

Village of Mukwonago
Notice of Meeting and Agenda

REGULAR VILLAGE BOARD MEETING
Wednesday, October 21, 2020

Time: **6:30 pm**

Place: **Mukwonago Municipal Building/ Board Room, 440 River Crest Court**

1. Call to Order

2. Roll Call

3. Pledge of Allegiance

4. Comments from the Public

The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. These time limits may be extended at the discretion of the Chief Presiding Officer. The Village Board may have limited discussion on the information received, however, no action will be taken on issues raised during the Public Comment Session unless they are otherwise on the Agenda for that meeting. Public comments should be addressed to the Village Board as a body. Presentations shall not deal in personalities personal attacks on members of the Village Board, the applicant for any project or Village employees. Comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Commission or Staff will be deemed out of order by the Presiding Officer.

5. Presentations

5.1 Proclamation presented to Citizens Bank for their participation in the Small Business Grant Program in the Village of Mukwonago.

5.2 Presentation from Jay Campbell with Campbell Construction for proposed use of TIF assistance for redevelopment of 927 Main Street (Blue Bay)
[Campbell Power Point.pdf](#)

6. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located in the back of the room.

6.1 Public Hearing on Ordinance 985 An Ordinance to amend various sections in Chapter 100 of the Village of Mukwonago Municipal Code regarding Conditional Uses.

7. Consent Agenda

All items listed are considered routine and/or have been unanimously recommended by the Committee of the Whole and will be enacted by one motion. There will be no separate discussion of these items unless a Board member so requests, in which event the item will be removed from the Consent agenda and be considered on the regular agenda.

- 7.1 Approve a purchase requisition for the Utility Department for an enclosed cargo trailer from Bob Clapper Automotive in the amount of \$16,300.
[Purchase Requisition](#)
- 7.2 Approve **Ordinance 986** Amending Ordinance Section 54-54 regarding Bow Hunting in the Village.
[ORDINANCE 986 \(Amend 54-54 re cross bows etc\)](#)
- 7.3 Approve **Resolution 2020-52** adopting revisions to the Community Planner / Zoning Administrator Position Description
[AIRF - Planner Description.pdf](#)
[PlannerPositionDescription REVISION DRAFT FINAL 09-2020.pdf](#)
[RESOLUTION 2020-052 \(Community Planner Position Description\)FINAL REVISED.pdf](#)
- 7.4 Approve an agent change for the Pick N Save #384 to Todd Glasser.
[Schedule of Agent Change - Pick N Save_Redacted](#)
- 7.5 Approve a Letter of Credit reduction for Phantom Lakes Preserve to \$68,396.40.
[Phantom Lakes Preserve - Letter of Credit Reduction #2](#)
- 7.6 Approve a Letter of Credit Reduction for Box Self Storage Development to \$105,735
[Box Self Storage Letter of Credit Reduction #2](#)
- 7.7 Approve a Letter of Credit Reduction for Chapman Villas to \$1, 218,930.
[Chapman Villas-Letter of Credit Reduction #1](#)
- 7.8 Approve a Letter of Credit reduction for Hittman Property on Arrowhead Drive and STH83 to \$8,838.
[Hittman Property - Letter of Credit Reduction #1](#)

8. Other Items for Approval

Other items removed from Consent Agenda which were not unanimously approved from the Committee of the Whole.

- 8.1 Discussion and possible action on establishing new Trick or Treat Hours for the Village of Mukwonago to October 31, 2020 from 4PM - 6PM, as recommended by the Health and Recreation Committee.

9. Planning Commission Recommendations

Discussion and possible action on the following Plan Commission Recommendations

- 9.1 Discussion and possible action to approve **RESOLUTION 2020-54** A Resolution to approve signage at Field Park; located at 933 N Rochester St; Parcel MUKV 1963-995.
[Park sign review.pdf](#)
[RESOLUTION 2020-54 Field Park Sign.pdf](#)

- 9.2 Discussion and possible action to approve **RESOLUTION 2020-55** a Resolution to approve Site Plan and Architectural Review for Malcolm Drilling, Applicant; 120 Hill Ct; Parcel #A486800002.

[Staff report for Malcolm Drilling.pdf](#)

[RESOLUTION 2020-55 SPAR Malcolm Drilling.pdf](#)

- 9.3 Discussion and possible action to approve **RESOLUTION 2020-56** a Resolution to approve site plan and Architectural Review for Grey Fox Holdings, Applicant; 704 Cardinal Ln Unit 1; Parcel MUKV 2091-989-098; 704 Cardinal Ln Unit 2; Parcel MUKV 2091-98-099; 704 Cardinal Ln Unit 3; Parcel MUKV 2091-989-100; 704 Cardinal Ln Unit 4; Parcel MUKV 2091-989-101.

[Staff report for 704 Cardinal Ln.pdf](#)

[704 Cardinal Ln - late arriving.pdf](#)

[RESOLUTION 2020-56 SPAR 704 Cardinal Ln.pdf](#)

- 9.4 Discussion and possible action to approve **RESOLUTION 2020-57** a Resolution to approve Amended Plat for Grey Fox Holdings, Applicant; 704 Cardinal Ln Unit 1; Parcel MUKV 2091-989-098; 704 Cardinal Ln Unit 2; Parcel MUKV 2091-98-099; 704 Cardinal Ln Unit 3; Parcel MUKV 2091-989-100; 704 Cardinal Ln Unit 4; Parcel MUKV 2091-989-101.

[Staff report for Condo Amendment.pdf](#)

[RESOLUTION 2020-57 Edgewood Meadows Plat Amendment.pdf](#)

- 9.5 Discussion and possible action to approve **RESOLUTION 2020-58** a Resolution to amend site plan for Kay's Studio of Dance, Kay Johnson, Applicant; 715 Main St; Parcel MUKV 1976-205.

[Staff report for 715 Main St.pdf](#)

[RESOLUTION 2020-58 715 Main Amended SPAR.pdf](#)

10. Finance Committee, Trustee Meiners

Discussion and possible action on the following items

- 10.1 Discussion and possible action to approve Vouchers in the amount of \$637,782.91.

[2020-10-07 COW AP Packet.pdf](#)

- 10.2 Discussion and possible action to approve additional Vouchers in the amount of \$266,656.36.

[2020-10-21 VB AP Packet.pdf](#)

- 10.3 Review and update on the 2021 Operating and Capital proposed budget and setting the public hearing for November 18, 2020 at 6:00pm.

11. Judicial Committee, Trustee Walsh

Discussion and possible action on the following items

- 11.1 Discussion and possible action on **Ordinance 985** an Ordinance to amend various sections in Chapter 100 of the Village of Mukwonago Municipal Code regarding conditional uses

ORDINANCE 985 (Chapter 100 Amendments CUP)

12. Public Works Committee, Trustee Brill

Discussion and possible action on the following items

- 12.1 Update from Attorney Blum on recommended action concerning allowing services within the 10' of a driveway requiring homeowner to sign a waiver releasing the Village from damages to driveway and being responsible for all driveway repairs and record against the property.

[Agenda Item Request Form Ordinance 74.5 \(b\)\(6\) Agreement](#)

13. Village President

- 13.1 Update from the Clerk's Office on the November 3, 2020 Elections, In-Person Voting Information, and Statistics to date.

[Election Update 11032020](#)
[Mukwonago Ward Map](#)

- 13.2 Review of the Wisconsin Open Meetings law as it relates to contacts made directly with Trustees.

[Village Board - Developer Discussions](#)

14. Closed Session

Closed Session pursuant to **Wis. Stats. § 19.85(1)(e)** (Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session) for discussion regarding negotiation strategy for potential sale of property on Hill Court, and to develop negotiation strategy regarding potential land transfer with Ulrich M and Karen A Jentsch Revocable Trust, and

Pursuant to **Wis. Stats. § 19.85(1)(c)** (Compensation and Evaluation. Considering employment, promotion, compensation or performance evaluation data of any public employee subject to the jurisdiction or authority of governing body.) concerning WPPA Agreement and HRA contributions and Public Works Crew Supervisor.

15. Reconvene into Open Session

Motion to reconvene into open session pursuant to Wis. Stats. §19.85(2) for possible discussion and/or action concerning any matter discussed in closed session

16. Adjournment

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.



***Building Successful
Teams for Expansion
and Development***

The Bay Mixed Use Development Project

Summary Letter:

- Project location, 919 Main St. (HD Financial), 927 Main St., (Blue Bay) 945 Main St. (Car Quest), all within TID # 4
- Total Amount of Assistance requested \$ 2,265,821.00 to \$ 2,670,212.00
- Sites Current uses are Retail, Hospitality, and Professional, and the Proposed development is an 85 Unit Multi- Family Mixed use development, with Retail, Hospitality and Professional use available within the mixed used portion.
- Assistance is needed on the project partly due to the current density ordinances within the Village and the cost associated with acquiring the additional land needed with land values increasing and the cost to raze the existing structures to prepare the site and the rising cost of construction, and to cause the risk, to be worth the reward on a project of this nature.
- Current Assess value of the combined parcels is \$ 1,424,000.00, the projected cost of the total combined cost of the project is projected to be \$ 20,471,060.00, with 85% as the assumed assessed value of \$ 17,400,401.00, bring an incremental increase of \$ 15,976,401.00

The Bay Mixed Use Development Project

Summary Letter:

- Project timeline projection, March 2021 scrap and raze, June 2022 completion and grad openings.
- Project to be developed the Current owners of the 927 Main St. parcels, *The Michael Islami Family*, with assistance from *H2C Commercial Real Estate and Campbell Construction*.
- Total Development costs projected to be \$ 20,471,060.00
- Development profitability without Assistance, very low on year one, projected at \$ 98,034.00.
- Currently the Islami Family is working with *Citizens Bank of Mukwonago* as the lender and a total of 20% equity into the development or Approx. \$4,094,212.00 will be needed in the form of Cash, equity in Land Value, and equitable Village Assistance.
- Public Benefits for this Development, it used TID # 4, exactly what is was created for a Mixed Use retail development, provides Market Rate Apartments with amenities not available in any other location within the Village, does not take away from the existing uses of the sites, but enhances them, maintains and increases jobs within the Village, and promotes living within the Village in areas walkable to dinning, shopping, entertainment, and the lake and the park.

Project Narrative:

- ▶ Current use of the site are The Blue Bay Restaurant, Carquest Auto, and HD Financial Services.
- ▶ Proposal is to add the Carquest Parcel, MUKV2009961 .576 acres and the HD Financial Parcel, MUKV200964 .717 acres, to the existing Blue Bay Parcels 2.975 acres to assemble a total land mass of 4.268 acres to comply with the Village ordinances for density.
- ▶ Raze all three existing structures, to make way for the proposed 85-unit mixed use development.
- ▶ **LOCAL FAMILY, that has served Mukwonago well for 30 YEARS with local firms assisting them.**



Project Narrative:

- ▶ 85-unit, Market rate apartments.
- ▶ Amenities like no other property within the Market:
 - ▶ Fitness area
 - ▶ Community Pool
 - ▶ Roof top view deck
 - ▶ Porte-cochère entrance
 - ▶ Elevator
 - ▶ Underground parking for 95 stalls, 176 surface stalls
 - ▶ Community room
 - ▶ Outdoor seating and grilling area
- ▶ The Blue bay restaurant to remain and be inside the new building.
- ▶ At least 2 additional 1800 SF retail / professional suite available for NNN lease.
- ▶ South End Cap unit to have drive thru capability.

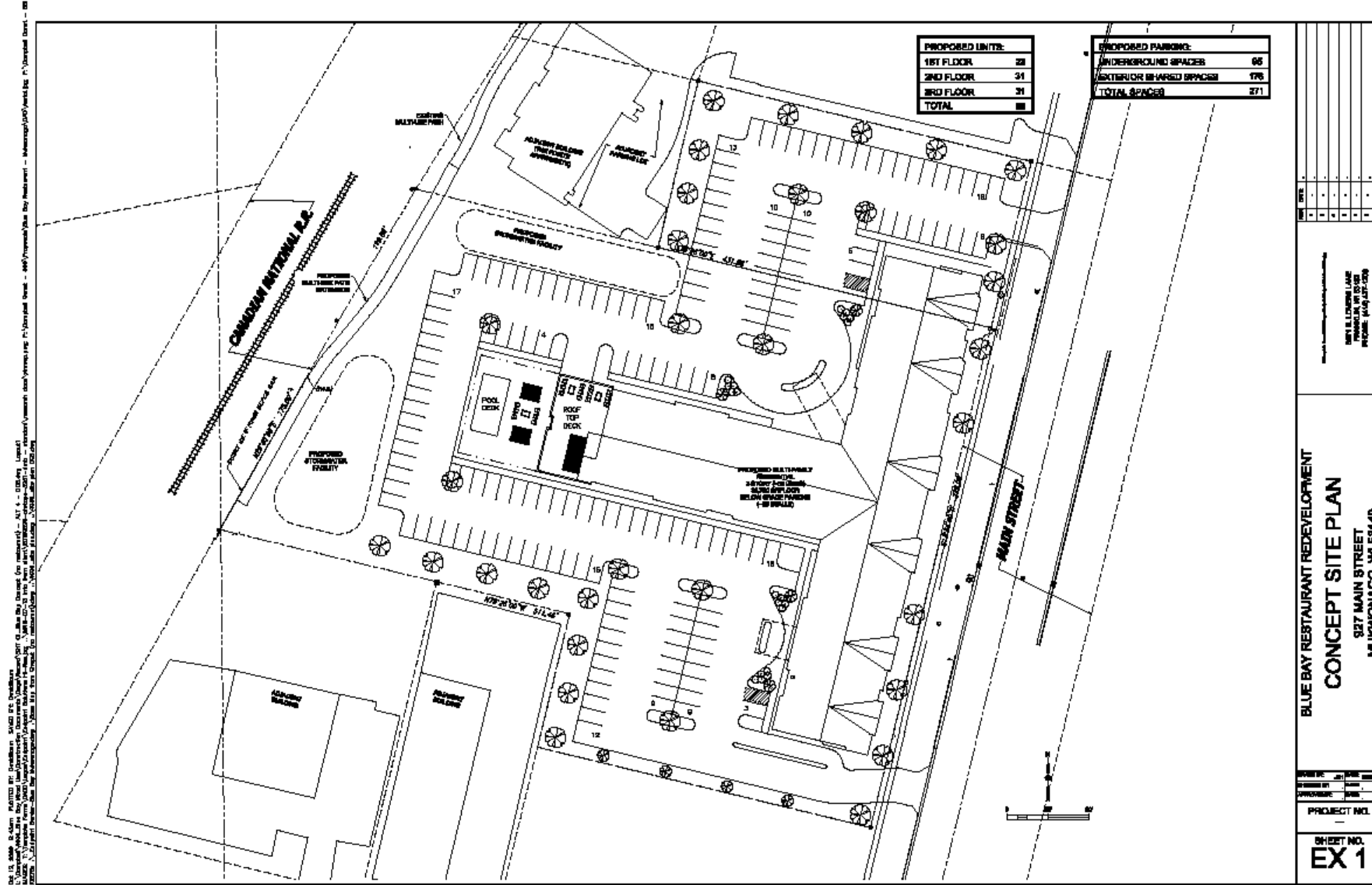


Project Narrative:

- ▶ Project is within TID # 4.
- ▶ *Statement from the TID # 4 Analysis “The District is being created by the Village under the authority provided by Wisconsin Statutes Section 66.1105. **The District is created as a “Mixed-Use District”** based upon a finding that more than 50% by area of the real property within the District is suitable for a combination of commercial, and residential uses as defined within the meaning of Wisconsin Statutes Section 66.1105(2)(cm) (See Section 5 of this plan for a breakdown of District parcels and calculation of compliance with the 50% test)”.*



Site plan and layout



Proposed Elevations



Proposed Elevations

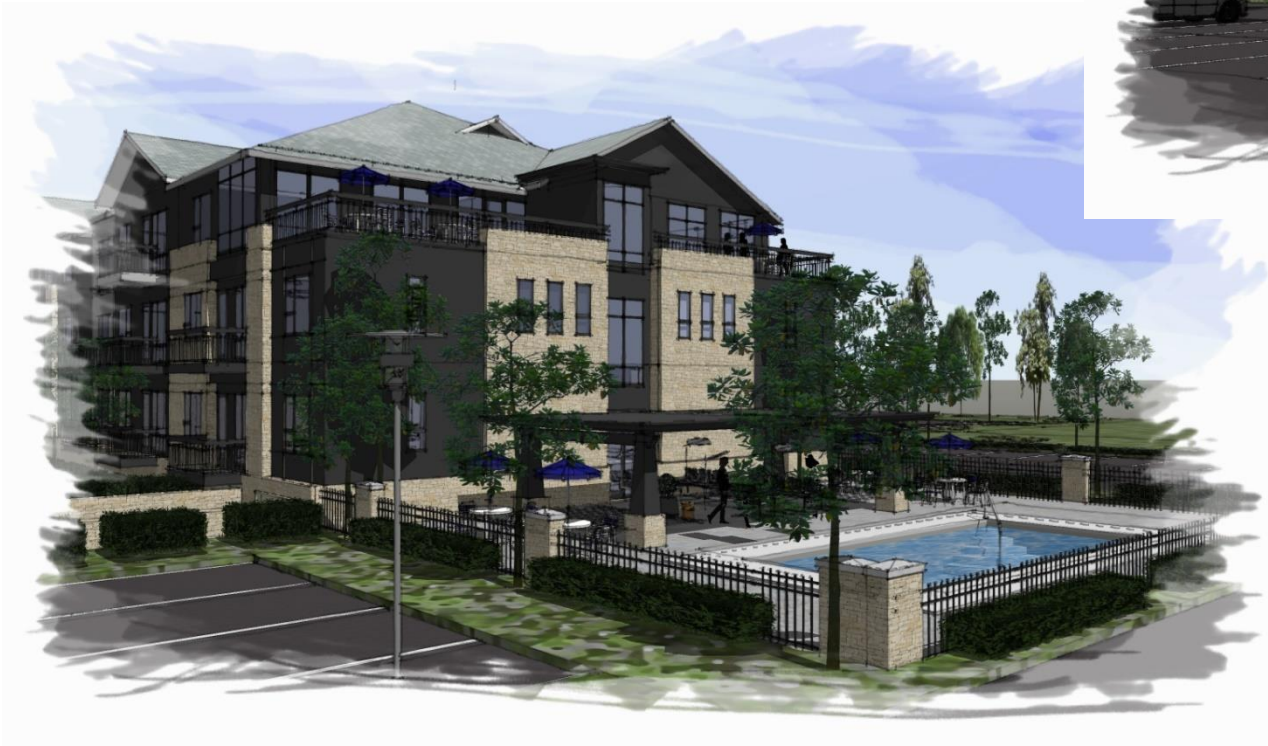


Proposed Elevations

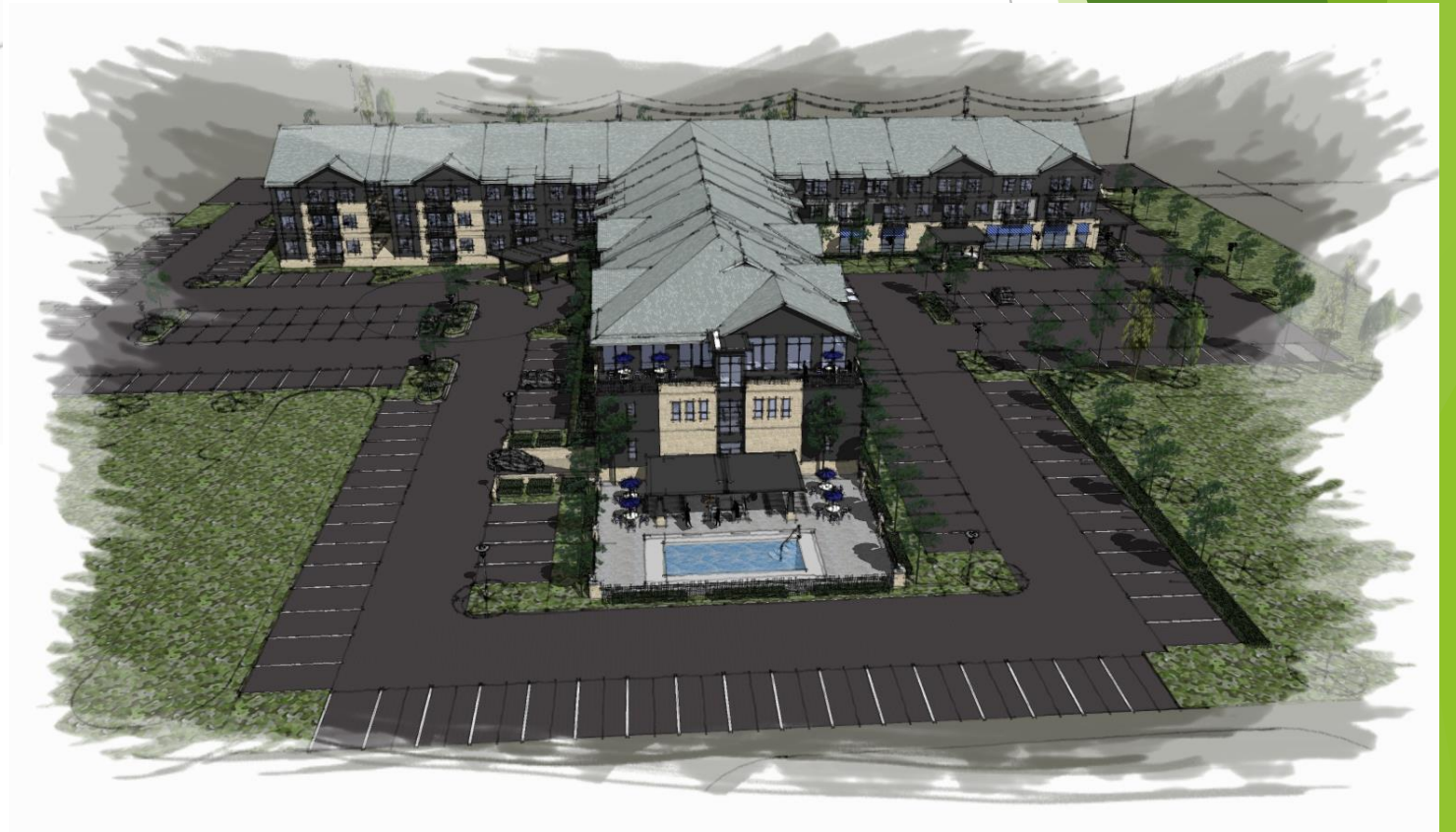


- ▶ Designs are preliminary and concepts plans at this point, subject to modifications based on final designs, code reviews, layout determinations and approvals.
- ▶ Islami Family currently does have executed offers to purchase with the adjoining properties.

Proposed Elevations



Proposed Elevations



Project Timeline Projection

- ▶ 11/2/20 – 1/15/21 Full Design on submittal plans.
- ▶ 1/15/21 – 4/15/21 Local and State permitting.
- ▶ 4/19/21 Start demo and razing.
- ▶ 5/3/21 Ground break and construction start.
- ▶ 7/15/22 Grand Opening Day!!

Benefits to the Public

- ▶ \$ 15,833,601.00 increase in Tax increment, based on today's mill rate, and after any assistance timeframe is exhausted, **that puts an additional \$ 253,970.00 in the Village's coffers yearly**, with **VERY MINIMAL** increase to services provided by the Village.
- ▶ No new roads, services, or utilities needed by the Village.
- ▶ Updates the architecture with a new building, replacing 3 dated properties.
- ▶ Retains all existing businesses, with room for more!!

Benefits to the Public

- ▶ Helps promote additional growth and development on this end of town.
- ▶ Project is consistent with the approved Village development policies and strategic plans and flows well with other recent development.
- ▶ Walking distance to the planned outdoor entertainment area being created, restaurants, Phantom Lake and Indian Head park, and downtown for the more energetic😊
- ▶ Retains all existing businesses, with room for more!!
- ▶ Development will result in better management and control of storm water in a location close to the lake.

Development Overall Budget

The Bay
Construction Cost

9/28/2020				ESTIMATED CONSTRUCTION COSTS		Budget	
Work						Per Unit /SF	All Units
	86 Unit Building				\$ 13,600,000	\$160,000	\$ 13,600,000
4400	4400 SF white box, restaurant build out and Full FFE				\$ 2,398,000	\$ 545	\$ 2,398,000
1800	1800 SF white box				\$ 225,000	\$ 125	\$ 225,000
1800	1800 SF white box				\$ 225,000	\$ 125	\$ 225,000
	Land Improvement Costs/ Parking/ Landscaping		in per unit cost				
	Low Voltage/ Misc Contracts				\$ 100,000		\$ 100,000
	Contingency 5%						\$ 827,400
ESTIMATED CONSTRUCTION COSTS - HARD					\$ 16,548,000		\$ 17,375,400
ESTIMATED CONSTRUCTION COSTS - SOFT							
	LAND COSTS- Purchase						\$ 1,130,000
	LAND COSTS- Demo of Buildings/ Site/Site Utilities						\$ 100,000
	Engineering Geotech						\$ 8,900
	Site lighting design						\$ 3,500
	Wet Land Delineation						\$ 6,700
	Surveying						\$ 4,500
	Engineer						\$ 28,000
	Architect	\$	347,508	2.0%			\$ 312,060
	Misc Expense (Permits, Other Costs)						\$ 85,000
	Impact Fees/ Village Fees						\$ 400,000
	Loan and Appraisal Fees	\$	101,515	0.50%			\$ 74,000
	Loan Interest Costs	\$	331,194	4.35%			\$ 200,000
	Developer Fee						\$ 500,000
	Other Soft Costs						\$ 75,000
ESTIMATED CONSTRUCTION COSTS - SOFT					\$0	\$ -	\$ 2,927,660
TOTAL ESTIMATED COSTS HARD AND SOFT COST							\$ 20,303,060

Funds Source & Needs

	Annual	Monthly		
Apartment Income	\$1,331,985	\$110,998.75		
Retail Income	\$180,000	\$15,000		
Restaurant income	\$250,000.00	\$20,833.33		
	\$1,761,985	\$146,832.08 totals		
# of Units 85				
Total Development Costs	\$20,303,060			
Total Equity Required	\$4,060,612	20.00%		
Value of Blue Bay Property	\$1,424,000			
TIF Village Reimbursements for Improvements	\$2,245,836			
	\$390,776	Addition CASH or TIF Needed		\$2,636,612
Total Costs to Finance	\$16,242,448	80%		
Interest Rate	4.50%			
Loan Amortization Period	25 years			
Initial loan amount	16,242,448			

Investment Cash flow projection



	10/12/2020	Year 1	Year 2	Year 3	Year 4	Year 5
Gross Potential Rent	\$ 1,761,985	\$ 1,797,225	\$ 1,833,169	\$ 1,869,833	\$ 1,907,229	
Less Vacancy (5%)	\$ (88,099)	\$ (89,861)	\$ (91,658)	\$ (93,492)	\$ (95,361)	
Effective Rent	\$ 1,673,886	\$ 1,707,363	\$ 1,741,511	\$ 1,776,341	\$ 1,811,868	
Other Income						
Preferred Parking Rent	\$ 18,060	\$ 18,421	\$ 18,790	\$ 19,165	\$ 19,549	
Pet Rent	\$ 28,560	\$ 29,131	\$ 29,714	\$ 30,308	\$ 30,914	
Misc Revenue	\$ 51,600	\$ 52,632	\$ 53,685	\$ 54,758	\$ 55,853	
Total Other Revenue	\$ 98,220	\$ 100,184	\$ 102,188	\$ 104,232	\$ 106,316	
Total Operating Revenue	\$ 1,772,106	\$ 1,807,548	\$ 1,843,699	\$ 1,880,573	\$ 1,918,184	
Operating Expenses						
Janitorial	\$ 10,824	\$ 11,041	\$ 11,261	\$ 11,487	\$ 11,716	
Pest	\$ 1,800	\$ 1,836	\$ 1,873	\$ 1,910	\$ 1,948	
R&M Apartment	\$ 13,291	\$ 13,557	\$ 13,828	\$ 14,104	\$ 14,386	
R&M Common	\$ 8,861	\$ 9,038	\$ 9,218	\$ 9,403	\$ 9,591	
Lawn/Landscape	\$ 8,861	\$ 9,038	\$ 9,218	\$ 9,403	\$ 9,591	
Snow Removal	\$ 17,721	\$ 18,075	\$ 18,437	\$ 18,806	\$ 19,182	
Repairs & Maintenance	\$ 61,357	\$ 62,584	\$ 63,836	\$ 65,113	\$ 66,415	
Computer/Copier	\$ 812	\$ 828	\$ 845	\$ 861	\$ 879	
Credit Reports	\$ 2,255	\$ 2,300	\$ 2,346	\$ 2,393	\$ 2,441	
Office Supplies	\$ 2,030	\$ 2,070	\$ 2,112	\$ 2,154	\$ 2,197	
Print/Postage	\$ 1,015	\$ 1,035	\$ 1,056	\$ 1,077	\$ 1,098	
Telephone/Internet	\$ 1,827	\$ 1,863	\$ 1,900	\$ 1,938	\$ 1,977	
Room Internet and Cable	\$ 44,303	\$ 44,303	\$ 44,303	\$ 44,303	\$ 44,303	
General & Administrative	\$ 52,240	\$ 52,399	\$ 52,561	\$ 52,726	\$ 52,895	
Elec & Gas Common	\$ 12,360	\$ 12,607	\$ 12,859	\$ 13,117	\$ 13,379	
Trash	\$ 7,200	\$ 7,344	\$ 7,491	\$ 7,641	\$ 7,794	
Water & Sewer	\$ 13,530	\$ 13,801	\$ 14,077	\$ 14,358	\$ 14,645	
Utility Costs	\$ 33,090	\$ 33,752	\$ 34,427	\$ 35,116	\$ 35,818	
Management Fee (2.5%)	\$ 44,303	\$ 45,189	\$ 46,092	\$ 47,014	\$ 47,955	
Salaries/On Site Manger & Leasing	\$ 35,442	\$ 35,442	\$ 35,442	\$ 35,442	\$ 35,442	
Salaries/Part Time Maintenance	\$ 20,000	\$ 20,400	\$ 20,808	\$ 21,224	\$ 21,649	
Payroll Services	\$ 677	\$ 690	\$ 704	\$ 718	\$ 732	
Health Insurance	\$ -	\$ -	\$ -	\$ -	\$ -	
Workers Comp	\$ -	\$ -	\$ -	\$ -	\$ -	
Labor Cost	\$ 56,119	\$ 56,532	\$ 56,954	\$ 57,384	\$ 57,823	
Insurance	\$ 25,000	\$ 25,500	\$ 26,010	\$ 26,530	\$ 27,061	
Real Estate Taxes	\$ 276,864	\$ 282,401	\$ 288,049	\$ 293,810	\$ 299,686	
Marketing	\$ 7,974	\$ 8,134	\$ 8,297	\$ 8,463	\$ 8,632	
Total Expenses	\$ 556,947	\$ 566,491	\$ 576,226	\$ 586,155	\$ 596,284	
Net Operating Income	\$ 1,215,159	\$ 1,241,057	\$ 1,267,473	\$ 1,294,417	\$ 1,321,901	
Non-Operating Expense						
Interest	\$ 723,549	\$ 707,019	\$ 689,729	\$ 689,729	\$ 689,729	
Total Non-Operating Expense	\$ 723,549	\$ 707,019	\$ 689,729	\$ 689,729	\$ 689,729	
Net Income	\$ 491,610	\$ 534,038	\$ 577,743	\$ 604,688	\$ 632,171	
Principal	\$ 359,821	\$ 376,351	\$ 393,640	\$ 393,640	\$ 393,640	
Total Adjustments	\$ 359,821	\$ 376,351	\$ 393,640	\$ 393,640	\$ 393,640	
Replacement Reserves	\$ 22,500	\$ 22,500	\$ 22,500	\$ 22,500	\$ 22,500	
Net Business Cash Flow	\$ 109,289	\$ 135,187	\$ 161,603	\$ 188,548	\$ 216,031	

TIF CALCULATION					
Total Investment:		\$	20,303,060.00	Total value of improvements	
Property Tax Basis:		\$	773,000.00	927 Main St.	2019 values
		\$	344,500.00	919 Main St.	
		\$	306,500.00	945 Main St.	
		\$	1,424,000.00	total	
Total Increment Created:		\$	18,879,060.00		
Assessed Tax Base			85.00%		
Tax Rate			1.36%	16.0430 for mill rate of 2019	
Debt Service Coverage			-		
Number of Payments (Years)			20	20 years.	
Interest Rate			5.00%		
Future Value			-	Mill Rate	
Assumed Value			17,257,601.00	\$ 17,257.60	\$16.0430 Tax Bill \$ 276,863.69
Full Property Tax Revenue		\$	276,863.69	Actual Projected Tax bill	
Revenue Available for Debt Service		\$	257,445.25	\$ 15,833,601.00	Added increment
Tax Increment Financing Available:			\$3,208,336.80		
Tax Increment Financing to Village	30%		\$962,501.04		
Tax Increment Financing to Developer	70%		\$2,245,835.76		

TIF CALC



The Struggle

- Why does it always come down to money?? And a shortage of Cash!!
- We have been working with Citizen Bank and we need to work on the ability for the assistance given to be able to be considered part of the equitable injection of funds into the project, a typical TIF structure will not get it done!
- Based on the numbers and projections, NO other developer would do this development, because they'd need to also acquire the land owned by the Islami family, and because the ROI, is simply way too low without assistance.

Our Hopes for the Future

Achieve	Achieve a financial plan that works for the Village of Mukwonago, Citizens Bank of Mukwonago, & The Islami Family to secure the needed financing for the project.
Match	Match everyone's needs for the project to move forward.
Earn	Continue to earn trust and development relationships that will last.
Learn	Take information from this to learn how to be better.



Thank you for taking the time to listen to this presentation! We look forward to working with the Village on getting this project across the finish line!



VILLAGE OF MUKWONAGO PURCHASE REQUISITION

PLEASE TYPE OR PRINT IN INK CLEARLY ON THIS FORM

DATE:	10/1/2020	NUMBER:	
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VENDOR NAME & ADDRESS:	SHIP TO:
Bob Clapper Automotive, 3601 E. Milwaukee str., Janesville, Wi. 53546	Mukwonago Utility, 1200 Holz Pkwy, Mukwonago, Wi 53149

DEPT NAME:	SUGGESTED VENDOR	AUTHORIZED SIGNATURE
WWTF	Bob Clapper Automotive	

BUDGETED ITEM?	Yes	BUDGETED SOURCE:	Capital Budget
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<u>ITEM</u>	<u>QTY</u>	<u>DESCRIPTION</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>	<u>ACCT #</u>
1	1	32' x 8.5' Pace Enclosed Cargo Trailer	\$16,300	\$16,300	
			TOTAL	\$16,300	

FINANCE COMMITTEE USE ONLY	
APPROVED (COMMITTEE INITIALS):	
DATE:	
SPECIAL INSTRUCTIONS	

Quote #: 75220

Build Sheet

Dealer: Bob Clapper Automotive

Salesperson: Mike Iavagnilio

Created: 9/24/2020 9:51:34 PM

Start Date:

Due Date:

Sold To:

CV85x32TE5

PSADA8.5X32TE5FG

Pace

CARGOSPORT AUTO FLAT

Style	Upcharge for 32-ft Body Length
Style	Cargo Sport Auto/Flat Top/30in Bullnose
Axle	Tandem/Drop/Electric
Axle Type	(2) 7000lb Spring w/Superlube Hubs
Tire	(4) ST235/85R16 LR'G' Radial Tire on 8-Bolt Wheel ** NOTE: LR'G' TIRES **
Tire	(4) Chrome Plastic Hub Caps w/Chrome Trim Ring
Rim	(4) Silver
Main Frame	2 x 8 Tube w/ZXMs 12in on Center ** 12" CENTERS **
Beavertail	48in Beavertail
Main Frame	Undercoated
Coupler	2-5/16in
Hitch	12in Extended Tongue Including 3rd Member
Hitch	Spray on Bed Liner A Frame and Rear Cross member
Jack	2000lb Top Wind w/Sand Pad
Jack	Sand Pad
Vertical Post	98-3/4in V.P.H. ** 12" Extra Height ** 7'6" Interior Height **
Sidewall	1 x 1-1/4 Tube/16in Centers/8in Drop Wall/30in Bullnose
Roof Bow	1 x 1-1/2 Semi Crowned Tube 16in Centers
* Floor	Black Coin Flooring Over 3/4in High Performance. Includes Ramp Door and Extension <i>Throughout Entire Trailer Floor</i>
Wall	3/4 High Performance Sidewall Liner
Ceiling	2.7 White Vinyl
Exterior Metal	.030 Color: _____
Exterior Metal	Screwless ** WITH SCREWED SEAMS **
Front Nose	Polished Aluminum
Stoneguard	24in High ATP .025 Embossed
Fender Flare	Smooth Tandem
Roof	1 Piece Aluminum
Roof	48in Wide 2.7 Lauan Ridge Board
License Plate	Molded Plastic
Bracket	

Drawings: ☐

Opt:

Load:

Rear Door	250 SERIES Ramp Door w/Spring Assist w/Large J Trim and Drip Rail ** With Black Coin Flooring **
Rear Door	16in Ramp Extension w/Bullnose Extrusion ** With Black Coin Flooring **
Side Door	48w X 74h C/S ** Bar Lock & Flush Lock ** Recessed Step w/Aluminum Hold Back Start 36in From Front ** BUILD WITH (4) STRAP HINGES INSTEAD OF PIANO HINGE **
Vent	(2) Sidewall Flo Thru Vents (Black)
Dome Light	(8) LED Dome Lights Evenly Spaced
12 Volt Switch	(2) 12V Interior Wall Switches For Exterior Loading Lights. Locate (1) At C/S Door. Locate (1) On C/S Wall at Rear.
12 Volt Switch	(1) C/S Door
Breakaway	Breakaway Battery w/Switch
Cable	7 Way Plug w/7 Way Plug Holder
Package	30A Light Package Motorbase 30A Panel Box Male Motorbase 25ft Shoreline with Female Motor Base & Yellow Boot (2) 4ft Fluorescent Lights with Diffuser (1) 110V Wall Switch (4) 15A Receptacles
Clearance Light	Bullet LED Clear Lens
License Plate Light	Yes
Loading Light	12V 10in Exterior Double Row LED Loading Light Switch Required. Locate at C/S Door.
Loading Light	12V 10in Exterior Double Row LED Loading Light Switch Required. Locate Above Ramp Door.
Tail Light	(2) LED Clear Lens Slimline w/Integrated Backup
Turn Signal	LED Side Mount Turn Signal/Amber Marker Light/Amber Reflector-Midship
E-Track	28-Ft. of Recessed Mount Wall E Track with Steel Backer. Locate (1) Row On C/S, Full Length Less Side Doors, Center at 12" AFF

HD D Ring	(4) 5000lb D Rings 36in On Center 2-1ft 2-19ft From Rear
Cabinet	Configuration 4 Straight Base Cabinet & Overhead Cabinet, BUILD WITH DOUBLE 3/4" HIGH PERFORMANCE UNDER MILL FINISH ALUMINUM COUNTERTOP.

Your Price
\$16,300

Quote #: 69918

Build Sheet

Dealer: B & B Trailers

Salesperson: Mike Iavagnillo

Created: 6/17/2020 9:50:40 PM

Start Date:

Due Date:

Sold To:

CV85x32TE5

PSADA8.5X32TE5FG

Pace

CARGOSPORT AUTO FLAT

Drawings: ☐

Opt:

Load:

Style	Cargo Sport Auto/Flat Top/30in Bullnose	License Plate Bracket	Molded Plastic
Style	Upcharge for 32-ft Body Length	Rear Door	250 SERIES Ramp Door w/Spring Assist w/Large J Trim and Drip Rail ** With Black Coin Flooring **
Axle	Tandem/Drop/Electric	Rear Door	16in Ramp Extension w/Bullnose Extrusion ** With Black Coin Flooring **
Axle Type	(2) 7000lb Spring w/Superlube Hubs	Side Door	48w X 74h C/S ** Bar Lock & Flush Lock ** Recessed Step w/Aluminum Hold Back Start 36in From Front ** BUILD WITH (4) STRAP HINGES INSTEAD OF PIANO HINGE **
Tire	(4) ST235/85R16 LR'G' Radial Tire on 8-Bolt Wheel ** NOTE: LR'G' TIRES **	Vent	(2) Sidewall Flo Thru Vents (Black)
Tire	(4) Chrome Plastic Hub Caps w/Chrome Trim Ring	Package	30A Light Package Motorbase 30A Panel Box Male Motorbase 25ft Shoreline with Female Motor Base & Yellow Boot (2) 4ft Fluorescent Lights with Diffuser (1) 110V Wall Switch (4) 15A Receptacles
Rim	(4) Silver	Dome Light	(8) LED Dome Lights Evenly Spaced
Main Frame	2 x 8 Tube w/ZXMs 12in on Center ** 12" CENTERS **	12 Volt Switch	(1) C/S Door
Beavertail	48in Beavertail	Loading Light	12V 10in Exterior Double Row LED Loading Light Switch Required. Locate at C/S Door.
Main Frame	Undercoated	Loading Light	12V 10in Exterior Double Row LED Loading Light Switch Required. Locate Above Ramp Door.
Coupler	2-5/16in	12 Volt Switch	(2) 12V Interior Wall Switches For Exterior Loading Lights. Locate (1) At C/S Door. Locate (1) On C/S Wall at Rear.
Hitch	12in Extended Tongue Including 3rd Member	Breakaway	Breakaway Battery w/Switch
Hitch	Spray on Bed Liner A Frame and Rear Cross member	Cable	7 Way Plug w/7 Way Plug Holder
Jack	2000lb Top Wind w/Sand Pad	Clearance Light	Bullet LED Clear Lens
Jack	Sand Pad	License Plate Light	Yes
Vertical Post	98-3/4in V.P.H. ** 12" Extra Height ** 7'6" Interior Height **	Tail Light	(2) LED Clear Lens Slimline w/Integrated Backup
Sidewall	1 x 1-1/4 Tube/16in Centers/8in Drop Wall/30in Bullnose	Turn Signal	LED Side Mount Turn Signal/Amber Marker Light/Amber Reflector-Midship
Roof Bow	1 x 1-1/2 Semi Crowned Tube 16in Centers		
Floor	Black Coin Flooring on Ramp Door and Ramp Extension Only.		
Floor	3/4in High Performance		
Wall	3/4 High Performance Sidewall Liner		
Ceiling	2.7 White Vinyl		
Exterior Metal	.030 Color: _____		
Exterior Metal	Screwless ** WITH SCREWED SEAMS **		
Front Nose	Polished Aluminum		
Stoneguard	24in High ATP .025 Embossed		
Fender Flare	Smooth Tandem		
Roof	1 Piece Aluminum		
Roof	48in Wide 2.7 Lauan Ridge Board		

Cabinet Configuration 4 Straight Base Cabinet & Overhead Cabinet, BUILD WITH DOUBLE 3/4" HIGH PERFORMANCE UNDER MILL FINISH ALUMINUM COUNTERTOP.	
E-Track 28-Ft. of Recessed Mount Wall E Track with Steel Backer, Locate (1) Row On C/S, Full Length Less Side Doors, Center at 12" AFF HD D Ring (4) 5000lb D Rings 36in On Center 2-1ft 2-19ft From Rear	

19, 227.00

David Brown

From: Ken Miller
Sent: Monday, September 21, 2020 3:53 PM
To: David Brown
Subject: FW: Trailer Quote
Attachments: Miller Quote.pdf

Here is the quote from TBE. It's a United trailer and it came in higher and I don't think it is built as well. Tell me what you think !

Ken,

The quote came in please look over build sheets and comes out to \$19,950 plus tax.

Thanks,

Jay Pamperin
TBE Trailers LLC
N2047 Sawmill Road
Watertown, WI 53098
1-920-262-2204
www.TBEtrailers.com



Order # 186132
Serial #

Sold To

TBE Trailers LLC.
N2047 Sawmill Rd.
Watertown, WI 53098
Phone #: 1-920-262-2204
Fax #: 1-920-261-5544

Model UXT-8.532TA70
8.5 x 32 - 8 1/2 Wide Tag, Tandem Axle, Flat Top w/ 7,000# Axles
VIN

Qty	Description
-----	-------------

Height	
12 IN	Extra Height
OPT	7' 6" Interior Height

Axle	
2 EA	7000# Elec Brake Axle - (4" drop) - #13
STD	*We do not offer 7k spring axles*

Tires	
-------	--

4 EA	Upgrade-ST235/85 R 16 (G) Alum IPO ST235/80 R E
OPT	6000# or 7000# axles Note: upgrade tires ST235/85 R 16 G Westlake : Lynx

Hitch	
-------	--

1 EA	7-Way Molded Plug
STD	Breakaway kit w/charger
STD	Coupler - 2 5/16 bolt on (20,000#)
OPT	This bolts on to the 4 hole plate
1 EA	Jack-7000# Square drop leg w/pin- Removable
OPT	Safety Chain
2 EA	Tongue- 1 ft ext w/3rd member/1/4 tube
STD	1 foot ext w/ 3rd member / 1/4 wall tube

Frame	
-------	--

1 EA	Misc Frame
OPT	*We do not offer tube framing, C-Channel crossmembers and Hatpost walls and ceiling*
1 EA	(Beaver tail)
2 EA	Backer required for 14" inch scene light
OPT	E- Track
28 FT	See Interior:
4 EA	Heavy Duty D-rings
OPT	See Interior:
1 EA	I-Beam - 8in I-Beam Frame
STD	Roof Bows - 16in On Center
1 EA	NOTE: This trailer has 16in center roof bows.
32 PTL	Upgrade - 16" on center to 12" on center CXM
OPT	16" on center to 12" on center CXM
1 EA	Wall - 16in On Center Sidewall Posts
STD	NOTE: This trailer has 16in center wall posts.

Vents	
-------	--

1 PAIR	Vent - TSR-175 Sidewall Vent
OPT	Location: (1) RS Front High and (1) CS Rear Low

United Trailers Inc. is not responsible for any code compliance and or permits, including electrical and plumbing requirements. Dealer is responsible for final design, layout, and use requirements.

Packing List

United Fax #: 574-848-4643

9/18/20 09:18 AM

Page 1 of 4



Order # 186132
Serial #

Sold To

TBE Trailers LLC.
N2047 Sawmill Rd.
Watertown, WI 53098
Phone #: 1-920-262-2204
Fax #: 1-920-261-5544

Model	VIN
UXT-8.532TA70	
8.5 x 32 - 8 1/2 Wide Tag, Tandem Axle, Flat Top w/ 7,000# Axles	

Qty	Description	
Interior		
1 EA	Floor - 3/4in Plywood Floor	STD
1 PTL	Box off sidewalls to reduce dust	STD
32 PTL	Ceiling - White Vinyl Ceiling	OPT
4 EA	D Ring - Heavy Duty	OPT
	These D-rings are screwed down and rated at 2500# Location: (2) 1' From Rear and (2) 19' From Rear - 36" Apart	
28 FT	E-Track - Recessed	OPT
	This E-track is welded in and rated at 2300# / TRIM OUT WITH ATP - Location: On CS Starting at Rear Running Forward	
42 PTL	Floor - Raised Small Coin Black	OPT
	Raised small coin flooring - Black - Floor, Ramp Door, and Flap	
1 EA	Wall - 3/8in plywood Wall Liner	STD
12 Volt Electrical		
1 EA	LED CLEARANCE & TAIL LIGHTS FOR ENTIRE UNIT	STD
2 EA	LED-14" inch. angled Scene light (Nova)	OPT
	Surface mounted angled Scene light: Location: (1) Over CS Side Door and (1) Over Ramp Door	
8 EA	Lights - 12v Dome Light	STD
	Centered and evenly spaced	
1 PAIR	Lights - Mid ship turn signal LED Amber	OPT
	Part #12VL-00268 in the parts book - ABC Marketing Part # could be different through ABC	
1 PAIR	Lights-LED tail light surface mount w/chrome ring	STD
1 EA	Switch - 12V Single Wall	STD
	Location: At CS Side Door for Dome Lights	
2 EA	Switch - 12V Single Wall	OPT
	Location: (1) at CS Side Door for 14" Scene Light at Side Door and (1) CS Rear for 14" Scene Light Above Ramp Door	
Exterior		
1 EA	.030 Smooth Aluminum	STD
	Color: ?	
1 EA	ATP Stoneguard	STD
1 PAIR	Bright Aluminum - Front Corners	STD
1 EA	Bright Aluminum Between Cast Corners on front wrap	OPT
1 PAIR	Cast Corners - Unpolished- URS	OPT
	URS style- only	
1 PTL	Conspicuity Tape	STD
2 EA	Flares - 1in Aluminum Tandem	STD

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Packing List

United Fax #: 574-848-4643

9/18/20 09:18 AM

Page 2 of 4



Order # 186132
Serial #

Sold To

TBE Trailers LLC.

N2047 Sawmill Rd.

Watertown, WI 53098

Phone #: 1-920-262-2204

Fax #: 1-920-261-5544

Model UXT-8.532TA70
8.5 x 32 - 8 1/2 Wide Tag, Tandem Axle, Flat Top w/ 7,000# Axles
VIN

Qty Description

Exterior

1 EA Glued Exterior with screws on the seams only

1 EA Note: If glue fails United will send screws

1 EA Roof - Aluminum Seamless

1 EA Roof - Luan down center of roof only

Luan down center of roof ONLY 48" wide

Door

1 EA 2 FT Flap - plywood with wedge blocks

2 FT Flap - plywood with wedge blocks - Covered with Black Coin

1 EA 48" Door - Upgrade from 32" Door

Barlock door - 48" x 78" CS Side Door - 3' FF

1 EA Beavertail, Ramp Door, w/ Spring & Flap

2 EA Hinges - Extra on Side Door

1 EA Steel Step well

Steel Step well for 8 1/2 wide trailers only, Do not use on UC-XC-UW models

Cabinets

1 EA Aluminum Standard Straight Package

(Std Straight Base & O/H) - Location: ? Color: ? Countertop: Mill Finish

Options

1 EA All code requirements or permits by others.

1 EA TRAILER IS GOING TO OPTIONS DEPARTMENT

THIS TRAILER HAS ITEMS THAT REQUIRE IT TO GO TO THE OPTIONS DEPARTMENT

Electrical

4 EA 110V Interior Duplex Recept

Location: ?

1 EA 110V Wall Switch(es)

Location: ?

1 EA 30 Amp Panel Box w/ 30 Amp Motor Base

Location of panel box: ?

1 EA Electrical Boxes, Switches & Recepts

LOCATIONS MAY VARY DUE TO STEEL IN FRAME, SIDEWALLS AND ROOF

1 EA Electrical Boxes, Switches & Recepts

LOCATIONS MAY VARY DUE TO STEEL IN FRAME, SIDEWALLS AND ROOF

1 EA Light - Fluorescent 4ft Dbl Tube with Diffuser

Locations: Centered and Evenly Spaced

Packages

1 EA 110 Volt Electrical Package - A

OPT

United Trailers Inc. is not responsible for any code compliance and or permits, including electrical and plumbing requirements.
Dealer is responsible for final design, layout, and use requirements.

Packing List

United Fax #: 574-848-4643

9/18/20 09:18 AM

Page 3 of 4



Order # 186132
Serial #

Sold To

TBE Trailers LLC.
N2047 Sawmill Rd.
Watertown, WI 53098
Phone #: 1-920-262-2204
Fax #: 1-920-261-5544

Model UXT-8.532TA70	VIN
8.5 x 32 - 8 1/2 Wide Tag, Tandem Axle, Flat Top w/ 7,000# Axles	

Qty	Description
*Notes	
1 EA	Drawing Required
	OPT
This order requires a drawing. Drawing No: ?	

United Trailers Inc. is not responsible for any code compliance and or permits, including electrical and plumbing requirements.
Dealer is responsible for final design, layout, and use requirements.

Packing List

United Fax #: 574-848-4643

9/18/20 09:18 AM

Page 4 of 4

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

ORDINANCE NO. 986

**ORDINANCE TO AMEND SECTION 54-54
OF THE VILLAGE OF MUKWONAGO MUNICIPAL CODE
REGARDING DISCHARGING BOWS, CROSS BOWS OR LIKE INSTRUMENTS
IN THE VILLAGE OF MUKWONAGO**

The Village Board of the Village of Mukwonago do ordain as follows:

SECTION I

Section 54-54 (a) of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

Sec. 54-54 – Discharging bows or crossbows or like instruments are subject to conditions:

- (a) *Definitions.* For purposes of this Ordinance Subsection only, the following terms shall have the definitions set forth herein:
 - (1) **Building.** Building means a permanent structure used for human occupancy and includes a manufactured home as defined in Section 101.91(2) of the Wisconsin Statutes.
 - (2) **Weapon.** Weapon shall refer to a bow or crossbow or like weapon/instrument designed and used to propel an arrow, dart or other similar missile.
 - (3) **Hunter.** For purposes of this section, a hunter is someone who is discharging a weapon as provided for herein.

SECTION II

Section 54-54(b) and (c) of the Municipal Code of the Village of Mukwonago is hereby repealed and recreated to read as follows:

- (b) A person is allowed to discharge a weapon on property owned by that individual or on property for which the person discharging the weapon has obtained the permission of the owner, and that permission specifically allows the person discharging the weapon to hunt within a specified distance from the building. Otherwise a weapon may not be discharged within 100 yards from a building located on another person's land. This restriction does not apply if the person who owns the land on which the building is located allows the hunter to hunt within some lesser distance of the building.
- (c) Any person who hunts with a bow and arrow or crossbow is required to discharge the arrow or bolt from their respective weapon toward the ground.

SECTION III

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

SECTION IV

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the Ordinance.

SECTION V

This Ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago, and shall indicate the date and number of this amending ordinance therein.

PASSED AND ADOPTED by the Village Board this _____ day of _____, 2020.

APPROVED:

Fred Winchowky, Village President

Countersigned:

Diana Dykstra, Village Clerk/Treasurer



Village of Mukwonago

AGENDA ITEM REQUEST FORM

Committee/Board:	Personnel
Topic:	Updated Planner Job Description
From:	Diana Doherty
Department:	Finance / HR
Presenter:	Diana Doherty
Date of Committee Action (if required):	October 7, 2020
Date of Village Board Action (if required):	October 21, 2020

Information

Background Information/Rationale:

Village Administrator asked for modifications to the position description originally adopted on Resolution 2019-10.

Key Issues for Consideration:

- Removal of Supervisory duties over Building Department
- Added requirement to fully utilize the Village's software for tracking projects and documentation and permitting activity
- Added language regarding monitoring and handling zoning code compliance issues
- Added requirement to serve as advisory member of the Downtown Development Committee

Fiscal Impact (If any):

Removal of Supervisory duties over Building Department caused the position classification in the compensation plan to change from Grade 7 (salary range of \$73,097 – \$98,681) to Grade 6 (\$62,625 – \$84,541)

Requested Action by Committee/Board:

Recommend adoption of updated Community Planner / Zoning Administrator Position Description on Resolution 2021-XXX

Attachments

Original position description showing modifications in red
Clean copy for adoption

RESOLUTION ~~2019-010~~2020-XXX

VILLAGE OF MUKWONAGO COMMUNITY PLANNER POSITION DESCRIPTION

Title: Community Planner/ Zoning Administrator
Department: Economic Development
Reports to: Village Administrator

Status: Full-Time, NR
Comp Plan Grade: 6
Revision Date:
Adoption Date: March 6, 2019

- I. **PRIMARY FUNCTION.** The Community Planner/Zoning Administrator assists in the orderly and proper land use and development of the residential, commercial, and manufacturing tax base, coordinating the efforts of the Village Planning Commission, ~~and~~ Board of Zoning Appeals, ~~and Inspections function.~~ The position also assists the ~~Economic Development Director~~ Village Administrator in developing and implementing proactive planning, zoning, land use, and economic development strategies, requiring advanced professional planning experience of high complexity and variety. This position is significantly involved with larger, more complex development planning and land use initiatives, including Village-led developments and facilitating private development through the application and approval process. The Community Planner/Zoning Administrator ~~oversees Building Inspection staff and~~ may supervise other small teams focused on specific development or planning initiatives at the direction of the ~~Economic Development Director~~ Village Administrator.
11. **ESSENTIAL DUTIES AND RESPONSIBILITIES.** The following duties are normal for this position. These are not to be construed as exclusive or all-inclusive. Other duties may be required and assigned.

