING COMMISSION

March 12, 2024 at 6:30pm
Mukwonago, WI

CERTIFIED SURVEY MAP

Adelhelm Lubricat
621 and 639 Baxter Dr

MUKV1970998019 & MUKV1970998020

Case Summary

Parcel Data

Proposal:	Certified Survey Map
Applicant:	Adelhelm Lubricat
Request:	Combine 2 Lots
Staff Recommendation:	Approve

Parcel Characteristics / Conditions

Acreage:	1.696 and 1.352
Current Use:	Industrial Manufacturing
Proposed Use:	Industrial Manufacturing
Reason for Request:	Building Addition
Land Use Classification:	Industrial
Zoning Classification:	M-2 – Light Industrial
Census Tract:	2039.01



Site Plan and Architectural Review Request

Adelhelm Lubriccoat is requesting approval to combine to lots, for an expansion. The main lot at 621 Baxter Dr, is their main building. The lot next door at 639 Baxter Dr, the purchased in 2023 (former Boldt Mechanical). In order to place an addition on the building they need to combine the lots to meet the zoning requirements for their addition.

Staff Review

Engineering	No concerns at this time
Public Works	No concerns at this time
Utilities	No concerns at this time
Police	No concerns at this time
Fire	No concerns at this time
Building Inspection	No concerns at this time
Planning	No concerns at this time

Recommendation

Certified Survey Map (CSM)

Staff recommends the Planning Commission recommend Approval to the Village Board for the request for a CSM combining two lots as set forth in the attached resolution.

1. The surveyor's seal, signature, and date must appear on all sheets of the final CSM. The same revision date must also be noted on each sheet.
2. The property owner must pay all fees and charges that are owed to the Village.
3. Any future modification to the proposed CSM prior to recording shall require review by the Planning Commission and Village Board.

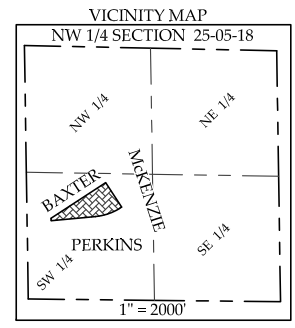
Attachments

1. CSM Draft
2. Resolution

PRELIMINARY

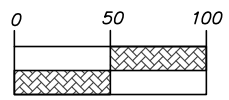
CERTIFIED SURVEY MAP # _____

TO COMBINE LOT 1 AND LOT 2 OF CERTIFIED SURVEY MAP 7662, RECORDED AS DOCUMENT NO. 2037666, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, COUNTY OF WAUKESHA, STATE OF WISCONSIN.



OWNER:
ADUS INVESTMENTS LLC
621 BAXTER DRIVE
MUKWONAGO, WI 53149

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, (NAD83/2011). THE WEST LINE OF NW 1/4 OF SECTION 25-05-18 BEARS NORTH 00°53'05" WEST.

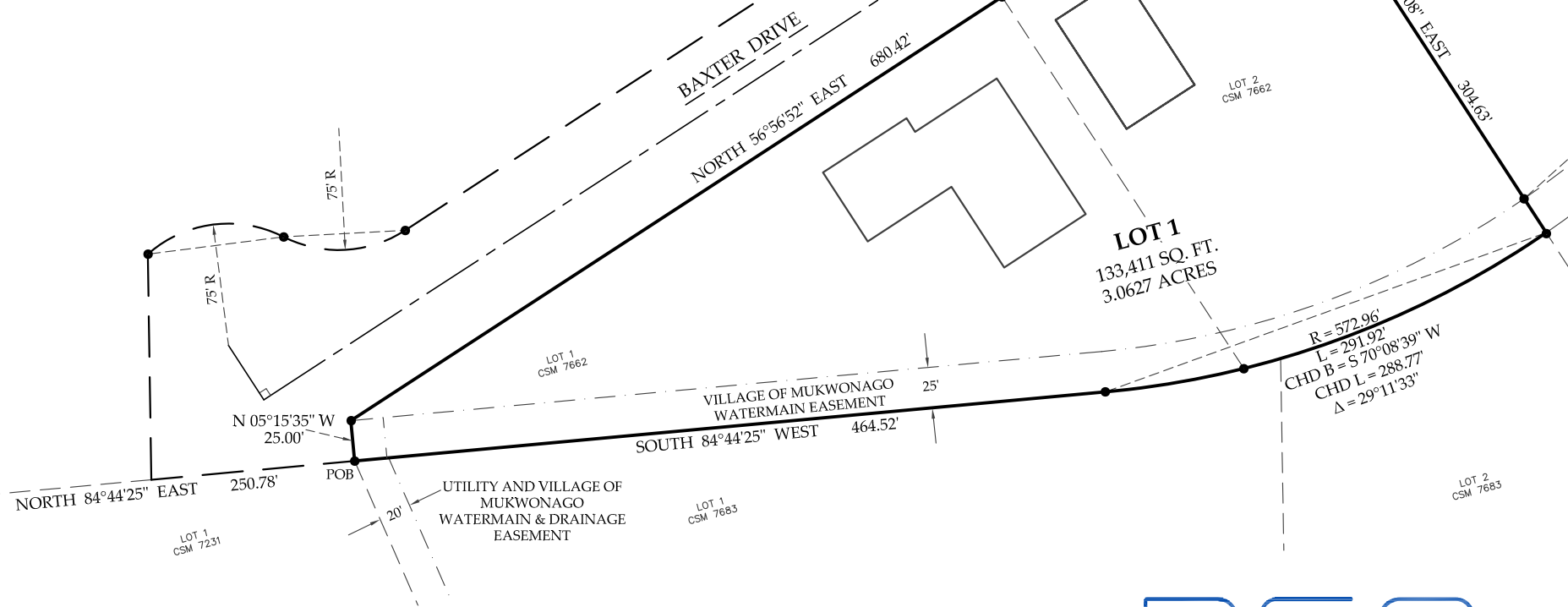


NORTHWEST CORNER OF THE NW 1/4 OF SECTION 25-05-18. BRASS DISC IN CONCRETE. N 322180.57 E 2417301.75

NORTH 00°53'05" WEST 2639.51'
WEST LINE OF THE NORTHWEST 1/4 OF SECTION 25-05-18
N 00°53'05" W 792.11'

SOUTHWEST CORNER OF THE NW 1/4 OF SECTION 25-05-18 BRASS DISC IN CONCRETE. N 319541.45 E 2417342.50

SURVEYED BY JOSEPH W. DAVID
MAPPED BY J. SCOTT HENKEL, PLS



- LEGEND**
- 1" IRON PIPE FOUND, OR AS NOTED.
 - 3/4"x18" REBAR WEIGHING 1.13 LBS/FOOT SET.

PSE

122 Wisconsin Street, West Bend, WI 53095
262.346.7800 kparish@parishse.com

FN: KS-93-22 Date: 9/12/23

CERTIFIED SURVEY MAP # _____

TO COMBINE LOT 1 AND LOT 2 OF CERTIFIED SURVEY MAP 7662, RECORDED AS DOCUMENT NO. 2037666, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

SURVEYOR’S CERTIFICATE

I, J. SCOTT HENKEL, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING LAND AS DIRECTED BY THE OWNER, ADUS INVESTMENTS, LLC:

LOT 1 AND LOT 2 OF CERTIFIED SURVEY MAP 7662, RECORDED AS DOCUMENT NO. 2037666, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, COUNTY OF WAUKESHA, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 25;
THENCE NORTH 00°53’05” WEST, 792.11 FEET, ALONG THE WEST LINE OF SAID NORTHWEST 1/4;
THENCE NORTH 84°44’25” EAST, 250.78 FEET, ALONG THE SOUTH LINE OF BAXTER DRIVE, AND THE WESTERLY EXTENSION THEREOF, TO THE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE NORTH 05°15’35” WEST, 25.00 FEET, ALONG THE SOUTH LINE OF SAID BAXTER DRIVE;
THENCE NORTH 56°56’52” EAST, 680.42 FEET, ALONG SAID SOUTH LINE;
THENCE SOUTH 33°03’08” EAST, 304.63 FEET, ALONG THE EAST LINE OF SAID LOT 2;
THENCE ALONG THE SOUTH LINE OF SAID LOT 2 AND LOT 1 BEING THE ARC OF A CURVE BEARING TO THE RIGHT 291.92 FEET, WITH A RADIUS OF 572.96 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 70°08’39” WEST, 288.77 FEET;
THENCE ALONG THE SOUTH LINE OF SAID LOT 1 SOUTH 84°44’25” WEST, 464.52 FEET, TO THE POINT OF BEGINNING.

CONTAINING 133,411 SQUARE FEET // 3.0627 ACRES, MORE OR LESS.

I FURTHER CERTIFY THAT THE MAP PREPARED IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES AS SHOWN AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, AND THE VILLAGE OF MUKWONAGO LAND DIVISION ORDINANCE.

J. SCOTT HENKEL, PLS 2495



122 Wisconsin Street, West Bend, WI 53095
262.346.7800 kparish@parishse.com
FN: KS-93-22 Date: 9/12/23

CERTIFIED SURVEY MAP # _____

TO COMBINE LOT 1 AND LOT 2 OF CERTIFIED SURVEY MAP 7662, RECORDED AS DOCUMENT NO. 2037666, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

OWNER’S CERTIFICATE

AS OWNER, ADUS INVESTMENTS LLC, I HEREBY CERTIFY THAT I CAUSED THE LAND DESCRIBED TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS MAP IS IN ACCORDANCE WITH WISCONSIN STATUTES 236.34 AND THE VILLAGE OF MUKWONAGO REQUIREMENTS FOR CERTIFIED SURVEY MAPS.

DANIEL DRAYNA, AGENT

STATE OF WISCONSIN
_____:SS

COUNTY

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____,
TO ME KNOWN AS THE PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAME.

NOTARY PUBLIC, STATE OF WISCONSIN MY COMMISSION EXPIRES: _____

VILLAGE OF MUKWONAGO PLAN COMMISSION APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF MUKWONAGO PLAN COMMISSION ON THIS _____ DAY
OF _____, 202____.

FRED WINCHOWKY, CHAIRMAN

LINDA GOURDOUX, SECRETARY

VILLAGE OF MUKWONAGO VILLAGE BOARD APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF MUKWONAGO VILLAGE BOARD ON THIS _____ DAY
OF _____, 202____.

FRED WINCHOWKY, VILLAGE PRESIDENT

DIANA DYKSTRA, VILLAGE CLERK



RESOLUTION 2024-17

**RESOLUTION APPROVING A CERTIFIED SURVEY MAP (CSM)
FOR 621 & 639 BAXTER DR, MUKV 1970-998-019 & MUKV 1970-998-020**

THE VILLAGE OF MUKWONAGO

WHEREAS, pursuant to Section 45, of the Municipal Code, an application for Certified Survey Map (CSM) has been filed for the approval for combining two lots CSM, which application has been filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by the VILLAGE OF MUKWONAGO

WHEREAS, the proposed lots within the Industrial Land Use Classification in which the subject property is located, and

WHEREAS, the proposed lots within the M-2 Light Industrial Zoning District in which the subject property is located, and

WHEREAS, the proposed combining of land / Certified Survey Map (CSM) has been reviewed and recommended by the Village Plan Commission, and

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the proposed combining of land / Certified Survey Map (CSM), based upon the draft CSM submitted.

NOW, THEREFORE, BE IT FURTHER RESOLVED this proposed combining of land / Certified Survey Map (CSM), shall be subject to the following conditions:

1. The surveyor's seal, signature, and date must appear on all sheets of the final CSM. The same revision date must also be noted on each sheet.
2. The property owner must pay all fees and charges that are owed to the Village.
3. Any future modification to the proposed CSM prior to recording shall require review by the Planning Commission and Village Board.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, of the proposed combining of land / Certified Survey Map (CSM), shall agree to accept the same in writing.

Passed and dated this 20th day of March 2024.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk-Treasurer



PLANNING COMMISSION

March 12, 2024 at 6:30pm
Mukwonago, WI

SITE PLAN AND ARCHITECTURAL REVIEW

Adelhelm Lubricat
621 and 639 Baxter Dr

MUKV1970998019 & MUKV1970998020

Case Summary

Parcel Data

Proposal:	Building Addition
Applicant:	Adelhelm Lubricat – Keller Inc. Contractor
Request:	Site Plan and Architectural Review
Staff Recommendation:	Approve w/Conditions

Parcel Characteristics / Conditions

Acreage:	3.0627
Current Use:	Industrial Manufacturing
Proposed Use:	Industrial Manufacturing
Reason for Request:	Building Addition
Land Use Classification:	Industrial
Zoning Classification:	M-2 – Light Industrial
Census Tract:	2039.01



Site Plan and Architectural Review Request

Adelhelm Lubriccoat NA will be constructing an approximately 9,832 sq. ft. Pre-engineered Metal Building (PEMB) and Masonry Veneer/Metal Panel manufacturing addition. This building is shown on the elevation plans and renderings supplied. The addition will be made up of a manufacturing floor, blast room and building connections to existing buildings located at 621 & 639 Baxter Dr. This addition will allow Adelhelm Lubriccoat NA to consolidate and expand its existing facilities under one roof as well as increase product production and improve product flow in and out of the facility. As the business grows, Adelhelm anticipates the potential construction of 1,500 sq. ft. open air canopy addition for cooling finished product to the west as well as a potential manufacturing addition to the east. This is not part of this addition approval. Anticipated project schedule has construction commencing in the Late Spring of 2024 and completion in Late Fall of 2024.

Adelhelm Lubriccoat's employees arrive via personal vehicle. Per the Village of Mukwonago parking code, we are required to provide (57) parking stalls following completion of the addition. However, we are requesting a 26% parking reduction as allowed per the ordinance for a total of (42) parking stalls. This is due to the following:

1. Maximum Employees Over Two Shifts: The anticipated maximum of (40) employees over two shifts do not necessitate the (57) parking stalls required.
2. Improved Truck Access: Excess space that would be needed to dedicate to parking inhibits easy access for trucks entering and exiting the loading dock on the east side of the facility. The reduction will facilitate smoother logistics and reduce congestion.

Existing public and private utilities will be extended to serve the addition as required. Adelhelm Lubriccoat NA Addition Narrative Adelhelm Lubriccoat's parcels are heavily landscaped along Baxter Dr. Onsite landscaping for this project is limited to reseeding as required in all disturbed areas. Six deciduous trees and eight evergreen trees will be added along Baxter Dr. as noted in the landscape plan to meet the standards required. No additional site signage will be included as part of this project scope. Any additional exterior lighting needed on site will be wall pack style fixtures installed on the addition itself. The exterior photometric plan and lighting specifications are provided for your review.

Staff Review

Engineering Agree with Ron's comment about making sure that any ultimate impervious area is being included on the plan right now. They're proposing to add about 0.25Acres of impervious surface which doesn't trigger the storm water ordinance, but if they ever plan to put more parking or an additional building on the site, they should include that on the plans now so that it is clear what the ultimate build-out for the site will be.

Additional comments:

- Their silt fence should extend at least halfway up the eastern edge of the property.
- Silt fence is not intended to stop large flows or runoff – some sort of silt fence relief structure needs to be installed along the silt fence on the south side of the property, at the lowest point, so that any large storm flows do not knock down the silt fence and compromise its integrity.
- Are they stockpiling material on-site or hauling everything off-site? Stockpile areas need to be called out on drawings and protected accordingly.

- Final plans need to be stamped/signed by a professional engineer licensed to practice in the state of Wisconsin.

Public Works	All future impervious surface should be included on the plan. This will avoid a stormwater conflict down the road.
Utilities	Need to install a single swing check valve after the water meters on each water service to ensure that no flow through situations occur.
Police	No concerns at this time.
Fire	If and when they add the canopy they will need to install suppression.
Building Inspection	If and when they add the 1500 square foot canopy in the near future which would be included in the fire area if the canopy roof is an extension of the building roof. If they did the canopy roof separate from the building roof, it would not be included in the fire area.
Planning	No concerns at this time

Recommendation

Site Plan and Architectural Review

Staff recommends the Planning Commission approve with conditions, for the request to build an addition to connect the two buildings located at 621 & 639 Baxter Dr as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of site construction plans to the Village and receive approval of said plans prior to issuance of any building permits. Plans shall include but are not limited to grading, utilities, utility calculations, erosion control, landscaping, lighting, building architecture, building materials and other plans as required. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives. The applicant representative shall coordinate such meeting.
3. The applicant must obtain all required land disturbance permits within six months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
4. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
5. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
6. All work related to this project must comply with all project plans approved by the Village.
7. The developer must comply with all requirements related to impact fees imposed by the Village.
8. The developer shall comply with all parts of the Municipal Code as it relates to this project.

9. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities as well as comments regarding future reviews.
10. A tree survey is required prior to any disturbance on the property. Such plan shall be reviewed and approved by the Director of Public Works.
11. A stormwater management maintenance agreement shall be prepared and executed prior to any disturbance of land. A copy of the recorded document shall be provided to the Village.
12. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Building Inspectors are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
13. Plans must allow for a WB-50 vehicle to access the site as required by the fire department.
14. A dedicated hydrant for FDC and suppression system must be provided as required by the fire department.
15. All lighting within the parking lot and building lighting shall be full cut of lighting and meet municipal standards. Building lighting shall not direct light or the appearance of light towards adjoining properties. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
16. The applicant shall apply for and receive approval for all new signage as determined by Article IV of the Municipal Code.
17. Trash dumpster enclosure shall be constructed per village standards and plans submitted.
18. Refuse/Recycle Collection shall be contracted privately.
19. Landscaping plans shall be installed per village standard and approved plans.
20. A parking reduction of 26% is allowed due to the maximum employees on site does not exceed the parking spaces available and this also allows for safe maneuverability of delivery trucks.
21. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. may require Site Plan and Architectural Review.

