

Village of Mukwonago  
**Notice of Meeting and Agenda**

**PLAN COMMISSION MEETING**  
**Tuesday, June 8, 2021**

Time: **6:30 pm**

Place: **Mukwonago Municipal Building, Board Room, 440 River Crest Ct, Mukwonago, WI 53149**

**1. Call to Order**

**2. Roll Call**

**3. Comments from the Public**

*Please be advised, per Wisconsin Statute Sec. 19.84(2), information and comment will be received from the public by the Plan Commission. The Public Comment Session is granted to the public at the start of each Plan Commission meeting. The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. However, these time limits may be extended at the discretion of the Chief Presiding Officer. The Plan Commission may not respond to or have any discussion on information received during the public comment session unless it is placed upon the Agenda for a subsequent meeting. Public comments should be addressed to the Plan Commission as a body. Presentations shall not deal in personalities personal attacks on members of the Plan Commission, the applicant for any project or Village Employees. Comments shall not be used to engage others in a debate in this forum. All comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Plan Commission or Staff will be deemed out of order by the Presiding Officer.*

**4. Approval of Minutes**

- 4.1 Approval of May 11, 2021 minutes.  
[20210511 PlanCommissionMinutesdraft.pdf](#)

**5. Public Hearings**

*All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.*

- 5.1 Public Hearing to consider a request for a Car Wash, with a permitted or conditional use as a conditional use Carl Goede, Rivers Edge Car Wash, applicant; 809 S Rochester St; Parcel MUKV 2009-978-004.  
[Public Hearing Notice PC -CU - 809 S Rochester St.pdf](#)

**6. New Business**

*Discussion and Possible Action on the Following Items*

- 6.1 Discussion and possible recommendation to Village Board **RESOLUTION 2021- 53** to approve a Conditional Use for 809 S Rochester Street, for Carl Goede / Rivers Edge Car Wash; Parcel MUKV 2009-978-004

[Staff Report - CU-SPAR - 809 S ROCHESTER ST - MUKV2009978004.pdf](#)  
[RESOLUTION 2021-53 CU - 809 S ROCHESTER ST - MUKV2009978004.pdf](#)

- 6.2 Discussion and possible recommendation of **RESOLUTION 2021-54** for Site Plan and Architectural Review for Car Wash; Carl Goede/Rivers Edge Care Wash, applicant; 809 S Rochester St; Parcel MUKV 2009-978-004.  
[RESOLUTION 2021-54 SPAR - 809 S ROCHESTER ST - MUKV2009978004.pdf](#)
- 6.3 Discussion and possible recommendation to Village Board on **RESOLUTION 2021-48** for Site Plan and Architectural Review for Village of Mukwonago, applicant; 1111 Fox Street; Parcel MUKV 1969-989.  
[Staff Report - 1111 Fox ST - MUKV1969989.pdf](#)  
[RESOLUTION 2021-48 FD LED Sign.pdf](#)
- 6.4 Discussion and possible recommendation to Village Board **RESOLUTION 2021- 47** to approve a land division for a two lot Certified Survey Map (CSM), 322 Plank Road, for Ryan Jansen / Ryan's Buying; Parcel MUKV 1976-998.  
[Staff Report - CSM - 322 Plank Road - MUKV1976998.pdf](#)  
[RESOLUTION 2021-47 CSM-322 Plank Road - MUKV1976998.pdf](#)
- 6.5 Discussion and possible recommendation to Village Board **RESOLUTION 2021- 51** to approve a Site Plan and Architectural Review, 301 Main Street, for David A. and Tracy A. Stockwell / Espresso Love Coffee; Parcel MUKV 1976-128  
[Staff Report - CU-SPAR - 301 Main Street - MUKV1976128.pdf](#)  
[RESOLUTION 2021-51 SPAR - 301 Main Street - MUKV1976128.pdf](#)
- 6.6 Discussion and possible recommendation to Village Board **RESOLUTION 2021- 49** to approve a Site Plan and Architectural Review (Lighting), **LOT 2 CERT SURV 9620 at Arrowhead Drive**, for Goodwill Industries; Parcel **MUKV2015-997-010**  
[Staff Report - SPAR Lighting - Arrowhead Dr and 83 - MUKV2015997010.pdf](#)  
[RESOLUTION 2021-49 - SPAR- Lighting - Arrowhead Dr and 83 - MUKV2015997010.pdf](#)
- 6.7 Discussion and possible recommendation to Village Board **RESOLUTION 2021- 52** to approve a Site Plan and Architectural Review,  
309 and 315 Gibson Road, for IMPACT MUKWONAGO LLC; Parcel MUKV 1976-128  
[Staff Report - SPAR - 309 -315 Gibson - MUKV1975023.pdf](#)  
[RESOLUTION 2021-52 SPAR - 309-315 Gibson - MUKV1975023.pdf](#)

## 7. Adjournment

### *Membership:*

*Jason Wamser, James Decker, Mark Penzkover, Karl Kettner, Fred Winchowky, Bob Harley, and John Fellows (Advisory)*



It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

## **MINUTES OF THE PLAN COMMISSION MEETING**

### **Tuesday, May 11, 2021**

#### **Call to Order**

Chairman Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

#### **Roll Call**

Commissioners present: Fred Winchowky, Chairman  
Jim Decker  
Jason Wamser  
Eric Brill

Commissioners excused: Robert Harley  
Mark Penzkover  
Karl Kettner

Also present: John Fellows, Village Planner  
Linda Gourdoux, Deputy Clerk/Treasurer

#### **Comments from the Public**

Opened at 6:31 pm

David Boebel; 815 Parkview Ln; Spoke against 2 drive access points on Main St for Espresso Love

Gail Yerke; rental property River Park Cir; Spoke for Espresso Love

Terry Lottelien; 306 Main St; Spoke for Espresso Love

Closed at 6:36 pm

#### **Minutes**

Motion made by Decker/Brill to approve the minutes of the April 13, 2021 meeting, carried.

#### **Public Hearings**

**Public Hearing on a request to consider an Amendment to a Planned Unit Development for a 20-Unit addition onto structure Birchrock Properties LLC, applicant; 210 McDivitt Ln; Parcel MUKV 2012-215-002.**

Opened at 6:38 pm

No Comments

Closed at 6:38 pm

**Public Hearing to consider a Conditional Use application for a drive-through facility, with a permitted or conditional use Espresso Love, applicant; 301 Main St; Parcel MUKV 1976-128.**

Opened at 6:39 pm

No Comments

Closed at 6:39 pm

**Public Hearing to consider a Conditional Use application for a drive-through facility with a permitted or conditional use Mark A Sykes, DBA Subway, applicant; 827 S Rochester St, #104; Parcel MUKV 2009-978-003.**

Opened at 6:40 pm

No comments

Closed at 6:40 pm

**New Business**

**Discussion and possible recommendation to Village Board RESOLUTION 2021-36 to approve a Conditional Use for a CBRF facility located at 210 McDivitt Lane, for Kristopher Kiefer/ Birchrock Properties, LLC, applicant; Parcel MUKV 2012-215-005.**

Fellows gave overview of project

Kiefer gave overview of project

Motion made by Wamser/Decker to approve RESOLUTION 2021-36 a Resolution to approve Conditional Use for a CBRF facility located at 210 McDivitt Lane, for Kristopher Kiefer/ Birchrock Properties, LLC, applicant; Parcel MUKV 2012-215-005, carried

**Discussion and possible recommendation to Village Board on RESOLUTION 2021-37 for Site Plan and Architectural Review for Birchrock Properties, LLC, applicant; 210 McDivitt Ln; Parcel MUKV 2012-215-002.**

Fellows gave overview of project

Kiefer gave overview of project

Motion by Decker/Wamser to approve RESOLUTION 2021-37 a Resolution to approve Site Plan and Architectural Review for Birchrock Properties, LLC, applicant; 210 McDivitt Ln; Parcel MUKV 2012-215-002 with revisions, carried

**Discussion and possible recommendation to Village Board RESOLUTION 2021-38 to approve Conditional Use for a Drive Through Facility for a tenant space located at 301 Main Street, for Elovecoffee LLC DBA Espresso Love Coffee, applicant; Parcel MUKV 1976-128.**

Fellows gave overview of project

Stockwell gave overview of project

Motion by Wamser/Brill to approve RESOLUTION 2021-38 a Resolution to approve Conditional Use for a request for a Drive Through Facility for a tenant space located at 301 Main Street, for Elovecoffee LLC DBA Espresso Love Coffee, applicant; Parcel MUKV 1976-128, carried.

**Discussion and possible recommendation to Village Board for RESOLUTION 2021-39 for Site Plan and Architectural Review for ELoveCoffee DBA Espresso Love Coffee, applicant; 301 Main St; MUKV 1976-128.**

Fellows gave overview of project.

Motion by Decker/Wamser to approve RESOLUTION 2021-39 a Resolution to approve a Site Plan and Architectural Review for ELoveCoffee DBA Espresso Love Coffee, applicant; 301 Main St; MUKV 1976-128 pending Waukesha County Highway Department approval of two (2) access points on Main St, carried

**Discussion and possible recommendation to Village Board RESOLUTION 2021-40 to approve Conditional Use for a Drive Through Facility for a tenant space located at 827 S Rochester Street, for Mark Sykes / Sykes Foods, LLC, applicant; MUKV 2009-998-003.**

Fellows gave overview of project

Motion by Decker/Brill to approve RESOLUTION 2021-40 a Resolution to approve Conditional Use for a Drive Through Facility for a tenant space located at 827 S Rochester Street, for Mark Sykes / Sykes Foods, LLC, applicant; MUKV 2009-998-003, carried

**Discussion and possible recommendation to Village Board on RESOLUTION 2021-41 for Site Plan and Architectural Review for Mark Sykes/Skyes Foods, LLC, applicant; 827 S Rochester St; Parcel MUKV 2009-998-003.**

Fellows gave overview of project

Motion by Decker/Wamser to approve RESOLUTION 2021-41 a Resolution to approve Site Plan and Architectural Review for Mark Sykes/Skyes Foods, LLC, applicant; 827 S Rochester St; Parcel MUKV 2009-998-003, carried

**Discussion and possible recommendation to Village Board RESOLUTION 2021-42 to approve Site Plan and Architectural Review for structures located at 211 Fox Street, for Robert G Kokott / Lakeland Property Management, applicant; Parcel MUKV 1973-951-001.**

Fellows gave overview of project

Motion by Decker/Wamser to approve RESOLUTION 2021-42 a Resolution to approve Site Plan and Architectural Review for structures located at 211 Fox Street, for Robert G Kokott / Lakeland Property Management, applicant; Parcel MUKV 1973-951-001, carried

**Adjournment**

Meeting adjourned at 7:26 p.m.

Respectfully Submitted,  
Linda Gourdoux  
Deputy Clerk/Treasurer

**NOTICE OF PUBLIC HEARING BEFORE THE VILLAGE OF MUKWONAGO  
PLAN COMMISSION TO CONSIDER A CONDITIONAL USE APPLICATION FOR  
CAR WASH, WITH A PERMITTED OR CONDITIONAL USE LOCATED AT 809 S.  
ROCHESTER ST.**

Please take notice there will be a public hearing before the Village of Mukwonago Plan Commission in the Board Room of the Village Hall, 440 River Crest Court, Mukwonago, Waukesha and Walworth Counties, on Tuesday, June 8<sup>th</sup>, 2021, commencing at 6:30 P.M. or soon thereafter to consider the following matter:

**REGARDING:** Consider a request for a Car Wash, with a permitted or conditional use as a conditional use pursuant to Section 100-351 of the Village's Zoning Ordinance

**TAX KEY/LOCATION:** MUKV2009978004; 809 S. Rochester St.

**APPLICANT:** River's Edge Car Wash Inc.

**LEGAL DESCRIPTION:** PARCEL 3 CERT SURV 6592 VOL 55/1 REC AS DOC# 1683246 PT NE1/4 SEC 35 & NW1/4 SEC 36 T5N R18E :: INCLUDING ACCESS EASEMENT TO STH 83 AS SHOWN ON CERT SURV 6592 :: DOC# 2060154

The meeting/public hearing may be held online via Zoom if so information will be indicated on the meeting agenda.

The proposal may be viewed at Village Hall, 440 River Crest Court, Mukwonago, WI during business hours, or by contacting the John Fellows, AICP, Village Planner at (262) 363-6420 x. 2111, or at [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).

All interested parties will be heard. Written comments will be accepted up to the time of the hearing. For more information, please contact the village planner at (262) 363-6420 x. 2111, or at [jfellows@villageofmukwonago.com](mailto:jfellows@villageofmukwonago.com).

Diana Dykstra, Clerk-Treasurer

To be published: May 18<sup>th</sup> & May 25<sup>th</sup>, 2021



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

809 S Rochester Street

Parcel Number: MUKV 2009-978-004

## Case Summary

### Parcel Data

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Proposal:	Additional landscaping, retaining wall, customer use vacuum area
Applicant:	Carl Goede / Rivers Edge Car Wash
Request:	Site Plan and Architectural Review Conditional Use Permit Additional landscaping, retaining wall, customer use vacuum area
Staff Recommendation:	Approve with Conditions

### Parcel Characteristics / Conditions

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Acreage:	1.679
Current Use:	Car wash and quick lube
Proposed Use:	Car wash
Reason for Request:	Site modifications
Land Use Classification:	Low Intensity Commercial / Business
Zoning Classification:	B-2 General Business District
Census Tract:	2039.01

### Public Notice

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A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

### Site Plan and Architectural Review Request

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<b>Architectural/ Site Review</b>	Rivers Edge Car Wash is requesting approval for site modifications and a conditional use related to additional landscaping, retaining wall, customer use vacuum area. The modifications will consist of creating a retaining wall on the front end of the property to house vacuum stalls for customer use. Additional landscaping is also proposed with this addition.
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<b>Site Modifications</b>	Rivers Edge Car Wash is requesting approval for site modifications and a conditional use related to additional landscaping, retaining wall, customer use vacuum area. The modifications will consist of creating a retaining wall on the front end of the property to house vacuum stalls for customer use. Additional landscaping is also proposed with this addition.
<b>Utilities</b>	No modifications at this time.
<b>Stormwater Management</b>	No modifications at this time.
<b>Wetlands</b>	None
<b>Signage</b>	Will be reviewed by staff per ordinance. Signage on plans is for illustrative purposes and has not been reviewed for compliance.
<b>Parking</b>	No modifications at this time.
<b>Landscaping</b>	Additional landscaping is proposed. See site plan.
<b>Trash Enclosure</b>	No modifications at this time.
<b>Fencing</b>	No modifications at this time.
<b>Outdoor Lighting</b>	No modifications at this time.
<b>Misc. Performance Standards</b>	None

#### **Staff Review**

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<b>Engineering</b>	See letter from R-M
<b>Public Works</b>	No issues.
<b>Utilities</b>	No comment
<b>Police</b>	Would like to see vegetation kept near a maximum height of 3ft. (36 inches)
<b>Fire</b>	No comment
<b>Building Inspection</b>	No comment
<b>Planning</b>	The landscaping plan of the property is compliant with regard to the number of trees. These existing trees are located on the south property line and rear property line. Section 100-152 (j) (1) of the municipal code states that a minimum of two trees are to be planted or retained in each front yard and each street side yard. Staff recommends that approval of the modifications of the site include the planting of two additional shade trees subject to the locations being approved by the planner prior to planting.

#### **Prior Conditional Use**

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Two conditions permits have been granted. Resolution 2013-21 and Resolution 2014-09.

Resolution 2013-21 had the following conditions:

- A. Curbing will direct traffic in southerly direction at exit per site plan.
- B. Must be owned and operated by one entity with any management to be reviewed by this Board.
- C. Construction material will match the present color of existing building.
- D. Lot cannot be divided at any time.
- E. Construction will meet all state, county, and municipal ordinances.

Resolution 2014-09 had the following conditions:

- A. The plan description for the construction of the vacuuming stations as presented shall be followed.
- B. 5 vacuum stalls with 6 arches.
- C. Paving additional 7 parking stalls
- D. Arches to match blue building stripe as close as possible.
- E. Vacuum station only available when car wash is open.
- F. Will follow all previous conditions set by other conditional use permits.

## **Conditional Use Request**

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### **About the Business:**

Rivers Edge Car Wash is a local car wash business in Mukwonago, WI. They are seeking a conditional use for Car Wash, Oil Change, landscaping, a retaining wall, and vacuum stalls.

### **Harmony with Village policies, ordinances, and programs**

*Refer to submitted letter.*

### **Specific Location within harmony with Village policies, ordinances and programs**

*Refer to submitted letter.*

### **Potential Adverse Impact on surrounding:**

*The current facility footprint is already developed and the additions are only improving services offered by the business. This should not cause adverse impact on traffic flow, parking, environment, and neighborhood character.*

### **Maintaining consistency within the environs of the property:**

*Rivers Edge Car Wash already has a conditional use to operate a car wash, the amendments to the current conditional use just compliment the services already offered and improve aesthetics.*

### **Adequate Services**

*The business location is already developed with all supporting utilities and services. There will be no anticipated additions of services to support this location.*

**Benefits of the use outweigh adverse impacts.**

*Benefits current customers, no potential adverse impacts.*

**Hours of Operation:**

Car wash hours shall be from 8:00am-6:00pm Monday through Friday, 8:00am-4:00pm Saturday, and 10:00am-2:00pm Sunday.

**Conditional Use Process / Findings**

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Review procedures The Plan Commission holds the public hearing and makes a recommendation to the Village Board which makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

## **Recommendation**

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### **Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. The applicant applies for and receiving approval for all new signage.
10. The only exterior modification to the structure at this time shall be additional landscaping, retaining wall, and vacuum stalls.
11. Landscaping shall be maintained at three feet.
12. Two additional shade trees shall be planted within the front yard of the property species, size and location to be coordinated with the Planner prior to installation.
13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

### **Conditional Use**

Staff Recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in the attached resolution.

To – Grant a Conditional Use permit for a Restaurant with drive-thru to the following on going conditions deemed necessary to protect the health, safety, and welfare

1. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:

- a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
- b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
- c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
- d. Potable water and sanitation must be provided and maintained.
- e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. Signage shall be applied for and approved by the Village prior to installation.
- k. Continuation of the following conditions from prior conditional use resolutions as follows:
  - Curbing will direct traffic in southerly direction at exit per site plan.
  - Construction will meet all state, county, and municipal ordinances.
  - The plan description for the construction of the vacuuming stations as presented shall be followed as indicated in the 2014-09 resolution.
  - Vacuum station only available when car wash is open.
- l. Compliance with the Site Plan and Architectural Review conditions.
- m. The landscaping, retaining wall, and vacuum stalls shall be maintaining in a neat and orderly manner at all times.
- n. Car wash hours shall be from 8:00am-6:00pm Monday through Friday, Saturday from 10am-4:00pm, and Sunday 10:00am-2:00pm

and determining that the conditions are consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary

development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

#### Attachments

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1. Maps
2. Plans
3. Resolution for approval of a Conditional Use
4. Resolution for approval of the Site Plan and Architectural Review





Village of Mukwonago GIS  
809 S Rochester St - Aerial

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

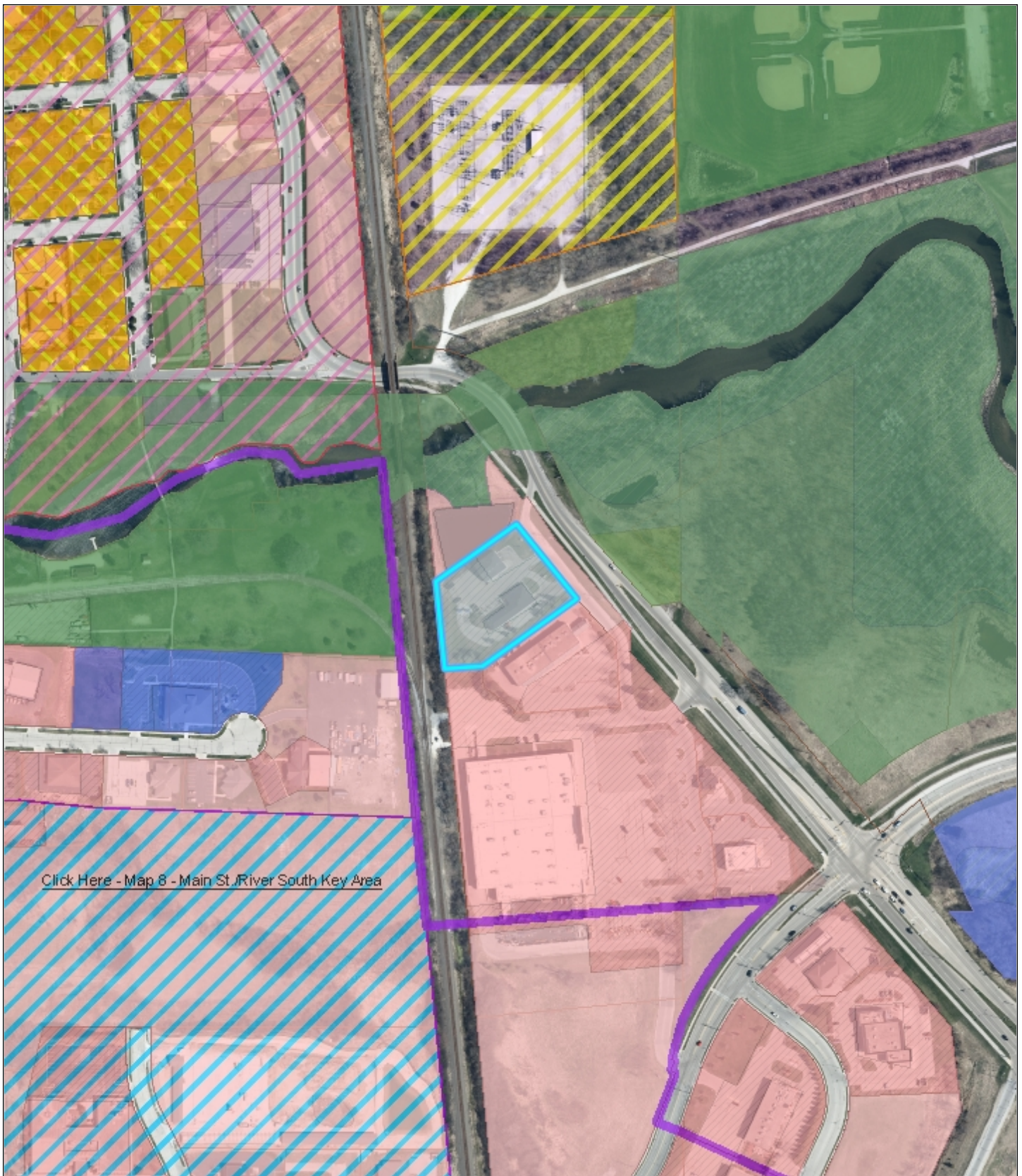


SCALE: 1" = 333 '

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021





Village of Mukwonago GIS  
809 S Rochester St - Land Use

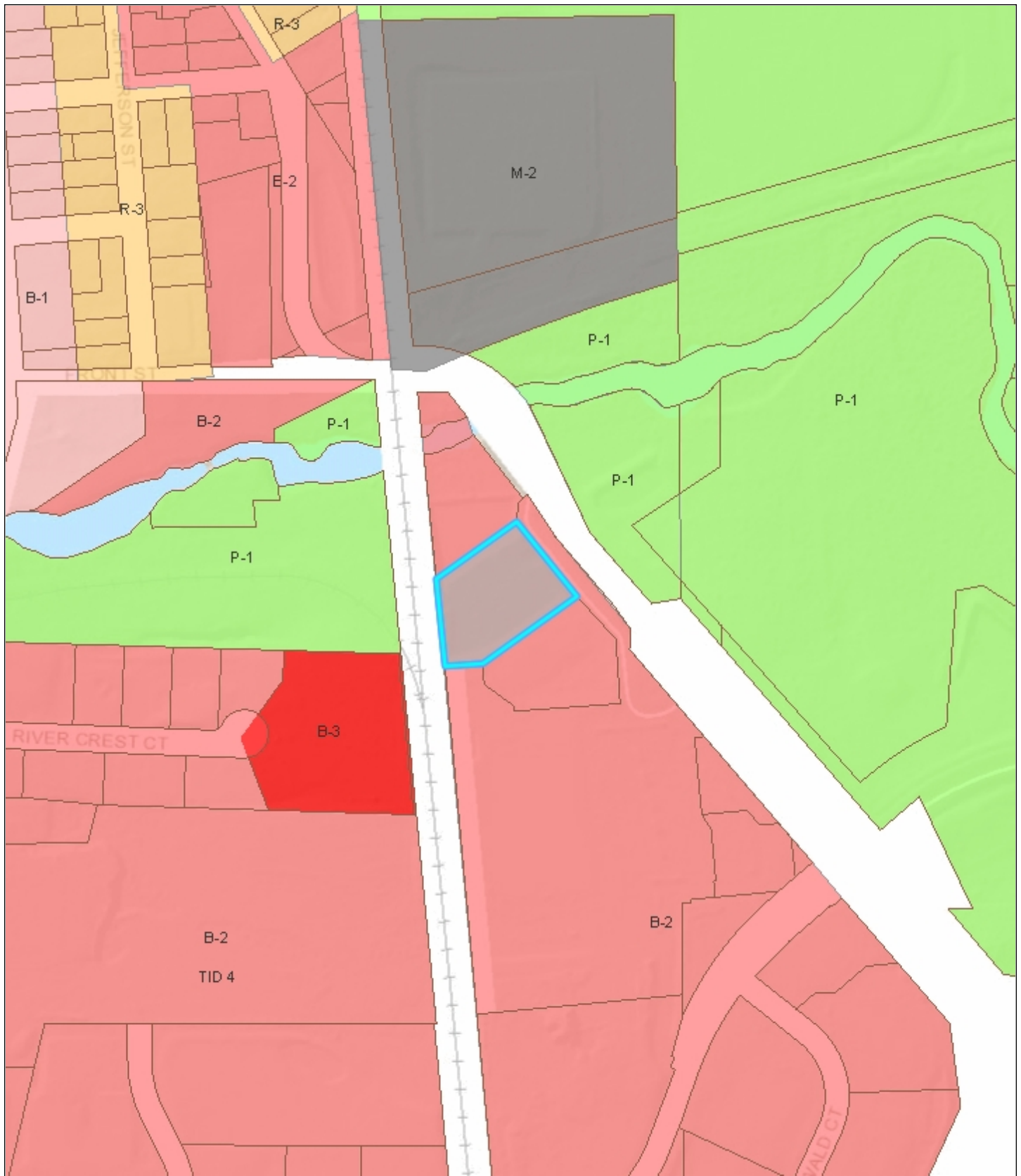
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SCALE: 1" = 333 '

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021



**Village of Mukwonago GIS**  
**809 S Rochester St - Zoning**

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SCALE: 1" = 333'

VILLAGE OF MUKWONAGO  
 440 River Crest Court  
 PO Box 206  
 Mukwonago, WI 53149  
 262-363-6420

Print Date: 5/25/2021



## Village of Mukwonago

The purpose of this letter is to share our vision of the improvements we would like to make to River's Edge Carwash.

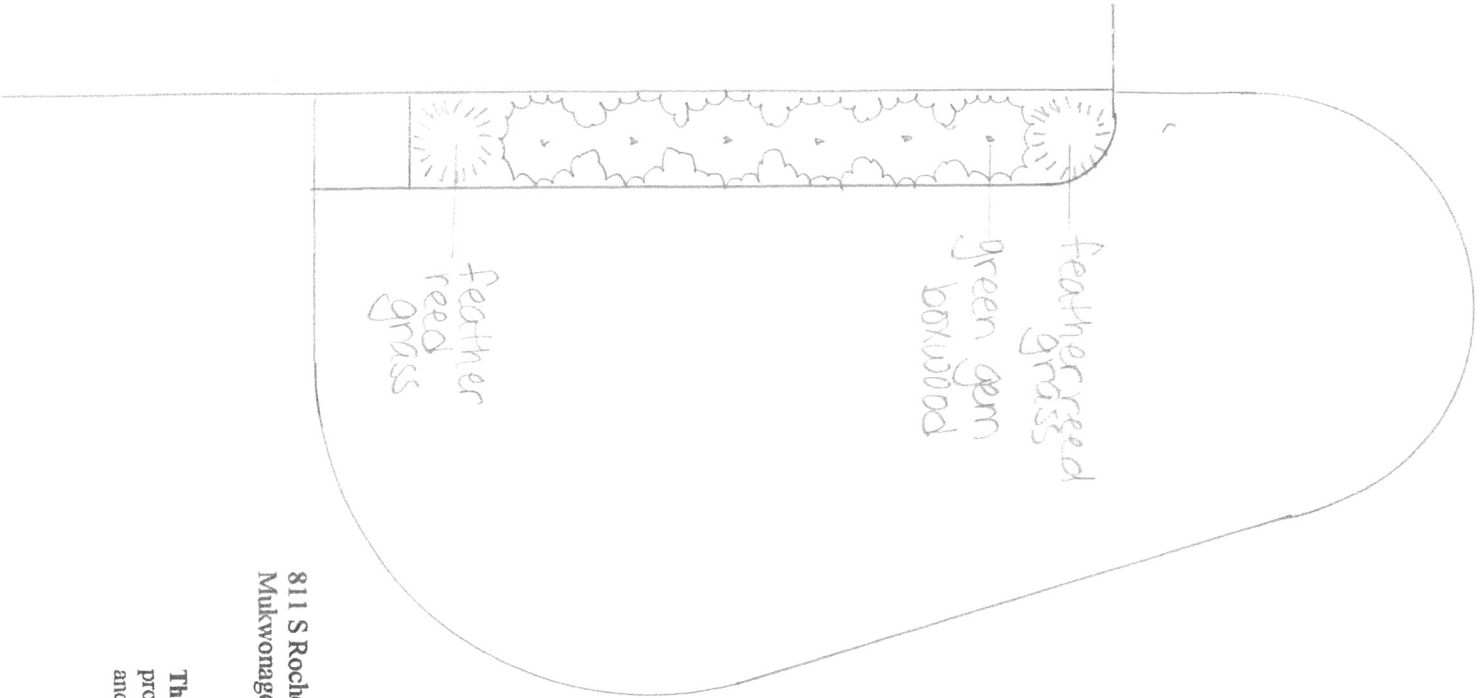
We would like to expand our free vacuum offering for our growing customer base by adding additional vacuum stalls and arches at the front of our property between the two entrance(s)/exit(s).