III. PLANNING RESPONSIBILITIES

1. Assists in promoting economic growth in the community through planning strategies designed to maintain and enhance the Village's quality of life
2. Provides professional planning services as a starting point for the application and permitting process, and serves as an advocate for planning in line with the Comprehensive Plan and Zoning Ordinances.
3. Performs advanced professional work related to variety of planning assignments and manages complex planning studies and development applications; reviews developer and applicant proposals
4. Reviews and processes complex comprehensive plan amendments, rezoning, annexations, site plans, and plats
5. Conducts research and prepares statistical reports on land use, physical, social & economic issues
6. Provides professional planning assistance to member communities on varied land use projects
7. Develops transportation plans, studies and analyses on regional basis
8. Works in regional program areas relating to resources planning, community development, hazard mitigation, environmental remediation and others
9. Performs field inspections to gather data relevant to the development review process and/or to verify that development projects comply with approved plans
10. ~~Schedules and conducts~~ Attends or coordinates meetings with advisory boards and elected officials as necessary.
11. Presents reports and other findings to staff, Planning Commission and Board of Zoning Appeals, Committee of the Whole and Village Board, and serves as liaison to such committees or other committees as necessary
12. Attends frequent evening meetings
- ~~12.~~ 13. Fully utilize Village software to electronically track project status and capture all project documentation
- ~~13.~~ 14. May supervise team projects related to planning and development initiatives

ZONING RESPONSIBILITIES

1. Authorization to administer the Village's Zoning ordinance 100-277 and shall have the following duties and powers:
 - a. Advise applicants of the ordinance provisions, assist in preparing permit applications and appeals, and assure that the regional flood elevation for the proposed development is shown on all permit applications.
 - b. Recommend/Issue permits and inspect properties for compliance with provisions of this ordinance and issue certificates of compliance where appropriate.
 - c. Keep records of all official actions such as: All permits issued, inspections made, and work approved
2. Works ~~Directly directly~~ with ~~Directs and evaluates the work of~~ Building Inspection staff to ensure compliance with all Village codes and ordinances
3. Responds to citizen complaints regarding zoning code violations
- 2-4. Assesses compliance with zoning code via regular monitoring and observance of activity throughout the Village
- 3-5. Keep Village Zoning ordinances and codes up to date and make recommendations pertaining to zoning amendments, additions, ordinance applications, and zoning-related plans
- 4-6. Provides professional zoning assistance to member communities???? on varied land use projects
- 5-7. Works in regional program areas relating to resources zoning, land use, planning, community development, and others
- 6-8. ~~Schedules and conducts~~ Attends or coordinates meetings with advisory boards and elected officials as necessary.
9. Presents reports and other findings to staff, Planning Commission and Board of Zoning Appeals, Committee of the Whole, and Village Board and serves as liaison to such committees or other committees as necessary
- 7- Serves as an advisory member of the Downtown Development Committee (DDC? But might not need to mention)
- 8-10. May supervise team projects related to zoning and development initiatives

IV. EDUCATION, LICENSURE/CERTIFICATION AND EXPERIENCE. The requirements listed below are representative of the knowledge, skills and abilities required.

- A. Graduation from an accredited college or university with a Bachelor's degree in planning or a related field, professional level engineering training (**P.E.**) preferred. Village may accept a Master's degree in planning or other related field.
- B. A minimum of 4 years' municipal experience or experience advising municipal government.
- C. Thorough knowledge of the principles, practices, and legal requirements of urban planning, zoning code administration, community development, housing and economic development.
- D. Able to identify appropriate methods to provide effective and efficient long-range planning, demographic analysis, redevelopment, economic development and land-use applications.
- E. Knowledge of statistical and research methods and analysis of planning studies, government planning documents and reports, marketing studies, plans, specs and bid documents.
- F. Any equivalent combination of experience and education which provides the required knowledge, skills and abilities
- G. Ability to obtain certification through American Institute of Certified Planners
- G-H. Possess a valid Wisconsin driver's license

V. ESSENTIAL SKILLS OF THE JOB

- A. Ability to communicate effectively orally and in writing
- B. Ability to facilitate sessions with elected officials, decision-makers, residents, and community groups
- C. Ability to multi-task on several simultaneous projects and problem solve effectively
- D. Ability to manage projects and meet firm deadlines
- E. Ability to instruct and train other staff if necessary
- F. Ability to utilize computer programs and equipment, and work with in-house online permitting

software system, and GIS technology.

- VI. WORK ENVIRONMENT.** The work environment characteristics are reflective of the responsibilities as described in the major duties and responsibilities. Work is performed in an office environment. Contact with staff, other Village employees, public and governmental agencies are required.

VII. AMERICANS WITH DISABILITIES ACT (ADA) ESSENTIAL ELEMENTS AND QUALIFICATIONS.

- A. Must be able to sit, stand, bend, walk and climb with or without back support.
- B. Able to lift up to 25 pounds.
- C. Must have dexterity and hand/eye coordination necessary to operate computer keyboard and other office equipment.
- D. Hearing activities requires the ability to participate in numerous conversations throughout the workday both in person and over the telephone.
- E. Must be able to work with file cabinets that are 5'8" in height and cabinet drawers that have a depth of 24."

VIII. ADDITIONAL REQUIREMENTS.

- A. Compliance with the conditions of employment as stated in the Village of Mukwonago Employee Handbook.
- ~~B. Take Oath of office. (Not necessary)~~
- C. Must keep current with new computer technology which would benefit the Village and its residents.
- D. Implement the policy directives of the Village Board.

The Village of Mukwonago is an Equal Opportunity Employer. In compliance with the Americans with Disabilities Act, the Village will provide reasonable accommodations to qualified individuals with disabilities and encourages both prospective and current employees to discuss potential accommodations with the employer.

Adopted this 6th day of March 2019.




Fred Winchowky, Village President


Judith Taubert, Clerk-Treasurer

Do we want to say anything about responding to complaints from residents? Is this position any type of code compliance? Probably not if it is contracted, but if it is full time, it could be.

RESOLUTION 2020-052

VILLAGE OF MUKWONAGO COMMUNITY PLANNER POSITION DESCRIPTION

Title: Community Planner / Zoning Administrator
Department: Economic Development
Reports to: Village Administrator

Status: Full-Time, NR
Comp Plan Grade: 6
Adoption Date: March 6, 2019
Revision Date: October ----, 2020

- I. PRIMARY FUNCTION.** The Community Planner / Zoning Administrator assists in the orderly and proper land use and development of the residential, commercial, and manufacturing tax base, coordinating the efforts of the Village Planning Commission and Board of Zoning Appeals. The position also assists the Village Administrator in developing and implementing proactive planning, zoning, land use, and economic development strategies, requiring advanced professional planning experience of high complexity and variety. This position is significantly involved with larger, more complex development planning and land use initiatives, including Village-led developments and facilitating private development through the application and approval process. The Community Planner / Zoning Administrator may supervise other small teams focused on specific development or planning initiatives at the direction of the Village Administrator.
- II. ESSENTIAL DUTIES AND RESPONSIBILITIES.** The following duties are normal for this position. These are not to be construed as exclusive or all-inclusive. Other duties may be required and assigned.
- III. PLANNING RESPONSIBILITIES**
1. Assists in promoting economic growth in the community through planning strategies designed to maintain and enhance the Village's quality of life
 2. Provides professional planning services as a starting point for the application and permitting process, and serves as an advocate for planning in line with the Comprehensive Plan and Zoning Ordinances.
 3. Performs advanced professional work related to variety of planning assignments and manages complex planning studies and development applications; reviews developer and applicant proposals
 4. Reviews and processes complex comprehensive plan amendments, rezoning, annexations, site plans, and plats
 5. Conducts research and prepares statistical reports on land use, physical, social & economic issues
 6. Provides professional planning assistance to member communities on varied land use projects
 7. Develops transportation plans, studies and analyses on regional basis
 8. Works in regional program areas relating to resources planning, community development, hazard mitigation, environmental remediation and others
 9. Performs field inspections to gather data relevant to the development review process and/or to verify that development projects comply with approved plans
 10. Attends or coordinates meetings with advisory boards and elected officials as necessary
 11. Presents reports and other findings to staff, Planning Commission and Board of Zoning Appeals, Committee of the Whole and Village Board and serves as liaison to such committees or other committees as necessary
 12. Attends frequent evening meetings
 13. Fully utilizes Village software to electronically track project status and capture all project documentation
 14. May supervise team projects related to planning and development initiatives

ZONING RESPONSIBILITIES

1. Authorization to administer the Village's Zoning ordinance 100-277 and shall have the following duties and powers:
 - a. Advise applicants of the ordinance provisions, assist in preparing permit applications and appeals, and assure that the regional flood elevation for the proposed development is shown on all permit applications.
 - b. Recommend/Issue permits and inspect properties for compliance with provisions of this ordinance and issue certificates of compliance where appropriate.
 - c. Keep records of all official actions such as: All permits issued, inspections made, and work approved
2. Works directly with Building Inspection staff to ensure compliance with all Village codes and ordinances
3. Responds to citizen complaints regarding zoning code violations
4. Assesses compliance with zoning code via regular monitoring and observance of activity throughout the Village
5. Keeps Village Zoning ordinances and codes up to date and makes recommendations pertaining to zoning amendments, additions, ordinance applications, and zoning-related plans
6. Provides professional zoning assistance to member communities on varied land use projects
7. Works in regional program areas relating to resources zoning, land use, planning, community development, and others
8. Schedules and conducts meetings with advisory boards and elected officials
9. Presents reports and other findings to staff, Planning Commission and Board of Zoning Appeals, Committee of the Whole and Village Board and serves as liaison to such committees or other committees as necessary
10. Serves as an advisory member of the Downtown Development Committee
11. May supervise team projects related to zoning and development initiatives

IV. EDUCATION, LICENSURE/CERTIFICATION AND EXPERIENCE. The requirements listed below are representative of the knowledge, skills and abilities required.

- A. Graduation from an accredited college or university with a Bachelor's degree in planning or a related field, professional level engineering training (P.E.) preferred. Village may accept a Master's degree in planning or other related field.
- B. A minimum of 4 years' municipal experience or experience advising municipal government.
- C. Thorough knowledge of the principles, practices, and legal requirements of urban planning, zoning code administration, community development, housing and economic development.
- D. Able to identify appropriate methods to provide effective and efficient long-range planning, demographic analysis, redevelopment, economic development and land-use applications.
- E. Knowledge of statistical and research methods and analysis of planning studies, government planning documents and reports, marketing studies, plans, specs and bid documents.
- F. Any equivalent combination of experience and education which provides the required knowledge, skills and abilities
- G. Ability to obtain certification through American Institute of Certified Planners
- H. Possess a valid Wisconsin driver's license

V. ESSENTIAL SKILLS OF THE JOB

- A. Ability to communicate effectively orally and in writing
- B. Ability to facilitate sessions with elected officials, decision-makers, residents and community groups
- C. Ability to multi-task on several simultaneous projects and problem solve effectively
- D. Ability to manage projects and meet firm deadlines
- E. Ability to instruct and train other staff when necessary

- F. Ability to utilize computer programs and equipment, and work with in-house online permitting software system, and GIS technology

VI. WORK ENVIRONMENT. The work environment characteristics are reflective of the responsibilities as described in the major duties and responsibilities. Work is performed in an office environment. Contact with staff, other Village employees, public and governmental agencies are required.

VII. AMERICANS WITH DISABILITIES ACT (ADA) ESSENTIAL ELEMENTS AND QUALIFICATIONS.

- A. Must be able to sit, stand, bend, walk and climb with or without back support.
- B. Able to lift up to 25 pounds.
- C. Must have dexterity and hand/eye coordination necessary to operate computer keyboard and other office equipment.
- D. Hearing activities requires the ability to participate in numerous conversations throughout the workday both in person and over the telephone.
- E. Must be able to work with file cabinets that are 5'8" in height and cabinet drawers that have a depth of 24."

VIII. ADDITIONAL REQUIREMENTS.

- A. Compliance with the conditions of employment as stated in the Village of Mukwonago Employee Handbook.
- B. Must keep current with new computer technology which would benefit the Village and its residents.
- C. Implement the policy directives of the Village Board.

The Village of Mukwonago is an Equal Opportunity Employer. In compliance with the Americans with Disabilities Act, the Village will provide reasonable accommodations to qualified individuals with disabilities and encourages both prospective and current employees to discuss potential accommodations with the employer.

Adopted this ____ day of October 2020.

Fred Winchowky, Village President

Attest:

Diana Dykstra, Clerk-Treasurer

Schedule for Appointment of Agent by Corporation / Nonprofit Organization or Limited Liability Company

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by an officer of the corporation/organization or one member/manager of a limited liability company and the recommendation made by the proper local official.

To the governing body of: ☐ Town ☒ Village of MUKWONAGO County of WAUKESHA
☐ City

The undersigned duly authorized officer/member/manager of ULTRA MART FOODS, LLC
(Registered Name of Corporation / Organization or Limited Liability Company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as PICK 'N SAVE #384

(Trade Name)
located at 1010 N ROCHESTER ST MUKWONAGO, WI 53149

appoints TODD GLASER

(Name of Appointed Agent)

49

(Age of Appointed Agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

☐ Yes ☒ No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).

Is applicant agent subject to completion of the responsible beverage server training course? ☐ Yes ☒ No

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? _____

Place of residence last year SAME AS ABOVE

For: ULTRA MART FOODS, LLC

(Name of Corporation / Organization / Limited Liability Company)

By: Ann [Signature]

(Signature of Officer / Member / Manager)

Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

ACCEPTANCE BY AGENT

I, TODD GLASER, hereby accept this appointment as agent for the
(Print / Type Agent's Name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

[Signature]
(Signature of Agent)

7-30-20

(Date)

Agent's age 54

Date of birth [Redacted]

WI 53149

(Home Address of Agent)

APPROVAL OF AGENT BY MUNICIPAL AUTHORITY

(Clerk cannot sign on behalf of Municipal Official)

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on 09/23/2008 by Chief Ken [Signature] Title Police Chief
(Date) (Signature of Proper Local Official) (Town Chair, Village President, Police Chief)

Auxiliary Questionnaire Alcohol Beverage License Application

Submit to municipal clerk.

Individual's Full Name (please print) (last name)		(first name)		(middle name)	
GLASER		TODD		K	
Home Address (street/route)		Post Office	City	State	Zip Code
[REDACTED]		ONAGO	M [REDACTED]		
		Age	DOB		
		54	0 [REDACTED]		

The above named individual provides the following information as a person who is (check one):

- ☐ Applying for an alcohol beverage license as an individual.
- ☐ A member of a partnership which is making application for an alcohol beverage license.
- ☒ **AGENT** of **ULTRA MART FOODS, LLC**

(Officer / Director / Member / Manager / Agent)

(Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

1. How long have you continuously resided in Wisconsin prior to this date? 18 years
2. Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality? ☒ Yes ☐ No
If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)
DUI in 1994
3. Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality? ☐ Yes ☒ No
If yes, describe status of charges pending.
4. Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit? ☐ Yes ☒ No
If yes, identify.
5. Do you hold and/or are you an officer, director, stockholder, agent or employee of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin? ☐ Yes ☒ No
If yes, identify.

(Name, Location and Type of License/Permit)

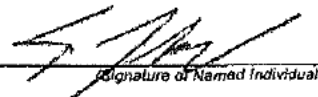
(Name of Wholesale Licensee or Permittee)

(Address by City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name	Employer's Address	Employed From	To
ROUNDYS SUPERMARKETS	875 E WISCONSIN AVE MKE WI	03/17/2008	Present
Employer's Name	Employer's Address	Employed From	To
WALMART	201 EDWARDS BLVD LG, WI	2001	2008

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.

X 
(Signature of Named Individual)

Schedule for Successor of Agent

If there is a change in agent, each club, corporation, or limited liability company who holds a retail permit to sell fermented malt beverages and/or intoxicating liquor must appoint a successor agent pursuant to sec. 125.04(6), Wis. Stats. There is a \$10 change in agent processing fee due with this form. The following questions must be answered by the Agent. The appointment must be signed by an officer of the corporation/organization or one member of limited liability company. (Only one signature is required). The appointment must be approved by the licensing authority.

MUKWONAGO

(Municipality)

Wisconsin

7/30

20 20

(Date)

1. Name of agent TODD GLASER

Yes No

2. ☒ ☐ Are you of legal drinking age?
3. ☒ ☐ Have you been a resident of Wisconsin for at least 90 continuous days prior to the date of appointment as agent?
4. ☐ ☒ Have you ever been convicted of a federal law violation?
5. ☐ ☒ Have you ever been convicted of a state law violation?
6. ☐ ☒ Have you ever been convicted of a local ordinance violation?
7. ☒ ☐ Have you completed the required responsible beverage server program per sec. 125.04(5)(a)5, Wis. Stats.?

UNDER PENALTY OF LAW, I declare that all of the above information is true and correct to the best of my knowledge and belief.

Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

(Signature of Agent)

SUCCESSOR AGENT

The undersigned appoints TODD GLASER as agent
in accordance with sec. 125.04(6), Wis. Stats.

Name of Permittee ULTRA MART FOODS, LLC

Date 7/30 20 20

By

(Signature of Officer/Member)

I hereby accept appointment as agent for ULTRA MART FOODS, LLC DBA PICK 'N SAVE #384 and assume
full responsibility of the conduct of the business relative to fermented malt beverages and intoxicating liquors.

Date July 30 20 20

(Signature of Agent)

THE AGENT APPOINTED ABOVE MUST BE APPROVED BY THE LICENSING AUTHORITY TO BE EFFECTIVE.
(See sec. 125.04(6), Wis. Stats.)

(Municipality)

WI

(Date)

20 20

(Signature of Official)

(Title)

September 24, 2020

Mr. Fred Winchowky
Village President
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Phantom Lakes Preserve
Letter of Credit Reduction #2

Dear President Winchowky:

We have reviewed Infinity Development's request, dated September 17, 2020, for a reduction in the Letter of Credit for the Phantom Lakes Preserve development. All outstanding punch list items pertaining to the Storm Water Management pond and restoration have been completed and we are satisfied with the request. We recommend the current Letter of Credit be reduced as follows:

ITEM	Current LOC Amount	Reduction Amount	Remaining Balance
Erosion Control & Restoration	\$15,000.00	\$15,000.00	\$0.00
Sanitary Sewer Construction	\$0.00	\$0.00	\$0.00
Water Main Construction	\$0.00	\$0.00	\$0.00
Storm Sewer and Storm Water Facilities (Including Restoration)	\$8,985.00	\$8,985.00	\$0.00
Contingencies (20%)	\$68,396.40	\$0.00	\$68,396.40
Total Letter of Credit Amount:	\$92,381.40	\$23,985.00	\$68,396.40

We believe that the current letter of credit in the amount of \$92,381.40 may be reduced by \$23,985.00 down to a new letter of credit amount of **\$68,396.40**. The new Letter of Credit amount, which is strictly the contingencies will remain per Article I, Section H of the Developer Agreement, until the 1-year guarantee period has expired. The 1-year guarantee period will expire July 15, 2021 at which point we will review the site to see if the letter of credit can be eliminated.

Attached to this letter you will find the required lien waivers form the Developer's Contractors, as required by the Developer Agreement.

If you or any staff or board member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Mr. Fred Winchowky
Phantom Lakes Preserve - Letter of Credit Reduction #2
September 24, 2020
Page 2

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekertmielke.com

Enclosure
PWG:pwg

cc: Diana Dykstra, Village of Mukwonago
John Weidl, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Tim Schwecke, Village of Mukwonago
Greg Petruski, Infinity Development
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

FINAL WAIVER OF LIEN

DATE: 9/16/2020

For value received, we hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

For Infinty Development, LLC owner,

By Environmental Control Inc Contractor,

for Erosion Control for a Stormwater Pond Type of work,

same being situated in Waukesha County, State of WI, described as

Phantom Lake Preserve Condos

Mukwonago WI

For all labor performed and for all material furnished for the erection, construction, alternation or repair of said building and appurtenances. none

Company Name: **Environmental Control Inc.**

A handwritten signature in black ink, appearing to read 'Shawn Horton', is written over a horizontal line.

Signature:

Shawn Horton – President

WAIVER OF LIEN

Date: September 15, 2020

Upon receipt of payment, We, hereby waive our rights and claims for lien on land and on buildings about to be erected, being erected, erected altered or repaired and to the appurtenances thereunto,

for INFINITY DEVELOPMENT LLC Owner,

by New Berlin Grading, Inc. Sub-Contractor,

same being situated in Waukesha County, State of Wisconsin,

described as Phantom Lake Reserve, a multi-tenant residential development

Mukwonago, WI

for all labor performed and for all material furnished for the construction and restoration of the stormwater pond thru 9/15/2020.

New Berlin Grading, Inc.


Steve Roberts, Senior PM

Reference:
NBG Job #2004

September 24, 2020

Mr. Fred Winchowky
Village President
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Box Self Storage Development
Letter of Credit Reduction No. 2

Dear President Winchowky:

On September 8, 2020 we received a request from the Developer of The Box Self Storage to have the current letter of credit reduced. The request was for a reduction the storm water ponds, water system, storm sewer, and road paving categories. There are outstanding punch list items that remain for the ponds, storm sewer and road paving that have yet to be addressed. Therefore, we are only recommending that the water system category be reduced as the public water main has already been accepted. The following is a breakdown:

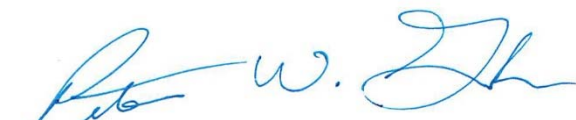
ITEM	Current LOC Amount	Reduction Amount	Remaining Balance
Storm Water Ponds Construction	\$5,511.00	\$0.00	\$5,511.00
Complete Water System Construction	\$85,354.50	\$85,354.50	\$0.00
Complete Storm Sewer Construction	\$3,213.50	\$0.00	\$3,213.50
Road Paving Including Stone Base, Curb & Gutter, & Binder Course	\$5,762.50	\$0.00	\$5,762.50
Surface Course Paving	\$11,250.00	\$0.00	\$11,250.00
Contingencies (20%)	\$79,998.00	\$0.00	\$79,998.00
Total Letter of Credit Amount:	\$191,089.50	\$85,354.50	\$105,735.00

We believe that the current Letter of Credit in the amount of \$191,089.50 can be reduced by \$85,354.50 resulting in a new letter of credit amount of **\$105,735.00**. The required lien waivers were submitted when the water main was accepted. I am attaching them again for ease of reference.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekertmielke.com

Mr. Fred Winchowky
Box Self Storage – LOC Reduction #2
September 24, 2020
Page 2

PWG:pwg
Enclosure

cc: Diana Dykstra, Village of Mukwonago
John Weidl, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Tim Schwecke, Village of Mukwonago
Jon Ross, Box Self Storage
Rob Chandler, Box Self Storage
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

WAIVER OF LIEN

Date: July 7, 2020

For value received, I hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, altered, or repaired and to the appurtenances hereunto,

for: Box Self Storage LLC and Ogden Midwest Funding III LLC owner,

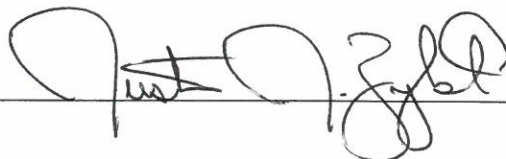
by: Gabes Construction Co., Inc.

for: 12" HDPE Water Pipe

same being situated in the State of Wisconsin, County of Waukesha described as,

1655 Van Buren Drive, Village of Mukwonago

for all labor, services, materials, plans, or specifications performed, furnished or procured by undersigned for the erection, construction, alteration or repair of said building and appurtenances, except, None, In Full



UP - Accounting

FULL UNCONDITIONAL LIEN WAIVER AND RELEASE

NOW THEREFORE BE IT KNOWN, the undersigned certifies that s/he or they have been paid and have received payment in the sum of \$48,854.95 for labor, services, equipment, and/or material furnished to Ogden Midwest Funding 3 LLC for the job of box self storage mukwango, wi water main at the worksite located at 1455 Van Buren Rd, Vukwanago, Wisconsin . S&L Site Services does hereby release any mechanic's lien, stop notice, or bond right that the undersigned has on the above referenced job to the following extent.

The undersigned warrants that s/he or they have already paid or shall ensure that monies received from the payment(s) will pay in full all the contract laborers, subcontractors, materialmen, and suppliers for all work, materials, equipment, and services provided and change orders, if any, for the above referenced project up to the date of this waiver.

In addition, the undersigned certifies that all appropriate sales taxes to the State of Wisconsin have been paid on all materials, labor, and installation.

The individual signing this lien waiver on behalf of the undersigned hereby warrants that s/he has full authority to execute this lien waiver.



7-6-2020

(Signature Lien Claimant / Authorized Representative)

(Date Signed)

S&L Site Services
4716 Maple Rd
East Troy, Wisconsin 53120

WAIVER OF CONSTRUCTION LIEN

§779.05, Wis. Stats.

Date: June 29, 2020

1. Contractor's Name: R.G. Schmitt, Inc.
Contractor's Address: W3734 Evergreen Lane
Montello, WI 53949

2. Property Improved by Contractor's Work (check one):

☒ Street Address: County Hwy ES and Hidden Lakes Drive, Village of
Mukwanago, Wisconsin, which project is known as The
Ogden Midwest/Box Self Storage

☒ Legal description attached.

3. Contractor's Work furnished at request of: Ogden Midwest Funding III, LLC

4. Waiver of lien rights is made for (select one):

☐ The following work: _____

☒ All Work on this Property to date of this Waiver

☐ Except: Work since _____

5. Title Companies Lenders or others may require disclosure of the Contractor's subcontractors and material suppliers before disbursement of funds related to the Contractor's above-described Work. If so required, specify name(s) of Contractor's subcontractors and material suppliers furnishing any portion of the Work being waived.

CONTRACTOR NAME:

R.G. Schmitt, Inc.

By: _____

Authorized Agent's Name: _____

Title: _____

Address: _____

Telephone Number: _____

President

W3734 Evergreen Lane

Montello, WI 53949

(920)904-0792

§779.05, Wis. Stats. Waivers of Lien, provides, in part, “(1) Any document signed by a lien claimant or potential claimant and purporting to be a waiver of construction lien rights under this subchapter, is valid and binding as a waiver whether or not consideration was paid therefor and whether the document was signed before or after the labor, services, materials, plans, or specifications were performed, furnished, procured, or contracted for. Any ambiguity in such document shall be construed against the person signing it. Any waiver document shall be deemed to waive all lien rights of the signer for all labor, services, material, plans, or specifications performed, furnished, or procured, or to be performed, furnished, or procured by the claimant at any time for the improvement to which the waiver relates, except to the extent that the document specifically and expressly limits the waiver to apply to a particular portion of such labor, services, materials, plans, or specifications. A lien claimant or potential lien claimant of whom a waiver is requested is entitled to refuse to furnish a waiver unless paid in full for the labor, services, materials, plans or specifications to which the waiver relates. A waiver furnished is a waiver of lien rights only, and not of any contract rights of the claimant otherwise existing.”

Contractor’s failure to pay its subcontractors or material suppliers from monies received for its Work may result in civil or criminal liability under Wisconsin’s theft by contractor statute §779.02(5), Wis. Stats.

LEGAL DESCRIPTON

Hidden Lakes Drive-Part of the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ sec. 19, T5N, R19E and part of the section SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ Section 19, T5N, R19E, Village of Mukwanago

September 25, 2020

Mr. Fred Winchowky
Village President
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Chapman Villas
Letter of Credit Reduction #1

Dear President Winchowky:

On September 16, 2020 we received a request from Bielinski as developer of the Chapman Villas project, to have the current Letter of Credit for the project reduced. We've reviewed the site and the remaining punch list items and believe that this request is appropriate based on the amount of work completed to-date. The following table is a breakdown:

ITEM	Current LOC Amount	Reduction Amount	Remaining Balance
Grading, Erosion Control, Incl. Final Site Stabilization	\$455,850.00	\$290,000.00	\$165,850.00
Complete Sanitary Sewer Construction	\$268,437.00	\$268,437.00	\$0.00
Complete Water Main Construction	\$366,249.00	\$366,249.00	\$0.00
Complete Storm Sewer Construction	\$315,898.00	\$315,898.00	\$0.00
Road Paving Incl. Stone Base, Curb & Gutter, Sidewalks, Binder Course of Asphalt All Road Areas	\$566,026.00	\$0.00	\$566,026.00
Final Lift of Asphalt All Road Areas (2021)	\$77,135.00	\$0.00	\$77,135.00
Subtotal	\$2,049,595.00	\$1,240,584.00	\$809,011.00
Contingencies (20%)	\$409,919.00	\$0.00	\$409,919.00
Total Letter of Credit Amount:	\$2,459,514.00	\$1,240,584.00	\$1,218,930.00

We believe that the current Letter of Credit in the amount of \$2,459,514.00 can be reduced by \$1,240,584.00 to a new amount of **\$1,218,930.00**. This amount has sufficient value remaining both in the respective categories and in the contingencies to cover the completion of the outstanding items as well as the punch list items for the categories of work in which we are recommending a full reduction.

Please note that this reduction does not constitute acceptance of the utilities. The utilities will not be accepted until the outstanding punch list items have been completed. Attached, you will find the original request as well as one of the two required lien waivers required for this reduction. **We recommend that this reduction be made contingent on receiving the remaining lien waiver(s) for the work completed to-date.** This lien waiver will be forwarded on once received by our office.

If you or any staff or board member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Mr. Fred Winchowky
Chapman Villas - Letter of Credit Reduction #1
September 25, 2020
Page 2

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekertmielke.com

PWG:pwg

Enclosure

cc: Diana Dykstra, Village of Mukwonago
John Weidl, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Bob Harley, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Tim Schwecke, Village of Mukwonago
John Donovan, Bielinski Homes
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.



Date: September 16th, 2020

Village of Mukwonago – via email

Diana Dykstra

Clerk-Treasurer

440 River Crest Ct.

Mukwonago, WI 53149

Re: Letter of Credit Reduction Request #1: Chapman Farms/Villas Phase I

Dear Diana Dykstra:

Due to the completion of the work described below, Bielinski is requesting a reduction and acceptance of the work performed on the amount of the Letter of Credit in place for the Chapman Farms/Villas Phase I:

Requesting the following reductions per the Developers Agreement

Description of Work	LOC Amount	Reduction Amount	Balance
Grading & Erosion Control, Incl. Final Site Stabilization	\$455,850.00	\$290,000.00	\$165,850.00
Complete Sanitary Sewer Construction	\$268,437.00	\$268,437.00	\$0.00
Complete Water System Construction	\$366,249.00	\$366,249.00	\$0.00
Complete Storm Sewer Construction	\$315,898.00	\$315,898.00	\$0.00
Road Paving Incl. Stone Base, Curb & Gutter, Sidewalks, Binder Course of Asphalt (all road areas)	\$566,026.00	\$0.00	\$566,026.00
Final Lift of Asphalt (all road areas)	\$77,135.00	\$0.00	\$77,135.00
Subtotal	\$2,049,595.00	\$1,240,584.00	\$1,218,930.00
Contingencies (20%):	\$409,919.00	\$0.00	\$409,919.00
Total Letter of Credit Amount:	\$2,459,514.00	\$1,240,584.00	\$1,218,930.00

ORIGINAL LETTER OF CREDIT AMOUNT: \$ 2,459,514.00

NET REDUCTION ALLOWED THIS REQUEST: \$ 1,240,584.00

BALANCE OF LETTER OF CREDIT: \$ 1,218,930.00

By copy of this letter, we hereby request a reduction of the above amount.

Bielinski Homes, Inc.:  Title: Development Manager

The Village of Mukwonago has reviewed the work and by countersigning authorizes the reduction of the above amount.

Name: _____ Title: _____

PARTIAL WAIVER OF LIEN

(4287,000) (K# 29035

September 11, 2020

For value received, We hereby waive ALL rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

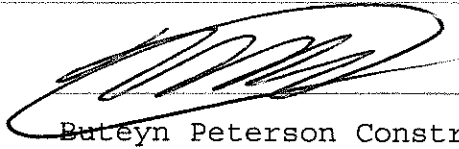
for Bielinski Homes, Inc. owner

by Buteyn Peterson Construction contractor

for same being situated in Waukesha County, State of Wisconsin, described as

Chapman Villas, Mukwonago

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, except, N/A


Buteyn Peterson Construction

September 25, 2020

Mr. Fred Winchowky
Village President
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Hittman Property
Letter of Credit Reduction #1

Dear President Winchowky:

The Developer of the Hittman Property project on Arrowhead Drive and STH 83 has completed the site work for grading, infill, and the construction of a new storm water pond. They have requested that their current letter of credit be reduced. We've reviewed the request and agree with the reduction. The following table is a breakdown:

ITEM	Current LOC Amount	Reduction Amount	Remaining Balance
Erosion Control	\$5,300.00	\$5,300.00	\$0.00
Restoration	\$7,700.00	\$7,700.00	\$0.00
Excavation/Grading of Pond & Pond Structures	\$31,190.00	\$31,190.00	\$0.00
Contingencies (20%)	\$8,838.00	\$0.00	\$8,838.00
Total Letter of Credit Amount:	\$53,028.00	\$44,190.00	\$8,838.00

We recommend that the current letter of credit in the amount of \$53,028.00 be reduced by \$44,190.00 to a new balance of **\$8,838.00**. This reduction is consistent with the work completed to-date. The remaining balance of the letter of credit are the contingencies which will remain in place until mid-summer of 2021. At that time, we will review the site, and if appropriate, recommend a full reduction in the remaining amount. The required lien waiver has been received and is attached for reference. The developer is currently working on the as-built and certification of the pond.

If you or any staff or board member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekertmielke.com

Mr. Fred Winchowky
Hittman Property - Letter of Credit Reduction #1
September 25, 2020
Page 2

PWG:pwg

Enclosure

cc: Diana Dykstra, Village of Mukwonago
John Weidl, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Tim Schwecke, Village of Mukwonago
Jay Campbell, Campbell Construction
Shawn Hittman, Hittman Property
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

Final Waiver and Release of Lien

The undersigned lienor, in consideration of the sum of \$72,130.00

hereby waives and releases its lien and right to claim a lien for labor, services, or materials furnished through 09/25/20 on the job of Dale D Hittman & Jaqueline J Hittman Revocable Trust following property:

Arrowhead Site Infill-1231 Rochester Street Mukwonago, WI 53149

IT IS THE INTENTION OF THE UNDERSIGNED that this instrument is an absolute waiver and release of all liens, rights to liens and priority of the undersigned for all labor, work, material, machinery, or fixtures provided prior to this date whether or not the undersigned has been paid in full. This instrument is not limited in any manner as a waiver and release of liens or rights to liens by the extent of the consideration received. on any payment bond and claims for lien on land and on buildings about to be erected, being erected, erected, altered, repaired and to the appurtenances thereunto, for property located

Further, the undersigned acknowledges and intends that not only the contractor and owners, but others, including lenders, will rely upon this instrument as a full and complete waiver and release in the normal course of their transactions.

The undersigned certifies that the sum mentioned above has been expended to the payment of labor, work, material, machinery or fixtures furnished for this project and no other.

THIS AGREEMENT SUPERSEDES ALL AGREEMENTS OR UNDERSTANDINGS, ORAL OR WRITTEN, RELATING TO LIEN RIGHTS

Contractor

Campbell Construction

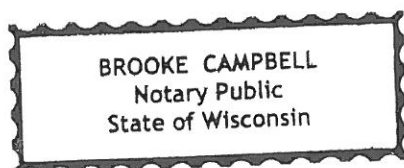
By: JJ

State of

County of

Sworn to and subscribed before me this 25th day of September, 2020 by Jay Campbell who: [X] is personally known to me; or [] produced _____ as identification.

Notary Public (signature) Brooke Campbell My Commission Expires: 05/05/2024



Date: October 5, 2020
To: Village of Mukwonago Plan Commission
From: Tim Schwecke, AICP, Consulting Planner
Subject: Reader board sign located at Field Park
Meeting: October 13, 2020 Plan Commission meeting

Location Field Park

Summary of Proposal The Public Works Department has submitted a petition to install a reader board at Field Park. The display area is 18 square feet (2' x 9'). The proposed sign will provide community outreach to residents and visitors. (Application materials are attached.)

Review procedures The Village Board adopted Ordinance 971 in 2019 that exempts certain public signs from having to comply with the Village's sign regulations. Public signs are exempt when the Village Board makes a finding that "such sign does not adversely impact the public health, safety or welfare of the Village of Mukwonago, and, in fact, will promote the public health, safety and welfare of the community."

The Plan Commission is advisory to the Village Board.

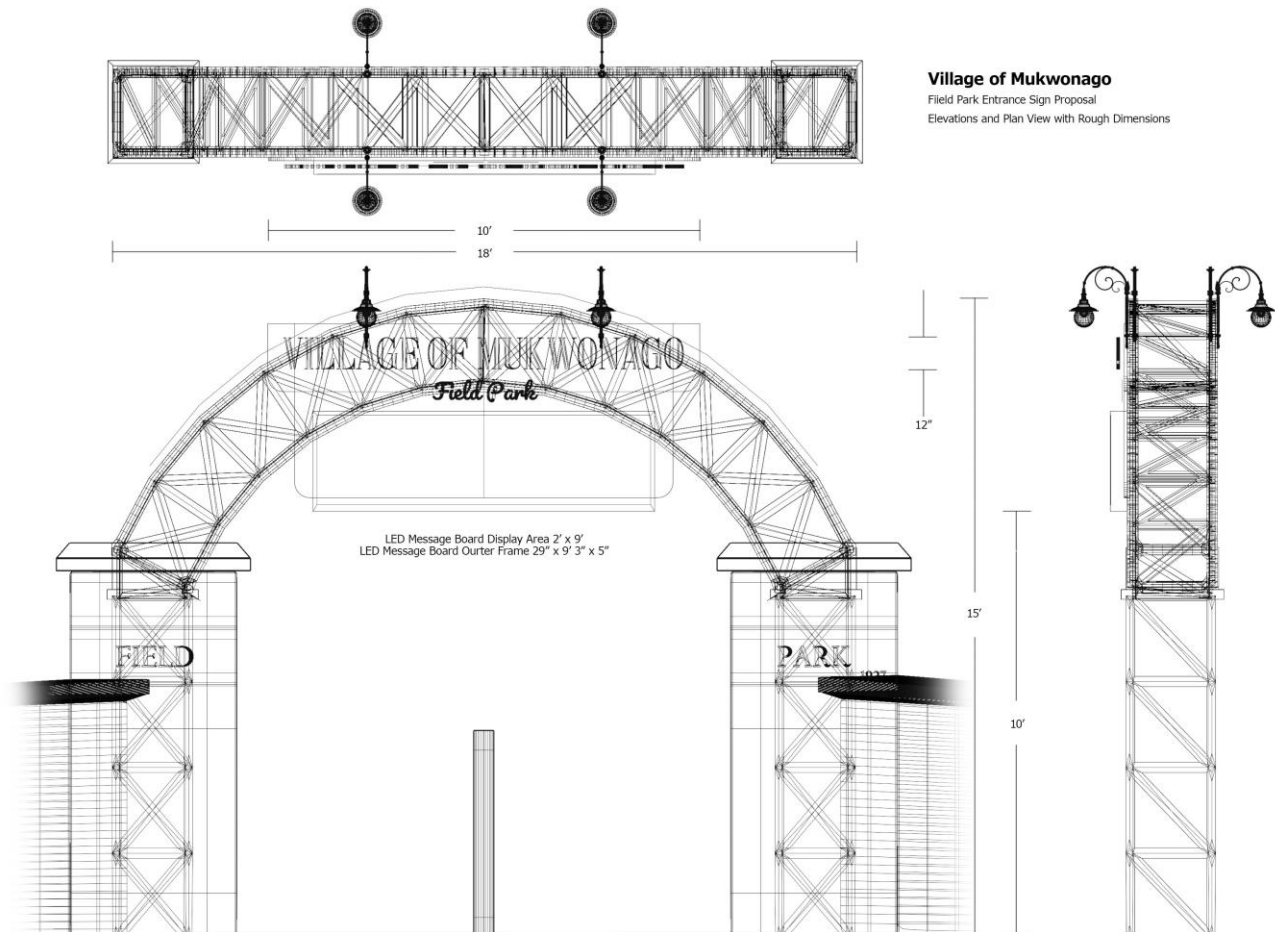
Potential motion for approval:

Recommend to the Village Board the approval of Resolutions 2020-54 with the conditions as stated based on the finding that the sign is a public sign and does not adversely impact the public health, safety or welfare of the Village of Mukwonago, and, in fact, will promote the public health, safety and welfare of the community.

Attachments:

1. Application materials
2. Resolution 2020-54

Field Park - Reader Board



RESOLUTION 2020-054

**RESOLUTION APPROVING SIGNAGE FOR APPLICANT
VILLAGE OF MUKWONAGO AT
933 N ROCHESTER ST, PARCEL MUKV 1963-995**

WHEREAS, pursuant to Section 64-32, an application for signage is required to be accepted by the Zoning Administrator to review the applications for zoning compliance, which said application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application was submitted by Ron Bittner, Village of Mukwonago, 933 N Rochester St, and

WHEREAS, the proposed sign is exempt from the Village's sign regulations 64-32 (b), because it is a public sign and does not adversely impact the public health, safety or welfare of the Village of Mukwonago, and, in fact, will promote the public health, safety and welfare of the community, and

WHEREAS, the proposed monument sign presented as meeting the requirements of Section 64-32 has been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the proposed monument sign for an LED sign at 933 N Rochester St, and

BE IT FURTHER RESOLVED this monument sign approval shall be subject to the plans submitted by Ron Bittner, as recommended by the Plan Commission on October 13, 2020, and on file in the office of the Zoning Administrator, with the following conditions:

1. The property owner must obtain a building permit for the approved work within 6 months of this date and begin construction and work in good faith to completion.

Passed and dated this 21st day of October, 2020.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana A Dykstra, Village Clerk-Treasurer

Date: October 6, 2020

To: Village of Mukwonago Plan Commission

From: Tim Schwecke, AICP; Consulting Planner

Subject: First amendment of the site plan for Malcom Drilling located at 120 Hill Court

Meeting: October 13, 2020 Plan Commission meeting

Property location 120 Hill Court

Current zoning M-4 (Medium - Heavy Industrial)

Previous approval The Village Board previously approved Resolution 2019-28 authorizing the development of the property for industrial purposes.

General description Malcolm Drilling is proposing a revision of the site plan as follows:

1. Increase the outdoor storage area on the south side of the lot by 0.85 acres (37,400 square feet). The fence will be placed around the perimeter of the storage area along with the outdoor light poles. In addition, the two accessory buildings (not constructed as of yet) will be relocated to the outer edge of the outdoor storage area.
2. Install two flag poles in the front of the existing building (35 feet high).

All other aspects of the site plan will remain unchanged.

Dimensional standards The proposed storage area expansion complies with the development standards in the M-4 zoning district.

Outdoor lighting A new photometric plan has been prepared. It complies with the standards at the lot line (zero foot-candles).

Landscaping plan The proposed expansion will not impact any existing or planned plantings.

Village engineer review The Village Engineer will review the project to ensure the increased stormwater from the site can be handled by the regional stormwater basin.

Public notice Aside from being included on the meeting agenda, no other public notice is required.

Potential motion Recommend to the Village Board the approval of the proposed revision of the site plan as set forth in Resolution 2020-55.

Attachments:

1. Site plan, dated 07-15-2020
2. Resolution 2020-55

STORM SEWER AND INLET CALCULATIONS:

STORM SEWER SIZING DONE BY THE AREA METHOD PER W PLUMBING CODE SPS 382.36(5) AND TABLES 382.36-1 OR 382.36-2. GRATE CAPACITY PER MUKWAGO FOUNDRY.

INLET #1
PAVEMENT: 11,677 S.F. 365 GPM
GRASS: 17,371 S.F. 167 GPM
TOTAL: 29,248 S.F. 532 GPM (1.19 CFS)

INLET CAPACITY = 3.6 CFS

INLET #2
PAVEMENT: 4,037 S.F. 124 GPM
GRASS: 2,341 S.F. 23 GPM
TOTAL: 6,378 S.F. 147 GPM (0.33 CFS)

INLET CAPACITY = 3.6 CFS

INLET #4
PAVEMENT: 6,391 S.F. 197 GPM
GRASS: 2,539 S.F. 44 GPM
TOTAL: 8,930 S.F. 221 GPM (0.49 CFS)

INLET CAPACITY = 3.6 CFS

INLET #5
PAVEMENT: 12,654 S.F. 389 GPM
GRASS: 6,371 S.F. 61 GPM
TOTAL: 19,025 S.F. 451 GPM (1.00 CFS)

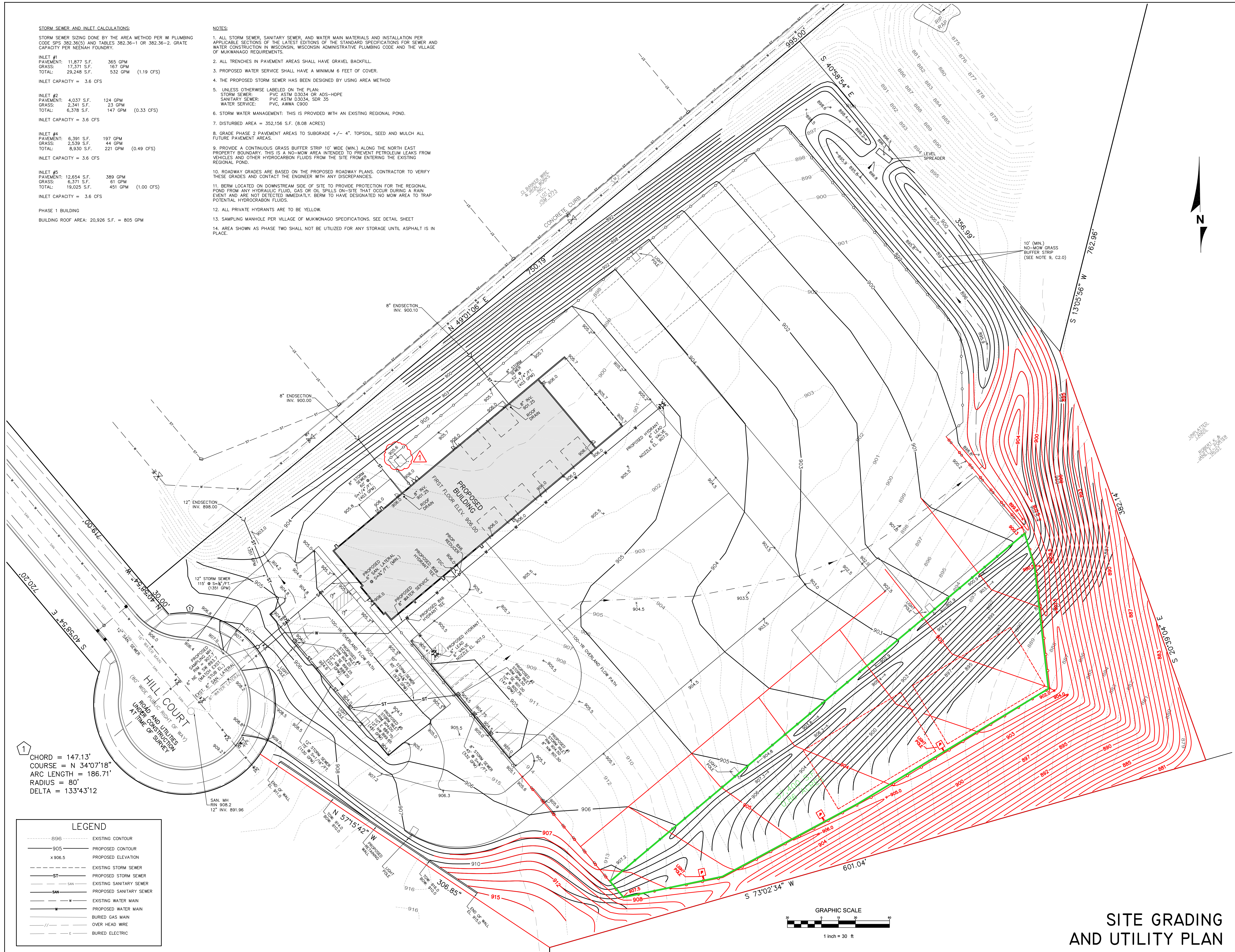
INLET CAPACITY = 3.6 CFS

PHASE 1 BUILDING

BUILDING ROOF AREA: 20,926 S.F. = 805 GPM

NOTES:

1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF MUKWAGO REQUIREMENTS.
2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
3. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
4. THE PROPOSED STORM SEWER HAS BEEN DESIGNED BY USING AREA METHOD
5. UNLESS OTHERWISE LABELED ON THE PLAN:
STORM SEWER: PVC ASTM D3034 OR ADS-HDPE
SANITARY SEWER: PVC ASTM D3034, SDR 35
WATER SERVICE: PVC, AWWA C900
6. STORM WATER MANAGEMENT: THIS IS PROVIDED WITH AN EXISTING REGIONAL POND.
7. DISTURBED AREA = 352,156 S.F. (8.08 ACRES)
8. GRADE PHASE 2 PAVEMENT AREAS TO SUBGRADE +/- 4". TOPSOIL, SEED AND MULCH ALL FUTURE PAVEMENT AREAS.
9. PROVIDE A CONTINUOUS GRASS BUFFER STRIP 10' WIDE (MIN.) ALONG THE NORTH EAST PROPERTY BOUNDARY. THIS IS A NO-MOW AREA INTENDED TO PREVENT PETROLEUM LEAKS FROM VEHICLES AND OTHER HYDROCARBON FLUIDS FROM THE SITE FROM ENTERING THE EXISTING REGIONAL POND.
10. ROADWAY GRADES ARE BASED ON THE PROPOSED ROADWAY PLANS. CONTRACTOR TO VERIFY THESE GRADES AND CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
11. BERM LOCATED ON DOWNSTREAM SIDE OF SITE TO PROVIDE PROTECTION FOR THE REGIONAL POND FROM ANY HYDRAULIC FLUID, GAS OR OIL SPILLS ON-SITE THAT OCCUR DURING A RAIN EVENT AND ARE NOT DETECTED IMMEDIATELY. BERM TO HAVE DESIGNATED NO MOW AREA TO TRAP POTENTIAL HYDROCARBON FLUIDS.
12. ALL PRIVATE HYDRANTS ARE TO BE YELLOW.
13. SAMPLING MANHOLE PER VILLAGE OF MUKWAGO SPECIFICATIONS. SEE DETAIL SHEET
14. AREA SHOWN AS PHASE TWO SHALL NOT BE UTILIZED FOR ANY STORAGE UNTIL ASPHALT IS IN PLACE.



CHORD = 147.13'
COURSE = N 34°07'18"
ARC LENGTH = 186.71'
RADIUS = 80'
DELTA = 133°43'12"

LEGEND

- 896 --- EXISTING CONTOUR
- 905 --- PROPOSED CONTOUR
- x 906.5 --- PROPOSED ELEVATION
- EXISTING STORM SEWER
- ST --- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- SAN --- PROPOSED SANITARY SEWER
- EXISTING WATER MAIN
- W --- PROPOSED WATER MAIN
- BURIED GAS MAIN
- /// --- OVER HEAD WIRE
- BURIED ELECTRIC

MALCOLM DRILLING COMPANY
HILL COURT MUKWAGO, WISCONSIN

CJE NO.: 191IR13
JUNE 10, 2019
REV: 09-10-19
REV: 02-14-20
REV: 05-22-20
REV: 06-01-20
REV: 06-03-20
REV: 06-12-20
REV: 07-15-20

C2.0
SHEET 2 OF 4

**SITE GRADING
AND UTILITY PLAN**

MALCOLM DRILLING COMPANY
HILL COURT MUKWONAGO, WISCONSIN

CJE NO.: 19IIR14
JUNE 10, 2019
REV: 09-10-19
REV: 02-14-20
REV: 05-22-20
REV: 06-01-20
REV: 06-03-20
REV: 06-12-20
REV: 07-15-20
REV: 07-29-20
REV: 08-21-20

C1.0
SHEET 1 OF 4

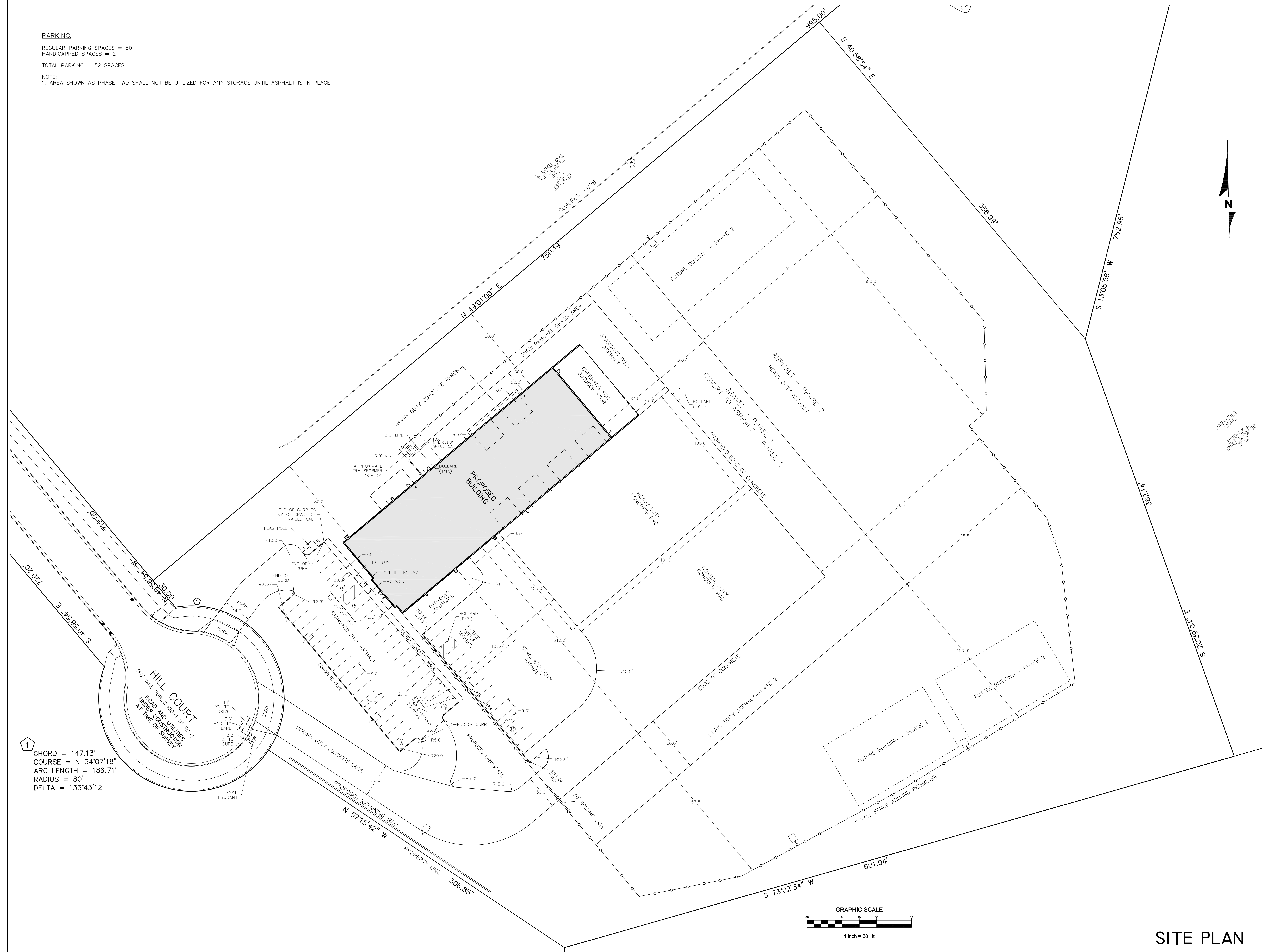


UNPLATTED
LANDS
REFER TO
"PROJECT
"RECORD"

PARKING:

REGULAR PARKING SPACES = 50
HANDICAPPED SPACES = 2
TOTAL PARKING = 52 SPACES

NOTE:
1. AREA SHOWN AS PHASE TWO SHALL NOT BE UTILIZED FOR ANY STORAGE UNTIL ASPHALT IS IN PLACE.



1
CHORD = 147.13'
COURSE = N 34°07'18"
ARC LENGTH = 186.71'
RADIUS = 80'
DELTA = 133°43'12"

MALCOLM DRILLING COMPANY
HILL COURT MUKWONAGO, WISCONSIN

CJE NO.: 19IIR14
JUNE 10, 2019
REV: 09-10-19
REV: 02-14-20
REV: 05-22-20
REV: 06-01-20
REV: 06-03-20
REV: 06-12-20
REV: 07-15-20
REV: 07-29-20

C3.0
SHEET 3 OF 4

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
3. INSTALL SILT FENCE AND INLET GRATE SCREENS IN EXISTING STORM INLETS LOCATED IN HILL COURT AS SHOWN ON PLAN.
4. INSTALL CONSTRUCTION EXIT.
5. STRIP TOPSOIL AND STOCKPILE IN AREA OF SEDIMENT BASIN.
6. INSTALL SEDIMENT BASIN AND DIVERSION BERMS AND SWALES.
7. INSTALL HAY BALES IN EXISTING DITCH.
8. STRIP TOPSOIL AND STOCKPILE FROM THE REST OF THE SITE.
9. SURROUND WITH SILT FENCE.
10. BEGIN BUILDING CONSTRUCTION.
11. INSTALL PROPOSED UTILITIES.
12. INSTALL OUTLET PROTECTION.
13. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
14. INSTALL BASE COURSE OF PAVEMENT.
15. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
16. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
17. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
18. ESTIMATED TIME BEFORE FINAL STABILIZATION - 6 MONTHS.
19. MODIFICATIONS TO THE CONSTRUCTION SCHEDULE REQUIRE SUBMITTAL TO AND APPROVAL BY THE VILLAGE OF MUKWONAGO.