Attachments

1. Plans
2. Resolution



Adelhelm Lubriccoat NA Addition Narrative

February 6, 2024

Village of Mukwonago

440 River Crest Ct.

Mukwonago, WI 53149

RE: Adelhelm Lubriccoat NA Addition

To Whom It May Concern,

Adelhelm Lubriccoat NA is the US subsidiary of Adelhelm Companies Group providing the US market with high-quality bonded coatings since 2006. Adelhelm Lubriccoat offers tested coating processes in accordance with German and American standards. This includes the coating of parts manufactured from ferrous and non-ferrous metals, elastomers, and plastic with bonded coatings. Adelhelm Lubriccoat provides the highest quality and material standards and prides themselves on their reliable service, exceptional quality, and quick response times to meet customer demands.

Adelhelm Lubriccoat NA will be constructing an approximately 9,832 sq. ft. Pre-engineered Metal Building (PEMB) and Masonry Veneer/Metal Panel manufacturing addition. This building is shown on the elevation plans and renderings supplied. The addition will be made up of a manufacturing floor, blast room and building connections to existing buildings located at 621 & 639 Baxter Dr. This addition will allow Adelhelm Lubriccoat NA to consolidate and expand its existing facilities under one roof as well as increase product production and improve product flow in and out of the facility. As the business grows, Adelhelm anticipates the potential construction of 1,500 sq. ft. open air canopy addition for cooling finished product to the west as well as a potential manufacturing addition to the east. Anticipated project schedule has construction commencing in the Late Spring of 2024 and completion in Late Fall of 2024.

Main Building Activities will be as follows:

- Office Administration
- Manufacturing
- Product shipping and receiving (avg. 5-10 trucks current/avg. 10-15 future)



Adelhelm Lubriccoat NA Addition Narrative

Current Hours of Operations will be as follows:

- (1) Shift: Monday – Friday from 7:00 AM – 3:30 PM
 - Total Employees: (16)

Future Hours of Operations will be as follows:

- (2) Shifts: Monday – Friday from 7:00 AM – 3:30 PM
Sunday – Thursday from 11:00 PM – 7:00 AM (Anticipated start 2025)
 - Total Employees: Maximum of (40) over two shifts within (5) years of addition completion.

Adelhelm Lubriccoat's employees arrive via personal vehicle. Per the Village of Mukwonago parking code, we are required to provide (57) parking stalls following completion of the addition. However, we are requesting a 26% parking reduction as allowed per the ordinance for a total of (42) parking stalls. This is due to the following:

1. **Maximum Employees Over Two Shifts:** The anticipated maximum of (40) employees over two shifts do not necessitate the (57) parking stalls required.
2. **Improved Truck Access:** Excess space that would be needed to dedicate to parking inhibits easy access for trucks entering and exiting the loading dock on the east side of the facility. The reduction will facilitate smoother logistics and reduce congestion.

Adelhelm Lubriccoat NA's parcels located at 621 & 639 Baxter Dr. will be combined via a Certified Survey Map (CSM). This CSM approval has been requested on a separate submittal. This new parcel will be a total of 3.0627 acres. The addition will be located southeast of the 621 Baxter Dr. building and directly south of the 639 Baxter Dr. building, with the building connections located on the western and northern sides of the addition. The east elevation of the addition is designed as an expandable end wall in preparation for a potential future addition. A firewall will be constructed between the existing buildings and the addition to maintain compliance with building code. Existing public and private utilities will be extended to serve the addition as required.



Adelhelm Lubriccoat NA Addition Narrative

Adelhelm Lubriccoat's parcels are heavily landscaped along Baxter Dr. Onsite landscaping for this project is limited to reseeding as required in all disturbed areas. Six deciduous trees and eight evergreen trees will be added along Baxter Dr. as noted in the landscape plan to meet the standards required. No additional site signage will be included as part of this project scope.

Any additional exterior lighting needed on site will be wall pack style fixtures installed on the addition itself. The exterior photometric plan and lighting specifications are provided for your review.

If any of the commission members, city planning department members, or the public have any questions regarding the Adelhelm Lubriccoat NA addition or site layout please feel free to contact Keller, Inc. at any time. Thank you all for your consideration of this project.

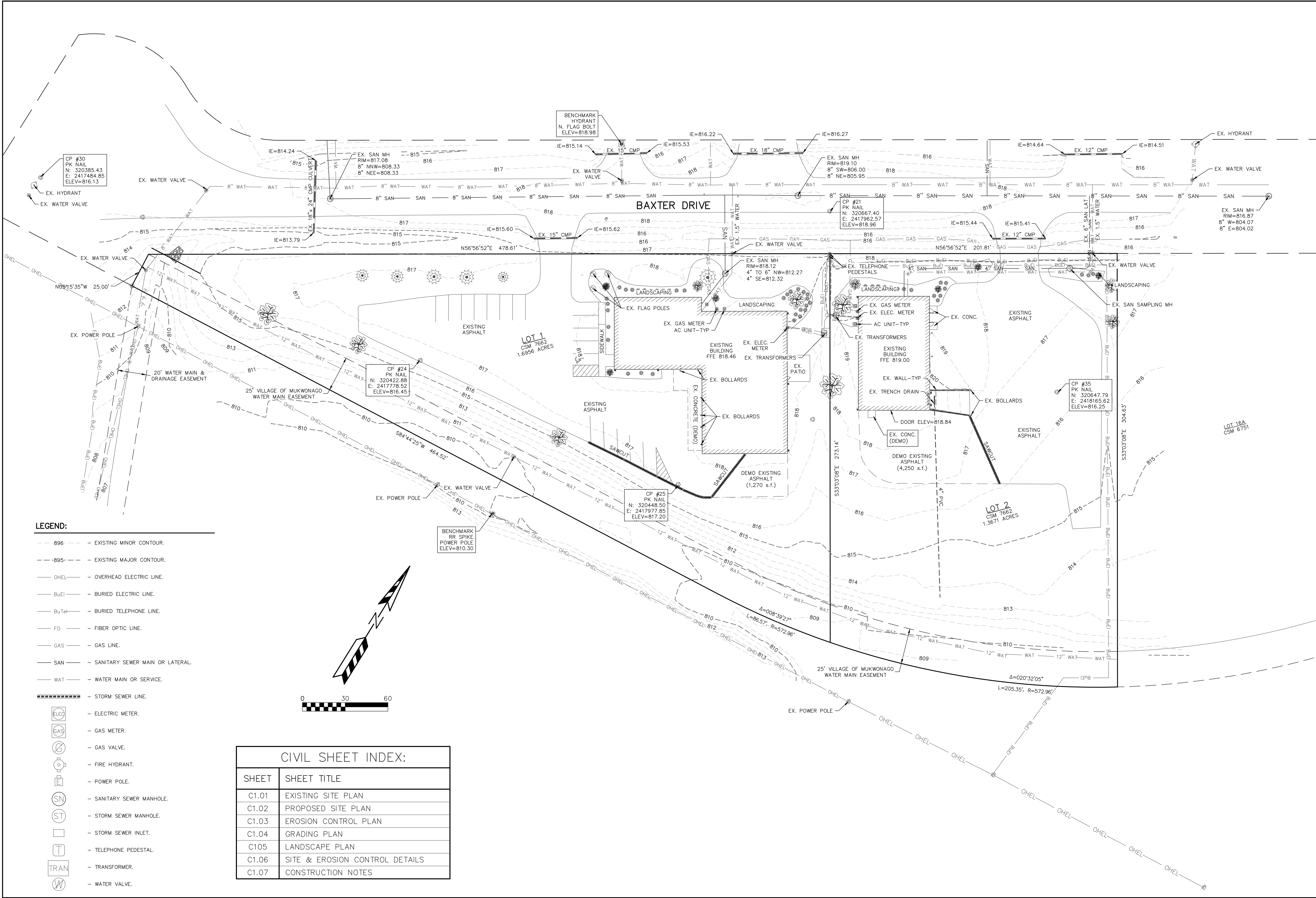


Adelhelm Lubriccoat NA Addition Narrative

OWNER ADUS Investments, LLC
Thomas Adelhelm & Dan Drayna
621 Baxter Dr.
Mukwonago, WI 53149

**ARCHITECT/
BUILDER** Keller, Inc.
Luke Sebald (Project Manager)
Steve Klessig (Architect)
W204 N11509 Goldendale Road
Germantown, WI 53022
(262) 250-9710 office
(414) 397 0526 cell
lsebald@kellerbuilds.com

CIVIL ENGINEER Parish Survey & Engineering
Kevin Parish
122 Wisconsin St.
West Bend, WI 53095
(262)-346-7800
kparish@parishse.com



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX



PROJECT TITLE:
**ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149**

PLAN TITLE:
**EXISTING
CONDITIONS
PLAN**

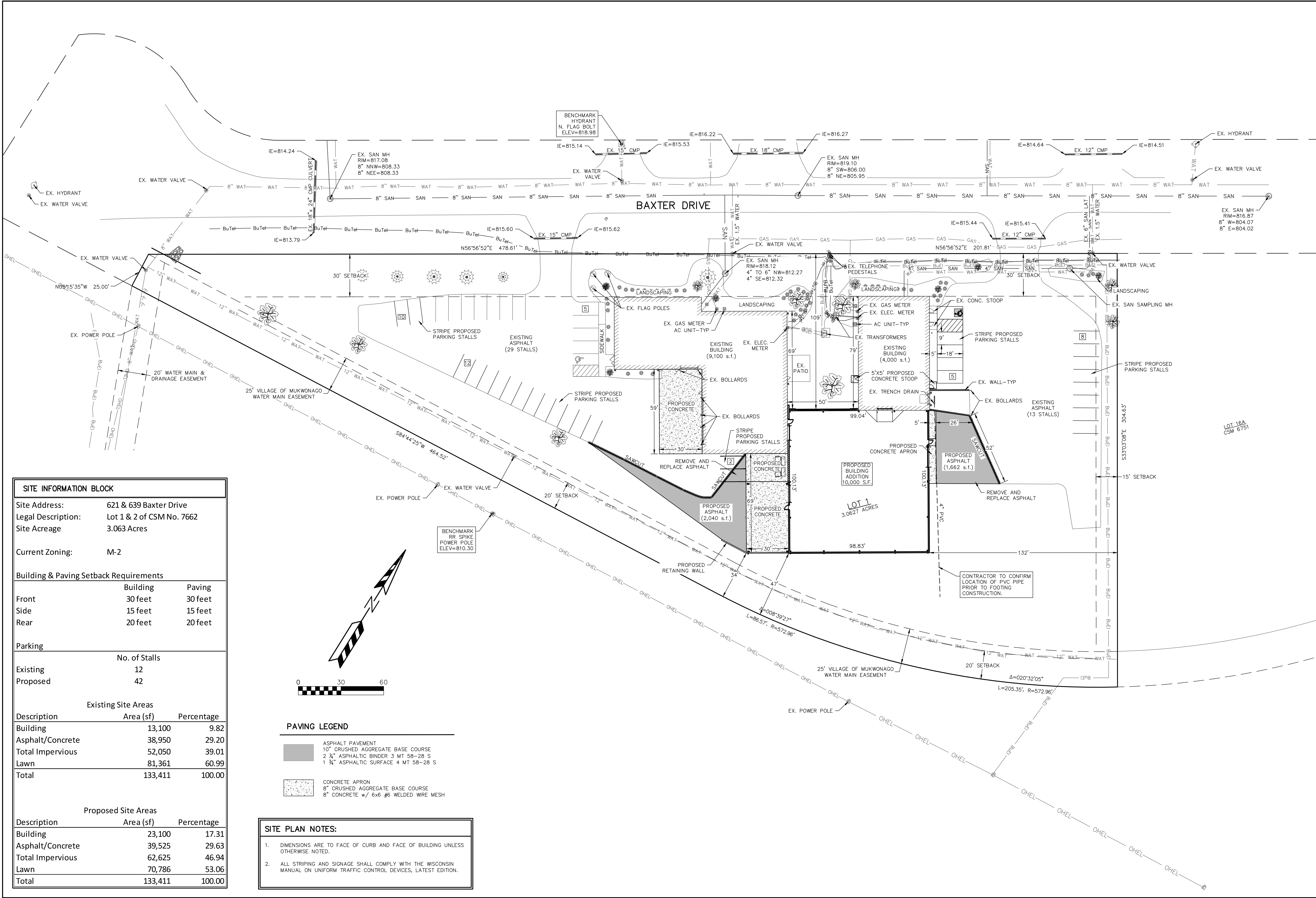
DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
2/5/2024

PROJECT NO:
\KS-93-22

FINAL

SHEET NO:
C1.01



SITE INFORMATION BLOCK		
Site Address:	621 & 639 Baxter Drive	
Legal Description:	Lot 1 & 2 of CSM No. 7662	
Site Acreage	3.063 Acres	
Current Zoning:	M-2	
Building & Paving Setback Requirements		
	Building	Paving
Front	30 feet	30 feet
Side	15 feet	15 feet
Rear	20 feet	20 feet
Parking		
	No. of Stalls	
Existing	12	
Proposed	42	
Existing Site Areas		
Description	Area (sf)	Percentage
Building	13,100	9.82
Asphalt/Concrete	38,950	29.20
Total Impervious	52,050	39.01
Lawn	81,361	60.99
Total	133,411	100.00
Proposed Site Areas		
Description	Area (sf)	Percentage
Building	23,100	17.31
Asphalt/Concrete	39,525	29.63
Total Impervious	62,625	46.94
Lawn	70,786	53.06
Total	133,411	100.00



PAVING LEGEND

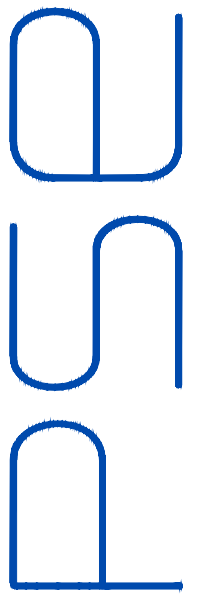
- ASPHALT PAVEMENT
- 10" CRUSHED AGGREGATE BASE COURSE
- 2 1/4" ASPHALTIC BINDER 3 MT 58-28 S
- 1 3/4" ASPHALTIC SURFACE 4 MT 58-28 S
- CONCRETE APRON
- 8" CRUSHED AGGREGATE BASE COURSE
- 8" CONCRETE w/ 6x6 #6 WELDED WIRE MESH

SITE PLAN NOTES:

- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

REVISIONS:

NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX



PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
**ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149**

PLAN TITLE:
**PROPOSED
SITE PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

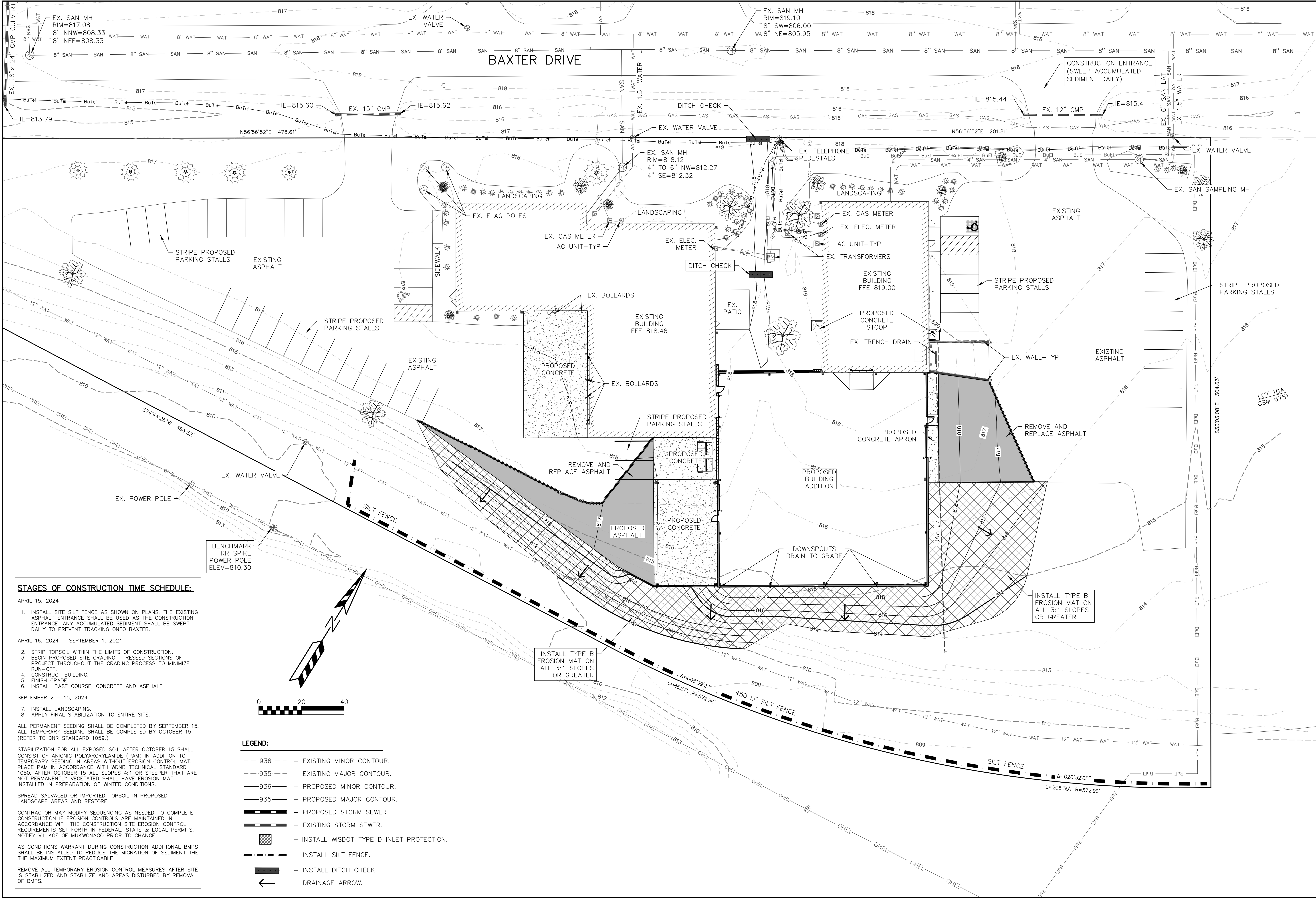
CHECKED BY:
KJP

PLAN DATE:
2-6-2024

PROJECT NO:
\KS-93-22

FINAL

SHEET NO:
C1.02



STAGES OF CONSTRUCTION TIME SCHEDULE:

APRIL 15, 2024

1. INSTALL SITE SILT FENCE AS SHOWN ON PLANS. THE EXISTING ASPHALT ENTRANCE SHALL BE USED AS THE CONSTRUCTION ENTRANCE. ANY ACCUMULATED SEDIMENT SHALL BE SWEEP DAILY TO PREVENT TRACKING ONTO BAXTER.

