

Village of Mukwonago  
**Notice of Meeting and Agenda**

**REGULAR VILLAGE BOARD MEETING**  
**Wednesday, May 19, 2021**

Time: **6:30 pm**

Place: **Mukwonago Municipal Building/ Board Room, 440 River Crest Court,  
Mukwonago, WI 53149**

**1. Call to Order**

**2. Roll Call**

**3. Pledge of Allegiance**

**4. Comments from the Public**

*The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. These time limits may be extended at the discretion of the Chief Presiding Officer. The Village Board may have limited discussion on the information received, however, no action will be taken on issues raised during the Public Comment Session unless they are otherwise on the Agenda for that meeting. Public comments should be addressed to the Village Board as a body. Presentations shall not deal in personalities personal attacks on members of the Village Board, the applicant for any project or Village employees. Comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Commission or Staff will be deemed out of order by the Presiding Officer.*

**5. Consent Agenda**

*All items listed are considered routine and/or have been unanimously recommended by the Committee of the Whole and will be enacted by one motion. There will be no separate discussion of these items unless a Board member so requests, in which event the item will be removed from the Consent agenda and be considered on the regular agenda.*

**5.1 Approval of Village Board meeting minutes of April 21, 2021 and Special Meeting of May 5, 2021.**

[Attachment - 2021-04-21 DRAFT VB Meeting Minutes](#)

[Attachment - 2021-05-05 Draft Special VB Meeting Minutes](#)

**5.2 Approve accounts payable Vouchers in the amount of \$512,323.20.**

[20210505 COW AP Packet.pdf](#)

**5.3 Approve the Special Event Application from the CFU John Movrich Lodge 993 for the 2021 Mukwonago Croatian Day Fest to be held at Field Park on July 10, along with a temporary Class "B" retailer's License from the CFU John Movrich Lodge 993.**

[Attachment - 7-10-21 Croatian Day Fest](#)

**5.4 Approve and permit the construction of dugout storage cabinets at Field Park as presented by Ben Padilla for his Eagle Scout project.**

[Attachment - Ben Padilla Eagle Project](#)

- 5.5 Approve a status change in base salary for merit increase in the amount of \$5,000 for Building Code Official, Tim Rutenbeck.  
[Attachment - Rutenbeck Status Change](#)
- 5.6 Approve a change of status for a base wage adjustment of \$1.00 per hour for the Deputy Clerk-Treasurer.  
[Attachment - Base Adjustment - Deputy Clerk](#)
- 5.7 Approve a refund of \$134.42 for sewer charges for water lost by an act of vandalism, that was never discharged into the system at 147 Phantom Lake Court  
[Attachment - 147 Phantom Lake Ct Water Sewer](#)
- 5.8 Approval of a WWTF Adaptive Management Program contribution of \$25,000 to Waukesha County for the Riverbank Restoration Project at the Fox River Park in 2022.  
[Attachment - Fox River Cost Sharing](#)
- 5.9 Approve **Ordinance 992** an Ordinance to amend Section 2-146 of the Village of Mukwonago Municipal Code regarding Purpose of Division, as recommended by the Judicial Committee.  
[Attachment - ORDINANCE 992 DDC Purpose](#)
- 5.10 Approve **Ordinance 993** an Ordinance to amend Section 2-148 of the Village of Mukwonago Municipal Code regarding Appointments; Terms; Vacancies with the Downtown Development Committee, as recommended by the Judicial Committee.  
[Attachment - ORDINANCE 993 DDC terms, appts etc](#)

## 6. Planning Commission Recommendations

*Discussion and possible action on the following Plan Commission Recommendations*

- 6.1 Discussion and possible action to approve **RESOLUTION 2021-38** on a Conditional Use for a Drive-through Facility for a tenant space located at 301 Main St; for Elovecoffee LLC DBA Espresso Love Coffee, applicant; Parcel MUKV 1976-128, as recommended by the Planning Commission.  
[Staff Report - CU-SPAR - 301 Main Street - MUKV1976128.pdf](#)  
[RESOLUTION 2021-38 - CU - 301 Main Street - MUKV1976128.pdf](#)
- 6.2 Discussion and possible action to approve **RESOLUTION 2021-039** for a Site Plan and Architectural Review for Elovecoffee LLC DBA Espresso Love Coffee, applicant; Parcel MUKV 1976-128, as recommended by Planning Commission.  
[RESOLUTION 2021-39 - SPAR - 301 Main Street - MUKV1976128.pdf](#)
- 6.3 Discussion and possible action to approve **RESOLUTION 2021-40** a Conditional Use for a Drive-through Facility for a tenant space located at 827 S Rochester St; Mark Sykes/Sykes Foods, LLC, applicant; Parcel MUKV 2009-998-003, as recommended by the Planning Commission.  
[Staff Report - CU-SPAR - 827 S ROCHESTER ST - MUKV2009978003.pdf](#)  
[RESOLUTION 2021-40 - CU - 827 S ROCHESTER ST - MUKV2009978003.pdf](#)



- 6.4 Discussion and possible action to approve **RESOLUTION 2021-41** for a Site Plan and Architectural Review located at 827 S Rochester St; Mark Sykes/Sykes Foods, LLC, applicant; Parcel MUKV 2009-998-003, as recommended by the Planning Commission.

[RESOLUTION 2021-41 - SPAR - 827 S ROCHESTER ST - MUKV2009978003.pdf](#)

- 6.5 Discussion and possible action to approve **RESOLUTION 2021-42** for a Site Plan and Architectural Review for roofing, paint, porch rail for structure located at 211 Fox St; Robert G Kokott/Lakeland Property Management, applicant; Parcel MUKV 1973-0951-001, as recommended by the Planning Commission.

[Staff Report -Lakeland Property Management - SPAR - 211 Fox Street - MUKV1973951001.pdf](#)

[RESOLUTION 2021-42 - 211 Fox St MUKV 1973951001.pdf](#)

## **7. Finance Committee, Trustee Meiners**

*Discussion and possible action on the following items*

- 7.1 Discussion and possible action to approve **Resolution 2021-43** a Resolution to Designate Public Depositories and Authorize the withdrawal of Village of Mukwonago Funds.

[Attachment - Resolution 2021-43 Public Depositories](#)

- 7.2 Discussion and possible action to approve a purchase requisition for Ewald Ford in the amount of \$37,165.00 for a new squad car, as budgeted in the 2021 Capital Budget.

[Attachment - 2021 Ford Exped purchase order](#)

- 7.3 Discussion and possible action to approve Accounts Payable Vouchers in the amount of \$258,905.79.

[2021-05-19 AP for Packet.pdf](#)

## **8. Public Works Committee, Trustee Brill**

*Discussion and possible action on the following items*

- 8.1 Discussion and possible action on a request for an extension to delay in completing the last lift of asphalt on the Chapman development by ACG Development.

[Attachment - Asphalt Extension Request](#)

## **9. Protective Services, Trustee Adler**

*Discussion and possible action on the following items*

- 9.1 Police Department Report for the month of April 2021

[Attachment - Police Report April 2021](#)

## **10. Village President**

- 10.1 A Proclamation to honor The Elegant Farmer and their 75 year Anniversary Celebration.

[Attachment - 2021 Proclamation 75 Years Elegant Farmer](#)

10.2 A Proclamation to honor National Bike Month in the Village of Mukwonago.

[Attachment - 2021 National Bike Month Proclamation](#)

10.3 A Proclamation to honor Historic Preservation Month in the Village of Mukwonago.

[Attachment - 2021 Historic Preservation Month Proclamation](#)

10.4 A Proclamation to honor Building Safety Month in the Village of Mukwonago.

[Attachment - 2021 Building Safety Month Proclamation](#)

10.5 Discussion and possible action to approve **Resolution 2021-44** a Resolution to Designate the Official Newspaper for the Village of Mukwonago.

[Attachment - RESOLUTION 2021-44 \(Designation of Newspaper\)](#)

10.6 Appointment of Jason Wamser to the Downtown Development Committee.

## **11. Closed Session**

Closed session pursuant to **Wis. Stats. § 19.85(1)(e)** (Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session) for negotiation with cellular lease agreement, and pursuant to **Wis. Stats. § 19.85(1)(c)** (Compensation and Evaluation. Considering employment, promotion, compensation or performance evaluation data of any public employee subject to the jurisdiction or authority of governing body.) concerning grievance from the Mukwonago Professional Police Association.

11.1 T-Mobile Lease Agreement for North Water Tower on Veteran's Blvd, and South Water Tower at 980 Greenwald Ct.

11.2 Grievance from the Mukwonago Professional Police Association dated March 4, 2021

## **12. Reconvene into Open Session**

Motion to reconvene into open session pursuant to Wis. Stats. §19.85(2) for possible discussion and/or action concerning any matter discussed in closed session

## **13. Adjournment**

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

## **MINUTES OF THE VILLAGE BOARD MEETING**

**Wednesday, April 21, 2021**

Time: **6:30 pm**

Place: **Mukwonago Municipal Building/ Board Room, 440 River Crest Court,  
Mukwonago, WI 53149**

### **Call to Order**

The Village President Winchowky called the meeting to order at 6:30p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct., Mukwonago, WI 53149

### **Roll Call**

Board Members Present

Daniel Adler (arrived at 6:35pm)  
Eric Brill  
Jim Decker  
Darlene Johnson  
John Meiners  
Roger Walsh  
Fred Winchowky

Also Present

Diana Dykstra, Village Clerk-Treasurer  
Diana Doherty, Finance Director  
Dan Streit, Assistant Chief  
Dave Brown, Utilities Director  
Ron Bittner, Public Works Director  
Mark Blum, Village Attorney  
Jerad Wegner, Village Engineer  
John Fellows, Village Planner

### **Pledge of Allegiance**

### **Swearing in of newly Elected Officials**

Clerk Dykstra gave the Oath of Office to recently Elected Trustees Darlene Johnson and Eric Brill.

### **Comments from the Public**

David Boebel, 815 Park View Lane, commented regarding the assessment of Sommers TID Property. He felt police powers were excessive to make them pay because these people were not asked. He additionally noted he is not sure where the benefit comes in. He also noted he has a concern for the conditional use for Indian Head Park and feels the Village bends its own rules, there is not enough parking and any other applicant would be required to produce enough spots. He suggested a better job be done on providing parking and costs of the project.

Jim Paar and Jeff Semrow from VFW Post 7221 made a presentation to the Village Board to award Kevin Schmidt as "Officer of the Year".

### **Public Hearings**

**Public Hearing to consider an amendment to the land use portion of the Comprehensive Plan 2035 adopted by the Village Board on October 9, 2009, amended in 2016 and from time to time, pursuant to Section 66.1001 of Wisconsin Statutes for**

**Lot 1 of CSM 10415 Small Farm Rd from Open Space Recreational and primary Environmental Corridor to Medium Lot single Family Land Use Classification and Primary Environmental Corridor. The Primary Environmental Corridor alignment will be based upon the delineation of CSM 10415. Tax Key/Location - MUKV1971139001; Lot 1 of CSM 10415 Small Farm Rd (Applicant: Abdulaziz S F Sanqur and Habitat For Humanity of Waukesha County)**

Hearing no public comments, the public hearing was closed at 6:44pm.

**Public Hearing on the consideration of a Zoning District Boundary Change (a/k/a Rezoning) from M-1 Limited Industrial District to R- 1 Single Family Village Residential District for MUKV1971139001; Lot 1 of CSM 10415 Small Farm Rd, Applicant Abdulaziz S F Sanqur and Habitat For Humanity of Waukesha County.**

Hearing no public comments, the public hearing was closed at 6:45pm.

**Public Hearing on Special Assessment for Water and Wastewater improvements for the property MUKV2016997005 and notice that the Village Board of the Village of Mukwonago has declared its intention to vote on a Final Assessment Resolution in accordance with Wisconsin Statute Section 66.0703(10) for the assessment against the property Tax Key No MUKV2016997005.**

Hearing no public comments, the public hearing was closed at 6:46pm.

### **Presentations**

#### **25th District County Supervisor Report to the Village of Mukwonago.**

The following Comments were submitted:

Hi, my name is Darlene M Johnson, and I am your 25<sup>th</sup> District Waukesha County Supervisor. In April of 2020, I won re-election for my third term for this District, which includes the Village of Mukwonago, Wards 1 to 8 of the Town of Mukwonago, and Wards 2, 4 and 5, of the Village of Vernon.

My County Committee assignments are Public Works, and Judicial Law Enforcement committees, I also attend subcommittees of Traffic Safety Commission (TSC), Children and Families Services Advisory Committee (CAFSAC), and Phantom Lakes Management District (PLMD) committee.

During the March of 2021 County Public Works Committee, we had two ordinances requested by the Village of Mukwonago Police Department. The first was Approval of New Parking Regulations for CTH ES in the Village along both sides of Main Street between its intersections with Bay View Road and Front Street in the Village of Mukwonago with signage stating "Snow Route, No Parking, 2AM-6AM, November 1<sup>st</sup> to March 31<sup>st</sup>". The map was provided to the Village Clerk to share with the Village Board.

The second ordinance was Approval of New Parking regulations for CTH ES along the south side of Fox Street from Plank Road intersection to Maple Street intersection in the Village of Mukwonago with signage stating "No Parking Between Signs". Both ordinances were passed at the Public Works Committee and were unanimously approved by the Waukesha County Board.

As Everybody is aware by now, the CTH ES Bridge over the Fox River redecking project was finally completed in late November of 2020. Waukesha County Public Works Director and engineers worked with the Village of Mukwonago, Town of Mukwonago, and Village of Vernon, to keep the bridge partially open during the project, using temporary traffic signals on each side of the bridge. There were delays and congestion but majority of constituents were pleased with the outcome. I am so grateful for the cooperative efforts and monetary contributions of your municipality, as well as the other two neighboring municipalities. During recent Village meetings, there were questions as to why Waukesha County did not accept Federal Funding, which would have included a pedestrian/bicycle path on the bridge. Waukesha County originally planned to accept Federal funds, but due to the proximity of both the Village underground utilities and the remaining foundations of the old County ES Bridge, the amount of time and effort to expand the bridge would cause extensive financial overruns.

At March's Waukesha County Public Works Committee meeting, a new ordinance was brought to our attention regarding the CTH ES BRIDGE PROJECT. We were informed that the condition of the bridge at the time of the 2020 construction project required "unanticipated repairs" totaling an additional \$35,000 more. This meant besides the contingency fund totally used up, the County had to put additional monies toward close out of that bridge project. At the March 23<sup>rd</sup> Waukesha County Board meeting, it was unanimously passed to pay the final close out funds to meet the financial obligations of that bridge project.

If you recall, when I first started as your Waukesha County Supervisor in April of 2016, this bridge was my first project when I met with engineers, and the expected cost of this bridge project was \$714,000. Now with this final ordinance, the cost jumped from \$714,000 to \$943,000, and that was even with the elimination of netting under the bridge for migrating birds. It took over four years of engineer planning, many meetings, and now this bridge matter is finally resolved.

Please do not hesitate to contact me by phone or email with your Waukesha County concern. Thank you so much!

Darlene M Johnson

25<sup>th</sup> District Waukesha County Supervisor"

### **Consent Agenda**

*All items listed are considered routine and/or have been unanimously recommended by the Committee of the Whole and will be enacted by one motion. There will be no separate discussion of these items unless a Board member so requests, in which event the item will be removed from the Consent agenda and be considered on the regular agenda.*

- 8.1 Approve Village Board meeting minutes of March 17, 2021 and Special Village Board meeting of March 26, 2021
- 8.2 Approve Accounts Payable Vouchers in the amount of \$569,199.81.
- 8.3 Approve **Resolution 2021-16** a resolution to support a strong state and local partnership in shared revenue funds for critical services.
- 8.4 Approve the Special Event Application from the American Legion Post #375 for the 2021 Mukwonago Maxwell Street Days to be held at Field Park on June 12-13, July 17-18, August 21 -22, and September 11-12, along with a temporary Class "B" retailer's License from the American Legion Post #375.
- 8.5 Approve a Park and Special Event permit application from Mukwonago Lions Club for Summerfeste on June 17-20, 2021 at Field Park, along with a temporary Class "B"/"Class B" Retailer's License application, subject to submission of a Covid Plan.
- 8.6 Approve **Task Order No. 2021-02** from Ruekert Mielke, Inc. for the Survey, Design, and Bidding of the Indianhead Park Outdoor Performance Stage project in the amount of \$23,460.
- 8.7 Approve an **Ordinance 990** an Ordinance to amend Section 74-8 of the Mukwonago Municipal Code dealing with the removal of snow and ice by property owners around hydrants.
- 8.8 Approve **Resolution 2021- 28** a Resolution to approve a Restated Developer's Agreement for Subdivision Improvements with Minors Estates Phase 4.
- 8.9 Approve **Resolution 2021-29** a Resolution to approve Vacating and Releasing Drainage Easements and Landscape Easement set forth on the Plat of Minor's Estates Recorded December 23, 2015.
- 8.10 Approve REBID Pick 'N Save Pond Retrofit Close-out Change Order and Final Payment request from Mudtech, LLC. in the amount of \$254,643.75.
- 8.11 Approve **Task Order 2021-01** with Ruekert -Mielke for a Risk and Resilience Assessment Emergency Response Plan in the amount of \$10,978.
- 8.12 Approve the Installation of Emergency Vehicle Pre -Emption Devices on traffic standards at STH 83 & CTH LO/Pearl Avenue and authorize the Village President to sign the agreement with the DOT.

- 8.13 Approve a Proclamation honoring National Public Safety Telecommunicators Week for April 11 to April 17, 2021.

Decker/Johnson motion to approve consent agenda items #8.1 to 8.13. Unanimously carried.

### **Other Items for Approval**

*Other items removed from Consent Agenda which were not unanimously approved from the Committee of the Whole.*

### **Discussion and possible action to approve the Intergovernmental Agreement (IGA) between Waukesha County and the Village of Mukwonago related to Adaptive Management Program Assistance and Implementation.**

Decker/Walsh motion to approve the Intergovernmental Agreement (IGA) between Waukesha County and the Village of Mukwonago related to Adaptive Management Program Assistance and Implementation.

Trustee Decker questioned the amount and for how long. It was noted this is over 5 years and it is planned to comply with the entire project which is paid by Utility Rates. Unanimously carried.

### **Denial of an appeal for the Operator's License for Cameron Schroeder, as recommended by the Judicial Committee.**

Walsh/Decker motion to deny an appeal for the Operator's License for Cameron Schroeder, as recommended by the Judicial Committee.

Trustee Walsh noted that he supports the Chief's recommendation and thanks Mr. Schroeder for speaking and suggests he reapply after the issue is resolved in (6) months.

Roll Call: "Yes" Trustee Brill, Decker, Johnson, Meiners, Walsh, and Winchowky. "No" Trustee Adler. Motion carried 6-1.

### **Planning Commission Recommendations**

### **Discussion and possible action on 402 Grand Avenue, Tax Key Number MUKV1973-047 Regina L Kellner, Request for a certificate of Design Approval for new construction and site improvements (garage, deck, and driveway) in the Grand and Pearl Historic District, as recommended by the Historic Preservation Commission, and the Plan Commission.**

Decker/Meiners motion to approve 402 Grand Avenue, Tax Key Number MUKV1973-047 Regina L Kellner, Request for a certificate of Design Approval for new construction and site improvements (garage, deck, and driveway) in the Grand and Pearl Historic District, as recommended by the Historic Preservation Commission, and the Plan Commission. Unanimously carried.

### **Discussion and possible action on RESOLUTION 2021-09 a Resolution to approve Conditional Use for a request for a banquet facility for Aman's Beer and Wine (VM Investments), applicant; 110 Chapman Farms Blvd; Parcel MUKV 1962-996-005.**

Planner Fellows noted that this is the last lot in the commercial lot to be developed. This is a retail store on the first floor and the second floor will be a banquet facility. The building is designed to have two separate businesses.



Decker/Meiners motion to approve **RESOLUTION 2021-09** a Resolution to approve Conditional Use for a request for a banquet facility for Aman's Beer and Wine (VM Investments), applicant; 110 Chapman Farms Blvd; Parcel MUKV 1962-996-005.  
Unanimously carried.

**Discussion and possible action on RESOLUTION 2021-12 a Resolution to Amend the Comprehensive Plan for the Village of Mukwonago for property located at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Park Estates Addition No 3, Parcel MUKV 1971-139-001, as recommended by the Village Plan Commission.**

Decker/Meiners motion to approve **RESOLUTION 2021-12** a Resolution to Amend the Comprehensive Plan for the Village of Mukwonago for property located at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Park Estates Addition No 3, Parcel MUKV 1971-139-001, as recommended by the Village Plan Commission.  
Unanimously carried.

**Discussion and possible action on Ordinance 991 to Amend the District Zoning Map of the Village of Mukwonago on behalf of Abdulaziz F Sanqur, applicant; for property at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Part Estates Addition #3; Parcel MUKV 1971-139-001.**  
Planner Fellows noted this is from the earlier public hearing for a rezone request to change from Industrial zoning to Residential.

Decker/Meiners motion to approve **Ordinance 991** to Amend the District Zoning Map of the Village of Mukwonago on behalf of Abdulaziz F Sanqur, applicant; for property at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Part Estates Addition #3; Parcel MUKV 1971-139-001.

**Discussion and possible action on RESOLUTION 2021-19 to consider a Conditional Use request for park structures for the Village of Mukwonago, applicant; 820 Main St; MUKV 2009-959 and MUKV 2009-977, as recommended by the Plan Commission.**

Planner Fellows noted this is for the two new park structures in Indianhead Park, a performance stage and concession stand.

Trustee Johnson asked if there would be tickets sold. Director Bittner noted that would yet be determined.

Trustee Walsh noted that he feels concerts are a great idea, but feels the costs and location do not match with no offsite parking plan. He feels something smaller would fit better and the Village should not be in the event planning business.

Decker/Meiners motion to approve **RESOLUTION 2021-19** to consider a Conditional Use request for park structures for the Village of Mukwonago, applicant; 820 Main St; MUKV 2009-959 and MUKV 2009-977, as recommended by the Plan Commission.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Meiners, and Winchowky. "No" Trustee Johnson and Walsh. Motion carried 5-2

**Discussion and possible action on RESOLUTION 2021-20 to approve Site Plan and Architectural Review for structures within a public park for Village of Mukwonago, applicant; 820 Main St; MUKV 2009-959 and MUKV 2009-977, as recommended by the Plan Commission.**

Decker/Meiners motion to approve **RESOLUTION 2021-20** to approve Site Plan and Architectural Review for structures within a public park for Village of Mukwonago, applicant; 820 Main St; MUKV 2009-959 and MUKV 2009-977, as recommended by the Plan Commission.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Meiners, and Winchowky. "No" Trustee Johnson and Walsh. Motion carried 5-2

**Discussion and possible action on RESOLUTION 2021-21 to consider a Conditional use for a medical office for Life's Connection Mukwonago Center Inc., applicant; 801 N Rochester St, MUKV 1974-904.**

Decker/Johnson motion to approve RESOLUTION 2021-21 to consider a Conditional use for a medical office for Life's Connection Mukwonago Center Inc., applicant; 801 N Rochester St, MUKV 1974-904. Unanimously carried.

**Discussion and possible action on RESOLUTION 2021-22 to consider a Conditional Use application for a secondhand store Goodwill Industries of SE WI and NE II, applicant; located at the Southwest corner of S Rochester St and Arrowhead Dr; MUKV 2015-997-010, as recommended by the Plan Commission.**

Johnson/ Walsh motion to table the conditional use and site plan and architectural approval to allow staff and the applicant to investigate traffic concerns, MOUs, and other agreements with regard to the State of Wisconsin DOT and the Village related to Arrowhead Drive/83 intersection and potential future closure of the intersection and if needed to have appropriate analysis or traffic studies conducted. Information to be provided specifically related to how the closure of the intersection will function for the gas station and Goodwill if the intersection is closed.

It was noted in the past it was suggested that if there were (5) accidents they would have to close down that intersection.

Attorney Blum noted the State law does prescribe there needs to be sufficient reason.

Fellows this concern was brought up to him prior to the meeting and he was able to find several items in relation to this. He is unable to find a fully executed MOU at this time.

Chief Schmidt noted there have been a few accidents but not too many. Trustee Meiners asked if additional signage would be possible.

Roll Call: "Yes" Trustee Adler, Johnson, and Walsh. "No" Trustee Brill, Decker, Meiners, and Winchowky. Motion to table fails 3-4.

Decker/Meiners motion to approve RESOLUTION 2021-22 to consider a Conditional Use application for a secondhand store Goodwill Industries of SE WI and NE II, applicant; located at the Southwest corner of S Rochester St and Arrowhead Dr; MUKV 2015-997-010, as recommended by the Plan Commission.

Trustee Walsh asked if it was taken into consideration the approval of new downtown thrift shops that have just opened. Planner Fellows noted it was taken into consideration but it is not a reason to deny.

Roll Call "Yes" Trustee Brill, Decker, Meiners, Walsh, and Winchowky. "No" Trustee Adler, and Johnson. Motion carried 5-2.

**Discussion and possible action on RESOLUTION 2021-23 to approve Site Plan and Architectural Review for Goodwill Industries of SE WI and NE IL, applicant; Lot 2 Certified Survey 9620 at Arrowhead Drive; MUKV 2015-997-010, as recommended by the Plan Commission.**

Decker/Meiners motion to approve RESOLUTION 2021-23 to approve Site Plan and Architectural Review for Goodwill Industries of SE WI and NE IL, applicant; Lot 2 Certified Survey 9620 at Arrowhead Drive; MUKV 2015-997-010, as recommended by the Plan Commission.

Roll Call "Yes" Trustee Brill, Decker, Meiners, Walsh, Winchowky. "No" Trustee Adler, and Johnson. Motion carried 5-2.

**Discussion and possible action on RESOLUTION 2021-24 to Amend the Comprehensive Plan for Bielinski Homes, Inc., applicant; Outlot 1 CSM #11755; MUKV 1957-997-001, as recommended by the Plan Commission.**

Decker/Meiners motion to approve RESOLUTION 2021-24 to Amend the Comprehensive Plan for Bielinski Homes, Inc., applicant; Outlot 1 CSM #11755; MUKV 1957-997-001, as recommended by the Plan Commission.

Planner Fellows noted this is the area north of Chapman Farms Boulevard. The Comprehensive Plan did not have any conservation development and this would be created with 40 units. He noted it is about the same number of lots, however they could be smaller to protect certain environments.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, and Winchowky. "No" Trustee Walsh. Motion carried 6-1.

**Finance Committee, Trustee Meiners**

**Discussion and possible action to approve Resolution 2021-27 a Resolution Authorizing the Redemption of general obligation refunding bonds, dated November 20, 2013.**

Meiners/Decker motion to approve Resolution 2021-27 a Resolution Authorizing the Redemption of general obligation refunding bonds, dated November 20, 2013.

Finance Director Doherty noted this is an opportunity to pay off a bond one year early and save \$20,000 in interest.

Unanimously carried.

**Annual Room Tax Report for 2020**

Clerk Dykstra reported the Room Tax Reports have been filed for 2020. The Village has receipted \$31,427.45 and has sent to the Chamber \$21,998.73 of those funds. No action is required, this is for information only.

**Discussion and possible action to approve a purchase requisition to Porter Corporation in the amount of \$153,647 for the Concession Stand at Indian Head Park.**

Decker/Meiners motion to approve a purchase requisition to Porter Corporation in the amount of \$153,647 for the Concession Stand at Indian Head Park.

Roll Call "Yes" Trustee Adler, Brill, Decker, Meiners, and Winchowky. "No" Trustee Johnson and Walsh. Motion carried 5-2.

**Discussion and possible action to approve a purchase requisition for Porter Corporation in the amount of \$162,596 for the Outdoor Performance Stage.**

Decker/Meiners motion to approve a purchase requisition for Porter Corporation in the amount of \$162,596 for the Outdoor Performance Stage.

Roll Call "Yes" Trustee Adler, Brill, Decker, Meiners, and Winchowky. "No" Trustee Johnson and Walsh. Motion carried 5-2.

**Discussion and possible action to approve accounts payable Vouchers in the amount of \$149,091.92.**

Meiners/Decker motion to approve accounts payable Vouchers in the amount of \$149,091.92. Unanimously carried.

**Personnel Committee, Trustee Johnson**

**Discussion and possible action on Resolution 2021-025 a resolution to correct an error in the Village of Mukwonago Employee Handbook dated November 18, 2020.**

Johnson/Decker motion to approve Resolution 2021-025 a resolution to correct an error in the Village of Mukwonago Employee Handbook dated November 18, 2020.

Finance Director Doherty noted that when she updated the employee handbook they eliminated the maximum payment of sick payout at 120 days, and they need to put this back into the handbook. Unanimously carried.

**Public Works Committee, Trustee Brill**

**Discussion and possible action to approve Resolution 2021-26 a new Final Resolution Authorizing the Levying of Special Assessments Against Benefited Property for Sanitary Sewer Water Main and Lateral Improvements (Sommer Property Improvements).**

Decker/Meiners motion to approve Resolution 2021-26 a new Final Resolution Authorizing the Levying of Special Assessments Against Benefited Property for Sanitary Sewer Water Main and Lateral Improvements (Sommer Property Improvements).

Trustee Walsh feels this is a property rights issue and feels the owner was not correctly notified, which is why he asked for reconsideration. He noted the map was redrawn, no one has appeared so he is unable to answer why. He commented the property is currently assessed at \$52,000 and the Village is now adding \$933,000 to vacant land. He noted that Waukesha County has a different address and he doesn't understand how this one property can be responsible for improvements that benefit the TID.

Trustee Johnson noted she shares those concerns.

Roll Call: "Yes" Trustee Brill, Decker, Meiners, and Winchowky. "No" Trustee Adler, Johnson, and Walsh. Motion carried 4-3.

**Protective Services, Trustee Adler**

**Mukwonago Fire Department Annual Report for 2020, and Monthly Report for March 2021.**

The Fire Department Report was placed on file.

**Police Department Report for the month of March 2021.**

Police Department Report was placed on file.

**Discussion and possible action on Joint Village and Town Board regarding Joint Fire Agreement Revisions.**

President Winchowky questioned if this item should be referred to the Committee of the Whole as it was just received to provide time for Board members to review. Trustee Adler noted they approved this version at the Protective Services Meeting and they are minor changing giving structure.

Adler/Johnson motion to approve amendment to the Joint Village and Town Board Joint Fire Agreement.

Unanimously carried.

**Discussion and possible action on the Fire Department release of ERF billing due to hardship for Majot Phul.**

No action was required this will be forwarded to the next meeting.

**Village President**

**Proclamation in honor of our 2021 Arbor Day in the Village of Mukwonago on April 30, 2021.**

Decker/Adler motion to approve. Unanimously carried.

**Proclamation honoring efforts of Public Works professionals providing safe and reliable infrastructure to communities with Public Works Week May 16 - 23, 2021 in the Village of Mukwonago.**

Decker/Johnson motion to approve. Unanimously carried.

**Proclamation for 2021 National Police Week May 9th - 15th, and National Police Officer Memorial Day on May 15, 2021.**

Johnson/Decker motion to approve. Unanimously carried.

**Proclamation honoring the 52nd Annual Professional Municipal Clerks Week from May 2-8, 2021.**

Decker/Meiners motion to approve. Unanimously carried.

**Appointments to Committees, Commissions, and Boards for 2021.**

President Winchowky noted he has no appointments to make at this time.

**Announcement regarding Trustee Roger Walsh withdrawal of resignation.**

President Winchowky wanted to announce that Trustee Walsh has withdrawn his resignation and he will complete his term.

**Closed Session**

Decker/Johnson motion to go into Closed Session pursuant to **Wis. Stats. § 19.85(1)(e)** (Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session) for negotiation with HMM Homes LLC, and consideration of a grievance from the Mukwonago Professional Police Association dated March 4, 2021, and a T-Mobile Cellular lease agreement at 8:20pm.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh, and Winchowky.  
Unanimously carried.

**Reconvene into Open Session**

Decker/Johnson motion to reconvene into open session pursuant to Wis. Stats. §19.85(2) at 8:48pm.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh, and Winchowky.  
Unanimously carried.

**Adjournment**

Meeting was adjourned at 8:49pm.

Respectfully Submitted,

Diana Dykstra, MMC  
Village Clerk-Treasurer

## MINUTES OF THE SPECIAL VILLAGE BOARD MEETING Wednesday, May 5, 2021

Time: 6:30 pm

Place: Mukwonago Municipal Building, 440 River Crest Ct., Mukwonago, WI 53149

### Call To Order

The Village President Winchowky called the meeting to order at 7:09 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct., Mukwonago, WI 53149

### Roll Call

Board Members Present

Daniel Adler  
Eric Brill  
Jim Decker  
Darlene Johnson  
John Meiners  
Roger Walsh  
Fred Winchowky

Also Present

Diana Dykstra, Village Clerk-Treasurer  
Diana Doherty, Finance Director  
Ron Bittner, Public Works Director  
Mark Blum, Village Attorney  
John Fellows, Village Planner

### New Business

Appointments to Committees, Commissions, and Boards for 2021.  
President Winchowky presented the following appointments:

Village Board Standing Committees	
<u>Committee</u>	<u>Chair</u>
Finance Committee	John Meiners
Health & Recreation	James Decker
Judicial Committee	Roger Walsh
Personnel Committee	Darlene Johnson
Protective Services	Daniel Adler
Public Works Committee	Eric Brill

Plan Commission		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Citizen Member	Jason Wamser	2024
Citizen Member	Karl Kettner	2022
*Note Kettner replaces Werner		



Board of Review		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Trustee	James Decker	2022
Trustee	Roger Walsh	2022
Trustee	Eric Brill	2022

Zoning Board of Appeals		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Member	Chris Tarr	2024

Downtown Development Committee		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Trustee	Daniel Adler	2022
Member	Eliza Pautz	2023
Member	Robert Jadrnick	2023
Member	David Stockwell	2023
Member (Non-Voting)	Ray Gooden	2023

Historic Preservation Commission		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Trustee	James Decker	2022
Citizen Member	Andrea Cooper	2024

Joint Protective Services – Town & Village Fire Dept		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Village Trustee	Darlene Johnson	2022
Village Trustee	John Meiners	2022
Village Trustee	Daniel Adler	2022

Joint Fire Commission		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Village Trustee	Darlene Johnson	Liaison
Village Trustee	Micah Roberts	2022
Village Trustee	Shane Herbig	2024

Board of Police Commissioners		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Commissioner	Joseph McAdams	2024

Library Board of Trustees		
<u>Title</u>	<u>Member</u>	<u>Term Expires</u>
Village Trustee	Eric Brill	2022

Decker/Meiners motion to approve the presented appointments. Unanimously carried.

**Discussion and possible action to adopt Resolution 2021-032 and Resolution 2021-033 amending the position descriptions for the Accountant and Administrative Clerk to switch the Human Resources transaction processing and Payroll processing functions between the two positions.**

Decker/Johnson motion to approve adopt Resolution 2021-032 and Resolution 2021-033 amending the position descriptions for the Accountant and Administrative Clerk to switch the Human Resources transaction processing and Payroll processing functions between the two positions. Unanimously carried.

**Discussion and possible action to approve Resolution 2021-34 A RESOLUTION AUTHORIZING THE ISSUANCE AND SALE OF \$7,700,000 GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021A**

Decker/Meiners motion to approve Discussion and possible action to approve Resolution 2021-34 A RESOLUTION AUTHORIZING THE ISSUANCE AND SALE OF \$7,700,000 GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021A.

Jeff Belongia of Hunnington Securities noted that the Village has obtained an AA rating and this is a good time to get into the Market. The Village is able to borrow up to 5% of equalized value and as they pay down debt annually, they free up funds.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh and Winchowky. Unanimously carried.

**Discussion and possible action to approve Resolution 2021-35 A RESOLUTION AUTHORIZING THE ISSUANCE AND SALE OF \$5,000,000 GENERAL OBLIGATION PROMISSORY NOTES, SERIES 2021B.**

Decker/Meiners motion to approve Resolution 2021-35 A RESOLUTION AUTHORIZING THE ISSUANCE AND SALE OF \$5,000,000 GENERAL OBLIGATION PROMISSORY NOTES, SERIES 2021B. Jeff Belongia of Hunnington Securities noted this is for the annual Capital Project borrowing.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh and Winchowky. Unanimously carried.

### **Closed Session**

Decker/Johnson motion to go into closed session pursuant to **Wis. Stats. § 19.85(1)(e)** (Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session) for negotiation with IDC expansion at 7:39pm.

Roll Call: "Yes" Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh and Winchowky. Unanimously carried.

### **Open Session**

Decker/Johnson motion to reconvene into open session pursuant to Wis. Stats. §19.85(2) at 8:38pm. Roll Call: “Yes” Trustee Adler, Brill, Decker, Johnson, Meiners, Walsh and Winchowky. Unanimously carried.

### **Adjournment**

Meeting adjourned at 8:39pm

Respectfully Submitted,

Diana Dykstra, MMC  
Village Clerk-Treasurer

DRAFT

## Accounts Payable Cover Sheet

<b>Report:</b>	<b>Period or corresponding report date</b>		
Village Accounts Payable	5/6/2021	\$	95,363.88
Library Accounts Payable	4/12/2021	\$	15,226.37
Spectrum (ach withdrawal)	4/14/2021	\$	2,836.89
US Bank (ach withdrawal)	4/26/2021	\$	8,104.16
WE Energies (ach withdrawal)	4/28/2021	\$	51,418.20
Check Disbursement	4/1/2021	\$	5,521.40
Check Disbursement	4/7/2021	\$	169,944.72
Check Disbursement	4/12/2021	\$	12,712.51
Check Disbursement	4/13/2021	\$	1,606.09
Check Disbursement	4/15/2021	\$	7,345.84
Check Disbursement	4/20/2021	\$	3,688.00
Check Disbursement	4/21/2021	\$	128,164.89
Check Disbursement	4/28/2021	\$	10,390.25
<b>Total for Approval:</b>		<b>\$</b>	<b><u>512,323.20</u></b>

The preceding list of bills payable was approved for payment

Date: \_\_\_\_\_

Approved by: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: AIRGAS USA LLC					
9112173242	EMS SUPPLIES	150-5231-531100	516.10	516.10	FIRE
TOTAL VENDOR AIRGAS USA LLC				516.10	
VENDOR NAME: ALSCO					
IMIL1680302	APRIL 22 MAT CLEANING SERVICE	100-5211-539400	45.89	45.89	POLICE
IMIL1678039	WALKOFF MATS	100-5160-521900	63.34	63.34	DPW
TOTAL VENDOR ALSCO				109.23	
VENDOR NAME: AMERICAN POWER, INC					
135344	LINE PAINTER PARTS	100-5521-531100	17.14	17.14	DPW
TOTAL VENDOR AMERICAN POWER, INC				17.14	
VENDOR NAME: ARMORED COMPUTER TECHNOLOGY					
1570	PD BUILDING SECURITY, NEW CARD READERS A	430-5700-571100	4,785.90	4,785.90	POLICE
TOTAL VENDOR ARMORED COMPUTER TECHNOLOGY				4,785.90	
VENDOR NAME: AT & T MOBILITY					
04152021	APRIL CELLULAR & AIR CARD BILL	100-5211-522500	580.89	580.89	POLICE
TOTAL VENDOR AT & T MOBILITY				580.89	
VENDOR NAME: BANDT COMMUNICATIONS					
20191109011	PAGER REPAIR	150-5222-539500	160.00	160.00	FIRE
20191109013	PAGER REPAIR	150-5222-539500	185.65	185.65	FIRE
20191108861	PAGER REPAIR	150-5222-539500	160.00	160.00	FIRE
20191108864	PAGER REPAIR	150-5222-539500	160.00	160.00	FIRE
TOTAL VENDOR BANDT COMMUNICATIONS				665.65	
VENDOR NAME: BOUND TREE MEDICAL LLC					
84021935	EMS SUPPLIES	150-5231-531100	253.85	253.85	FIRE
84021936	EMS SUPPLIES	150-5231-531100	171.16	171.16	FIRE
84021937	EMS SUPPLIES	150-5231-531100	207.90	207.90	FIRE
TOTAL VENDOR BOUND TREE MEDICAL LLC				632.91	
VENDOR NAME: C & M AUTO PARTS INC					
6079-334648	SQD #38 - 4 ROTORS AND BRAKE PADS	100-5212-539500	320.43	320.43	POLICE
6079-334421	3451 REPAIRS	150-5231-539500	55.80	55.80	FIRE
6079-334534	3492 REPAIRS	150-5222-539500	16.60	16.60	FIRE
6079-334909	FLOOR DRY	100-5323-531100	35.97	35.97	DPW
6079-334807	ZERO TURN OIL FILTER	100-5324-539500	4.39	4.39	DPW
6079-334806	3461 REPAIRS	150-5222-539500	30.14	30.14	FIRE
6079-334997	SQD #30 - ROTORS AND BRAKE PADS	100-5212-539500	184.55	184.55	POLICE
6079-335195 DPW	OIL FILTERS	100-5324-539500	27.56	27.56	DPW
6079-335195 FIRE	OIL FILTERS	150-5231-539500	11.97	11.97	FIRE
TOTAL VENDOR C & M AUTO PARTS INC				687.41	
VENDOR NAME: C I BANKER WIRE & IRON WORKS INC					
2021 REFUND	REFUND CONCERT SERIES DONATION PER REQUE	340-4800-489000	5,000.00	5,000.00	FINANCE
TOTAL VENDOR C I BANKER WIRE & IRON WORKS INC				5,000.00	
VENDOR NAME: CENTRAL OFFICE SYSTEMS					
72213474	COPIER INVOICE	150-5221-531100	92.00	92.00	FIRE

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: CENTRAL OFFICE SYSTEMS			
72212523	LEASE PAYMENT	100-5142-531200 23.10	165.00 ALLOCATE
		150-5221-531100 21.45	
		220-5140-531200 1.65	
		410-5363-531200 3.30	
		440-5511-531200 8.25	
		500-5344-531200 1.65	
		610-6902-690300 54.45	
		620-8300-840000 51.15	
TOTAL VENDOR CENTRAL OFFICE SYSTEMS			257.00
VENDOR NAME: CENTURY SPRINGS BOTTLING			
5824046	VH DRINKING WATER	100-5160-531100 18.00	18.00 DPW
5792605	VH DRINKING WATER	100-5160-531100 (1.00)	(1.00) DPW
TOTAL VENDOR CENTURY SPRINGS BOTTLING			17.00
VENDOR NAME: CINTAS			
4081702641	SATFF UNIFORMS	100-5323-531100 90.02	90.02 DPW
4081702774	WATER/WWTF UNIFORM SERVICE	610-6920-693000 65.00	131.96 UTILITIES
		620-8010-827000 66.96	
4082362976	STAFF UNIFORMS	100-5323-531100 90.02	90.02 DPW
4082363046	WATER/WWTF UNIFORM SERVICE	610-6920-693000 39.71	79.71 UTILITIES
		620-8010-827000 40.00	
TOTAL VENDOR CINTAS			391.71
VENDOR NAME: CITY OF MUSKEGO			
2021 FEB BOTS	2021 FEB BOTS ALCOHOL ENFORCEMENT/SAFETY	100-4300-435500 282.61	282.61 POLICE
TOTAL VENDOR CITY OF MUSKEGO			282.61
VENDOR NAME: CITY OF NEW BERLIN			
2021 FEB BOTS	2021 FEB BOTS ALCOHOL ENFORCEMENT/SAFETY	100-4300-435500 1,169.48	1,169.48 POLICE
TOTAL VENDOR CITY OF NEW BERLIN			1,169.48
VENDOR NAME: CLASSIC CONCRETE & MASONRY			
4-27-2021	PARKS CONCRETE WALK AND PADS	100-5521-531100 6,060.50	6,060.50 DPW
TOTAL VENDOR CLASSIC CONCRETE & MASONRY			6,060.50
VENDOR NAME: DE LAGE LANDEN FINANCIAL			



INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: DE LAGE LANDEN FINANCIAL					
72154964	LEASE PAYMENT	100-5142-531200	23.52	168.00	ALLOCATE
		150-5221-531100	21.84		
		220-5140-531200	1.68		
		410-5363-531200	3.36		
		440-5511-531200	8.40		
		500-5344-531200	1.68		
		610-6902-690300	55.44		
		620-8300-840000	52.08		
TOTAL VENDOR DE LAGE LANDEN FINANCIAL				168.00	
VENDOR NAME: DYNAMIC AWARDS					
18028	BRINE TANK LABEL	100-5347-531100	10.00	10.00	DPW
TOTAL VENDOR DYNAMIC AWARDS				10.00	
VENDOR NAME: EMERGENCY MEDICAL PRODUCTS					
2250509	EMS SUPPLIES	150-5231-531100	19.62	19.62	FIRE
2248276	EMS SUPPLIES	150-5231-531100	496.44	496.44	FIRE
TOTAL VENDOR EMERGENCY MEDICAL PRODUCTS				516.06	
VENDOR NAME: ENSA					
5071585	WWTF TEST GAS FOR CONFINED SPACE	620-8010-827000	431.60	431.60	UTILITIES
TOTAL VENDOR ENSA				431.60	
VENDOR NAME: ENVIRONMENT CONTROL					
17923-613	VILLAGE HALL CLEANING	100-5160-521900	298.00	298.00	DPW
TOTAL VENDOR ENVIRONMENT CONTROL				298.00	
VENDOR NAME: ENVIRONMENTAL CONSULTING &					
4529	WWTF LAB TESTING WET/ACUTE TESTING	620-8010-826000	1,525.00	1,525.00	UTILITIES
TOTAL VENDOR ENVIRONMENTAL CONSULTING &				1,525.00	
VENDOR NAME: FASTENAL COMPANY					
WIMUK87216	SHOP SUPPLIES	100-5323-531100	6.11	6.11	DPW
TOTAL VENDOR FASTENAL COMPANY				6.11	
VENDOR NAME: GALLS LLC					
018050650	2021 UNIFORM ALLOWANCE - STEINBRENNER (2100-5213-534600		419.95	419.95	POLICE
TOTAL VENDOR GALLS LLC				419.95	
VENDOR NAME: GLOCK PROFESSIONAL INC					
TRP/100149390	OFF STEINBRENNER GLOCK ARMORER TRAINING	100-5213-533500	250.00	250.00	POLICE
TOTAL VENDOR GLOCK PROFESSIONAL INC				250.00	
VENDOR NAME: HASTINGS AIR-ENERGY CONTROL INC					
186297	PLYMOVENT SERVICE	150-5222-539500	1,268.72	1,268.72	FIRE
186298	PLYMOVEMT SERVICE STATION 2	150-5222-539500	883.26	883.26	FIRE
TOTAL VENDOR HASTINGS AIR-ENERGY CONTROL INC				2,151.98	

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: HAWKINS WATER TREATMENT					
4917808	WWTF SLUDGE DEWATERING CHEMICAL	620-8010-825000	1,058.40	1,058.40	UTILITIES
TOTAL VENDOR HAWKINS WATER TREATMENT				1,058.40	
VENDOR NAME: HIPPENMEYER, REILLY, BLUM,					
50921	MISC MATTERS	100-5130-521900	2,442.50	2,442.50	FINANCE
50922	UTILITIES	610-6920-692300	129.50	333.00	FINANCE
		620-8400-852000	203.50		
50923	ORDINANCES	100-5130-521900	185.00	185.00	FINANCE
50919	PROSECUTIONS	100-5130-521900	645.00	645.00	FINANCE
50925	915 MAIN - TID 4	100-0000-211425	37.00	37.00	FINANCE
50924	FAIRWINDS SUBDIVISION	100-0000-211425	55.50	55.50	FINANCE
50927	BOX SELF STORAGE	100-0000-211425	111.00	111.00	FINANCE
50926	CHAPMAN POND - ANDERSON	100-0000-211400	55.50	55.50	FINANCE
TOTAL VENDOR HIPPENMEYER, REILLY, BLUM,				3,864.50	
VENDOR NAME: HOME DEPOT					
2020 APRIL DPW	VAIOUS SUPPLIES	100-5521-531100	20.07	110.37	DPW
		100-5323-531100	6.79		
		100-5343-539500	11.96		
		100-5347-531100	71.55		
TOTAL VENDOR HOME DEPOT				110.37	
VENDOR NAME: HORN FEEDS					
33079	WWTF WEED KILLER	620-8010-827000	119.00	119.00	UTILITIES
TOTAL VENDOR HORN FEEDS				119.00	
VENDOR NAME: JEFFERSON FIRE & SAFETY					
IN128262	3471 ANNUAL MAINTENANCE	150-5222-539500	650.00	650.00	FIRE
TOTAL VENDOR JEFFERSON FIRE & SAFETY				650.00	
VENDOR NAME: LANGE ENTERPRISES INC					
75852	POLICE PARKING ONLY SIGNS FOR PD PARKING	100-5212-531100	129.93	129.93	POLICE
TOTAL VENDOR LANGE ENTERPRISES INC				129.93	
VENDOR NAME: LORI MACCARI					
04 17 21	BLS PROVIDER INSTRUCTOR MONITORING	150-5232-533500	50.00	50.00	FIRE
TOTAL VENDOR LORI MACCARI				50.00	
VENDOR NAME: LWMMI					
WM000671530092	2009 SUBURBAN INCIDNET LIABILITY DEDUCTI	150-5231-539500	500.00	1,000.00	FIRE
		150-5222-539500	500.00		
TOTAL VENDOR LWMMI				1,000.00	
VENDOR NAME: MACQUEEN EQUIPMENT					
P18769	SWEEPER SOLENOID	100-5345-539500	246.13	246.13	DPW