EROSION CONTROL PRACTICES SCHEDULE

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MAT
- ⑥ SEDIMENT BASIN
- ⑦ HAY BALES

EROSION MATTING

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER "WISDOT EROSION CONTROL PLAN" IN ALL SWALES AND ON ALL SLOPES 4:1 OR GREATER.

INSTALL PER MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY SEVEN DAYS. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING EROSION CONTROL INSPECTION REPORTS AND KEEPING THEM READILY AVAILABLE FOR THE VILLAGE'S EROSION CONTROL INSPECTOR OR ANY GOVERNING AGENCY.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.
5. THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES OR MODIFICATIONS TO THE EXISTING CONTROL MEASURES, AS DIRECTED BY THE ENGINEER, THE VILLAGE OF MUKWONAGO OR A GOVERNING AGENCY SHALL BE INSTALLED WITH 24 HOURS OF REQUEST.
6. A SET OF PLANS SHALL BE KEPT ON-SITE, UPDATED AND AVAILABLE TO THE VILLAGE'S EROSION CONTROL INSPECTOR THAT REFLECT CURRENT SITE AND EROSION CONTROL STATUS.
7. ANY AREAS LEFT UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, INCLUDING THE TOPSOIL STOCKPILE, SHALL BE SEEDING AND STABILIZED.
8. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL WATER DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION.
9. ANY OTHER MAINTENANCE ACTIVITIES IDENTIFIED BY THE VILLAGE OF MUKWONAGO, THEIR EROSION CONTROL INSPECTOR, OR ANY GOVERNING AGENCY FOR THE SITE TO REMAIN IN COMPLIANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE IMPLEMENTED UPON REQUEST.

TEMPORARY COVER:

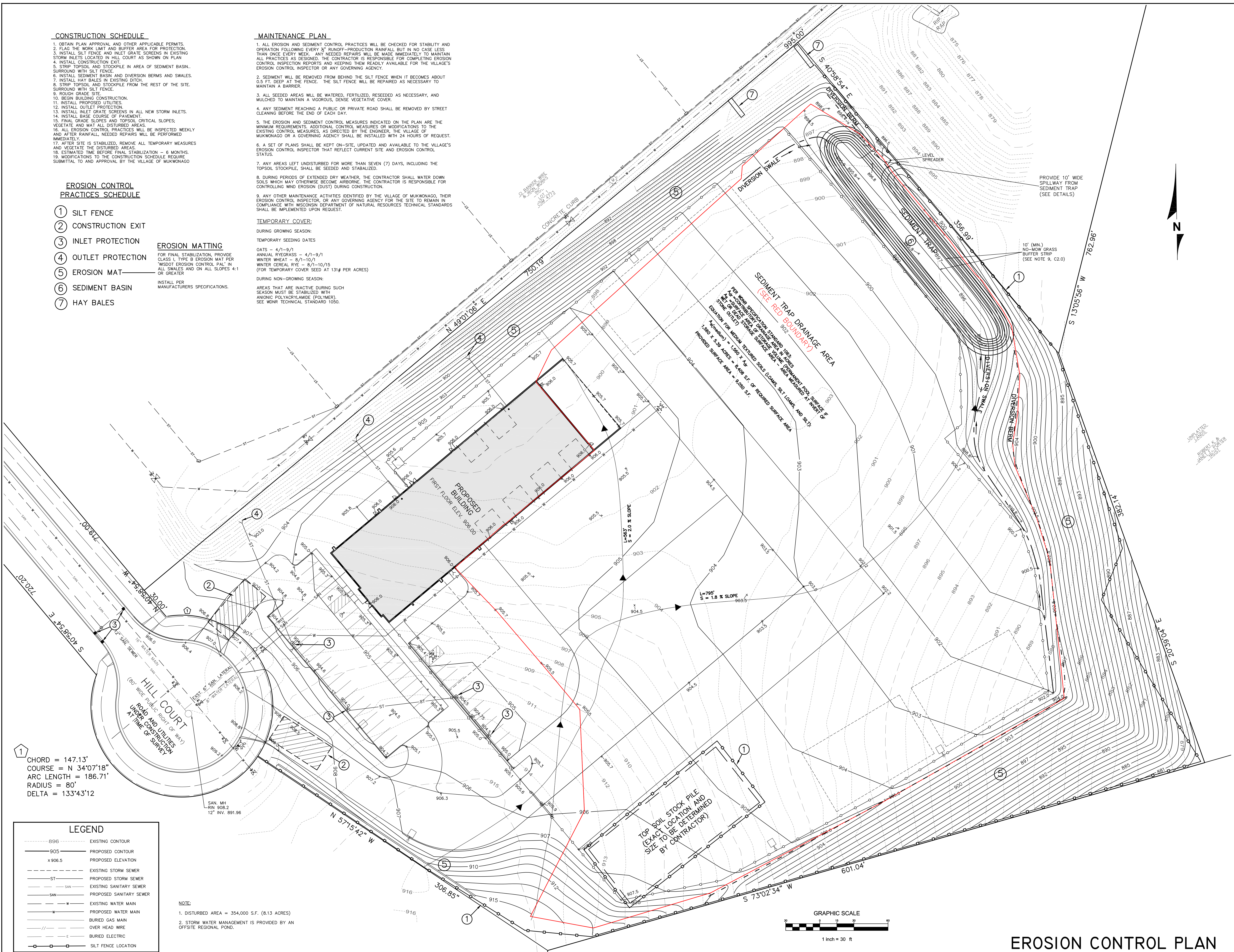
DURING GROWING SEASON:

TEMPORARY SEEDING DATES:

OATS - 4/1-9/1
ANNUAL RYEGRASS - 4/1-9/1
WINTER WHEAT - 8/1-10/1
WINTER CEREAL RYE - 8/1-10/15
(FOR TEMPORARY COVER SEED AT 131# PER ACRES)

DURING NON-GROWING SEASON:

AREAS THAT ARE INACTIVE DURING SUCH SEASON MUST BE STABILIZED WITH ANIONIC POLYACRYLAMIDE (POLYMER), SEE WNR TECHNICAL STANDARD 1050.



EROSION CONTROL PLAN

STORM SEWER AND INLET CALCULATIONS:

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GRASS: 2,539 S.F. 44 GPM
TOTAL: 8,930 S.F. 221 GPM (0.49 CFS)

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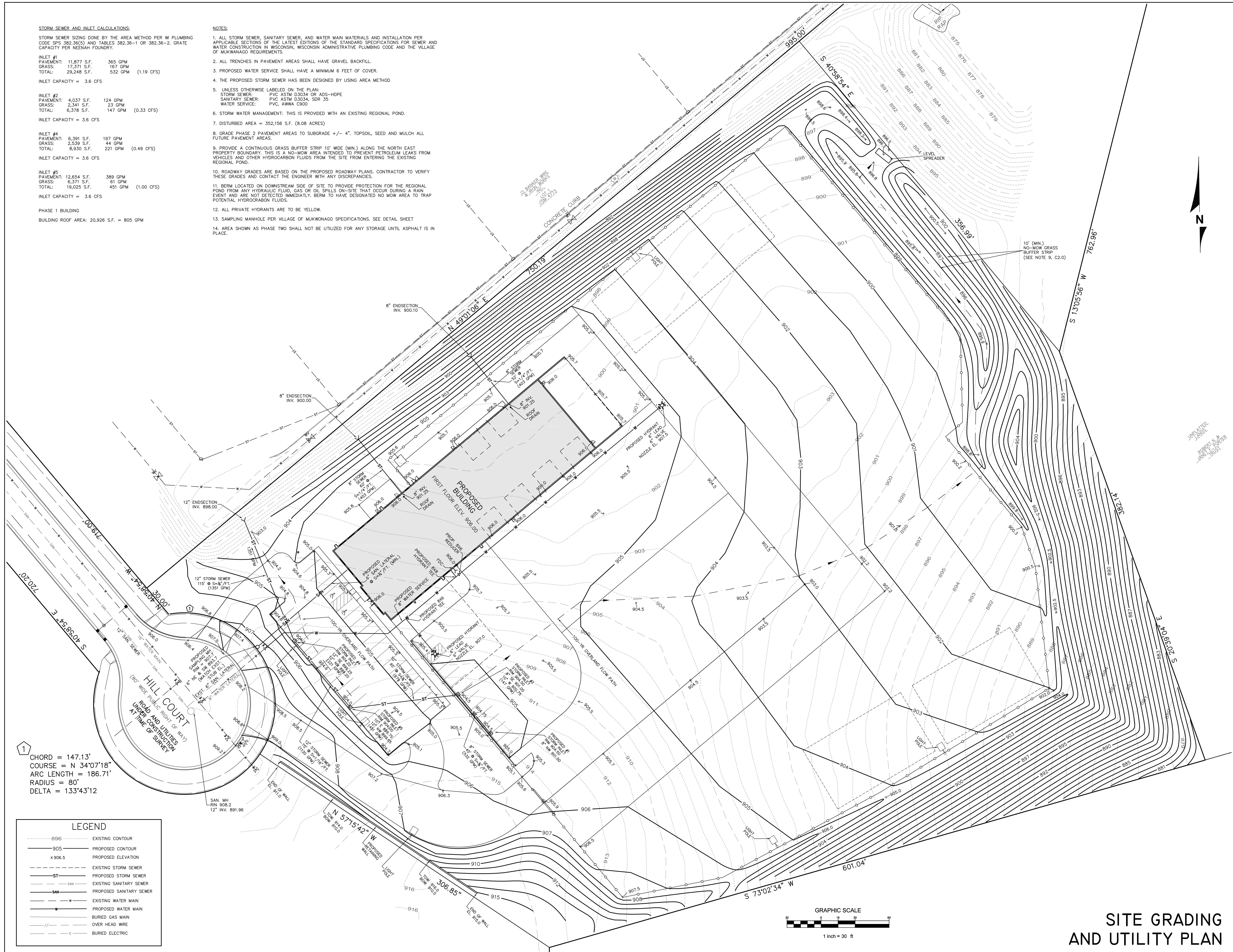
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PHASE 1 BUILDING

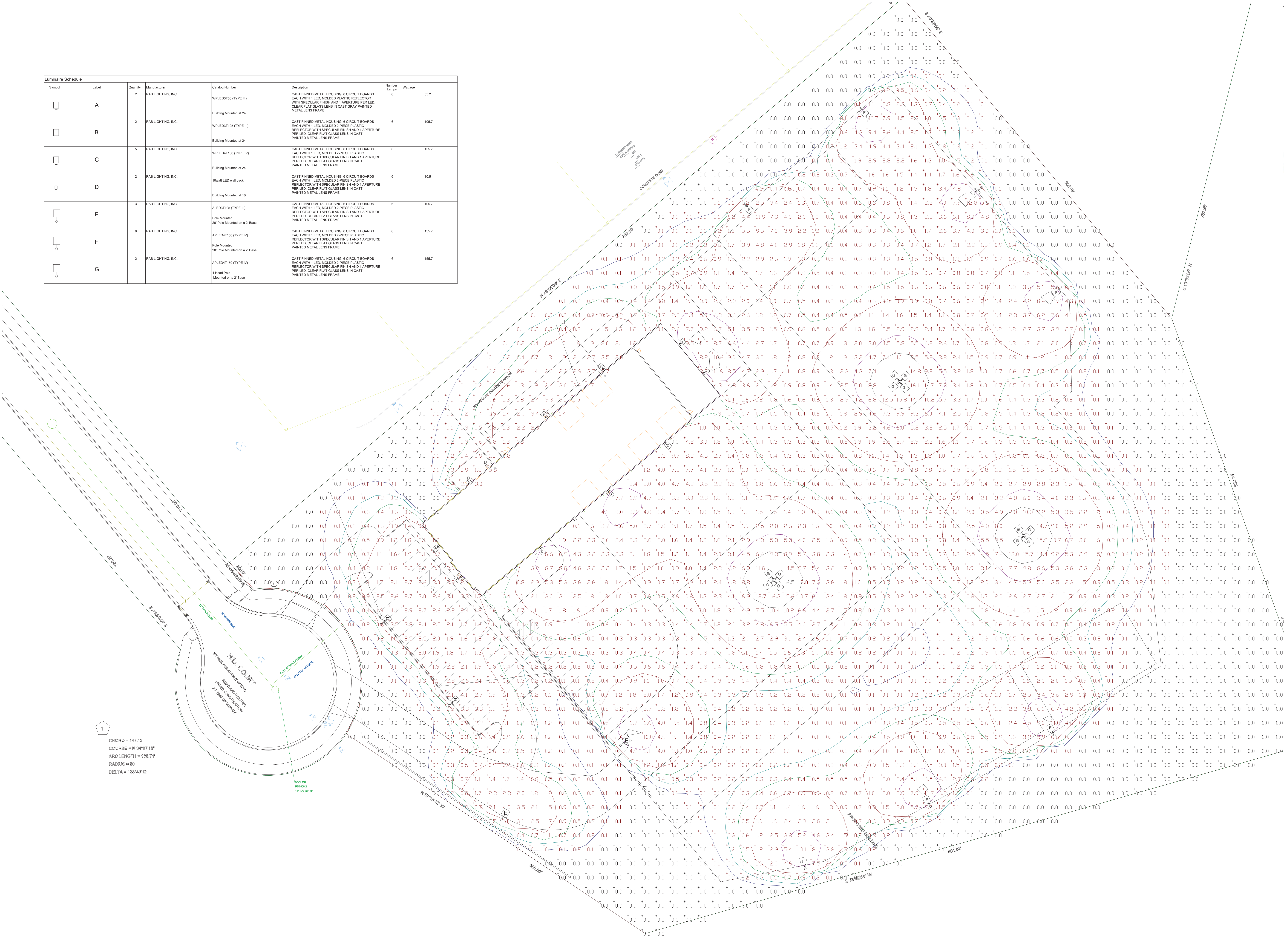
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4. THE PROPOSED STORM SEWER HAS BEEN DESIGNED BY USING AREA METHOD
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STORM SEWER: PVC ASTM D3034 OR ADS-HDPE
SANITARY SEWER: PVC ASTM D3034, SDR 35
WATER SERVICE: PVC, AWWA C900
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8. GRADE PHASE 2 PAVEMENT AREAS TO SUBGRADE +/- 4". TOPSOIL, SEED AND MULCH ALL FUTURE PAVEMENT AREAS.
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14. AREA SHOWN AS PHASE TWO SHALL NOT BE UTILIZED FOR ANY STORAGE UNTIL ASPHALT IS IN PLACE.



Luminaire Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Wattage
	A	2	RAB LIGHTING, INC.	WPLED3T150 (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST GRAY PAINTED METAL LENS FRAME.	55.2
	B	2	RAB LIGHTING, INC.	WPLED3T155 (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	105.7
	C	5	RAB LIGHTING, INC.	WPLED4T150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	155.7
	D	2	RAB LIGHTING, INC.	10watt LED wall pack	Building Mounted at 10'	10.5
	E	3	RAB LIGHTING, INC.	APLED3T105 (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	105.7
	F	8	RAB LIGHTING, INC.	APLED4T150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	155.7
	G	2	RAB LIGHTING, INC.	APLED4T150 (TYPE IV)	4 Head Pole Mounted on a 2' Base	155.7



RESOLUTION 2020-55

**RESOLUTION APPROVING FIRST AMENDMENT
SITE PLAN AND ARCHITECTURAL REVIEW
MALCOLM DRILLING, APPLICANT
120 HILL CT; PARCEL #A486800002**

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval of a multi-tenant industrial/warehouse building, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Malcolm, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for multi-tenant industrial/warehouse building based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village Planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
3. All work related to this project must comply with all project plans approved by the Village.
4. The applicant must address all of the concerns of the Village engineer with regard to stormwater management.
5. The applicant must address all of the concerns of the Village planner that shows compliance with the Village's outdoor lighting standards and obtain the approval of the same.
6. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 21st day of October 2020.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk-Treasurer

Date: October 7, 2020

To: Village of Mukwonago Plan Commission

From: Tim Schwecke, AICP, Consulting Planner

Subject: 4-Family building located at 704 Cardinal Lane; Grey Fox Holdings, applicant (Wayne Foster and Joe Orendorf)

Meeting: October 13, 2020 Plan Commission meeting

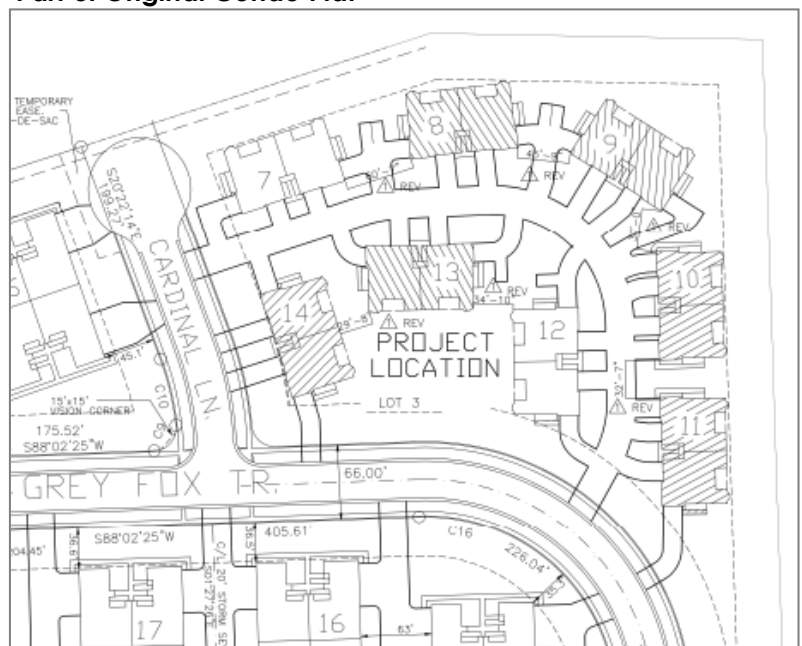
Location 704 Cardinal Lane (Building #14 Edgewood Meadows Condominium)

General description Grey Fox Holdings has submitted building plans for Building #14 in Edgewood Meadows Condominium.

The building consists of 4 dwelling units (2 on the first floor and 2 on the second floor). The proposed layout is slightly different than the original design.

1. **Garage door placement.** The original design showed 2 doors facing Cardinal Lane, with one facing north, and the other facing south. The new design shows 3 doors facing Cardinal Lane and the other one would face to the internal road on the north.
2. **Exterior patios.** The original design had stacked balconies (first floor and second floor). The proposed plans only show a balcony on the second-floor units.
3. **Footprint** The footprint of the proposed design is slightly different than the original design. As such, the developer will need to prepare a condo amendment and obtain the approval of the same.

Part of Original Condo Plat



Exterior materials on this building will match the materials on the existing condo units. The developer will bring color samples to the Plan Commission meeting.

Review procedures The proposed project is subject to site plan and architectural review. The Plan Commission is advisory to the Village Board.

Potential motion for approval:

Recommend to the Village Board the approval of Resolution 2020-56 as drafted, including the conditions.

Attachments:

1. Plan set
2. Resolution 2020-56

PROJECT :

EDGEWOOD MEADOWS CONDOMINIUM
4 UNIT – BLDGS #8,9,10,11,13,&14

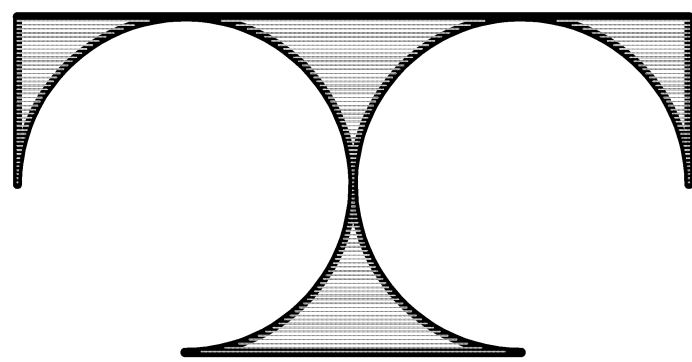
GREY FOX TRAIL & CARDINAL LANE
VILLAGE OF MUKWONAGO, WISCONSIN

Developer:

GREY FOX HOLDINGS LLC

17100 WEST BLUEMOUND ROAD #209
BROOKFIELD, WISCONSIN 53005
WAYNE FOSTER – PHONE: 414-807-3888
JOE ORENDORF – PHONE: 414-791-4776

ARCHITECT :



T D I A S S O C I A T E S , I N C .

ARCHITECTS, PLANNERS

N8 W22350 JOHNSON DR. , SUITE B-4
WAUKESHA , WI 53186
(262) 409-2530

FOUNDATION NOTES

1. THE SOIL BEARING PRESSURE WAS ASSUMED TO BE A MIN. OF 3000 P.S.F. IF THE SOIL ENCOUNTERED DOES NOT INDICATE A MIN. SOIL BEARING PRESSURE OF 3000 PSF NOTIFY THE ARCHITECT AT 262/431-0400.
2. IF ANY EXISTING SERVICE LINES, UTILITIES, AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN THE EVENT ANY EXISTING UTILITIES, UTILITY STRUCTURES OR ANY OBSTRUCTION INTERFERES WITH THE PROPER INSTALLATION OF THE FOUNDATION WORK.
4. THE CONTRACTOR SHALL REMOVE AT HIS EXPENSE FROM THE SITE, ALL TOPSOIL, UNSUITABLE, AND OBSTRUCTIONS AS REQUIRED BY THE TESTING LABORATORY AND REPLACE IT WITH COMPACTED (98% MODIFIED PROCTOR) GRANULAR FILL.
5. IN AREAS WHERE THE BEARING CAPACITY OF SOIL AT DESIGN ELEVATION IS LESS THAN THE DESIGN BEARING CAPACITY, THE CONTRACTOR SHALL REMOVE THE UNSUITABLE MATERIAL AND REPLACE IT WITH THE ENGINEERED FILL UP TO THE DESIGN ELEVATION.
6. FILL SHALL BE GRANULAR AND COMPACTED TO A MINIMUM OF 98% MAXIMUM DENSITY (ASTM D1557-10, MODIFIED PROCTOR).
7. THE SOIL BEARING CAPACITY AT EACH FOOTING SHALL BE CHECKED AND APPROVED BY THE TESTING LABORATORY.
8. CONCRETE FOR ANY FOOTING SHALL NOT BE POURED ON FROZEN GROUND OR WHEN WATER IS PRESENT.
9. THE CONTRACTOR SHALL PROVIDE WELL POINTS TO ADEQUATELY LOWER THE GROUND WATER LEVEL AND MAINTAIN THEM AS LONG AS THEY ARE REQUIRED DURING CONSTRUCTION.
10. PROVIDE 3" CLEAR COVER AROUND ALL STEEL REINFORCING IN FOUNDATION.

DESIGN LOADS

1. CONCRETE: $F_c = 3,000$ P.S.I.
2. REINFORCING STEEL: $F_y = 60,000$ P.S.I.
3. STRUCTURAL STEEL: $F_y = 46,000$ P.S.I. - COLUMNS
 $F_y = 50,000$ P.S.I. - BEAMS
4. SOIL BEARING DESIGN PRESSURE: 3,000 P.S.F. VERIFIED AT EXISTING BUILDING CONSTRUCTION
5. DESIGN LOADS: ROOF
WIND LOAD: 40 P.S.F.
END ZONE: 4.9 P.S.F.
INTERIOR ZONE: 7.9 P.S.F.
LIVE LOAD: 21 P.S.F.
BALANCED SNOW LOAD: 14 P.S.F.
DEAD LOAD: 14 P.S.F.
UNBALANCED SNOW LOAD: 45.9 P.S.F.
LEEWARD DRIFT: 81 P.S.F.
WINDWARD DRIFT: 81 P.S.F.
DRIFTED SNOW: SEE ROOF PLAN
WIND LOAD (VERT): 14.5 P.S.F.
(COMPONENTS & CLADDING)
WIND LOAD (HORIZ): 14.5 P.S.F.
END ZONE: 11.8 P.S.F.
INTERIOR ZONE: 11.8 P.S.F.
6. IMPORTANCE FACTOR
SEISMIC FACTOR = 1.0
SNOW FACTOR = 1.0
WIND FACTOR = 1.0
7. SEISMIC DESIGN CATEGORY = B
8. WIND LOAD FACTORS
EXPOSURE 'B'
WIND SPEED = 115 M.P.H.
9. SITE SOIL CLASS = D
10. SNOW LOAD FACTORS
 $C_s = 1.0$
 $C_t = 1.1$ TYPICAL
 $C_g = 1.0$
11. DESIGN LOADS: FIRST FLOOR
LIVE LOAD: 40 P.S.F.
DEAD LOAD: 13 P.S.F.
12. DESIGN LOADS: SECOND FLOOR
LIVE LOAD: 40 P.S.F.
DEAD LOAD: 26.0 P.S.F.
13. DESIGN LOADS: LOFT FLOOR
LIVE LOAD: 40 P.S.F.
DEAD LOAD: 13 P.S.F.
14. DESIGN LOADS: DECK
LIVE LOAD (AREA UNDER 100 S.F.) = 80 P.S.F.
LIVE LOAD (AREA OVER 100 S.F.) = 100 P.S.F.
DEAD LOAD: 10 P.S.F.
15. DESIGN LOADS: HALL
WIND LOAD: 14.5 P.S.F.
(COMPONENTS & CLADDING)
DEAD LOAD: 20 P.S.F.
(W/BRICK)
DEAD LOAD: 12 P.S.F.
(W/SIDING)
16. RAILING OR GUARDRAIL
CONCENTRATED LOAD = 200#

2015 WISCONSIN ENROLLED COMMERCIAL BUILDING CODE

OCCUPANCY R-2 = RESIDENTIAL
AUTOMATIC SPRINKLER PER : NFPA 13R
TYPE VB CONSTRUCTION
STRUCTURAL FRAME = 0 HR
BEARING WALL (EXTERIOR) = 0 HR
BEARING WALL (INTERIOR) = 0 HR
NON-BEARING WALL (EXTERIOR) = 0 HR (> 30FT)
NON-BEARING WALL (INTERIOR) = 0 HR (any code approved material)
FIRE PARTITION WALL CONSTRUCTION = 1 HR
FLOOR CONSTRUCTION = 1 HR
ROOF CONSTRUCTION = 0 HR

DRAWING INDEX :

T1.0 TITLE SHEET

C2.0 Site Plan by RSV Engineering, Inc.

A1.1 Basement / Foundation Plan
A1.2 First Floor Plan
A1.3 Second Floor Plan
A1.4 Roof Plan

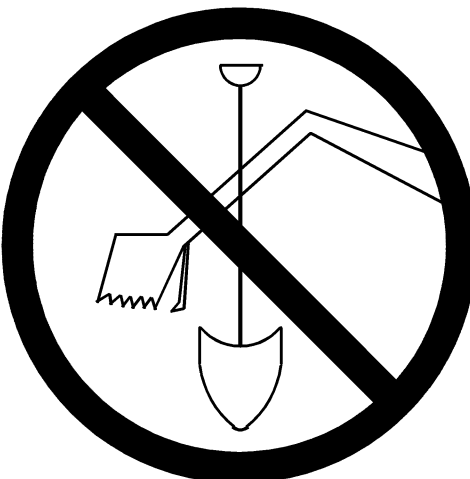
A2.1 Elevations
A2.2 Elevations

A3.1 Sections & Details

A3.3 Sections & Details
A3.4 Sections & Details
A3.5 Wall, Floor & Ceiling Fire Rating Details

GENERAL NOTES

1. THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION FORMWORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
3. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ENGINEER IS OBTAINED.
4. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
5. ARCHITECT/ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT/ENGINEER WILL BE ALLOWED AT THE JOB SITE.
6. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT/ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
8. ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CORRELATING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.
9. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.
10. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
11. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
12. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
13. FIREPLACES SHALL MEET THE REQUIREMENTS OF IMC section 903.

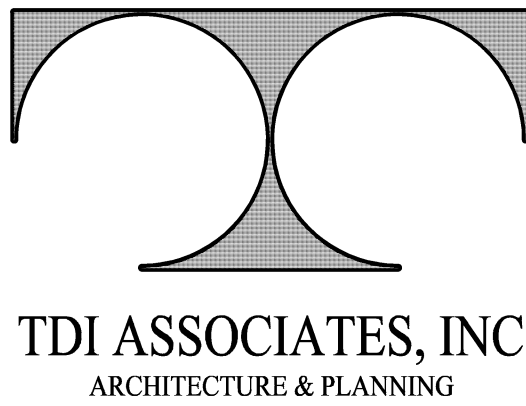


TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

Table 2304.9.1 - Fastening Schedule

CONNECTION	FASTENING(s)	LOCATION	CONNECTION	FASTENING(s)	LOCATION
1. Joist to sill or girder	3 - 8d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	toe nail	23. Build-up corner studs	8d common 3"x0.131" nail 3" 14 gauge staple	24" o.c. 16" o.c. 16" o.c.
2. Bridging to joist	2 - 8d common 2 - 3"x0.131" nail 2 - 3" 14 gauge staple	toe nail each end	24. Build-up girder and beams	20d common 32" o.c. 3"x0.131" nail at 24" o.c. 3" 14 gauge staple at 24" o.c.	face nail at top and bottom staggered on opposite sides
3. 1"x6" subfloor or less to each joist	2 - 8d common	face nail		2 - 20d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	face nail at ends and at each splice
4. Wider than 1"x6" subfloor to each joist	3 - 8d common	face nail	25. 2" planks	16d common	at each bearing
5. 2" subfloor to joist or girder	2 - 8d common	blind and face nail	26. Collar tie to rafter	3 - 10d common 4 - 3"x0.131" nail 4 - 3" 14 gauge staple	toe nail
6. Sole plate to joist or blocking	16d at 16" o.c. 3"x0.131" nail at 8" o.c. 3" 14 gauge staple at 12" o.c.	typical face nail	27. Jack rafter to hip	3 - 10d common 4 - 3"x0.131" nail 4 - 3" 14 gauge staple	toe nail
Sole plate to joist or blocking at braced wall panel	3 - 16d at 16" 3"x0.131" nail at 16" 3" 14 gauge staple per 16"	braced wall panels		3 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	face nail
7. Top plate to stud	2 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple		28. Rafter rafter to 2-by ridge beam	2 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	toe nail
8. Stud to sole plate	2 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	toe nail		2 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	face nail
9. Double studs	16d at 24" o.c. 3"x0.131" nail at 8" o.c. 3" 14 gauge staple at 8" o.c.	face nail	29. Joist to band joist	3 - 16d common 5 - 3"x0.131" nail 5 - 3" 14 gauge staple	face nail
10. Double top plates	2 - 16d at 16" o.c. 3"x0.131" nail at 12" o.c. 3" 14 gauge staple at 12" o.c.	typical face nail	30. Ledger strip	3 - 16d common 4 - 3"x0.131" nail 4 - 3" 14 gauge staple	face nail
Double top plates	8 - 16d common 12 - 3"x0.131" nail 12 - 3" 14 gauge staple typical face nail	top splice	31. Head structural panels and particleboard: subfloor, roof and wall sheathing (to framing)	1/2" and less 6d(c) 2 3/8"x0.131" nail(s) 1-3/4" 16 gage(p) 5d or 6d(c) 2 3/8"x0.131" nail(p) 2" 16 gage(p) 6d(c)	
11. Blocking between joists or rafters to top plate	3 - 8d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	toe nail		1/8" to 1" 1 1/8" to 1 1/4" 3/4" and less 1/8" to 1 1/4" 10d(a) or 8d(c) 6d(c) 10d(a) or 8d(c)	
12. Rim joist to top plate	8d at 6" (52mm)o.c. 3"x0.131" nail at 6" o.c. 3" 14 gauge staple at 6" o.c.	toe nail	32. Panel siding (to framing)	1/2" or less 5d(f) 8d(f)	
13. Top plates, laps and intersections	2 - 16d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	face nail	33. Fiberboard sheathing(g)	1/2" No. 11 gage roofing nails not common nail no. 16 gage staple(f)	
14. Continuous header, two pieces	16d common	16" o/c along edge		25/32" No. 11 gage roofing nails 8d common nail no. 16 gage staple(f)	
15. Ceiling joists to plate	3 - 8d common 5 - 3"x0.131" nail 5 - 3" 14 gauge staple	toe nail			
16. Continuous header to stud	4 - 8d common	toe nail			
17. Ceiling joists, laps over partitions (See section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common minimum, Table 2308.10.4.1 4 - 3"x0.131" nail 4 - 3" 14 gauge staple	face nail			
18. Ceiling joists to parallel rafters (See section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common minimum, Table 2308.10.4.1 4 - 3"x0.131" nail 4 - 3" 14 gauge staple	face nail			
19. Rafter to plate (See section 2308.10.4.1, Table 2308.10.4.1)	3 - 8d common 3 - 3"x0.131" nail 3 - 3" 14 gauge staple	toe nail			
20. 1" diagonal brace to each stud and plate	2 - 8d common 2 - 3"x0.131" nail 2 - 3" 14 gauge staple face nail	face nail			
21. 1" x 8" sheathing to each bearing wall	8d common	face nail			
22. Wider than 1" x 8" sheathing to bearing wall	3 - 8d common	face nail			



N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-409-2500 FAX 262-409-2531

Edgewood Meadows Condominium
Bldgs #8, 9, 10, 11, 13, & 14

Grey Fox Trail and Cardinal Lane
Village of Mukwonago, WISCONSIN

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Sheet Title

TITLE SHEET

Revisions

Issued Date:

Date: 7 MAY, 2020

Job NO.: 19-138.008

Drawn By:

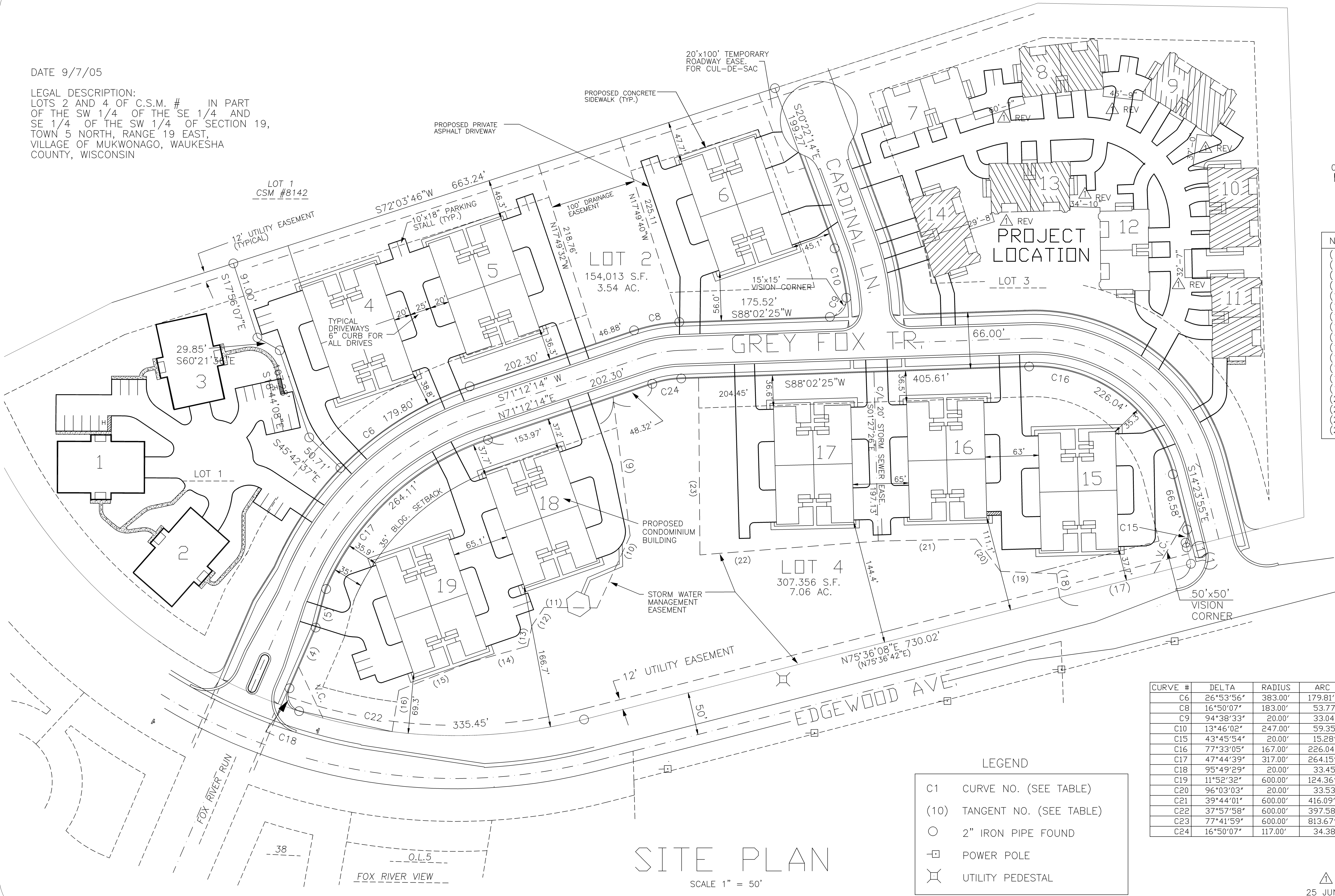
Sheet No.

T-1

Construction Set, Date: 8/11/2020

DATE 9/7/05

LEGAL DESCRIPTION:
LOTS 2 AND 4 OF C.S.M. # IN PART
OF THE SW 1/4 OF THE SE 1/4 AND
SE 1/4 OF THE SW 1/4 OF SECTION 19,
TOWN 5 NORTH, RANGE 19 EAST,
VILLAGE OF MUKWONAGO, WAUKESHA
COUNTY, WISCONSIN



TANGENT TABLE

NO.	DISTANCE	BEARING
(1)	19.75'	N14°23'52"W
(4)	82.52'	N23°27'35"E
(5)	46.65'	N14°49'46"E
(9)	162.64'	N07°00'57"W
(10)	92.67'	N24°37'20"E
(11)	61.51'	N89°24'30"W
(12)	25.27'	N33°55'34"E
(13)	24.68'	N11°59'31"E
(14)	70.71'	N74°21'32"E
(15)	88.23'	N68°27'03"E
(16)	48.84'	N09°10'13"E
(17)	158.11'	N75°36'08"E
(18)	27.79'	S06°47'34"E
(19)	65.59'	S87°28'56"E
(20)	46.89'	S36°51'36"E
(21)	114.30'	N88°52'53"E
(22)	208.35'	N85°33'38"E
(23)	206.21'	S06°26'58"E

CURVE #	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C6	26°53'56"	383.00'	179.81'	S57°45'16"W	178.16'
C8	16°50'07"	183.00'	53.77'	N79°37'17.5"E	53.58'
C9	94°38'33"	20.00'	33.04'	N40°43'07"E	29.41'
C10	13°46'02"	247.00'	59.35'	N13°29'13"W	59.21'
C15	43°45'54"	20.00'	15.28'	N07°33'13"E	14.91'
C16	77°33'05"	167.00'	226.04'	S53°11'10"E	209.18'
C17	47°44'39"	317.00'	264.15'	N47°19'54.5"E	256.58'
C18	95°49'29"	20.00'	33.45'	N24°27'09.5"W	29.69'
C19	11°52'32"	600.00'	124.36'	S66°25'38"E	124.14'
C20	96°03'03"	20.00'	33.53'	N71°29'06.5"E	29.74'
C21	39°44'01"	600.00'	416.09'	S46°33'53.5"E	407.80'
C22	37°57'58"	600.00'	397.58'	S85°24'53"E	390.35'
C23	77°41'59"	600.00'	813.67'	N65°32'52.5"W	752.74'
C24	16°50'07"	117.00'	34.38'	S79°37'17.5"W	34.26'

LEGEND

- C1 CURVE NO. (SEE TABLE)
- (10) TANGENT NO. (SEE TABLE)
- 2" IRON PIPE FOUND
- POWER POLE
- ⊕ UTILITY PEDESTAL

SITE PLAN
SCALE 1" = 50'

REV
25 JUNE 2020

C2.0



N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-409-2500 FAX 262-409-2531

Edgewood Meadows Condominium
Bldgs #8, 9, 10, 11, 13, & 14

Grey Fox Trail and Cardinal Lane
Village of Mukwonago, WISCONSIN

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Sheet Title

BASEMENT/
FOUNDATION
PLAN

Revisions

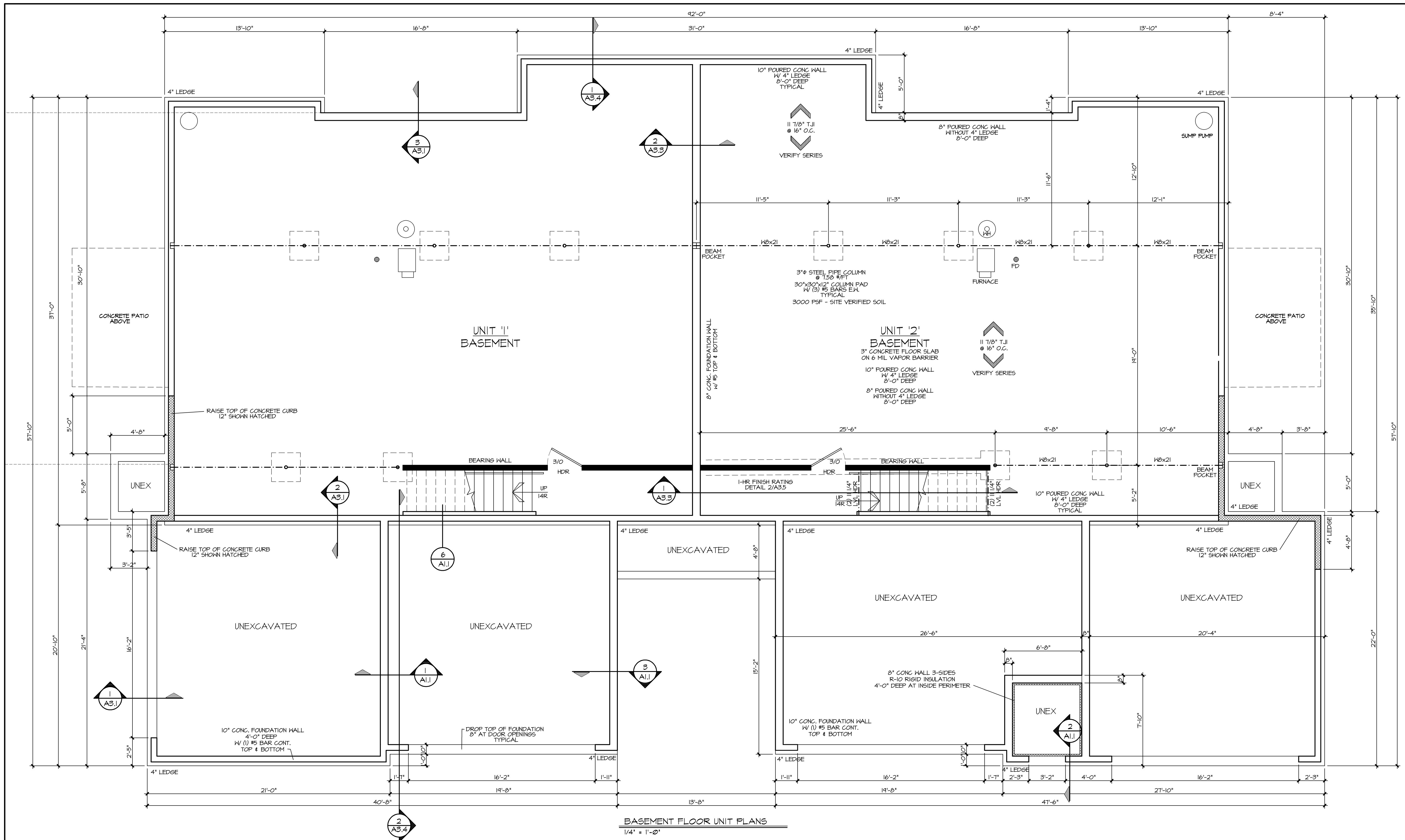
Issued Date: _____

Date: 7 MAY, 2020

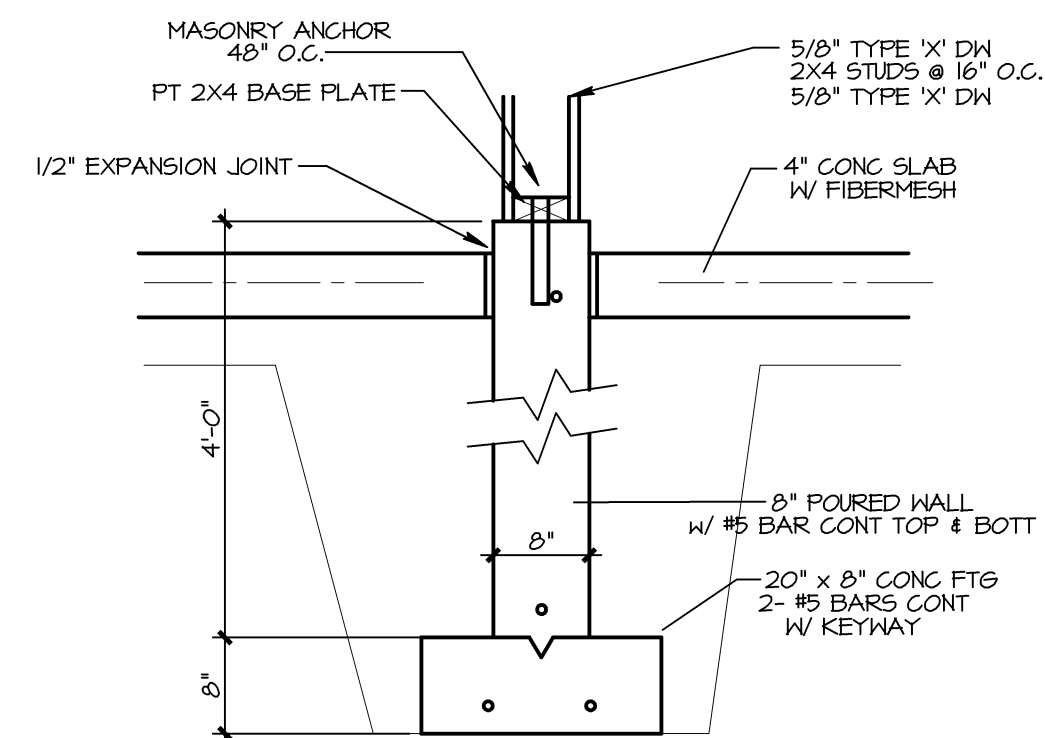
Job NO.: 19-138.008

Drawn By: MSJ/JRG

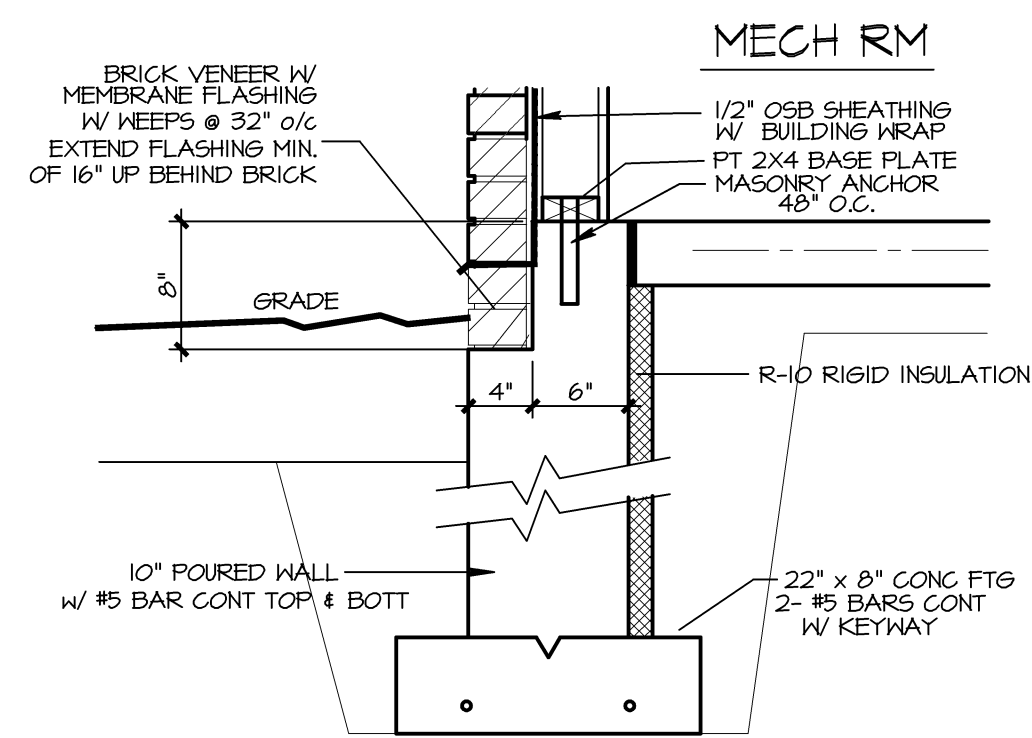
Sheet No.



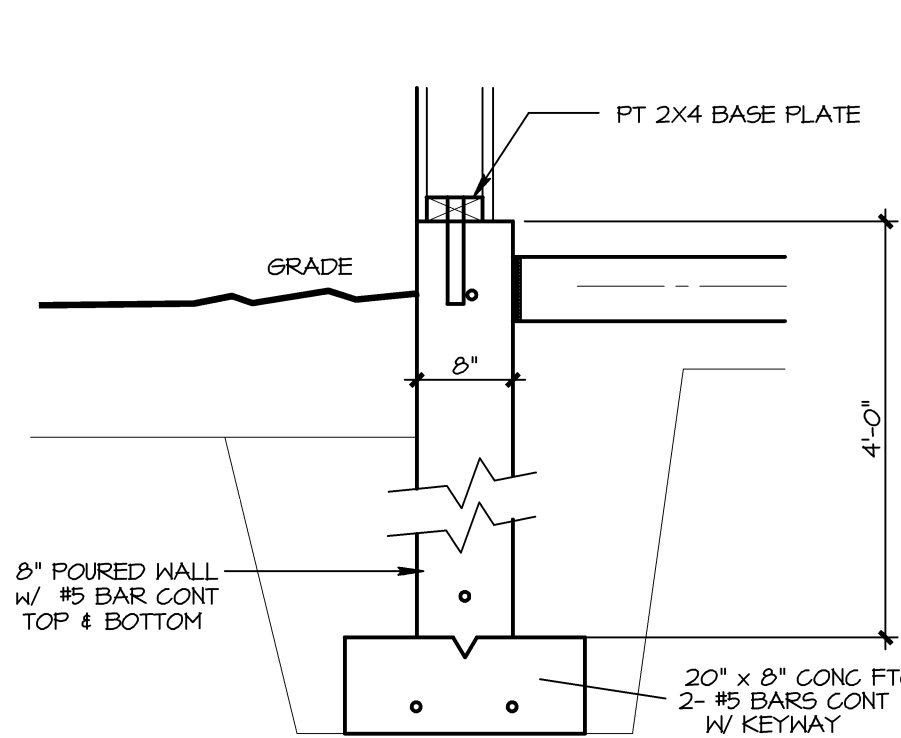
BASEMENT FLOOR UNIT PLANS
1/4" = 1'-0"



① GARAGE WALL DETAIL
1/2" = 1'-0"

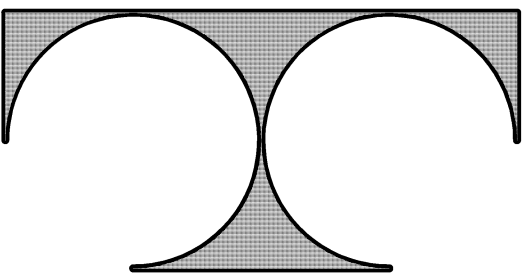


2 FOUNDATION DETAIL
SCALE: NTS



3 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

Construction Set, Date: 8/11/2020



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING

N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-409-2500 FAX 262-409-2531

Edgewood Meadows Condominium
Bldgs #8, 9, 10, 11, 13, #14

Grey Fox Trail and Cardinal Lane
Village of Mukwonago, WISCONSIN

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Sheet Title

FIRST FLOOR PLAN

Revisions

2-JULY-2020

Issued Date:

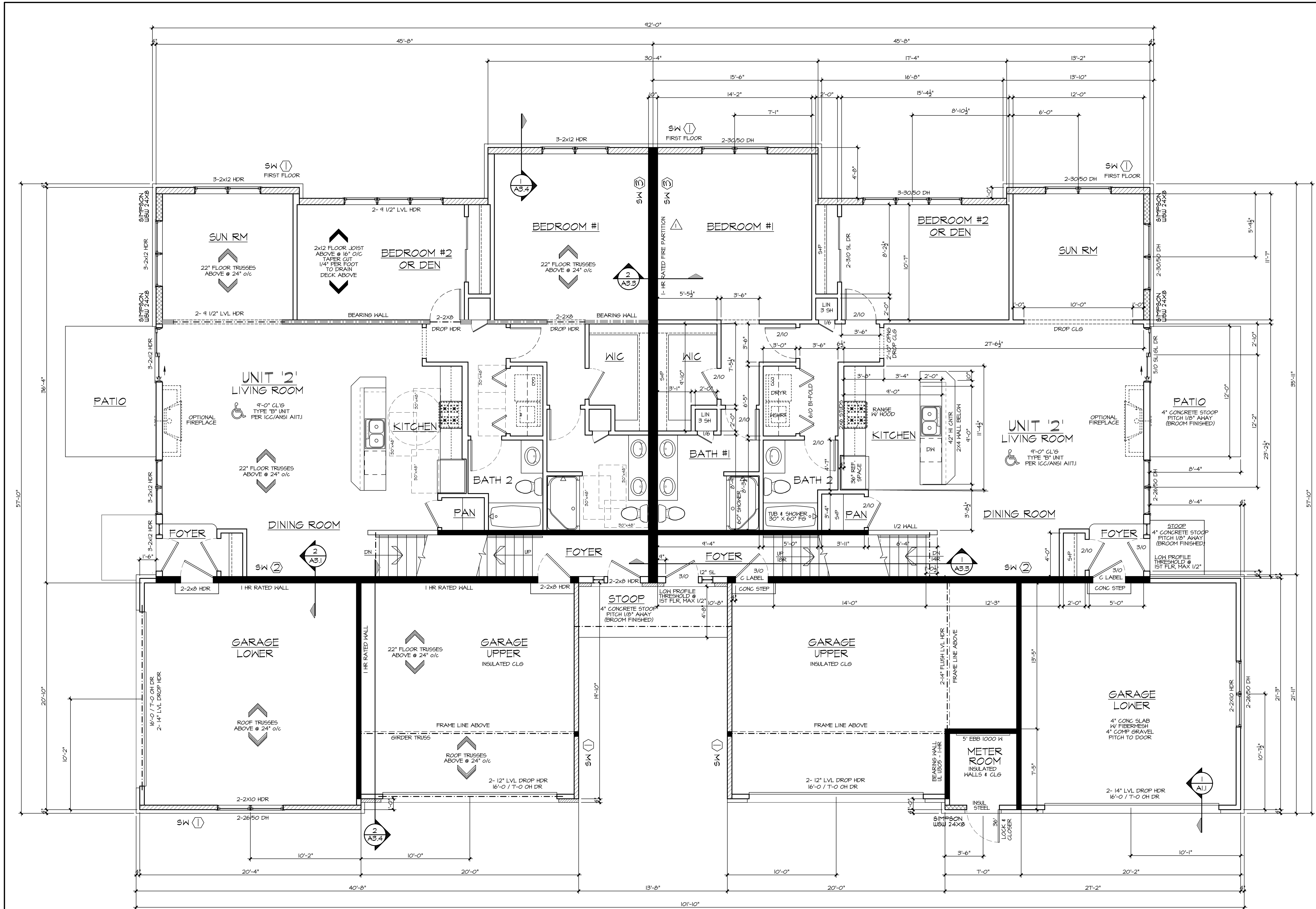
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Drawn By: MSJ/JRG

Sheet No.