We would construct a retaining wall between the two drives extending toward the frontage road in order to provide a level surface to be paved. The additional vacuum arches would be installed on the newly paved surface on the building side of the retaining wall. The submitted plan also includes the planting of extensive landscaping between the retaining wall and the frontage road as well as the area along the front of the carwash building.

The desire to offer more free vacuum stalls stems from the growth in the community, requests from our customers, and our drive to exceed the needs of the community. Village residents see a lot of value in being able to maintain their vehicles as they are one of the biggest investments that many make.

Thank you for your time and consideration,

A handwritten signature in cursive script, reading "Carl Goetz". The signature is written in dark ink and is positioned below the "Thank you" text.



Existing  
pavement

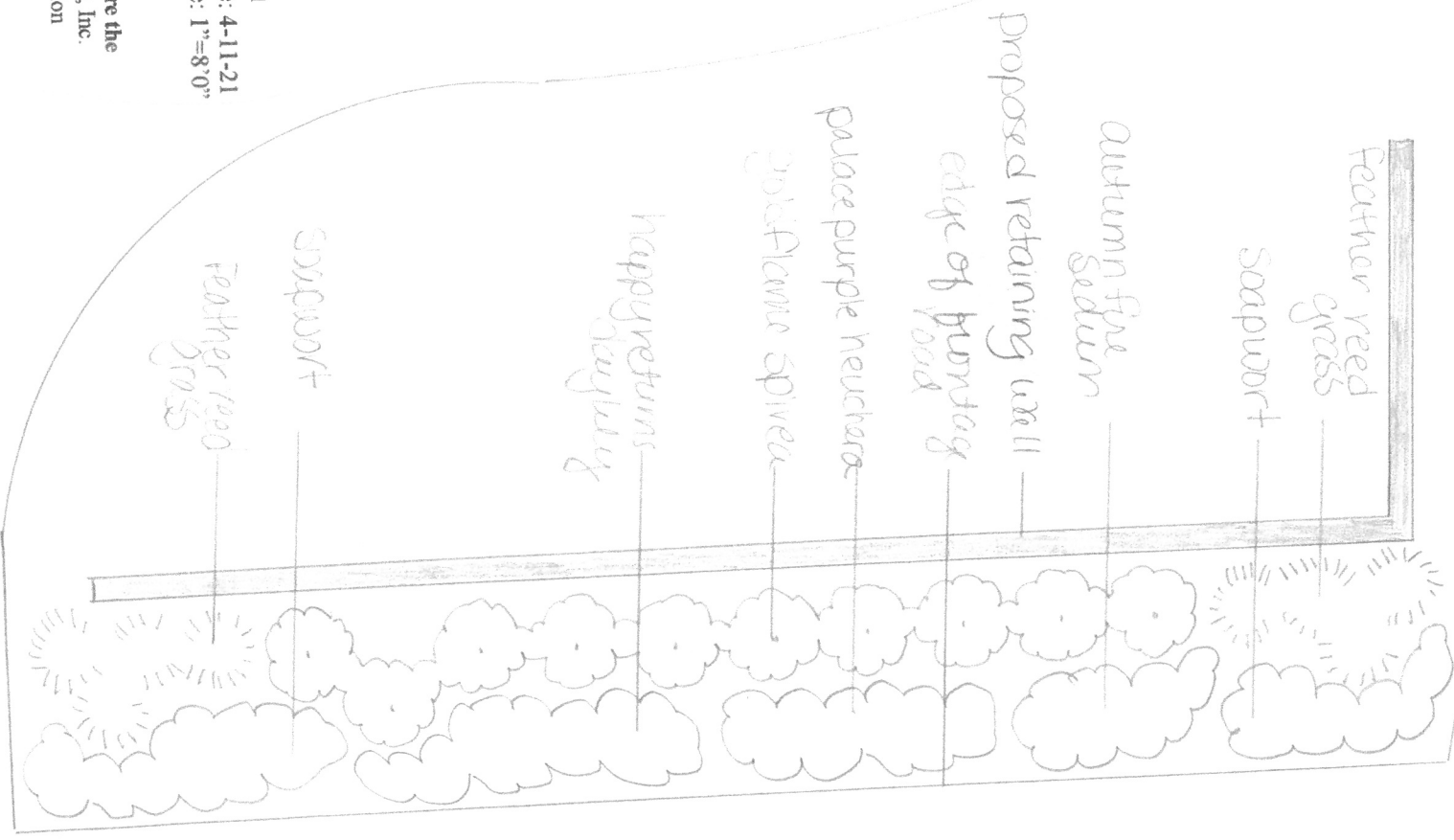
# River's Edge Car Wash

811 S Rochester  
Mukwonago, WI 53149

Drawn By: MR

Date: 4-11-21  
Scale: 1"=8'0"

This plan and the ideas contained herein are the property of CreateScape Landscaping Service, Inc. and may not be used without written permission





Sheet	REV.
01	2

**SITE LEGEND**

Handicap Parking

Proposed Curb Site

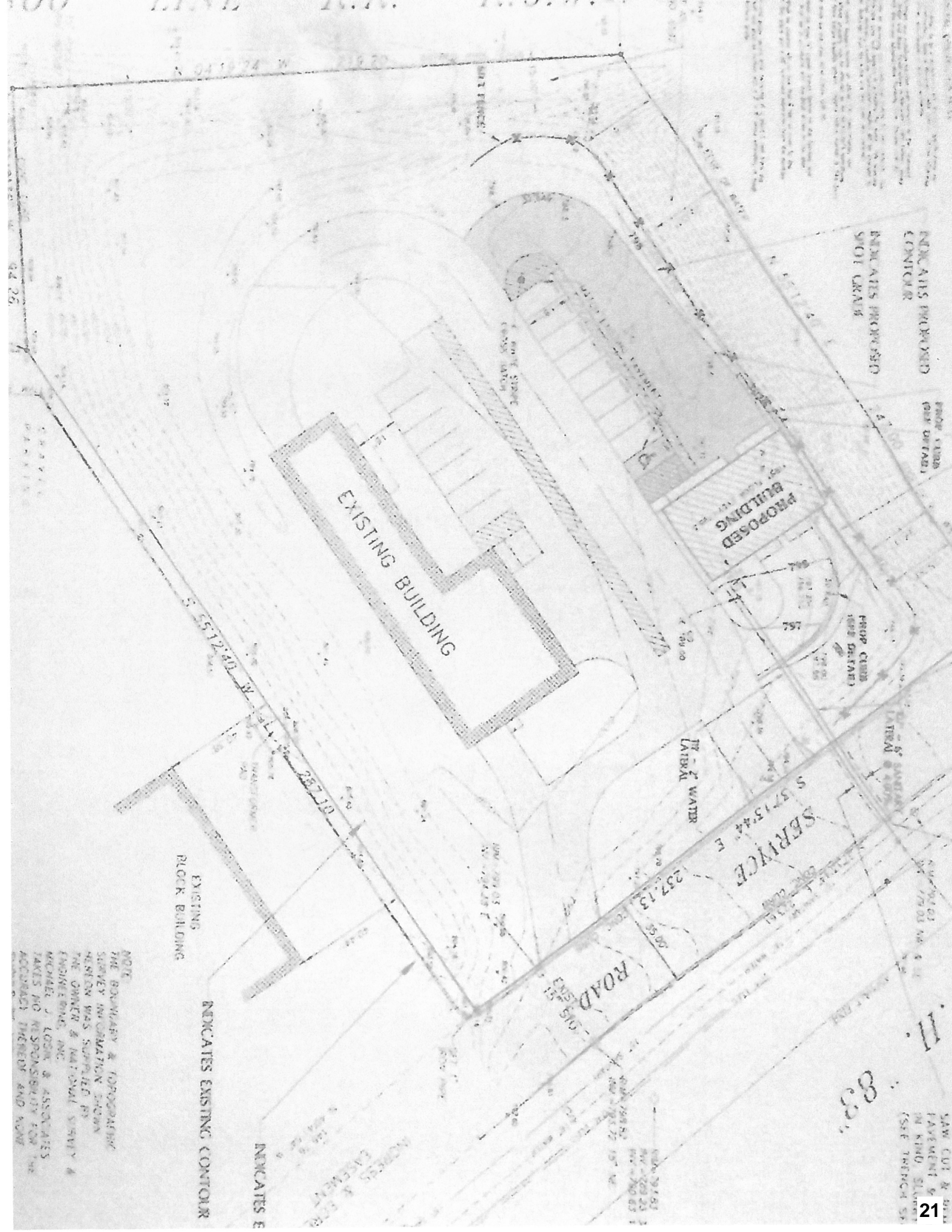
Boundary Line

Center Line of Road

Salvage

Date:	09.17.19
Revision Date:	02.25.21
Created By:	LV
Revised By:	DQC
Checked By:	





NOTE:  
THE BOUNDARY & TOPOGRAPHIC  
SURVEY INFORMATION SHOWN  
HEREON WAS SUPPLIED BY  
THE OWNER & NATIONAL SURVEY &  
ENGINEERING, INC.  
MICHAEL J. LOON & ASSOCIATES  
TAKES NO RESPONSIBILITY FOR THE  
ACCURACY THEREOF AND NOW

SAW CUT & BUILT  
PAYMENT &  
ON KIND SLURRY  
(SEE TRENCH SP)

**RESOLUTION 2021-53**

**Village of Mukwonago Order Granting a Conditional Use and Prescribing Conditions for a Car Wash for Carl Goede for 809 S Rochester Street, Mukwonago, WI**

WHEREAS, **Carl Goede / Rivers Edge Car Wash** (hereinafter "property owner") owns the property identified as 809 S Rochester Street, (hereinafter "subject property") in the Village of Mukwonago, more particularly described as follows:

PARCEL 3 CERT SURV 6592 VOL 55/1 REC AS DOC# 1683246 PT NE1/4 SEC 35 & NW1/4 SEC 36 T5N R18E :: INCLUDING ACCESS EASEMENT TO STH 83 AS SHOWN ON CERT SURV 6592 :: DOC# 2060154

WHEREAS, the property owner has, consistent with the Village of Mukwonago's zoning regulations, submitted a conditional use application for a car wash and oil change, and

WHEREAS, upon receipt of the petition submitted by the property owner, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on June 8th, 2021 to consider the petitioner's request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner's request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

**Return to:**

Diana Dykstra, Clerk-Treasurer  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

**Parcel Number:** MUKV 2009-998-004

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a car wash, oil change facility and accessory uses.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
  - a. The property owner must submit site/architectural plans to the Village for review and obtain approval of the same within 9 months of the date of this decision.
  - b. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
  - c. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) through 3(b) have been satisfied).

In the event the requirements enumerated in subsections 3(a) and 3(b) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
  - a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
  - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
  - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
  - d. Potable water and sanitation must be provided and maintained.
  - e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
  - f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
  - g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
  - h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
  - i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
  - j. Signage shall be applied for and approved by the Village prior to installation.
  - k. Continuation of the following conditions from prior conditional use resolutions as follows:

- Curbing will direct traffic in southerly direction at exit per site plan.
  - Construction will meet all state, county, and municipal ordinances.
  - The plan description for the construction of the vacuuming stations as presented shall be followed as indicated in the 2014-09 resolution.
  - Vacuum station only available when car wash is open.
- l. Compliance with the Site Plan and Architectural Review conditions.
  - m. The landscaping, retaining wall, and vacuum stalls shall be maintaining in a neat and orderly manner at all times.
  - n. Car wash hours shall be from 8:00am-6:00pm Monday through Friday, Saturday from 10am-4:00pm, and Sunday 10:00am-2:00pm

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the

property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 16<sup>th</sup> day of June, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

---

Fred Winchowky, Village President

Attest:

---

Diana Dykstra, Village Clerk

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this \_\_\_\_ day of \_\_\_\_\_ 2021, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 16<sup>th</sup> day of June, 2021.

---

NOTARY PUBLIC

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My Commission Expires:

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**Acceptance by Property Owner**

I, Carl Goede verify that I am an authorized agent for RIVERS EDGE CAR WASH INC accepts the terms stated herein.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
Carl Goede, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2021, the above-named person, Carl Goede to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
My Commission Expires:

Drafted by John S. Fellows, AICP, Planner, at the direction of the Mukwonago Village Board.

**RESOLUTION 2021- 54**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW  
FOR CAR WASH; CARL GOEDE / RIVERS EDGE CAR WASH, APPLICANT;  
809 S ROCHESTER STREET  
MUKV 2009-978-004**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for building modifications which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by Carl Goede / Rivers Edge Car Wash

**WHEREAS**, Carwashes and Oil change facilities are permitted within the B-2 General Business District with a conditional use in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for a structure located at 809 S Rochester Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. The applicant applies for and receiving approval for all new signage.
10. The only exterior modification to the structure at this time shall be additional landscaping, retaining wall, and vacuum stalls.
11. Landscaping shall be maintained at three feet.
12. Two additional shade trees shall be planted within the front yard of the property species, size and location to be coordinated with the Planner prior to installation.

Village of Mukwonago  
Walworth and Waukesha Counties, State of Wisconsin

13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 16<sup>th</sup> day of June 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

1111 Fox St.

Parcel Number: MUKV 1969989

## Case Summary

### Parcel Data

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Proposal:	Electronic Signage
Applicant:	Village of Mukwonago
Request:	Approval
Staff Recommendation:	Approve

### Parcel Characteristics / Conditions

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Acreage:	5.2973
Current Use:	Fire Station
Proposed Use:	Fire Station
Reason for Request:	Signage
Land Use Classification:	Government Institutional District
Zoning Classification:	M-1 Limited Industrial District
Census Tract:	2039.01

### Site Plan and Architectural Review Request

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#### Architectural/ Site Review

Village of Mukwonago is requesting permission to have an electronic sign at 1111 Fox St. (Fire Station). The Village Proper signage regulations allow for monument signs within the M-1 district with a maximum square footage of 100 SF a height of 12 ft. Reader boards are allowed when reader boards are part of the sign, they shall not exceed 33% of the total sign area while the main portion of the sign would be 67%. Setbacks are 10 ft.

The Village Public Works Departments is proposing a monument sign with masonry base and side masonry side columns. The sign will use the existing masonry base and columns. The total area of the sign is 42sf. The main portion of the sign has a square footage of 30sf. The reader board square footage is 10sf or 23% of the total area.

<b>Site Modifications</b>	Village of Mukwonago is requesting permission to have an electronic sign at 1111 Fox St. (Fire Station)
<b>Utilities</b>	No modifications at this time.
<b>Stormwater Management</b>	No modifications at this time.
<b>Wetlands</b>	None
<b>Signage</b>	Signage meets the requirements of the Zoning code.
<b>Parking</b>	No modifications at this time.
<b>Landscaping</b>	No modifications at this time.
<b>Trash Enclosure</b>	No modifications at this time.
<b>Fencing</b>	No modifications at this time.
<b>Outdoor Lighting</b>	No modifications at this time.
<b>Misc. Performance Standards</b>	None

#### **Staff Review**

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<b>Engineering</b>	No comment	<b>Fire</b>	No comment
<b>Public Works</b>	No comment	<b>Building Inspection</b>	No comment
<b>Utilities</b>	No comment	<b>Planning</b>	No comment
<b>Police</b>	No comment		

#### **Recommendation**

---

##### **Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
2. All work related to this project must comply with all project plans approved by the Village.
3. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
4. Electronic Messages may not change more quickly than 1 minute or as indicated in the most current ordinances of the Village.
5. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

#### **Attachments**

---

1. Maps
2. Plans
3. Resolution for approval of the Site Plan and Architectural Review





Village of Mukwonago GIS  
1111 Fox Street - Aerial

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

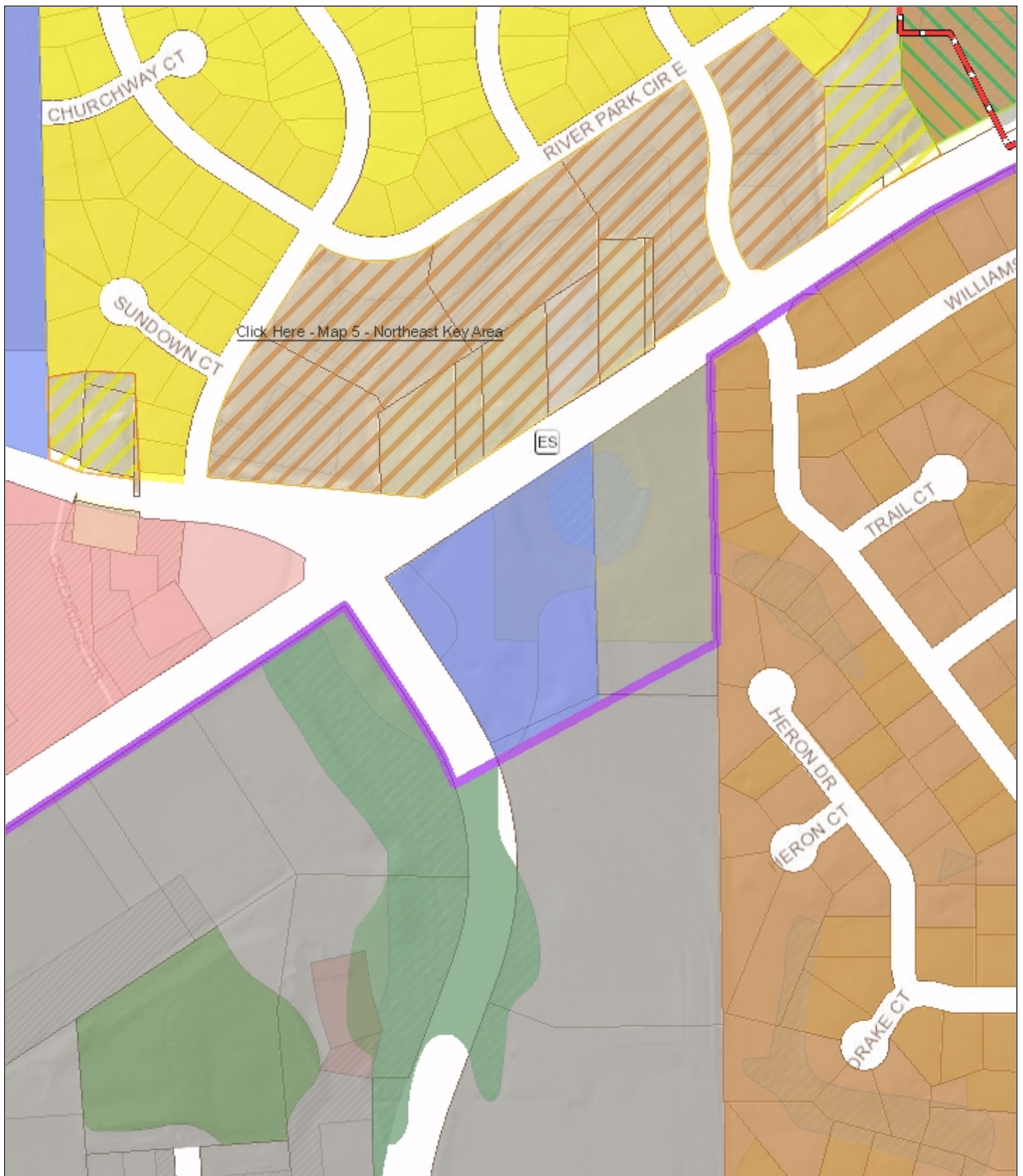


SCALE: 1" = 333 '

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021





Village of Mukwonago GIS  
1111 Fox Street - Land Use

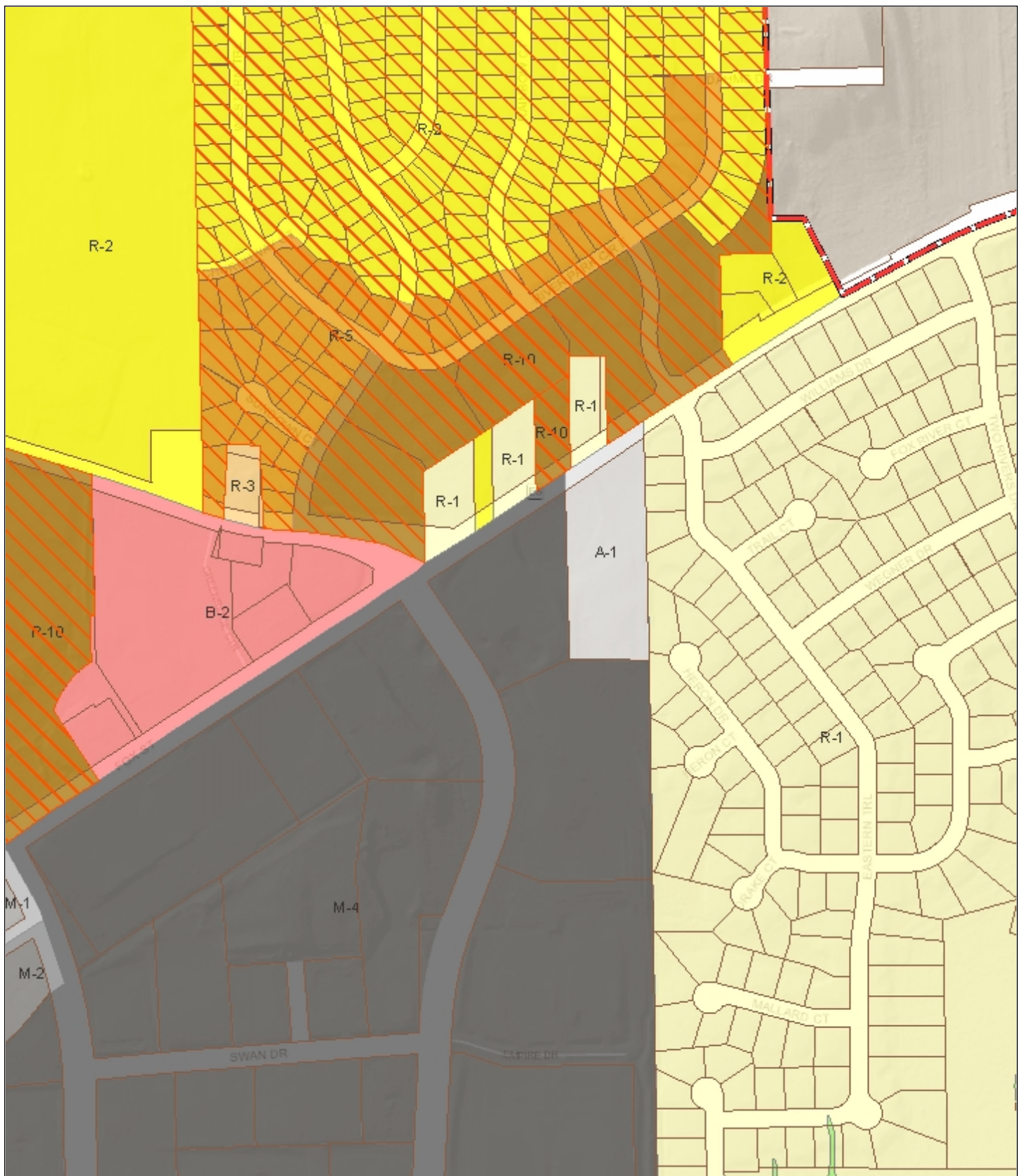
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SCALE: 1" = 333'

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440 River Crest Court  
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Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021



# Village of Mukwonago GIS 1111 Fox Street - Zoning

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SCALE: 1" = 500'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021





## Office of the Village Public Works Dept.

440 River Crest Court, Mukwonago, Wisconsin 53149 | (262) 363-6447 | Fax: (262)363-7197  
www.villageofmukwonago.com

Date: May 6, 2021

To: Fred Winchowky, Village President  
Plan Commissioners

From: Ron Bittner, Director of Public Works

Subject: Department of Public Works request to install a LED message center at the Fire Department.

Meeting: June 8, 2021 Plan Commission meeting

Dear Plan Commission Members,

The Public Works and Fire Departments would like to install a LED message center within the monument sign structure at Fire Station1 located at 1111 Fox Street. The sign is the second one in a message center project throughout the Village. The design is based on the Police Department's sign and will be modified to identify the Fire Department. The sign will provide community outreach to residents and visitors.



## **RESOLUTION 2021-48**

### **RESOLUTION APPROVING SIGNAGE FOR APPLICANT VILLAGE OF MUKWONAGO AT 1111 FOX ST., PARCEL MUKV 1969-989**

**WHEREAS**, pursuant to Chapter 64, an application for signage is required to be accepted by the Zoning Administrator to review the applications for zoning compliance, which said application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application was submitted by Ron Bittner, Village of Mukwonago, 1111 Fox St., and

**WHEREAS**, the proposed sign is required to be reviewed by the planning commission as the property exceeds three acres per Village's sign regulations 64-32

**WHEREAS**, the proposed monument sign presented as meeting the requirements of Chapter 64 has been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the proposed monument sign for an LED sign at 1111 Fox St., and

**BE IT FURTHER RESOLVED** this monument sign approval shall be subject to the plans submitted by Ron Bittner, as recommended by the Plan Commission on June 8<sup>th</sup>, 2021, and on file in the office of the Zoning Administrator, with the following conditions:

1. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
2. All work related to this project must comply with all project plans approved by the Village.
3. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
4. Electronic Messages may not change more quickly than 1 minute or as indicated in the most current ordinances of the Village.
5. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

Passed and dated this 16<sup>th</sup> day of June, 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana A Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### Certified Survey Map (CSM)

322 Plank Road

Parcel Number: MUKV1976-998

## Case Summary

### Parcel Data

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Proposal:	Certified Survey Map to create two (2) lots
Applicant:	Ryan Jansen / Ryan's Buying
Request:	Creation of two new lots
Staff Recommendation:	Approve with Conditions

### Parcel Characteristics / Conditions

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Lot 1 Acreage:	20,595 SF (0.473 acres)
Lot 2 Acreage:	20,355 SF (0.467 acres)
Lot 1 Width:	71.58 ft
Lot 2 Width:	65.29 ft + 6.30 ft = Total 71.59ft
Current Use:	Vacant Residential Lot
Proposed Use:	Residential Lots
Reason for Request:	Creation of new lots
Land Use Classification:	Medium Lot Single Family II – 15,000SF Lot
Zoning Classification:	R-2 Single Family Village Residential
Census Tract:	2039.02

### Staff Review

---

Engineering	No Comment
Public Works	No Comment
Utilities	Utilities will need to be provided for both lots at the time of development. The mains parallel the property but there are no service laterals run into the property. They need to be installed at time of development. Service costs are actual cost of installation, and we generally allow the developer to use their licensed contractor to install as they are there to do the homeowners side and save the mobilization costs.
Police	No Comment
Fire	No Comment
Building Inspection	No Comment

<b>Planning</b>	Both Lots shall be compliant with zoning requirements of the Medium Lot Single Family II – 15,000SF Land Use Classification and the R-2 Single Family Village Residential Zoning District
<b>Zoning</b>	Both Lots shall be compliant with zoning requirements of the R-2 Single Family Village Residential Zoning District

### **Planning Commission Suitability**

---

Section 45-15 Land suitability. Planning commission decision. In applying the provisions of this section, the planning commission shall, in writing, recite the particular facts upon which it bases its conclusion that the land is unsuitable for the proposed use and afford the subdivider an opportunity to present evidence and the means of overcoming such unsuitability, if he so desires. Thereafter, the planning commission may affirm, modify, or withdraw its determination of unsuitability.

If the Planning Commission should determine that said lands is not suitable for land division then the commission shall provide facts upon their conclusion as indicated in Section 45-15 of the Municipal code.

### **Recommendation**

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#### **CSM**

Staff recommends the Planning Commission Staff approve a resolution for a CSM, as set forth in the attached resolution.