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: MACQUEEN EQUIPMENT					
TOTAL VENDOR MACQUEEN EQUIPMENT				246.13	
VENDOR NAME: MARSHALL-BOND PUMPS					
39879.0	WWTF SLUDGE PUMP REPAIR PARTS	620-8010-833000	617.86	617.86	UTILITIES
39884.0	WWTF SLUGE PUMP REPAIR PARTS	620-8010-833000	324.64	324.64	UTILITIES
TOTAL VENDOR MARSHALL-BOND PUMPS				942.50	
VENDOR NAME: MCMASTER-CARR					
56799931	WWTF PRESSURE GAUGES FOR SLUDGE PUMPS	620-8010-833000	148.65	148.65	UTILITIES
TOTAL VENDOR MCMASTER-CARR				148.65	
VENDOR NAME: MILLER KEN					
2021 BOOT ALLOWANCE	WWTF 2021 BOOT ALLOWANCE - MILLER	620-8010-827000	100.00	100.00	UTILITIES
TOTAL VENDOR MILLER KEN				100.00	
VENDOR NAME: NAPA AUTO PARTS - SP018					
129688	SWEEPER PARTS	100-5345-539500	24.49	24.49	DPW
TOTAL VENDOR NAPA AUTO PARTS - SP018				24.49	
VENDOR NAME: PRINT PACK & SHIP CENTER					
174285681076	WWTF ACUTE TESTING SAMPLES	620-8010-826000	216.71	216.71	UTILITIES
992890068252	WWTF ACUTE TESTING SAMPLES	620-8010-826000	171.07	171.07	UTILITIES
174285681000-1010	WWTF ACUTE TESTING SAMPLES	620-8010-826000	374.38	374.38	UTILITIES
TOTAL VENDOR PRINT PACK & SHIP CENTER				762.16	
VENDOR NAME: PROHEALTH PHARMACY					
2021 MARCH	EMS SUPPLIES	150-5231-531100	174.05	174.05	FIRE
TOTAL VENDOR PROHEALTH PHARMACY				174.05	
VENDOR NAME: QUILL LLC					
15872351	VH FACIAL TISSUE	100-5160-531100	49.99	49.99	DPW
16042626	COPY PAPER & OFFICE SUPPLIES	100-5142-531100	47.49	118.26	ALLOCATE
		150-5221-531100	12.87		
		220-5140-531100	0.99		
		410-5363-531100	1.98		
		440-5511-531100	4.95		
		500-5344-531200	0.99		
		610-6902-690300	14.85		
		620-8400-851000	14.85		
		100-5142-531100	6.43		
		100-5241-531100	6.43		
		100-5632-531100	6.43		
TOTAL VENDOR QUILL LLC				168.25	
VENDOR NAME: RUTENBECK, TIM					
2021 TEST FEES	REIMBURSEMENT FOR COMMERCIAL BUILDING IN	100-5241-532400	31.67	31.67	BUILDING
TOTAL VENDOR RUTENBECK, TIM				31.67	
VENDOR NAME: SHRED-IT USA					

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: SHRED-IT USA				
8181845562	2021 APRIL VH SHREDDING SERVICES	100-5141-531100	34.29	68.57 ALLOCATE
		100-5142-531100	17.14	
		100-5632-531100	17.14	
TOTAL VENDOR SHRED-IT USA				68.57
VENDOR NAME: SOMAR ENTERPRISES				
102252	NAME TAG FOR NEW DISPATCHER/CLERK ROBERT	100-5211-534700	29.00	29.00 POLICE
TOTAL VENDOR SOMAR ENTERPRISES				29.00
VENDOR NAME: TEMPO GLOVE				
46732	TEMPO GLOVES	150-5700-571300	1,420.01	1,420.01 FIRE
TOTAL VENDOR TEMPO GLOVE				1,420.01
VENDOR NAME: USA BLUEBOOK				
570041	WATER WELL 3 SAMPLE TAP	610-6310-663500	20.52	20.52 UTILITIES
569909	WWTF LAB SUPPLIES	620-8010-826000	1,276.44	1,276.44 UTILITIES
577317	WATER WELL 3 PRELUBE METER REMOTE PANEL	610-6210-662500	(659.95)	(659.95) UTILITIES
564980	WATER WELL 3 PRELUBE FLOW METER REMOTE S	610-6210-662500	673.44	673.44 UTILITIES
980141 CREDIT	WATER MAINTENANCE OF METERS	610-6453-664100	(18.99)	(18.99) UTILITIES
TOTAL VENDOR USA BLUEBOOK				1,291.46
VENDOR NAME: VERIZON WIRELESS				
9877564918	2021 APRIL CELL BILL ACCT# 885503900-000	150-5221-522500	358.54	358.54 FIRE
9877564917	2021 APRIL CELL BILL ACCT# 885503900-000	150-5221-522500	20.79	276.32 MULTIPLE
		100-5323-522500	20.79	
		610-6920-692100	117.37	
		620-8400-851000	117.37	
TOTAL VENDOR VERIZON WIRELESS				738.28 MULTIPLE
9877564916	2021 APRIL CELL BILL ACCT# 885503900-000	100-5141-522500	92.83	
		100-5241-522500	137.36	
		150-5221-522500	41.14	
		100-5211-522500	3.72	
		100-5323-522500	131.68	
		610-6920-692100	145.15	
		620-8400-851000	145.16	
		100-5632-522500	41.24	
TOTAL VENDOR VERIZON WIRELESS				1,373.14
VENDOR NAME: WAVEBAND COMMUNICATIONS INC				
12759	EF JOHNSON PORTABLE BATTERIES	150-5222-539500	1,158.30	1,158.30 FIRE
TOTAL VENDOR WAVEBAND COMMUNICATIONS INC				1,158.30
VENDOR NAME: WI DEPT OF JUSTICE-TIME				
455TIME-0000010469	2ND QUARTER FEE FOR BADGERNET, TIME ACCE	100-5211-521900	2,282.25	2,282.25 POLICE
TOTAL VENDOR WI DEPT OF JUSTICE-TIME				2,282.25
VENDOR NAME: WI DNR				

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PENDING VILLAGE BOARD REVIEW FOR MUKWONAGO  
EXP CHECK RUN DATES 05/06/2021 - 05/06/2021  
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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: WI DNR			
WU91745	WATER DNR REGULATORY FEES	610-6920-692800 125.00	125.00 UTILITIES
TOTAL VENDOR WI DNR			125.00
VENDOR NAME: WIERZBINSKI, JACOB			
REFUND042021	UB REFUND DUPLICATE PYMT ACCT 6069 - 161 610-0000-142000	198.31	198.31 ALLOCATE
TOTAL VENDOR WIERZBINSKI, JACOB			198.31
VENDOR NAME: WISCONSIN IMAGING SOLUTIONS LLC			
AR51935	WWTF COPIER COSTS	620-8400-851000 60.42	60.42 UTILITIES
TOTAL VENDOR WISCONSIN IMAGING SOLUTIONS LLC			60.42
VENDOR NAME: WOLF PAVING			
12-10138.300 PMNT	12021 STREET REHAB - #1	480-5700-586100 48,683.97	48,683.97 FINANCE
TOTAL VENDOR WOLF PAVING			48,683.97
VENDOR NAME: WOLTER POWER SYSTEMS			
522133335	REPLACE BREATHER HEATER KIT TO PREVENT L100-5211-539400	539.57	539.57 POLICE
TOTAL VENDOR WOLTER POWER SYSTEMS			539.57
VENDOR NAME: ZARNOTH BRUSH WORKS			
0184154-IN	SWEEPER BRUSHES	100-5345-539500 816.50	816.50 DPW
TOTAL VENDOR ZARNOTH BRUSH WORKS			816.50
VENDOR NAME: ZORN COMPRESSOR & EQUIPMENT			
342002-00	WWTF SLUDGE PUMP AIR COMPRESSOR REPAIR	620-8010-833000 787.05	787.05 UTILITIES
TOTAL VENDOR ZORN COMPRESSOR & EQUIPMENT			787.05
GRAND TOTAL:			95,363.88

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
IMIL1671245 46618	ALSCO DUSTERS & MATS 440-5511-531100	03/25/2021 CKIM	04/09/2021	58.29 58.29	0.00	Paid	Y 04/01/2021
	SUPPLIES						
33216 46615	AMERICA AQUARIA FISH TANK MAINTENANCE 440-5511-531000	03/15/2021 CKIM	04/09/2021	85.00 85.00	0.00	Paid	Y 04/01/2021
	OUTSIDE SERVICES						
2035821550 46627	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/05/2021 CKIM	04/09/2021	3.77 3.77	0.00	Paid	Y 04/01/2021
	BOOKS						
2035821551 46629	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/05/2021 CKIM	04/09/2021	20.68 20.68	0.00	Paid	Y 04/01/2021
	BOOKS						
2035821552 46630	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/05/2021 CKIM	04/09/2021	241.84 241.84	0.00	Paid	Y 04/01/2021
	BOOKS						
2035821553 46631	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/05/2021 CKIM	04/09/2021	31.35 31.35	0.00	Paid	Y 04/01/2021
	BOOKS						
2035835532 46632	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	7.27 7.27	0.00	Paid	Y 04/01/2021
	BOOKS						
2035835533 46633	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	15.11 15.11	0.00	Paid	Y 04/01/2021
	BOOKS						
2035835534 46635	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	33.35 33.35	0.00	Paid	Y 04/01/2021
	BOOKS						
2035835535 46636	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	81.70 81.70	0.00	Paid	Y 04/01/2021
	BOOKS						



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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
2035835536 46637	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	61.12 61.12	0.00	Paid	Y 04/01/2021
2035835537 46638	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/11/2021 CKIM	04/09/2021	131.42 131.42	0.00	Paid	Y 04/01/2021
2035839332 46640	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/16/2021 CKIM	04/09/2021	33.31 33.31	0.00	Paid	Y 04/01/2021
2035839333 46642	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/16/2021 CKIM	04/09/2021	538.63 538.63	0.00	Paid	Y 04/01/2021
2035853232 46643	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	3.14 3.14	0.00	Paid	Y 04/01/2021
2035853233 46644	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	9.51 9.51	0.00	Paid	Y 04/01/2021
2035853234 46646	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	11.19 11.19	0.00	Paid	Y 04/01/2021
2035853235 46647	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	29.38 29.38	0.00	Paid	Y 04/01/2021
2035853236 46648	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	27.98 27.98	0.00	Paid	Y 04/01/2021
2035853237 46649	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	90.70 90.70	0.00	Paid	Y 04/01/2021

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
2035853238 46650	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	33.42 33.42	0.00	Paid	Y 04/01/2021
2035853239 46652	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	16.36 16.36	0.00	Paid	Y 04/01/2021
2035853240 46653	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	57.26 57.26	0.00	Paid	Y 04/01/2021
2035853860 46654	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/22/2021 CKIM	04/09/2021	491.51 491.51	0.00	Paid	Y 04/01/2021
2035874796 46731	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/31/2021 CKIM	04/09/2021	34.69 34.69	0.00	Paid	Y 04/02/2021
2035874797 46732	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/31/2021 CKIM	04/09/2021	59.04 59.04	0.00	Paid	Y 04/02/2021
2035874798 46733	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/31/2021 CKIM	04/09/2021	79.08 79.08	0.00	Paid	Y 04/02/2021
2035874799 46734	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/31/2021 CKIM	04/09/2021	36.45 36.45	0.00	Paid	Y 04/02/2021
2035874800 46735	BAKER & TAYLOR INC. BOOKS 440-5700-532800	03/31/2021 CKIM	04/09/2021	44.26 44.26	0.00	Paid	Y 04/02/2021
2035878297 46742	BAKER & TAYLOR INC. BOOKS 440-5700-532800	04/01/2021 CKIM	04/09/2021	17.05 17.05	0.00	Paid	Y 04/06/2021

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
2035878298 46743	BAKER & TAYLOR INC. BOOKS 440-5700-532800	04/01/2021 CKIM	04/09/2021	339.21 339.21	0.00	Paid	Y 04/06/2021
2021-13010193 46619	BRIDGES LIBRARY SYSTEM CAFE CARDS 440-5511-531100	03/10/2021 CKIM	04/09/2021	108.00 108.00	0.00	Paid	Y 04/01/2021
B6099119 46655	BRODART BOOKS 440-5700-532800	02/25/2021 CKIM	04/09/2021	114.73 114.73	0.00	Paid	Y 04/01/2021
B6105276 46656	BRODART BOOKS 440-5700-532800	03/04/2021 CKIM	04/09/2021	35.83 35.83	0.00	Paid	Y 04/01/2021
B6105842 46658	BRODART BOOKS 440-5700-532800	03/05/2021 CKIM	04/09/2021	89.60 89.60	0.00	Paid	Y 04/01/2021
B6110136 46659	BRODART BOOKS 440-5700-532800	03/10/2021 CKIM	04/09/2021	314.95 314.95	0.00	Paid	Y 04/01/2021
B6116832 46660	BRODART BOOKS 440-5700-532800	03/16/2021 CKIM	04/09/2021	496.08 496.08	0.00	Paid	Y 04/01/2021
B6122156 46661	BRODART BOOKS 440-5700-532800	03/19/2021 CKIM	04/09/2021	47.96 47.96	0.00	Paid	Y 04/01/2021
B6129419 46736	BRODART BOOKS 440-5700-532800	03/25/2021 CKIM	04/09/2021	15.65 15.65	0.00	Paid	Y 04/05/2021
73911604 46662	CENGAGE LEARNING BOOKS 440-5700-532800	03/03/2021 CKIM	04/09/2021	92.26 92.26	0.00	Paid	Y 04/01/2021

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
73919910 46663	CENGAGE LEARNING BOOKS 440-5700-532800	03/04/2021 CKIM	04/09/2021	20.14 20.14	0.00	Paid	Y 04/01/2021
73971541 46664	CENGAGE LEARNING BOOKS 440-5700-532800	03/15/2021 CKIM	04/09/2021	24.04 24.04	0.00	Paid	Y 04/01/2021
73978534 46665	CENGAGE LEARNING BOOKS 440-5700-532800	03/16/2021 CKIM	04/09/2021	45.48 45.48	0.00	Paid	Y 04/01/2021
73987849 46666	CENGAGE LEARNING BOOKS 440-5700-532800	03/17/2021 CKIM	04/09/2021	47.43 47.43	0.00	Paid	Y 04/01/2021
73987586 46667	CENGAGE LEARNING BOOKS 440-5700-532800	03/17/2021 CKIM	04/09/2021	24.69 24.69	0.00	Paid	Y 04/01/2021
73995632 46668	CENGAGE LEARNING BOOKS 440-5700-532800	03/18/2021 CKIM	04/09/2021	17.54 17.54	0.00	Paid	Y 04/01/2021
73995873 46669	CENGAGE LEARNING BOOKS 440-5700-532800	03/18/2021 CKIM	04/09/2021	17.57 17.57	0.00	Paid	Y 04/01/2021
74030550 46670	CENGAGE LEARNING BOOKS 440-5700-532800	03/24/2021 CKIM	04/09/2021	48.08 48.08	0.00	Paid	Y 04/01/2021
6918338 46620	DEMCO PROCESSING SUPPLIES 440-5511-531100	03/05/2021 CKIM	04/09/2021	320.04 320.04	0.00	Paid	Y 04/01/2021
6919548 46621	DEMCO EASELS 440-5511-531100	03/09/2021 CKIM	04/09/2021	139.58 139.58	0.00	Paid	Y 04/01/2021

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
42721 46740	FRIENDS OF MUSKEGO PUBLIC LIBRARY MELINDA MYERS PROGRAM 440-5511-533100	03/31/2021 CKIM	04/09/2021	120.00 120.00	0.00	Paid	Y 04/06/2021
62004402 46674	ILLINGWORTH KILGUST CONTROLS HEADEND UPGRADE 440-5890-580600	03/19/2021 CKIM	04/09/2021	7,250.00 7,250.00	0.00	Paid	Y 04/01/2021
35662922 46737	JOHNSON CONTROLS SECURITY SOFTWARE UPDATE 440-5511-539500	03/29/2021 CKIM	04/09/2021	170.00 170.00	0.00	Paid	Y 04/05/2021
35518340 46738	JOHNSON CONTROLS SECURITY PASSWORD ISSUE 440-5511-539500	03/29/2021 CKIM	04/09/2021	400.00 400.00	0.00	Paid	Y 04/05/2021
FEB/MAR 46671	CATHRYN KIM MISC ERRANDS 440-5511-533200	03/31/2021 CKIM	04/09/2021	25.20 25.20	0.00	Paid	Y 04/01/2021
294 46739	KLASSY KLEANERS RESTROOM CLEANING 440-5511-531000	04/05/2021 CKIM	04/09/2021	960.00 960.00	0.00	Paid	Y 04/06/2021
AR135735 46616	OFFICE COPYING EQUIPMENT 2/12/21-3/11/21 440-5511-531000	03/11/2021 CKIM	04/09/2021	283.60 283.60	0.00	Paid	Y 04/01/2021
5621 46741	PAULINE HAASS PUBLIC LIBRARY WISCONSIN FOODIE PROGRAM 440-5511-533100	03/31/2021 CKIM	04/09/2021	50.00 50.00	0.00	Paid	Y 04/06/2021
15061741 46622	QUILL LLC ENVELOPES 440-5511-531100	03/04/2021 CKIM	04/09/2021	33.19 33.19	0.00	Paid	Y 04/01/2021
15064507 46623	QUILL LLC ENVELOPES 440-5511-531100	03/04/2021 CKIM	04/09/2021	39.00 39.00	0.00	Paid	Y 04/01/2021

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
15253276 46624	QUILL LLC INK 440-5511-531100	03/11/2021 CKIM	04/09/2021	57.98 57.98	0.00	Paid	Y 04/01/2021
	SUPPLIES						
15483447 46625	QUILL LLC GLOVES 440-5511-531100	03/22/2021 CKIM	04/09/2021	98.60 98.60	0.00	Paid	Y 04/01/2021
	SUPPLIES						
15552235 46626	QUILL LLC CLEANING SUPPLIES 440-5511-531100	03/24/2021 CKIM	04/09/2021	66.47 66.47	0.00	Paid	Y 04/01/2021
	SUPPLIES						
5061663842 46617	RICOH USA, INC 12/26/20-3/25/21 440-5511-531000	03/22/2021 CKIM	04/09/2021	232.11 232.11	0.00	Paid	Y 04/01/2021
	OUTSIDE SERVICES						
107695 46672	ROMAN ELECTRIC CO., INC. FIX MOTION SENSORS 440-5511-539500	02/26/2021 CKIM	04/09/2021	410.00 410.00	0.00	Paid	Y 04/01/2021
	REPAIRS & MAINTENANCE						
107756 46673	ROMAN ELECTRIC CO., INC. LIGHT REPAIR 440-5511-539500	03/15/2021 CKIM	04/09/2021	287.50 287.50	0.00	Paid	Y 04/01/2021
	REPAIRS & MAINTENANCE						
# of Invoices:	66	# Due:	0	Totals:	15,226.37	0.00	
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00	
Net of Invoices and Credit Memos:				15,226.37	0.00		
--- TOTALS BY FUND ---							
	440 - LIBRARY FUND			15,226.37	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	5511 - LIBRARY SERVICES			3,944.56	0.00		
	5700 - CAPITAL OUTLAY EXPENDITURES			4,031.81	0.00		
	5890 - USE OF DESIGNATED FUNDS			7,250.00	0.00		

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO  
CHECK DATE FROM 04/14/2021 - 04/14/2021

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/14/2021	GEN	311 (E)	TIME WARNER CABLE	TELECOM 3/28/21 4/27/21	100-5120-522500	76.24
		311 (E)		TELECOM 3/28/21 4/27/21	100-5141-522500	80.50
		311 (E)		TELECOM 3/28/21 4/27/21	100-5142-522500	145.29
		311 (E)		TELECOM 3/28/21 4/27/21	100-5160-522500	26.45
		311 (E)		TELECOM 3/28/21 4/27/21	100-5211-522500	812.42
		311 (E)		TELECOM 3/28/21 4/27/21	100-5241-522500	40.97
		311 (E)		TELECOM 3/28/21 4/27/21	100-5323-522500	73.29
		311 (E)		TELECOM 3/28/21 4/27/21	100-5512-522500	166.96
		311 (E)		TELECOM 3/28/21 4/27/21	150-5221-522500	765.00
		311 (E)		TELECOM 3/28/21 4/27/21	220-5140-522500	2.34
		311 (E)		TELECOM 3/28/21 4/27/21	410-5363-522500	4.69
		311 (E)		TELECOM 3/28/21 4/27/21	440-5511-522500	560.72
		311 (E)		TELECOM 3/28/21 4/27/21	500-5344-522500	2.34
		311 (E)		TELECOM 3/28/21 4/27/21	610-6920-692100	39.84
		311 (E)		TELECOM 3/28/21 4/27/21	620-8400-851000	39.84
						<hr/> 2,836.89
			TOTAL - ALL FUNDS	TOTAL OF 1 CHECKS		2,836.89

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INVOICE REGISTER REPORT FOR MUKWONAGO  
 EXP CHECK RUN DATES 04/26/2021 - 04/26/2021  
 JOURNALIZED PAID  
 BANK CODE: GEN - CHECK TYPE: EFT  
 CREDIT CARD TRANSACTIONS FOR BOARD  
 SORTED BY CARDHOLDER

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
Purchase Card Vendor: 0002 US BANK							
BITTNER RONALD 46881	ZORO TOOLS INC PARKS PLUMBING PARTS 100-5521-531100	03/17/2021 mschneider	04/26/2021	131.62	0.00	Paid	Y 04/26/2021
	SUPPLIES			131.62			
BITTNER RONALD 46882	ZORO TOOLS INC LIBRARY LAV FAUCET SELENOID 440-5511-531100	03/27/2021 mschneider	04/26/2021	118.71	0.00	Paid	Y 04/26/2021
	SUPPLIES			118.71			
BITTNER RONALD 46883	ZORO TOOLS INC PLUMBING PARTS 100-5521-531100	04/08/2021 mschneider	04/26/2021	30.02	0.00	Paid	Y 04/26/2021
	SUPPLIES			30.02			
BITTNER RONALD 46884	AMZN MKTP US*7J3SA7JU3 OFFICE 365 SUBSCRIPTION 100-5323-522500	04/09/2021 mschneider	04/26/2021	104.95	0.00	Paid	Y 04/26/2021
	TELEPHONE			104.95			
BITTNER RONALD 46885	ZORO TOOLS INC PARKS VENT FAN MOTOR 100-5521-531100	04/10/2021 mschneider	04/26/2021	104.34	0.00	Paid	Y 04/26/2021
	SUPPLIES			104.34			
BROWN DAVID 46886	WM SUPERCENTER #1571 WWTF OFFICE SUPPLIES 620-8400-851000	04/13/2021 mschneider	04/26/2021	29.40	0.00	Paid	Y 04/26/2021
	OFFICE SUPPLIES & EXPENSES			29.40			
CASTLE WAYNE A 46887	MICROSOFT*MICROSOFT 365 F WWTF MICROSOFT 365 SUBSCRIPTION 620-8400-851000	04/01/2021 mschneider	04/26/2021	104.99	0.00	Paid	Y 04/26/2021
	OFFICE SUPPLIES & EXPENSES			104.99			
DEMOTTO CHRIS 46888	AMZN MKTP US*KTOQO0PJ3 3 GAS VAPOR CARTRIDGES FOR GAS MASKS 100-5212-539500	03/18/2021 mschneider	04/26/2021	283.47	0.00	Paid	Y 04/26/2021
	REPAIRS & MAINTENANCE			283.47			
DOHERTY DIANA 46889	LOCAL GOVERNMENT EDUCATIO WGFOA SPRING CONFERENCE 100-5141-533500	03/23/2021 mschneider	04/26/2021	110.00	0.00	Paid	Y 04/26/2021
	TRAINING & TRAVEL			110.00			



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Purchase Card Vendor: 0002 US BANK							
DOHERTY DIANA 46890	GOVERNMENT FINANCE OFFIC GFOA BOOKS 100-5141-533500	03/25/2021 mschneider	04/26/2021	108.08	0.00	Paid	Y 04/26/2021
	TRAINING & TRAVEL			108.08			
DYKSTRA DIANA 46891	ZOOM.US ZOOM LICENSE FEE 100-5142-531100	03/23/2021 mschneider	04/26/2021	157.40	0.00	Paid	Y 04/26/2021
	ZOOM LICENSE FEE			157.40			
DYKSTRA DIANA 46892	AMZN MKTP US*XG35853S3 USB DRIVES FOR GREENWALD PR REQUEST 100-5111-539900	03/24/2021 mschneider	04/26/2021	23.90	0.00	Paid	Y 04/26/2021
	USB DRIVES FOR GREENWALD PR REQUEST			23.90			
GOURDOUX LINDA 46893	WISCMUNCLERKS WMCA CERTIFICATION DEPUTY 100-5142-533500	03/22/2021 mschneider	04/26/2021	100.00	0.00	Paid	Y 04/26/2021
	WMCA CERTIFICATION DEPUTY			100.00			
GOURDOUX LINDA 46894	PICK N SAVE #384 ELECTION INSPECTORS FOOD 100-5144-531100	04/05/2021 mschneider	04/26/2021	6.78	0.00	Paid	Y 04/26/2021
	ELECTION INSPECTORS FOOD			6.78			
HARLEY ROBERT J 46895	AMZN MKTP US*WB7WI34V3 CASE FOR HEAD SET 100-5241-539900	03/18/2021 mschneider	04/26/2021	22.02	0.00	Paid	Y 04/26/2021
	OTHER			22.02			
HARLEY ROBERT J 46896	NFPA NATL FIRE PROTECT ELECTRONIC 2015 IBC 100-5241-521900	03/25/2021 mschneider	04/26/2021	226.50	0.00	Paid	Y 04/26/2021
	PROFESSIONAL SERVICES			226.50			
HARLEY ROBERT J 46897	HENRICKSEN BOB'S OFFICE CHAIR 100-5241-539900	03/31/2021 mschneider	04/26/2021	350.70	0.00	Paid	Y 04/26/2021
	OTHER			350.70			
HARLEY ROBERT J 46898	DOA E PAY DOC SALES UDC STATE STAMPS. 100-5241-521900	03/31/2021 mschneider	04/26/2021	830.27	0.00	Paid	Y 04/26/2021
	PROFESSIONAL SERVICES			830.27			

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Purchase Card Vendor: 0002 US BANK							
ISELY MARY JO 46899	US BANK DVD REFUND 440-5700-532900	03/15/2021 mschneider	04/26/2021	(34.99)	0.00	Paid	Y 04/26/2021
	AV MATERIAL			(34.99)			
ISELY MARY JO 46900	US BANK DVD REFUND 440-5700-532900	03/15/2021 mschneider	04/26/2021	(22.95)	0.00	Paid	Y 04/26/2021
	AV MATERIAL			(22.95)			
ISELY MARY JO 46901	AMAZON.COM*Z11701RP3 AMZN DVD 440-5700-532900	03/15/2021 mschneider	04/26/2021	91.36	0.00	Paid	Y 04/26/2021
	AV MATERIAL			91.36			
ISELY MARY JO 46902	AMZN MKTP US*V12F74PW3 DVD 440-5700-532900	03/17/2021 mschneider	04/26/2021	273.97	0.00	Paid	Y 04/26/2021
	AV MATERIAL			273.97			
ISELY MARY JO 46903	US BANK DVD REFUND 440-5700-532900	03/19/2021 mschneider	04/26/2021	(39.99)	0.00	Paid	Y 04/26/2021
	AV MATERIAL			(39.99)			
ISELY MARY JO 46904	AMAZON.COM*A86ZS86W3 AMZN DVD 440-5700-532900	03/22/2021 mschneider	04/26/2021	88.83	0.00	Paid	Y 04/26/2021
	AV MATERIAL			88.83			
ISELY MARY JO 46905	ROBO TECHNOLOGIES GMBH REPLACEMENT PARTS 440-5511-533000	03/23/2021 mschneider	04/26/2021	45.00	0.00	Paid	Y 04/26/2021
	THINGERY PURCHASES			45.00			
ISELY MARY JO 46906	AMAZON.COM*KW3Z975U3 AMZN DVD 440-5700-532900	03/25/2021 mschneider	04/26/2021	13.99	0.00	Paid	Y 04/26/2021
	AV MATERIAL			13.99			
ISELY MARY JO 46907	AMZN MKTP US*7N1SK1QN3 DVD 440-5700-532900	03/26/2021 mschneider	04/26/2021	39.89	0.00	Paid	Y 04/26/2021
	AV MATERIAL			39.89			

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Purchase Card Vendor: 0002 US BANK							
ISELY MARY JO 46908	AMZN MKTP US*B596H4513 DVD 440-5700-532900	03/27/2021 mschneider	04/26/2021	18.19	0.00	Paid	Y 04/26/2021
	AV MATERIAL			18.19			
ISELY MARY JO 46909	AMAZON.COM*CD3L83W23 AMZN DVD 440-5700-532900	03/28/2021 mschneider	04/26/2021	110.58	0.00	Paid	Y 04/26/2021
	AV MATERIAL			110.58			
ISELY MARY JO 46910	AMZN MKTP US*0S11P83B3 BOOKS 440-5700-532800	03/28/2021 mschneider	04/26/2021	132.32	0.00	Paid	Y 04/26/2021
	BOOKS			132.32			
ISELY MARY JO 46911	AMAZON.COM*GF7U02CH3 AMZN DVD 440-5700-532900	03/29/2021 mschneider	04/26/2021	65.84	0.00	Paid	Y 04/26/2021
	AV MATERIAL			65.84			
ISELY MARY JO 46912	AMZN MKTP US*8P1139EX3 DVD 440-5700-532900	03/29/2021 mschneider	04/26/2021	17.98	0.00	Paid	Y 04/26/2021
	AV MATERIAL			17.98			
ISELY MARY JO 46913	AMAZON.COM*R793Y8BP3 DVD 440-5700-532900	03/31/2021 mschneider	04/26/2021	13.79	0.00	Paid	Y 04/26/2021
	AV MATERIAL			13.79			
ISELY MARY JO 46914	NETFLIX.COM 4/1/21-4/30/21 SERVICE 440-5511-534000	04/01/2021 mschneider	04/26/2021	17.99	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			17.99			
ISELY MARY JO 46915	AMZN MKTP US*XZ7G298G3 ADULT SERVICES PRIZE 440-5511-533100	04/07/2021 mschneider	04/26/2021	29.78	0.00	Paid	Y 04/26/2021
	PROGRAMMING			29.78			
ISELY MARY JO 46916	AMAZON.COM*ES31N43N3 AMZN DVD 440-5700-532900	04/08/2021 mschneider	04/26/2021	22.99	0.00	Paid	Y 04/26/2021
	AV MATERIAL			22.99			

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Purchase Card Vendor: 0002 US BANK							
ISELY MARY JO 46917	ACORN TV MONTHLY MONTHLY CHARGE 440-5511-534000	04/08/2021 mschneider	04/26/2021	6.29	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			6.29			
ISELY MARY JO 46918	WM SUPERCENTER #1571 PACKAGING SUPPLIES 440-5511-533000	04/12/2021 mschneider	04/26/2021	104.34	0.00	Paid	Y 04/26/2021
	THINGERY PURCHASES			104.34			
ISELY MARY JO 46919	AMZN MKTP US*CG81H03D3 DRAWING BOOK 440-5511-533000	04/14/2021 mschneider	04/26/2021	13.80	0.00	Paid	Y 04/26/2021
	THINGERY PURCHASES			13.80			
KIM CATHRYN 46920	MILW ART MUSEUM MUSEUM PASS 440-5890-580600	03/18/2021 mschneider	04/26/2021	600.00	0.00	Paid	Y 04/26/2021
	DONATED FUND EXPENDITURES			600.00			
KIM CATHRYN 46921	ZOOM.US 888-799-9666 MEETINGS & WEBINAR 440-5511-534000	03/20/2021 mschneider	04/26/2021	199.40	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			199.40			
KIM CATHRYN 46922	USPS PO 5657100149 MAIL BOOK 440-5511-531500	03/22/2021 mschneider	04/26/2021	3.45	0.00	Paid	Y 04/26/2021
	POSTAGE			3.45			
KIM CATHRYN 46923	AVERY PRODUCTS CORPORATIO LABELS 440-5511-531100	03/23/2021 mschneider	04/26/2021	66.15	0.00	Paid	Y 04/26/2021
	SUPPLIES			66.15			
KIM CATHRYN 46924	AMZN MKTP US*QY4825B93 FACE MASKS 440-5511-531100	03/24/2021 mschneider	04/26/2021	118.83	0.00	Paid	Y 04/26/2021
	SUPPLIES			118.83			
KIM CATHRYN 46925	THE HOME DEPOT 4921 RAGS 440-5511-531100	03/24/2021 mschneider	04/26/2021	97.58	0.00	Paid	Y 04/26/2021
	SUPPLIES			97.58			

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Purchase Card Vendor: 0002 US BANK							
KIM CATHRYN 46926	TIDIO COMMUNICATOR CHAT COMMUNICATOR 440-5511-534000	03/25/2021 mschneider	04/26/2021	69.30	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			69.30			
KIM CATHRYN 46927	TRACTOR SUPPLY CO #5509 OUTDOOR TENT FOR PROGRAMMING 440-5890-580600	03/25/2021 mschneider	04/26/2021	199.99	0.00	Paid	Y 04/26/2021
	DONATED FUND EXPENDITURES			199.99			
KIM CATHRYN 46928	AMERICAN LIBRARY ASSOC POSTER & BOOKMARKS 440-5511-533300	03/27/2021 mschneider	04/26/2021	52.00	0.00	Paid	Y 04/26/2021
	OUTREACH			52.00			
KIM CATHRYN 46929	AMZN MKTP US*MT68Y3UW3 GENERAL SUPPLIES 440-5511-531100	03/27/2021 mschneider	04/26/2021	30.73	0.00	Paid	Y 04/26/2021
	SUPPLIES			30.73			
KIM CATHRYN 46930	WM SUPERCENTER #1571 MISC SUPPLIES 440-5511-531100	03/30/2021 mschneider	04/26/2021	26.03	0.00	Paid	Y 04/26/2021
	SUPPLIES			26.03			
KIM CATHRYN 46931	USPS PO 5657100149 MAIL BOOKS 440-5511-531500	03/31/2021 mschneider	04/26/2021	5.13	0.00	Paid	Y 04/26/2021
	POSTAGE			5.13			
KIM CATHRYN 46932	SEED SAVERS EXCHANGE INC. SEEDS 440-5890-580600	03/31/2021 mschneider	04/26/2021	148.23	0.00	Paid	Y 04/26/2021
	DONATED FUND EXPENDITURES			148.23			
KIM CATHRYN 46933	FRIENDS OF THE DOMES INC DOMES PASS 440-5511-533000	03/31/2021 mschneider	04/26/2021	100.00	0.00	Paid	Y 04/26/2021
	THINGERY PURCHASES			100.00			
KIM CATHRYN 46934	AMZN MKTP US*TD2CU1WV3 KEYBOARD COVER 440-5511-531100	04/01/2021 mschneider	04/26/2021	90.18	0.00	Paid	Y 04/26/2021
	SUPPLIES			90.18			

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Purchase Card Vendor: 0002 US BANK							
KIM CATHRYN 46935	AMZN MKTP US*OP33C6873 AM CHARGING PORTS 440-5511-531400	04/02/2021 mschneider	04/26/2021	69.98	0.00	Paid	Y 04/26/2021
	META SPACE EQUIPMENT & SUPPLIE			69.98			
KIM CATHRYN 46936	USPS PO 5657100149 MAIL BOOKS 440-5511-531500	04/06/2021 mschneider	04/26/2021	2.89	0.00	Paid	Y 04/26/2021
	POSTAGE			2.89			
KIM CATHRYN 46937	FRIENDS OF BOERNER BOT BOERNER GARDENS PASS 440-5511-533000	04/06/2021 mschneider	04/26/2021	100.00	0.00	Paid	Y 04/26/2021
	THINGERY PURCHASES			100.00			
KIM CATHRYN 46938	THE HOME DEPOT #4921 PLANT/ EMPLOYEE GIFT 440-5890-580600	04/06/2021 mschneider	04/26/2021	16.95	0.00	Paid	Y 04/26/2021
	DONATED FUND EXPENDITURES			16.95			
KIM CATHRYN 46939	MICHAELS GIFT CARDS EMPLOYEE GIFT 440-5890-580600	04/07/2021 mschneider	04/26/2021	25.00	0.00	Paid	Y 04/26/2021
	DONATED FUND EXPENDITURES			25.00			
KIM CATHRYN 46940	MAILCHIMP *MONTHLY MONTHLY NEWSLETTER 440-5511-534000	04/08/2021 mschneider	04/26/2021	62.99	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			62.99			
KIM CATHRYN 46941	SHOCKBYTE MINECRAFT HOST 440-5511-531400	04/10/2021 mschneider	04/26/2021	5.00	0.00	Paid	Y 04/26/2021
	META SPACE EQUIPMENT & SUPPLIE			5.00			
KIM CATHRYN 46942	ADOBE CREATIVE CLOUD CREATIVE CLOUD 440-5511-534000	04/11/2021 mschneider	04/26/2021	83.99	0.00	Paid	Y 04/26/2021
	DIGITAL MATERIALS			83.99			
KIM CATHRYN 46943	ALDI 64046 ORANGES FOR PROGRAM 440-5511-531400	04/12/2021 mschneider	04/26/2021	8.67	0.00	Paid	Y 04/26/2021
	META SPACE EQUIPMENT & SUPPLIE			8.67			

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Purchase Card Vendor: 0002 US BANK							
KINDER MATTHEW 46944	USPS PO 5657100149 WATER POSTAGE FOR WATER SAMPLES 610-6300-663200	04/06/2021 mschneider	04/26/2021	4.00	0.00	Paid	Y 04/26/2021
	OPERATION SUPPLY/EXP-TREATMENT			4.00			
KINDER MATTHEW 46945	THE HOME DEPOT #4921 WATER WELL 3 CONCRETE FOR SW WALL 610-6210-662500	04/06/2021 mschneider	04/26/2021	42.96	0.00	Paid	Y 04/26/2021
	MAINTENANCE-PUMPING			42.96			
KINDER MATTHEW 46946	THE HOME DEPOT #4921 WATER WELL 3 SW WALL REPAIR 610-6210-662500	04/07/2021 mschneider	04/26/2021	26.85	0.00	Paid	Y 04/26/2021
	MAINTENANCE-PUMPING			26.85			
MILLER KENNETH 46947	THE HOME DEPOT #4921 WATER WELL PRELUBE BY-PASS 610-6210-662500	03/30/2021 mschneider	04/26/2021	19.52	0.00	Paid	Y 04/26/2021
	MAINTENANCE-PUMPING			19.52			
PETERSON RANDY 46948	WEAVERS COMPACT TRACTOR COMPACT TRACTOR PARTS 100-5324-539500	03/24/2021 mschneider	04/26/2021	84.84	0.00	Paid	Y 04/26/2021
	REPAIRS & MAINTENANCE			84.84			
PETERSON RANDY 46949	HEIN ELECTRIC SUPPLY CO PARK AND STATION 1 LIGHTING PARTS 100-5220-539400	03/25/2021 mschneider	04/26/2021	220.31	0.00	Paid	Y 04/26/2021
	BLDG REPAIRS & MAINTENANCE			70.98			
	SUPPLIES			149.33			
PETERSON RANDY 46950	HARBOR FREIGHT TOOLS 544 PARK AND SHOP SUPPLIES 100-5521-531100	03/25/2021 mschneider	04/26/2021	118.24	0.00	Paid	Y 04/26/2021
	SUPPLIES			13.93			
	SUPPLIES			104.31			
PETERSON RANDY 46951	VANNER INC VANNER FIRE DEPT INVERTER REPAIRS 150-5231-539500	04/05/2021 mschneider	04/26/2021	330.72	0.00	Paid	Y 04/26/2021
	REPAIRS & MAINTENANCE			330.72			
SCHMIDT KEVIN B 46952	STAPLS0190540694000002 2 CASES OF MULTIFOLD PAPER TOWELS 100-5211-531100	03/25/2021 mschneider	04/26/2021	32.50	0.00	Paid	Y 04/26/2021
	SUPPLIES			32.50			

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SCHMIDT KEVIN B 46953	STAPLS0190540694000001 6 BOXES OF COMBAT ANT KILLER BAIT 100-5211-539400	04/03/2021 mschneider	04/26/2021	34.86	0.00	Paid	Y 04/26/2021
	BLDG REPAIRS & MAINTENANCE			34.86			
SMITH JAMES A 46954	THE HOME DEPOT 4921 WWTF DIGESTER TOOL BOX AND TOOLS 620-8010-827000	04/05/2021 mschneider	04/26/2021	498.49	0.00	Paid	Y 04/26/2021
	OPERATION SUPPLY/EXPENSE			498.49			
SMITH JAMES A 46955	WM SUPERCENTER #1571 WWTF OFFICE SUPPLIES, LAB TESTING 620-8010-826000	04/12/2021 mschneider	04/26/2021	24.73	0.00	Paid	Y 04/26/2021
	OTHER CHEMICALS			6.00			
	OFFICE SUPPLIES & EXPENSES			18.73			
SMITH JAMES A 46956	WAL-MART #1571 WWTF LAB TESTING ICE 620-8010-826000	04/14/2021 mschneider	04/26/2021	5.32	0.00	Paid	Y 04/26/2021
	OTHER CHEMICALS			5.32			
STIEN JEFFREY R 46957	AMZN MKTP US*IS2UJ68S3 3461 AND BED FRAME 150-5222-539500	04/04/2021 mschneider	04/26/2021	179.98	0.00	Paid	Y 04/26/2021
	REPAIRS & MAINTENANCE			22.99			
	SUPPLIES			156.99			
STIEN JEFFREY R 46958	AMZN MKTP US*WZ7Z55OZ3 POWER CORD 150-5231-531100	04/05/2021 mschneider	04/26/2021	4.13	0.00	Paid	Y 04/26/2021
	SUPPLIES			4.13			
STIEN JEFFREY R 46959	AMZN MKTP US*AK3Z12BR3 DISINFECTANT WIPES 150-5231-531100	04/06/2021 mschneider	04/26/2021	92.55	0.00	Paid	Y 04/26/2021
	SUPPLIES			92.55			
STIEN JEFFREY R 46960	AMZN MKTP US*RU06E7MJ3 SURGICAL MASKS 150-5231-531100	04/06/2021 mschneider	04/26/2021	195.00	0.00	Paid	Y 04/26/2021
	SUPPLIES			195.00			
STIEN JEFFREY R 46961	AMZN MKTP US*NC3IO7Z73 EXTINGUISHER BRACKET 3461 150-5222-531100	04/09/2021 mschneider	04/26/2021	52.74	0.00	Paid	Y 04/26/2021
	SUPPLIES			52.74			



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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
Purchase Card Vendor: 0002 US BANK							
STIEN JEFFREY R 46962	AMERICAN HEART SHOPCPR CURRIE BLS PROVIDER ONLINE 150-5232-533500	04/14/2021 mschneider	04/26/2021	31.00	0.00	Paid	Y 04/26/2021
	TRAINING & TRAVEL			31.00			
STREIT DANIEL 46963	AMZN MKTP US*OY1IZ6QS3 1 PACK OF AA & 1 PACK OF AAA 100-5212-531100	03/24/2021 mschneider	04/26/2021	44.73	0.00	Paid	Y 04/26/2021
	SUPPLIES			44.73			
STREIT DANIEL 46964	AMZN MKTP US*Z048Z9X33 7 REPLACEMENT BATTERIES FOR MOBILE 100-5212-539500	04/07/2021 mschneider	04/26/2021	113.40	0.00	Paid	Y 04/26/2021
	REPAIRS & MAINTENANCE			113.40			
STREIT DANIEL 46965	WAL-MART #1571 DEVELOPE PICTURE OF NEW 100-5211-531100	04/08/2021 mschneider	04/26/2021	2.14	0.00	Paid	Y 04/26/2021
	SUPPLIES			2.14			
SURA MATTHEW J 46966	US BANK ZOOM REFUND 150-5221-531100	03/15/2021 mschneider	04/26/2021	(7.50)	0.00	Paid	Y 04/26/2021
	SUPPLIES			(7.50)			
SURA MATTHEW J 46967	MICROSOFT*STORE MICROSOFT 365 5 LICENSES 150-5221-531100	04/02/2021 mschneider	04/26/2021	104.99	0.00	Paid	Y 04/26/2021
	SUPPLIES			104.99			
SURA MATTHEW J 46968	APPLE.COM/BILL APPLE.COM APRIL 150-5231-531100	04/08/2021 mschneider	04/26/2021	0.99	0.00	Paid	Y 04/26/2021
	SUPPLIES			0.99			
WEIDL JOHN S 46969	US BANK AMAZON PRIME CANCELATION 100-5670-531100	04/08/2021 mschneider	04/26/2021	(187.95)	0.00	Paid	Y 04/26/2021
	SUPPLIES			(187.95)			
Total Purchase Card Vendor: 0002 US BANK				8,104.16	0.00		

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
# of Invoices:	84	# Due:	0	Totals:	8,397.54	0.00	
# of Credit Memos:	5	# Due:	0	Totals:	(293.38)	0.00	
Net of Invoices and Credit Memos:				8,104.16	0.00		

--- TOTALS BY GL DISTRIBUTION ---

100-5111-539900	OTHER	23.90
100-5141-533500	TRAINING & TRAVEL	218.08
100-5142-531100	SUPPLIES	157.40
100-5142-533500	TRAINING & TRAVEL	100.00
100-5144-531100	SUPPLIES	6.78
100-5211-531100	SUPPLIES	34.64
100-5211-539400	BLDG REPAIRS & MAINTENANCE	34.86
100-5212-531100	SUPPLIES	44.73
100-5212-539500	REPAIRS & MAINTENANCE	396.87
100-5220-539400	BLDG REPAIRS & MAINTENANCE	70.98
100-5241-521900	PROFESSIONAL SERVICES	1,056.77
100-5241-539900	OTHER	372.72
100-5323-522500	TELEPHONE	104.95
100-5323-531100	SUPPLIES	104.31
100-5324-539500	REPAIRS & MAINTENANCE	84.84
100-5521-531100	SUPPLIES	429.24
100-5670-531100	SUPPLIES	(187.95)
150-5221-531100	SUPPLIES	254.48
150-5222-531100	SUPPLIES	52.74
150-5222-539500	REPAIRS & MAINTENANCE	22.99
150-5231-531100	SUPPLIES	292.67
150-5231-539500	REPAIRS & MAINTENANCE	330.72
150-5232-533500	TRAINING & TRAVEL	31.00
440-5511-531100	SUPPLIES	548.21
440-5511-531400	META SPACE EQUIPMENT & SUPPLIE	83.65
440-5511-531500	POSTAGE	11.47
440-5511-533000	THINGERY PURCHASES	363.14
440-5511-533100	PROGRAMMING	29.78
440-5511-533300	OUTREACH	52.00
440-5511-534000	DIGITAL MATERIALS	439.96
440-5700-532800	BOOKS	132.32
440-5700-532900	AV MATERIAL	659.48
440-5890-580600	DONATED FUND EXPENDITURES	990.17
610-6210-662500	MAINTENANCE-PUMPING	89.33
610-6300-663200	OPERATION SUPPLY/EXP-TREATMENT	4.00
620-8010-826000	OTHER CHEMICALS	11.32
620-8010-827000	OPERATION SUPPLY/EXPENSE	498.49
620-8400-851000	OFFICE SUPPLIES & EXPENSES	153.12

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
--- TOTALS BY FUND ---							
	100 - GENERAL FUND			3,053.12	0.00		
	150 - FIRE/AMBULANCE FUND			984.60	0.00		
	440 - LIBRARY FUND			3,310.18	0.00		
	610 - WATER UTILITY FUND			93.33	0.00		
	620 - SEWER UTILITY FUND			662.93	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	5111 - VILLAGE BOARD			23.90	0.00		
	5141 - VILLAGE ADMINISTRATION/FINA			218.08	0.00		
	5142 - CLERK-TREASURER			257.40	0.00		
	5144 - ELECTIONS			6.78	0.00		
	5211 - POLICE ADMINISTRATION			69.50	0.00		
	5212 - POLICE PATROL			441.60	0.00		
	5220 - FIRE STATION (VILLAGE)			70.98	0.00		
	5221 - FIRE ADMINISTRATION			254.48	0.00		
	5222 - FIRE SUPPRESSION			75.73	0.00		
	5231 - AMBULANCE			623.39	0.00		
	5232 - AMBULANCE TRAINING			31.00	0.00		
	5241 - BUILDING INSPECTOR			1,429.49	0.00		
	5323 - GARAGE			209.26	0.00		
	5324 - MACHINERY & EQUIPMENT			84.84	0.00		
	5511 - LIBRARY SERVICES			1,528.21	0.00		
	5521 - PARKS			429.24	0.00		
	5670 - ECONOMIC DEVELOPMENT			(187.95)	0.00		
	5700 - CAPITAL OUTLAY EXPENDITURES			791.80	0.00		
	5890 - USE OF DESIGNATED FUNDS			990.17	0.00		
	6210 - PUMPING MAINTENANCE			89.33	0.00		
	6300 - WATER TREATMENT OPERATIONS			4.00	0.00		
	8010 - WWTP-TREATMENT/DISPOSAL/GP			509.81	0.00		
	8400 - ADMINISTRATIVE & GENERAL			153.12	0.00		
--- TOTALS BY PAYMENT CARD ACCOUNT ---							
	0366			218.08			
	0707			2,182.47			
	1051			73.81			
	1275			29.40			
	2365			1,009.00			
	2380			(187.95)			
	2544			181.30			
	3064			283.47			

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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized
Inv Ref#	Description	Entered By					Post Date
GL Distribution							
--- TOTALS BY PAYMENT CARD ACCOUNT ---							
	4952			1,429.49			
	5538			160.27			
	5724			98.48			
	6347			106.78			
	6370			555.40			
	6639			104.99			
	7403			528.54			
	8378			67.36			
	8389			19.52			
	9625			754.11			
	9708			489.64			