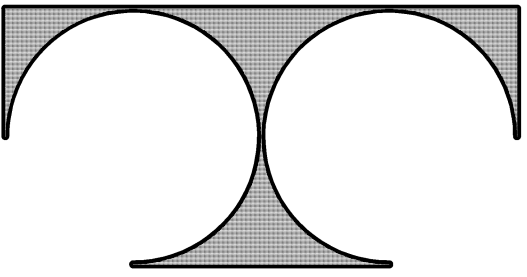
A1.2



FIRST FLOOR UNIT PLANS
1/4" = 1'-0"
1649 sq. ft. per unit

SHEAR WALL SCHEDULE
SW (1) 4" EDGE NAIL SPACING
SW (2) 6" EDGE SCREW SPACING
SW (3) 7" EDGE SCREW SPACING

Construction Set, Date: 8/11/2020



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING

N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-409-2500 FAX 262-409-2531

Edgewood Meadows Condominium
Bldgs #8, 9, 10, 11, 13, & 14

Grey Fox Trail and Cardinal Lane
Village of Mukwonago, WISCONSIN

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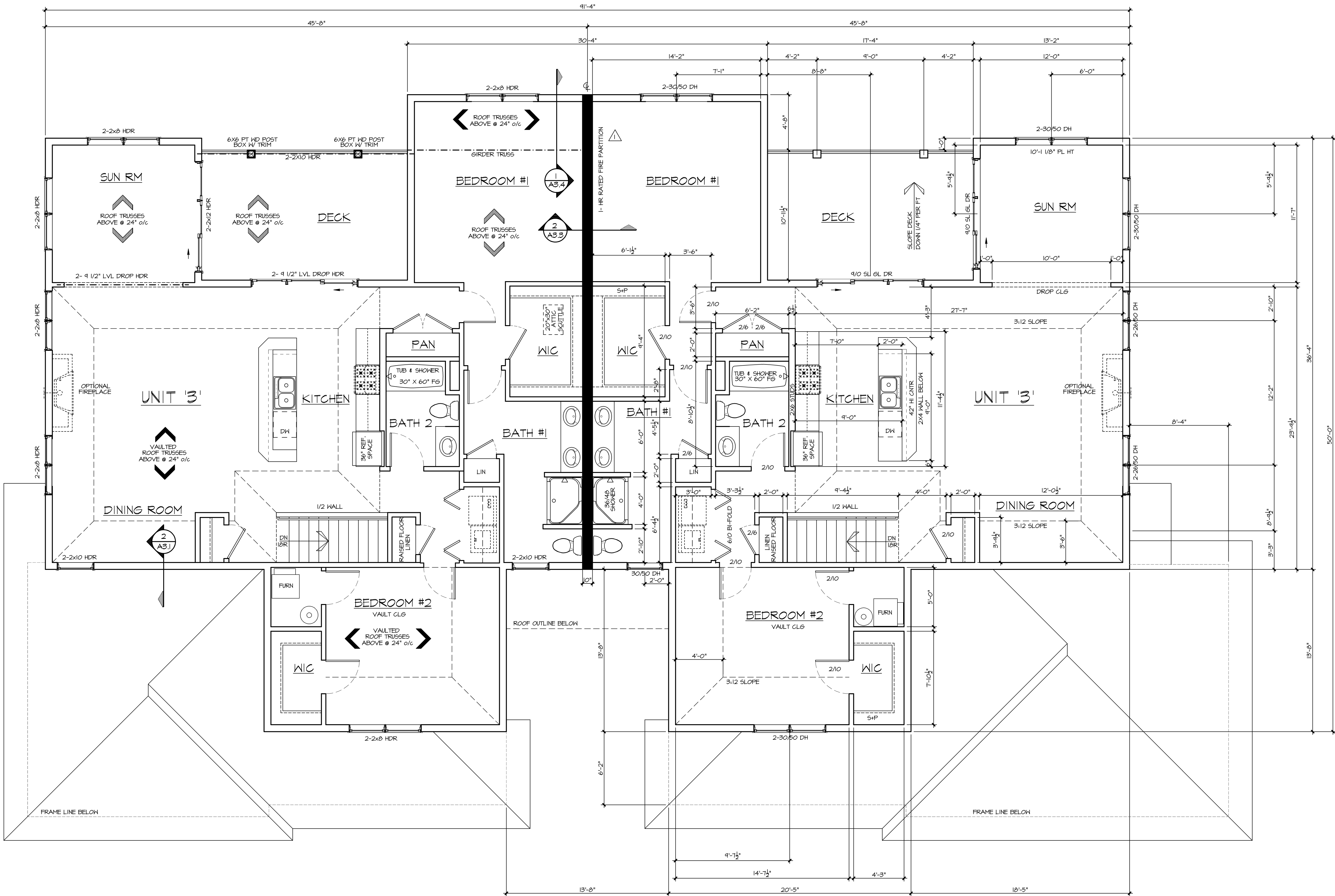
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Sheet Title
**SECOND
FLOOR PLAN**

Revisions
2-JULY-2020

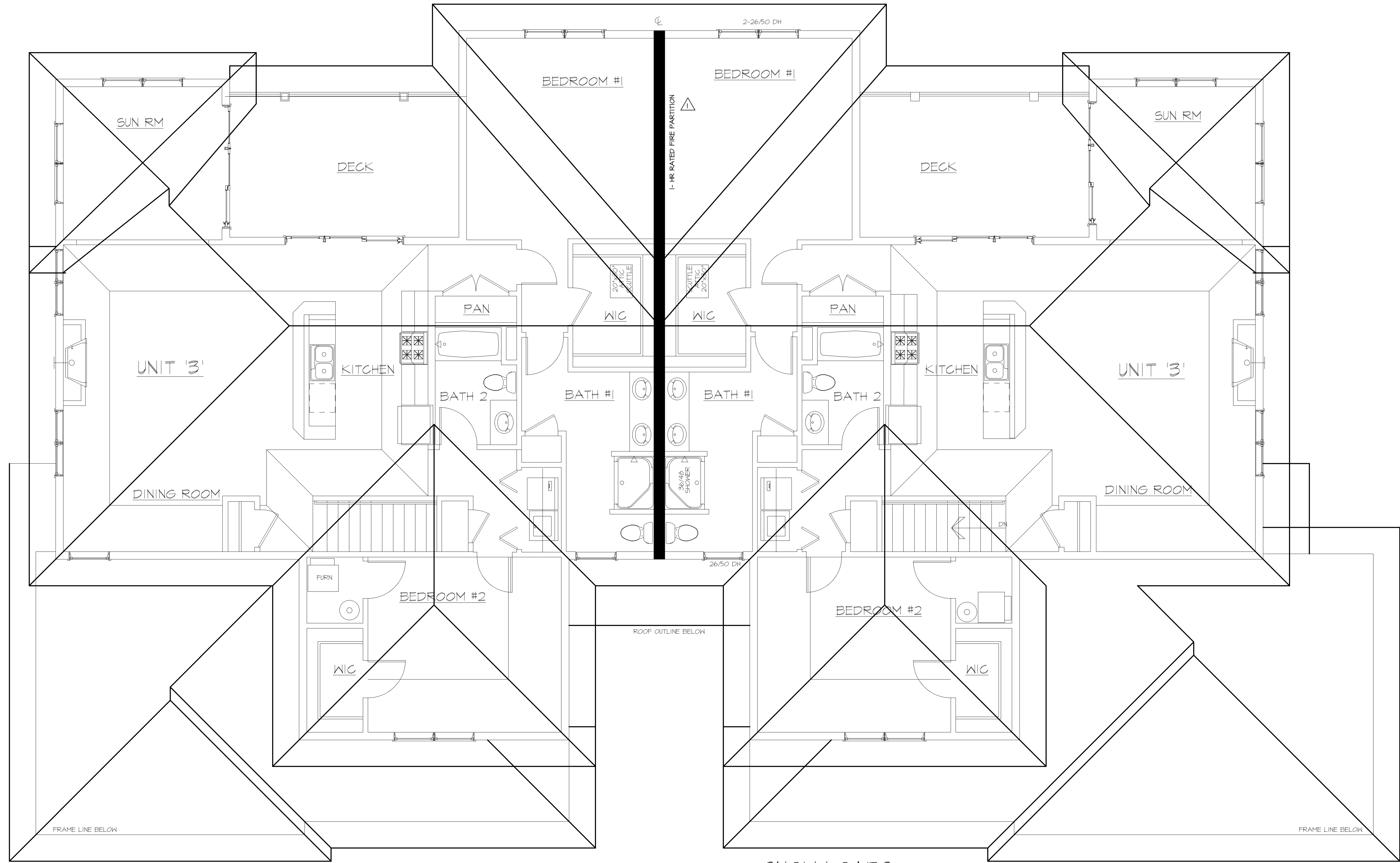
Issued Date: -
Date: 7 MAY, 2020
Job NO.: 19-138.008
Drawn By: MSJ/JRG
Sheet No.

A1.3



SECOND FLOOR UNIT PLANS
1/4" = 1'-0"
1,390 sq. ft. per unit

Construction Set, Date: 8/11/2020

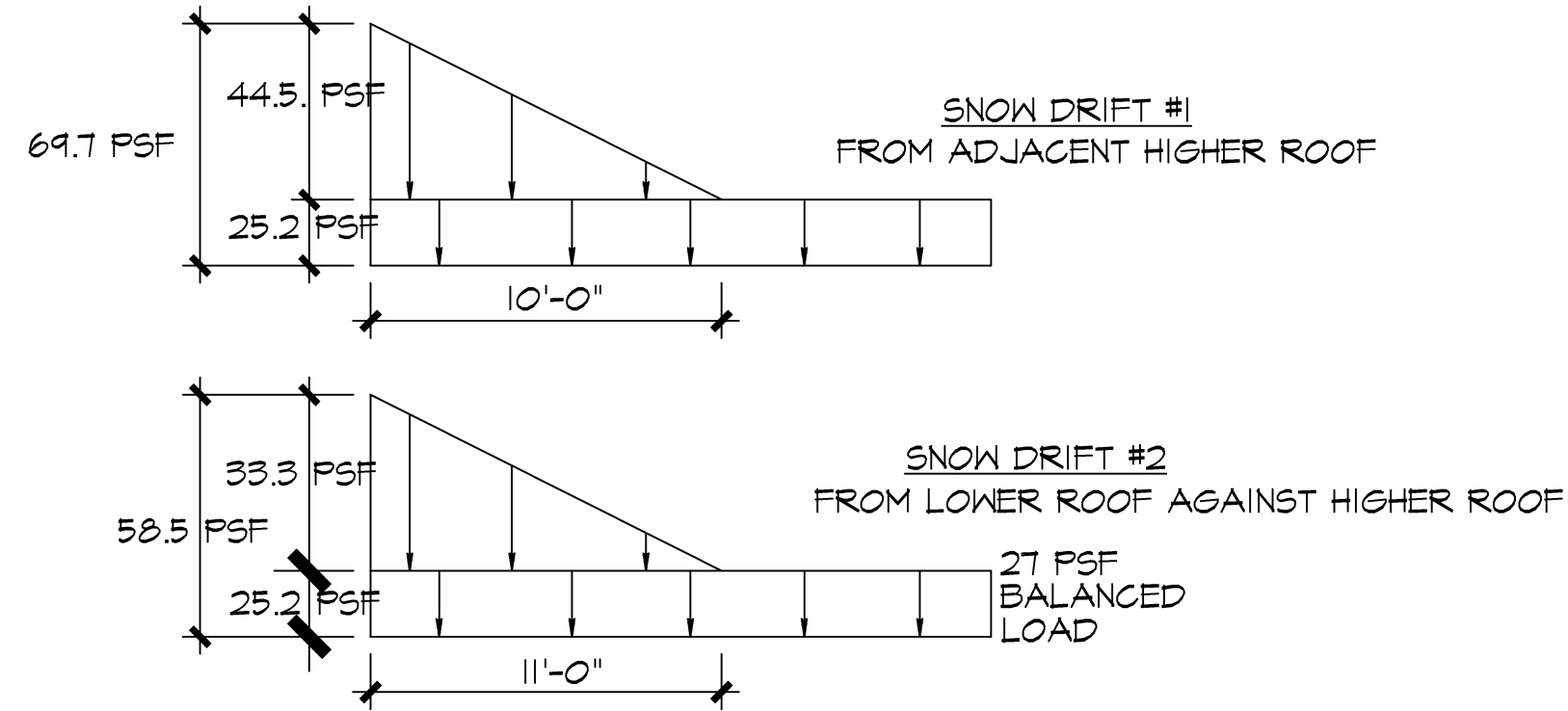


ROOF PLAN
1/4" = 1'-0"

SNOW LOADS

UNBALANCED SNOW LOAD
TYPICAL BALANCED UNIFORM SNOW LOAD 25.2 PSF

WINDWARD DRIFT: 44.5 PSF
LEEWARD DRIFT: 25.2 PSF



Construction Set, Date: 8/11/2020

Edgewood Meadows Condominium
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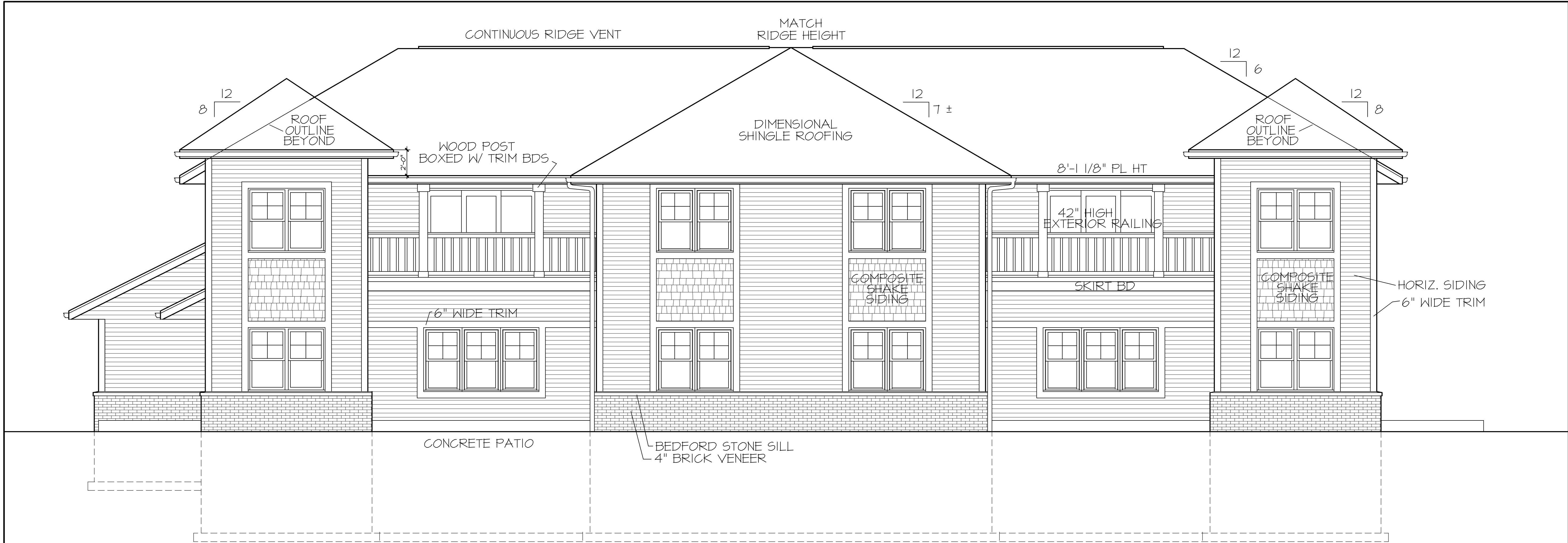
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Sheet Title
ROOF PLAN

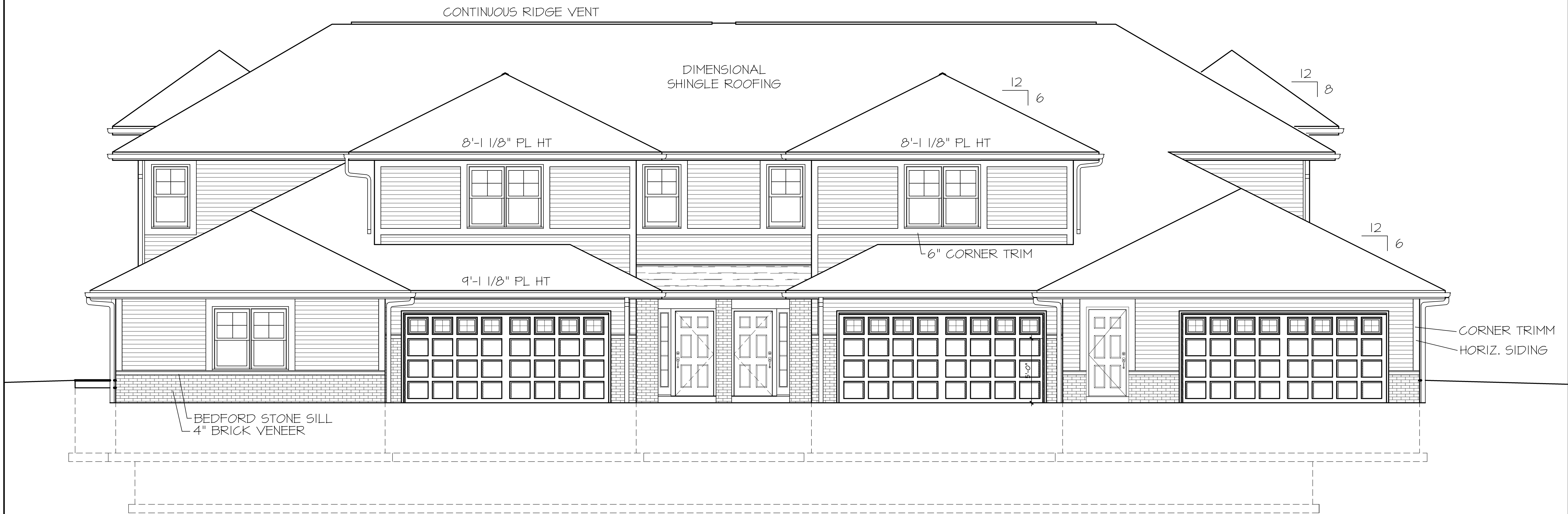
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REAR ELEVATION

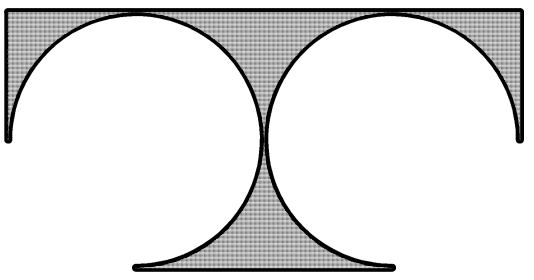
1/8" = 1'-0"



STREET ELEVATION

1/8" = 1'-0"

Construction Set, Date: 8/11/2020



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ARCHITECTS, ENGINEERS & DESIGNERS

N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-409-2500 FAX 262-409-2531

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Sheet Title

ELEVATIONS
FRONT
REAR

Revisions

Issued Date:

Date:

7 MAY, 2020

Job NO.:

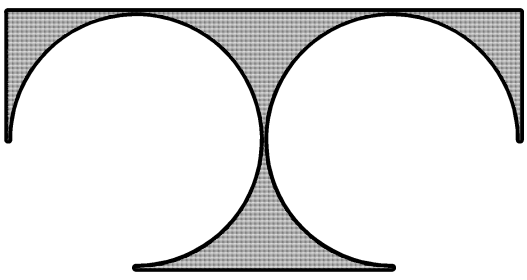
19-138.008

Drawn By:

MSJ/JRG

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A2.0



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Sheet Title

ELEVATIONS
LEFT
RIGHT

Revisions

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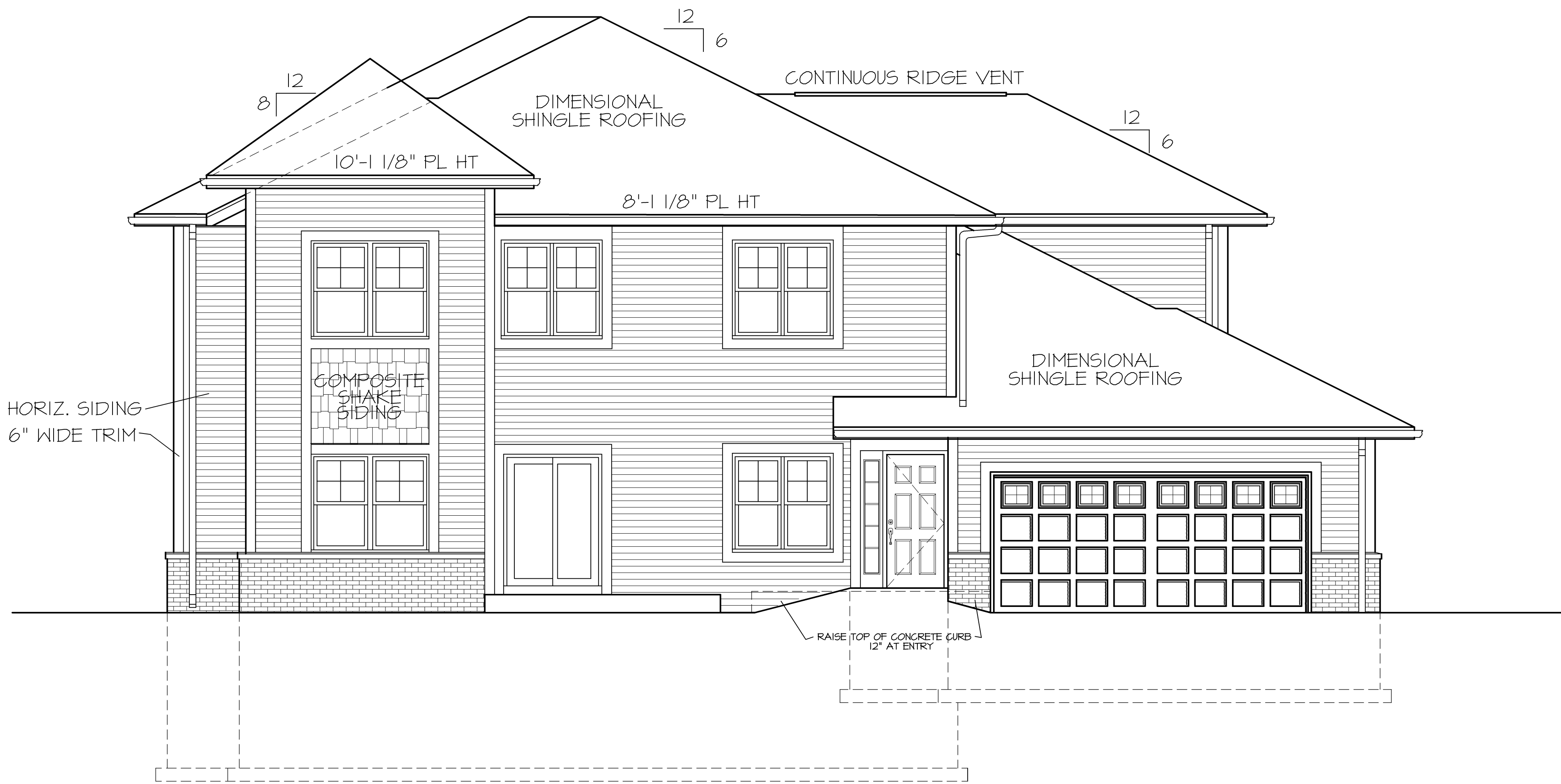
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Job NO.: 19-138.008

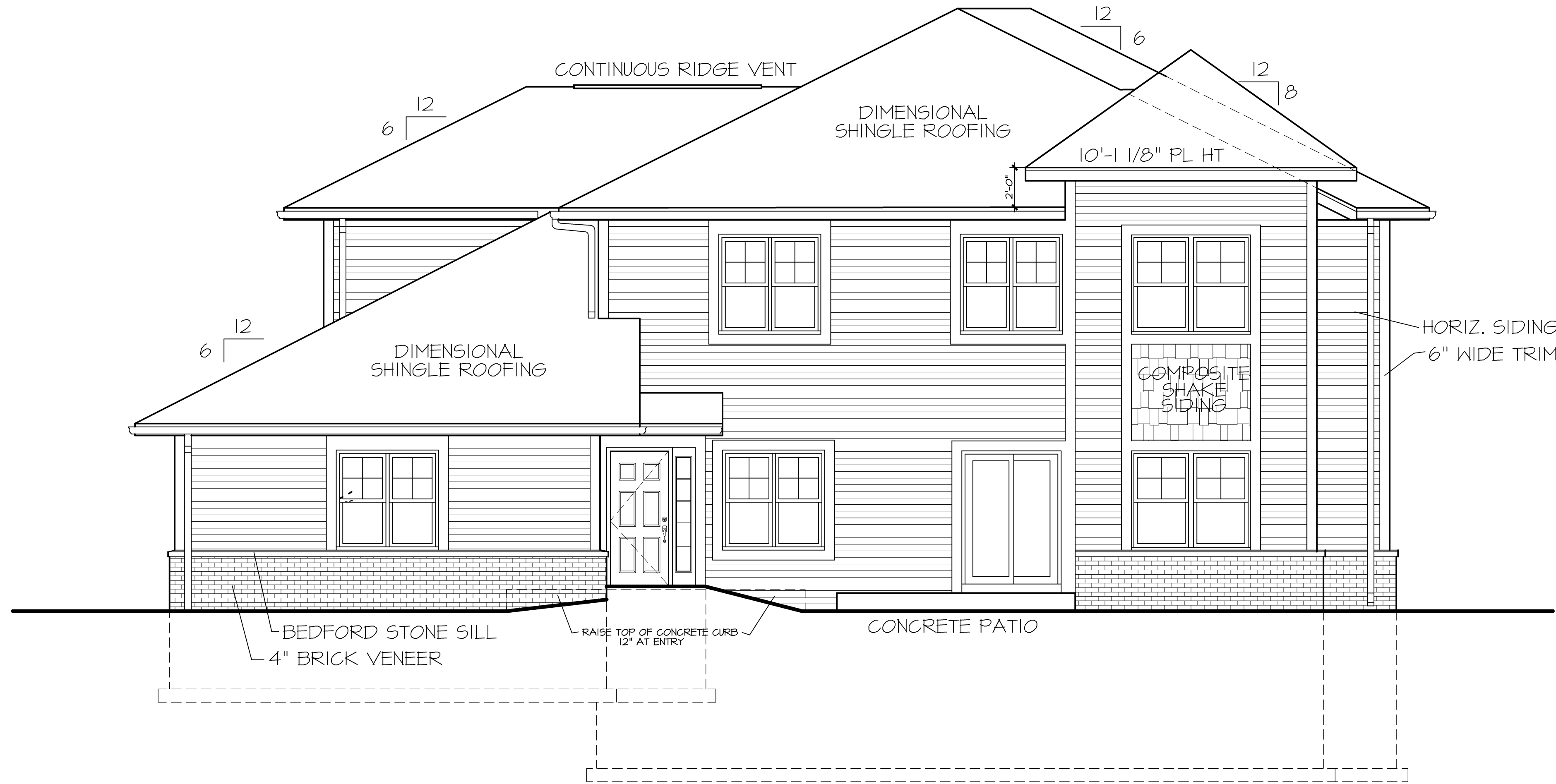
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Sheet No.

A2.1



LEFT SIDE ELEVATION
1/8" = 1'-0"



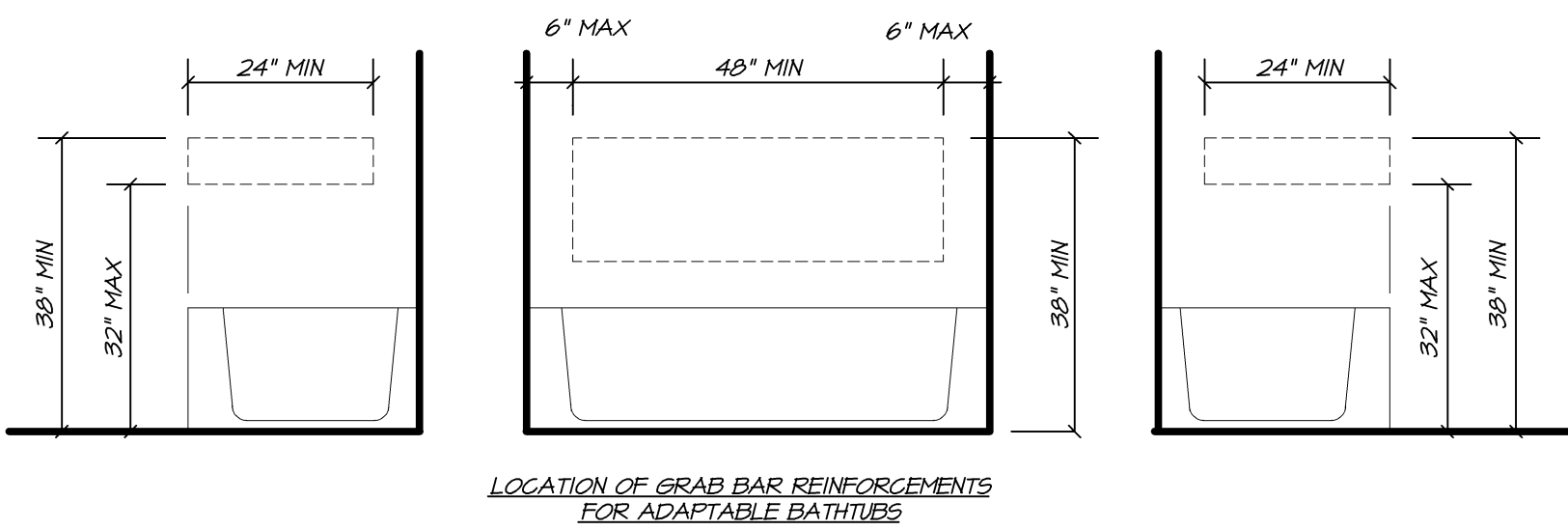
RIGHT SIDE ELEVATION
1/8" = 1'-0"

Construction Set, Date: 8/11/2020

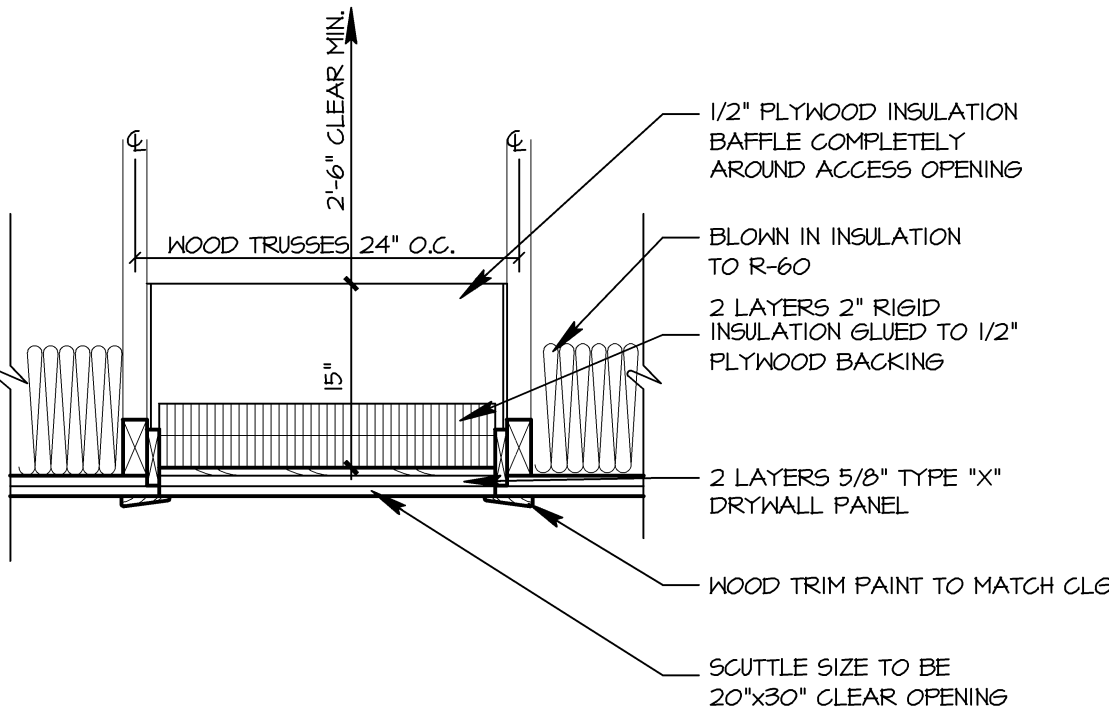
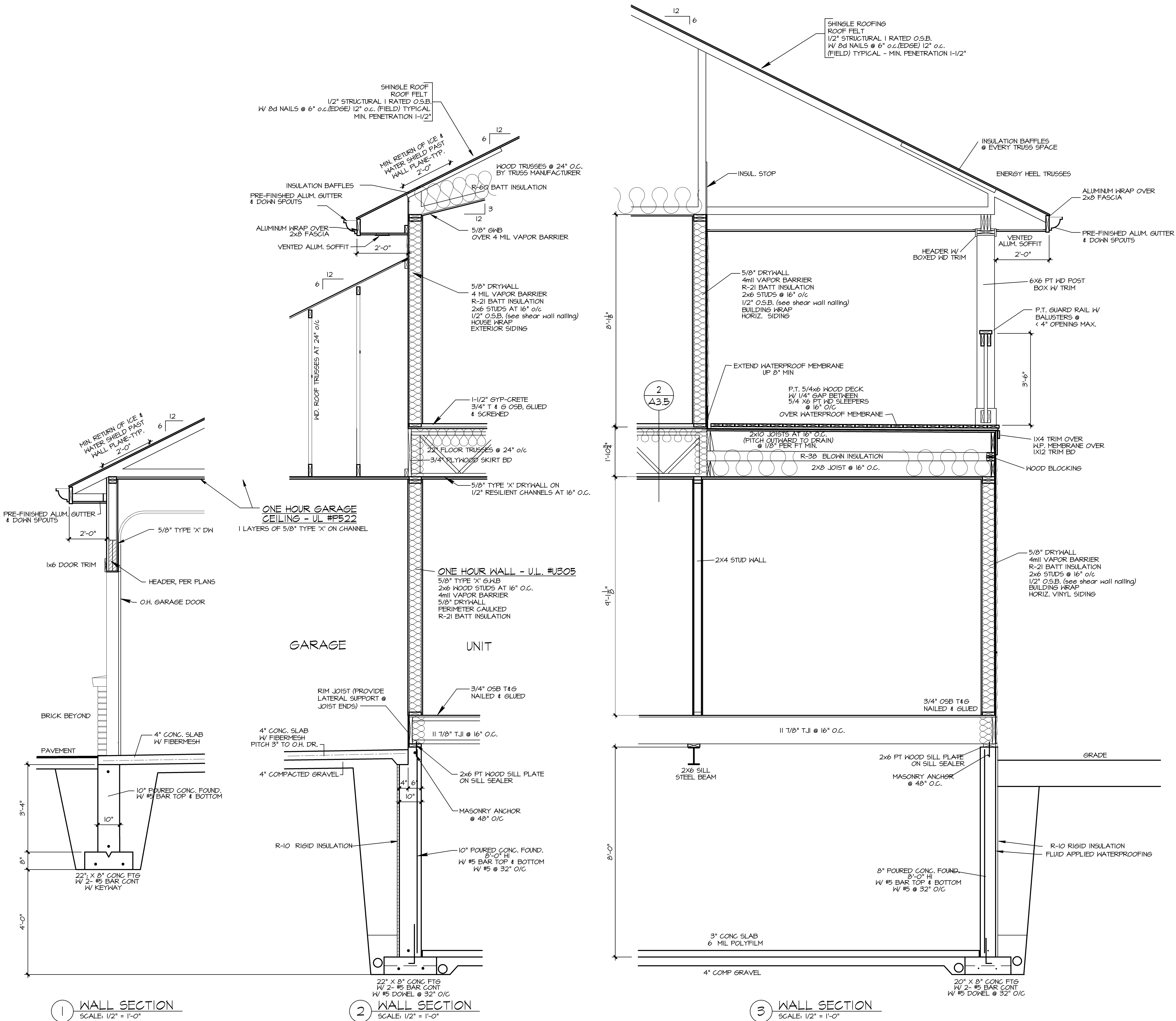
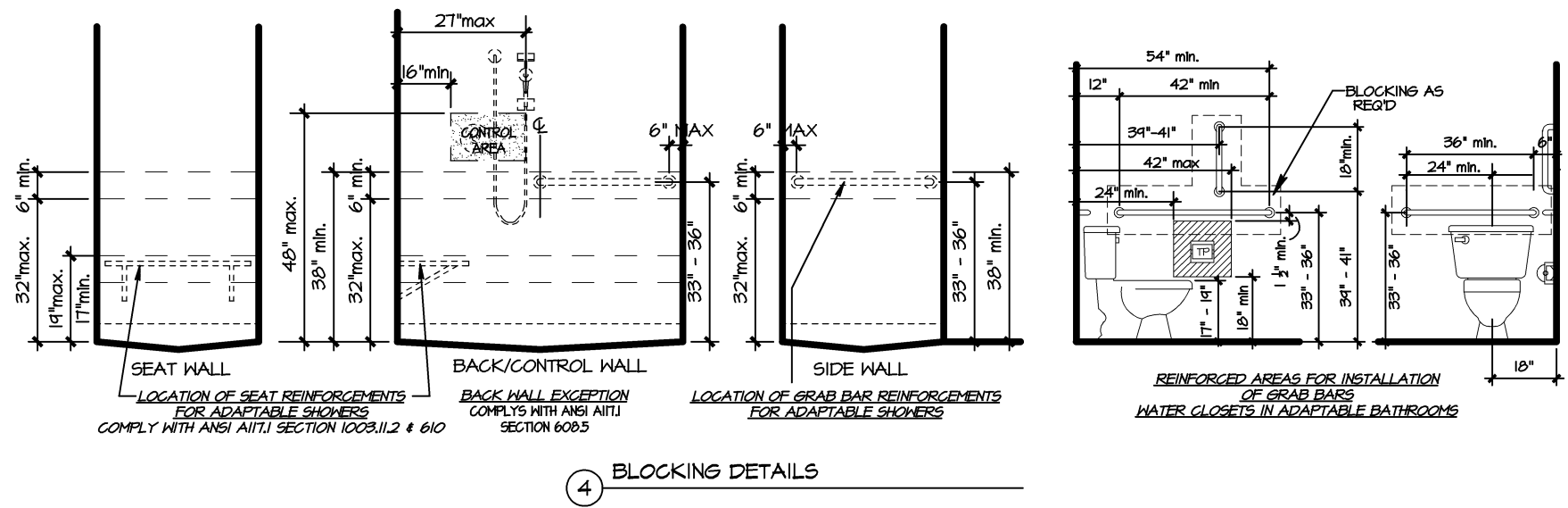
ACCESSIBILITY GUIDELINES

LIGHT SWITCHES, ELECTRICAL OUTLETS, ELECTRIC SERVICE PANELS, THERMOSTATS, THRU-WALL A/C UNITS and ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48" and NO LOWER THAN 15 INCHES ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, KITCHEN CABINETS BETWEEN 20 AND 25 INCHES IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44 INCHES FOR FORWARD APPROACH OR 46 INCHES FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24 INCHES IN DEPTH).

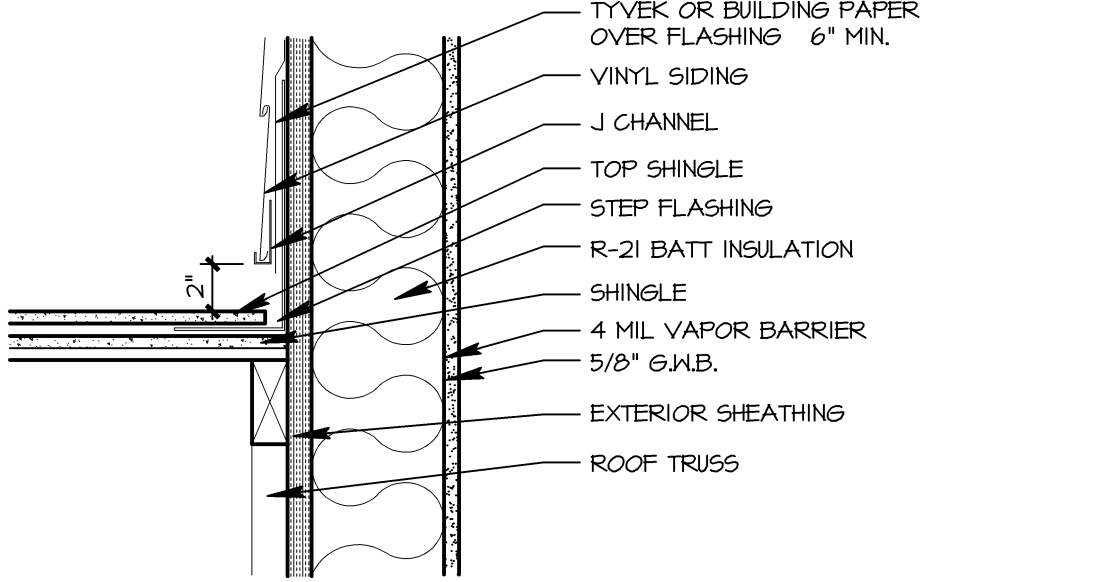
REINFORCED BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB, SHOWER & SHOWER SEAT WHEN THESE FACILITIES ARE PROVIDED. REINFORCEMENT FOR GRAB BARS MAY BE PROVIDED BY PLYWOOD OR WOOD BLOCKING.



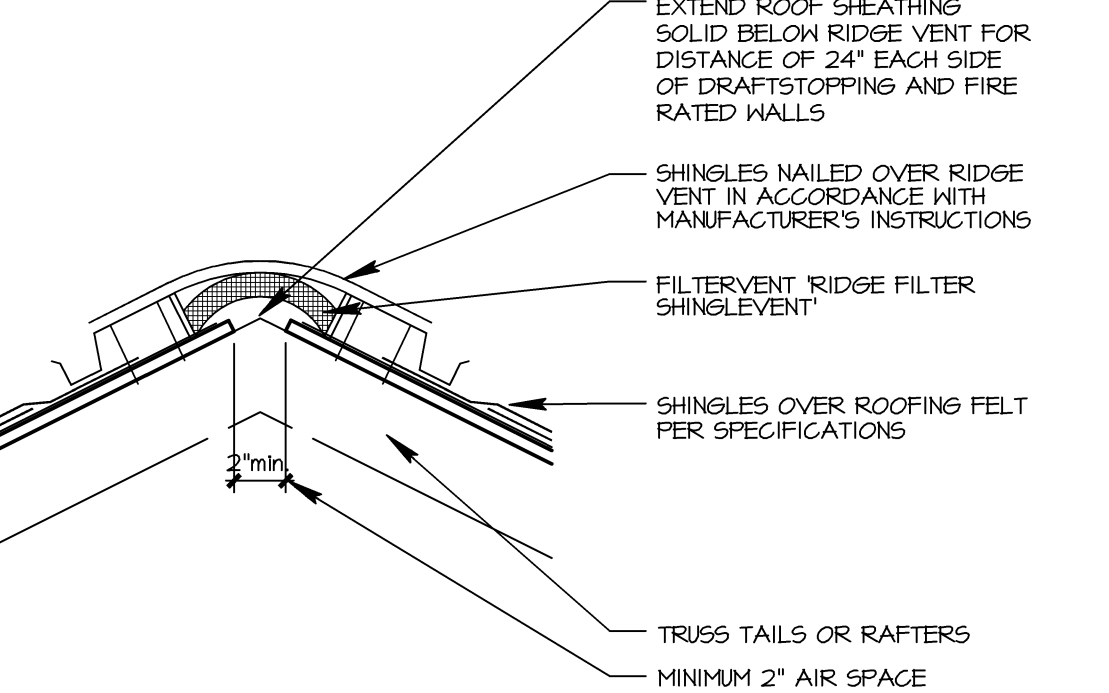
NOTE: THE AREAS OUTLINED IN DASHED LINES REPRESENT LOCATIONS FOR FUTURE INSTALLATION OF SHOWER SEAT FOR TYPICAL CONFIGURATIONS. PLUMBER TO SUPPLY TUB/SHOWER FIXTURES WITH BUILT-IN SUPPORT FOR FUTURE SHOWER SEATS.



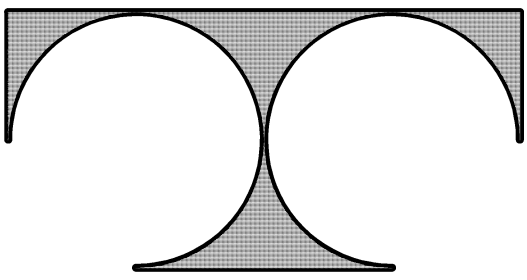
ATTIC SCUTTLE
1\"/>



FLASHING DETAIL
1 1/2\"/>



RIDGE VENT
1 1/2\"/>



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Sheet Title
SECTIONS
AND DETAILS

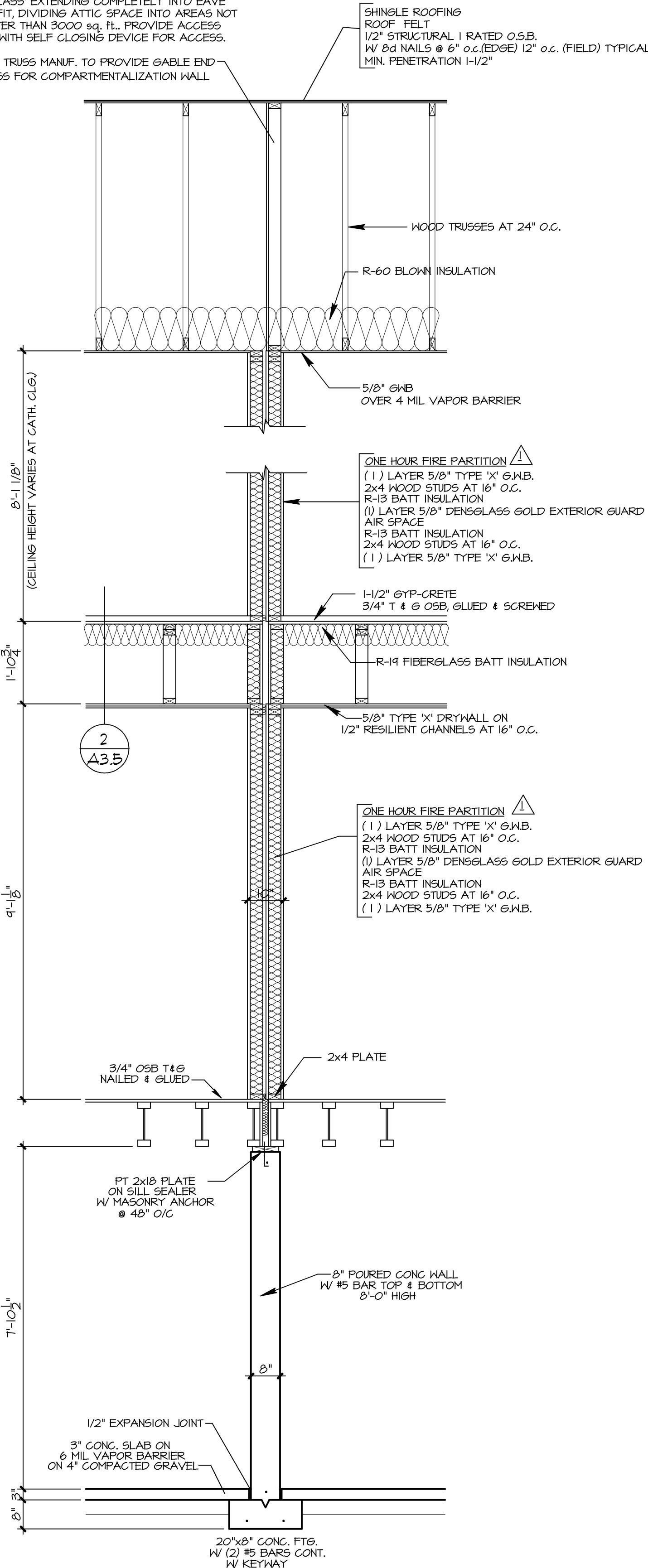
Revisions
25 JUNE 2020 REV 1

Issued Date: -
Date: 7 MAY, 2020
Job NO.: 19-138.008
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Sheet No.

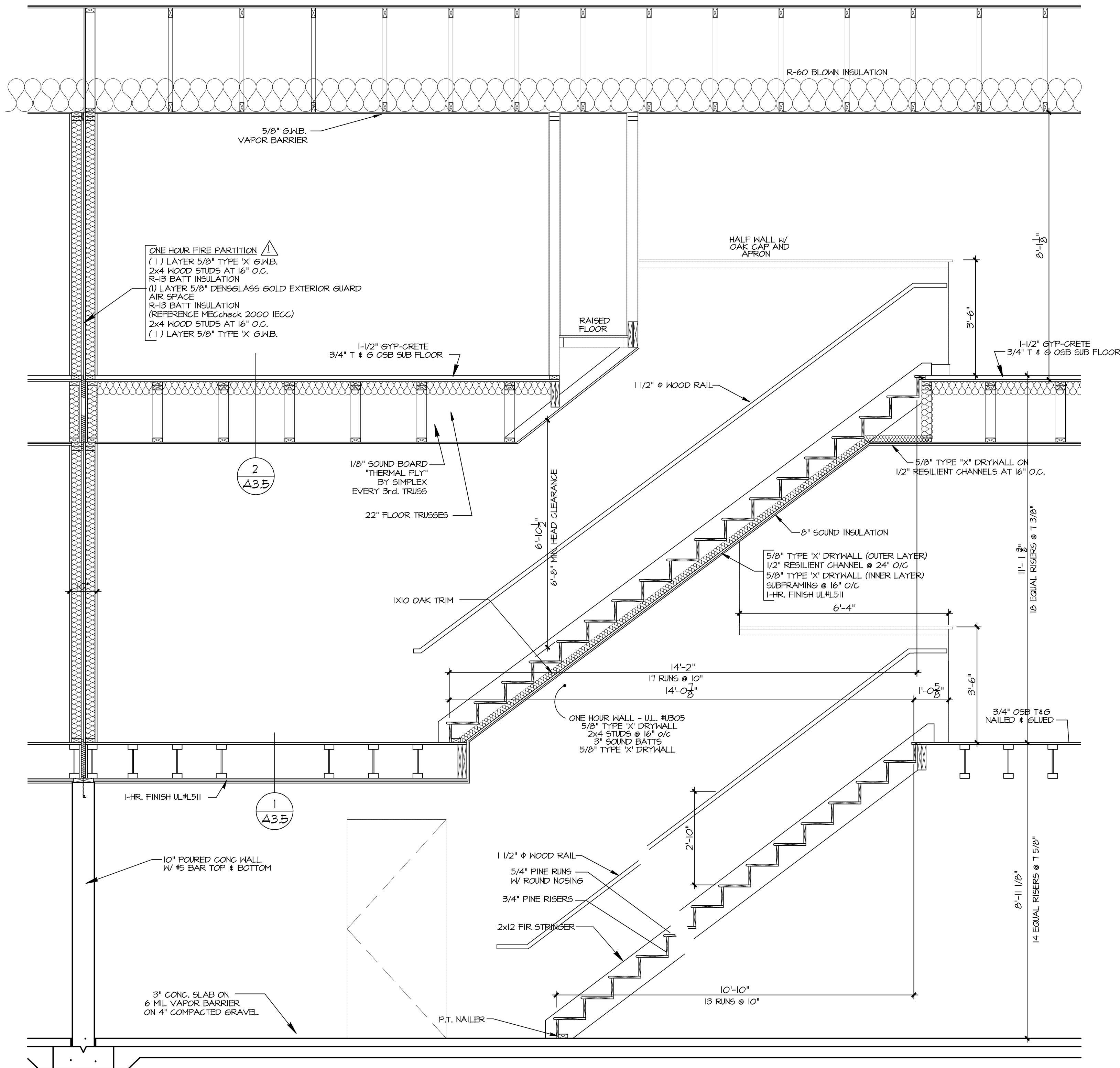
A3.3

ATTIC COMPARTMENTALIZATION:

(BY ROUGH CARPENTER) (1) LAYER OF 1/2" DENSGLASS® EXTENDING COMPLETELY INTO EAVE AND SOFFIT, DIVIDING ATTIC SPACE INTO AREAS NOT GREATER THAN 3000 sq. ft. PROVIDE ACCESS PANEL WITH SELF CLOSING DEVICE FOR ACCESS.
NOTE: TRUSS MANUF. TO PROVIDE GABLE END TRUSS FOR COMPARTMENTALIZATION WALL



△ 2 | HOUR FIRE PARTITIONL
SCALE: 1/2" = 1'-0"



1 WALL SECTION
SCALE: 1/2" = 1'-0"

Construction Set, Date: 8/11/2020



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Sheet Title

SECTIONS AND DETAILS

Revisions

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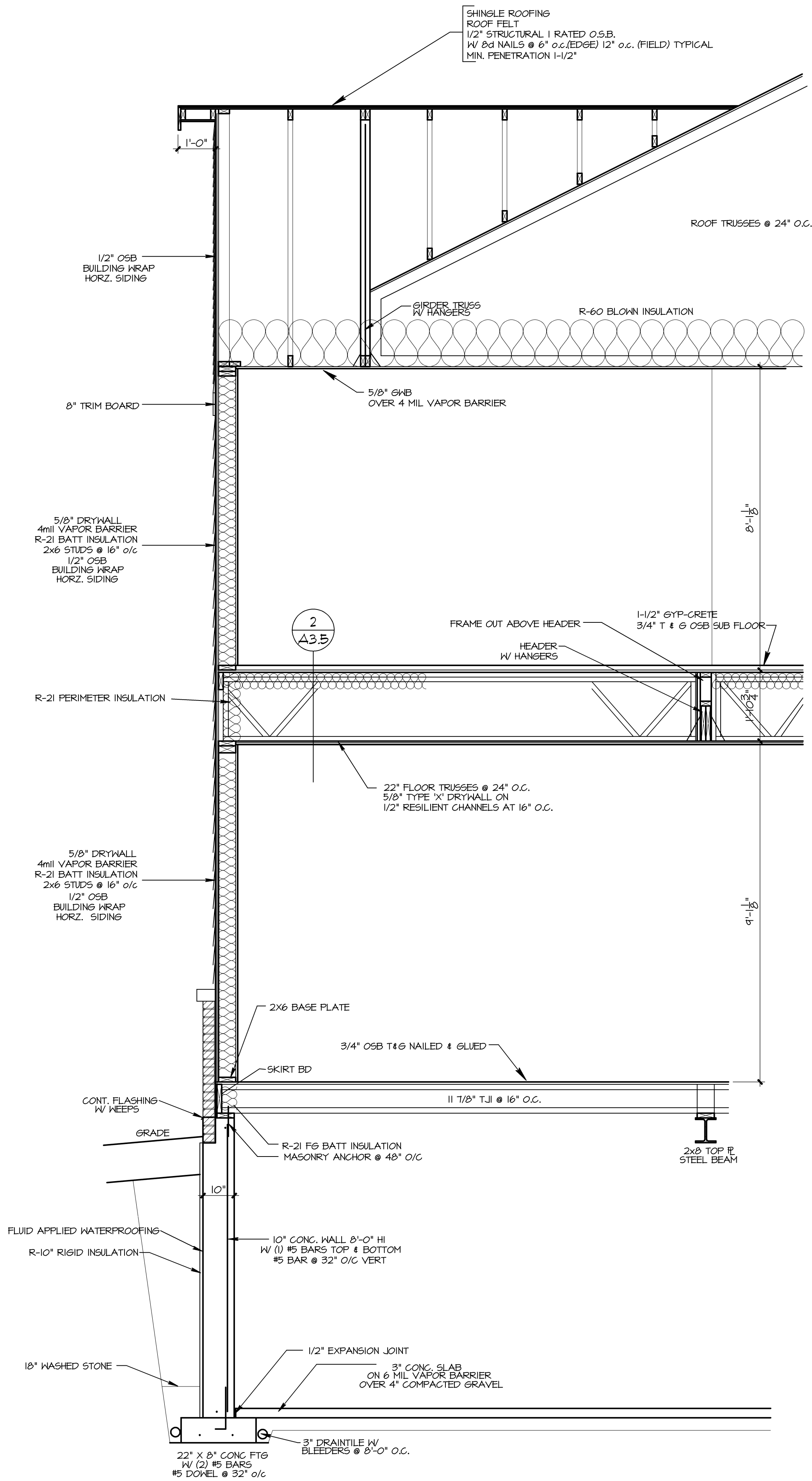
Date: 7 MAY, 2020

Job NO.: 19-138.008

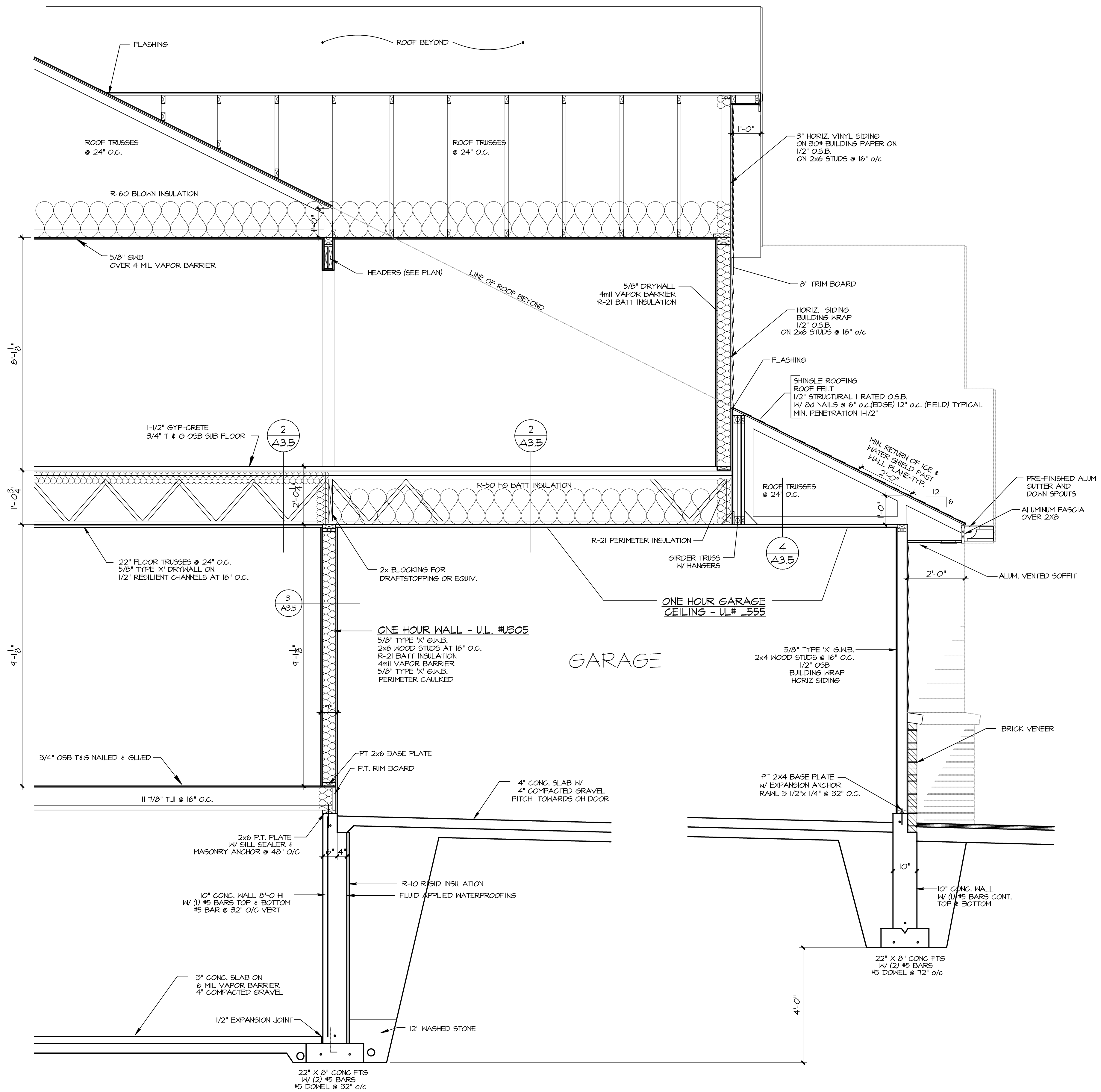
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Sheet No.