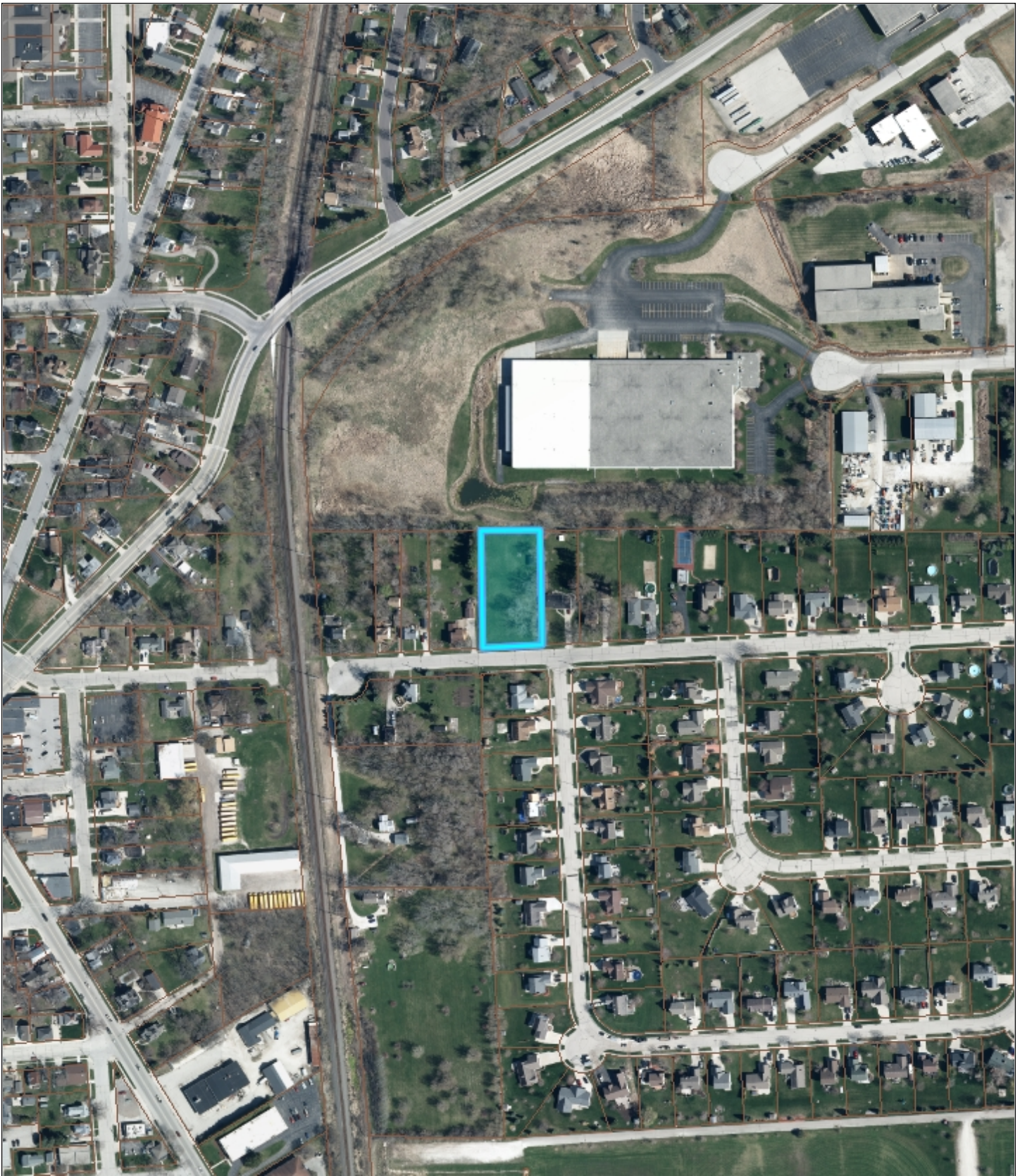
1. All lots shall be complaint to the Zoning Classification of R-2 Single Family Village Residential Zoning District prior to recording.
2. Civil plans for utilities, grading and similar activity shall be submitted to the Village for approval by the Utilities Department and Village Engineer for review and approval prior to any building permits being submitted or approved.
3. Prior to any land-disturbing activity on either lot, a pre-construction meeting must be held with the developers / property owner(s) and primary contractors, and Village department heads and representatives.
4. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
5. The applicant / property owner(s) must obtain all applicable permits.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer must comply with all requirements related to the parkland fee imposed by the Village.
8. The developer shall comply with all parts of the Municipal Code as it relates to this project.
9. The developer shall comply with comments from the Village Engineer.
10. Each property will be permitted one driveway complaint with Village standards with the location of proposed driveways approved by the Village Engineer and Public Works Director or designees.
11. Any future modification to the proposed CSM prior to recording shall require review by the Planning Commission and Village Board.

### **Attachments**

---

1. Maps
2. Draft CSM
3. Resolution for CSM





Village of Mukwonago GIS  
322 Plank Road - CSM - Aerial Map

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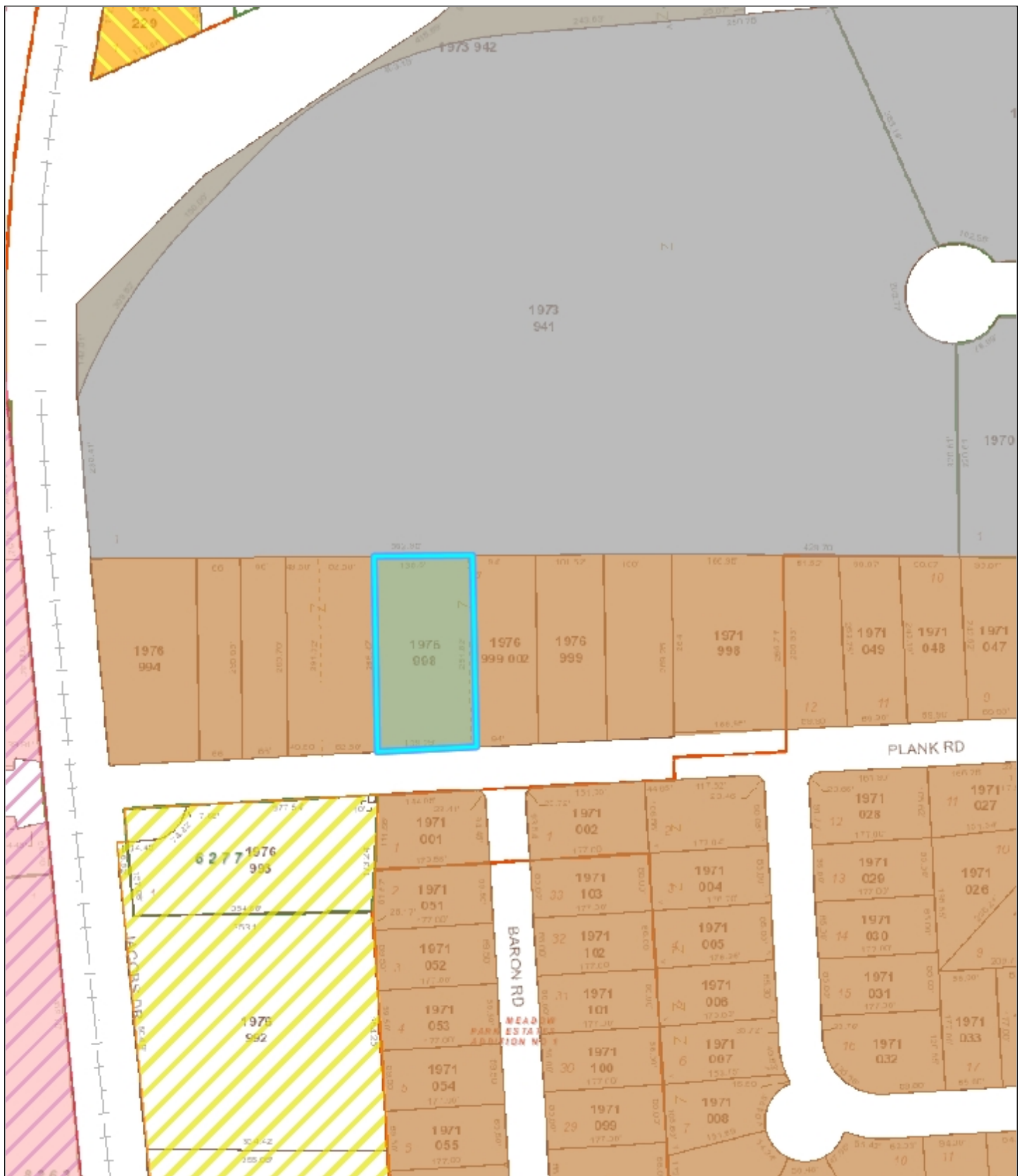


SCALE: 1" = 333 '

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021





# Village of Mukwonago GIS 322 Plank Road - Land Use

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SCALE: 1" = 200'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 6/1/2021





Village of Mukwonago GIS  
322 Plank Road - CSM - Zoning Map

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 167'

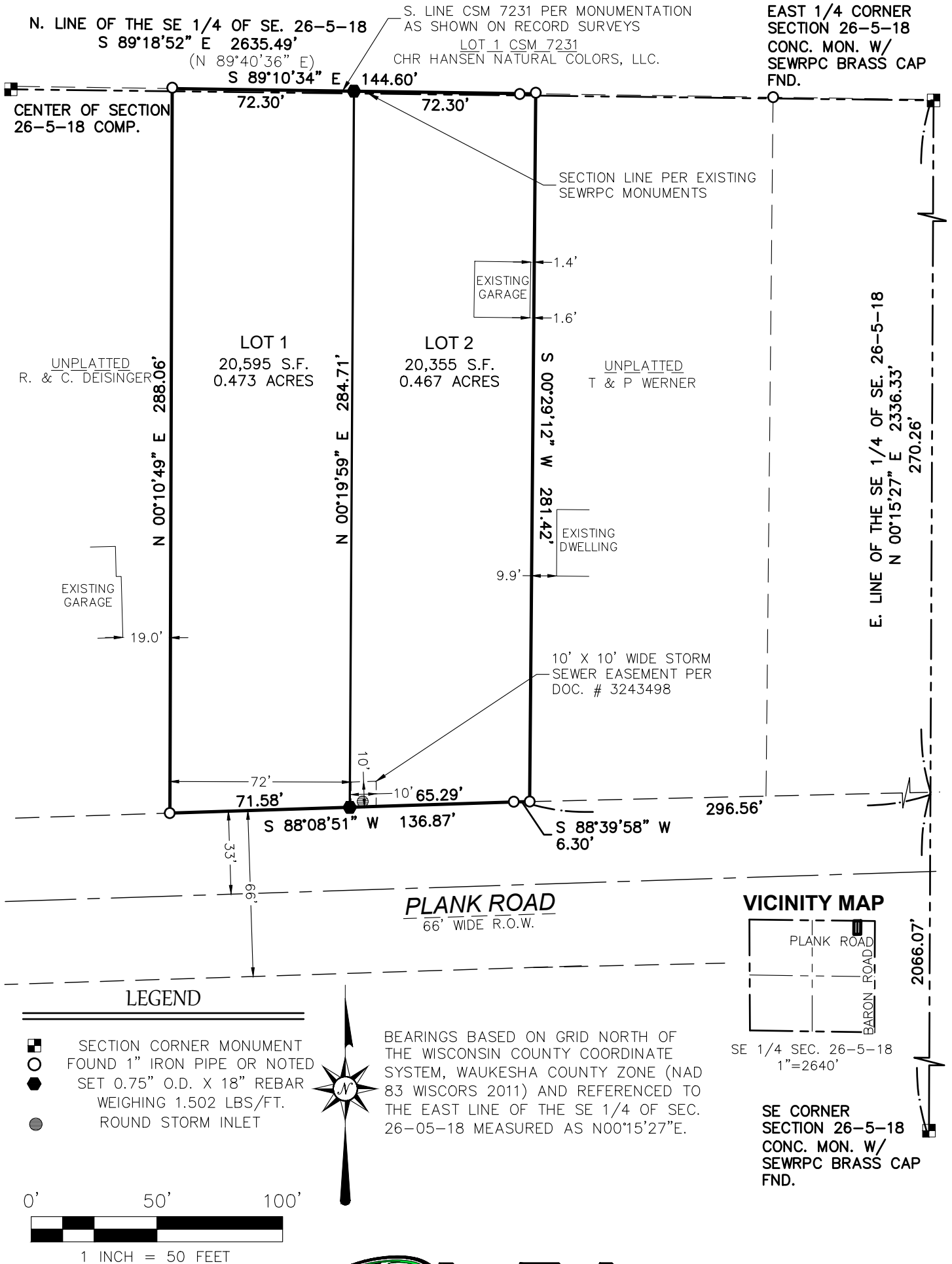
VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021

PRELIMINARY

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE SE 1/4 AND PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.



PREPARED FOR:  
RYAN'S BUYING, LLC.  
RYAN JANSSEN  
13416 WATERTOWN PLANK RD. #245  
ELM GROVE, WI 53122

LAND SURVEYING • LAND PLANNING  
111 W. 2ND STREET  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

DATED 04/14/2021  
JOB# 21059

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771 SHEET 1 OF 3

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE SE 1/4 AND PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE SE 1/4 AND PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS,

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST; THENCE S 00°15'27" W ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 26, 270.26 FEET TO THE NORTH RIGHT OF WAY OF PLANK ROAD; THENCE S 88°39'58" W, ALONG THE NORTH RIGHT OF WAY OF PLANK ROAD, 296.56 FEET TO THE POINT OF BEGINNING; THENCE S 88°39'58" W, ALONG THE NORTH RIGHT OF WAY OF PLANK ROAD, 6.30 FEET; THENCE S 88°08'51" W, ALONG THE NORTH RIGHT OF WAY OF PLANK ROAD, 136.87 FEET; THENCE N 00°10'49" E, 288.06 FEET TO THE SOUTH LINE OF LOT 1 CSM 7231; THENCE S 89°10'34" E, ALONG THE SOUTH LINE OF LOT 1 CSM 7231, 144.60 FEET; THENCE S 00°29'12" W, 281.42 FEET TO THE POINT OF BEGINNING.

LANDS AS DESCRIBED HAVING AN AREA OF 40,950 SQUARE FEET OR 0.940 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF RYAN'S BUYING, LLC. OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF THE VILLAGE OF MUKWONAGO IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

**CORPORATE OWNER'S CERTIFICATE**

RYAN'S BUYING, LLC, A WISCONSIN LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID LLC CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS PLAT. RYAN'S BUYING, LLC, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF MUKWONAGO IN WITNESS WHEREOF, THE SAID RYAN'S BUYING, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY: RYAN JANSSEN, MEMBER, AT \_\_\_\_\_ WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS \_\_\_\_\_,

DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

IN THE PRESENCE OF:

\_\_\_\_\_  
RYAN JANSSEN, MEMBER

**CORPORATE OWNER'S NOTARY CERTIFICATE**

STATE OF \_\_\_\_\_)  
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, RYAN JANSSEN, MEMBER OF THE ABOVE NAMED LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH MEMBER OF SAID LLC, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBER AS THE DEED OF SAID LLC, BY ITS AUTHORITY.

(NOTARY SEAL) \_\_\_\_\_ WISCONSIN

NOTARY PUBLIC, \_\_\_\_\_,

MY COMMISSION EXPIRES \_\_\_\_\_.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE SE 1/4 AND PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION  
26, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

VILLAGE OF MUKWONAGO PLAN COMMISSION

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF MUKWONAGO, THIS  
\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRINT OFFICIAL TITLE: \_\_\_\_\_ PRINT OFFICIAL TITLE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ PRINT NAME: \_\_\_\_\_

VILLAGE OF MUKWONAGO BOARD

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF MUKWONAGO BOARD,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
DIANA DYKSTRA – VILLAGE TREASURER

\_\_\_\_\_  
FRED WINCHOWKY – VILLAGE PRESIDENT

**RESOLUTION 2021- 47**

**RESOLUTION APPROVING A CERTIFIED SURVEY MAP (CSM)  
FOR 322 PLANK ROAD, MUKV1976-998  
THE VILLAGE OF MUKWONAGO**

**WHEREAS**, pursuant to Section 45, of the Municipal Code, an application for Certified Survey Map (CSM) has been filed for the approval for a two lot CSM, which application has been filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the RYAN JANSEN / RYAN'S BUYING

**WHEREAS**, the proposed lots within the Medium Lot Single Family II – 15,000SF Lot Land Use Classification in which the subject property is located, and

**WHEREAS**, the proposed lots within the R-2 Single Family Village Residential Zoning District in which the subject property is located, and

**WHEREAS**, the proposed division of land / Certified Survey Map (CSM) has been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the proposed division of land / Certified Survey Map (CSM), based upon the draft CSM submitted.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this proposed division of land / Certified Survey Map (CSM), shall be subject to the following conditions:

1. All lots shall be complaint to the Zoning Classification of R-2 Single Family Village Residential Zoning District prior to recording.
2. Civil plans for utilities, grading and similar activity shall be submitted to the Village for approval by the Utilities Department and Village Engineer for review and approval prior to any building permits being submitted or approved.
3. Prior to any land-disturbing activity on either lot, a pre-construction meeting must be held with the developers / property owner(s) and primary contractors, and Village department heads and representatives.
4. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
5. The applicant / property owner(s) must obtain all applicable permits.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer must comply with all requirements related to the parkland fee imposed by the Village.
8. The developer shall comply with all parts of the Municipal Code as it relates to this project.
9. The developer shall comply with comments from the Village Engineer.
10. Each property will be permitted one driveway complaint with Village standards with the location of proposed driveways approved by the Village Engineer and Public Works Director or designees.
11. Any future modification to the proposed CSM prior to recording shall require review by the Planning Commission and Village Board.

Village of Mukwonago  
Walworth and Waukesha Counties, State of Wisconsin

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, of the proposed division of land / Certified Survey Map (CSM), shall agree to accept the same in writing.

Passed and dated this 16<sup>th</sup> day of June 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

301 Main Street

Parcel Number: MUKV 1976-128

## Case Summary

### Parcel Data

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Proposal:	Coffee shop and Drive-Thru (1 <sup>st</sup> floor), two apartments (2 <sup>nd</sup> floor)
Applicant:	David A. and Tracy A. Stockwell Espresso Love Coffee
Request:	Site Plan Review – Revised Parking Lot Design
Staff Recommendation:	Approve with Conditions

### Parcel Characteristics / Conditions

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Acreage:	0.3806
Current Use:	Abandoned Gas Station
Proposed Use:	Mixed use commercial/apartments
Reason for Request:	New Construction
Land Use Classification:	Low Intensity Commercial / Business with Village Center Overlay
Zoning Classification:	B-2 General Business District / Village Center Retail Center Overlay District
Census Tract:	2039.01

### Site Plan and Architectural Review Request

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#### Site Review

Express Love Coffee appeared before the Planning Commission in May of 2021 and received approval in May 2021 from the Village Board for site plan and Architectural Design. One of the conditions of approval was securing permits from Waukesha County for modifications to curb cuts on to Main Street.

The applicant's team and Waukesha County met to discuss access on to Main Street. Waukesha County has preliminary approved

one access drive onto Main Street. Thus, the applicants team have revised the site plan and landscaping plan and are seeking a recommendation from Planning Commission and Approval from Village Board.

The Revised site plan has the drive through lanes connecting into the parking lot circulation and both the drive through traffic and the parking lot traffic will use the drive onto main street. This driveway will be a one-way exit, while the driveway on Henry Street will be the entrance to the property.

### **Landscaping**

The applicant has provided a landscaping plan showing two ornamental trees and a variety of shrubs and perennials (day lilies). The commercial district required 1 tree per 20 ft of street frontage. This calculation requires 12 trees for the development. Staff recommends that two additional trees be planted on site at the rear of the building and within the planting area near the dumpster area, such shade trees shall have a columnar upright pattern to allow for clearance around the dumpster area. The tree at the rear of the building shall be a shade tree. This will bring the total number of on-site trees to four. Staff recommends that the additional eight trees be planted within the right of way of Henry and Main. Staff also request modification of the landscaping plan along Main Street to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works, Police Chief, and Community Planner.

### **Parking**

Parking standards within the Village Center Overlay are modified by the overlay district. Some highlights of this ordinance are summarized below for reference.

Note : The property is located within the Multi-Purpose Parameter sub district.

*...“Most small business the providing of on site parking is not required, and on street and off street parking is the responsibility of the Village of Mukwonago”. (100-153 (i))*

*Accessory off-street parking is not required for a building with less than 2,500 square feet of gross leasable floor space designed for a business or businesses within the retail center or multi-purpose perimeter sub-districts or if the business or use would be required to provide 10 or less parking spaces if the business or use were not located within the retail center or multi-purpose perimeter sub-districts. (100-153 (i) (1))*

Note: the Gross square feet of the building is 1,879 Square feet.



*One parking space per bed room ( 100-153. (i) (3) )*

Note: The second floor has two apartments. Each apartment has one bedroom.

Note: The Village Center ordinance would require this property to have two parking spaces.

*For uses within the retail center or multi-purpose perimeter sub-districts of the Village center overlay zoning district that require off-street parking, or if off-street parking is voluntarily provided, off-street parking facilities design shall comply with all requirements of Article V of this Chapter 100, except as provided below:*

*a. For business off-street parking, a minimum of four spaces shall be provided, including at least one handicapped parking space.*

Summary: Because the development is choosing to provide off street parking a total of four spaces would be required with a minimum of one handicap space. In addition, two parking spaces would be required for the residential units. Accounting for a total of six spaces. The applicant is providing 20 spaces with one being a handicap space. In addition, the Village will have an easement for 6 spaces to be public parking. The development will provide for an additional eight spaces above the requirements of the multi-purpose parameter standards.

**Misc. Performance Standards** None

#### **Staff Review**

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<b>Engineering</b>	Approve with Conditions – See attached letters. Final plans for Stormwater, Water, Sewer, Hydrants, and erosion control must be submitted, reviewed, and approved by the Village Engineer prior to submission of any building permits.
<b>Public Works</b>	No Comment
<b>Utilities</b>	No additional Comments.
<b>Police</b>	It appear there will be one-way traffic, entering only off Henry street and exiting only on main street. They probably are planning on it, but I did not see anything on the plans, they will need entrance only/exit only signs at the entrance and exit. I would recommend a sign on each side of the drive, facing the street. Two entrance only signs at Henry Street and two exit only signs at Main Street. They should also have exit only signs at the drive through exit on Main Street.
<b>Fire</b>	Need WB-50 template run. State to determine if suppression is needed by occupancy number. KNOX Box.

**Building Inspection  
Planning**

No Comment

1. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.
2. Staff recommends that two additional trees be planted on site at the rear of the building and within the planting area near the dumpster area, such shade trees shall have a columnar upright pattern to allow for clearance around the dumpster area. The tree at the rear of the building shall be a shade tree. This will bring the total number of on-site trees to four. Staff recommends that the additional eight trees be planted within the right of way of Henry and Main. Staff also request modification of the landscaping plan along Main Street to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works, Police Chief, and Community Planner.
3. Conditions of the original Site Plan review of May of 2021 shall continue to apply as applicable.

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**Recommendation**

**Site Plan and Architectural Review**

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities. Final Plans shall be submitted, reviewed, and approved by Ruekert-Mielke prior to the pre-construction meeting.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project

elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.

10. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.
11. Staff recommends that two additional trees be planted on site at the rear of the building and within the planting area near the dumpster area, such shade trees shall have a columnar upright pattern to allow for clearance around the dumpster area. The tree at the rear of the building shall be a shade tree. This will bring the total number of on-site trees to four. Staff recommends that the additional eight trees be planted within the right of way of Henry and Main. Staff also request modification of the landscaping plan along Main Street to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works, Police Chief, and Community Planner.
12. Conditions of the original Site Plan review of May of 2021 shall continue to apply as applicable.
13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

#### Attachments

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1. Maps
2. Plans
3. Resolution for approval of the Site Plan and Architectural Review



## Village of Mukwonago GIS

Espresso Love - Aerial

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 83'

VILLAGE OF MUKWONAGO

440 River Crest Court

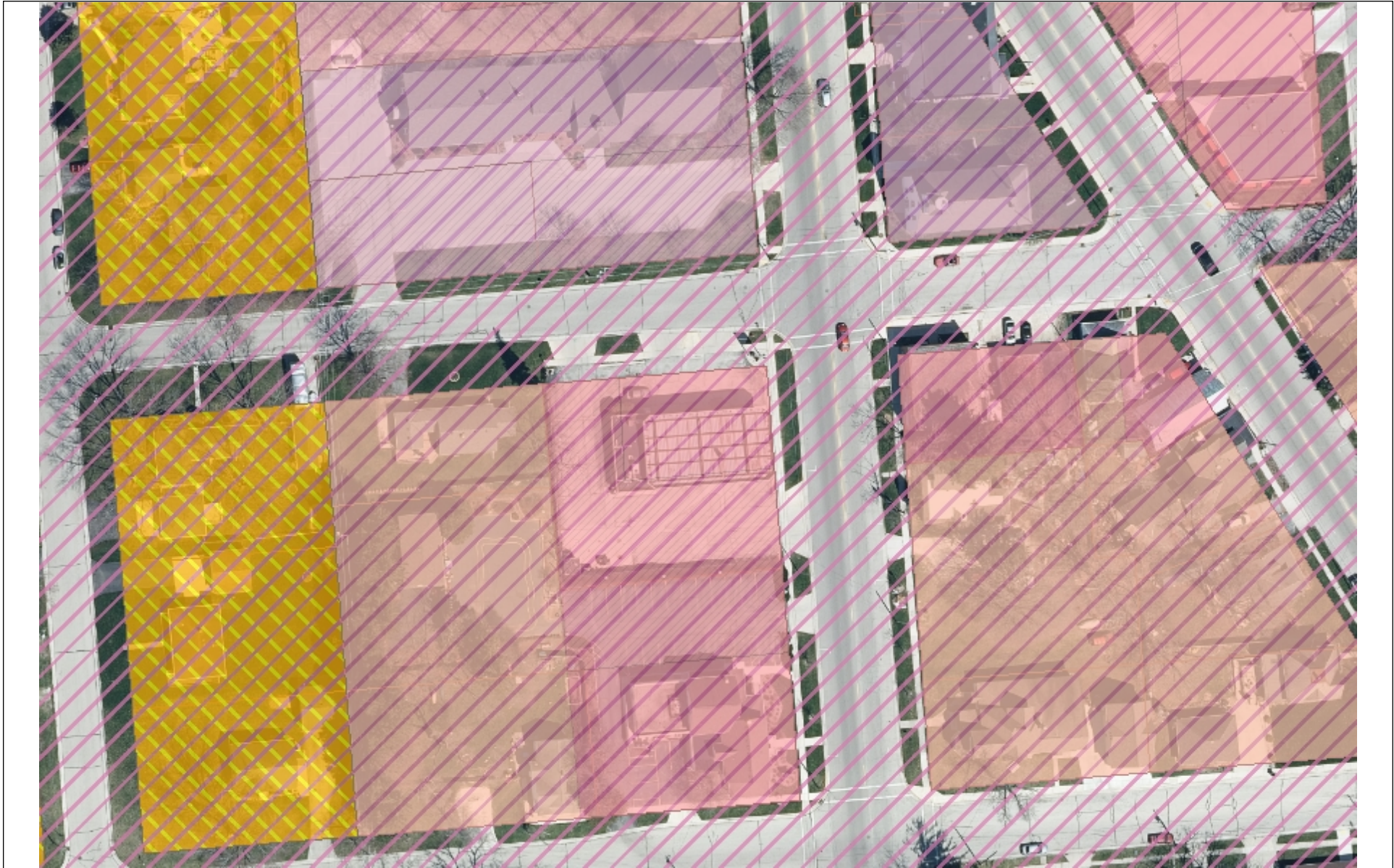
PO Box 206

Mukwonago, WI 53149

262-363-6420

Print Date: 5/6/2021





Village of Mukwonago GIS  
Espresso Love - Land Use Map

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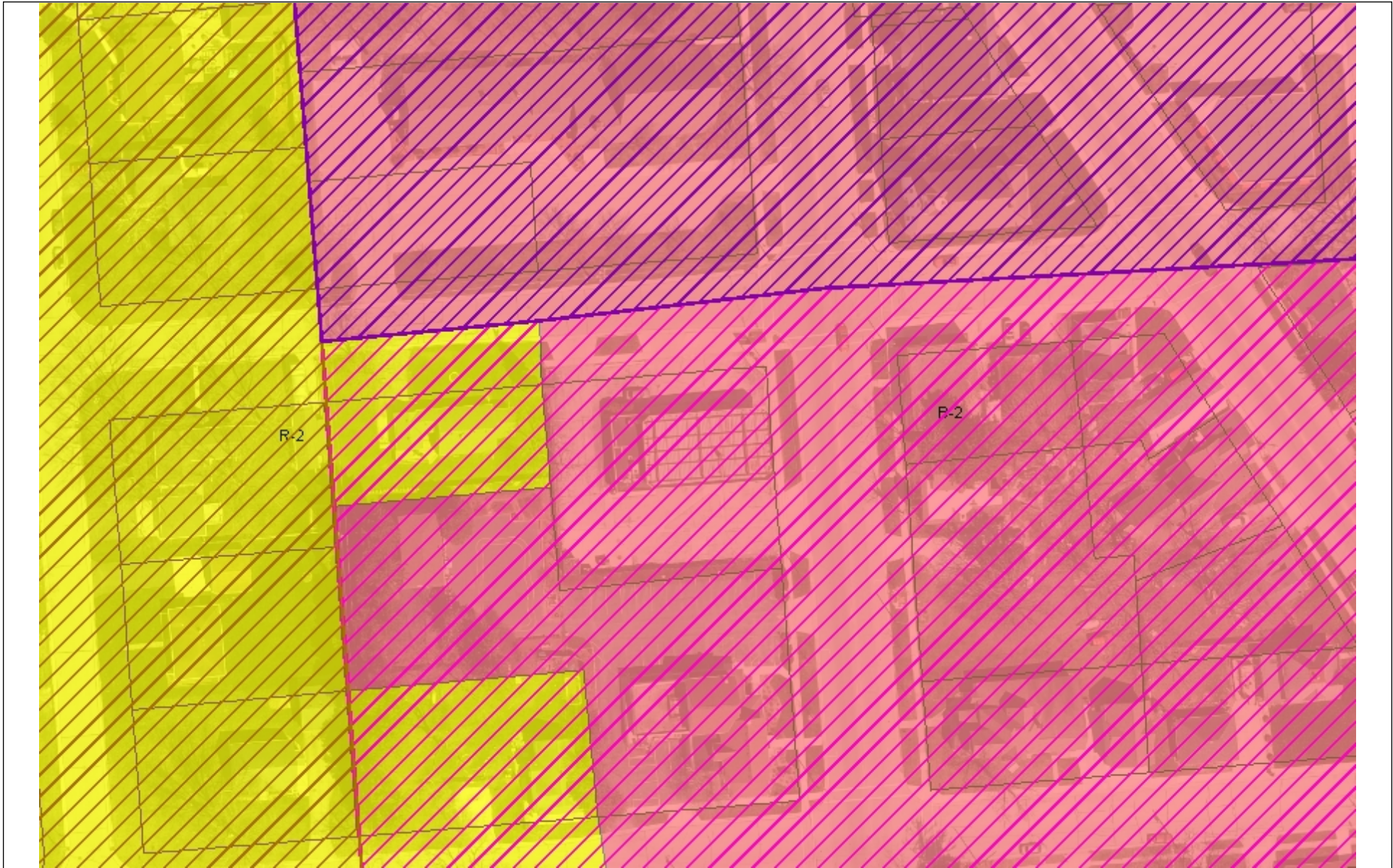


SCALE: 1" = 83'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/6/2021





Village of Mukwonago GIS  
Espresso Love - Zoning Map

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SCALE: 1" = 83'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/5/2021



May 27, 2021

Mr. Fred Winchowky  
Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Espresso Love  
Approval of Construction Drawings

Dear Mr. Winchowky:

We have completed our review of the resubmitted documents for the proposed Espresso Love site located at the southwest corner of Henry Street and CTH "ES" where the old Clark Gas Station was located. The plans are dated with a revision of May 27, 2021. The plan accurately addressed all comments we had in our May 4, 2021 comment letter.