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INVOICE REGISTER REPORT FOR MUKWONAGO  
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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
20210422 47063	WE ENERGIES 0700126680-00001 Digester Gas 620-8010-821200	04/22/2021 mschneider	05/14/2021	548.53	0.00	Paid	Y 05/14/2021
		0700126680-00001 Digester Gas		548.53			
20210422 47064	WE ENERGIES 0700126680-00002 Well #3 Elec 610-6200-662200	04/22/2021 mschneider	05/14/2021	704.92	0.00	Paid	Y 05/14/2021
		0700126680-00002 Well #3 Elec		704.92			
20210422 47065	WE ENERGIES 0700126680-00003 Street Lights 100-5342-522200	04/22/2021 mschneider	05/14/2021	7,064.56	0.00	Paid	Y 05/14/2021
		0700126680-00003 Street Lights		7,064.56			
20210422 47066	WE ENERGIES 0700126680-00004 Greenwald 610-6200-662200	04/22/2021 mschneider	05/14/2021	462.31	0.00	Paid	Y 05/14/2021
		0700126680-00004 Greenwald		462.31			
20210422 47067	WE ENERGIES 0700126680-00005 Booster Station 610-6200-662200	04/22/2021 mschneider	05/14/2021	1,497.33	0.00	Paid	Y 05/14/2021
		0700126680-00005 Booster Station		1,497.33			
20210422 47068	WE ENERGIES 0700126680-00006 Field Park 100-5521-522200	04/22/2021 mschneider	05/14/2021	119.22	0.00	Paid	Y 05/14/2021
		0700126680-00006 Field Park		119.22			
20210422 47069	WE ENERGIES 0700126680-00007 1240 N. Rochester 620-8020-821000	04/22/2021 mschneider	05/14/2021	233.17	0.00	Paid	Y 05/14/2021
		0700126680-00007 1240 N. Rochester		233.17			
20210422 47070	WE ENERGIES 0700126680-00008 Police Garage 100-5211-522200	04/22/2021 mschneider	05/14/2021	73.12	0.00	Paid	Y 05/14/2021
		0700126680-00008 Police Garage		73.12			
20210422 47072	WE ENERGIES 0700126680-000010 Fox River View 620-8020-821000	04/22/2021 mschneider	05/14/2021	262.32	0.00	Paid	Y 05/14/2021
		0700126680-000010 Fox River View		262.32			
20210422 47073	WE ENERGIES 0700126680-000011 DPW Elec	04/22/2021 mschneider	05/14/2021	653.17	0.00	Paid	Y 05/14/2021

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	100-5323-522200	0700126680-000011 DPW Elec		653.17			
20210422 47074	WE ENERGIES 0700126680-000012 Fire 150-5221-522200	04/22/2021 mschneider 0700126680-000012 Fire	05/14/2021	2,946.67  2,946.67	0.00	Paid	Y 05/14/2021
20210422 47075	WE ENERGIES 0700126680-000013 police-CTH E N of 100-5211-522200	04/22/2021 mschneider 0700126680-000013 police-CTH E N of Sugd	05/14/2021	25.05  25.05	0.00	Paid	Y 05/14/2021
20210422 47076	WE ENERGIES 0700126680-000014 Hall 100-5160-522200	04/22/2021 mschneider 0700126680-000014 Hall	05/14/2021	1,779.79  1,779.79	0.00	Paid	Y 05/14/2021
20210422 47077	WE ENERGIES 0700126680-000014 Hall Gas 100-5160-522400	04/22/2021 mschneider 0700126680-000014 Hall Gas	05/14/2021	549.19  549.19	0.00	Paid	Y 05/14/2021
20210422 47078	WE ENERGIES 0700126680-000016 Miniwauken Park 100-5521-522200	04/22/2021 mschneider 0700126680-000016 Miniwauken Park	05/14/2021	33.71  33.71	0.00	Paid	Y 05/14/2021
20210422 47079	WE ENERGIES 0700126680-000017 Holz Elec 620-8010-821100	04/22/2021 mschneider 0700126680-000017 Holz Elec	05/14/2021	16,110.46  16,110.46	0.00	Paid	Y 05/14/2021
20210422 47080	WE ENERGIES 0700126680-000018 Parks 100-5521-522200	04/22/2021 mschneider 0700126680-000018 Parks	05/14/2021	40.07  40.07	0.00	Paid	Y 05/14/2021
20210422 47081	WE ENERGIES 0700126680-000019 Atkinson Pump 620-8020-821000	04/22/2021 mschneider 0700126680-000019 Atkinson Pump	05/14/2021	918.96  918.96	0.00	Paid	Y 05/14/2021
20210422 47082	WE ENERGIES 0700126680-000020 Well #6 610-6200-662200	04/22/2021 mschneider 0700126680-000020 Well #6	05/14/2021	1,092.30  1,092.30	0.00	Paid	Y 05/14/2021

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
20210422 47083	WE ENERGIES 0700126680-000021 DPW Gas 100-5323-522400	04/22/2021 mschneider	05/14/2021	397.53	0.00	Paid	Y 05/14/2021
		0700126680-000021 DPW Gas		397.53			
20210422 47084	WE ENERGIES 0700126680-000022 Concession 100-5521-522200	04/22/2021 mschneider	05/14/2021	116.42	0.00	Paid	Y 05/14/2021
		0700126680-000022 Concession Building		116.42			
20210422 47085	WE ENERGIES 0700126680-000023 Well #3 Gas 610-6200-662200	04/22/2021 mschneider	05/14/2021	26.73	0.00	Paid	Y 05/14/2021
		0700126680-000023 Well #3 Gas		26.73			
20210422 47086	WE ENERGIES 0700126680-000024 Parks-200 S 100-5342-522200	04/22/2021 mschneider	05/14/2021	42.48	0.00	Paid	Y 05/14/2021
		0700126680-000024 Parks-200 S Rochester		42.48			
20210422 47087	WE ENERGIES 0700126680-000025 Tower 610-6200-662200	04/22/2021 mschneider	05/14/2021	32.30	0.00	Paid	Y 05/14/2021
		0700126680-000025 Tower		32.30			
20210422 47088	WE ENERGIES 0700126680-000027 Police 100-5211-522200	04/22/2021 mschneider	05/14/2021	2,396.47	0.00	Paid	Y 05/14/2021
		0700126680-000027 Police		2,396.47			
20210422 47089	WE ENERGIES 0700126680-000028 Miniwaukan 100-5521-522200	04/22/2021 mschneider	05/14/2021	40.07	0.00	Paid	Y 05/14/2021
		0700126680-000028 Miniwaukan Pavilion		40.07			
20210422 47090	WE ENERGIES 0700126680-000029 F. Park Sump Pump 100-5521-522200	04/22/2021 mschneider	05/14/2021	34.80	0.00	Paid	Y 05/14/2021
		0700126680-000029 F. Park Sump Pump		34.80			
20210422 47091	WE ENERGIES 0700126680-000030 Andrews St. 100-5521-522200	04/22/2021 mschneider	05/14/2021	103.80	0.00	Paid	Y 05/14/2021
		0700126680-000030 Andrews St.		103.80			
20210422 47092	WE ENERGIES 0700126680-000031 Holz Gas	04/22/2021 mschneider	05/14/2021	388.46	0.00	Paid	Y 05/14/2021

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
	620-8010-821200	0700126680-000031 Holz Gas		388.46			
20210422 47093	WE ENERGIES 0700126680-000032 Well #4 Elec 610-6200-662200	04/22/2021 mschneider	05/14/2021	2,671.35	0.00	Paid	Y 05/14/2021
		0700126680-000032 Well #4 Elec		2,671.35			
20210422 47094	WE ENERGIES 0700126680-000033 Parks 100-5521-522200	04/22/2021 mschneider	05/14/2021	46.13	0.00	Paid	Y 05/14/2021
		0700126680-000033 Parks		46.13			
20210422 47095	WE ENERGIES 0700126680-000034 Street Lights 100-5342-522200	04/22/2021 mschneider	05/14/2021	110.23	0.00	Paid	Y 05/14/2021
		0700126680-000034 Street Lights		110.23			
20210422 47096	WE ENERGIES 0700126680-000036 Flashers 100-5211-522200	04/22/2021 mschneider	05/14/2021	19.54	0.00	Paid	Y 05/14/2021
		0700126680-000036 Flashers		19.54			
20210422 47097	WE ENERGIES 0700126680-000037 Well #4 Gas 610-6200-662200	04/22/2021 mschneider	05/14/2021	144.48	0.00	Paid	Y 05/14/2021
		0700126680-000037 Well #4 Gas		144.48			
20210422 47098	WE ENERGIES 0700126680-000038 Museum 100-5512-522200	04/22/2021 mschneider	05/14/2021	364.83	0.00	Paid	Y 05/14/2021
		0700126680-000038 Museum		364.83			
20210422 47100	WE ENERGIES 0709449777-00001 Library Gas 440-5511-522400	04/22/2021 mschneider	05/14/2021	1,960.51	0.00	Paid	Y 05/14/2021
		0709449777-00001 Library Gas		1,960.51			
20210422 47101	WE ENERGIES 0709449777-00002 Library Elec 440-5511-522200	04/22/2021 mschneider	05/14/2021	4,151.25	0.00	Paid	Y 05/14/2021
		0709449777-00002 Library Elec		4,151.25			
20210422 47102	WE ENERGIES 0712697628-00001 Tower Radio Bldg 100-5211-522200	04/22/2021 mschneider	05/14/2021	41.16	0.00	Paid	Y 05/14/2021
		0712697628-00001 Tower Radio Bldg		41.16			



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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
20210422 47103	WE ENERGIES 0712697628-00002 Mukw Dam 100-5254-522200	04/22/2021 mschneider	05/14/2021	45.62	0.00	Paid	Y 05/14/2021
		0712697628-00002 Mukw Dam		45.62			
20210422 47104	WE ENERGIES 0712697628-00003 PD Tower meter 100-5211-522200	04/22/2021 mschneider	05/14/2021	74.58	0.00	Paid	Y 05/14/2021
		0712697628-00003 PD Tower meter #05662		74.58			
20210422 47105	WE ENERGIES 0712697628-00004 1224 Riverton 620-8020-821000	04/22/2021 mschneider	05/14/2021	151.63	0.00	Paid	Y 05/14/2021
		0712697628-00004 1224 Riverton		151.63			
20210422 47106	WE ENERGIES 0712697628-00006 Well #7 610-6200-662200	04/22/2021 mschneider	05/14/2021	2,913.91	0.00	Paid	Y 05/14/2021
		0712697628-00006 Well #7		2,913.91			
20210422 47107	WE ENERGIES 0712697628-00007 School Crossing 100-5342-522200	04/22/2021 mschneider	05/14/2021	29.07	0.00	Paid	Y 05/14/2021
		0712697628-00007 School Crossing Lights		29.07			

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
# of Invoices:	43	# Due:	0	Totals:	51,418.20	0.00	
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00	
Net of Invoices and Credit Memos:				51,418.20	0.00		

--- TOTALS BY GL DISTRIBUTION ---

100-5160-522200	ELECTRIC	1,779.79	
100-5160-522400	GAS	549.19	
100-5211-522200	ELECTRIC	2,629.92	
100-5254-522200	ELECTRIC	45.62	
100-5323-522200	ELECTRIC	653.17	
100-5323-522400	GAS	397.53	
100-5342-522200	ELECTRIC	7,246.34	
100-5512-522200	ELECTRIC	364.83	
100-5521-522200	ELECTRIC	534.22	
150-5221-522200	ELECTRIC	2,946.67	
440-5511-522200	ELECTRIC	4,151.25	
440-5511-522400	GAS	1,960.51	
610-6200-662200	FUEL OR POWER PURCHASED	9,545.63	
620-8010-821100	WWTP ELECTRIC POWER	16,110.46	
620-8010-821200	NAT GAS/ADMIN BLDG/HEAT EXCH	936.99	
620-8020-821000	PUMPING POWER & FUEL	1,566.08	

--- TOTALS BY FUND ---

100 - GENERAL FUND	14,200.61	0.00
150 - FIRE/AMBULANCE FUND	2,946.67	0.00
440 - LIBRARY FUND	6,111.76	0.00
610 - WATER UTILITY FUND	9,545.63	0.00
620 - SEWER UTILITY FUND	18,613.53	0.00

--- TOTALS BY DEPT/ACTIVITY ---

5160 - VILLAGE HALL	2,328.98	0.00
5211 - POLICE ADMINISTRATION	2,629.92	0.00
5221 - FIRE ADMINISTRATION	2,946.67	0.00
5254 - DAMS	45.62	0.00
5323 - GARAGE	1,050.70	0.00
5342 - STREET LIGHTING	7,246.34	0.00
5511 - LIBRARY SERVICES	6,111.76	0.00
5512 - MUSEUM	364.83	0.00
5521 - PARKS	534.22	0.00
6200 - PUMPING OPERATIONS	9,545.63	0.00
8010 - WWTP-TREATMENT/DISPOSAL/GP	17,047.45	0.00
8020 - LIFT STATIONS/PUMPING EQUIP	1,566.08	0.00

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO  
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/01/2021	GEN	302 (E)	B2E SOLUTIONS	PAYROLL FEES PR 04/02/21	100-5111-539900	23.81
		302 (E)		PAYROLL FEES PR 04/02/21	100-5120-539900	6.80
		302 (E)		PAYROLL FEES PR 04/02/21	100-5141-539900	23.81
		302 (E)		PAYROLL FEES PR 04/02/21	100-5142-539900	6.80
		302 (E)		PAYROLL FEES PR 04/02/21	100-5211-539900	37.42
		302 (E)		PAYROLL FEES PR 04/02/21	100-5212-539900	40.82
		302 (E)		PAYROLL FEES PR 04/02/21	100-5213-521900	6.80
		302 (E)		PAYROLL FEES PR 04/02/21	100-5241-539900	6.80
		302 (E)		PAYROLL FEES PR 04/02/21	100-5300-539900	27.21
		302 (E)		PAYROLL FEES PR 04/02/21	100-5632-539900	3.40
		302 (E)		PAYROLL FEES PR 04/02/21	100-5670-521900	3.40
		302 (E)		PAYROLL FEES PR 04/02/21	150-5221-539900	136.06
		302 (E)		PAYROLL FEES PR 04/02/21	440-5511-539900	71.43
		302 (E)		PAYROLL FEES PR 04/02/21	610-6902-690300	13.61
		302 (E)		PAYROLL FEES PR 04/02/21	620-8300-840000	13.61
						<hr/> 421.78
04/01/2021	GEN	303 (E)	GREAT WEST RETIREMENT SERVICES	RETIREMENT PR 040221	100-0000-215250	600.00
		303 (E)		RETIREMENT PR 040221	150-0000-215250	238.58
		303 (E)		RETIREMENT PR 040221	610-0000-215250	100.00
		303 (E)		RETIREMENT PR 040221	620-0000-215250	100.00
						<hr/> 1,038.58
04/01/2021	GEN	31654	VANTAGEPOINT TRANSFER AGENTS	RETIREMENT PR 04/02/21 ACCT 305155	100-0000-215250	3,158.28
		31654		RETIREMENT PR 04/02/21 ACCT 305155	150-0000-215250	1.48
		31654		RETIREMENT PR 04/02/21 ACCT 305155	440-0000-215250	401.13
		31654		RETIREMENT PR 04/02/21 ACCT 305155	610-0000-215250	250.05
		31654		RETIREMENT PR 04/02/21 ACCT 305155	620-0000-215250	250.10
						<hr/> 4,061.04
TOTAL - ALL FUNDS				TOTAL OF 3 CHECKS		5,521.40

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO  
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/07/2021	GEN	304 (E)	INVOICE CLOUD	INVOICE CLOUD MONTHLY FEES - MARCH	100-5142-539900	9.38
		304 (E)		INVOICE CLOUD MONTHLY FEES - MARCH	100-5241-539900	93.75
		304 (E)		INVOICE CLOUD MONTHLY FEES - MARCH	410-5363-539900	50.11
		304 (E)		INVOICE CLOUD MONTHLY FEES - MARCH	610-6902-690300	50.10
		304 (E)		INVOICE CLOUD MONTHLY FEES - MARCH	620-8300-840000	50.11
						<hr/> 253.45
04/07/2021	GEN	31655	MUKWONAGO AREA SCHOOLS	APRIL 2020 LOTTERY CREDIT	720-0000-246000	124,491.40
04/07/2021	GEN	31656	PHANTOM LAKES MGMT DISTRICT	APRIL 2020 LOTTERY CREDIT	720-0000-245000	804.56
04/07/2021	GEN	31657	WAUKESHA CTY TREASURER	WAUKESHA COUTY LOTTERY CREDIT APRIL 2020	720-0000-243100	27,454.93
04/07/2021	GEN	31658	WCTC	APRIL 2020 LOTTERY CREDIT	720-0000-246100	5,469.81
04/07/2021	GEN	31659	M2M GROUP INC	TAX CLAIM MUKV1970999022 / 730	100-5191-560100	11,195.57
04/07/2021	GEN	31660	NOAH RIEMER PRODUCTIONS LLC	EBENEZER DUKE PROGRAM	440-5511-533100	150.00
04/07/2021	GEN	31661	WILLIAM A DEMEYER	EBIX PATIENT REFUND	150-0000-130450	125.00
						<hr/> TOTAL - ALL FUNDS
						TOTAL OF 8 CHECKS
						169,944.72

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/12/2021	GEN	31739	BIELINSKI HOMES	COURT FINE/FEES	100-0000-233000	719.25
04/12/2021	GEN	31740	JAYLA STOKES	COURT REFUND FROM FEB 2021	100-0000-233000	149.20
04/12/2021	GEN	31741	JEFFREY J SMITH	COURT FINES/FEES	100-0000-233000	68.00
04/12/2021	GEN	31742	JUSTIN NICHOLSON	COURT REFUND	100-0000-233000	98.80
04/12/2021	GEN	31743	ROTE OIL	COURT FINES/FEES	100-0000-233000	1,037.00
04/12/2021	GEN	31744	TREASURER STATE OF WI	COURT FINES/FEES MARCH 2021	100-0000-242400	8,010.26
04/12/2021	GEN	31745	TREASURER WAUKESHA COUNTY	COURT FINES/FEES	100-0000-243240	2,600.00
04/12/2021	GEN	31746	WALWORTH CTY TREASURER	COURT FINES/FEES	100-0000-243250	30.00
			TOTAL - ALL FUNDS	TOTAL OF 8 CHECKS		12,712.51

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO  
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/13/2021	GEN	31764	EAST TROY SCHOOL DISTRICT	LOTTERY CREDIT APRIL 2021	720-0000-246200	1,388.61
04/13/2021	GEN	31765	GATEWAY TECHNICAL COLLEGE	LOTTERY CREDIT APRIL 2021	720-0000-246300	135.38
04/13/2021	GEN	31766	MUKWONAGO AREA SCHOOLS	LOTTERY CREDIT WALWORTH COUNTY	720-0000-246000	82.10
			TOTAL - ALL FUNDS	TOTAL OF 3 CHECKS		1,606.09

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/15/2021	GEN	305 (E)	B2E SOLUTIONS	PAYROLL FEES PR 04/16/21	100-5111-539900	35.06
		305 (E)		PAYROLL FEES PR 04/16/21	100-5120-539900	10.02
		305 (E)		PAYROLL FEES PR 04/16/21	100-5141-539900	25.04
		305 (E)		PAYROLL FEES PR 04/16/21	100-5142-539900	10.02
		305 (E)		PAYROLL FEES PR 04/16/21	100-5144-521900	66.08
		305 (E)		PAYROLL FEES PR 04/16/21	100-5211-539900	55.10
		305 (E)		PAYROLL FEES PR 04/16/21	100-5212-539900	72.11
		305 (E)		PAYROLL FEES PR 04/16/21	100-5213-521900	10.02
		305 (E)		PAYROLL FEES PR 04/16/21	100-5241-539900	10.02
		305 (E)		PAYROLL FEES PR 04/16/21	100-5300-539900	38.57
		305 (E)		PAYROLL FEES PR 04/16/21	100-5632-539900	5.01
		305 (E)		PAYROLL FEES PR 04/16/21	100-5670-521900	5.01
		305 (E)		PAYROLL FEES PR 04/16/21	150-5221-539900	217.85
		305 (E)		PAYROLL FEES PR 04/16/21	440-5511-539900	108.70
		305 (E)		PAYROLL FEES PR 04/16/21	610-6902-690300	18.54
		305 (E)		PAYROLL FEES PR 04/16/21	620-8300-840000	18.54
						<hr/> 705.69
04/15/2021	GEN	306 (E)	GREAT WEST RETIREMENT SERVICES	RETIREMENT PR 041621	100-0000-215250	600.00
		306 (E)		RETIREMENT PR 041621	150-0000-215250	261.37
		306 (E)		RETIREMENT PR 041621	610-0000-215250	100.00
		306 (E)		RETIREMENT PR 041621	620-0000-215250	100.00
						<hr/> 1,061.37
04/15/2021	GEN	31767	MINNESOTA LIFE INSURANCE	MAY 2021 PREM LIFE INSURANCE	100-0000-215301	1,262.58
		31767		MAY 2021 PREM LIFE INSURANCE	150-0000-215301	109.51
		31767		MAY 2021 PREM LIFE INSURANCE	440-0000-215301	196.75
		31767		MAY 2021 PREM LIFE INSURANCE	610-0000-215301	75.92
		31767		MAY 2021 PREM LIFE INSURANCE	620-0000-215301	65.38
						<hr/> 1,710.14
04/15/2021	GEN	31768	VANTAGEPOINT TRANSFER AGENTS	RETIREMENT PR 04/16/21 ACCT 305155	100-0000-215250	2,958.24
		31768		RETIREMENT PR 04/16/21 ACCT 305155	150-0000-215250	9.70
		31768		RETIREMENT PR 04/16/21 ACCT 305155	440-0000-215250	400.55
		31768		RETIREMENT PR 04/16/21 ACCT 305155	610-0000-215250	246.43
		31768		RETIREMENT PR 04/16/21 ACCT 305155	620-0000-215250	253.7

Check Date	Bank	Check #	Payee	Description	GL #	Amount
						<hr/>
						3,868.64
TOTAL - ALL FUNDS				TOTAL OF 4 CHECKS		7,345.84



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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/20/2021	GEN	31769	VELOCITY LLC	IT SERVICES JANUARY 7 - MARCH 10	100-5111-539900	535.41
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5120-522500	161.97
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5141-522500	368.94
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5142-522500	377.97
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5211-522500	129.00
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5241-522500	604.45
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5323-522500	535.39
		31769		IT SERVICES JANUARY 7 - MARCH 10	100-5632-522500	439.48
		31769		IT SERVICES JANUARY 7 - MARCH 10	610-6920-692100	229.45
		31769		IT SERVICES JANUARY 7 - MARCH 10	620-8400-851000	305.94
						<hr/> 3,688.00
			TOTAL - ALL FUNDS	TOTAL OF 1 CHECKS		3,688.00

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/21/2021	GEN	307 (E)	DELTA DENTAL OF WISCONSIN	MAY 2021 VISION PREMIUMS	100-0000-215303	62.04
		307 (E)		MAY 2021 DENTAL PREMIUMS	100-0000-215304	270.70
		307 (E)		MAY 2021 VISION PREMIUMS	440-0000-215303	24.32
		307 (E)		MAY 2021 DENTAL PREMIUMS	440-0000-215304	26.10
						<hr/> 383.16
04/21/2021	GEN	308 (E)	EMPLOYEE TRUST FUNDS	MAY 2021 PREM HEALTH INSURANCE	100-0000-215300	54,630.36
		308 (E)		MAY 2021 PREM HEALTH INSURANCE	150-0000-215300	7,090.02
		308 (E)		MAY 2021 PREM HEALTH INSURANCE	440-0000-215300	7,131.86
		308 (E)		MAY 2021 PREM HEALTH INSURANCE	610-0000-215300	3,109.62
		308 (E)		MAY 2021 PREM HEALTH INSURANCE	620-0000-215300	4,891.54
						<hr/> 76,853.40
04/21/2021	GEN	309 (E)	WI DEPT OF REVENUE QTRLY TAX	WI DEPT OF REVENUE QTRLY TAX	100-5521-539900	110.23
		309 (E)		WI DEPT OF REVENUE QTRLY TAX	440-5511-539900	99.20
						<hr/> 209.43
04/21/2021	GEN	310 (E)	WI RETIREMENT SYSTEM	WISCONSIN RETIREMENT CONTRIBUTIONS - MARCH 2021	100-0000-215200	31,386.20
		310 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	150-0000-215200	10,000.71
		310 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	440-0000-215200	4,291.92
		310 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	610-0000-215200	1,792.44
		310 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	620-0000-215200	2,171.36
						<hr/> 49,642.63
04/21/2021	GEN	31770	AFLAC	ACCOUNT# V1553 APRIL PREMS	100-0000-215302	256.81
		31770		ACCOUNT# V1553 APRIL PREMS	150-0000-215302	316.68
		31770		ACCOUNT# V1553 APRIL PREMS	610-0000-215302	50.76
		31770		ACCOUNT# V1553 APRIL PREMS	620-0000-215302	50.74
						<hr/> 674.99
04/21/2021	GEN	31771	EIASEW		100-5241-533500	380.00
04/21/2021	GEN	31772	SECURIAN FINANCIAL GROUP INC	APRIL 2021 ACCIDENT INS	100-0000-215305	21.13
		31772		APRIL 2021 ACCIDENT INS	150-0000-215305	0.15
						<hr/> 21.2

Check Date	Bank	Check #	Payee	Description	GL #	Amount
			TOTAL - ALL FUNDS	TOTAL OF 7 CHECKS		128,164.89

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO  
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/28/2021	GEN	313 (E)	B2E SOLUTIONS	PAYROLL FEES PR 04/30/21	100-5111-539900	23.72
		313 (E)		PAYROLL FEES PR 04/30/21	100-5120-539900	6.78
		313 (E)		PAYROLL FEES PR 04/30/21	100-5141-539900	20.33
		313 (E)		PAYROLL FEES PR 04/30/21	100-5142-539900	6.78
		313 (E)		PAYROLL FEES PR 04/30/21	100-5211-539900	37.28
		313 (E)		PAYROLL FEES PR 04/30/21	100-5212-539900	40.66
		313 (E)		PAYROLL FEES PR 04/30/21	100-5213-521900	6.78
		313 (E)		PAYROLL FEES PR 04/30/21	100-5241-539900	6.78
		313 (E)		PAYROLL FEES PR 04/30/21	100-5300-539900	27.11
		313 (E)		PAYROLL FEES PR 04/30/21	100-5632-539900	3.39
		313 (E)		PAYROLL FEES PR 04/30/21	100-5670-521900	3.39
		313 (E)		PAYROLL FEES PR 04/30/21	150-5221-539900	142.33
		313 (E)		PAYROLL FEES PR 04/30/21	440-5511-539900	71.16
		313 (E)		PAYROLL FEES PR 04/30/21	610-6902-690300	20.33
		313 (E)		PAYROLL FEES PR 04/30/21	620-8300-840000	13.55
						<hr/> 430.37
04/28/2021	GEN	314 (E)	GREAT WEST RETIREMENT SERVICES	RETIREMENT PR 043021	100-0000-215250	600.00
		314 (E)		RETIREMENT PR 043021	150-0000-215250	238.58
		314 (E)		RETIREMENT PR 043021	610-0000-215250	100.00
		314 (E)		RETIREMENT PR 043021	620-0000-215250	100.00
						<hr/> 1,038.58
04/28/2021	GEN	31849	MUKWONAGO PROFESSIONAL	APRIL 2021 FIRE UNION DUES	150-0000-215500	337.50
04/28/2021	GEN	31850	MUKWONAGO PROFESSIONAL POLICE	APRIL 2021 POLICE UNION DUES	100-0000-215500	825.00
04/28/2021	GEN	31851	VANTAGEPOINT TRANSFER AGENTS	RETIREMENT PR 04/30/21	ACCT 305155 100-0000-215250	2,957.38
		31851		RETIREMENT PR 04/30/21	ACCT 305155 150-0000-215250	4.48
		31851		RETIREMENT PR 04/30/21	ACCT 305155 410-0000-215250	2.80
		31851		RETIREMENT PR 04/30/21	ACCT 305155 440-0000-215250	400.55
		31851		RETIREMENT PR 04/30/21	ACCT 305155 610-0000-215250	360.94
		31851		RETIREMENT PR 04/30/21	ACCT 305155 620-0000-215250	232.36
						<hr/> 3,958.51

Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/28/2021	GEN	31852	VILLAGE OF MUKWONAGO MRA	APRIL 2021 FSA	100-0000-215350	3,234.85
		31852		APRIL 2021 FSA	150-0000-215350	490.44
		31852		APRIL 2021 FSA	610-0000-215350	37.50
		31852		APRIL 2021 FSA	620-0000-215350	37.50
						<hr/> 3,800.29
TOTAL - ALL FUNDS				TOTAL OF 6 CHECKS		10,390.25

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

# VILLAGE OF MUKWONAGO

## PARK FACILITIES RENTAL APPLICATION

### FIELD PARK

7/9-10

Date Submitted: \_\_\_\_\_

**Complete, accurate and specific information must be entered. Please Print.**

### GUIDELINES

This form must be completely in its entirety and submitted to the Village of Mukwonago Clerk's Office, 440 River Crest Court, Mukwonago, WI, 53149, for approval. A signed copy authorizing the use of the Park Facility will be returned to the requesting party. Fees and the park form must be on file **two (2) months** prior to the event. "Residents" include Village of Mukwonago residents.

Mail completed applications to: Village Clerk-Treasurer's Office  
ATTN: Field Park Usage  
PO Box 206  
Mukwonago, WI 53149  
Email to: [sbraatzjr@villageofmukwonago.com](mailto:sbraatzjr@villageofmukwonago.com)

### FEES (check all that apply)

<input checked="" type="checkbox"/> Field Park Pavilion A Resident (Main Pavilion) – 1-49 people	7/9/21 Friday	\$100.00 per day	\$ 100.00
<input type="checkbox"/> Field Park Pavilion A Resident (Main Pavilion) – 50-100 people		\$150.00 per day	\$ _____
<input type="checkbox"/> Field Park Pavilion A Resident (Main Pavilion) – more than 100 people		\$175.00 per day	\$ _____
<input type="checkbox"/> Field Park Pavilion B Resident (Ball Diamond Pavilion)		\$75.00 per day	\$ _____
<input type="checkbox"/> Field Park Pavilion C Resident (Playground Pavilion)		\$75.00 per day	\$ _____
<input type="checkbox"/> Field Park Baseball Field Reservation (for non-athletic organizations)		\$25.00 per day	\$ _____
<input type="checkbox"/> Field Park Baseball Field Lights		\$30.00 per day	\$ _____
<input checked="" type="checkbox"/> Entire Park Resident	7/10/21 Saturday	\$200.00 per day	\$ 200.00
<input type="checkbox"/> Electricity and Coordination (Pavilions B or C)	7/9 & 7/10	\$10.00 per day	\$ 20.00
<input type="checkbox"/> Non-Resident Fee		Additional \$25.00 per day	\$ _____
<b>Fee Total</b>			\$ 320.00

### DEPOSIT (check all that apply)

<input checked="" type="checkbox"/> Field Park Pavilion A and/or entire park Deposit	\$200.00	\$ 200.00
<input type="checkbox"/> Field Park Pavilion B and C Deposit	\$100.00	\$ _____
<input checked="" type="checkbox"/> Key Deposit	\$10.00	\$ 10.00
<b>Deposit Total</b>		\$ 210.00

## APPLICANT INFORMATION

Name: Carol Mournich Gedde  
Address: 310 Shore Dr. City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 262 363 2124 Fax: \_\_\_\_\_  
E-Mail: croatian993@gmail.com or carolgedde@gmail.com

## ORGANIZATION INFORMATION

Name of Organization: CFU John Mournich Lodge 993  
Mailing Address: 310 Shore Drive City: Mukwonago State: WI Zip: 53149  
Phone Number: 262-363 2124 Is the organization a 501(c)3 organization?: ☐ YES ☒ NO  
Website Address: cfulodge993.org

## RENTAL INFORMATION

Date(s) of the Event: July 10<sup>th</sup> 2021 (also will rent pavillion Friday July 9<sup>th</sup> for setup)

Estimated # of Participants: 300 at a time

NOTE: (If there are 150 people or more, a special event permit will be required under separate application):

Event Start Time: 11:00 a.m. Event End Time: 8:00 p.m.

A. Generally describe your event and its purpose.

Mukwonago Croatian Day Fest - a one day festival celebrating Croatian Culture with Croatian food for sale; Bar-selling soda, beer & "Mikes". Croatian Music from noon till 8:00. Car show at noon. Free admission.

B. Will you be serving alcohol? **If yes, temporary Class B beer and/or wine (picnic) and operator (bartender) licenses may be necessary under separate application.** ☒ YES ☐ NO

C. Does your event involve amplified music?

If yes, will the amplified music be a: ☒ Band ☐ DJ ☐ Other

Hours of amplified music: Noon - 8:00

D. If you will be using the baseball field lights, what are the times needed?

E. Will you be erecting any tents, canopies, or other temporary structure(s)? **If yes, please provide a plan for their proposed locations. The Fire Department and Building Inspection Department will need to inspect these structures prior to the start of your event. There may be a separate fee for tent inspection.** ☐ YES ☒ NO

F. Please describe your dumpster/clean-up plan.

We will rent a dumpster from "Johns" along with extra recycling containers from them on the village. We arrive at 7:00 a.m. Sunday for cleanup.

G. What other assistance do you foresee needing from the Village (personnel, materials, equipment, etc.)?

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## INSURANCE REQUIREMENTS

The applicant will provide an indemnity bond if the event has 50-149 people per day. The applicant will obtain liability insurance for an event that includes alcohol or has 150 or more people per day. Proof of this insurance, with coverage no less than \$1,000,000 which names and endorses the Village, its officers, agents, employees, and contractors as an additional insured party is due no later than 20 days before the event.

Are you able to provide these insurance documents, if required?: ☒ YES ☐ NO

Bisset Monkey Agency

## DEPOSIT REQUIREMENTS

The applicant is required to submit to the Village Clerk-Treasurer's Office a cleaning/damage deposit (amount listed above) each scheduled day of the event (or portion thereof) two months prior to the starting date of the event. That deposit shall be refunded to the applicant, if, upon inspection, all is in order, or a prorated portion thereof as may be necessary to reimburse the Village for loss or cleaning costs. The Village reserves the right to retain the entire deposit if cleanup is not completed satisfactorily in the time frame as specified in the permit. Unless otherwise stated in the permit, the applicant shall be fully responsible for all necessary cleanup associated with the permitted event to be completed within 12 hours after the conclusion of the event. (This deposit is separate from any deposit required for rental of Village parks).

## TERMINATION OF AN EVENT

The Village reserves the right to shut down an event that is in progress if it is deemed to be a public safety hazard by the Police Department, Fire Department, and/or there is a violation of Village Ordinances, State Statutes or the terms of the applicant's permit. The Village Administrator and/or his/her designee may revoke an approved park facilities use permit if the applicant fails to comply in good faith with the provisions of the permit prior to the event date.

## CERTIFICATION

By signing this form, the applicant certifies authorization to act on behalf of their organization, and hereby agrees to hold the Village, its officers, agents, employees, and contractors harmless against all claims, liability, loss, damage or expense (including but not limited to actual attorney fees) incurred by the Village for any damage or injury to person or property caused by or resulting directly or indirectly from the activities for which the permit is granted. Any change to coverage requires Village approval.

Carol Mournich Gedde  
Signature - Applicant

1/6/21  
Date

Carol Mournich Gedde  
Print Name

FOR OFFICE USE ONLY			
Date Fees/Deposit Paid	Receipt #	Date Deposit Returned	Permit #
Key # Issued	Date Key Issued	Key # Returned	Date Key Issued
Application forwarded to: <input type="checkbox"/> Administrator <input type="checkbox"/> Building Inspection <input type="checkbox"/> Fire Department <input type="checkbox"/> Police Department <input type="checkbox"/> Public Works Department			



# Mukwonago Croatian Day Fest

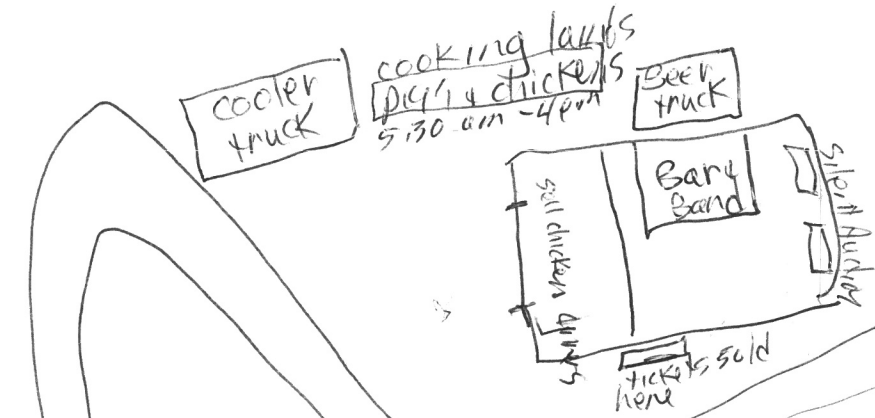
7/10/21

Field Park

Hwy 83

Hwy NN

Roberts Drive



snack  
stand  
sell sandwiches  
& soda

Bath  
room

Sell  
diamond

chalk  
art

## **Special Event Permit Application : Entry # 1263**

### **Date Submitted**

03/14/2021

### **Organization Information**

#### **Organization Name**

John Movrich Croatian Lodge 993

#### **Address**

310 Shore Drive  
Mukwonago, Wisconsin 53149  
United States  
[Map It](#)

#### **Phone**

(262) 363-2124

#### **Is the organization a 501(c)3 organization?**

No

#### **Event Contact Person**

Carol Gedde

#### **Address**

310 Shore Drive  
Mukwonago, Wisconsin 53149  
United States  
[Map It](#)

#### **Home Phone**

(262) 363-2124

#### **Email**

[carolgedde@gmail.com](mailto:carolgedde@gmail.com)

### **Event Information**

#### **Name of the Event**

Mukwonago Croatian Day Fest

#### **Event Start Date**

07/10/2021

#### **Event End Date**

**Special Event Permit Application : Entry # 1263**

07/10/2021

**Start Time**

11:00 am

**End Time**

08:00 pm

**Locaiton of Event**

Field Park

**Will your event take place in a residential neighborhood?**

No

**Generally describe your event and it's purpose.**

One day event to celebrate Croatian culture with Croatian music, and food. Free admission. Food and beverages (including soda, beer and wine coolers) are available for purchase. We will also have a raffle and a silent auction.

**Based on the class definitions found in the manual, what class is your event?**

Class I

**Estimated Number of Participants**

25

**Estimated Number of Spectators**

250

**Estimated Number of Vendors**

0

**Is there an outdoor bar that will serve alcohol?**

No

**Please list the number of Village of Mukwonago licensed bartenders that will be on site:**

1

**Will you be selling/serving food?**

Yes

**Will your event need electricity?**

Yes

**Will you be setting up any lighting?**

**Special Event Permit Application : Entry # 1263**

No

**Will your event require any fencing?**

No

**Does your event involve fireworks?**

No

**Does your event involve amplified music?**

Yes

**If yes, will the amplified music be a:**

Band

**Start Time**

12:00 pm

**End Time**

08:00 pm

**Please list the number of security staff you will be providing for the event:**

0

**Will you need barricades provided by the Village for your event?**

No

**Will you be erecting any tents, canopies, or other temporary structure(s)?**

No

**Will you be providing portable restrooms and wash stations?**

No

**Will you provide parking for your participants?**

No

**Will you provide dumpster/clean-up services?**

Yes

**What other assistance do you foresee needing from the Village (personnel, materials, equipment, etc.)?**

none

**Have you reviewed and do you have a copy of the Village of Mukwonago Special Events Manual and the Village of Mukwonago Ordinance?**

## Special Event Permit Application : Entry # 1263

Yes

### Insurance Requirements

Are you able to provide these insurance documents, if required?

Yes

### Procedural Checklist for Special Event Permit Review and Approval

Completed application form including the procedural checklist.

Application fee calculated?


Plan of operation/proposal.

Overview of the site to be used for the event (layout of the event site).

Any additional information as determined by Village staff.

### Certification

#### Signature - Applicant



#### Name

Carol Gedde

#### Title

Secretary Treasure

#### Date

03/14/2021

#### Signature - Applicant



#### Name

Carol Gedde

#### Title

Secretary Treasure

## Special Event Permit Application : Entry # 1263

### Date

03/14/2021

### Order

Product	Qty	Unit Price	Price
Class I Event (Includes alcohol and/or amplified music)	1	\$20.00	\$20.00
Security Deposit	1	\$200.00	\$200.00
Temporary Class B (Picnic) Beer and/or Wine License	1	\$10.00	\$10.00
			<b>Total \$230.00</b>

### Notes



#### Admin Notification (ID: 5af9b71335d07)

added 21 hours ago

WordPress successfully passed the notification email to the sending server.



#### Applicant (ID: 5b4bb4d1a43e7)

added 21 hours ago

WordPress successfully passed the notification email to the sending server.



#### Parks (ID: 5b85868834fbf)

added 21 hours ago

WordPress successfully passed the notification email to the sending server.

## Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 10.00

Application Date: 3/15/21

☐ Town ☒ Village ☐ City of Mukwonago

County of Waukesha

The named organization applies for: (check appropriate box(es).)

- ☒ A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.  
☐ A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning July 10, 21 and ending July 10<sup>th</sup>, 2021 and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

### 1. Organization (check appropriate box) →

- ☐ Bona fide Club ☐ Church ☒ Lodge/Society  
☐ Veteran's Organization ☐ Fair Association or Agricultural Society  
☐ Chamber of Commerce or similar Civic or Trade Organization organized under ch. 181, Wis. Stats.

- (a) Name John Morrish Creation Lodge 993  
(b) Address 310 Shore Dr Mukwonago WI 53149  
(Street) ☐ Town ☒ Village ☐ City  
(c) Date organized October 1958  
(d) If corporation, give date of incorporation \_\_\_\_\_  
(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box: ☐  
(f) Names and addresses of all officers:  
President Annben King 6130 Edgerton Greenfield WI 53220  
Vice President David Krejcarek - 534 W 27685 Beavertrail Mukwonago WI 53149  
Secretary Carol Morrish Gedde 310 Shore Dr Mukwonago WI 53149  
Treasurer Carol Morrish Gedde 310 Shore Dr Mukwonago WI 53149  
(g) Name and address of manager or person in charge of affair:  
Carol Morrish Gedde 310 Shore Dr. Mukwonago WI 53149

### 2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

- (a) Street number Field Park - 933 N. Rochester St  
(b) Lot \_\_\_\_\_ Block \_\_\_\_\_  
(c) Do premises occupy all or part of building? Part  
(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: the middle part has the bar. selling in only this location

### 3. Name of Event

- (a) List name of the event 61st Annual Mukwonago Creation Day Fest  
(b) Dates of event July 10, 2021

### DECLARATION

An officer of the organization, declares under penalties of law that the information provided in this application is true and correct to the best of his/her knowledge and belief. Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

Officer Carol Morrish Gedde  
(Signature / Date)

John Morrish Creation Lodge 993  
(Name of Organization)

Date Filed with Clerk 3-23-21 52816

Date Reported to Council or Board \_\_\_\_\_

Date Granted by Council \_\_\_\_\_

License No. \_\_\_\_\_

# Ben Padilla's Eagle Project





## Who am I?



Hello, I'm a 15yr old Boy Scout. I'm currently on Life Scout and I'm closing in on my Eagle. All my merits badges are done that are required for Eagle rank, but the last thing I have to do is my Eagle project.

## Why am I going for Eagle rank

There are many reason why I'am going for Eagle. I have been with Scouts since the 2nd grade. I have been helping out my Troop in Eagle as long as I can remember. I'm so close to finishing this journey of Boy Scouts. Lastly, there are so many life skills that have happened along the way and have helped show what it takes to get a major life goal done.

## What my project is



After lots of time and thinking of what I should do for my project. I thought about it and what would help out the city of Mukwonago best. I used to play baseball at Field Park and I always had a struggle in the dugout. So I decided to add a baseball helmet and bat rack in the two dugouts.

## What would it benefit

After me and my troop install my Eagle project, there will be lots of things that would help people out. With the help of this, it will make both the away and home teams happy. They will have a place to put there baseball helmets and bat and any of their gear. Even when people just want to go to the baseball field and have a nice spot to put there belongs.

## Materials and life expectancy of it

After doing my research, below are the types of stuff we need for this project:

- 3/4 PVC - grey or black
- Roughly 4 sheets per unit
- Hardware

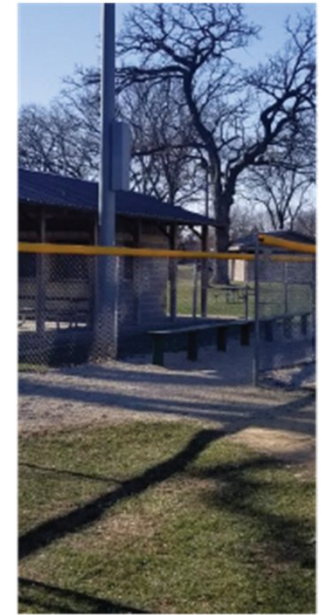
Each sheet is \$100, and it may take 8 sheets to make. Even with the harsh weather of wisconsin, the material can last minimally 20 years. So it will help out lots of people.

Some examples of  
the project that i'm  
doing





# Location of project Field Park



Thank You







## Agenda Item Cover Report

<b>Date:</b> May 5, 2021	<b>Committee/Board:</b> Personnel Committee
<b>Submitted by:</b> Robert J Harley	<b>Department:</b> Building Inspections
<b>Date of Committee Action:</b>	<b>Date of Village Board Action:</b>

**Subject:**

### Tim Rutenbeck pay adjustment of \$5,000 annually

**Executive Summary:**

Tim Rutenbeck has received all of his Commercial credentials as of April 2021. Tim now holds credentials for Commercial Building, HVAC, Electrical, Plumbing and Residential UDC Construction, HVAC, Electrical, Plumbing. With this accomplishment, Time becomes one of around 50 inspectors in the state of Wisconsin that hold all of these credentials.

With all the hard work and dedication that Tim has shown to improve his level of knowledge and experience for the Village of Mukwonago, I feel that Tim deserves the recognition of his accomplishments through his annual pay.

**Fiscal Impact:**

\$5,000 plus additional benefits.

**Executive Recommendation/Action:**

Recommend approval of additional \$5,000 to base salary.

☐ Attachments Included

## CHANGE OF STATUS

Effective Date of Change: 23-Apr-21

Employee Name: Tim Rutembeck

Title: Building Code Official

Department: Building Inspections

Current Rate of Pay: \$59,001.47

New Rate of Pay: \$64,001.47 % Change

### REASON FOR CHANGE

**Merit Increase:	<input checked="" type="checkbox"/>	Hired:	
Length of Service Increase:	<input type="checkbox"/>	Re-hired:	
Re-evaluation of Existing Job:	<input type="checkbox"/>	Promotion:	
Resignation:	<input type="checkbox"/>	Demotion:	
Retirement:	<input type="checkbox"/>	Transfer:	
Layoff:	<input type="checkbox"/>	Cost of Living Increase:	
Discharge:	<input type="checkbox"/>	(Based on approved Wage Resolution)	

Leave of Absence Request Until:

\*\*Please include detailed reason for Pay Changes that vary from the standard percentage approved in the Annual Budget (Wage Resolution), along with the appropriate approval.


Authorized by:

Signature	Date
Printed Name:	<u>Robert J Harley</u>
Title:	<u>Supervisor of Inspections</u>

*For Office Use Only*

Approved By	Date	Changes made on:	
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## Agenda Item Cover Report

<b>Date:</b> April 28, 2021	<b>Committee/Board:</b> Personnel Committee
<b>Submitted by:</b> Diana Dykstra	<b>Department:</b> Clerk-Treasurer
<b>Date of Committee Action:</b> May 5, 2021	<b>Date of Village Board Action:</b> May 19, 2021

**Subject:**

### Base Wage Increase for Deputy Clerk

**Executive Summary:**

Deputy Clerk Linda Gourdoux received her (CMC) Certified Municipal Clerk designation this year. In the past, there have been adjustments made to base salaries for those types of achievements. Obtaining this designation is no easy task.

I reviewed the salary ranges for Deputy Clerks in Wisconsin through the IIMC and WMCA. The range of salary for our population is between \$46,453 and \$60,000. Linda has a current hourly rate of \$21.86 which equates to \$45,468.80 annually. It appears that former Clerk Braatz had received around \$1.00 an hour for this certification as well. I am recommending the same action.

This would be an additional \$2,080 annually, which would put her salary at about \$47,548.80 which is still the lower end of the range for a Deputy Clerk salary. Note, I have requested this to be effective April 1, 2021 which is the beginning of the month following her certification.

**Fiscal Impact:**

This would be an additional \$2,080 expense annually and will be budgeted in future years. I have reviewed my budget for 2021, and I believe can be absorbed.

**Executive Recommendation/Action:**

Recommend a \$1.00 an hour adjustment to the Deputy Clerk-Treasurer hourly rate effective April 1, 2021.

☐ Attachments Included

## CHANGE OF STATUS

Effective Date of Change: 1-Apr-21

Employee Name: Linda Gourdoux

Title: Deputy Clerk-Treasurer

Department: Administration

Current Rate of Pay: 21.86

New Rate of Pay: 22.86 % Change

### REASON FOR CHANGE

**Merit Increase:	<input checked="" type="checkbox"/>	Hired:	
Length of Service Increase:		Re-hired:	
Re-evaluation of Existing Job:		Promotion:	
Resignation:		Demotion:	
Retirement:		Transfer:	
Layoff:		Cost of Living Increase:	
Discharge:		(Based on approved Wage Resolution)	

Leave of Absence Request Until:

\*\*Please include detailed reason for Pay Changes that vary from the standard percentage approved in the Annual Budget (Wage Resolution), along with the appropriate approval.

adjustment per Village Board approval for achievement of CMC designation

Authorized by: Signature Date

Printed Name:

Title:

*For Office Use Only*

Approved By  Date  Changes made on:



## Agenda Item Cover Report

<b>Date:</b>	<b>Committee/Board:</b>
<b>Submitted by:</b>	<b>Department:</b>
<b>Date of Committee Action:</b>	<b>Date of Village Board Action:</b>

<b>Subject:</b>
<b>Executive Summary:</b>
<b>Fiscal Impact:</b>
<b>Executive Recommendation/Action:</b>

☐ Attachments Included



440 River Crest Court  
Mukwonago WI 53149

## Utility Bill

ACCOUNT NUMBER	7049
DUE DATE	04/20/21
AMOUNT AFTER DUE DATE	\$301.15
PLEASE PAY THIS AMOUNT	<b>\$282.27</b>



\$ \_\_\_\_\_

AMOUNT PAID

Make Checks Payable to: Village of Mukwonago

INFINITY DEVELOPMENT LLC  
6090 S ROSETREE PASS  
NEW BERLIN, WI 53151

Village of Mukwonago  
440 River Crest Court  
Mukwonago WI 53149



440 River Crest Court  
Mukwonago WI 53149  
(262) 363-6420 ext. 2118



## Utility Bill

Bill Date: 03/30/2021

### ANNOUNCEMENTS

Please take notice ...