A3.4



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



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Sheet Title

WALL, FLOOR & CEILING FIRE RATING DETAILS

Revisions

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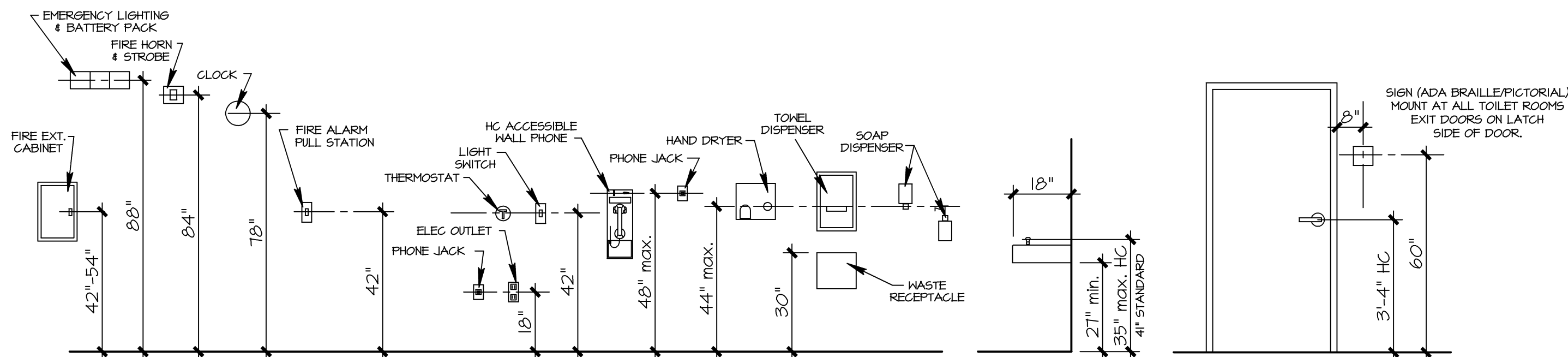
Date: 7 MAY, 20

Job NO.: 19-138.00

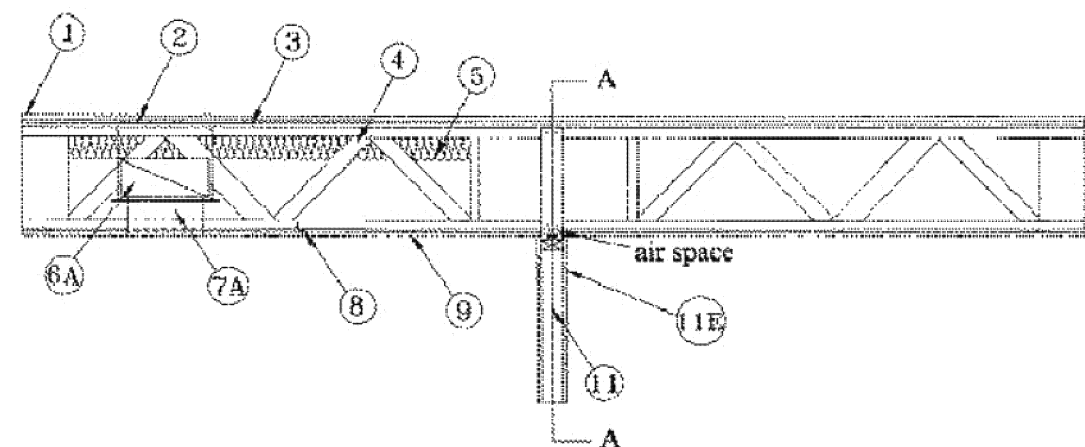
Drawn By: MSJ/JR

Sheet No.

A3.5



5 STANDARD MOUNTING HEIGHTS



LEVELROCK 2500, LEVELROCK RH
FLOORING SYSTEM NO. II

- 1.) MIXTURE-(OPTIONAL)- 6 GAL. MAX.
OF WATER TO 100 lbs. OF FLOOR
TOPPING MIXTURE, MIN.
COMPRESSIVE STRENGTH TO BE 1500
PSI MINIMUM, THICKNESS TO BE 3/4
IN. MINIMUM.
- 6.) AIR DUCT-(OPTIONAL-NOT SHOWN)
- 7.) CELLING DAMPER* -- (FOR USE WITH
ITEM 6 -- NOT SHOWN)

2.) VAPOR BARRIER -- (OPTIONAL) --
COMMERCIAL ASPHALT SATURATED
FELT, 0.030 IN. THICK.

3.) SUBFLOORING
23/32 IN. THICK PLYWOOD WITH T&G
EDGES ALONG THE 8 FT SIDES AND
EXTERIOR GLUE, OR ORIENTED STRAN
BOARD (OSB), MIN. GRADE "C-D"

- 4.) TRUSSES PARALLEL CHORD
PRE-FABRICATED WOOD
TRUSSES FABRICATED WITH A
MIN. DEPTH OF 11-7/8 IN. AND MIN.
CHORD SIZE OF 4 X 2 IN. NOM.
TRUSSES SPACED A MAX OF 24
IN. OC AND LIVE LOAD LIMITED
TO 75% OF TOTAL CAPACITY.

5.) INSULATION, BATTS AND BLANKETS*
(OPTIONAL) - GLASS FIBER INSULATION
3-1/2 IN. THICK, SECURED TO THE UNDERSIDE
OF THE PLYWOOD OR OSB SUBFLOORING
WITH STAPLES SPACED 12 IN. OC PARALLEL
TO THE TRUSSES

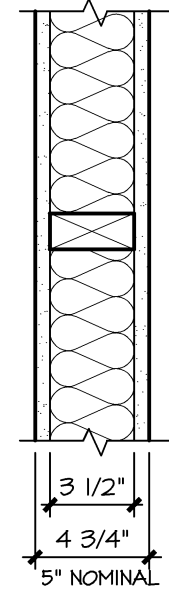
- 2) (1) HR. FLOOR CEILING UL# L555
1/2" = 1'-0"

8.) RESILIENT CHANNELS - 3/8 IN. DEEP BY 2-3/8 IN. WIDE AT THE BASE AND 1-3/8 WIDE AT THE FACE, FORMED FROM 25 MSG GALV. STEEL, THE SPACING OF THE RESILIENT CHANNELS SHALL BE 12 IN. OC.

- 9.) WITH LONG DIMENSION PARALLEL TO
WOOD TRUSSES. BOARD ATTACHED
TO THE RESILIENT CHANNELS USING
IN. LONG TYPE S BUGLE-HEAD
SCREWS. @ 8 IN. OC ALONG BUTTED
END-JOINTS AND IN THE FIELD.

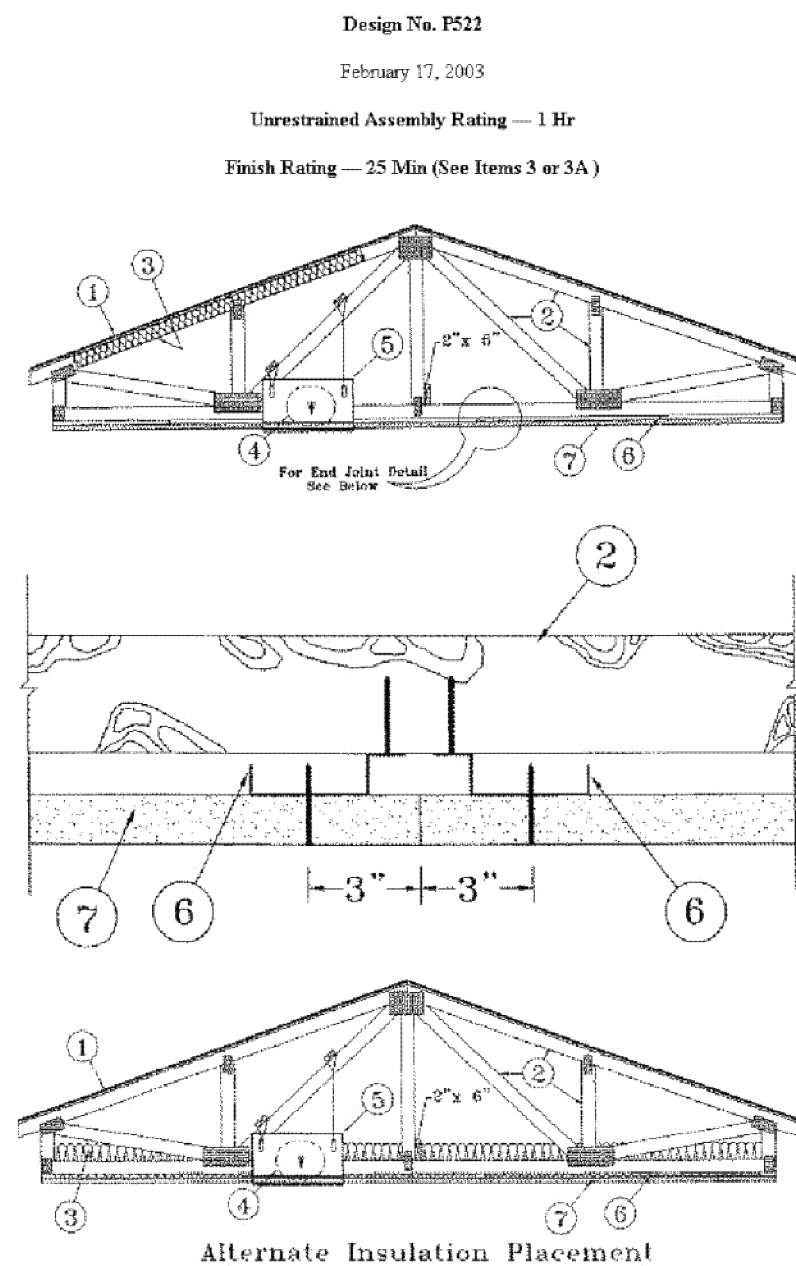
10.) FINISHING SYSTEM - (NOT SHOWN) - VINYL, DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS.

- TO JOINTS AND SCREEN HEADS;
PAPER TAPE, 2 IN. WIDE, EMBEDDED
IN FIRST LAYER OF COMPOUND
OVER ALL JOINTS. AS AN
ALTERNATE, NOM. 3/32 IN. THICK
VENEER PLASTER MAY BE APPLIED
TO THE ENTIRE SURFACE OF THE



5/8" TYPE 'X' G.W.B. ON BOTH
SIDES OF 2x4 STUDS
@ 16" o/c 3 1/2" BATT INSULATION

- 3 IHR WALL UL# U305
1 1/2" = 1'-0"



1. Roofing System—Any UL Class A, B or C Roofing System (TGFU) or Prepared Roof Covering (TFWZ) acceptable for use over nom 15/32 in. thick wood structural panels, min. grade "C-D" or "Sheathing." Nom 15/32 in. thick wood structural panels secured to trusses with No. 6d ringed shank nails spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d nails. Construction adheres may be used with either the nails or staples.

2. Trusses—Pitched or parallel chord wood trusses, spaced max of 24 in. OC, fabricated from two 2 by 4 lumber with lumber oriented vertically or horizontally. Truss members secured together with 0.040 in. thick galv steel plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. Each tooth is a pair facing each other (made by the same panel), forming a split tooth type plate. Each tooth has a chisel point on its outside edge. These points are diagonally opposed to each other for each pair. The top half of each tooth has a twist for fitting. The pairs are repeated on approximately 765 in. center with four rows of teeth per inch of plate width. Where the truss intersects with the interior face of the exterior wall, the min truss depth must be 5-1/4 in. with a min roof slope of 3/12 and a min. area in the plate of the truss of 21 sq ft. Where the truss intersects with the interior face of the exterior wall, the min truss depth may be reduced to 3 in. if the batts and blankets (Item 3) are used as shown in the above illustration (Alternate Installation Placement) and are firmly packed against the intersection of the bottom chords and the plywood sheathing.

3. **Batts and Blankets*** — (Optional) — Glass fiber insulation, secured to the wood structural panels with staples spaced 12 in. O.C. or to the trusses with 0.090 in. diam galv steel wires spaced 12 in. O.C. *Any glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance, having a unit density of 0.5 pcf.* As an option, the insulation may be fitted in the concealed space, draped over the resilient channel/gypsum wallboard ceiling membrane where the resilient channel and gypsum wall-board attachment is modified as depicted in Items 6 and 7. The finished rating has only been determined when the insulation is secured to the decking.

3A. **Loose Fill Material*** — As an alternate to Item 3 — Any thickness of loose fill material bearing the UL Classification Marking for Surface Burning Characteristics, having a min density of 0.5 pcf, fitted in the concealed space, draped over the resilient channel/gypsum wall-board ceiling membrane when resilient channels and gypsum wallboard attachment is modified as specified in Items 6 and 7. The fire rated rating when loose fill material is used has not been determined.

4. **Air Duct*** — Any UL Class 0 or Class 1 flexible air duct installed in accordance with the instructions provided by the damper manufacturer.

5. **Ceiling Damper*** — Max nom area, 324 sq in. Max square size, 18 in. by 18 in. rectangular sizes not to exceed 324 sq in. with a max width of 18 in. Max damper height is 14 in. Installed in accordance with manufacturers installation instructions provided with the damper. Max damper openings not to exceed 162 sq in. per 100 sq ft of ceiling area.

6. Furring Channels—Oriented channels, nominal 1/2 in. (2.5 cm) deep by 2-3/8 in. wide at the base and 1-3/8 in. wide at the top, formed from 0.020 in. thick galvne steel. Installed perpendicular to the trusses (Item 2), spaced a max of 16 in. OC on insulation (Item 3 or 3A) if used in the concealed space, or a max of 12 in. OC when insulation (Item 3 or 3A) is in the concealed space, draped over the resultant chanceloglycol-pipe wall-board-sheathing assembly. Two corners of each channel fastened 6 in. OC at wall-board butt-joints (3 in. from each end of wall-board). Channels oriented opposite at wall-board butt-joints. Channel splices overlapped 4 in. beneath wood trusses. Channels secured to each truss with 1-1/4 in. long T-5 screws.

7. **Gypsum Board**— One layer of non-SB or thick by 48 in. wide boards, installed with long dimension parallel to trusses. Attached to the rafter channels using 1 in. long Type S bugle-head screws. Screws spaced a max of 12 in. OC along both end-joints and in the field when no insulation (Item 3 or 3A) is fitted in the concealed space, or a max of 8 in. OC along both end-joints and in the field when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the rafter channels/gypsum wall-board ceiling membrane.

8. **Finishing System** — (Not Shown) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads, paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, non 3/32 in. thick mason's plaster may be applied to the entire surface of concrete mullhead. **Alternate Ceiling Membrane** — Not Shown

*Bearing the UL Classification Mark

- 4 (1) HR. ASSEMBLY UL# P522
1/4" = 1'-0"

FINISH FLOORING SYSTEM 5/2 FLOOR TOPPING MIXTURE
COMPRESSIVE STRENGTH 1500 psi min
THICKNESS 3/4" min WHEN USED W/
1/8"2 THICK WOOD STRUCTURAL
PANELS

SUB FLOORING SYSTEM 5/2 NOM. 1/8"2
THICK PLYWOOD MIN. GRADE "C-D" OR
SHEATHING FACE GRAIN OF PLYWOOD
PER. TO JOISTS W/JOISTS STAGGERED

STRUCTURAL WOOD MEMBERS 2"x4"
WOOD JOISTS @ 16" o/c FIRE STOPPED
FIRE STOPPED

RESILIENT CHANNELS FORMED OF 25
MBS ELECTROGALVANIZED STEEL
SPACED 24" o/c PERPEND. TO JOISTS
AND LOCATED 12" FROM EACH LONG
EDGE OF BASE LAYER WALLBOARD.

HALL BOARDED, GYPSUM
1ST LAYER GYPB. INSTALL
PERPENDICULAR TO JOISTS W/
BUTTED END JOINTS OF BOARDS
LOCATED AT THE JOISTS. NAIL TO
JOISTS W/8d CEMENT COATED
COOLER NAILS, SPACED 12" o/c. NAILS
TO BE 1/2" FROM THE BUTTED END
JOINTS. 2ND LAYER GYPB. SECURED
TO FURRING CHANNELS @ 12" o/c LONG
WALLBOARD SCREWS @ 12" o/c LONG
EDGE PER. TO THE CHANNELS W/
CENTER LINE OF BOARD LOCATED
UNDER A JOIST. LONG EDGE JOINTS

UNRESTRAINED ASSEMBLY RATING - 2 HR.
FINISH RATING - 71 MIN.

- 1 BASED ON UL# L511
1 1/2" = 1'-0"

~~Construction Set, Date: 8/11/2020~~

LEGEND

SET 1" IRON PIPE

RECORDED AS

PROPOSED BUILDING

EXISTING ASPHALT DRIVE

EXISTING BUILDING

EXISTING GRAVEL

OLD BUILDING LAYOUT

NEW BUILDING LAYOUT

BUILDING EXHIBIT

FIRST ADDENDUM TO EDGEWOOD CONDOMINIUMS

PARCEL LINES		
LINE NUMBER	LENGTH (FT)	DIRECTION
L1	54.43	S75° 35' 34"W
L2	71.54	N14° 25' 16"W

LOT CURVE TABLE							
CURVE NUMBER	LENGTH (FT)	RADIUS (FT)	Δ	CHORD LENGTH	CHORD BEARING	TAN IN	TAN OUT
C1	23.56	15.00	089°59'56"	21.21	N59° 24' 28"W	S75° 35' 34"W	N14° 24' 30"W
C2	315.40	233.07	077°32'11"	291.88	N53° 11' 21"W	N14° 25' 16"W	S88° 02' 33"W
C3	30.31	20.00	086°50'18"	27.49	N48° 33' 05"W	S88° 01' 47"W	N5° 07' 56"W
C4	83.30	313.00	015°14'53"	83.05	N12° 45' 22"W	N5° 07' 56"W	N20° 22' 49"W

N

0

100

200

Feet

SCALE: 1"=100'

CARDINAL ENGINEERING LLC

DESIGNING IN TRUE DIRECTIONS

PO BOX 281 - 1200 LA SALLE ST.

LAKE GENEVA, WI 53147

262-757-8776

CARDINALENGINEERINGWI.COM

DATE: 10/13/2020

JOB No. 20391

SHEET 1 OF 1

RESOLUTION 2020-56

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW
FOR THE MULTI-TENANT BUILDING;
GREY FOX HOLDINGS, APPLICANT**

704 CARDINAL LN UNIT 1; PARCEL MUKV 2091-989-098

704 CARDINAL LN UNIT 2; PARCEL MUKV 2091-989-099

704 CARDINAL LN UNIT 3; PARCEL MUKV 2091-989-100

704 CARDINAL LN UNIT 4; PARCEL MUKV 2091-989-101

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval of a multi-tenant industrial/warehouse building, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Grey Fox Holdings, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for multi-tenant industrial/warehouse building based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. Window grids should match original final plans.
2. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
3. Prior to obtaining any building permits, the applicant must prepare an amendment to the Edgewood Meadows Condominium and obtain approval of the same. Following approval, the amendment must be recorded with the Waukesha County register of deeds office.
4. The applicant must obtain all required building permits within nine (9) months of this date, and start construction within six (6) month of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. If the approved plans med to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 21st day of October 2020.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk-Treasurer

Date: October 7, 2020

To: Village of Mukwonago Plan Commission

From: Tim Schwecke, AICP, Consulting Planner

Subject: Condo amendment for Building 14 in Edgewood Meadows Condominium; Grey Fox Holdings, applicant (Wayne Foster and Joe Orendorf)

Meeting: October 13, 2020 Plan Commission meeting

Location 704 Cardinal Lane (Building #14 Edgewood Meadows Condominium)

General description Grey Fox Holdings has submitted building plans for Building #14 in Edgewood Meadows Condominium. The footprint of the new building is different than the original.

As a result, the condo plat needs to be amended. The Village Engineer will verify the proposed amendment complies with all applicable surveying requirements.

Review procedures With regard to condo plat revisions, the Plan Commission is advisory to the Village Board.

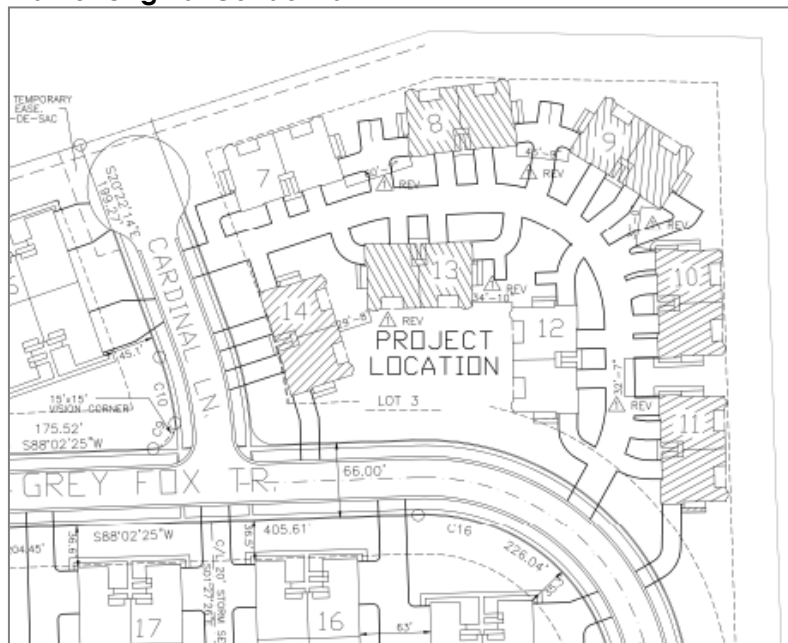
Potential motion for approval:

Recommend to the Village Board the approval of Resolution 2020-57 as drafted, including the conditions.





Attachments:

1. Amendment, dated 7-27-2020
2. Resolution 2020-57

Part of Original Condo Plat



LEGEND

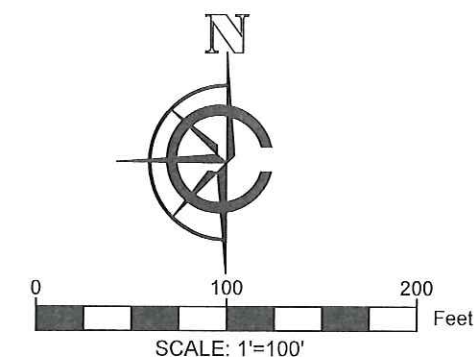
○	SET 1" IRON PIPE
(XX)	RECORDED AS
	PROPOSED BUILDING
	EXISTING ASPHALT DRIVE
	EXISTING BUILDING
	EXISTING GRAVEL

PROPOSED BUILDING EXHIBIT

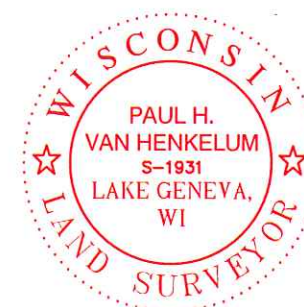
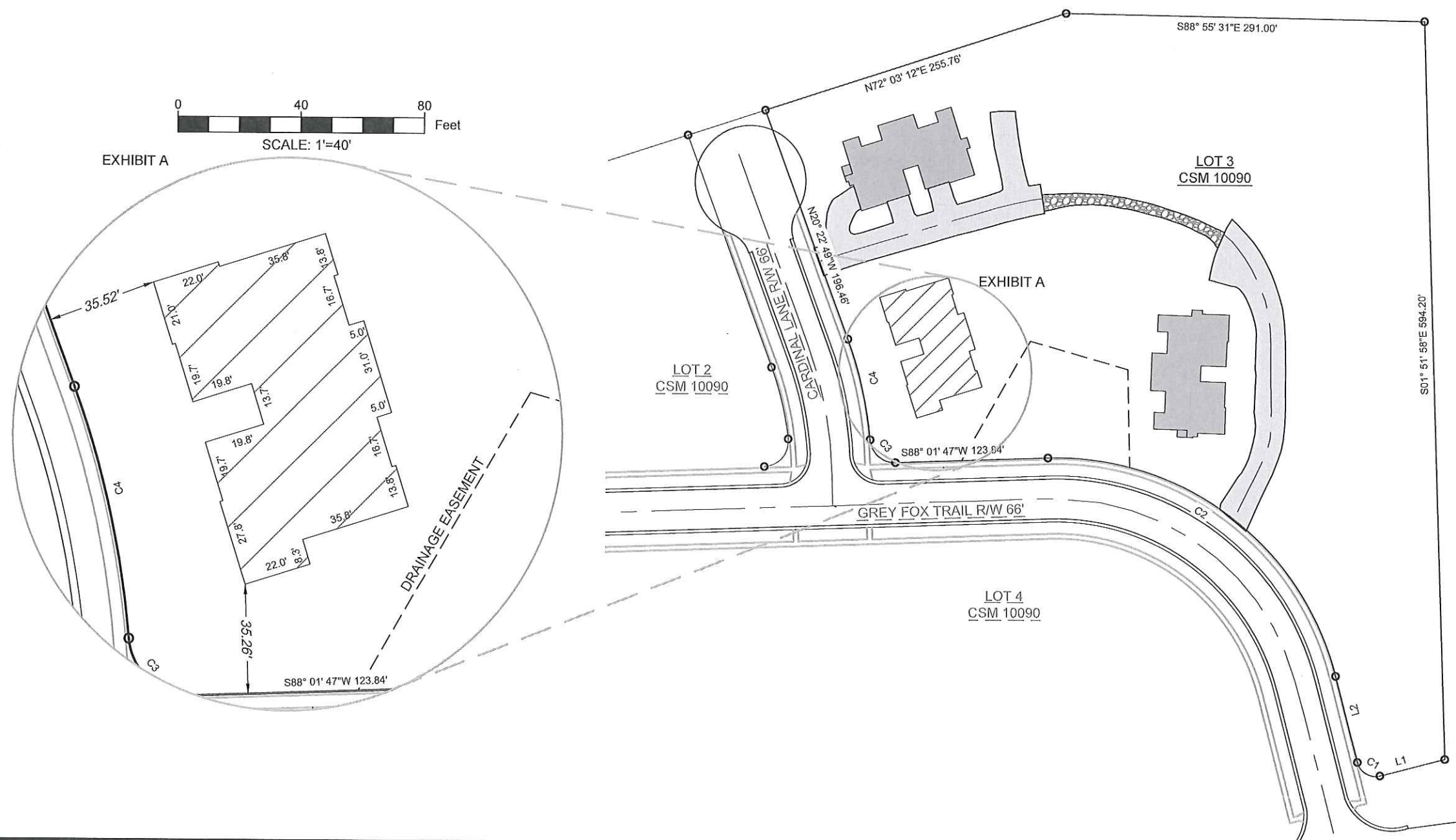
FIRST ADDENDUM TO EDGEWOOD CONDOMINIUMS

PARCEL LINES		
LINE NUMBER	LENGTH (FT)	DIRECTION
L1	54.43	S75° 35' 34"W
L2	71.54	N14° 25' 16"W

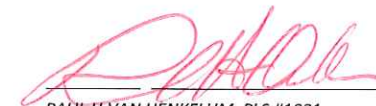
LOT CURVE TABLE							
CURVE NUMBER	LENGTH (FT)	RADIUS (FT)	Δ	CHORD LENGTH	CHORD BEARING	TAN IN	TAN OUT
C1	23.56	15.00	089°59'56"	21.21	N59° 24' 28"W	S75° 35' 34"W	N14° 24' 30"W
C2	315.40	233.07	077°32'11"	291.88	N53° 11' 21"W	N14° 25' 16"W	S88° 02' 33"W
C3	30.31	20.00	086°50'18"	27.49	N48° 33' 05"W	S88° 01' 47"W	N5° 07' 56"W
C4	83.30	313.00	015°14'53"	83.05	N12° 45' 22"W	N5° 07' 56"W	N20° 22' 49"W



- NOTE:
1. BASIS OF BEARING: THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NAD-83, SOUTH ZONE.
 2. FIELD WORK COMPLETED JULY 23, 2020
 3. BUILDING SURVEYED TO THE EXTERIOR OF SIDING.
 4. FIELD CREW CHIEF: LOGAN RANDLE



SURVEYOR:
PAUL H. VAN HENKELUM, PLS
CARDINAL ENGINEERING LLC


PAUL H VAN HENKELUM, PLS #1931
DATE 7/24/2020



CARDINAL ENGINEERING LLC
DESIGNING IN TRUE DIRECTIONS
PO BOX 281 - 1200 LA SALLE ST.
LAKE GENEVA, WI 53147
262-757-8776
CARDINALENGINEERINGWI.COM

DATE: 07/27/2020 JOB No. 20391
SHEET 1 OF 1

RESOLUTION 2020-57

**RESOLUTION APPROVING AMENDMENT
OF EDGEWOOD MEADOWS CONDOMINIUM
GREY FOX HOLDINGS, APPLICANT**

WHEREAS, pursuant to Chapter 45 of Municipal Code, known as the Land Division Ordinance, an application to amend the Edgewood Meadows Condominiums in the Village of Mukwonago, was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application was submitted by Grey Fox Holdings and relates to the building footprint for Building #14, and

WHEREAS, the proposed revision has been reviewed and recommended by the Village Plan Commission, finding that this is in substantial compliance and conforms to Village zoning of the property, and further finding that conditional approval of this amendment will require subsequent approvals of construction drawings and documents before development of the property will commence, and

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin, the Village Board hereby approves the proposed amendment of Edgewood Meadows Condominium submitted by Grey Fox Holdings.

NOW, THEREFORE, BE IT FURTHER RESOLVED approval of the Amended Plat shall be subject to the following conditions:

1. The Village Engineer must verify the proposed amendment complies with all applicable surveying and land division requirements.

Passed and dated this 21st day of October 2020.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk

Date: October 7, 2020

To: Village of Mukwonago Plan Commission

From: Tim Schwecke, AICP, Consulting Planner

Subject: First amendment of SPAR approval for Kay's Academy of Dance located at 715 Main Street

Meeting: October 13, 2020 Plan Commission meeting

Location 715 Main Street

Previous approval The Village Board previously approved Resolution 2019-81 authorizing the development of the property for commercial purposes.

General description The petitioner has submitted a request to not install the dumpster enclosure as required by the approval (Section 6(b)). At the time of initial review, the petitioner had intentions of leasing the bottom level to a restaurant/café. That did not happen. According to the owner, the trash/recyclables from the existing business can be handled in hand carts which are kept next to the building on the north side. Currently there are two carts for trash and two carts for recyclables.

In the event, a dumpster is needed to handle the trash and recyclables in the future, the property owner will be required to install the trash enclosure.

Public notice Aside from being included on the meeting agenda, no other public notice is required.

Potential motion Recommend to the Village Board the approval of Resolution 2020-58, which amends Resolution 2020-081.

Attachments:

1. Resolution 2018-81
2. Approved site plan
3. Resolution 2020-58

RESOLUTION 2018-81

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW FOR
CONSTRUCTION OF A RETAIL/OFFICE BUILDING;
PIROUETTE PROPERTIES, APPLICANTS
715 MAIN STREET**

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval to construct a retail/office building with a dance studio as the principal tenant, a permitted use within the B-1, Community Business District, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Kay Johnson of Pirouette Properties, and

WHEREAS, a retail/office building with a dance studio as the principal tenant is a permitted use within the B-1, Neighborhood Business District, and the Multi-Purpose Perimeter Sub-District of the Village Center Overlay Zoning District in which the subject property is located, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for construction of a retail/office building with a dance studio as the principal tenant at 715 Main Street (also County Trunk Highway ES), based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. Site Plan and Architectural Review approval for the redevelopment of 715 Main Street on behalf of Pirouette Properties, LLC shall be subject to all plans and information submitted by the applicant, Jendusa Design & Engineering and Lynch & Associates Engineering Consultants, LLC, with all plans and information on file in the office of the Zoning Administrator. The plans may be further modified to conform to other conditions of approval; the building and floor plans may be modified with the approval of the Zoning Administrator and Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the site shall remain unchanged.
2. Pursuant to Section 100-153 (i) (6) of the Municipal Code (Village Center Overlay Zoning District Standards), the approved plans recognize the Plan Commission approved a reduction of the width of driveway widths and parking stall sizes to the widths and sizes as shown on the approved site plan.
3. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:
 - a. All final site development plans shall be consistent with the plans noted in Condition No. 1 and as modified pursuant to points listed within this Condition No. 3.

- b. Approval of the site construction and building plans by the Fire Chief, which may include, but are not limited to, Knox Box and notification requirements, internal fire suppression, external fire department connection location and hydrant locations.
 - c. Approval of the site construction plans by the Utilities Director, especially approval of construction drawings to connect to Village sanitary sewer and water supply.
 - d. Approval of building plans by the Supervisor of Inspections after receipt of approval of building plans by the State of Wisconsin.
 - e. The Supervisor of Inspections, the Utilities Director, the Public Works Director and the Village Engineer shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan. The Erosion Control Plan shall conform with Wisconsin Department of Natural Resources Technical Standards 1053 and 1067, shall conform with the email from the Village Engineer dated December 11, 2018, and shall conform to all other Federal, State and Village requirements for site engineering, grading and utility connections.
 - f. Approval by the Zoning Administrator of a north property line fence design, dumpster enclosure detail, final landscape plan and final site lighting plan.
 - g. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties, as approved by the Zoning Administrator.
 - h. Approval of directional, no parking signs and other on-site traffic control signs locations by the Police Chief, which also may include pavement markings.
 - i. Submittal to the Zoning Administrator of written approval from the Waukesha Department of Public Works for access approval to any modification to existing driveways with County Trunk Highway ES (Main Street) and to include written approval for any driveway or utility work for site construction to occur within the county right-of-way.
4. Furthermore, in addition to the requirements within Condition #3, before any site construction all Village Department Heads shall verify in writing they have approved the final plans and drawings within their purview; a pre-construction meeting shall be held with the applicant's representatives and contractors, and Village Department Heads and representatives; and all required fees owed by the applicant shall be paid to the Village.
5. Prior to temporary occupancy issuance, if needed prior to final occupancy permit, the following shall occur:
 - a. Completion of all site grading in accordance with submitted and approved plans.
 - b. Completion of the building in accordance with approved plans and all applicable codes.
 - c. Completion of paving of driveways and parking lots, including parking space pavement markings and all other pavement markings, and installation of on-site traffic control signs.
 - d. Completion of all utility connections.
6. Prior to final occupancy permit, which shall be issued no later than 120 days after any temporary occupancy permit, the following shall occur:
 - a. Completion of all items required in Condition No. 5.
 - b. Installation of the north property line fence, dumpster enclosure, site lighting and site landscaping, as shown on approved plans.
7. All on-site signs (freestanding and wall signs) shall be approved by separate review and permit.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19th day of December 2018.

VILLAGE OF MUKWONAGO

By: Fred Winchowky
Fred Winchowky, Village President

Attest: Linda Gourdoux
Linda Gourdoux, Village Clerk
Deputy

ACCEPTANCE

This site plan and architectural review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: Fred Winchowky
Representative

Pirouette Properties

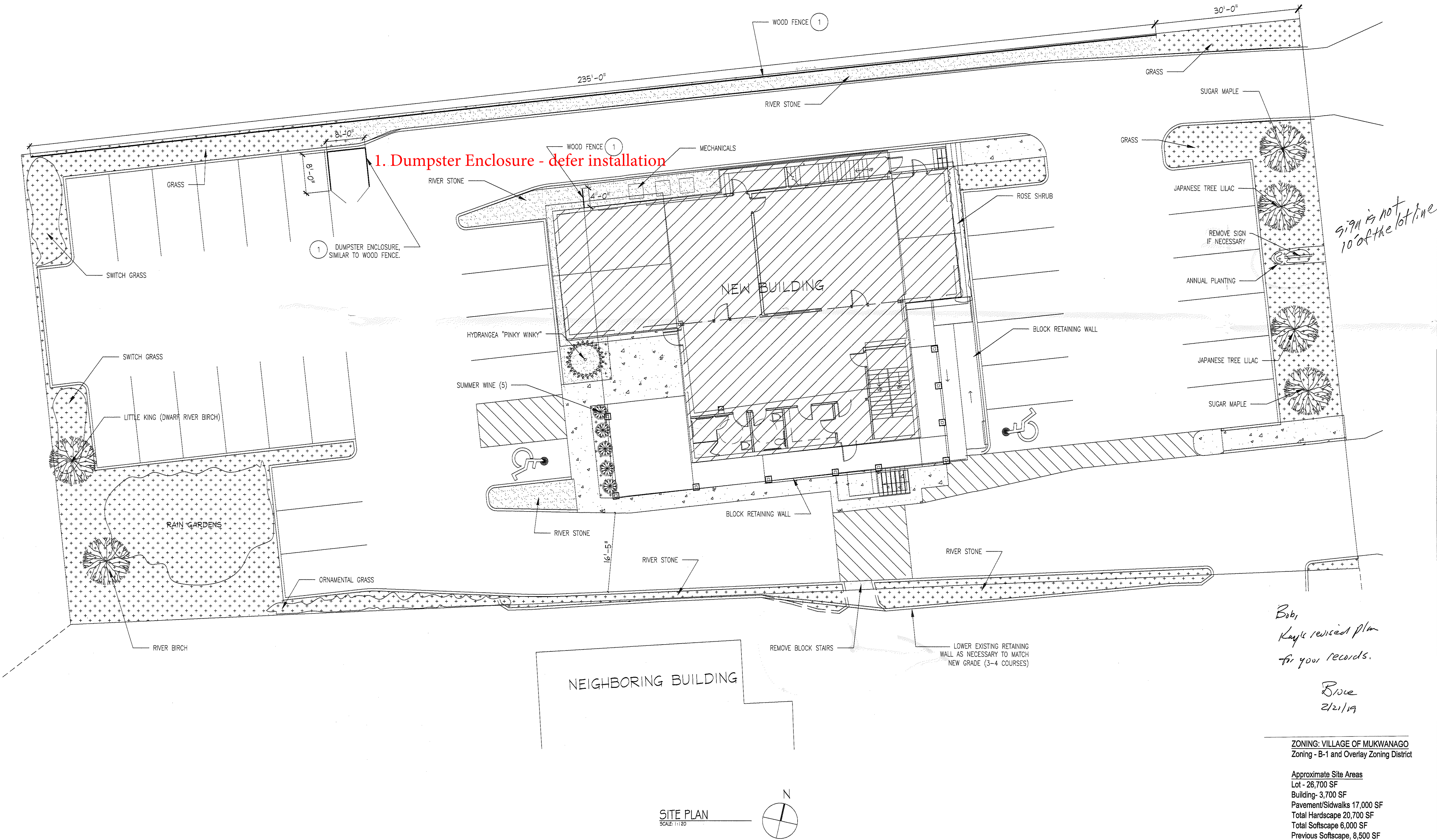
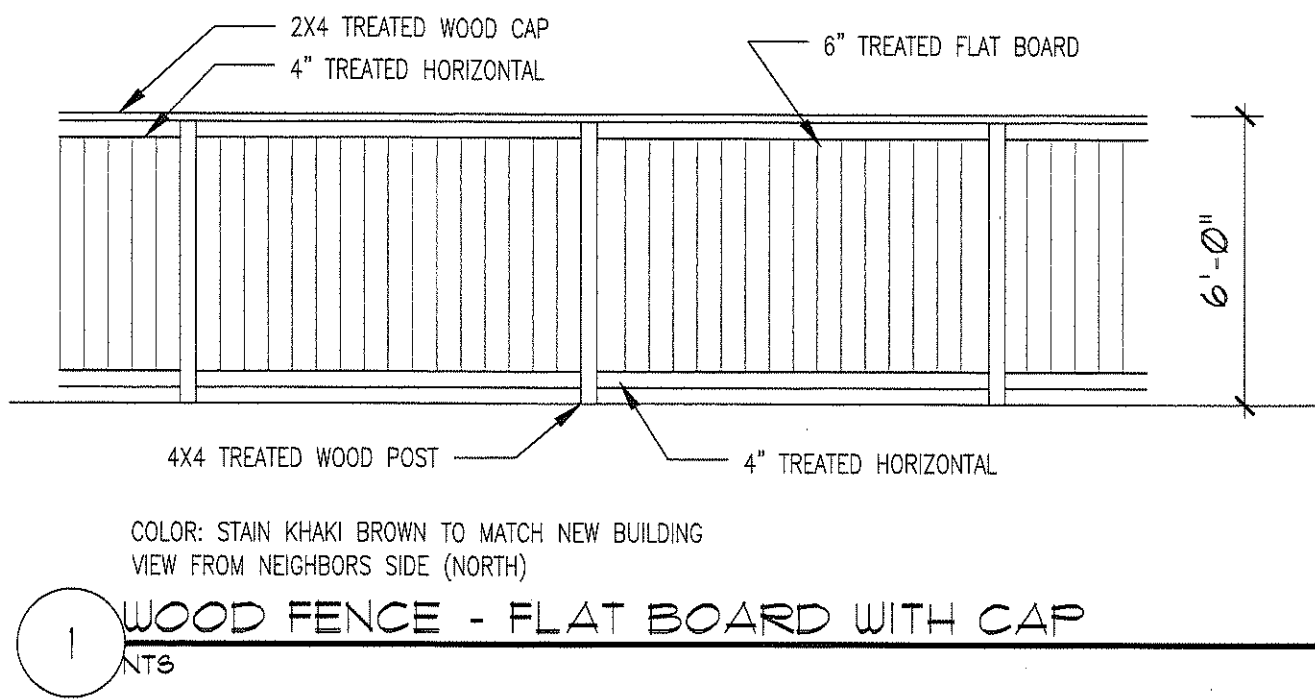
By: Kay Johnson
Agent

Print Name: Kay Johnson

First Amendent of SPAR Approval

Species	Cultivar	Common Name	Size	Area/Qty
Acer Saccharum	Green Mountain	Sugar Maple	2-1/2" B/B	2
Betula Nigra	Heritage	River Birch	2-1/2" B/B	1
Syringa Reticulata	Ivory Silk	Japanese Tree Lilac	2-1/2" B/B	2
Betula Nigra	Little King	Dwarf River Birch	2-1/2" B/B	1
Hydrangea Paniculata	Pinky Winky	Panicle Hydrangea	#5 container	1
Physocarpus	Summer Wine	Ninebark	#3 container	5
Rosea	Home Run	Shrub Rose	#3 container	6
Panicum Virgatum	Northwind	Switch Grass	#1 container	210 sf
Calamagrostis Acutiflora	Karl Foerstes	Ornamental Grass	#1 container	110 sf
Rain Garden				
Carex Vulponideoa		Wetland Sedges	200 2x2 plugs	750 sf

Plant Selection by: Herb Rassmussen - 414-791-8887



JENDUSA
INC
ARCHITECTS & ENGINEERS
4615 Vettelson Rd Ste 200
Hartland, WI 53029
P262-264-6340
F866-326-1552
Wjendusaeng.com

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written consent.

REVISIONS

Kay's Academy
of Dance

715 Main Street
Mukwonago, WI 53149

SHEET TITLE
LANDSCAPE PLAN
Revised Plan.
Approved 2/21/19.
[Signature]
Zoning Administrator

PROJECT NO.
18-5549

DATE
2.19.19

SCALE
As Noted

CHECKED BY

DRAWN BY
TJF

SHEET
L1.0

RESOLUTION 2020-58

**RESOLUTION APPROVING AMENDED
SITE PLAN AND ARCHITECTURAL REVIEW FOR
PIROUETTE PROPERTIES, APPLICANTS
715 MAIN STREET; PARCEL MUKV 1976-205**

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application to amend Resolution 2018-81 site plan and architectural review has been filed for the approval to not construct a trash enclosure, application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Kay Johnson of Pirouette Properties, and

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the amended site plan and architectural review for 715 Main Street (also County Trunk Highway ES), based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. The property owner is not required to install the trash enclosure as depicted on the approved site plan at this time.
2. The property owner must however install the enclosure when a dumpster is need to handle the trash and recyclables. In this regard, the owner will do so upon written request of the Plan Commission, consistent with the timeline established in such notice.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19th day of December 2018.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk

ACCEPTANCE

This site plan and architectural review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: _____
Representative

Pirouette Properties

By: _____
Agent

Print Name: _____

Accounts Payable Cover Sheet

Report:	Period or corresponding report date		
Village Accounts Payable	Check Run 10/08/2020	\$	335,215.70
Library Accounts Payable		\$	13,386.09
Spectrum (ach withdrawal)		\$	3,009.88
WE Energies (ach withdrawal)		\$	35,027.48
US Bank (ach withdrawal)		\$	12,161.57
Court Checks		\$	6,423.70
Manual Checks or E-checks issued	9/2/2020	\$	8,429.97
Manual Checks or E-checks issued	9/14/2020	\$	154.75
Manual Checks or E-checks issued	9/15/2020	\$	130.84
Manual Checks or E-checks issued	9/17/2020	\$	81,660.43
Manual Checks or E-checks issued	9/18/2020	\$	85.37
Manual Checks or E-checks issued	9/22/2020	\$	3,114.00
Manual Checks or E-checks issued	9/23/2020	\$	52,067.35
Manual Checks or E-checks issued	9/24/2020	\$	30,088.48
Manual Checks or E-checks issued	9/28/2020	\$	50,000.00
Manual Checks or E-checks issued	9/30/2020	\$	6,827.30
Total for Approval:		\$	<u><u>637,782.91</u></u>

The preceding list of bills payable was approved for payment

Date: _____

Approved by: _____

10/01/2020 02:03 PM
User: mschneider
DB: Mukwonago

PENDING VILLAGE BOARD REVIEW FOR MUKWONAGO
EXP CHECK RUN DATES 10/08/2020 - 10/08/2020
UNJOURNALIZED OPEN
BANK CODE: GEN - CHECK TYPE: PAPER CHECK

Page: 1/13

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: 10-33 VEHICLE SERVICES, LLC				
1683	EQUIPMENT AND SETUP OF NEW SQUAD #28,	20 430-5700-571100	3,720.51	POLICE
1693	EQUIPMENT FOR NEW SQUAD CAR	430-5700-571100	6,128.12	POLICE
TOTAL VENDOR 10-33 VEHICLE SERVICES, LLC			9,848.63	
VENDOR NAME: AIRGAS USA LLC				
9104796886	EMS SUPPLIES	150-5231-531100	515.71	FIRE
TOTAL VENDOR AIRGAS USA LLC			515.71	
VENDOR NAME: ALSCO				
IMIL1606401	SEPT 10TH MAT CLEANING SERVICE	100-5211-539400	43.89	POLICE
IMIL1611016	SEPTEMBER 24 MAT CLEANING SERVICE	100-5211-539400	43.89	POLICE
TOTAL VENDOR ALSCO			87.78	
VENDOR NAME: AM TOWING				
W27608	WWTF VACTOR REPAIR	620-8030-531000	3,171.98	UTILITIES
TOTAL VENDOR AM TOWING			3,171.98	
VENDOR NAME: AT & T MOBILITY				
287291370101X09152	(SEPTEMBER CELLULAR AND SQUAD AIRCARD BIL	100-5211-522500	580.89	POLICE
TOTAL VENDOR AT & T MOBILITY			580.89	
VENDOR NAME: AUGUST WINTER & SONS INC				
22364	WWTF CROSS CONNECTION BACK FLOW TESTING	620-8030-531000	875.00	UTILITIES
TOTAL VENDOR AUGUST WINTER & SONS INC			875.00	
VENDOR NAME: BOUND TREE MEDICAL LLC				
83782809	EMS SUPPLIES	150-5231-531100	16.50	FIRE
83787370	EMS SUPPLIES	150-5231-531100	28.62	FIRE
TOTAL VENDOR BOUND TREE MEDICAL LLC			45.12	
VENDOR NAME: C & M AUTO PARTS INC				
6079-324949	TORO BELT	100-5324-539500	11.81	DPW
6079-324967	OIL FILTERS	100-5324-539500	12.57	DPW
6079-324184	TORO 5910 PARTS	100-5324-539500	10.18	DPW
6079-314643	BATTERIES FOR A3452	150-5231-539500	259.98	FIRE
6079-314644	TORO 5910 PARTS	100-5324-539500	49.48	DPW
6079-314670	TRUCK #14 FILTERS	100-5324-539500	74.95	DPW
6079-314710	TRACTOR PARTS	100-5324-539500	239.92	DPW
6079-314711	TRACTOR PARTS	100-5324-539500	(16.49)	DPW
6079-314767	OIL FILTER	100-5324-539500	4.39	DPW
6079-315161	EQUIPMENT PARTS	100-5324-539500	26.75	DPW
6079-315185	JD TRACTOR PARTS	100-5324-539500	76.98	DPW
6079-315364	ZERO TURN FILTERS	100-5324-539500	12.99	DPW
6079-315384	JD TRACTOR PARTS	100-5324-539500	10.58	DPW
6079-315408	TRUCK #5 OIL FILTER	100-5324-539500	14.99	DPW
6079-317538	SQD #34 - NEW BATTERY	100-5212-539500	129.99	POLICE
TOTAL VENDOR C & M AUTO PARTS INC			919.07	
VENDOR NAME: CENTRAL OFFICE SYSTEMS				

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: CENTRAL OFFICE SYSTEMS					
69549302	LEASE PAYMENT	100-5142-531200	23.10	165.00	ALLOCATE
		150-5221-531100	21.45		
		220-5140-531200	1.65		
		410-5363-531200	3.30		
		440-5511-531200	8.25		
		500-5344-531200	1.65		
		610-6902-690300	54.45		
		620-8400-851000	51.15		
69551726	COPIER INVOICE	150-5221-531100	92.00	92.00	FIRE
TOTAL VENDOR CENTRAL OFFICE SYSTEMS				257.00	
VENDOR NAME: CENTRALOFFICE SYSTEMS					
IN227843	SEPTEMBER COPY MACHINE USAGE INVOICE (13	100-5211-521900	142.68	142.68	POLICE
TOTAL VENDOR CENTRALOFFICE SYSTEMS				142.68	
VENDOR NAME: CINTAS					
4062041351	UNIFORM SERVICE	610-6920-693000	39.75	79.75	UTILITIES
		620-8010-827000	40.00		
4062041370	STAFF UNIFORMS	100-5323-531100	98.52	98.52	DPW
4061306820	SATFF UNIFORMS	100-5323-531100	98.52	98.52	DPW
4061306828	UNIFORM SERVICE	610-6920-693000	39.75	79.75	UTILITIES
		620-8010-827000	40.00		
TOTAL VENDOR CINTAS				356.54	
VENDOR NAME: CITY OF MUSKEGO					
2020 JULY BOTS	2020 JULY BOTS ALCOHOL ENFORCEMENT/SAFET	100-4300-435500	253.52	253.52	POLICE
TOTAL VENDOR CITY OF MUSKEGO				253.52	
VENDOR NAME: CITY OF NEW BERLIN					
2020 JULY BOTS	2020 JULY BOTS ALCOHOL ENFORCEMENT/SAFET	100-4300-435500	1,274.04	1,274.04	POLICE
TOTAL VENDOR CITY OF NEW BERLIN				1,274.04	
VENDOR NAME: CIVITEK CONSULTING					
61-03-02	LYNCH SIGN REPLACEMENT	100-0000-211400	78.40	78.40	FINANCE
61-03-03	BLUE BAY REDEVELOPMENT	100-0000-211400	107.80	107.80	FINANCE
61-03-09	HILL COURT MULTI-TENANT	100-0000-211400	254.80	254.80	FINANCE
61-03-04	MOMMSEN CSM REVIEW	100-0000-211400	107.80	107.80	FINANCE
61-003-1	BEAR PASS	100-0000-211400	215.60	215.60	FINANCE
61-03-06	200 GRAND AVE	100-0000-211425	205.80	205.80	FINANCE
61-03-05	POINTE APRATMENTS SIGN REVIEW	100-0000-211425	78.40	78.40	FINANCE
61-03-07	VILLAS AT CHAPMAN FARMS	100-0000-211425	88.20	88.20	FINANCE
61-03-08	VAN BUREN CBRF	100-0000-211400	1,038.80	1,038.80	FINANCE
61-03-10	MISC PLANNER SERVICES	100-5632-521900	2,665.60	2,665.60	FINANCE
TOTAL VENDOR CIVITEK CONSULTING				4,841.20	
VENDOR NAME: COLUMBIA SOUTHERN UNIVERSITY					