We believe these plans are in compliance with Village Ordinances and Standard Specifications and follow standard engineering practice. We therefore recommend that the Planning Commission and Village Board approve the Construction Drawings dated May 27, 2021 contingent on the following items:

1. The Developer and their Contractor shall apply for and obtain a Village Erosion Control Permit prior to disturbing any land.
2. The Developer shall forward all approved Waukesha County Permits to the Village of Mukwonago and Ruekert & Mielke, Inc. prior to starting any construction.
3. The Developer and their Contractor shall hold a preconstruction meeting with Department Heads and a representative from Ruekert & Mielke prior to and land disturbing activity.
4. The Developer and their contractor are responsible for completing erosion control inspections of the site, at minimum on a weekly basis and after any rain event equal or greater than 0.5 inches. All erosion control measures shall be consistently maintained and repaired promptly.
5. Any modifications to the Construction Sequence or Erosion Control plan shall be submitted to and approved by the Village prior to implementing the change.

Our review did not include a detailed check of the all survey and engineering data, the accuracy of that data is the responsibility of Ellena Engineering Consultants, LLC.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch, E.I.T.  
Project Engineer  
[pgesch@ruekertmielke.com](mailto:pgesch@ruekertmielke.com)

Mr. Fred Winchowky  
Espresso Love – Drawing Approval  
May 27, 2021  
Page 2

PWG:pwg

cc: Diana Dykstra, Village of Mukwonago  
John Fellows, Village of Mukwonago  
Mark G. Blum, Village of Mukwonago  
Bob Harley, Village of Mukwonago  
Tim Rutenbeck, Village of Mukwonago  
Dave Brown, Village of Mukwonago  
Ron Bittner, Village of Mukwonago  
Chief Jeff Stien, Village of Mukwonago  
Chief Kevin Schmidt, Village of Mukwonago  
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.



PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

PROJECT

ESPRESSO LOVE  
COFFEE

301 MAIN STREET  
MUKWONAGO, WI 53149

OWNER

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

REVISIONS

NO.	DESCRIPTION	DATE
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INFORMATION

PROJECT ARCHITECT	Bob Rowe
PROJECT MANAGER	X
PROJECT NUMBER	X
ISSUED FOR	REVIEW
DATE	05.24.2021

SHEET

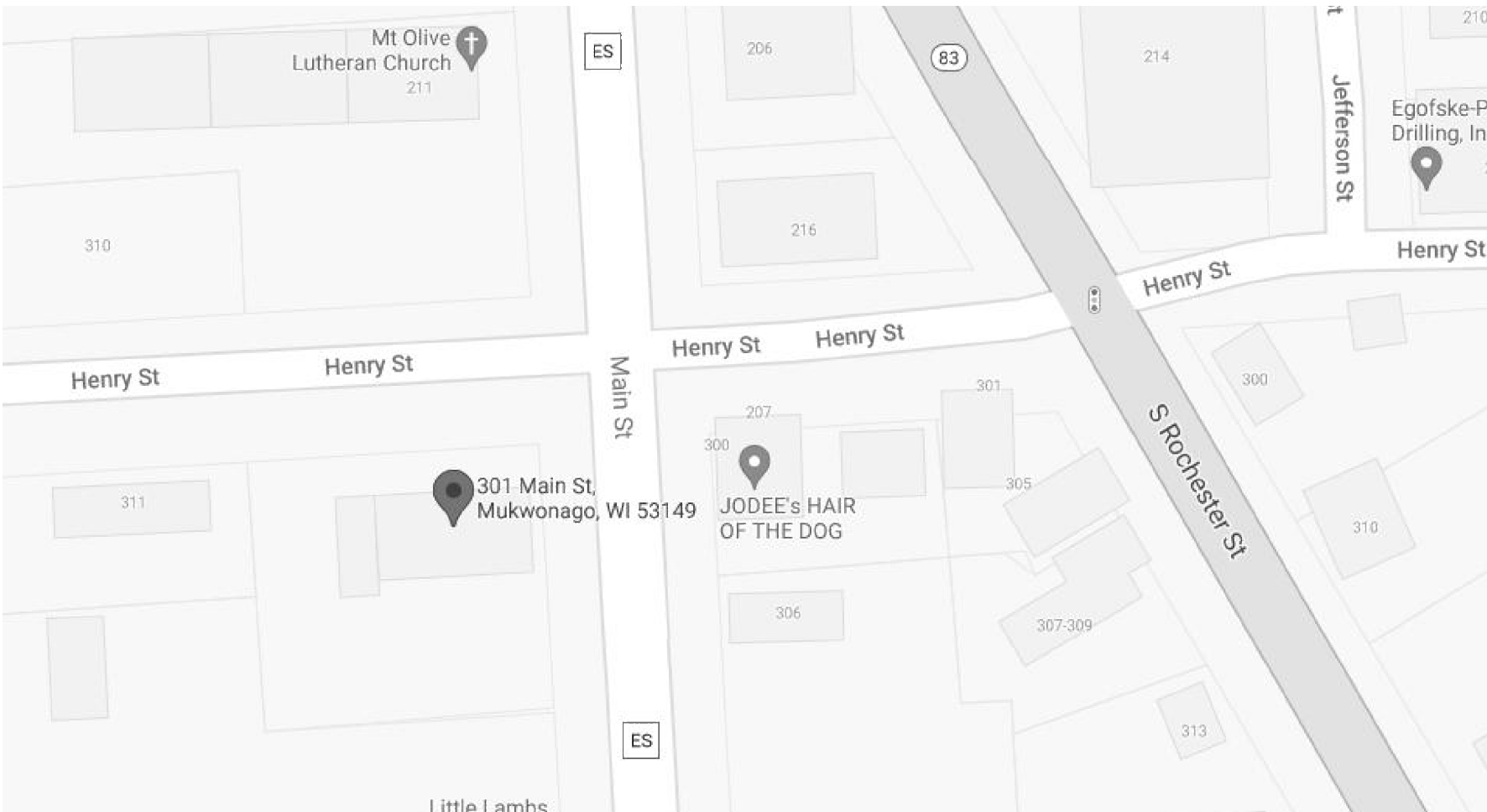
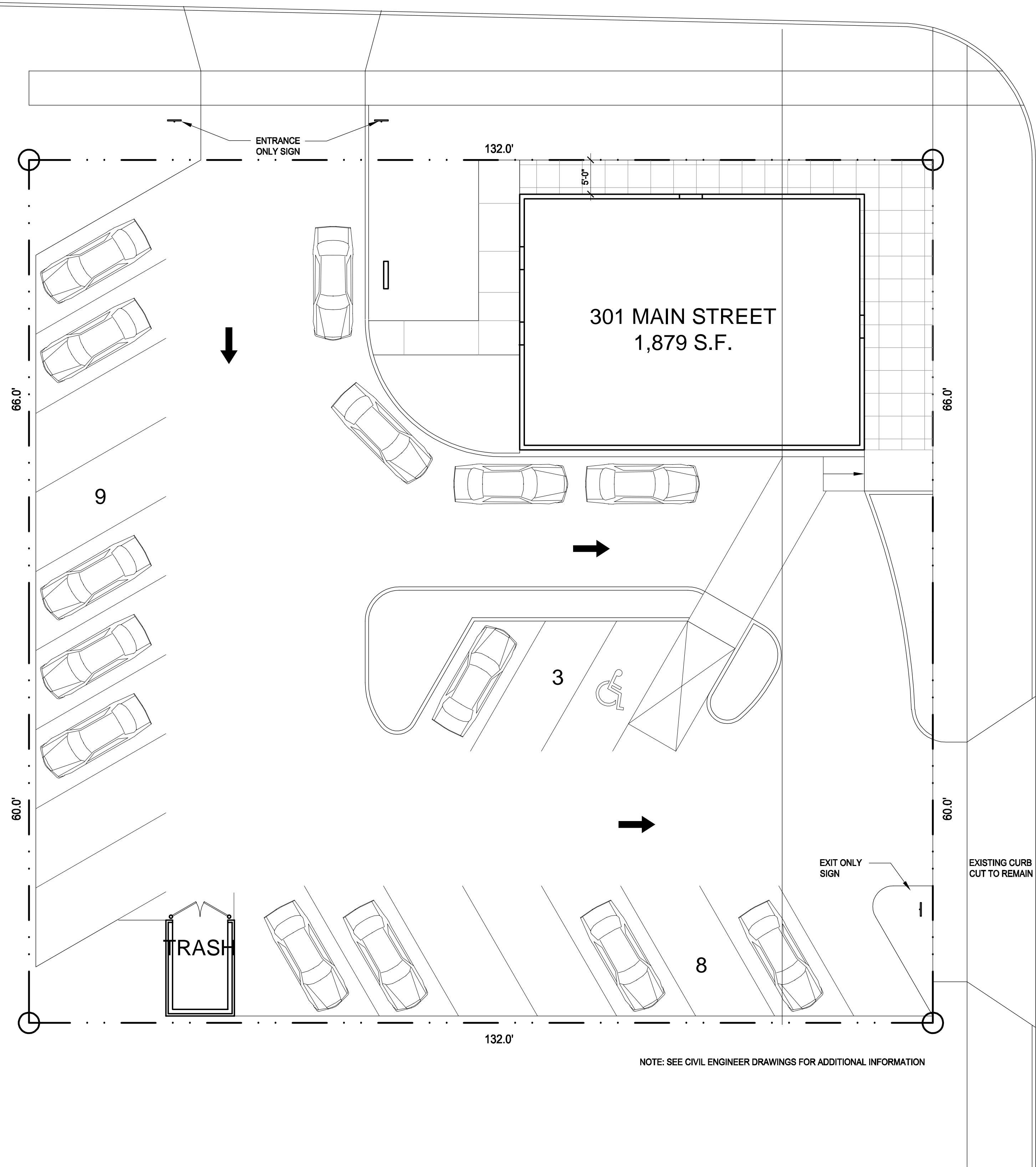
ARCHITECTURAL SITE PLAN

AS100

HENRY STREET

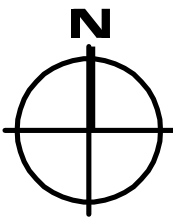
MAIN STREET

SITE AREA:	
- APPROX. 16,632 S.F. (+/- VERIFY)	
MAIN FLOOR:	
- 1,727 S.F. Coffee Shop	
- 152 S.F. Stair	
- 1,879 S.F. Footprint	
APARTMENTS:	
- (1) 780 S.F. +/- 1-Bedroom Unit	
- (1) 867 S.F. +/- 1-Bedroom Unit	
PARKING:	
- COFFEE SHOP 1/3 SEATS =	11 SPACES
- 1/EMPLOYEE=	3
- APARTMENT 1 SPACES PER UNIT=	2
REQUIRED:	16 SPACES
PROVIDED:	20 SPACES

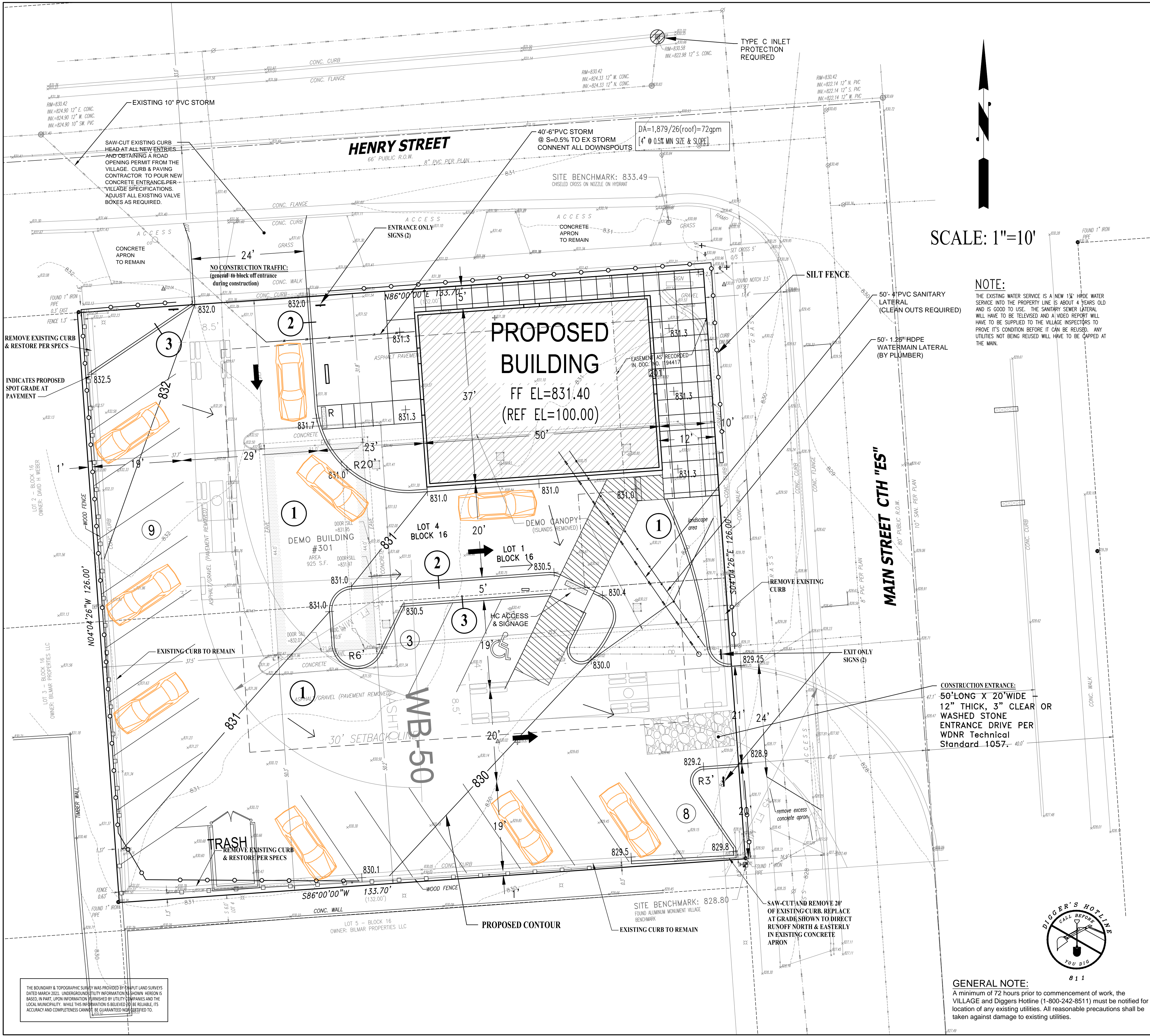


VICINITY MAP  
SCALE: N.T.S.

SITE PLAN  
SCALE: 1" = 10'-0"







GENERAL CONSTRUCTION NOTES:

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the State of Wisconsin Plumbing Code AND the VILLAGE of Mukwonago Ordinances, unless otherwise called for on the plans, specifications or special provisions.
2. Contractor shall obtain all permits prior to commencing any construction on the site. Any Work within the right of way will require additional permits from the State, County or VILLAGE. Contractor is required to contact all agencies for applicable permits.
3. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth in the Department of Natural Resources Wisconsin Technical Standards.
4. All erosion control devices (i.e., silt fence, etc.), shall be installed prior to commencing any site work on the property.
5. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
6. The owner will provide all surveying and construction staking for this contract. The contractor shall exercise care and diligence in protecting the same.
7. The contractor shall notify Diggers Hotline, all utilities VILLAGE Departments, and government units whose property may be affected by the contractor's operations at least three (3) days before breaking ground. Diggers Hotline number is 811.
8. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the TRACKING PAD entrance to the property.
9. Contractor shall be responsible for maintaining the Streets. The Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs.
10. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed areas and provide seed, fertilizer and erosion control fabric per the WDNR Technical Standards.
11. Stabilization of all disturbed areas must follow NR151 erosion control prescriptive standards which require immediate temporary stabilization of disturbed areas which remain inactive longer than 14 working days and within 7 days of final stabilization. Highway mix #40 shall be used for permanent seeding with an application rate of 4.0 lbs/1000 sf.
12. All erosion control devices shall be routinely inspected every seven days or within 24 hours of a rainfall greater than 0.5 inches. INSPECTION BY GENERAL CONTRACTOR.
13. IF PERMANENT SEEDING (WISDOT40) IS NOT COMPLETED BY SEPTEMBER 15, APPLY TEMPORARY SEEDING (SEE BELOW). IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15, DORMANT SEED WITH EROSION CONTROL MATTING OR HYDROMULCH SHALL BE APPLIED TO INACTIVE DISTURBED SOILS BETWEEN OCTOBER 15TH AND MAY 1ST AS A TEMPORARY SOIL STABILIZATION MEASURE DURING THE NON-GROWING SEASON.

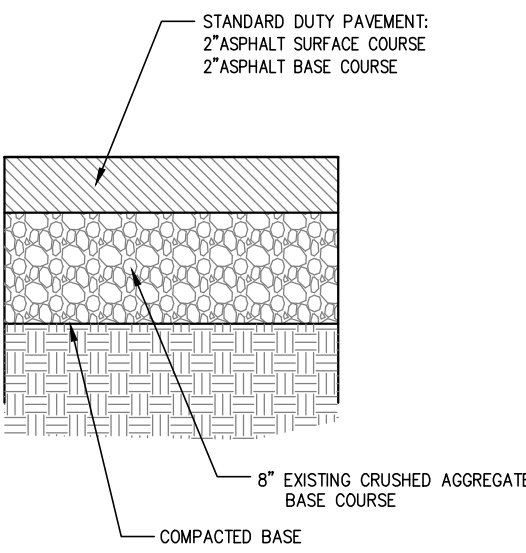
WisDOT Temporary Seed Mix:  
Temporary seed shall be a seed mixture conforming to WisDOT 630.2.1.5.1.4.  
Use winter wheat or rye for fall plantings started after September 1.

CONSTRUCTION PHASING SEQUENCING:

- THE GRADING AND UNDERGROUND CONTRACTORS MUST FOLLOW THIS CONSTRUCTION SEQUENCE AS REQUIRED BY THE WORK AND THE VILLAGE:
1. INSTALL SILT FENCE AND GRAVEL ENTRANCE.
  2. DEMO THE CONSTRUCTION AREA & HAUL OFFSITE.
  3. LOCATE EXISTING ONSITE STORM FOR NEW BUILDING HOOKUP AND INSTALL LATERALS.
  4. CONSTRUCT BUILDING, TRASH AREA, PARKING LOT AND WALKS.
  5. RESTORE ALL AREAS WITH TOPSOIL, SEED AND EROSION CONTROL MATTING.
  6. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE SITE HAS REACHED 70% VEGETATION AND THE VILLAGE ENGINEER HAS APPROVED THE REMOVAL OF THE DEVICES.
  7. FOLLOWING COMPLETE SITE STABILIZATION AND VILLAGE APPROVAL, REMOVE ALL EROSION CONTROL MEASURES.
  8. ANY MODIFICATIONS TO THE SEQUENCE MUST BE SUBMITTED TO AND APPROVED BY THE VILLAGE OF MUKWONAGO.

LEGEND

- WOOD FENCE
- SILT FENCE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD POWER/UTILITY
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED DRAINAGE DIRECTION

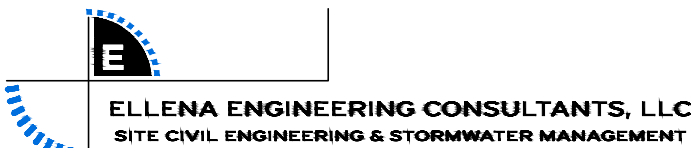


STANDARD DUTY PAVEMENT

SITE DATA TABLE

TOTAL SITE AREA :	16,846 S.F. (0.387 Ac)
NEW BUILDING AREA:	1,879 S.F.
NEW PARKING LOT AREA:	11,020 S.F.
NEW WALK AREAS:	870 S.F.
TOTAL IMPERVIOUS SURFACE AREA RATIO:	13,769 S.F./ 16,846 S.F. = 81.7%
TOTAL GREEN SPACE AREA RATIO:	18.3%

REVISIONS	
DATE	DESC.
04-29-21	REV1
05-20-21	REV2
05-27-21	REV3



Ellena Engineering Consultants, LLC • 700 Pilgrim Parkway • Suite 100 • Elm Grove, WI 53122  
Phone: 262-719-6183 • Fax: 866-457-2584 • Email: mellenae@eeceng.com

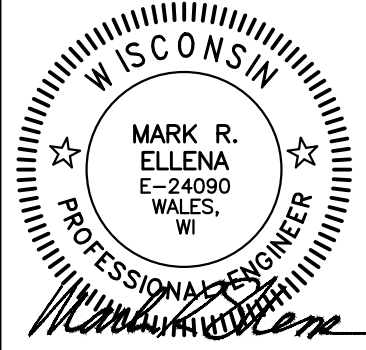
ESPRESSO LOVE COFFEE

301 Main Street • VILLAGE of Mukwonago • Wisconsin

SITE GRADING, PAVING & DRAINAGE PLAN

SCALE: 1" = 10'	JOB NO.:	DATE: 03-15-2021
	CHECKED BY:	

C100

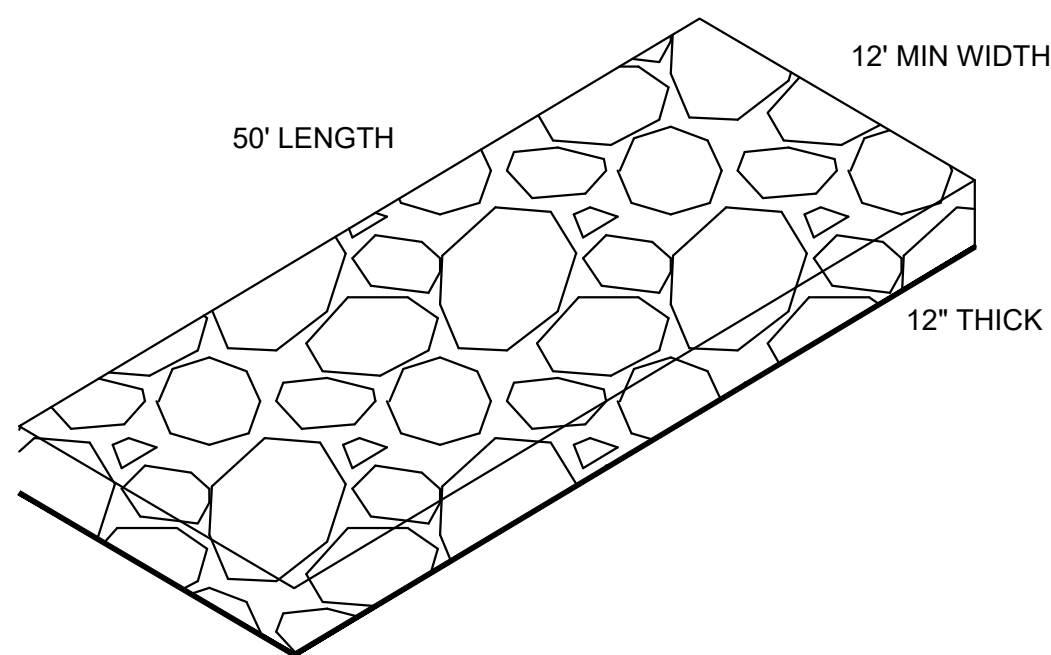


GENERAL NOTE:  
A minimum of 72 hours prior to commencement of work, the VILLAGE and Diggers Hotline (1-800-242-8511) must be notified for location of any existing utilities. All reasonable precautions shall be taken against damage to existing utilities.



THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY EARTHPUT LAND SURVEYS DATED MARCH-2021. UNDERGROUND UTILITY INFORMATION IS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR BE REFUSED TO.





### STONE TRACKING PAD

PER WDNR TECH STANDARD 1057

Note 1: Use hard, durable, angular No. 3" stone or recycled concrete meeting the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312. Select Crushed Material.

Note 2: Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.

Note 3: Select fabric type based on soil conditions and vehicles loading.

Note 4: Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

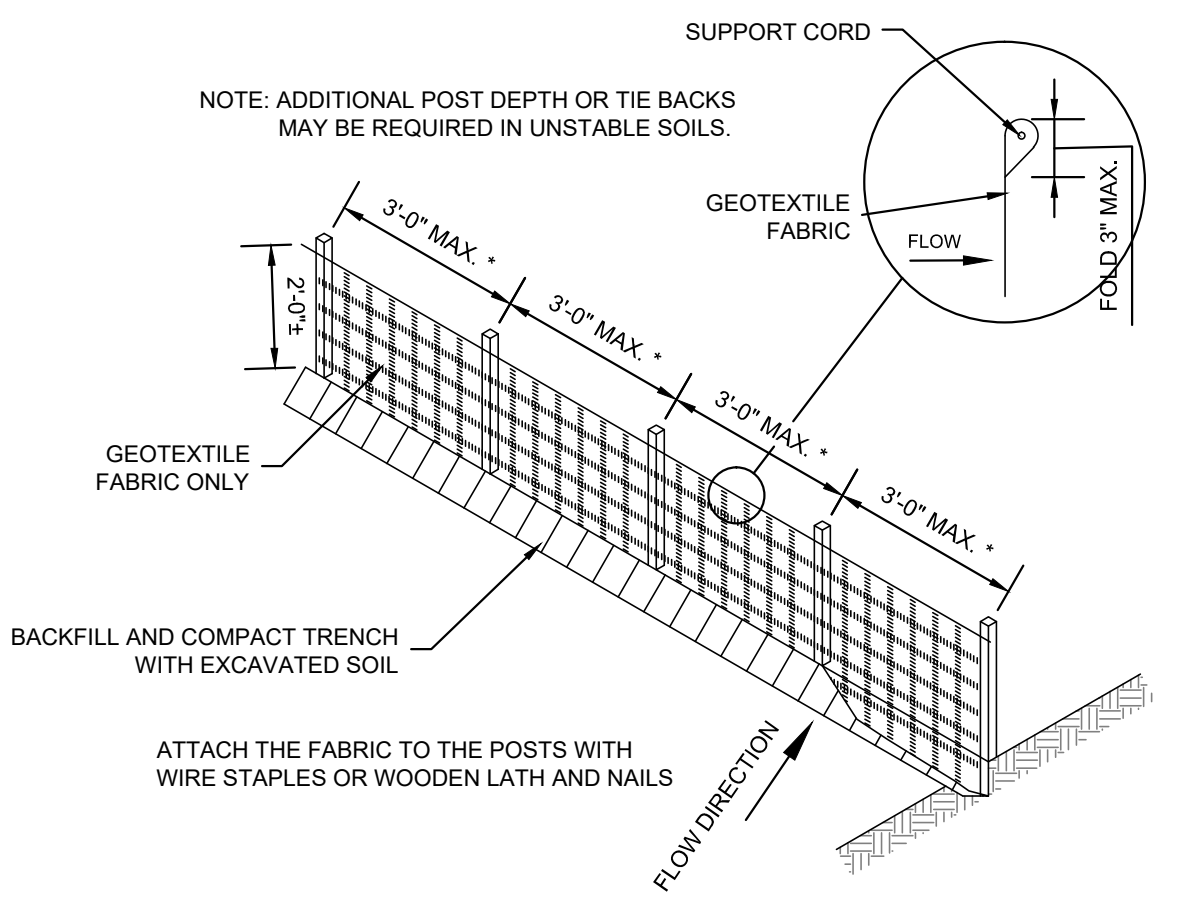
Note 5: If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

### GENERAL NOTES

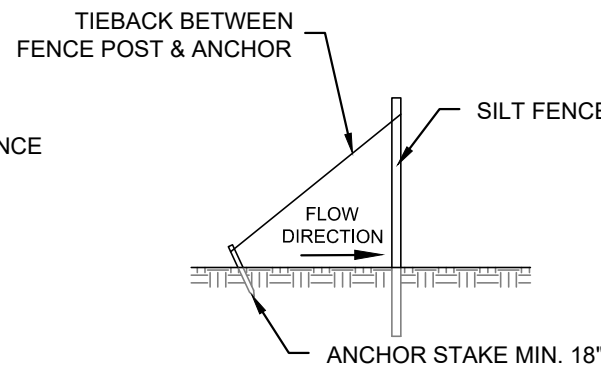
① TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

② WOOD POSTS SHALL BE A MINIMUM OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.