Ready to Serve Base Fees for water and sewer cover the cost of maintaining the lines. These fees are now listed separately from usage charges.

1ST QTR 2021 WATER UTILITY USAGE IS CALCULATED AT A BLENDED RATE

SEE ENCLOSED NEWS LETTER FOR MORE INFORMATION ON THE BLENDED RATE

### BILLING INFORMATION

Account Number: 7049  
Customer Name: INFINITY DEVELOPMENT LLC  
Service Address: 147 PHANTOM LAKE CT

Billing Period: 02/22/2021 To 03/31/2021  
Billing Days: 38

01/01/0001

### METER INFORMATION

CODE	CURRENT READ	READ TYPE	CURRENT READ DATE	PREVIOUS READ	PREVIOUS READ DATE	USAGE
WAT	22	Auto	03/02/21	0		22

### CURRENT BILL DETAILS

CHARGE TYPE	USAGE PER 1000	AMOUNT
PUBLIC FIRE		\$14.22
SEWER BASE RES		\$14.33
SEWER USAGE RES	22	\$134.42
WATER BASE RES		\$13.92
WATER USAGE RES	22	\$105.38

### METER IDENTIFICATION

CODE	METER ID	CODE	METER ID
WAT	86319088		

CURRENT AMOUNT DUE	\$282.27
PREVIOUS BALANCE	\$0.00
DUE DATE	04/20/21
AMOUNT AFTER DUE DATE	\$301.15
PLEASE PAY THIS AMOUNT	<b>\$282.27</b>



**PLEASE REMEMBER:** Do not send cash through the mail  
Make sure you sign your check  
Include stub portion with your payment

**CREDIT CARDS ARE ACCEPTED**  
There is a convenience fee for this service  
To Pay by Credit Card Online Visit...  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)



**A PAYMENT DROP BOX IS LOCATED IN THE NORTHWEST CORNER OF THE PARKING LOT AT THE MUNICIPAL BUILDING AT:  
440 RIVER CREST COURT**

**OFFICE HOURS ARE MONDAY - THURSDAY, 8:00 AM TO 5:00 PM - FRIDAY, 8:00 AM - 12:00 PM**

**FOR INFORMATION CONCERNING BILLING CALL: 262-363-6420 ext 2118 email: [wmaccts@villageofmukwonago.com](mailto:wmaccts@villageofmukwonago.com)**

#### **RATE INFORMATION**

<b><u>Sewer Rate</u></b>	<b><u>Recycling Rate</u></b>
\$6.11/1000 gallons	\$21.42/quarter
<b><u>Water Rate</u></b>	
First 25,000 gallons	\$4.81/1000 gallons
Next 475,000 gallons	\$4.46/1000 gallons
Over 500,000 gallons	\$2.99/1000 gallons

**Base charges are billed current. The usage is billed in arrears.**

**For the current rates and charges, please visit the Village's website at [www.villageofmukwonago.com](http://www.villageofmukwonago.com) or call (262) 363-6420 ext 2118 during regular office hours.**

**SUMMER SEWER BREAK:** For residential users during the quarter ending September 30, the charge shall be the same as that assessed for the last quarter previous, ending June 30, unless the water consumption for this quarter is less than that for the quarter ending June 30, in which case the charge shall be for the actual water used. For all other users, the charge shall be per 1,000 gallons based on the metered water used. Sec. 86-238 (b) of the Municipal Code

**Note:** Readings are actually taken at the beginning of September, so actual usage is for June, July and August. To receive the Summer Sewer Break, concentrate your summer water usage during those months.

**DELINQUENT BILLS:** Bill is past due after date indicated, after which penalties of 10% for sewer service and 3% for all other charges will be added. Failure to receive a bill does not exempt customer from late payment charges. Service will be shut off if the bill remains unpaid after the due date per the Wisconsin Public Service Commission Administrative Code 185.37. A \$64 reconnection fee will be charged for turning water back on between 7:30 AM and 3:00 PM Monday - Friday. Payments returned for insufficient funds will be charged a \$35.00 NSF fee.

**FIRE HYDRANTS:** Please help us during the winter months by keeping the hydrants in your neighborhood free of snow.

**PLEASE KEEP ACCESS TO THE WATER METER CLEAR AT ALL TIMES FOR READING OR TESTING.**



## Agenda Item Cover Report

<b>Date:</b>	<b>Committee/Board:</b>
<b>Submitted by:</b>	<b>Department:</b>
<b>Date of Committee Action:</b>	<b>Date of Village Board Action:</b>

<b>Subject:</b>
<b>Executive Summary:</b>
<b>Fiscal Impact:</b>
<b>Executive Recommendation/Action:</b>

☐ Attachments Included





VIA EMAIL

## Waukesha County

*Department of Parks and Land Use*

April 28, 2021

Mr. Wayne Castle  
Village of Mukwonago Utilities  
[wcastle@villageofmukwonago.com](mailto:wcastle@villageofmukwonago.com)

### **Re: Request for Village of Mukwonago Adaptive Management Cost-Sharing for a Riverbank Restoration Project at Waukesha County's Fox River Park**

Dear Mr. Castle,

Please consider this request for Adaptive Management cost-sharing from the Village of Mukwonago for a riverbank restoration project along the main stem of the Fox River at Waukesha County's Fox River Park. In accordance with the Intergovernmental Agreement ("IGA") signed between the Village of Mukwonago and Waukesha County for the implementation of the Village's Adaptive Management Plan, I am pleased to present to you a riverbank restoration project proposal that aligns the goals of the Village's Adaptive Management Plan for reducing phosphorus loading to the Fox River upstream of the wastewater treatment plant's point of compliance and the goals of the Waukesha County Park and Open Space Plan.

In 2013, the Southeastern Wisconsin Fox River Commission ("SEWFRC") contracted with GRAEF Engineering to study and map shoreline erosion along the main stem of the Fox River from the Barstow Dam in the City of Waukesha to the Waterford Dam in the Village of Waterford. The total length of the shoreline evaluated was 93 linear miles. The resulting study included a table of 19 priority project areas to reduce the sediment loading to the river based upon observed erosion severity, erosion length, bank slope and erosion rate. Of the 19 identified priority areas, the riverbank at Fox River Park was ranked as the highest priority project. Attached is a copy of Figure #3-14 from the study showing the River Mile 172.1 (where Fox River Park is located) and Table 4 with the Erosion Area Prioritization. Table 4 indicates that the annual erosion rate of this project area is 1.5' per year.

In 2020, Waukesha County received engineering design assistance from WI Department of Agriculture, Trade and Consumer Protection ("DATCP") to prepare a construction plan for restoring the riverbank at Fox River Park. Attached is a map showing the area that DATCP engineering staff designed a solution to address the riverbank erosion. The final restoration plan (attached) includes using rock riprap for a length of 305 feet and establishing a bank slope at 2:1 (H:V).

The estimated construction cost for the riverbank restoration project is \$250 per lineal foot. The project length is 305 feet long, for a total estimated cost of \$76,250.00. I am requesting that the Village of Mukwonago contribute \$25,000.00 toward the project, representing 33% of the expected construction cost. SEWFRC has already committed funding for shoreline stabilization. Waukesha County will pursue additional funding sources for the remaining project costs (approx. \$25,000.00).

#### Land Resources Division

515 W Moreland Blvd., AC 260 • Waukesha, Wisconsin 53188-3878 • Phone: (262) 896-8300 • Fax: (262) 896-8298

Land & Water: [www.waukeshacounty.gov/lwcnews](http://www.waukeshacounty.gov/lwcnews) • Recycling: [www.waukeshacounty.gov/rsw](http://www.waukeshacounty.gov/rsw) • LIS: [www.waukeshacounty.gov/lis](http://www.waukeshacounty.gov/lis)

Upon securing full funding for the project and obtaining necessary approvals, the project will go through the Waukesha County public bidding process, in accordance with our purchasing procedures. Actual project costs will be known following that process. Construction is planned for 2022.

This is a high visibility site with a high potential for success, which will benefit the Village, County and those that have an interest in the Fox River. I look forward to working with you on this and other similar conservation projects in the Fox River basin upstream of your point of compliance to assist with implementing the Village's Adaptive Management Plan. If you should have any questions, feel free to contact me at (262) 896-8307 or [abarrows@waukeshacounty.gov](mailto:abarrows@waukeshacounty.gov).

Sincerely,



Alan Barrows  
Land Resources Manager  
Waukesha County Department of Parks and Land Use

Cc: Mark Van Weelden – Ruekert|Mielke  
Kelsey Wallisch – Waukesha County PLU – LRD  
Dave Brown – Village of Mukwonago Utilities  
Jason Wilke, PLA – Waukesha County PLU – Parks

## David Brown

**From:** Van Weelden, Mark <mvanweelden@ruekert-mielke.com>  
**Sent:** Tuesday, April 27, 2021 3:03 PM  
**To:** David Brown  
**Cc:** Wayne Castle  
**Subject:** Estimated Phosphorus Loss

Dave,

I was able to find some information on this site as it's one of the areas identified in the GRAFT Study. See calculations below:

Eroding Streambank Reach Number	Eroding Bank Length (Feet)	Eroding Bank Height * (Feet)	Area of Eroding Streambank (FT <sup>2</sup> )	Lateral Recession Rate (Estimated) / Year	Estimated Volume (FT <sup>3</sup> ) Eroded Annually	Soil Texture	Approximate Pounds of Soil per FT <sup>3</sup>	Estimated Soil Loss (Tons/Year)
172.1	305.0	4.5	1,373	1.50	2,058.8	Clay Loam	85	87.5
Eroding Streambank Reach Number	Estimated Soil Loss (Tons/Year)	Estimated Soil Loss (Pounds/Year)	Estimated Soil Loss (Kgs/Year)	Phosphorous Concentration (ppm)	Estimated Phosphorous Loss (Kgs/year)	Estimated Phosphorous Loss (Lbs/year)		
172.1	87.5	174993.75	79543	575	45.7	100.6		

So with relatively conservative assumptions for soil texture and phosphorus concentration, we're getting an annual reduction of approximately 100.6 lbs/year. This is a pretty good amount – this is more than we would get from most agricultural projects, but of course we're paying a little more too.

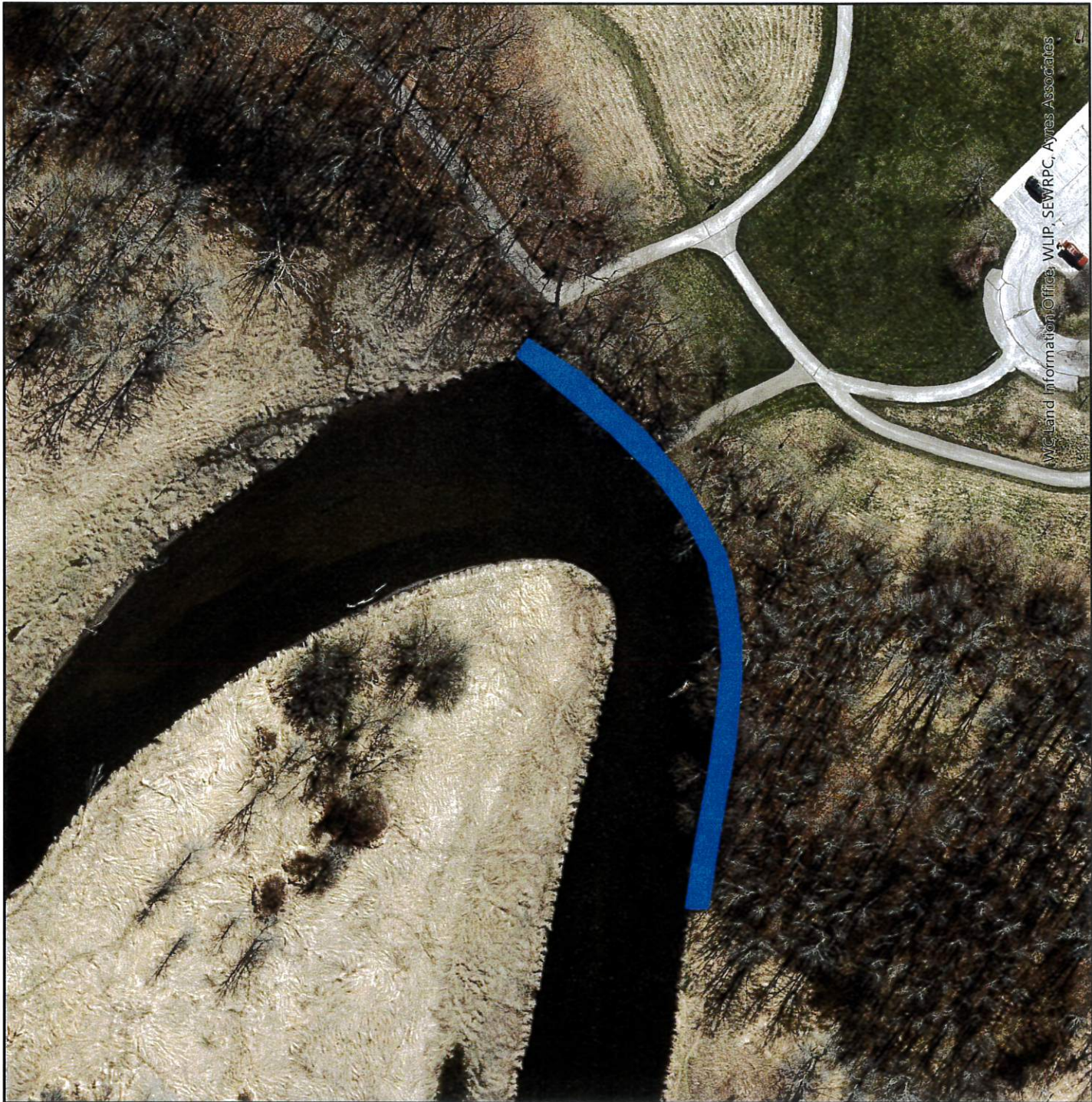
Let me know if you have any questions.

Thanks,

**Mark Van Weelden**  
Project Engineer







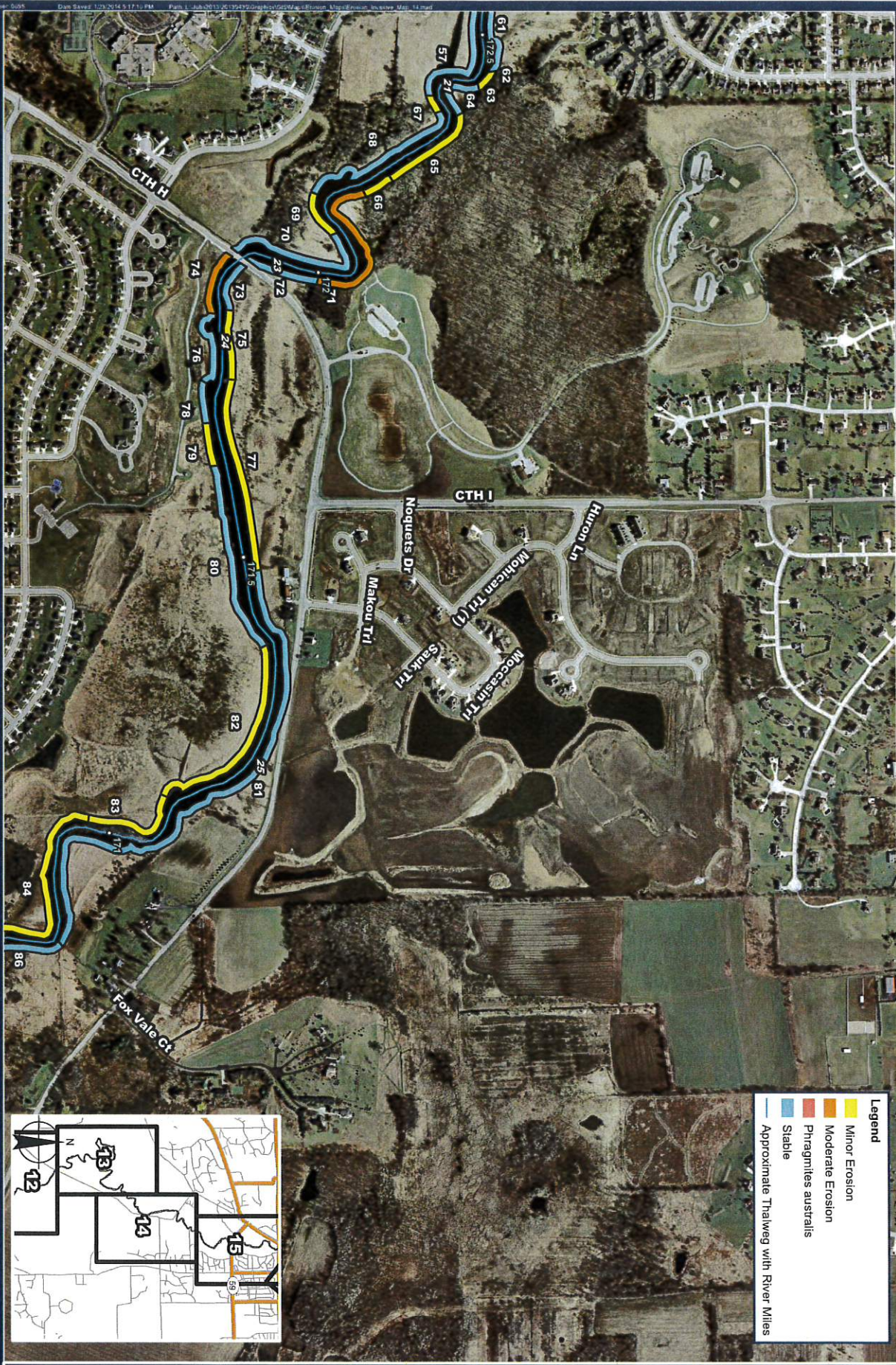
# Fox River Park Shoreline Restoration & Canoe Launch Project Area

Riverbank Restoration Area

- Rock Riprap (305')
- 2:1 Slope
- Refer to DATCP Plan for Details







# EROSION AND TARGETED INVASIVE SPECIES MAP

FOX RIVER  
 SEWFRS RIVER BANK STUDY  
 WAUKESHA & RACINE CO., WISCONSIN

GR&EF

FIGURE #3-14



**Table 4**  
**Erosion Area Prioritization**  
**Southeastern Wisconsin Fox River Commission**

River Mile	Field Description	Length (feet)	Shoreline Height (ft)	Shoreline Area	Erosion Area	Erosion Rate (ft/year)	Geomorphic Position	Adjacent Area	Map Reference	Erosion Weight	Length Weight	Bank Height Weight	Erosion Weight Rate	Total Weight $=(A \times B \times C \times D)^{1/5}$	Priority Ranking
172.1	Moderate Erosion	900	4-5	71	22	1.5	Outside of Curve	Wooded Upland	3-13, 4-14	3	30	5	2.5	33.5	1
168.3	Moderate Erosion	960	4-6	111	NA	No Data	Outside of Curve	Farm Field with Minor Buffer	3-13	3	31	6	1	23.6	2
154.6	Moderate Erosion	390	2-4	250	106A	1	Outside of Curve	Wooded Upland and Abandoned Railway	3-7, 4-7	3	20	4	2	21.8	3
149.1	Moderate Erosion	360	8	313	NA	No Data	Outside of Curve	Wooded Upland	3-5	3	19	8	1	21.3	4
175.75	Moderate Erosion	300	3-5	28	6	0.7	Outside of Curve	River Terrace	3-16, 4-16	3	17	5	1.7	21.0	5
171.8	Moderate Erosion	390	4-7	74	NA	No Data	Outside of Curve	Openlands	3-14	3	20	7	1	20.4	6
149.6	Minor Erosion	810	5-7	306	NA	No Data	Outside of Curve	Farm Field without Buffer	3-5	2	28	7	1	20.0	7
164.8	Moderate Erosion	210	6-8	149	NA	No Data	Outside of Curve	Openlands	3-12	3	14	8	1	18.6	8
169.3	Minor Erosion	860	1-2	98	35	1.5	Outside of Curve	River Terrace	3-13, 4-13	2	29	2	2.5	17.1	9
166.8	Moderate Erosion	750	1-3	129	NA	No Data	Outside of Curve	Wooded Upland	3-12	3	27	3	1	15.7	10
172.1	Minor Erosion	320	>2	69	22A	1.2	Outside of Curve	River Terrace	3-14, 4-14	2	18	3	2.2	15.4	11
151.1	Minor Erosion	540	1-3	290	118	0.5	Straight Section	Farm Field without Buffer	3-6, 4-6	2	23	3	1.5	14.5	12
169.7	Minor Erosion	320	1-2	93	33	1.5	Outside of Curve	River Terrace	3-13, 4-13	2	18	2	2.5	13.4	13
168.7	Minor Erosion	300	1-2	103	38	1.5	Outside of Curve	River Terrace	3-13, 4-13	2	17	2	2.5	13.2	14
167.9	Moderate Erosion	320	Sloping	116	NA	No Data	Outside of Curve	Wooded Upland	3-13	3	18	3	1	12.7	15
156.9	Minor Erosion	690	Sloping	229	NA	No Data	Outside of Curve	Farm Field without Buffer	3-8	2	26	3	1	12.6	16
165.1	Minor Erosion	210	1-2	151	58	1.2	Outside of Curve	River Terrace	3-12, 4-12	2	14	2	2.2	11.3	17
160.5	Moderate Erosion	130	Sloping	195	NA	No Data	Straight Section	Residential Yards	3-10	3	11	3	1	10.1	18
161.1	Stable	390	Sloping	188	NA	No Data	Straight Section	Farm Field without Buffer	3-10	1	20	3	1	7.7	19

A - Erosion weight was based on a numerical value of 4 being assigned to areas of major erosion, 3 to areas of moderate erosion, 2 to areas of minor erosion and 1 to stable areas.

B - Length weight was based on the square root of the length of eroding bank.

C - Height weight was based on the height of the eroding bank. Areas of bank that were sloped were assigned a height of 3 feet.

D - Erosion rate weight was based on the erosion rate estimated from shift in bank location added to 1. Areas without estimated rates were assigned a value of 1.

PRACTICE(S) STREAMBANK STABILIZATION 580  
CONSTRUCTION PLAN

LANDOWNER WAUKESHA COUNTY  
ADDRESS W264S4500 RIVER RD  
LANDOWNER PHONE NO. \_\_\_\_\_ COUNTY WAUKESHA  
TOWNSHIP/CITY OF WAUKESHA T 6 N, R 19 E, Sec. 20  
FIELD OFFICE/JUNEAU AREA OFFICE TELEPHONE NO. 608-301-6413

DIGGERS HOTLINE

Call 3 Work Days  
Before You Dig!

Nationwide  
811

Toll Free  
1-800-242-8511

TDD  
1-800-542-2289

Website  
[www.diggershotline.com](http://www.diggershotline.com)



Not to  
Scale

LOCATION MAP

NOTICE TO LANDOWNERS AND EXCAVATORS

Any representation made by the Wisconsin Department of Agriculture, Trade and Consumer Protection, USDA Natural Resources Conservation Service, or the Waukesha County LDC, as to the approximate location or nonexistence of above or under ground hazards does not relieve the excavator of the responsibility to secure all necessary permits and licenses, and to complete the work in accordance with all local, state, and federal laws. Modification of these construction plans and specifications must be approved by the NRCS before installation. I assume all responsibility for negotiations and contract agreements with the construction contractors.

Call Diggers Hotline Ticket Number \_\_\_\_\_

CONSTRUCTION DRAWINGS AND SPECIFICATIONS ACCEPTANCE

I have reviewed and understand the construction plans and specifications and agree to complete the work accordingly. Failure to meet these plans and specifications may void any continued NRCS technical assistance or program cost sharing applied for this project. It is the responsibility to secure all necessary permits and licenses, and to complete the work in accordance with all local, state, and federal laws. Modification of these construction plans and specifications must be approved by the NRCS before installation. I assume all responsibility for negotiations and contract agreements with the construction contractors.

Landowner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Designed by: Ryan Glassmaker WDACP

Date: 10/30/20

Checked by: Ryan Glassmaker

Date: 12-17-20

Approved by: Ryan Glassmaker

Date: 12-17-20

The installed practices comply with applicable NRCS technical standards and specifications. The "redlined" construction plans (as-built drawings) reflect changes made during construction.

Construction Approved by: \_\_\_\_\_

Date: \_\_\_\_\_

Job Approval Class 580 IV

Sheet 1 of 5

## CONSTRUCTION NOTES

[illegible]

Quantities are estimated to the neat lines and grades of in-place materials shown on the construction plan unless otherwise stated. Truck yardage, loose fill, shrinkage, etc., must be calculated and compensated for by the contractor preparing a bid or constructing the project.

QUANTITIES & CONSTRUCTION NOTES

OWNER: WAUKESHA COUNTY  
COUNTY: WAUKESHA



File Name	WI-006
Date	08/14
Sheet 2 of 5	

Sheet 2 of 5

Designed	RJG	Date 10-30-20	File Name
Drawn			Date 08/14
Checked			
Approved			

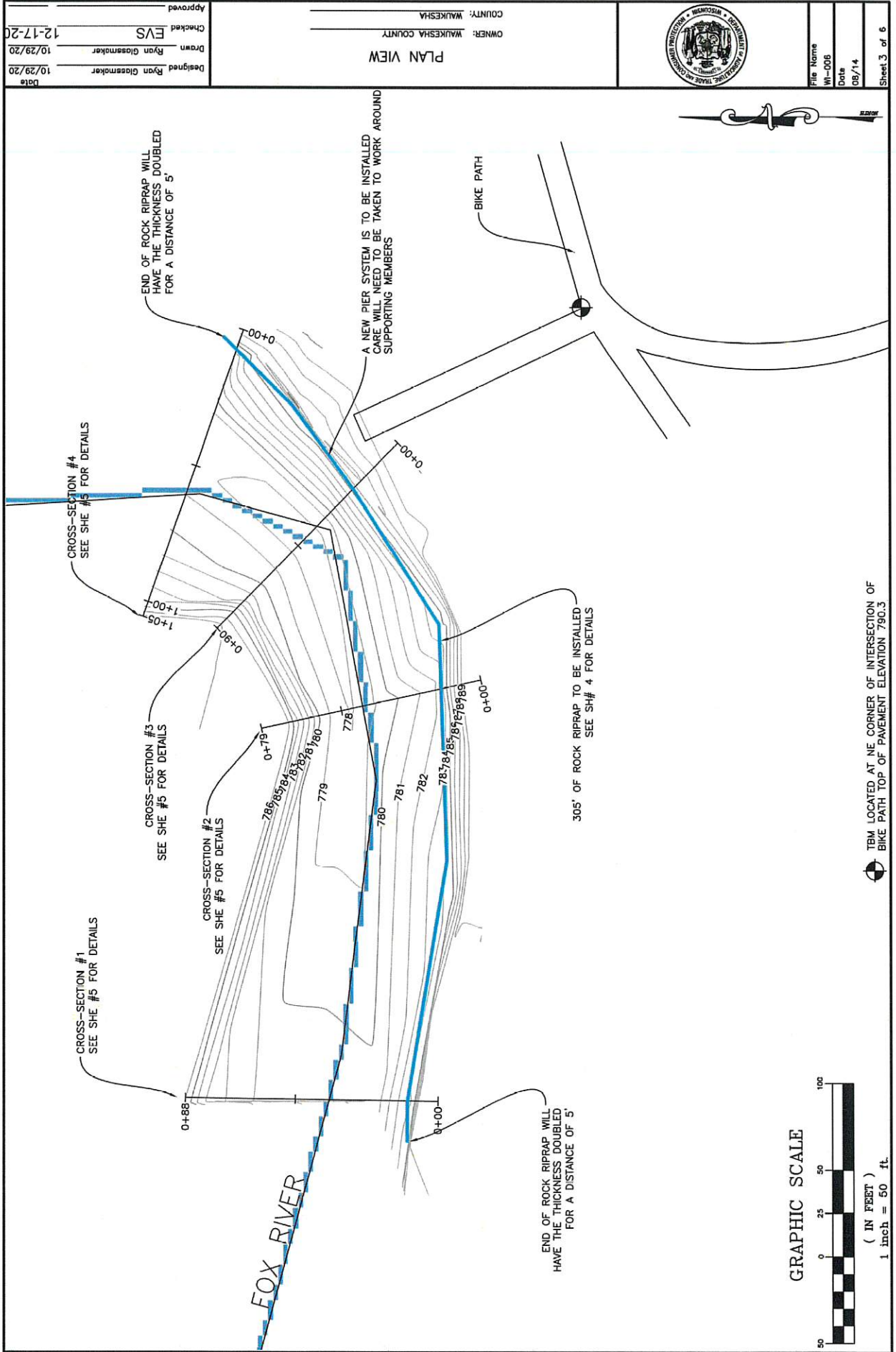
CONSTRUCTION NOTES



United States  
Department of  
Agriculture


**Natural Resources  
Conservation Service**



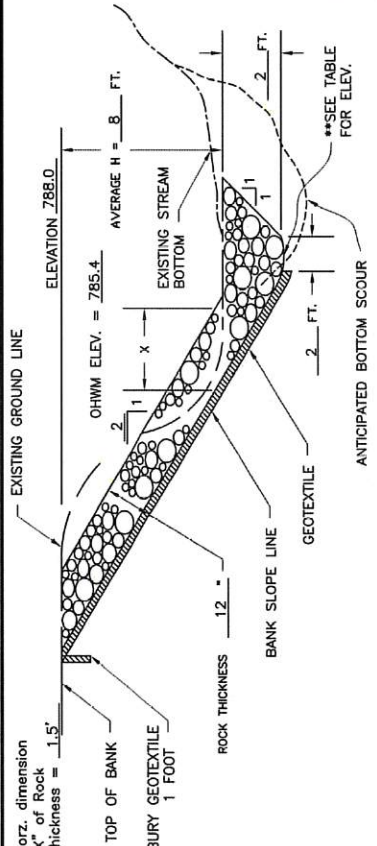


Approved: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 10/29/20  
 Designed: \_\_\_\_\_  
 10/29/20  
 Ryan Glassmaker

COUNTY: WAUKESHA  
 OWNER: WAUKESHA COUNTY  
 TYPICAL CROSS-SECTION



File Name: \_\_\_\_\_  
 WI-006  
 Date: \_\_\_\_\_  
 08/14  
 Sheet 4 of 6



**GRADATION OF ROCK**

PERCENT PASSING BY WEIGHT	SIZE (INCHES)
100	12
60-85	9
25-50	6
5-20	3
0-5	1

**TYPICAL CROSS SECTION**

QUANTITY ESTIMATE*	
BANK SLOPING FOR RIPRAP	305 LIN. FT.
BANK SLOPING (SEEDING ONLY)	--- LIN. FT.
ROCK FOR RIPRAP (WI CONST. SPEC. 9)	250 CU. YD.
GEOTEXTILE (WI CONST. SPEC. 13)	410 SQ. YD.
CLASS 1 (NONWOVEN)	0.1 ACRES
SEEDING	

\* ESTIMATED TO THE NEAT LINES AND GRADE

**NOTE:**

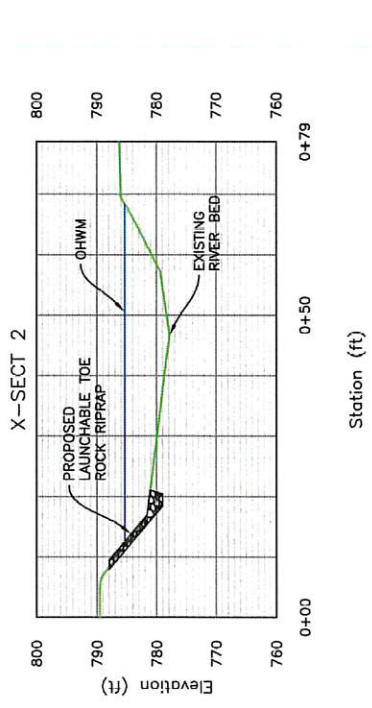
- DOUBLE THE ROCK THICKNESS FOR A DISTANCE OF 5 FEET AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE RIPRAP. BLEND THE ROCK SURFACE TO MATCH THE EXISTING STABLE BANK SURFACE.
- THE BED OF THE STREAM IS ALLOWED TO SCOUR. THE LAUNCHABLE TOE WILL FALL INTO THE SCOUR HOLE AND PROTECT THE BANK. ROCK SURFACE TO MATCH THE EXISTING STABLE BANK SURFACE.

**LAUNCHABLE TOE**

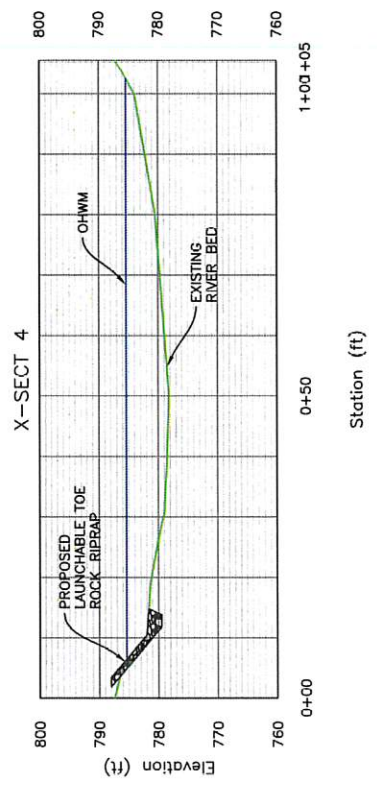
STREAMBANK PROTECTION  
 WITH GEOTEXTILE  
 (FULL BANK HEIGHT)  
 CLIENT: WAUKESHA COUNTY  
 COUNTY: WAUKESHA

United States  
 Department of  
 Agriculture  
 Natural Resources  
 Conservation Service

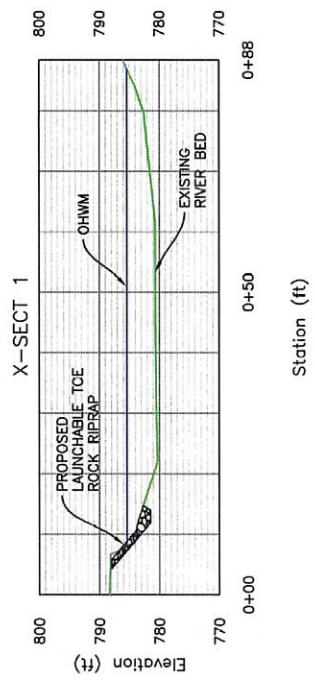
Designed: \_\_\_\_\_  
 RG  
 Date: 10/30/20  
 Drawn: \_\_\_\_\_  
 EVS  
 Date: 12-17-20  
 Checked: \_\_\_\_\_  
 Approved: \_\_\_\_\_  
 Date: 07/14



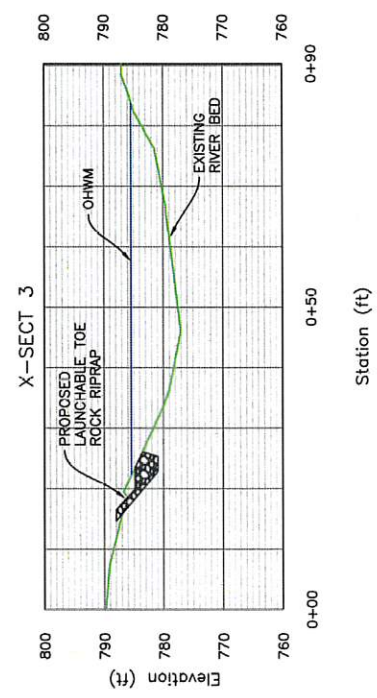
\* LAUNCHABLE TOE DIMENSIONS WILL VARY BASED ON THE DEPTH AND SLOPE OF THE CHANEL. THIS WILL BE VERIFIED AND SET BY TECHNICIAN. APPROXIMATE DIMENSIONS WILL BE 2'D x 5' L



\* LAUNCHABLE TOE DIMENSIONS WILL VARY BASED ON THE DEPTH AND SLOPE OF THE CHANEL. THIS WILL BE VERIFIED AND SET BY TECHNICIAN. APPROXIMATE DIMENSIONS WILL BE 2'D x 5' L



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\* LAUNCHABLE TOE DIMENSIONS WILL VARY BASED ON THE DEPTH AND SLOPE OF THE CHANEL. THIS WILL BE VERIFIED AND SET BY TECHNICIAN. APPROXIMATE DIMENSIONS WILL BE 2'D x 5' L





**VILLAGE OF MUKWONAGO  
WAUKESHA AND WALWORTH COUNTIES**

---

**ORDINANCE NO. \_\_\_\_\_**

**ORDINANCE TO AMEND SECTION 2-146  
OF THE VILLAGE OF MUKWONAGO MUNICIPAL CODE  
REGARDING PURPOSE OF DIVISION**

---

The Village Board of the Village of Mukwonago do ordain as follows:

**SECTION I**

Section 2, Title of Section, of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

The title of Chapter 2, "Division 3 Economic Development Committee" of the Village Code shall be changed to "Division 3 Downtown Development Committee".

**SECTION II**

Section 2-146 of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

2-146 The Downtown Development Committee shall be a citizen advisory committee, whose purpose shall be to advise the Village Board on matters of implementation identified in the Downtown Strategic Plan and to otherwise advise the Village on matters of development activities that will promote the development of the downtown.

**SECTION III**

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

**SECTION IV**

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the Ordinance.

**SECTION V**

This Ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago, and shall indicate the date and number of this amending ordinance therein.

**PASSED AND ADOPTED** by the Village Board this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**APPROVED:**

\_\_\_\_\_  
**Fred Winchowky, Village President**

**Countersigned:**

\_\_\_\_\_  
**Diana Dykstra, Village Clerk/Treasurer**

**VILLAGE OF MUKWONAGO  
WAUKESHA AND WALWORTH COUNTIES**

---

**ORDINANCE NO. \_\_\_\_\_**

**ORDINANCE TO AMEND SECTION 2-148  
OF THE VILLAGE OF MUKWONAGO MUNICIPAL CODE  
REGARDING APPOINTMENTS; TERMS; VACANCIES WITH THE  
DOWNTOWN DEVELOPMENT COMMITTEE**

---

The Village Board of the Village of Mukwonago do ordain as follows:

**SECTION I**

Section 2-148, Title of Section, of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

The title of Chapter 2-148, "Appointment; terms; vacancies" of the Village Code shall be changed to "Appointments; terms; vacancies; attendance".

**SECTION II**

Section 2-148(b) of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

- (b) Appointments of the five voting members shall be for staggered two-year periods, except that as to those first appointed under this Ordinance, two shall be for one-year and three shall be for two-years. The Village President shall determine the length of term for each appointee according to this Ordinance.

**SECTION III**

Section 2-148(d) of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

- (d) In addition to the five voting members and four non-voting members, there shall be one alternate voting member and one alternate non-voting member, each of whom shall serve one-year terms to be appointed by the Village President and confirmed by the Village Board.

**SECTION IV**

Section 2-148(f) of the Municipal Code of the Village of Mukwonago is hereby created to read as follows:

- (f) The appointee for the Village Administrator or Community Planner position, as well as the Plan Commission and/or Village Board Representative position shall be non-voting members of the Committee.

#### **SECTION V**

Section 2-148(g) of the Municipal Code of the Village of Mukwonago is hereby created to read as follows:

- (g) If any Committee member fails to attend more than three of the scheduled meetings of the Committee during any one calendar year, said person may be removed from the Committee by a majority vote of the Village Board except upon a showing of good cause for the absences. In the event of a removal, the Village President shall nominate a replacement for the balance of the unexpired term subject to confirmation by the Village Board.

#### **SECTION VI**

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

#### **SECTION VII**

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the Ordinance.

#### **SECTION VIII**

This Ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago, and shall indicate the date and number of this amending ordinance therein.

**PASSED AND ADOPTED** by the Village Board this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**APPROVED:**

\_\_\_\_\_  
Fred Winchowky, Village President

Countersigned:

\_\_\_\_\_  
Diana Dykstra, Village Clerk/Treasurer





## PLANNING COMMISSION

May 11, 2021 at 6:30pm  
Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

301 Main Street  
Parcel Number: MUKV1976128

## Case Summary

### Parcel Data

---

Proposal:	Coffee shop and Drive-Thru (1 <sup>st</sup> floor), two apartments (2 <sup>nd</sup> floor)
Applicant:	David A. and Tracy A. Stockwell
Request:	Espresso Love Coffee Site Plan and Architectural Review Conditional Use Permit for a restaurant with drive thru and Apartments
Staff Recommendation:	Approve with Conditions

### Parcel Characteristics / Conditions

---

Acreage:	0.3806
Current Use:	Abandoned Gas Station
Proposed Use:	Mixed use commercial/apartments
Reason for Request:	New Construction
Land Use Classification:	Low Intensity Commercial / Business with Village Center Overlay
Zoning Classification:	B-2 General Business District / Village Center Retail Center Overlay District
Census Tract:	2039.01

### Public Notice

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A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

### Site Plan and Architectural Review Request

---

**Architectural/ Site Review**

Express Love Coffee is proposing a two-story structure located at the intersection of Main Street and Henry Street. The first floor will be a retail space with drive thru window, while the second floor will contain two 2-bedroom apartments.

The building architecture is designed to blend in with the historical character of the area with a transitional storefront on the first floor wrapping onto the side elevations. The main feature of the storefront will be windows with a transom detail and a sign band located above the windows and doors. The main entry will have a vestibule. The primary material of the building is vertical siding.

The second story will feature clapboard style siding. The window fenestration patterns of the second-floor use groupings of single, double, and triple double hung windows with a four over one pattern. The building will feature a cornice detail with a slight gable highlighting the main façade. The Cornice will wrap onto the side elevations and end at a point of alignment of the end of the storefront design.

The rear of the building will continue the same building materials and will have an open parapet design.

**Site Modifications**

The site design will position the building in the northeast corner of the property near the intersection. Allowing the building to “hold” the corner and provide for contextual site design with the surrounding downtown development patterns. The site design will also provide for a 12-foot patio along Main Street and a smaller 5ft patio on Henry which will allow for outdoor dining adjacent to the street but one private property. This outdoor dining area will allow for active uses on the street. This patio will be scored concrete. The site will be organized with a one-way circulation flow for the parking lot from Henry Street to Main Street. In addition, the drive through will have a one-way pattern that will have the entry on Henry and the exit on Main. The Drive thru will accommodate approximately three spaces for cars in queue. The drive through will be separated from the parking area with a landscaped island.

Building Materials are proposed to be LB Smart side. The first floor will be painted in Summit Blue, the second floor Rapid Blue, and the trim Snowscape White. The windows will be 1” clear insulated glass with black anodized windows and door frames.

<b>Utilities</b>	All Utilities will be underground, sewer and water are available. Final plans will be required to be submitted, reviewed and approved prior to building permitting.
<b>Stormwater Management</b>	Stormwater plans have been submitted and reviewed by the Engineer. Revised plans prior to construction will need to be approved prior to building permitting.
<b>Wetlands</b>	None
<b>Signage</b>	Will be reviewed by staff per ordinance. Signage on plans is for illustrative purposes and has not been reviewed for compliance.
<b>Parking Lot and Drives</b>	<p>The site provides 24 parking spaces.</p> <p>The Driveway on to Henry Street is currently show as 31 feet wide. The maximum allowed width is 24 feet. The exists onto main street are 19 and 20 feet meeting the standards of the code. The Henry Street driveway will need to be modified to 24 feet to meet village standards. Staff recommends these revisions occur prior to submission of any permits, Revisions will be required to be reviewed and approved by Fire, Public Works, Engineering, and Planning.</p> <p>An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional use and Site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.</p>
<b>Landscaping</b>	<p>The applicant has provided a landscaping plan showing two ornamental trees and a variety of shrubs and perennials (day lilies). The commercial district required 1 tree per 20 ft of street frontage. This calculation requires 12 trees for the development. Staff recommends that two additional trees be planted on site within the panting islands adjacent to main street. Such shade trees shall have a columnar upright pattern to allow for visibility under the trees for turning movements out of the drives. In addition, staff recommends one additional shade tree to be planted at the rear of the building between the drive and the sidewalk. This will bring the total number of on-site trees to five. Staff recommends that the additional seven trees be planted within the right of way of Henry and Main. Staff also request modification of the landscaping plan along Main Street to provide for better screening year round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.</p>

**Trash Enclosure** A trash enclosure is proposed within the site plan. Details with regard to the trash enclosure have not been provided at this time. Staff recommends that the trash enclosure be reviewed and approved by the village planner prior to permitting. The enclosure shall meet the requirements of section 100-152 (g). Since the building is not proposed to have masonry staff recommends that the enclosure have an standard brick veneer for the outward facing walls of the structure.

**Fencing** The west and south property lines are proposed to have a fence. The applicant intends to keep the exiting fence. The fence is currently in disrepair. Staff recommends this fence be repaired and maintained and recommends that both sides of the fence be stained a natural color to allow for existing and new wood to blend together.

**Outdoor Lighting** The applicant is proposing two poles with a total of three lighting fixtures. The applicant has asked staff to provide the preferred type of ornamental lighting the village would like. Staff has evaluated the site conditions and at this time there currently are no ornamental lighting – both private or public that is visible from this location. Until a standard has been decided upon for the Village Center area staff recommend that a simple pole and thin LED fixture should be provided as to not attract attention away from the building and blend away. Staff recommends that the poles be as short as possible to minimize lighting concerns. Staff recommends that all lighting specifications and plans be submitted, reviewed, and approved prior to permitting.

**Misc. Performance Standards** None

**Ordinance Exceptions  
Requested:**

**Building Materials:** The base zoning district requires that 25% of the building facades facing a public street to be brick. The Village Center Overlay District referenced the base district however the overlay district states: “However, the plan commission may adopt architectural design guidelines to further implement the intent and purposes of the Village center overlay zoning district and its sub-districts, which may be amended from time to time.” However, the Village has not yet adopted architectural guidelines. In absence of guidelines the intent of the district is to accommodate pedestrian orated retails business ... recognize the unique character of the village center, ... and further intended to supersede the standards of the base zoning district that is unique to the Village Center. Because Main Street and most of the Village Center has wood framed structures it is staff’s recommendation that the Planning Commission allow for 0% of masonry to allow for this building to blend into the unique context of the Village Center area.

**Parking Lot (Driveways)** Section 100-403 (3) b. states that a maximum of two driveways are permitted unless planning commission approval is received. The applicant has one entry off Henry and two exists on to Main the Planning Commission will have to grant approval of a third

access point. Staff recommends Planning Commission grant approval for a third drive.

## Staff Review

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<b>Engineering</b>	Approve with Conditions – See attached letters. Final plans for Stormwater, Water, Sewer, Hydrants, and erosion control must be submitted, reviewed, and approved by the Village Engineer prior to submission of any building permits.
<b>Public Works</b>	No Comment
<b>Utilities</b>	The existing water serviced they are using was a new 1¼" HPDE water service into the property line about 4 years ago and is good to use. The sanitary sewer lateral will have to be supplied to Utilities to prove its condition before it can be reused. Any utilities not being reused will have to be capped at main.
<b>Police</b>	It appear there will be one-way traffic, entering only off Henry street and exiting only on main street. They probably are planning on it, but I did not see anything on the plans, they will need entrance only/exit only signs at the entrance and exit. I would recommend a sign on each side of the drive, facing the street. Two entrance only signs at Henry Street and two exit only signs at Main Street. They should also have exit only signs at the drive through exit on Main Street.
<b>Fire</b>	Need WB-50 template run. State to determine if suppression is needed by occupancy number. KNOX Box.
<b>Building Inspection</b>	No Comment
<b>Planning</b>	<p>1. The Henry Street driveway will need to be modified to 24 feet to meet village standards. Staff recommends these revisions occur prior to submission of any permits, Revisions will be required to be reviewed and approved by Fire, Public Works, Engineering, and Planning.</p> <p>2. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.</p> <p>3. Two additional trees be planted on site within the panting islands adjacent to main street. Such shade trees shall have a columnar upright pattern to allow for visibility under the trees for turning movements out of the drives. In addition, one additional shade tree to be planted at the rear of the building between the drive and the sidewalk. This will bring the total number of on-site trees to five. The additional seven trees be planted within the right of way of Henry and Main. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.</p> <p>4. Revisions to the landscaping plan along Main Street shall occur to provide for better screening year round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.</p>

5. Details with regard to the trash enclosure shall be provided prior to submission of permits. The enclosure shall meet the requirements of section 100-152 (g). Since the building is not proposed to have masonry staff the enclosure shall have an standard brick veneer for the outward facing walls of the structure.
- 6.. The exiting fence shall be repaired and maintained and both sides of the fence shall be stained a natural color to allow for existing and new wood to blend together.
7. Staff recommends that the poles be as short as possible to minimize lighting concerns. Staff recommend that the finish of the poles and lights be black or other dark color. Staff recommends that all lighting specifications and plans be submitted, reviewed, and approved prior to permitting.
8. Staff recommends a bike rack be provided along the grassy area along Henry Street.
9. Staff's recommendation that the Planning Commission allow for 0% of masonry to allow for this building to blend into the unique context of the Village Center area.
10. Staff recommends Planning Commission grant approval for a third drive.