APRIL 16, 2024 – SEPTEMBER 1, 2024

2. STRIP TOPSOIL WITHIN THE LIMITS OF CONSTRUCTION.
3. BEGIN PROPOSED SITE GRADING – RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
4. CONSTRUCT BUILDING.
5. FINISH GRADE.
6. INSTALL BASE COURSE, CONCRETE AND ASPHALT

SEPTEMBER 2 – 15, 2024

7. INSTALL LANDSCAPING.
8. APPLY FINAL STABILIZATION TO ENTIRE SITE.

ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15.
ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)

STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.

CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF MUKWONAGO PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AREAS DISTURBED BY REMOVAL OF BMPs.

- LEGEND:**
- 936 — — EXISTING MINOR CONTOUR.
 - 935 — — EXISTING MAJOR CONTOUR.
 - 936 — — PROPOSED MINOR CONTOUR.
 - 935 — — PROPOSED MAJOR CONTOUR.
 - — — — PROPOSED STORM SEWER.
 - — — — EXISTING STORM SEWER.
 - ▨ — — — — INSTALL WSDOT TYPE D INLET PROTECTION.
 - - - - - INSTALL SILT FENCE.
 - — — — — INSTALL DITCH CHECK.
 - ← — — — — DRAINAGE ARROW.

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PROJECT TITLE:
ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149

PLAN TITLE:
EROSION CONTROL PLAN

DRAWN BY:
KJP

DESIGNED BY:
KJP

CHECKED BY:
KJP

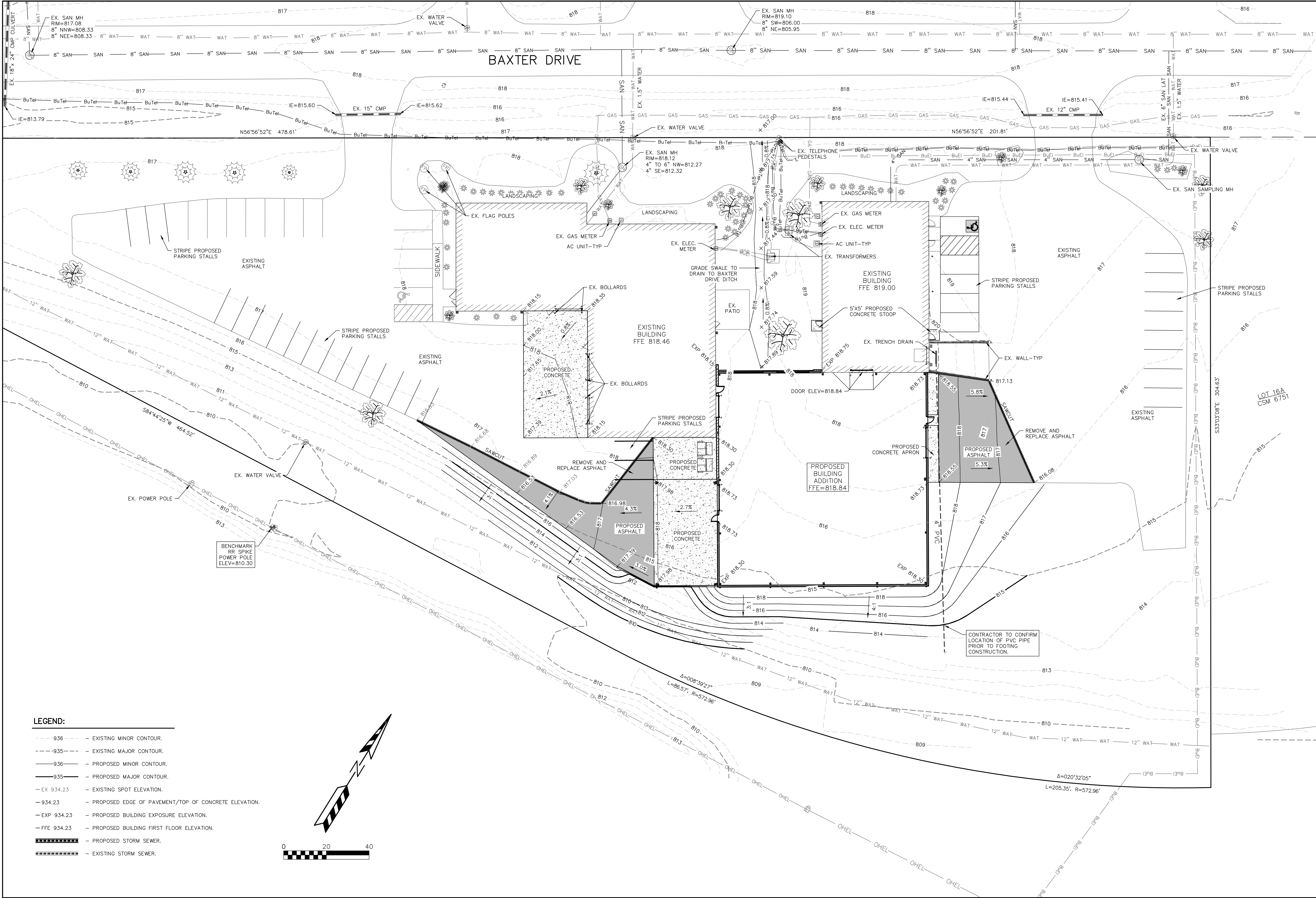
PLAN DATE:
2-6-2024

PROJECT NO:
\KS-93-22

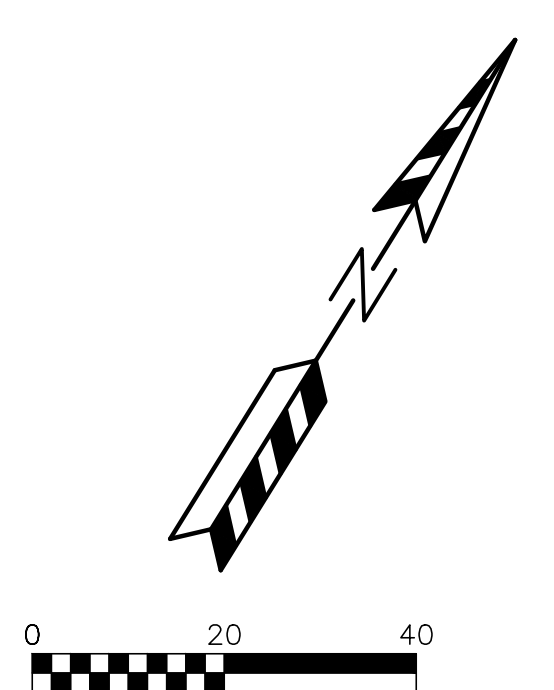
FINAL

SHEET NO:
C1.03

PSE
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122 Wisconsin Street, West Bend, WI 53095
262.346.7800
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- LEGEND:**
- 936 --- EXISTING MINOR CONTOUR.
 - 935 --- EXISTING MAJOR CONTOUR.
 - 936 --- PROPOSED MINOR CONTOUR.
 - 935 --- PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED EDGE OF PAVEMENT/TOP OF CONCRETE ELEVATION.
 - EXP 934.23 - PROPOSED BUILDING EXPOSURE ELEVATION.
 - FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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PROJECT TITLE:
**ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149**

PLAN TITLE:
**GRADING
PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

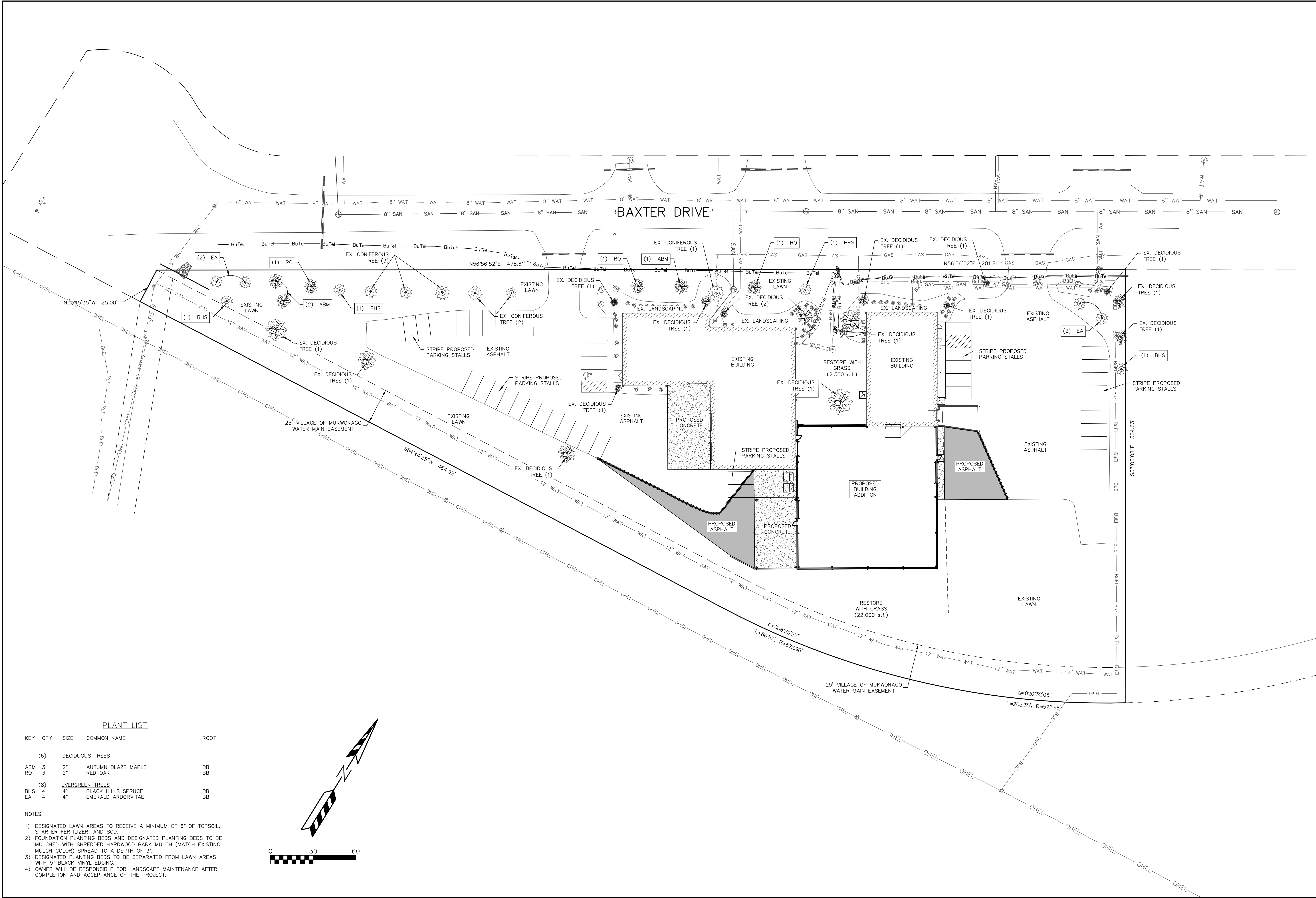
CHECKED BY:
KJP

PLAN DATE:
2-6-2024

PROJECT NO:
\KS-93-22

FINAL

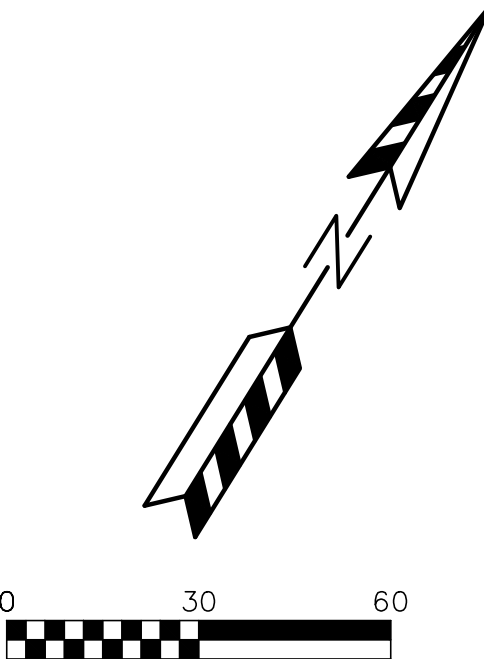
SHEET NO:
C1.04



PLANT LIST

KEY	QTY	SIZE	COMMON NAME	ROOT
(6) DECIDUOUS TREES				
ABM	3	2"	AUTUMN BLAZE MAPLE	BB
RO	3	2"	RED OAK	BB
(8) EVERGREEN TREES				
BHS	4	4"	BLACK HILLS SPRUCE	BB
EA	4	4"	EMERALD ARBORVITAE	BB

- NOTES:
- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 6" OF TOPSOIL, STARTER FERTILIZER, AND SOD.
 - 2) FOUNDATION PLANTING BEDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH SHREDDED HARDWOOD BARK MULCH (MATCH EXISTING MULCH COLOR) SPREAD TO A DEPTH OF 3".
 - 3) DESIGNATED PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH 5" BLACK VINYL EDGING.
 - 4) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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262.346.7800 www.parishse.com

PROJECT TITLE:
**ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149**

PLAN TITLE:
**LANDSCAPE
PLAN**

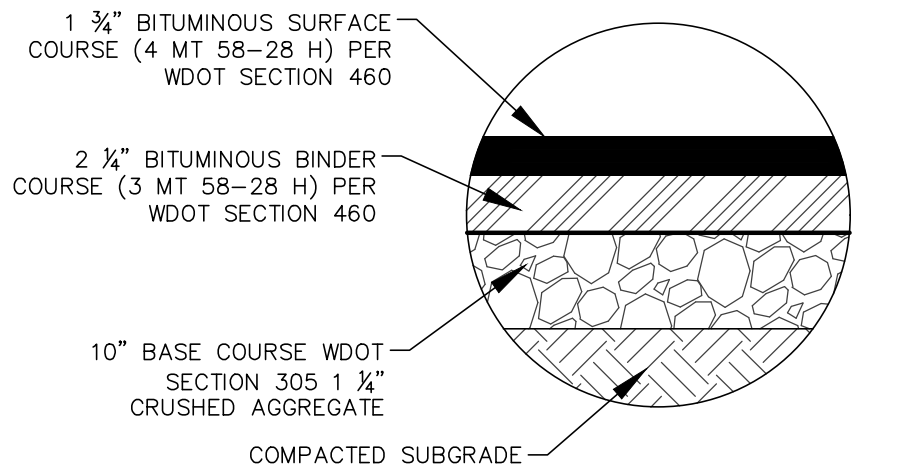
DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
2-6-2024