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: COLUMBIA SOUTHERN UNIVERSITY					
BCJ 4101	OFFICER KUBIAK'S TUITION FOR CLASS #BCJ4100-5212-516300	705.00		705.00	POLICE
TOTAL VENDOR COLUMBIA SOUTHERN UNIVERSITY				705.00	
VENDOR NAME: CONLEY MEDIA, LLC					
3632410920 DPW	BEACH HOUSE BID AD	480-5700-584900	123.34	123.34	DPW
6362410920 PLANNER	PUBLICATION NOTICES	100-5632-531200	182.08	182.08	PLANNER
TOTAL VENDOR CONLEY MEDIA, LLC				305.42	
VENDOR NAME: CORE & MAIN LP					
N002218	WATER MAIN VALVE BOX REPAIR PARTS	610-6451-665100	(311.50)	(311.50)	UTILITIES
N015659	WATER MAIN VALVE COVER WRENCHES	610-6451-664100	120.00	120.00	UTILITIES
M941049	WATER MAIN VALVE BOX REPAIR	610-6451-665100	390.00	390.00	UTILITIES
TOTAL VENDOR CORE & MAIN LP				198.50	
VENDOR NAME: CORY KIRKPATRICK					
2020 UNIFORM ALLOW	2020 UNIFROM ALLOWAANCE - KIRKPATRICK	100-5212-534600	67.41	67.41	POLICE
TOTAL VENDOR CORY KIRKPATRICK				67.41	
VENDOR NAME: D. LA LICATA CONCRETE INC.					
2020 604 CRESTVIEW	SERVICE LATERAL REPAIR CONCRETE DRIVEWAY	610-6452-665200	2,500.00	2,500.00	UTILITIES
TOTAL VENDOR D. LA LICATA CONCRETE INC.				2,500.00	
VENDOR NAME: DAVID FORJAN OVERHEAD DOORS					
2020 SEPT 21	DOOR MAINTENANCE	100-5220-539400	680.00	680.00	FIRE
2020 SEPT 22	TRUDDLE HOSE	100-5220-539400	160.00	160.00	FIRE
TOTAL VENDOR DAVID FORJAN OVERHEAD DOORS				840.00	
VENDOR NAME: EBIX					
10507	EBIX INVOICE	150-5231-521900	3,109.99	3,109.99	FIRE
TOTAL VENDOR EBIX				3,109.99	
VENDOR NAME: EMERGENCY MEDICAL PRODUCTS					
2198235	AED BATTERY	150-5231-531100	117.86	117.86	FIRE
2200060	EMS SUPPLIES	150-5231-531100	407.83	407.83	FIRE
2201119	EMP GLOVE INVOICE- COVID-19	150-5231-531100	315.00	315.00	FIRE
2203004	EMS SUPPLIES	150-5231-531100	189.94	189.94	FIRE
2202704	EMS SUPPLIES	150-5231-531100	682.01	682.01	FIRE
2202705	EMS SUPPLIES	150-5231-531100	165.00	165.00	FIRE
TOTAL VENDOR EMERGENCY MEDICAL PRODUCTS				1,877.64	
VENDOR NAME: ENSA					
4890691	WWTF CONFINED SPACE RESPIRATOR MASKS RET 620-8010-827000	(2,337.15)		(2,337.15)	UTILITIES
TOTAL VENDOR ENSA				(2,337.15)	
VENDOR NAME: ENVIRONMENT CONTROL					
15538-613	VILLAGE HALL CLEANING	100-5160-521900	298.00	298.00	DPW
TOTAL VENDOR ENVIRONMENT CONTROL				298.00	
VENDOR NAME: EXCEL BUILDING SERVICES LLC					
3561	SEPTEMBER CLEANING SERVICE	100-5211-539400	975.00	975.00	POLICE

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VENDOR NAME: EXCEL BUILDING SERVICES LLC			
TOTAL VENDOR EXCEL BUILDING SERVICES LLC			975.00
VENDOR NAME: FAHRNER ASPHALT SEALERS			
8300007289	FLWX PATCH STREET SEALING	480-5700-584000 22,050.00	22,050.00 DPW
TOTAL VENDOR FAHRNER ASPHALT SEALERS			22,050.00
VENDOR NAME: FASTENAL COMPANY			
WIMUK84190	WWTF TOOLS FOR KENS TRUCK	620-8010-827000 69.67	69.67 UTILITIES
TOTAL VENDOR FASTENAL COMPANY			69.67
VENDOR NAME: FICKAU INC			
80044	EMS SUPPLIES-VACUUM SPLINT STRAPS	150-5231-531100 60.00	60.00 FIRE
80267	WWTF TOOL RACK METAL FOR SERVICE TRUCK	620-8010-827000 2.30	2.30 UTILITIES
TOTAL VENDOR FICKAU INC			62.30
VENDOR NAME: FREEMAN NEWSPAPER			
2020 SUBSCRIPTION	FREEMAN 12-MONTH SUBSCRIPTION RENEWAL	100-5141-531100 252.00	252.00 ADMIN
TOTAL VENDOR FREEMAN NEWSPAPER			252.00
VENDOR NAME: GALLS LLC			
016401905	1 SHORT SLEEVE UNIFORM SHIRT FOR NEW OFF	100-5212-534700 64.99	64.99 POLICE
016453632	1 BLAUER 3 SEASON DUTY JACKET WITH EMBRO	100-5212-534700 182.99	182.99 POLICE
TOTAL VENDOR GALLS LLC			247.98
VENDOR NAME: GATEWAY TECHNICAL COLLEGE			
25765	FIREFIGHTER CERTIFICATIONS	150-5223-533500 613.56	613.56 FIRE
25799	CERTIFICATION CREDIT	150-5223-533500 (453.56)	(453.56) FIRE
TOTAL VENDOR GATEWAY TECHNICAL COLLEGE			160.00
VENDOR NAME: GENERAL FIRE EQUIPMENT CO			
144017	3481 LIGHTING INSTALLATION	430-5700-571300 6,949.04	6,949.04 FIRE
TOTAL VENDOR GENERAL FIRE EQUIPMENT CO			6,949.04
VENDOR NAME: GRANICUS			
131014	AGENDA MANAGEMENT SOFTWARE SUBSCRIPTION	100-5142-521900 3,432.00	3,432.00 CLERK
131397	VIDEO STREAMING BOARD MEETINGS	100-5142-521900 12,113.74	12,113.74 CLERK
131438	ONE TIME ENCODER FEES - VIDEO STREAM MTG	100-5142-521900 4,500.00	4,500.00 CLERK
TOTAL VENDOR GRANICUS			20,045.74
VENDOR NAME: HAHN ACE HARDWARE			
2020 AUG UTILITIES	WATER MISC, CHEM. PUMP, LAT. REP., WWTF	610-6920-693300 15.17	630.18 UTILITIES
		610-6920-693000 136.35	
		610-6300-663200 36.08	
		610-6210-662500 47.32	
		610-6452-665200 60.17	
		620-8020-827000 46.82	
		620-8010-827000 288.27	

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VENDOR NAME: HAHN ACE HARDWARE				
2020 AUG DPW	MISC SUPPLIES	100-5160-531100	2.15	173.54 DPW
		100-5254-531100	19.03	
		100-5323-531100	27.45	
		100-5521-531100	120.63	
		100-5324-539500	4.28	
2020 AUG FIRE	ACE HAHN HARDWARE INVOICE	150-5222-531100	56.92	152.90 FIRE
		150-5221-531100	89.00	
		150-5231-531100	6.98	
2020 AUG PD	REPLACE AERATOR ON SINK	100-5211-539400	3.59	3.59 POLICE
2020 AUG PD	RETURN AERATOR FOR SINK (WRONG SIZE)	100-5211-539400	(3.59)	(3.59) POLICE
TOTAL VENDOR HAHN ACE HARDWARE				956.62
VENDOR NAME: HAMILTON MEDICAL				
23139391	VENTILATOR PM	150-5231-539500	1,133.70	1,133.70 FIRE
TOTAL VENDOR HAMILTON MEDICAL				1,133.70
VENDOR NAME: HAWKINS WATER TREATMENT				
4791254	WATER CHEMICALS FOR TREATMENT	610-6300-663100	2,008.90	2,008.90 UTILITIES
TOTAL VENDOR HAWKINS WATER TREATMENT				2,008.90
VENDOR NAME: HIPPENMEYER, REILLY, BLUM,				
49987	MEADOWLAND TOWN HOMES	100-0000-211425	52.50	52.50 FINANCE
49985	CHAPMAN	100-0000-211425	35.00	35.00 FINANCE
49989	MUKWONAGO PROPERTY GROUP	100-0000-211400	245.00	245.00 FINANCE
49986	HILL COURT / BRIOHN	100-0000-211400	1,907.50	1,907.50 FINANCE
49984	MISC MATTERS	100-5130-521900	5,207.00	5,207.00 FINANCE
49988	PROSECUTIONS	100-5130-521900	952.50	952.50 FINANCE
TOTAL VENDOR HIPPENMEYER, REILLY, BLUM,				8,399.50
VENDOR NAME: HORN FEEDS				
31267	FIELD MARKING LIME	100-5521-531100	108.00	108.00 DPW
TOTAL VENDOR HORN FEEDS				108.00
VENDOR NAME: HORN OIL				
2020 AUGUST	MONTHLY FUEL	100-5212-535100	1,809.24	5,455.37 ALLOCATE
		100-5241-535100	34.69	
		100-5324-535100	1,333.88	
		150-5222-535100	403.17	
		150-5231-535100	1,229.60	
		610-6920-693300	233.87	
		620-8010-828000	410.92	
TOTAL VENDOR HORN OIL				5,455.37
VENDOR NAME: JEFFERSON FIRE & SAFETY				
IN121903	BLITZFIRE	150-5222-539500	73.85	73.85 FIRE

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VENDOR NAME: JEFFERSON FIRE & SAFETY					
	TOTAL VENDOR JEFFERSON FIRE & SAFETY			73.85	
VENDOR NAME: JOHNSON & SONS PAVING, LLC					
14632	MILL AND FILL STREET PATCHING	480-5700-584000	2,142.00	2,142.00	DPW
14633	MILL AND FILL STREET PATCHING	480-5700-584000	15,500.00	15,500.00	DPW
	TOTAL VENDOR JOHNSON & SONS PAVING, LLC			17,642.00	
VENDOR NAME: KETTLE MORaine COMMUNITY RADIO INC					
00001	LOCAL RADIO MARKETING OF ELECTION EVENTS	100-5670-521900	800.00	800.00	ADMIN
	TOTAL VENDOR KETTLE MORaine COMMUNITY RADIO INC			800.00	
VENDOR NAME: KRIS STIEFEL					
2020 REFUND DOG LI		100-0000-243300	10.00	15.00	CLERK
		100-4620-431600	5.00		
	TOTAL VENDOR KRIS STIEFEL			15.00	
VENDOR NAME: LEMKE FENCE OF JEFFERSON					
15188	S. TOWER AND WELL 7 FENCE REPAIR	610-6450-665000	1,195.00	1,520.00	UTILITIES
		610-6920-693500	325.00		
	TOTAL VENDOR LEMKE FENCE OF JEFFERSON			1,520.00	
VENDOR NAME: LINDA VELLENDER					
MFD 13989	EBIX PATIENT REFUND ACCT# MFD 13989	150-0000-130450	91.28	91.28	FINANCE
	TOTAL VENDOR LINDA VELLENDER			91.28	
VENDOR NAME: LORI MIRE SSE					
MFD 427600	EBIX PATIENT REFUND ACCT# MFD 427600	150-0000-130450	20.00	20.00	FINANCE
	TOTAL VENDOR LORI MIRE SSE			20.00	
VENDOR NAME: MARYANN ZIEBERT					
MFD 4159	EBIX PATIENT REFIND ACCT# MFD 4159	150-0000-130450	1,386.21	1,386.21	FINANCE
	TOTAL VENDOR MARYANN ZIEBERT			1,386.21	
VENDOR NAME: MCDONOUGH SEPTIC					
I3743	PORTABLE RESTROOMS	100-5521-531100	90.00	90.00	DPW
I3744	PORTABLE RESTROOMS	100-5521-531100	90.00	90.00	DPW
I3745	PORTABLE RESTROOMS	100-5521-531100	180.00	180.00	DPW
I3746	PORTABLE RESTROOMS	100-5521-531100	180.00	180.00	DPW
I3747	PORTABLE RESTROOMS	100-5521-531100	270.00	270.00	DPW
I3748	PORTABLE RESTROOMS	100-5521-531100	270.00	270.00	DPW
I3749	PORTABLE RESTROOMS	100-5521-531100	270.00	270.00	DPW
	TOTAL VENDOR MCDONOUGH SEPTIC			1,350.00	
VENDOR NAME: MCMASTER-CARR					
44654402	WWTF DOOR REPAIRS	620-8010-827000	158.58	158.58	UTILITIES
43837827	LIFT STATION DOOR CLOSURES	620-8010-833000	(760.72)	(760.72)	UTILITIES
	TOTAL VENDOR MCMASTER-CARR			(602.14)	

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VENDOR NAME: MESSAGEUS.COM					
202440134	PHONE SERVICE	610-6920-692100	16.48	16.48	UTILITIES
TOTAL VENDOR MESSAGEUS.COM				16.48	
VENDOR NAME: MILWAUKEE PC INC - OCONOMOWOC					
45-018253	DISPOSAL OF 10 OLD MONITORS	100-5212-521900	100.00	100.00	POLICE
TOTAL VENDOR MILWAUKEE PC INC - OCONOMOWOC				100.00	
VENDOR NAME: MUKWONAGO AUTO PARTS - GENERAL					
097973	EQUIPMENT PARTS	100-5324-539500	15.49	15.49	DPW
113161	WWTF TRUCK TOOLS	620-8030-828000	54.54	54.54	UTILITIES
113235	WWTF PHOSPHORUS CHEMICAL TANK REPAIR	620-8010-833000	10.90	10.90	UTILITIES
113233	WWTF PHOSPHORUS CHEMICAL TANK REPAIR	620-8010-833000	34.72	34.72	UTILITIES
112722	NAPA INVOICE FOR CAR 1	150-5222-539500	13.98	13.98	FIRE
TOTAL VENDOR MUKWONAGO AUTO PARTS - GENERAL				129.63	
VENDOR NAME: MUKWONAGO POLICE DEPT					
2020 SEPTEMBER	SEPTEMBER 19 PETTY CASH USAGE	100-5211-531500	8.40	29.84	POLICE
		100-5212-521900	1.44		
		100-5212-531100	20.00		
TOTAL VENDOR MUKWONAGO POLICE DEPT				29.84	
VENDOR NAME: NORTH CENTRAL LABORATORIES					
443174	WWTF LAB SUPPLIES	620-8010-826000	269.06	269.06	UTILITIES
TOTAL VENDOR NORTH CENTRAL LABORATORIES				269.06	
VENDOR NAME: NORTHERN LAKE SERVICE INC					
386142	WWTF LAB TESTING	620-8010-826000	360.00	360.00	UTILITIES
386134	WWTF LAB TESTING	620-8010-826000	322.00	322.00	UTILITIES
385751	WWTF LAB TESTING	620-8010-826000	301.00	301.00	UTILITIES
386088	WWTF LAB TESTING	620-8010-826000	26.00	26.00	UTILITIES
386635	WWTF LAB TESTING	620-8010-827000	334.00	334.00	UTILITIES
386637	WWTF LAB TESTING	620-8010-826000	360.00	360.00	UTILITIES
386746	WWTF LAB TESTING	620-8010-826000	26.00	26.00	UTILITIES
TOTAL VENDOR NORTHERN LAKE SERVICE INC				1,729.00	
VENDOR NAME: OFFICE PRO					
0400002-001	COPY PAPER	100-5142-531100	13.02	92.97	ALLOCATE
		150-5221-531100	12.09		
		220-5140-531100	0.93		
		410-5363-531100	1.86		
		440-5511-531100	4.65		
		500-5344-531100	0.93		
		610-6902-690300	30.67		
		620-8300-840000	28.82		
0400807-001	INDEX TABS	100-5142-531100	25.70	25.70	CLERK
TOTAL VENDOR OFFICE PRO				118.67	
VENDOR NAME: PERFECTION AUTO BODY					

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VENDOR NAME: PERFECTION AUTO BODY				
24778	3471 PAINT REPAIRS	150-5222-539500	801.00	801.00 FIRE
TOTAL VENDOR PERFECTION AUTO BODY			801.00	
VENDOR NAME: PORT-A-JOHN, INC				
1318670-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00 DPW
TOTAL VENDOR PORT-A-JOHN, INC			88.00	
VENDOR NAME: PROHEALTH CARE MEDICAL ASSOC INC				
304803	ENTRY PHYSICALS	150-5221-521900	1,083.00	1,083.00 FIRE
TOTAL VENDOR PROHEALTH CARE MEDICAL ASSOC INC			1,083.00	
VENDOR NAME: PROHEALTH PHARMACY				
AUGUST 2020	EMS SUPPLIES MEDICATIONS	150-5231-531100	610.05	610.05 FIRE
TOTAL VENDOR PROHEALTH PHARMACY			610.05	
VENDOR NAME: PROVEN POWER INC				
02-346010	JD ZERO TURN PARTS	100-5324-539500	161.80	161.80 DPW
02-337204	JD COMPACT TRACTOR PARTS	100-5324-539500	343.71	343.71 DPW
02-347309	JD ZERO TURN BELT	100-5324-539500	68.27	68.27 DPW
TOTAL VENDOR PROVEN POWER INC			573.78	
VENDOR NAME: QUILL LLC				
10521136	4 PACK OF BLACK DRY ERASE MARKERS	100-5211-531100	4.99	4.99 POLICE
10527424	2 CASES OF COPY PAPER	100-5211-531100	55.98	55.98 POLICE
10497861	4 FLASH DRIVES (8GB) FOR EVIDENCE	100-5213-531100	20.12	20.12 POLICE
10379352	NITRLE GLOVES	100-5521-531100	10.12	10.12 DPW
10378987	DISINFECTANT WIPES	100-5512-531100	11.06	11.06 DPW
10385179	STATION SUPPLIES	150-5221-531100	19.74	19.74 FIRE
10380684	STATION SUPPLIES	150-5221-531100	185.94	185.94 FIRE
10379358	NITRLE GLOVES	100-5521-531100	10.12	10.12 DPW
10377109	STATION SUPPLIES	150-5221-531100	13.98	13.98 FIRE
TOTAL VENDOR QUILL LLC			332.05	
VENDOR NAME: R & R INSURANCE SERVICES				
2326590	2020 Q4 VEHICLE INSURANCE	100-5154-551400	274.91	25,420.00 FINANCE
		100-5154-551400	6,468.92	
		100-5154-551400	2,153.44	
		150-5221-522600	14,301.30	
		610-6920-692400	1,795.07	
		620-8400-853000	426.36	
2326591	220 Q3 WORKERS COMP INSURANCE	100-5154-551100	15,148.95	26,791.00 FINANCE
		100-5254-522600	87.50	
		150-5221-522600	6,834.66	
		410-5363-522600	87.50	
		440-5511-522600	242.98	
		500-5344-522600	87.50	
		610-6920-692400	1,811.71	
		620-8400-853000	2,490.20	

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VENDOR NAME: R & R INSURANCE SERVICES					
TOTAL VENDOR R & R INSURANCE SERVICES				52,211.00	
VENDOR NAME: REINDERS, INC.					
1849832-00	5910 TORO PARTS	100-5324-539500	558.00	558.00	DPW
1851372-00	TOTO LIGHT	100-5324-539500	96.47	96.47	DPW
1851397-00	TORO STERRING BUSHINGS	100-5324-539500	123.66	123.66	DPW
TOTAL VENDOR REINDERS, INC.				778.13	
VENDOR NAME: RICOH USA, INC					
34018628	COPIER LEASE PAYMENT	100-5142-531200	23.88	170.61	ALLOCATE
		150-5221-531100	22.18		
		220-5140-531200	1.71		
		410-5363-531200	3.41		
		440-5511-531200	8.53		
		500-5344-531200	1.71		
		610-6902-690300	56.30		
		620-8400-851000	52.89		
TOTAL VENDOR RICOH USA, INC				170.61	
VENDOR NAME: ROBERT GORECKI					
MFD 56600	EBIX PATIENT REFUND ACCT# MFD 56600	150-0000-130450	105.00	105.00	FINANCE
TOTAL VENDOR ROBERT GORECKI				105.00	
VENDOR NAME: RUEKERT & MIELKE, INC.					
133455	12-00000.100 General Services	100-5335-521900	6,917.94	12,313.34	FINANCE
		100-5670-521900	432.90		
		480-5700-585200	835.00		
		480-5700-521900	1,375.84		
		610-6920-692300	1,375.83		
		620-8400-852000	1,375.83		
133456	12-00000.300 Water Utility Services	610-6920-692300	3,127.35	3,127.35	FINANCE
133457	12-00000.400 Sewer Utility Services	620-8400-852000	2,267.54	2,267.54	FINANCE
133460	12-10063.210 2020 GIS Services - GIS Dat	610-6920-692300	680.00	1,446.60	FINANCE
		620-8400-852000	324.60		
		100-5344-521900	442.00		
133462	12-10075.300 WWTF Septage Receiving, Dig	620-0000-000110	2,309.37	2,309.37	FINANCE
133463	12-10081.300 Well 5 Iron Filter / Constr	610-0000-000109	168.00	168.00	FINANCE
133466	12-10086.300 Pick 'n Save Pond Improveme	480-5700-584800	1,637.12	1,637.12	FINANCE
133468	12-10104.300 Mukwonago Animal Hospital R	100-0000-211400	221.90	221.90	FINANCE
133471	12-10015.300 2019 Well & Well Pump Impro	610-6920-692300	75.50	75.50	FINANCE
133477	12-10128.300 River Park Estates Rehabili	480-5700-586100	6,758.48	6,758.48	FINANCE
133479	12-10131.100 Atkinson Pump Station Capac	620-8400-852000	8,036.00	8,036.00	FINANCE
133480	12-10133.300 CTH LO Sanitary Sewer Rehab	620-0000-000111	2,430.83	2,430.83	FINANCE
133481	12-10136.300 Traffic Counter Study	100-5335-521900	3,260.00	3,260.00	FINANCE
133482	12-10137.100 Hill Court Multi-Tenant Dev	100-0000-211400	1,047.75	1,047.75	FINANCE

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: RUEKERT & MIELKE, INC.				
133483	12-92041.486 2020 SCADA Service Work	610-6920-692300 1,360.48 620-8400-852000 1,360.48	2,720.96	FINANCE
133484	12-92082.208 Gateway District TID #3 Rel	480-5700-539900 8,882.00	8,882.00	FINANCE
133488	12-92190.210 Dam Failure Analysis / Mukw	480-5700-585200 801.25	801.25	FINANCE
133458	12-10044.300 BOX SELF STORAGE / CONSTRUC	100-0000-211425 445.70	445.70	FINANCE
133459	12-10057.100 EDGEWOOD APARTMENTS / REVIE	100-0000-211425 101.52	101.52	FINANCE
133467	12-10094.300 STORAGE WERKS MINI STORAGE	100-0000-211425 100.90	100.90	FINANCE
133469	12-10109.300 SUPER PRODUCTS DEVELOPMENT	100-0000-211425 241.15	241.15	FINANCE
133470	12-10110.100 KAY'S DANCE CENTER / DEVELO	100-0000-211425 144.05	144.05	FINANCE
133472	12-10116.300 THE POINTE APARTMENTS / ERO	100-0000-211425 100.90	100.90	FINANCE
133473	12-10018.300 TOUCHPAD ELECTRONICS / EROS	100-0000-211425 100.90	100.90	FINANCE
133474	12-10119.300 MALCOLM DRILLING / EROSION	100-0000-211425 268.32	268.32	FINANCE
133475	12-10120.300 PHANTOM LAKES PRESERVE / CO	100-0000-211425 227.21	227.21	FINANCE
133476	12-10125.300 FOX STREET TOWNHOMES / EROS	100-0000-211425 101.52	101.52	FINANCE
133478	12-10130.300 HITTMAN PROPERTY DEVELOPMEN	100-0000-211425 101.52	101.52	FINANCE
133485	12-92097.306 FAIRWINDS PHASE 5 CONSTRUCT	100-0000-211425 101.52	101.52	FINANCE
133486	12-92113.302 ORCHARDS OF MUKWONAGO SUBDI	100-0000-211425 1,248.73	1,248.73	FINANCE
133487	12-92136.302 CHAPMAN FARM / CHAPMAN VILL	100-0000-211425 20,450.89	20,450.89	FINANCE
133489	12-92191.103 PRO HEALTH EXPANSION / 2018	100-0000-211425 101.52	101.52	FINANCE
133490	12-10069.102 CHAPMAN FARMS PORTION OF VI	100-0000-211425 144.05	144.05	FINANCE
TOTAL VENDOR RUEKERT & MIELKE, INC.			81,484.39	
VENDOR NAME: SABEL MECHANICAL LLC				
20106	RIVERPARK LS REPAIR	620-8020-832000 10,104.60	10,104.60	UTILITIES
TOTAL VENDOR SABEL MECHANICAL LLC			10,104.60	
VENDOR NAME: SHERWIN-WILLIAMS				
4050-6	WELL 4 DOOR PAINT	610-6310-663500 101.72	101.72	UTILITIES
TOTAL VENDOR SHERWIN-WILLIAMS			101.72	
VENDOR NAME: SHRED-IT USA				
8180489241	2020 SEPTEMBER VH SHREDDING SERVICES	100-5141-531100 32.61 100-5142-531100 16.31 100-5632-531100 16.31	65.23	ALLOCATE
8180536371	SEPTEMBER INVOICE FOR SHREDDING SERVICE	100-5211-539500 67.05	67.05	POLICE
TOTAL VENDOR SHRED-IT USA			132.28	
VENDOR NAME: SIGNS & LINES				
47225		430-5700-571300 1,562.67	1,562.67	FIRE
TOTAL VENDOR SIGNS & LINES			1,562.67	
VENDOR NAME: SOMAR ENTERPRISES				
102030	NEW TIE BAR AND MPD COLLAR PINS FOR NEW	100-5212-534700 37.60	37.60	POLICE
TOTAL VENDOR SOMAR ENTERPRISES			37.60	
VENDOR NAME: STANLEY WALTER SEPTIC				
2-6893836976459	RIVER PARKS LS REPAIR BY PASS PUMPING.	620-8020-832000 1,250.00	1,250.00	UTILITIES
TOTAL VENDOR STANLEY WALTER SEPTIC			1,250.00	

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: SYNERGY SERVICE GROUP				
407464	TEST 13 WATER AND 6 WWTF FLOW METERS	610-6453-665300 348.95 620-8010-833000 161.05	510.00	UTILITIES
TOTAL VENDOR SYNERGY SERVICE GROUP			510.00	
VENDOR NAME: TACTICAL SOLUTIONS				
8133	ANNUAL CERTIFICATION OF DEPARTMENT RADAR	100-5212-521900 284.00	284.00	POLICE
TOTAL VENDOR TACTICAL SOLUTIONS			284.00	
VENDOR NAME: TEAMVIEWER				
2106167237	WATER / SEWER SCADA EXTERNAL CONTROL ANN	620-8400-851000 400.00 610-6920-693000 368.00	768.00	UTILITIES
TOTAL VENDOR TEAMVIEWER			768.00	
VENDOR NAME: THOMAS BOYLE				
MFD 8601	EBIX PATIENT REFUND ACCT# MFD 8601	150-0000-130450 106.83	106.83	FINANCE
TOTAL VENDOR THOMAS BOYLE			106.83	
VENDOR NAME: TTK ELECTRONICS				
140657	3488 TOUGHBOOK DOCKING STATION REPLACEME	150-5231-539500 960.00	960.00	FIRE
140663	EMS SUPPLIES	150-5231-531100 55.00	55.00	FIRE
TOTAL VENDOR TTK ELECTRONICS			1,015.00	
VENDOR NAME: TRACY SEALCOATING SERVICE LLC				
544	LIQUID ROAD STREET SEALING	480-5700-584000 24,999.00	24,999.00	DPW
TOTAL VENDOR TRACY SEALCOATING SERVICE LLC			24,999.00	
VENDOR NAME: UNEMPLOYMENT INSURANCE				
000010283985	UNEMPLOYMENT PODANY & PEREZ	100-5212-511000 426.22	426.22	FINANCE
TOTAL VENDOR UNEMPLOYMENT INSURANCE			426.22	
VENDOR NAME: UNITED STATES ALLIANCE FIRE PROTECT				
1046-F040560	INSPECTION	440-5511-539500 480.00	480.00	LIBRARY
1046-040562	DPW FIRE PROTECTION INSPECTION	100-5323-539500 330.00	330.00	DPW
1046-F040363	FIRE PROTECTION INSPECTION	100-5220-539400 330.00	330.00	DPW
1046-F040430	VH FIRE SUPPRESSION INSPECTION	100-5160-539500 430.00	430.00	DPW
1046-F040453	ANNUAL INSPECTION OF DEPARTMENT SPRINKLE	100-5211-521900 330.00	330.00	POLICE
TOTAL VENDOR UNITED STATES ALLIANCE FIRE PROTECT			1,900.00	
VENDOR NAME: US GEOLOGICAL SURVEY				
90842468	WWTF ADAPTIVE MANAGEMENT PROGRAM	620-8400-852000 800.00	800.00	UTILITIES
TOTAL VENDOR US GEOLOGICAL SURVEY			800.00	
VENDOR NAME: VANGUARD COMPUTERS INC				
51096	DOCKING STATION FOR CHIEF'S LAPTOP COMPU	100-5211-539500 127.59	127.59	POLICE
TOTAL VENDOR VANGUARD COMPUTERS INC			127.59	

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT	APPROVAL DEPARTMENT
VENDOR NAME: VELOCITY LLC				
2020044	WWTF SCADA COMPUTER REPAIR	620-8030-531000	225.00	225.00 UTILITIES
2020038	ALLOCATION OF VILLAGE-WIDE PHONES; MISC	610-6920-692100	13.12	900.00 FINANCE
		620-8400-851000	13.13	
		100-5323-522500	21.00	
		440-5511-522500	110.25	
		150-5221-522500	120.75	
		100-5211-522500	131.25	
		100-5120-522500	10.50	
		100-5141-522500	47.25	
		100-5142-522500	21.00	
		100-5241-522500	26.25	
		100-5632-522500	10.50	
		100-5141-522500	225.00	
		100-5241-522500	75.00	
		100-5141-522500	75.00	
2020040	IT INVOICE	150-5221-521900	225.00	225.00 FIRE
2020041	JULY 2020 IT SERVICES	100-5213-521900	150.00	150.00 POLICE
TOTAL VENDOR VELOCITY LLC			1,500.00	
VENDOR NAME: VERIZON WIRELESS				
9862759148	2020 SEPTEMBER CELL BILL ACCT# 885503900	150-5221-522500	20.76	275.92 MULTIPLE
		100-5323-522500	20.76	
		610-6920-692100	117.20	
		620-8400-851000	117.20	
9862759147	2020 SEPTEMBER CELL BILL ACCT# 885503900	100-5141-522500	133.86	698.27 MULTIPLE
		100-5241-522500	137.15	
		150-5221-522500	2.94	
		100-5211-522500	3.03	
		100-5323-522500	131.47	
		610-6920-692100	144.91	
		620-8400-851000	144.91	
9862759149	VERIZON INVOICE	150-5221-522500	361.03	361.03 FIRE
TOTAL VENDOR VERIZON WIRELESS			1,335.22	
VENDOR NAME: VILLAGE OF MUKWONAGO				

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: VILLAGE OF MUKWONAGO				
2020 Q3 UTILITY BII	2020 Q3 OCT QUARTERLY UTILITY BILLS	100-5521-522100	426.81	14,799.33 ALLOCATE
		610-6300-663200	108.26	
		100-5521-522100	97.66	
		100-5160-522100	621.42	
		610-6300-663200	183.01	
		150-5221-522100	716.82	
		610-6300-663200	183.01	
		100-5521-522100	571.82	
		440-5511-522100	634.22	
		100-5512-522100	161.26	
		100-5521-522100	193.61	
		610-6300-663200	183.01	
		100-5323-522100	1,101.59	
		100-5211-522100	557.82	
		100-5521-522100	140.06	
		620-8010-827000	8,735.94	
		610-6300-663200	183.01	
TOTAL VENDOR VILLAGE OF MUKWONAGO				14,799.33
VENDOR NAME: WANASEK CORP				
20-688	HYDRANT REPLACEMENT LABOR (2)	610-6454-665400	9,495.00	9,495.00 UTILITIES
TOTAL VENDOR WANASEK CORP				9,495.00
VENDOR NAME: WAUKESHA COUNTY EMERGENCY				
284	ID CARDS	150-5222-531100	2.25	2.25 FIRE
286	ID CARDS	150-5222-531100	0.75	0.75 FIRE
TOTAL VENDOR WAUKESHA COUNTY EMERGENCY				3.00
VENDOR NAME: WI RURAL WATER ASSOCIATION				
4015	WWTF CONFINED SPACE TRAINING	620-8400-854100	1,052.07	1,052.07 UTILITIES
TOTAL VENDOR WI RURAL WATER ASSOCIATION				1,052.07
VENDOR NAME: WISCONSIN CENTRAL				
9500216489	ANNUAL R/R CROSSING PERMIT	610-6920-693000	300.00	300.00 UTILITIES
TOTAL VENDOR WISCONSIN CENTRAL				300.00
VENDOR NAME: WISCONSIN IMAGING SOLUTIONS LLC				
AR46840	COPIER COSTS	610-6920-692100	71.89	71.89 UTILITIES
TOTAL VENDOR WISCONSIN IMAGING SOLUTIONS LLC				71.89
GRAND TOTAL:				335,215.70

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/11/2020	GEN	3(S)	QUILL LLC	WIPES	440-5511-531100	0.00
09/11/2020	GEN	30472	ALSCO	MATS & DUSTERS	440-5511-531100	56.65
09/11/2020	GEN	30473	AMERICA AQUARIA	FISH TANK MAINTENANCE	440-5511-531000	85.00
09/11/2020	GEN	30474	BAKER & TAYLOR INC.	BOOKS	440-5700-532800	1,677.99
09/11/2020	GEN	30475	BRODART	BOOKS	440-5700-532800	214.58
09/11/2020	GEN	30476	CENGAGE LEARNING	BOOKS	440-5700-532800	248.71
09/11/2020	GEN	30477	DYNAMIC AWARDS	MEMORIAL SIGN	440-5890-580600	35.00
09/11/2020	GEN	30478	ENGBERG ANDERSON INC	SPACE STUDY	440-5890-580600	3,499.50
09/11/2020	GEN	30479	FUN EXPRESS, LLC	PROGRAM SUPPLIES	440-5511-533100	76.87
09/11/2020	GEN	30480	GREAT EDUCATIONAL EXPERIENCES, LLC	STORYTIME IN THE PARK	440-5511-533100	150.00
09/11/2020	GEN	30481	GRUNAU COMPANY, INC	REPLACE PUMP	440-5511-539500	5,385.00
09/11/2020	GEN	30482	MICROMARKETING LLC	AUDIO BOOKS	440-5700-532900	304.96
09/11/2020	GEN	30483	MIDWEST TAPE	AUDIO BOOKS	440-5700-532900	519.87
09/11/2020	GEN	30484	MUREN SHAWNA	CHAIR YOGA AUGUST	440-5511-533100	50.00
09/11/2020	GEN	30485	OFFICE COPYING EQUIPMENT	7/12/20-8/11/20	440-5511-531000	236.10
09/11/2020	GEN	30486	RINDERLE DOOR CO	REPAIR PUSH PLATE	440-5511-539500	225.06
09/11/2020	GEN	30487	THE APPOINTED HOUSEWIFE	RESTROOM CLEANING	440-5511-531000	585.00
09/11/2020	GEN	30488	UNIQUE MANAGEMENT	PLACEMENTS	440-5511-531000	35.80
			TOTAL - ALL FUNDS	TOTAL OF 18 CHECKS		13,386.09

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INVOICE REGISTER REPORT FOR MUKWONAGO
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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized
Inv Ref#	Description	Entered By					Post Date
	GL Distribution						

09082020

42951	TIME WARNER CABLE	09/08/2020	09/14/2020	3,009.88	0.00	Paid	Y
	MONTHLY BILL 8/28-9/27/2020	rgallo					09/08/2020

100-5120-522500	TELEPHONE	80.39
100-5141-522500	TELEPHONE	89.57
100-5142-522500	TELEPHONE	161.62
100-5144-521900	PROFESSIONAL SERVICES	26.45
100-5211-522500	TELEPHONE	850.80
100-5241-522500	TELEPHONE	45.59
100-5323-522500	TELEPHONE	82.37
100-5512-522500	TELEPHONE	166.96
150-5221-522500	TELEPHONE	810.22
220-5140-522500	TELEPHONE	2.61
410-5363-522500	Telephone	5.21
440-5511-522500	TELEPHONE	596.85
500-5344-522500	Telephone	2.61
610-6920-692100	OFFICE SUPPLIES & EXPENSES	44.31
620-8400-851000	OFFICE SUPPLIES & EXPENSES	44.32

# of Invoices:	1	# Due:	0	Totals:	3,009.88	0.00
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00

Net of Invoices and Credit Memos:

3,009.88	0.00
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--- TOTALS BY GL DISTRIBUTION ---

100-5120-522500	TELEPHONE	80.39
100-5141-522500	TELEPHONE	89.57
100-5142-522500	TELEPHONE	161.62
100-5144-521900	PROFESSIONAL SERVICES	26.45
100-5211-522500	TELEPHONE	850.80
100-5241-522500	TELEPHONE	45.59
100-5323-522500	TELEPHONE	82.37
100-5512-522500	TELEPHONE	166.96
150-5221-522500	TELEPHONE	810.22
220-5140-522500	TELEPHONE	2.61
410-5363-522500	Telephone	5.21
440-5511-522500	TELEPHONE	596.85
500-5344-522500	Telephone	2.61
610-6920-692100	OFFICE SUPPLIES & EXPENSES	44.31
620-8400-851000	OFFICE SUPPLIES & EXPENSES	44.32

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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized
Inv Ref#	Description	Entered By					Post Date
GL Distribution							
--- TOTALS BY FUND ---							
	100 - GENERAL FUND			1,503.75	0.00		
	150 - FIRE/AMBULANCE FUND			810.22	0.00		
	220 - TID#3 - GENERAL			2.61	0.00		
	410 - RECYCLING FUND			5.21	0.00		
	440 - LIBRARY FUND			596.85	0.00		
	500 - STORM WATER UTILITY			2.61	0.00		
	610 - WATER UTILITY FUND			44.31	0.00		
	620 - SEWER UTILITY FUND			44.32	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	5120 - MUNICIPAL COURT			80.39	0.00		
	5140 - ADMINISTRATIVE & GENERAL			2.61	0.00		
	5141 - VILLAGE ADMINISTRATION/FINA			89.57	0.00		
	5142 - CLERK-TREASURER			161.62	0.00		
	5144 - ELECTIONS			26.45	0.00		
	5211 - POLICE ADMINISTRATION			850.80	0.00		
	5221 - FIRE ADMINISTRATION			810.22	0.00		
	5241 - BUILDING INSPECTOR			45.59	0.00		
	5323 - GARAGE			82.37	0.00		
	5344 - STORM SEWER			2.61	0.00		
	5363 - RECYCLING			5.21	0.00		
	5511 - LIBRARY SERVICES			596.85	0.00		
	5512 - MUSEUM			166.96	0.00		
	6920 - ADMINISTRATIVE & GENERAL EX			44.31	0.00		
	8400 - ADMINISTRATIVE & GENERAL			44.32	0.00		

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
20200916 43199	WE ENERGIES 6819-119-729 Hall 100-5160-522200	09/16/2020 rgallo 6819-119-729 Hall	10/02/2020	936.72 936.72	0.00	Paid	Y 09/28/2020
20200916 43200	WE ENERGIES 6819-119-729 Hall Gas 100-5160-522400	09/16/2020 rgallo 6819-119-729 Hall Gas	10/02/2020	12.68 12.68	0.00	Paid	Y 09/28/2020
20200916 43201	WE ENERGIES 0437-358-622 Flashers 100-5211-522200	09/16/2020 rgallo 0437-358-622 Flashers	10/02/2020	9.64 9.64	0.00	Paid	Y 09/28/2020
20200916 43202	WE ENERGIES 5000-725-767 PD Tower meter #05662 100-5211-522200	09/16/2020 rgallo 5000-725-767 PD Tower meter #05662	10/02/2020	44.36 44.36	0.00	Paid	Y 09/28/2020
20200916 43203	WE ENERGIES 8818-483-919 Tower Radio Bldg 100-5211-522200	09/16/2020 rgallo 8818-483-919 Tower Radio Bldg	10/02/2020	21.54 21.54	0.00	Paid	Y 09/28/2020
20200916 43204	WE ENERGIES 7410-051-890 Police 100-5211-522200	09/16/2020 rgallo 7410-051-890 Police	10/02/2020	1,122.52 1,122.52	0.00	Paid	Y 09/28/2020
20200916 43205	WE ENERGIES 8011-380-768 Police Garage 100-5211-522200	09/16/2020 rgallo 8011-380-768 Police Garage	10/02/2020	53.12 53.12	0.00	Paid	Y 09/28/2020
20200916 43206	WE ENERGIES 7879-450-073 Mukw Dam 100-5254-522200	09/16/2020 rgallo 7879-450-073 Mukw Dam	10/02/2020	21.54 21.54	0.00	Paid	Y 09/28/2020
20200916 43207	WE ENERGIES 3893-949-966 DPW Elec 100-5323-522200	09/16/2020 rgallo 3893-949-966 DPW Elec	10/02/2020	302.23 302.23	0.00	Paid	Y 09/28/2020
20200916 43208	WE ENERGIES 3608-115-165 DPW Gas 100-5323-522400	09/16/2020 rgallo 3608-115-165 DPW Gas	10/02/2020	24.65 24.65	0.00	Paid	Y 09/28/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
20200916 43209	WE ENERGIES 5001-021-384 Street Lights 100-5342-522200	09/16/2020 rgallo	10/02/2020	10,464.49	0.00	Paid	Y 09/28/2020
	5001-021-384 Street Lights			10,464.49			
20200916 43210	WE ENERGIES 8808-380-714 Street Lights 100-5342-522200	09/16/2020 rgallo	10/02/2020	2,913.84	0.00	Paid	Y 09/28/2020
	8808-380-714 Street Lights			2,913.84			
20200916 43211	WE ENERGIES 1438-746-449 Street Lights 100-5342-522200	09/16/2020 rgallo	10/02/2020	48.20	0.00	Paid	Y 09/28/2020
	1438-746-449 Street Lights			48.20			
20200916 43212	WE ENERGIES 0647-211-550 School Crossing Lights 100-5342-522200	09/16/2020 rgallo	10/02/2020	15.71	0.00	Paid	Y 09/28/2020
	0647-211-550 School Crossing Lights			15.71			
20200916 43213	WE ENERGIES 0659-874-941 Museum 100-5512-522200	09/16/2020 rgallo	10/02/2020	139.76	0.00	Paid	Y 09/28/2020
	0659-874-941 Museum			139.76			
20200916 43214	WE ENERGIES 2405-680-633 Andrews St. 100-5521-522200	09/16/2020 rgallo	10/02/2020	102.94	0.00	Paid	Y 09/28/2020
	2405-680-633 Andrews St.			102.94			
20200916 43215	WE ENERGIES 8046-699-403 Field Park 100-5521-522200	09/16/2020 rgallo	10/02/2020	118.51	0.00	Paid	Y 09/28/2020
	8046-699-403 Field Park			118.51			
20200916 43216	WE ENERGIES 8658-233-953 Fld Prk Baseball Lights 100-5521-522200	09/16/2020 rgallo	10/02/2020	52.85	0.00	Paid	Y 09/28/2020
	8658-233-953 Fld Prk Baseball Lights			52.85			
20200916 43217	WE ENERGIES 6837-391-587 Parks 100-5521-522200	09/16/2020 rgallo	10/02/2020	64.29	0.00	Paid	Y 09/28/2020
	6837-391-587 Parks			64.29			
20200916 43218	WE ENERGIES 5864-823-491 Concession Building 100-5521-522200	09/16/2020 rgallo	10/02/2020	215.22	0.00	Paid	Y 09/28/2020
	5864-823-491 Concession Building			215.22			

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
20200916 43219	WE ENERGIES 2054-702-968 Parks 100-5521-522200	09/16/2020 rgallo 2054-702-968 Parks	10/02/2020	0.00 0.00	0.00	Paid	Y 09/28/2020
20200916 43220	WE ENERGIES 3277-621-318 F. Park Sump Pump 100-5521-522200	09/16/2020 rgallo 3277-621-318 F. Park Sump Pump	10/02/2020	17.83 17.83	0.00	Paid	Y 09/28/2020
20200916 43221	WE ENERGIES 1610-585-380 Parks 100-5521-522200	09/16/2020 rgallo 1610-585-380 Parks	10/02/2020	83.39 83.39	0.00	Paid	Y 09/28/2020
20200916 43222	WE ENERGIES 3051-426-864 Miniwaukan Pavilion 100-5521-522200	09/16/2020 rgallo 3051-426-864 Miniwaukan Pavilion	10/02/2020	20.49 20.49	0.00	Paid	Y 09/28/2020
20200916 43223	WE ENERGIES 6881-040-700 Miniwauken Park 100-5521-522200	09/16/2020 rgallo 6881-040-700 Miniwauken Park	10/02/2020	30.30 30.30	0.00	Paid	Y 09/28/2020
20200916 43224	WE ENERGIES 7698-426-664 Fire 150-5221-522200	09/16/2020 rgallo 7698-426-664 Fire	10/02/2020	895.80 895.80	0.00	Paid	Y 09/28/2020
20200916 43225	WE ENERGIES 9248-740-506 Library Elec 440-5511-522200	09/16/2020 rgallo 9248-740-506 Library Elec	10/02/2020	3,334.70 3,334.70	0.00	Paid	Y 09/28/2020
20200916 43226	WE ENERGIES 4843-559-306 Library Gas 440-5511-522400	09/16/2020 rgallo 4843-559-306 Library Gas	10/02/2020	49.95 49.95	0.00	Paid	Y 09/28/2020
20200916 43227	WE ENERGIES 9069-575-087 Well #3 Elec 610-6200-662200	09/16/2020 rgallo 9069-575-087 Well #3 Elec	10/02/2020	89.99 89.99	0.00	Paid	Y 09/28/2020
20200916 43228	WE ENERGIES 4400-457-029 Well #3 Gas 610-6200-662200	09/16/2020 rgallo 4400-457-029 Well #3 Gas	10/02/2020	9.24 9.24	0.00	Paid	Y 09/28/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
20200916 43229	WE ENERGIES 2409-366-321 Well #4 Elec 610-6200-662200	09/16/2020 rgallo	10/02/2020	643.23 643.23	0.00	Paid	Y 09/28/2020
20200916 43230	WE ENERGIES 0465-443-270 Well #4 Gas 610-6200-662200	09/16/2020 rgallo	10/02/2020	9.57 9.57	0.00	Paid	Y 09/28/2020
20200916 43231	WE ENERGIES 0801-988-732 Well #5 610-6200-662200	09/16/2020 rgallo	10/02/2020	1,730.61 1,730.61	0.00	Paid	Y 09/28/2020
20200916 43232	WE ENERGIES 4607-813-092 Well #6 610-6200-662200	09/16/2020 rgallo	10/02/2020	649.01 649.01	0.00	Paid	Y 09/28/2020
20200916 43233	WE ENERGIES 3234-559-591 Well #7 610-6200-662200	09/16/2020 rgallo	10/02/2020	1,669.70 1,669.70	0.00	Paid	Y 09/28/2020
20200916 43234	WE ENERGIES 9291-834-028 Greenwald 610-6200-662200	09/16/2020 rgallo	10/02/2020	142.79 142.79	0.00	Paid	Y 09/28/2020
20200916 43235	WE ENERGIES 8016-691-668 Booster Station 610-6200-662200	09/16/2020 rgallo	10/02/2020	289.81 289.81	0.00	Paid	Y 09/28/2020
20200916 43236	WE ENERGIES 3068-463-180 Tower 610-6200-662200	09/16/2020 rgallo	10/02/2020	32.04 32.04	0.00	Paid	Y 09/28/2020
20200916 43237	WE ENERGIES 7843-678-578 Atkinson Pump 620-8020-821000	09/16/2020 rgallo	10/02/2020	387.20 387.20	0.00	Paid	Y 09/28/2020
20200916 43238	WE ENERGIES 8238-765-652 Fox River View 620-8020-821000	09/16/2020 rgallo	10/02/2020	97.29 97.29	0.00	Paid	Y 09/28/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
20200916 43239	WE ENERGIES 6478-966-911 1224 Riverton 620-8020-821000	09/16/2020 rgallo 6478-966-911 1224 Riverton	10/02/2020	59.41 59.41	0.00	Paid	Y 09/28/2020
20200916 43240	WE ENERGIES 8051-462-203 1240 N. Rochester 620-8020-821000	09/16/2020 rgallo 8051-462-203 1240 N. Rochester	10/02/2020	80.52 80.52	0.00	Paid	Y 09/28/2020
20200916 43241	WE ENERGIES 7282-806-809 Holz Elec 620-8010-821100	09/16/2020 rgallo 7282-806-809 Holz Elec	10/02/2020	7,910.61 7,910.61	0.00	Paid	Y 09/28/2020
20200916 43242	WE ENERGIES 2404-776-809 Holz Gas 620-8010-821200	09/16/2020 rgallo 2404-776-809 Holz Gas	10/02/2020	9.57 9.57	0.00	Paid	Y 09/28/2020
20200916 43243	WE ENERGIES 9276-498-259 Digester Gas 620-8010-821200	09/16/2020 rgallo 9276-498-259 Digester Gas	10/02/2020	57.84 57.84	0.00	Paid	Y 09/28/2020
20200916 43244	WE ENERGIES 2008-500-143 Parks-200 S Rochester 100-5342-522200	09/16/2020 rgallo 2008-500-143 Parks-200 S Rochester	10/02/2020	22.37 22.37	0.00	Paid	Y 09/28/2020
20200916 43245	WE ENERGIES 6482-485-554 police-CTH E N of 100-5211-522200	09/16/2020 rgallo 6482-485-554 police-CTH E N of Sugden	10/02/2020	19.41 19.41	0.00	Paid	Y 09/28/2020

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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized
Inv Ref#	Description	Entered By					Post Date
	GL Distribution						

# of Invoices:	47	# Due:	0	Totals:	35,027.48	0.00
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00
Net of Invoices and Credit Memos:					35,027.48	0.00

--- TOTALS BY GL DISTRIBUTION ---

100-5160-522200	6819-119-729 Hall	936.72
100-5160-522400	6819-119-729 Hall Gas	12.68
100-5211-522200	0437-358-622 Flashers	1,270.59
100-5254-522200	7879-450-073 Mukw Dam	21.54
100-5323-522200	3893-949-966 DPW Elec	302.23
100-5323-522400	3608-115-165 DPW Gas	24.65
100-5342-522200	5001-021-384 Street Lights	13,464.61
100-5512-522200	0659-874-941 Museum	139.76
100-5521-522200	2405-680-633 Andrews St.	705.82
150-5221-522200	7698-426-664 Fire	895.80
440-5511-522200	9248-740-506 Library Elec	3,334.70
440-5511-522400	4843-559-306 Library Gas	49.95
610-6200-662200	9069-575-087 Well #3 Elec	5,265.99
620-8010-821100	7282-806-809 Holz Elec	7,910.61
620-8010-821200	2404-776-809 Holz Gas	67.41
620-8020-821000	7843-678-578 Atkinson Pump	624.42

--- TOTALS BY FUND ---

100 - GENERAL FUND	16,878.60	0.00
150 - FIRE/AMBULANCE FUND	895.80	0.00
440 - LIBRARY FUND	3,384.65	0.00
610 - WATER UTILITY FUND	5,265.99	0.00
620 - SEWER UTILITY FUND	8,602.44	0.00

--- TOTALS BY DEPT/ACTIVITY ---

5160 - VILLAGE HALL	949.40	0.00
5211 - POLICE ADMINISTRATION	1,270.59	0.00
5221 - FIRE ADMINISTRATION	895.80	0.00
5254 - DAMS	21.54	0.00
5323 - GARAGE	326.88	0.00
5342 - STREET LIGHTING	13,464.61	0.00
5511 - LIBRARY SERVICES	3,384.65	0.00
5512 - MUSEUM	139.76	0.00
5521 - PARKS	705.82	0.00
6200 - PUMPING OPERATIONS	5,265.99	0.00
8010 - WWTP-TREATMENT/DISPOSAL/GP	7,978.02	0.00
8020 - LIFT STATIONS/PUMPING EQUIP	624.42	0.00

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FRISCH LAURA L 43159	US BANK REFUND FOR SUPPLIES 440-5511-531100 SUPPLIES	08/17/2020 rgallo	09/24/2020	(19.83) (19.83)	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43161	US BANK REFUND FOR SUPPLIES 440-5511-531100 SUPPLIES	08/29/2020 rgallo	09/24/2020	(37.49) (37.49)	0.00	Paid	Y 09/16/2020
SURA MATTHEW J 43164	US BANK REFUND FOR RETURN HOME DEPOT 150-5221-539500 REPAIRS & MAINTENANCE	09/08/2020 rgallo	09/24/2020	(47.10) (47.10)	0.00	Paid	Y 09/16/2020
ZIMMERMANN ANGE 43186	US BANK REFUND CREDIT FOR 2 AC UNITS- 440-5890-580600 DONATED FUND EXPENDITURES	08/18/2020 rgallo	09/24/2020	(478.04) (478.04)	0.00	Paid	Y 09/16/2020
PETERSON RANDY 43308	US BANK REFUND FOR TAX CHARGED ON PURCHASE 100-5324-539500 REPAIRS & MAINTENANCE	09/05/2020 rgallo	09/24/2020	(14.25) (14.25)	0.00	Paid	Y 09/16/2020
BITTNER RONALD 43044	WAL-MART #1571 BULK HAND SOAP 100-5521-531100 SUPPLIES	08/18/2020 rgallo	09/24/2020	15.36 15.36	0.00	Paid	Y 09/16/2020
BITTNER RONALD 43045	SITEONE LANDSCAPE SUPPLY, TREE WATER BAGS 100-5521-531100 SUPPLIES	09/03/2020 rgallo	09/24/2020	322.22 322.22	0.00	Paid	Y 09/16/2020
BROWN DAVID 43046	MACHINE SHED PEWAUKEE 2 LUNCHES FOR ANNUAL REFRESHER 620-8400-854100 EDUCATIONAL/TRAINING EXPENSES	09/02/2020 rgallo	09/24/2020	41.26 41.26	0.00	Paid	Y 09/16/2020
DELIKAT CODY 43047	AMZN MKTP US*MM0I12BA0 WATER METER BYPASS LOCKS 610-6453-664100 OPERATION SUPPLY/EXP-T&D	08/27/2020 rgallo	09/24/2020	323.10 323.10	0.00	Paid	Y 09/16/2020
DEMOTTO CHRIS 43048	AMZN MKTP US*MM2464HY1 BATTERY REPLACEMENT FOR A LIFEPAK 100-5211-539500 REPAIRS & MAINTENANCE	08/19/2020 rgallo	09/24/2020	118.60 118.60	0.00	Paid	Y 09/16/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
DOHERTY DIANA 43049	PADDLE.NET* SQUIRRELS AIR PARROT LICENSE FOR LAPTOP 100-5141-531100	08/25/2020 rgallo	09/24/2020	16.79 16.79	0.00	Paid	Y 09/16/2020
DYKSTRA DIANA 43050	AMZN MKTP US*MM4FI8MA0 HDMI CORDS 3 100-5142-531100	08/25/2020 rgallo	09/24/2020	28.77 28.77	0.00	Paid	Y 09/16/2020
DYKSTRA DIANA 43051	WISCONSIN TOWNS ASSOC INC TRAINING WEBINARS 100-5142-533500	09/11/2020 rgallo	09/24/2020	50.00 50.00	0.00	Paid	Y 09/16/2020
DYKSTRA DIANA 43052	AMZN MKTP US*M41GG6OU2 LEGAL SIZE FILE FOLDERS 100-5142-531100	09/14/2020 rgallo	09/24/2020	41.98 41.98	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43054	HOBBY LOBBY #560 PROGRAM SUPPLIES 440-5511-533100	08/24/2020 rgallo	09/24/2020	34.60 34.60	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43055	WALGREENS #7039 PROGRAM SUPPLIES 440-5511-533100	08/27/2020 rgallo	09/24/2020	6.47 6.47	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43056	WAL-MART #1571 PROGRAM SUPPLIES 440-5511-533100	08/28/2020 rgallo	09/24/2020	26.83 26.83	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43057	THE HOME DEPOT #4921 PROGRAM SUPPLIES 440-5511-533100	08/28/2020 rgallo	09/24/2020	9.98 9.98	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43059	AMZN MKTP US*MU6UR50C1 LAMINATOR 440-5511-531400	08/30/2020 rgallo	09/24/2020	126.09 126.09	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43060	AMZN MKTP US*MM7JI8KP0 PROGRAM SUPPLIES 440-5511-533100	08/30/2020 rgallo	09/24/2020	40.78 40.78	0.00	Paid	Y 09/16/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
FRISCH LAURA L 43061	WM SUPERCENTER #1571 SANITIZING SUPPLIES 440-5511-531100	09/02/2020 rgallo	09/24/2020	42.06 42.06	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43062	THE HOME DEPOT #4921 CLEANING RAGS 440-5511-531100	09/02/2020 rgallo	09/24/2020	31.52 31.52	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43063	MAILCHIMP *MONTHLY MONTHLY NEWSLETTER 440-5511-534000	09/08/2020 rgallo	09/24/2020	59.99 59.99	0.00	Paid	Y 09/16/2020
FRISCH LAURA L 43064	AMZN MKTP US*MU7KT7H20 AM PROGRAM SUPPLIES 440-5511-531400	09/11/2020 rgallo	09/24/2020	29.74 29.74	0.00	Paid	Y 09/16/2020
GOURDOUX LINDA 43065	WISCONSIN TOWNS ASSOC INC TRAINING 100-5142-533500	09/11/2020 rgallo	09/24/2020	50.00 50.00	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43066	AMZN MKTP US*MM0OC6CV0 DVD 440-5700-532900	08/17/2020 rgallo	09/24/2020	16.61 16.61	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43067	AMAZON.COM*MM8JU2JS2 AMZN DVD 440-5700-532900	08/18/2020 rgallo	09/24/2020	64.94 64.94	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43068	AMAZON.COM*MM1VO4F50 AMZN DVD 440-5700-532900	08/18/2020 rgallo	09/24/2020	17.49 17.49	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43069	AMZN MKTP US*MM8OQ6ZC0 DVD 440-5700-532900	08/19/2020 rgallo	09/24/2020	10.10 10.10	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43070	AMAZON.COM*MM0N12030 AMZN DVD 5 FLICK 440-5890-580600	08/23/2020 rgallo	09/24/2020	19.59 19.59	0.00	Paid	Y 09/16/2020