## **Conditional Use Request**

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### **Plan of Operation**

Espresso Love Coffee (ELC) plans to operate on the first floor or 301 Main Street, Mukwonago, WI, 53149, beginning in December of 2021. ELC will maintain similar operation to its current location - the sale of coffee, coffee related drinks, bakery, breakfast and lunch food items, and small gift items (ex. coffee mugs; t-shirts; books from local authors; etc .... ) The coffee shop is a cafe-style business model, where people come to meet or work. It is our intent to have the following hours of operation - Mondays-Fridays, 5 a.m. - 5 p.m. and 6 a.m. - 4 p.m. on weekends. Our plan is to operate the drive through within the scope of those hours. The second floor of 301 Main Street will contain two, one-bedroom apartments (one 860 square feet; one 770 square feet.) The site provides twenty-four parking spaces. ELG has an agreement that the Village of Mukwonago has a parking easement of six parking spaces.

### **Harmony with Village policies, ordinances, and programs**

*This is an existing business that is moving from 105 N. Rochester Street. The new building will offer drive thru coffee service. It is anticipated that no mor than 3-4 cards would be in the drive through at any given time. Most service will be walk-in. Environmental impacts will be far less than the previous gas station and C-Mart.*

### **Specific Location within harmony with Village polices, ordinances and programs**

*Single retail establish on the first floor with two apartments on the second floor.*

**Potential Adverse Impact on surrounding:**

*Anticipate traffic volume will be less than pervious gas station and C-Mart. Total approaches from main street and Henry will be one less than pervious owners. North and west portions of the development offer pedestrian friendly patio areas accessible from the public sidewalk.*

**Maintaining consistency within the environs of the property:**

*Proposed development offers retail services to the community in a clean very attractive environment very low environmental impact to the community and surrounding properties.*

**Adequate Services**

*We do not anticipate imposing any additional burden on improvements, facilities, utilities or services.*

**Benefits of the use outweigh adverse impacts.**

*Our customers have asked for the convenience of drive thru serves which we can not offer at our current location. This service offers customers quick grab and go convenience with no adverse impact to surrounding properties.*

**Hours of Operation:**

*Mondays-Fridays, 5 a.m. - 5 p.m. and 6 a.m. - 4 p.m. on weekends. Our plan is to operate the drive through within the scope of those hours.*

**Conditional Use Process / Findings**

---

Review procedures The Plan Commission holds the public hearing and makes a recommendation to the Village Board which makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.

5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

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### **Recommendation**

#### **Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities. Final Plans shall be submitted, reviewed, and approved by Ruekert-Mielke prior to the pre-construction meeting.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain



unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.

10. Plans must allow for a WB-50 vehicle to access the site.
11. A dedicated hydrant for FDC and suppression system must be provided.
12. All lighting within the parking lot and building lighting shall be full cut of lighting. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
13. The applicant shall apply for and receiving approval for all new signage.
14. Final plans for Stormwater, Water, Sewer, Hydrants, and erosion control must be submitted, reviewed, and approved by the Village Engineer prior to submission of any building permits and preconstruction meeting.
15. The existing water serviced they are using was a new 1¼" HPDE water service into the property line about 4 years ago and is good to use. The sanitary sewer lateral will have to be supplied to Utilities to prove its condition before it can be reused. Any utilities not being reused will have to be capped at main.
16. Entrance only/exit only signs at the entrance and exit shall be provided. A sign on each side of the drive, facing the street. Two entrance only signs at Henry Street and two exit only signs at Main Street. They should also have exit only signs at the drive through exit on Main Street. All signs shall be reviewed and approved and permits issued by staff prior to installation.
17. Fire Need WB-50 template run. State to determine if suppression is needed by occupancy number. KNOX Box.
18. The Henry Street driveway will need to be modified to 24 feet to meet village standards. Staff recommends these revisions occur prior to submission of any permits, Revisions will be required to be reviewed and approved by Fire, Public Works, Engineering, and Planning.
19. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.
20. Two additional trees be planted on site within the panting islands adjacent to main street. Such shade trees shall have a columnar upright pattern to allow for visibility under the trees for turning movements out of the drives. In addition, one additional shade tree to be planted at the rear of the building between the drive and the sidewalk. This will bring the total number of on-site trees to five. The additional seven trees be planted within the right of way of Henry and Main. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.
21. Revisions to the landscaping plan along Main Street shall occur to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.
22. Details with regard to the trash enclosure shall be provided prior to submission of permits. The enclosure shall meet the requirements of section 100-152 (g). Since the building is not proposed to have masonry staff the enclosure shall have an standard brick veneer for the outward facing walls of the structure.
23. The exiting fence shall be repaired and maintained and both sides of the fence shall be stained a natural color to allow for existing and new wood to blend together.
24. The lighting poles shall be as short as possible to minimize lighting concerns. Staff recommend that the finish of the poles and lights be black or other dark color. Staff recommends that all lighting specifications and plans be submitted, reviewed, and approved prior to permitting.

25. A bike rack shall be provided on the property near Henry Street.
26. The Planning Commission grants approval to allow for 0% of masonry to allow for this building to blend into the unique context of the Village Center area.
27. The Planning Commission grants approval for a third drive.
28. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

#### Conditional Use

Staff Recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in the resolution.

To – Grant a Conditional Use permit for an Espresso Love Coffee, subject to the following on going conditions deemed necessary to protect the health, safety, and welfare

1. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:

- a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
- b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
- c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
- d. Potable water and sanitation must be provided and maintained.
- e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. The front of the dumpster enclosure shall not be blocked by vehicles or other items.
- k. No vehicles shall block the sidewalks at entrances or exists at any time.
- l. The drive thru area shall be cleaned as needed and cleaned upon any spill from drive thru service.
- m. Compliance with all conditions with the Site Plan and Architectural Review (SPAR) resolution.
- n. Mondays-Fridays, 5 a.m. - 5 p.m. and 6 a.m. - 4 p.m. on weekends. Our plan is to operate the drive through within the scope of those hours.

and determining that the conditions are consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

#### Attachments

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1. Maps
2. Plans
3. Resolution 2021-XX for approval of a Conditional Use
4. Resolution 2021-XX for approval of the Site Plan and Architectural Review



## Village of Mukwonago GIS

Espresso Love - Aerial

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 83'

VILLAGE OF MUKWONAGO

440 River Crest Court

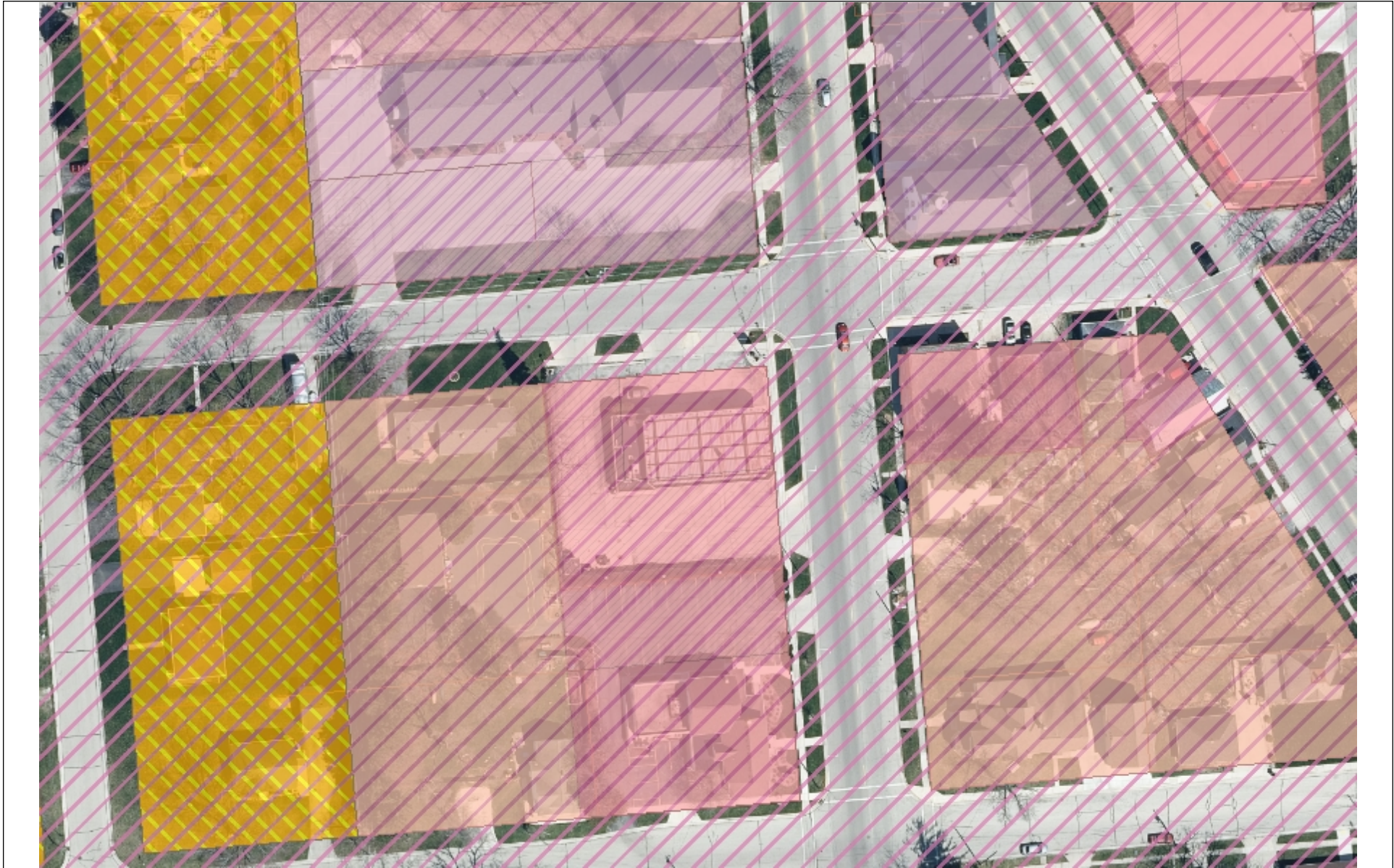
PO Box 206

Mukwonago, WI 53149

262-363-6420

Print Date: 5/6/2021





Village of Mukwonago GIS  
Espresso Love - Land Use Map

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

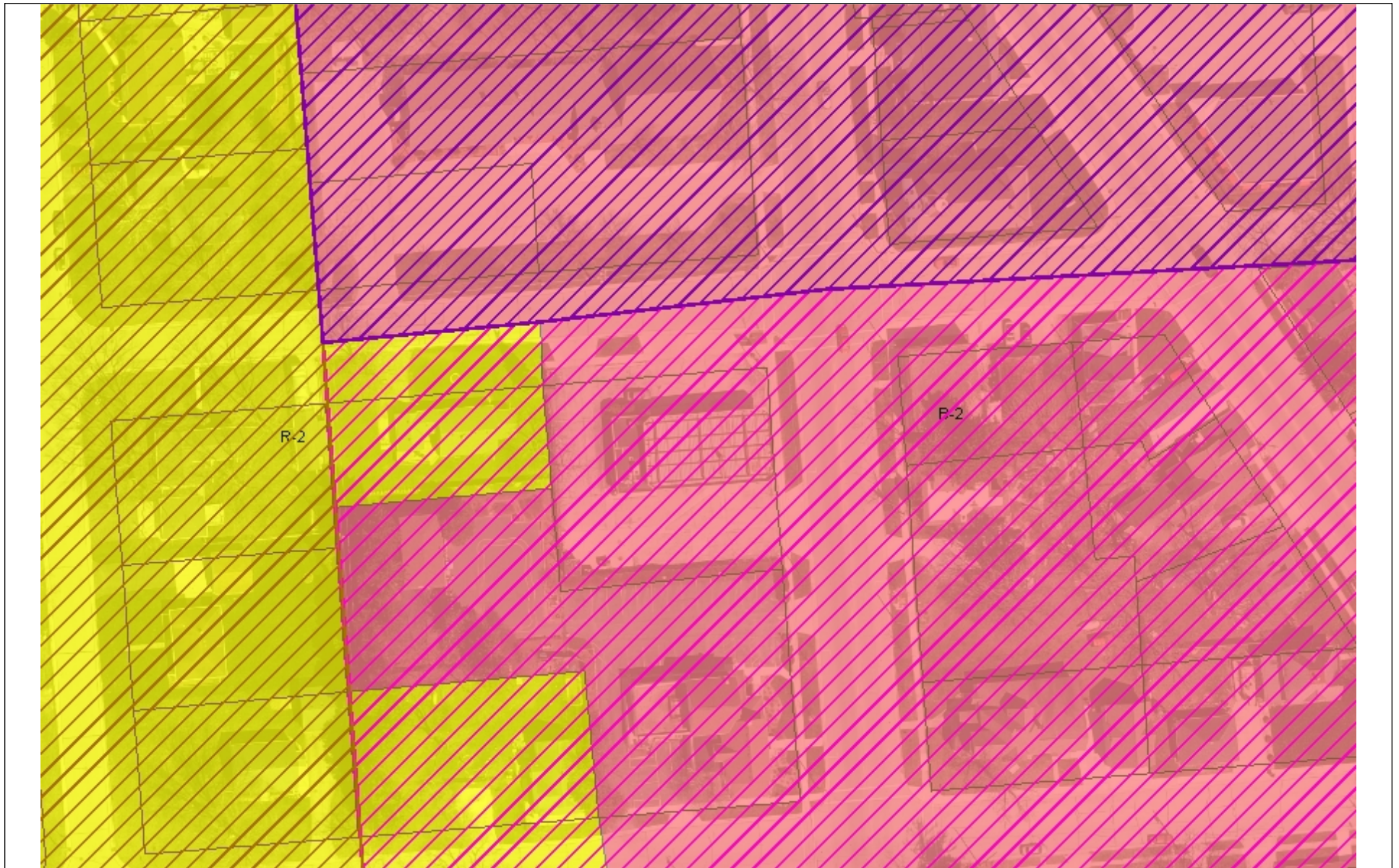


SCALE: 1" = 83'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/6/2021





Village of Mukwonago GIS  
Espresso Love - Zoning Map

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 83'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/5/2021

April 20, 2021

Mr. John Fellows, Assoc. AIA, CPM, AICP  
Village Planner  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Espresso Love  
Plan Submittal Review

Dear Mr. Fellows:

We have completed our initial review of the new Espresso Love site at the location of the old Clark Gas Station on the southwest corner of Henry Street and Main Street (CTH ES). The Village has provided us with all documents that were submitted to the Planning Commission. The civil plan set is dated March 15, 2021 and the documents were received in our office on April 15, 2021. We offer the following comments:

1. The redevelopment site is less than one-acre in size, is nearly 100% impervious as existing, and will not be adding more than 0.5 acres of impervious area. Therefore, the site is exempt from storm water management requirements. Given the already extremely impervious nature of the site, we do not believe that there will be an adverse impact on the surrounding area with this site's redevelopment and therefore, do not see a need for any storm water management requirements beyond the exemptions noted in the Village Ordinance.
2. The Water Main on Henry Street is an 8-inch water main, please adjust on the plans.
3. There is an existing water valve box in the northwest drive approach that is not shown on the plans.
4. The comment on the northwest drive approach that says "Removals to be determined by City" should be updated to "Village". All references to "City" on the plans should be updated to "Village".
5. The plans do not call for removals of the two existing site accesses on the north side of the site. Are they to remain or will they be removed and full head curb and gutter poured in?
6. Any site entrance adjustments made on CTH "ES" will require a permit from Waukesha County.
7. Please add inlet protection to the inlet/catch basin on the northwest corner of Henry Street and Main Street.
8. What are the developer's plans to limit ingress/egress to only the area where the tracking pad is identified? With multiple site entrances existing, we foresee contractors taking advantage of any in/out option they can find which will lead to increased tracking on public streets if not properly managed. Will the other entrances be blocked off?
9. Silt fence or straw wattles should be added to the areas by the dumpster and on the northwest side of the site where the existing curb will be added, and restoration will be provided to prevent sediment runoff to the adjacent parcels.
10. An inlet protection detail should be added to the plan set.



11. The plans reference a “stone splash pad” at the southeast corner of the site but not detail is provided.
12. We are concerned with a large portion of the site runoff being concentrated to a small point of discharge on the southeast side of the site where the curb cut, and stone splash pad are identified. If not properly installed, there is a risk for erosion and undermining of the public sidewalk. We recommend that an alternative solution be developed such as removing the curb and gutter on the southeast island and adjusting the grades to allow sheet flow across the southern portion of the parking lot directly out to CTH “ES” rather than directed at one single point on the southeast corner. A grass landscaped area and/or the combination of a stone buffer strip at this location would slow and spread the flow of water to reduce the high concentrated flows during larger storm events. The stone buffer strip will also help collect parking lot pollutants before flowing to the Village’s storm sewer system. Adjusting the grades to flow more easterly towards CTH “ES” will also prevent direct flow during larger storm events from overtopping the curb and gutter on the south side of the property and flowing through the adjacent site.
13. Please add a note to the construction sequence stating that any modifications to the sequence must be submitted to and approved by the Village of Mukwonago.
14. A note should be added that states that all sediment and erosion control devices shall remain in place until the site has reached 70% vegetation and the Village Engineer has approved the removal of the devices.
15. The note on the plans stating that the grading plan must be reviewed and approved by the Village Engineer should either be removed or clarified by adding “prior to construction beginning”. This is part of the approval process, but we will not be reviewing the site grades and approving them as they are constructed. That is the responsibility of the contractor/developer and we do not want the note to be mistaken for who holds that responsibility.

Please note that these plans appear to be preliminary in nature for the purpose of submittal to the Planning Commission. If the Planning Commission wishes to approve the site, we ask that their approval be contingent on our final review of resubmitted plans for compliance with the Village Ordinances and requirements of the Department Heads addressing our comments above and any other comments that may be forthcoming with a resubmittal of the civil site plans.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch, E.I.T.  
Project Engineer  
[pgesch@ruekertmielke.com](mailto:pgesch@ruekertmielke.com)



Mr. John Fellows  
Espresso Love – Review Comments  
April 20, 2021  
Page 3

PWG:pwg

cc: Diana Dykstra, Village of Mukwonago  
Mark G. Blum, Village of Mukwonago  
Bob Harley, Village of Mukwonago  
Tim Rutenbeck, Village of Mukwonago  
Dave Brown, Village of Mukwonago  
Ron Bittner, Village of Mukwonago  
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

May 4, 2021

Mr. John Fellows, Assoc. AIA, CPM, AICP  
Village Planner  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Espresso Love  
Resubmittal Review

Dear Mr. Fellows:

We have completed our review of the resubmitted documents for the proposed Espresso Love site located at the southwest corner of Henry Street and CTH "ES" where the old Clark Gas Station was located. The plan resubmittal is in response to our letter dated April 20, 2021 as well as other staff comments around the same time. The resubmittal plan documents are dated with a revision of April 29, 2021 and were received in our office on May 3, 2021. A great deal of our comments were adequately addressed in this resubmittal, however a few remain. We offer the following comments:

1. The curb cut and proposed stone splash pad were removed on the south east side of the site however the note remains. The note should be removed.
2. The developer has stated that the general contractor is responsible for obtaining the Waukesha County permits for this project. We request that no site work occurs until all permits from all agencies have been received and copies have been supplied to the Village.
3. The developer will need to obtain an erosion control permit from the Village.
4. It should be noted in the construction notes that the erosion control measures shown are a minimum and that, depending on site activities or conditions, the Village may require more erosion control measures to be implemented.

Should the Plan Commission choose to approve this project, we ask that the approval be made contingent upon the above noted comments as well as a final review of updated construction drawings by our office and the other department heads and that all permits for construction are withheld until all department heads have approved of the site and architectural plans.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.

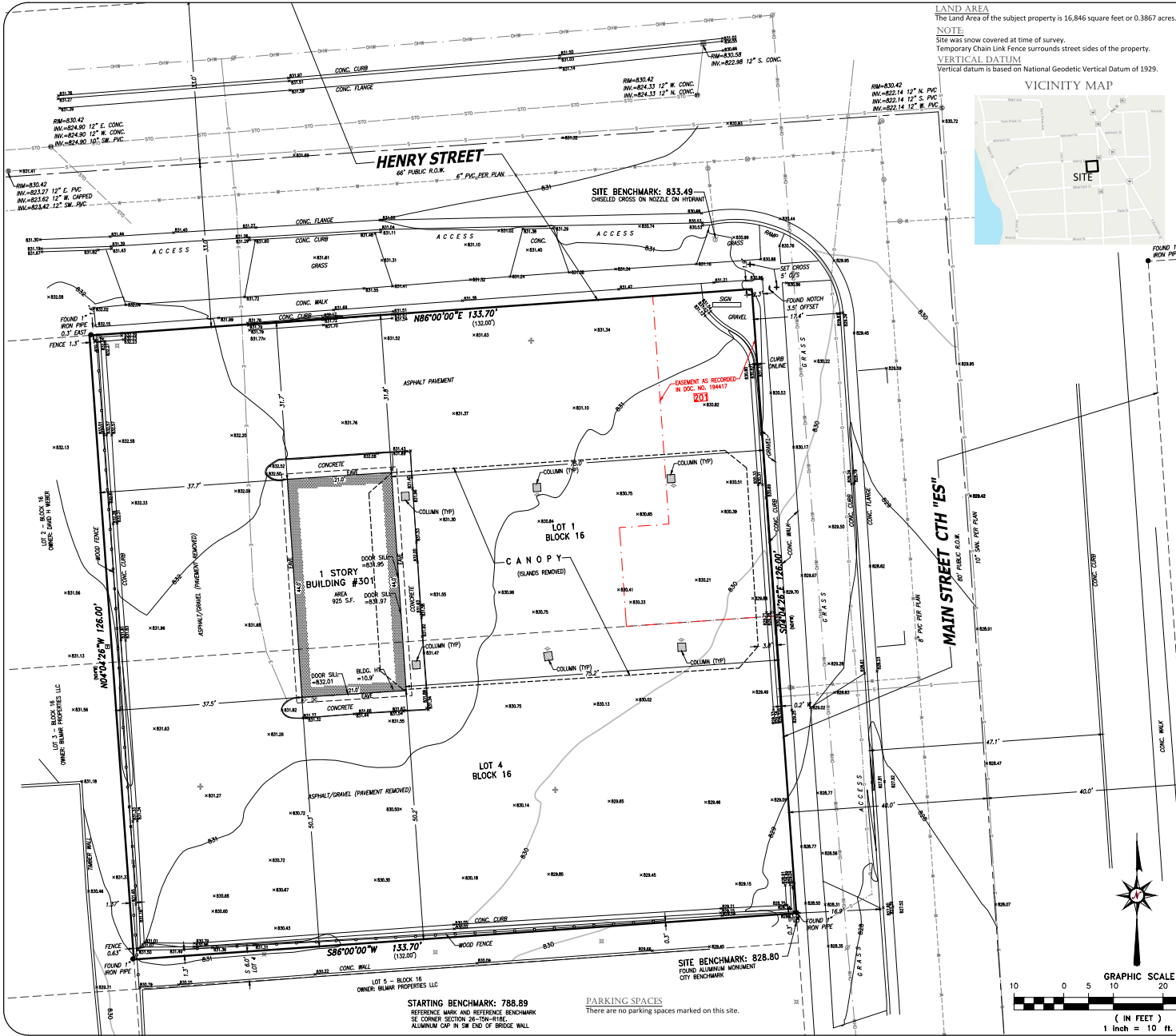


Peter W. Gesch, E.I.T.  
Project Engineer  
[pgesch@ruekertmielke.com](mailto:pgesch@ruekertmielke.com)

PWG:pwg

Mr. John Fellows  
Espresso Love – Resubmittal Comments  
May 4, 2021  
Page 2

cc: Diana Dykstra, Village of Mukwonago  
Mark G. Blum, Village of Mukwonago  
Bob Harley, Village of Mukwonago  
Tim Rutenbeck, Village of Mukwonago  
Dave Brown, Village of Mukwonago  
Ron Bittner, Village of Mukwonago  
Chief Jeff Stien, Village of Mukwonago  
Chief Kevin Schmidt, Village of Mukwonago  
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.



**LAND AREA**  
The Land Area of the subject property is 16,846 square feet or 0.3867 acres.  
**NOTE**  
Site was snow covered at time of survey.  
Temporary Chain Link Fence surrounds street sides of the property.  
**VERTICAL DATUM**  
Vertical datum is based on National Geodetic Vertical Datum of 1929.



# ALTA/NSPS LAND TITLE SURVEY

**CLIENT**  
Sier Construction, Inc.  
**SITE ADDRESS**  
301 Main St., Village of Mukwonago, Waukesha County, Wisconsin.

- LEGEND**
- INDICATES FOUND 1" IRON PIPE
  - INDICATES SET 1" IRON PIPE
  - ⊕ INDICATES FOUND CHISELED CROSS
  - ⊕ SANITARY MANHOLE
  - ⊕ SANITARY CLEANOUT OR VENT
  - ⊕ SEPTIC TANK ACCESS COVER
  - ⊕ M.I.S. MANHOLE
  - ⊕ UNKNOWN MANHOLE
  - ⊕ STORM MANHOLE
  - ⊕ INLET (ROUND)
  - ⊕ INLET (SQUARE)
  - ⊕ CURB INLET
  - ⊕ STORM SEWER END SECTION
  - ⊕ GAS VALVE
  - ⊕ GAS METER
  - ⊕ WATER VALVE
  - ⊕ HYDRANT
  - ⊕ WATER MANHOLE
  - ⊕ WATER SERVICE CURB STOP
  - ⊕ WELL HEAD
  - ⊕ STAND PIPE
  - ⊕ WALL INDICATOR VALVE
  - ⊕ POST INDICATOR VALVE
  - ⊕ LIGHT POLE
  - ⊕ SPOT/YARD LIGHT
  - ⊕ UTILITY POLE
  - ⊕ GUY POLE
  - ⊕ GUY WIRE
  - ⊕ ELECTRIC MANHOLE
  - ⊕ ELECTRIC PEDESTAL
  - ⊕ ELECTRIC METER
  - ⊕ TELEPHONE MANHOLE
  - ⊕ TELEPHONE PEDESTAL
  - ⊕ CABLE PEDESTAL
  - ⊕ CONTROL BOX
  - ⊕ FIBER OPTIC PEDESTAL/SIGN
  - ⊕ TRAFFIC LIGHT
  - ⊕ COMMUNICATION MANHOLE
  - ⊕ BOLLARD
  - ⊕ SOIL BORING/MONITORING WELL
  - ⊕ WATER SURFACE
  - ⊕ WETLANDS FLAG
  - ⊕ MARSH
  - ⊕ FLAGPOLE
  - ⊕ PARKING METER
  - ⊕ SIGN
  - ⊕ MAILBOX
  - ⊕ RAILROAD CROSSING SIGNAL
  - ⊕ HANDICAP SPACE
  - ⊕ CONIFEROUS TREE
  - ⊕ DECIDUOUS TREE
- SANITARY SEWER  
--- STORM SEWER  
--- WATERLINE  
--- MARKED GAS MAIN  
--- MARKED ELECTRIC  
--- OVERHEAD WIRES  
--- MARKED TELEPHONE  
--- MARKED CABLE TV LINE  
--- MARKED FIBER OPTIC  
--- BURIED ELECTRIC SERVICE  
--- BOARD FENCE  
--- CHAIN LINK FENCE  
--- WIRE FENCE

**LEGAL DESCRIPTION**  
Lot 4, excepting the Southerly 6 feet thereof, and Lot 1, Block 16, in the Original Plat of the Village of Mukwonago, Waukesha County, Wisconsin

**BASIS OF BEARINGS**  
Bearings are referenced to the South line of Henry Street which is assumed to bear N88°00'00"

**TITLE COMMITMENT**  
This survey was prepared based on Knight Barry Title Group Commitment No. July 23, 2020 last Revised August 10, 2020, effective date of February 3, 2011 which lists the following easements and/or restrictions from schedule B-1:

- 1, 5, 6, 7 & 8 visible evidence shown, if any.
- 2, 3, 4, 5, 100 & 400 not surveyed related.
200. Easements, Restrictions and other matters contained in the instrument recorded April 9, 2003 as Document No. 2965610. *Affects property by location.*
201. Easement and other matters contained in the instrument recorded February 16, 1934 as Document No. 194417. *Affects property by location, shown.*
202. Repurchase options, restrictions, rights of first refusal and other matters contained in the instrument recorded April 9, 2003 as Document No. 2965611. *Affects property by location, general in nature, blanket type.*
203. Consequences, if any, due to the fact that DC Properties, LLP, pursuant to the Memorandum of Repurchase Option, Restriction on Use and Right of First Refusal recorded April 9, 2003 as Document No. 2965611, failed to record in the public land records a restriction running with the land prohibiting for ten (10) years the sale of any motor fuel other than Clark or such other permitted branded fuel, as approved by Lakeside Oil Company, Inc., in writing and requiring the primary continued use of the property as a retail motor fuel dealer and further requiring the supply of all motor fuel product for the property from Lakeside Oil Company, Inc., when DC Properties, LLP conveyed the property to 301 Main Street Real Estate, LLC under the Warranty Deed dated December 6, 2019, recorded December 11, 2019 as Document No. 4441295. *Affects property by location, general in nature, blanket type.*

**FLOOD NOTE**  
According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C04275, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

## TABLE "A" ITEMS

- 11(a). Evidence of underground utilities existing on or serving the surveyed property as determined by plans and/or reports provided by client. No plans were provided.
- 20(a). Location of utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 202107031517. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- 20(b). List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.  
The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.  
Municipal Code: Sec. 100-152.  
Site is zoned: B-2 (General Business District)  
Street setback: 10 feet  
Side setback: 10 feet  
Rear setback: 30 feet  
Maximum building height: 2 stories or 35 feet
- 20(c). Engineering design topography and utility survey: Vertical datum, elevations with 1 foot contour intervals and spot elevations on paved surfaces. Sewer lines will be depicted by location and depths where accessible without confined entry safety procedures and where traffic lanes do not pose a safety hazard accessing sewer data. Pipe sizes will be shown from plans, if available. Watermain and water services will be depicted from surface evidence and available plans. The limits of topography will extend to the centerline of the adjacent streets and 25' onto adjacent properties unless otherwise agreed upon.

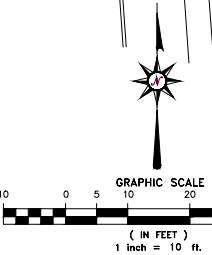
TO: Elvecoffice, LLC, a Wisconsin limited liability company d/b/a Espresso Love Coffee  
Knight Barry Title Group  
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and the Wisconsin Administrative Code, Chs. SPS 11.01(1), 11.01(2), 11.01(3), 11.01(4), 11.01(5), 11.01(6), 11.01(7), 11.01(8), 11.01(9), 11.01(10), 11.01(11), 11.01(12), 11.01(13), 11.01(14), 11.01(15), 11.01(16), 11.01(17), 11.01(18), 11.01(19), 11.01(20), 11.01(21), 11.01(22), 11.01(23), 11.01(24), 11.01(25), 11.01(26), 11.01(27), 11.01(28), 11.01(29), 11.01(30), 11.01(31), 11.01(32), 11.01(33), 11.01(34), 11.01(35), 11.01(36), 11.01(37), 11.01(38), 11.01(39), 11.01(40), 11.01(41), 11.01(42), 11.01(43), 11.01(44), 11.01(45), 11.01(46), 11.01(47), 11.01(48), 11.01(49), 11.01(50), 11.01(51), 11.01(52), 11.01(53), 11.01(54), 11.01(55), 11.01(56), 11.01(57), 11.01(58), 11.01(59), 11.01(60), 11.01(61), 11.01(62), 11.01(63), 11.01(64), 11.01(65), 11.01(66), 11.01(67), 11.01(68), 11.01(69), 11.01(70), 11.01(71), 11.01(72), 11.01(73), 11.01(74), 11.01(75), 11.01(76), 11.01(77), 11.01(78), 11.01(79), 11.01(80), 11.01(81), 11.01(82), 11.01(83), 11.01(84), 11.01(85), 11.01(86), 11.01(87), 11.01(88), 11.01(89), 11.01(90), 11.01(91), 11.01(92), 11.01(93), 11.01(94), 11.01(95), 11.01(96), 11.01(97), 11.01(98), 11.01(99), 11.01(100).

Date of Map: March 4, 2021



Donald C. Chaput  
Professional Land Surveyor  
Registration Number S-1316



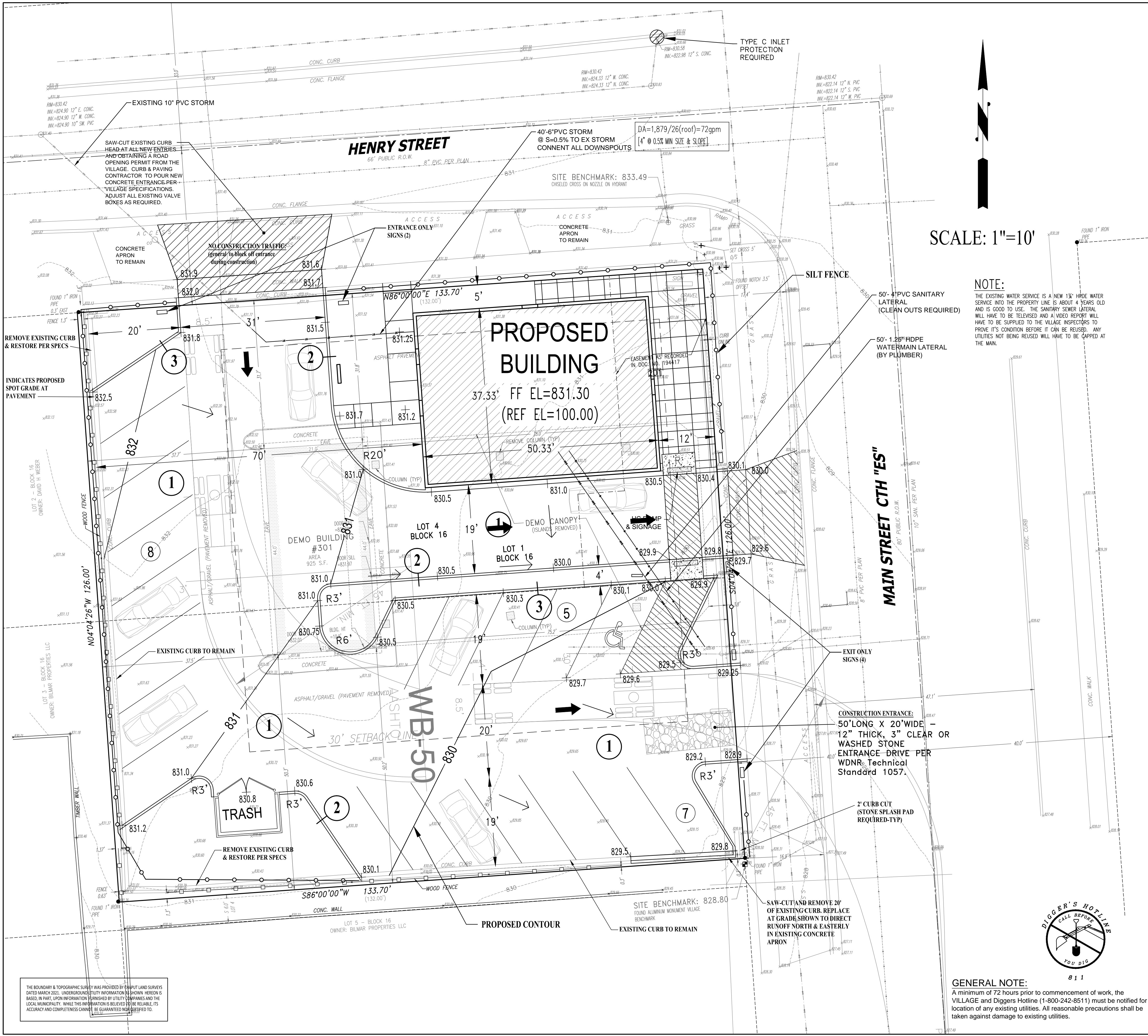
**CHAPUT  
LAND SURVEYS**

234 W. Florida Street  
Milwaukee, WI 53204  
414-224-8068  
www.chaputlandsurveys.com

This document is the property of professional services, including the professional seal of the surveyor, and is not to be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without the prior written permission of the surveyor.

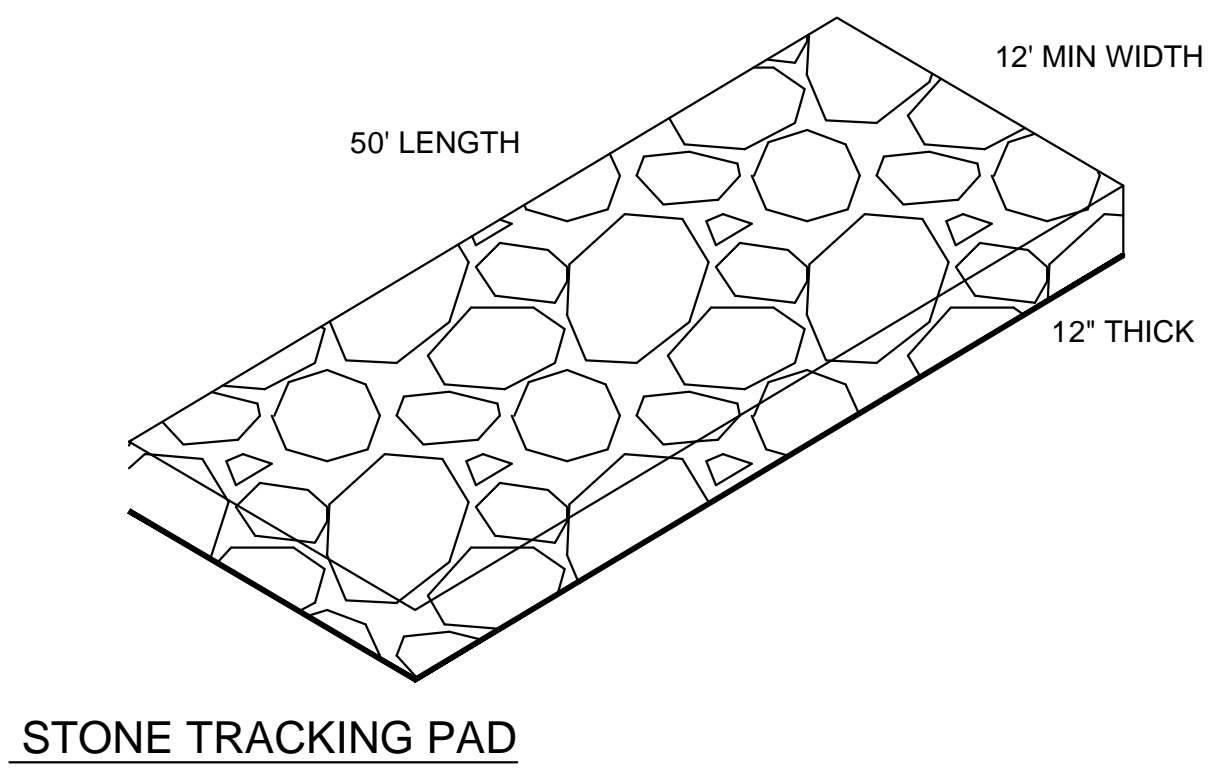
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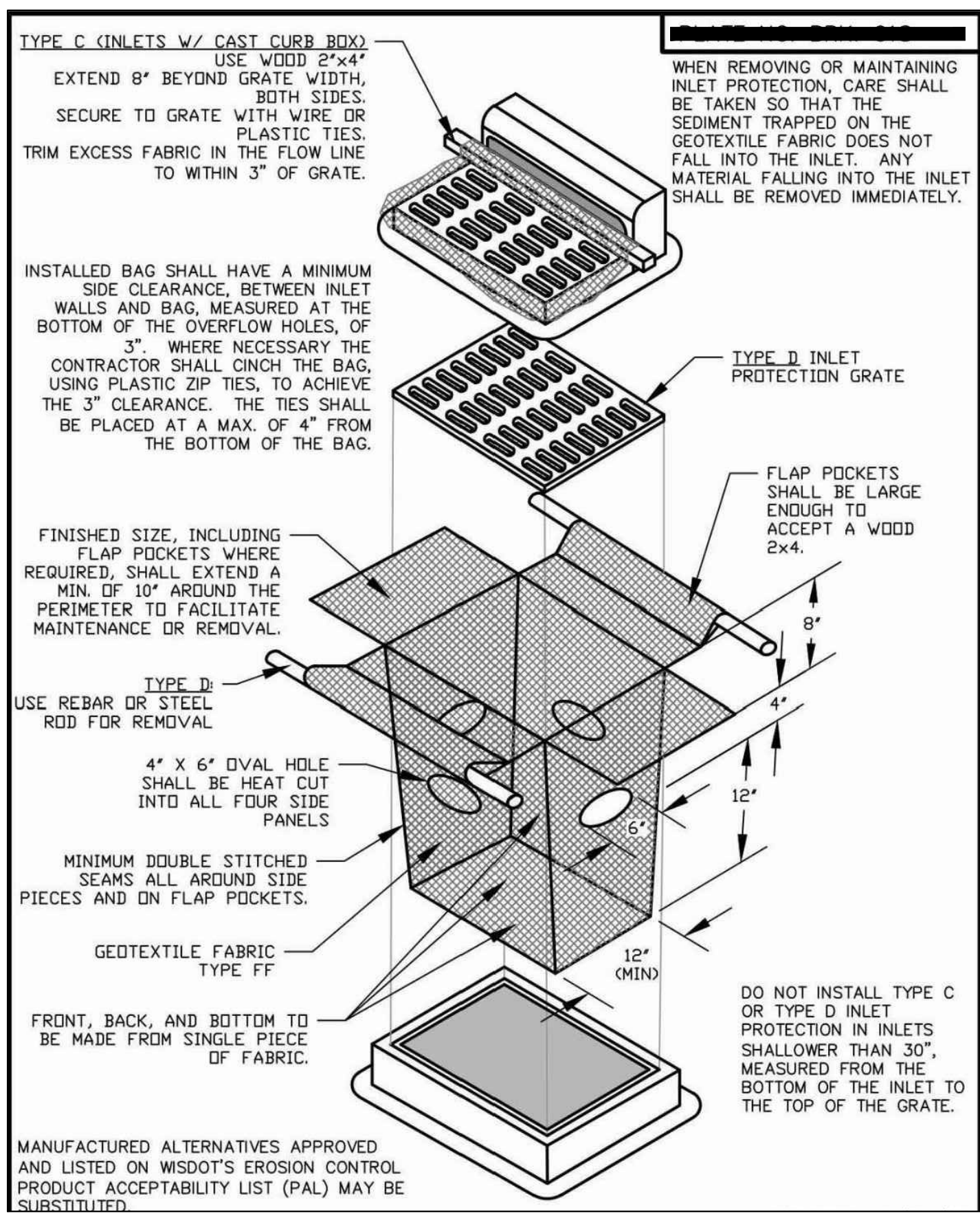
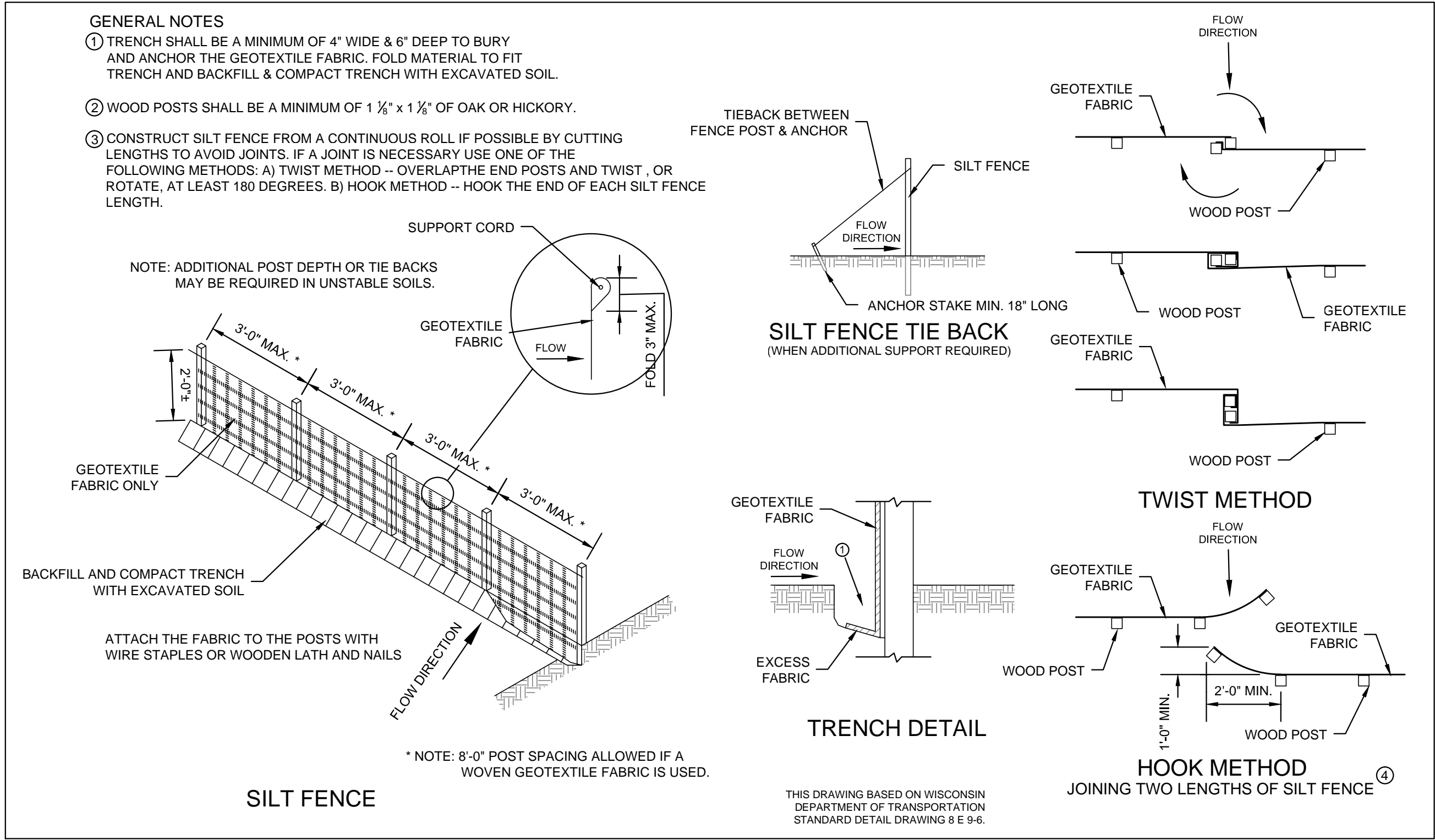
<p>GENERAL CONSTRUCTION NOTES:</p> <ol style="list-style-type: none"><li>All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the State of Wisconsin Plumbing Code AND the VILLAGE of Mukwonago Ordinances, unless otherwise called for on the plans, specifications or special provisions.</li><li>Contractor shall obtain all permits prior to commencing any construction on the site. Any Work within the right of way will require additional permits from the State, County or VILLAGE. Contractor is required to contact all agencies for applicable permits.</li><li>All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth in the Department of Natural Resources Wisconsin Technical Standards.</li><li>All erosion control devices (i.e., silt fence, etc.), shall be installed prior to commencing any site work on the property.</li><li>All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.</li><li>The owner will provide all surveying and construction staking for this contract. The Contractor shall exercise care and diligence in protecting the same.</li><li>The contractor shall notify Diggers Hotline, all utilities VILLAGE Departments, and government units whose property may be affected by the contractor's operations at least three (3) days before breaking ground. Diggers Hotline number is 811.</li><li>Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the TRACKING PAD entrance to the property.</li><li>Contractor shall be responsible for maintaining the Streets. The Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs.</li><li>Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed areas and provide seed, fertilizer and erosion control fabric per the WDM Technical Standards.</li><li>Stabilization of all disturbed areas must follow NR151 erosion control prescriptive standards which require immediate temporary stabilization of disturbed areas which remain inactive longer than 14 working days and within 7 days of final stabilization. Highway mix #40 shall be used for permanent seeding with an application rate of 4.0 lbs/1000 sq. ft.</li><li>All erosion control devices shall be routinely inspected every seven days or within 24 hours of a rainfall greater than 0.5 inches. INSPECTION BY GENERAL CONTRACTOR.</li><li>IF PERMANENT SEEDING (WISDOT#40) IS NOT COMPLETED BY SEPTEMBER 15, APPLY TEMPORARY SEEDING (SEE BELOW). IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15, DORMANT SEED WITH EROSION CONTROL MATTING OR HYDROMULCH SHALL BE APPLIED TO INACTIVE DISTURBED SOILS BETWEEN OCTOBER 15TH AND MAY 1ST AS A TEMPORARY SOIL STABILIZATION MEASURE DURING THE NON-GROWING SEASON.</li></ol> <p>WisDOT Temporary Seed Mix: Temporary seed shall be a seed mixture conforming to WisDOT 630.2.1.5.1.4. Use winter wheat or rye for fall plantings started after September 1.</p> <p>CONSTRUCTION PHASING SEQUENCING:</p> <p>THE GRADING AND UNDERGROUND CONTRACTORS MUST FOLLOW THIS CONSTRUCTION SEQUENCE AS REQUIRED BY THE WDM AND THE VILLAGE:</p> <ol style="list-style-type: none"><li>INSTALL SILT FENCE AND GRAVEL ENTRANCE.</li><li>DEMO THE CONSTRUCTION AREA &amp; HAUL OFFSITE.</li><li>LOCATE EXISTING ONSITE STORM FOR NEW BUILDING HOOKUP AND INSTALL LATERALS.</li><li>CONSTRUCT BUILDING, TRASH AREA, PARKING LOT AND WALKS.</li><li>RESTORE ALL AREAS WITH TOPSOIL, SEED AND EROSION CONTROL MATTING.</li><li>ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE SITE HAS REACHED 70% VEGETATION AND THE VILLAGE ENGINEER HAS APPROVED THE REMOVAL OF THE DEVICES.</li><li>FOLLOWING COMPLETE SITE STABILIZATION AND VILLAGE APPROVAL, REMOVE ALL EROSION CONTROL MEASURES.</li><li>ANY MODIFICATIONS TO THE SEQUENCE MUST BE SUBMITTED TO AND APPROVED BY THE VILLAGE OF MUKWONAGO.</li></ol> <p><b>LEGEND</b></p> <div><div><div>WOOD FENCE</div><div>SILT FENCE</div><div>SANITARY SEWER</div><div>STORM SEWER</div><div>WATERMAIN</div><div>OVERHEAD POWER/UTILITY</div><div>UNDERGROUND GAS</div><div>UNDERGROUND ELECTRIC</div><div>UNDERGROUND CABLE</div><div>EXISTING SPOT ELEVATION</div><div>EXISTING CONTOUR</div><div>PROPOSED SPOT ELEVATION</div><div>PROPOSED CONTOUR</div><div>PROPOSED DRAINAGE DIRECTION</div></div><div><div>STANDARD DUTY PAVEMENT: 2" ASPHALT SURFACE COURSE 2" ASPHALT BASE COURSE</div><div>8" EXISTING CRUSHED AGGREGATE BASE COURSE</div><div>COMPACTED BASE</div></div></div> <div><div>1</div><div><b>STANDARD DUTY PAVEMENT</b></div></div>
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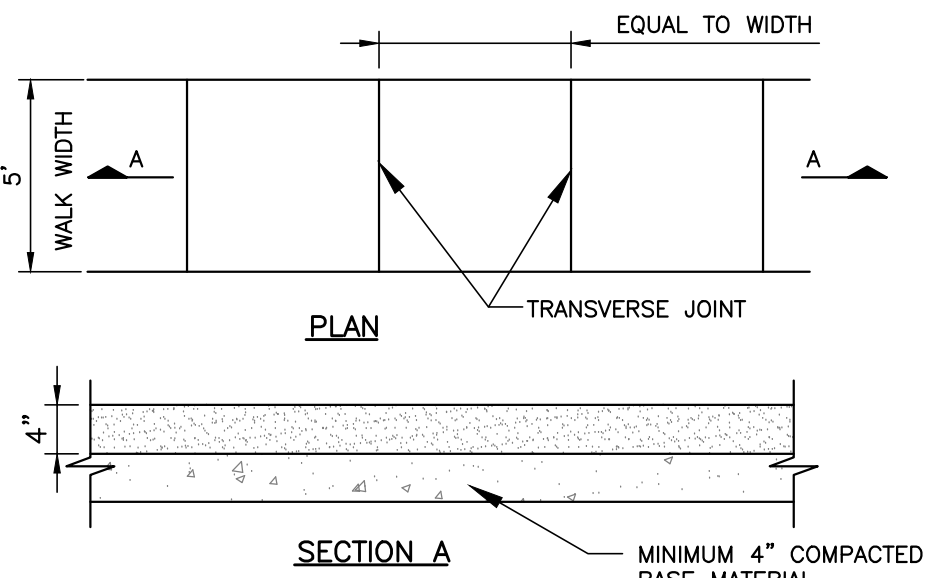