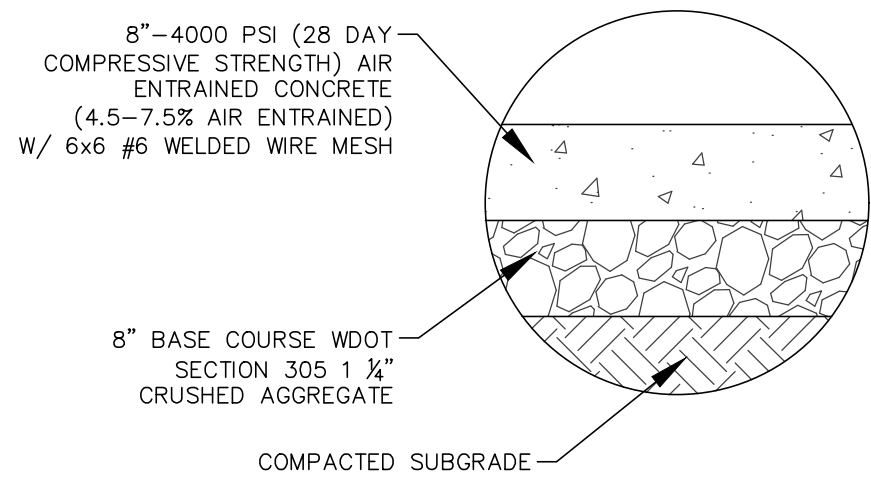
PROJECT NO:
\KS-93-22

FINAL

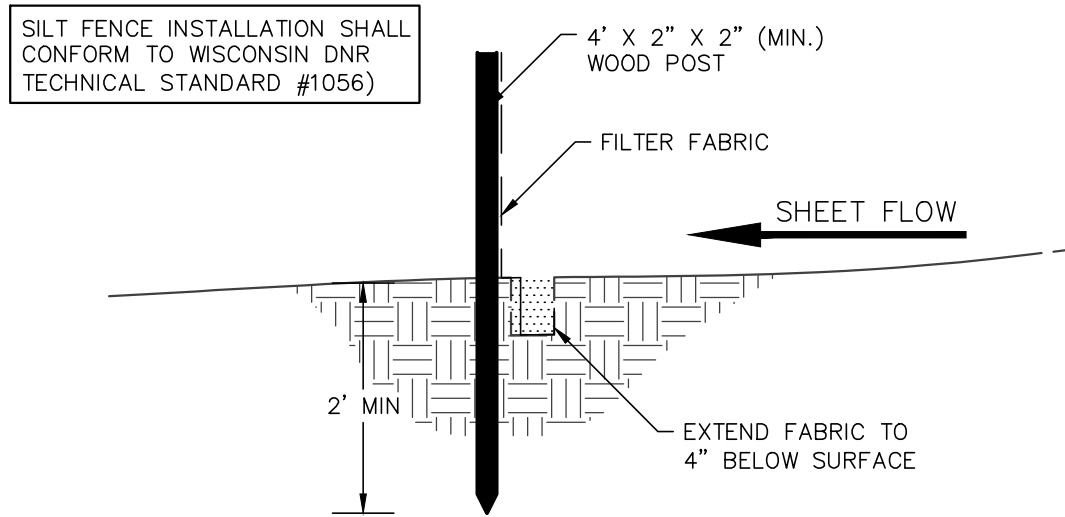
SHEET NO:
C1.05



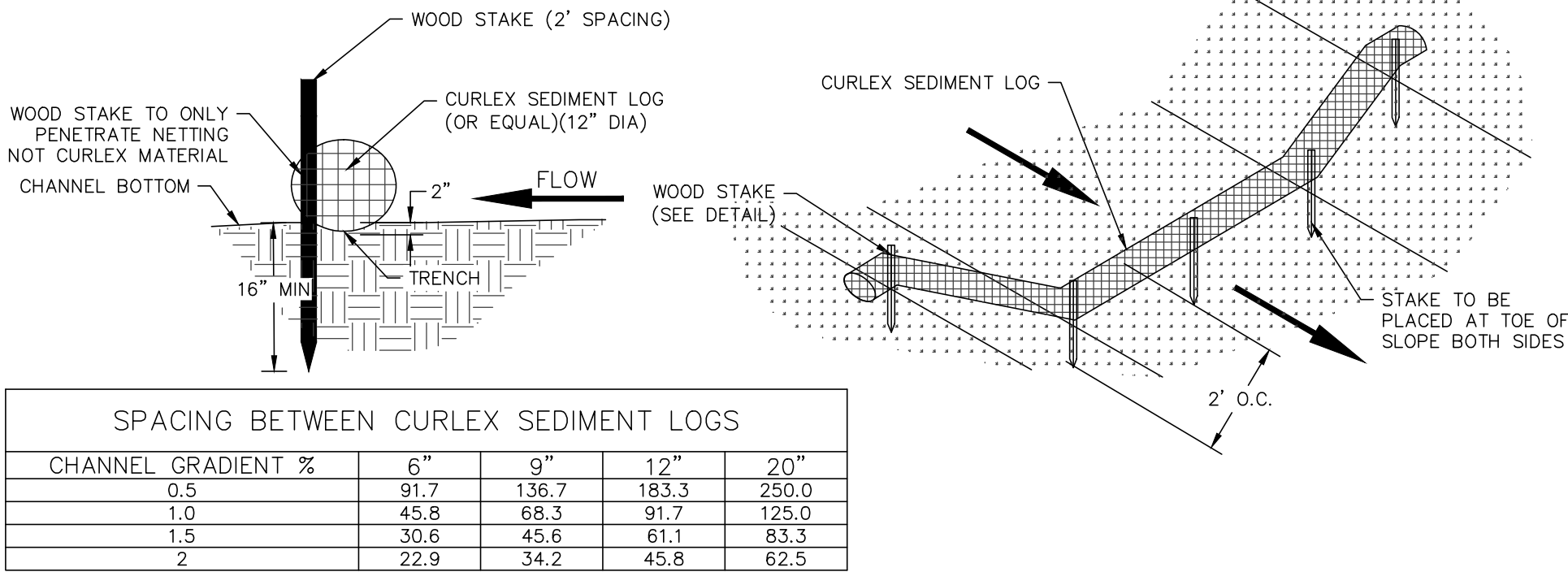
ASPHALT PAVEMENT SECTION



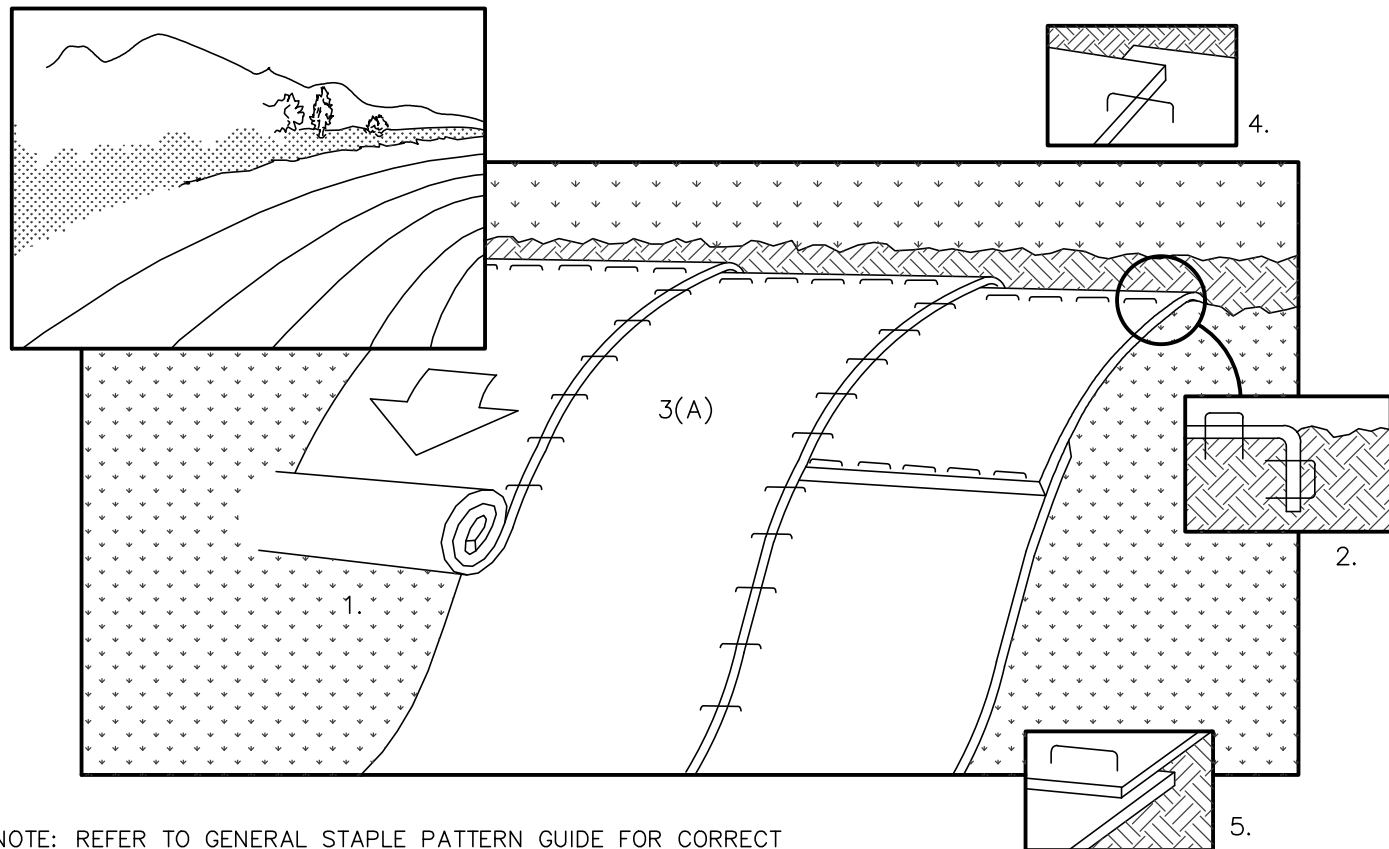
CONCRETE APRON SECTION



SILT FENCE CONSTRUCTION (SHEET FLOW)



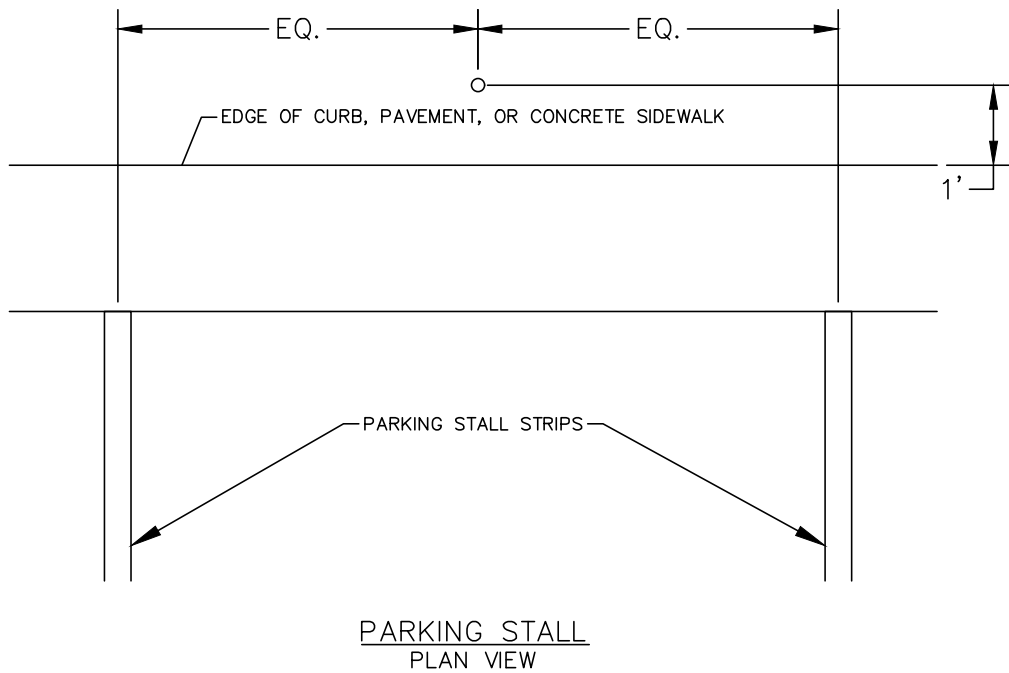
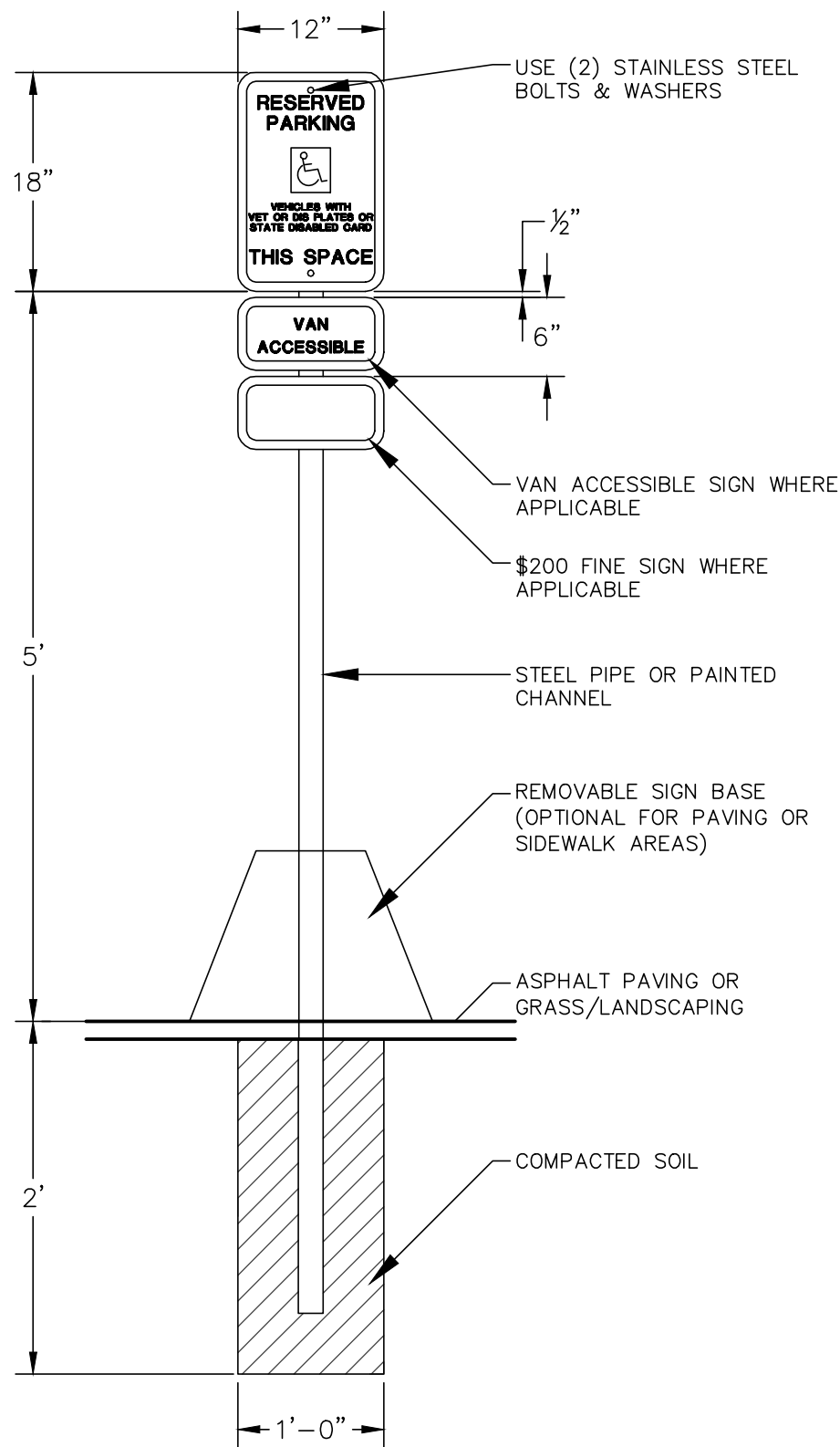
SEDIMENT LOG DETAIL



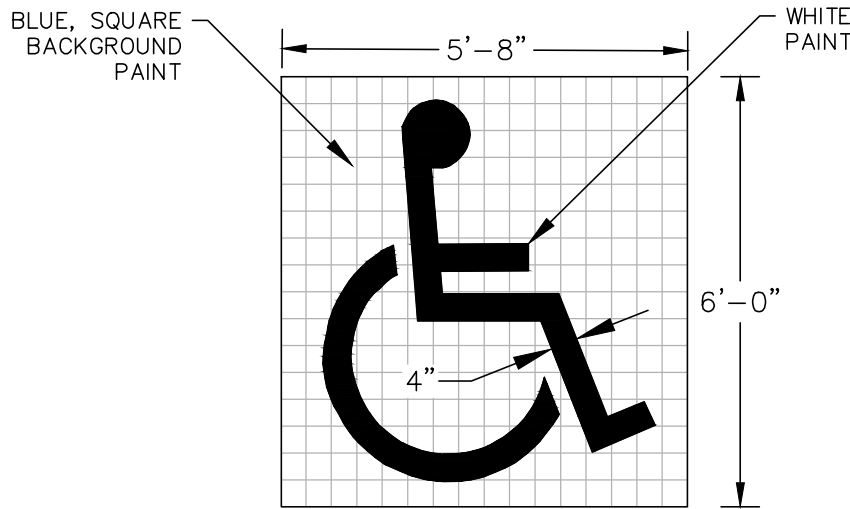
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT - SLOPE INSTALLATION



ADA COMPLIANT ACCESSIBLE SIGN DETAIL



ADA COMPLIANT ACCESSIBLE STALL PAINTED SYMBOL

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**ADELHELM LUBRICAT
621 BAXTER DRIVE
MUKWONAGO, WI 53149**

PLAN TITLE:
**SITE AND
EROSION
CONTROL
DETAILS**

DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
2-6-2024

PROJECT NO:
\KS-93-22

FINAL

SHEET NO:

C1.06



ADELHELM LUBRICOAT, NORTH AMERICAN
MUKWONAGO, WISCONSIN





Keller
FURNISH PARTS/DETAILS

DESIGNED BY: HANSEN
DRAWN BY: J.C. KIM
CHECKED BY: J.C. KIM
PROJECT NO: 2023-001
DATE: 01-24-2023
Keller
1000 W. 10th St.
Milwaukee, WI 53233
Phone: 414-224-2400
Fax: 414-224-2401
www.kellerhille.com

WISCONSIN
ADELHELM LUBRICAT, NORTH AMERICAN

PROPOSED FOR:
ADELHELM LUBRICAT, NORTH AMERICAN
MUKWONAGO, IL

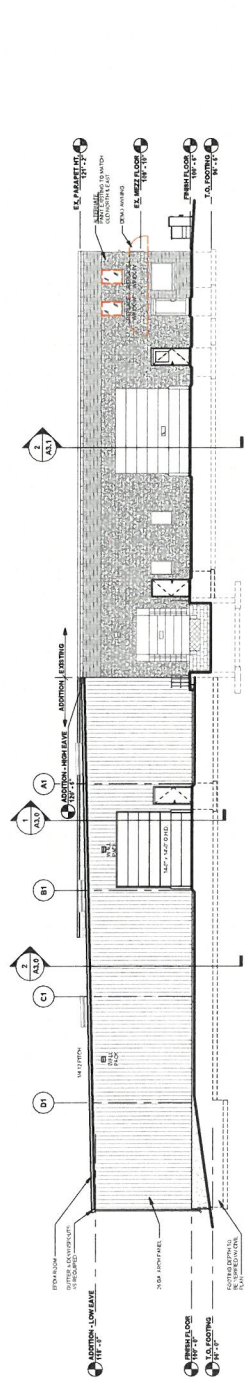
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REVISIONS	DATE	BY	APP
10	06.12.2023	TDP	
11	06.22.2023	TDP	
12	06.30.2023	TDP	
13	06.10.2023	TDP	
14	06.28.2023	TDP	
15	01.24.2024	TDP	

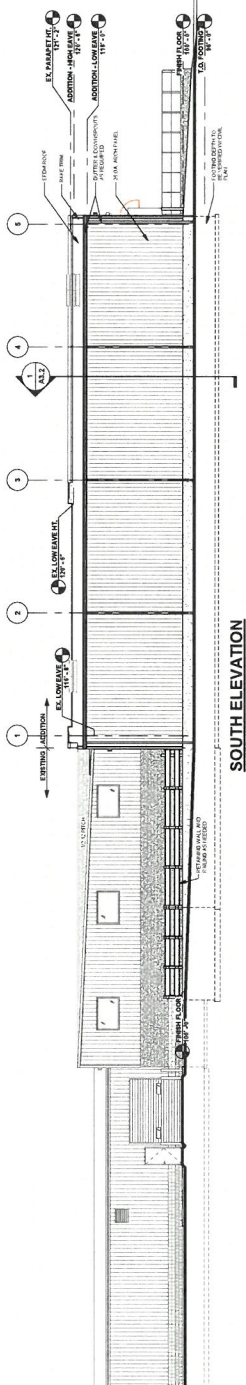
PROJECT MANAGER: L. SEBALD
DESIGNER: S. KESSIG
DRAWN BY: TDP
EXPERTOR: —
SUPERVISOR: —
PRELIMINARY NO: P22033
CONTRACT NO: —

DATE: 01.24.2022
SHEET: **A2.0**

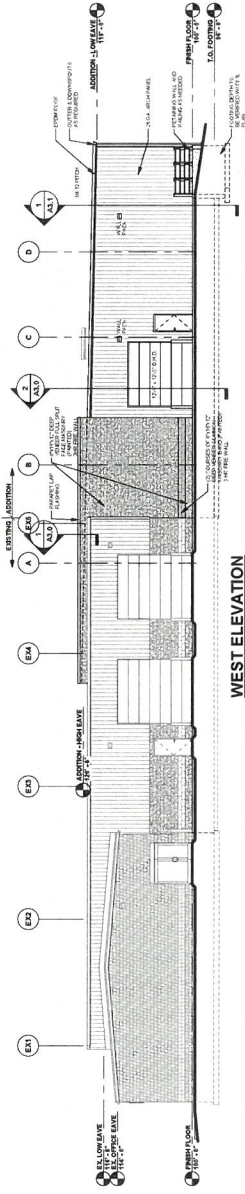
PRELIMINARY - NOT FOR CONSTRUCTION



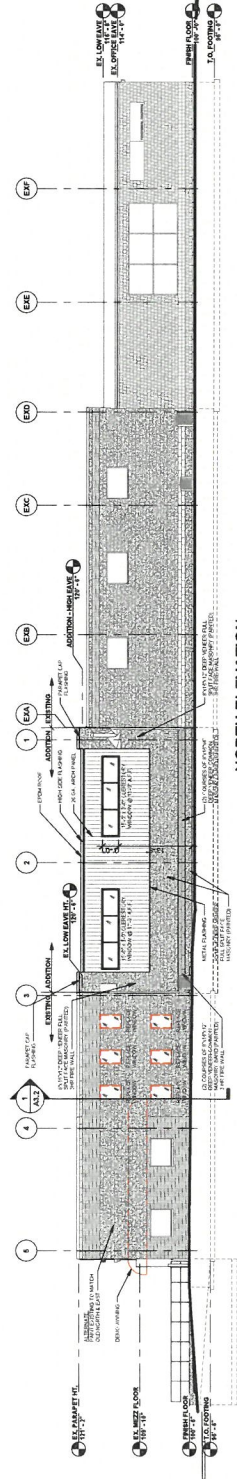
EAST ELEVATION
3/22' x 1/2'



SOUTH ELEVATION
3/22' x 1/2'



WEST ELEVATION
3/22' x 1/2'



NORTH ELEVATION
3/22' x 1/2'

DOOR & WINDOW VALUES	
WINDOWS	U VALUE
DOORS	U VALUE
GLASS	U VALUE
GLASS	U VALUE
GLASS	U VALUE
GLASS	U VALUE



Keller
FAMOUS ARCHITECTS INC.

DESIGNER
FACIL. ARCH.
1111 W. WISCONSIN
MILWAUKEE, WI 53233
TEL: 414.224.1111
FAX: 414.224.1111
WWW.KELLERARCH.COM

PROJECT NO. 2022-001
DATE: 01.24.2022
SHEET: A1.0

PROPOSED FOR:
ADELHELM LUBRICAT, NORTH AMERICAN
MUKKONAGO,

WISCONSIN

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REVISIONS

NO.	DATE	DESCRIPTION
10	06.12.2023	TDP
11	06.22.2023	TDP
12	06.30.2023	TDP
13	07.05.2023	TDP
14	12.26.2023	TDP
15	01.20.2024	TDP

PROJECT MANAGER
L. SEBALD

DESIGNER
S. KLESSIG

DRAWN BY:
TDP

EXPECTOR:
—

SUPERVISOR:
—

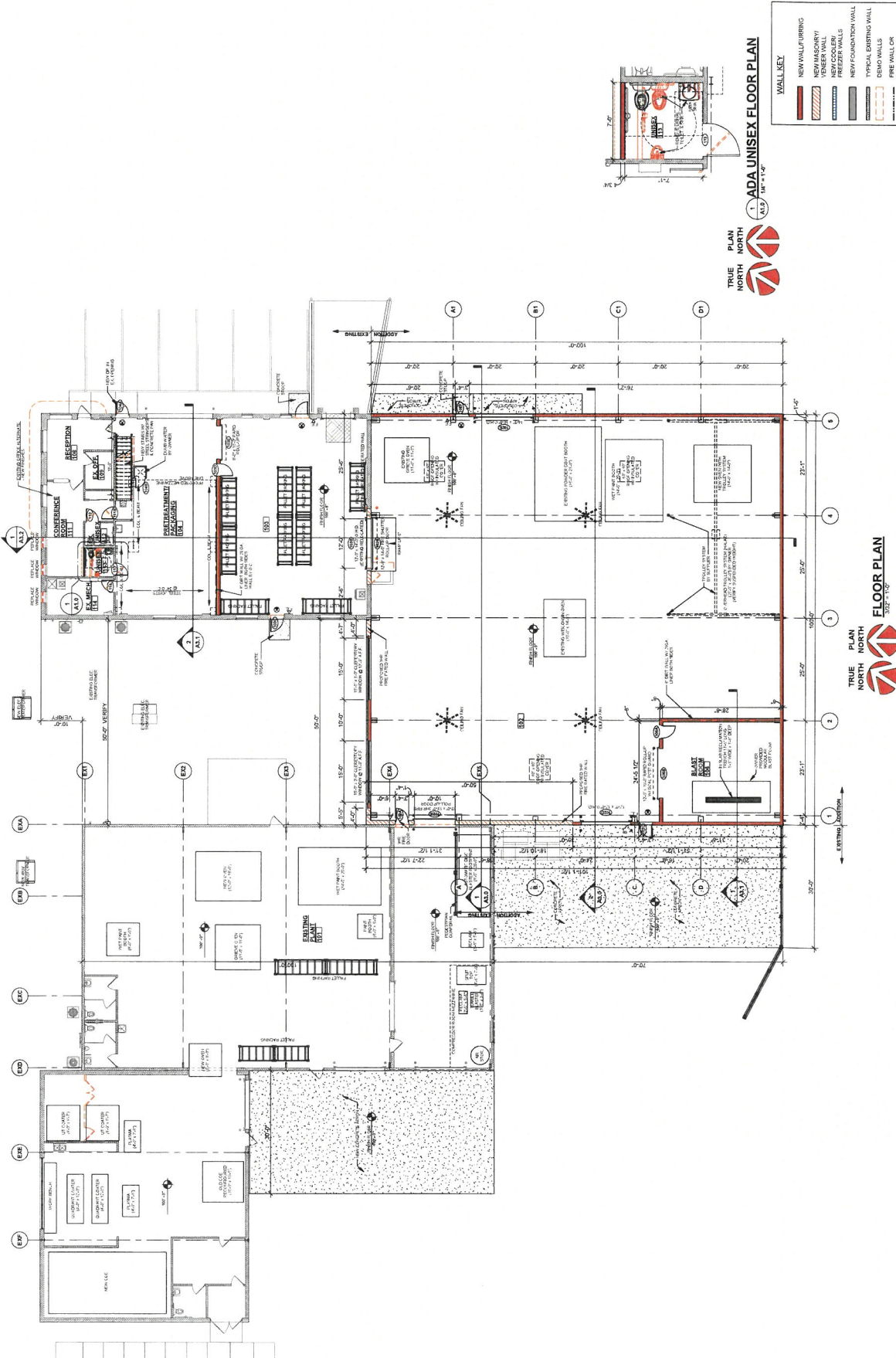
PRELIMINARY NO.
P22033

CONTRACT NO.
—

DATE:
01.24.2022

SHEET:
A1.0

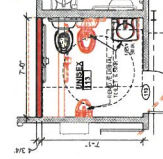
PRELIMINARY - NOT FOR CONSTRUCTION



TRUE NORTH
PLAN NORTH
ADA UNISEX FLOOR PLAN
1/10/24

WALL KEY

[Red Line]	NEW WALKWAY/TURNING
[Orange Line]	NEW MASONRY VENEER WALL
[Yellow Line]	NEW MASONRY VENEER WALL
[Green Line]	NEW FOUNDATION WALL
[Blue Line]	TYPICAL EXISTING WALL
[Purple Line]	EXISTING WALL
[Pink Line]	FIRE WALL OR FIRE BARRIER



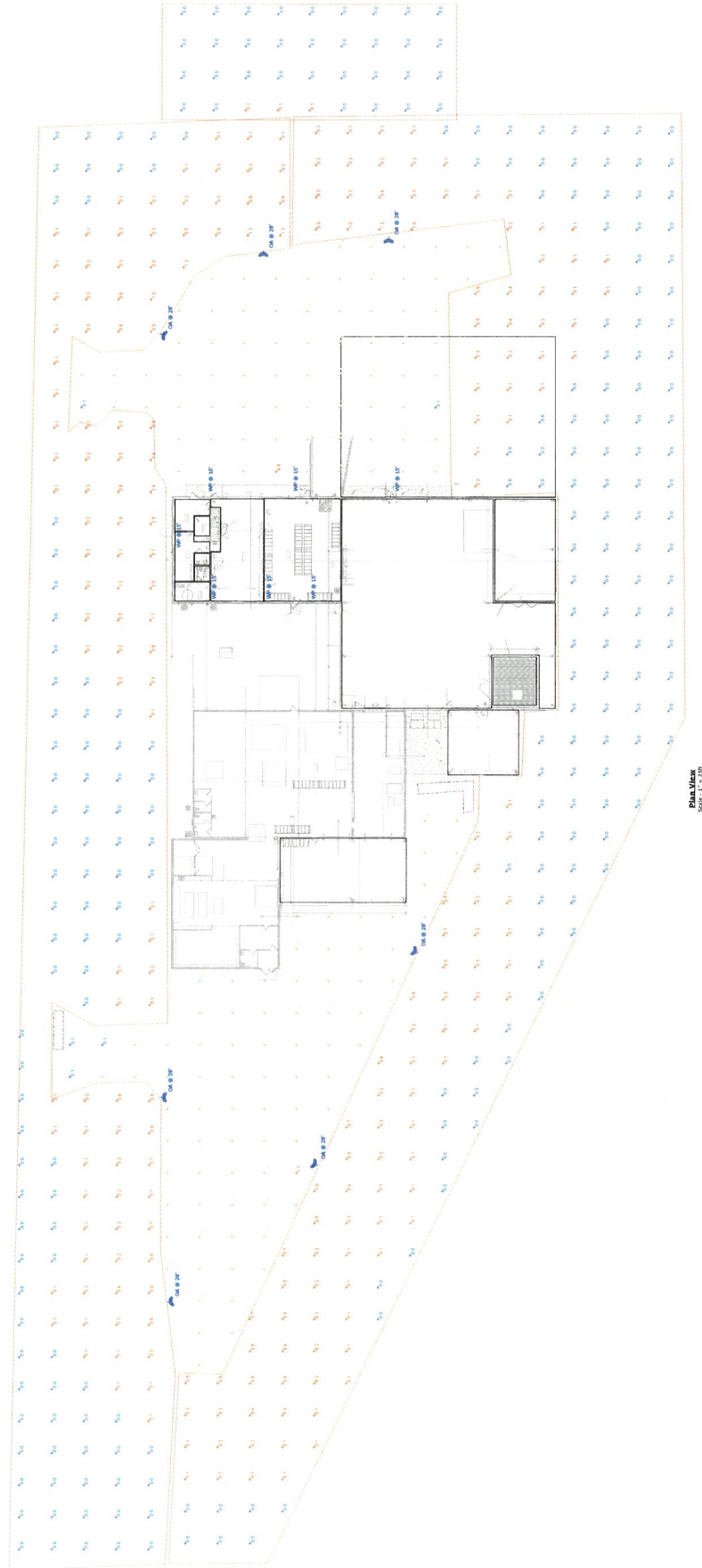
TRUE NORTH
PLAN NORTH
FLOOR PLAN
1/10/24






Plan View
Scale: 1" = 50'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
639 Lot	+	1.1 fc	4.8 fc	0.1 fc	48.0:1	11.0:1
Outside Lot Baxter Dr	+	0.3 fc	6.7 fc	0.0 fc	N/A	N/A
Outside Lot NE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Outside Lot SE	+	0.1 fc	1.2 fc	0.0 fc	N/A	N/A
621 Lot	+	0.9 fc	1.7 fc	0.1 fc	17.0:1	9.0:1

Schedule				
Symbol	Label	QTY	Manufacturer	Catalog
○	WP	7	RAB Lighting Inc.	SLIM17FAC60_4K at 0% CCT Setting
□	OA	7	Lithonia Lighting	RSX1 LED P1 40K R3



Statistics		Symbol	Avg	Max	Min	Max/Min	Avg/Min
Description							
639 Lot	+	1.1 fc	4.8 fc	0.1 fc	48.0:1	11.0:1	
Outside Lot Baxter Dr	+	0.3 fc	6.7 fc	0.0 fc	N/A	N/A	
Outside Lot NE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	
Outside Lot SE	+	0.1 fc	1.2 fc	0.0 fc	N/A	N/A	
621 Lot	+	0.9 fc	1.7 fc	0.1 fc	17.0:1	9.0:1	

Schedule					
Symbol	Label	QTY	Manufacturer	Catalog	
	WP	7	RAB Lighting Inc.	SLIM17FAFC60, 4K at 0% CCT Setting	
 	OA	7	Lithonia Lighting	RSX1 LED P1 40K R3	

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

PC RESOLUTION NO. 2024-04

**A RESOLUTION FOR A SITE PLAN AND ARCHTIEICTURAL REVIEW FOR
ADELHELM LUBRICOAT AT 621 & 639 BAXTER DR,
PARCEL NUMBERS MUKV 1970-998-019 & MUKV 1970-998-020**

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for an addition and site modifications, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Adelhelm Lubriccoat (Owner)/Keller Inc. (Contractor),

WHEREAS, the use is permitted within the M-2 Light Industrial – in which the subject property is located, and

WHEREAS, the plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for the addition at 621 & 639 Baxter Dr, based upon the plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of site construction plans to the Village and receive approval of said plans prior to issuance of any building permits. Plans shall include but are not limited to grading, utilities, utility calculations, erosion control, landscaping, lighting, building architecture, building materials and other plans as required. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives. The applicant representative shall coordinate such meeting.
3. The applicant must obtain all required land disturbance permits within six months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
4. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
5. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.

