



**Planning and Zoning Board
Meeting
City of Rio Rancho
AGENDA
March 14, 2023
6:00 PM
City Hall**

MEETING INFORMATION

This meeting will be conducted in-person and virtually, as well as streamed live on the City of Rio Rancho website at <https://rrnm.gov/2303/Watch-and-Download-City-Meetings>

Individuals wishing to present verbal public comment may do so in-person or remotely via Zoom meeting software with the below access information:

Join by Computer:

<https://us06web.zoom.us/j/85180741871?pwd=T3BISHVpWkp6d3dDRmlHd3k2VzYvUT09>

Meeting ID: 851 8074 1871

Passcode: 026819

Board Members

Leonel Gallegos, District 1	Scottie Richardson, District 5
Kevin Kofchur, District 2	Cheryl Baker, District 6, Vice-Chair
Fred Radosevich, District 3, Chair	Sal Tortorici, At Large
Robert Gabaldon, District 4	

CALL TO ORDER AND PLEDGE OF ALLEGIANCE

PUBLIC FORUM

CONSENT CALENDAR

1. [February 28, 2023 Planning and Zoning Board Meeting Minutes](#)
[2023-0228 PZB Minutes AR.docx](#)

PUBLIC HEARINGS

2. **Master Plan.** The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. Staff contact is Tim Dvorak and staff recommends the Planning and Zoning Board recommend approval to the Governing Body.
[Scottish Isle MP & ZMA Location Map.jpg](#)
[DRAFT_Resolution_Scottish_Isle_MP.doc](#)
[Legal Ad.pdf](#)
[DSD Planning & Engineering Comments.pdf](#)
[Reproduction of Notices- Scottish Isle MP & ZMA.pdf](#)
[Scottish Isle Master Plan & ZMA Full Application.pdf](#)
[Revised Scottish Isle Master Plan.pdf](#)
3. **Zone Map Amendment.** The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of a Zone Map Amendment of approx. 22.4 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties

of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62. Staff contact is Tim Dvorak, and staff recommends the Planning & Zoning Board recommend approval of the Zone Map Amendment to the Governing Body, with findings and conditions.

Scottish Isle MP & ZMA Location Map.jpg

Draft_Ordinance_Scottish_Isle_ZMA__3.6.2023.doc

Legal Ad ZMA.pdf

DSD Planning & Engineering Comments_Scottish Isle Master Plan - Draft - ZMA - Full

Application_compressed.pdf

Comments Memo_22-400-00005 Scottish Isle MP.pdf

Reproduction of Notices- Scottish Isle MP & ZMA.pdf

Scottish Isle Master Plan & ZMA Full Application.pdf

- 4. Specific Area Plan Amendment.** The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of an amendment to the Northern Unser Specific Area Plan to change the Proposed Land Use Map. Staff contact is Brian Babyak, and staff recommends approval with findings.

Draft_Resolution.docx

Northern-Unser SAP Current Proposed Land Use Map

Exhibit A - Amended Proposed Land Use Map, Map 2

- 5. Zone Map Amendment.** The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of a Zone Map Amendment for the property legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District. Staff contact is Brian Babyak, and staff recommends approval with findings.

Draft Ordinance_23-100-01.docx

LocationZoneMap

ZMA Justification Letter_MatthewCarle.pdf

ApplicationForm.pdf

Herrera Authorization Letter.pdf

Northern Unser SAP

Land Use Element comp plan.pdf

Vision Element-comp plan.pdf

ReviewerComments_MRMPO.pdf

ReproductionofNotifications

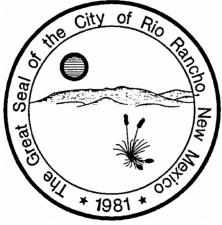
DISCUSSION AND DELIBERATION

COMMENTS BY BOARD MEMBERS

STAFF REPORTS

- 6. PZ Monthly Building Activity Report - FEB 2023**
PZ Monthly Building Activity Report - FEB 2023.pdf
- 7. PZ Monthly Summary Plat Report - FEB 2023**
PZ Monthly Summary Plat Activity Report - FEB 2023.pdf

ADJOURNMENT



**CITY OF RIO RANCHO
COVER PAGE**

Legislation Item:

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
February 28, 2023 Planning and Zoning Board Meeting Minutes

BACKGROUND AND ANALYSIS:

IMPACT:

ALTERNATIVES:

DEPARTMENT RECOMMENDATION:
Approval

ATTACHMENT: [2023-0228 PZB Minutes AR.docx](#)



Planning and Zoning Board
of the
City of Rio Rancho

MINUTES

FEBRUARY 28, 2023
6:00 PM
Council Chambers, City Hall

MEMBERS PRESENT:

Kevin Kofchur, District 2
Fred Radosevich, District 3, Chair
Robert Gabaldon, District 4
Scottie Richardson, District 5 (*Virtual*)
Cheryl Baker, District 6, Vice-Chair (*Virtual*)
Sal Tortorici, At-Large

MEMBERS ABSENT:

Leonel Gallegos, District 1

STAFF PRESENT:

Amy Rincon, Development Services Director
Brian Babyak, Planner II
Tim Dvorak, Planner II
Michelle Costilla, Planner I
Liz Ruiz Carlos, Planner I
Chris Benson, Planner I
Sharon Bitah, Administrative Assistant

CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Chairman Radosevich stated this meeting will convene under the virtual format prescribed by the Attorney General's Office guidance issued for public meetings subject to the Open Meetings Act. This includes virtual or telephonic access via Zoom by members of the public. Instructions on how to access this meeting were made available in advance on the official agenda, as well as on the city's website.

Chairman Radosevich called the meeting to order at 6:00 PM and led those in attendance in the Pledge of Allegiance.

PUBLIC FORUM

CONSENT CALENDAR

1) January 24, 2023 Planning and Zoning Board Meeting Minutes

Sal Tortorici moved to approve the Consent Calendar. Seconded by Robert Gabaldon.

The motion carried by a vote of **6 FOR** and **0 AGAINST**.

YES: Kevin Kofchur, Fred Radosevich, Robert Gabaldon, Scottie Richardson, Cheryl Baker, Sal Tortorici

NO: (None)

PUBLIC HEARINGS

2) The applicant, LD Development, LLC., through their agent, Mark Goodwin & Associates, PA, requested approval of a Preliminary/Final Plat for Los Diamantes Subdivision, Phase I, Tracts 2-A-1, 3-A-1, and 3-A-2, a replat of Los Diamantes, Tracts 2-A & 3-A; Rio Rancho Estates Unit 10, Block 62, Lots 16-33; and Rio Rancho Estates Unit 10, Block 64, Lot 15.

Staff member, Tim Dvorak presented the item, recommending approval with findings and conditions, and stood for questions.

Agent, Diane Hoelzer, agreed with the item as presented. Ronald Bohannon, on behalf of the applicant, spoke on the item urging approval.

Robert Gabaldon moved to approve Item #2. Seconded by Sal Tortorici.

The motion carried by a vote of **6 FOR** and **0 AGAINST**.

1 **YES:** Kevin Kofchur, Fred Radosevich, Robert Gabaldon, Scottie Richardson, Cheryl Baker, Sal
2 Tortorici

3 **NO:** (None)

- 4
5 **3)** The applicant, Shady Ventures through their agent, RESPEC., requested approval of a preliminary plat
6 extension for Idalia Crossing located at the property legally described as Unit 17, Tracts G1, G2, and
7 SUESMT.

8
9 Staff member, Michelle Costilla presented the item, recommending approval with findings and
10 conditions and stood for questions.

11
12 Sal Tortorici moved to approve Item #3. Seconded by Kevin Kofchur.

13 The motion carried by a vote of **6 FOR** and **0 AGAINST**.

14 **YES:** Kevin Kofchur, Fred Radosevich, Robert Gabaldon, Scottie Richardson, Cheryl Baker, Sal
15 Tortorici

16 **NO:** (None)

- 17
18 **4)** The applicant, Roentgen Wellspring LLC, through their agent, Cartesian Surveys Inc., requested
19 approval of a preliminary/final plat to create two lots from two existing lots, grant two easements and
20 dedicate additional right-of-way to Wellspring Ave SE on the property legally described as Unit 10,
21 Block 28 Lots 2 and 3.

22
23 Staff member, Michelle Costilla presented the item, recommending approval with findings and stood
24 for questions.

25
26 Agent, Ryan J. Mulhall, spoke on the item and stood for questions, after being administered the oath
27 virtually.

28
29 Commissioner Tortorici's question was answered by staff member, Michelle Costilla.

30 Amy Rincon, Development Services Director answered Commissioner Gabaldon's inquiry regarding
31 access points.

32
33 Robert Gabaldon moved to approve Item #4 as presented. Seconded by Scottie Richardson.

34 The motion carried by a vote of **6 FOR** and **0 AGAINST**.

35 **YES:** Kevin Kofchur, Fred Radosevich, Robert Gabaldon, Scottie Richardson, Cheryl Baker, Sal
36 Tortorici

37 **NO:** (None)

- 38
39 **5)** The applicant, Petroglyph Real Estate Development, LLC, through their agent, AMC Development,
40 requested approval of an amendment to the Petroglyph Medical Plaza Master Plan to raise the height
41 limitation from a maximum of 32 ft. to a maximum of 60 ft. for the property at 1882 Westside Blvd. SE,
42 legally described as PMP, Block A, Lot 6A1A.

43
44 Staff member, Michelle Costilla presented the item recommending approval of the Master Plan
45 Amendment and stood for questions.

46
47 Agent, Jeffrey Jesionowski spoke on the item and stood for questions.

48
49 Commissioner Tortorici's question was answered by Development Services Director, Amy Rincon and
50 agent, Jeffrey Jesionowski.

51
52 Sal Tortorici moved to approve Item #5. Seconded by Robert Gabaldon.

53 The motion carried by a vote of **6 FOR** and **0 AGAINST**.

54 **YES:** Kevin Kofchur, Fred Radosevich, Robert Gabaldon, Scottie Richardson, Cheryl Baker, Sal
55 Tortorici

56 **NO:** (None)

1 **DISCUSSION AND DELIBERATION**

2
3 **COMMENTS BY BOARD MEMBERS**

4
5 Chairman Radosevich welcomed the new District 2 Commissioner, Kevin Kofchur, who made a couple of
6 comments.

7
8 **STAFF REPORTS**

9
10 **6)** PZ Monthly Building Activity Report – December 2022

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12 **7)** PZ Monthly Summary Plat Report – December 2022

13
14 **8)** PZ Monthly Building Activity Report – January 2023

15
16 **9)** PZ Monthly Summary Plat Report – January 2023

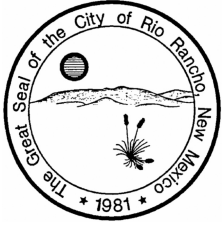
17
18 **ADJOURNMENT**

19
20 Sal Tortorici moved to adjourn the meeting. Seconded by Robert Gabaldon.
21 Chairman Radosevich adjourned the meeting at 6:28 PM.

22
23 **APPROVED THIS 14th DAY OF MARCH, 2023**

24
25
26
27

Fred Radosevich, Chairman



CITY OF RIO RANCHO COVER PAGE

**Legislation Item: 22-400-
00005**

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
Master Plan. The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. Staff contact is Tim Dvorak and staff recommends the Planning and Zoning Board recommend approval to the Governing Body.

BACKGROUND AND ANALYSIS:

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. The subject properties are legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

REVIEW CRITERIA:

The Rio Rancho Comprehensive Plan defines a master plan as a detailed development plan often created by a developer, which may fit within a Specific Area Plan boundary or may provide sufficient planning detail that they may be developed in unplanned areas and stand in place of a Specific Area Plan. It states that, "The City will rely on the development of Specific Area Plans and Master Plans for identifying a specific land use at the parcel-level. Specific Area Plans and Master Plans are a part of the Land Use Element and are used as a statement of policy to guide land use decision making by the Governing Body."

The Scottish Isle Master Plan details a conceptual lot layout and roadway sections, identifies community amenities, and seeks to change the zoning of all subject parcels so that it is compatible with the proposed residential development. The subject properties comprise approximately 22.4 acres and are currently zoned R-1: Single-Family Residential District. Concurrently, the applicant is applying for a Zone Map Amendment (Case # 22-100-00027) to change the zoning of the subject lots within the proposed Master Plan to R-2: Single-Family Residential District. The Master Plan additionally includes provisions for drainage and utility planning.

Staff recommends the Planning and Zoning Board find that the Scottish Isle Master Plan would comply with and further the goals and policies of the Comprehensive Plan and integrate with the adjacent Stonegate, Tierra del Oro, and Tierra del Norte Master Plans. Policy L-1 of the Comprehensive Plan is to "encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan."

The 8' multi-use trail proposed on the north side of Leeds Castle Ave, in addition to a 5' sidewalk on the south side of the street, also further Policy L-3 from the Comprehensive Plan which is to "promote and support development that incorporates walkability" and Policy L-4 which is to "encourage adequate pedestrian connections to future transit facilities in all residential site development." The proposed multi-use trail and sidewalk on Leeds Castle Ave NE will further residents' connection to adjacent communities and Broadmoor Boulevard NE. The Scottish Isle Master Plan will have a private park of approximately 0.25 acres, which will be owned and maintained by the Homeowner's Association. The park is envisioned to be centrally located for equitable resident access. An approximately 0.75 acre detention pond will be located at the southwest corner of the Master Plan to temporarily store runoff.

SITE ANALYSIS:

The subject property is approximately 22.4 acres of vacant land bounded by Edinburgh Street NE to the west, Broadmoor Boulevard NE to the east, Hedingham Avenue NE to the south, and Leeds Castle Avenue NE to the north. The subject properties are zoned R-1: Single-Family Residential District per Ordinance No. 57 Enactment No. 08-58, dated June 25, 2008. The proposed development will be a low density residential subdivision that will create a total of 118 residential lots and 2 tracts.

LAND USE:

In a concurrent, separate request, the applicant seeks a Zone Map Amendment to change the subject properties from R-1: Single-Family Residential District to R-2: Single-Family Residential District in order to be compatible with the proposed residential development in the Master Plan. The Scottish Isle Master Plan additionally lies within the Lomas Negras Specific Area Plan.

GRADING & DRAINAGE:

A conceptual grading and drainage is included with this Master Plan which proposes improvements associated with storm water runoff management that will be employed to collect and convey flows generated across the development to the detention pond to be located in the southwest corner of the site. A separate, official drainage report will be considered at the Preliminary Plat stage.

CIRCULATION:

The development will have two access points: one off Leeds Castle Avenue NE, a fifty-foot-wide residential road, and one off of Hedingham Avenue NE, also a fifty-foot-wide residential road. Both roads additionally have 18' of right-of-way each.

NOTIFICATIONS: Notice of pending development application was sent via certified mail return receipt to adjacent property owners. A legal ad was placed in the February 27, 2023 edition of the Albuquerque Journal. A public notice sign was placed on the property as required by ordinance. All legal notification requirements for this project have been met.

INTERDEPARTMENTAL/INTERAGENCY REVIEW:

Reviewing Agency	Received Application for Review	Comments
DSD Planning and Zoning	X	Provided as an attachment in "DSD Planning and Engineering Comments."

DSD Engineering	X	Provided as an attachment in "DSD Planning and Engineering Comments."
Rio Rancho Public Schools	X	No comments provided
Fire and Rescue	X	Provided as an attachment
Police Department	X	No comments provided
SSCAFCA	X	Provided as an attachment
MRCOG	X	No comments provided
Parks, Recreation and Community Services	X	Provided as an attachment

IMPACT:

Staff recommends the Planning and Zoning Board recommend approval to the Governing Body of the Scottish Isle Master Plan, subject to the following findings of fact and conditions of approval:

General Findings of Fact:

1. The Planning and Zoning Board may make a recommendation to the Governing Body on the applicant's request for a Master Plan.
2. The applicant has the authority to apply for a Master Plan on the subject properties.
3. The applicant and adjacent property owners received due process.

Specific Findings of Fact and Conditions of Approval:

1. The Scottish Isle Master Plan complies with the requirements of the Comprehensive Plan and adequately integrates with the adjacent Stonegate, Tierra del Norte, and Tierra del Oro Master Plans.
2. The applicant has submitted an application and narrative that meets the basic requirements of establishing a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design.
3. As a condition of approval, the applicant shall address all Master Plan reviewer comments, as detailed in the attached document "DSD Planning and Engineering Comments."

ALTERNATIVES:

1. The Planning & Zoning Board may recommend approval of the request to the Governing Body.
2. The Planning & Zoning Board may recommend denial of the request to the Governing Body.
3. The Planning & Zoning Board may modify the request and recommend the Governing Body approve such modifications.
4. The Planning & Zoning Board may continue to public hearing to request additional information or to consider testimony provided at the public hearing.

DEPARTMENT RECOMMENDATION:

Staff recommends the Planning and Zoning Board recommend approval to the Governing Body, with findings and conditions.

ATTACHMENT: [Scottish Isle MP & ZMA Location Map.jpg](#)

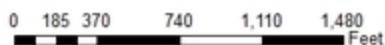
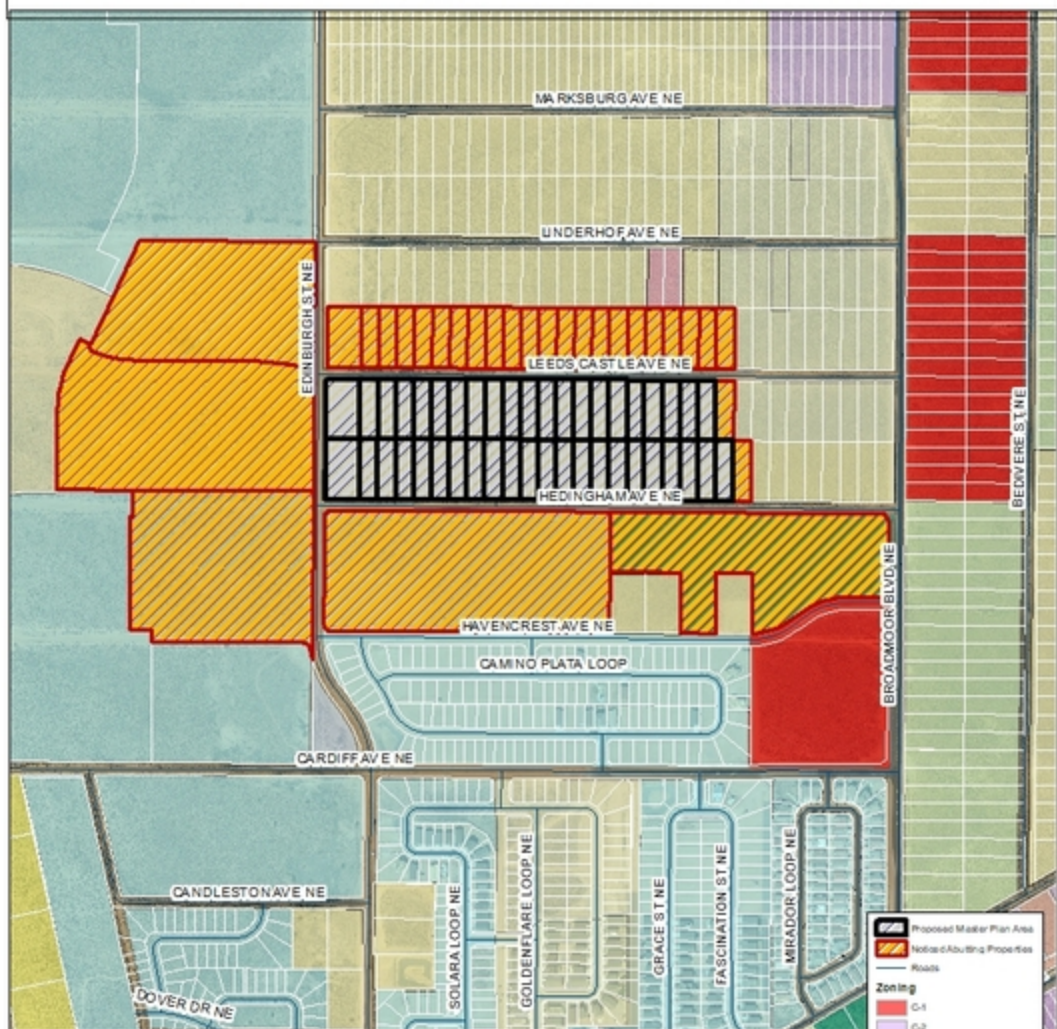
ATTACHMENT: [DRAFT_Resolution_Scottish_Isle_MP.doc](#)

ATTACHMENT: [Legal Ad.pdf](#)

ATTACHMENT: [DSD Planning & Engineering Comments.pdf](#)

ATTACHMENT: [Reproduction of Notices- Scottish Isle MP & ZMA.pdf](#)
ATTACHMENT: [Scottish Isle Master Plan & ZMA Full Application.pdf](#)
ATTACHMENT: [Revised Scottish Isle Master Plan.pdf](#)

SCOTTISH ISLE MASTER PLAN NEW MASTER PLAN & ZONE MAP AMENDMENT



DISCLAIMER: All information in this map is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. This map is not a survey and should be used for graphical purposes only.

Map Created by Tim Dvorak on 2/23/2023



**CITY OF RIO RANCHO
RESOLUTION**

RESOLUTION NO.

ENACTMENT NO.

RESOLUTION ADOPTING THE SCOTTISH ISLE MASTER PLAN

WHEREAS: the State of New Mexico has granted the City of Rio Rancho the power, authority, jurisdiction, and duty to enforce and carry out the provisions of law relating to planning, platting, zoning, and the power to adopt, amend, extend and carry out a general municipal or master plan which may be referred to as the general or master plan, all pursuant to 3-19-1, NMSA 1978; and

WHEREAS: the Governing Body of the City of Rio Rancho has adopted a Comprehensive Plan that addresses and provides for specific goals, policies, and actions; proposes land use throughout the City; provides for adoption of specific area plans for specific area within the City; and also provides for land use in master planned communities via master plans; and

WHEREAS: the Governing Body of the City of Rio Rancho has adopted a Comprehensive Plan that addresses land use in master planned communities; and

WHEREAS: the Governing Body of the City of Rio Rancho approved the Generalized Land Use Map on February 23, 2023 through Ordinance No. 5, Enactment No. 23-07; and

WHEREAS: the Planning and Zoning Board of the City of Rio Rancho reviewed the proposed Scottish Isle Master Plan (Case No. 22-400-00005) at their meeting held on March 14, 2023, and following public hearing and receipt of the Planning and Zoning Board's recommendation, has determined that the proposed Master Plan and associated land use amendment are in conformance with the City of Rio Rancho Comprehensive Plan.

NOW THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF RIO RANCHO:

Section 1. The Governing Body hereby approves and adopts the proposed Scottish Isle Master Plan, Exhibit A to this Resolution.

Section 2. Designs, layouts, and engineering requirements or details are subject to compliance with City engineering and/or subdivision requirements prior to development.

Section 3. Effective Date. This Resolution shall take effect immediately upon adoption.

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ADOPTED THIS 23rd DAY OF MARCH, 2023.

Greggory D. Hull, Mayor

ATTEST:

Rebecca A. Martinez, City Clerk
(SEAL)

ALBUQUERQUE PUBLISHING COMPANY

7777 Jefferson St. NE, Albuquerque, NM 87109

Account Number

1010956

Ad Order Number

0001565316

Ad Proof/Order Confirmation

CITY OF RIO RANCHO
ATTN: ACCOUNTS PAYABLE
3200 CIVIC CENTER CIR NE
RIO RANCHO, NM 871444501 USA

Ordered By Sharon Bitah

Customer Phone 5058915005

Joint Ad #

Customer Email

PO Number 230019

Ad Cost \$107.48

Sales Rep wschult

Tax Amount \$8.33

Order Taker wschult

Total Amount \$115.81

Payment Method Credit Card

Amount Due \$115.81

Payment Amount \$0.00

Affidavits 0

Pick Up #

Product Albuquerque Journal

Placement 0Legal Notices

Ad Number 0001565316-01

Classification 0Government

Ad Type 0 Legal Liner

Sort Text CITYOFRIORANCHOPUBLICHEARING

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WYSIWYG Content



**CITY OF RIO RANCHO
PUBLIC HEARING NOTICE**

The PLANNING and ZONING BOARD of the CITY of RIO RANCHO, NM will consider the following matters at its regularly scheduled meeting on Tuesday, March 14, 2023 at 6:00 pm:

**Master Plan
Case #22-400-00005**
The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. The Master Plan boundary includes the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #22-100-000027**
The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of a Zone Map Amendment of approx. 2.4 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #23-100-00001**
The applicant, Aragon Properties, LLC, request approval of a Zone Map Amendment for the properties legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District for 4.3306 acres of land.

**Specific Area Plan
Amendment
Case #22-410-00002**
The applicant, Aragon Properties, LLC, request approval of Specific Area Plan Amendment to change the Proposed Land Use for the properties legally described as Unit 13, Block 58, Lots 2-6, Tract B and Unit 13, Lots 3A-22 from Mixed Use to Community Commercial.

The meeting is scheduled in the Council Chambers at City Hall, 3200 Civic Center Cir NE, Rio Rancho, NM. The public is invited to attend in person or virtually at www.rrnm.gov. Materials related to these items are available for viewing in the Development Services Department at City Hall.

If you would like to comment on any of these applications, you are encouraged to submit a written comment to planning@rrnm.gov. Written comments will be inserted into the public record.

Journal: February 27, 2023



SCOTTISH ISLE

Master Plan

Prepared for:
Abrazo Homes

Prepared by:
Huitt-Zollars, Inc.
Consensus Planning, Inc.



City of Rio Rancho, New Mexico

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7. Grading and Drainage	18
8. Design Standards	20

Exhibits

Zoning Map	7
Conceptual Lot Layout	9
Transportation Plan	15
Utility Plan	17
Conceptual Grading and Drainage Plan	19

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I. INTRODUCTION

Scottish Isle is a 22.4 acre Master Planned Community in the City of Rio Rancho, New Mexico (see Figure 1). The site is bounded by Edinburgh Street NE to the west, Broadmoor Boulevard NE to the east, Hedingham Avenue NE to the south, and Leeds Castle Avenue NE to the north.

This Master Plan provides a framework for the development of the site, including development standards and land use descriptions. At full build-out, the development will contain approximately 118 single-family residential dwelling units, with a park and open space network to serve residents.

The properties included in the Master Plan are legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

The Master Plan objectives are:

- To designate the land use and preferred zoning for the subject site;
- To provide urban design standards;
- To implement the City of Rio Rancho Comprehensive Plan (CCP); and
- To integrate land use, transportation, drainage, and utility planning into a comprehensive development plan for the property.



Figure 1: Scottish Isle Location and Site Context



2. EXISTING CONDITIONS

The Scottish Isle Master Plan is impacted by a unique set of existing conditions, related to natural features, land use, antiquated platting, transportation, and several surrounding Master Plan developments. A brief analysis of the benefits and constraints of these existing conditions will help frame a discussion as to how the proposed Master Plan conforms to the City of Rio Rancho Comprehensive Plan.

TRANSPORTATION

The main north/south corridors serving this site are Edinburgh Street (a major collector), which serves as the western boundary of Scottish Isle, and Broadmoor Boulevard (a minor arterial), located east of the plan area. The east/west corridors include Hedingham Avenue, and Leeds Castle Avenue, which serve as the southern and northern boundaries, respectively.

Unser Boulevard, approximately one mile to the west of Scottish Isle, and Northern Boulevard, approximately one mile to the south, are both regional principal arterials. These two roadways will provide excellent access to community amenities, and help support planned development and future employment areas near the City Center, Tierra del Oro, Paseo Gateway Master Plan area, and within the Broadmoor Boulevard Corridor.

Talk more about Northern Blvd & its features.
Also mention Rio Rancho Middle School.

NEARBY EDUCATIONAL AND ACTIVITY CENTERS

Rio Rancho Public Schools operates five schools within two miles of Scottish Isle, including Ernest Stapleton Elementary School, Colinas del Norte Elementary School, Eagle Ridge Middle School, Lincoln Middle School, and Rio Rancho High School. The University of New Mexico Health Sciences Campus and Central New Mexico Community College (CNM) are located within City Center, on Center Boulevard, north of Scottish Isle. Sue Cleveland High School is east of City Center, near the intersection of Paseo del Volcan and Iris Road. The Loma Colorado Library, McDermott Athletic Center, and the Rio Rancho Aquatic Center are located within two miles of Scottish Isle.

NATURAL FEATURES

The site is primarily rolling grassland with intermittent shrubs sparsely covering the surface. Indian Ricegrass, Blue Grama, and Ring and Bush Muhly are the dominant grasses. Cholla, Prickly Pear, and Narrowleaf Yucca are common. Fauna within the project area includes quail, cottontail rabbit, and jackrabbit. No threatened or endangered species are known to inhabit these lands.

ANTIQUATED PLATTING

Antiquated platting and diverse land ownership patterns represent a common constraint within Rio Rancho. Issues related to antiquated platting can be mitigated through land assemblage and replatting. Antiquated platting makes orderly, harmonious and economically sound development impossible. The City's Comprehensive Plan recognizes the issue of antiquated platting as a major obstacle to sound growth, and promulgates several goals and policies promoting land assemblage.

In Rio Rancho, the problems associated with antiquated platting are: inadequate street layout, faulty lot layout (as it relates to size, adequacy, accessibility or usefulness, diversity of ownership, improper subdivision, obsolete and impractical planning and platting), and a menace to public health and safety.

Half

At the time Unit 13 was platted, the common lot layout included rectilinear roadways, with rectangular ~~one~~ acre parcels perpendicular to the roadways. Although a grid layout is common practice, it does not comply with the urban design standards identified in the Comprehensive Plan. The Scottish Isle project is the outcome of efforts to assemble parcels into sizeable areas to focus residential development.

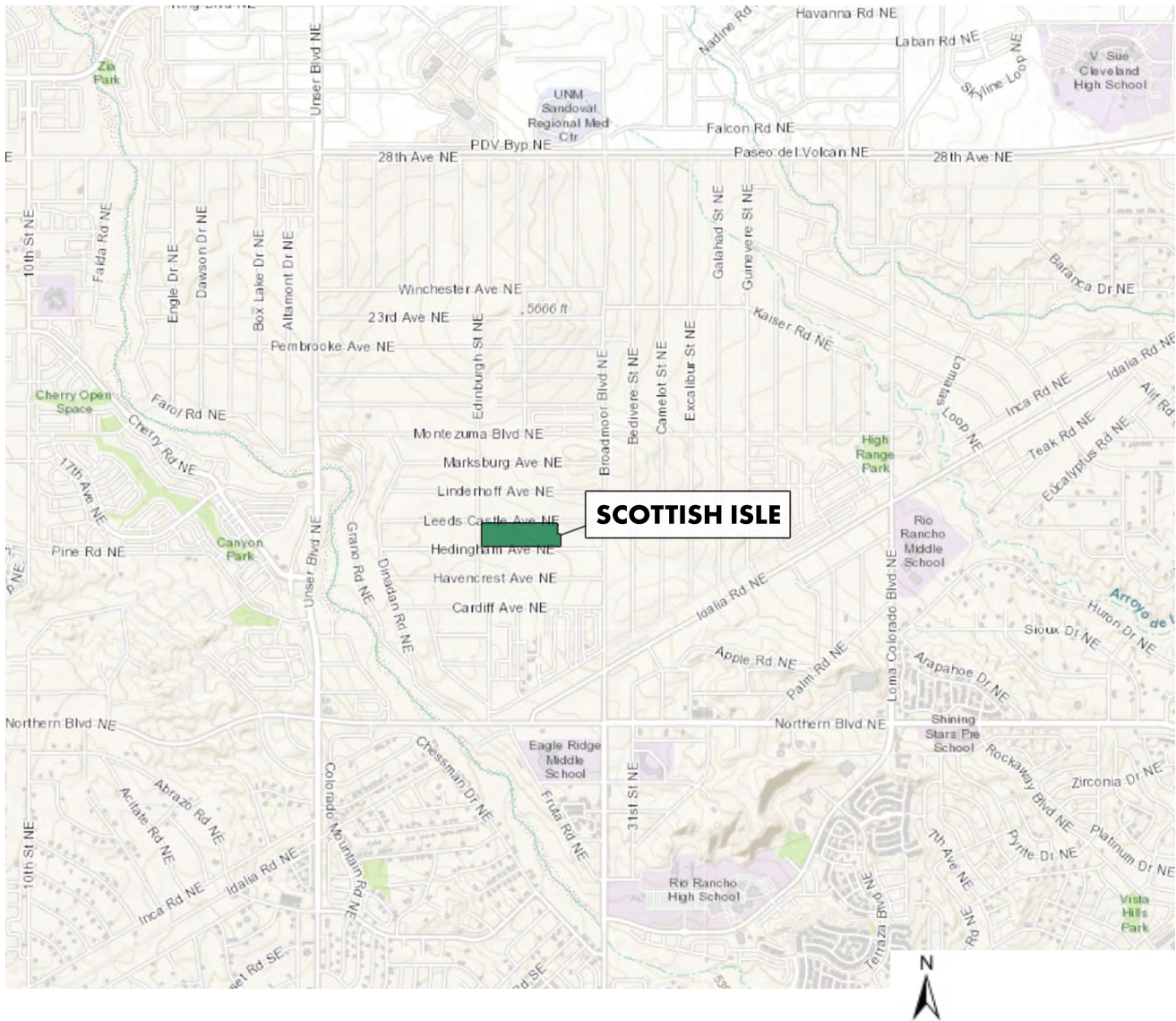


Figure 2: Site context and surroundings

SURROUNDING MASTER PLANS

Scottish Isle is in close proximity to several approved master plans and subdivisions within the Edinburgh Basin, including:

- ▶ Broadmoor Heights Master Plan
- ▶ Melon Ridge Master Plan
- ▶ Milagro Mesa Subdivision
- ▶ Mirador del Sol Subdivision
- ▶ ~~Rock Ridge Subdivision~~
- ▶ Stone Mountain Subdivision
- ▶ Stonegate Master Plan
- ▶ Solcito Master Plan
- ▶ Tierra del Oro Master Plan
- ▶ Tierra del Norte Master Plan
- ▶ High Range 5 Master Plan

Hidden Valley Subdivision

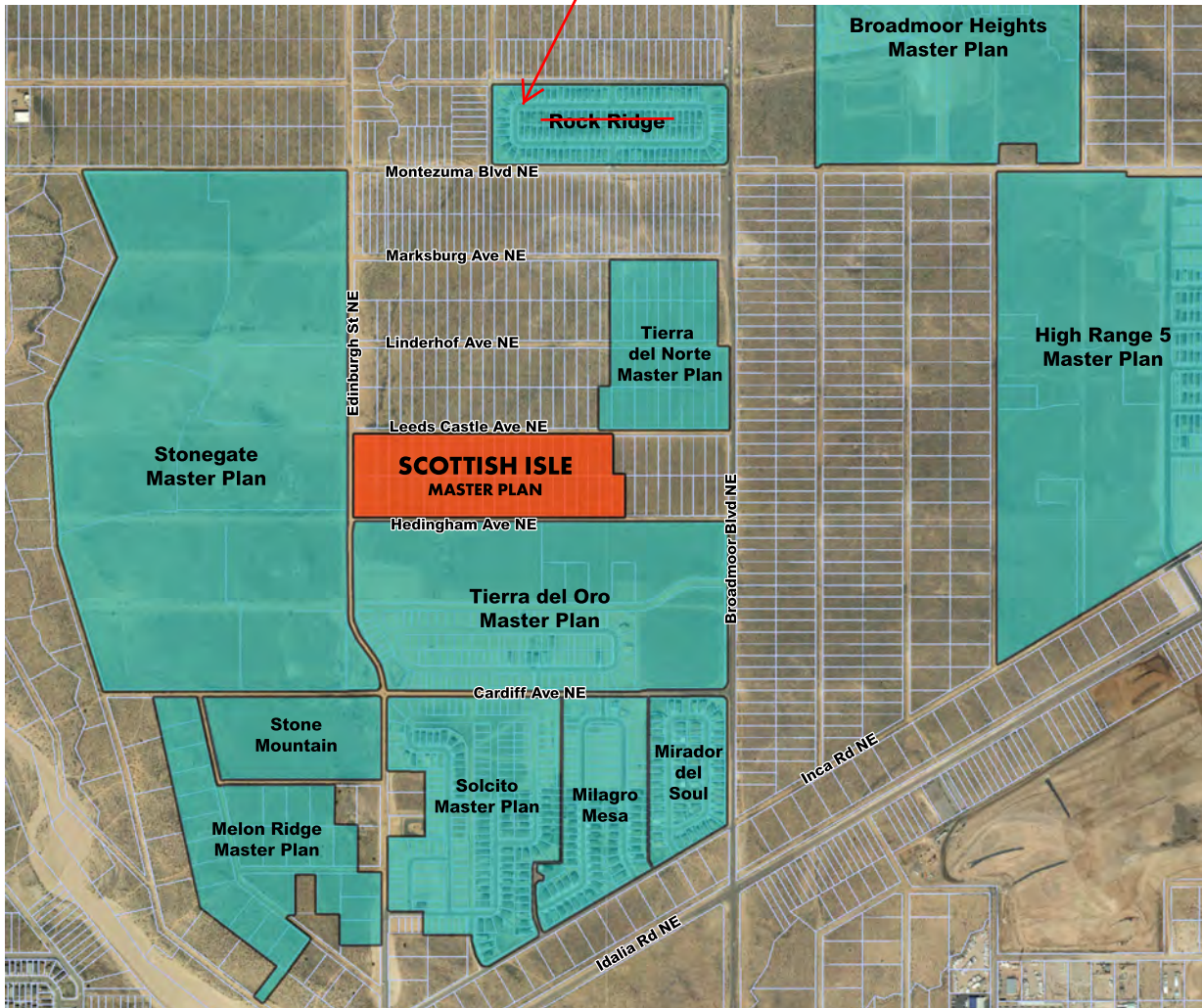


Figure 3: Master Plans and Major Subdivisions in Edinburgh Basin



EXISTING ZONING

The existing zoning found on Scottish Isle is R-1: Single-family Residential. The R-1 zoning district permits a low density of population, in which the primary land use is a single-family dwelling unit. An Overlay Zone also exists on Scottish Isle for future rights-of-way along Edinburgh Street and Leeds Castle Avenue. The R-1: Single-family Residential and Overlay Zone were both established by Ordinance Number 57, Enactment Number 08-58.