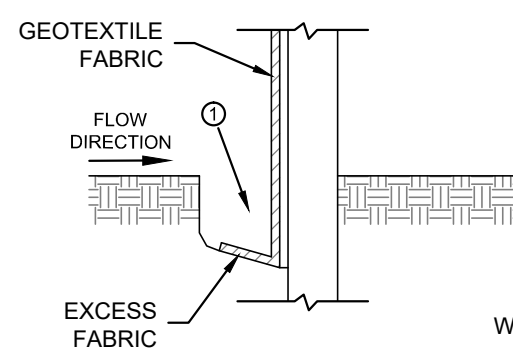
③ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



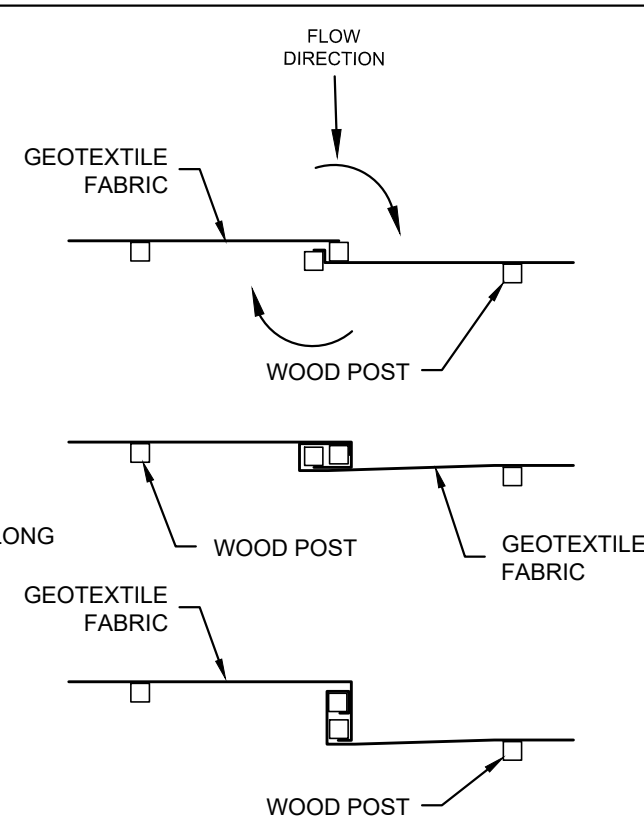
### SILT FENCE



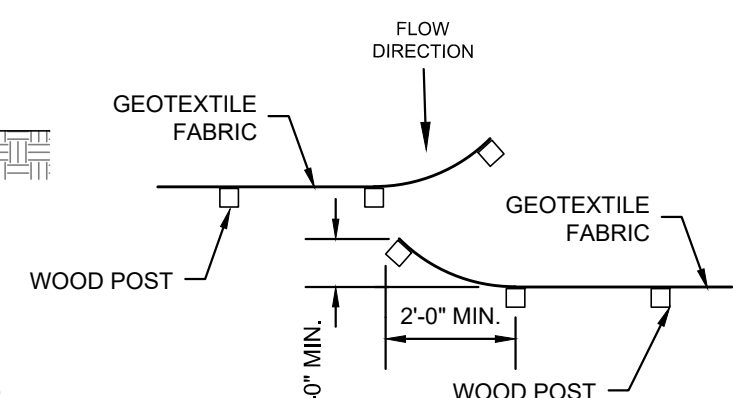
### SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



### TRENCH DETAIL



### TWIST METHOD



### HOOK METHOD JOINING TWO LENGTHS OF SILT FENCE ④

### TYPE C (INLETS W/ CAST CURB BOX)

USE WOOD 2"x4" EXTEND 8" BEYOND GRATE WIDTH, BOTH SIDES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF GRATE.

INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN INLET WALLS AND BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAX. OF 4" FROM THE BOTTOM OF THE BAG.

FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MIN. OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

USE REBAR OR STEEL ROD FOR REMOVAL.

4" X 6" OVAL HOLE SHALL BE HEAT CUT INTO ALL FOUR SIDE PANELS.

MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS.

GEOTEXTILE FABRIC TYPE FF

FRONT, BACK, AND BOTTOM TO BE MADE FROM SINGLE PIECE OF FABRIC.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON WSDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) MAY BE SUBSTITUTED.

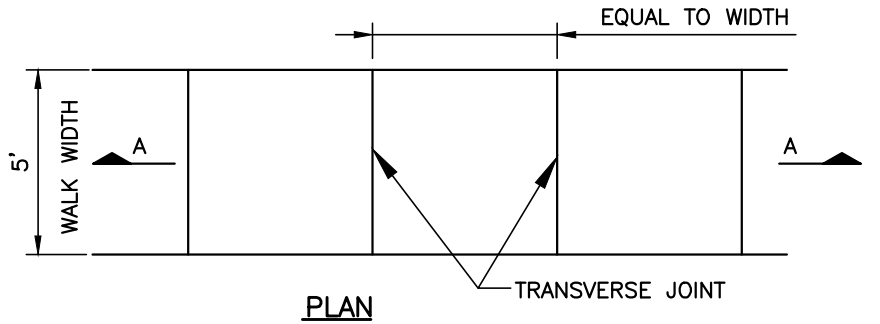
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

### TYPE D INLET PROTECTION GRATE

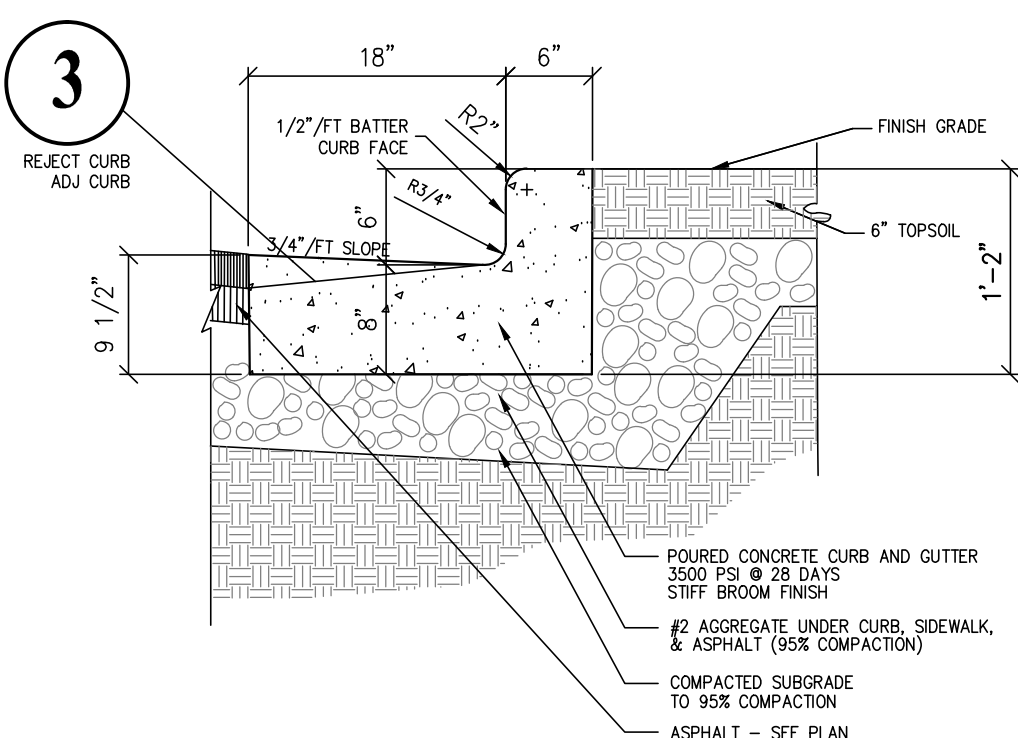
FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2"x4."

DO NOT INSTALL TYPE C OR TYPE D INLET PROTECTION IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

### INLET PROTECTION

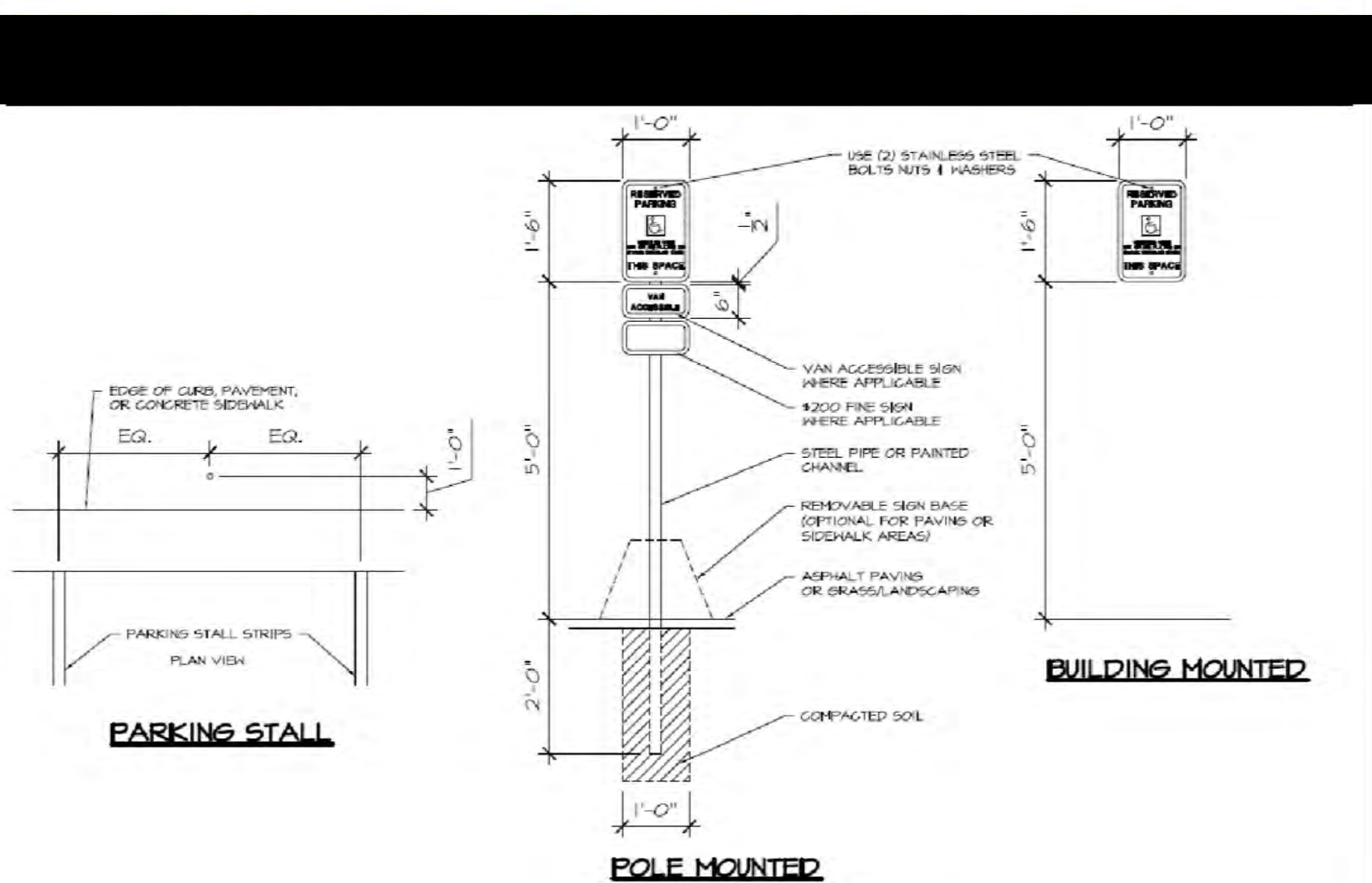


### CONCRETE WALK DETAIL



### 24" CONCRETE CURB & GUTTER

NO SCALE



### HANDICAP PARKING SIGNS

REVISION 6/7/2012 2.9.1

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY CHARLT LAND SURVEYS DATED MARCH 2011. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

### GENERAL NOTE:

A minimum of 72 hours prior to commencement of work, the VILLAGE and Diggers Hotline (1-800-242-8511) must be notified for location of any existing utilities. All reasonable precautions shall be taken against damage to existing utilities.



REVISIONS	
DATE	DESC.
04-29-21	REV1
05-20-21	REV2
05-27-21	REV3



ELLENA ENGINEERING CONSULTANTS, LLC  
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

Ellena Engineering Consultants, LLC • 700 Pilgrim Parkway • Suite 100 • Elm Grove, WI 53122  
Phone: 262-719-6183 • Fax: 866-457-2584 • Email: mellenae@eeconsg.com

ESPRESSO LOVE COFFEE

301 Main Street • VILLAGE of Mukwonago • Wisconsin

### DETAILS

SCALE: 1" = 10' JOB NO.: DATE: 03-15-2021

CHECKED BY:

C200



ESPRESSO LOVE COFFEE  
PLANTING PLAN

Scale: 1'-0" = 10'-0"



N77 W31086 Hartman Court Hartland, WI 53029 (262) 986-2822

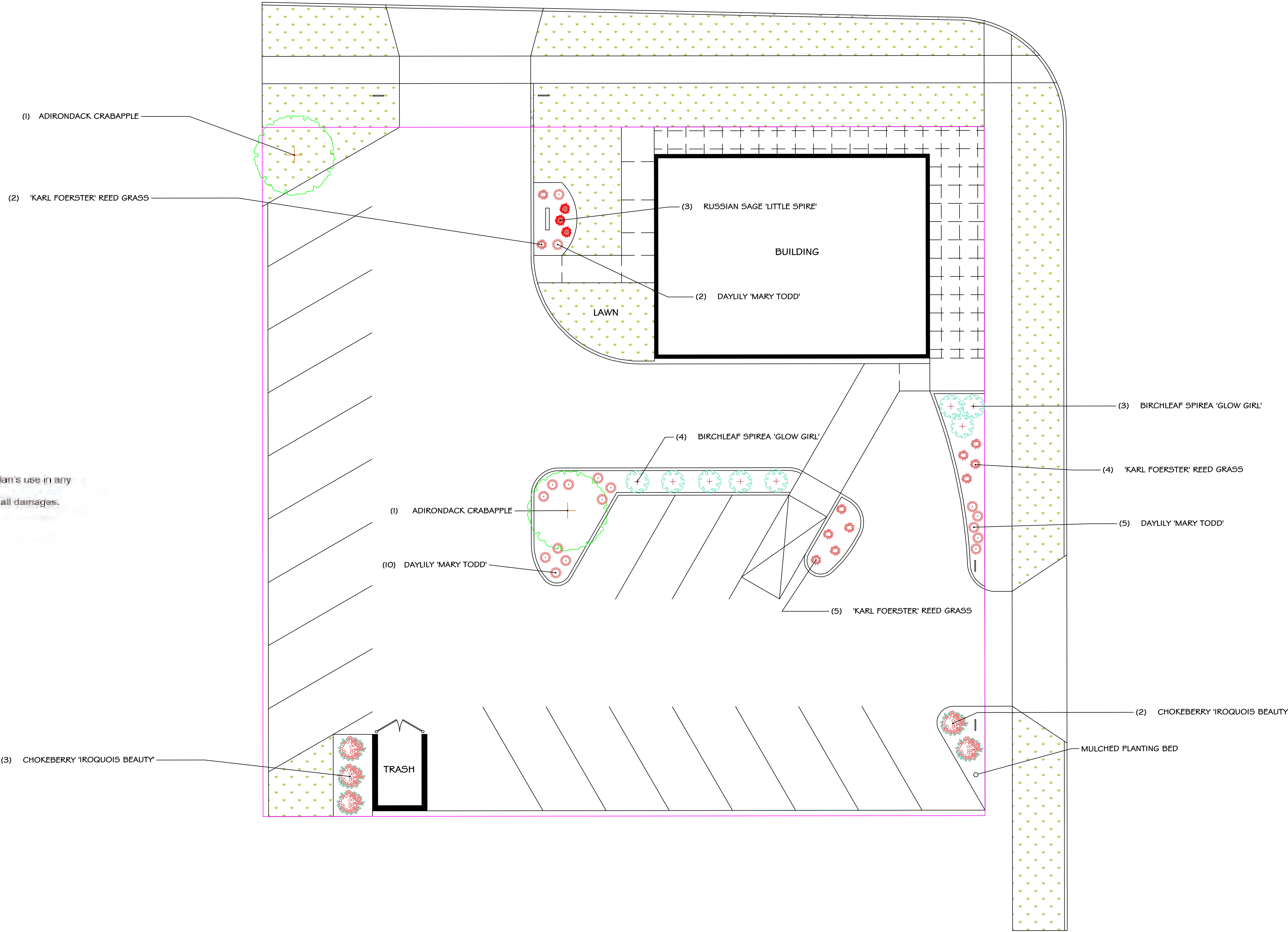
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Plan rights can be purchased. Contact Century Landscaping Co., Inc.

Design Plan ©

*Vaughan*

Date 5/27/21





**RESOLUTION 2021- 51**

**RESOLUTION AMENDING RESOLUTION 2021-39 APPROVING SITE PLAN AND  
ARCHITECTURAL REVIEW  
FOR ESPRESSO LOVE COFFEE, APPLICANT  
at 301 Main Street, MUKV 1976-128**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for a drive-through facility, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the ESPRESSO LOVE COFFEE

**WHEREAS**, Restaurants with drive thru facilities are within the B-2/ Village Center Multi-Purpose Overlay in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for structures within a public park at 301 Main Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.

8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities. Final Plans shall be submitted, reviewed, and approved by Ruekert-Mielke prior to the pre-construction meeting.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
10. An agreement will need to be executed by the village board to create an easement for six parking spaces of public parking. This agreement will need to be prepared, approved, and executed following approval of a Conditional Use and site plan and architectural approval. The agreement must be completed and recorded prior to any permits being issued.
11. Staff recommends that two additional trees be planted on site at the rear of the building and within the planting area near the dumpster area, such shade trees shall have a columnar upright pattern to allow for clearance around the dumpster area. The tree at the rear of the building shall be a shade tree. This will bring the total number of on-site trees to four. Staff recommends that the additional eight trees be planted within the right of way of Henry and Main. Staff also request modification of the landscaping plan along Main Street to provide for better screening year-round while being maintained no higher than three feet in height from the pavement surface. A revised landscaping plan will be required to be submitted and plans reviewed and approved by the Director of Public Works, Police Chief, and Community Planner.
12. Conditions of the original Site Plan review of May of 2021 shall continue to apply as applicable.
13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 16<sup>th</sup> day of June 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW (Lighting)

LOT 2 CERT SURV 9620 at Arrowhead Drive  
Parcel Number: MUKV2015-997-010

## Case Summary

### Parcel Data

---

Proposal:	Retail Building/Site Improvements/Conditional Use/Signage Approvals
Applicant:	Goodwill Industries
Request:	Approval of Alternative Lighting
Staff Recommendation:	Approve with Conditions

### Parcel Characteristics / Conditions

---

Acreage:	3.32 acres
Current Use:	Vacant Land
Proposed Use:	Retail Store
Reason for Request:	New Construction
Land Use Classification:	Low Intensity Commercial / Business
Zoning Classification:	B-3 Community Business District
Tax Increment Financing District:	TID 4
Census Tract:	2039.01

### Site Plan and Architectural Review Request

---

#### Lighting

Goodwill Industries of SE WI received a Conditional Use permit and Site Plan and Architectural Review Approval in April of 2021. The site plan approval specifically indicated that the lighting within the parking area was to be similar to the lighting of the developed property to the south. The applicant would prefer an alternative lighting design. They are proposing a Pole with straight arm and a Domus LED Pendant. This configuration of lighting will be unique to this property and the surrounding area. The applicant is also proposing a wall mounted light for illumination of the perimeter of the building.

## Staff Review

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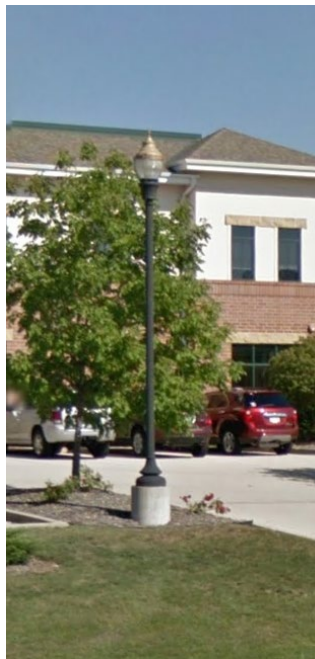
<b>Engineering</b>	No Comment
<b>Public Works</b>	No Comment
<b>Utilities</b>	No Comment
<b>Police</b>	No Comment
<b>Fire</b>	No Comment
<b>Building Inspection</b>	No Comment
<b>Planning</b>	Planning would like to bring the Planning Commission attention to the current site conditions of the area regarding lighting. Within the area there are multiple ornamental styles as well as multiple basic overhead fixtures. Ornamental Fixtures draw one's attention to the fixture and way from other elements of the landscape such as buildings, or plantings.

Staff's concern is that this area of the Village South of the interstate has over time developed a complex lighting pattern. Because there are so many styles staff does suggest that a simple pole with LED over head fixture might be the best options. However, if an ornamental lighting fixture is desired staff believes that the original approval to have lighting similar to 1231 S. Rochester is the preferred ornamental light as the properties are within the same block and the parking lots adjoin.

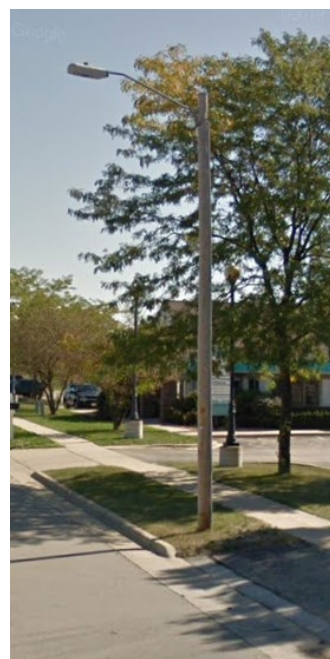
### Photographic montage of lighting in the surrounding area:



*Light Fixture at 101 Wolf Run*



*Light Fixture at 1231 S. Rochester St.*



*Public Lighting on Wolfe Run West of HWY 83*



*Public Lighting on Wolfe Run  
East of HWY 83 / Boxhorn,  
and W Dewey Dr*



*Lighting at 111 E Wolf Run*



*Lighting at 122 Arrowhead Dr*

## **Recommendation**

---

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review (lighting), as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.

7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
10. Lighting. All Exterior lighting shall be compliant with section 100-601 (3) Lighting Standards of the Municipal Code.
11. Lighting fixtures within the parking lot area shall be similar to the lighting at 1231 S. Rochester.
12. All conditions of the Site Plan review of April of 2021 shall continue as applicable.
13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

#### Attachments

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1. Maps
2. Plans
3. Resolution for approval of the Site Plan and Architectural Review (Lighting)





Village of Mukwonago GIS  
Goodwill -Aerial

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

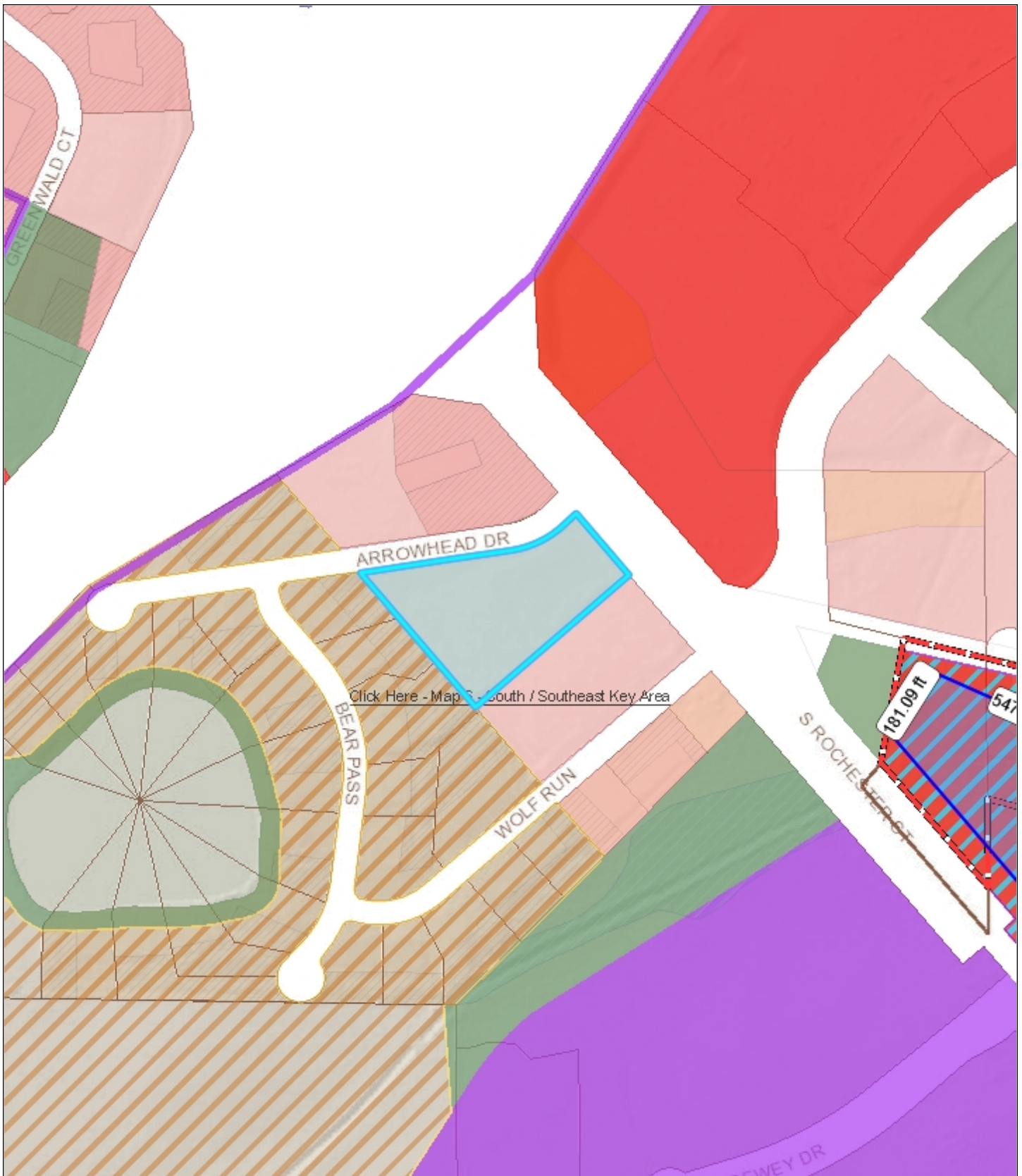


SCALE: 1" = 333 '

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 4/7/2021





# Village of Mukwonago GIS Goodwill - Land Use Map

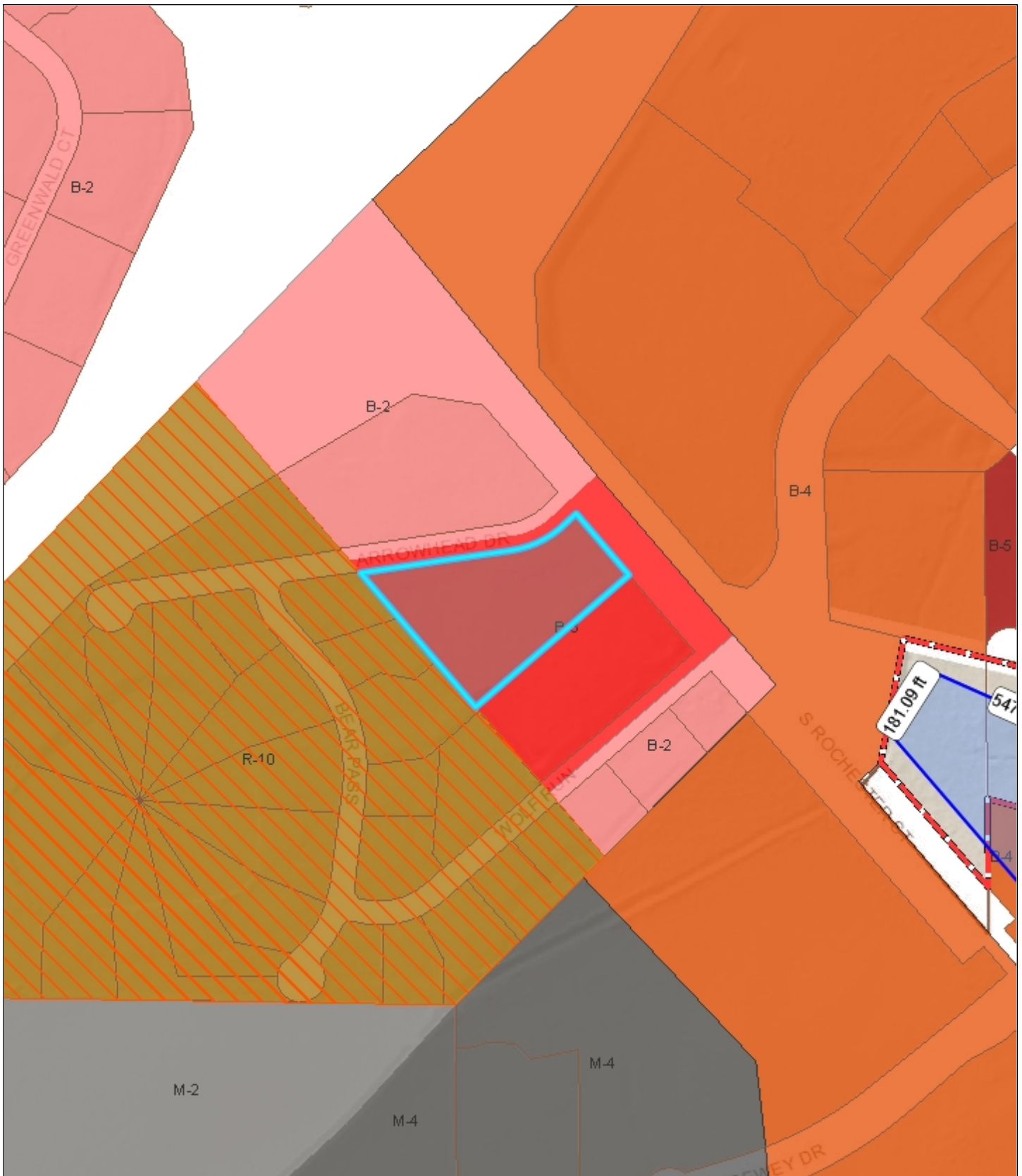
DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 333'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 4/7/2021



# Village of Mukwonago GIS Goodwill - Zoning Map

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 333'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 4/7/2021



# PERSPECTIVE DESIGN, INC.

11525 W. North Avenue  
Wauwatosa, WI 53226  
Tel (414) 302-1780 Fax (414) 302-1781

05/10/21

Village of Mukwonago  
John Fellows  
440 River Crest Ct.  
Mukwonago, WI 53149

RE: Goodwill site lighting  
S. Rochester St. & Arrowhead Dr.  
Mukwonago, WI

John,

Please see the included photometric site plan, site lighting specification sheets, and site review application for our proposed site lighting package. We are proposing to use the pole mounted light fixture which we were originally instructed to use for our parking lot lighting (email dated 03/23/21). While this fixture deviates from our typical lighting package, we feel that this fixture can work aesthetically with our building. We would like to use a simpler, linear style arm mounting for the fixture instead of the stylized gooseneck attachment. The linear brackets will allow us to mount two fixtures at each side of the poles and provide adequate evenly distributed lighting in our parking lot. By simplifying the mounting, we believe the round "bell style" fixtures will more appropriately match our building design.