6. All work related to this project must comply with all project plans approved by the Village.
7. The developer must comply with all requirements related to impact fees imposed by the Village.
8. The developer shall comply with all parts of the Municipal Code as it relates to this project.
9. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities as well as comments regarding future reviews.
10. A tree survey is required prior to any disturbance on the property. Such plan shall be reviewed and approved by the Director of Public Works.
11. A stormwater management maintenance agreement shall be prepared and executed prior to any disturbance of land. A copy of the recorded document shall be provided to the Village.
12. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Building Inspectors are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
13. Plans must allow for a WB-50 vehicle to access the site as required by the fire department.
14. A dedicated hydrant for FDC and suppression system must be provided as required by the fire department.
15. All lighting within the parking lot and building lighting shall be full cut of lighting and meet municipal standards. Building lighting shall not direct light or the appearance of light towards adjoining properties. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
16. The applicant shall apply for and receive approval for all new signage as determined by Article IV of the Municipal Code.
17. Trash dumpster enclosure shall be constructed per village standards and plans submitted.
18. Refuse/Recycle Collection shall be contracted privately.
19. Landscaping plans shall be installed per village standard and approved plans.
20. A parking reduction of 26% is allowed due to the maximum employees on site does not exceed the parking spaces available and this also allows for safe maneuverability of delivery trucks.
21. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. may require Site Plan and Architectural Review.

NOW THEREFORE BE IT RESOLVED, that the Village of Mukwonago,

Approved and Adopted this 12th day of March 2024 by the Plan Commission of the Village of Mukwonago, Wisconsin.

ATTESTATION:

APPROVED:

Fred H. Winchowky, Village President

Linda Gourdoux, WCMC, CMC
Deputy Clerk-Treasurer



PLANNING COMMISSION

March 12, 2024 at 6:30pm
Mukwonago, WI

SITE PLAN AND ARCHITECTURAL REVIEW

L'Bri
909 Perkins Dr

MUKV1969996005

Case Summary

Parcel Data

Proposal:	Accessory Structure
Applicant:	Endpoint Solutions/Campbell Construction
Request:	Site Plan and Architectural Review
Staff Recommendation:	Denial

Parcel Characteristics / Conditions

Acreage:	3.0001
Current Use:	Industrial
Proposed Use:	Accessory Use to Principal Structure – Personal Use
Reason for Request:	Accessory Structure
Land Use Classification:	Industrial
Zoning Classification:	M-4 – Medium – Heavy Industrial
Census Tract:	2039.01

Architectural Review Request

An accessory building was constructed on the property behind the existing primary industrial building where L'Bri operates.

The owner/contractor did not inquire with the village staff about prior approvals or permitting requirements. Staff suggested incorporating private garage space in the future new building construction proposal on the site adjacent to their current parcel, that they will be proposing in the near future. There is no hardship to request a variance. The applicant was sent the criteria for the facts and finding which would need to be proved in order to qualify a hardship.

The building does not meet our requirements in Municipal Code Section 100-206(k):

(Green = Complying with Code/Red= Not complying with code)

Accessory buildings, structures and uses.

(1) Review required: Accessory buildings, structures and uses are subject to site plan and architectural review. **Did not submit before construction.**

(2) Limitations:

- a.** Accessory structures and uses are limited to those customarily incidental to the approved principal use, as approved by site plan and architectural review. **Did not submit request prior.**
- b.** No more than 20% of the total floor area (principal building and accessory building gross floor area) shall be used for accessory uses, as approved by site plan and architectural review.
- c.** Accessory buildings and structures may only be located in rear yards, with the exception of those typically used for landscaping and decorating such as flagpoles, ornamental light standards, lawn furniture, sundials and birdbaths, as approved by site plan and architectural review.
- d.** Accessory building or structure shall be designed in the same architectural style as the principal building or buildings on the same lot. **Does not match the architectural style of the principal building.**

(3) Permitted accessory buildings, structures and uses:

- a.** Those customarily incidental to the principal use. **No**
- b.** Garages for storage of vehicles used in conjunction with the principal use. **See attached email vs. what the site plan indicates.**

NA **c.** Off-street parking and loading areas accessory to the principal use.

NA **d.** Auxiliary power generators.

NA **e.** Dish antennas, ground, and rear and side building mounted only, as approved by site plan and architectural review.

(4) Setback: Same as for principal structure.

(5) Proximity to principal building: No closer than 10 feet. **4'-4" Ft setback to main structure and 3'-7" bump out on principal**

(6) Maximum floor area: As approved by site plan and architectural review. **1000 sf Proposed**

(7) Maximum number: As approved by site plan and architectural review. **1 Structure Proposed**

(8) Total coverage of all accessory structures: Not more than 20% of rear yard area.

(9) [Location of accessory buildings or structures:] No accessory buildings or structures shall be located within the required greenspace setback or within a required parking area.

Staff Review

Engineering	No concerns at this time
Public Works	No concerns at this time
Utilities	No concerns at this time
Police	No concerns at this time
Fire	Must meet the minimum setback of 10 feet building separation.

Building Inspection	Not enough information to determine fire separation distance required. No slab detail provided.
Planning	Building does not meet accessory use allowed, setback requirement from building or the architectural requirements as defined in Section 100-206(k). Also, the site plan use indicated contradicts the email received on the use type.

Recommendation

Site Plan and Architectural Review

Staff recommends the Planning Commission deny the request to keep a previously constructed accessory structure as set forth in the attached resolution due to the following reasons.

1. Necessary Site Plan and Architectural Review and approvals were not completed prior to construction.
2. It does not meet the requirements of the Municipal Code Section 100-206(k).
3. The structure shall be removed within 30 days of this denial.

Attachments

1. Plans
2. Resolution

PROJECT NARRATIVE

Date: March 1, 2024

Owner: L'Bri Pure N' Natural

Project: Accessory Building

Site Address: 909 Perkins Drive
Mukwonago, WI 53149

Proposed Site Modification

L'Bri Pure N' Natural is requesting approval for an accessory building at the above property location. The new building is approximately 20 feet wide and 50 feet long. It is located at the southeast corner of their existing principal building, approximately four feet apart. The new building is ninety-nine (99) feet from the closest (south) property line. A site plan is attached to this narrative. Photos of the accessory building are shown below.











2505 N Highway 360 Ste 110 Grand Prairie, TX 75050
13479 S Mason Dr. Grant, MI 49327
1401 N High St. Fort Atkinson, WI 53538
877.235.5210 phone • 616.236.5200 text
processing@midweststeelcarports.com

Purchase Order / Invoice

Order No: WI-707

Dealer Name: Rolando.S

Date: 10/31/2023

Buyer's Name: Andrew Kaminski/L'BRI PURE n' NATURAL

Email: andy@lbri.com

Buyer's Address: 909 Perkins Drive

City: Mukwonago

State: WI

Zip: 53149

Ph: 2628441382

Cell: 2628441382

County/ Township: Waukesha

Unit Location (if different above)

Did not receive a call regarding this.

Engineer plans required?		Will you need a permit?		Electricity on site?		Site ready and level?	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Gauge	Width	Frame Length	Roof Length	Price	Snowload (lbs/sq. ft.):		
<input checked="" type="checkbox"/> 14 Ga.	20	50	51	\$2794.00	<input type="checkbox"/> 30	<input checked="" type="checkbox"/> 40	<input type="checkbox"/> 50 <input type="checkbox"/> 60 <input type="checkbox"/> 70 <input type="checkbox"/> 80
<input type="checkbox"/> 12 Ga.	Leg Height	Size: 12		\$510.00	Colors		
Qty	Roof Style	<input type="checkbox"/> Regular <input type="checkbox"/> AF Horizontal <input checked="" type="checkbox"/> AF Vertical		\$1254.00	Roof	Charcoal Gray	Walls Charcoal Gray
2	Close Sides	<input type="checkbox"/> Add Vertical <input type="checkbox"/> Partial:		\$1392.00	Trim	Pewter Gray	2-Tone
2	Close Ends	<input type="checkbox"/> Add Vertical <input type="checkbox"/> Partial:		\$2784.00	Additional Notes:		
	Gable	<input type="checkbox"/> Add Vertical <input type="checkbox"/> Ext. Gable			Price		
	Roll-Up Door	Size:					
	Color Upgrade (Std White):	<input type="checkbox"/> Header Seal					
1F	Overhead Door	Model & Size: 16x10		\$3431.00			
	Color: White	<input type="checkbox"/> Windows <input type="checkbox"/> Insulated			Customization (upgrade after material was made)		
1F	Frameout / Header:	Size: 16x10 F.O for OVHD		\$744.00			
	Frameout / Header:	Size:			Add Ons:		
	Walk-In Door 36x80 MHD (Swing Left Out)	<input type="checkbox"/> Solid <input type="checkbox"/> 9-Lite			<input type="checkbox"/> Site Leveling		
1R	36x80 Steel Door (Swing-In) Color:	<input checked="" type="checkbox"/> Solid <input type="checkbox"/> 9-Lite		\$896.00	<input type="checkbox"/> Build Over Fee		
	Window	<input type="checkbox"/> 30x30 Std. <input type="checkbox"/> 36"x36" Vinyl Horz. Slide <input type="checkbox"/> w/ Grids			<input type="checkbox"/> Cut Legs on Site		
40	Anchors	<input type="checkbox"/> Mobile Home <input type="checkbox"/> Asphalt <input checked="" type="checkbox"/> Concrete		\$319.00	<input type="checkbox"/> Other: Change order		
	Wind Certified	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Rebar Only)			Financing: Company:		
	Radiant Barrier (R-foil)	<input type="checkbox"/> Roof Only <input type="checkbox"/> Roof & Walls			ALL ORDERS COD		
	Condensstop	<input type="checkbox"/> Roof Only <input type="checkbox"/> Roof & Walls			Office		
Y	Overhang Upgrade	<input checked="" type="checkbox"/> 1' (max)		\$1254.00	Subtotal	\$21,783.30	
	26g Sheet Metal Upgrade	<input type="checkbox"/> Panel Loc <input type="checkbox"/> R-Loc (Commercial)			Processing Fee	\$95.00	
	Roof Pitch Upgrade	<input type="checkbox"/> 5/12			Add'l Fees (labor, etc.)	\$650.00	
	Colored Screws	<input type="checkbox"/> Upgrade			Install Over 12' Tall	\$0.00	
	<input type="checkbox"/> Concrete Sealant	<input checked="" type="checkbox"/> Concrete Sealant Declined			Tax 5 %	\$1,126.41	
	<input type="checkbox"/> Foam Enclosures				Total	\$23,654.71	
	Vents 12x12 (Std White)				% Down Payment	\$17,092.72	
	Two-tone (Wainscot vertical only)	<input type="checkbox"/> Upgrade			Balance Due (COD)	\$6561.99	
CO	10%off			\$(846.70)	Non-Refundable Fees Due Upfront		
Y	Ridge Cap Enclosure			\$54.00	Custom Engineer Plans	/ /	
					Equipment Rental Fees	/ /	
					Freight	/ /	
					Installation		
					Date:	11/27/24	
					Customer Signature:		
					Installer Signature:		
					Paying With:	CC <input checked="" type="checkbox"/> Check <input type="checkbox"/> Finance <input type="checkbox"/> Cash <input type="checkbox"/>	
					Office Use Only - Payment Method		
					CC #:	Check #:	Finance Cash
					Received By:	Date:	

Purchase Agreement & Terms (See reverse side for terms and conditions)

By signing this, customer agrees with all the above unit specifications and terms as stated above and on the reverse side of this document.

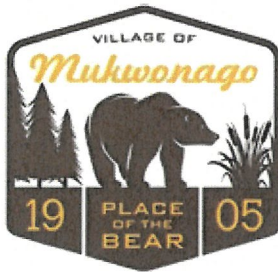
Customer Signature: _____ Date: _____

Dealer Signature: _____ Date: _____

Midwest Signature: _____ Date: _____

From: [Erin Scharf](#)
To: [Tim Rutenbeck](#); [Corry Eifert](#)
Subject: FW: L'Bri - Building Addition - 909 Perkins
Date: Tuesday, February 20, 2024 10:30:00 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Looping you back in.



Erin Scharf

Community Planner/Zoning Administrator
Phone: 262.363.6420 *2111
Cell : 262.349.0796
Email : escharf@villageofmukwonago.gov
General Hours: M-TH 8:30am-4pm/F 8:30am-12pm
440 River Crest Ct
Mukwonago, WI 53149
www.villageofmukwonago.gov
www.mukwonagodowntown.com

From: Mike Shaw <mike@lbri.com>
Sent: Tuesday, February 20, 2024 10:21 AM
To: Erin Scharf <escharf@villageofmukwonago.gov>
Subject: RE: L'Bri - Building Addition - 909 Perkins

CAUTION: This email originated from outside the organization.
Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Erin,

The setback from the building is roughly 4 feet.

The shed is for car storage for some of the owners cars he doesn't want outside. (All running and in very good condition)

Being it does not meet the M-4 district regulations should I go through with everything below or is this a case of where we will need to take it down?

Regards,

Mike



MIKE SHAW

Operations Manager

mike@lbri.com
800.742.8828 Ext. 223
Cell#262.333.9520
909 Perkins Dr.
Mukwonago, WI 53149
lbri.com



From: Erin Scharf <escharf@villageofmukwonago.gov>
Sent: Tuesday, February 20, 2024 10:11 AM
To: Mike Shaw <mike@lbri.com>
Cc: Tim Rutenbeck <trutenbeck@villageofmukwonago.gov>; Corry Eifert <ceifert@villageofmukwonago.gov>; Robin Gallo <rgallo@villageofmukwonago.gov>
Subject: RE: L'Bri - Building Addition - 909 Perkins

Hi Mike,

Here are the items needed.

1. Please [create an account](#). Please contact Robin if you have any trouble setting up an account.
2. Complete a Site Plan and Architectural Application – checklist [here](#) . This can likely be reviewed and approved at the staff level.
 - a. Without having a site plan and drawings it is hard to determine the setback from the primary building, but it appears the building does not meet our accessory structure regulations in the M-4 district.
 - b. Specifically, I am concerned with the use of the accessory structure, the setback from the building, and the architectural design – please see the regulations [here](#).
3. After the Zoning and Site Plan Architectural Review is completed building/electrical permits will be required to be submitted through the online portal. A WI licensed electrician is required to submit the electrical permit.

Please reach out with any questions.

Thank you,

Erin Scharf
Community Planner/Zoning Administrator
Phone: 262.363.6420 *2111
Cell : 262.349.0796
Email : escharf@villageofmukwonago.gov
General Hours: M-TH 8:30am-4pm/F 8:30am-12pm
440 River Crest Ct



Mukwonago, WI 53149
www.villageofmukwonago.gov
www.mukwonagodowntown.com

From: Mike Shaw <mike@lbri.com>
Sent: Tuesday, February 20, 2024 9:03 AM
To: Erin Scharf <escharf@villageofmukwonago.gov>
Subject: RE: L'Bri - Building Addition - 909 Perkins

**CAUTION: This email originated from outside the organization.
Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Hi Erin,

What do you need from us to rectify this.

Regards,
Mike



MIKE SHAW

Operations Manager

mike@lbri.com

800.742.8828 Ext. 223

Cell#262.333.9520

909 Perkins Dr.

Mukwonago, WI 53149

lbri.com

the Power
of ALOE

From: Erin Scharf <escharf@villageofmukwonago.gov>
Sent: Tuesday, February 20, 2024 8:54 AM
To: Jason Heinonen <jason@endpointcorporation.com>
Cc: Brian Kaminski <brian@lbri.com>; Mike Shaw <mike@lbri.com>; Jay Campbell <jay@campbellconstructionbbg.com>; Jay Knetter <jayk@jaknetter.com>; kevin@campbellconstructionbbg.com
Subject: RE: L'Bri - Building Addition - 909 Perkins

Hi Jason,

I have a couple of questions.

1. I just received a photo yesterday from the Inspection team with a shed that was erected without a site plan review/approval and no building permits on the existing property. This will need to be rectified prior to any reviews on this project.
2. The proposed "addition" is a new building not an addition, however, do they plan for this parcel to remain on its own or combine with the current parcel. If they plan to combine the parcels, then there are a different set of dimensional standards. I see there is already a CSM which you attached (showing parcels separated). Was this approved by the Village that you know of, as I do not have an approval on record. I did not see a recorded copy on file with the County.
3. What will be the use of the second building? There is a parking reduction allowance in the code in the Manufacturing district, if you can meet certain criteria. A variance is different and follows a different set of regulations/procedures.