Additional R-1: Single-family zoning is found to the north of Scottish Isle, while R-2: Single-family zoning is located to the east. R-3: Mixed Residential zoning is found to the west, and to the south, within Tierra del Oro, is R-4: Single-family zoning, and SU: Special Use zoning (for R-6: Multi-family).

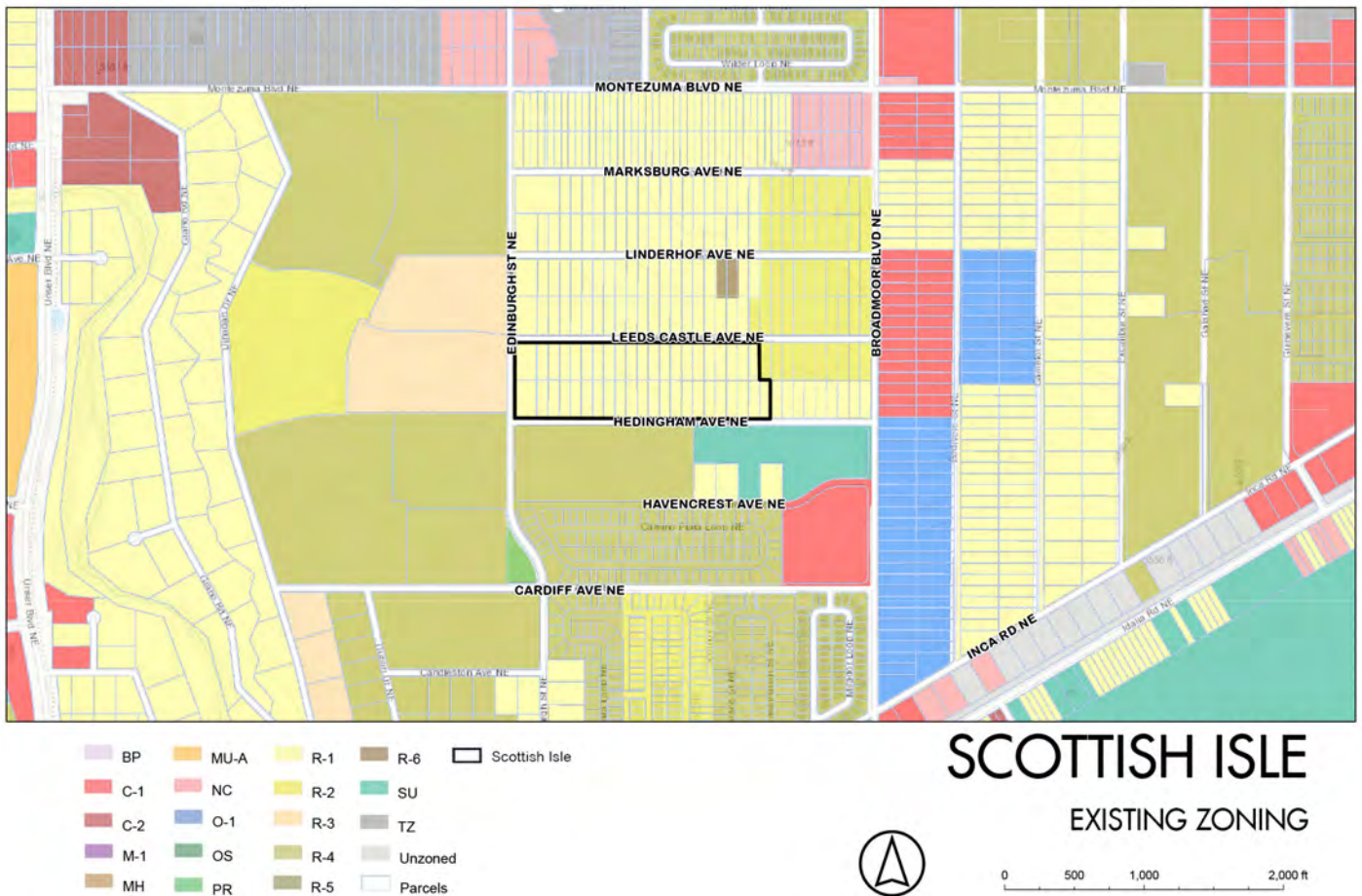


Figure 4: Existing Zoning in and around Scottish Isle

EXISTING LAND USE

The existing underlying land use for Scottish Isle is Low/Medium Density Residential, as established within the Lomas Negras Specific Area Plan. The Lomas Negras Specific Area Plan was adopted in June 2008, with subsequent amendments occurring in 2009 and 2011. Target densities for Low/Medium Density Residential land uses is between 4 and 16 DU/acre.

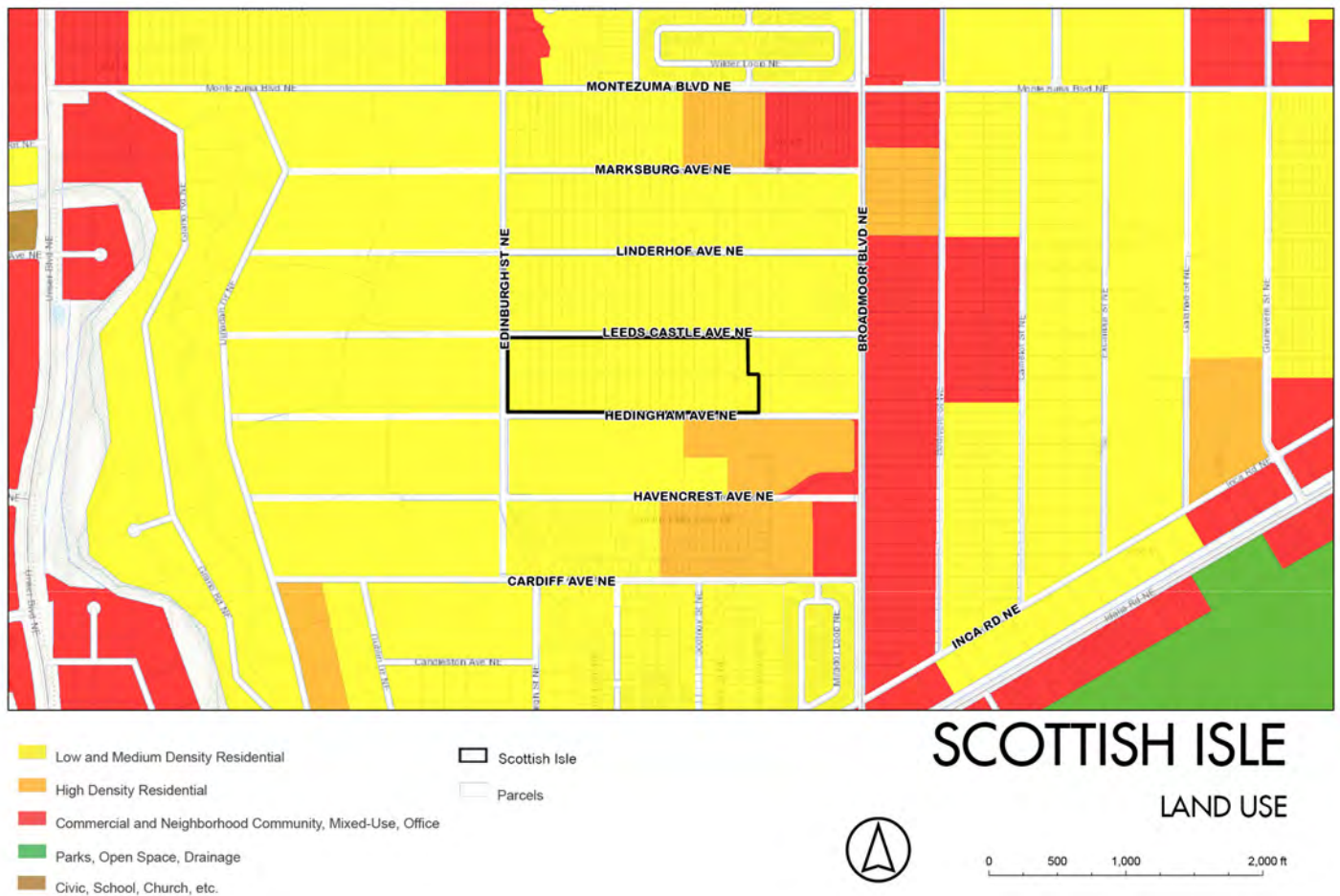


Figure 5: Generalized Land Use Map

3. LAND USE AND ZONING DESCRIPTIONS

PROPOSED ZONING AND LAND USE

The proposed zoning for Scottish Isle is R-2: Single-family Residential, which permits a moderate density of population in which the principal use is single-family dwelling units (see Figure 6 below). The minimum lot area for R-2 zoned parcels is 5,000 square feet, with a minimum lot width of 50 feet. The Master Plan proposes approximately 118 units on 22.4 acres of land, which equates to a density of approximately 5 dwelling units per acre. The number of residents at full build-out will be approximately 335, based on the assumption of 2.83 residents per dwelling. A conceptual lot layout has been provided on page 9. Will conform to City R-2 design standards as detailed herein.

PARKS AND PONDS

The Scottish Isle Master Plan recognizes that parks and open space are important community amenities. The private pocket park accounts for approximately .25 acres, and shall be owned and maintained by the Homeowner’s Association. The park is envisioned to be located near both entrances to the community. At the southwest corner of Scottish Isle, a detention pond, approximately .75 acres in size, will temporarily store run-off. Park amenities may include exercise equipment, walking path, turf areas, and children’s play structures. The parks’ design and construction shall be responsibility of the developer/homebuilder.

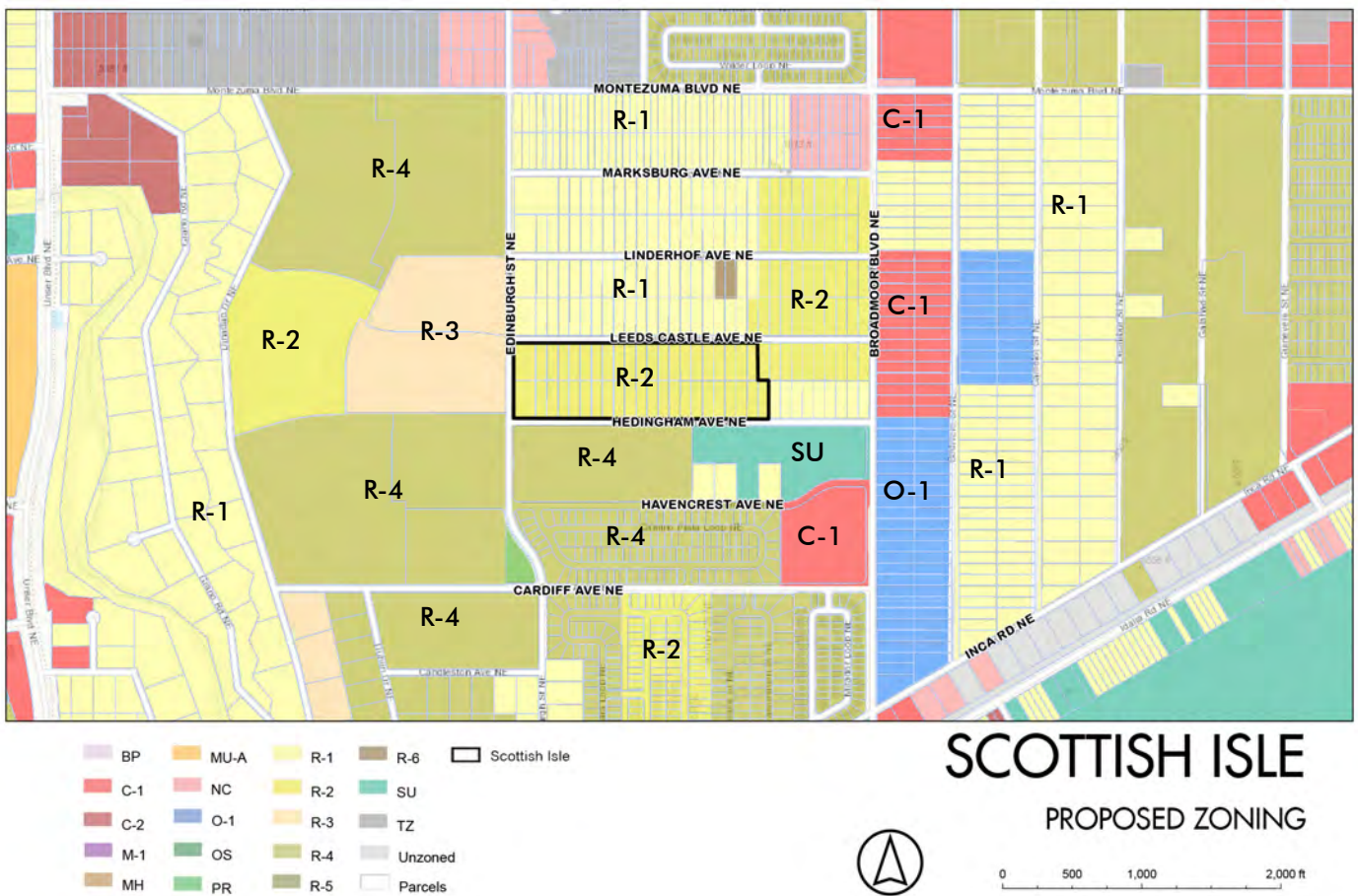


Figure 6: Proposed Zoning

CORRIDOR OVERLAY ZONE

The Corridor Overlay Zone (COZ) establishes additional design guidelines and access management standards. The use of overlay zones in certain areas of the city is a planning and zoning tool that may be used to buffer one zone from another; impose additional design standards or access control measures; require additional setbacks to protect future right-of-way acquisition; modify certain standards which may cause undue hardship; or address specific problems in an area of the city .

Overlay zones apply to areas where they are mapped in addition to the provisions of another zone. Where the provisions of an overlay zone are more or less restrictive than another section of the Master Plan or the Zoning Code, the provisions of the overlay zone shall prevail. The overlay zone is mapped and denoted on the official zone map by the notation "OZ," in conjunction with the notation for the underlying zone district.

The Corridor Overlay Zone, which applies to the Scottish Isle Master Plan area, governs setbacks. Setbacks allow for future right-of-way on collector and arterial streets. This requirement applies to residential as well as commercial properties as follows: Edinburgh Street is a minor collector and shall have a 34-foot setback from the centerline plus the zoning district setback. Broadmoor Boulevard is a minor arterial and shall have a 53-foot setback from the centerline plus the zoning district setback, per the Overlay Ordinance 08-58.

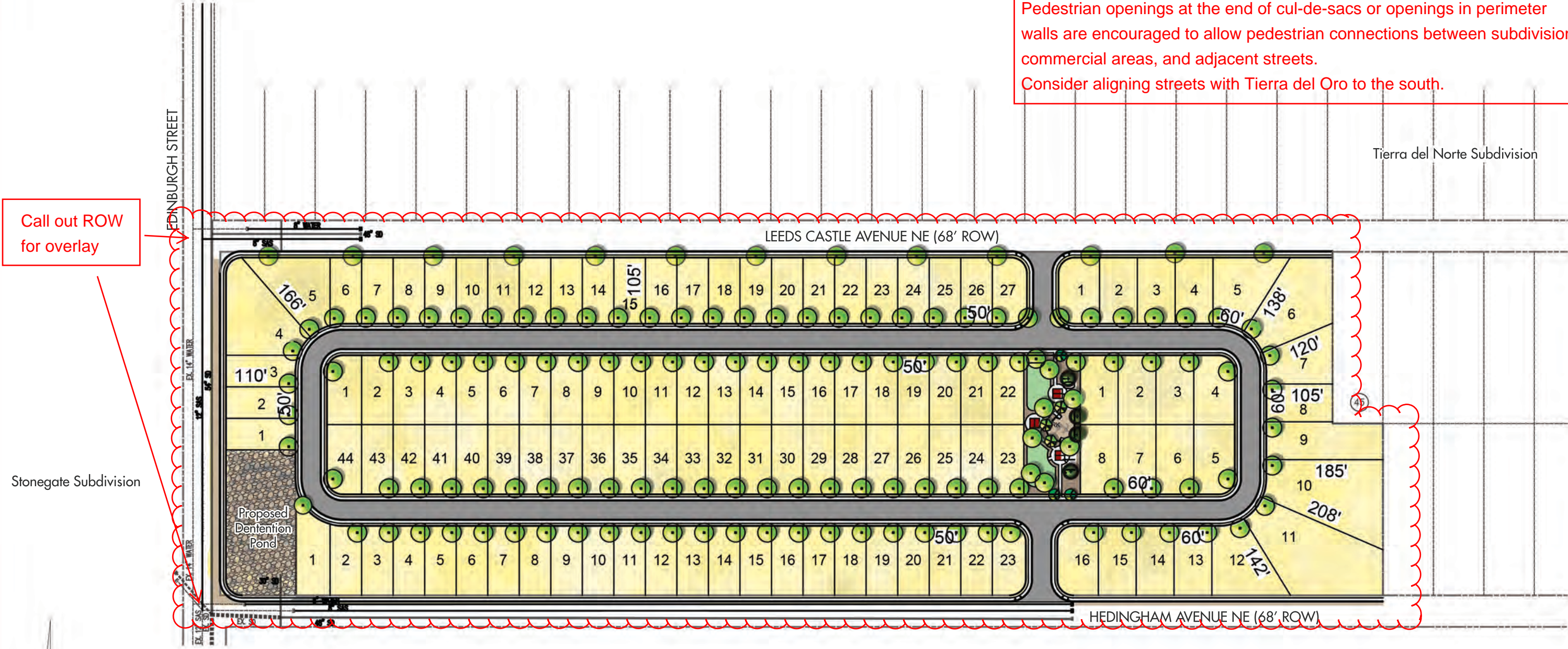


Include Leeds Castle Ave

This exhibit conflicts with subsequent exhibits, which show the the southern entrance aligned with TDO

In general, long, straight roads are discouraged. The use of curvilinear streets, knuckles or cul-de-sacs is encouraged to provide variety and visual interest in the streetscape. These concepts also promote the creation of "neighborhoods within neighborhoods."
Pedestrian openings at the end of cul-de-sacs or openings in perimeter walls are encouraged to allow pedestrian connections between subdivisions, commercial areas, and adjacent streets.
Consider aligning streets with Tierra del Oro to the south.

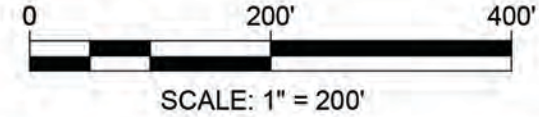
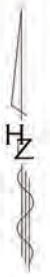
Call out ROW for overlay



Stonegate Subdivision

Tierra del Norte Subdivision

Tierra del Oro Subdivision



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C:\Users\Ashlie\Desktop\BLOCK 45 EXHIBIT 4.dwg
Last Saved: 10/27/2022 9:48:37 AM, Ashlie

Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND OFFSITE UTILITIES

Designed By:
HUITT-ZOLLARS
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Phone (505) 892-5141 Fax (505) 892-3259

DATE:
OCTOBER 2022
FIGURE
4

4. CONFORMANCE TO CITY OF RIO RANCHO PLANS AND POLICIES

The Scottish Isle Master Plan adheres to the Rio Rancho Comprehensive Plan. The Comprehensive Plan is a policy document that lays out broad goals, objectives and policies to guide the growth and development of Rio Rancho, and provides general development policies and guidelines for all new development.

The Scottish Isle Master Plan will help implement the principles of the Comprehensive Plan. A discussion of how the Master Plan meets each principle, and the intent of the policies and action statements, is provided in this chapter.

CITY OF RIO RANCHO COMPREHENSIVE PLAN

LAND USE

The intent of the Land Use Element is to provide guidance for population growth by identifying and proposing the location of types of development and land uses. Goals and policies from the Land Use Element that are furthered by the Scottish Isle Master Plan include:

- Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.
- Policy L-1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities and building location and design in the master plan.
- Policy L-3: Promote and support development that incorporates walkability.
- Policy L-4: Encourage adequate pedestrian connections to future transit facilities in all residential site development.



Figure 6: View across Scottish Isle toward development in Solcito

- Policy L-5: Incorporate suitable developments that can provide an immediate revenue

The Master Plan establishes the desired community character through the Design Guidelines, which addresses building colors, finishes, and landscape requirements. The development includes a neighborhood park to help meet the recreational needs of residents. The grading and drainage plan for Scottish Isle incorporates an on-site pond that will retain water from the site and water flows from the west.

POPULATION AND HOUSING

The intent of the Population and Housing Element of the Comprehensive Plan is to ensure that housing is available to all sectors of the population and to guide development to key areas that are fundamental to the development of the City. The ~~High Range 5~~ Master Plan furthers the following Population and Housing goals and policies: **Scottish Isle**

- Goal 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.
- Policy 7: Support residential developments with appropriate amenities for families and children.

The Scottish Isle community is an attractive single-family neighborhood with amenities for a variety of households. The development includes a neighborhood park and open space that will help serve the multi-generational needs of the community. Scottish Isle is in proximity to other existing public amenities, such as the Loma Colorado Main Library, McDermott Athletic Center, and the Rio Rancho Sports Complex.

TRANSPORTATION

The Transportation element of the Comprehensive Plan encourages a multi-modal transportation network to meet long-term local and regional circulation needs. A coordinated pedestrian network is encouraged throughout the Plan Area to help foster non-vehicular mobility and accessibility. The following transportation goals, policies, and objectives are applicable to the Scottish Isle Master Plan:

- Goal TR-1: Transportation facilities designed and constructed in a manner to facilitate Rio Rancho's economic goals, enhance livability, and meet federal, state, and regional and local requirements. **Too specific for MP**
- Goal TR-3: A balanced transportation system that provides access to a variety of transportation options (automobile, transit, bus rapid transit, rail, bicycle, and pedestrian facilities).
- Policy TR-11: Ensure all rights-of-way and transportation facilities are ADA-compliant. pace of making City Center a dense urban core.

Leeds Castle Avenue and Hedingham Avenue will be partially constructed with Scottish Isle. Leeds Castle Avenue is envisioned to feature an 8' wide ADA accessible paved trail. All roads constructed in and around Scottish Isle will feature a 5' wide sidewalk. According to the Lomas Negras SAP, the Department of Public Works will program the multi-use trail in the ICIP and be built to City standards

Are the roads within the Master Plan anticipated to be private, or dedicated to the City?

as funds become available (see page 36, Lomas Negras SAP). The multi-use trail will provide greater balance to the transportation system by providing an option for residents to bike and walk.

ANTIQUATED PLATTING, ANNEXATIONS, AND ADDRESSING

The intent of this element of the Comprehensive Plan is to ensure the challenges associated with antiquated platting be resolved throughout Rio Rancho through proper platting and addressing.

- Goal A-1: Eliminate antiquated platting within the City of Rio Rancho where desirable.

The Scottish Isle site was annexed into the City of Rio Rancho in 1995 and has remained vacant for several years. Antiquated platting and checkerboard ownership presented a significant challenge to development and made assembling the land a difficult process. The developer assembled 43 parcels, totaling approximately 22.4 acres, to create the Scottish Isle Master Plan.

URBAN DESIGN

The Urban Design element of the Comprehensive Plan ensures that development will follow design standards that achieve the creation of community identity and aesthetic quality. Relevant goals furthered by the Scottish Isle Master Plan include:

- Goal UD-2: Create traditional neighborhood patterns that support a sense of place.
- Goal UD-6: Support development that links neighborhoods and encourages the use of all modes of transportation.

These goals are furthered by the Scottish Isle layout which creates a traditional neighborhood development pattern with multiple points of access to the existing street system and adjacent neighborhoods. Scottish Isle is linked to the Stonegate, Tierra del Norte, and Tierra del Oro neighborhoods through the provision of multi-use trails. Leeds Castle Avenue will also link Scottish Isle to future development to the west towards Edinburgh Street and Unser Boulevard.

LOMAS NEGRAS SPECIFIC AREA PLAN

The purpose of the Lomas Negras Specific Area Plan (SAP) is "to help guide and manage future development along, and in the vicinity of, major arterial streets within the City or Rio Rancho." The Lomas Negras SAP encompasses 981 acres located within Rio Rancho Estates Unit 13. The Scottish Isle Master Plan implements the following goals and objectives of the SAP:

LAND USE

The Lomas Negras SAP proposes land use categories that are consistent with, and promote the goals and policies in the Comprehensive Plan, such as medium density residential. The Lomas Negras SAP encourages the consolidation of lots and platting action to meet the current development standards. Preferred residential densities for properties within the Lomas Negras SAP ranges from low to high. Community uses, such as schools, parks, and churches that are integral to a creating a complete neighborhood, are also identified in the Lomas Negras SA . The following land use goal is furthered by the Scottish Isle Master Plan:

- Land Use Goal: Promote a variety of housing choices including low- and medium-density single family residential uses and high density multi-family residential uses.

The Scottish Isle Master Plan furthers this goal by implementing medium density residential use

through a Zone Map Amendment to R-2: Single-family Residential. The medium-density residential increases the availability of affordable housing opportunities and increases the mix of housing types within Rio Rancho.

COMMUNITY FACILITIES

The Scottish Isle Master Plan expands the City of Rio Rancho’s parkland inventory through the provision of a neighborhood park, furthering the Community Facilities goal:

- Community Facilities Goal: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

As previously mentioned, the park will serve the residents of Scottish Isle, and will help to meet their recreational needs.

UTILITIES

The Scottish Isle Master Plan furthers the utilities goal, objective, and policy by coordinating and linking to existing water and sewer utility infrastructure within adjacent rights-of-way:

- Utilities Goal: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.
- Utilities Objective: Coordinate water and sewer utility infrastructure among various master plan and subdivision developments as approved within the Plan area.
- Utilities Policy: No building permits will be issued for development in the Plan area by Development Services department if the owner cannot provide community water and sewer to the property.

It is anticipated that Scottish Isle will be served by the existing water line and sewer line within within Edinburgh Street.

Too specific. This assumes others already constructed water and wastewater.

5. TRANSPORTATION

Confusing?

Not entirely correct?

The Scottish Isle Master Plan is to be located adjacent to the Tierra del Oro, Tierra del Norte, and Stonegate subdivisions, each of which are currently under construction. The new development is to be situated north of Hedingham Avenue, south of the Leeds Castle Avenue, east of the Edinburgh Street, and west of Broadmoor Boulevard. **Scottish Isle will have easy access to Idalia Road via Edinburgh Street and Broadmoor Boulevard.** Located near the northerly reaches of the developing Rio Rancho area, **major employment centers of the greater Albuquerque and Rio Rancho areas are generally located to the south and east.**

The site will be developed in a single construction phase with a total of 118 single-family dwelling units at full build-out. Access to the internal street network will be via two entrance roads off of Leeds Castle Avenue and Hedingham Avenue. The main entrance road (Leeds Castle Ave) will be a 50-foot wide collector street (68-foot right-of-way) extending west from the Tierra del Norte area. There will be an 8-foot wide multi-use trail on the north side and a 5-foot wide sidewalk on the south side. All internal streets in the subdivision will have a 30-foot wide paved section, and will be constructed to meet City of Rio Rancho standards.

Add language indicating that a traffic impact analysis will be completed per the development process manual. Off-site infrastructure will be completed per the traffic impact analysis.

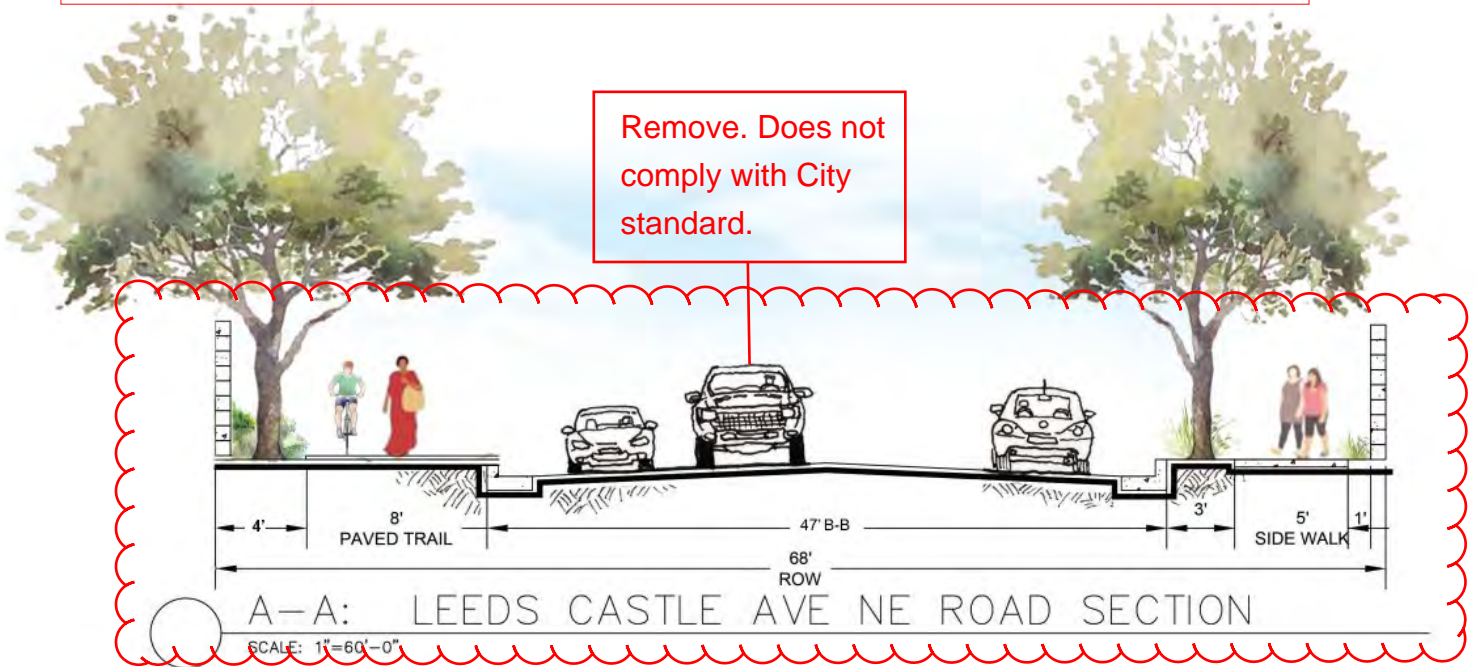


Figure 7: Cross section of Leeds Castle Ave NE



STONEGATE SUBDIVISION

Add Legend to identify

MARKSBURG AVENUE

FUTURE PHASE

110'

111'

111'

111'

111'

111'

LINDERHOF AVENUE

110'

110'

FUTURE PHASE

110'

111'

190'

110'

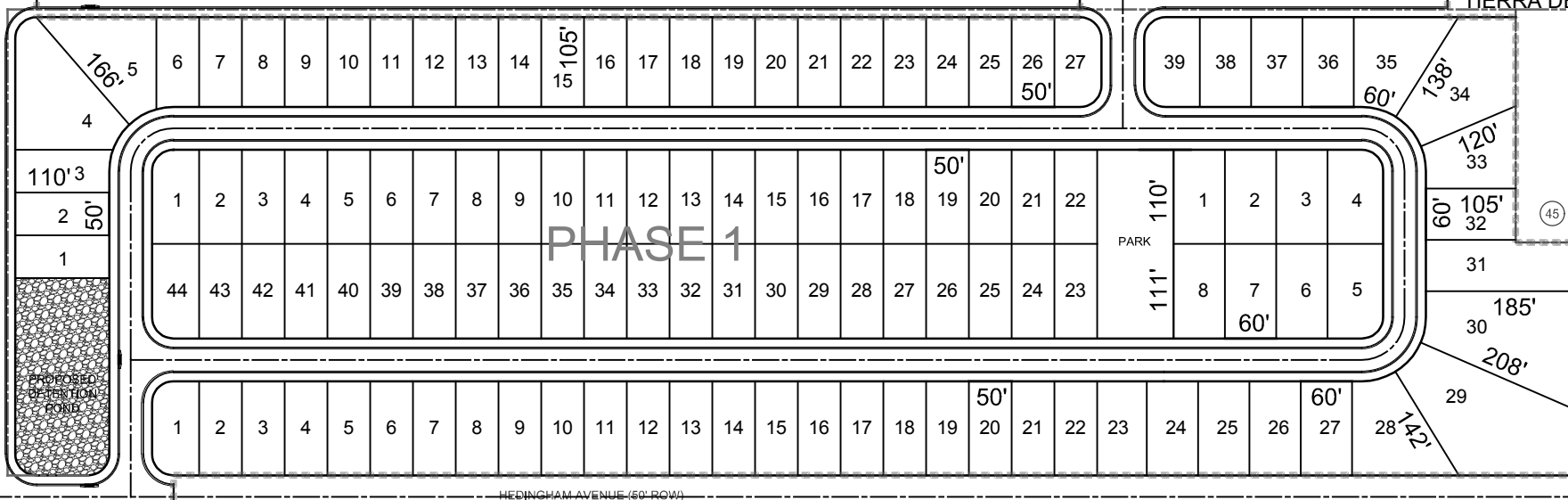
105'

TIERRA DEL NORTE SUBDIVISION

BROADMOOR BLVD.