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ISELY MARY JO 43071	AMZN MKTP US*MM7618MI0 BOOK 440-5700-532800	08/25/2020 rgallo	09/24/2020	19.14 19.14	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43072	AMAZON.COM*MM60Z7SM2 BOOK 440-5700-532800	08/26/2020 rgallo	09/24/2020	15.99 15.99	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43073	AMZN MKTP US*MM6SL32O2 TUNER 440-5890-580600	08/26/2020 rgallo	09/24/2020	35.96 35.96	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43074	AMAZON.COM*MM9VV0K12 BOOKS 440-5700-532800	08/26/2020 rgallo	09/24/2020	14.99 14.99	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43075	AMZN MKTP US*MM9FR3SG0 CASES 440-5890-580600	08/29/2020 rgallo	09/24/2020	88.56 88.56	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43076	AMZN MKTP US*MU73T0TV1 UKULELE 440-5890-580600	08/29/2020 rgallo	09/24/2020	227.96 227.96	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43077	AMAZON.COM*MM8S04KZ0 DVD 440-5700-532900	08/30/2020 rgallo	09/24/2020	112.70 112.70	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43078	WM SUPERCENTER #1571 THINGERY SUPPLIES 440-5511-533000	08/31/2020 rgallo	09/24/2020	20.53 20.53	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43079	AMAZON.COM*MU26A64T2 DVD 440-5700-532900	08/31/2020 rgallo	09/24/2020	17.68 17.68	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43080	AMAZON.COM*MU2Q79452 BOOKS 440-5700-532800	08/31/2020 rgallo	09/24/2020	47.97 47.97	0.00	Paid	Y 09/16/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
ISELY MARY JO 43081	NETFLIX.COM 9/1/20-9/30/20 440-5511-534000	09/01/2020 rgallo	09/24/2020	15.99 15.99	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43082	AMAZON.COM*MU55I4T52 CDS 440-5700-532900	09/02/2020 rgallo	09/24/2020	62.94 62.94	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43083	AMAZON.COM*MU47555J2 BOOKS 440-5700-532800	09/07/2020 rgallo	09/24/2020	12.89 12.89	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43084	AMAZON.COM*MU97N55W2 BOOKS 440-5700-532800	09/07/2020 rgallo	09/24/2020	6.99 6.99	0.00	Paid	Y 09/16/2020
ISELY MARY JO 43085	ACORN TV MONTHLY MONTHLY FEE 440-5511-534000	09/08/2020 rgallo	09/24/2020	6.29 6.29	0.00	Paid	Y 09/16/2020
KINDER MATTHEW 43086	WAL-MART #1571 BINDERS AND FOLDERS FOR CMOM BOOKS 620-8010-827000	08/28/2020 rgallo	09/24/2020	27.76 27.76	0.00	Paid	Y 09/16/2020
KINDER MATTHEW 43087	USPS PO 5657100149 WATER SAMPLE SHIPPING 610-6300-663200	09/09/2020 rgallo	09/24/2020	3.80 3.80	0.00	Paid	Y 09/16/2020
MILLER KENNETH 43088	THE HOME DEPOT #4921 CURBSTOP REPAIR AT WELL 4 610-6452-665200	08/18/2020 rgallo	09/24/2020	33.26 33.26	0.00	Paid	Y 09/16/2020
MILLER KENNETH 43089	LYNCHS HORTER CHEVROLET I VEHICLE MAINTENANCE 620-8030-828000	08/19/2020 rgallo	09/24/2020	30.57 30.57	0.00	Paid	Y 09/16/2020
MILLER KENNETH 43090	THE HOME DEPOT #4921 TOOLS FOR TRUCK 620-8030-828000	08/20/2020 rgallo	09/24/2020	62.56 62.56	0.00	Paid	Y 09/16/2020

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
MILLER KENNETH 43091	THE HOME DEPOT #4921 BUILDING MAINTENANCE 620-8010-827000	08/26/2020 rgallo	09/24/2020	8.35 8.35	0.00	Paid	Y 09/16/2020
	OPERATION SUPPLY/EXPENSE						
MILLER KENNETH 43092	THE HOME DEPOT 4921 WWTF PRESSURE WASHER REPAIR 620-8010-827000	08/28/2020 rgallo	09/24/2020	89.94 89.94	0.00	Paid	Y 09/16/2020
	OPERATION SUPPLY/EXPENSE						
MILLER KENNETH 43093	THE HOME DEPOT #4921 WWTF FOX RIVER GENERATOR REPAIR 620-8010-821300	09/09/2020 rgallo	09/24/2020	1.96 1.96	0.00	Paid	Y 09/16/2020
	EMERGENCY GENERATOR-FUEL/MAINT						
PETERSON RANDY 43094	SLE EQUIPMENT LAWN MOWER BLADES 100-5324-539500	08/20/2020 rgallo	09/24/2020	299.21 299.21	0.00	Paid	Y 09/16/2020
	REPAIRS & MAINTENANCE						
PETERSON RANDY 43095	SIMPLE TIRE TORO TIRES 100-5324-539500	09/02/2020 rgallo	09/24/2020	251.93 251.93	0.00	Paid	Y 09/16/2020
	REPAIRS & MAINTENANCE						
SCHMIDT KEVIN B 43097	STAPLS0185452667000001 CLOROX DISINFECTING WIPES, 4 PACK 100-5211-539400	08/18/2020 rgallo	09/24/2020	22.36 22.36	0.00	Paid	Y 09/16/2020
	BLDG REPAIRS & MAINTENANCE						
SCHMIDT KEVIN B 43098	STAPLS0185698734000001 STAPLES BLACK TONER REFILL MUNICIPAL 100-5120-531100	08/21/2020 rgallo	09/24/2020	114.89 114.89	0.00	Paid	Y 09/16/2020
	SUPPLIES						
SCHMIDT KEVIN B 43099	STAPLS0185757866000001 WISBUY STAPLES ORDER OF SHEET 100-5211-531100	08/25/2020 rgallo	09/24/2020	59.50 59.50	0.00	Paid	Y 09/16/2020
	SUPPLIES						
SCHMIDT KEVIN B 43100	STAPLS0185792440000001 BLACK TONER CARTRIDGE FOR 100-5211-531100	08/26/2020 rgallo	09/24/2020	216.89 216.89	0.00	Paid	Y 09/16/2020
	SUPPLIES						
STIEN JEFFREY R 43101	WM SUPERCENTER #1571 EMPLOYEE APPRECIATION MEAL 150-5223-531100	08/27/2020 rgallo	09/24/2020	6.97 6.97	0.00	Paid	Y 09/16/2020
	SUPPLIES						

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnlized Post Date
STIEN JEFFREY R 43102	NFPA NATL FIRE PROTECT FIRE PREVENTION SUPPLIES 150-5221-531300	09/02/2020 rgallo	09/24/2020	909.95 909.95	0.00	Paid	Y 09/16/2020
STIEN JEFFREY R 43103	WM SUPERCENTER #1571 EMS SUPPLIES 150-5231-531100	09/04/2020 rgallo	09/24/2020	16.44 16.44	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43104	SIRCHIE FINGER PRINT LABO PLASTIC EVIDENCE TUBES TO HOLD 100-5213-531100	08/23/2020 rgallo	09/24/2020	136.85 136.85	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43105	AMZN MKTP US*MMODE6XB0 2 SLEDGE HAMMERS FOR NEW SQUADS 100-5212-531100	08/25/2020 rgallo	09/24/2020	31.96 31.96	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43106	AMZN MKTP US*MM1WY7DO2 3 EXTENSION POLES, 2 SHOVELS, 3 100-5212-531100	08/25/2020 rgallo	09/24/2020	251.19 251.19	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43107	AMZN MKTP US*MM9E91XL0 8 TRAFFIC CONES 100-5212-531100	08/25/2020 rgallo	09/24/2020	109.98 109.98	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43108	AMZN MKTP US*MM02Q6B70 1 ROLL OF PROTECTIVE FILM FOR PD 100-5211-539500	08/27/2020 rgallo	09/24/2020	253.99 253.99	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43109	VISTAPR*VISTAPRINT.COM BUSINESS CARDS FOR DAN STREIT & NEW 100-5211-534600 100-5212-531100	08/29/2020 rgallo	09/24/2020	46.99 26.99 20.00	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43110	AMZN MKTP US*MU0HJ5GC1 2 FOLDING BARRICADES FOR DEPARTMENT 100-5235-531100	08/31/2020 rgallo	09/24/2020	143.32 143.32	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43111	AMAZON.COM*MU8CK1BX1 AMZN 2 - 24" CLAW AND PRY HALLIGAN TOOLS 100-5212-531100	09/02/2020 rgallo	09/24/2020	282.44 282.44	0.00	Paid	Y 09/16/2020

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STREIT DANIEL 43112	IDEASTAGE PROMOTION JUNIOR POLICE BADGES 100-5213-531100 SUPPLIES	09/04/2020 rgallo	09/24/2020	586.00 586.00	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43113	WAL-MART #1571 PRINT PICTURES OF NEW EMPLOYEES FOR 100-5211-531100 SUPPLIES	09/05/2020 rgallo	09/24/2020	8.64 8.64	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43114	NATIONAL PEN CO LLC 100 DEPARTMENT PENS WITH STYLUS 100-5213-531100 SUPPLIES	09/12/2020 rgallo	09/24/2020	78.00 78.00	0.00	Paid	Y 09/16/2020
STREIT DANIEL 43115	NATIONAL PEN CO LLC 288 MOOD PENCILS WITH DEPARTMENT 100-5213-531100 SUPPLIES	09/13/2020 rgallo	09/24/2020	112.32 112.32	0.00	Paid	Y 09/16/2020
SURA MATTHEW J 43117	THE HOME DEPOT #4921 HOME DEPOT STATION ALERTING 150-5221-539500 REPAIRS & MAINTENANCE	09/08/2020 rgallo	09/24/2020	47.10 47.10	0.00	Paid	Y 09/16/2020
SURA MATTHEW J 43118	THE HOME DEPOT #4921 HOME DEPOT STATION ALERTING NO TAX 150-5221-539500 REPAIRS & MAINTENANCE	09/08/2020 rgallo	09/24/2020	42.00 42.00	0.00	Paid	Y 09/16/2020
WEGNER LEE 43119	HEIN ELECTRIC SUPPLY CO SUPPLIES 100-5521-531100 SUPPLIES	09/09/2020 rgallo	09/24/2020	104.40 104.40	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43120	AMZN MKTP US*MM3HF8L82 REUSABLE MASKS 100-5670-531100 SUPPLIES	08/17/2020 rgallo	09/24/2020	52.48 52.48	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43121	DAVID ALAN ALAN S SMOKEHO PUBLIC WORKS EMPLOYEE RECOGNITION 100-5141-539900 OTHER	08/18/2020 rgallo	09/24/2020	161.74 161.74	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43122	DAVID ALAN ALAN S SMOKEHO PUBLIC WORKS EMPLOYEE RECOGNITION 100-5141-539900 OTHER	08/19/2020 rgallo	09/24/2020	27.12 27.12	0.00	Paid	Y 09/16/2020

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WEIDL JOHN S 43123	CASCIO INTERSTATEMUSIC OUTDOOR PERFORMANCE STAGE SOUND 100-5670-531100 SUPPLIES	08/20/2020 rgallo	09/24/2020	2,262.80 2,262.80	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43124	IEDC ONLINE IEDC MEMBERSHIP RENEWAL 100-5670-532400 MEMBERSHIP DUES	08/26/2020 rgallo	09/24/2020	455.00 455.00	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43125	DAVID ALAN ALAN S SMOKEHO CHAMPPS DEV MTG 100-5670-533500 TRAINING & TRAVEL	08/27/2020 rgallo	09/24/2020	15.50 15.50	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43126	DAVID ALAN ALAN S SMOKEHO FIRE DEPT EMPLOYEE RECOGNITION LUNCH 100-5141-539900 OTHER	08/27/2020 rgallo	09/24/2020	319.62 319.62	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43127	SQ *ESPRESSO LOVE COFFEE MEETING WITH STOCKWELLS 100-5670-533500 TRAINING & TRAVEL	09/02/2020 rgallo	09/24/2020	3.50 3.50	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43128	AMZN MKTP US*MU3MT2E82 MICRO SD FOR VILLAGE CAMERA AND 100-5670-531100 SUPPLIES	09/03/2020 rgallo	09/24/2020	109.13 109.13	0.00	Paid	Y 09/16/2020
WEIDL JOHN S 43129	SQ *2894 ON MAIN DEV MTG - AMANS LIQUOR 100-5670-533500 TRAINING & TRAVEL	09/09/2020 rgallo	09/24/2020	17.09 17.09	0.00	Paid	Y 09/16/2020
ZIMMERMANN ANGE 43132	CUSTOMINKPROMOS LANYARD 440-5890-580600 DONATED FUND EXPENDITURES	08/18/2020 rgallo	09/24/2020	305.89 305.89	0.00	Paid	Y 09/16/2020
ZIMMERMANN ANGE 43133	ADOBE IL CREATIVE CLD ILLUSTRATOR 440-5511-534000 DIGITAL MATERIALS	08/20/2020 rgallo	09/24/2020	22.04 22.04	0.00	Paid	Y 09/16/2020
ZIMMERMANN ANGE 43134	ADOBE CREATIVE CLOUD CREATIVE CLOUD APP 440-5511-534000 DIGITAL MATERIALS	08/22/2020 rgallo	09/24/2020	83.99 83.99	0.00	Paid	Y 09/16/2020

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ZIMMERMANN ANGE							
43135	AMZN MKTP US*MM0871AW0 LIBRARY SUPPLIES 440-5511-531100	08/22/2020 rgallo	09/24/2020	129.94	0.00	Paid	Y 09/16/2020
	SUPPLIES			129.94			
ZIMMERMANN ANGE							
43136	WALGREENS #7039 GIFT CARDS 440-5890-580600	08/24/2020 rgallo	09/24/2020	260.90	0.00	Paid	Y 09/16/2020
	DONATED FUND EXPENDITURES			260.90			
ZIMMERMANN ANGE							
43137	MOBILE BEACON HOTSPOTS 440-5700-581100	08/24/2020 rgallo	09/24/2020	840.00	0.00	Paid	Y 09/16/2020
	EQUIPMENT (NON-CAPITALIZED)			840.00			
ZIMMERMANN ANGE							
43138	TIDIO COMMUNICATOR CHAT COMMUNICATOR 440-5511-534000	08/25/2020 rgallo	09/24/2020	115.15	0.00	Paid	Y 09/16/2020
	DIGITAL MATERIALS			115.15			
ZIMMERMANN ANGE							
43139	AMERICAN LIBRARY ASSOC LIBRARY PROMOTIONS 440-5511-533300	08/26/2020 rgallo	09/24/2020	115.80	0.00	Paid	Y 09/16/2020
	OUTREACH			115.80			
ZIMMERMANN ANGE							
43140	AMZN MKTP US*MU3VK7LV1 DOOR TOOL 440-5511-531100	08/27/2020 rgallo	09/24/2020	33.98	0.00	Paid	Y 09/16/2020
	SUPPLIES			33.98			
ZIMMERMANN ANGE							
43141	SQ *DRAGON PIT BBQ STAFF LUNCH 440-5890-580600	08/28/2020 rgallo	09/24/2020	78.75	0.00	Paid	Y 09/16/2020
	DONATED FUND EXPENDITURES			78.75			
ZIMMERMANN ANGE							
43142	AMZN MKTP US*MU6884AV2 FACE MASKS 440-5511-531100	09/03/2020 rgallo	09/24/2020	149.04	0.00	Paid	Y 09/16/2020
	SUPPLIES			149.04			
ZIMMERMANN ANGE							
43143	AMZN MKTP US*MU4KU15X2 MINI DRONE 440-5511-531400	09/07/2020 rgallo	09/24/2020	198.97	0.00	Paid	Y 09/16/2020
	META SPACE EQUIPMENT & SUPPLIE			198.97			
ZIMMERMANN ANGE							
43144	ADOBE IL CREATIVE CLD ILLUSTRATOR, SEPTEMBER 440-5511-534000	09/09/2020 rgallo	09/24/2020	22.04	0.00	Paid	Y 09/16/2020
	DIGITAL MATERIALS			22.04			

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ZIMMERMANN ANGE							
43145	SHOCKBYTE SHOCKBYTE MINECRAFT HOST 440-5511-533100	09/10/2020 rgallo	09/24/2020	5.00	0.00	Paid	Y 09/16/2020
	PROGRAMMING			5.00			
ZIMMERMANN ANGE							
43146	AMERLIBASSOC ECOMMERCE HOMESCHOOLER CLASS 440-5511-533500	09/11/2020 rgallo	09/24/2020	165.00	0.00	Paid	Y 09/16/2020
	TRAINING & TRAVEL			165.00			
ZIMMERMANN ANGE							
43147	ADOBE CREATIVE CLOUD CREATIVE CLOUD APP 440-5511-534000	09/11/2020 rgallo	09/24/2020	83.99	0.00	Paid	Y 09/16/2020
	DIGITAL MATERIALS			83.99			
ZIMMERMANN ANGE							
43148	AMZN MKTP US*M47UF8ZE1 ALCOHOL PREP PADS 440-5511-531100	09/12/2020 rgallo	09/24/2020	63.96	0.00	Paid	Y 09/16/2020
	SUPPLIES			63.96			
ZIMMERMANN ANGE							
43149	PRINT PACK AND SHIP CENTE RETURN HOTSPOTS 440-5511-531500	09/14/2020 rgallo	09/24/2020	16.89	0.00	Paid	Y 09/16/2020
	POSTAGE			16.89			

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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnalized
Inv Ref#	Description	Entered By					Post Date
	GL Distribution						

# of Invoices:	100	# Due:	0	Totals:	12,758.28	0.00
# of Credit Memos:	5	# Due:	0	Totals:	(596.71)	0.00
Net of Invoices and Credit Memos:					12,161.57	0.00

--- TOTALS BY GL DISTRIBUTION ---

100-5120-531100	SUPPLIES	114.89
100-5141-531100	SUPPLIES	16.79
100-5141-539900	OTHER	508.48
100-5142-531100	HDMI CORDS 3	70.75
100-5142-533500	TRAINING & TRAVEL	100.00
100-5211-531100	SUPPLIES	285.03
100-5211-534600	CLOTHING ALLOWANCE	26.99
100-5211-539400	BLDG REPAIRS & MAINTENANCE	22.36
100-5211-539500	REPAIRS & MAINTENANCE	372.59
100-5212-531100	SUPPLIES	695.57
100-5213-531100	SUPPLIES	913.17
100-5235-531100	SUPPLIES	143.32
100-5324-539500	REPAIRS & MAINTENANCE	536.89
100-5521-531100	SUPPLIES	441.98
100-5670-531100	SUPPLIES	2,424.41
100-5670-532400	MEMBERSHIP DUES	455.00
100-5670-533500	TRAINING & TRAVEL	36.09
150-5221-531300	FIRE PREVENTION MATERIALS	909.95
150-5221-539500	REPAIRS & MAINTENANCE	42.00
150-5223-531100	SUPPLIES	6.97
150-5231-531100	SUPPLIES	16.44
440-5511-531100	SUPPLIES	393.18
440-5511-531400	META SPACE EQUIPMENT & SUPPLIE	354.80
440-5511-531500	POSTAGE	16.89
440-5511-533000	THINGERY PURCHASES	20.53
440-5511-533100	PROGRAMMING	123.66
440-5511-533300	OUTREACH	115.80
440-5511-533500	TRAINING & TRAVEL	165.00
440-5511-534000	DIGITAL MATERIALS	409.48
440-5700-532800	BOOKS	117.97
440-5700-532900	AV MATERIAL	302.46
440-5700-581100	EQUIPMENT (NON-CAPITALIZED)	840.00
440-5890-580600	DONATED FUND EXPENDITURES	539.57
610-6300-663200	OPERATION SUPPLY/EXP-TREATMENT	3.80
610-6452-665200	MAINTENANCE-SERVICES	33.26
610-6453-664100	OPERATION SUPPLY/EXP-T&D	323.10
620-8010-821300	EMERGENCY GENERATOR-FUEL/MAINT	1.96
620-8010-827000	OPERATION SUPPLY/EXPENSE	126.05
620-8030-828000	TRANSPORTATION EXPENSE	93.13
620-8400-854100	EDUCATIONAL/TRAINING EXPENSES	41.26

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--- TOTALS BY FUND ---							
	100 - GENERAL FUND			7,164.31	0.00		
	150 - FIRE/AMBULANCE FUND			975.36	0.00		
	440 - LIBRARY FUND			3,399.34	0.00		
	610 - WATER UTILITY FUND			360.16	0.00		
	620 - SEWER UTILITY FUND			262.40	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	5120 - MUNICIPAL COURT			114.89	0.00		
	5141 - VILLAGE ADMINISTRATION/FINA			525.27	0.00		
	5142 - CLERK-TREASURER			170.75	0.00		
	5211 - POLICE ADMINISTRATION			706.97	0.00		
	5212 - POLICE PATROL			695.57	0.00		
	5213 - CRIME INVESTIGATION			913.17	0.00		
	5221 - FIRE ADMINISTRATION			951.95	0.00		
	5223 - FIRE TRAINING			6.97	0.00		
	5231 - AMBULANCE			16.44	0.00		
	5235 - EMERGENCY GOVERNMENT			143.32	0.00		
	5324 - MACHINERY & EQUIPMENT			536.89	0.00		
	5511 - LIBRARY SERVICES			1,599.34	0.00		
	5521 - PARKS			441.98	0.00		
	5670 - ECONOMIC DEVELOPMENT			2,915.50	0.00		
	5700 - CAPITAL OUTLAY EXPENDITURES			1,260.43	0.00		
	5890 - USE OF DESIGNATED FUNDS			539.57	0.00		
	6300 - WATER TREATMENT OPERATIONS			3.80	0.00		
	6452 - T&D-SERVICES MAINTENANCE			33.26	0.00		
	6453 - T&D-METERS MAINTENANCE			323.10	0.00		
	8010 - WWTP-TREATMENT/DISPOSAL/GP			128.01	0.00		
	8030 - WASTEWATER COLLECTION SYSTE			93.13	0.00		
	8400 - ADMINISTRATIVE & GENERAL			41.26	0.00		
--- TOTALS BY PAYMENT CARD ACCOUNT ---							
	0366			16.79			
	0960			2,691.33			
	1051			31.56			
	1275			41.26			
	2365			835.31			
	2380			3,423.98			
	2544			120.75			
	3064			118.60			
	4325			104.40			
	4366			323.10			
	4746			89.10			

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Inv Num	Vendor	Inv Date	Due Date	Inv Amt	Amt Due	Status	Jrnlized
Inv Ref#	Description	Entered By					Post Date
GL Distribution							
--- TOTALS BY PAYMENT CARD ACCOUNT ---							
	5538			2,041.68			
	6347			50.00			
	6370			933.36			
	7940			408.06			
	8378			413.64			
	8389			226.64			
	9625			551.14			
	9708			337.58			

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Inv Num Inv Ref#	Vendor Description GL Distribution	Inv Date Entered By	Due Date	Inv Amt	Amt Due	Status	Jrnalized Post Date
AUG2020 43038	MUKWONAGO AREA SCHOOLS PAYMENT FROM J SINGSIME 100-0000-233000	09/10/2020 rgallo	09/18/2020	437.00	0.00	Paid	Y 09/10/2020
	RESTITUTION			437.00			
AUG2020 43039	WALWORTH CTY TREASURER AUGUST 2020 COURT/JAIL FINES 100-0000-243250	09/10/2020 rgallo	09/18/2020	20.00	0.00	Paid	Y 09/10/2020
	WALWORTH COUNTY COURT FEES			20.00			
AUG2020 43040	TREASURER STATE OF WI AUGUST 2020 COURT/JAIL FINES 100-0000-242400	09/10/2020 rgallo	09/18/2020	4,449.70	0.00	Paid	Y 09/10/2020
	COURT JAIL FINES TO STATE			4,449.70			
AUG2020 43041	TREASURER WAUKESHA COUNTY AUGUST 2020 COURT JAIL FINES 100-0000-243240	09/10/2020 rgallo	09/18/2020	1,517.00	0.00	Paid	Y 09/10/2020
	WAUKESHA COUNTY COURT FEES			1,517.00			
# of Invoices:	4	# Due:	0	Totals:	6,423.70	0.00	
# of Credit Memos:	0	# Due:	0	Totals:	0.00	0.00	
Net of Invoices and Credit Memos:				6,423.70	0.00		
--- TOTALS BY GL DISTRIBUTION ---							
	100-0000-233000	RESTITUTION		437.00			
	100-0000-242400	COURT JAIL FINES TO STATE		4,449.70			
	100-0000-243240	WAUKESHA COUNTY COURT FEES		1,517.00			
	100-0000-243250	WALWORTH COUNTY COURT FEES		20.00			
--- TOTALS BY FUND ---							
	100 - GENERAL FUND			6,423.70	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	0000 - BALANCE SHEET ACCOUNT			6,423.70	0.00		

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/02/2020	GEN	209 (E)	GREAT WEST RETIREMENT SERVICES	RETIREMENT PR 090420	100-0000-215250	500.00
		209 (E)		RETIREMENT PR 090420	150-0000-215250	213.04
		209 (E)		RETIREMENT PR 090420	610-0000-215250	100.00
		209 (E)		RETIREMENT PR 090420	620-0000-215250	100.00
						<hr/> 913.04
09/02/2020	GEN	210 (E)	PAYROLLDATA.COM	PAYROLL PROCESSING FEE PR 09/04/2020	100-5111-539900	32.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5120-539900	9.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5141-539900	29.70
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5142-539900	9.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5144-521900	67.70
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5211-539900	42.65
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5212-539900	78.60
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5213-521900	9.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5241-539900	9.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5300-539900	42.65
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	100-5670-521900	4.60
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	150-5221-539900	182.73
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	440-5511-539900	101.20
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	610-6902-690300	21.75
		210 (E)		PAYROLL PROCESSING FEE PR 09/04/2020	620-8400-851000	17.15
						<hr/> 657.73
09/02/2020	GEN	30409	NETWORK HEALTH	KOHOUT INS PREMIUM - 8/1/2020 -	100-5632-515400	2,996.56
09/02/2020	GEN	30410	VANTAGEPOINT TRANSFER AGENTS	RETIREMENT PR 09/04/2020 ACCT 305155	100-0000-215250	2,832.39
		30410		RETIREMENT PR 09/04/2020 ACCT 305155	440-0000-215250	465.59
		30410		RETIREMENT PR 09/04/2020 ACCT 305155	610-0000-215250	301.91
		30410		RETIREMENT PR 09/04/2020 ACCT 305155	620-0000-215250	262.75
						<hr/> 3,862.64
TOTAL - ALL FUNDS				TOTAL OF 4 CHECKS		8,429.97

Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/14/2020	GEN	211 (E)	INVOICE CLOUD	INVOICE CLOUD MONTHLY FEES - AUGUST	100-5142-539900	13.64
		211 (E)		INVOICE CLOUD MONTHLY FEES - AUGUST	100-5241-539900	42.27
		211 (E)		INVOICE CLOUD MONTHLY FEES - AUGUST	410-5363-539900	32.95
		211 (E)		INVOICE CLOUD MONTHLY FEES - AUGUST	610-6902-690300	32.94
		211 (E)		INVOICE CLOUD MONTHLY FEES - AUGUST	620-8300-840000	32.95
						<hr/> 154.75
TOTAL - ALL FUNDS				TOTAL OF 1 CHECKS		154.75

Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/15/2020	GEN	30489	ZALE, VIRGINIA	UTILITY REFUND FOR UB #5760	610-0000-142000	130.84
			TOTAL - ALL FUNDS	TOTAL OF 1 CHECKS		130.84

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PENDING VILLAGE BOARD REVIEW FOR MUKWONAGO
EXP CHECK RUN DATES 09/16/2020 - 09/16/2020
BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID
BANK CODE: GEN

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: B2E SOLUTIONS				
PR 091820	PAYROLL PROCESSING FEE PR 9/18/2020	100-5300-539900	29.90	421.98 ALLOCATE
		100-5111-539900	23.26	
		100-5120-539900	6.65	
		100-5141-539900	19.94	
		100-5142-539900	6.65	
		100-5241-539900	6.65	
		100-5670-521900	3.32	
		100-5211-539900	29.90	
		100-5212-539900	43.19	
		100-5213-521900	6.65	
		150-5221-539900	142.87	
		440-5511-539900	73.10	
		610-6902-690300	16.61	
		620-8400-851000	13.29	
TOTAL VENDOR B2E SOLUTIONS				421.98
VENDOR NAME: EMPLOYEE TRUST FUNDS				
SEPTEMBER 2020	OCTOBER 2020 BPREMUIUM HEALTH INSURANCE	100-0000-215300	50,257.24	74,786.34 ALLOCATE
		150-0000-215300	9,131.84	
		440-0000-215300	7,379.26	
		610-0000-215300	3,366.78	
		620-0000-215300	4,651.22	
TOTAL VENDOR EMPLOYEE TRUST FUNDS				74,786.34
VENDOR NAME: GREAT WEST RETIREMENT SERVICES				
PR 091820	RETIREMENT PR 090420	100-0000-215250	500.00	965.18 ALLOCATE
		150-0000-215250	265.18	
		610-0000-215250	100.00	
		620-0000-215250	100.00	
TOTAL VENDOR GREAT WEST RETIREMENT SERVICES				965.18
VENDOR NAME: MINNESOTA LIFE INSURANCE				
SEPTEMBER 2020	OCTOBER 2020 PREM LIFE INSURANCE	100-0000-215301	1,225.11	1,701.15 ALLOCATE
		150-0000-215301	125.42	
		440-0000-215301	202.46	
		610-0000-215301	79.63	
		620-0000-215301	68.53	
TOTAL VENDOR MINNESOTA LIFE INSURANCE				1,701.15
VENDOR NAME: VANTAGEPOINT TRANSFER AGENTS				

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: VANTAGEPOINT TRANSFER AGENTS					
PR 091820	RETIREMENT PR 09/18/2020 ACCT 305155	100-0000-215250	2,754.52	3,785.78	ALLOCATE
		440-0000-215250	465.59		
		610-0000-215250	319.39		
		620-0000-215250	246.28		
TOTAL VENDOR VANTAGEPOINT TRANSFER AGENTS				3,785.78	
GRAND TOTAL:				81,660.43	

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
CHECK DATE FROM 09/18/2020 - 09/18/2020

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/18/2020	GEN	30556	THE KETTLE	TAX REFUND MUKV1976170	720-0000-121100	83.11
09/18/2020	GEN	30557	VILLAGE OF MUKWONAGO	TAX REFUND MUKV1963999048 - 350 E VETERANS WAY #8	720-0000-121100	0.48
09/18/2020	GEN	30558	VILLAGE OF MUKWONAGO	TAX REFUND MUKV1962989027 - 1126 BLACK BEAR	720-0000-121100	1.00
09/18/2020	GEN	30559	VILLAGE OF MUKWONAGO	TAX REFUND MUKV1974923013 - 331 WESTSIDE AVE #8	720-0000-121100	0.78
			TOTAL - ALL FUNDS	TOTAL OF 4 CHECKS		85.37

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
CHECK DATE FROM 09/22/2020 - 09/22/2020

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/22/2020	GEN	216 (E)	HASLER MAILING SOLUTIONS	POSTAGE	100-5142-531500	3,000.00
09/22/2020	GEN	30560	WEST ALLIS POLICE DEPT	RHODES FANTASY Y DOB 03091998/1S80JH1TT4	100-0000-233200	114.00
			TOTAL - ALL FUNDS	TOTAL OF 2 CHECKS		3,114.00

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
CHECK DATE FROM 09/23/2020 - 09/23/2020

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/23/2020	GEN	217 (E)	DELTA DENTAL OF WISCONSIN	OCTOBER 2020 DENTAL PREMIUMS	100-0000-215304	327.46
09/23/2020	GEN	218 (E)	WI RETIREMENT SYSTEM	WISCONSIN RETIREMENT CONTRIBUTIONS - AUGUST 2020	100-0000-215200	29,574.40
		218 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	150-0000-215200	8,743.32
		218 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	440-0000-215200	5,073.96
		218 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	610-0000-215200	2,373.74
		218 (E)		WISCONSIN RETIREMENT CONTRIBUTIONS -	620-0000-215200	2,088.52
						<hr/> 47,853.94
09/23/2020	GEN	30561	AFLAC	ACCOUNT# V1553 SEPTEMBER PREMS	100-0000-215302	265.75
		30561		ACCOUNT# V1553 SEPTEMBER PREMS	150-0000-215302	249.50
		30561		ACCOUNT# V1553 SEPTEMBER PREMS	610-0000-215302	50.75
		30561		ACCOUNT# V1553 SEPTEMBER PREMS	620-0000-215302	50.75
						<hr/> 616.75
09/23/2020	GEN	30562	MUKWONAGO PROFESSIONAL	SEPTEMBER 2020 FIRE UNION DUES	150-0000-215500	270.00
09/23/2020	GEN	30563	MUKWONAGO PROFESSIONAL POLICE	SEPTEMBER 2020 POLICE UNION DUES	100-0000-215500	550.00
09/23/2020	GEN	30564	VILLAGE OF MUKWONAGO MRA	SEPTEMBER 2020 FSA	100-0000-215350	1,999.98
		30564		SEPTEMBER 2020 FSA	150-0000-215350	425.38
		30564		SEPTEMBER 2020 FSA	440-0000-215350	23.84
						<hr/> 2,449.20
			TOTAL - ALL FUNDS	TOTAL OF 6 CHECKS		52,067.35

Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/24/2020	GEN	30565	SZAFRANEK, KATHLEEN	UB refund for account: 6431	610-0000-142000	88.48
09/24/2020	GEN	30566	VILLAGE OF MUKWONAGO MRA	REPLENISH MRA ACCT	100-0000-216000	30,000.00
			TOTAL - ALL FUNDS	TOTAL OF 2 CHECKS		30,088.48

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/28/2020	GEN	30567	ACCENT ON DANCE MUKWONAGO LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30568	ALLURE SALON	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30569	AMERICANA FLOWER STATION	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30570	BAYMONT BY WYNDHAM MUKWONAGO	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30571	BE WELL STUDIOS	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30572	BRIGHT REFLECTIONS	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30573	COUNTRY FINANCIAL	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30574	COUNTRY PORCH LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30575	DRAGONFLY EMBROIDERY	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30576	DYNAMIC AWARDS AND APPAREL LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30577	E&S SWEETS LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30578	EAGLE'S WING FREE CLINIC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30579	FOUR WINDS SALON	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30580	FREEDOM PHYSICAL THERAPY	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30581	GANSKE FITNESS LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30582	KAY'S ACADEMY OF DANCE INC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30583	KIDS CONNECTION II INC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30584	LIFE'S CONNECTION MUKWONAGO CENTER	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
CHECK DATE FROM 09/28/2020 - 09/28/2020

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/28/2020	GEN	30585	LUXE LOFT LLC DBA THE RUSTIC ORCHID	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30586	MFP THRIFT STORE	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30587	PERFECT FIT LLC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30588	PERUGINI CHIROPRACTIC SC	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30589	THE GREEN RABBIT CLAY STUDIO	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30590	THE HAIR CARE CO	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
09/28/2020	GEN	30591	THE MUSIC CAFE	2020 SMALL BUSINESS GRANT	100-5880-580700	2,000.00
			TOTAL - ALL FUNDS	TOTAL OF 25 CHECKS		50,000.00

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CHECK DISBURSEMENT REPORT FOR MUKWONAGO
CHECK DATE FROM 09/30/2020 - 09/30/2020

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
09/30/2020	GEN	221 (E)	B2E SOLUTIONS	PAYROLL FEES PR 10/02/20	100-5111-539900	23.66
		221 (E)		PAYROLL FEES PR 10/02/20	100-5120-539900	6.76
		221 (E)		PAYROLL FEES PR 10/02/20	100-5141-539900	23.66
		221 (E)		PAYROLL FEES PR 10/02/20	100-5142-539900	6.76
		221 (E)		PAYROLL FEES PR 10/02/20	100-5211-539900	30.43
		221 (E)		PAYROLL FEES PR 10/02/20	100-5212-539900	54.09
		221 (E)		PAYROLL FEES PR 10/02/20	100-5213-521900	6.76
		221 (E)		PAYROLL FEES PR 10/02/20	100-5241-539900	6.76
		221 (E)		PAYROLL FEES PR 10/02/20	100-5300-539900	30.43
		221 (E)		PAYROLL FEES PR 10/02/20	100-5670-521900	3.38
		221 (E)		PAYROLL FEES PR 10/02/20	150-5221-539900	131.86
		221 (E)		PAYROLL FEES PR 10/02/20	440-5511-539900	74.37
		221 (E)		PAYROLL FEES PR 10/02/20	610-6902-690300	16.90
		221 (E)		PAYROLL FEES PR 10/02/20	620-8300-840000	13.52
						<hr/> 429.34
09/30/2020	GEN	222 (E)	GREAT WEST RETIREMENT SERVICES	RETIREMENT PR 100220	100-0000-215250	600.00
		222 (E)		RETIREMENT PR 100220	150-0000-215250	213.04
		222 (E)		RETIREMENT PR 100220	610-0000-215250	100.00
		222 (E)		RETIREMENT PR 100220	620-0000-215250	100.00
						<hr/> 1,013.04
09/30/2020	GEN	223 (E)	TASC	HRA 10/01/20-12/31/20	100-5142-539900	170.43
		223 (E)		HRA 10/01/20-12/31/20	100-5211-539900	319.41
		223 (E)		HRA 10/01/20-12/31/20	100-5212-539900	297.96
		223 (E)		HRA 10/01/20-12/31/20	100-5241-539900	50.79
		223 (E)		HRA 10/01/20-12/31/20	100-5323-531100	177.21
		223 (E)		FLEX 10/01/20 - 12/31/20	100-5632-539900	18.06
		223 (E)		HRA 10/01/20-12/31/20	150-5221-539900	188.49
		223 (E)		HRA 10/01/20-12/31/20	440-5511-539900	167.04
		223 (E)		HRA 10/01/20-12/31/20	610-6902-690300	68.85
		223 (E)		HRA 10/01/20-12/31/20	620-8300-840000	101.58
						<hr/> 1,559.82
09/30/2020	GEN	30592	VANTAGEPOINT TRANSFER AGENTS	RETIREMENT PR 10/02/20	ACCT 305155 100-0000-215250	2,802.41
		30592		RETIREMENT PR 10/02/20	ACCT 305155 150-0000-215250	0.73
		30592		RETIREMENT PR 10/02/20	ACCT 305155 440-0000-215250	465.157

Check Date	Bank	Check #	Payee	Description	GL #	Amount
		30592		RETIREMENT PR 10/02/20	ACCT 305155 500-0000-215250	9.99
		30592		RETIREMENT PR 10/02/20	ACCT 305155 610-0000-215250	329.07
		30592		RETIREMENT PR 10/02/20	ACCT 305155 620-0000-215250	217.31
						<hr/> 3,825.10
			TOTAL - ALL FUNDS	TOTAL OF 4 CHECKS		6,827.30

Accounts Payable Cover Sheet

Report:	Period or corresponding report date	
Village Accounts Payable	10/22/2020 AP Check Run	\$ 266,656.36
	Total for Approval:	\$ 266,656.36

The preceding list of bills payable was approved for payment

Date: _____

Approved by: _____

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User: mschneider
DB: Mukwonago

PENDING VILLAGE BOARD REVIEW FOR MUKWONAGO
EXP CHECK RUN DATES 10/22/2020 - 10/22/2020
UNJOURNALIZED OPEN
BANK CODE: GEN - CHECK TYPE: PAPER CHECK

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: AIRGAS USA LLC					
9974032476	EMS SUPPLIES	150-5231-531100	292.64	292.64	FIRE
TOTAL VENDOR AIRGAS USA LLC				292.64	
VENDOR NAME: ALSCO					
IMIL1613289	VILLAGE HALL WALKOFF MATS	100-5160-521900	59.44	59.44	DPW
IMIL1615594	MATT CLEANING SERVICE	100-5211-539400	43.89	43.89	POLICE
TOTAL VENDOR ALSCO				103.33	
VENDOR NAME: AM TOWING					
W27807	PATROL TRUCK # 9 REPAIRS	100-5324-539500	252.35	252.35	DPW
TOTAL VENDOR AM TOWING				252.35	
VENDOR NAME: ASSOCIATED APPRAISAL CONSULTANT INC					
150643	OCTOBER 2020 ASSMT SERVICES	100-5153-521900	1,414.24	1,414.24	CLERK
TOTAL VENDOR ASSOCIATED APPRAISAL CONSULTANT INC				1,414.24	
VENDOR NAME: BEAR GRAPHICS					
0856609	AP CHECK STOCK REORDER	100-5120-531100	46.04	368.42	FINANCE
		100-5141-531100	13.82		
		100-5142-531100	30.70		
		100-5211-531100	82.89		
		100-5241-531100	4.61		
		100-5323-531100	41.45		
		150-5221-531100	26.10		
		440-5511-531100	29.17		
		610-6902-690300	49.12		
		620-8400-851000	44.52		
TOTAL VENDOR BEAR GRAPHICS				368.42	
VENDOR NAME: BEDROCK SEWER & WATER					
2256	WATERAL LATERAL/CURBSTOP REPAIR	610-6452-665200	4,800.00	4,800.00	UTILITIES
TOTAL VENDOR BEDROCK SEWER & WATER				4,800.00	
VENDOR NAME: BOUND TREE MEDICAL LLC					
83803390	EMS SUPPLIES	150-5231-531100	50.50	50.50	FIRE
83794622	EMS SUPPLIES	150-5231-531100	248.00	248.00	FIRE
83795938	EMS SUPPLIES	150-5231-531100	226.30	226.30	FIRE
TOTAL VENDOR BOUND TREE MEDICAL LLC				524.80	
VENDOR NAME: BRAUN THYSSEN KRUPP ELEVATOR					
11556	VILLAGE HALL ELEVATOR SERVICE	100-5160-539500	193.36	193.36	DPW
TOTAL VENDOR BRAUN THYSSEN KRUPP ELEVATOR				193.36	
VENDOR NAME: BUELOW, VETTER, BUIKEMA, OLSON					

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: BUELOW, VETTER, BUIKEMA, OLSON					
2488.00099	2020 SEI	SEPTEMBER ACTIVITY	100-5111-521900	2,539.55	7,039.55 FINANCE
			100-5111-521900	1,192.50	
			100-5300-521900	555.00	
			100-5141-521900	2,752.50	
2488.05458	2020 SEI	SEPTEMBER ACTIVITY	100-5141-521900	940.50	940.50 FINANCE
TOTAL VENDOR BUELOW, VETTER, BUIKEMA, OLSON				7,980.05	
VENDOR NAME: C & M AUTO PARTS INC					
6079-325233		SHOP SUPPLIES	100-5323-531100	19.17	19.17 DPW
6079-325815		SHOP SUPPLIES	100-5323-531100	9.17	9.17 DPW
6079-325493		OIL FILTER 3452	150-5231-539500	7.98	7.98 FIRE
6079-325234		APPARATUS AIR COMPRESSOR REGULATORS	150-5222-539500	131.98	131.98 FIRE
TOTAL VENDOR C & M AUTO PARTS INC				168.30	
VENDOR NAME: CENTURY SPRINGS BOTTLING					
5646011		VILLAGE HALL BOTTLED WATER	100-5160-531100	23.00	23.00 DPW
5649285		VILLAGE HALL BOTTLED WATER	100-5160-531100	15.95	15.95 DPW
TOTAL VENDOR CENTURY SPRINGS BOTTLING				38.95	
VENDOR NAME: CENTURYLINK					
2020 SEPTEMBER	2020 SEPT 21 - 2020 OCT 20	PHONE SERVICE	100-5142-522500	74.74	592.53 MULTIPLE
			100-5211-522500	54.53	
			100-5323-522500	96.18	
			100-5512-522500	122.75	
			440-5511-522500	113.64	
			610-6920-692100	32.40	
			620-8400-851000	98.29	
TOTAL VENDOR CENTURYLINK				592.53	
VENDOR NAME: CINTAS					
4064000716		STAFF UNIFORMS	100-5323-531100	98.52	98.52 DPW
4064000834		UNIFORM SERVICE	610-6920-693000	39.75	79.75 UTILITIES
			620-8010-827000	40.00	
4063329981		UNIFORM SERVICE	610-6920-693000	39.75	79.75 UTILITIES
			620-8010-827000	40.00	
4063330036		STAFF UNIFORMS	100-5323-531100	98.52	98.52 DPW
4062672761		STAFF UNIFORMS	100-5323-531100	98.52	98.52 DPW
4062672796		UNIFORM SERVICE	610-6920-693000	40.00	79.75 UTILITIES
			620-8010-827000	39.75	
TOTAL VENDOR CINTAS				534.81	
VENDOR NAME: CIT					
36211177		COPIER FEES	610-6920-692100	88.64	88.64 UTILITIES

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: CIT					
36391673	WWTF COPIER	620-8400-851000	88.64	88.64	UTILITIES
TOTAL VENDOR CIT				177.28	
VENDOR NAME: CIVITEK CONSULTING					
61-04-01	SEPTEMBER PLANNER SERVICES	100-5632-521900	2,322.60	2,322.60	PLANNER
61-04-09	SIGN REVIEW	100-5632-521900	49.00	49.00	PLANNER
61-04-07	200 GRAND AVE	100-0000-211425	235.20	235.20	PLANNER
61-04-08	HILL COURT	100-0000-211425	176.40	176.40	PLANNER
61-04-06	HILL COURT	100-0000-211425	588.00	588.00	PLANNER
61-04-04	MALCOLM	100-0000-211425	147.00	147.00	PLANNER
61-04-05	704 CARDINAL CONDO	100-0000-211400	58.80	58.80	PLANNER
61-04-03	1654 VAN BUREN	100-0000-211400	735.00	735.00	PLANNER
TOTAL VENDOR CIVITEK CONSULTING				4,312.00	
VENDOR NAME: CLASSIC CONCRETE & MASONRY					
2020 TWORIVERS SEC	SIDEWALK REPLACEMENT PROGRAM	100-5343-539500	7,199.75	7,199.75	DPW
2020 TWORIVERS SEC	SIDEWALK REPLACEMENT PROGRAM	100-5343-539500	4,611.25	4,611.25	DPW
TOTAL VENDOR CLASSIC CONCRETE & MASONRY				11,811.00	
VENDOR NAME: CORE & MAIN LP					
M992611	WATER SERVICE REPAIR PARTS	610-6452-665200	929.25	929.25	UTILITIES
TOTAL VENDOR CORE & MAIN LP				929.25	
VENDOR NAME: COREY OIL, LTD					
180133	FOOD GRADE OIL FOR POLYMER PUMP CLEANUP	620-8010-825000	551.50	551.50	UTILITIES
186531 FIRE	DEF 55 GALLON DRUM	150-5222-539500	60.70	60.70	FIRE
186531 DPW	DIESEL EXHAUST FLUID	100-5324-535100	60.70	60.70	DPW
TOTAL VENDOR COREY OIL, LTD				672.90	
VENDOR NAME: CORRECTIVE ASPHALT MATERIALS LLC					
20080N	CRF ROAD SEALER	480-5700-584000	23,472.60	23,472.60	DPW
TOTAL VENDOR CORRECTIVE ASPHALT MATERIALS LLC				23,472.60	
VENDOR NAME: COUNTRY PORCH LLC					
2020 ART FAIR AUCT	FALL FEST FUNDRAISER - HISTORICAL PHOTO	100-5141-539900	100.00	100.00	ADMIN
TOTAL VENDOR COUNTRY PORCH LLC				100.00	
VENDOR NAME: DE LAGE LANDEN FINANCIAL					
69708055	COPIER LEASE	100-5211-521900	108.00	108.00	POLICE
TOTAL VENDOR DE LAGE LANDEN FINANCIAL				108.00	
VENDOR NAME: EBIX					
10563	EBIX INVOICE	150-5231-521900	9,036.99	9,036.99	FIRE
TOTAL VENDOR EBIX				9,036.99	
VENDOR NAME: EMERGENCY MEDICAL PRODUCTS					
2204780	EMS SUPPLIES	150-5231-531100	420.76	420.76	FIRE
TOTAL VENDOR EMERGENCY MEDICAL PRODUCTS				420.76	
VENDOR NAME: FASTENAL COMPANY					

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VENDOR NAME: FASTENAL COMPANY					
WIMUK84342	WWTF PAPER PRODUCTS	620-8010-827000	100.08	100.08	UTILITIES
TOTAL VENDOR FASTENAL COMPANY				100.08	
VENDOR NAME: GALLS LLC					
016551083	GAS MASK FOR OFFICER ROGERS JOINING WALW	100-5212-531100	75.94	75.94	POLICE
TOTAL VENDOR GALLS LLC				75.94	
VENDOR NAME: GENERAL CODE					
PC0000031740	LASERFICHE SUBSCRIPTION	100-5142-521900	8,500.00	8,500.00	CLERK
TOTAL VENDOR GENERAL CODE				8,500.00	
VENDOR NAME: HAWKINS WATER TREATMENT					
4800059	WATER CHEMICALS FOR TREATMENT	610-6300-663100	1,589.95	1,589.95	UTILITIES
4801218	WATER CL2 CHEMICAL PUMP PARTS	610-6300-663200	627.28	627.28	UTILITIES
4800051	WWTF SLUDGE CONDITIONING CHEMICALS	620-8010-825000	1,014.30	1,014.30	UTILITIES
TOTAL VENDOR HAWKINS WATER TREATMENT				3,231.53	
VENDOR NAME: HIPPENMEYER, REILLY, BLUM,					
50055	MISC MATTERS	100-5130-521900	2,215.00	2,215.00	FINANCE
50056	WWTF SCADA TOWER	620-8400-852000	78.75	157.50	UTILITIES
		610-6920-692300	78.75		
50057	LITIGATION	200-5130-521900	210.00	210.00	FINANCE
50060	PROSECUTIONS	100-5130-521900	645.00	645.00	FINANCE
50059	BOX SELF STORAGE	100-0000-211425	17.50	17.50	FINANCE
50058	HILL COURT/BRIOHN PROJECT	100-0000-211425	2,117.50	2,117.50	FINANCE
TOTAL VENDOR HIPPENMEYER, REILLY, BLUM,				5,362.50	
VENDOR NAME: HOME DEPOT					
2020 SEPTEMBER	2020 SEPTEMBER HOME DEPOT PMNT	100-5160-582100	292.78	507.08	DPW
		100-5521-531100	53.14		
		100-5344-539500	161.16		
TOTAL VENDOR HOME DEPOT				507.08	
VENDOR NAME: HORN FEEDS					
31203	WWTF LAB SUPPLIES	620-8010-826000	81.00	81.00	UTILITIES
TOTAL VENDOR HORN FEEDS				81.00	
VENDOR NAME: HORN OIL					
2020 SEPTEMBER	2020 SEPTEMBER MONTHLY FUEL	100-5212-535100	1,593.48	6,001.06	ALLOCATE
		100-5241-535100	53.62		
		100-5324-535100	1,563.78		
		150-5222-535100	430.64		
		150-5231-535100	1,377.27		
		610-6920-693300	341.06		
		620-8010-828000	641.21		

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VENDOR NAME: HORN OIL				
	TOTAL VENDOR HORN OIL			6,001.06
VENDOR NAME: HYDROCORP				
0059001-IN	CROSS CONNECTION INSPECTIONS	610-6920-692300	833.00	833.00 UTILITIES
	TOTAL VENDOR HYDROCORP			833.00
VENDOR NAME: JOHNS DISPOSAL SVC. INC.				
526107	SEPTEMBER GARBAGE AND RECYCLING	410-5362-531000	24,073.92	45,859.22 DPW
		410-5363-522000	17,978.28	
		410-5363-521900	2,983.52	
		100-5345-539000	823.50	
	TOTAL VENDOR JOHNS DISPOSAL SVC. INC.			45,859.22
VENDOR NAME: KAESTNER AUTO ELECTRIC				
343446	TORO 5910 ALTERNATOR	100-5324-539500	600.00	600.00 DPW
	TOTAL VENDOR KAESTNER AUTO ELECTRIC			600.00
VENDOR NAME: LFGEORGE INC				
IC75509	STUMP GRINDER TEETH	100-5611-531100	120.56	120.56 DPW
	TOTAL VENDOR LFGEORGE INC			120.56
VENDOR NAME: LYNCH CHEVROLET				
4071850	TRUCK #4 INGNITION SWITCH	100-5324-539500	346.51	346.51 DPW
	TOTAL VENDOR LYNCH CHEVROLET			346.51
VENDOR NAME: MESSAGEUS.COM				
202740134	WWTF PHONE SERVICE	620-8400-851000	8.83	8.83 UTILITIES
	TOTAL VENDOR MESSAGEUS.COM			8.83
VENDOR NAME: MILWAUKEE JOURNAL SENTINEL				
2020 RENEWAL	2020-11-01 - 2021-10-31 SUBSCRIPTION REN	100-5141-539900	594.05	594.05 ADMIN
	TOTAL VENDOR MILWAUKEE JOURNAL SENTINEL			594.05
VENDOR NAME: MUKWONAGO AUTO PARTS - GENERAL				
114789	WATER REPLACEMENT BATTERIES FOR GENERATO	610-6200-662500	786.54	786.54 UTILITIES
114904	WATER GENERATOR BATTERY REPLACEMENT	610-6200-662500	(36.00)	(36.00) UTILITIES
115015	WATER GENERATOR BATTERY REPLACEMENT	610-6200-662500	(20.00)	(20.00) UTILITIES
115079	WWTF GENERATOR FUSES	620-8010-827000	23.49	23.49 UTILITIES
115102	WATER GENERATOR BATTERY REPLACEMENT	610-6200-662500	(10.00)	(10.00) UTILITIES
113500	WATER TOOLS	610-6452-665200	39.43	39.43 UTILITIES
	TOTAL VENDOR MUKWONAGO AUTO PARTS - GENERAL			783.46
VENDOR NAME: MUKWONAGO CHAMBER OF COMMERCE				
2020 SEPT RM TX	2020 SEPTEMBER ROOM TAX - AIR BNB	100-0000-244000	152.22	152.22 CLERK
	TOTAL VENDOR MUKWONAGO CHAMBER OF COMMERCE			152.22
VENDOR NAME: MUKWONAGO ROTARY CLUB				