STONE TRACKING PAD

PER WDNR TECH STANDARD 1057  
Note 1: Use hard, durable, angular No. 3" stone or recycled concrete meeting the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312, Select Crushed Material.  
Note 2: Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.  
Note 3: Select fabric type based on soil conditions and vehicles loading.  
Note 4: Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.  
Note 5: If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

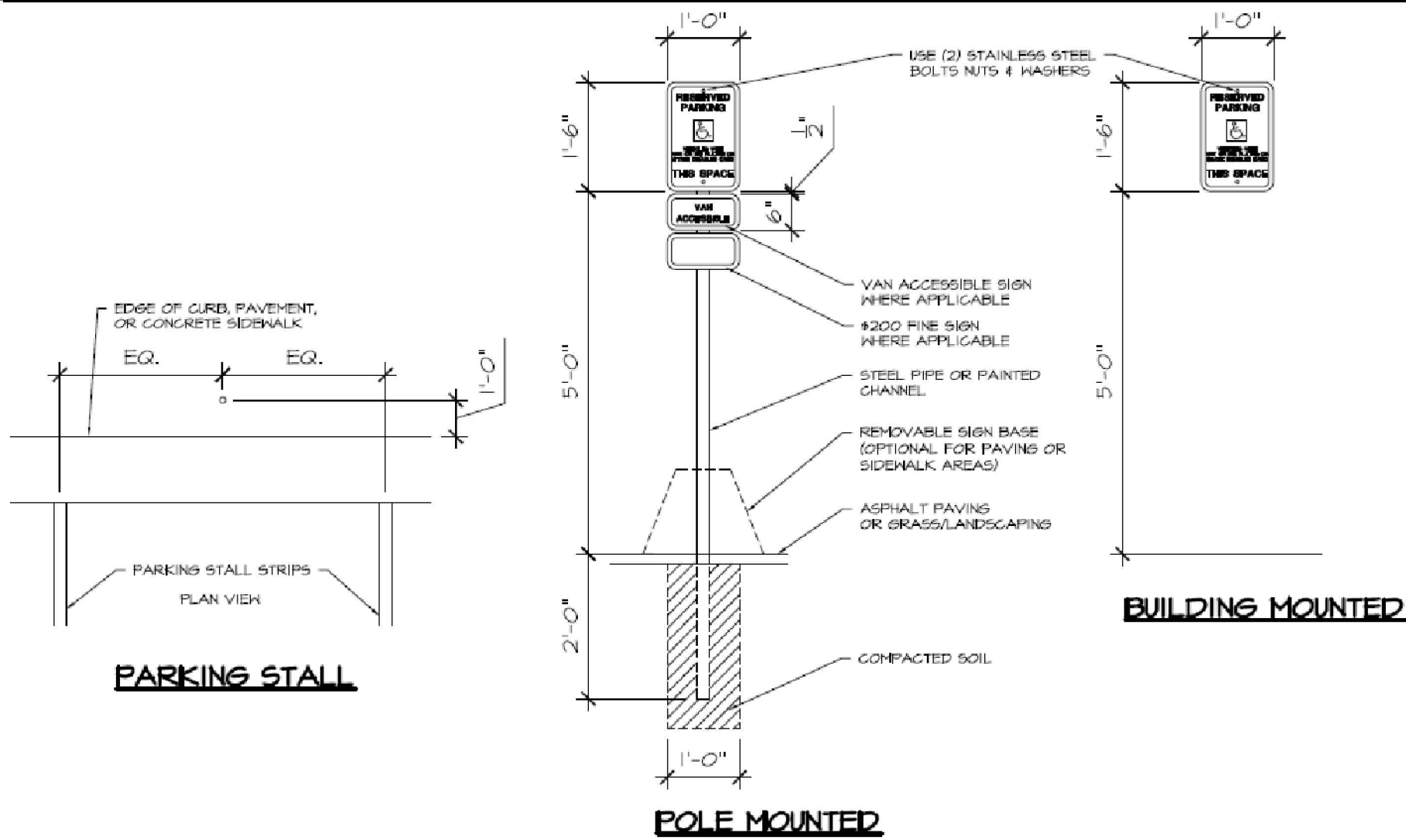
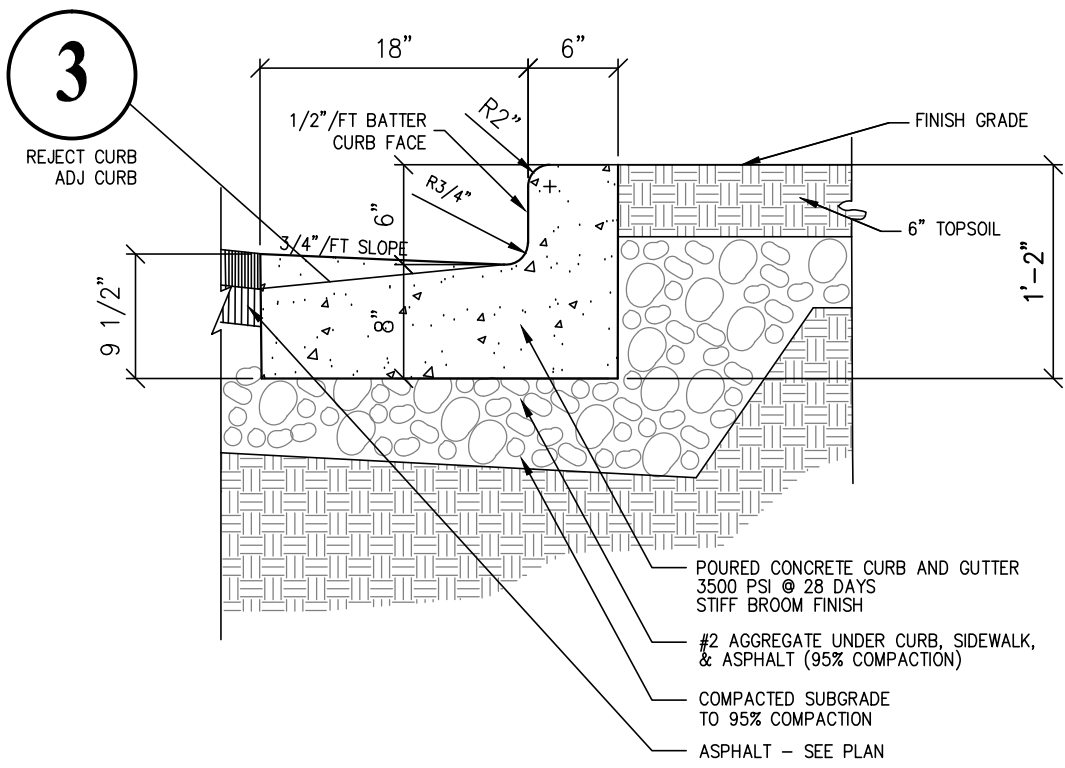


INLET PROTECTION



NOTES:  
1. TRANSVERSE JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AT SPACING AS INDICATED OR AS DIRECTED BY THE ENGINEER.

CONCRETE WALK DETAIL



HANDICAP PARKING SIGNS

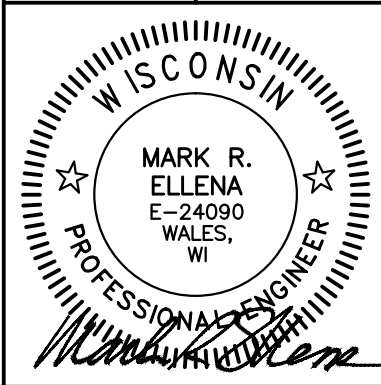
REVISION	DATE	DESC.
2.9.1	6/1/2012	

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY CHAPUT LAND SURVEYS DATED MARCH 2021. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

**GENERAL NOTE:**  
A minimum of 72 hours prior to commencement of work, the VILLAGE and Diggers Hotline (1-800-242-8511) must be notified for location of any existing utilities. All reasonable precautions shall be taken against damage to existing utilities.



<b>REVISIONS</b>			
DATE	DESC.	ELLENA ENGINEERING CONSULTANTS, LLC SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT	
04-29-21	REV1	Elleena Engineering Consultants, LLC • 700 Pilgrim Parkway - Suite 100 • Elm Grove, WI 53122 Phone: 262-719-6183 • Fax: 866-451-2584 • Email: mellen@eeceeng.com	
		ESPRESSO LOVE COFFEE	
		301 Main Street • VILLAGE of Mukwonago • Wisconsin	
		<b>DETAILS</b>	
SCALE: 1" = 10'		JOB NO.:	DATE: 03-15-2021
		CHECKED BY:	
		C200	





## PROJECT

ESPRESSO LOVE  
COFFEE

MAIN STREET

OWNER

## REVISIONS

NO	DESCRIPTION	DATE
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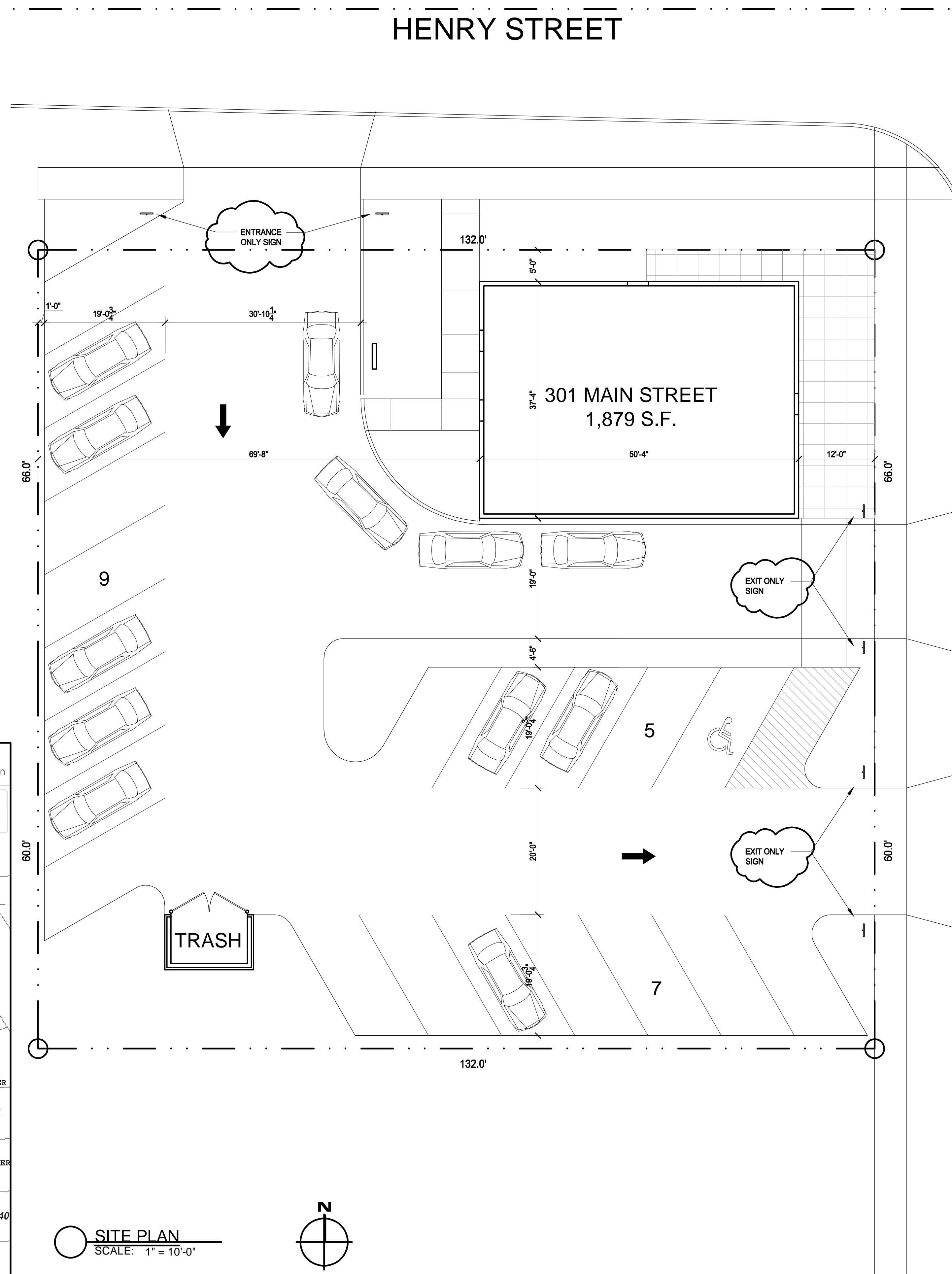
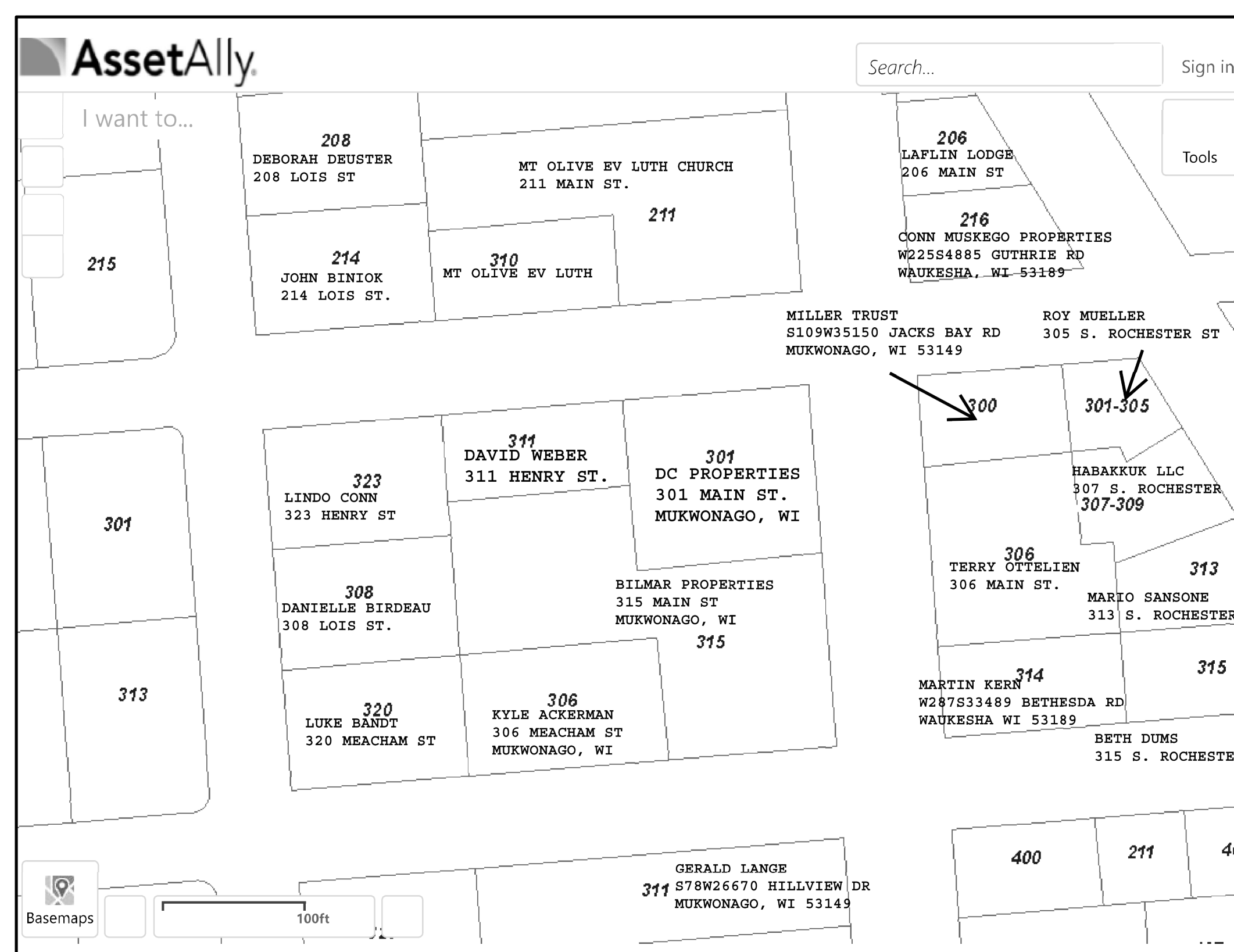
INFORMATION

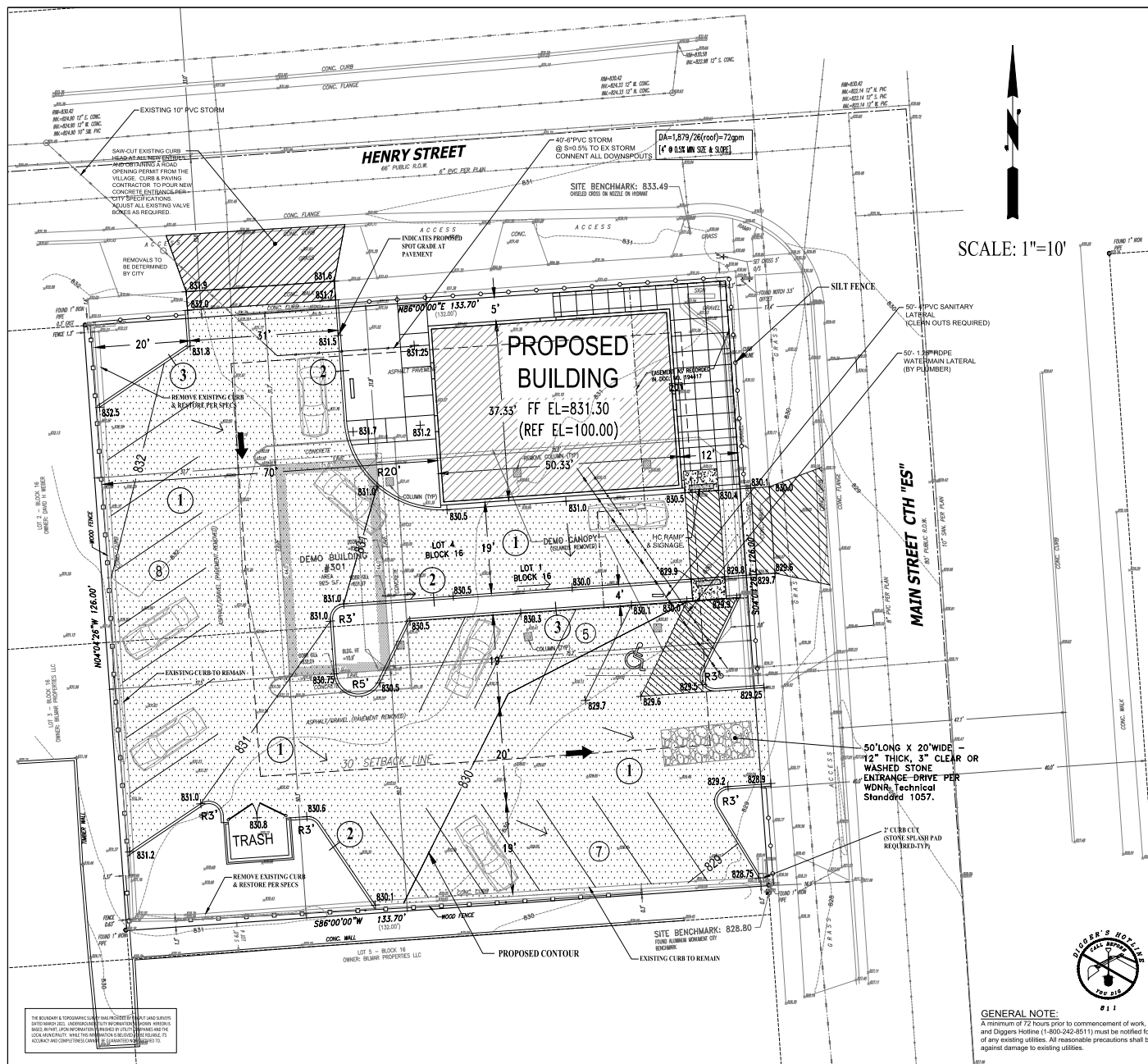
PROJECT ARCHITECT	Bob Row
PROJECT MANAGER	
PROJECT NUMBER	
ISSUED FOR	REVIEW
DATE	04.29.202

## SHEET

SITE PLAN

# A100





C100



PER WQNR TECH STANDARD 1057

MEK WORK TECH STANDARD 1057

Note 1: Use hard, durable, angular No. 3" stone or recycled concrete meeting the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312. Select Crushed Material.

Note 2: Slope the stone to the base of the ramp by hand tammer to direct runoff to an approved treatment practice.

Note 3: Select the base material based on soil conditions and vehicle speed.

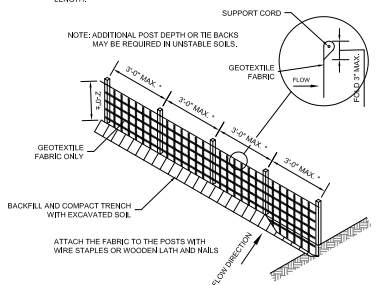
Note 4: Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

Note 5: If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

## GENERAL NOTES

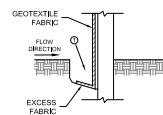
- GENERAL NOTES
- 1) TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - 2) WOOD POSTS SHALL BE A MINIMUM OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
  - 3) CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING METHODS: A) TWIST METHOD - OVERLAP THE END POSTS AND TWIST, OR B) BUTT METHOD - BUTT THE ENDS TOGETHER AND SECURE WITH NAILS AT LEAST 180 DEGREES. C) HOOK METHOD - HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS  
MAY BE REQUIRED IN UNSTABLE SOILS.



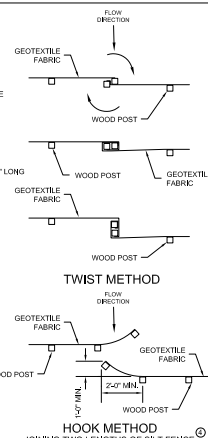
SILT FENCE

**SILT FENCE TIE BACK**  
(WHEN ADDITIONAL SUPPORT REQUIRED)

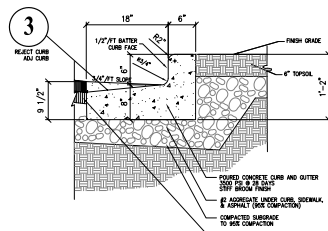


TRENCH DETAIL

THIS DRAWING BASED ON WISCONSIN  
DEPARTMENT OF TRANSPORTATION  
STANDARD DETAIL DRAWING S.E. 901

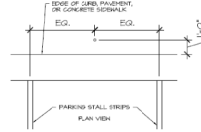


## HOOK METHOD <sup>(4)</sup>

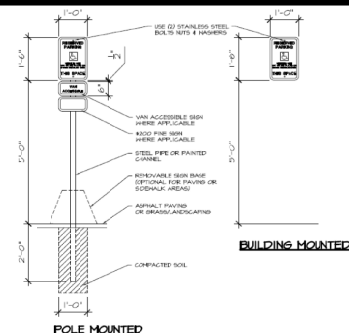


24" CONCRETE CURB & GUTTER

2



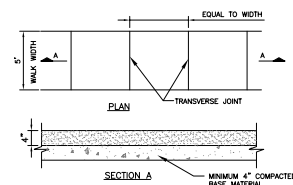
PARKING STALL



BUILDING MOUNTED

**POLE MOUNTED**

NOTE: SIGN SHALL COMPLY WITH CURRENT STATE & ACP GUIDELINES



NOTES:  
1. TRANSVERSE JOINTS SHALL BE CUT WITH A JOINTER HAVING  
A RADIUS OF 1/4" AT SPACING AS INDICATED OR AS DIRECTED  
BY THE ENGINEER.

### CONCRETE WALK DETAIL

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY CHAPUT LAND SURVEYS DATED MARCH 2021. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND ADEQUACY CANNOT BE GUARANTEED AND CERTIFIED TO.

REVISION	2.9.
6/1/2012	



41

GENERAL NOTE:

**GENERAL NOTE:**  
A minimum of 72 hours prior to commencement of work, the Village and Diggers Hotline (1-800-242-8511) must be notified for location of any existing utilities. All reasonable precautions shall be taken against damage to existing utilities.

REVISIONS	
DATE	DESC.



**ELLENA ENGINEERING CONSULTANTS, LLC**  
 CIVIL ENGINEERING & CONSTRUCTION MANAGEMENT

Elena Engineering Consultants, LLC • 700 Pilgrim Parkway - Suite 100 • Elm Grove, WI 53122  
Phone: 262-719-6183 • Fax: 866-457-2584 • Email: [me@elenaeng.com](mailto:me@elenaeng.com)

ESPRESSO LOVE COFFEE

301 Main Street ▪ Village of Mukwonago ▪ Wisconsin

## DETAILS

SCALE: 1" = 10'

JOB NO.:
----------

DATE: 03-15-2021

CHECKED BY:	
-------------	--

C200

C200

C200

# ESPRESSO LOVE COFFEE



PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

## OWNER

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its design/creator.

## REVISIONS

NO.	DESCRIPTION	DATE

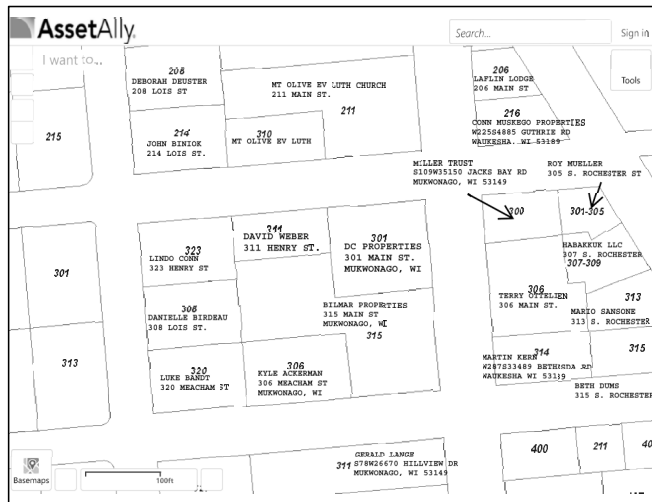
## INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

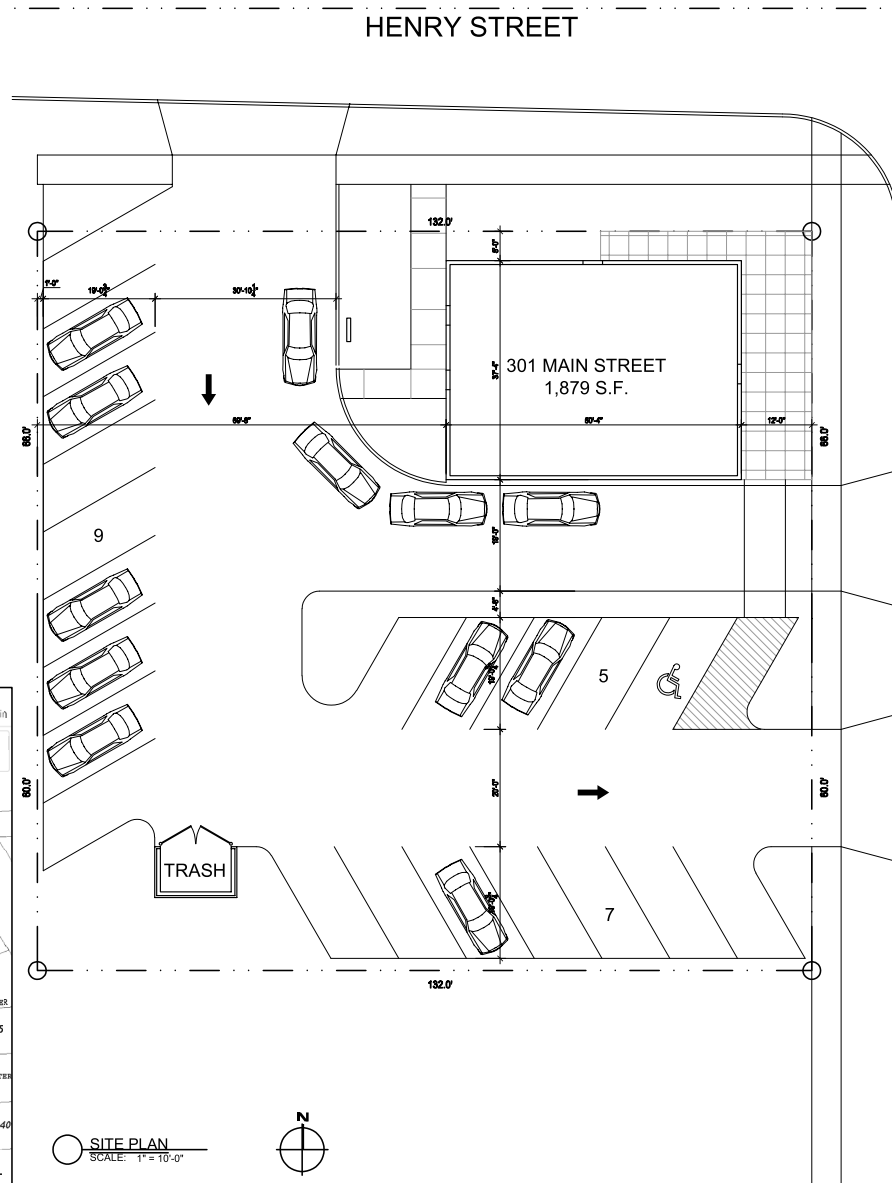
## SHEET

TITLE PAGE

G000



<b>SITE AREA:</b>		
-	APPROX. 16,832 S.F. (-/- VERIFY)	
<b>MAIN FLOOR:</b>		
-	1,727 S.F. Coffee Shop	
-	152 S.F. Shop	
-	1,879 S.F. Footprint	
<b>APARTMENTS:</b>		
-	(1) 780 S.F. +/- 1-Bedroom Unit	
-	(1) 887 S.F. +/- 1-Bedroom Unit	
<b>PARKING:</b>		
-	COFFEE SHOP 1/3 SEATS =	11 SPACES
-	1/EMPLOYEE =	3
-	APARTMENT 2 SPACES PER UNIT =	4
REQUIRED:		18 SPACES
PROVIDED:		21 SPACES



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## PROJECT

**ESPRESSO LOVE**  
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## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT	Bob Rowe
PROJECT MANAGER	X
PROJECT NUMBER	X
ISSUED FOR	REVIEW
DATE	03.30.2021

## SHEET

SITE PLAN

**A100**



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www.pure-arch.com

## PROJECT

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## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT PA

PROJECT MANAGER

PROJECT NUMBER 20109

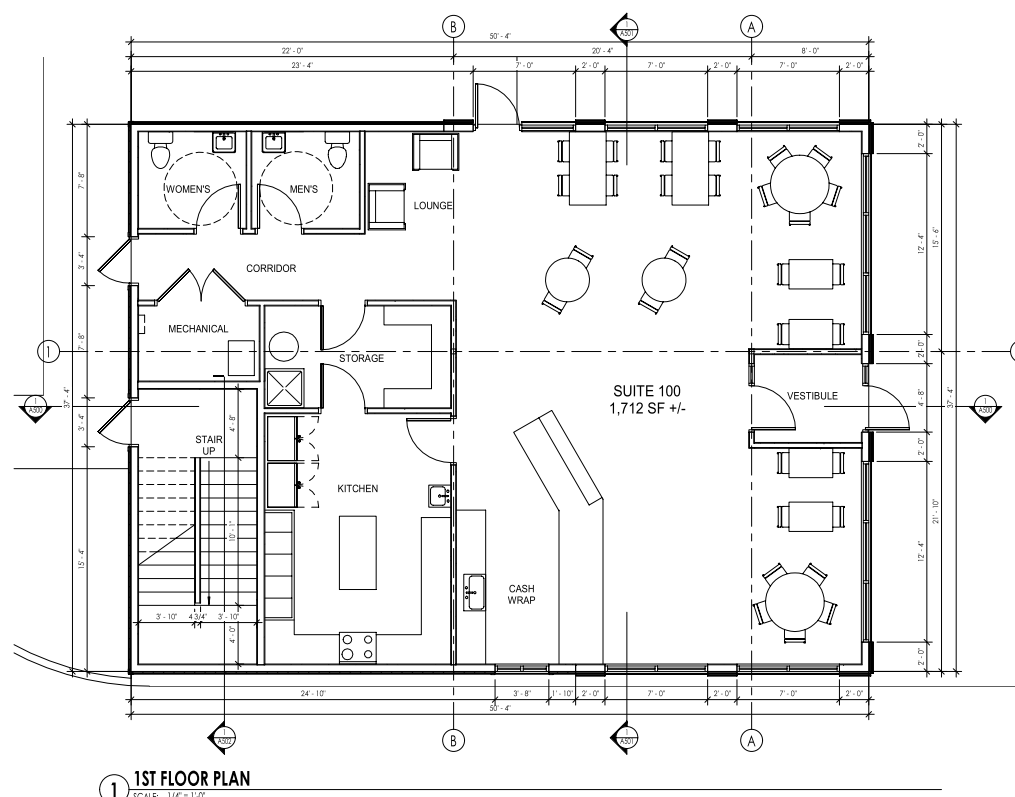
ISSUED FOR NOT FOR CONSTRUCTION

DATE 03.15.2021

## SHEET

1ST FLOOR PLAN

A101



1 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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Milwaukee, WI 53202  
www.pure-arch.com

## PROJECT

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COFFEE

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MUKWONAGO, WI 53149

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## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT PA

PROJECT MANAGER

PROJECT NUMBER 20109

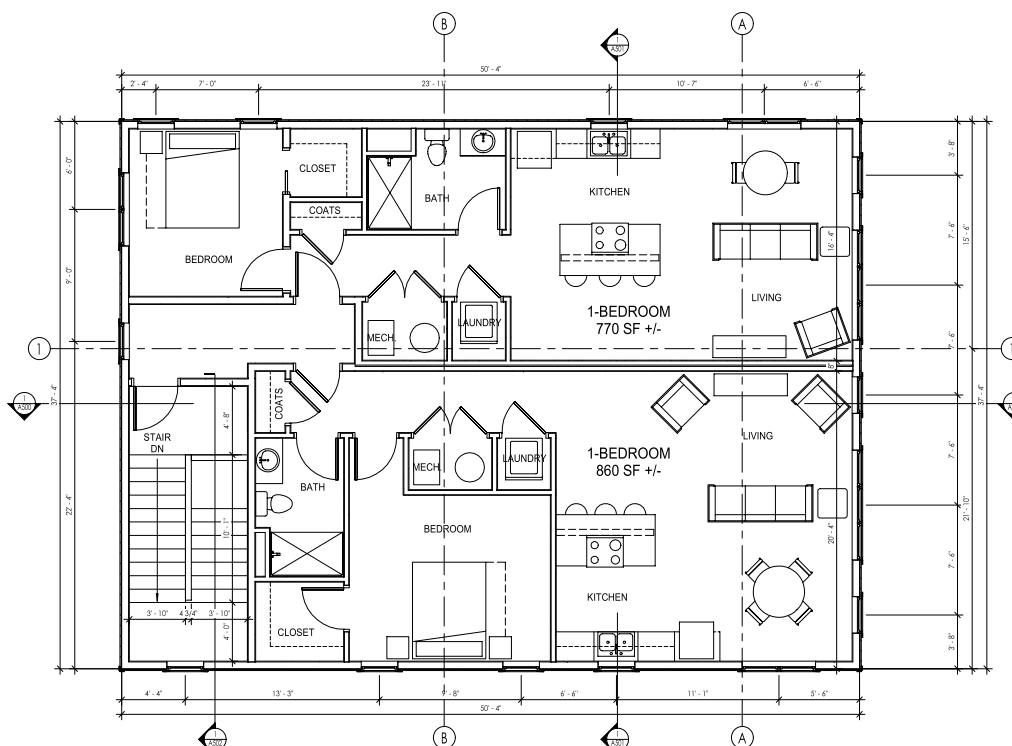
ISSUED FOR NOT FOR CONSTRUCTION

DATE 03.15.2021

## SHEET

2ND FLOOR PLAN

A102



1 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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Milwaukee, WI 53202  
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## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

## OWNER

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## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

## SHEET

BUILDING ELEVATIONS

A401



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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Milwaukee, WI 53202  
www.pure-arch.com

## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

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## REVISIONS

NO.	DESCRIPTION	DATE

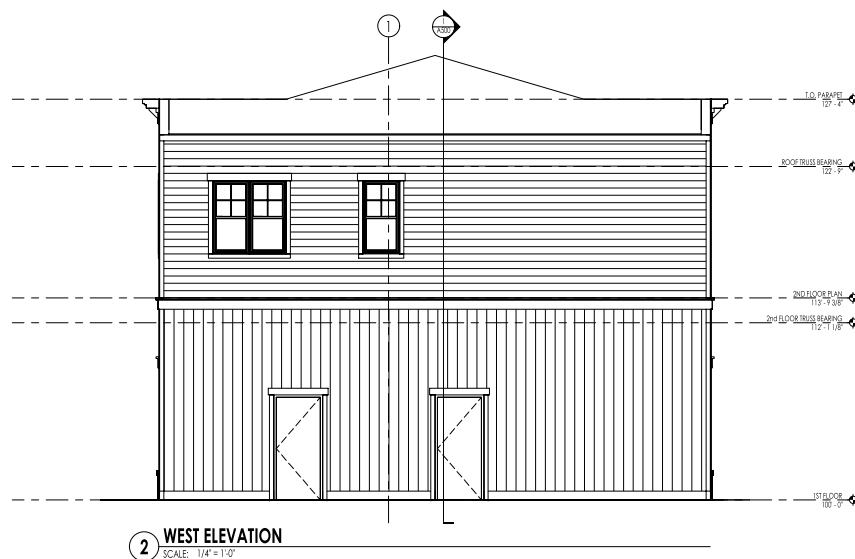
## INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

## SHEET

BUILDING ELEVATIONS

A402





PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

## OWNER

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its design/creator.

## REVISIONS

NO.	DESCRIPTION	DATE
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## INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

## SHEET

RENDERING

A403



① SOUTHEAST PERSPECTIVE  
SCALE





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Milwaukee, WI 53202  
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## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

## OWNER

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## REVISIONS

NO.	DESCRIPTION	DATE

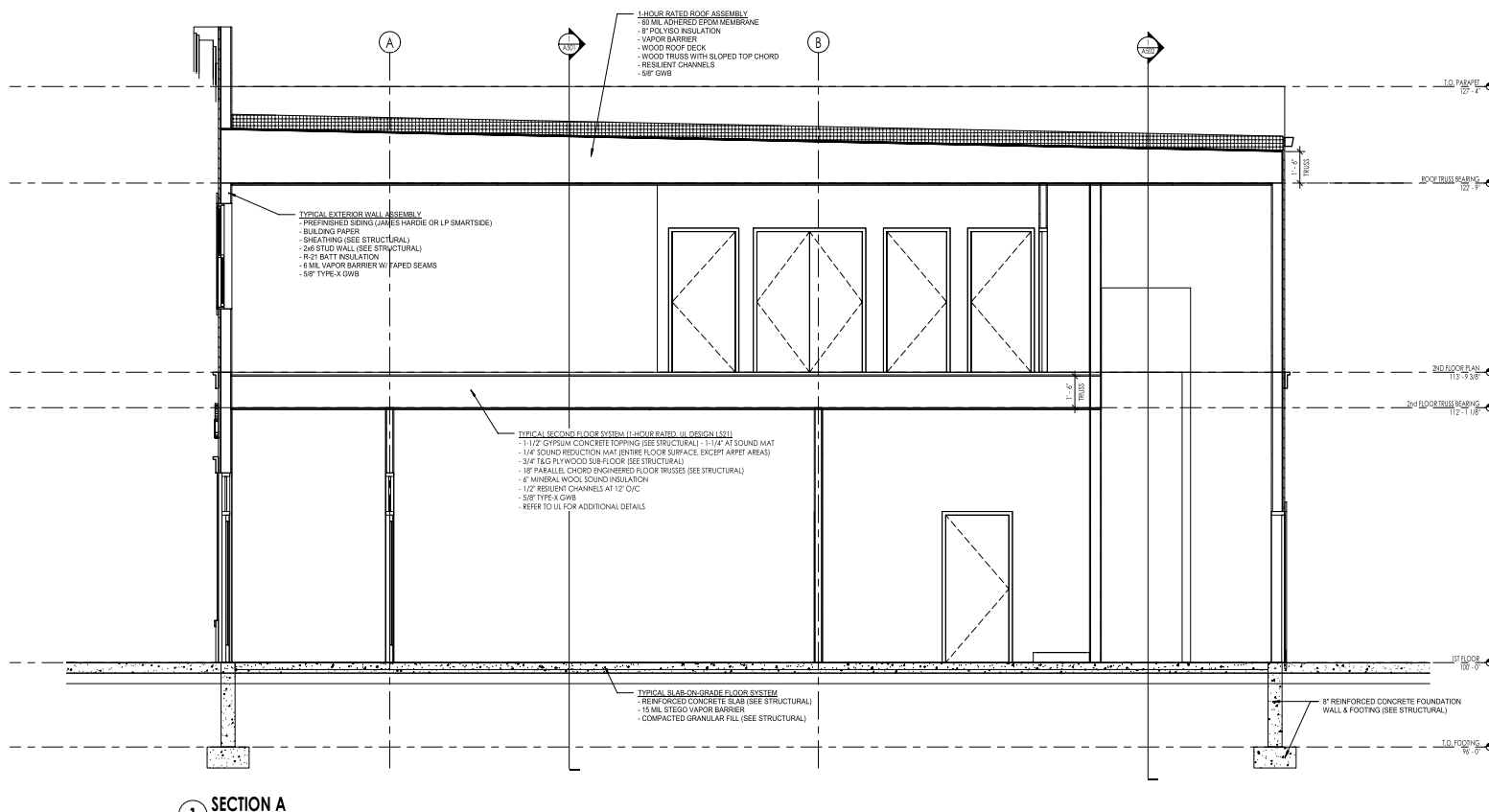
## INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

## SHEET

BUILDING SECTIONS

A500



1 SECTION A  
SCALE: 3/8" = 1'-0"



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Milwaukee, WI 53202  
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PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

OWNER

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REVISIONS

NO.	DESCRIPTION	DATE
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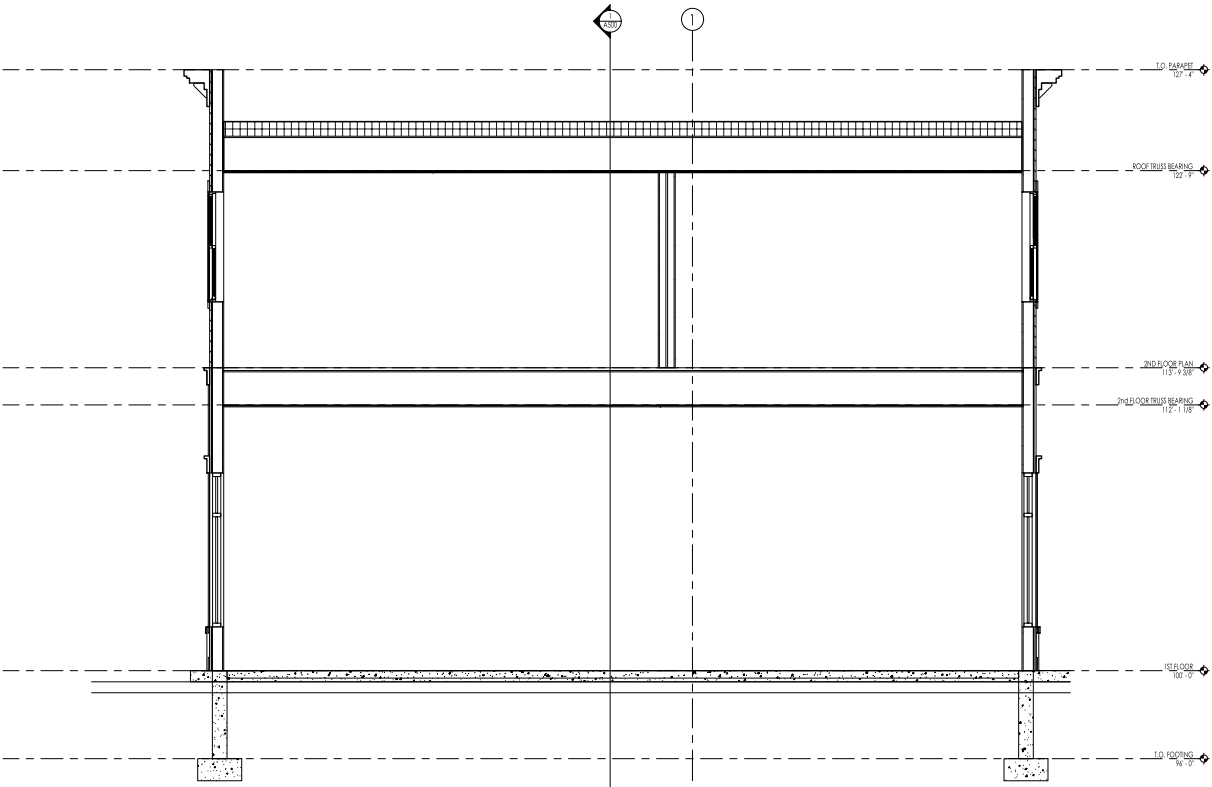
INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20109
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	03.15.2021

SHEET

BUILDING SECTIONS

A501



1 SECTION B  
SCALE: 3/8" = 1'-0"



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Milwaukee, WI 53202  
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## PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

## OWNER

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## REVISIONS

NO.	DESCRIPTION	DATE
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## INFORMATION

PROJECT ARCHITECT PA

PROJECT MANAGER

PROJECT NUMBER 20109

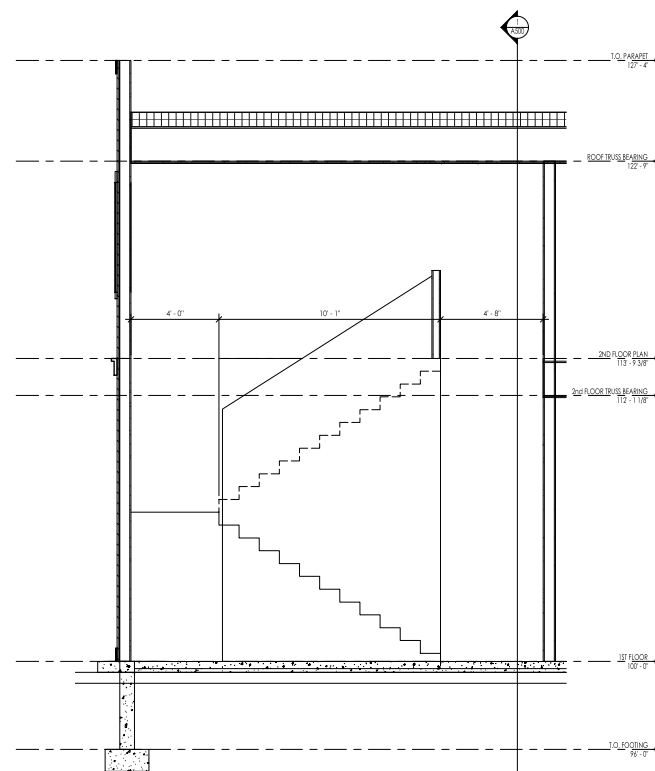
ISSUED FOR NOT FOR CONSTRUCTION

DATE 03.15.2021

## SHEET

BUILDING SECTIONS

A502



1 STAIR SECTION  
SCALE: 3/8" = 1'-0"





CLEAR 3/16"  
CLEAR 3/16"  
1" OA

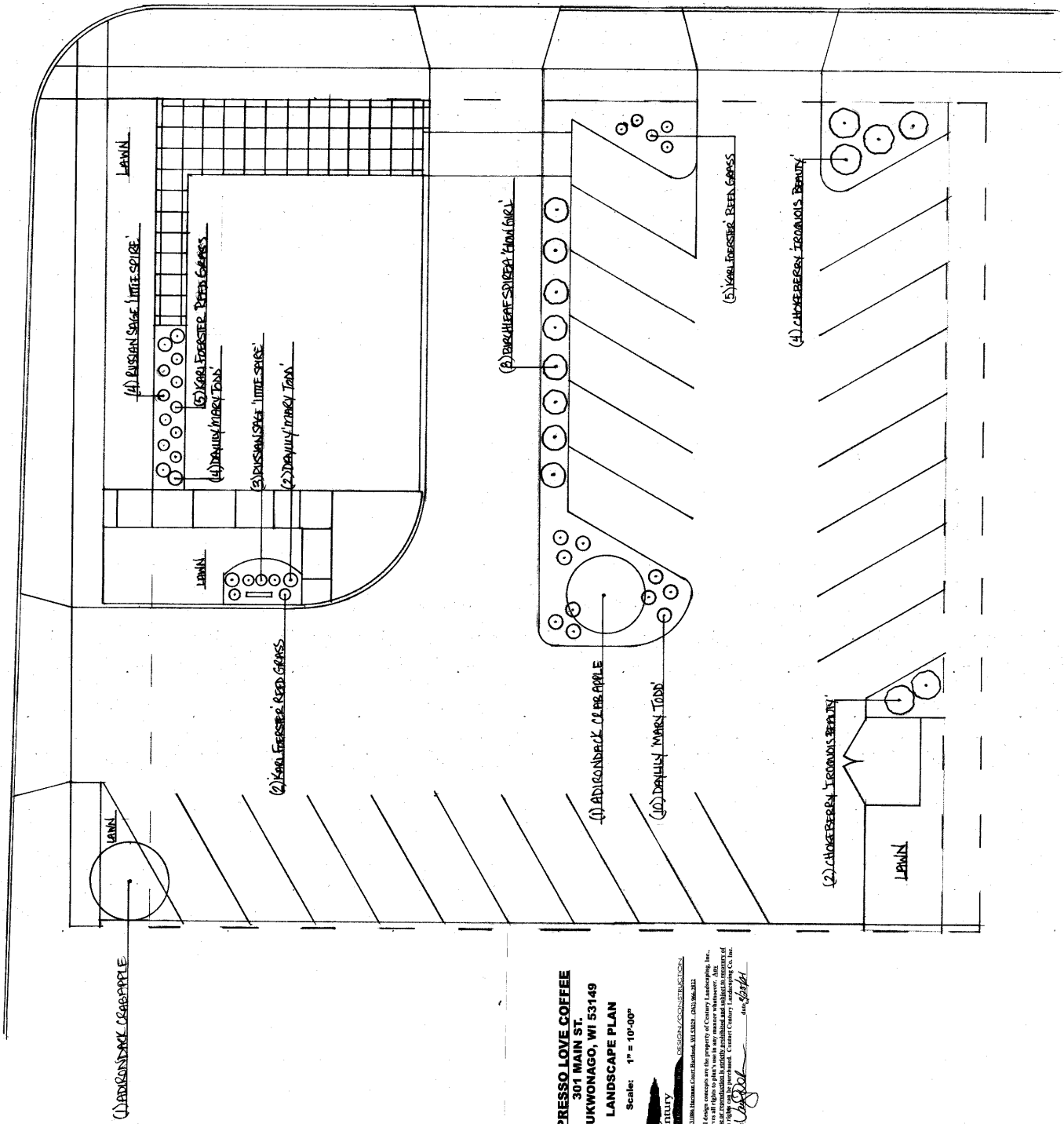
Espresso Love Coffee

#### Building Material Sample Board

1. LP Smartside – Rapid Blue – second floor siding
2. LP Smartside – Summit Blue – first floor siding
3. LP Smartside – Snowscape White – Trims
4. 1" clear insulated glass
5. Black anodized window and door frames.