LEEBSCASTLE AVENUE (60' ROW)

ACCESS TO PHASE 1 THROUGH TIERRA DEL NORTE SUBDIVISION



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Last Saved: 11/02/2023 5:33:51 PM, nvilla

Designed For:

**GAMMA
DEVELOPMENT**

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL PAVING PLAN

Designed By:

HUITT-ZOLLARS

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Phone (505) 892-5141 Fax (505) 892-3259

DATE:

**JANUARY
2023**

FIGURE

A

To specific and vague at the same time. Off-site infrastructure may be constructed by others; off-site infrastructure requirements will be determined by the City at time of development.

6. UTILITIES

INTRODUCTION

Scottish Isle is in an area that is yet to be serviced by the City of Rio Rancho Utilities Department. There are three developments at various stages surrounding Scottish Isle, including Stonegate, Tierra del Oro, and Tierra del Norte Subdivisions. The Tierra del Norte Subdivision to the east and north is beginning construction, and the Stonegate development to the west has submitted infrastructure plans for final approval. Tierra del Norte and Stonegate will both bring the required infrastructure to these developments according to the City of Rio Rancho requirements.

Incorrect

WATER

Water will be provided from a 14" water main built within Edinburgh Street which extends to Linderhof Avenue. The internal water line will be extended from Edinburgh Street with a 8" main to Leeds Castle Ave and Hedingham Avenue. All lines internal to the development will have 8" lines with connections to the main at Edinburgh Drive. All new homes will have service connections per the City of Rio Rancho standards (see Utility Layout Exhibit).

SANITARY SEWER

The Scottish Isle subdivision will be serviced through an internal 8-inch gravity line with manholes as necessary to meet City of Rio Rancho design standards along with sanitary sewer services to each lot. The topography within the project site falls from west to east.

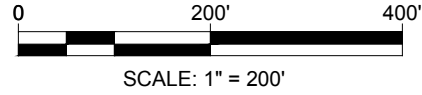
Due to the particular topography of the area, the proposed subdivision will require a number of separate sanitary sewer connections to drain the site properly. One connection will be at the far southeast corner connecting to the existing sanitary sewer line at the intersection of Hedingham Avenue and Edinburgh Street.

The sanitary sewer line in Edinburgh Street will be built up to Hedingham Avenue by the Stonegate Subdivision and/or Tierra del Oro Subdivision. Scottish Isle Subdivision will build the sanitary sewer line in Edinburgh Street from Hedingham Avenue to Leeds Castle Avenue.

Only one seen on layout?

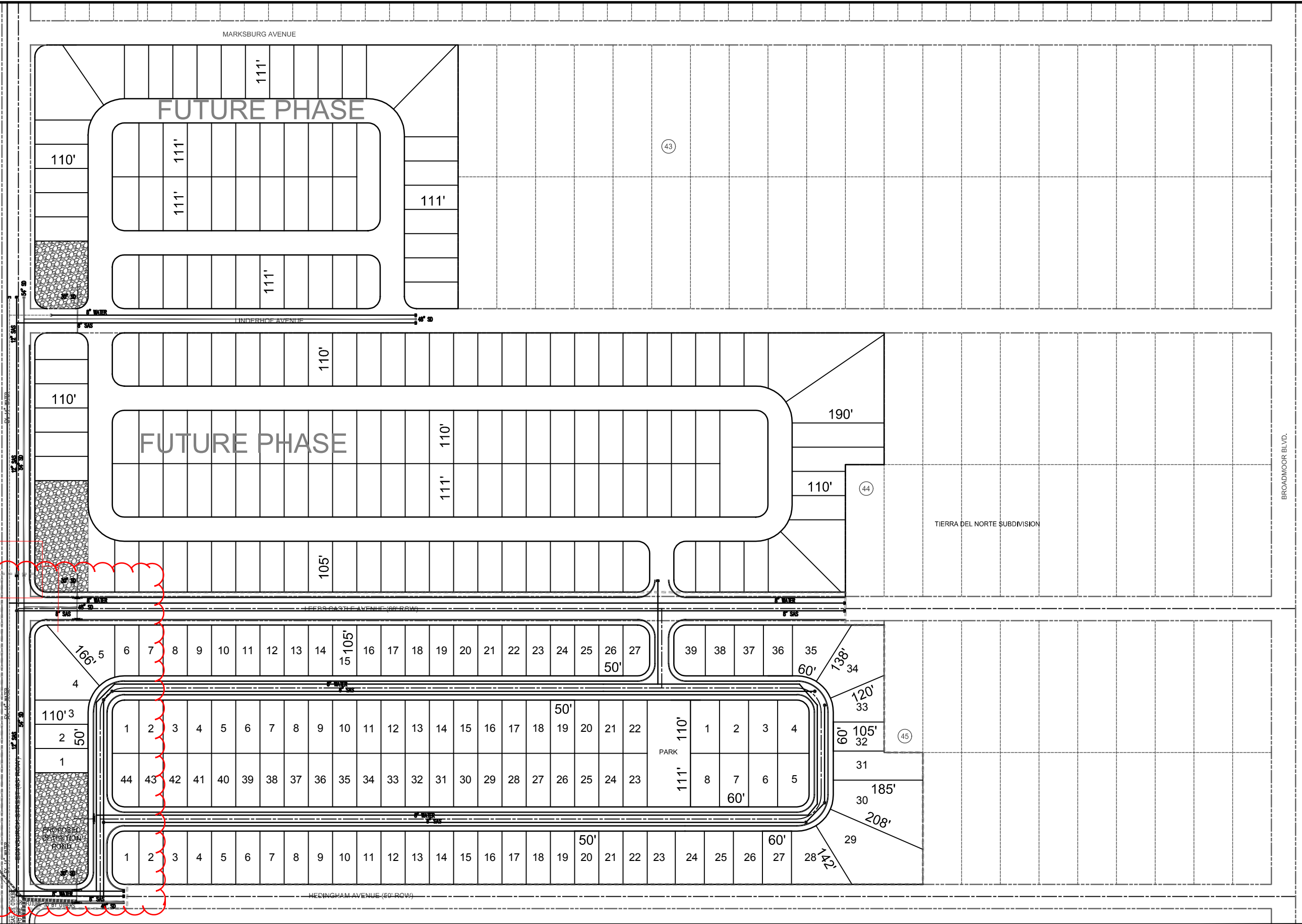
Southwest?

New language



STONEGATE SUBDIVISION

Some of the utility lines shown as existing are not existing. Revise.



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Designed For:
**GAMMA
DEVELOPMENT**

SCOTTISH ISLE
CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL UTILITY LAYOUT

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DATE:
**JANUARY
2023**
FIGURE
A

7. GRADING AND DRAINAGE

INTRODUCTION

The proposed Scottish Isle subdivision will consist of 118 single family residential lots covering approximately 22.4 acres.

As shown on FEMA FIRM Panel #35043C1900D, the project site is not encumbered by a FEMA 100-year floodplain. The Drainage Plan for Scottish Isle will comply with the Edinburgh Basin Drainage Implementation Plan, Montoyas Watershed Management Plan, and any other applicable drainage plans.

EXISTING CONDITIONS

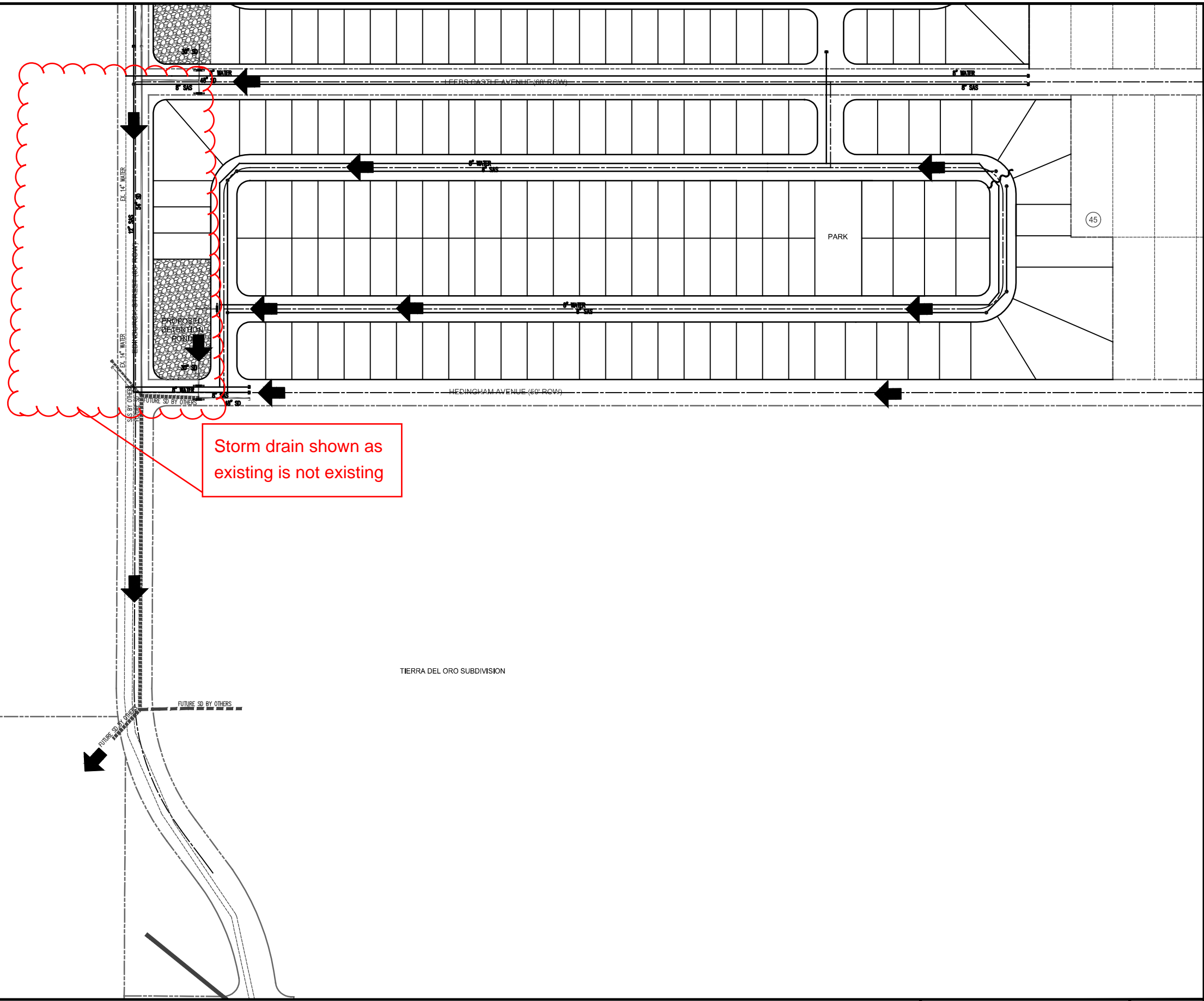
The general topography in the area flows downhill from east to west. The existing drainage basin consists of a total of 761.60 acres. The existing platting consists of 1/2 acre lots. Land treatments for existing conditions have been calculated at 100% Type 'A'.

The majority of the existing drainage basin converges near the intersection of Cardiff Avenue and Edinburgh Street, the site of a natural playa. Storm water runoff travels to the playa and ponds south of Cardiff. The entire area of the Scottish Isle Master Plan currently drains to the natural playa. Once the playa is overtopped, the storm water runoff will travel to Northern Boulevard via Edinburgh Street and into the Montoyas Arroyo. Storm water will not cross Northern Boulevard until it enters the existing box culvert at Northern Boulevard within the Montoyas Arroyo. Runoff from these sub basins flows through the site to the Montoyas Arroyo.

DEVELOPED CONDITIONS

Under developed conditions, no offsite flows will **affect** the site. The onsite runoff will be conveyed by the internal streets and intercepted by inlets into an onsite detention pond located at the southwest corner of the site. This detention pond will serve to collect the onsite stormwater runoff and reduce the discharge to an allowable rate. The onsite detention pond will also act as a stormwater quality feature by removing sediment and floatables. The onsite pond will discharge into a storm drain system in Edinburgh Street to be built by the Stonegate Subdivision and/or Tierra del Oro Subdivision. The Edinburgh Street storm drain system will discharge into a regional detention pond located at the southeast corner of the Stonegate Subdivision.”

This section has been revised



Storm drain shown as existing is not existing

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Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE
CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL DRAINAGE PLAN

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DATE:
JANUARY 2023
FIGURE
A

8. DESIGN STANDARDS

INTRODUCTION

The Scottish Isle Master Plan recognizes the importance of promoting a sense of cohesiveness within the entire community. The purpose of these design standards is to provide a flexible framework for community design that encourages innovative and creative solutions, rather than setting a rigid set of requirements. These standards will help implement the Urban Design provisions of the City of Rio Rancho's Comprehensive Plan.

The desired character for this medium density residential development is expressed in these standards. These standards are primarily intended as a generalized guide for end users that will participate in the development of Scottish Isle. Where these standards conflict with City standards, the more stringent shall apply.

SITE DESIGN

friendly

A primary focus for specific site design within Scottish Isle will be the creation of a pedestrian and bicycle ~~oriented~~ community. The neighborhood should provide convenient pedestrian circulation throughout, and to the external streets and adjoining developments. The relationship of building to the street contributes to how the environment is experienced and as such is an important design issue to consider in site planning for all types of land uses.

General

1. Sidewalk requirements shall be consistent with City standards.
2. Safe, convenient, and pleasant pedestrian circulation may be accomplished with sidewalks, bike paths, special pavings, and shade.
3. All pedestrian walkways shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
4. Concrete, asphalt, or compacted decomposed granite with stabilizer are acceptable materials for pedestrian walkways around the pond and within the pocket park.
5. Clear sight distances shall be maintained at all driveway locations and intersections.
6. All perimeter block walls facing public rights-of-way shall include a continuous 4 inch cap.
7. Unfinished gray block walls, barbed wire, chain link, concertina wire, and wood or plastic vinyl fencing are prohibited for all walls or fences visible from the public right-of-way.
8. Mechanical units shall be entirely concealed from public view by the use of parapets or equivalent
9. All wall surfaces shall be finished with either
 - Stucco;
 - Colored split face block; or
 - Colored burnished block.

Single-Family Residences

The single family neighborhood of Scottish Isle is encouraged to have a unique identity that will be established through materials, perimeter wall treatment, and other measures. This approach will enable Scottish Isle to carve out its own identity within the overall context of Rio Rancho as a community of neighborhoods.

1. All development shall comply with the City's Subdivision Ordinance.
2. The front yard setback shall be a minimum of 20 feet for the garage and the living or heated portion of the house shall have a front yard setback of 15 feet in order to avoid creating a garage dominated streetscape. The use of courtyards, porches, or other design features may be used to accomplish this goal as well.
3. Single family units are prohibited from fronting a collector or major local street.
4. Proposed driveway locations shall be consistent with curb cut requirements identified in City standards.
5. Lots that face streets at the front and rear shall be limited to one driveway at the front facing street. A solid wall shall be provided at the rear yard of the property to ensure limited access.
6. Yard walls shall be constructed of CMU block. Perimeter walls shall be constructed of split-face CMU block.
7. To soften the horizontal mass of a continuous perimeter wall, the wall shall be designed to:
 - contain a 16 inch minimum setback in the wall surface for a minimum horizontal length of one lot. Setback intervals shall occur every three lots. Decorative pilasters may be used in place of wall setbacks; and
 - have landscaping facing the public right-of-way covering a minimum of 30% of the wall surface. Maintenance of the landscaping shall be the responsibility of the homeowners association.

ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the residential units to be constructed within the project. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

General

1. Stucco shall be the primary building material. Stone, tile, or brick accents are allowed.
2. Stucco colors shall be limited to shades of brown, grey, tan, sage green, and sand. Bright colors as the dominant exterior color are prohibited.

3. The use of accent colors in entry portals, front door, window frames and trim, and other incidental elements is encouraged.
4. Antennae or solar collector equipment, if used, shall be installed so as to minimize its visibility from any public street or adjacent lot.
5. Accent materials shall be used to articulate and give scale to a building. These may include tile, wood trim, metal, stone, etc.
6. Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.
7. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are earth tones, white, green, red, blue, and brown ranges.
8. Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surface
 - metal paneling
 - materials with high maintenance requirements

Doable?

Single-Family Residences

1. Building height on houses with pitched roofs shall not exceed 32 feet to the highest point of the pitch. Building height on houses with flat roofs shall not exceed 26 feet
2. The maximum area of the second story of a single-family house, including heated spaces and covered porches, shall be no more than 75% of the area of the first floor, including heated spaces, covered porches, and garage. In situations where the top of roof (or parapet wall) associated with a first-floor room exceeds 18 feet from finished floor, then such area shall be considered as a second-story for determining the 75% ratio.
3. The second story portion of a two story single-family house shall be set back from the first floor exterior walls a minimum of 5 feet to eliminate the appearance of two story walls or utilize balconies/decks to achieve a difference in massing for the front and at least one side elevation.
4. Front porches, entryways, and/or portals, if used, shall have a minimum 6 foot depth, and may be built within the front setback.
5. Garages that front the street shall be constructed with a "shadow box" containing a minimum depth of eight inches.

Will there be an ARC and is Abrazo comfortable constructing to these standards?

LIGHTING

The objective of the lighting standards is to preserve the “dark sky” while providing lighting that enhances the safety, security, and visual aesthetics of the area. Careful attention to lighting detail will contribute to the sense of a cohesive community image. Additional restrictions on lighting may be imposed through privately enforced covenants, conditions, and restrictions (CC&Rs).

Requirements

1. Light fixtures and standards shall conform to local safety illumination standards and existing City standards, which require street lights at all intersections, cul-de-sacs, and curves in the roadway. PNM
2. Street lights shall be per Rio Rancho and Public Service Company of New Mexico standards.
3. Site lighting shall be shielded and oriented so as to eliminate glare or light trespass onto adjacent roadways and properties. All lighting shall be in compliance with the State of New Mexico Night Sky Act. City of Rio Rancho Night Sky Act; we go by state standards
4. Lighting layout shall be coordinated with proposed landscaping and trees to maximize light distribution and avoid conflicts
5. Bollard lights, if used, shall be metal halide or LED and fitted with louvers di fusers, or shields as necessary to eliminate glare on adjacent roadways and properties.

LANDSCAPE AND STREETScape

The environmental, as well as aesthetic, value of landscaping in an arid region cannot be overstated. Landscaping should be used to buffer residential from noise or undesirable views, to provide wind protection, shade, and relief from the heat and glare generated by development, to control soil erosion, and enhance pedestrian and vehicular traffic and safet. Recognizing the increased public awareness of water conservation, these standards promote the use of native and naturalized plant species that perform well in an arid environment.

Requirements

1. Landscape plans shall comply with the City’s Water Conservation Ordinance and City standards.
2. Landscaping in accordance with an approved plan must be installed in a timely manner in accordance with the CC&Rs.
3. Turf shall not be used within the street R.O.W. or within the landscape area between the curb and sidewalk.
4. A clear sight triangle must be maintained in any landscape area.
5. A fully automated irrigation system shall be provided for all landscaped areas. The system shall be designed to avoid overspraying. Irrigation and maintenance of front yard landscape and street trees shall be the responsibility of the individual homeowner.
6. Coverage of the common landscape areas with living vegetative material will be governed by existing City standards.
7. Street trees shall be planted within 10 feet of the back of curb.

8. Street trees shall be provided at a rate of one tree per lot throughout Scottish Isle.
9. Minimum plant sizes at time of installation shall be as follows:
 - Trees 2.5 inch caliper, or a minimum of 8-10 feet in height
 - Shrubs & Groundcovers - 1 gallon
 - Turf grasses shall provide complete ground coverage within 1 growing season after installation

Allowable tree species include:

- ▶ Bloodgood Plane Tree / *Platanus acerifolia*
- ▶ Shumard Oak / *Quercus shumardii*
- ▶ Blue Atlas Cedar / *Cedrus Atlantica 'Glauca'*
- ▶ Chinese Pistache / *Pistacia chinensis*
- ▶ Austrian Pine / *Pinus nigra*
- ▶ Chitalpa / *Chitalpa Tashkentensis*

Allowable shrubs and groundcover include:

- ▶ Apache Plume / *Fallugia paradoxa*
- ▶ Autumn Sage / *Salvia greggii*
- ▶ Big Sage / *Artemisia tridentata*
- ▶ Blue Leadwort / *Ceratostigma plumbaginoides*
- ▶ Blue Mist Spirea / *Caryopteris x clandonensis*
- ▶ Claret Cup / *Echinocerus triglochidiatus*
- ▶ Crape Myrtle / *Lagerstroemia*
- ▶ Creeping Rosemary / *Rosmarinus off. pro.*
- ▶ Mugo Pine / *Pinus mugo*
- ▶ Parry Agave / *Agave parryi*
- ▶ Red Yucca / *Hesperaloe parviflor*
- ▶ Rosewood / *Vaquelinia*
- ▶ Shrubby Cinquefoil / *Potentilla frutacosa*
- ▶ Soft Blade Yucca / *Yucca recurvifolia*
- ▶ Spanish Bayonet / *Yucca baccta*
- ▶ Three Leaf Sumac / *Rhus trilobata*
- ▶ Winterfat / *Ceratoides lanata*
- ▶ Ornamental Grasses
- ▶ Maiden Grass / *Miscanthus sinensis 'Gracillimus'*
- ▶ Bear Grass / *Nolina microcarpa*
- ▶ Blue Fescue / *Festuca ovina 'Glauca'*
- ▶ Sand Dropseed / *Sporobolus cryptandrus*
- ▶ Regal Mist / *Muhlenbergia capillaris*

SITE UTILITIES

The purpose of these standards is to promote the coordinated development of utilities to minimize utility costs and visual impacts associated with utility structures.

- a. All permanent utilities shall be located underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above ground backflow prevention device is required by the City of Rio Rancho, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

Section for signage is completely missing. Please include in next revision.



February 24, 2023

RE: New Master Plan #22-400-00005 Scottish Isle Master Plan; Zone Map Amendment #22-100-00027 R-1: Single-Family Residential District to R-2: Single-Family Residential District (approx. 22.4 acres)

Dear Property Owner:

You are receiving this notice because your property abuts a site where a land development decision is required by the Planning and Zoning Board and Governing Body.

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of two separate requests:

Proposed Master Plan: Scottish Isle Master Plan, comprised of the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62 (approx. 22.4 acres).

Zone Map Amendment: from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62. These properties consist of approximately 22.4 acres.

The Planning and Zoning Board will consider these requests at a public hearing on **Tuesday, March 14, 2023** starting at 6:00 pm in the **Council Chambers of City Hall, located at 3200 Civic Center Circle**. Subsequently, the Governing Body will consider these requests at a public hearing on **Thursday, March 23, 2023** starting at 6:00 pm in the **Council Chambers of City Hall, located at 3200 Civic Center Circle**. If you would like to comment on these applications, you are encouraged to send in comments in writing to tdvorak@rrnm.gov, which will be presented to the respective body (Planning and Zoning Board and/or Governing Body). Both the Planning and Zoning Board meeting and Governing Body meeting will be hybrid with options to participate virtually or in person (**Please note the separate Zoom links**). The City highly encourages citizens to watch the meeting live on the City's website www.rrnm.gov or on Sparklight cable channel 56.

For the **Planning and Zoning Board meeting**, to participate virtually: Join via computer:
<https://us06web.zoom.us/j/85180741871?pwd=T3BISHVpWkp6d3dDRmlHd3k2VzYvUT09>
Meeting ID: 851 8074 1871 Passcode: 026819 Join via phone: 1-253-215-8782 US

For the **Governing Body meeting**, to participate virtually: Join via computer:
<https://us06web.zoom.us/j/85302353741?pwd=bWp1QXliSGJoeHhJaGV0czF4MDN0UT09>
Meeting ID: 853 0235 3741 Passcode: 789419 Join via phone: 1-346-248-7799 US

Please do not hesitate to contact me at 505-896-8361 or e-mail me at tdvorak@rrnm.gov if you have any questions about the application or accessing the meeting. The agenda for this hearing and related staff reports will be posted on the City's website, www.rrnm.gov, approximately one week before the hearing.

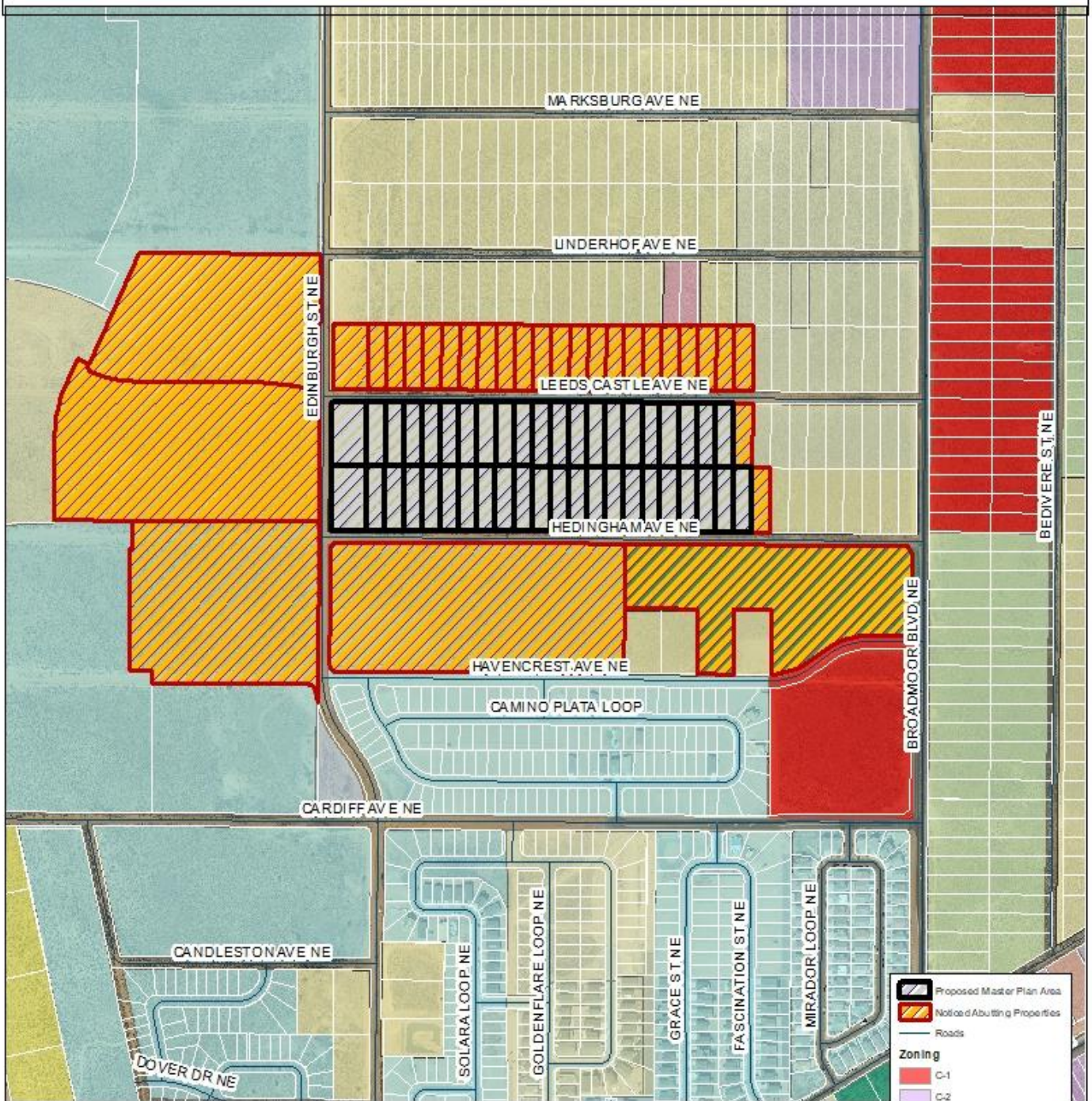
If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the City Clerk, 505-891-5004, as soon as possible prior to the meeting. Public documents including the agenda and minutes can be provided in various accessible formats. Please contact the City Clerk if a summary or other type of accessible format is needed.

Respectfully,

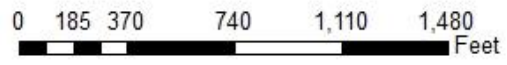
Tim Dvorak

Tim Dvorak
Municipal Planner II
Development Services Department
Planning Division
City of Rio Rancho

SCOTTISH ISLE MASTER PLAN NEW MASTER PLAN & ZONE MAP AMENDMENT



	Proposed Master Plan Area
	Notice of Abutting Properties
	Roads
Zoning	
	C-1
	C-2
	NC
	D-1
	PR
	R-1
	R-2
	R-3
	R-4
	R-6
	SU
	Unzoned



DISCLAIMER: All information in this map is provided "as is" without warranty or any representation of accuracy, timeliness, or completeness. This map is not a survey and should be used for graphical purposes only.

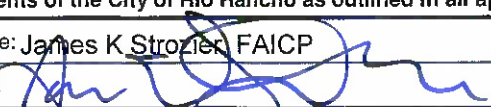
Map Created by Tim Dvorak on 2/23/2023

PLANNING & ZONING LAND USE APPLICATION

Please check appropriate box

(Fees are listed on the back)

Administrative Permit	Plan	Subdivision	Zoning
<input type="checkbox"/> Community Residential Care Facility	<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Annexation
<input type="checkbox"/> Development Review Committee (DRC)	<input type="checkbox"/> Corridor Plan Amendment	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Appeal
<input type="checkbox"/> Home Occupation	<input checked="" type="checkbox"/> Master Plan	<input type="checkbox"/> Summary Plat	<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> Model Home / Sales Office	<input type="checkbox"/> Master Plan Amendment	<input type="checkbox"/> Vacation of Plat	<input type="checkbox"/> Master Sign Plan
<input type="checkbox"/> Residential Child Care Facility 6 or <	<input type="checkbox"/> Specific Area Plan Amendment	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Sign Permit	<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Subdivision Interpretation	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Other		<input type="checkbox"/> Subdivision Variance	<input type="checkbox"/> Variance
			<input checked="" type="checkbox"/> Zone Map Amendment
			<input type="checkbox"/> Zoning Certification
			<input type="checkbox"/> Zoning Interpretation

Please Print In Ink Only or Type			
Application must be complete. Please attach the appropriate checklist for the action you are requesting, if applicable.			
APPLICANT/AGENT INFORMATION			
Applicant Name: Abrazo Homes, Inc.		Phone:	
Address: 9798 Coors Blvd NW, Suite 400		E-Mail:	
City: Albuquerque	State: NM	Zip: 87114	
Proprietary Interest:	List Owners:		
Deed or Ownership Verification Provided: (Initials) See attached		Letter of Authorization Provided: (Initials) See attached	
Agent Name: Consensus Planning, Inc.		Phone: 505-764-9801	
Address: 302 8th Street NW		E-Mail: lampo@consensusplanning.com	
City: Albuquerque	State: NM	ZIP Code: 87102	
DESCRIPTION OF REQUEST: (PLEASE ADD ADDITIONAL SHEET(S) IF NECESSARY)			
Request for a new Master Plan and a Zone Map Amendment on subject property legally described as Rio Rancho Estates Unit 13, Block 45,			
Lots 1 - 21 and 41 - 62			
SITE INFORMATION: (PLEASE PROVIDE ACCURATE LEGAL DESCRIPTION)			
Subdivision/Unit : Unit 13	Block(s): 45	Lot(s): 1 - 21 & 41 - 62	
Existing Zoning: R-1: Single-family Residential	Proposed Zoning: R-2: Single-family Residential		
No. of existing lots: 43	No. of proposed lots: 43	Total area of site (acres) 22.4	
ACKNOWLEDGEMENT			
I hereby acknowledge that I have read this entire application and affirm that all information provided is correct. I agree to comply with the requirements of the City of Rio Rancho as outlined in all applicable laws, ordinances and regulations.			
Print Name: James K. Strozien, FAICP	Applicant:	Agent: Consensus Planning, Inc.	
Signature: 		Date: 11/15/2022	
FOR OFFICIAL USE ONLY			
H.T.E. PROJECT #	FEE	RECEIPT #	
APPLICATION ACCEPTED BY: _____		DATE: _____	



November 15, 2022

Fred Radosevich, Chairman
Planning and Zoning Board
City of Rio Rancho
3200 Civic Center Circle NE
Rio Rancho, NM 87144

Landscape Architecture
Urban Design
Planning Services

Re: New Master Plan and Zone Map Amendment Request for Unit 13, Block 45, Lots 1-21 and 41-62

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to provide justification for a request for approval of the proposed Scottish Isle Master Plan, as well as a Zone Map Amendment that will allow for the additional residential uses.

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The proposed Master Plan and requested Zone Map Amendments are for a vacant property that consists of approximately 22.4 acres located near the northeast corner of Edinburgh Street NE and Hedingham Avenue NE.

The legal description for the properties included within the Scottish Isle Master Plan and zoning action include Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

Subject Property Location



PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



OWNERSHIP

The subject property is owned by Abrazo Homes. The property owner has signed a letter (included in the application packet) authorizing these requests, and authorizing Consensus Planning, Inc. to act as the Agent representing the project.

MASTER PLAN REQUEST

A request is being made for the new Scottish Isle Master Plan, which has a stated objective of designating the land use and preferred zoning for the site, providing urban design standards, implementing the City of Rio Rancho Comprehensive Plan, and integrating land use, transportation, drainage, and utility planning into a comprehensive development plan for the property. The proposed Master Plan includes the following chapters:

Existing Conditions

The Existing Conditions chapter discusses existing transportation, nearby educational and activity centers, natural features, and antiquated platting in the area. Surrounding Master Plans and large subdivisions are discussed, and a map of each has been provided to illustrate the location of Scottish Isle among the many developments of the Edinburgh Basin. Existing zoning and land use is discussed, and maps are provided for both.

Land Use and Zoning

The proposed land use and zoning for the subject property are discussed within this chapter, as well as the location of a proposed private park and pond. A conceptual layout for the development is provided on page 9. In addition, the Corridor Overlay Zone that affects the subject property is discussed.