Thank you,



Erin Scharf
Community Planner/Zoning Administrator
Phone: 262.363.6420 *2111
Cell : 262.349.0796
Email : escharf@villageofmukwonago.gov
General Hours: M-TH 8:30am-4pm/F 8:30am-12pm
440 River Crest Ct
Mukwonago, WI 53149
www.villageofmukwonago.gov
www.mukwonagodowntown.com

From: Jason Heinonen <jason@endpointcorporation.com>
Sent: Monday, February 19, 2024 1:03 PM
To: Erin Scharf <escharf@villageofmukwonago.gov>
Cc: Brian Kaminski <brian@lbri.com>; Mike Shaw <mike@lbri.com>; Jay Campbell <jay@campbellconstructionbbg.com>; Jay Knetter <jayk@jaknetter.com>; kevin@campbellconstructionbbg.com

Subject: L'Bri - Building Addition - 909 Perkins

**CAUTION: This email originated from outside the organization.
Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Hi Erin,

L'Bri is looking to build a new building on the vacant/eastern portion of their existing lot. The property is currently two lots (see the attached ALTA). Attached is a preliminary site plan showing a new building with shared parking/access. We know we'll need a variance for the parking as I believe it's 3/1,000 SF for this zoning district. We listed the existing/proposed parking stall ratios on the attached sheet to help facilitate that discussion. Would we be able to set up a pre-application meeting with the Village in the near future to go over any concerns you and your team might have, and any other variances we'd likely need?

We could meet at L'Bri or do a Teams meeting if that's easier.

Please give us any potential dates/times that would work on your end.

Thanks!

Jason

Jason Heinonen | Endpoint Solutions

D: (414) 858-1920 C: (414) 405-5779

6871 South Lovers Lane, Franklin, WI 53132

O: (414) 427-1200 | F: (414) 427-1259 | <http://www.endpointcorporation.com/>

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**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

PC RESOLUTION NO. 2024-03

**A RESOLUTION FOR SITE PLAN AND ARCHITECTURAL REVIEW FOR
L'BRI AT 909 PERKINS DR, PARCEL MUKV 1969-996-005**

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for a previously built accessory structure, which the application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by L'Bri (Owner) and Endpoint Solutions/Campbell Construction (Engineer/Contractor),

WHEREAS, the use is permitted within the M-2 Light Industrial Zoning District – in which the subject property is located, and

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago, Wisconsin hereby denies the site plan and architectural review for the accessory structure at 909 Perkins Dr, based upon the plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review denial due to the following conditions:

1. Necessary Site Plan and Architectural Review and approvals were not completed prior to construction.
2. It does not meet the requirements of the Municipal Code Section 100-206(k).
3. The structure shall be removed within 30 days of this denial.

NOW THEREFORE BE IT RESOLVED, that the Village of Mukwonago,

Denied and Adopted this 12th day of March 2024 by the Plan Commission of the Village of Mukwonago, Wisconsin.

APPROVED:

ATTESTATION:

Fred H. Winchowky, Village President

Linda Gourdoux, WCMC, CMC
Deputy Clerk-Treasurer



PLANNING COMMISSION

March 12, 2024 at 6:30pm
Mukwonago, WI

Preliminary Plat for Cardinal Crest Subdivision

Parcel Numbers: MUKV2091995 (Lands Attached per Ord. 1030)

Case Summary

Parcel Data

Proposal:	New Preliminary Plat for Cardinal Crest Subdivision
Applicant:	Bryan Lindgren, President / Neumann Development, Inc
Request:	Preliminary Plat
Staff Recommendation:	Approve w/Conditions

Parcel Characteristics / Conditions

Acreage:	50.82 acres (16.50 in MUKV)
Total Number of Units:	94 total (36 in MUKV)
Density:	.46 acres per Dwelling Unit
Total Green Space:	60% of lot area required
Park Area Dedication:	TBD – Lot 2 has been discussed.
Stormwater:	Portion of Lot 2 & 3 in MUKV
Current Use:	Farmland
Proposed Use:	Single Family Lots, Private out lots, and stormwater Facilities
Reason for Request:	New Subdivision
Land Use Classification:	Small Lot Single Family – 10,000 – 12,000 SF
Zoning Classification:	R-3 Single Family Small-Lot Residential District
Census Tract:	2039.01

Project Summary

Neumann Development is requesting a review of a Preliminary Plat for the Cardinal Crest Subdivision.

Specific Requests

The applicant specifically requests the approval of a Preliminary Plat for a subdivision known as Cardinal Crest, which includes 94 single-family residential lots. 36 single-family residential lots are in the Village of Mukwonago along with outlots 2 & 3. 58 single-family residential lots are in the Village of Vernon along with outlots 1,4,5, & 6. This subdivision is located between National Ave and Edgewood Ave.

Project Overview

Neumann Development has been working with the Village of Mukwonago and Vernon in order to develop the subdivision. The Planning Commission and Village Board have approved the attachment and detachment of lands, comprehensive plan amendment, and rezoning in January and February of 2024.

The next steps are to approve the Preliminary Plat, Planned Unit Development Overlay, Developer's Agreement, Construction Plan, and Final Plat.

Lots

The proposed portion of the subdivision lot in Mukwonago includes 36 single-family lots ranging in size from 9,000 square feet to 22,061 square feet. The minimum lot area required in the R-3 Single-Family Small Lot - Residential District is 10,000 square feet. The setbacks proposed are also less than required by the zoning code and will be addressed in a future proposal for a Planned Unit Development (PUD). The developer is aware and has submitted a PUD application, which will come before the Plan Commission and Village Board at a later date.

Roads

There are no concerns at this time and any details will be addressed with the infrastructure plans. The road width meets the minimum requirement for Village Design standards. See fire department comment on Cul de sacs.

Staff Review

Engineering	Echo building inspection comment.
Public Works	No concerns at this time.
Utilities	No concerns at this time. These lots will be served by sewer and water.
Police	No concerns at this time.
Fire	300' spacing for hydrants. Cul de sacs were 110' so that our ladder could turn - run the WB-50 template.
Building Inspection	Should say: "agencies having authority to object should be Waukesha County Park and Land Use" rather than Washington County.
Planning	Echo building inspection comment. PUD approval to follow in April, if Preliminary Plat approved. Park Area needs to be identified.

Action

Recommendation

Staff recommends the Planning Commission recommend approval to the Village Board for the preliminary plat with 94 single-family residential lots, 36 of which are in the Village of Mukwonago, subject to the following conditions in the attached draft resolution (as adopted or amended). The conditions will be resolved for the Final Plat and/or included in the Developers Agreement that is to be drafted.

Attachments

1. Preliminary Plat
2. Attach/Detach Ord. 1030
3. DOA Letter
4. DOA Cert Prelim Plat
5. Waukesha County Letter
6. Parks and Land Use Cert Prelim Plat
7. Resolution (as adopted or amended)

ORDINANCE NO. 1030

**AN ORDINANCE APPROVING THE ATTACHMENT OF TERRITORY FROM THE
VILLAGE OF VERNON TO THE VILLAGE OF MUKWONAGO**

WHERAS, the Village of Mukwonago has received Craig Hein's (Property Owner) petition for detachment from the Village of Vernon of the subject territory located in the Village of Vernon, Waukesha County, Wisconsin to be Attached to the Village of Mukwonago, Waukesha County, Wisconsin; and

WHEREAS, the Petition has been signed by a majority of the owners of three-fourths of the taxable land in area within the territory to be detached, and the petition was filed with the Village Clerk of the Village of Vernon within 120 days after the date of a publication of a class 1 notice of intention to circulate a petition of detachment pursuant to Wis. Stat. § 66.0227(1); and

WHEREAS, pursuant to Wis. Stats. §66.0227(2) the Village of Vernon Village Board adopted the Detachment Ordinance within 60 days after the filing of the petition; and

WHEREAS, this Ordinance attaching the territory from Vernon is being adopted by the Village Board of the Village of Mukwonago within 60 days of the enactment of the Village of Vernon Detachment Ordinance, pursuant to Wis. Stats. § 66.0227(2); and

WHERAS, all requirements of Wis. Stats. § 66.0227 have been fully complied with; and

WHERAS, pursuant to Wis. Stats. § 66.0227(2), the Village Board of the Village of Mukwonago by at least a three-fourths majority has approved this Attachment Ordinance;

NOW THEREFORE, the Village Board of the Village of Mukwonago, Wisconsin does hereby ordain as follows:

SECTION 1: Territory Detached from the Village of Vernon and Attached to the Village of Mukwonago.

In accordance with Wis. Stat. §66.0227 and the Petition to detach a portion of land from the Village of Vernon and Attach to the Village of Mukwonago filed with the Village Clerk for the Village of Vernon on December 6, 2023, signed by the majority of the owners of three-fourths of the taxable land in area within the territory, the following described territory in the Village of Vernon is detached from the Village of Vernon and attached to the Village of Mukwonago, Wisconsin:

All that part of Lot 1 of Certified Survey Map No. 8142, recorded in the Office of the Register of Deeds for Waukesha County on October 22, 1996, in Volume 71 of Certified Survey Maps, at Pages 23 through 25 inclusive, as Document No.2166785 and Unplatted Lands, being located in a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 19, Town 5 North, Range 19 East, in the Village of Vernon, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the East 114 Corner of said Section 19; Thence South 87°32 '52" West and along the North line of the said Southeast 1/4 Section, 1902.96 feet to a point on the East line of said Lot 1 of Certified Survey Map No. 8142, Thence South 01°43 '08 "East and along the East line of said Lot 1 of said Certified Survey Map No. 8142, 1,154.34 feet to a point; Thence South 89°14'12" West, 1212.39 feet to the point of beginning of lands hereinafter described;

Thence South 26°40'38" East, 60.00 feet to a point; Thence South 63°19'22" West, 150.00 feet to a point; Thence North 26°40'38" West, 27.28 feet to a point, Thence Southwesterly 276.73 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 60.0 feet, whose central angle is 264°15'39", and whose chord bears South 21° 11 '32" West, 88.99 feet to a point; Thence Southeasterly 276.89 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 183.0 feet, whose central angle is 24°04 '20 ", and whose chord bears South 38°42 '49" East, 76.32 feet to a point; Thence South 39°15'00" West, 68.04 feet to a point; Thence South 57°38'00" West, 111.50 feet to a point; Thence along the existing Corporate Limits Line the following courses; Thence North 56°47'31" West, 191.03 feet to a point; Thence North 13°05'19" West, 155.18 feet to a point; Thence Northeasterly 305.65 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 333.07 feet, whose central angle is 52°34'47", and whose chord bears North 65°59'28" East, 295.04 feet; Thence South 59°23'49" East, 151.3 feet to a point; Thence North 31°29'21" East, 54.12 feet to a point; Thence North 50° 35'42" East, 10.30 feet to the point of beginning of this description.

Said Parcel contains 72,840 Square Feet (or 1.6722 Acres) of land, more or less.

Waukesha County Tax Parcel Number: VNT-2091-999-009

SECTION 2: Effect of Attachment.

From and after the date of this ordinance, the territory described in Section I shall no longer be part of the Village of Vernon and shall be part of the Village of Mukwonago, for any and all purposes provided by law and all persons coming or residing on the property shall be subject to all ordinances, rules and regulations governing the Village of Mukwonago.

SECTION 3: Zoning Classification.

The territory being detached from the Village of Vernon by this Ordinance is zoned as follows, pursuant to Wis. Stat. §66.0227(4): A-1a, Agricultural District. The territory shall continue to be zoned as such until such time as it is re-zoned by the Village of Mukwonago.

SECTION 4: Attachment.

That the above-described territory situated in the Village of Vernon will be detached and the same is hereby Attached to the Village of Mukwonago, Waukesha County, Wisconsin. The Village Clerk of the Village of Mukwonago is further directed to make the mailings and recordings pursuant to Wis. Stats. §66.0217(9)(a) and Wis. Stats. §66.0227, i.e., to mail a copy of the Ordinance to the Secretary of Administration of the State of Wisconsin, and the Clerk of the Vernon School District, a copy to the Register of Deeds of Waukesha County, and one copy to any company that provides utility service to the area detached.

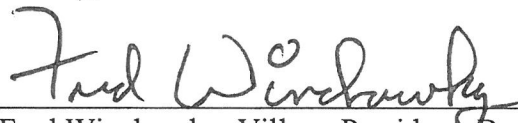
SECTION 5: Severability.

If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance, which can be given effect without the invalid or unconstitutional provision or application.

SECTION 6: Effective Date.

That this Ordinance shall take effect and be in force from and after its passage and posting as provided by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago and shall indicate the number of this amending ordinance therein.

PASSED AND ADOPTED by the Village Board of the Village of Mukwonago, Waukesha County, Wisconsin, this 21st day of February, 2024.



Fred Winchowky, Village President, Board of Trustees

Countersigned:



Diana Dykstra, Village Clerk-Treasurer





TONY EVERS
GOVERNOR
KATHY BLUMENFELD
SECRETARY-DESIGNEE

Plat Review

PO Box 1645, Madison WI 53701

E-mail: plat.review@wi.gov

<https://doa.wi.gov/platreview>

February 28, 2024

Ted Indermuehle
TRIO ENGINEERING, LLC
4100 N CALHOUN RD SUITE 300, BROOKFIELD WI 53005-2000
tindermuehle@trioeng.com

FILE NO. 121829
CARDINAL CREST
Village of Mukwonago, Waukesha County

Dear Ted Indermuehle:

You have submitted the preliminary plat of CARDINAL CREST for review. The Department of Administration does not object to this preliminary plat and certifies it as complying with the requirements of: s. 236.16, and s. 236.20 Wis. Stats.; the Waukesha County Planning Agency.

DEPARTMENT OF ADMINISTRATION COMMENTS:

We have examined and find that this preliminary plat appears to conform with the applicable layout requirements of ss. 236.16 and 236.20, Wis. Stats.

COUNTY PLANNING AGENCY:

The Waukesha County Planning Agency is an objecting agency on this plat. On 02/02/2024 we transmitted copies to them for review. On 02/21/2023, we were notified that they do not object to this plat with conditions to be met prior to the final plat submittal.

Local government units, during their review of the plat, will resolve, when applicable, that the plat:

- complies with local ordinances;
- conforms with areawide water quality management plans, if sewerage;
- complies with Wisconsin shoreland management regulations;
- resolves possible problems with storm water runoff;
- fits the design to the topography;
- displays well designed lot and street layout;
- includes service or is serviceable by necessary utilities.

If there are any questions concerning this review or preparation and submittal of the final plat, please contact our office as listed above.

Regards,

Don Sime, PLS
Plat Review

cc: Owner; Clerk, Village of Mukwonago; Waukesha County Planning Agency; Clerk, Village of Vernon
PLAT RECEIVED FROM SURVEYOR ON 02/02/2024; REVIEWED ON 02/28/2024

Paul Farrow
County Executive

Dale R. Shaver
Director



Waukesha County
Department of Parks and Land Use

TO: State of Wisconsin-Department of Administration (Plat Review)

NOTICE OF: Certification of No Objection to Preliminary Plat

DATE OF REVIEW: February 21, 2024

RE: Subdivision Plat known as: **Cardinal Crest**
File No. 2087

LOCATION: Part of the SW ¼ and SE ¼ of Section 19, T5N, R19E, Village of Mukwonago and Village of Vernon

SUBMITTED BY: Wisconsin Department of Administration-Plat Review

SURVEYOR: Ted Indermuehle, P.L.S
Trio Engineering
4100 N. Calhoun Rd. Suite 300
Brookfield, WI 53005

DATE RECEIVED: February 2, 2024

DATE OF PLAT: January 25, 2024

SUBDIVIDER: Neumann Developments, Inc.
N27W24025 Paul Ct., Suite 100
Pewaukee, WI 53072

Planning and Zoning

515 W. Moreland Blvd., Room AC 230 Waukesha, Wisconsin 53188-3878
Phone: (262) 548-7790 Fax: (262) 896-8071 www.waukeshacounty.gov/planningandzoning

REMARKS: Conditional Approval of this Preliminary Plat is based on the following conditions being met, prior to the submittal of a revised Preliminary Plat or Final Plat:

1. A name change is required. There is already a Cardinal Crest subdivision in the City of Brookfield and all subdivision names within the county must be unique.
2. If the development summary is to remain, include all tax keys of the property or remove them completely. Specifically, it appears tax key VNT 2091991003 is also a part of the plat. In addition, development summary note no. 3 shall be corrected to read "...94 Lots and 6 Outlots."
3. All public roads shall be clearly labeled "Dedicated to the public for roadway purposes." All road names shall be unique.
4. The scale of the plat is missing and shall be noted next to the scale bar.
5. Signatures Certificates shall be on the final plat.
6. Curve information shall be provided on the final plat or within a table on the final plat.
7. Any existing wells and/or septic systems shall be properly abandoned. An abandonment report shall be submitted to Waukesha County Environmental Health Division.
8. All easements shall be identified on the plat.
9. Unless Outlots 4 and 6 are modified to have public road access, access easements shall be provided and identified on the final plat.
10. Documentation must be presented to Waukesha County Planning and Zoning staff confirming that, as required by Section NR 110.08(4) of the Wisconsin Administrative Code, the Southeastern Wisconsin Regional Planning Commission has reviewed and commented on the proposed sanitary sewer extension which will be needed to serve the expanded development.
11. A letter from the Village of Mukwonago and Village of Vernon (if applicable) indicating that they are willing to extend sewer to the subdivision must be furnished to the Waukesha County Department of Parks and Land Use.
12. The portion of the proposed plat in the Village of Vernon does not comply with the Waukesha County Comprehensive Development Plan, which designates this parcel as Rural Density and Other Agricultural Land (5 acres/dwelling unit), or

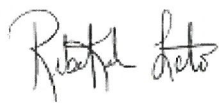
the 2019 Village Land Use Map, which designates the land as Recreational. Therefore, the plat does not comply with the Village Land Use Plan. Prior to Final Plat submittal, please provide documentation that the Village Land Use Plan has been modified to an appropriate residential category. The County Plan will be updated appropriately.