At the April 13<sup>th</sup> Plan Commission meeting, it was suggested that we possibly match the pole mounted lighting at an adjacent property. This was the first that we had heard of this suggestion of a pole topped "lantern style" fixture, and we disagree that the fixture would look appropriate for our development. The lantern fixtures are of a vintage style, whereas our building has a more progressive/modern style. The building at the adjacent property has a more "residential" look to it, making the lantern style fixtures look more appropriate. The scale of the lantern fixtures and poles are fairly small in stature, almost pedestrian in scale, and would require a greater number throughout the parking lot in order to provide enough adequate lighting. While they would be mounted on 3' tall concrete bases, drivers would have more hazards to navigate in the parking lot. The lower fixture height of the lantern lights (probably around 16') also has a greater potential for causing glare, when compared to our proposed lights at the higher 23'.

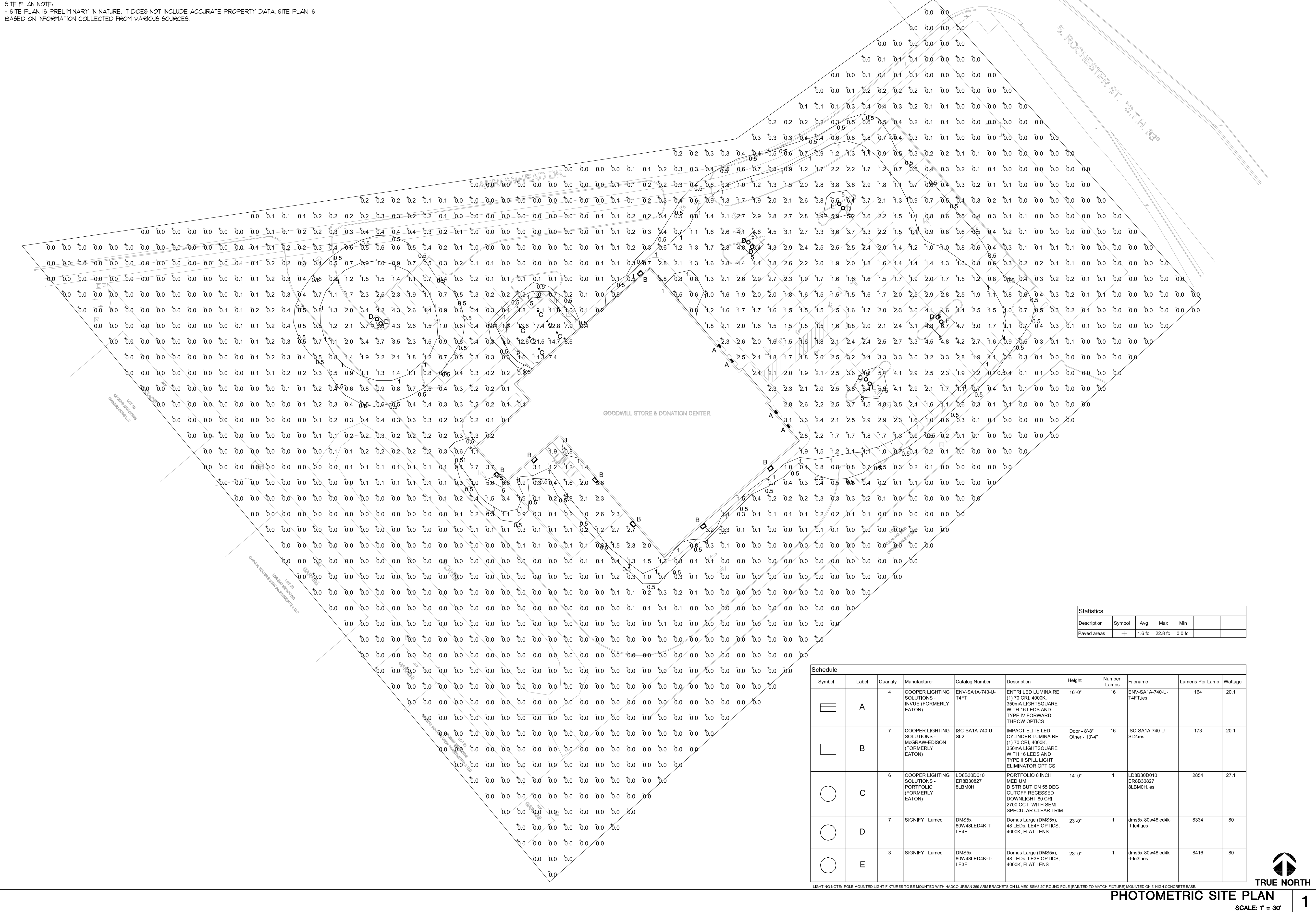
We believe that the bell-style fixtures, originally suggested for our site are more appropriate for our development. This style fixture has been suggested and used at some recent Mukwonago projects, even a very modern looking credit union. I have also seen this similar fixture used by other municipalities, and it actually works well with various building styles and sizes.

Sincerely,

Brian Deckow  
Project Manager  
Perspective Design, Inc.  
Tele: (414) 302-1780 x206



SITE PLAN NOTE:  
- SITE PLAN IS PRELIMINARY IN NATURE, IT DOES NOT INCLUDE ACCURATE PROPERTY DATA, SITE PLAN IS BASED ON INFORMATION COLLECTED FROM VARIOUS SOURCES.



Statistics					
Description	Symbol	Avg	Max	Min	
Paved areas	+	1.6 fc	22.8 fc	0.0 fc	

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Height	Number Lamps	Filename	Lumens Per Lamp
	A	4	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY EATON)	ENV-SA1A-740-U-TAFT	ENTRI LED LUMINAIRE (1) 70 CRI, 4000K, 350mA LIGHTSQUARE WITH 16 LENS AND TYPE IV FORWARD THROW OPTICS	16'-0"	16	ENV-SA1A-740-U-TAFT.ies	164
	B	7	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	ISC-SA1A-740-U-SL2	IMPACT ELITE LED CYLINDER LUMINAIRE (1) 70 CRI, 4000K, 350mA LIGHTSQUARE WITH 16 LENS AND TYPE II SPILL LIGHT ELIMINATOR OPTICS	Door - 8'-8" Other - 13'-4"	16	ISC-SA1A-740-U-SL2.ies	173
	C	6	COOPER LIGHTING SOLUTIONS - PORTFOLIO (FORMERLY EATON)	LD8B30D010 ER8B30R27 8LBM0H	PORTFOLIO 8 INCH MEDIUM DISTRIBUTION 55 DEG CUTOFF RECESSED DOWNLIGHT 80 CRI 2700 CCT WITH SEMI-SPECULAR CLEAR TRIM	14'-0"	1	LD8B30D010 ER8B30R27 8LBM0H.ies	2854
	D	7	SIGNIFY Lumec	DMS5x-80W48LED4K-T-LE4F	Domus Large (DMS5x), 48 LEDs, LE4F OPTICS, 4000K, FLAT LENS	23'-0"	1	dms5x-80w48led4k-t-le4f.ies	8334
	E	3	SIGNIFY Lumec	DMS5x-80W48LED4K-T-LE3F	Domus Large (DMS5x), 48 LEDs, LE3F OPTICS, 4000K, FLAT LENS	23'-0"	1	dms5x-80w48led4k-t-le3f.ies	8416

LIGHTING NOTE: POLE MOUNTED LIGHT FIXTURES TO BE MOUNTED WITH HADCO URBAN 269 ARM BRACKETS ON LUMEC SBM 20' ROUND POLE (PAINTED TO MATCH FIXTURE) MOUNTED ON 2" HIGH CONCRETE BASE.

PHOTOMETRIC SITE PLAN  
SCALE: 1" = 30'



Drawing Title:  
**PHOTOMETRIC SITE PLAN**

Date: 5/10/21

Scale: NOTED

Drawn: BMD

Job:

Sheet:  
**PSP1.1**

REV. #	REV. DATE	DESCRIPTION	REV. BY:
05/10/21	PLAN COMMISSION - LIGHTING REVIEW	BMD	

New Building For:  
**Goodwill Store & Donation Center**  
S. Rochester St. & Arrowhead Dr.  
Mukwonago, WI

**PERSPECTIVE DESIGN, INC.**  
11525 W. North Avenue  
Wauwatosa, WI 53226  
Tel (414) 302-1750 Fax (414) 302-1751

- PRELIMINARY -  
FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION

FULL SIZE PRINT - 24" x 36" SHEET

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## DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Cooper Lighting Solutions' proprietary LED LightSquare technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

## SPECIFICATION FEATURES

### Construction

**HOUSING:** Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

### Optics

Choice of 9 patented, high efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the

scalability to meet customized application requirements. CRI and CCT offering includes 2200K, 2700K, 3000K, 3500K, 4000K, 5000K, and 5700K with minimum 70CRI and 2700K and 3000K with minimum 80CRI all within 5-step MacAdam ellipse.

### Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments and optional 50C construction available. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 98% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, WaveLinX™, occupancy sensor, and dimming options available.

### Mounting

**JUNCTION BOX:** Standard with

zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightSquare mounts facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and trough branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

### Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightSquare cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

### Warranty

Five-year warranty.



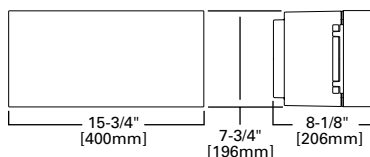
## ENC/ENT/ENV ENTRI LED

**LightSquare**  
Solid State LED

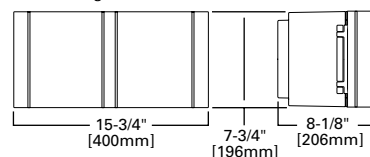
**ARCHITECTURAL WALL  
LUMINAIRE**

## DIMENSIONS

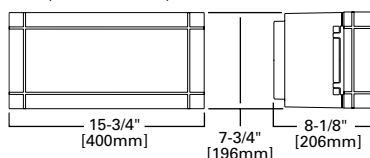
### ENC (Round Clean)



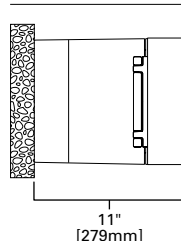
### ENT (Triangle Reveals)



### ENV (Round Reveals)



### CONDUIT MOUNT / BATTERY BACK BOX



### CERTIFICATION DATA

DesignLights Consortium® Qualified\*  
UL/cUL Listed  
ISO 9001  
IP66 LightSquares  
LM79 / LM80 Compliant

### ENERGY DATA

#### Electronic LED Driver

>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz  
-30°C Minimum Temperature  
40°C Ambient Temperature Rating (Optional)

### SHIPPING DATA

**Approximate Net Weight:**  
15.2 lbs. (6.9 kgs.) - Without backbox  
29.1 lbs. (13.2 kgs.) - With backbox



## ORDERING INFORMATION

Sample Number: ENC-SA1C-740-U-T4W-GM-ULG-HA-ZW-SWPD4BK

Product Family <sup>1</sup>	Light Engine		Color Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
<b>ENC</b> =Entri Round Clean <b>ENT</b> =Entri Triangle Reveals <b>ENV</b> =Entri Round Reveals	<b>SA1=1 Square</b>	<b>A=350mA</b> B=450mA C=600mA D=800mA E=1000mA F=1200mA	<b>722=70CRI, 2200K</b> <sup>3</sup> <b>727=70CRI, 2700K</b> <sup>3</sup> <b>730=70CRI, 3000K</b> <sup>3</sup> <b>735=70CRI, 3500K</b> <b>740=70CRI, 4000K</b> <b>750=70CRI, 5000K</b> <sup>3</sup> <b>760=70CRI, 5700K</b> <sup>3</sup> <b>827=80CRI, 2700K</b> <sup>3</sup> <b>830=80CRI, 3000K</b> <sup>3</sup>	<b>U=UNV (120-277)</b> 1=120 2=208 3=240 4=277 8=480 9=347	<b>T2=Type II</b> <b>T3=Type III</b> <b>T4FT=Type IV Forward Throw</b> <b>T4W=Type IV Wide</b> <b>SL2=Type II w/Spill Control</b> <b>SL3=Type III w/Spill Control</b> <b>SL4=Type IV w/Spill Control</b> <b>SLL=90° Spill Light Eliminator Left</b> <b>SLR=90° Spill Light Eliminator Right</b>	<b>BZ=Bronze</b> <b>AP=Grey</b> <b>BK=Black</b> <b>DP=Dark Platinum</b> <b>GM=Graphite Metallic</b> <b>WH=White</b>
<b>Options</b> (Add as Suffix)				<b>Accessories</b> (Order Separately)		
F=Singled fused (Must specify voltage, fused on single hot leg of 120, 277, or 347) FF=Doubled fused (Must specify voltage, fused on both hot legs of 208, 240, or 480) X=Driver Surge Protection (6kV) Only DIM=0-10V Dimming Driver <sup>5,6</sup> EBP=Battery Pack with Back Box (Must specify voltage, available in 120V or 277V) <sup>2,4,9</sup> CBP=Battery Pack with Back Box, Cold Weather Rated (Must specify voltage, available in 120V or 277V) <sup>2,4,10</sup> CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant (Must specify voltage, available in 120V or 277V) <sup>2,4,10</sup> R90=Rotated Right 90° L90=Rotated Left 90° HSS=Factory Installed House Side Shield <sup>16</sup> LCF=LightSquare Trim Plate Matches Housing Finish <sup>15</sup> ULG=Uplight Glow <sup>7</sup> HA=50°C High Ambient <sup>8</sup> WG=Wire Guard TR=Tamper Resistant Hardware BOX=Empty back box (1/2" NPT, each side with plugs installed) BPC=Button Type Photocontrol (Must specify voltage, available in 120, 208, 240, 277V, 347, and 480) AHD145=After Hours Dim, 5 Hours, 50% <sup>17</sup> AHD245=After Hours Dim, 6 Hours, 50% <sup>17</sup> AHD255=After Hours Dim, 7 Hours, 50% <sup>17</sup> AHD355=After Hours Dim, 8 Hours, 50% <sup>17</sup> MS-L08=Motion Sensor for ON/OFF Operation, Up to 8' Mounting Height <sup>11,12,13</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>11,12,13</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height <sup>11,12,13</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>11,12,13</sup> ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>19,20</sup> ZW-SWPD4XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height <sup>19,20,21</sup> ZW-SWPD5XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height <sup>19,20,21</sup>				<b>MA1253=10kV Circuit Module Replacement</b> <b>MA1253-480V=10kV Circuit Module Replacement (480V only)</b> <b>FSIR-100-PK=Wireless Configuration Tool for Occupancy Sensor <sup>11</sup></b> <b>VA6172SA=Wireguard Accessory</b> <b>VA6173=Tamper-Resistant Driver Bit</b> <b>VA6174=Vandal Shield Accessory</b> <b>VA2001-XX=Thru-Way Conduit Box</b> <b>SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height</b> (Available colors: BZ=Bronze; WH=White; BK=Black) <sup>19,20,21</sup> <b>SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height</b> (Available colors: BZ=Bronze; WH=White; BK=Black) <sup>19,20,21</sup> <b>WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin)</b> <b>LS/HSS=House Side Shield (Works with all distributions listed for Entri)</b>		

## NOTES:

- DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details. DLC Family Code: MMMSPQ
- EBP or CBP options limited to 25°C, 120-277V only. Control option limited to BPC=Button Type Photocontrol (must specify voltage).
- Extended lead times apply. Use dedicated IES files when performing layouts.
- Not available with HA option.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture.
- ULG only available in 740
- Not available with ULG option
- EBP is rated for minimum operating temperature of 0°C (32°F). Operates downlight for 90-minutes.
- CBP is rated for minimum operating temperature of -20°C (-4°F). Operates downlight for 90-minutes.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting
- Replace LXX with the available mounting height options: L08, L20, L40 or L40W are the only choices.
- Includes integral photosensor.
- Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
- Not available with HSS option.
- Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
- Requires the use of BPC photocontrol. See After Hours Dim supplemental guide for additional information.
- Control option limited to BPC=Button Type Photocontrol (must specify voltage).
- WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
- Requires ZW.
- Replace XX with sensor color (WH, BZ, or BK).

Project		Catalog #		Type	B
Prepared by		Notes	DECORATIVE WALL PACK	Date	



# McGraw-Edison

## Impact Elite LED

### Wall Mount Luminaire

#### Typical Applications

Outdoor • Wall Mount • Walkways

#### Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 3](#)
- Control Options [page 4](#)

#### Product Certifications



#### Quick Facts

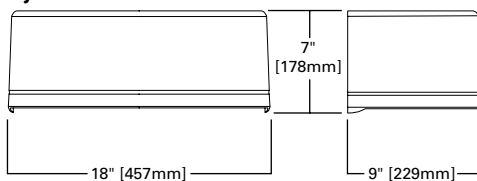
- 10 Optical Distributions
- Lumen packages range from 2,459 to 8,123 (20W - 66W)
- Efficacy up to 143 lumens per watt

#### Connected Systems

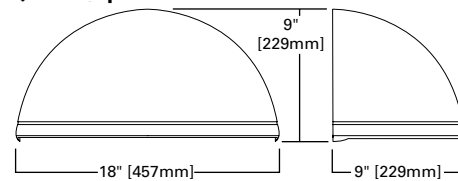
- Enlighted
- WaveLinux

#### Dimensional Details

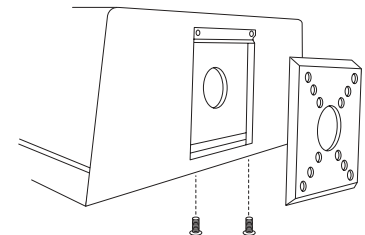
##### Cylinder



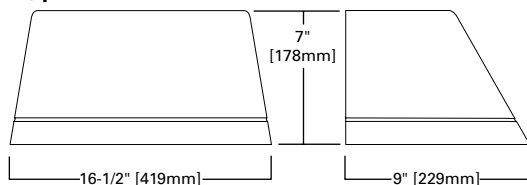
##### Quarter Sphere



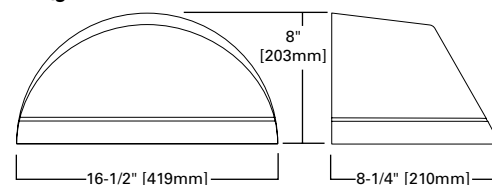
##### Hook - n - Lock



##### Trapezoid



##### Wedge



## Ordering Information

SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

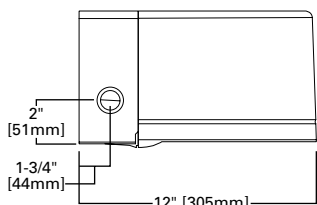
Product Family <sup>1</sup>	Light Engine		Color Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
<b>ISC=Impact Elite LED Small Cylinder</b> <b>ISS=Impact Elite LED Small Quarter Sphere</b> <b>IST=Impact Elite LED Small Trapezoid</b> <b>ISW=Impact Elite LED Small Wedge</b>	<b>SA1=1 Square</b>	<b>A=350mA</b> <b>B=450mA</b> <b>C=600mA</b> <b>D=800mA</b> <b>E=1000mA</b> <b>F=1200mA <sup>2</sup></b>	<b>722=70CRI, 2200K</b> <b>727=70CRI, 2700K</b> <b>730=70CRI, 3000K</b> <b>735=70CRI, 3500K</b> <b>740=70CRI, 4000K</b> <b>750=70CRI, 5000K</b> <b>760=70CRI, 6000K</b> <b>827=80CRI, 2700K</b> <b>830=80CRI, 3000K</b> <b>AMB=Amber, 590nm <sup>3,4</sup></b>	<b>U=120-277V</b> <b>1=120V</b> <b>2=208V</b> <b>3=240V</b> <b>4=277V</b> <b>8=480V <sup>2,5</sup></b> <b>9=347V <sup>2</sup></b>	<b>T2=Type II</b> <b>T3=Type III</b> <b>T4FT=Type IV Forward Throw</b> <b>T4W=Type IV Wide</b> <b>SL2=Type II w/Spill Control</b> <b>SL3=Type III w/Spill Control</b> <b>SL4=Type IV w/Spill Control</b> <b>SLL=90° Spill Light Eliminator Left</b> <b>SLR=90° Spill Light Eliminator Right</b> <b>RW=Rectangular Wide Type I</b>	<b>AP=Grey</b> <b>BZ=Bronze</b> <b>BK=Black</b> <b>DP=Dark Platinum</b> <b>GM=Graphite Metallic</b> <b>WH=White</b>
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)			Accessories (Order Separately)	
<b>HA=50°C High Ambient<sup>8</sup></b> <b>AHD145=After Hours Dim, 5 Hours, 50% <sup>9</sup></b> <b>AHD245=After Hours Dim, 6 Hours, 50% <sup>9</sup></b> <b>AHD255=After Hours Dim, 8 Hours, 50% <sup>9</sup></b> <b>AHD355=After Hours Dim, 8 Hours, 50% <sup>9</sup></b> <b>CBP=Battery Pack with Back Box, Cold Weather Rated <sup>13,15</sup></b> <b>CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant<sup>13</sup></b> <b>LCF=Light Square Trim Plate Painted to Match Housing</b> <b>HSS=Factory Installed House Side Shield<sup>16</sup></b> <b>ULG=Uplight Glow<sup>4,7</sup></b> <b>CC=Coastal Construction<sup>22</sup></b> <b>TR=Tamper Resistant Hardware</b> <b>X=Driver Surge Protection (6kV) Only<sup>17</sup></b>		<b>BPC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage)</b> <b>PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle<sup>5,6,7</sup></b> <b>MS/DIM-LXX=Motion Sensor for Dimming Operation<sup>7,10,11,12</sup></b> <b>LWR-LW=Enlightened Wireless Sensor, Wide Lens for 8'-16' Mounting Height<sup>6,12,13</sup></b> <b>LWR-LN=Enlightened Wireless Sensor, Narrow Lens for 16'-40' Mounting Height<sup>6,12,13</sup></b> <b>ZW=WaveLinX-Enabled Module and 4-PIN Receptacle<sup>7</sup></b> <b>ZD=WaveLinX-Enabled Module with DALI Driver and 4-PIN Receptacle<sup>7</sup></b> <b>ZW-SWPD4XX=WaveLinX Control Module and Wireless Sensor - 7'-15' <sup>7,18,20</sup></b> <b>ZW-SWPD5XX=WaveLinX Control Module and Wireless Sensor - 15'-40' <sup>7,18,20</sup></b> <b>ZW-WOBXX=WaveLinX Control Module and LC Bluetooth Sensor - 7'-15' <sup>7,18,20</sup></b> <b>ZW-WOFXX=WaveLinX Control Module and LC Bluetooth Sensor - 15'-40' <sup>7,18,20</sup></b> <b>ZD-SWPD4XX=WaveLinX with DALI Driver and Wireless Sensor - 7'-15' <sup>7,18,20</sup></b> <b>ZD-SWPD5XX=WaveLinX with DALI Driver and Wireless Sensor - 15'-40' <sup>7,18,20</sup></b> <b>ZD-WOBXX=WaveLinX with DALI Driver and LC Bluetooth Sensor - 7'-15' <sup>7,18,20</sup></b> <b>ZD-WOFXX=WaveLinX with DALI Driver and LC Bluetooth Sensor - 15'-40' <sup>7,18,20</sup></b>			<b>MA1253=10kV Circuit Module Replacement</b> <b>MA1254-XX=Thruway Back Box - Impact Elite Trapezoid</b> <b>MA1255-XX=Thruway Back Box - Impact Elite Cylinder</b> <b>MA1256-XX=Thruway Back Box - Impact Elite Quarter Sphere</b> <b>MA1257-XX=Thruway Back Box - Impact Elite Wedge</b> <b>FSIR-100=Wireless Configuration Tool for Occupancy Sensor</b> <b>WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) <sup>7,19</sup></b> <b>SWPD4-XX=WaveLinX Wireless Sensor, 7' - 15' Mounting Height <sup>7,18,20,21</sup></b> <b>SWPD5-XX=WaveLinX Wireless Sensor, 15' - 40' Mounting Height <sup>7,18,20,21</sup></b>	

### NOTES:

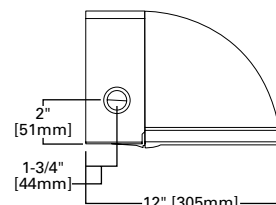
- DesignLight Consortium® Qualified. Refer to www.designlights.org, Qualified Products List under Family Models for details.
- Not available with ULG option.
- Choose Drive Current "B" for Amber 590nm, which is provided at 500mA only
- Narrow-band 590nm +/- 5nm for wildlife and observatory use.
- 480V must use Wye system only. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Not available with ISS or ISW.
- Cannot be used in conjunction with other control options.
- Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1000mA or less.
- Requires the use of photocontrol. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information.
- Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.)
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Includes integral photocell.
- Enlightened wireless sensors are factory installed and require network components in appropriate quantities.
- Battery pack operating temperature of -20C to +40C. Operates downlight for 90-minutes.
- Must specify 120V or 277V.
- Not for use with 5NQ, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected.
- Removes additional surge module.
- Replace XX with sensor color (WH, BZ, or BK).
- Requires PR7.
- For WaveLinX applications, WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. Gateway not required for WaveLinX Lite Commercial (LC) applications.
- Requires ZW or ZD receptacle.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.

## Thruway Back Box

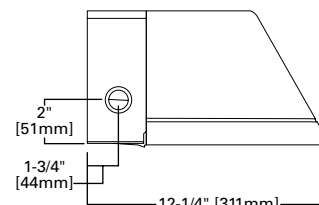
### Cylinder



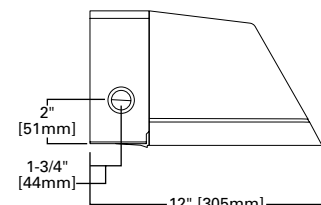
### Quarter Sphere



### Trapezoid



### Wedge



## Product Specifications

### Construction

- Heavy-wall, die-cast aluminum housing and removable hinged door frame
- Optional tamper-resistant fasteners offer vandal resistant access

### Optics

- High-efficiency injection-molded AccuLED optics technology
- 10 optical distributions
- IDA Certified (3000K CCT and warmer only)

### Electrical

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary

circuit module designed to withstand 10kV of transient line surge

- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

### Mounting

- Utilizes "Hook-N-Lock" mounting mechanism, securing to a gasketed and zinc plated mounting attachment
- Two black oxide coated Allen set screws concealed but accessible from below

### Finish

- Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- RAL and custom color matches available
- Coastal Construction (CC) option available

### Warranty

- Five year warranty



## POLE MOUNTED TYPES D & E

**Domus'** timeless design has proven to be one of the most adaptable shapes we offer and with the **Domus 55** you will get even more versatility. Designed with a higher profile than it's counterparts, the **Domus 55** offers flexible mounting options such as the side arm mount.

Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_

Notes: \_\_\_\_\_

### Ordering guide

Example: DMS55-90W80LED4K-T-ACDR-LE3F-120V-DMG-SMB-RCD-PH8-BKTX

Series	LED module		Gen	Globe material	Optical system	Voltage	Driver options
<b>DMS55</b>			<b>G3</b>				
<b>DMS55</b> Domus	<b>4000K</b>	<b>3000K</b>	<b>G3</b>	<b>ACDR</b> Acrylic globe	<b>Globe</b>	<b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V	<b>AST</b> <sup>3</sup> Pre-set, progressive start-up <b>CLO</b> <sup>3</sup> Pre-set, manage lumen depreciation <b>DALI</b> <sup>3</sup> Pre-set, compatible with the DALI control system <b>OTL</b> <sup>3</sup> Pre-set to signal end of life of the lamp <b>DMG</b> 0-10V <b>CDMGE25</b> <sup>3</sup> 8 hrs. 25% reduction <b>CDMGE50</b> <sup>3</sup> 8 hrs. 50% reduction <b>CDMGE75</b> <sup>3</sup> 8 hrs. 75% reduction <b>CDMGM25</b> <sup>3</sup> 6 hrs. 25% reduction <b>CDMGM50</b> <sup>3</sup> 6 hrs. 50% reduction <b>CDMGM75</b> <sup>3</sup> 6 hrs. 75% reduction <b>CDMG525</b> <sup>3</sup> 4 hrs. 25% reduction <b>CDMG550</b> <sup>3</sup> 4 hrs. 50% reduction <b>CDMG575</b> <sup>3</sup> 4 hrs. 75% reduction <b>SRD</b> <sup>3</sup> Sensor ready driver, standard configuration <b>SRD1</b> <sup>3</sup> Sensor ready driver, alternate configuration
	35W32LED4K	35W32LED3K			<b>LE2A</b> <sup>2</sup> Type II (ASYM) with globe		
	55W32LED4K	55W32LED3K			<b>LE3A</b> <sup>2</sup> Type III (ASYM) with globe		
	55W48LED4K	55W48LED3K			<b>LE4A</b> <sup>2</sup> Type IV (ASYM) with globe		
	70W64LED4K	70W64LED3K			<b>Sag lens</b>		
	72W32LED4K	72W32LED3K			<b>LE2S</b> Type II (ASYM) Sag glass lens		
	80W48LED4K	80W48LED3K			<b>LE3S</b> Type III (ASYM) Sag glass lens		
	90W80LED4K	90W80LED3K			<b>LE4S</b> Type IV (ASYM) Sag glass lens		
	108W48LED4K	108W48LED3K			<b>LE5S</b> <sup>1</sup> Type V (SYMM) Sag glass lens		
	110W64LED4K	110W64LED3K			<b>Flat lens</b>		
	135W80LED4K	135W80LED3K			<b>LE2F</b> Type II (ASYM) Flat glass lens		
	145W64LED4K	145W64LED3K			<b>LE3F</b> Type III (ASYM) Flat glass lens		
	180W80LED4K	180W80LED3K			<b>LE4F</b> Type IV (ASYM) Flat glass lens		
					<b>LE5F</b> <sup>1</sup> Type V (SYMM) Flat glass lens		

### Ordering guide (continued)

Adaptors	Luminaire options		Poles & Brackets	Finish
<b>MA1</b> 1 1/4" NPT threaded hole adaptor	<b>BO</b> Bridge and Overpass		Consult <a href="http://signify.com/outdoorluminares">signify.com/outdoorluminares</a> for details and the complete line of Signify poles and brackets.	<b>BE2TX</b> Textured midnight blue
<b>MA2</b> 1 1/2" NPT threaded hole adaptor	<b>CP55</b> <sup>7</sup> Decorative cover			<b>BE6TX</b> Textured ocean blue
<b>SMA</b> <sup>7</sup> Decorative retro side-mounted cast-aluminum, accepts tubes from 1 5/8" to 2 3/8"	<b>HS</b> House side shield			<b>BE8TX</b> Textured royal blue
	<b>PH7</b> Photoelectric cell, bottom type			<b>BG2TX</b> Textured Sandstone
	<b>PH8</b> <sup>2,4</sup> Photoelectric cell			<b>BKTX</b> Textured black
	<b>PH9</b> <sup>2,4</sup> Shorting cap			<b>BRTX</b> Textured bronze
	<b>PHXL</b> <sup>2,4</sup> Photoelectric cell, extended life			<b>GN4TX</b> Textured blue green
<b>SMB</b> Decorative side-mounted cast-aluminum, accepts tubes from 1 5/8" to 2 3/8"	<b>RC</b> <sup>2,5</sup> Receptacle 3 pins			<b>GN6TX</b> Textured forest green
	<b>RCD</b> <sup>2,5</sup> Receptacle 5 pins			<b>GN8TX</b> Textured Dk forest green
<b>SMD</b> Decorative side-mounted cast-aluminum, accepts tubes from 1 5/8" to 2 3/8"	<b>RCD7</b> <sup>2,5</sup> Receptacle 7 pins			<b>GNTX</b> Textured green
	<b>SP2</b> Surge protector			<b>GR</b> Gray sandtex
				<b>GY3TX</b> Textured medium grey
				<b>NP</b> Natural aluminum
				<b>RD2TX</b> Textured burgundy
				<b>RD4TX</b> Textured scarlet
				<b>TG</b> Hammettone gold
				<b>WHTX</b> Textured white

### Footnotes

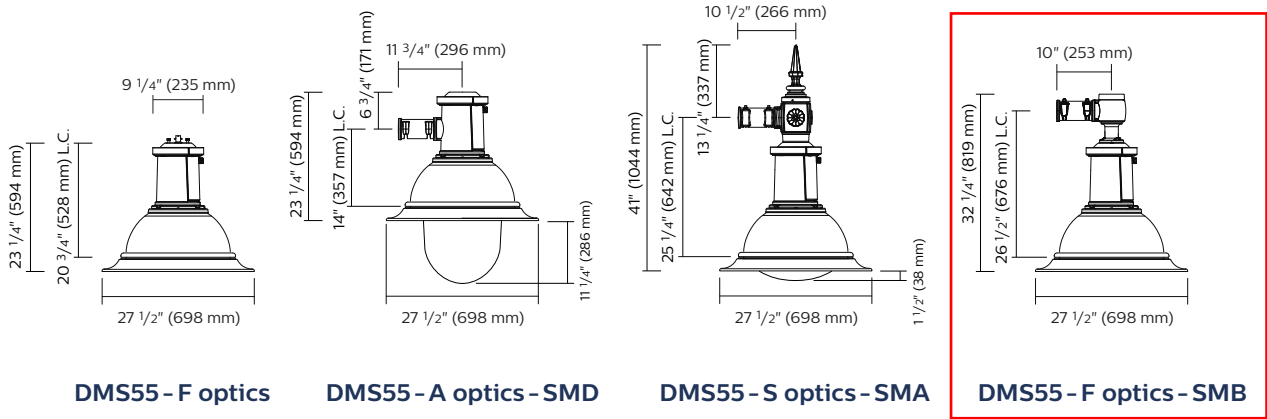
- Not available with **HS** option.
- SMA**, **SMB** or **SMD** adaptor is required for this option.
- Not available 347-480 volt.
- Luminaire option **RC**, **RCD** or **RCD7** is required with this options.
- Use of photoelectric cell or shorting cap is required to ensure proper illumination.
- Globe Material **ACDR** is required with this optical system.
- Only 3 pin receptacle **RC** is available with **SMA** adaptor and with option **CP55**.

# DMS55 Domus LED Pendant

## Urban Luminaire

### Dimensions

**EPA:** 1.64 ft<sup>2</sup> max.  
**Weight:** 49 lbs (22.2kg) max.  
*EPA and weight are calculated without adaptor.*



### Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L<sub>70</sub> hours limited to 6 times actual LED test hours.

Ambient Temperature °C	Driver mA	Calculated L <sub>70</sub> Hours	L <sub>70</sub> per TM-21	Lumen Maintenance % at 60,000 hrs
35°C	700 mA	>100,000 hours	>60,000 hours	>86%



# DMS55 Domus LED Pendant

## Urban Luminaire

LED Wattage and Lumen Values: for DMS55 @ 3000K

Ordering Code:	Total LEDs	LED current (mA)	Average System Wattage (W)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
Flat Lens 3000K				LE2F			LE3F			LE4F			LE5F		
35W32LED3K-G3-x	32	350	37	5051	136	B1-U0-G1	4992	135	B1-U0-G1	4954	134	B1-U0-G1	4925	133	B3-U0-G1
55W32LED3K-G3-x	32	530	55	7264	132	B2-U0-G1	7178	131	B1-U0-G2	7123	130	B1-U0-G2	7082	129	B3-U0-G2
72W32LED3K-G3-x	32	700	72	9145	127	B2-U0-G2	9036	126	B2-U0-G2	8968	125	B2-U0-G2	8916	124	B3-U0-G2
55W48LED3K-G3-x	48	350	54	7555	141	B2-U0-G1	7466	139	B2-U0-G2	7409	138	B1-U0-G2	7366	137	B3-U0-G2
80W48LED3K-G3-x	48	530	80	10807	135	B2-U0-G2	10679	133	B2-U0-G2	10598	132	B2-U0-G2	10536	132	B4-U0-G2
108W48LED3K-G3-x	48	700	105	13572	129	B3-U0-G2	13411	128	B2-U0-G2	13309	127	B2-U0-G2	13232	126	B4-U0-G2
70W64LED3K-G3-x	64	350	69	9825	142	B2-U0-G2	9709	140	B2-U0-G2	9635	139	B2-U0-G2	9579	138	B3-U0-G2
110W64LED3K-G3-x	64	530	105	14083	134	B3-U0-G2	13917	132	B2-U0-G2	13811	131	B2-U0-G2	13731	130	B4-U0-G2
145W64LED3K-G3-x	64	700	138	17694	128	B3-U0-G2	17485	127	B3-U0-G2	17352	126	B3-U0-G3	17251	125	B4-U0-G2
90W80LED3K-G3-x	80	350	86	12264	143	B3-U0-G2	12119	141	B2-U0-G2	12027	140	B2-U0-G2	11957	139	B4-U0-G2
135W80LED3K-G3-x	80	530	131	17519	134	B3-U0-G2	17311	133	B3-U0-G2	17180	132	B3-U0-G3	17081	131	B4-U0-G2
180W80LED3K-G3-x	80	700	174	21865	126	B3-U0-G3	21606	124	B3-U0-G3	21442	123	B3-U0-G3	21318	122	B5-U0-G3
Sag Lens 3000K				LE2S			LE3S			LE4S			LE5S		
35W32LED3K-G3-x	32	350	37	5114	138	B1-U0-G1	5068	137	B1-U0-G1	5062	136	B1-U0-G1	5102	138	B3-U0-G1
55W32LED3K-G3-x	32	530	55	7354	134	B2-U0-G1	7288	133	B1-U0-G2	7279	132	B1-U0-G2	7337	133	B3-U0-G2
72W32LED3K-G3-x	32	700	72	9258	129	B2-U0-G2	9176	127	B2-U0-G2	9164	127	B2-U0-G2	9237	128	B3-U0-G2
55W48LED3K-G3-x	48	350	54	7649	143	B2-U0-G1	7581	141	B1-U0-G2	7571	141	B1-U0-G2	7632	142	B3-U0-G2
80W48LED3K-G3-x	48	530	80	10941	137	B2-U0-G2	10843	136	B2-U0-G2	10830	135	B2-U0-G2	10916	136	B4-U0-G2
108W48LED3K-G3-x	48	700	105	13740	131	B3-U0-G2	13618	130	B2-U0-G2	13601	130	B2-U0-G2	13709	131	B4-U0-G2
70W64LED3K-G3-x	64	350	69	9947	143	B2-U0-G2	9858	142	B2-U0-G2	9846	142	B2-U0-G2	9924	143	B4-U0-G2
110W64LED3K-G3-x	64	530	105	14258	135	B3-U0-G2	14131	134	B2-U0-G2	14114	134	B2-U0-G2	14226	135	B4-U0-G2
145W64LED3K-G3-x	64	700	138	17913	130	B3-U0-G2	17754	129	B3-U0-G2	17732	128	B3-U0-G3	17873	130	B4-U0-G2
90W80LED3K-G3-x	80	350	86	12416	145	B2-U0-G2	12305	143	B2-U0-G2	12290	143	B2-U0-G2	12388	144	B4-U0-G2
135W80LED3K-G3-x	80	530	131	17736	136	B3-U0-G2	17578	135	B3-U0-G2	17557	134	B3-U0-G3	17696	135	B4-U0-G2
180W80LED3K-G3-x	80	700	174	22136	127	B3-U0-G3	21939	126	B3-U0-G3	21912	126	B3-U0-G3	22086	127	B5-U0-G3
Prism Globe 3000K				LE2A			LE3A			LE4A					
35W32LED3K-G3-x	32	350	37	5081	137	B1-U3-G1	5042	136	B1-U3-G2	5056	136	B1-U3-G2	—	—	—
55W32LED3K-G3-x	32	530	55	7306	133	B2-U3-G2	7251	132	B2-U3-G2	7271	132	B1-U3-G2	—	—	—
72W32LED3K-G3-x	32	700	72	9198	128	B2-U3-G2	9128	127	B2-U3-G2	9154	127	B2-U3-G3	—	—	—
55W48LED3K-G3-x	48	350	54	7599	142	B2-U3-G2	7542	141	B2-U3-G2	7563	141	B2-U3-G2	—	—	—
80W48LED3K-G3-x	48	530	80	10870	136	B2-U3-G2	10788	135	B2-U3-G2	10818	135	B2-U3-G3	—	—	—
108W48LED3K-G3-x	48	700	105	13651	130	B3-U3-G3	13548	129	B3-U3-G3	13586	129	B2-U3-G3	—	—	—
70W64LED3K-G3-x	64	350	69	9883	142	B2-U3-G2	9808	141	B2-U3-G2	9835	142	B2-U3-G3	—	—	—
110W64LED3K-G3-x	64	530	105	14166	134	B3-U3-G3	14058	133	B3-U3-G3	14098	134	B2-U3-G3	—	—	—
145W64LED3K-G3-x	64	700	138	17798	129	B3-U3-G3	17663	128	B3-U3-G3	17712	128	B3-U3-G3	—	—	—
90W80LED3K-G3-x	80	350	86	12336	144	B3-U3-G3	12242	143	B2-U3-G3	12276	143	B2-U3-G3	—	—	—
135W80LED3K-G3-x	80	530	131	17622	135	B3-U3-G3	17488	134	B3-U3-G3	17537	134	B3-U3-G3	—	—	—
180W80LED3K-G3-x	80	700	174	21993	126	B3-U3-G3	21826	125	B3-U3-G3	21887	126	B3-U3-G4	—	—	—

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc.; highly recommended to confirm performance with a layout - contact Applications at [signify.com/outdoorluminares](mailto:signify.com/outdoorluminares).

**Note:** Some data may be scaled based on tests of similar. But not identical luminaires.

# DMS55 Domus LED Pendant

## Urban Luminaire

LED Wattage and Lumen Values: for DMS55 @ 4000K

Ordering Code:	Total LEDs	LED current (mA)	Average System Wattage (W)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
Flat Lens 4000K				LE2F			LE3F			LE4F			LE5F		
35W32LED4K-G3-x	32	350	37	5304	143	B1-U0-G1	5241	141	B1-U0-G1	5201	140	B1-U0-G1	5171	139	B3-U0-G1
55W32LED4K-G3-x	32	530	55	7627	139	B2-U0-G1	7537	137	B2-U0-G2	7479	136	B1-U0-G2	7436	135	B3-U0-G2
72W32LED4K-G3-x	32	700	72	9602	133	B2-U0-G1	9488	132	B2-U0-G2	9416	131	B2-U0-G2	9362	130	B3-U0-G2
55W48LED4K-G3-x	48	350	54	7933	148	B2-U0-G2	7839	146	B2-U0-G2	7779	145	B2-U0-G2	7734	144	B4-U0-G2
80W48LED4K-G3-x	48	530	80	11347	142	B2-U0-G2	11213	140	B2-U0-G2	11128	139	B2-U0-G2	11063	138	B4-U0-G2
108W48LED4K-G3-x	48	700	105	14251	136	B3-U0-G2	14082	134	B2-U0-G2	13975	133	B2-U0-G2	13894	132	B4-U0-G2
70W64LED4K-G3-x	64	350	69	10316	149	B3-U0-G2	10194	147	B2-U0-G2	10117	146	B2-U0-G2	10058	145	B4-U0-G2
110W64LED4K-G3-x	64	530	105	14788	140	B3-U0-G2	14613	139	B3-U0-G2	14502	138	B2-U0-G2	14418	137	B4-U0-G2
145W64LED4K-G3-x	64	700	138	18579	135	B3-U0-G2	18359	133	B3-U0-G2	18219	132	B2-U0-G2	18114	131	B4-U0-G2
90W80LED4K-G3-x	80	350	86	12877	150	B3-U0-G2	12724	148	B3-U0-G2	12628	147	B3-U0-G3	12555	146	B4-U0-G2
135W80LED4K-G3-x	80	530	131	18395	141	B3-U0-G3	18177	139	B3-U0-G2	18039	138	B3-U0-G3	17935	137	B5-U0-G3
180W80LED4K-G3-x	80	700	174	22958	132	B3-U0-G3	22686	130	B3-U0-G3	22514	129	B3-U0-G3	22384	128	B5-U0-G3
Sag Lens 4000K				LE2S			LE3S			LE4S			LE5S		
35W32LED4K-G3-x	32	350	37	5370	145	B1-U0-G1	5322	143	B1-U0-G1	5315	143	B1-U0-G1	5358	144	B3-U0-G1
55W32LED4K-G3-x	32	530	55	7721	140	B2-U0-G1	7653	139	B1-U0-G2	7643	139	B1-U0-G2	7704	140	B3-U0-G2
72W32LED4K-G3-x	32	700	72	9721	135	B2-U0-G1	9634	134	B2-U0-G2	9623	134	B2-U0-G2	9699	135	B4-U0-G2
55W48LED4K-G3-x	48	350	54	8031	150	B2-U0-G2	7960	149	B2-U0-G2	7950	148	B1-U0-G2	8013	149	B3-U0-G2
80W48LED4K-G3-x	48	530	80	11488	144	B2-U0-G2	11386	142	B2-U0-G2	11372	142	B2-U0-G2	11462	143	B4-U0-G2
108W48LED4K-G3-x	48	700	105	14427	137	B3-U0-G2	14299	136	B2-U0-G2	14281	136	B2-U0-G2	14395	137	B4-U0-G2
70W64LED4K-G3-x	64	350	69	10444	150	B3-U0-G2	10351	149	B2-U0-G2	10338	149	B2-U0-G2	10421	150	B4-U0-G2
110W64LED4K-G3-x	64	530	105	14971	142	B3-U0-G2	14838	141	B2-U0-G2	14819	141	B2-U0-G2	14937	142	B4-U0-G2
145W64LED4K-G3-x	64	700	138	18809	136	B3-U0-G2	18642	135	B2-U0-G2	18619	135	B3-U0-G3	18767	136	B5-U0-G3
90W80LED4K-G3-x	80	350	86	13037	152	B3-U0-G2	12921	151	B3-U0-G3	12905	150	B2-U0-G2	13007	152	B4-U0-G2
135W80LED4K-G3-x	80	530	131	18623	143	B3-U0-G3	18457	141	B3-U0-G3	18435	141	B3-U0-G3	18581	142	B4-U0-G2
180W80LED4K-G3-x	80	700	174	23243	133	B3-U0-G3	23036	132	B3-U0-G3	23008	132	B3-U0-G4	23190	133	B5-U0-G3
Prism Globe 4000K				LE2A			LE3A			LE4A					
35W32LED4K-G3-x	32	350	37	5335	144	B1-U3-G1	5294	143	B1-U3-G2	5309	143	B1-U3-G2	—	—	—
55W32LED4K-G3-x	32	530	55	7672	139	B2-U3-G2	7613	138	B2-U3-G2	7635	139	B2-U3-G2	—	—	—
72W32LED4K-G3-x	32	700	72	9658	134	B2-U3-G2	9585	133	B2-U3-G2	9612	134	B2-U3-G3	—	—	—
55W48LED4K-G3-x	48	350	54	7979	149	B2-U3-G2	7919	148	B2-U3-G2	7941	148	B2-U3-G2	—	—	—
80W48LED4K-G3-x	48	530	80	11414	143	B2-U3-G2	11327	142	B2-U3-G3	11359	142	B2-U3-G3	—	—	—
108W48LED4K-G3-x	48	700	105	14334	137	B3-U3-G3	14225	135	B3-U3-G3	14265	136	B2-U3-G3	—	—	—
70W64LED4K-G3-x	64	350	69	10377	150	B2-U3-G2	10298	148	B2-U3-G2	10327	149	B2-U3-G3	—	—	—
110W64LED4K-G3-x	64	530	105	14874	141	B3-U3-G3	14761	140	B3-U3-G3	14803	140	B2-U3-G3	—	—	—
145W64LED4K-G3-x	64	700	138	18688	135	B3-U3-G3	18546	134	B3-U3-G3	18598	135	B3-U3-G4	—	—	—
90W80LED4K-G3-x	80	350	86	12952	151	B3-U3-G3	12854	150	B2-U3-G3	12890	150	B2-U3-G3	—	—	—
135W80LED4K-G3-x	80	530	131	18503	142	B3-U3-G3	18362	141	B3-U3-G3	18413	141	B3-U3-G4	—	—	—
180W80LED4K-G3-x	80	700	174	23093	133	B3-U3-G3	22917	132	B3-U3-G3	22981	132	B3-U3-G4	—	—	—

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc.; highly recommended to confirm performance with a layout - contact Applications at [signify.com/outdoorluminaire](mailto:signify.com/outdoorluminaire).

**Note:** Some data may be scaled based on tests of similar. But not identical luminaires.

## Specifications:

### Housing

In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16 18 UNC. This suspension system permits for a full rotation of the luminaire in 90° increments.

### Access-mechanism

A die cast A360 aluminum technical ring with latch, hinge and a cast in decorative skirt. The mechanism shall offer tool free access to the inside of the luminaire. An embedded memory retentive gasket shall ensure weatherproofing.

### Light engine

LEDgine composed of 5 main components:  
**Heat Sink / Lens / LED lamp / Driver / Optical System**

Electrical components are RoHS compliant.

# DMS55 Domus LED Pendant

## Urban Luminaire

### Specifications (continued):

#### LED engine

LED type: Lumileds LUXEON T. Composed of high-performance white LEDs. Color temperature as per ANSI/NEMA bin Neutral White, 4000 Kelvin nominal (3985K +/- 275K or 3710K to 4260K) or Warm white, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.

#### Heat sink

Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).

#### Lens

LExF / LExS: Made of soda lime tempered glass lens, mechanically assembled and sealed onto the lower part of the heat sink. LExA (Globe): Made of one-piece seamless injection-molded impact-resistant (DR) acrylic having an inner prismatic surface. The globe is mechanically assembled and sealed onto the lower part of the heat sink.

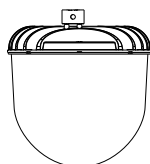
#### Driver

Driver comes standard with dimming compatible 0-10V. High power factor of 95%. Electronic driver, operating range 50/60 Hz. Auto adjusting universal voltage input from 120 to 277 VAC rated for both application line to line or line to neutral, Class I, THD of 20% max. Maximum ambient operating temperature from 40F(40C) to 130F(55C) degrees. Certified in compliance to UL1310 cULus requirement. Dry and damp location. Assembled on a unitized removable tray with Tyco quick disconnect plug resisting to 221F(105C) degrees. The current supplying the LEDs will be reduced by the driver if the driver experiences internal overheating as a protection to the LEDs and the electrical components. Output is protected from short circuits, voltage overload and current overload. Automatic recovery after correction. Standard built in driver surge protection of 2.5kV (min).

#### Optical system

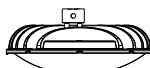
Composed of high performance optical grade PMMA acrylic refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Optical system is rated IP66. Performance shall be tested per LM 63, LM 79 and TM 15 (IESNA) certifying its photometric performance. Street side indicated. Flat lens (F optics) is Dark Sky compliant with 0% uplight and U0 per IESNA TM 15.

**Prismatic globe:** IP66 rated optical system, composed of individual pre-oriented lens to achieve desired distribution, assembled with globe having an inner prismatic surface permanently sealed onto the lower part of the heat sink.



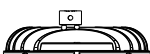
**LE2A** - Type II (ASYM) with globe (ACDR)  
**LE3A** - Type III (ASYM) with globe (ACDR)  
**LE4A** - Type IV (ASYM) with globe (ACDR)

**Sag lens:** IP66 rated optical system, composed of individual pre-oriented lens to achieve desired distribution, assembled with a tempered-glass sag lens permanently sealed onto the lower part of the heat sink.



**LE2S** - Type II (ASYM) Sag glass lens  
**LE3S** - Type III (ASYM) Sag glass lens  
**LE4S** - Type IV (ASYM) Sag glass lens  
**LE5S** - Type V (SYMM) Sag glass lens

**Flat lens:** IP66 rated optical system, composed of individual pre-oriented lens to achieve desired distribution, assembled with a tempered-glass flat lens permanently sealed onto the lower part of the heat sink.



**LE2F** - Type II (ASYM) Flat glass lens  
**LE3F** - Type III (ASYM) Flat glass lens  
**LE4F** - Type IV (ASYM) Flat glass lens  
**LE5F** - Type V (SYMM) Flat glass lens

#### Driver options

**AST:** Pre-set driver for progressive start-up of the LED module(s) to optimize energy management and enhance visual comfort at start-up.

**CLO:** Pre-set driver to manage the lumen depreciation by adjusting the power given to the LEDs offering the same lighting intensity during the entire lifespan of the LED module.

**DALI:** Pre-set driver compatible with the DALI control system.

**OTL:** Pre-set driver to signal end of life of the LED module(s) for better fixture management.

**DMG:** Dimmable driver 0-10V.

**CDMG:** Dynadimmer standard dimming functionalities including pre-programmed scenarios to suit many applications and needs from safety to maximum energy savings.

Ordering Code	Scenario	Dimming Time	Dimming Level
CDMG525	Safety	4 hours	25% power
CDMG550	Safety	4 hours	50% power
CDMG575	Safety	4 hours	75% power
CDMG25	Median	6 hours	25% power
CDMG50	Median	6 hours	50% power
CDMG75	Median	6 hours	75% power
CDMG25	Economy	8 hours	25% power
CDMG50	Economy	8 hours	50% power
CDMG75	Economy	8 hours	75% power

**SRD:** Sensor Ready Driver including SR communication (used for dimming and other functionalities), 24V auxiliary supply and a logical signal input (LSI) connected to the top NEMA twist lock receptacle.

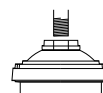
**SRD1:** Sensor Ready Driver including SR communication (used for dimming and other functionalities) but with 24V auxiliary supply and a logical signal input (LSI) not connected to the top NEMA twist lock.

#### Surge protector

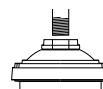
Surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid State Street Lighting Consortium) model specification for LED roadway luminaires electrical immunity requirements for High Test Level 10kV / 10kA. **SP2** 20kV/20kA optional.

#### Luminaire adaptor

**MA1:** The luminaire is suspended by means of a mounting adaptor with a 1 1/4" (32mm) NPT threaded hole accepting a threaded tube from the mounting. Retrofit adaptor for existing mounting



**MA2:** 1 1/2" (38mm) NPT threaded hole accepting threaded tube from the mounting. Retrofit adaptor for existing mounting.



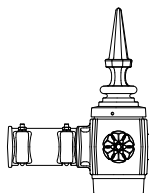
# DMS55 Domus LED Pendant

## Urban Luminaire

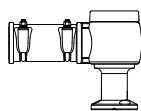
### Specifications (continued):

#### Luminaire adaptor (continued)

**SMA:** The luminaire is suspended by means of a decorative side-mounted cast aluminum adaptor. This adaptor accepts tubes from 1½" to 2½" (41 to 60 mm) and is adjustable to more or less 5°. The adaptor features a cast aluminum decorative cover and finial.



**SMB:** The luminaire is suspended by means of a decorative side-mounted cast aluminum adaptor. This adaptor accepts tubes from 1½" to 2½" (41 to 60 mm) and is adjustable to more or less 5°.



**SMD:** The luminaire is suspended by means of a decorative side-mounted cast aluminum adaptor. This adaptor accepts tubes from 1½" to 2½" (41 to 60 mm) and is adjustable to more or less 5°.

#### Luminaire options

**BO:** Bridge and Overpass

**CP55:** Decorative cover

**HS:** House side shield

**PH7:** Photoelectric cell, bottom type

**PH8:** Photoelectric Cell, Twist-lock Type. Allows a 90° rotation.



**PHXL:** Extended life photoelectric cell, Twist-lock Type. Allows a 90° rotation.



#### Luminaire options

**PH9:** Shorting cap, Twist-lock Type



**RC:** Receptacle 3 pins



**RCD:** Receptacle 5 pins



**RCD7:** Receptacle 7 pins



**SP2:** Integral surge protector

#### Finish

In accordance with the AAMA 2603 standard. Application of polyester powder coat paint (4 mils/100 microns) with +/- 1 mils/24 microns of tolerance. The Thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard. The surface treatment achieves a minimum of 2000 hours for salt spray resistant finish in accordance with testing performed and per ASTM B117 standard.

#### Finish Options Include:

**BE2TX:** Textured Midnight Blue  
**BE6TX:** Textured Ocean Blue  
**BE8TX:** Textured Royal Blue  
**BG2TX:** Textured Sandstone  
**BKTX:** Textured Black  
**BRTX:** Textured Bronze  
**GN4TX:** Textured Blue Green  
**GN6TX:** Textured Forest Green  
**GN8TX:** Textured Dark Forest Green  
**GNTX:** Textured Green  
**GR:** Gray Sandtex  
**GY3TX:** Textured Medium Grey  
**NP:** Natural Aluminum  
**RD2TX:** Textured Burgundy  
**RD4TX:** Textured Scarlet  
**TG:** Hammer-tone Gold  
**WHTX:** Textured White

#### Wiring

Gauge (#14) TEW/AWM 1015 or 1230 wires, 6" (152mm) minimum exceeding from luminaire.

#### Hardware

All exposed screws shall be complete with Ceramic primer-seal base coat to reduce seizing of the parts and offers a high resistance to corrosion. All seals and sealing devices are made and/or lined with EPDM and/or silicone and/or rubber.

#### Luminaire useful life

Refer to IES files for energy consumption and delivered lumens for each option. Based on ISTMT in situ thermal testing in accordance with UL1598 and UL8750, System Reliability Tool, Advance data and Lumileds LM-80/TM-21 data, expected to reach 100,000+ hours with >L70 lumen maintenance @ 25°C. Luminaire Useful Life accounts for LED lumen maintenance AND all of these additional factors including: LED life, driver life, PCB substrate, solder joints, on/off cycles, burning hours and corrosion. Entire luminaire is rated for operation in ambient temperature of -40°C / -40°F up to +35°C / +95°F.

#### LED products

##### (manufacturing standard)

The electronic components sensitive to electrostatic discharge (ESD) such as light emitting diodes (LEDs) are assembled in compliance with IEC61340 5 1 and ANSI/ESD S20.20 standards so as to eliminate ESD events that could decrease the useful life of the product.

#### Quality control

Manufactured to ISO 9001 2008 standards and ISO 14001-2004 International Quality Standards Certification.