Conformance to City of Rio Rancho Plans and Policies

This chapter discusses how the Scottish Isle Master Plan adheres to, promotes, or furthers goals and policies within the Land Use, Population and Housing, Transportation, Urban Design, and Antiquated Platting chapters of the City of Rio Rancho Comprehensive Plan. This chapter also discusses the adherence of the Scottish Isle Master Plan to the Land Use, Community Facilities, and Utilities chapters of the Lomas Negras Specific Area Plan.

Transportation

The Transportation chapter discusses how the new residential development will connect with the surrounding subdivisions, most of which are currently under construction. A conceptual cross section of Leeds Castle Avenue NE is provided on page 14, and a conceptual paving/transportation plan is provided on page 15 of the document.

Utilities

The Utilities chapter discusses the water and sanitary sewer connections needed for the new development. A conceptual utilities plan is provided on page 17 of the document.



Grading and Drainage

This chapter discusses the existing and developed conditions, as well as the lack of FEMA 100-year floodplain designation within the master plan area. A conceptual grading and drainage plan showing the proposed detention pond is provided on page 19 of the document.

Design Standards

To ensure cohesiveness, the Design Standards chapter includes specific requirements for development within the master plan area, including those related to site design, architecture, lighting, landscape and streetscape, and site utilities.

ZONE MAP AMENDMENT REQUEST

This Zone Map Amendment request is to change the zoning on 22.4 acres from R-1: Single-family Residential to R-2: Single-family Residential to allow for a medium density community consisting of 118 single-family residences. This request for R-2: Single-family Residential is for the properties legally described as Unit 13, Block 45, Lots 1 – 21 and Lots 41 - 62. It is anticipated that as part of the implementation of the development, a plat that subdivides the existing parcels will be prepared.

The proposed Zone Map Amendment for R-2: Single-family Residential will enable a housing density of approximately 5 dwelling units per acre for a total of 118 dwelling units. All units will have a maximum height of 32 feet and will be set back approximately 15' from the edge of curb. Easements for utilities will be delineated and dedicated as part of the platting process. Parking will be in accordance with the City's requirements for single-family residential.

SITE BACKGROUND

The property subject to these requests for a new Master Plan and Zone Map Amendment consists of 43 lots, which were annexed by the City of Rio Rancho in 1995, and total approximately 22.4 acres. The site has remained vacant since its annexation.

The Edinburgh Basin area is experiencing rapid growth in single-family development, with several Master Planned areas and subdivisions currently under construction. The area surrounding the subject property is positioned to welcome a diverse mix of development, with a wide range of zoning districts nearby, allowing low to high density residential, office, commercial, and mixed-use developments.

The final phases of Solcito were approved in 2021, and construction is nearly complete. Grading work is currently underway for Stonegate to the west and Tierra del Norte to the east. Milagro Mesa and Mirador del Sol are nearing completion to the south. Large portions of the Tierra del Oro Plan have been completed, or have begun construction. Utilities were recently extended to the subject property via Edinburgh Street, from Cardiff Avenue to the northern portion of Tierra del Oro.

Multiple views of subject property

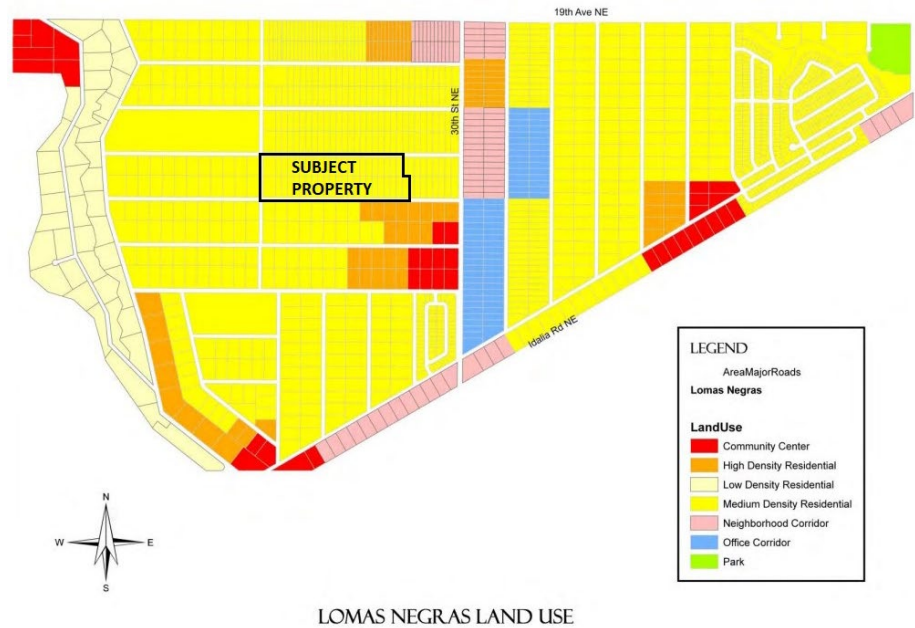


EXISTING ZONING & LAND USE

The subject property is currently vacant and surrounded by a variety of underlying residential land uses, mostly governed by the numerous approved Master Plans in the area, including Stonegate, Tierra del Oro, Tierra del Norte, Solcito, and Melon Ridge. The subject property is located within the Lomas Negras Specific Area Plan, which was adopted by the City of Rio Rancho Governing Body in 2008, and most recently amended in 2011. The current R-1: Single-family Residential zoning found on the property was adopted by the Governing Body in 2008 as Ordinance No. 57, Enactment No. 08-58. In addition, portion of the site is covered by a Corridor Overlay Zone, which established additional design guidelines and access management standards, and was adopted by the Governing Body in 2008. The Master Plan ensures compliance with the Overlay Zone.

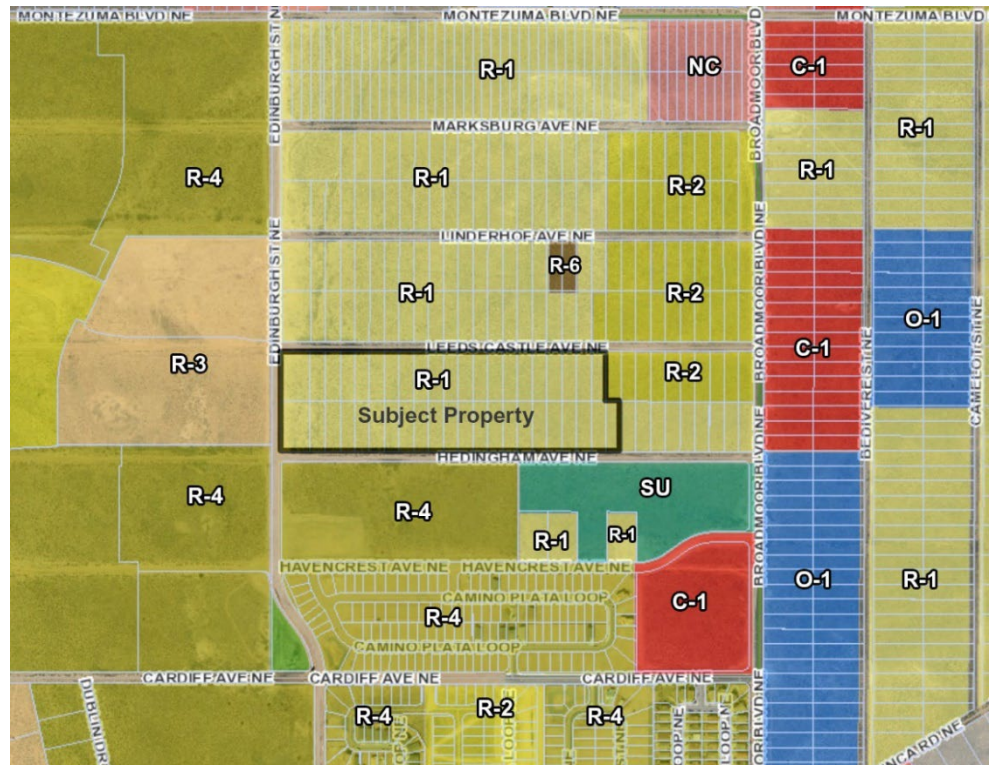
TABLE 1. SURROUNDING ZONING & LAND USE		
	ZONING	LAND USE
NORTH	R-1: Single-Family Residential	Low Density Residential (Vacant)
EAST	R-1: Single-Family Residential and R-2: Single-Family Residential	Low/Medium Density Residential (vacant and under construction)
SOUTH	R-4: Single-Family Residential and SU: Special Use for R-6/CCRC	Medium to High Density Residential (under construction)
WEST	R-3: Mixed Residential and R-4: Single-Family Residential	Medium to High Density Residential (under construction)

Generalized Land Use Map within Lomas Negras Specific Area Plan

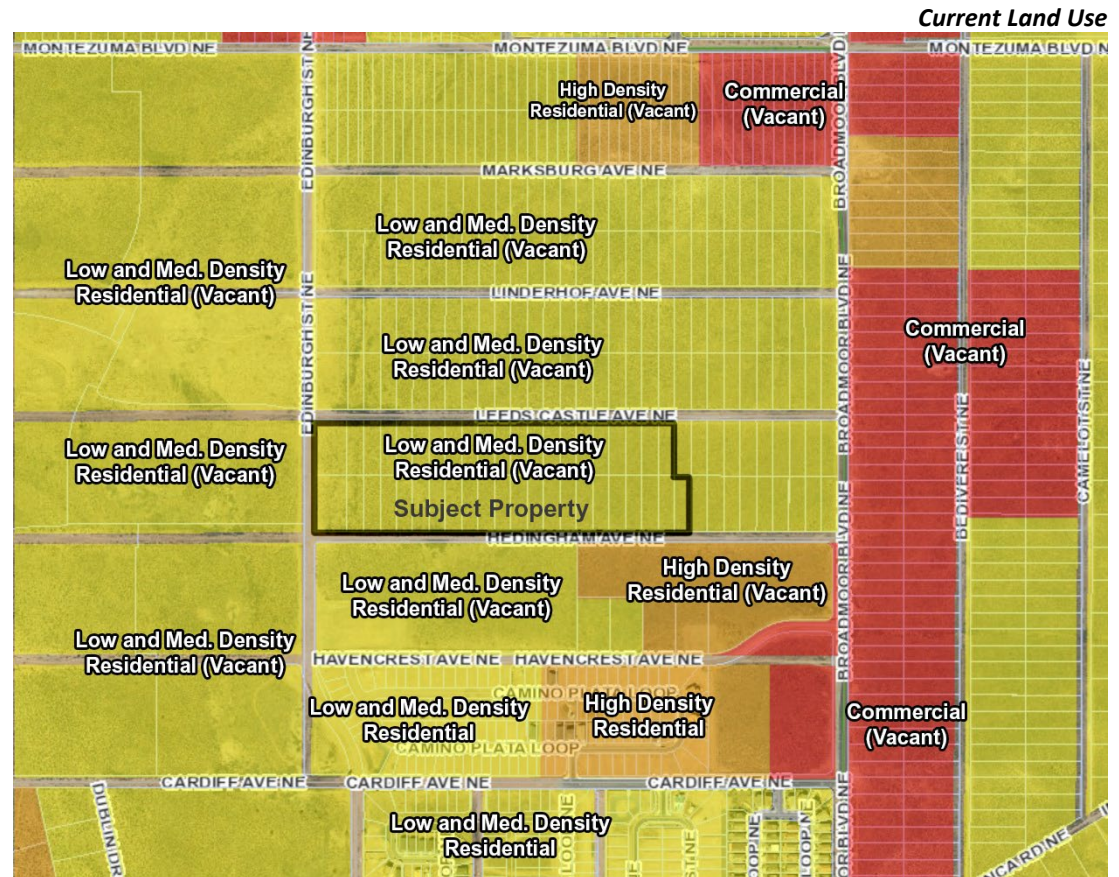


The Generalized Land Use Map (GLUM) within the Lomas Negras Specific Area Plan displays the entirety of the proposed Scottish Isle area as Medium Density Residential. The Medium Density Residential land use category within the Comprehensive Plan allows a maximum density of 16 DU/acre, and the proposed development is approximately 5 DU/acre.

Current Zoning



Tierra del Oro, to the south of the subject property, contains parcels zoned R-4: Single-family Residential, as well as SU: Special Use for R-6 uses. Stonegate, to the west, contains parcels zoned R-3: Mixed Residential, as well as R-4: Single-family Residential. Parcels to the north, which are not yet governed by a Master Plan, are zoned R-1: Single-family Residential. Tierra del Norte, to the northeast and east of the subject property, contains parcels zoned R-2: Single-family Residential.



The subject property, and most of the directly adjacent land that surrounds the site to the north, south, east, and west is currently vacant low and medium density residential. However, as previously mentioned in this letter, a large percentage of the land within the Edinburgh Basin is currently under construction. Grading work has begun in both Tierra del Norte and Stonegate, and a portion of Tierra del Oro below Havencrest Avenue is under construction.

This portion intentionally left blank.



ZONE MAP AMENDMENT POLICY COMPLIANCE

(D) The following policies for deciding Zone Map Amendments pursuant to the City Zoning Code are as follows:

- 1. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.**

Applicant Response: *The proposed Zone Map Amendment is consistent with the health, safety, morals, and general welfare of the city.*

The Applicant is proposing a medium-density single-family development that will bring new residents to an optimal location near the Northern Boulevard commercial corridor, educational facilities, existing infrastructure. The proposed zoning for the subject property will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995 and will further the intent of the Lomas Negras Specific Area Plan. The proposed zoning is complementary to the adjacent zoning and land uses and will promote the general welfare of the City by meeting the demand for new, high-quality, accessible housing within Rio Rancho.

- 2. Stability of land use and zoning is desirable; therefore, the Applicant must provide a sound justification for the change. The burden is on the Applicant to show why the change should be made, not on the City to show why the change should not be made.**

Applicant Response: *The Zone Map Amendment to R-2: Single-family Residential will have a positive effect on the stability of land use and zoning. The Applicant proposes that rezoning the site to R-2: Single-family Residential is the highest and best use, as it will enable the development of vacant land into a quality single-family neighborhood that utilizes existing infrastructure, is harmonious with surrounding developments, and will complement existing and proposed uses. The development will provide needed housing, in a desirable location in the Edinburgh Basin. The development will foster the criterion of distinct and complete neighborhoods that support a mixture of housing types and densities and community amenities. In addition, the Zone Map Amendment furthers numerous goals within the Comprehensive Plan and Lomas Negras Specific Area Plan, as discussed below.*

This portion intentionally left blank.

3. A proposed change shall generally be consistent with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

***Applicant Response:** The Zone Map Amendment furthers multiple goals and policies as contained in the City of Rio Rancho Comprehensive Plan as follows:*

LAND USE ELEMENT GOAL 2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

LAND USE ELEMENT GOAL 3: Maintain a balance of land uses throughout the City.

LAND USE ELEMENT POLICY 1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.

***Applicant Response:** The proposed amendments will enable the creation of a medium-density community, which will be harmonious with the surrounding developments. This development involves the consolidation of several lots, and the incorporation of those lots to a new Master Plan, thus satisfying Land Use Goal 2 and Policy 1. The additional medium density residential uses will help to balance the low-density residential uses which dominate the City. The proposed Master Plan establishes a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design. These developments will help to address a clear need for residential uses and housing stock within the city. The Master Plan envisions that the neighborhood will have unifying design elements, such as building colors and materials, setbacks, and attractive landscaping throughout. All design standards established within the Master Plan will be adhered to for the development.*

POPULATION AND HOUSING ELEMENT GOAL 2: Maintain the strength, vitality, and stability of all residential neighborhoods and types.

POPULATION AND HOUSING ELEMENT GOAL 3: Promote a variety of housing types to meet the needs of all members of the community.

POPULATION AND HOUSING ELEMENT GOAL 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.

***Applicant Response:** The proposed amendment will maintain the strength, vitality, and stability of the residential areas within the Edinburgh Basin. This amendment will enable a development that harmoniously blends in with the variety of low, medium, and high-density single and multi-family residential uses within the Edinburgh Basin. This development will be attractively designed, in accordance with the regulations promulgated by the proposed Master Plan, the Lomas Negras Specific Area Plan, and additional City policies.*



POPULATION AND HOUSING ELEMENT POLICY 5: Encourage mixed-use and mixed-income housing opportunities in designated growth nodes throughout the city.

POPULATION AND HOUSING ELEMENT POLICY 7: Support residential developments with appropriate amenities for families with children.

Applicant Response: This development will be an attractive neighborhood of single-family residences with amenities for a variety of households, including those with children. As discussed within the proposed Master Plan, Leeds Castle Avenue will be constructed to contain a multi-use path, which will connect to the trail constructed by Tierra del Norte and Stonegate, to provide pedestrian and bicycle access to existing or proposed trails along Cardiff Avenue and Broadmoor Boulevard. The proposed development is in very close proximity to several existing and future community assets. Although not within a designated growth node, this development provides housing opportunities within very close proximity to three designated development nodes along the Northern Boulevard commercial corridor. The future residents will be served by the nearby Ernest Stapleton Elementary School, Eagle Ridge Middle School, Loma Colorado Main Library, Rio Rancho Aquatic Center, McDermott Athletic Center, and existing or envisioned commercial retail and services located on Northern Boulevard, Unser Boulevard, Broadmoor Boulevard, and Idalia Road.

TRANSPORTATION ELEMENT GOAL 1: Encourage development that effectively mixes land uses to create an efficient transportation system that reduces congestion, improves air quality and creates opportunities to build Rio Rancho's Economy.

Applicant Response: These developments will effectively mix land uses within the Edinburgh Basin by adding an additional medium-density residential use to the surrounding commercial, office, and low, medium, and high-density residential uses. The developments are strategically placed near Idalia Road, Broadmoor Boulevard, Unser Boulevard, and Northern Boulevard to provide residents with access to nearby employment opportunities, shopping, and recreational amenities.

URBAN DESIGN ELEMENT GOAL 2: Create traditional neighborhood patterns that support a sense of place.

Applicant Response: The Applicant is proposing a development that fosters a sense of place through distinct design and landscaping elements, in accordance with the requirements proposed within the Scottish Isle Master Plan. The developments will be in close proximity to existing and envisioned retail, employment, and recreational opportunities, and will seamlessly blend with the surrounding residential uses.



URBAN DESIGN ELEMENT GOAL 6: Support development that links neighborhoods and encourages the use of all modes of transportation.

Applicant Response: The proposed Zone Map Amendments will facilitate the development of neighborhoods that are linked together via a system of proposed multi-use trails along Leeds Castle Avenue, as discussed within both the Stonegate and Tierra del Norte Master Plans. Multi-modal transportation is further supported, as this development accommodates walking, biking, and vehicles by way of Broadmoor Boulevard NE, a minor arterial. This amendment will enable a medium density single-family development that is complementary to nearby neighborhoods within the Edinburgh Basin area. Residents will have easy bicycle or pedestrian access to the bikeways on Broadmoor Boulevard, Northern Boulevard, Edinburgh Street, and Cardiff Avenue.

LOMAS NEGRAS SPECIFIC AREA PLAN COMPLIANCE

Land Use Goal 1: Promote a variety of housing choices including low- and medium-density single family residential uses and high-density multi-family residential uses.

Applicant Response: The proposed Zone Map Amendment will provide for medium density, single-family residential development that is harmonious with the surrounding low, medium, and high-density developments.

Land Use Goal 2: Encourage mixed uses – retail, office, residential, and community uses – pedestrian oriented and clustered around corridors and activity centers.

Land Use Objective: Develop land use categories which allow for choice of a variety of zoning districts and which mitigate impacts on surrounding uses through design standards.

Applicant Response: The proposed Zone Map Amendment will allow a medium density, single-family residential development strategically placed near existing and envisioned activity centers, and will provide for pedestrian and bicycle access to a system of planned multi-use trails.

Transportation Goal 1: Assure safe and convenient multi-modal roadways to well-connected residences, businesses, offices, schools, and other facilities.

Applicant Response: The proposed Zone Map Amendment will be well connected to multi-modal roadways leading to residential neighborhoods, businesses, offices, schools, and other facilities. The proposed Master Plan includes a conceptual cross-section of Leeds Castle Avenue that includes an 8-foot-wide multi-use path.

Urban Design Goal 1: Create neighborhood centers and corridors within walking distance of residences and with a balance of retail, office, and multi-family uses.

Applicant Response: The proposed Zone Map Amendment will allow for new housing that is within walking distance to a balance of retail, office, and multi-family uses.



Utilities Goal 1: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.

Applicant Response: The proposed Zone Map Amendment will allow for development located near existing sewer and water lines.

Community Facilities Goal 1: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

Applicant Response: The proposed Zone Map Amendments will enable a new single-family neighborhood that contains a pocket park near the center of the development to serve resident's needs.

The Applicant must demonstrate the existing zoning is inappropriate because:

- a) there was an error, mistake or is necessary to correct an injustice that occurred when the existing zone map pattern was created, antiquated plat filed before the City's incorporation and adoption of its own Zoning Code or on land annexed by the City or
- b) changed neighborhood or community conditions justify the change, or
- c) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) or (2) above do not apply. Applicant's reliance on this provision requires proof that (a) there is a public need for a change of the kind in question, and (b) that need will be best served by changing the classification of the particular piece of property in question as compared with other available property.

Applicant Response: In this case, Criterion B and C should apply. Housing needs have changed drastically in the City of Rio Rancho in recent years, and the proposed Zone Map Amendment will serve to further the vision of the Lomas Negras Specific Area Plan and increase the viability of the nearby commercial and office uses by adding additional residents.

The proposed Zone Map Amendment to R-2: Single-family Residential is more advantageous to the community for several reasons, as previously discussed in this letter. The Zone Map Amendment facilitates the development of land that has remained vacant since its annexation, while complementing the adjacent low, medium, and high-density residential uses, as well as the commercial and office uses nearby.

The proposed R-2: Single-family Residential will meet the stated land use objective of providing for higher density residential within the Lomas Negras Specific Area Plan. A different use category, as expressed by the City's Comprehensive and SAP plan goals and polices, other than low-density single-family residential, is more advantageous to the community.

The developments will help to meet the demand for high quality housing within the City of Rio Rancho and will facilitate an alternative means for new residential growth in the area. This is the most optimal location for medium-density housing given the subject property's location near existing infrastructure, potential employment centers, and several activity nodes.

This Zone Map Amendment presents an opportunity for the vision of higher density development to occur while still preserving the character of the nearby neighborhoods. The proposed Zone Map Amendment is more advantageous to the community as they further many goals of the Comprehensive Plan and Lomas Negras Specific Area Plan, as described above. The proposed uses complement the existing and developing medium-density residential and commercial land uses with new medium-density single-family residences.

(E) The cost of land or other economic considerations pertaining to the Applicant shall not be the determining factor for a change of zone.

Applicant Response: The cost of land or other economic considerations are not the determining factor behind this request. Rather, the Applicant is proposing a zone change that is consistent with the surrounding zoning while adding diversity to the City of Rio Rancho housing stock in order to balance land uses throughout the City, and to continue to grow its tax base.

(F) Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

Applicant Response: *These requests are not based on the subject property's location next to a collector or major street. Rather, the basis for this request is that the proposed zoning is more compatible than the current zoning for the subject property. The proposed Master Plan and Zone Map Amendment will serve as an extension of the single-family character of the area, and further various goals and policies of the Comprehensive Plan. The proposed ZMA provides the necessary mechanisms to stabilize this part of Rio Rancho for residential uses and provide the volume of housing to meet demand for those wishing to locate within Edinburgh Basin.*

(G) A zone change request which will give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

1. the change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan;

Or



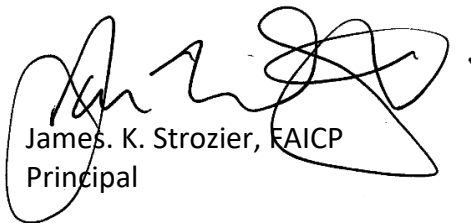
2. the area of the proposed zone change is different from surrounding land because it will function as a transition between adjacent zones; because the subject property is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of the structures already on the premises makes the subject property unsuitable for the uses allowed in any adjacent zone.

***Applicant Response:** This request is not a spot zone. Parcels to the east and north of the subject property are zoned for Single-family Residential (including R-2). In addition, the proposing zoning is similar in scope and function to the surrounding low and medium density uses. The proposed Zone Map Amendment clearly facilitates the realization of the Comprehensive Plan and Lomas Negras Specific Area Plan. This development will locate new residents near activity nodes and existing infrastructure. The zone change will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995.*

CONCLUSION

We respectfully request that the Rio Rancho Planning and Zoning Board recommend approval of the proposed Master Plan and the Zone Map Amendment request for R-2: Single-family Residential. We believe this use furthers the vision for land use within the Edinburgh Basin, and promotes several goals and policies found within the Comprehensive Plan and Lomas Negras Specific Area Plan, while helping to meet a documented housing need, and balancing the low-density single-family dominated landscape with worthy and needed medium density single-family uses.

Sincerely,



James. K. Strozier, FAICP
Principal



SCOTTISH ISLE

Master Plan

Prepared for:
Abrazo Homes

Prepared by:
Huitt-Zollars, Inc.
Consensus Planning, Inc.



City of Rio Rancho, New Mexico

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I. INTRODUCTION

Scottish Isle is a 22.4 acre Master Planned Community in the City of Rio Rancho, New Mexico (see Figure 1). The site is bounded by Edinburgh Street NE to the west, Broadmoor Boulevard NE to the east, Hedingham Avenue NE to the south, and Leeds Castle Avenue NE to the north.

This Master Plan provides a framework for the development of the site, including development standards and land use descriptions. At full build-out, the development will contain approximately 118 single-family residential dwelling units, with a park and open space network to serve residents.

The properties included in the Master Plan are legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

The Master Plan objectives are:

- To designate the land use and preferred zoning for the subject site;
- To provide urban design standards;
- To implement the City of Rio Rancho Comprehensive Plan (CCP); and
- To integrate land use, transportation, drainage, and utility planning into a comprehensive development plan for the property.



Figure 1: Scottish Isle Location and Site Context



2. EXISTING CONDITIONS

The Scottish Isle Master Plan is impacted by a unique set of existing conditions, related to natural features, land use, antiquated platting, transportation, and several surrounding Master Plan developments. A brief analysis of the benefits and constraints of these existing conditions will help frame a discussion as to how the proposed Master Plan conforms to the City of Rio Rancho Comprehensive Plan.

TRANSPORTATION

The main north/south corridors serving this site are Edinburgh Street (a major collector), which serves as the western boundary of Scottish Isle, and Broadmoor Boulevard (a minor arterial), located east of the plan area. The east/west corridors include Hedingham Avenue, and Leeds Castle Avenue, which serve as the southern and northern boundaries, respectively.

Unser Boulevard, approximately one mile to the west of Scottish Isle, and Northern Boulevard, approximately one mile to the south, are both regional principal arterials. These two roadways will provide excellent access to community amenities, and help support planned development and future employment areas near the City Center, Tierra del Oro, Paseo Gateway Master Plan area, and within the Broadmoor Boulevard Corridor.

NEARBY EDUCATIONAL AND ACTIVITY CENTERS

Rio Rancho Public Schools operates five schools within two miles of Scottish Isle, including Ernest Stapleton Elementary School, Colinas del Norte Elementary School, Eagle Ridge Middle School, Lincoln Middle School, and Rio Rancho High School. The University of New Mexico Health Sciences Campus and Central New Mexico Community College (CNM) are located within City Center, on Center Boulevard, north of Scottish Isle. Sue Cleveland High School is east of City Center, near the intersection of Paseo del Volcan and Iris Road. The Loma Colorado Library, McDermott Athletic Center, and the Rio Rancho Aquatic Center are located within two miles of Scottish Isle.

NATURAL FEATURES

The site is primarily rolling grassland with intermittent shrubs sparsely covering the surface. Indian Ricegrass, Blue Grama, and Ring and Bush Muhly are the dominant grasses. Cholla, Prickly Pear, and Narrowleaf Yucca are common. Fauna within the project area includes quail, cottontail rabbit, and jackrabbit. No threatened or endangered species are known to inhabit these lands.

ANTIQUATED PLATTING

Antiquated platting and diverse land ownership patterns represent a common constraint within Rio Rancho. Issues related to antiquated platting can be mitigated through land assemblage and replatting. Antiquated platting makes orderly, harmonious and economically sound development impossible. The City's Comprehensive Plan recognizes the issue of antiquated platting as a major obstacle to sound growth, and promulgates several goals and policies promoting land assemblage.

In Rio Rancho, the problems associated with antiquated platting are: inadequate street layout, faulty lot layout (as it relates to size, adequacy, accessibility or usefulness, diversity of ownership, improper subdivision, obsolete and impractical planning and platting), and a menace to public health and safety.

At the time Unit 13 was platted, the common lot layout included rectilinear roadways, with rectangular one acre parcels perpendicular to the roadways. Although a grid layout is common practice, it does not comply with the urban design standards identified in the Comprehensive Plan. The Scottish Isle project is the outcome of efforts to assemble parcels into sizeable areas to focus residential development.

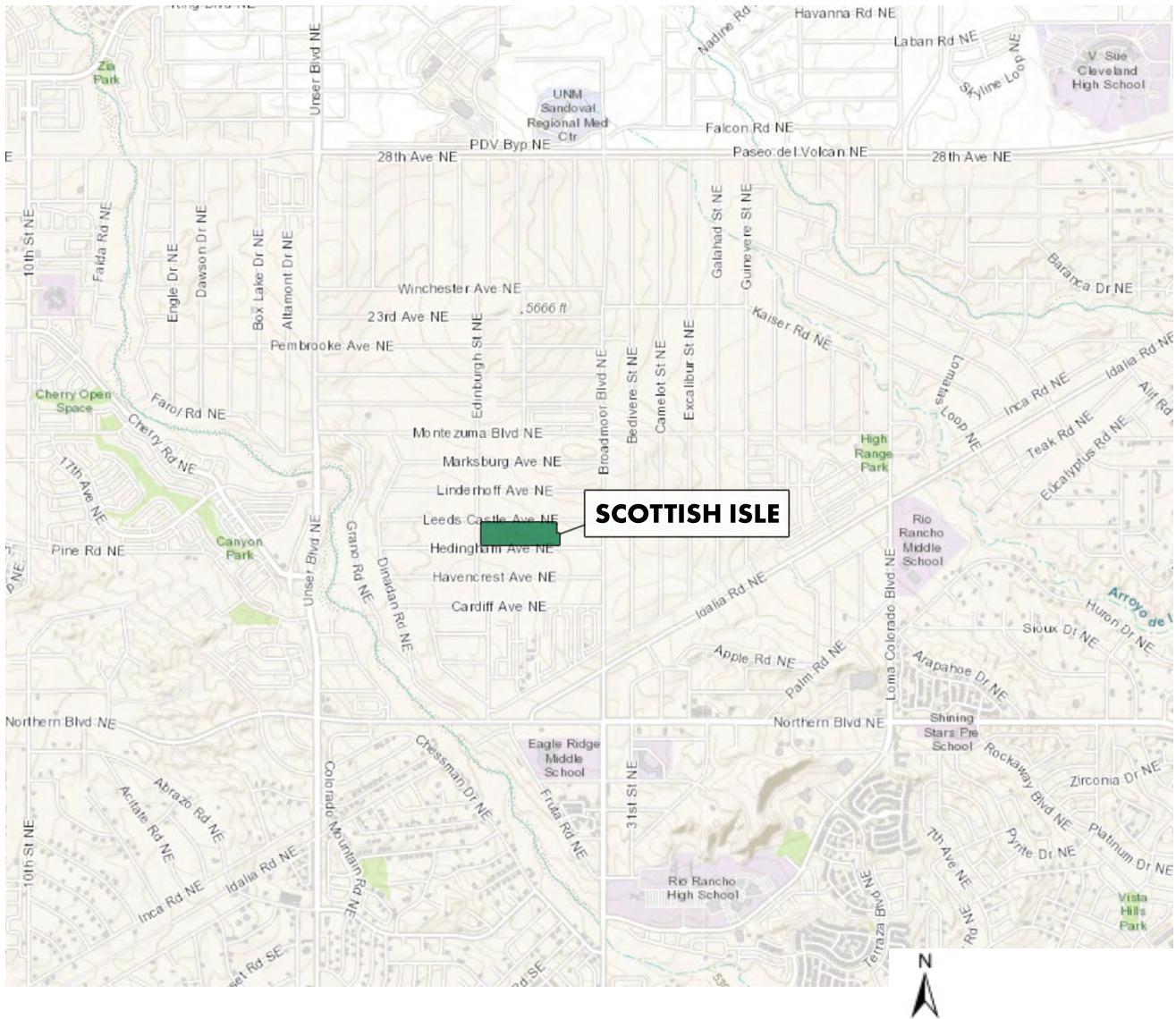


Figure 2: Site context and surroundings

SURROUNDING MASTER PLANS

Scottish Isle is in close proximity to several approved master plans and subdivisions within the Edinburgh Basin, including:

- ▶ Broadmoor Heights Master Plan
- ▶ Melon Ridge Master Plan
- ▶ Milagro Mesa Subdivision
- ▶ Mirador del Sol Subdivision
- ▶ Rock Ridge Subdivision
- ▶ Stone Mountain Subdivision
- ▶ Stonegate Master Plan
- ▶ Solcito Master Plan
- ▶ Tierra del Oro Master Plan
- ▶ Tierra del Norte Master Plan
- ▶ High Range 5 Master Plan

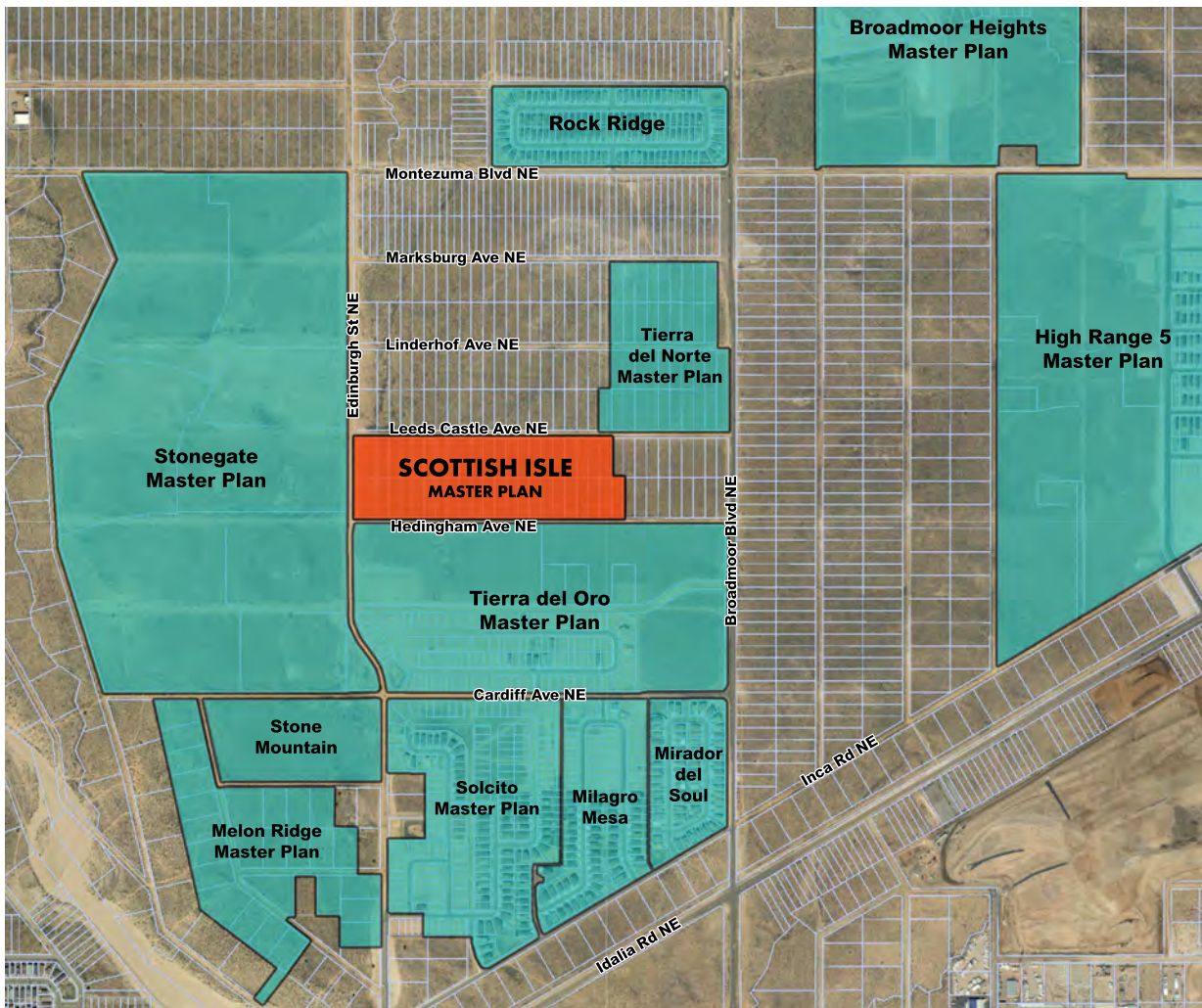


Figure 3: Master Plans and Major Subdivisions in Edinburgh Basin



EXISTING ZONING

The existing zoning found on Scottish Isle is R-1: Single-family Residential. The R-1 zoning district permits a low density of population, in which the primary land use is a single-family dwelling unit. An Overlay Zone also exists on Scottish Isle for future rights-of-way along Edinburgh Street and Leeds Castle Avenue. The R-1: Single-family Residential and Overlay Zone were both established by Ordinance Number 57, Enactment Number 08-58.