13. The specific date of the wetland study prepared by Dave Meyer shall be added to the final plat.
14. Wetland preservation restrictions, similar to the enclosed, shall be noted on the face of the Plat and referenced to the wetlands within the subdivision.
15. The Developer shall obtain all necessary local, DNR and ACOE approvals for the proposed wetland fill proposed, prior to any land altering activities taking place.
16. The note listing objection agencies shall be corrected from "Washington County Dept. of Parks and Land Use" to "Waukesha County Dept. of Parks and Land Use".
17. There is an existing INRA label on Outlot 5 but it is not clear where the boundary is. Please clarify or remove the label. In addition, if INRA is present on the property, please identify the source of the INRA.

In addition, we recommend the following:

18. There are mapped hydric soils in the area of lots 16 through 24 and 81 through 90, indicative of seasonal high groundwater within one (1) foot of the surface. Many of these areas are also identified as Prior Converted Wetlands on the NRCS draft wetland maps. Our office recommends that the Villages require soil testing throughout the development to ensure that all of the lots are buildable and that basements will clear the estimated seasonal high groundwater elevation, preferably by at least one (1) ft. If a significant amount of fill is required, we recommend that the Villages review a Master Grading Plan for the development that provides continuity between lots and ensures protection of the wetland areas.
19. We recommend that the developer consult with the property owner of the location and function of any drain tile that may be present on the property and how it may impact the development.

SIGNED:



Rebekah Leto
Senior Planner

For information regarding this review, please contact Ben Greenberg at
(262) 548-7790 or bgreenberg@waukeshacounty.gov.

Cc via email:

Ted Indermuehle, PLS
Neumann Developments, Developer
Village of Mukwonago Planner
Village of Mukwonago Clerk
Village of Vernon Clerk
Village of Vernon Planner
WE Energies – Plat Review
AT&T – Plat Review
Leif Hauge, Waukesha County Land Resources Division
File

\\Weg.WaukeshaCounty.Gov\Files\Depts\PRKANDLU\Subdivision Files\Villages\Mukwonago\2087 Cardinal Crest\Conditional Certification Prelim
2 16 24.Docx

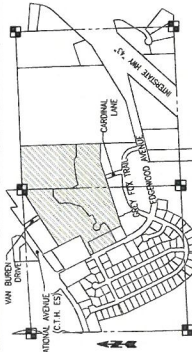
SAMPLE: WETLAND RESTRICTIONS

Those areas identified as a Wetland Preservation Area on Page ____ of ____ of this Subdivision Plat shall be subject to the following restrictions:

1. Grading, filling and removal of topsoil or other earthen materials are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that invasive, dead, diseased, or dying vegetation may be removed, at the discretion of the landowner, and with approval from the municipality in which this land is located and, if applicable the Waukesha County Department of Parks and Land Use-Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the municipality in which this land is located and, if applicable the Waukesha County Department of Parks and Land Use-Planning and Zoning Division, shall also be permitted.
3. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited, unless grazing is conducted in order to manage invasive vegetation and approval from the municipality in which this land is located and, if applicable the Waukesha County Department of Parks and Land Use-Planning and Zoning Division.
4. The introduction of plant material not indigenous to the existing environment is prohibited.
5. Ponds are prohibited unless designed to enhance the natural environment. Ponds that may be permitted are subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
6. The construction of buildings is prohibited.

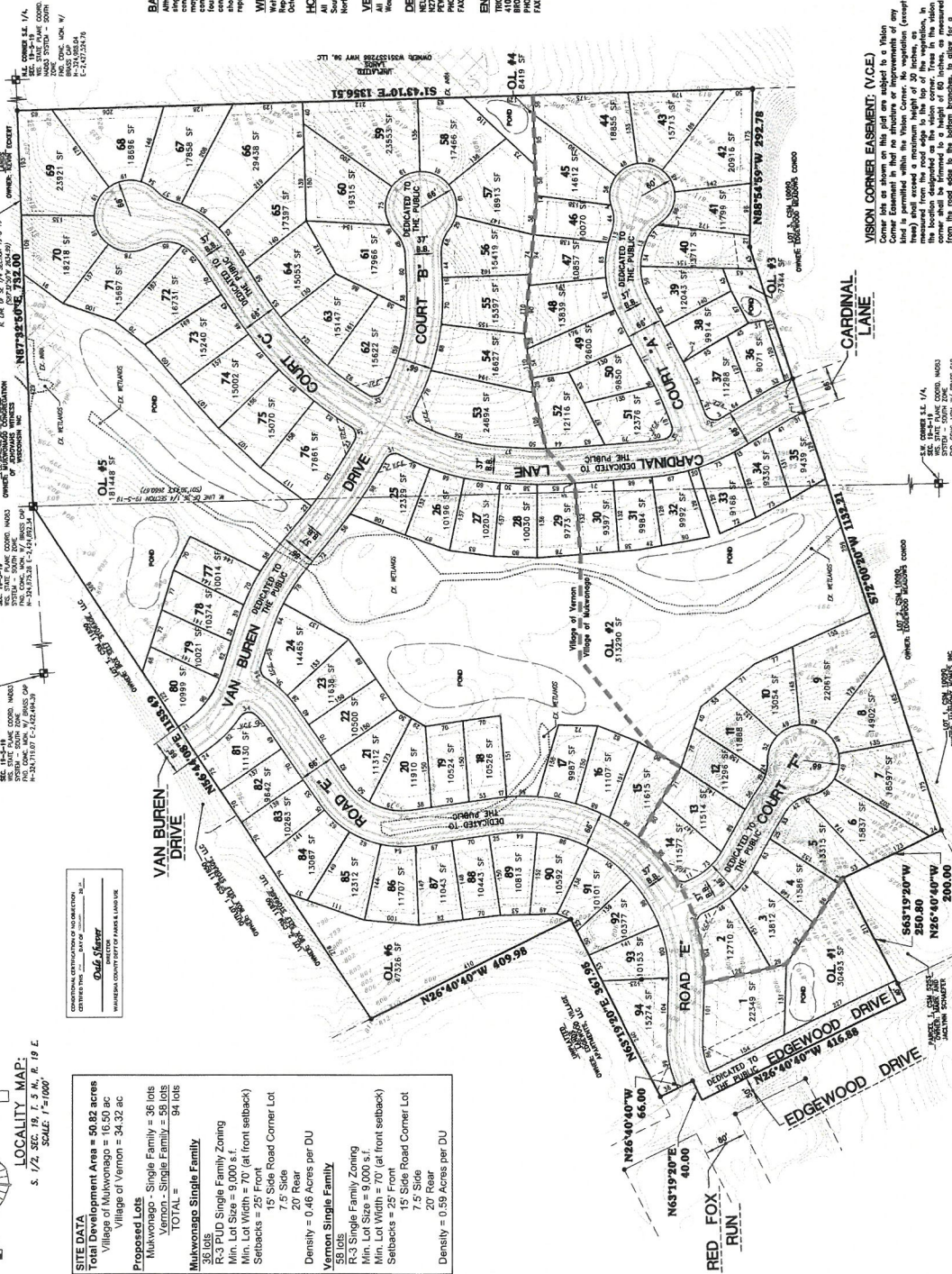
PRELIMINARY PLAT
OF
CARDINAL CREST

BEING ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 8142 LOCATED IN A PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19 TOWN 5 NORTH, RANGE 19 EAST, IN THE VILLAGE OF MUKWONAGO AND VILLAGE OF VERNON, WAUKESHA COUNTY, WISCONSIN.



LOCALITY MAP:
S. 1/2, SEC. 19, T. 5 N., R. 19 E.
SCALE: 1"=1000'

SITE DATA	
Total Development Area = 50.02 acres	
Village of Mukwonago = 16.50 ac	
Village of Vernon = 34.32 ac	
Proposed Lots	
Mukwonago: Single Family = 36 lots	
Vernon: Single Family = 59 lots	
TOTAL = 84 lots	
Mukwonago Single Family	
36 lots	
R-3 PUD Single Family Zoning	
Min. Lot Size = 9,000 s.f.	
Min. Lot Width = 70' (all front setback)	
Setbacks = 25' Front	
Side Road Corner Lot	
20' Side	
Density = 0.46 Acres per DU	
Vernon Single Family	
59 lots	
R-3 Single Family Zoning	
Min. Lot Size = 9,000 s.f.	
Min. Lot Width = 70' (all front setback)	
Setbacks = 25' Front	
15' Side Road Corner Lot	
20' Side	
Density = 0.59 Acres per DU	



VISION CORNER EASEMENT: (V.C.E.)









Corner lots as shown on this plat are subject to a Vision Corner Easement in that no structure or improvements of any kind is permitted within the Vision Corner. No vegetation (trees) shall exceed a maximum height of 30 inches, as measured from the road edge to the top of the vegetation, at the location designated as the vision corner. Trees in the corner shall be trimmed to a height of 60 inches, as measured from the road edge to the bottom branches, to allow for clear view of oncoming traffic.

S.W. CORNER S.E. 1/4,
SEC. 19-8-19
HIS. STATE PLANE COORD. NAD83
SYSTEM - SOUTH ZONE

LOT 1, CSM 10000
BLK 7, TOWNSHIP 10N
RANGE 1E

DEVELOPMENT SUMMARY:

1. Ten Key M's: MWY2019185 and WT2020139002.
2. Development conditions approximately 1,3126 Acres.
3. Subdivision contains 4 Lots and 7 Outlets.
4. All lots to be served by Sanitary Sewer and Watermain.
5. All lots to be served by Stormwater Drain and Gutter.
6. All lots to have Underground Telephone, Electric, and Gas Service.
7. Outlets 1-4 contain open space.
8. Outlets 1-4 contain Stormwater Management Facilities (detention ponds) and are surrounded by wetlands to 10' and 8' 10' inches.
9. The Owners of all Lots within this Subdivision shall be an equal undivided fractional interest in the wetlands and the Stormwater Management Facilities located on the lots for fees or special charges in the event they become the property of any Lot or Outlets in the Subdivision by reason of a subdivision.
10. Stormwater Management Facilities are located on Outlets 1-4 of this Subdivision. The Owners of the residential lots in this Subdivision.

LEGEND	
	PROPOSED FIRE HYDRANT
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING CONTOUR

[illegible]

BASEMENT RESTRICTIONS
 Although the City of Seattle has a single-family residential use in certain conditions that, due to the unique historical and archaeological significance of the foundation, will be suitable to the conditions on basement walls or floors should be subject to each owner's representation of needs within.

WETLAND DELINEATION
 Wetland boundaries shown herein on Report prepared by Dave Meyer of October of 2020.

HORIZONTAL DATUM PLAIN
 All bearings are referred to Get South Sea (N40-53'201), in which North, Range 19 East, bears S07-32'10" E.

VERTICAL DATUM PLANE
 All elevations are referred to Washington County, Oregon.

AGENCIES HAVING THE AUTHORITY TO OBJECT:

- State of Wisconsin, Dept. of Administration
- Washington County, Dept. of Parks and Land Use


APPROVING AUTHORITY:

- Village of Mukwonago
- Village of Menomonie

DEVELOPER:
NEWMAN DEVELOPMENTS, INC.
127W74025 PAUL COURT, SUITE 100
PEWaukee, WI 53072
PHONE: (262) 542-9200
FAX: (262) 348-9324

ENGINEER / SURVEYOR:
TRIO ENGINEERING, LLC
4100 N. CALKOUN RD. SUITE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480
FAX: (262) 790-1484

PROPERTY/
R-O-W LINE
V.C.E.



YCE
DETAIL

Edmunds
 Ted B. Edmunds, P.L.S.
 Surveyor Registration Number S-3119
 TRS ENGINEERING, LLC
 4100 N. Calhoun Rd. Suite 300
 Brookfield, WI 53005
 Phone: (262)790-1480 Fax: (262)790-1481

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PROJECT:
CARDINAL CREST
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF MUKWONAGO & VILLAGE OF VERNON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

[illegible]

DATE:	JOB NUMBER:	DESCRIPTION:
JANUARY 25, 2024	21-040-953-01	PRELIMINARY

PRELIMINARY
PLAT

SHEET

1 OF 1

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

RESOLUTION NO. 2024-18

**RESOLUTION APPROVING THE PRELIMINARY PLAT OF CARDINAL
CREST SUBDIVISION, NEUMANN DEVELOPMENT INC.**

Whereas, pursuant to Chapter 45 of the Municipal Code, known as the Land Division Ordinance, an application by Neumann Development Inc. for approval of a Preliminary Plat of Subdivision for the vacant 16.50-acre property located S92W27720 Edgewood Ave, between National Ave and Edgewood Ave, also known as the lands attached and executed in Ordinance 1030, in the Village of Mukwonago, and

WHEREAS, the Preliminary Plat of Cardinal Crest Subdivision prepared by Trio Engineering, dated January 25, 2024, has been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the Preliminary Plat of Cardinal Crest submitted by Neumann Development Inc. dated January 25, 2024.

NOW, THEREFORE, BE IT FURTHER RESOLVED approval of final plat(s) or Certified Survey Map(s) shall be subject to the following conditions:

1. The Preliminary Plat of Cardinal Crest, submitted by Neumann Development (hereinafter, "applicant"), is a proposed 94 lot (36 Mukwonago) and 6 out lot (2 Mukwonago) subdivision. At time of consideration of approval of the preliminary plat, Lots 2-14 and 30-52 have the Village of Mukwonago assigned zoning of R-3 Single-Family Residential, including Outlets 2 and 3, with a minimum lot size of 10,000 square feet.
2. The Preliminary Plat of Cardinal Crest submitted by the applicant is approved by the Village of Mukwonago Board, subject to the following:
 - a. The Preliminary Plat of Cardinal Crest, dated January 25, 2024, prepared by Trio Engineering.
 - b. Conditions of approval from the State of Wisconsin and Waukesha County.
 - c. Condition of approval from the South Eastern Wisconsin Regional Planning Commission.

- d. Submittal of a wetland delineation certified by the Wisconsin Department of Natural Resources or completed by an assured wetland delineator certified by the Wisconsin Department of Natural Resources.
 - e. Submittal of a soil test report in reference to meeting the requirements of the Village of Mukwonago Storm Water Management and Erosion Control regulations.
 - f. Submittal of a General and/or Final Planned Unit Development to address reduction of lot size, lot width, and setbacks, with recommendation from the Planning Commission and approval of the Village Board.
 - g. Should information provided by Conditions 2c and or 2d change the layout of lots and/or streets of the preliminary plat, a new preliminary plat shall be submitted for approval.
3. Submittal of a final plat including shall include a dedicated public street with a 66-foot width.
 4. Submittal of a final plat including a dedicated subdivision park, which will be subject to impact fees per the approved fee schedule.
 5. Each lot owner in the Village of Mukwonago is a partial owner of the out lots located in the municipality (indicate lot numbers).
 6. Out lot 2 shall be split into two out lots since it straddles both municipalities.
 7. Out lots with storm structures serviced by Village of Mukwonago Parcels shall be separated out and dedicated to all lot owners in the municipality (indicate lot numbers).
 8. Submittal for final plat approval may include platting of the entire preliminary plat or a portion of the preliminary plat.
 9. Nonetheless, the initial final plat submittal(s) shall include the following:
 - a. Improvement shall mean full construction drawings, including but not limited to water main, storm sewer, pavement with full curb and gutter, median, street lighting and street trees, including submittal of Village of Mukwonago approved Letter of Credit to ensure completion of the improvements.
 10. A complete Storm Water Management and Erosion Control Plan for the entire area of the preliminary plat conforming to the requirements of the Village of Mukwonago Storm Water Management and Erosion Control regulations.
 11. The complete Storm Water Management and Erosion Control Plan shall be accompanied by coordinated Storm Water Maintenance Agreements. The agreements shall specify ownership of the outlots in which the storm water facilities will be located.
 12. Submittal of the entire final plat, or the initial final plat and subsequent final plats, all implementing the approved preliminary plat, shall conform to all requirements of the Village of Mukwonago Land Division Ordinance, Standard Design Specifications, other

applicable requirements of Village Municipal Code and conditions of approval of this preliminary plat.

13. Submittal of the entire final plat, or the initial final plat and subsequent final plats, all implementing the approved preliminary plat shall be accompanied by Homeowner Association Documents and Deed Restrictions to be reviewed by the Village of Mukwonago and a Developers Agreement to be approved by the Village of Mukwonago. Said Developers Agreement shall indicate Homeowner's Association documents specifying perpetual association maintenance of the landscaping of out lots.
14. Building locations of each corner and cul de sac lots shall be addressed through the Planned Unit Development and the Developer's Agreement, when a more detailed plan is submitted with driveway locations.
15. All street names shown on any final plat shall be approved by the Village of Mukwonago.
16. Any assignment of development rights by applicant to another entity shall comply with all conditions of approval.

NOW THEREFORE BE IT RESOLVED, that the Village of Mukwonago, Approved and Adopted this 20th day of March, 2024 by the Village Board of the Village of Mukwonago, Wisconsin.

APPROVED:

ATTESTATION:

Fred H. Winchowky, Village President

Diana Dykstra, MMC
Village Clerk-Treasurer