#### Vibration resistance

Meets the ANSI C136.31, American National Standard for Roadway Luminaire Vibration specifications for Bridge/overpass applications. (Tested for 3G over 100 000 cycles)

#### Certifications and Compliance

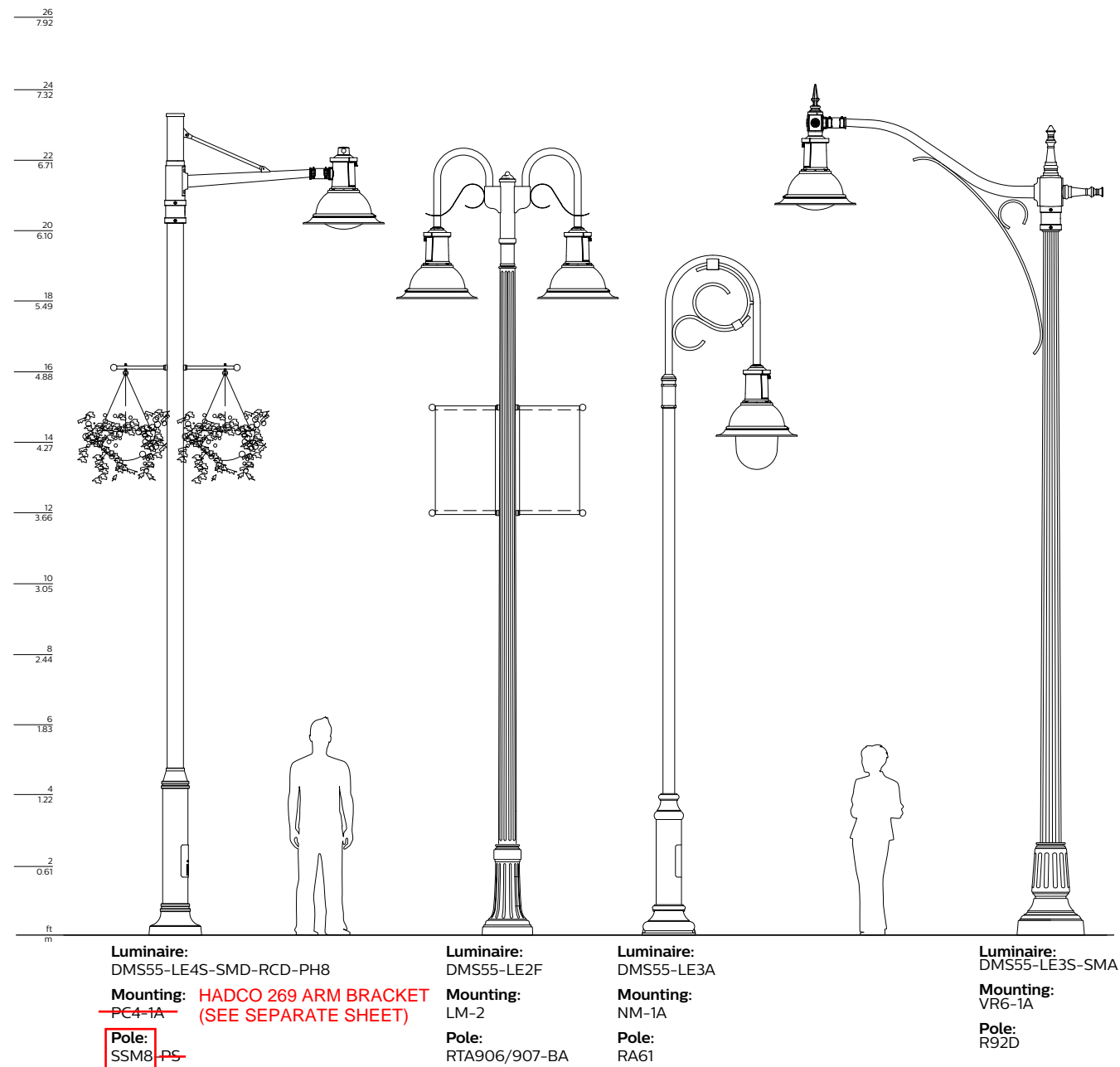
CSA, cULus Listed for Canada and USA. Domus LED luminaires are DesignLights Consortium qualified.

# DMS55 Domus LED Pendant

## Urban Luminaire

### Specifications (continued):

#### Poles & Brackets Sample configurations.



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Telephone 800-668-9008

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Project: \_\_\_\_\_

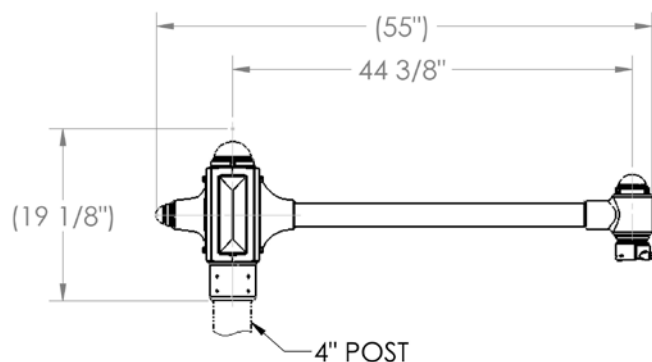
Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_

Notes: \_\_\_\_\_



### Ordering Guide

Example: 269 ABS Twist-lock

Product Code	269	Bracket Arm
<b>Finish</b>	ABS ACP ARD ASI BLK BRN BRZ FGN GRA IRN RBZ SRT VBZ VCP VGN VTC WBZ WHT	Antique Brass Antique Copper Antique Red Antique Silver Black Brown Bronze Forest Green Granite Ironstone Rustic Bronze Shadow Rust Verde Bronze Verde Copper Verde Vintage Copper Weathered Bronze White
<b>Photo Control</b>	Twist-lock	Twist-lock photocell supplied

### Specifications

#### CONSTRUCTION:

Cast aluminum decorative end cap (removable). Two cast aluminum post cap. 2" dia. aluminum straight arm. Cast aluminum access door. Cast aluminum 4" I.D. post fitter.

#### FINISH:

Resilient TGIC thermoset polyester powdercoat paint is electrostatically applied to every fixture. Specially formulated for Philips Outdoor Lighting, it provides UV protection, and the highest temperature rating in the industry. In addition to the standard color choices shown, a spectrum of custom colors is available.

#### MOUNTING:

Fixture mounts to 4" I.D. post.

#### WARRANTY:

Three-year limited warranty.

#### Height:

19 1/8"

#### Width:

55"

#### Max. Weight:



**RESOLUTION 2021- 49**

**RESOLUTION AMENDING RESOLUTION 2021-23 APPROVING SITE PLAN  
AND ARCHITECTURAL REVIEW FOR A GOODWILL INDUSTRIES,  
LOT 2 CERT SURV 9620 AT ARROWHEAD DRIVE, MUKV2015-997-010  
THE VILLAGE OF MUKWONAGO**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for structures within a public park Hall, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the GOODWILL INDUSTRIES

**WHEREAS**, Second Hand Stores are allowed within the B-3 Community Business District in which the subject property is located, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for structures within a public park at 820 Main Street, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.

6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
10. Lighting. All Exterior lighting shall be compliant with section 100-601 (3) Lighting Standards of the Municipal Code.
11. Lighting fixtures within the parking lot area shall be similar to the lighting at 1231 S. Rochester.
12. All conditions of the Site Plan review of April of 2021 shall continue as applicable.
13. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 16<sup>st</sup> day of June 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer



## PLANNING COMMISSION

June 8, 2021 at 6:30pm

Mukwonago, WI

### SITE PLAN AND ARCHITECTURAL REVIEW

309 and 315 Gibson Road

Parcel Number: MUKV1974-023AND MUKV1974-015

## Case Summary

### Parcel Data

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Proposal:	Upgrading existing dumpster enclosure and construction of a new dumpster enclosure
Applicant:	IMPACT MUKWONAGO LLC
Request:	Site Plan and Architectural Review
Staff Recommendation:	Approve with Conditions
Planning Commission Recommendation:	Pending

### Parcel Characteristics / Conditions

---

Acreage:	1.22 and 1.01
Current Use:	Senior Apartment Facility
Proposed Use:	Senior Apartment Facility
Reason for Request:	New Construction of dumpster enclosures
Land Use Classification:	Historic Residential -12,000 SF Lot
Zoning Classification:	R-3 Single Family / Duplex Residential District
Census Tract:	2039.01

### Site Plan and Architectural Review Request

---

#### Architectural/ Site Review

Impact Seven is proposing to upgrade the existing dumpster enclosure located in the northwest portion of the property near the maintenance shed. This enclosure is proposed to be a wooden enclosure with gates. The wood detail will consist of a clapboard systyle design. The color of the enclosure will match the color of the building. The dumpster currently is not enclosure.

Impact Seven is also proposing to add a new dumpster enclosure located at the south end of the current parking are. This enclosure is proposed to be a wooden enclosure with gates. The wood detail will consist of a clapboard systyle design. The color of the

enclosure will match the color of the building. The dumpster currently is not enclosure.

Although many of the zoning district within the municipal code have specifications for dumpsters the R-3 district does not have specifications as this is primarily a single family and duplex district. Many commercial and manufacturing districts have requirements for masonry dumpsters, however in this case staff suggest that a wood or wood like material will be more compatible within the context of this property and the surrounding residential development and appear more like a privacy fence that would be seen in the R-3 district rather than a masonry structure.

<b>Site Modifications</b>	The existing dumpster enclosure is being proposed to be upgraded and a new dumpster is proposed to be located on the south side of the existing parking lot for to provide better convenience for the residents of the property.
<b>Utilities</b>	No Utilities are being proposed to be modified.
<b>Stormwater Management</b>	No stormwater is being proposed to be modified.
<b>Wetlands</b>	None
<b>Signage</b>	No signage is being proposed to be modified.
<b>Parking</b>	No modifications to the existing parking lot is proposed.
<b>Landscaping</b>	Landscaping is proposed to be modified around the existing and proposed dumpster enclosures. The dumpsters are proposed to have landscaping around the base of each enclosure consisting of 4' tall arborvitae, and day Lilies. Within the open lawn area, the applicant is proposing four 6' blue spruce and two 2" caliper Norway Maples.
<b>Trash Enclosure</b>	Both dumpster enclosures will match. They will be designed of wood with wood gates with a metal structure. The design uses a clap board style design with the color to be painted to match the building.
<b>Fencing</b>	No fencing is proposed.
<b>Outdoor Lighting</b>	No modification to exterior lighting is proposed.
<b>Misc. Performance Standards</b>	None

#### **Staff Review**

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<b>Engineering</b>	No Comment
<b>Public Works</b>	No Comment
<b>Utilities</b>	No Comment
<b>Police</b>	No Comment



**Fire** No Comment  
**Building Inspection** No Comment  
**Planning**

1. As the existing code does not have specific standards for dumpster enclosures staff recommends that a wood enclosure would be the most compatible and contextual for the site conditions of the property and surrounding area.
2. Landscaping. ... The final landscaping plan shall be approved by the Planner prior to issuance of permits with regard to specific locations of the Maples and Spruce trees so they have a more natural pattern in the landscape.

## **Recommendation**

---

### Site Plan and Architectural Review

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The dumpster design shall match the proposed plans and images presented.
7. The final landscaping plan shall be approved by the Planner prior to issuance of permits with regard to specific locations of the maples and Spruce trees so they have a more natural pattern in the landscape.
8. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

## **Attachments**

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1. Maps
2. Plans
3. Resolution 2021-XX for approval of the Site Plan and Architectural Review



Village of Mukwonago GIS  
309 & 315 Gibson St- Aerial

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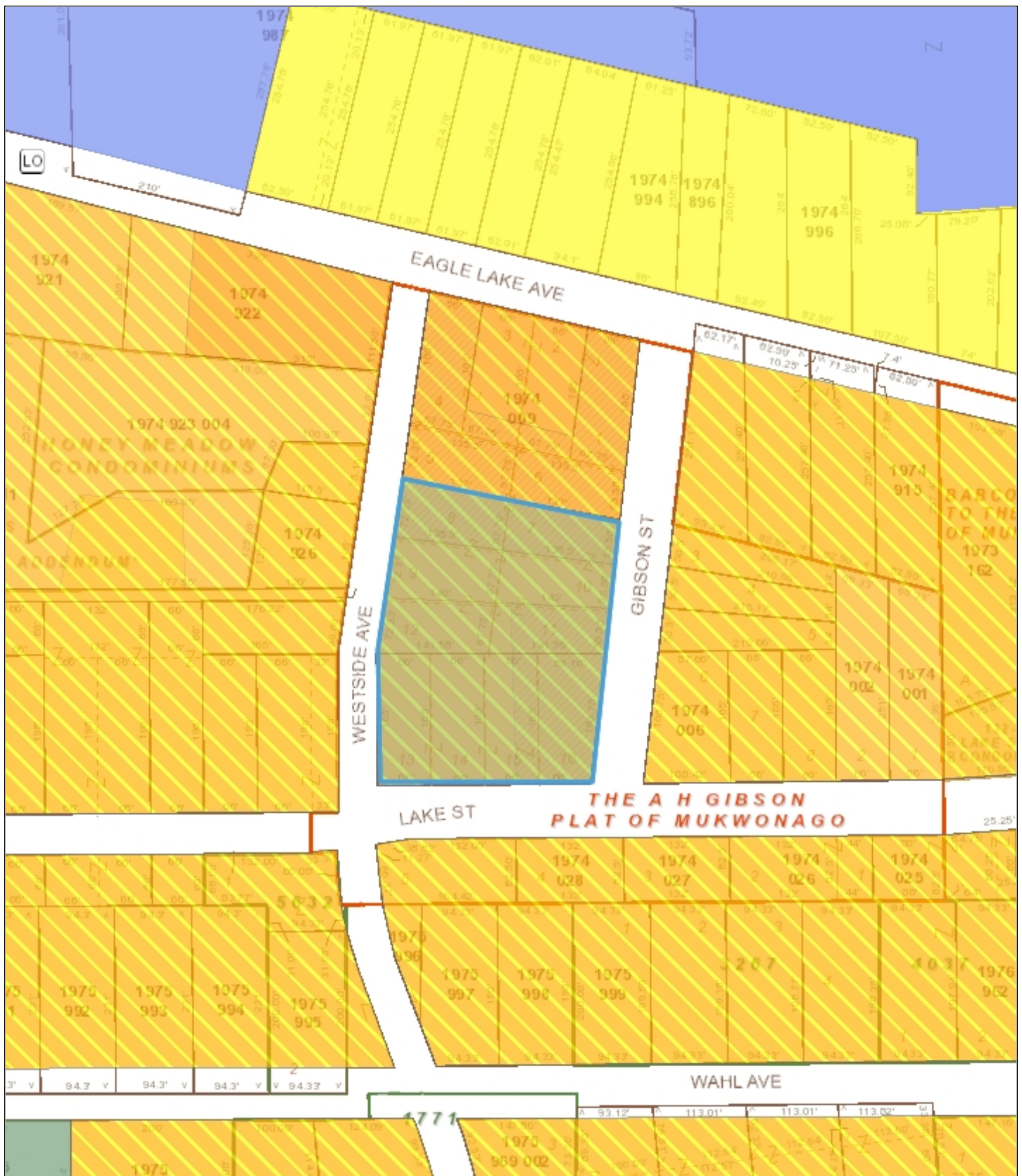


SCALE: 1" = 167'

VILLAGE OF MUKWONAGO  
440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021





# Village of Mukwonago GIS 309 & 315 Gibson St- Land Use

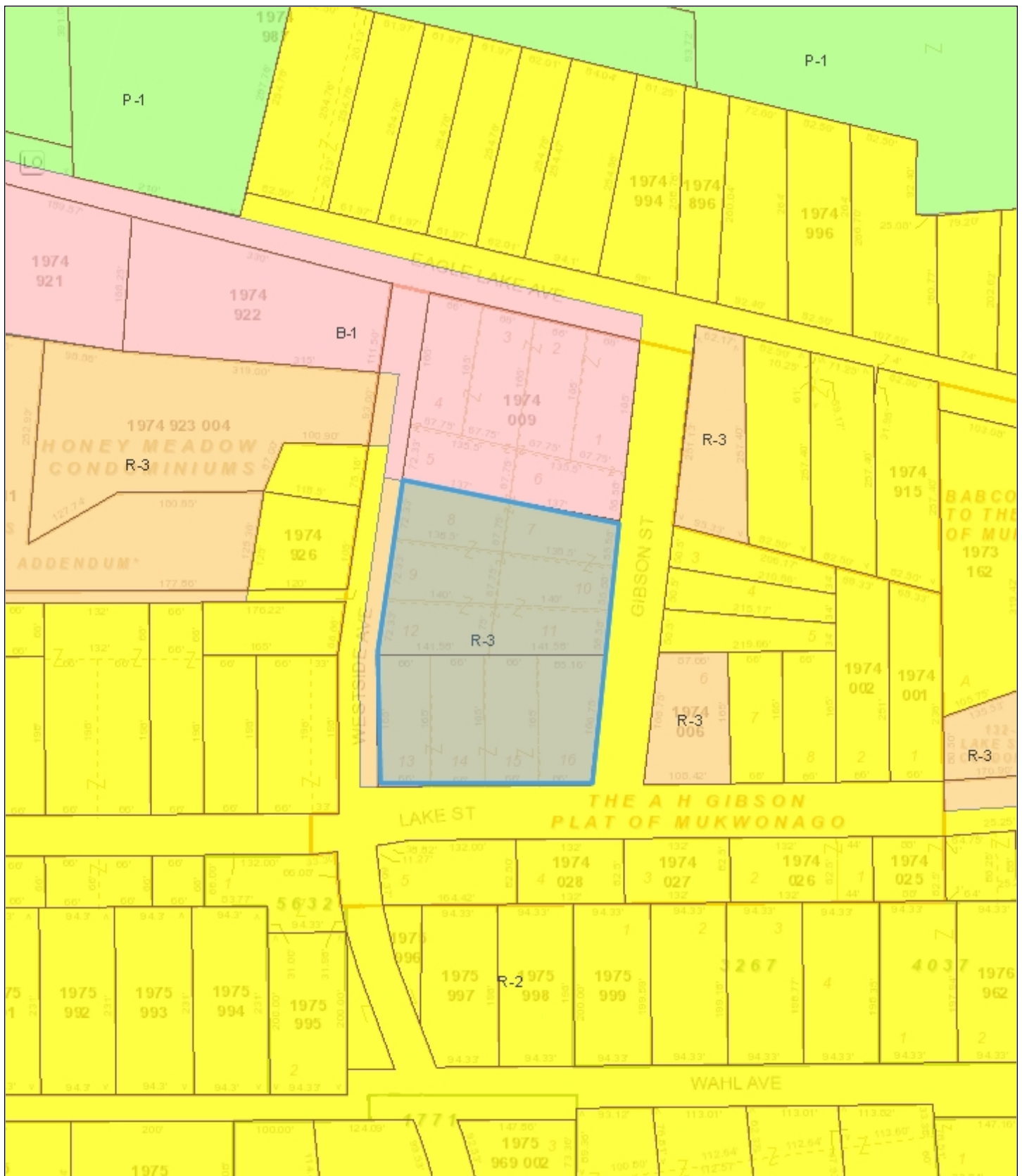
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PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021



## Village of Mukwonago GIS 309 & 315 Gibson St - Zoning

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440 River Crest Court  
PO Box 206  
Mukwonago, WI 53149  
262-363-6420

Print Date: 5/25/2021

- GENERAL NOTES**
1. CONTRACTOR TO ENSURE ALL SIDEWALKS THAT ARE ADJACENT TO THE LOT TO BE CONSTRUCTED OR RECONSTRUCTED WITH A MINIMUM 2% CROSS SLOPE TO THE STREET OR DRAINAGE DITCH. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MINIMUM 2% CROSS SLOPE TO THE STREET OR DRAINAGE DITCH.
  2. CONTRACTOR TO CLEAN ALL CURB RAMP IN PARKING AREAS.
  3. CONTRACTOR TO REPAIR ALL CRACKS IN SIDEWALKS AND DRIVEWAYS.
  4. CONTRACTOR TO REPAIR/REPLACE ACCESSIBLE PARKING SPACES THAT ARE DAMAGED OR INCOMPLETE OR NON-COMPLIANT WITH ACCESSIBILITY REQUIREMENTS.
  5. ALL SITE LIGHTING TO BE REPLACED AS REQUIRED TO COMPLY WITH LOCAL AND STATE CODES.

**ADA SIDEWALK/CROSSWALK REQUIREMENTS:**

CONTRACTOR TO ENSURE ALL SIDEWALKS / CROSSWALKS ARE CONSTRUCTED AS NECESSARY TO MEET ALL ADA REQUIREMENTS FOR HANDICAP ACCESSIBILITY (CROSS SLOPES <2%).

**ADA PARKING SPACE REQUIREMENTS:**

CONTRACTOR TO ENSURE ALL HANDICAP PARKING SPACES ARE CONSTRUCTED AS NECESSARY TO MEET ALL ADA REQUIREMENTS FOR HANDICAP ACCESSIBILITY (CROSS SLOPES <2% MAX).

● INDICATES NEW SITE LIGHTING TO BE INSTALLED. ALL WIRING AND LIGHTING CONTRACTS TO BE COORDINATED WITH OWNER. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC).

**EXCEL**

ARCHITECTURAL FIRM

1000 E. WISCONSIN AVENUE  
MUKWONAGO, WI 53150  
TEL: 262.591.1234  
WWW.EXCELARCHITECT.COM

RENOVATIONS FOR:  
**LAKEVIEW TERRACE I**  
315 GIBSON STREET • MUKWONAGO, WISCONSIN

SHEET DATE	MAY 15, 2020
DESIGN NUMBER	1934840
PROJECT NUMBER	1934840
DATE	JUNE 19, 2020
DATE	SEP 25, 2020

**ARCHITECTURAL SITE PLAN**

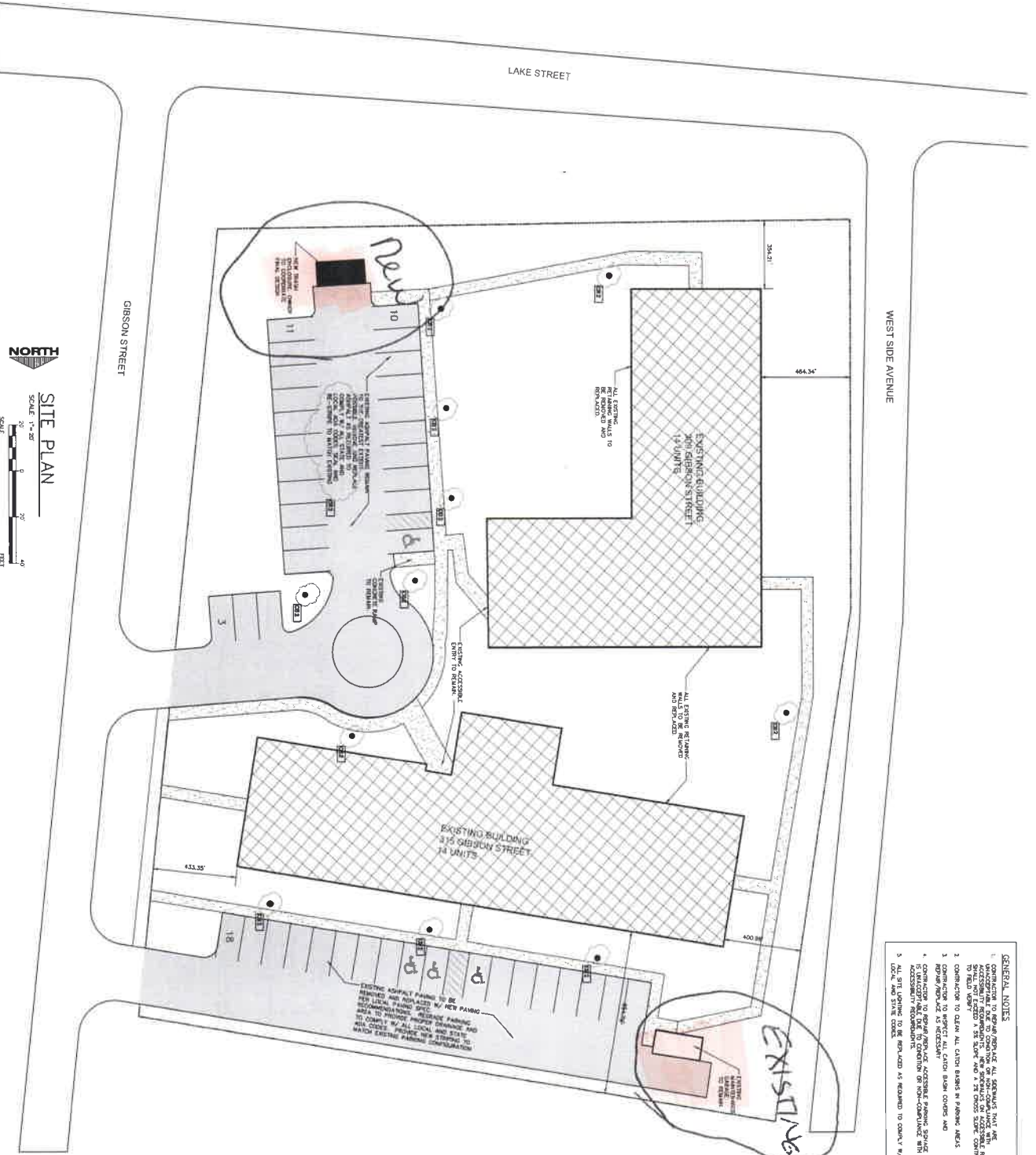
**A0.1**

**SITE PLAN**

SCALE: 1" = 20'

0 20 40  
FEET

**NORTH**







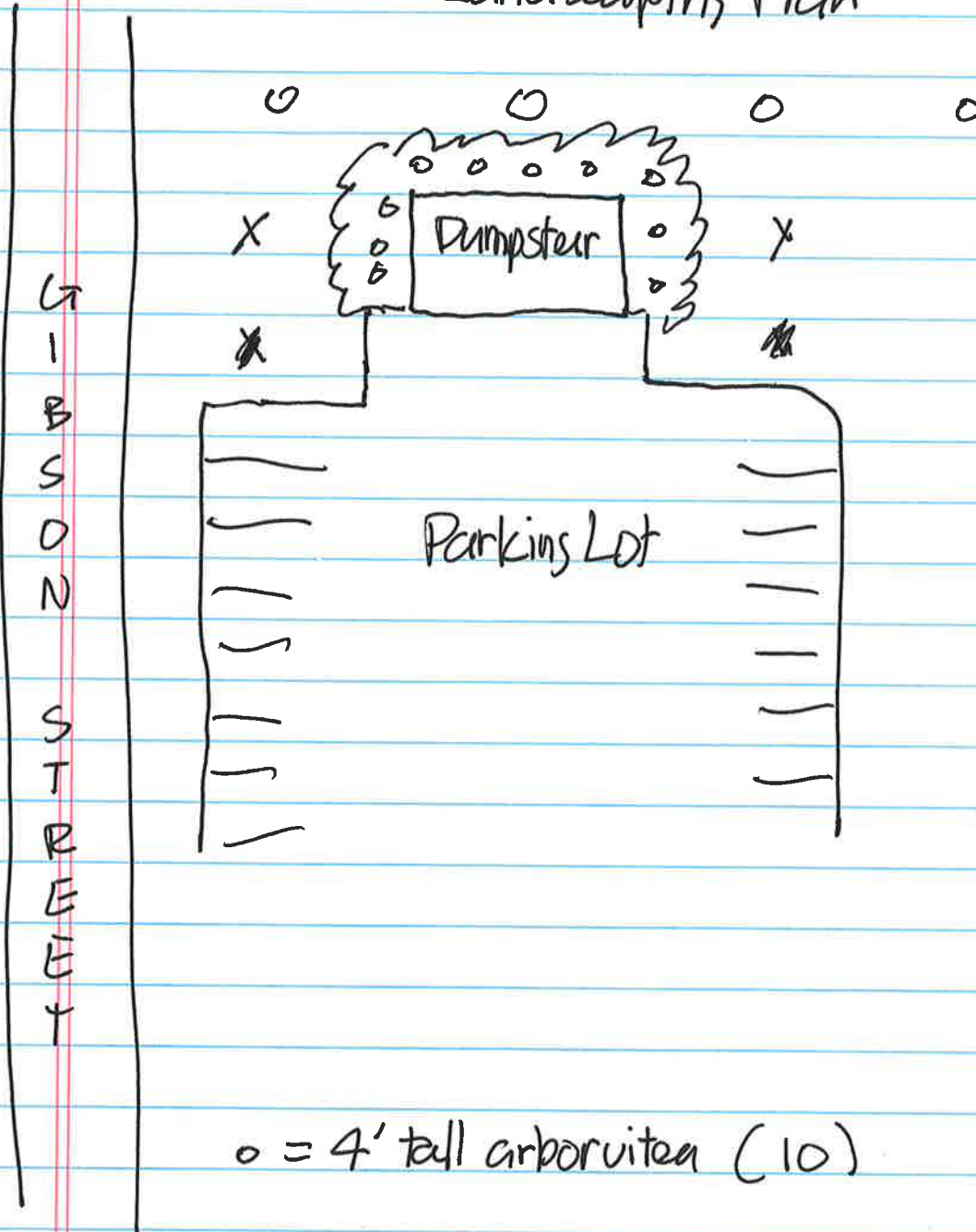








# Landscaping Plan



○ = 4' tall arborvitaea (10)

○ = 6' tall blue ~~sp~~ spruce (4)

x = 2" caliper Norway Maple (2)

☁ = area around dumpster bed of day lilies

**RESOLUTION 2021- 52**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW  
FOR IMPACT MUKWONAGO LLC  
309 and 315 Gibson, MUKV1974-023 AND MUKV1974-015  
THE VILLAGE OF MUKWONAGO**

**WHEREAS**, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval for dumpster enclosures, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by the IMPACT SEVEN / IMPACT MUKWONAGO LLC

**WHEREAS**, Dumpster Enclosures are within the Historic Residential -12,000 SF Lot Lands Use Classification in which the subject property is located, and

**WHEREAS**, Dumpster Enclosures are within the R-3 Single Family / Duplex Residential Zoning District in which the subject property is located, and

**WHEREAS**, the plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for dumpster enclosures at **309 and 315 Gibson**, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The dumpster design shall match the proposed plans and images presented.



Village of Mukwonago  
Walworth and Waukesha Counties, State of Wisconsin

7. The final landscaping plan shall be approved by the Planner prior to issuance of permits with regard to specific locations of the maples and Spruce trees so they have a more natural pattern in the landscape.
8. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 16<sup>th</sup> day of June 2021.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Diana Dykstra, Village Clerk-Treasurer