Additional R-1: Single-family zoning is found to the north of Scottish Isle, while R-2: Single-family zoning is located to the east. R-3: Mixed Residential zoning is found to the west, and to the south, within Tierra del Oro, is R-4: Single-family zoning, and SU: Special Use zoning (for R-6: Multi-family).

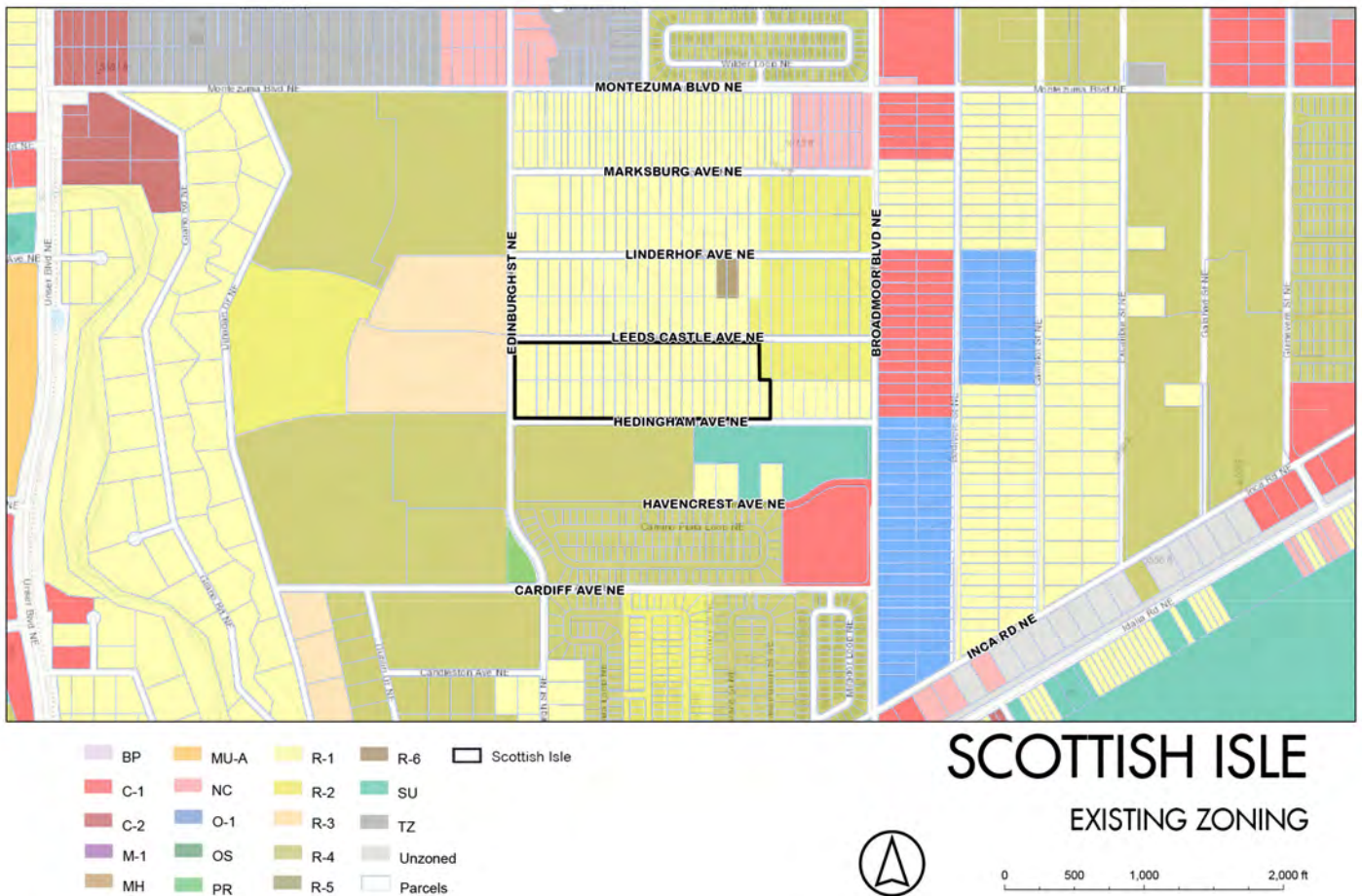


Figure 4: Existing Zoning in and around Scottish Isle

EXISTING LAND USE

The existing underlying land use for Scottish Isle is Low/Medium Density Residential, as established within the Lomas Negras Specific Area Plan. The Lomas Negras Specific Area Plan was adopted in June 2008, with subsequent amendments occurring in 2009 and 2011. Target densities for Low/Medium Density Residential land uses is between 4 and 16 DU/acre.



Figure 5: Generalized Land Use Map

3. LAND USE AND ZONING DESCRIPTIONS

PROPOSED ZONING AND LAND USE

The proposed zoning for Scottish Isle is R-2: Single-family Residential, which permits a moderate density of population in which the principal use is single-family dwelling units (see Figure 6 below). The minimum lot area for R-2 zoned parcels is 5,000 square feet, with a minimum lot width of 50 feet. The Master Plan proposes approximately 118 units on 22.4 acres of land, which equates to a density of approximately 5 dwelling units per acre. The number of residents at full build-out will be approximately 335, based on the assumption of 2.83 residents per dwelling. A conceptual lot layout has been provided on page 9.

PARKS AND PONDS

The Scottish Isle Master Plan recognizes that parks and open space are important community amenities. The private pocket park accounts for approximately .25 acres, and shall be owned and maintained by the Homeowner’s Association. The park is envisioned to be located near both entrances to the community. At the southwest corner of Scottish Isle, a detention pond, approximately .75 acres in size, will temporarily store run-off. Park amenities may include exercise equipment, walking path, turf areas, and children’s play structures. The parks’ design and construction shall be responsibility of the developer/homebuilder.

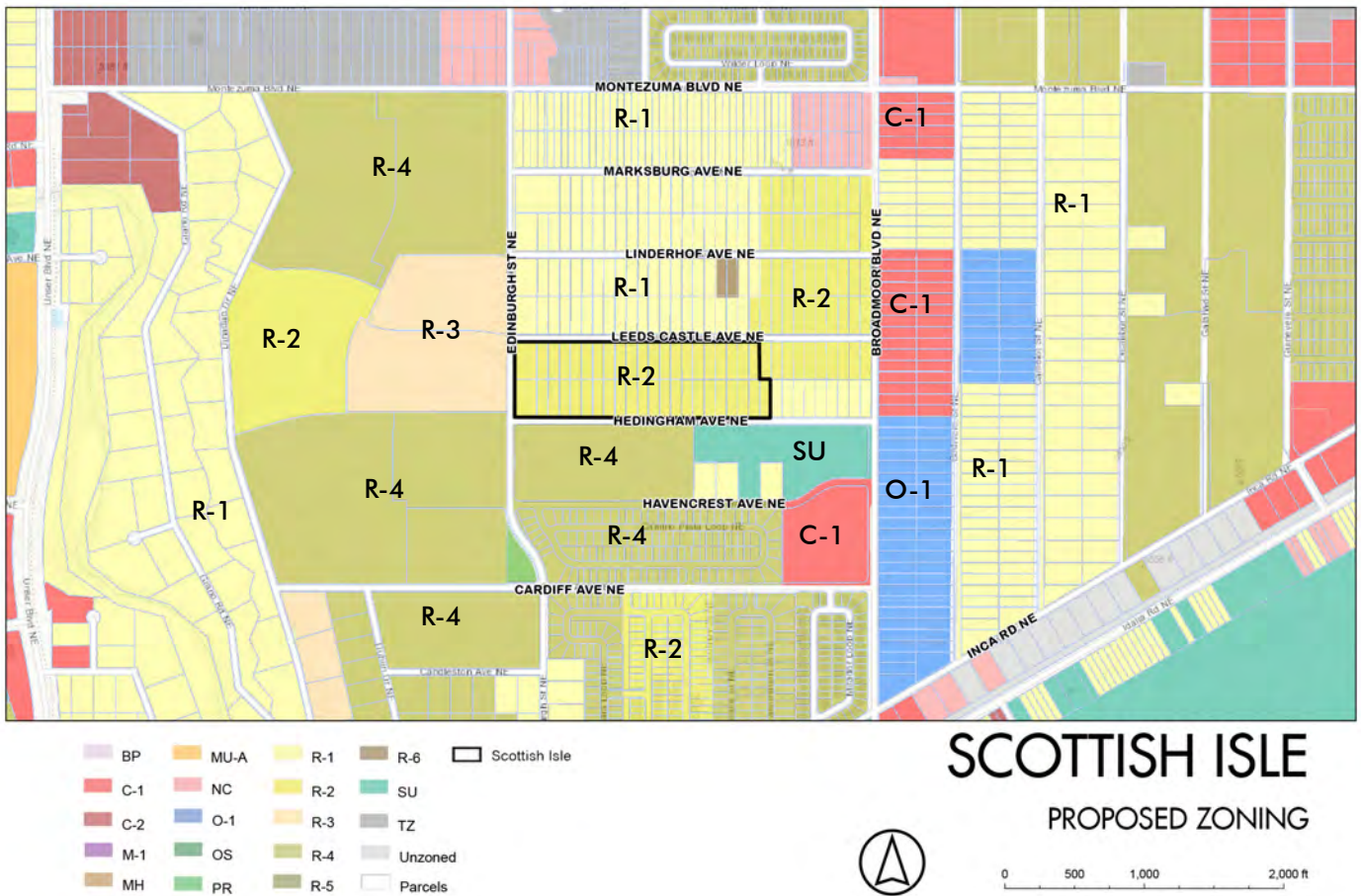


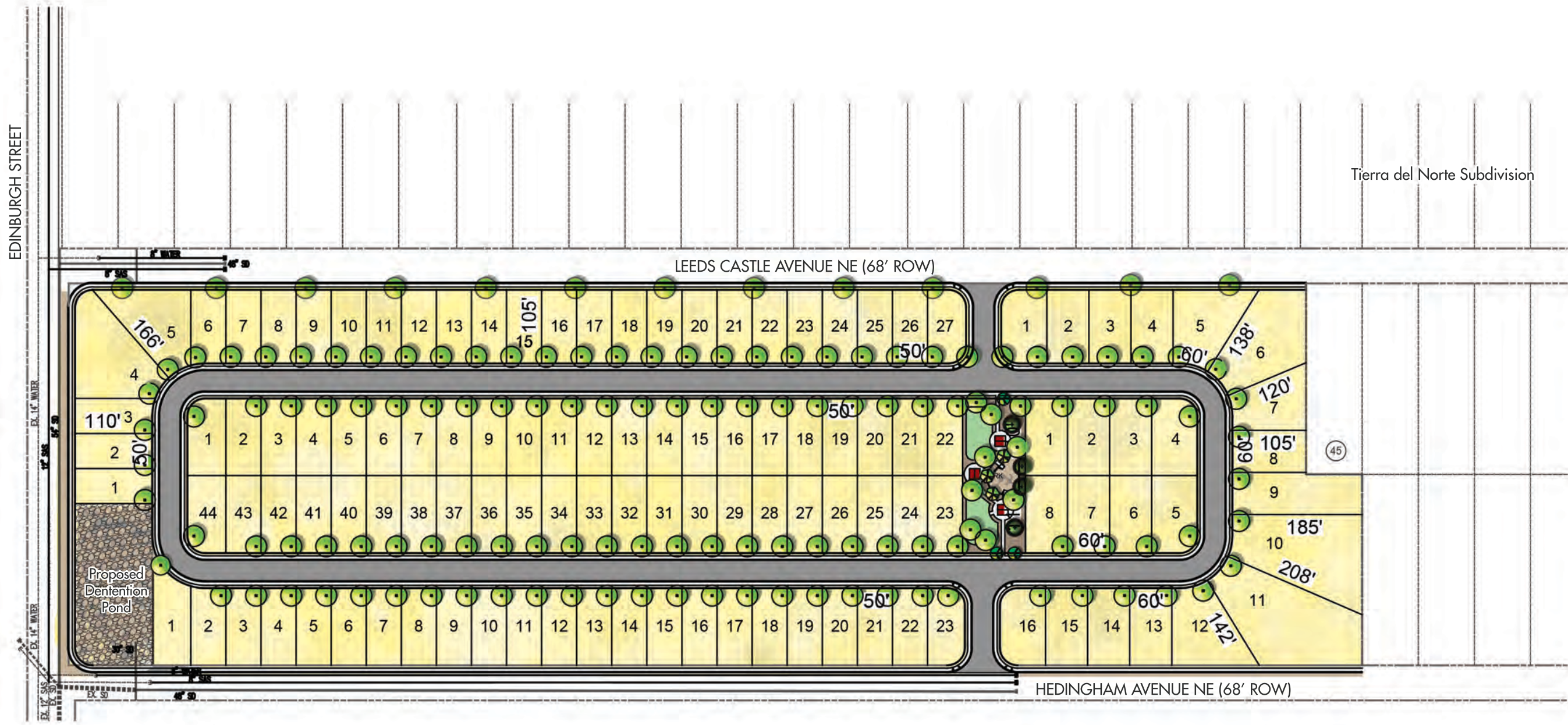
Figure 6: Proposed Zoning

CORRIDOR OVERLAY ZONE

The Corridor Overlay Zone (COZ) establishes additional design guidelines and access management standards. The use of overlay zones in certain areas of the city is a planning and zoning tool that may be used to buffer one zone from another; impose additional design standards or access control measures; require additional setbacks to protect future right-of-way acquisition; modify certain standards which may cause undue hardship; or address specific problems in an area of the city.

Overlay zones apply to areas where they are mapped in addition to the provisions of another zone. Where the provisions of an overlay zone are more or less restrictive than another section of the Master Plan or the Zoning Code, the provisions of the overlay zone shall prevail. The overlay zone is mapped and denoted on the official zone map by the notation "OZ," in conjunction with the notation for the underlying zone district.

The Corridor Overlay Zone, which applies to the Scottish Isle Master Plan area, governs setbacks. Setbacks allow for future right-of-way on collector and arterial streets. This requirement applies to residential as well as commercial properties as follows: Edinburgh Street is a minor collector and shall have a 34-foot setback from the centerline plus the zoning district setback. Broadmoor Boulevard is a minor arterial and shall have a 53-foot setback from the centerline plus the zoning district setback, per the Overlay Ordinance 08-58.



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Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
 AND OFFSITE UTILITIES

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

DATE:
OCTOBER 2022
 FIGURE
4

4. CONFORMANCE TO CITY OF RIO RANCHO PLANS AND POLICIES

The Scottish Isle Master Plan adheres to the Rio Rancho Comprehensive Plan. The Comprehensive Plan is a policy document that lays out broad goals, objectives and policies to guide the growth and development of Rio Rancho, and provides general development policies and guidelines for all new development.

The Scottish Isle Master Plan will help implement the principles of the Comprehensive Plan. A discussion of how the Master Plan meets each principle, and the intent of the policies and action statements, is provided in this chapter.

CITY OF RIO RANCHO COMPREHENSIVE PLAN

LAND USE

The intent of the Land Use Element is to provide guidance for population growth by identifying and proposing the location of types of development and land uses. Goals and policies from the Land Use Element that are furthered by the Scottish Isle Master Plan include:

- Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.
- Policy L-1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities and building location and design in the master plan.
- Policy L-3: Promote and support development that incorporates walkability.
- Policy L-4: Encourage adequate pedestrian connections to future transit facilities in all residential site development.



Figure 6: View across Scottish Isle toward development in Solcito

- Policy L-5: Incorporate suitable developments that can provide an immediate revenue

The Master Plan establishes the desired community character through the Design Guidelines, which addresses building colors, finishes, and landscape requirements. The development includes a neighborhood park to help meet the recreational needs of residents. The grading and drainage plan for Scottish Isle incorporates an on-site pond that will retain water from the site and water flows from the west.

POPULATION AND HOUSING

The intent of the Population and Housing Element of the Comprehensive Plan is to ensure that housing is available to all sectors of the population and to guide development to key areas that are fundamental to the development of the City. The High Range 5 Master Plan furthers the following Population and Housing goals and policies:

- Goal 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.
- Policy 7: Support residential developments with appropriate amenities for families and children.

The Scottish Isle community is an attractive single-family neighborhood with amenities for a variety of households. The development includes a neighborhood park and open space that will help serve the multi-generational needs of the community. Scottish Isle is in proximity to other existing public amenities, such as the Loma Colorado Main Library, McDermott Athletic Center, and the Rio Rancho Sports Complex.

TRANSPORTATION

The Transportation element of the Comprehensive Plan encourages a multi-modal transportation network to meet long-term local and regional circulation needs. A coordinated pedestrian network is encouraged throughout the Plan Area to help foster non-vehicular mobility and accessibility. The following transportation goals, policies, and objectives are applicable to the Scottish Isle Master Plan:

- Goal TR-1: Transportation facilities designed and constructed in a manner to facilitate Rio Rancho's economic goals, enhance livability, and meet federal, state, and regional and local requirements.
- Goal TR-3: A balanced transportation system that provides access to a variety of transportation options (automobile, transit, bus rapid transit, rail, bicycle, and pedestrian facilities).
- Policy TR-11: Ensure all rights-of-way and transportation facilities are ADA-compliant. pace of making City Center a dense urban core.

Leeds Castle Avenue and Hedingham Avenue will be partially constructed with Scottish Isle. Leeds Castle Avenue is envisioned to feature an 8' wide ADA accessible paved trail. All roads constructed in and around Scottish Isle will feature a 5' wide sidewalk. According to the Lomas Negras SAP, the Department of Public Works will program the multi-use trail in the ICIP and be built to City standards

as funds become available (see page 36, Lomas Negras SAP). The multi-use trail will provide greater balance to the transportation system by providing an option for residents to bike and walk.

ANTIQUATED PLATTING, ANNEXATIONS, AND ADDRESSING

The intent of this element of the Comprehensive Plan is to ensure the challenges associated with antiquated platting be resolved throughout Rio Rancho through proper platting and addressing.

- Goal A-1: Eliminate antiquated platting within the City of Rio Rancho where desirable.

The Scottish Isle site was annexed into the City of Rio Rancho in 1995 and has remained vacant for several years. Antiquated platting and checkerboard ownership presented a significant challenge to development and made assembling the land a difficult process. The developer assembled 43 parcels, totaling approximately 22.4 acres, to create the Scottish Isle Master Plan.

URBAN DESIGN

The Urban Design element of the Comprehensive Plan ensures that development will follow design standards that achieve the creation of community identity and aesthetic quality. Relevant goals furthered by the Scottish Isle Master Plan include:

- Goal UD-2: Create traditional neighborhood patterns that support a sense of place.
- Goal UD-6: Support development that links neighborhoods and encourages the use of all modes of transportation.

These goals are furthered by the Scottish Isle layout which creates a traditional neighborhood development pattern with multiple points of access to the existing street system and adjacent neighborhoods. Scottish Isle is linked to the Stonegate, Tierra del Norte, and Tierra del Oro neighborhoods through the provision of multi-use trails. Leeds Castle Avenue will also link Scottish Isle to future development to the west towards Edinburgh Street and Unser Boulevard.

LOMAS NEGRAS SPECIFIC AREA PLAN

The purpose of the Lomas Negras Specific Area Plan (SAP) is "to help guide and manage future development along, and in the vicinity of, major arterial streets within the City or Rio Rancho." The Lomas Negras SAP encompasses 981 acres located within Rio Rancho Estates Unit 13. The Scottish Isle Master Plan implements the following goals and objectives of the SAP:

LAND USE

The Lomas Negras SAP proposes land use categories that are consistent with, and promote the goals and policies in the Comprehensive Plan, such as medium density residential. The Lomas Negras SAP encourages the consolidation of lots and platting action to meet the current development standards. Preferred residential densities for properties within the Lomas Negras SAP ranges from low to high. Community uses, such as schools, parks, and churches that are integral to a creating a complete neighborhood, are also identified in the Lomas Negras SA . The following land use goal is furthered by the Scottish Isle Master Plan:

- Land Use Goal: Promote a variety of housing choices including low- and medium-density single family residential uses and high density multi-family residential uses.

The Scottish Isle Master Plan furthers this goal by implementing medium density residential use

through a Zone Map Amendment to R-2: Single-family Residential. The medium-density residential increases the availability of affordable housing opportunities and increases the mix of housing types within Rio Rancho.

COMMUNITY FACILITIES

The Scottish Isle Master Plan expands the City of Rio Rancho's parkland inventory through the provision of a neighborhood park, furthering the Community Facilities goal:

- Community Facilities Goal: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

As previously mentioned, the park will serve the residents of Scottish Isle, and will help to meet their recreational needs.

UTILITIES

The Scottish Isle Master Plan furthers the utilities goal, objective, and policy by coordinating and linking to existing water and sewer utility infrastructure within adjacent rights-of-way:

- Utilities Goal: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.
- Utilities Objective: Coordinate water and sewer utility infrastructure among various master plan and subdivision developments as approved within the Plan area.
- Utilities Policy: No building permits will be issued for development in the Plan area by Development Services department if the owner cannot provide community water and sewer to the property.

It is anticipated that Scottish Isle will be served by the existing water line and sewer line within Edinburgh Street.

5. TRANSPORTATION

The Scottish Isle Master Plan is to be located adjacent to the Tierra del Oro, Tierra del Norte, and Stonegate subdivisions, each of which are currently under construction. The new development is to be situated north of Hedingham Avenue, south of the Leeds Castle Avenue, east of the Edinburgh Street, and west of Broadmoor Boulevard. Scottish Isle will have easy access to Idalia Road via Edinburgh Street and Broadmoor Boulevard. Located near the northerly reaches of the developing Rio Rancho area, major employment centers of the greater Albuquerque and Rio Rancho areas are generally located to the south and east.

The site will be developed in a single construction phase with a total of 118 single-family dwelling units at full build-out. Access to the internal street network will be via two entrance roads off of Leeds Castle Avenue and Hedingham Avenue. The main entrance road (Leeds Castle Ave) will be a 50-foot wide collector street (68-foot right-of-way) extending west from the Tierra del Norte area. There will be an 8-foot wide multi-use trail on the north side and a 5-foot wide sidewalk on the south side. All internal streets in the subdivision will have a 30-foot wide paved section, and will be constructed to meet City of Rio Rancho standards.

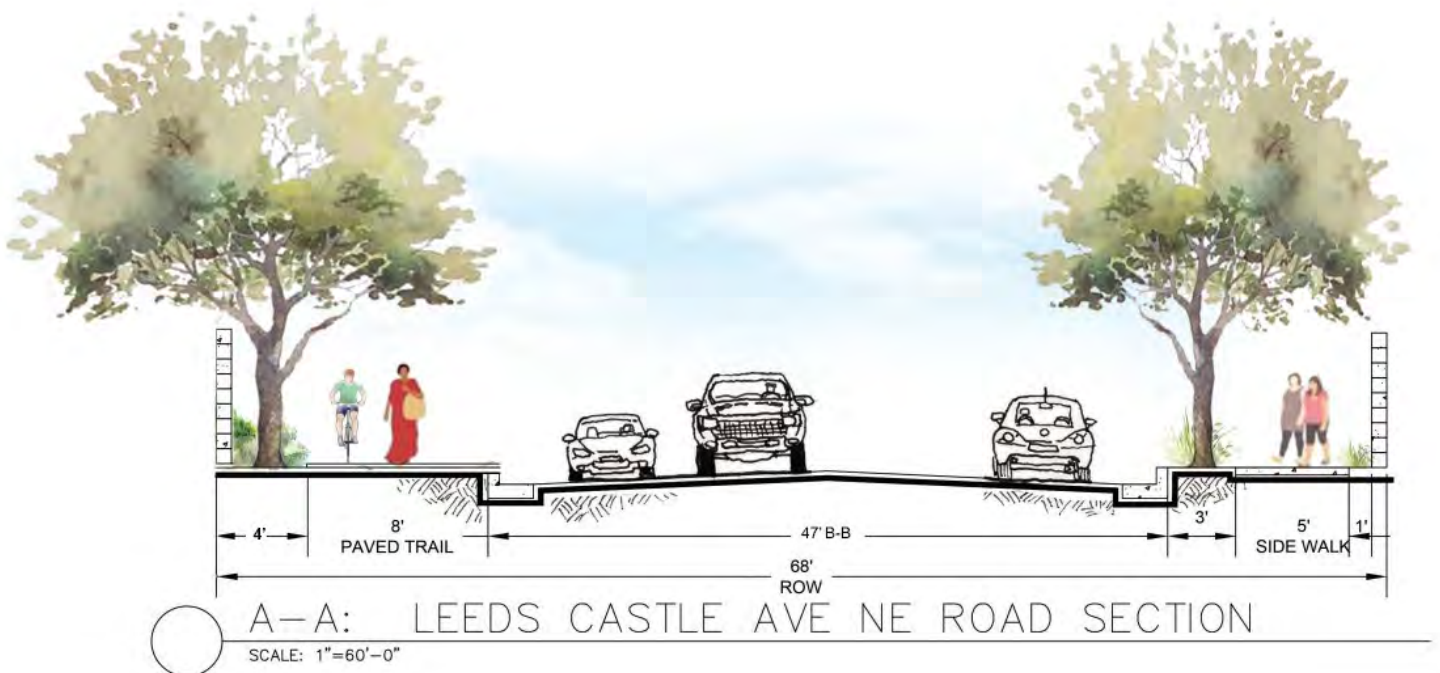
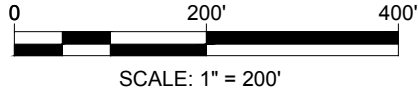
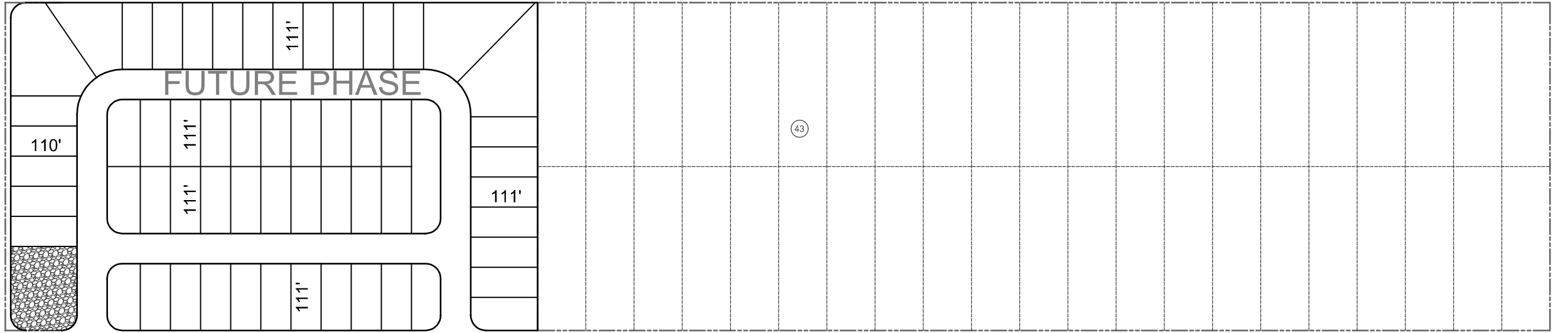


Figure 7: Cross section of Leeds Castle Ave NE

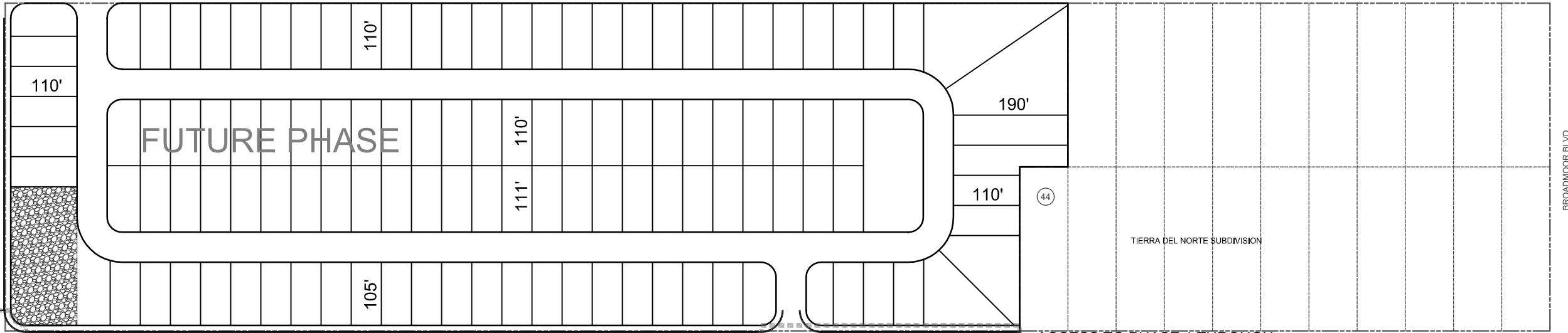


STONEGATE SUBDIVISION

MARKSBURG AVENUE



LINDERHOF AVENUE

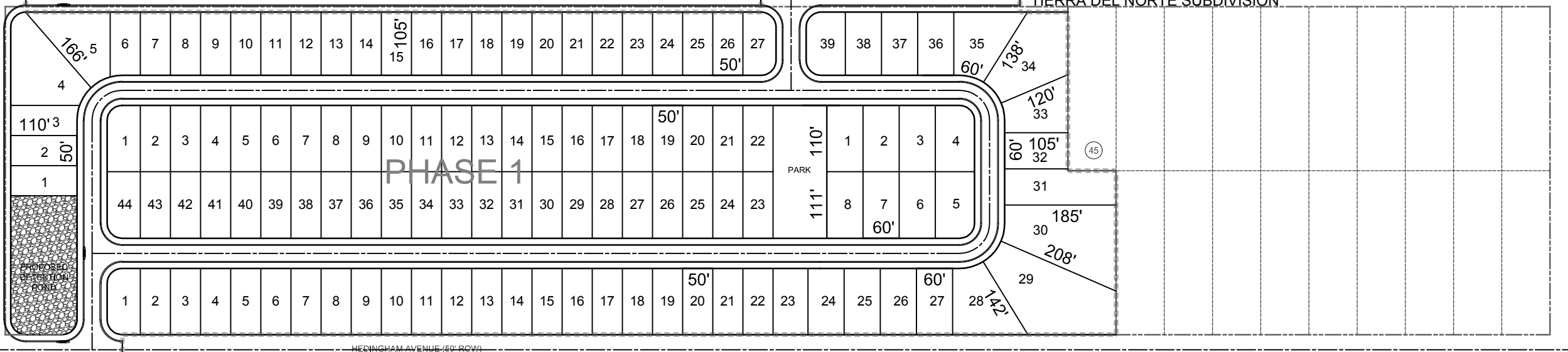


TIERRA DEL NORTE SUBDIVISION

BROADMOOR BLVD.

LEEBSCASTLE AVENUE (60' ROW)

ACCESS TO PHASE 1 THROUGH TIERRA DEL NORTE SUBDIVISION



HECINGHAM AVENUE (60' ROW)

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Designed For:

**GAMMA
DEVELOPMENT**

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL PAVING PLAN

Designed By:

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE:
**JANUARY
2023**

FIGURE

A

6. UTILITIES

INTRODUCTION

Scottish Isle is in an area that is yet to be serviced by the City of Rio Rancho Utilities Department. There are three developments at various stages surrounding Scottish Isle, including Stonegate, Tierra del Oro, and Tierra del Norte Subdivisions. The Tierra del Norte Subdivision to the east and north is beginning construction, and the Stonegate development to the west has submitted infrastructure plans for final approval. Tierra del Norte and Stonegate will both bring the required infrastructure to these developments according to the City of Rio Rancho requirements.

WATER

Water will be provided from a 14" water main built within Edinburgh Street which extends to Linderhof Avenue. The internal water line will be extended from Edinburgh Street with a 8" main to Leeds Castle Ave and Hedingham Avenue. All lines internal to the development will have 8" lines with connections to the main at Edinburgh Drive. All new homes will have service connections per the City of Rio Rancho standards (see Utility Layout Exhibit).

SANITARY SEWER

The Scottish Isle subdivision will be serviced through an internal 8-inch gravity line with manholes as necessary to meet City of Rio Rancho design standards along with sanitary sewer services to each lot. The topography within the project site falls from west to east.