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: MUKWONAGO ROTARY CLUB					
2020 Q4 DUES	2020 Q4 DUES/BREAKFAST	100-5141-532400	89.75	269.25	FINANCE
		100-5211-532400	89.75		
		100-5300-532400	89.75		
TOTAL VENDOR MUKWONAGO ROTARY CLUB				269.25	
VENDOR NAME: MUNICIPAL PROPERTY INSURANCE CO					
2020 POLICY RENEWAL	09/30/2020 - 9/30/2021 POLICY RENEWAL	100-5154-551200	16,442.86	46,406.00	FINANCE
		100-5154-551600	50.00		
		440-5511-522600	8,519.99		
		610-6920-692400	9,425.94		
		620-8400-853000	11,967.21		
TOTAL VENDOR MUNICIPAL PROPERTY INSURANCE CO				46,406.00	
VENDOR NAME: NORTHERN LAKE SERVICE INC					
387097	WWTF LAB TESTING	620-8010-826000	26.00	26.00	UTILITIES
387428	WWTF LAB TESTING	620-8010-826000	589.00	589.00	UTILITIES
387731	WWTF LAB TESTING	620-8010-826000	334.00	334.00	UTILITIES
387741	WWTF LAB TESTING	620-8010-826000	360.00	360.00	UTILITIES
387652	WWTF LAB TESTING	620-8010-826000	26.00	26.00	UTILITIES
387678	WWTF LAB TESTING	620-8010-826000	334.00	334.00	UTILITIES
388358	WWTF LAB TESTING	620-8010-826000	360.00	360.00	UTILITIES
388335	WWTF LAB TESTING	620-8010-826000	334.00	334.00	UTILITIES
TOTAL VENDOR NORTHERN LAKE SERVICE INC				2,363.00	
VENDOR NAME: POMPS TIRE SERVICE, INC					
60223924	3452 TIRES	150-5231-539500	638.64	638.64	FIRE
TOTAL VENDOR POMPS TIRE SERVICE, INC				638.64	
VENDOR NAME: PORT-A-JOHN, INC					
1319355-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00	DPW
1319356-IN	PORTABLE RESTROOMS	100-5521-531100	176.00	176.00	DPW
1319357-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00	DPW
1319358-IN	PORTABLE RESTROOMS	100-5521-531100	176.00	176.00	DPW
1319360-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00	DPW
1319359-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00	DPW
1319535-IN	PORTABLE RESTROOMS	100-5521-531100	88.00	88.00	DPW
TOTAL VENDOR PORT-A-JOHN, INC				792.00	
VENDOR NAME: PRAXAIR DISTRIBUTION INC					
99064633	OXY/ACETYLENE TANK LEASE	620-8010-827000	32.30	32.30	UTILITIES
TOTAL VENDOR PRAXAIR DISTRIBUTION INC				32.30	
VENDOR NAME: PROHEALTH CARE LAB BILLING					
18382425	AUG 9 TO SEPT 5 OAWI BLOOD DRAWS (2 @ \$3100-5212-521900		70.00	70.00	POLICE
TOTAL VENDOR PROHEALTH CARE LAB BILLING				70.00	
VENDOR NAME: PROHEALTH CARE MEDICAL ASSOC INC					
305347 DPW	RESPIRATOR FIT TESTING	100-5300-521900	449.00	449.00	DPW

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INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		APPROVAL AMOUNT	DEPARTMENT
VENDOR NAME: PROHEALTH CARE MEDICAL ASSOC INC					
305347 UTILITIES	WASTEWATER CONFINED SPACE FIT TESTING	620-8400-852000	373.00	373.00	UTILITIES
305270	PHC FLU AND TB SKIN TESTS	150-5221-521900	117.00	117.00	FIRE
TOTAL VENDOR PROHEALTH CARE MEDICAL ASSOC INC				939.00	
VENDOR NAME: PROVEN POWER INC					
02-347768	ZERO TURN PARTS	100-5324-539500	(3.22)	(3.22)	DPW
TOTAL VENDOR PROVEN POWER INC				(3.22)	
VENDOR NAME: PUBLIC SERVICE COMMISSION OF WI					
RA21-I-03980	WATER PSC ANNUAL FEES	610-6920-692800	2,237.04	2,237.04	UTILITIES
TOTAL VENDOR PUBLIC SERVICE COMMISSION OF WI				2,237.04	
VENDOR NAME: QUILL LLC					
11007950	HANGING FOLDERS	100-5211-531100	32.82	32.82	POLICE
11008333	HANGING FOLDERS	100-5211-531100	131.28	131.28	POLICE
11016594	HANGING FOLDERS, FOLDERS, COPY PAPER	100-5211-531100	263.81	263.81	POLICE
TOTAL VENDOR QUILL LLC				427.91	
VENDOR NAME: RICOH USA, INC					
5060505576	PLANNING ROOM COPIER COPIES 9/01/2020 -	100-5632-531200	14.90	14.90	ALLOCATE
5060506014	RICOH COPIES 07/01/2020 - 09-30-2020	100-5142-531200	59.67	426.24	ALLOCATE
		150-5221-531100	55.41		
		220-5140-531200	4.26		
		410-5363-531200	8.52		
		440-5511-531200	21.31		
		500-5344-531200	4.26		
		610-6902-690300	140.66		
		620-8300-840000	132.15		
TOTAL VENDOR RICOH USA, INC				441.14	
VENDOR NAME: SAN-A-CARE					
528591	SANITIZING CHEMICALS	100-5521-531100	244.76	244.76	DPW
TOTAL VENDOR SAN-A-CARE				244.76	
VENDOR NAME: SHERWIN-WILLIAMS					
5285-3	BUILDING PAINT	100-5521-531100	131.15	131.15	DPW
TOTAL VENDOR SHERWIN-WILLIAMS				131.15	
VENDOR NAME: SHRED-IT USA					
8180156371	MONTHLY SHREDDING SERVICE FOR JULY	100-5211-521900	62.67	62.67	POLICE
8180347143	AUGUST SHREDDING SERVICES	100-5211-539500	62.67	62.67	POLICE
TOTAL VENDOR SHRED-IT USA				125.34	
VENDOR NAME: SLOCUM HENRY					
2020 REIMBURSEMENT	SLOCUM 2020 CLOTHING REIMBURSEMENT	150-5222-534600	50.00	50.00	FIRE
TOTAL VENDOR SLOCUM HENRY				50.00	
VENDOR NAME: SUBURBAN LABORATORIES INC					
180852	WATER TESTING	610-6300-663200	96.00	96.00	UTILITIES

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VENDOR NAME: SUBURBAN LABORATORIES INC					
TOTAL VENDOR SUBURBAN LABORATORIES INC				96.00	
VENDOR NAME: THUNDER ROAD LLC					
2424	STREET CRACK SEALING	480-5700-584000	62,386.00	62,386.00	DPW
TOTAL VENDOR THUNDER ROAD LLC				62,386.00	
VENDOR NAME: TRILOGY CONSULTING LLC					
1106	WATER RATE INCREASE DISCUSSION	610-6920-692300	27.50	27.50	UTILITIES
TOTAL VENDOR TRILOGY CONSULTING LLC				27.50	
VENDOR NAME: UNITED STATES ALLIANCE FIRE PROTECT					
1046-F041203	VH FIRE ALARM INSPECTION	100-5160-539500	235.00	235.00	DPW
1046-F041206	FIRE ALARM INSPECTION	100-5323-539500	325.00	325.00	DPW
1046-F041208	ANNUAL INSPECTION OF THE SIMPLEX FIRE SY	100-5211-521900	295.00	295.00	POLICE
TOTAL VENDOR UNITED STATES ALLIANCE FIRE PROTECT				855.00	
VENDOR NAME: UNTI DAVID					
2020 REIMBURSEMENT	2020 CLOTHING REIMBURSEMENT - UNTI	150-5222-534600	50.00	50.00	FIRE
TOTAL VENDOR UNTI DAVID				50.00	
VENDOR NAME: WALWORTH CTY CLERK					
2020 DOG LICENSE	WAL CO DOG LICENSE FEES	100-5142-521900	72.75	72.75	CLERK
TOTAL VENDOR WALWORTH CTY CLERK				72.75	
VENDOR NAME: WAUKESHA CTY TREASURER					
2020-00000059	WAUKESHA CO TAX BILL PRINTING	100-5142-531200	2,805.22	2,805.22	CLERK
2020-00000039	STORM WATER EDUCATION AND OUTREACH	100-5660-535200	2,685.00	2,931.00	DPW
		500-5344-535200	246.00		
TOTAL VENDOR WAUKESHA CTY TREASURER				5,736.22	
VENDOR NAME: WCTC					
S0725850	TRAINING FOR OFFICERS	100-5215-533500	457.98	457.98	POLICE
TOTAL VENDOR WCTC				457.98	
VENDOR NAME: WI DEPT OF JUSTICE CIB					
202009 L6812T	BACKGROUND CHECKS	100-5211-521900	14.00	63.00	POLICE
		100-0000-242205	49.00		
202009 G3385	BACKGROUND CHECKS	150-5221-521900	10.00	10.00	FIRE
TOTAL VENDOR WI DEPT OF JUSTICE CIB				73.00	
VENDOR NAME: WI STATE LAB OF HYGIENE					
648047	WATER LAB TESTING	610-6300-663200	26.00	26.00	UTILITIES
TOTAL VENDOR WI STATE LAB OF HYGIENE				26.00	
VENDOR NAME: ZAESKE DEBORAH					
2020 UNIFORM	2020 UNIFORM ALLOWANCE - ZAESKE(3 SHIRTS	100-5211-534600	250.00	250.00	POLICE

INVOICE NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	APPROVAL AMOUNT DEPARTMENT
VENDOR NAME: ZAESKE DEBORAH			
	TOTAL VENDOR ZAESKE DEBORAH		250.00
GRAND TOTAL:			266,656.36

**Village of Mukwonago
Walworth and Waukesha Counties**

ORDINANCE NO. 985

**ORDINANCE TO AMEND VARIOUS SECTIONS IN CHAPTER 100 OF THE VILLAGE
OF MUKWONAGO MUNICIPAL CODE REGARDING CONDITIONAL USES**

The Village Board of the Village of Mukwonago, Waukesha and Walworth counties, do ordain as follows:

SECTION I

Repeal and recreate subsection 100-14(8) to read as follows:

- (8) A building permit shall be granted or denied in writing by the building inspector within 30 days after application. The building permit shall expire within six months unless substantial work has commenced, and within 18 months if the structure for which the permit was issued is not substantially completed. Any permit issued in conflict with the provisions of this chapter shall be null and void.

SECTION II

Revise the following definitions in subsection 100-29 to read as follows:

Business mixed use development. In the Village of Mukwonago, business mixed use development with approval under planned unit development overlay standards applied to specific business districts means a mixture of multi-family residential and business uses allowed on the same property. Business uses may include commercial, retail, service and office activities that are either new or existing. Business mixed use development may be: (1) within a single or multiple buildings within a unified development having business on lower or upper floors and multi-family residential dwelling units on the other floors; or (2) a business or businesses in buildings separate from the multi-family residential buildings with all buildings within a unified development. However, a multi-family development proposal within the area planned for business mixed use overlay within the South Main Street-River Key Area of the Update to Comprehensive Plan 2035, may apply through a planned unit development to be solely residential if conforming to the following criteria:

1. The proposal must be a redevelopment project, meaning the acquisition of property with existing buildings, impervious surface, or infrastructure are to be demolished and repurposed; and
2. The total development proposes less than 100 units of new multi-family; and
3. The proposed development area is directly abutted by an existing commercial development.

Each business mixed use development shall be under the same ownership at the time of application and approval. Nonetheless, after approval and development, the unified development site may be divided into separate ownerships.

Conditional uses. Uses of a special nature as to make impractical their predetermination as to a permitted use in a district.

SECTION III

Add the following definitions to subsection 100-53(1) in alphabetical order:

Conditional use order. A written decision issued by the village board that indicates whether the conditional use is approved or denied, and the terms of the approval if so granted. The conditional use may only be established on the subject property when the zoning administrator issues a conditional use permit indicating that all initial conditions of the approval have been satisfied.

Conditional use permit. A permit issued by the zoning administrator indicating that the conditional use may be established following a determination that all initial conditions of the conditional use order have been satisfied.

SECTION IV

Repeal and recreate subsection 100-53(1) to read as follows:

- (1) *Regulatory Intent.* A planned unit development overlay district, as defined under planned unit development in section 100-29, is a regulatory process allowing modifications to a development plan to meet overall community land use goals and density criteria without being bound by exact development standards of an individual zoning district. The process provides a flexible regulatory framework designed to allow developers greater freedom, imagination and flexibility in the development of land while ensuring substantial compliance with the basic intent of the comprehensive plan and zoning code. In the Village of Mukwonago, a planned unit development is an overlay district and does not appear on the municipal zoning map until a planned unit development overlay district is approved for the development site.

SECTION V

Repeal and recreate subsection 100-53(2) to read as follows:

- (2) *Standards and criteria established.* Each planned unit development overlay district is approved using the procedure for rezoning. The following describe general standards and criteria in the use and approval of a planned unit development overlay district.
 - (a) A minimum property size of two acres is required for a property owner to request a planned unit development overlay district.
 - (b) At time of approval, a planned unit development overlay district shall be in a unified ownership either in a single property or a grouping of properties in the unified ownership. Nothing in the planned unit development overlay district approval shall prevent future land division or sale of all or portions of the development, such as

condominium ownership. Approval of a planned unit development overlay district may specify the terms of development phasing and timing of land division or sale.

- (c) The development type allowed in a planned unit development overlay district shall be consistent with the land use descriptions and policies for the subject property of the village comprehensive plan, and shall be approved with an underlying base zoning district. A planned unit development overlay district may be approved with multiple underlying base zoning districts to improve the orderly development of the unified site, or when other underlying base zoning districts must remain pursuant to other requirements, such as a floodplain district.
- (d) Uses permitted in a planned unit development overlay district shall conform to uses permitted in the underlying base zoning district or districts. Individual structures shall comply with the specific building area and height requirements of the underlying base zoning district, except when height regulations of the underlying base zoning district allows flexibility via the planned unit development process. All open space of the underlying base zoning district shall be complied with either individually or by providing the combined open space required for the entire development in one or more locations within the development. However, a planned unit development overlay district approved as a business mixed use overlay district or a village center overlay zoning district shall conform to the standards of that specific overlay district as outlined in this chapter 100.
- (e) All zoning districts allowed in this chapter may be utilized as underlying base zoning district or districts in a planned unit development overlay district, except for residential districts that permit single family development.
- (f) Approval by the village board, with recommendation from the plan commission, shall include a detailed list of allowed modifications from zoning and other Village Municipal Code requirements along with a detailed list of approved development plans. Each planned unit development shall be further regulated by a developer's agreement.

SECTION VI

Repeal and recreate subsection 100-53(9) to read as follows:

- (9) *Application procedure and required information.*
 - (a) *Preliminary staff consultation.* A petitioner shall have a preliminary consultation with the zoning administrator and such other village staff and consultants that the administrator deems needed and appropriate to conduct a preliminary review of the application.
 - (b) *Application and general development plan.*
 - 1. The applicant shall submit an application in accordance with the application procedure described in this chapter. In addition to the required information, a general development plan shall be submitted to the plan commission and village board for review.

2. In addition, other documents or related information may be required by the plan commission and village board, which may include, but is not limited to, economic impact and market feasibility studies, soil borings and site environmental analysis.
3. The general development plan and related information shall be available for public inspection prior to any public hearing for the proposed project.

SECTION VII

Repeal and recreate subsection 100-53(11) to read as follows:

(11) *Detailed plans and information.*

- (a) After approval has been granted based upon the information shown in the general development plan, detailed plans and information covering that portion of the total project which is intended for construction shall be submitted for approval prior to the issuance of a building permit.
- (b) The detailed plans and information shall be submitted to the plan commission for its review and approval at least 30 days prior to the expected date of approval by the plan commission. After approval by the plan commission, all detailed plans and information shall be submitted to the village board along with any written statement of the plan commission findings and recommendations within 45 days. The village board shall approve all detailed plans and information prior to the issuance of a building permit or any other permits.
- (c) The detailed plans and information shall cover that portion of the project which is intended for construction and shall include all data required this chapter.

SECTION VIII

Repeal and recreate subsection 100-54(2) to read as follows:

- (2) *Approval.* Business mixed use developments shall be approved under planned use development (PUD) standards and procedures of section 100-53. With PUD approval, a business mixed use development shall not be allowed modifications for the mapped designated locations for business mixed use development, for maximum density or for maximum building height; except as stated for maximum height.

SECTION IX

Repeal and recreate subsection 100-54(7)(k) to read as follows:

- (k) *Amenities.* Amenities shall be provided to enhance enjoyment of the site by residents of the development and to enhance site aesthetics. While the amount and extent of provided amenities may be determined by the size of the development in terms of land area and allowed number of dwelling units, the plan commission and the village board approval will consider the amount of provided amenities.

1. The types of interior building amenities may include: fitness room(s), club house or community/party room(s), game room(s), secure additional storage room or area for residents, porches/balconies, manned on-site management office, etc.
2. The types of exterior site amenities may include: natural or paved pedestrian paths, paths and sidewalks connecting to off-site paths or sidewalks, fitness trails, swimming pool and other sports/athletic facilities, outdoor gathering areas, decorative parking lot lighting, a landscape plan beyond the minimum requirements, clearly marked building/unit addresses complimentary to the building design, etc.

SECTION X

Repeal and recreate section 100-351 to read as follows:

Sec. 100-351 Applicability and restrictions.

- (a) *General applicability.* Those land uses designated as a conditional use must comply with the requirements in this Article.
- (b) *Limitation due to nonconforming lot.* In the event a lot is classified as a nonconforming lot (e.g., lot area, lot width), all conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, that the nature of the nonconformity does not affect the appropriateness of the lot for the conditional use. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation and/or Village Board's decision under this Article.
- (c) *Limitation due to a nonconforming use on the lot.* In the event a lot has a nonconforming use, all conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, the non-conforming use and a proposed conditional use are compatible. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation and/or Village Board's decision under this Article.
- (d) *Limitation due to existing conditional use on the lot.* In the event a lot has an approved conditional use, all other conditional uses are prohibited, unless the Plan Commission determines, on a case-by-case basis, that the existing and proposed conditional uses are compatible. Any such determination in the affirmative shall have no bearing on the Plan Commission's recommendation and/or Village Board's decision under this Article.

SECTION XI

Repeal and recreate section 100-352 to read as follows:

Sec. 100-352. Application.

Application for conditional use shall be made on forms maintained by the zoning administrator and shall include the following:

- (1) Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor, and all opposite and abutting property owners of record.
- (2) Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the

structure or site; number of employees; and the zoning district within which the subject site is located.

- (3) Plat of survey prepared by a registered land surveyor, or a sketch drawn to scale and approved by the zoning administrator, showing all of the information required under section 100-14 for a building permit and existing and proposed landscaping.
- (4) All information requested by site plan and architectural review in section 100-601. However, for conditional use applications in an existing structure, the zoning administrator may waive submission requirements.
- (5) The application fee for conditional uses shall be set by village board resolution.
- (6) A Plan of Operation that describes in detail, acceptable to the Zoning Administrator, the following characteristics as proposed:
 - a. Hours of operation;
 - b. Number of employees, including both full time equivalents and maximum number of personnel to be on the premises at any time;
 - c. Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate the impacts of these matters on neighboring properties;
 - d. Descriptions of any materials stored outside and any activities, processing or other operations taking place outside of an enclosed building, if otherwise allowed;
 - e. Compliance with the Village's Storm Water Ordinance, Erosion Control Standards where applicable;
 - f. Sanitary facilities and private on-site waste transfer systems are in compliance with the requirements of the County agencies with jurisdiction;
 - g. Facilities for managing removal of trash, solid waste and recycling materials;
 - h. Anticipated daily traffic, including, but not limited to, the types and weights of vehicles, night provisions, necessary intersection and road improvements or other measures proposed to accommodate increased traffic and/or the weight of the vehicles being utilized;
 - i. List of hazardous, toxic or explosive materials to be stored on site, if otherwise allowed, and any spill containment, safety or pollution measures which will be put in place for the use; and
 - j. Outdoor lighting and measures taken to mitigate light pollution, impacts to neighboring properties.

SECTION XII

Repeal and recreate section 100-353 to read as follows:

Sec. 100-353. Hearings.

The plan commission shall hold a public hearing on each application, giving public notice as specified in article XIV of this chapter. The plan commission may subsequently recommend approval

of the conditional use with appropriate conditions or recommend denial with reasons. The recommendations shall be forwarded to the village board.

SECTION XIII

Repeal and recreate section 100-352 to read as follows:

Sec. 100-354. Review, findings and approval.

- (a) The plan commission shall, as a minimum, review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems and the proposed plan of operation.
- (b) Conditions such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required upon a finding that these are necessary to fulfill the purpose and intent of this chapter.
- (c) Compliance with all other provisions of this chapter, such as lot width and area, yards, height, parking, loading, traffic, shoreland-wetland zoning requirements and highway access, shall be automatically required of all conditional uses. Variances shall only be granted as provided in section 100-808 of this chapter.
- (d) The plan commission shall recommend approval, denial or conditional approval of all conditional use applications within 60 days of submittal, unless said time frame is extended by written approval of the applicant.
- (e) When recommending approval of the conditional use, the plan commission shall find that:
 - (1) Such use and/or structures are in accordance with the purpose and intent of the zoning district in which it is located.
 - (2) Such use and/or structures are found to be not hazardous, harmful, offensive or adverse to the environment or value of the neighborhood and community.
- (f) The following shall apply to the administration of conditional uses:
 - (1) If a structure has been granted a conditional use permit, but the conditional use permit was not granted for a specific use, then the specific use shall first gain a conditional use permit prior to occupancy, if such use required a conditional use permit in the zoning district in which property is located.
 - (2) Conditional uses that expand or relocate positions within the same property shall submit a new application to be reviewed under the standards and requirements in effect on the date of the submittal.
 - (3) An existing conditional use cannot be transferred within the same property or location to another conditional use category; for example, from a tavern to a body shop.
 - (4) A conditional use in good standing, such as conditional uses that conform to conditions of approval and all municipal codes, shall be allowed to transfer ownership, unless otherwise specified in the approval. The process for amending an approved conditional use order shall follow the procedures for issuance.

- (g) Should an applicant, his/her heirs or assigns fail to comply with the conditions of an approved conditional use order or should the use or characteristics of the use be changed without prior approval by the village board the permit shall be revoked. The process for revoking an approval shall generally follow the procedures for reviewing an application for a new conditional use.
- (h) Only complete applications will be accepted. In the event there are any orders pending with respect to the property or the property is in violation of the terms and conditions of the Village Code, or in the event there are fees, special charges for current services or other sums owned by the owner or occupant of the property to the Village, the Application will not be considered until such time as the outstanding fees, costs or assessments are paid and the property is in compliance with Village Ordinances.
- (i) The Village may consult with a person or persons with appropriate expertise as determined by the Village to effectively evaluate a Conditional Use Application. The review that may be conducted by the consultant may include, but not be limited to, peer review of the reports, analysis and opinion of the applicant's consultant or experts. The adequacy of the measures proposed to protect the public health, safety and welfare, as well as the impact of traffic, noise, odors, lighting and containment, the safety or pollution prevention measures necessary to implement the Conditional Use. The Village Administrator or his/her designee will select the consultant. The applicant shall bear all reasonable costs and expenses associated with such consultation. The Zoning Administrator shall advise the applicant of the Village's intention to exercise its authority under this section. The applicant may withdraw a pending application to avoid the incurring of fees under this paragraph until such time as the expert or consultant is retained; after which the applicant shall be responsible for the fees incurred by the expert consultant until the time the Application withdrawn. The Village may postpone action on any application until any pending violations of the Village's Municipal Code are resolved and the property owner brings the property to full compliance with applicable standards and any outstanding fees, costs or expenses incurred by the property owner, or any tenant, are paid in full.
- (j) The Plan Commission may require, in its reasonable discretion, a bond or other financial guaranty to dismantle equipment, buildings or structures that may pose a hazard or nuisance after a Conditional Use has been abandoned or revoked, unless otherwise required by an applicable State Law or Administrative Code provision. Any bond or financial instrument provided hereunder shall expressly state that it will remain in full force and effect for a period of at least six months after the surety provides the Village with written notice of an expiration or termination of the surety's obligation under the bond. The applicant shall remove any equipment or structure placed or erected pursuant to a Conditional Use order that may pose a hazard or nuisance after the use has abandoned or revoked not less than thirty days prior to termination or expiration of the bond or financial guaranty. The amount of the surety shall be based upon the estimated cost of the removal of the equipment, building or structure, plus twenty percent.
- (k) The Plan Commission in making its recommendation and the Village Board in making its decision shall ensure compliance with the following standards:
 - (1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.

- (2) The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
- (3) The establishment, maintenance or operation of the conditional use is compatible with surrounding properties, whether in the same or different zoning districts. In making this determination, the Plan Commission and Village Board must determine whether the petitioner has demonstrated there are no adverse effects on surrounding properties or that potentially adverse effects have been eliminated or reduced to an acceptable level. Approaches that could be employed to mitigate potentially adverse effects will depend on the particular circumstances but may include (i) adjusting the location of the use, or parts thereof, on the subject property; (ii) limiting hours of operation; (iii) limiting the size or scope of the use, or parts thereof; (iv) controlling how the use is managed on an on-going basis; (v) providing additional landscaping; (vi) providing additional screening; and (vii) limiting operations conducted out-of-doors, if otherwise allowed.
- (3) The establishment, maintenance or operation of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
- (4) Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
- (5) Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In making such determination, the personal experience of surrounding property owners may be considered substantial evidence.

- (1) The Plan Commission shall grant approval if the terms and conditions of this Article are met. However, in the event the terms and conditions of the Article are not consented to and complied with by the applicant, the Commission shall deny the application. In addition, the Commission may deny the Conditional Use or place conditions on it if substantial evidence, as defined in Wisconsin Statute §62.23(7) is presented. That evidence shall demonstrate the inability of the applicant to comply with or meet the conditions of this Article or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence.

SECTION XIV

Add section 100-355 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-355. Special conditions of approval

- (a) *Generally.* Based on substantial evidence, the Plan Commission may recommend and the Village Board may impose one or more conditions of approval as may be necessary to grant approval. Such conditions and restrictions may relate to the establishment, location, construction, maintenance, operation of the use, off-site impacts, and any other aspect of the

use that impacts the public health, safety, or general welfare. Examples of such conditions are listed below.

Issue	Potential Condition
1. Hours of operation	Limit hours of operation to hours to be more compatible with surrounding uses.
2. Buffering	Require more of a buffer than what is otherwise required by this chapter. Buffering may include landscaping, walls or fences, berms, and other features to physically separate adjoining uses.
3. Maximum floor area	Establish a maximum floor area that may be less than what is otherwise allowed.
4. Maximum number of patrons	Limit the size of the use by establishing maximum patron loads, often by seats and/or tables
5. Uses within buildings	Limit commercial uses to the first floor of a multistory building.
6. Number and/or location of entrances	Design the site and building so that entrances are located in areas away from adjoining properties.
7. Outdoor activity	Restrict locations and/or times of outdoor activity.
8. Outdoor storage	Establish a maximum area for outdoor storage that may be less than what is otherwise allowed.
9. Take-out food service	Prohibit drive-up service windows and/or walk-up service windows in certain areas of the property (e.g., near a residential use). If these are allowed, limitations could be set.
10. Delivery services	Prohibit deliver services that entail frequent trips or establish upper limits on the activity.
11. Signage	Prohibit signage in areas of the property that may cause an impact on surrounding areas.

(b) *Limitation on imposing conditions.* A condition of approval shall not lessen a development standard or other requirement in this chapter.

(c) *Effect on contracts with another party.* The review authority shall not condition or withhold approval based upon the property owner entering into a contract or discontinuing, modifying, extending, or renewing any contract, with a third party under which the third party is engaging in a lawful use of the property.^[1]

Editorial notes:

[1] See s. 62.23(7)(gm), Wis. Stats. The Village, for example, could not require an applicant to terminate an existing contract with another party that is engaged in a lawful use of the property.

SECTION XV

Add Section 100-356 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-356. Term for an approval

- (a) *Generally.* A conditional use order authorizing a conditional use shall have a 5-year term unless otherwise specified in the conditional use order.
- (b) *Change in term as part of renewal.* If a term is specified in a conditional use order (i.e., the approval is not permanent), the Plan Commission during the renewal process may revise the term to be a longer period (e.g., change renewal from 5 years to 10 years) or make the approval permanent (e.g., remove the renewal requirement from the order).
- (c) *Administrative renewal.* The order may describe an administrative renewal process to allow for streamlined renewal of the conditional use order with a provision that allows the Plan Commission and/or the Village Board to remove the conditional use order from administrative renewal if there are concerns with compliance with the conditional use order or concerns raised by the public about the applicant's operations. If the Plan Commission or the Village Board pulls the conditional use order from administrative renewal, the conditional use order shall remain in effect while the Plan Commission provides due process to the applicant in reviewing the conditional use order and its potential renewal.

SECTION XVI

Add Section 100-357 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-357. Effect of approval

- (a) **Generally.** Unless otherwise specified in the conditional use order, approvals run with the land.
- (b) **Temporary uses.** If a conditional use is listed as a temporary use and is approved by the Village Board as a conditional use, the use may be re-established with the written approval of the zoning administrator if he or she determines that the use to be re-established is substantially the same as what was originally approved and that the approved use did not create any potentially adverse impacts on the public health, safety, or welfare.

SECTION XVII

Add Section 100-358 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-358. Expiration of an approval

- (a) *Non-establishment of use.* If the zoning administrator determines that substantial work as authorized by a conditional use approval did not commence within 12 months of the date of approval or if substantial work did commence within 12 months of the date of approval but has not continued in good faith to completion, he or she shall initiate the process to terminate the approval. Upon petition and with cause, the zoning administrator may grant a one-time extension, not to exceed 6 months, provided (1) the permit holder requests the extension prior to the expiration of the approval, (2) the permit holder clearly demonstrates

that circumstances beyond his or her control prevented the start of construction and the continuation of the same, and (3) the project complies with this chapter in effect at the time the extension is granted.

- (b) *Cessation of use.* If the zoning administrator determines that a conditional use has ceased to operate for any reason, whether intentional or otherwise, for more than 12 continuous months, he or she shall initiate the process to terminate the approval.

SECTION XVIII

Add Section 100-359 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-359. Amendment of an approved conditional use

Following approval of a conditional use, the Plan Commission shall review all proposed changes to the approval. If in the opinion of the Plan Commission, the proposed change constitutes a minor alteration, the Plan Commission may approve the requested change in writing at a regular or special meeting of the Plan Commission without following the review procedure in this Article. If the proposed change constitutes a major alteration, the review procedure in effect at the time of submittal shall be followed.

SECTION XIX

Add Section 100-360 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-360. Appeal

An aggrieved person may appeal a final decision made pursuant to this division by filing an appeal with a court of competent jurisdiction within 30 calendar days of the final decision.

SECTION XX

Add Section 100-361 to the Municipal Code of the Village of Mukwonago as follows:

Sec. 100-361. Effect of comprehensive plan

While a conditional use need not be consistent with the Village's adopted comprehensive plan as set forth in s. 66.1001(2m)(b), the Village encourages consistency.

SECTION XXI

Remove the following land uses from the use table in Section 100-157 and from the use table in Section 100-158. Remove all other references to the following from the remainder of Chapter 100.

1. Correctional facility
2. Broadcasting or recording studio
3. Hazardous materials

4. Helicopter landing facility
5. Live entertainment special event
6. Outdoor racing facility
7. Outdoor storage
8. Power generation plant
9. Processing or recycling of mined materials
10. Railroad switching classification yard, or freight terminal
11. Recreational sport facility, outdoor
12. Sports facility, outdoor (with seating and property over 2 acres)
13. Test track with vehicle sales of light and heavy motor vehicles, on-road recreational vehicles or off-road recreational vehicles

SECTION XXII

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

SECTION XXIII

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of this Ordinance.

SECTION XXIV

This ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago, and shall indicate the date and number of this amending ordinance therein.

PASSED AND ADOPTED by the Village Board this 21st day of October 2020.

VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Countersigned:

Diana Dykstra, Village Clerk/Treasurer



Committee/Board:	Public Works Committee
Topic:	Ordinance 74.5 (b)(6) Amendment for Water Services Within 10' of Driveways.
From:	Dave Brown
Department:	Water Utility
Presenter:	Dave Brown
Date of Committee Action (if required):	10/7/2020
Date of Village Board Action (if required):	10/21/2020

Information

Subject:

Amend Ordinance 74.5 (b)(6) to allow water service in driveways with certain conditions.

Background Information/Rationale:

Several times this has been a hardship on residents for various reasons. Most recent was Robert Koehler at 1273 River Park Circle E., Mr. Koehler will be attending the COW to give his comments on his situation. Purpose of the ordinance was to eliminate repair costs of driveways due to high rates of failures from copper services and corrosive soil conditions.

Key Issues for Consideration:

Village specs now only allow HDPE pipe eliminating this problem meaning much fewer failures. Smaller lots are making it harder to keep laterals away from driveways.

Fiscal Impact (If any):

\$0 other than cost to draft ordinance.

Requested Action by Committee/Board:

Recommend the committee to authorize Village Attorney to draft ordinance allowing services within the 10' of a driveway but homeowner would sign a waiver releasing the Village from damages to driveway being responsible for all driveway repairs and attaching of signed agreement to deed.

Recommend Village Board to approve and adopt above ordinance amendment.

Attachments

Current Village Ordinance and Aerial picture of 1273 RPCE and neighboring properties.

**HIPPENMEYER, REILLY, BLUM,
SCHMITZER, FABIAN & ENGLISH S.C.**

MARK G. BLUM
THOMAS G. SCHMITZER
LORI J. FABIAN
RONALD E. ENGLISH III
MATTHEW R. GRALINSKI

720 CLINTON STREET
P. O. BOX 766
WAUKESHA, WISCONSIN 53187-0766
TELEPHONE: (262) 549-8181
FACSIMILE: (262) 549-8191
www.hrblawfirm.com

RICHARD S. HIPPENMEYER
(1911-1979)
WILLIAM F. REILLY
(1932-2007)

EMAIL: MGBLUM@HRBLAWFIRM.COM

October 14, 2020

Via Email Only

Mr. Ron Bittner
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Mr. Dave Brown
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Driveway Approach Separation

Gentlemen:

Following up on the issue of the separation required under the Village Code of water service curb stops to the edge of a driveway approach, as we discussed, Section 74-5(B)(6) states as follows: "Interference with water and sewer facilities. No driveway approach shall be constructed within 10 feet of an existing sanitary lateral, water service, water hydrant or water service curb stop box unless such separation is determined to be non-practicable by Public Works Supervision". I know there is currently a situation involving a gentleman, whose original driveway was substandard in width and now wishes to expand his driveway approach. Unfortunately, by expanding it to the dimension used by his neighbors, the curb stop will now be partially within the new driveway approach.

As I understand it, Staff wants to be able to address situations such as this where there are unusual circumstances which the Village is willing to accommodate, despite the terms of the Ordinance. I believe the current language in the Code could be interpreted to allow for such flexibility as it says that the stop box separation requirement could, in essence, be waived if Staff determines the requirement for separation to be non-practicable in an individual situation. My advice would be to leave the Code as it is currently written rather than to try and come up with language to address the current circumstance. My fear is that if we were to attempt to do so, we may end up creating a more difficult situation than we already have.

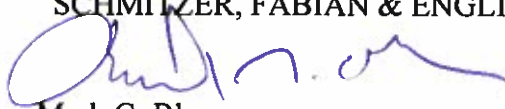
With that background, my recommendation to the Board is to not make any revision to Section 74-5(B)(6) of the Code and instead, Staff would simply make a finding as to the appropriateness of what this gentleman is requesting. In addition, I would suggest that we ask the property owner to sign an Access and Indemnity Agreement in the form attached hereto. As you can see, this is written in generic form at present; however, if you get me the specifics about this individual and their address, I can finalize it for use in this situation.

Mr. Ron Bittner
Mr. Dave Brown
October 13, 2020
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Thank you for your consideration of these comments, and please let me know if you have further questions or concerns.

Sincerely,

HIPPENMEYER, REILLY, BLUM,
SCHMITZER, FABIAN & ENGLISH, S.C.



Mark G. Blum

MGB/jb
Enc.

Cc: Ms. Diana Dykstra

	Access and Indemnity Agreement
<small>Document Number</small>	<small>Title of Document</small>

The property affected by the attached Agreement is legally described on Exhibit A.

Record this document with the Register of Deed.

Name and Return Address

Atty. Mark G. Blum
PO Box 766
Waukesha, WI 53187-0766

MUKV

(Parcel Identification Number)

Drafted By:

Attorney Mark G. blum
Hippenmeyer, Reilly, Blum,
Schmitzer, Fabian & English, S.C.
720 Clinton St., PO Box 766
Waukesha, WI 53187-0766
Phone: (262) 549-8181
Email: mgbлум@hrblawfirm.com

ACCESS and INDEMNITY AGREEMENT

This Agreement is made and entered into this _____ day of _____, 20____, by and between _____ [insert property owner name], who resides at _____ [insert address], Mukwonago, Wisconsin (hereinafter referred to as "Grantor") and the VILLAGE OF MUKWONAGO, a Wisconsin municipal corporation, with its principal office and place of business located at 440 River Crest Court, Mukwonago, Wisconsin, 53149 (hereinafter referred to as the "Village");

WHEREAS, Grantor owns the property at _____ in the Village of Mukwonago, which is more specifically described in the legal description attached as Exhibit A; and

WHEREAS, Grantor wishes to expand their driveway approach so as to accommodate a wider driveway; and

WHEREAS, the curb stop for the Village water utility will be within the widened driveway approach; and

WHEREAS, Village Municipal Code Section 74-5(B)(6) requires separation of the curb stop from the driveway approach unless the Village Staff determines that such separation distance is not practicable; and

WHEREAS, Village Utility Staff has reviewed the situation and has concluded that, given the street dimension of the Grantor's property, requiring the separation of the stop box from the driveway approach is not practicable.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, including but not limited to, the Village's consent to waive the required separation distance for a stop box from the Grantor's driveway approach pursuant to Section 74-5(B)(6) of the Mukwonago Village Code, the parties do hereby covenant, consent and agree as follows:

1. The Village hereby consents to the Grantor widening its driveway approach consistent with the plans and specifications previously submitted to the Village.
2. The Village does further consent to the stop box being located within the driveway approach subject to the terms and conditions of this Agreement.
3. Grantor acknowledges that in the event the Village needs to perform any work on the water utility line and stop box within the driveway approach, the Village shall not be required to restore said driveway approach upon the completion of the work, including, but not limited to, the construction, repair or reconstruction of said water utility line. Said restoration shall solely be at the expense of the Grantor.

4. Grantor further acknowledges that in the event of the operation of the Village water utility requires repair, maintenance or reconstruction of said water utility service, the Village may proceed to make such repairs, maintenance or reconstruction without the consent of Grantor; and that Grantor shall solely be responsible for the cost of the restoration of the driveway approach.

5. This Agreement shall commence upon its execution and shall thereafter be binding upon the heirs, personal representatives, successors and assigns of the parties, and shall represent a covenant running with the land, and the representations and warranties shall survive this document.

6. Grantor further agrees to indemnify and hold harmless the Village as and against any and all claims, demands, actions or causes of action, including costs and actual attorney fees, brought by any third party regarding personal injury or property damage resulting from the presence of the stop box within the driveway approach.

7. This Agreement shall be governed and construed in accordance with the laws of the State of Wisconsin.

8. This Agreement represents the complete understanding of the parties with respect to the subject matter set forth herein, and may not be modified except in writing, executed by both parties.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first above written.

GRANTOR:

GRANTOR:

STATE OF WISCONSIN)
) ss.
COUNTY OF WAUKESHA)

Personally came before me, this ____ day of _____, 20____, the above-named _____, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My Commission is permanent/expires: _____

VILLAGE:

Village of Mukwonago

VILLAGE:

Village of Mukwonago

By:

Fred Winchowky,
President

By:

Diana Dykstra,
Clerk/TreasurerSTATE OF WISCONSIN)
) ss.
COUNTY OF WAUKESHA)

Personally came before me, this ____ day of _____, 2020, the above-named Fred Winchowky and Diana Dykstra, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Mark G. Blum
Notary Public, State of Wisconsin
My Commission is permanent.



Village of Mukwonago

AGENDA ITEM REQUEST FORM

Committee/Board:	Village Board
Topic:	Election Statistics
From:	Diana Dykstra, Village Clerk-Treasurer
Department:	
Presenter:	
Date of Committee Action (if required):	N/A
Date of Village Board Action (if required):	Information Only.

Information Only

I wanted to provide an update on the Election process to date and provide residents with some added announcements regarding In-Person Absentee Voting Hours and processes.

Clerk staff is participating in webinars every Friday with the USPS regarding delivery of ballots, outstanding issues or complaints. Television Journalists have begun to surround clerks statewide in an effort to find any issues with absentee or safe voting practices. Our role again is to maintain a consistent and safe practice. I have full confidence in our inspectors and I will be present long before Elections Open and Close on Election Day to field any questions or concerns.

I have created a series of social media posts called "Did You Know?" which help answer questions that residents may not want to ask themselves, or might need reminders of. As we get closer to the Election, we will post more frequently.

Another important deadline approaching is the deadline to REGISTER TO VOTE IN THE CLERKS OFFICE. This deadline is 5:00PM on Friday October 30, 2020. Remember, a voter can still register to vote on Election Day. We are doing our best to try to keep the public informed, and updating our web site to direct residents appropriately.

Number of Registered Voters in April 2020: 4,857

Number of Registered Voters as of October 16, 2020: 5,327 (increase of 470 people)

Number of Absentee Ballots Issued as of October 16, 2020: 1,827

This is PRIOR to in-person Absentee Voting. We anticipate a larger than expected crowd that will bring in another 500-1,000 voters over the next 10 days. However, the number of absentee ballots outstanding is still 773. This means 42% of the ballots we issued already have not been returned.

Number of residents who have used our Drop Box as of October 16, 2020: 651

This equates to 36% of our absentee ballots issued are so far coming back in the drop box. We are confident we are meeting the needs of residents assuring them of their ballot being received and scanned into WisVote as soon as we receive it.



Village of Mukwonago

AGENDA ITEM REQUEST FORM

All of these tasks while still completing our day to day operations and preparing for the new tax season is quite amazing. I am very proud of our accomplishments to date and I think everyone in the office should be commended for their additional support.



This is a picture of our Absentee Ballot Drop Box. This was installed earlier this year with Federal CARES Act funding the Clerk's office received for voter improvements.

All of the following information is available at www.villageofmukwonago.com

Residents can check their Ballot status by logging on to www.myvote.wi.gov

Residents can request an absentee ballot online to be mailed to them until October 29, 2020 at www.myvote.wi.gov

Residents can see what is on their ballot by clicking "What's on My Ballot" at www.myvote.wi.gov

The last day to Register to Vote (In the Clerks office) is **Friday, October 30, 2020 5:00PM**

The last day to request an Absentee Ballot IN PERSON is **Friday, October 30, 2020 5:00PM**

The last day to request an Absentee Ballot be MAILED is **Thursday, October 29, 2020 5:00PM**



IN-PERSON ABSENTEE VOTING (EARLY VOTING)

OCTOBER 20 – October 30, 2020

HOURS OF OPERATION WILL BE AS FOLLOWS:

TUESDAY, OCTOBER 20: 8:00 A.M. – 5:00 P.M.

WEDNESDAY, OCTOBER 21: 8:00 A.M. – 5:00 P.M.

THURSDAY, OCTOBER 22: 8:00 A.M. – 5:00 P.M.

FRIDAY, OCTOBER 23: 8:00 A.M. – NOON

MONDAY, OCTOBER 26: 8:00 A.M. – 5:00 P.M.

TUESDAY, OCTOBER: 8:00 A.M. – 5:00 P.M.

WEDNESDAY, OCTOBER 28: 8:00 A.M. – 5:00 P.M.

THURSDAY, OCTOBER 29: 8:00 A.M. – 5:00 P.M.

FRIDAY, OCTOBER 30: 8:00 A.M. – 5:00 P.M.

How Wisconsin delivers accurate election results

From vetting each voter's eligibility to using a powerful statewide database that helps ensure there's only one ballot per voter, Wisconsin constantly works to protect the integrity of your local elections. Our highly-trained election officials use a sophisticated mix of security measures and practical safeguards to make sure every legal vote is counted correctly—whether you cast your vote at the polls or by absentee ballot.



Visit elections.wi.gov or contact your municipal clerk's office to learn more about the security measures that protect election integrity in your community.

Here are just a few ways Wisconsin makes absentee voting in your community more accurate and secure:

#1 Absentee voter info gets verified.

Before they can request an absentee ballot, eligible voters must first register to vote. Their information and eligibility is double-checked before they receive a ballot.

#2 There's just one ballot per voter.

A powerful statewide database tracks every ballot and voter registration to help local clerks verify voter eligibility and ensure there's just one ballot per registered voter.

#3 Absentee votes must be witnessed.

For an absentee by mail ballot to be considered valid, absentee voters must have a witness—an adult U.S. citizen who can confirm the voter filled out their own ballot.

#4 Ballots are securely stored and transported.

Absentee ballots are carefully collected and securely stored until Election Day. There's a transparent chain of custody for every ballot and voting machine that Wisconsin uses.

#5 Absentee ballots always get counted.

Valid absentee ballots are always counted on Election Day, no matter if the race is tight or looks like a landslide.

#6 We test and certify the voting equipment.

Absentee ballots are usually counted on local voting machines that have been certified and then tested in public before every election, ensuring the equipment is accurate and in good working order.

#7 Every vote has a paper trail.

Wisconsin requires a paper record of every vote that's cast in our state, no matter what kind of ballot or voting equipment is used.

#8 The public can observe the process.

From voting machine testing to the counting of absentee ballots, members of the public are welcome to observe the election process alongside trained local election officials.

#9 Election results are triple-checked.

An election's vote total isn't official until it has been checked at the municipal level, double-checked by the county, and certified by the state.

#10 Officials look for inaccuracies and illegal votes.

Local election officials conduct two separate audits after Wisconsin elections to look for count inaccuracies and identify cases of vote ineligibility or fraud.

elections.wi.gov

1-866-868-3947 | TTY 1-800-947-3529



How to Vote by Absentee Ballot This Election

There are several safe and secure ways to cast a vote in Wisconsin, including voting by absentee ballot. Voters can cast an absentee ballot in person at their municipal clerk's office before Election Day. They can also request an absentee ballot by mail and either mail in their completed ballot or drop it off in person before the election or on Election Day.

Wisconsin election officials protect every vote, however it's cast. By registering and verifying eligible voters. By handling absentee ballots securely, just like polling place ballots. And by making sure every valid absentee vote is counted on Election Day, no matter how tight the race is. Voting by absentee ballot is simple, convenient and secure. Here's how to get started:

Interested in voting absentee in person?

Contact your municipal clerk's office to learn more about your community's in-person absentee voting options, locations, and hours of operation.

To find your clerk, visit myvote.wi.gov or call 1-866-868-3947 (TTY 1-800-947-3529).

Requesting an Absentee Ballot by Mail



→ Step 1: Make sure you're registered to vote

You don't need a reason to vote by absentee ballot. Every registered Wisconsin voter has the right to request an absentee ballot. But before you can do that, you have to be registered to vote.

If you need to get registered

- **Do it by mail, online or in person**
You can register by mail or online at myvote.wi.gov up to 20 days before the election, or in-person at your municipal clerk's office until the Friday before the election.
- **You'll need to show proof of residence**
Voters need to provide a proof of residence document when they register in person or by mail. Registering online? Your residence will be verified with DMV records.

If you think you're registered

- **Verify your voter info**
If your name or address has changed since the last election, you need to update your voter record before requesting an absentee ballot.
- **Submit a valid photo ID**
Most voters still need to submit a valid photo ID to request an absentee ballot. It's easy, especially when you use a mobile device. Just upload a picture of your photo ID and you're done. Visit bringit.wi.gov to see all your photo ID options.



Get ready for the 2020 General Election.

Register to vote online or by mail by October 14.

→ Step 2: Request your absentee ballot

You can request an absentee ballot in writing by mail to your municipal clerk's office. You can also request a ballot at myvote.wi.gov in just a few steps.

Confirm your name and current address

Choose the election or elections you'd like to vote in by absentee ballot

You may need to upload a picture of your valid photo ID. Using a smartphone can help.

Vote absentee by mail in the 2020 General Election.

Request an absentee ballot now.



Submitting a Valid Absentee Ballot



→ Step 3: Filling out your absentee ballot

Your absentee ballot is the same as the paper ballots voters use in Wisconsin polling places. The differences? The way casting your vote is observed and delivered to election officials.

Before you begin

Check your envelope

Make sure the following items are inside:

- An absentee ballot for the 2020 General Election on November 3
- A voting instructions sheet
- A postage-paid ballot certificate envelope

Choose a witness

Your vote must be witnessed by an adult U.S. citizen who isn't an election candidate. Witnesses don't see how you vote. In fact, they may observe through a window or over video chat, as long as they can sign your certificate envelope once it's complete.

Read the instructions

Be sure you understand Wisconsin's guidelines for voting absentee by mail before you begin.

As you vote by absentee ballot

Take it slow

Fill your ballot out carefully, step by step.
Write firmly and use a pen to make clear marks.

Get help with mistakes

If you change your mind about a selection or think you've made a mistake, don't try to white out or erase it. Contact your municipal clerk's office. They'll answer your questions or send you a replacement ballot, if necessary.

Review your choices

Think your absentee ballot is complete? Review your choices, then refold it and place it inside your certificate envelope.

Seal and fill out the envelope

Complete the voter certification section of your certificate envelope, then sign your name. Make sure your witness signs, too. They'll need to add their current address to the envelope as well.

→ Step 4: Delivering your completed ballot

Absentee ballots must arrive by 8 p.m. on Election Day to be counted, so act early. That way you can be sure your vote reached the municipal clerk's office in time. But first you have to choose the right delivery method for you:

Mail it in. With your ballot's pre-addressed return certificate envelope, you don't even need stamps. The postage has already been paid.

Take your ballot to your municipal clerk's office through Election Day. For the 2020 General Election, that's November 3.

Drop your completed absentee ballot off at your polling place or absentee ballot counting location by 8 p.m. on Election Day.

The U.S. Postal Service suggests mailing absentee ballots one week before Election Day.

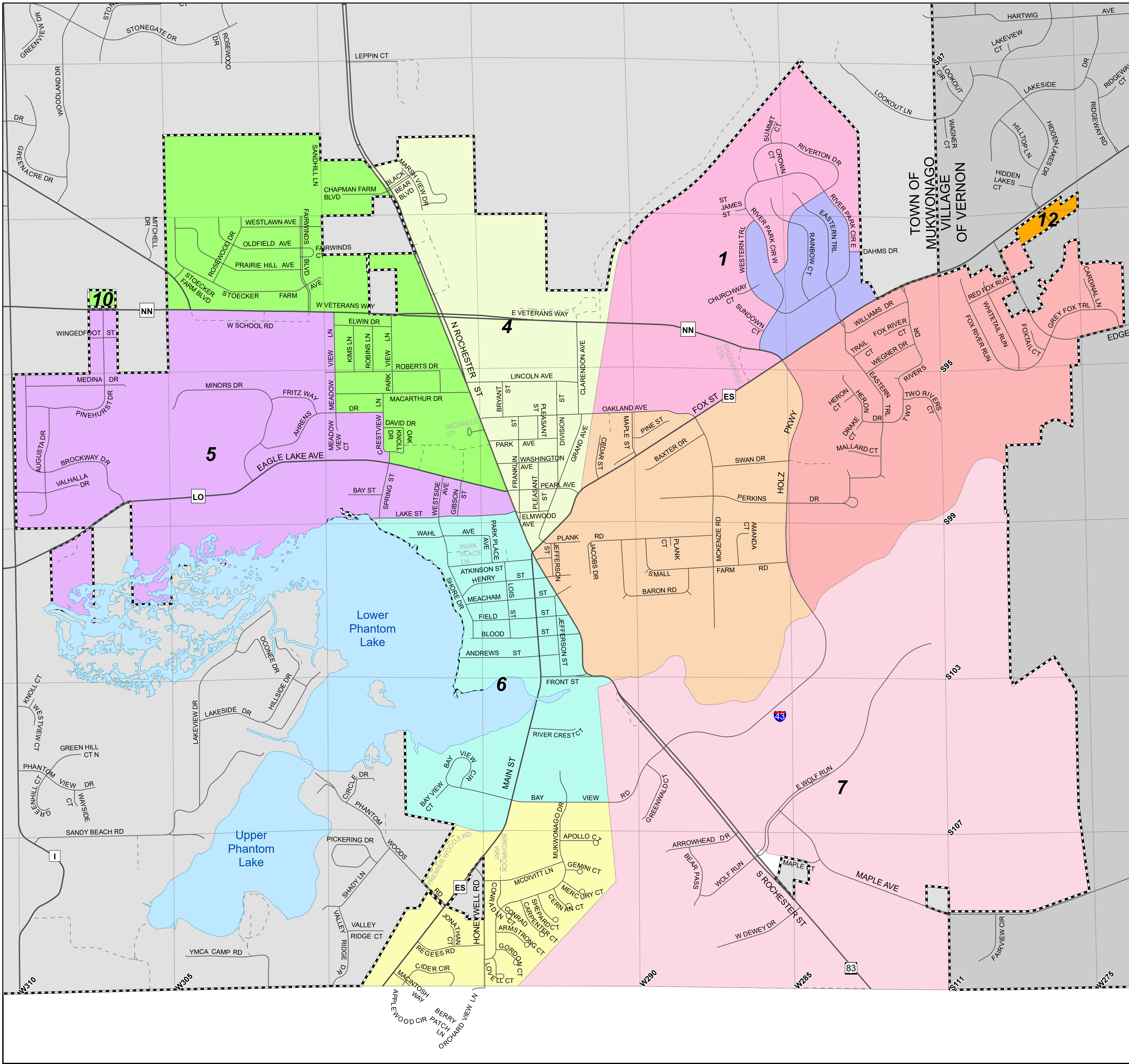
For the 2020 General Election, that's October 27.

Now that you know how to vote by absentee ballot, take the next step.

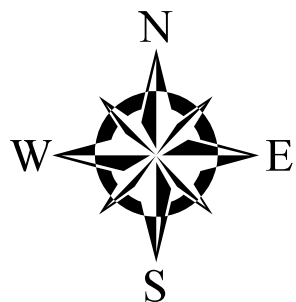
Find out how Wisconsin is working to make our elections accurate and secure, at home and at the polls. Visit elections.wi.gov/2020 to learn more about voting by absentee ballot today.

elections.wi.gov
1-866-868-3947



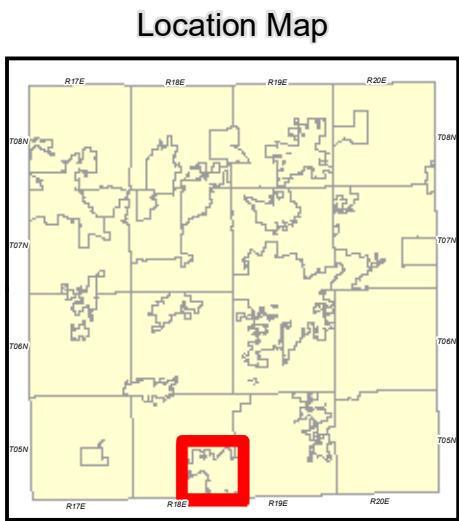


Village of Mukwonago Wards



0 0.5 Miles

Wards				Streets			
1	2	3	4	Village	State	Local	
5	6	7	8	Town	County	Private	
9	10	11	12	City		Water	



Prepared by the Waukegan County
Department of Parks and Land Use
October 15, 2020

**HIPPENMEYER, REILLY, BLUM,
SCHMITZER, FABIAN & ENGLISH S.C.**

MARK G. BLUM
THOMAS G. SCHMITZER
LORI J. FABIAN
RONALD E. ENGLISH III
MATTHEW R. GRALINSKI

720 CLINTON STREET
P. O. BOX 766
WAUKESHA, WISCONSIN 53187-0766
TELEPHONE: (262) 549-8181
FACSIMILE: (262) 549-8191
www.hrbllawfirm.com

RICHARD S. HIPPENMEYER
(1911-1979)
WILLIAM F. REILLY
(1932-2007)

EMAIL: MGBLUM@HRMBLAWFIRM.COM

October 13, 2020

Via Email ONLY

Members of the Village Board
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Discussions with Developers

Dear Members of the Board:

I have been made aware that attempts are being made by a local contractor to meet with Members of the Board to discuss a potential development project in the Village. As you are aware, you are bound by the Wisconsin Open Meetings Law, which precludes having meetings to discuss public business unless conducted at a properly noticed public meeting. While this restriction applies to meetings of a quorum of Members of the Board, this can also be an issue if there is a negative quorum or a walking quorum where separate discussions are held, which in the aggregate, would constitute a public meeting. As I understand it, the meeting which is desired is for the purposes of supplying preliminary information about the pending project to help the Board be more informed to make a decision when the project is presented to the Board. It is up to the Applicant to supply that information to the Board as a whole, and not to meet with individual members to persuade them in anticipation of the vote taking place with the full Board. If such conversations are held with multiple Board Members, that would represent a walking quorum and thus, a violation of the Open Meetings Law.

I would encourage you to not have these kinds of discussions with developers, as you do not know what other conversations they may have had or intend to have with other Board Members. If the Applicant feels there is information to be supplied for consideration by the Board, then it should be sent in a written form to everyone so you are all on the same page as to what the project is about. I realize that discussions occur all the time between developers and Staff, and the Village President, by virtue of his position on the Plan Commission, and the Village Board. However, if the discussions go beyond that with multiple Members of the Board, this will be a concern and as a result, the Board would risk having its decisions invalidated if the Open Meetings Law is not followed.

Village of Mukwonago

October 13, 2020

Page | 2

Thank you for your consideration of these comments.

Sincerely,

HIPPENMEYER, REILLY, BLUM,
SCHMITZER, FABIAN & ENGLISH, S.C.

A handwritten signature in black ink, appearing to read 'Mark G. Blum', written over the printed name.

Mark G. Blum

MGB/jb

Cc: Mr. John Weidl
Ms. Diana Dykstra