**ESPRESSO LOVE COFFEE**  
 301 MAIN ST.  
 MUKWONAGO, WI 53149  
**LANDSCAPE PLAN**  
 Scale: 1" = 10'-00"

**Century**  
 LANDSCAPE ARCHITECTURE  
 2023 N. 10th Street, Suite 100, Mukwonago, WI 53149  
 This drawing and design concepts are the property of Century Landscaping, Inc. and are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Century Landscaping, Inc. All materials, plants, and products are to be provided by Century Landscaping Co., Inc.  
 Design Phase: *[Signature]* Date: *3/28/24*

**RESOLUTION 2021-38**  
**Village of Mukwonago Order Granting a**  
**Conditional Use and Prescribing Conditions for a**  
**Coffee shop and apartments for Espresso Love**  
**Coffee for 301 Main Street**

**WHEREAS, Elovecoffee LLC DBA Espresso Love Coffee** (hereinafter "property owner") owns the property identified as 301 Main Street (hereinafter "subject property") in the Village of Mukwonago, more particularly described as follows:

LOT 1 & PT LOT 4 EX SLY 6 FT BLK 16 ORIGINAL PLAT  
PT SE1/4 SEC 26 T5N R18E

**WHEREAS**, the property owner and future purchaser has, consistent with the Village of Mukwonago's zoning regulations, submitted a conditional use application for a drive-through coffee shop with two apartments, with a permitted or conditional use,

**WHEREAS**, upon receipt of the petition submitted by the property owner and future purchaser, the Village Clerk properly referred such petition to the Plan Commission; and

**WHEREAS**, allowing for required public notice, the Plan Commission conducted a public hearing on May 19<sup>th</sup>, 2021 to consider the petitioner's request; and

**WHEREAS**, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner's request; and

**WHEREAS**, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

**WHEREAS**, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner and future purchaser has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

**Return to:**

Diana Dykstra, Clerk-Treasurer  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

**Parcel Number:** MUKV 1976-128



**WHEREAS**, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

**NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:**

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a secondhand store as set forth herein and as specified in the Village's zoning code.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
  - a. The property owner must submit site/architectural plans to the Village for review and obtain approval of the same within 9 months of the date of this decision.
  - b. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
  - c. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) through 3(b) have been satisfied).

In the event the requirements enumerated in subsections 3(a) and 3(b) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
  - a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
  - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
  - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
  - d. Potable water and sanitation must be provided and maintained.
  - e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
  - f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
  - g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of

Wisconsin.

- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. The front of the dumpster enclosure shall not be blocked by vehicles or other items.
- k. No vehicles shall block the sidewalks at entrances or exists at any time.
- l. The drive-thru area shall be cleaned as needed and cleaned upon any spill from drive thru service.
- m. Compliance with all conditions with the Site Plan and Architectural Review (SPAR) resolution.
- n. Mondays-Fridays, 5 a.m. - 5 p.m. and 6 a.m. - 4 p.m. on weekends. Our plan is to operate the drive through within the scope of those hours.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and

effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 19<sup>th</sup> day of May, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

---

Fred Winchowky, Village President

Attest:

---

Diana Dykstra, Village Clerk

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this \_\_\_\_ day of \_\_\_\_\_ 2021, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 19th day of May, 2021.

---

NOTARY PUBLIC

---

My Commission Expires:

The remainder of this page left intentionally blank

**Acceptance by Property Owner**

I, David A. Stockwell, verify that I am an authorized agent for **Elovecoffee LLC DBA Espresso Love Coffee** accepts the terms stated herein.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
David A. Stockwell, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, the above-named person, David A. Stockwell to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
My Commission Expires:

Drafted by John S. Fellows, AICP, Planner, at the direction of the Mukwonago Village Board.



**RESOLUTION 2021- 39**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW  
FOR ESPRESSO LOVE COFFEE, APPLICANT  
at 301 Main Street, MUKV 1976-128**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for a drive-through facility, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the VILLAGE OF MUKWONAGO

**WHEREAS**, Restaurants with drive thru facilities are within the B-2/ Village Center Multi-Purpose Overlay in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for structures within a public park at 301 Main Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities. Final Plans shall be submitted, reviewed, and approved by Ruekert-Mielke prior to the pre-construction meeting.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain

unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.

10. Plans must allow for a WB-50 vehicle to access the site.
11. A dedicated hydrant for FDC and suppression system must be provided.
12. All lighting within the parking lot and building lighting shall be full cut off lighting. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
13. The applicant shall apply for and receiving approval for all new signage.
14. Final plans for Stormwater, Water, Sewer, Hydrants, and erosion control must be submitted, reviewed, and approved by the Village Engineer prior to submission of any building permits and preconstruction meeting.
15. The existing water serviced they are using was a new 1¼" HPDE water service into the property line about 4 years ago and is good to use. The sanitary sewer lateral will have to be supplied to Utilities to prove its condition before it can be reused. Any utilities not being reused will have to be capped at main.
16. Entrance only/exit only signs at the entrance and exit shall be provided. A sign on each side of the drive, facing the street. Two entrance only signs at Henry Street and two exit only signs at Main Street. They should also have exit only signs at the drive through exit on Main Street. All signs shall be reviewed and approved, and permits issued by staff prior to installation.
17. Fire Need WB-50 template run. State to determine if suppression is needed by occupancy number. KNOX Box.
18. The Henry Street driveway will need to be modified to 24 feet to meet village standards. Staff recommends these revisions occur prior to submission of any permits, Revisions will be required to be reviewed and approved by Fire, Public Works, Engineering, and Planning.
19. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.
20. Two additional trees be planted on site within the panting islands adjacent to main street. Such shade trees shall have a columnar upright pattern to allow for visibility under the trees for turning movements out of the drives. In addition, one additional shade tree to be planted at the rear of the building between the drive and the sidewalk. This will bring the total number of on-site trees to five. The additional seven trees be planted within the right of way of Henry and Main. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.
21. Revisions to the landscaping plan along Main Street shall occur to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works and Community Planner.
22. Details with regard to the trash enclosure shall be provided prior to submission of permits. The enclosure shall meet the requirements of section 100-152 (g). Since the building is not proposed to have masonry staff the enclosure shall have a standard brick veneer for the outward facing walls of the structure.
23. The exiting fence shall be repaired and maintained and both sides of the fence shall be stained a natural color to allow for existing and new wood to blend together.
24. The lighting poles shall be a Lumec Shepherds Crook style pole and arm with a Lumec Bell Shaped fixture with full cut off and LED light. Plans and specifications shall be reviewed by staff prior to permitting.
25. A bike rack shall be provided on the property near Henry Street.

Village of Mukwonago  
Walworth and Waukesha Counties, State of Wisconsin

26. The Planning Commission grants approval to allow for 0% of masonry to allow for this building to blend into the unique context of the Village Center area.
27. The Planning Commission grants approval for a third drive, pending approval from Waukesha County Highway Department allowing two (2) access points on Main Street.
28. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19<sup>th</sup> day of May 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

May 11, 2021 at 6:30pm  
Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

827 S Rochester Street  
Parcel Number: MUKV 2009-998-003

## Case Summary

### Parcel Data

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Proposal:	Restaurant with Drive Through
Applicant:	Mark Sykes / Sykes Foods, LLC
Request:	Site Plan and Architectural Review Conditional Use Permit for drive through
Staff Recommendation:	Approve with Conditions
Planning Commission Recommendation:	Pending

### Parcel Characteristics / Conditions

---

Acreage:	1.4798
Current Use:	Vacant Commercial Tenant Space
Proposed Use:	Restaurant with Drive Through
Reason for Request:	Drive Through / Building Modifications
Land Use Classification:	Low Intensity Commercial / Business
Zoning Classification:	B-2 General Business District
Census Tract:	2039.01

### Public Notice

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A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

### Site Plan and Architectural Review Request

---

<b>Architectural/ Site Review</b>	Sykes Foods, LLC is requesting approval for building modifications and a conditional use related to a proposed restaurant with drive through. The exterior modifications will consist of replacing one window element within the exiting window system of the old bank to be a slide window to accommodate a drive through facility. The restaurant will use the lane closest to the building while the other lanes will remain unused.
-----------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

The modifications to the window will match with regard to material and color.

<b>Site Modifications</b>	No site modifications will be made at this time. A circulation diagram showing the circulation of the site with regard to the new drive through is attached as an exhibit.
<b>Utilities</b>	No modifications at this time.
<b>Stormwater Management</b>	No modifications at this time.
<b>Wetlands</b>	None
<b>Signage</b>	Will be reviewed by staff per ordinance. Signage on plans is for illustrative purposes and has not been reviewed for compliance.
<b>Parking</b>	No modifications at this time.
<b>Landscaping</b>	No modifications at this time.
<b>Trash Enclosure</b>	No modifications at this time.
<b>Fencing</b>	No modifications at this time.
<b>Outdoor Lighting</b>	No modifications at this time.
<b>Misc. Performance Standards</b>	None

#### **Staff Review**

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<b>Engineering</b>	Approve
<b>Public Works</b>	Approve
<b>Utilities</b>	Approve
<b>Police</b>	Approve
<b>Fire</b>	Approve
<b>Building Inspection</b>	Approve
<b>Planning</b>	Approve

#### **Conditional Use Request**

---

##### **About the Business:**

Sykes Foods, LLC is a family owned business with Subway restaurants in Wales, Mukwonago and Waukesha (Delafield Street) Our current location at 103 Lake Street does not have the ability for a drive-thru facility. We are seeking to relocate to the vacant bank location on S. Rochester.

##### **Harmony with Village policies, ordinances, and programs**

*Subway has been operating restaurant in Mukwonago for decades, providing a quality fresh food alternative to the community. Additionally, it has been and will be an employment*

*opportunity for local youth and adults. Skykes foods, subway has supported local charity and fund-raising events and the Chamber of Commerce.*

**Specific Location within harmony with Village polices, ordinances and programs**

*Our subway drive thru location is a relocation to a more accessible faculty including easy on off from both Hwy 83 and interstate 43. The location is historically a drive through business situated in a contiguous retail outlet area.*

**Potential Adverse Impact on surrounding:**

*The current facility footprint is already developed as a drive thru business. Subways buildout will only rebrand the business location and not change the physical structure other than one window. This should not cause adverse impact on traffic flow, parking, environment, and neighborhood character.*

**Maintaining consistency within the environs of the property:**

*Subway's Operation in this location will revitalize the business environment and have little to no affect on the surrounding environs.*

**Adequate Services**

*The business location is already developed with all supporting utilities and services. There will be no anticipated additions of services to support this location.*

**Benefits of the use outweigh adverse impacts.**

*Yes, the benefits will outweigh the adverse impacts in light of the COVICD pandemic, having a contextless Drive -through operation will provide customers additional safe option for dinning out.*

**Hours of Operation:**

*Hours of operation would be 9am to 9pm daily*

**Conditional Use Process / Findings**

---

Review procedures The Plan Commission holds the public hearing and makes a recommendation to the Village Board which makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are



already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.

3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

## **Recommendation**

---

### **Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.

5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. The applicant applies for and receiving approval for all new signage.
10. The only exterior modification to the structure at this time shall be removing one window section to create a sliding window for the drive-thru.
11. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

#### Conditional Use

Staff Recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in Resolution 2021-XX

To – Grant a Conditional Use permit for a Restaurant with drive-thru to the following on going conditions deemed necessary to protect the health, safety, and welfare

1. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
  - a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
  - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
  - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
  - d. Potable water and sanitation must be provided and maintained.
  - e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
  - f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
  - g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
  - h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
  - i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
  - j. Signage shall be applied for and approved by the Village prior to installation.
  - k. The drive-thru shall be maintaining in a neat and orderly manner at all times.
  - l. Drive-thru and restaurant hours shall be from 9am to 9pm daily.

and determining that the conditions are consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

#### Attachments

---

1. Maps
2. Plans
3. Resolution 2021-XX for approval of a Conditional Use
4. Resolution 2021-XX for approval of the Site Plan and Architectural Review



Village of Mukwonago GIS  
Subway - CU - SPAR -Aerial Photograph

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

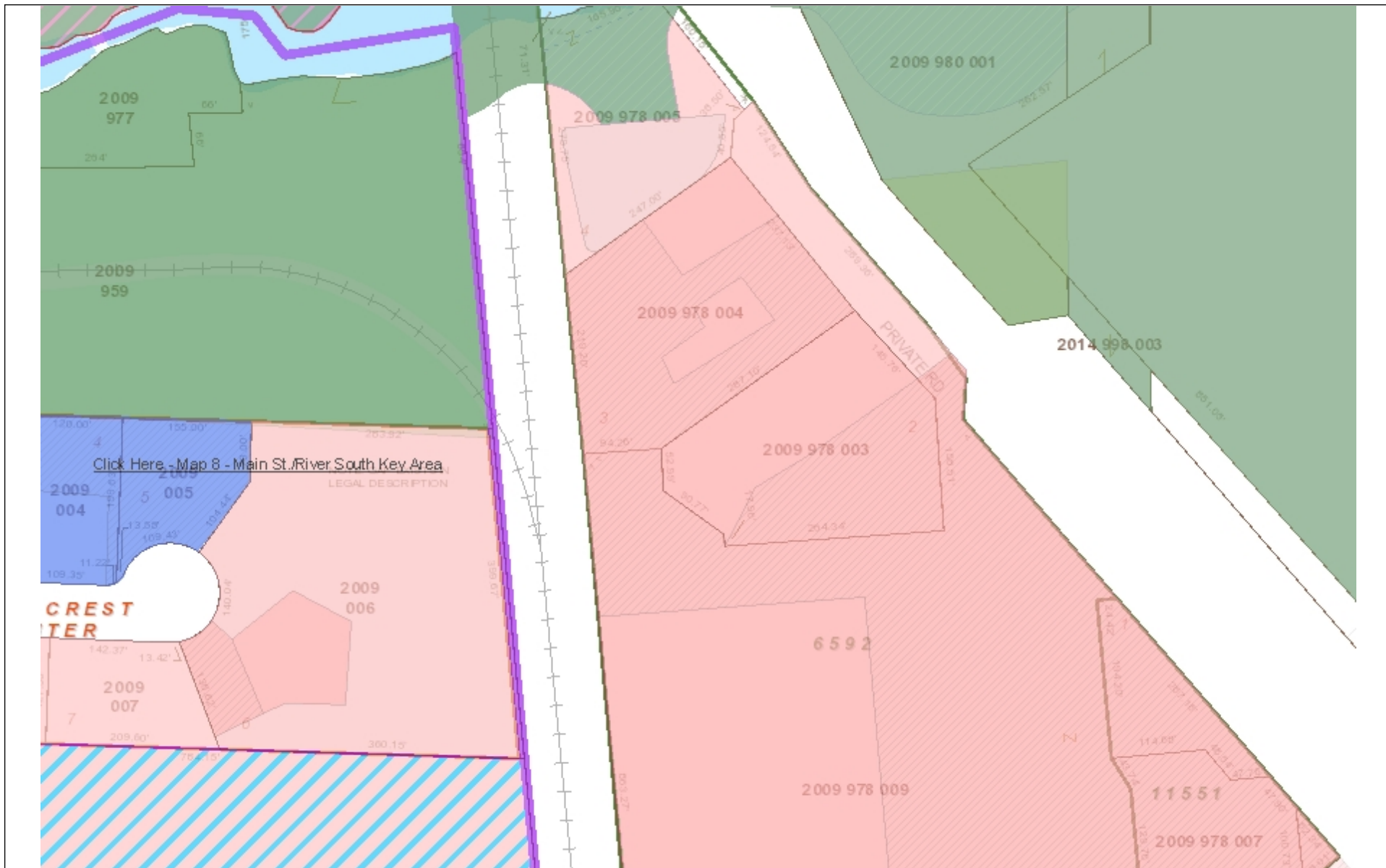


SCALE: 1" = 167'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/4/2021





# Village of Mukwonago GIS Subway - CU - SPAR - Land Use

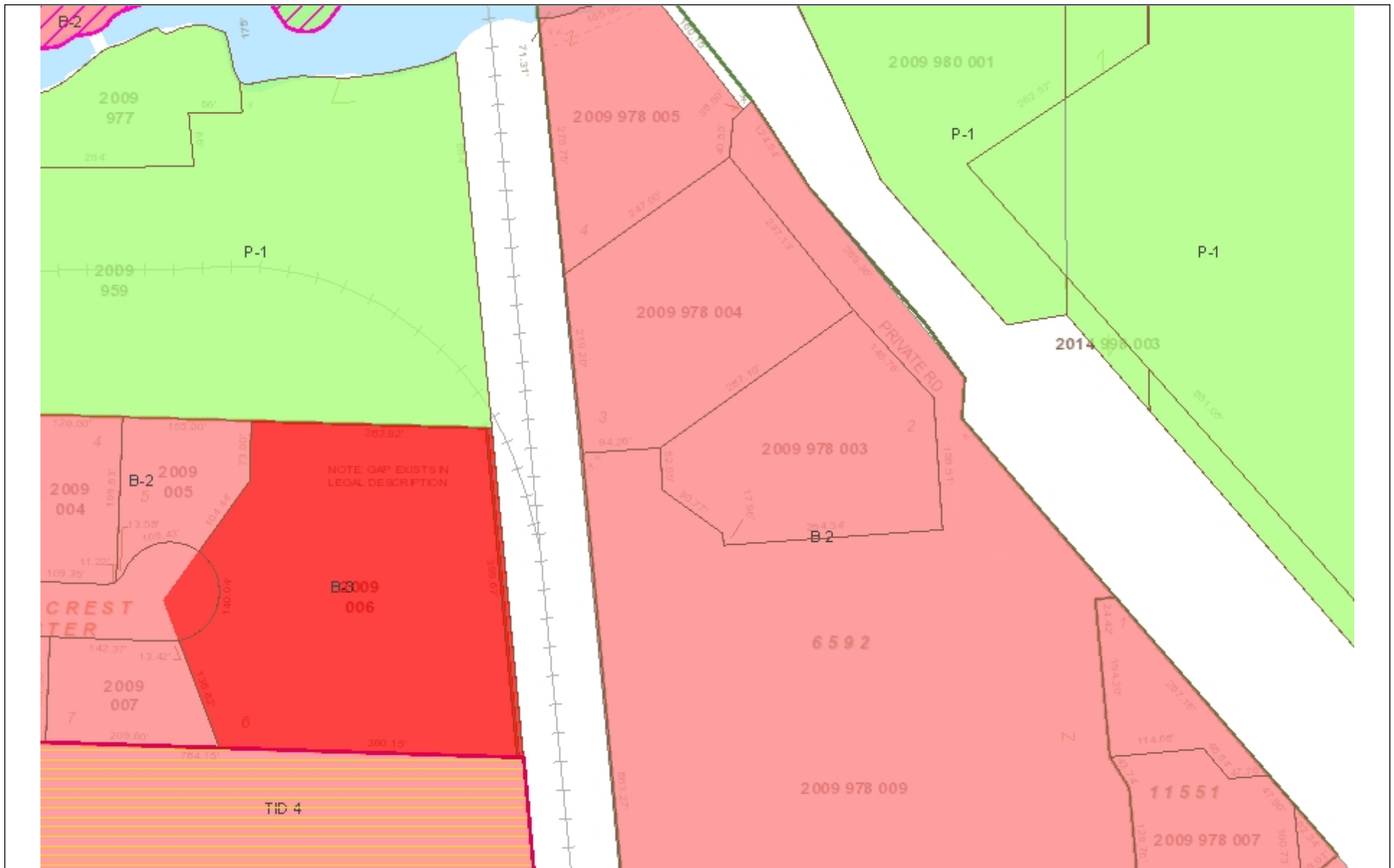
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## Village of Mukwonago GIS

### Subway - CU - SPAR - Zoning

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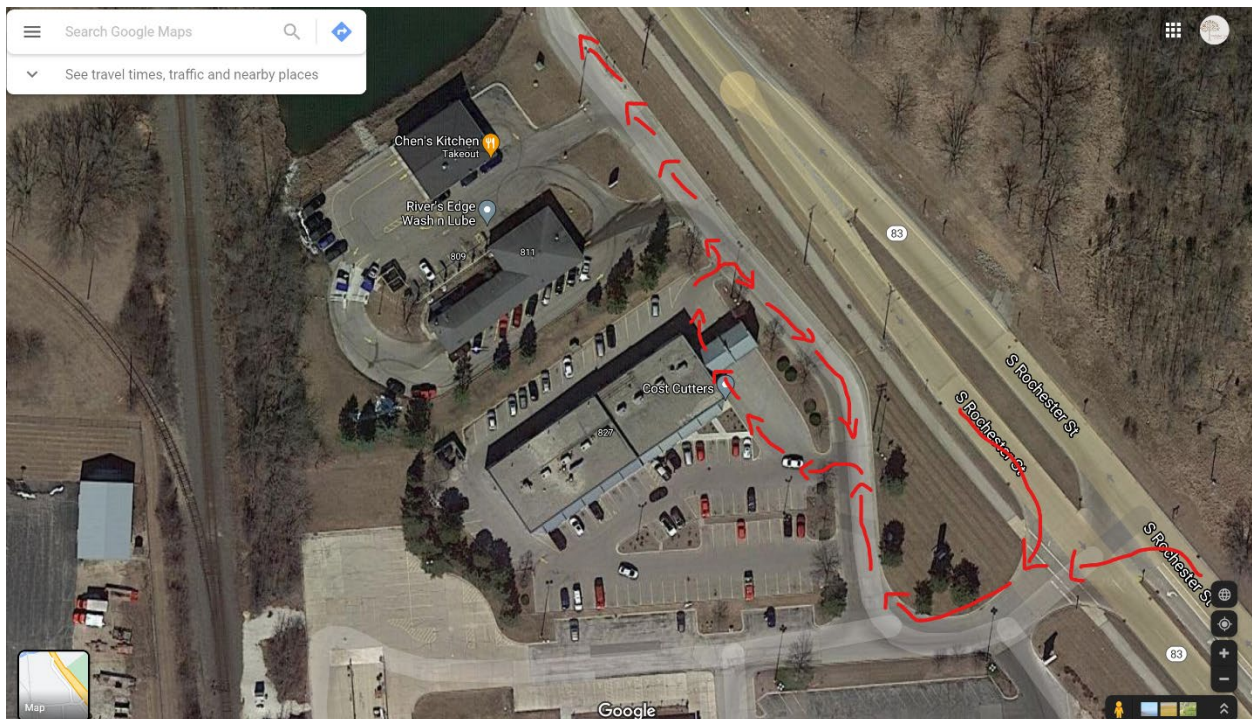
1504 David Lane  
Waukesha, WI 53189

Tuesday, May 4, 2021

To Whom it Concerns.

Please note below the drive thru flow and plan for the new Subway location at 827 S. Rochester Street, Suite 104, Mukwonago, WI 53183. The diagram indicates the flow of traffic into and out of the drive thru location off the main thorough fare on South Rochester Street. The traffic flows into the parking lot at the east end of the strip mall and exits out the north side of the structure and follows the traffic patterns of the frontage road immediately to the east of the drive thru window lane.

There will be only one lane utilized for the drive thru business and the measurement of the distance from the pickup window to the edge of the parking lot indicates that 8 cars could stack in the lane.



Please consider this diagram and plan for the new location at 827 S. Rochester Street. Let me know if there are any questions.

Respectfully,

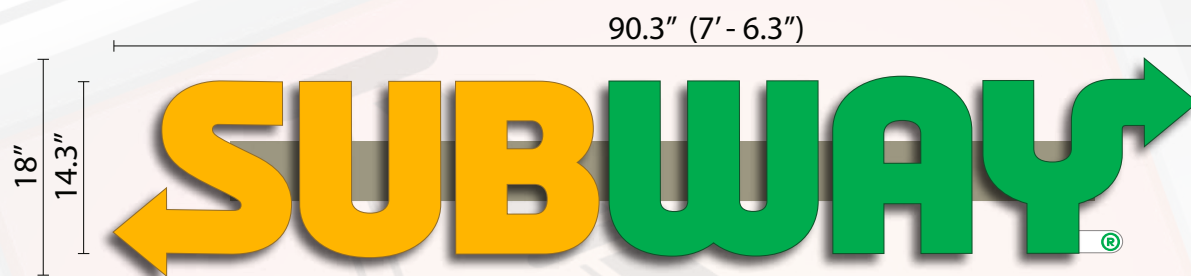
Mark Sykes, President  
Sykes Foods



2500 South 170th  
New Berlin, Wisconsin  
*Proudly Made in the USA!*

Web: [www.bauersignusa.com](http://www.bauersignusa.com)  
Phone: 262-784-0500  
Fax: 262-787-6675

File	Subway
Location	Mukwonago, S. Rochester St.
Client	Mark Sykes
Sales rep	Paul Butler
Date	cb 05/03/21
Revision	



Square Footage: 11.3 sq ft.

*3/4" scale*

"®" to be 3630-156 Vivid Green vinyl decal on clear polycarbonate placard attached to letter back



Existing Channels (103 Lake St.)

Subway *MUKWONAGO, Rochester St.*  
channel letters  
take down from existing location  
repaint raceway to match new facade and install



Moved to new location (827 S. Rochester St. Suite 104)

Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

These drawings are the exclusive property of Bauer Sign Company. Not to be duplicated in any way without expressed written permission!

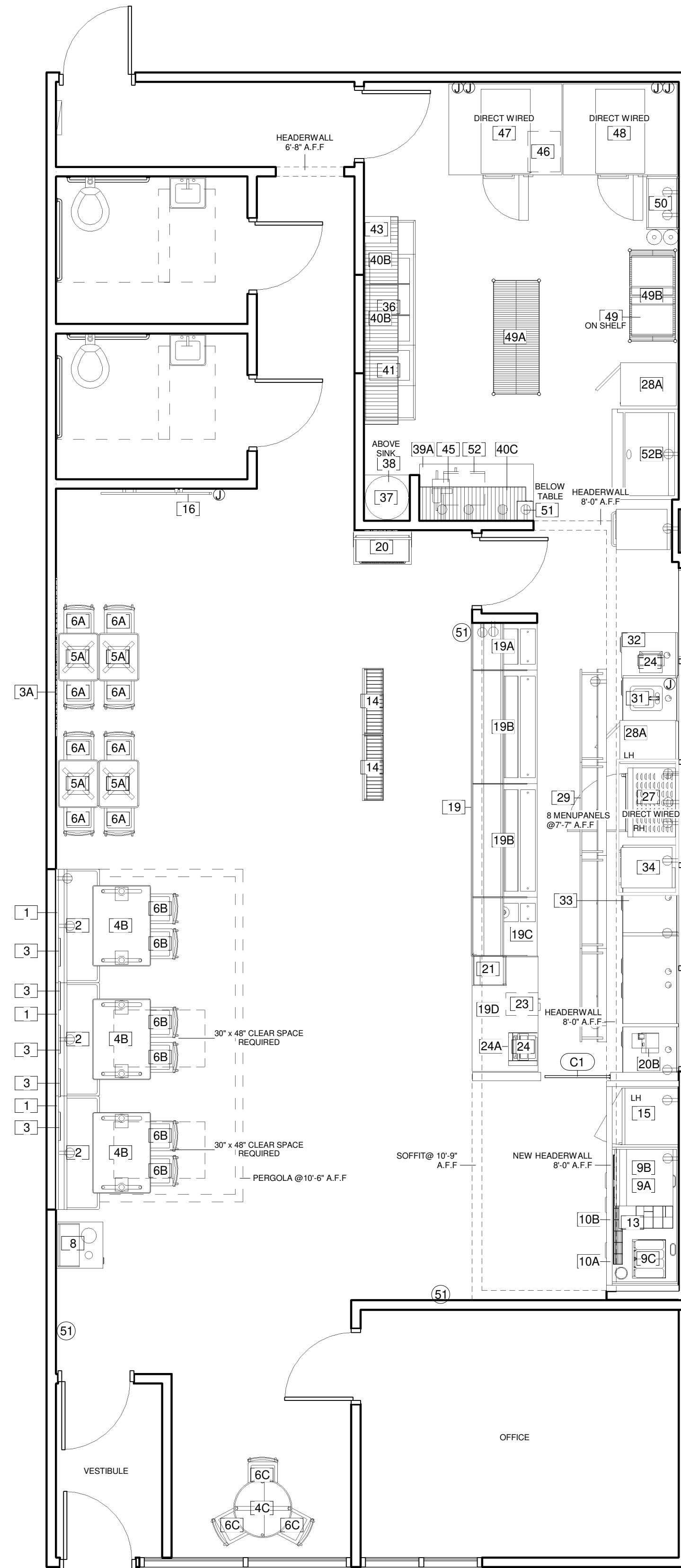
**FINAL ELECTRICAL  
CONNECTION IS CLIENT'S  
RESPONSIBILITY**



our products are certified by:  
Underwriters Laboratories, Inc.

This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Label.

Scale: 3/4" = 1' - 163







**RESOLUTION 2021-40**

**Village of Mukwonago Order Granting a Conditional  
Use and Prescribing Conditions for a Drive-Thru  
Restaurant for Mark Sykes / Sykes Foods, LLC for 827 S  
Rochester Street, Mukwonago, WI**

WHEREAS, **JENTZSCH-BARRETTE PROPERTIES** (hereinafter “property owner”) owns the property identified as 827 S Rochester Street, (hereinafter “subject property”) in the Village of Mukwonago, more particularly described as follows:

PARCEL 2 CERT SURV 6592 VOL 55/1 REC AS DOC# 1683246 PT NE1/4 SEC 35 & NW1/4 SEC 36 T5N R18E :: INCLUDING ACCESS EASEMENT TO STH 83 AS SHOWN ON CERT SURV 6592 :: R1410/346

WHEREAS, **MARK SYKES / SYKES FOODS, LLC** (hereinafter “future purchaser”) plans to purchase the property identified as 827 S Rochester Street (hereinafter “subject property”) in the Village of Mukwonago, more particularly described as follows:

PARCEL 2 CERT SURV 6592 VOL 55/1 REC AS DOC# 1683246 PT NE1/4 SEC 35 & NW1/4 SEC 36 T5N R18E :: INCLUDING ACCESS EASEMENT TO STH 83 AS SHOWN ON CERT SURV 6592 :: R1410/346

WHEREAS, the property owner and future purchaser has, consistent with the Village of Mukwonago’s zoning regulations, submitted a conditional use application for a drive-thru, and

WHEREAS, upon receipt of the petition submitted by the property owner and future purchaser, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on April 13, 2021 to consider the petitioner’s request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner’s request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago’s zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.

**Return to:**

Diana Dykstra, Clerk-Treasurer  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

**Parcel Number:** MUKV 2009-998-003

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner and future purchaser has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a secondhand store as set forth herein and as specified in the Village's zoning code.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
  - a. The property owner must submit site/architectural plans to the Village for review and obtain approval of the same within 9 months of the date of this decision.
  - b. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
  - c. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) through 3(b) have been satisfied).

In the event the requirements enumerated in subsections 3(a) and 3(b) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
  - a) The authorized use shall not be conducted in such a way so as to exceed on-site parking.
  - b) The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
  - c) The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
  - d) Potable water and sanitation must be provided and maintained.
  - e) The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising



existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.

- f) The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County and Village of Mukwonago.
- g) All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h) The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i) The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j) Signage shall be applied for and approved by the Village prior to installation.
- k) The drive-thru shall be maintaining in a neat and orderly manner at all times.
- l) Drive-thru and restaurant hours shall be from 9am to 9pm daily.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 19<sup>th</sup> day of May, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

---

Fred Winchowky, Village President

Attest:

---

Diana Dykstra, Village Clerk

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this \_\_\_\_ day of \_\_\_\_\_ 2021, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 19<sup>th</sup> day of May, 2021.

---

NOTARY PUBLIC

---

My Commission Expires:

The remainder of this page left intentionally blank

---

**Acceptance by Property Owner**

I, Ulrich Jentsch verify that I am an authorized agent for **JENTZSCH-BARRETTE PROPERTIES** accepts the terms stated herein.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

---

Ulrich Jentsch, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2021, the above-named person, Ulrich Jentsch to me known to be the person who executed the foregoing instrument and acknowledged the same.

---

NOTARY PUBLIC

---

My Commission Expires:

**Acceptance by Future Purchaser**

I, Mark Sykes verify that I am an authorized agent for Sykes Foods, LLC accepts the terms stated herein.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

---

Mark Sykes, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2021, the above-named person, Mark Sykes to me known to be the person who executed the foregoing instrument and acknowledged the same.

---

NOTARY PUBLIC

---

My Commission Expires:

Drafted by John S. Fellows, AICP, Planner, at the direction of the Mukwonago Village Board.

**RESOLUTION 2021- 41**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW  
FOR MARK SYKES / SYKES FOODS, LLC, APPLICANT;  
827 S ROCHESTER STREET  
MUKV 2009-998-003**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for building modifications which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the Mark Sykes / Sykes Foods, LLC

**WHEREAS**, Drive-thru restaurants are permitted within the B-2 General Business District with a conditional use in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for a structure located at 827 S Rochester Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. The applicant applies for and receiving approval for all new signage.
10. The only exterior modification to the structure at this time shall be removing one window section to create a sliding window for the drive-thru.



Village of Mukwonago  
Walworth and Waukesha Counties, State of Wisconsin

11. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19<sup>th</sup> day of May 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

May 11, 2021 at 6:30pm  
Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW

211 Fox Street  
Parcel Number: MUKV 1973-951-001

## Case Summary

### Parcel Data

---

Proposal:	Roof, Paint, Railing
Applicant:	Robert G Kokott / Lakeland Property Management
Request:	Site Plan and Architectural Review
Staff Recommendation:	Approve with Conditions
Planning Commission Recommendation:	Pending

### Parcel Characteristics / Conditions

---

Acreage:	0.145
Current Use:	Triplex
Proposed Use:	Triplex
Reason for Request:	New Roof, New Paint, New Porch Railing
Land Use Classification:	Historic Residential
Zoning Classification:	R-3 Single Family / Duplex Residential District / Village Center Overlay
Census Tract:	2039.02

---

### Architectural/ Site Review

The applicant is requesting to re-roof the structure with an architectural asphalt shingle in a Brownwood color. The applicant is requesting to paint the building Sanderling with white trim. In addition, the applicant is requesting to install a new wood railing with square spindles.

**Site Modifications**

No Modifications proposed at this time

**Staff Review**

---

<b>Engineering</b>	Recommend Approval
<b>Public Works</b>	Recommend Approval
<b>Utilities</b>	Recommend Approval
<b>Police</b>	Recommend Approval
<b>Fire</b>	Recommend Approval
<b>Building Inspection</b>	Recommend Approval
<b>Planning</b>	Recommend Approval

**Recommendation**

---

**Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village Planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer shall comply with all parts of the Municipal Code as it relates to this project.
7. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**Attachments**

---

1. Maps
2. Plans
3. Resolution 2021-XX for approval of a Conditional Use
4. Resolution 2021-XX for approval of the Site Plan and Architectural Review



Village of Mukwonago GIS  
Lakeland Property Management - Aerial Map

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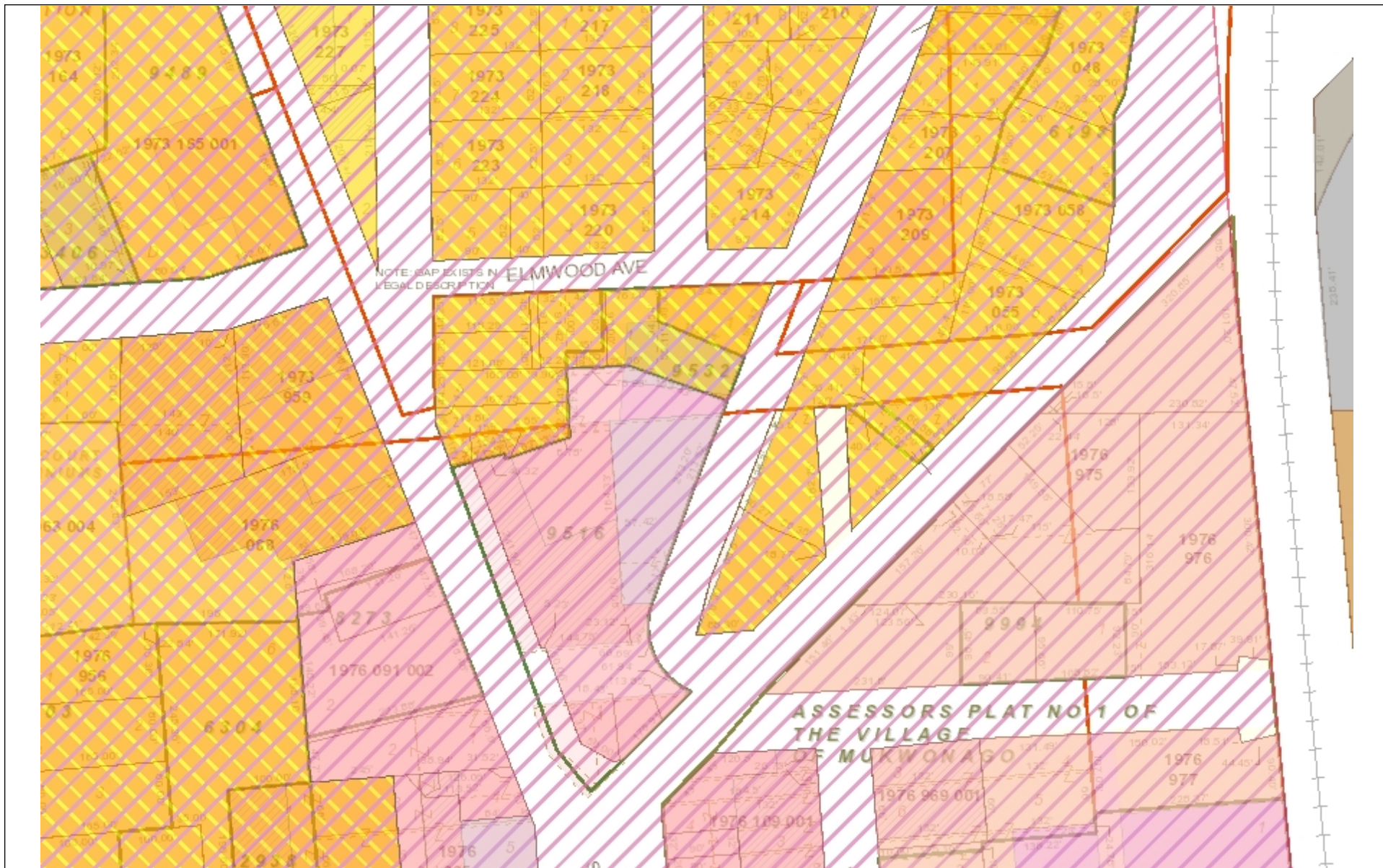


SCALE: 1" = 167'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
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262-363-6420

Print Date: 5/4/2021





Village of Mukwonago GIS  
Lakeland Property Management - Land Use

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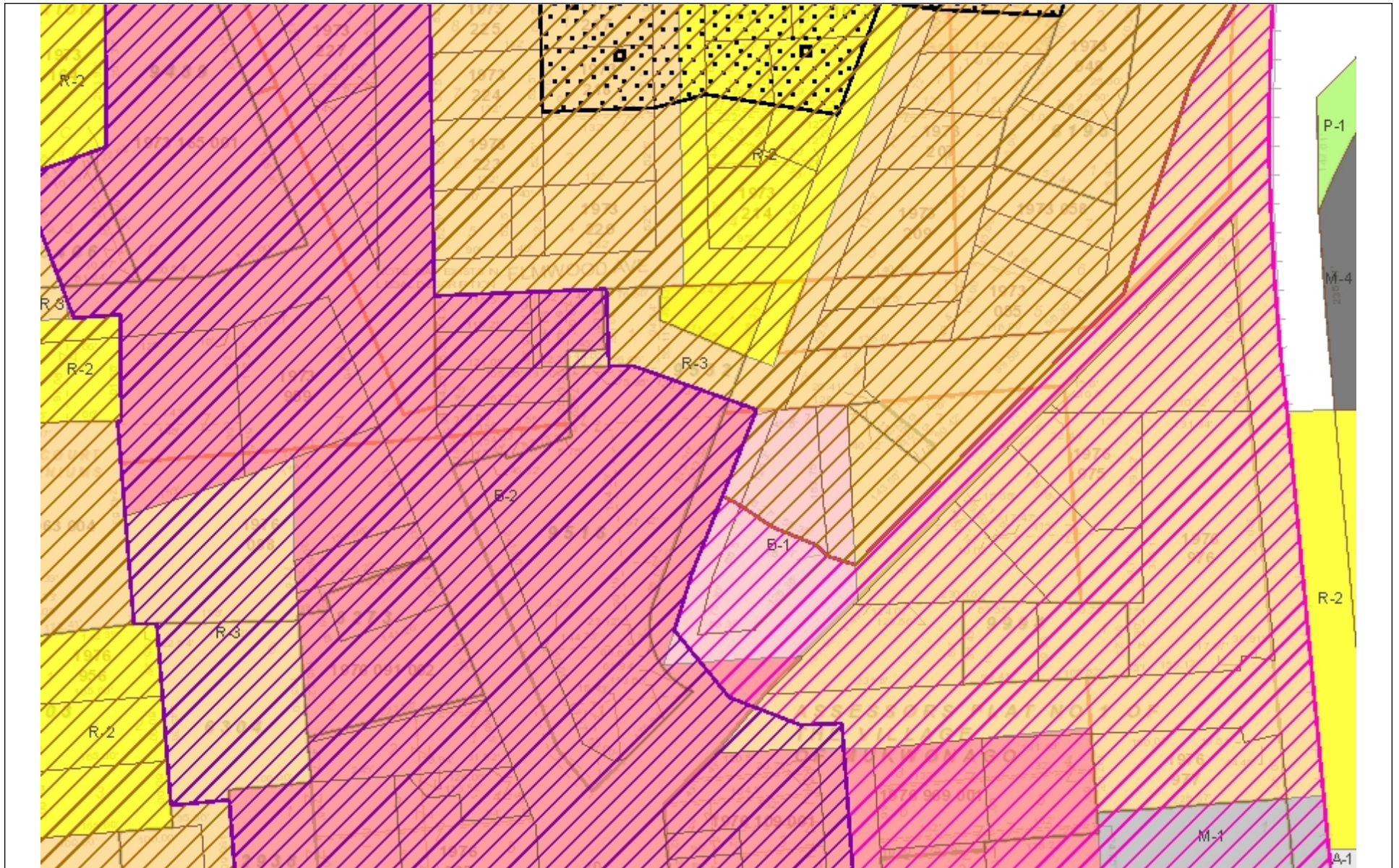


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Village of Mukwonago GIS  
Lakeland Property Management - Zoning

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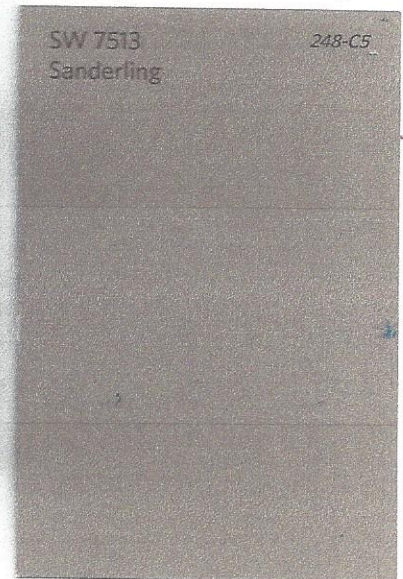
VILLAGE OF MUKWONAGO  
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Print Date: 5/4/2021





Brown wood







1280 x 960



Sample



## How to Install a Porch Railing | HGTV

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**RESOLUTION 2021- 42**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW  
FOR ROBERT G KOKOTT/ LAKELAND PROPERTY MANAGEMENT, APPLICANT;  
211 FOX STREET, PARCEL MUKV 1973-951-001**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for building modifications which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the ROBERT G KOKOTT/ LAKELAND PROPERTY MANAGEMENT

**WHEREAS**, Multi Family structures are within the R-3 Single Family/Duplex Residential District and Village Center Overlay Multi-Purpose perimeter in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for a structure located at 211 Fox Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village Planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer shall comply with all parts of the Municipal Code as it relates to this project.
7. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19<sup>th</sup> day of May 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer

**VILLAGE OF MUKWONAGO  
WAUKESHA/WALWORTH COUNTIES**

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**RESOLUTION NO. 2021- 43  
A RESOLUTION DESIGNATING PUBLIC DEPOSITORIES AND AUTHORIZING  
WITHDRAWAL OF THE VILLAGE OF MUKWONAGO FUNDS**

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**RESOLVED**, that the following banking institutions and their successors are qualified as public depositories under Chapter 34 of the Wisconsin Statutes, shall be and are hereby designated, until further action, as public depositories for all monies coming into the hands of the Treasurer of the Village of Mukwonago, Waukesha and Walworth Counties, State of Wisconsin; and

State Investment Pool-Madison  
Citizens Bank  
Johnson Bank of Mukwonago  
Wisconsin Investment Trust-Madison  
BMO Harris Bank N.A.  
Waukesha State Bank  
Pyramax Bank  
Associated Bank  
JP Morgan Chase Bank  
American Depository Trust

**BE IT FURTHER RESOLVED**, that withdrawal or disbursement from any one of the above depositories shall be only by order check, written wire transfer, telephone wire transfer, or other money transfer techniques, as provided in Sec. 66.0607 of the Wisconsin Statutes; that in accordance therewith all order checks shall be signed by the following persons:

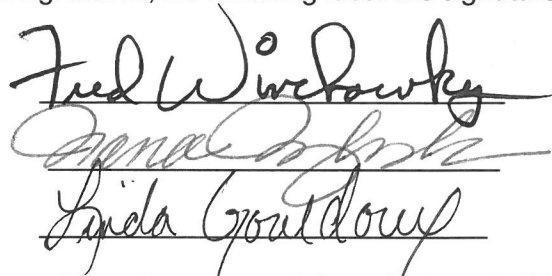
Fred H. Winchowky, Village President  
Diana Dykstra, Village Clerk/Treasurer  
Linda Gourdoux, Village Deputy Clerk/Treasurer

**BE IT FURTHER RESOLVED**, that in lieu of their personal signatures, the following facsimile signatures, which have been adopted by them as shown below:

Fred H. Winchowky, Village President

Diana Dykstra, Village Clerk/Treasurer

Linda Gourdoux, Village Deputy Clerk/Treasurer

The image shows three handwritten signatures in black ink, each written over a horizontal line. The first signature is 'Fred H. Winchowky', the second is 'Diana Dykstra', and the third is 'Linda Gourdoux'.