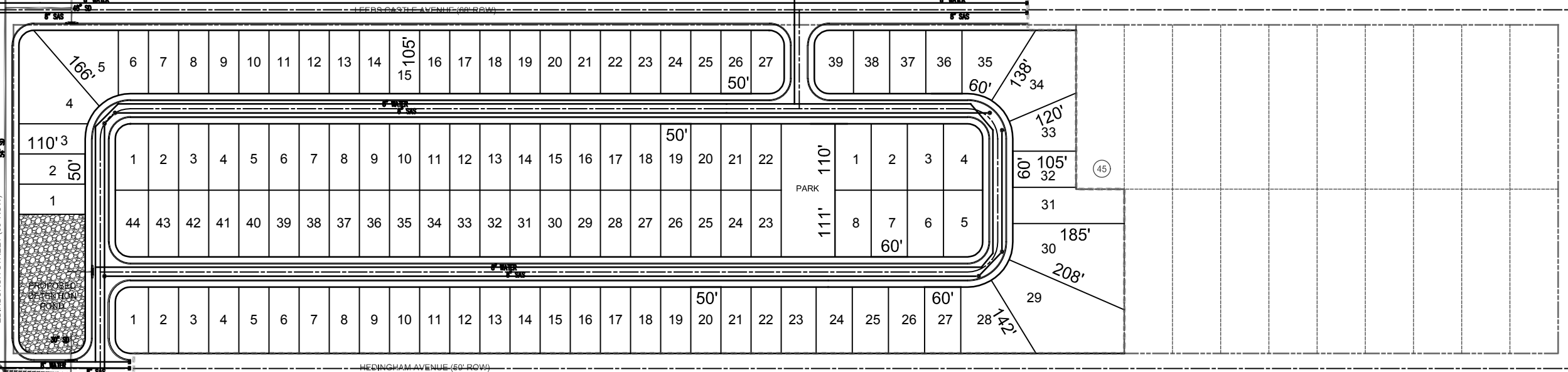
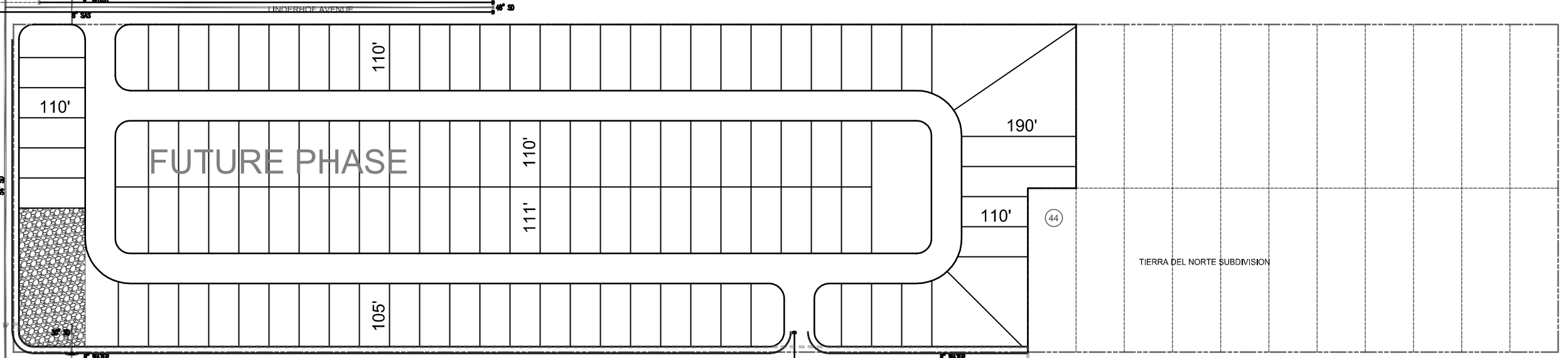
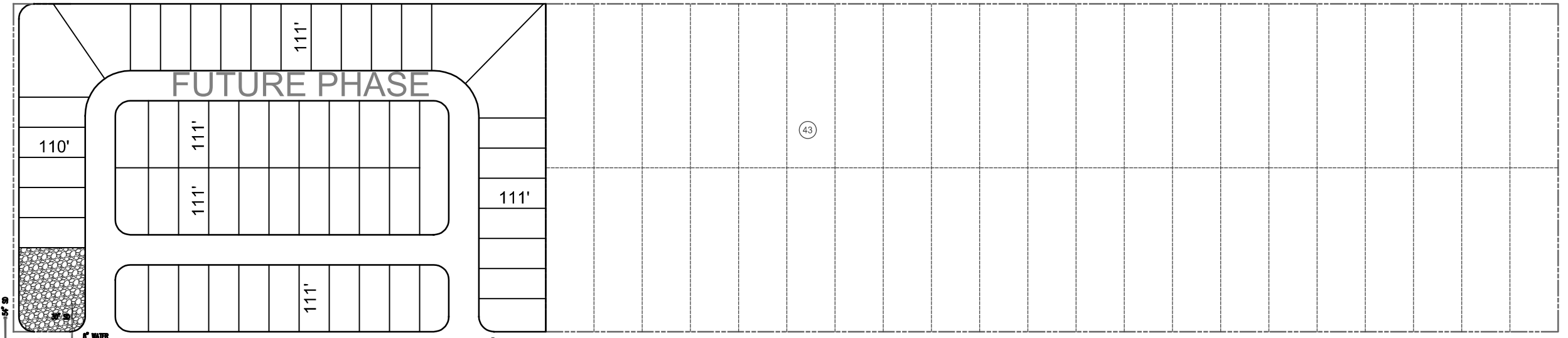
Due to the particular topography of the area, the proposed subdivision will require a number of separate sanitary sewer connections to drain the site properly. One connection will be at the far southeast corner connecting to the existing sanitary sewer line at the intersection of Hedingham Avenue and Edinburgh Street.

The sanitary sewer line in Edinburgh Street will be built up to Hedingham Avenue by the Stonegate Subdivision and/or Tierra del Oro Subdivision. Scottish Isle Subdivision will build the sanitary sewer line in Edinburgh Street from Hedingham Avenue to Leeds Castle Avenue.



STONEGATE SUBDIVISION

MARKSBURG AVENUE



BROADMOOR BLVD.

TIERRA DEL NORTE SUBDIVISION

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Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE
CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL UTILITY LAYOUT

Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE:
JANUARY 2023
FIGURE
A

7. GRADING AND DRAINAGE

INTRODUCTION

The proposed Scottish Isle subdivision will consist of 118 single family residential lots covering approximately 22.4 acres.

As shown on FEMA FIRM Panel #35043C1900D, the project site is not encumbered by a FEMA 100-year floodplain. The Drainage Plan for Scottish Isle will comply with the Edinburgh Basin Drainage Implementation Plan, Montoyas Watershed Management Plan, and any other applicable drainage plans.

EXISTING CONDITIONS

The general topography in the area flows downhill from east to west. The existing drainage basin consists of a total of 761.60 acres. The existing platting consists of 1/2 acre lots. Land treatments for existing conditions have been calculated at 100% Type 'A'.

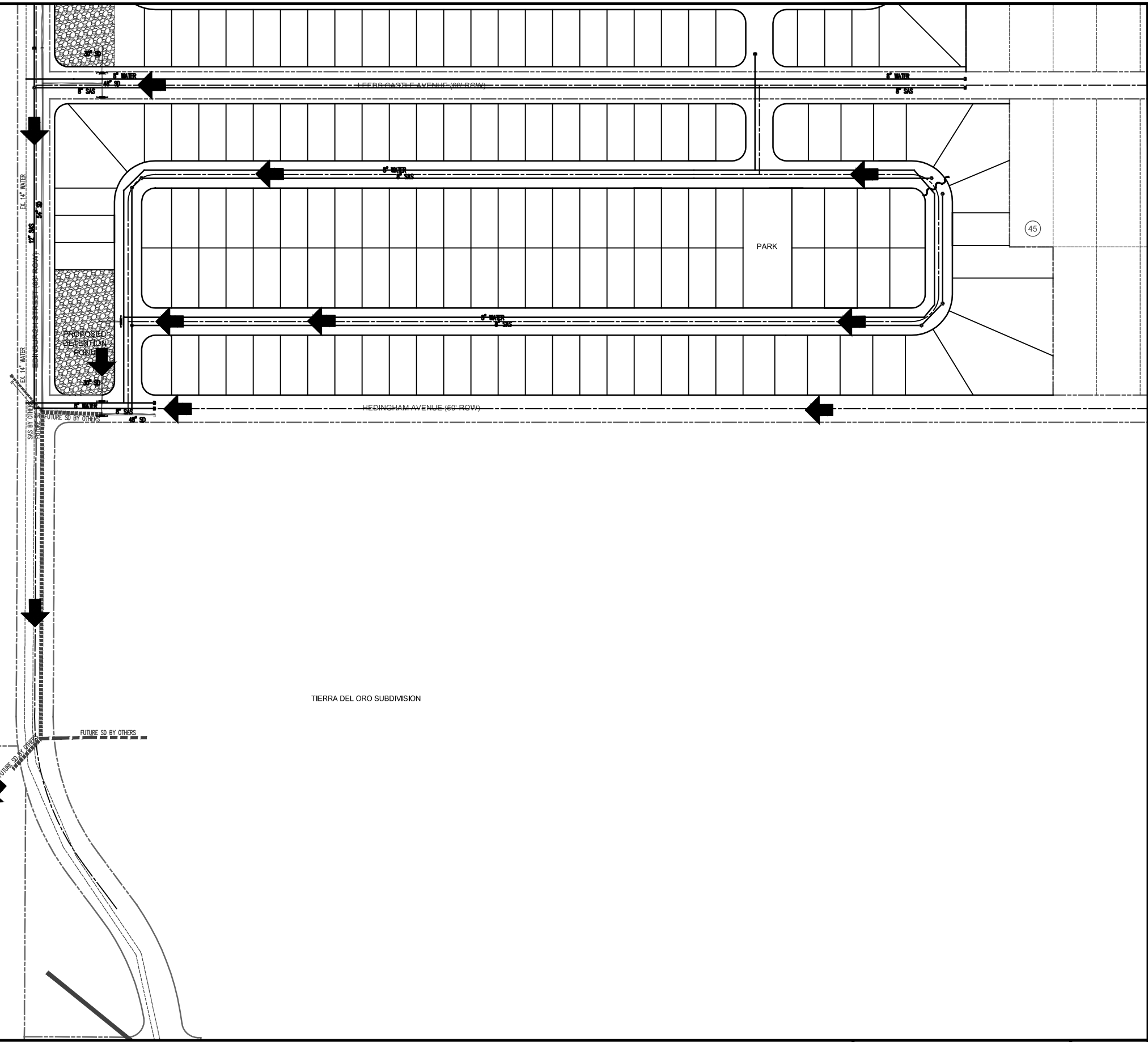
The majority of the existing drainage basin converges near the intersection of Cardiff Avenue and Edinburgh Street, the site of a natural playa. Storm water runoff travels to the playa and ponds south of Cardiff. The entire area of the Scottish Isle Master Plan currently drains to the natural playa. Once the playa is overtopped, the storm water runoff will travel to Northern Boulevard via Edinburgh Street and into the Montoyas Arroyo. Storm water will not cross Northern Boulevard until it enters the existing box culvert at Northern Boulevard within the Montoyas Arroyo. Runoff from these sub basins flows through the site to the Montoyas Arroyo.

DEVELOPED CONDITIONS

Under developed conditions, no offsite flows will affect the site. The onsite runoff will be conveyed by the internal streets and intercepted by inlets into an onsite detention pond located at the southwest corner of the site. This detention pond will serve to collect the onsite stormwater runoff and reduce the discharge to an allowable rate. The onsite detention pond will also act as a stormwater quality feature by removing sediment and floatables. The onsite pond will discharge into a storm drain system in Edinburgh Street to be built by the Stonegate Subdivision and/or Tierra del Oro Subdivision. The Edinburgh Street storm drain system will discharge into a regional detention pond located at the southeast corner of the Stonegate Subdivision.”



SCALE: 1" = 200'



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Designed For:
**GAMMA
DEVELOPMENT**

SCOTTISH ISLE
CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL DRAINAGE PLAN

Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE:
**JANUARY
2023**
FIGURE
A

8. DESIGN STANDARDS

INTRODUCTION

The Scottish Isle Master Plan recognizes the importance of promoting a sense of cohesiveness within the entire community. The purpose of these design standards is to provide a flexible framework for community design that encourages innovative and creative solutions, rather than setting a rigid set of requirements. These standards will help implement the Urban Design provisions of the City of Rio Rancho's Comprehensive Plan.

The desired character for this medium density residential development is expressed in these standards. These standards are primarily intended as a generalized guide for end users that will participate in the development of Scottish Isle. Where these standards conflict with City standards, the more stringent shall apply.

SITE DESIGN

A primary focus for specific site design within Scottish Isle will be the creation of a pedestrian and bicycle oriented community. The neighborhood should provide convenient pedestrian circulation throughout, and to the external streets and adjoining developments. The relationship of building to the street contributes to how the environment is experienced and as such is an important design issue to consider in site planning for all types of land uses.

General

1. Sidewalk requirements shall be consistent with City standards.
2. Safe, convenient, and pleasant pedestrian circulation may be accomplished with sidewalks, bike paths, special pavings, and shade.
3. All pedestrian walkways shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
4. Concrete, asphalt, or compacted decomposed granite with stabilizer are acceptable materials for pedestrian walkways around the pond and within the pocket park.
5. Clear sight distances shall be maintained at all driveway locations and intersections.
6. All perimeter block walls facing public rights-of-way shall include a continuous 4 inch cap.
7. Unfinished gray block walls, barbed wire, chain link, concertina wire, and wood or plastic vinyl fencing are prohibited for all walls or fences visible from the public right-of-way.
8. Mechanical units shall be entirely concealed from public view by the use of parapets or equivalent
9. All wall surfaces shall be finished with either
 - Stucco;
 - Colored split face block; or
 - Colored burnished block.

Single-Family Residences

The single family neighborhood of Scottish Isle is encouraged to have a unique identity that will be established through materials, perimeter wall treatment, and other measures. This approach will enable Scottish Isle to carve out its own identity within the overall context of Rio Rancho as a community of neighborhoods.

1. All development shall comply with the City's Subdivision Ordinance.
2. The front yard setback shall be a minimum of 20 feet for the garage and the living or heated portion of the house shall have a front yard setback of 15 feet in order to avoid creating a garage dominated streetscape. The use of courtyards, porches, or other design features may be used to accomplish this goal as well.
3. Single family units are prohibited from fronting a collector or major local street.
4. Proposed driveway locations shall be consistent with curb cut requirements identified in City standards.
5. Lots that face streets at the front and rear shall be limited to one driveway at the front facing street. A solid wall shall be provided at the rear yard of the property to ensure limited access.
6. Yard walls shall be constructed of CMU block. Perimeter walls shall be constructed of split-face CMU block.
7. To soften the horizontal mass of a continuous perimeter wall, the wall shall be designed to:
 - contain a 16 inch minimum setback in the wall surface for a minimum horizontal length of one lot. Setback intervals shall occur every three lots. Decorative pilasters may be used in place of wall setbacks; and
 - have landscaping facing the public right-of-way covering a minimum of 30% of the wall surface. Maintenance of the landscaping shall be the responsibility of the homeowners association.

ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the residential units to be constructed within the project. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

General

1. Stucco shall be the primary building material. Stone, tile, or brick accents are allowed.
2. Stucco colors shall be limited to shades of brown, grey, tan, sage green, and sand. Bright colors as the dominant exterior color are prohibited.

3. The use of accent colors in entry portals, front door, window frames and trim, and other incidental elements is encouraged.
4. Antennae or solar collector equipment, if used, shall be installed so as to minimize its visibility from any public street or adjacent lot.
5. Accent materials shall be used to articulate and give scale to a building. These may include tile, wood trim, metal, stone, etc.
6. Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.
7. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are earth tones, white, green, red, blue, and brown ranges.
8. Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surface
 - metal paneling
 - materials with high maintenance requirements

Single-Family Residences

1. Building height on houses with pitched roofs shall not exceed 32 feet to the highest point of the pitch. Building height on houses with flat roofs shall not exceed 26 feet
2. The maximum area of the second story of a single-family house, including heated spaces and covered porches, shall be no more than 75% of the area of the first floor, including heated spaces, covered porches, and garage. In situations where the top of roof (or parapet wall) associated with a first-floor room exceeds 18 feet from finished floor, then such area shall be considered as a second-story for determining the 75% ratio.
3. The second story portion of a two story single-family house shall be set back from the first floor exterior walls a minimum of 5 feet to eliminate the appearance of two story walls or utilize balconies/decks to achieve a difference in massing for the front and at least one side elevation.
4. Front porches, entryways, and/or portals, if used, shall have a minimum 6 foot depth, and may be built within the front setback.
5. Garages that front the street shall be constructed with a “shadow box” containing a minimum depth of eight inches.

LIGHTING

The objective of the lighting standards is to preserve the “dark sky” while providing lighting that enhances the safety, security, and visual aesthetics of the area. Careful attention to lighting detail will contribute to the sense of a cohesive community image. Additional restrictions on lighting may be imposed through privately enforced covenants, conditions, and restrictions (CC&Rs).

Requirements

1. Light fixtures and standards shall conform to local safety illumination standards and existing City standards, which require street lights at all intersections, cul-de-sacs, and curves in the roadway.
2. Street lights shall be per Rio Rancho and Public Service Company of New Mexico standards.
3. Site lighting shall be shielded and oriented so as to eliminate glare or light trespass onto adjacent roadways and properties. All lighting shall be in compliance with the State of New Mexico Night Sky Act.
4. Lighting layout shall be coordinated with proposed landscaping and trees to maximize light distribution and avoid conflicts
5. Bollard lights, if used, shall be metal halide or LED and fitted with louvers, diffusers, or shields as necessary to eliminate glare on adjacent roadways and properties.

LANDSCAPE AND STREETScape

The environmental, as well as aesthetic, value of landscaping in an arid region cannot be overstated. Landscaping should be used to buffer residential from noise or undesirable views, to provide wind protection, shade, and relief from the heat and glare generated by development, to control soil erosion, and enhance pedestrian and vehicular traffic and safety. Recognizing the increased public awareness of water conservation, these standards promote the use of native and naturalized plant species that perform well in an arid environment.

Requirements

1. Landscape plans shall comply with the City’s Water Conservation Ordinance and City standards.
2. Landscaping in accordance with an approved plan must be installed in a timely manner in accordance with the CC&Rs.
3. Turf shall not be used within the street R.O.W. or within the landscape area between the curb and sidewalk.
4. A clear sight triangle must be maintained in any landscape area.
5. A fully automated irrigation system shall be provided for all landscaped areas. The system shall be designed to avoid overspraying. Irrigation and maintenance of front yard landscape and street trees shall be the responsibility of the individual homeowner.
6. Coverage of the common landscape areas with living vegetative material will be governed by existing City standards.
7. Street trees shall be planted within 10 feet of the back of curb.

8. Street trees shall be provided at a rate of one tree per lot throughout Scottish Isle.
9. Minimum plant sizes at time of installation shall be as follows:
 - Trees 2.5 inch caliper, or a minimum of 8-10 feet in height
 - Shrubs & Groundcovers - 1 gallon
 - Turf grasses shall provide complete ground coverage within 1 growing season after installation

Allowable tree species include:

- ▶ Bloodgood Plane Tree / *Platanus acerifolia*
- ▶ Shumard Oak / *Quercus shumardii*
- ▶ Blue Atlas Cedar / *Cedrus Atlantica 'Glauca'*
- ▶ Chinese Pistache / *Pistacia chinensis*
- ▶ Austrian Pine / *Pinus nigra*
- ▶ Chitalpa / *Chitalpa Tashkentensis*

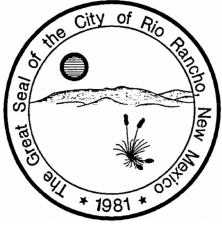
Allowable shrubs and groundcover include:

- ▶ Apache Plume / *Fallugia paradoxa*
- ▶ Autumn Sage / *Salvia greggii*
- ▶ Big Sage / *Artemisia tridentata*
- ▶ Blue Leadwort / *Ceratostigma plumbaginoides*
- ▶ Blue Mist Spirea / *Caryopteris x clandonensis*
- ▶ Claret Cup / *Echinocerus triglochidiatus*
- ▶ Crape Myrtle / *Lagerstroemia*
- ▶ Creeping Rosemary / *Rosmarinus off. pro.*
- ▶ Mugo Pine / *Pinus mugo*
- ▶ Parry Agave / *Agave parryi*
- ▶ Red Yucca / *Hesperaloe parviflor*
- ▶ Rosewood / *Vaquelinia*
- ▶ Shrubby Cinquefoil / *Potentilla frutacosa*
- ▶ Soft Blade Yucca / *Yucca recurvifolia*
- ▶ Spanish Bayonet / *Yucca baccta*
- ▶ Three Leaf Sumac / *Rhus trilobata*
- ▶ Winterfat / *Ceratoides lanata*
- ▶ Ornamental Grasses
- ▶ Maiden Grass / *Miscanthus sinensis 'Gracillimus'*
- ▶ Bear Grass / *Nolina microcarpa*
- ▶ Blue Fescue / *Festuca ovina 'Glauca'*
- ▶ Sand Dropseed / *Sporobolus cryptandrus*
- ▶ Regal Mist / *Muhlenbergia capillaris*

SITE UTILITIES

The purpose of these standards is to promote the coordinated development of utilities to minimize utility costs and visual impacts associated with utility structures.

- a. All permanent utilities shall be located underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above ground backflow prevention device is required by the City of Rio Rancho, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.



CITY OF RIO RANCHO COVER PAGE

**Legislation Item: 22-100-
00027**

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
Zone Map Amendment. The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of a Zone Map Amendment of approx. 22.4 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62. Staff contact is Tim Dvorak, and staff recommends the Planning & Zoning Board recommend approval of the Zone Map Amendment to the Governing Body, with findings and conditions.

BACKGROUND AND ANALYSIS:

The subject properties of Unit 13, Block 45, Lots 1-21 and 41-62 are currently zoned R-1: Single-Family Residential District per Ordinance No. 57, Enactment No. 08-58, dated June 25, 2008. These properties are bordered by R-1: Single-Family Residential District to the north, R-2: Single-Family District to the north and east, R-3: Mixed Residential District to the west, and R-4: Single-Family Residential District and SU: Special Use for R-6: Multi-Family District and Continuing Care Retirement Community to the south. The subject properties are within the Lomas Negras Specific Area Plan.

The subject lots comprise the entirety of the proposed Scottish Isle Master Plan (Case No. 22-400-00005), which is being heard alongside this Zone Map Amendment request. The lots total approximately 22.4 acres of vacant land.

CONFORMANCE WITH THE CITY ZONING ORDINANCE:

City of Rio Rancho Code of Ordinances (R.O. 2003) § 150.07 (A) requires that an applicant file a request for a zone map amendment through the City Planning and Zoning Board when a change in zoning designation is sought.

Staff recommends the Planning and Zoning Board find that the application, presented as an attachment, meets the submittal requirements for the proposed zoning request. Criteria is satisfied.

Pursuant to criteria provided by R.O. 2003 § 150.07 (D) (1) through (4) and (E) through (G), a request for a change in zoning designation must address the following policies and criterion for a zone map change:

(1) A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.

The Applicant states in their letter, "The proposed Zone Map Amendment is consistent with the health, safety, morals, and general welfare of the city. The Applicant is proposing a medium-density single-family development that will bring new residents to an optimal location near the Northern Boulevard commercial corridor, educational facilities, [and] existing infrastructure."

The Applicant continues, "The proposed zoning for the subject property will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995. The proposed zoning is complimentary to the adjacent zoning and land uses and will promote the general welfare of the City by meeting the demand for new, high-quality, accessible housing within Rio Rancho."

Staff recommends the Planning and Zoning Board find that the proposed R-2: Single-Family Residential zoning would be consistent with the health, safety, morals, and general welfare of the City, as it provides consistency of zoning with the surrounding R-1 & R-2 Single-Family Residential zoning in the immediate area. Goal L-2 of the Comprehensive Plan states, "Encourage consolidation of lots to promote a variety of land uses in a planned manner." The ; Criteria is satisfied.

(2) Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the City to show why the change should not be made.

The Applicant states, "The Zone Map Amendment to R-2: Single-Family Residential will have a positive effect on the stability of land use and zoning. The Applicant proposes that rezoning the site to R-2: Single-Family Residential is the highest and best use, as it will enable the development of vacant land into a quality single-family neighborhood that utilizes existing infrastructure, is harmonious with surrounding developments, and will complement existing and proposed uses."

The Applicant continues, "The development will provide needed housing, in a desirable location in the Edinburgh Basin. The development will foster the criterion of distinct and complete neighborhoods that support a mixture of housing types and densities and community amenities."

Staff recommends the Planning and Zoning Board find that the zone change is consistent with the surrounding area conditions in both the proposed Scottish Isle Master Plan as well as the Lomas Negras Specific Area Plan. The proposal furthers goal L-3 of the Comprehensive Plan which states, "Maintain a balance of land uses throughout the City." The proposed Zone Map Amendment maintains the low/medium density residential character of the immediate area, while not altering the existing adjacent higher density and nonresidential zones; Criteria is satisfied.

(3) A proposed change shall generally be consistent with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

The Applicant cites multiple goals and policies that further the Comprehensive Plan:

Land Use Element Goal 2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

Land Use Element Goal 3: Maintain a balance of land uses throughout the City.

Land Use Element Policy 1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.

The Applicant states, "The proposed amendments will enable the creation of a medium-density community, which will be harmonious with the surrounding developments. This development

involves the consolidation of several lots, and the incorporation of those lots to a new Master Plan, thus satisfying Land Use Goal 2 and Policy 1. The additional medium density residential uses will help to balance the low-density residential uses which dominate the City."

The Applicant continues, "The proposed Master Plan establishes a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design. The Master Plan envisions that the neighborhood will have unifying design elements, such as building colors and materials, setbacks, and attractive landscaping throughout."

Population and Housing Element Goal 2: Maintain the strength, vitality, and stability of all residential neighborhoods and types.

Population and Housing Element Goal 3: Promote a variety of housing types to meet the needs of all members of the community.

Population and Housing Element Goal 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.

The applicant states, "The proposed amendment will maintain the strength, vitality, and stability of the residential areas within the Edinburgh Basin. This amendment will enable a development that harmoniously blends in with the variety of low, medium, and high-density single and multi-family residential uses within the Edinburgh Basin. This development will be attractively designed, in accordance with the regulations promulgated by the proposed Master Plan, the Lomas Negras Specific Area Plan, and additional City policies."

Population and Housing Element Policy 5: Encourage mixed-use and mixed-income housing opportunities in designated growth nodes throughout the city.

Population and Housing Element Policy 7: Support residential developments with appropriate amenities for families with children.

The Applicant states, "This development will be an attractive neighborhood of single-family residences with amenities for a variety of households, including those with children. As discussed within the proposed Master Plan, Leeds Castle Avenue will be constructed to contain a multi-use path, which will connect the trail constructed by Tierra del Norte and Stonegate, to provide pedestrian and bicycle access to existing or proposed trails along Cardiff Avenue and Broadmoor Boulevard."

The Applicant continues, "The proposed development is in very close proximity to several existing and future community assets. Although not within a designated growth node, this development provides housing opportunities within very close proximity to three designated development nodes along the Northern Boulevard commercial corridor. The future residents will be served by the nearby Ernest Stapleton Elementary School, Eagle Ridge Middle School, Loma Colorado Main Library, Rio Rancho Aquatic Center, McDermott Athletic Center, and existing or envisioned commercial retail and services located on Northern Boulevard, Unser Boulevard, Broadmoor Boulevard, and Idalia Road."

Transportation Element Goal 1: Encourage development that effectively mixes land uses to create an efficient transportation system that reduces congestion, improves air quality and creates opportunities to build Rio Rancho's Economy.

The Applicant states, "These developments will effectively mix land uses within the Edinburgh Basin by adding an additional medium-density residential use to the surrounding commercial, office, and low, medium, and high-density residential uses. The developments are strategically placed near Idalia Road, Broadmoor Boulevard, Unser Boulevard, and Northern Boulevard to provide residents with access to nearby employment opportunities, shopping, and recreational amenities."

Urban Design Element Goal 2: Create traditional neighborhood patterns that support a sense of place.

The Applicant states, "The Applicant is proposing a development that fosters a sense of place through distinct design and landscaping elements, in accordance with the requirements proposed within the Scottish Isle Master Plan. The developments will be in close proximity to existing and envisioned retail, employment, and recreational opportunities, and will seamlessly blend with the surrounding residential uses."

Urban Design Element Goal 6: Support development that links neighborhoods and encourages the use of all modes of transportation.

The Applicant states, "The proposed Zone Map Amendment will facilitate the development of neighborhoods that are linked together via a system of proposed multi-use trails along Leeds Castle Avenue, as discussed within both the Stonegate and Tierra del Norte Master Plans. Multi-modal transportation is further supported, as this development accommodates walking, biking, and vehicles by way of Broadmoor Boulevard NE, a minor arterial. This amendment will enable a medium density single-family development that is complementary to nearby neighborhoods within the Edinburgh Basin area. Residents will have easy bicycle or pedestrian access to the bikeways on Broadmoor Boulevard, Northern Boulevard, Edinburgh Street, and Cardiff Avenue."

Lomas Negras Specific Area Plan Compliance

Land Use Goal 1: Promote a variety of housing choices including low and medium-density single-family residential uses and high-density multi-family residential uses.

The Applicant states, "The proposed Zone Map Amendment will provide for medium density, single-family residential development that is harmonious with the surrounding low, medium, and high-density developments."

Land Use Goal 2: Encourage mixed uses - retail, office, residential, and community uses - pedestrian oriented and clustered around corridors and activity centers.

Land Use Objective: Develop land use categories which allow for a choice of a variety of zoning districts and which mitigate impacts on surrounding uses through design standards.

The Applicant states, "The proposed Zone Map Amendment will allow a medium density, single-family residential development strategically placed near existing and envisioned activity centers, and will provide for pedestrian and bicycle access to a system of planned multi-use trails."

Transportation Goal 1: Assure safe and convenient multi-modal roadways to well-connected residences, businesses, offices, schools, and other facilities.

The Applicant states, "The proposed Zone Map Amendment will be well connected to multi-modal roadways leading to residential neighborhoods, businesses, offices, schools, and other facilities. The proposed Master Plan includes a conceptual cross-section of Leeds Castle Avenue that includes an 8-foot-wide multi-use path."

Urban Design Goal 1: Create neighborhood centers and corridors within walking distance of residences and with a balance of retail, office, and multi-family uses.

The Applicant states, "The proposed Zone Map Amendment will allow for new housing that is within walking distance to a balance of retail, office, and multi-family uses."

Utilities Goal 1: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.

The Applicant states, "The proposed Zone Map Amendment will allow for development located near existing sewer and water lines."

Community Facilities Goal 1: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

The Applicant states, "The proposed Zone Map Amendment will enable a new single-family neighborhood that contains a pocket park near the center of the development to serve residents' needs."

Scottish Isle Master Plan Compliance

Under Section 3. *Land Use and Zoning Descriptions*, the Proposed Zoning and Land Use reads in part, "The proposed zoning for Scottish Isle is R-2: Single-family Residential, which permits a moderate density of population in which the principal use is single-family dwelling units. The minimum lot area for R-2 zoned parcels is 5,000 square feet, with a minimum lot width of 50 feet. The Master Plan proposes approximately 118 units on 22.4 acres of land, which equates to a density of approximately 5 dwelling units per acre."

Staff recommends the Planning and Zoning Board find that the proposed Zone Map Amendment would meet the intent of the Comprehensive Plan, Lomas Negras Specific Area Plan, and the Scottish Isle Master Plan. The standards of the proposed Scottish Isle Master Plan will be compliant with the proposed R-2: Single-Family Residential zoning; Criteria is satisfied.

(4) The applicant must demonstrate that the existing zoning is inappropriate because: (A) There was an error, mistake, or is necessary to correct an injustice that occurred when the existing zone map pattern was created, including the placement of an R-1 transitional zone or an antiquated plat filed before the City's incorporation and adoption of its own zoning code or on land annexed by the City; or (B) Changed neighborhood or community conditions justify the change; or (C) A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (D)(1) or (2) does not apply. Applicant's reliance on this provision requires proof that (i) there is a public need for a change of the kind in question, and (ii) that need will be best served by changing the classification of the particular pieces of property in question as compared with other available property.

The Applicant states that both criterion B and C apply, and that the proposed rezoning to R-2 both complements the adjacent medium and high-density residential and commercial zones and is more advantageous to the community. The Applicant asserts that the subject properties are the optimal location for the proposed Master Plan, given the existing infrastructure, potential employment centers, and several activity nodes.

Staff recommends the Planning and Zoning Board find that this criterion has been met, as this proposed Zone Map Amendment will complement and strengthen the surrounding residential and commercial zones. The Master Plan will additionally align with and complement the adjacent Stonegate, Tierra del Norte, and Tierra del Oro Master Plans; Criteria is satisfied.

(E) The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The applicant states, "The cost of land or other economic considerations are not the determining

factor behind this request." The applicant cites that the proposed Zone Map Amendment will add diversity to City of Rio Rancho housing stock and will continue to grow the City's tax base.

Staff recommends the Planning and Zoning Board find that the cost of the land or other economic considerations do not appear to be a justification for the proposed zone map amendment; Criteria is satisfied.

(F) Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

The applicant states, "These requests are not based on the subject property's location next to a collector or major street. Rather, the basis for this request is that the proposed zoning is more compatible than the current zoning for the subject property. The proposed Master Plan and Zone Map Amendment will serve as an extension of the single-family character of the area, and further various goals and policies of the Comprehensive Plan. The proposed ZMA provides the necessary mechanisms to stabilize this part of Rio Rancho for residential uses and provide the volume of housing to meet demand for those wishing to locate within the Edinburgh Basin."

Staff recommends the Planning and Zoning Board find that the sole justification for this request is not based on the site's location on a major street. Criteria is satisfied.

(G) A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premises is involved, is generally called a "spot zone." Such a change of zone may only be approved when: (1) The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or (2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The applicant states, "This request is not a spot zone. Parcels to the east and north of the subject property are zoned for single-family residential (including R-2). In addition, the proposed zoning is similar in scope and function to the surrounding low and medium density uses. The proposed Zone Map Amendment clearly facilitates the realization of the Comprehensive Plan and Lomas Negras Specific Area Plan. This development will locate new residents near activity nodes and existing infrastructure. The zone change will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995."

Staff recommends the Planning and Zoning Board find that the proposed R-2 Single-Family zoning is not a spot zone. Staff concurs that the Applicant's proposal enhances the viability of future residential and commercial uses within the area of the Edinburgh Basin. The proposed R-2 residential zoning is in conformance with the surrounding area; Criteria is satisfied.

NOTIFICATIONS:

In accordance with State Statute NMSA 3-21-6, which stipulates notification procedures for this type of zoning action, all property owners within 100 feet of the subject properties received a certified letter, return receipt, containing a notice of action and impending Planning and Zoning Board hearing. A notice sign was placed on the subject properties by the applicant, as required by ordinance, and a legal notice was published in the Albuquerque Journal on February 27, 2023.

INTERDEPARTMENTAL/INTERAGENCY REVIEW:

Reviewing Agency	Received Application for Review	Comments
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DSD Planning and Zoning	X	Comments within document "DSD Planning & Engineering Comments."
DSD Engineering	X	Comments within document "DSD Planning & Engineering Comments."
Rio Rancho Public Schools	X	No comments provided
Fire and Rescue	X	Comments provided in attachment
Police Department	X	No comments provided
SSCAFCA	X	Comments provided in attachment
MRCOG	X	No comments provided
Parks, Recreation, and Community Services	X	Comments provided in attachment

IMPACT:

Staff finds that no adverse impacts are likely to occur as a result of the approval of this Zone Map Amendment. Staff recommends the Planning and Zoning Board recommend approval of the Zone Map Amendment to the Governing Body, subject to the following findings below:

General Findings of Fact:

1. The Planning and Zoning Board may make a recommendation to the Governing Body on the applicant's request for a zone map amendment.
2. Following procedures for a zone map amendment, proper notice of this hearing on this matter was given.
3. The applicant has the authority to make an application to request a zone map amendment.
4. The applicant and adjacent property owners received due process, as proper notice and an opportunity to present views was given.

Specific Findings of Fact:

The applicant has submitted an application and narrative which demonstrates that the change in zoning designation meets the requirements of the Rio Rancho Code of Ordinances (R.O. 2003) § 150.07(D) Amendments, including:

1. The proposed zone change would be consistent with the health, safety, morals, and general welfare of the City by promoting implementation of the City's Comprehensive Plan.
2. The applicant has provided sound justification, in a narrative dated November 15, 2022, for the proposed zone change and the zone map amendment would provide for stability of zoning.
3. The proposed zone map amendment would be consistent with the intent of the adopted elements of the Comprehensive Plan.
4. The applicant has demonstrated that the R-2: Single-Family Residential District would be a more advantageous zone for the subject properties, as it will both align the land use with adjacent parcels and further Goal L-2 of the Comprehensive Plan, which seeks to "encourage consolidation of lots to promote a variety of land uses in a planned manner."
5. The cost of the land or other economic considerations does not appear to be a justification for the proposed zone map amendment.

6. The applicant has provided sufficient justification that the zone map amendment request is not based on the properties' location near Broadmoor Blvd NE.
7. The requested zone map amendment would not create a "spot zone" in that it keeps the consistency of the already existent low and medium-density residential zones within the Edinburgh Basin.
8. The requested zone map amendment is consistent with the policies and intent of the Lomas Negras Specific Area Plan.
9. As a condition of approval, the applicant must address all staff comments, as notated in the document "DSD Planning and Engineering Comments_Scottish Isle Master Plan."

ALTERNATIVES:

1. The Planning and Zoning Board may recommend approval of the request to the Governing Body.
2. The Planning and Zoning Board may recommend denial of the request to the Governing Body.
3. The Planning and Zoning Board may modify the request and recommend approval of such modifications to the Governing Body.
4. The Planning and Zoning Board may continue the public hearing to request additional information or to consider testimony provided at the public hearing.

DEPARTMENT RECOMMENDATION:

Staff recommends the Planning & Zoning Board recommend approval of the Zone Map Amendment to the Governing Body, with findings and conditions.

ATTACHMENT: [Scottish Isle MP & ZMA Location Map.jpg](#)

ATTACHMENT: [Draft_Ordinance_Scottish_Isle_ZMA__3.6.2023.doc](#)

ATTACHMENT: [Legal Ad ZMA.pdf](#)

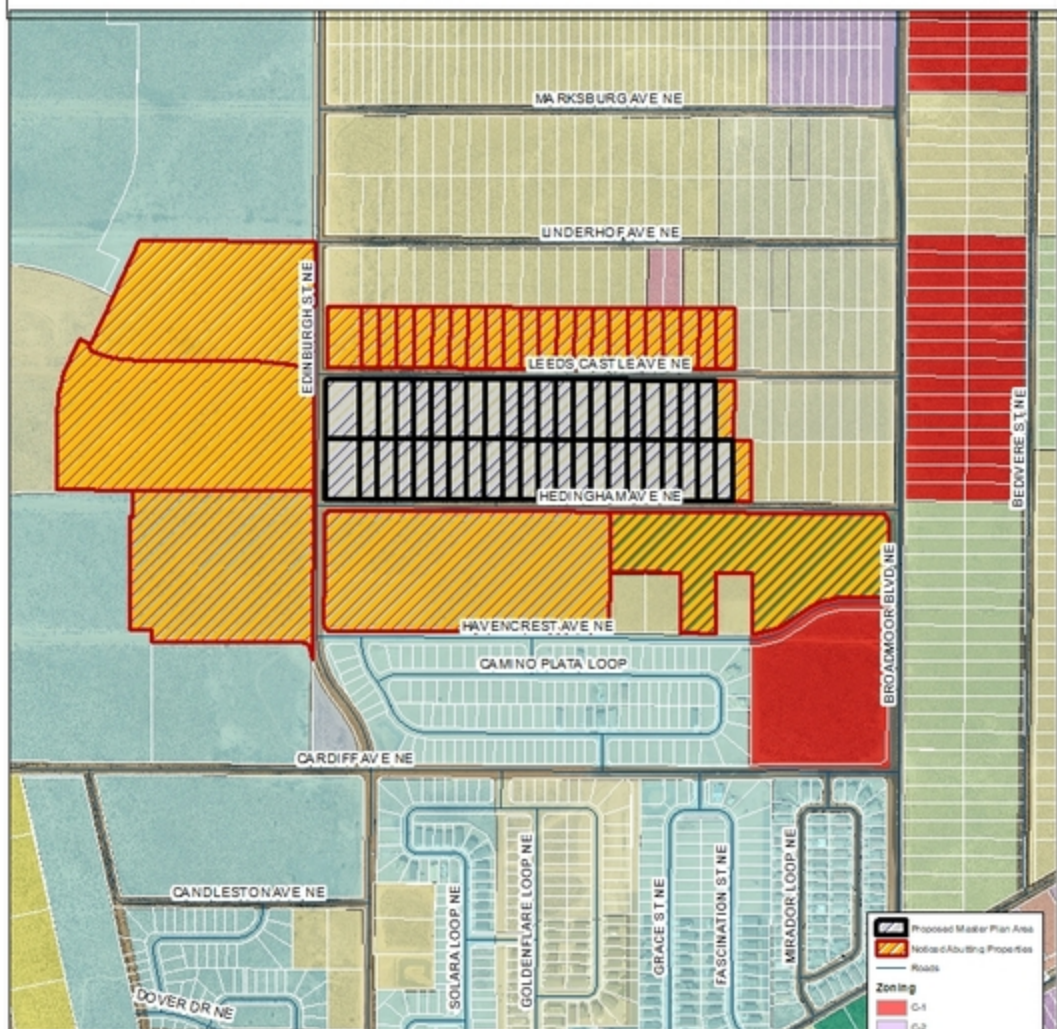
ATTACHMENT: [DSD Planning & Engineering Comments_Scottish Isle Master Plan - Draft - ZMA - Full Application_compressed.pdf](#)

ATTACHMENT: [Comments Memo_22-400-00005 Scottish Isle MP.pdf](#)

ATTACHMENT: [Reproduction of Notices- Scottish Isle MP & ZMA.pdf](#)

ATTACHMENT: [Scottish Isle Master Plan & ZMA Full Application.pdf](#)

SCOTTISH ISLE MASTER PLAN NEW MASTER PLAN & ZONE MAP AMENDMENT



0 185 370 740 1,110 1,480 Feet



DISCLAIMER: All information in this map is provided "as is" without warranty or any representation of accuracy, timeliness, or completeness. This map is not a survey and should be used for graphical purposes only.

Map Created by Tim Dvorak on 2/23/2023



**CITY OF RIO RANCHO
ORDINANCE**

ORDINANCE NO.

ENACTMENT NO.

AN ORDINANCE OF THE CITY OF RIO RANCHO, NEW MEXICO AMENDING THE ZONING CLASSIFICATION AND OFFICIAL ZONING MAP FOR THE PROPERTY LEGALLY DESCRIBED AS RIO RANCHO ESTATES UNIT 13, BLOCK 45, LOTS 1-21 and 41-62 FROM R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT TO R-2: SINGLE-FAMILY RESIDENTIAL DISTRICT, IDENTIFYING CONDITIONS OF DEVELOPMENT; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

WHEREAS: the Governing Body of the City of Rio Rancho has adopted zoning regulations and an official zone map in accordance with New Mexico Statutes Annotated 1978 (NMSA 1978) Chapter 3, Article 21; and

WHEREAS: in accordance with Rio Rancho Code of Ordinances (R.O. 2003) Section 150.07, an application to amend the zoning ordinance on the subject property has been submitted by the City of Rio Rancho, and assigned City Case No. 22-100-00027; and

WHEREAS: the Governing Body received a report from the Planning and Zoning Board, and such report indicates the Planning and Zoning Board has studied and considered the proposed changes pursuant to R.O. 2003 Section 150.07, and said report includes specific findings related to the affected property; and

WHEREAS: a public hearing occurred, in accordance with procedures set forth in R.O. 2003 Section 150.07, and NMSA 1978 Section 3-21-6, on the proposed zoning district and Official Zone Map changes hereinafter described were duly advertised and held by the Governing Body of Rio Rancho on March 23, 2023 and the Governing Body heard interested parties and citizens for and against the proposed amendments; and

WHEREAS: the proposed amendments to be adopted by this Ordinance comply with the statutory and regulatory requirements of the aforesaid Code of Ordinances and Statutes, and upon specific findings related to the subject property and determining the proposed amendment is consistent with the policies and criteria set forth in R.O. 2003 Section 150.07 (D) through (G), the Governing Body finds the amendment promotes the health, safety, morals, and general welfare of the City;

NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF RIO RANCHO:

Section 1. Rezoning of Property and Change in Land Use.

The Official Zone Map is hereby amended by assigning a zoning designation on approximately 22.4 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District on the lands legally described as:

1
2 Lots 1-21 and 41-62, Block 45, Unit 13, Rio Rancho Estates, filed in the
3 office of the County Clerk of Sandoval County New Mexico, Southwest
4 Portion of Unit 13 Rio Rancho Estates Town of Alameda Grant, Sandoval
5 County, New Mexico, in Book 1, Page 49 dated April 22, 1963.
6

7 **Section 2. Severability Clause.** If any section, paragraph, clause, or provision of
8 this Ordinance, or any section, paragraph, clause, or provision of any regulation
9 promulgated hereunder shall for any reason be held to be invalid, unlawful, or
10 enforceable, the invalidity, illegality, or unenforceability of such section, paragraph,
11 clause, or provision shall not affect the validity of the remaining portions of this
12 Ordinance or the regulation so challenged.
13

14 **Section 3. Effective Date.** This Ordinance shall become effective ten days after
15 adoption.
16

17 ADOPTED THIS _____ DAY OF _____, 2023.
18
19

20 _____
21 Gregory D. Hull, Mayor
22

23
24 ATTEST:
25

26 _____
27 Rebecca A. Martinez, City Clerk
28 (SEAL)

ALBUQUERQUE PUBLISHING COMPANY

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Ad Order Number

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Ad Proof/Order Confirmation

CITY OF RIO RANCHO
ATTN: ACCOUNTS PAYABLE
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RIO RANCHO, NM 871444501 USA

Ordered By Sharon Bitah

Customer Phone 5058915005

Joint Ad #

Customer Email

PO Number 230019

Ad Cost \$107.48

Sales Rep wschult

Tax Amount \$8.33

Order Taker wschult

Total Amount \$115.81

Payment Method Credit Card

Amount Due \$115.81

Payment Amount \$0.00

Affidavits 0

Pick Up #

Product Albuquerque Journal

Placement 0Legal Notices

Ad Number 0001565316-01

Classification 0Government

Ad Type 0 Legal Liner

Sort Text CITYOFRIORANCHOPUBLICHEARING

Ad Size 1 X 136 li

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WYSIWYG Content



**CITY OF RIO RANCHO
PUBLIC HEARING NOTICE**

The PLANNING and ZONING BOARD of the CITY of RIO RANCHO, NM will consider the following matters at its regularly scheduled meeting on Tuesday, March 14, 2023 at 6:00 pm:

**Master Plan
Case #22-400-00005**

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. The Master Plan boundary includes the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #22-100-000027**

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of a Zone Map Amendment of approx. 2.4 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #23-100-00001**

The applicant, Aragon Properties, LLC, request approval of a Zone Map Amendment for the properties legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District for 4.3306 acres of land.

**Specific Area Plan
Amendment
Case #22-410-00002**

The applicant, Aragon Properties, LLC, request approval of Specific Area Plan Amendment to change the Proposed Land Use for the properties legally described as Unit 13, Block 58, Lots 2-6, Tract B and Unit 13, Lots 3A-22 from Mixed Use to Community Commercial.

The meeting is scheduled in the Council Chambers at City Hall, 3200 Civic Center Cir NE, Rio Rancho, NM. The public is invited to attend in person or virtually at www.rrrnm.gov. Materials related to these items are available for viewing in the Development Services Department at City Hall.

If you would like to comment on any of these applications, you are encouraged to submit a written comment to planning@rrnm.gov. Written comments will be inserted into the public record.

Journal: February 27, 2023

PLANNING & ZONING LAND USE APPLICATION

Please check appropriate box

(Fees are listed on the back)

Administrative Permit	Plan	Subdivision	Zoning
<input type="checkbox"/> Community Residential Care Facility	<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Annexation
<input type="checkbox"/> Development Review Committee (DRC)	<input type="checkbox"/> Corridor Plan Amendment	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Appeal
<input type="checkbox"/> Home Occupation	<input checked="" type="checkbox"/> Master Plan	<input type="checkbox"/> Summary Plat	<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> Model Home / Sales Office	<input type="checkbox"/> Master Plan Amendment	<input type="checkbox"/> Vacation of Plat	<input type="checkbox"/> Master Sign Plan
<input type="checkbox"/> Residential Child Care Facility 6 or <	<input type="checkbox"/> Specific Area Plan Amendment	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Sign Permit	<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Subdivision Interpretation	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Other		<input type="checkbox"/> Subdivision Variance	<input type="checkbox"/> Variance
			<input checked="" type="checkbox"/> Zone Map Amendment
			<input type="checkbox"/> Zoning Certification
			<input type="checkbox"/> Zoning Interpretation

Please Print In Ink Only or Type
Application must be complete. Please attach the appropriate checklist for the action you are requesting, if applicable.

APPLICANT/AGENT INFORMATION

Applicant Name: Abrazo Homes, Inc.		Phone:
Address: 9798 Coors Blvd NW, Suite 400		E-Mail:
City: Albuquerque	State: NM	Zip: 87114
Proprietary Interest:	List Owners:	
Deed or Ownership Verification Provided: (Initials) See attached		Letter of Authorization Provided: (Initials) See attached
Agent Name: Consensus Planning, Inc.		Phone: 505-764-9801
Address: 302 8th Street NW		E-Mail: lampo@consensusplanning.com
City: Albuquerque	State: NM	ZIP Code: 87102

DESCRIPTION OF REQUEST: (PLEASE ADD ADDITIONAL SHEET(S) IF NECESSARY)


Request for a new Master Plan and a Zone Map Amendment on subject property legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1 - 21 and 41 - 62

SITE INFORMATION: (PLEASE PROVIDE ACCURATE LEGAL DESCRIPTION)

Subdivision/Unit : Unit 13	Block(s): 45	Lot(s): 1 - 21 & 41 - 62
Existing Zoning: R-1: Single-family Residential	Proposed Zoning: R-2: Single-family Residential	
No. of existing lots: 43	No. of proposed lots: 43	Total area of site (acres) 22.4

ACKNOWLEDGEMENT

I hereby acknowledge that I have read this entire application and affirm that all information provided is correct. I agree to comply with the requirements of the City of Rio Rancho as outlined in all applicable laws, ordinances and regulations.

Print Name: James K. Strozier, FAICP	Applicant:	Agent: Consensus Planning, Inc.
Signature: 		Date: 11/15/2022

FOR OFFICIAL USE ONLY

H.T.E. PROJECT #	FEE	RECEIPT #

APPLICATION ACCEPTED BY: _____ DATE: _____



November 15, 2022

Fred Radosevich, Chairman
Planning and Zoning Board
City of Rio Rancho
3200 Civic Center Circle NE
Rio Rancho, NM 87144

Landscape Architecture
Urban Design
Planning Services

Re: New Master Plan and Zone Map Amendment Request for Unit 13, Block 45, Lots 1-21 and 41-62

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to provide justification for a request for approval of the proposed Scottish Isle Master Plan, as well as a Zone Map Amendment that will allow for the additional residential uses.

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The proposed Master Plan and requested Zone Map Amendments are for a vacant property that consists of approximately 22.4 acres located near the northeast corner of Edinburgh Street NE and Hedingham Avenue NE.

The legal description for the properties included within the Scottish Isle Master Plan and zoning action include Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

Subject Property Location



PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



OWNERSHIP

The subject property is owned by Abrazo Homes. The property owner has signed a letter (included in the application packet) authorizing these requests, and authorizing Consensus Planning, Inc. to act as the Agent representing the project.

MASTER PLAN REQUEST

A request is being made for the new Scottish Isle Master Plan, which has a stated objective of designating the land use and preferred zoning for the site, providing urban design standards, implementing the City of Rio Rancho Comprehensive Plan, and integrating land use, transportation, drainage, and utility planning into a comprehensive development plan for the property. The proposed Master Plan includes the following chapters:

Existing Conditions

The Existing Conditions chapter discusses existing transportation, nearby educational and activity centers, natural features, and antiquated platting in the area. Surrounding Master Plans and large subdivisions are discussed, and a map of each has been provided to illustrate the location of Scottish Isle among the many developments of the Edinburgh Basin. Existing zoning and land use is discussed, and maps are provided for both.

Land Use and Zoning

The proposed land use and zoning for the subject property are discussed within this chapter, as well as the location of a proposed private park and pond. A conceptual layout for the development is provided on page 9. In addition, the Corridor Overlay Zone that affects the subject property is discussed.

Conformance to City of Rio Rancho Plans and Policies

This chapter discusses how the Scottish Isle Master Plan adheres to, promotes, or furthers goals and policies within the Land Use, Population and Housing, Transportation, Urban Design, and Antiquated Platting chapters of the City of Rio Rancho Comprehensive Plan. This chapter also discusses the adherence of the Scottish Isle Master Plan to the Land Use, Community Facilities, and Utilities chapters of the Lomas Negras Specific Area Plan.

Transportation

The Transportation chapter discusses how the new residential development will connect with the surrounding subdivisions, most of which are currently under construction. A conceptual cross section of Leeds Castle Avenue NE is provided on page 14, and a conceptual paving/transportation plan is provided on page 15 of the document.

Utilities

The Utilities chapter discusses the water and sanitary sewer connections needed for the new development. A conceptual utilities plan is provided on page 17 of the document.



Grading and Drainage

This chapter discusses the existing and developed conditions, as well as the lack of FEMA 100-year floodplain designation within the master plan area. A conceptual grading and drainage plan showing the proposed detention pond is provided on page 19 of the document.

Design Standards

To ensure cohesiveness, the Design Standards chapter includes specific requirements for development within the master plan area, including those related to site design, architecture, lighting, landscape and streetscape, and site utilities.

ZONE MAP AMENDMENT REQUEST

This Zone Map Amendment request is to change the zoning on 22.4 acres from R-1: Single-family Residential to R-2: Single-family Residential to allow for a medium density community consisting of 118 single-family residences. This request for R-2: Single-family Residential is for the properties legally described as Unit 13, Block 45, Lots 1 – 21 and Lots 41 - 62. It is anticipated that as part of the implementation of the development, a plat that subdivides the existing parcels will be prepared.

The proposed Zone Map Amendment for R-2: Single-family Residential will enable a housing density of approximately 5 dwelling units per acre for a total of 118 dwelling units. All units will have a maximum height of 32 feet and will be set back approximately 15' from the edge of curb. Easements for utilities will be delineated and dedicated as part of the platting process. Parking will be in accordance with the City's requirements for single-family residential.

SITE BACKGROUND

The property subject to these requests for a new Master Plan and Zone Map Amendment consists of 43 lots, which were annexed by the City of Rio Rancho in 1995, and total approximately 22.4 acres. The site has remained vacant since its annexation.

The Edinburgh Basin area is experiencing rapid growth in single-family development, with several Master Planned areas and subdivisions currently under construction. The area surrounding the subject property is positioned to welcome a diverse mix of development, with a wide range of zoning districts nearby, allowing low to high density residential, office, commercial, and mixed-use developments.

The final phases of Solcito were approved in 2021, and construction is nearly complete. Grading work is currently underway for Stonegate to the west and Tierra del Norte to the east. Milagro Mesa and Mirador del Sol are nearing completion to the south. Large portions of the Tierra del Oro Plan have been completed, or have begun construction. Utilities were recently extended to the subject property via Edinburgh Street, from Cardiff Avenue to the northern portion of Tierra del Oro.

Multiple views of subject property

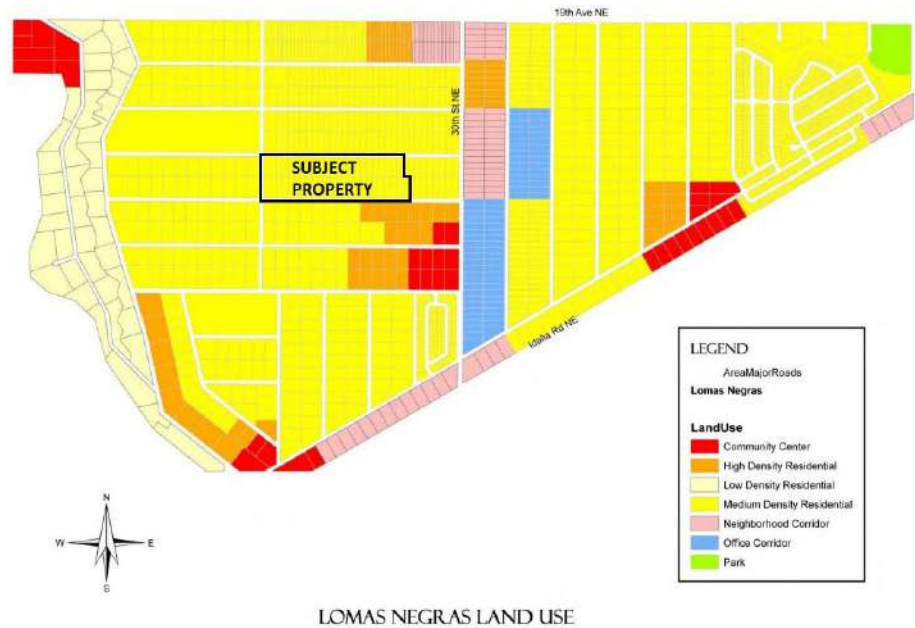


EXISTING ZONING & LAND USE

The subject property is currently vacant and surrounded by a variety of underlying residential land uses, mostly governed by the numerous approved Master Plans in the area, including Stonegate, Tierra del Oro, Tierra del Norte, Solcito, and Melon Ridge. The subject property is located within the Lomas Negras Specific Area Plan, which was adopted by the City of Rio Rancho Governing Body in 2008, and most recently amended in 2011. The current R-1: Single-family Residential zoning found on the property was adopted by the Governing Body in 2008 as Ordinance No. 57, Enactment No. 08-58. In addition, portion of the site is covered by a Corridor Overlay Zone, which established additional design guidelines and access management standards, and was adopted by the Governing Body in 2008. The Master Plan ensures compliance with the Overlay Zone.

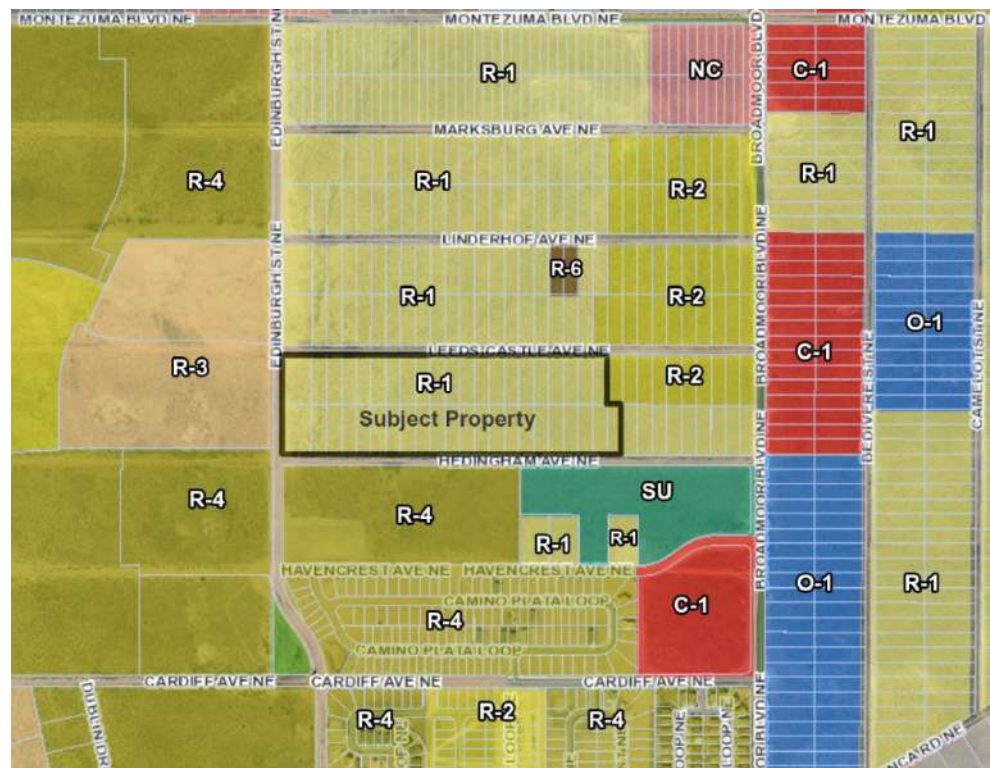
TABLE 1. SURROUNDING ZONING & LAND USE		
	ZONING	LAND USE
NORTH	R-1: Single-Family Residential	Low Density Residential (Vacant)
EAST	R-1: Single-Family Residential and R-2: Single-Family Residential	Low/Medium Density Residential (vacant and under construction)
SOUTH	R-4: Single-Family Residential and SU: Special Use for R-6/CCRC	Medium to High Density Residential (under construction)
WEST	R-3: Mixed Residential and R-4: Single-Family Residential	Medium to High Density Residential (under construction)

Generalized Land Use Map within Lomas Negras Specific Area Plan

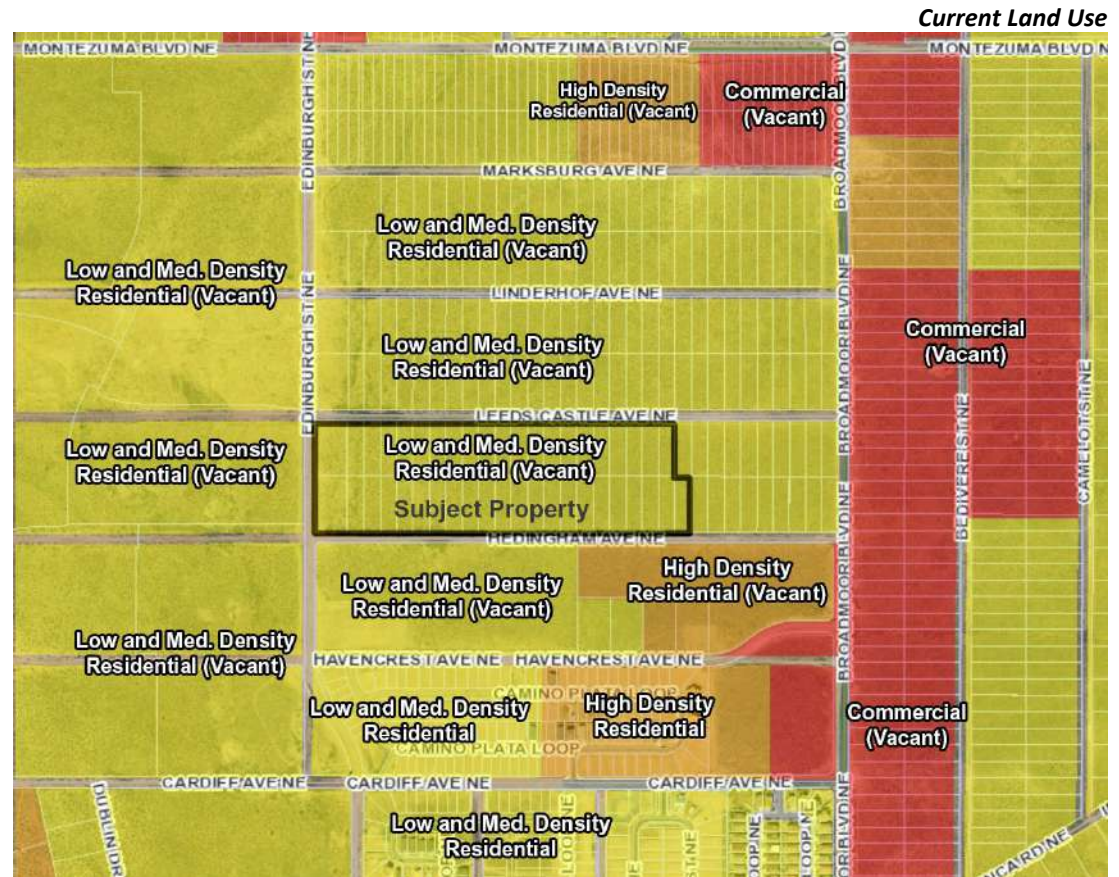


The Generalized Land Use Map (GLUM) within the Lomas Negras Specific Area Plan displays the entirety of the proposed Scottish Isle area as Medium Density Residential. The Medium Density Residential land use category within the Comprehensive Plan allows a maximum density of 16 DU/acre, and the proposed development is approximately 5 DU/acre.

Current Zoning



Tierra del Oro, to the south of the subject property, contains parcels zoned R-4: Single-family Residential, as well as SU: Special Use for R-6 uses. Stonegate, to the west, contains parcels zoned R-3: Mixed Residential, as well as R-4: Single-family Residential. Parcels to the north, which are not yet governed by a Master Plan, are zoned R-1: Single-family Residential. Tierra del Norte, to the northeast and east of the subject property, contains parcels zoned R-2: Single-family Residential.



The subject property, and most of the directly adjacent land that surrounds the site to the north, south, east, and west is currently vacant low and medium density residential. However, as previously mentioned in this letter, a large percentage of the land within the Edinburg Basin is currently under construction. Grading work has begun in both Tierra del Norte and Stonegate, and a portion of Tierra del Oro below Havencrest Avenue is under construction.

This portion intentionally left blank.



ZONE MAP AMENDMENT POLICY COMPLIANCE

(D) The following policies for deciding Zone Map Amendments pursuant to the City Zoning Code are as follows:

- 1. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.**

Applicant Response: *The proposed Zone Map Amendment is consistent with the health, safety, morals, and general welfare of the city.*

The Applicant is proposing a medium-density single-family development that will bring new residents to an optimal location near the Northern Boulevard commercial corridor, educational facilities, existing infrastructure. The proposed zoning for the subject property will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995 and will further the intent of the Lomas Negras Specific Area Plan. The proposed zoning is complementary to the adjacent zoning and land uses and will promote the general welfare of the City by meeting the demand for new, high-quality, accessible housing within Rio Rancho.

- 2. Stability of land use and zoning is desirable; therefore, the Applicant must provide a sound justification for the change. The burden is on the Applicant to show why the change should be made, not on the City to show why the change should not be made.**

Applicant Response: *The Zone Map Amendment to R-2: Single-family Residential will have a positive effect on the stability of land use and zoning. The Applicant proposes that rezoning the site to R-2: Single-family Residential is the highest and best use, as it will enable the development of vacant land into a quality single-family neighborhood that utilizes existing infrastructure, is harmonious with surrounding developments, and will complement existing and proposed uses. The development will provide needed housing, in a desirable location in the Edinburgh Basin. The development will foster the criterion of distinct and complete neighborhoods that support a mixture of housing types and densities and community amenities. In addition, the Zone Map Amendment furthers numerous goals within the Comprehensive Plan and Lomas Negras Specific Area Plan, as discussed below.*

This portion intentionally left blank.

3. A proposed change shall generally be consistent with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

Applicant Response: The Zone Map Amendment furthers multiple goals and policies as contained in the City of Rio Rancho Comprehensive Plan as follows:

LAND USE ELEMENT GOAL 2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

LAND USE ELEMENT GOAL 3: Maintain a balance of land uses throughout the City.

LAND USE ELEMENT POLICY 1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.

Applicant Response: The proposed amendments will enable the creation of a medium-density community, which will be harmonious with the surrounding developments. This development involves the consolidation of several lots, and the incorporation of those lots to a new Master Plan, thus satisfying Land Use Goal 2 and Policy 1. The additional medium density residential uses will help to balance the low-density residential uses which dominate the City. The proposed Master Plan establishes a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design. These developments will help to address a clear need for residential uses and housing stock within the city. The Master Plan envisions that the neighborhood will have unifying design elements, such as building colors and materials, setbacks, and attractive landscaping throughout. All design standards established within the Master Plan will be adhered to for the development.

POPULATION AND HOUSING ELEMENT GOAL 2: Maintain the strength, vitality, and stability of all residential neighborhoods and types.

POPULATION AND HOUSING ELEMENT GOAL 3: Promote a variety of housing types to meet the needs of all members of the community.

POPULATION AND HOUSING ELEMENT GOAL 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.

Applicant Response: The proposed amendment will maintain the strength, vitality, and stability of the residential areas within the Edinburgh Basin. This amendment will enable a development that harmoniously blends in with the variety of low, medium, and high-density single and multi-family residential uses within the Edinburgh Basin. This development will be attractively designed, in accordance with the regulations promulgated by the proposed Master Plan, the Lomas Negras Specific Area Plan, and additional City policies.



POPULATION AND HOUSING ELEMENT POLICY 5: Encourage mixed-use and mixed-income housing opportunities in designated growth nodes throughout the city.

POPULATION AND HOUSING ELEMENT POLICY 7: Support residential developments with appropriate amenities for families with children.

Applicant Response: This development will be an attractive neighborhood of single-family residences with amenities for a variety of households, including those with children. As discussed within the proposed Master Plan, Leeds Castle Avenue will be constructed to contain a multi-use path, which will connect to the trail constructed by Tierra del Norte and Stonegate, to provide pedestrian and bicycle access to existing or proposed trails along Cardiff Avenue and Broadmoor Boulevard. The proposed development is in very close proximity to several existing and future community assets. Although not within a designated growth node, this development provides housing opportunities within very close proximity to three designated development nodes along the Northern Boulevard commercial corridor. The future residents will be served by the nearby Ernest Stapleton Elementary School, Eagle Ridge Middle School, Loma Colorado Main Library, Rio Rancho Aquatic Center, McDermott Athletic Center, and existing or envisioned commercial retail and services located on Northern Boulevard, Unser Boulevard, Broadmoor Boulevard, and Idalia Road.

TRANSPORTATION ELEMENT GOAL 1: Encourage development that effectively mixes land uses to create an efficient transportation system that reduces congestion, improves air quality and creates opportunities to build Rio Rancho's Economy.

Applicant Response: These developments will effectively mix land uses within the Edinburgh Basin by adding an additional medium-density residential use to the surrounding commercial, office, and low, medium, and high-density residential uses. The developments are strategically placed near Idalia Road, Broadmoor Boulevard, Unser Boulevard, and Northern Boulevard to provide residents with access to nearby employment opportunities, shopping, and recreational amenities.

URBAN DESIGN ELEMENT GOAL 2: Create traditional neighborhood patterns that support a sense of place.