Which may be affixed on such order checks; that any one of the above named depositories shall be fully warranted and protected in making payments on any order check bearing such facsimiles notwithstanding that the same may have been placed thereon without the authority of the designated person or persons.

**Passed and adopted by the Village Board of Trustees this 19<sup>th</sup> Day of May, 2021**

(Seal)

\_\_\_\_\_  
Fred H. Winchowky, Village President

\_\_\_\_\_  
Diana Dykstra, Clerk-Treasurer







## Agenda Item Cover Report

<b>Date:</b> May 13, 2021	<b>Committee/Board:</b> Village Board
<b>Submitted by:</b> Chief Kevin Schmidt	<b>Department:</b> Police Department
<b>Date of Committee Action:</b>	<b>Date of Village Board Action:</b> May 19, 2021

**Subject:**

Discussion and possible action to approve a purchase requisition for Ewald Ford in the amount of \$37,165.00 for a new squad car

**Executive Summary:**

One of the two squads budgeted for in the 2021 Police Department capital budget is for replacing Squad #26, a 2010 Ford Expedition. This is our "crime scene/investigator" squad, which contains evidence packaging and equipment needed to process crime scenes.

**Fiscal Impact:**

Money is budgeted in our 2021 capital budget for 2 squads and squad equipment.

**Executive Recommendation/Action:**

Approve the purchase requisition.

☒ **Attachments Included**

## VILLAGE OF MUKWONAGO PURCHASE REQUISITION

PLEASE TYPE OR PRINT IN INK CLEARLY ON THIS FORM

<b>DATE:</b>	May 13, 2021	<b>NUMBER:</b>	
--------------	--------------	----------------	--

<b>VENDOR NAME &amp; ADDRESS:</b>	<b>SHIP TO:</b>
Ewald's Hartford Ford 2570 E. Sumner Street Hartford, WI 53027	Village of Mukwonago Police Department 627 S. Rochester Street Mukwonago, WI 53149

<b>DEPT NAME:</b>	<b>SUGGESTED VENDOR</b>	<b>AUTHORIZED SIGNATURE</b>
Police Department	Ewald Ford	<i>Chief Kevin Schmidt</i>

<b>BUDGETED ITEM?</b>	Yes	<b>BUDGETED SOURCE:</b>	Capital Budget
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<b>ITEM</b>	<b>QTY</b>	<b>DESCRIPTION</b>	<b>UNIT PRICE</b>	<b>AMOUNT</b>	<b>ACCT #</b>
1	1	2021 Ford Expedition	\$ 37,165.00	\$ 37,165.00	#430-5700-5711
			<b>TOTAL</b>	<b>\$ 37,165.00</b>	

<b>FINANCE COMMITTEE USE ONLY</b>	
<b>APPROVED (COMMITTEE INITIALS):</b>	
<b>DATE:</b>	
<b>SPECIAL INSTRUCTIONS</b>	



## Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Vehicle: [Fleet] 2021 Ford Expedition (U1G) XL 4x4 (✔ Complete)

### Quote Worksheet

	MSRP
Base Price	\$52,075.00
Dest Charge	\$1,695.00
Total Options	(\$1,565.00)
<b>Subtotal</b>	<b>\$52,205.00</b>
<b>Subtotal Pre-Tax Adjustments</b>	<b>\$0.00</b>
Less Customer Discount	(\$15,040.00)
<b>Subtotal Discount</b>	<b>(\$15,040.00)</b>
Trade-In	\$0.00
<b>Subtotal Trade-In</b>	<b>\$0.00</b>
<b>Taxable Price</b>	<b>\$37,165.00</b>
Sales Tax	\$0.00
<b>Subtotal Taxes</b>	<b>\$0.00</b>
<b>Subtotal Post-Tax Adjustments</b>	<b>\$0.00</b>
<b>Total Sales Price</b>	<b>\$37,165.00</b>

#### Comments:

2021 Ford Expedition XL 4wd SSV to your specs as detailed. Registration fees are not included. Delivery can be anticipated 90-120 days from receipt of your order.

Final order date 4/22/21.

\_\_\_\_\_  
Dealer Signature / Date

\_\_\_\_\_  
Customer Signature / Date

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.

Data Version: 12924. Data Updated: Jan 27, 2021 11:52:00 PM PST.

## Accounts Payable Cover Sheet

<b>Report:</b>	<b>Period or corresponding report date</b>		
Village Accounts Payable	5/15/2021	\$	258,905.79
Library Accounts Payable			
Spectrum (ach withdrawal)			
WE Energies (ach withdrawal)			
US Bank (ach withdrawal)			
Check Disbursement			
Check Disbursement			
Check Disbursement			
Check Disbursement			
Check Disbursement			
Check Disbursement			
Check Disbursement			
Total for Approval:		\$	<u>258,905.79</u>

The preceding list of bills payable was approved for payment

Date: \_\_\_\_\_

Approved by: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: ADAMS ELECTRIC			
10958	WATER WWTF GENERATOR PM AND LOAD TESTING	610-6200-662500 2,382.00	4,376.00 UTILITIES
		620-8010-833000 398.00	
		620-8020-832000 1,596.00	
TOTAL VENDOR ADAMS ELECTRIC			4,376.00
VENDOR NAME: AIRGAS USA LLC			
9979173275	OXYGEN TANKS	150-5231-531100 399.48	399.48 FIRE
TOTAL VENDOR AIRGAS USA LLC			399.48
VENDOR NAME: ALSCO			
IMIL 1684837	MAY 6, 2021 MAT CLEANING SERVICE	100-5211-521900 45.89	45.89 POLICE
TOTAL VENDOR ALSCO			45.89
VENDOR NAME: AMERICAN WATER WORKS ASSOC			
7001918588	WATER ASSOC. FEES	610-6920-693000 394.00	394.00 UTILITIES
TOTAL VENDOR AMERICAN WATER WORKS ASSOC			394.00
VENDOR NAME: ASSOCIATED APPRAISAL CONSULTANT INC			
154142	ASSESS SERVICES MAY 2021	100-5153-521900 1,430.90	1,430.90 CLERK
TOTAL VENDOR ASSOCIATED APPRAISAL CONSULTANT INC			1,430.90
VENDOR NAME: BAKER TILLY VIRCHOW KRAUSE			
BT1801945	PROGRESS BILLING #3 AUDIT FINANCE STATEM	100-5151-521900 1,476.01	9,000.00 FINANCE
		150-5221-521900 449.98	
		200-5141-521900 1,006.98	
		410-5363-521900 170.52	
		430-5141-521900 242.42	
		440-5511-521900 308.71	
		480-5151-521900 827.73	
		500-5344-521900 10.09	
		810-5140-521900 7.56	
		220-5151-521900 671.27	
		240-5151-521900 729.95	
		250-5151-521900 538.76	
		610-6920-692300 1,344.00	
		620-8400-852000 1,216.02	
TOTAL VENDOR BAKER TILLY VIRCHOW KRAUSE			9,000.00
VENDOR NAME: BATTERIES PLUS			
P39244777	BATTERIES PLUS INVOICE	150-5231-531100 18.00	36.00 FIRE
		150-5222-531100 18.00	
P37572571	WATER BATTERY FOR MAIN PRESSURE DATA LOG	610-6451-664100 5.35	5.35 UTILITIES
TOTAL VENDOR BATTERIES PLUS			41.35
VENDOR NAME: BEDROCK SEWER & WATER			



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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: BEDROCK SEWER & WATER				
2441	WATER SERVICE REPAIR	610-6452-665200	325.00	UTILITIES
2442	WATER HIT AND RUN HYDRANT REPAIR	610-6454-665400	2,275.00	UTILITIES
TOTAL VENDOR BEDROCK SEWER & WATER			2,600.00	
VENDOR NAME: BLOOM COMPANIES LLC				
DT1509	DESIGN HWY 83 PROJECT INDUSTRIAL PARK	250-5335-521900	11,258.26	FINANCE
TOTAL VENDOR BLOOM COMPANIES LLC			11,258.26	
VENDOR NAME: BS&A				
135246	SOFTWARE MAINTENANCE	100-5141-521900	1,235.75	FINANCE
		100-5142-521900	1,559.75	
		100-5241-521900	1,510.48	
		100-5632-521900	1,510.47	
		100-5211-521900	288.55	
		100-5300-521900	288.55	
		150-5221-521900	288.55	
		440-5511-521900	288.55	
		610-6920-692300	1,662.18	
		620-8400-852000	1,662.17	
TOTAL VENDOR BS&A			10,295.00	
VENDOR NAME: BUELOW, VETTER, BUIKEMA, OLSON				
MARCH ACTIVITY	LABOR ATTORNEY	100-5111-521900	291.50	FINANCE
		100-5300-521900	318.00	
		100-5111-521900	141.00	
		100-5300-521900	235.00	
		100-5211-521900	3,249.00	
TOTAL VENDOR BUELOW, VETTER, BUIKEMA, OLSON			4,234.50	
VENDOR NAME: BUREAU OF CORRECTIONAL ENTERPR				
303997	STREET SIGNS	100-5348-531100	593.08	DPW
TOTAL VENDOR BUREAU OF CORRECTIONAL ENTERPR			593.08	
VENDOR NAME: C & M AUTO PARTS INC				
6079-335754	SQD #34 - BRAKES & ROTORS	100-5212-539500	136.00	POLICE
6079-335737	SQD #34 - BRAKES AND ROTORS (REAR)	100-5212-539500	175.67	POLICE
6079-335982	WWTF JETTER REPAIR	620-8010-827000	3.57	UTILITIES
TOTAL VENDOR C & M AUTO PARTS INC			315.24	
VENDOR NAME: CENTRALOFFICE SYSTEMS				
IN241461	SHURE DIGITAL INTELLIMIX MIXER FOR BOARD	100-5142-539500	1,000.00	CLERK
		100-5144-531100	1,332.66	
		100-5142-531100	1,332.66	
		100-5144-521900	1,332.68	

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: CENTRALOFFICE SYSTEMS			
IN241217	1/31/21 - 4/29/21 QUARTERLY COPIES H912	100-5142-531200 289.98	604.09 ALLOCATE
		150-5221-531100 78.53	
		220-5140-531200 6.04	
		410-5363-531200 12.08	
		440-5511-531200 30.20	
		500-5344-531200 6.04	
		610-6902-690300 90.61	
		620-8300-840000 90.61	
TOTAL VENDOR CENTRALOFFICE SYSTEMS			5,602.09
VENDOR NAME: CENTURYLINK			
2021 APRIL	PHONE SERVICE APRIL 2021	100-5142-522500 77.00	601.89 MULTIPLE
		100-5211-522500 56.87	
		100-5323-522500 102.64	
		100-5512-522500 115.40	
		440-5511-522500 117.03	
		610-6920-692100 33.53	
		620-8400-851000 99.42	
TOTAL VENDOR CENTURYLINK			601.89
VENDOR NAME: CINTAS			
4083023447	STAFF UNIFORMS	100-5323-531100 90.02	90.02 DPW
4083023506	WATER/WWTF UNIFORM SERVICE	610-6920-693000 65.00	130.71 UTILITIES
		620-8010-827000 65.71	
4083682833	WATER/ WWTF UNIFORM SERVICE	610-6920-693000 39.71	79.71 UTILITIES
		620-8010-827000 40.00	
4083682716	STAFF UNIFORMS	100-5323-531100 90.02	90.02 DPW
TOTAL VENDOR CINTAS			390.46
VENDOR NAME: CIT			
37702403	WATER PHONE	610-6920-692100 88.64	88.64 UTILITIES
TOTAL VENDOR CIT			88.64
VENDOR NAME: CIVITEK CONSULTING			
62-05	ZONING CODE	200-5632-521900 2,500.00	2,500.00 PLANNER
TOTAL VENDOR CIVITEK CONSULTING			2,500.00
VENDOR NAME: CLASSIC CONCRETE & MASONRY			
562021	SIDEWALK PROGRAM	100-5343-539500 6,130.25	6,130.25 DPW
TOTAL VENDOR CLASSIC CONCRETE & MASONRY			6,130.25
VENDOR NAME: COLUMBIA SOUTHERN UNIVERSITY			
BHM 3020	2021 EDUCATION PAY - KUBIAK	100-5212-516300 705.00	705.00 POLICE

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: COLUMBIA SOUTHERN UNIVERSITY			
TOTAL VENDOR COLUMBIA SOUTHERN UNIVERSITY			705.00
VENDOR NAME: CORE & MAIN LP			
0055838	WATER HIT AND RUN HYDRANT ON VETERANS WA	610-6454-665400 3,545.00	3,545.00 UTILITIES
0112870	WATER LATERAL REPAIR	610-6452-665200 127.00	127.00 UTILITIES
0140167	WATER CURB STOP BOX REPAIR AND MAIN VALV	610-6451-665100 2,582.00	3,391.50 UTILITIES
		610-6452-665200 809.50	
TOTAL VENDOR CORE & MAIN LP			7,063.50
VENDOR NAME: COREY OIL, LTD			
209406	WATER HYDRANT MAINTENANCE	610-6454-665400 209.64	209.64 UTILITIES
TOTAL VENDOR COREY OIL, LTD			209.64
VENDOR NAME: CRAIG D CHILDS PHD, SC			
2838	LUDWIG ENTRY PSYCHOLOGICAL EXAM	150-5221-521900 500.00	500.00 FIRE
TOTAL VENDOR CRAIG D CHILDS PHD, SC			500.00
VENDOR NAME: DE LAGE LANDEN FINANCIAL			
72374221	MAY COPY MACHINE LEASE	100-5211-521900 108.00	108.00 POLICE
TOTAL VENDOR DE LAGE LANDEN FINANCIAL			108.00
VENDOR NAME: EAGLE ENGRAVING			
2021-2187	ACCOUNTABILITY TAGS	150-5222-531100 23.85	23.85 FIRE
TOTAL VENDOR EAGLE ENGRAVING			23.85
VENDOR NAME: EBIX			
10991	EBIX INVOICE	150-5231-521900 8,402.10	8,402.10 FIRE
TOTAL VENDOR EBIX			8,402.10
VENDOR NAME: EMERGENCY MEDICAL PRODUCTS			
2253403	EMS SUPPLIES	150-5231-531100 420.44	420.44 FIRE
TOTAL VENDOR EMERGENCY MEDICAL PRODUCTS			420.44
VENDOR NAME: EMPATHIA, INC.			
39303	QUARTERLY EAP BENEFIT COST	100-5141-515900 18.75	438.75 FINANCE
		100-5241-515900 7.50	
		100-5142-515900 7.50	
		100-5120-511000 7.50	
		100-5632-515900 3.75	
		150-5221-515900 183.75	
		440-5511-515900 71.25	
		100-5211-515900 86.25	
		100-5300-515900 26.25	
		610-6920-515900 13.12	
		620-8400-515900 13.13	
TOTAL VENDOR EMPATHIA, INC.			438.75

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: EWALDS HARTFORD FORD LLC					
VIN#7315	NEW SQUAD #26 - 2021 FORD EXPEDITION	430-5700-571100	37,165.00	37,165.00	POLICE
TOTAL VENDOR EWALDS HARTFORD FORD LLC				37,165.00	
VENDOR NAME: EXCEL BUILDING SERVICES LLC					
3671	MAY CLEANING SERVICE	100-5211-539400	975.00	975.00	POLICE
TOTAL VENDOR EXCEL BUILDING SERVICES LLC				975.00	
VENDOR NAME: FASTENAL COMPANY					
WIMUK87261	SWEEPER PARTS	100-5345-539500	20.28	20.28	DPW
WIMUK87289	MARKING PAINT	100-5341-539500	50.56	50.56	DPW
TOTAL VENDOR FASTENAL COMPANY				70.84	
VENDOR NAME: GENERAL COMMUNICATIONS					
293526	KENWOOD HANDUNIT PROGRAMMING SOFTWARE FO	100-5212-539500	155.00	155.00	POLICE
TOTAL VENDOR GENERAL COMMUNICATIONS				155.00	
VENDOR NAME: GENESIS EXCAVATORS, INC.					
4/30/2021	CURB BOX REPLACEMENTS	610-6452-665200	1,874.50	1,874.50	UTILITIES
TOTAL VENDOR GENESIS EXCAVATORS, INC.				1,874.50	
VENDOR NAME: HAHN ACE HARDWARE					
2021 APRIL UTILITIES	WATER WELL 3 PRELUBE WWTF TOOLS, SLUDGE	610-6210-662300	12.55	976.35	UTILITIES
		610-6210-662500	122.52		
		620-8010-833000	221.60		
		620-8010-827000	619.68		
2021 ARPIL FIRE					
2021 APRIL DPW	HAHN ACE HARDWARE INVOICE	150-5222-539500	115.00	115.00	FIRE
	MISC. SUPPLIES	100-5323-531100	16.71	202.66	DPW
		100-5160-531100	13.66		
		100-5521-531100	172.29		
2021 APRIL PD					
	12 VOLT ALKLINE BATTERY	100-5212-539500	2.51	2.51	POLICE
TOTAL VENDOR HAHN ACE HARDWARE				1,296.52	
VENDOR NAME: HAWKINS WATER TREATMENT					
4923197	WATER CHEMICALS FOR TREATMENT	610-6300-663100	1,048.93	1,048.93	UTILITIES
4925825	WATER CHEMICALS FOR TREATMENT	610-6300-663100	506.00	506.00	UTILITIES
TOTAL VENDOR HAWKINS WATER TREATMENT				1,554.93	
VENDOR NAME: HIPPENMEYER, REILLY, BLUM,					
51020	MISC MATTERS	100-5130-521900	4,235.00	4,235.00	FINANCE
51022	UTILITIES	100-5344-521900	122.50	511.00	FINANCE
		610-6920-692300	296.00		
		620-8400-852000	92.50		
51025					
51021	ORDINANCES/RESOLUTIONS	100-5130-521900	185.00	185.00	FINANCE
51023	PROSECUTIONS	100-5130-521900	1,417.50	1,417.50	FINANCE
51023	MINORS SUBDIVISION	100-0000-211425	55.50	55.50	FINANCE
51024	BOX SELF STORAGE	100-0000-211425	129.50	129.50	FINANCE

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: HIPPENMEYER, REILLY, BLUM,				
TOTAL VENDOR HIPPENMEYER, REILLY, BLUM,				6,533.50
VENDOR NAME: HORN OIL				
APRIL 2021	MONTHLY FUEL	100-5212-535100	2,074.58	5,916.41 ALLOCATE
		100-5241-535100	46.94	
		100-5324-535100	674.26	
		150-5222-535100	673.64	
		150-5231-535100	1,452.82	
		610-6920-693300	329.60	
		620-8010-828000	512.67	
		620-8010-832000	151.90	
TOTAL VENDOR HORN OIL				5,916.41
VENDOR NAME: JEN ABUYA				
FEILD PARK	REFUND FIELD PARK RENTAL MAY 23 2021	100-4820-485000	175.00	175.00 ALLOCATE
TOTAL VENDOR JEN ABUYA				175.00
VENDOR NAME: JOHNS DISPOSAL SVC. INC.				
635832	APRIL GARBAGE /RECYCLING/YARDWASTE	410-5362-531000	24,167.52	45,210.82 DPW
		410-5363-522000	18,048.18	
		410-5363-521900	2,995.12	
TOTAL VENDOR JOHNS DISPOSAL SVC. INC.				45,210.82
VENDOR NAME: LANGE ENTERPRISES INC				
76029	BOAT RAMP SIGNS	100-5521-531100	53.41	53.41 DPW
76113	PED CROSSING SIGN PARTS	100-5348-531100	103.60	103.60 DPW
TOTAL VENDOR LANGE ENTERPRISES INC				157.01
VENDOR NAME: LWMMI				
WM000671530074	LWMMI DEDUCTIBLE INVOICE FOR A3452 INCID150-5231-521900		1,000.00	1,000.00 FIRE
TOTAL VENDOR LWMMI				1,000.00
VENDOR NAME: LYNCH CHEVROLET				
4078432	WWTF TRAVERSE OIL CHANGE	620-8030-828000	71.35	71.35 UTILITIES
TOTAL VENDOR LYNCH CHEVROLET				71.35
VENDOR NAME: MACQUEEN EQUIPMENT				
018259	SWEEPER WATER PUMPS	100-5345-539500	826.58	826.58 DPW
TOTAL VENDOR MACQUEEN EQUIPMENT				826.58
VENDOR NAME: MARSHALL-BOND PUMPS				
39899.0	WWTF SLUDGE PUMP REPAIR PARTS	620-8010-833000	307.23	307.23 UTILITIES
TOTAL VENDOR MARSHALL-BOND PUMPS				307.23
VENDOR NAME: MCCUEN, BRENNEN				
MAY022021	2021 BOOT ALLOWANCE MCCUEN	100-5323-534800	100.00	100.00 DPW

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: MCCUEN, BRENNEN					
	TOTAL VENDOR MCCUEN, BRENNEN			100.00	
VENDOR NAME: MCDONOUGH SEPTIC					
C1789	PORTABLE RESTROOMS	100-5521-531100	1,558.70	1,558.70	DPW
	TOTAL VENDOR MCDONOUGH SEPTIC			1,558.70	
VENDOR NAME: MCMASTER-CARR					
43837827 UNDERPAY	WWTF MAINT PUMPS	620-8010-833000	602.14	602.14	UTILITIES
	TOTAL VENDOR MCMASTER-CARR			602.14	
VENDOR NAME: MINUTEMAN PRESS OF BURLINGTON					
45074	WINDOW ENVELOPES	100-5142-531100	63.73	455.17	ALLOCATE
		150-5221-531100	59.17		
		220-5140-531100	4.55		
		410-5363-531100	9.10		
		440-5511-531100	22.76		
		500-5344-531100	4.55		
		610-6902-690300	150.21		
		620-8300-840000	141.10		
	TOTAL VENDOR MINUTEMAN PRESS OF BURLINGTON			455.17	
VENDOR NAME: NAPA AUTO PARTS - SP018					
131531	WWTF JETTER REPAIR PARTS	620-8030-831000	5.99	5.99	UTILITIES
131665	WWTF MOWER MAINT. OIL	620-8010-827000	27.48	27.48	UTILITIES
130556	3461 SUPPLIES	150-5222-531100	21.76	21.76	FIRE
131400	3461 SUPPLIES	150-5222-531100	11.64	11.64	FIRE
	TOTAL VENDOR NAPA AUTO PARTS - SP018			66.87	
VENDOR NAME: NORTHERN LAKE SERVICE INC					
398843	WWTF ANNUAL SLUDGE TESTING	620-8010-826000	770.70	770.70	UTILITIES
	TOTAL VENDOR NORTHERN LAKE SERVICE INC			770.70	
VENDOR NAME: PROFESSIONAL SERVICE INDUSTRIES INC					
00761318	MOPS BORING REPORT	480-5700-584900	810.00	810.00	DPW
	TOTAL VENDOR PROFESSIONAL SERVICE INDUSTRIES INC			810.00	
VENDOR NAME: PROHEALTH CARE MEDICAL ASSOC INC					
308000	RANDOM DOT TESTING	100-5300-521900	56.00	56.00	DPW
307921	LUDWIG ENTRY MEDICAL PHYSICAL	150-5221-521900	401.00	401.00	FIRE
	TOTAL VENDOR PROHEALTH CARE MEDICAL ASSOC INC			457.00	
VENDOR NAME: QUADIENT LEASING USA INC					

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: QUADIANT LEASING USA INC			
N8841937	2021 FEB 27 THROUGH 2021 MAY 21 POSTAGE	100-5142-531500 65.62	468.69 ALLOCATE
		150-5221-531100 60.93	
		220-5140-531500 4.69	
		410-5363-531500 9.37	
		440-5511-531500 23.43	
		500-5344-531500 4.69	
		610-6902-690300 154.67	
		620-8300-840000 145.29	
TOTAL VENDOR QUADIANT LEASING USA INC			468.69
VENDOR NAME: QUILL LLC			
16176058	STATION SUPPLIES	150-5221-531100 181.02	181.02 FIRE
149847109	GARBAGE BAGS FOR CLEANING PERSONNEL FOR	100-5211-531100 29.01	29.01 POLICE
149847068	REPLACE OLD ERASE BOARD IN CLERICAL & 2	100-5211-531100 118.94	118.94 POLICE
TOTAL VENDOR QUILL LLC			328.97
VENDOR NAME: R & R INSURANCE SERVICES			
2453983	LWMMI POLICY CHANGE CYBER LIABILITY	100-5154-551200 774.00	774.00 FINANCE
TOTAL VENDOR R & R INSURANCE SERVICES			774.00
VENDOR NAME: REINDERS, INC.			
1877798	TORO 5910 SEAL KIT	100-5324-539500 71.95	71.95 DPW
TOTAL VENDOR REINDERS, INC.			71.95
VENDOR NAME: RUEKERT & MIELKE, INC.			
136325	12-00000.100 General Services	100-5335-521900 2,547.28	3,450.28 FINANCE
		250-5335-521900 903.00	
136326	12-00000.300 Water Utility Services	610-6920-692300 580.50	580.50 FINANCE
136327	12-00000.400 Sewer Utility Services	620-8400-852000 47.00	47.00 FINANCE
136330	12-10063.210 2021 GIS Services - GIS Dat	610-6920-692300 308.65	617.30 FINANCE
		620-8400-852000 308.65	
136331	12-10068.120 Conceptual Design of Sugden	250-5335-521900 2,597.50	2,597.50 FINANCE
136332	12-10077.110 Fox River Pedestrian Bridge	480-5700-584900 10,803.00	10,803.00 FINANCE
136334	12-10098.120 Mukwonago WWTF Phosphorus A	620-8400-852000 879.75	879.75 FINANCE
136335	12-10098.121 Mukwonago WWTF Phosphorus A	620-8400-852000 2,467.50	2,467.50 FINANCE
136336	12-10015.300 2019 Well & Well Pump Impro	610-6920-692300 229.50	229.50 FINANCE
136341	12-10135.200 VUEWorks Site & Implementat	100-5341-539500 606.90	5,520.00 FINANCE
		100-5344-521900 517.65	
		100-5611-521900 303.45	
		500-5344-521900 53.55	
		100-5660-521900 303.45	
		610-6920-692300 1,867.50	
		620-8400-852000 1,867.50	
136344	12-10140.100 CMOM Program Update	620-8400-852000 2,944.00	2,944.00 FINANCE
136345	12-10146.100 Habitat for Humanity Small	100-0000-211400 148.50	148.50 FINANCE

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: RUEKERT & MIELKE, INC.				
136346	12-10148.100 Goodwill of Mukwonago / Dev	100-0000-211400	84.00	84.00 FINANCE
136347	12-92041.487 2021 SCADA Service Work	610-6920-692300	4,159.19	4,340.19 FINANCE
		620-8400-852000	181.00	
136350	12-92171.108 NR216 Storm Water Report /	100-5660-521900	181.84	2,273.00 FINANCE
		500-5344-521900	2,091.16	
136351	12-92190.210 Dam Failure Analysis / Mukw	480-5700-585200	152.20	152.20 FINANCE
136328	12-10044.300 BOX SELF STORAGE / CONSTRUC	100-0000-211425	2,145.90	2,145.90 FINANCE
136329	12-10057.100 EDGEWOOD APARTMENTS / REVIE	100-0000-211425	144.00	144.00 FINANCE
136333	12-10094.300 STORAGE WERKS MINI STORAGE	100-0000-211425	489.50	489.50 FINANCE
136337	12-10116.300 THE POINTE APARTMENTS / ERO	100-0000-211425	295.10	295.10 FINANCE
136338	12-10119.300 MALCOLM DRILLING / EROSION	100-0000-211425	166.10	166.10 FINANCE
136339	12-10125.300 FOX STREET TOWNHOMES / EROS	100-0000-211425	143.10	143.10 FINANCE
136340	12-10134.100 200 GRAND AVENUE CONDOS / R	100-0000-211425	1,634.85	1,634.85 FINANCE
136342	12-10137.300 HILL COURT MULTI-TENANT DEV	100-0000-211425	212.10	212.10 FINANCE
136343	12-10139.310 MEADOWLAND TOWNHOMES DEVELO	100-0000-211425	235.10	235.10 FINANCE
136348	12-92104.104 MINOR ESTATES / ADDITION #4	100-0000-211425	741.75	741.75 FINANCE
136349	12-92136.302 CHAPMAN FARM / CHAPMAN VILL	100-0000-211425	2,636.70	2,636.70 FINANCE
136352	12-92191.103 PRO HEALTH EXPANSION / 2018	100-0000-211425	144.00	144.00 FINANCE
TOTAL VENDOR RUEKERT & MIELKE, INC.			46,122.42	
VENDOR NAME: SCAN GROUP				
211450	WINDOW ENVELOPES - COURT	100-5120-531100	229.00	229.00 FINANCE
TOTAL VENDOR SCAN GROUP			229.00	
VENDOR NAME: SHERWIN-WILLIAMS				
6061-1	PAINTING SUPPLIES	100-5521-531100	92.46	92.46 DPW
TOTAL VENDOR SHERWIN-WILLIAMS			92.46	
VENDOR NAME: SUBURBAN LABORATORIES INC				
187959	WATER BAC-T-TESTING	610-6300-663200	96.00	96.00 UTILITIES
TOTAL VENDOR SUBURBAN LABORATORIES INC			96.00	
VENDOR NAME: TERMINAL ANDRAE INC.				
52535	WATER REPLACE VFD WELL 6 ORIGINALLY INST	610-6210-662500	5,275.00	5,275.00 UTILITIES
TOTAL VENDOR TERMINAL ANDRAE INC.			5,275.00	
VENDOR NAME: TOUCH PAD ELECTRONICS				
MAY42021	REFUND DONATION	340-4800-489000	4,000.00	4,000.00 FINANCE
TOTAL VENDOR TOUCH PAD ELECTRONICS			4,000.00	
VENDOR NAME: WALWORTH CTY CLERK				
APRIL 2021	APRIL ELECTION BALLOTS MODEM PROGRAMMING	100-5144-531200	199.60	199.60 CLERK
TOTAL VENDOR WALWORTH CTY CLERK			199.60	
VENDOR NAME: WATER WELL SOLUTIONS				
W121-04-107	WATER WELL 4 BOOSTER PUMP 2	610-6210-662500	9,401.67	9,401.67 UTILITIES
TOTAL VENDOR WATER WELL SOLUTIONS			9,401.67	

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: WAUKESHA COUNTY EMERGENCY			
331	ID CARDS	150-5222-531100 3.00	3.00 FIRE
TOTAL VENDOR WAUKESHA COUNTY EMERGENCY			3.00
VENDOR NAME: WAUKESHA CTY TREASURER			
2021-50030020	TAX PROCESSING INSTALLMENT - WAUKESHA	100-5142-531200 2,912.28	2,912.28 CLERK
2021-24010069	MOBILE RADIO PROGRAMMING	150-5222-539500 47.58	95.16 FIRE
		150-5231-539500 47.58	
TOTAL VENDOR WAUKESHA CTY TREASURER			3,007.44
VENDOR NAME: WCTC			
S0740922	WCTC FIRE INVOICE ENDRES	150-5223-533500 95.10	95.10 FIRE
S0740923	VEHICLE PURSUIT TRAINING FOR OFF CIESZYN	100-5215-533500 36.78	36.78 POLICE
TOTAL VENDOR WCTC			131.88
VENDOR NAME: WI DEPT OF JUSTICE CIB			
L6812T-202104	BACKGROUND CHECKS	100-0000-242205 14.00	28.00 POLICE
		100-5212-521900 14.00	
L6812T-202104	BACKGROUND CHECK	150-5221-521900 7.00	7.00 FIRE
L6812T202004	EMPLOYEE BACKGROUND CHECK	100-5300-521900 7.00	7.00 DPW
TOTAL VENDOR WI DEPT OF JUSTICE CIB			42.00
VENDOR NAME: WI DEPT OF TRANSPORTATION			
395-0000216166	PERMIT WIS 82 @ WOLF RUN	250-5700-586500 141.41	141.41 FINANCE
395-0000208299	PERMIT WIS 83 @ WOLF RUN 2/5 TO 2/12/21	250-5700-586500 1,628.42	1,628.42 FINANCE
TOTAL VENDOR WI DEPT OF TRANSPORTATION			1,769.83
VENDOR NAME: WI STATE LAB OF HYGIENE			
674055	WATER LAB TESTING FLOURIDE	610-6300-663200 26.00	26.00 UTILITIES
TOTAL VENDOR WI STATE LAB OF HYGIENE			26.00
VENDOR NAME: ZORN COMPRESSOR & EQUIPMENT			
342228-00	WWTF SLUDGE PUMP COMPRESSOR AND DRYER PM	620-8010-833000 587.30	587.30 UTILITIES
TOTAL VENDOR ZORN COMPRESSOR & EQUIPMENT			587.30
GRAND TOTAL:			258,905.79

5/3/21  
Mark Blum  
John Fellows  
Village of Mukwonago

Re- Chapman Road

To the Mukwonago Village Board:

I am asking the board to consider extending our deadline for completing the road through the Chapman development.

We are about to begin construction on the final lot this spring, with substantial completion due by the end of August.

We are asking that we be able to coordinate the final lift of the road with the completion of the parking lot for Amans.

Thank you for your consideration-



Ray Goodden  
Sr. Vice President



*VILLAGE OF MUKWONAGO  
POLICE DEPARTMENT*



*MONTHLY REPORT*

*April 2021*

**Citation Totals by Offense**

Mukwonago Police Department

Violation Date: 04/01/2021 through 04/30/2021

Court	Agency	Offense Code	Offense Description	Total
<b>MKPD</b>				
	<b>Adult</b>			
		346.14(1m)	Automobile Following Too Closely	2
		947.01(1)	Disorderly Conduct	2
		174.02(2)(a)	Dog Causing Injury/Damage	2
		346.46(1)	Fail/Stop At Stop Sign	2
		346.57(2)	Failure To Keep Vehicle Under Control	2
		346.48(1)	Failure To Stop For School Bus	1
		66-71	Illegal Dumping	1
		341.15(3)(b)	Improper Display/Plates (Hard To See)	1
		341.15(3)(c)	Improper Display/Plates (Illegible)	4
		341.15(2)	Improperly Attached License Plates	1
		346.89(1)	Inattentive Driving	1
		14-VI	Keeping of Domestic Chickens Violations	2
		347.13(1)	No Tail Lamp/Defective Tail Lamp-Night	4
		341.04(1)	Non-Registration Of Auto, Etc	18
		341.03(1)	Operate After Rev/Susp Of Registration	1
		344.62(1)	Operate Motor Vehicle W/O Insurance	22
		344.62(2)	Operate Motor Vehicle W/O Proof Of Insurance	5
		347.13(3)	Operate Vehicle W/O Registration Lamps	6
		347.14(1)	Operate Vehicle W/O Stopping Lights	2
		343.05(3)(a)	Operate W/O Valid License	4
		343.44(1)(a)	Operating After Suspension	11
		346.05(1)	Operating Left Of Center Line	1
		346.63(1)(a)	Operating While Intox.	2
		347.48(2m)(c)	Operator Fail/Have Passenger/Seatbelted	1
		961.41(3g)(b)	Possession of Controlled Substance	2
		343.085(2m)(a)1	Prob Licensee Oper CI D Veh W/Other Prn Veh	1
		946.41(1)	Resist Or Obstruct An Officer	3
		943.50(1m)(b)	Retail Theft-Intentionally Take(<=\$2500)	6
		346.57(4)(e)	Speeding On City Highway	1
		346.57(4)(gm)2	Speeding on Freeway	33
		346.57(5)	Speeding Zone And Posted Limits	46
		118.163	Truancy	2
		347.06(3)	Unclean/Defective Lights Or Reflectors	10
		346.33(1)(a)	Unlawful U/Y Turn-Control.Intersection	1
		14-27(11)	Unlicensed Dog	1
		347.48(2m)(b)	Vehicle Operator Fail/Wear Seat Belt	1
		346.37(1)(c)1	Violate Red Traffic Signal	3
<b>Adult Grand Total</b>				<b>208</b>

**Citation Totals by Offense**

Mukwonago Police Department

Violation Date: 04/01/2021 through 04/30/2021

Court	Agency	Offense Code	Offense Description	Total
<b>MKPD</b>				
	Juvenile	54-103	Possession of Cigarette by Minor	3
			<b>Juvenile Grand Total</b>	<u>3</u>

**Mukwonago Police Department**  
**Tickets Totals (by Violation)**

Issue Date: 04/01/2021 through 04/30/2021

Violation Description	Violation Code	Area	Total
Park In Excess Of Limits - Lots	82-206		1
		<b>By Violation:</b>	<u>1</u>
Park Left Wheel To Curb	82-1(A)		2
		<b>By Violation:</b>	<u>2</u>
Park No Parking Anytime	82-192		2
		<b>By Violation:</b>	<u>2</u>
Park Posted Private Property	82-1(I)		1
		<b>By Violation:</b>	<u>1</u>
		<b>Total Tickets:</b>	<u><u>6</u></u>



## Monthly Case Overview Report

Printed On: 05/10/21 12:33

Reporting Period: 04/01/2021 - 04/30/2021

Village of Mukwonago Police - 1122

	Total
<b>Total</b>	<b>60</b>
Administrative/Informational	16
Animal Complaints-Bite	2
Contempt of Court	1
Criminal Damage-Private	2
Disorderly Conduct	2
Disorderly Conduct: Harassment	1
Emergency Detention/M.O.	1
Found/Recovered-Property	4
Harassing Communication	3
Intimidation (Inc Stalking)	1
Investigation/Follow Up	1
Lost/Missing-Animal	1
Marijuana-Possession	2
Narcotic Equip-Possession	1
OWI/DWI-Liquor	2
Public Order Crimes	7
Retail Theft \$50-\$200	2
Retail Theft <\$50	2
Retail Theft >\$200	1
Simple Assault	1
Theft - All Others \$50-\$200	1
Traffic Offense/Traffic Other	1
Trespassing	1
Viol of Court Order Incl DV	2
Warrant/Fugitive - Other Agenc	2





## Arrests by Statute Report

Printed On: 05/10/21 12:35

Reporting Period: 04/01/21 - 04/30/21

This report contains all arrest charges.

	Total	Felony	Misdemeanor	Non-Criminal	Ordinance
14-27(3) - Dog Causing Injury/Damage	2				2
14-VI - Keeping of Domestic Chickens Violation	1				1
346.63(1)(a) - Operating While Intoxicated - 1st Offense	2			2	
54-1(1) - Retail Theft (Shoplifting)	6				6
54-1(M) - Obstructing or Resisting an Officer	3				3
54-1(P) - Battery	1				1
54-1(V) - Possession of a Controlled Substance	2				2
54-103 - Possession of Cigarettes/Tobacco by a Minor	3				3
54-106 - Truancy/Habitual Truancy	2				2
66-71 - Illegal Dumping	1				1
813.125(7) - Violate/Harassment Restraining Order	3		3		
940.32(2) - Stalking	1	1			
942.09(3m)(1) - Post/Publish Private Representation	1		1		
943.01(1) - Criminal Damage to Property (Felony)	1		1		
943.50(1m)(b) - Retail Theft - Intentionally Take - (<=\$500)(UCR \$50-\$199)	2		2		
946.49(1)(a) - Bail Jumping-Misdemeanor	1		1		
947.01 - Disorderly Conduct	4		2		2
947.013(1m) - Harassment	2			2	
961.41(3g)(e) - Possession of THC	1		1		
961.573(1) - Possess Drug Paraphernalia	3		3		
FUGS - Fugitive Warrant - State	3		3		
<b>Total</b>	<b>45</b>	<b>1</b>	<b>17</b>	<b>4</b>	<b>23</b>

Date	On Hwy	At #	From/At Hwy	From/At Street	Total Units	Total Injured	Total Killed
4/7/2021				DIVISION ST	2.00	0.00	0.00
4/8/2021			083	ROCHESTER RD	2.00	0.00	0.00
4/8/2021	NN	830		CLARENDON AVE	1.00	0.00	0.00
4/10/2021		355		BAY VIEW RD	2.00	0.00	0.00
4/13/2021		605	NN		2.00	0.00	0.00
4/14/2021		250		WOLF RUN E	2.00	0.00	0.00
4/16/2021		232		WOLF RUN E	2.00	0.00	0.00
4/18/2021	83		ES	FOX ST	3.00	0.00	0.00
4/21/2021	ES			EDGEWOOD AVE	2.00	0.00	0.00
					<b>Total 18</b>	<b>Total 0</b>	<b>Total 0</b>

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**Police Contacts - Village**

First Shift	1618
Second Shift	1200
Third Shift	410
911 Calls	109
<b>TOTAL CALLS</b>	<b>3337</b>

**Eagle Lake Patrol**

Stops/All Calls	0
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**Police Contacts - Town**

First Shift	291
Second Shift	482
Third Shift	676
911 Calls	38
<b>TOTAL CALLS</b>	<b>1487</b>

**Phantom Lake Patrol**

Stops/All Calls	0
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<b><u>TOTAL CONTACTS</u></b>	<b>4824</b>
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**FLEET MILES AND GAS USAGE**

	<b><u>24</u></b> <b><u>18 Ford</u></b>	<b><u>26</u></b> <b><u>10 Ford</u></b>	<b><u>28</u></b> <b><u>20 Dodge</u></b>	<b><u>30</u></b> <b><u>19 Ford</u></b>	<b><u>32</u></b> <b><u>18 Ford</u></b>	<b><u>33</u></b> <b><u>19 Chev</u></b>	<b><u>34</u></b> <b><u>17 Ford</u></b>	<b><u>36</u></b> <b><u>16 Ford</u></b>	<b><u>38</u></b> <b><u>19 Ford</u></b>
Speed End	73970	86597	3094	68788	NA	7647	NA	52914	70017
Speed Beg	72933	86450	2620	65341	NA	7498	NA	50556	67557
Total Miles	1037	147	474	3447	NA	149	NA	2358	2460
Total Gas	77	11	54	282	NA	13	NA	187	184

Respectfully Submitted,

Chief Kevin Schmidt  
Village of Mukwongo Police Department

# Proclamation

## ***In honor of The Elegant Farmer 75<sup>th</sup> Anniversary Celebration***

WHEREAS, Elegant Farmer has been an integral part of Mukwonago area history for generations founded in 1946 as a dairy farm owned and operated by Dave and Elmer Scheel who sold their surplus fruits and vegetables on the busy corner of Highway ES and J in Mukwonago; and

WHEREAS, business became so brisk their roadside market became permanent to expand year round in the 1950's and became their sole concentration; and

WHEREAS, the Davelmer Market pioneered the concept of customers visiting to pick-your-own strawberries on their 65 acre farm; and

WHEREAS, in 1970 Elmer's son Dan Scheel and his wife Karen took over the business currently known as The Elegant Farmer, and then with their blessing in 2006 long time employees John Bauer, Mike Bauer, and Keith Schmidt took the helm to continue with the family traditions, small town charm, quality foods, and loyal customer relationships; and

WHEREAS, today The Elegant Farmer has expanded its business to locally grown fresh and frozen fruits and vegetables, famed "Apple Pie Baked in a Paper Bag", other baked goods, farm fresh bakery, deli, and produce, including a pick-your-own apples and pumpkins during Autumn Harvest, and so much more.

NOW THEREFORE, DO I, Fred H. Winchowky, Village President of the Village of Mukwonago, hereby proclaim,

### **"Elegant Farmer Day"**

in the Village of Mukwonago, and urge all citizens and employees to join me in congratulating The Elegant Farmer for their outstanding contributions to our community and wish them many continued years of success.

PROCLAIMED this 13th day of May, 2021.

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Fred H. Winchowky  
Village President



# Proclamation

## Honoring National Bike Month May 2021

**WHEREAS**, the bicycle is an economical, healthy, convenient, and environmentally sound form of transportation and an excellent tool for recreation and enjoyment of the Village of Mukwonago's scenic beauty; and

**WHEREAS**, throughout the month of May, the residents of the Village of Mukwonago and its visitors can experience the joys of bicycling through educational programs, races, commuting events, charity events, or by simply getting out and going for a ride; and

**WHEREAS**, creating a bicycling-friendly community has been shown to improve citizens' health, well-being, and quality of life, growing the economy of the Village of Mukwonago, attracting tourism dollars, improving traffic safety, supporting student learning outcomes, and reducing pollution, congestion, and wear and tear on our streets and roads; and

**WHEREAS**, the economic impact of cycling in Wisconsin contributes to 1.4 million Dollars and more than 13,000 jobs; and

**WHEREAS**, the Wisconsin Bike Fed, the League of American Bicyclists, schools, parks and recreation departments, police departments, public health districts, hospitals, companies, and civic groups will be promoting bicycling during the month of May 2021; and

**WHEREAS**, these groups are also promoting bicycle tourism year round to attract more visitors to enjoy our local restaurants, hotels, retail establishments, and cultural and scenic attractions; and

**WHEREAS**, these groups are also promoting greater public awareness of bicycle operation and safety education in an effort to reduce collisions, injuries, and fatalities and improve health and safety for everyone on the road; and

**NOW THEREFORE, DO I**, Fred Winchowky, President of the Village of Mukwonago, do hereby proclaim May 2021 as Bike Month in the Village of Mukwonago, and I urge all residents to join me in this special observance.

Dated this 19<sup>th</sup> Day of May, 2021.

\_\_\_\_\_  
Fred Winchowky, Village President

Attest:

\_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



# Proclamation

## Honoring Historic Preservation Month May 2021

**WHEREAS**, historic preservation is relevant for communities across the nation, both urban and rural, and for Americans of all ages, all walks of life and all ethnic backgrounds; and

**WHEREAS**, it is important to celebrate the role of history in our lives and the contributions made by dedicated individuals in helping to preserve the tangible aspects of the heritage that has shaped us as a people; and

**WHEREAS**, the Village of Mukwonago continues to benefit from historic preservation as an effective tool for economic and sustainable development, tourism promotion, community revitalization, fostering local pride and maintaining community character while enhancing livability; and

**WHEREAS**, many Mukwonago residents, groups, and organizations, work hard to preserve Village of Mukwonago's past for future generations; and

**NOW, THEREFORE DO I**, Fred Winchowky, President, of the Village of Mukwonago, along with my fellow members of the Village Board, hereby proclaim May 2021 as Historic Preservation Month within the Village of Mukwonago.

Dated this 19<sup>th</sup> Day of May, 2021.

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Fred Winchowky, Village President

Attest:

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Diana Dykstra, Village Clerk-Treasurer



# Proclamation

## Honoring Building Safety Month May 2021

**WHEREAS**, Our Village is committed to recognizing our growth and strength depends on the safety and economic value of the homes, buildings and infrastructure that serve our citizens, both in everyday life and in times of disaster, and;

**WHEREAS**, our confidence in the resilience of these buildings that make up our community is achieved through the devotion of vigilant guardians; building safety and fire prevention officials, architects, engineers, buildings tradespeople, design professionals, laborers, plumbers and others in the construction industry, who work year-round to ensure the safe construction of buildings, and;

**WHEREAS**, these guardians are dedicated members of the International Code Council, a nonprofit that brings together local, state, and federal officials that are experts in the built environment to create and implement the highest quality codes to protect us in the buildings where we live, learn, work, play, and;

**WHEREAS**, “**Prevent, Prepare, Protect. Building Codes Save.**” The theme for Building Safety Month 2021, encourages all Americans to raise awareness about the importance of safe and resilient construction; fire prevention; disaster mitigation, energy conservation; water safety; training the next generation; and new technologies in the construction industry, and;

**WHEREAS**, each year, in observance of Building Safety Month, people all over the world are asked to consider the commitment to improve building safety, resilience and economic investment at home and in the community, and to acknowledge the essential service provided to all of us by local and state building departments, fire prevention bureaus and federal agencies in protecting lives and property.

**NOW THEREFORE**, do I, Fred Winchowky, Village President of the Village of Mukwonago, Waukesha and Walworth Counties Wisconsin, hereby proclaim May 2021 as Building Safety Month.

Dated this 19<sup>th</sup> Day of May, 2021.

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Fred Winchowky, Village President

Attest:

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Diana Dykstra, Village Clerk-Treasurer



**VILLAGE OF MUKWONAGO  
WAUKESHA/WALWORTH COUNTIES**

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**RESOLUTION NO. 2021- 44**

**A RESOLUTION DESIGNATING THE OFFICIAL NEWSPAPER  
FOR THE VILLAGE OF MUKWONAGO**

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**WHEREAS**, Wisconsin Statutes Section 985 requires the designation of an official newspaper for the Village of Mukwonago; and

**WHEREAS**, it is in the best interest of the Village of Mukwonago to designate multiple publication options for official notices due to deadlines and distribution or circulation in the Village; and

**WHEREAS**, both the Waukesha Freeman and the Mukwonago Times meet the requirements for publication of legal notices.

**NOW THEREFORE BE IT RESOLVED**, the Village Board of the Village of Mukwonago does hereby approve both the Waukesha Freeman and the Mukwonago Chief as official newspapers for the Village of Mukwonago.

**Passed and adopted by the Village Board of Trustees this 19<sup>th</sup> Day of May, 2021**

(Seal)

\_\_\_\_\_  
Fred H. Winchowky, Village President

Attest:

\_\_\_\_\_  
Diana Dykstra, Clerk-Treasurer