Applicant Response: The Applicant is proposing a development that fosters a sense of place through distinct design and landscaping elements, in accordance with the requirements proposed within the Scottish Isle Master Plan. The developments will be in close proximity to existing and envisioned retail, employment, and recreational opportunities, and will seamlessly blend with the surrounding residential uses.

URBAN DESIGN ELEMENT GOAL 6: Support development that links neighborhoods and encourages the use of all modes of transportation.

Applicant Response: The proposed Zone Map Amendments will facilitate the development of neighborhoods that are linked together via a system of proposed multi-use trails along Leeds Castle Avenue, as discussed within both the Stonegate and Tierra del Norte Master Plans. Multi-modal transportation is further supported, as this development accommodates walking, biking, and vehicles by way of Broadmoor Boulevard NE, a minor arterial. This amendment will enable a medium density single-family development that is complementary to nearby neighborhoods within the Edinburgh Basin area. Residents will have easy bicycle or pedestrian access to the bikeways on Broadmoor Boulevard, Northern Boulevard, Edinburgh Street, and Cardiff Avenue.

LOMAS NEGRAS SPECIFIC AREA PLAN COMPLIANCE

Land Use Goal 1: Promote a variety of housing choices including low- and medium-density single family residential uses and high-density multi-family residential uses.

Applicant Response: The proposed Zone Map Amendment will provide for medium density, single-family residential development that is harmonious with the surrounding low, medium, and high-density developments.

Land Use Goal 2: Encourage mixed uses – retail, office, residential, and community uses – pedestrian oriented and clustered around corridors and activity centers.

Land Use Objective: Develop land use categories which allow for choice of a variety of zoning districts and which mitigate impacts on surrounding uses through design standards.

Applicant Response: The proposed Zone Map Amendment will allow a medium density, single-family residential development strategically placed near existing and envisioned activity centers, and will provide for pedestrian and bicycle access to a system of planned multi-use trails.

Transportation Goal 1: Assure safe and convenient multi-modal roadways to well-connected residences, businesses, offices, schools, and other facilities.

Applicant Response: The proposed Zone Map Amendment will be well connected to multi-modal roadways leading to residential neighborhoods, businesses, offices, schools, and other facilities. The proposed Master Plan includes a conceptual cross-section of Leeds Castle Avenue that includes an 8-foot-wide multi-use path.

Urban Design Goal 1: Create neighborhood centers and corridors within walking distance of residences and with a balance of retail, office, and multi-family uses.

Applicant Response: The proposed Zone Map Amendment will allow for new housing that is within walking distance to a balance of retail, office, and multi-family uses.



Utilities Goal 1: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.

Applicant Response: The proposed Zone Map Amendment will allow for development located near existing sewer and water lines.

Community Facilities Goal 1: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

Applicant Response: The proposed Zone Map Amendments will enable a new single-family neighborhood that contains a pocket park near the center of the development to serve resident's needs.

The Applicant must demonstrate the existing zoning is inappropriate because:

- a) there was an error, mistake or is necessary to correct an injustice that occurred when the existing zone map pattern was created, antiquated plat filed before the City's incorporation and adoption of its own Zoning Code or on land annexed by the City or
- b) changed neighborhood or community conditions justify the change, or
- c) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) or (2) above do not apply. Applicant's reliance on this provision requires proof that (a) there is a public need for a change of the kind in question, and (b) that need will be best served by changing the classification of the particular piece of property in question as compared with other available property.

Applicant Response: In this case, Criterion B and C should apply. Housing needs have changed drastically in the City of Rio Rancho in recent years, and the proposed Zone Map Amendment will serve to further the vision of the Lomas Negras Specific Area Plan and increase the viability of the nearby commercial and office uses by adding additional residents.

The proposed Zone Map Amendment to R-2: Single-family Residential is more advantageous to the community for several reasons, as previously discussed in this letter. The Zone Map Amendment facilitates the development of land that has remained vacant since its annexation, while complementing the adjacent low, medium, and high-density residential uses, as well as the commercial and office uses nearby.

The proposed R-2: Single-family Residential will meet the stated land use objective of providing for higher density residential within the Lomas Negras Specific Area Plan. A different use category, as expressed by the City's Comprehensive and SAP plan goals and polices, other than low-density single-family residential, is more advantageous to the community.



The developments will help to meet the demand for high quality housing within the City of Rio Rancho and will facilitate an alternative means for new residential growth in the area. This is the most optimal location for medium-density housing given the subject property's location near existing infrastructure, potential employment centers, and several activity nodes.

This Zone Map Amendment presents an opportunity for the vision of higher density development to occur while still preserving the character of the nearby neighborhoods. The proposed Zone Map Amendment is more advantageous to the community as they further many goals of the Comprehensive Plan and Lomas Negras Specific Area Plan, as described above. The proposed uses complement the existing and developing medium-density residential and commercial land uses with new medium-density single-family residences.

(E) The cost of land or other economic considerations pertaining to the Applicant shall not be the determining factor for a change of zone.

Applicant Response: The cost of land or other economic considerations are not the determining factor behind this request. Rather, the Applicant is proposing a zone change that is consistent with the surrounding zoning while adding diversity to the City of Rio Rancho housing stock in order to balance land uses throughout the City, and to continue to grow its tax base.

(F) Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

Applicant Response: *These requests are not based on the subject property's location next to a collector or major street. Rather, the basis for this request is that the proposed zoning is more compatible than the current zoning for the subject property. The proposed Master Plan and Zone Map Amendment will serve as an extension of the single-family character of the area, and further various goals and policies of the Comprehensive Plan. The proposed ZMA provides the necessary mechanisms to stabilize this part of Rio Rancho for residential uses and provide the volume of housing to meet demand for those wishing to locate within Edinburgh Basin.*

(G) A zone change request which will give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

- 1. the change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan;**

Or



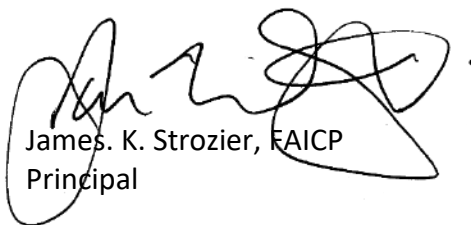
2. the area of the proposed zone change is different from surrounding land because it will function as a transition between adjacent zones; because the subject property is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of the structures already on the premises makes the subject property unsuitable for the uses allowed in any adjacent zone.

***Applicant Response:** This request is not a spot zone. Parcels to the east and north of the subject property are zoned for Single-family Residential (including R-2). In addition, the proposing zoning is similar in scope and function to the surrounding low and medium density uses. The proposed Zone Map Amendment clearly facilitates the realization of the Comprehensive Plan and Lomas Negras Specific Area Plan. This development will locate new residents near activity nodes and existing infrastructure. The zone change will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995.*

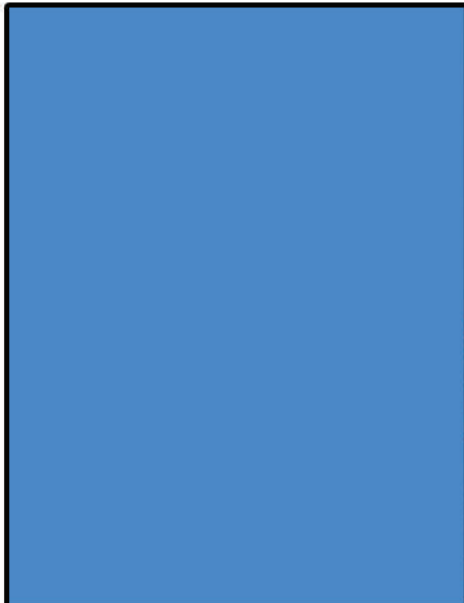
CONCLUSION

We respectfully request that the Rio Rancho Planning and Zoning Board recommend approval of the proposed Master Plan and the Zone Map Amendment request for R-2: Single-family Residential. We believe this use furthers the vision for land use within the Edinburgh Basin, and promotes several goals and policies found within the Comprehensive Plan and Lomas Negras Specific Area Plan, while helping to meet a documented housing need, and balancing the low-density single-family dominated landscape with worthy and needed medium density single-family uses.

Sincerely,



James. K. Strozier, FAICP
Principal



SCOTTISH ISLE

Master Plan

Prepared for:
Abrazo Homes

Prepared by:
Huitt-Zollars, Inc.
Consensus Planning, Inc.



City of Rio Rancho, New Mexico

Approved XXXX 2022

DRAFT OCTOBER 2022

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I. INTRODUCTION

Scottish Isle is a 22.4 acre Master Planned Community in the City of Rio Rancho, New Mexico (see Figure 1). The site is bounded by Edinburgh Street NE to the west, Broadmoor Boulevard NE to the east, Hedingham Avenue NE to the south, and Leeds Castle Avenue NE to the north.

This Master Plan provides a framework for the development of the site, including development standards and land use descriptions. At full build-out, the development will contain approximately 118 single-family residential dwelling units, with a park and open space network to serve residents.

The properties included in the Master Plan are legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

The Master Plan objectives are:

- To designate the land use and preferred zoning for the subject site;
- To provide urban design standards;
- To implement the City of Rio Rancho Comprehensive Plan (CCP); and
- To integrate land use, transportation, drainage, and utility planning into a comprehensive development plan for the property.



Figure 1: Scottish Isle Location and Site Context



2. EXISTING CONDITIONS

The Scottish Isle Master Plan is impacted by a unique set of existing conditions, related to natural features, land use, antiquated platting, transportation, and several surrounding Master Plan developments. A brief analysis of the benefits and constraints of these existing conditions will help frame a discussion as to how the proposed Master Plan conforms to the City of Rio Rancho Comprehensive Plan.

TRANSPORTATION

The main north/south corridors serving this site are Edinburgh Street (a major collector), which serves as the western boundary of Scottish Isle, and Broadmoor Boulevard (a minor arterial), located east of the plan area. The east/west corridors include Hedingham Avenue, and Leeds Castle Avenue, which serve as the southern and northern boundaries, respectively.

Unser Boulevard, approximately one mile to the west of Scottish Isle, and Northern Boulevard, approximately one mile to the south, are both regional principal arterials. These two roadways will provide excellent access to community amenities, and help support planned development and future employment areas near the City Center, Tierra del Oro, Paseo Gateway Master Plan area, and within the Broadmoor Boulevard Corridor.

Talk more about Northern Blvd & its features. Also mention Rio Rancho Middle School.

NEARBY EDUCATIONAL AND ACTIVITY CENTERS

Rio Rancho Public Schools operates five schools within two miles of Scottish Isle, including Ernest Stapleton Elementary School, Colinas del Norte Elementary School, Eagle Ridge Middle School, Lincoln Middle School, and Rio Rancho High School. The University of New Mexico Health Sciences Campus and Central New Mexico Community College (CNM) are located within City Center, on Center Boulevard, north of Scottish Isle. Sue Cleveland High School is east of City Center, near the intersection of Paseo del Volcan and Iris Road. The Loma Colorado Library, McDermott Athletic Center, and the Rio Rancho Aquatic Center are located within two miles of Scottish Isle.

NATURAL FEATURES

The site is primarily rolling grassland with intermittent shrubs sparsely covering the surface. Indian Ricegrass, Blue Grama, and Ring and Bush Muhly are the dominant grasses. Cholla, Prickly Pear, and Narrowleaf Yucca are common. Fauna within the project area includes quail, cottontail rabbit, and jackrabbit. No threatened or endangered species are known to inhabit these lands.

ANTIQUATED PLATTING

Antiquated platting and diverse land ownership patterns represent a common constraint within Rio Rancho. Issues related to antiquated platting can be mitigated through land assemblage and replatting. Antiquated platting makes orderly, harmonious and economically sound development impossible. The City's Comprehensive Plan recognizes the issue of antiquated platting as a major obstacle to sound growth, and promulgates several goals and policies promoting land assemblage.

In Rio Rancho, the problems associated with antiquated platting are: inadequate street layout, faulty lot layout (as it relates to size, adequacy, accessibility or usefulness, diversity of ownership, improper subdivision, obsolete and impractical planning and platting), and a menace to public health and safety.

half At the time Unit 13 was platted, the common lot layout included rectilinear roadways, with rectangular ~~one-acre~~ parcels perpendicular to the roadways. Although a grid layout is common practice, it does not comply with the urban design standards identified in the Comprehensive Plan. The Scottish Isle project is the outcome of efforts to assemble parcels into sizeable areas to focus residential development.

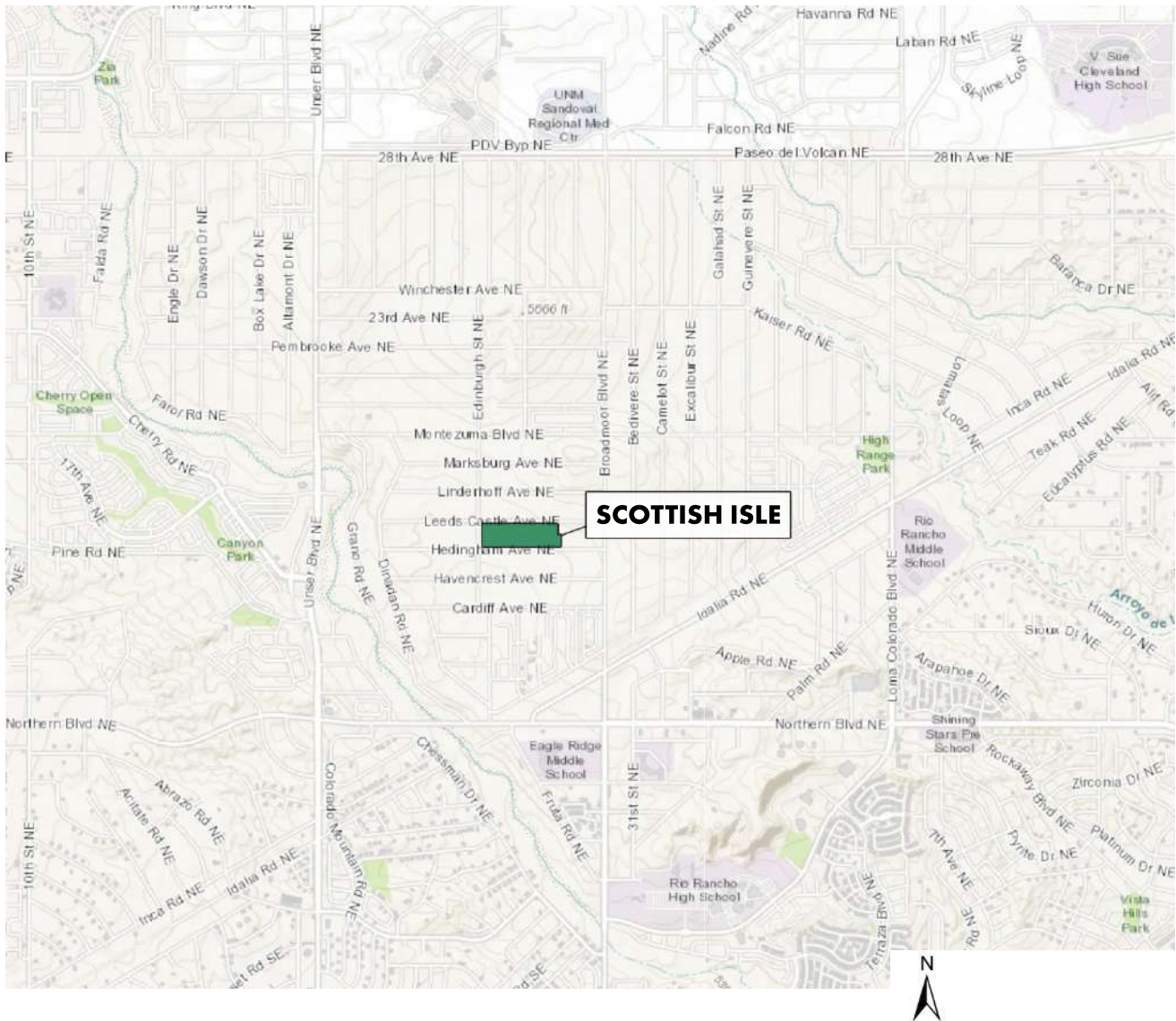


Figure 2: Site context and surroundings

SURROUNDING MASTER PLANS

Scottish Isle is in close proximity to several approved master plans and subdivisions within the Edinburgh Basin, including:

- ▶ Broadmoor Heights Master Plan
- ▶ Melon Ridge Master Plan
- ▶ Milagro Mesa Subdivision
- ▶ Mirador del Sol Subdivision
- ▶ Rock Ridge Subdivision
- ▶ Stone Mountain Subdivision
- ▶ Stonegate Master Plan
- ▶ Solcito Master Plan
- ▶ Tierra del Oro Master Plan
- ▶ Tierra del Norte Master Plan
- ▶ High Range 5 Master Plan

Hidden Valley Subdivision

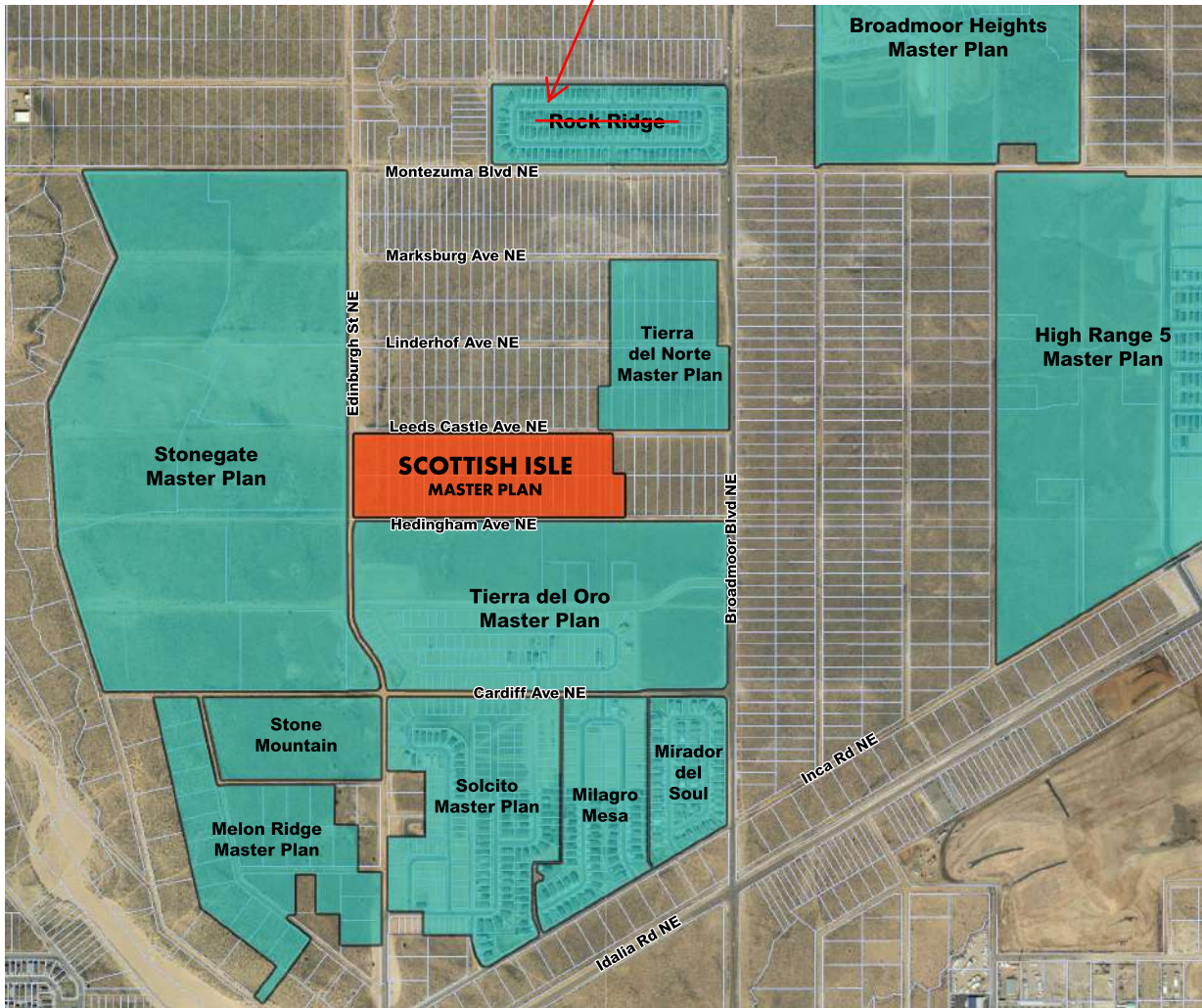


Figure 3: Master Plans and Major Subdivisions in Edinburgh Basin



EXISTING ZONING

The existing zoning found on Scottish Isle is R-1: Single-family Residential. The R-1 zoning district permits a low density of population, in which the primary land use is a single-family dwelling unit. An Overlay Zone also exists on Scottish Isle for future rights-of-way along Edinburgh Street and Leeds Castle Avenue. The R-1: Single-family Residential and Overlay Zone were both established by Ordinance Number 57, Enactment Number 08-58.

Additional R-1: Single-family zoning is found to the north of Scottish Isle, while R-2: Single-family zoning is located to the east. R-3: Mixed Residential zoning is found to the west, and to the south, within Tierra del Oro, is R-4: Single-family zoning, and SU: Special Use zoning (for R-6: Multi-family).

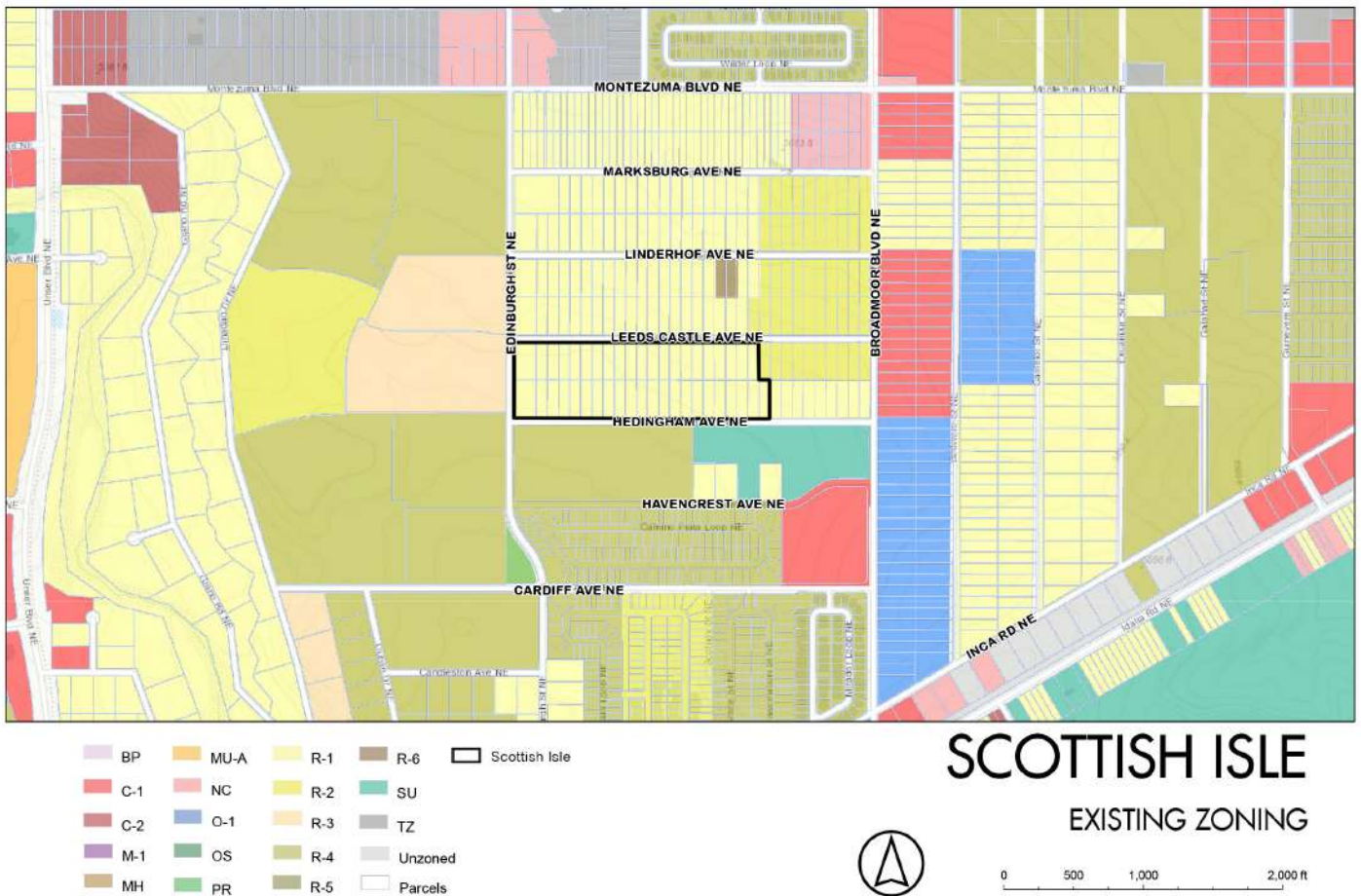


Figure 4: Existing Zoning in and around Scottish Isle

EXISTING LAND USE

The existing underlying land use for Scottish Isle is Low/Medium Density Residential, as established within the Lomas Negras Specific Area Plan. The Lomas Negras Specific Area Plan was adopted in June 2008, with subsequent amendments occurring in 2009 and 2011. Target densities for Low/Medium Density Residential land uses is between 4 and 16 DU/acre.

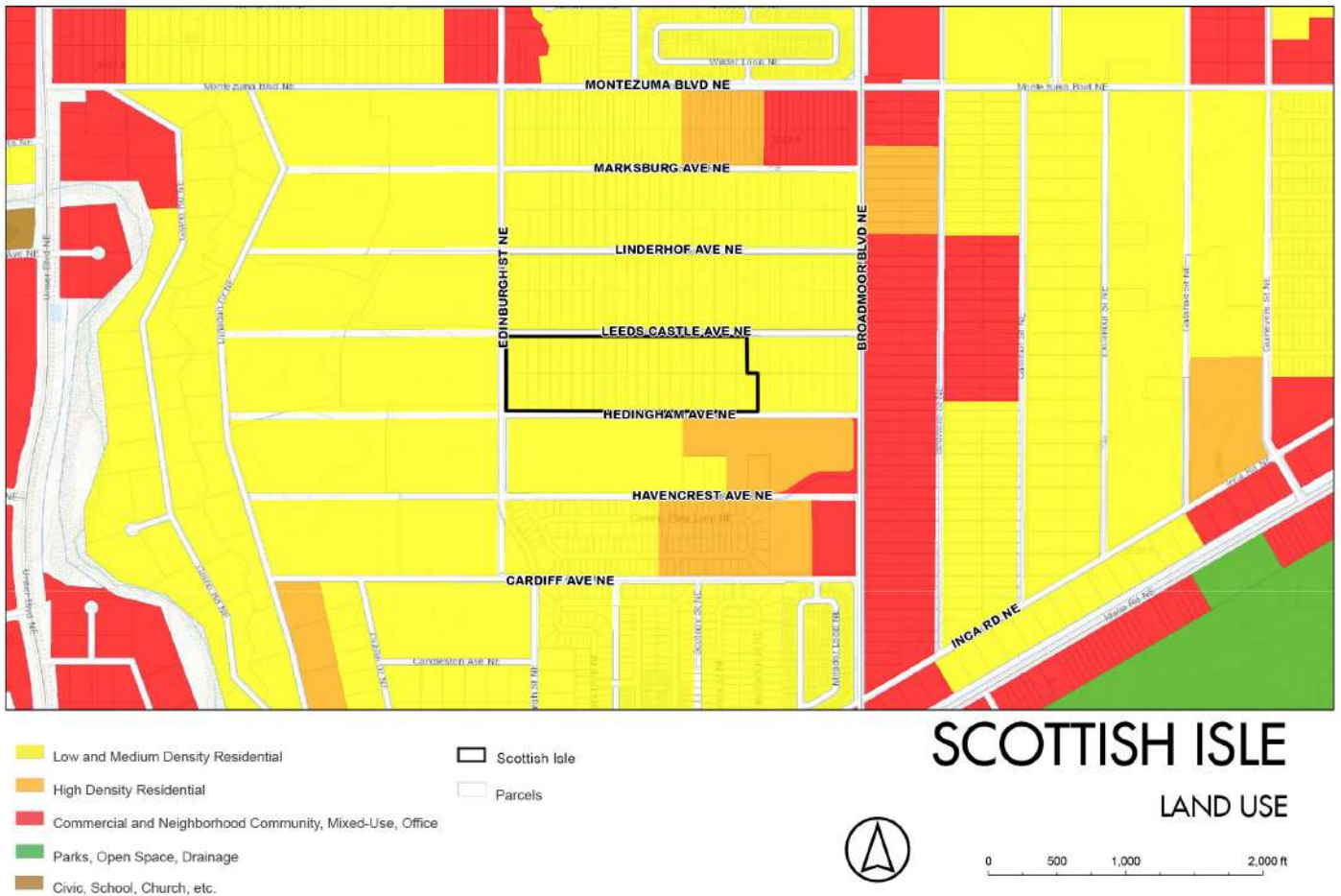


Figure 5: Generalized Land Use Map

3. LAND USE AND ZONING DESCRIPTIONS

PROPOSED ZONING AND LAND USE

The proposed zoning for Scottish Isle is R-2: Single-family Residential, which permits a moderate density of population in which the principal use is single-family dwelling units (see Figure 6 below). The minimum lot area for R-2 zoned parcels is 5,000 square feet, with a minimum lot width of 50 feet. The Master Plan proposes approximately 118 units on 22.4 acres of land, which equates to a density of approximately 5 dwelling units per acre. The number of residents at full build-out will be approximately 335, based on the assumption of 2.83 residents per dwelling. A conceptual lot layout has been provided on page 9.

Will conform to City R-2 design standards as detailed herein.

PARKS AND PONDS

The Scottish Isle Master Plan recognizes that parks and open space are important community amenities. The private pocket park accounts for approximately .25 acres, and shall be owned and maintained by the Homeowner’s Association. The park is envisioned to be located near both entrances to the community. At the southwest corner of Scottish Isle, a detention pond, approximately .75 acres in size, will temporarily store run-off. Park amenities may include exercise equipment, walking path, turf areas, and children’s play structures. The parks’ design and construction shall be responsibility of the developer/homebuilder.

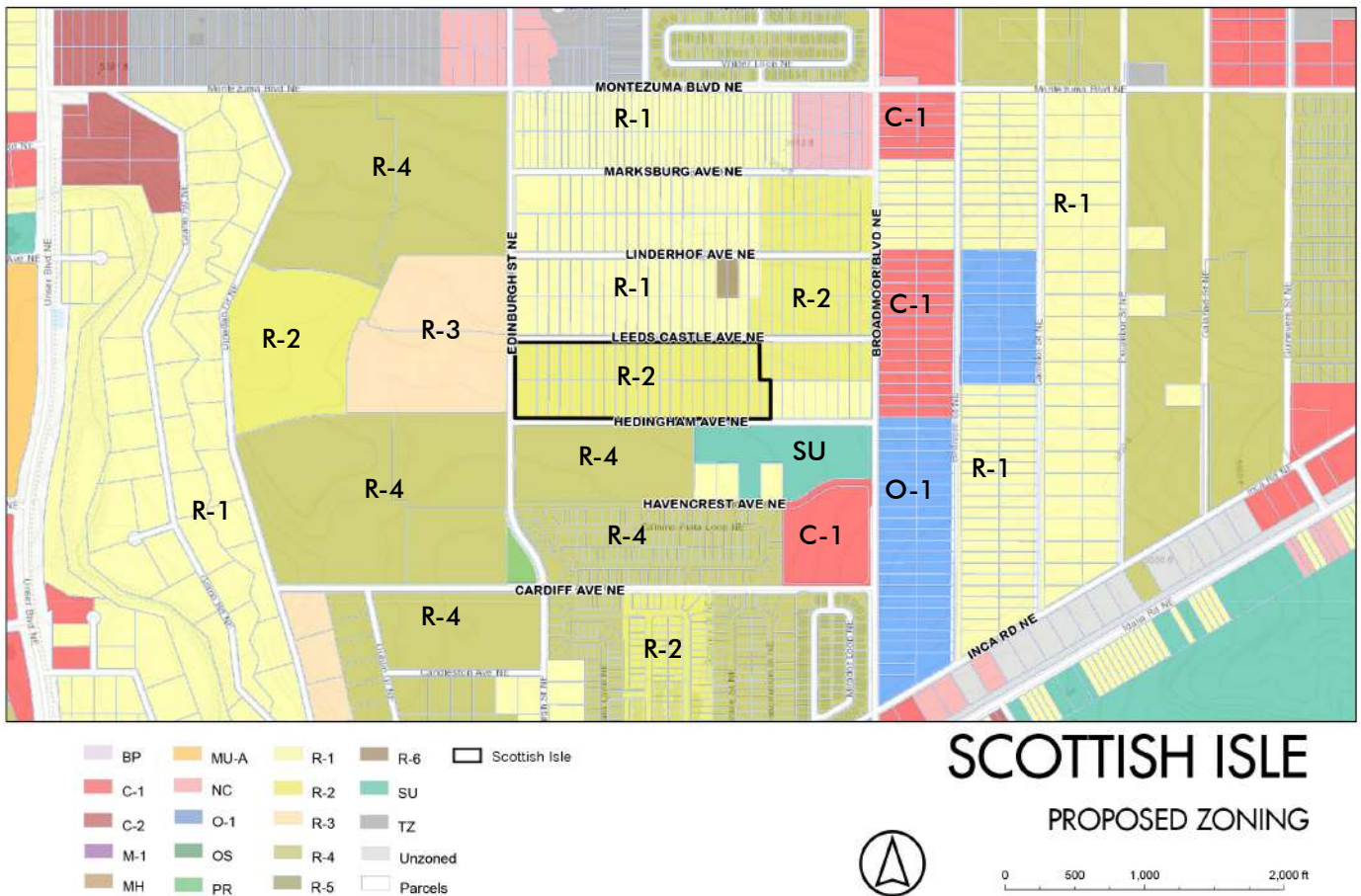


Figure 6: Proposed Zoning

CORRIDOR OVERLAY ZONE

The Corridor Overlay Zone (COZ) establishes additional design guidelines and access management standards. The use of overlay zones in certain areas of the city is a planning and zoning tool that may be used to buffer one zone from another; impose additional design standards or access control measures; require additional setbacks to protect future right-of-way acquisition; modify certain standards which may cause undue hardship; or address specific problems in an area of the city.

Overlay zones apply to areas where they are mapped in addition to the provisions of another zone. Where the provisions of an overlay zone are more or less restrictive than another section of the Master Plan or the Zoning Code, the provisions of the overlay zone shall prevail. The overlay zone is mapped and denoted on the official zone map by the notation "OZ," in conjunction with the notation for the underlying zone district.

The Corridor Overlay Zone, which applies to the Scottish Isle Master Plan area, governs setbacks. Setbacks allow for future right-of-way on collector and arterial streets. This requirement applies to residential as well as commercial properties as follows: Edinburgh Street is a minor collector and shall have a 34-foot setback from the centerline plus the zoning district setback. Broadmoor Boulevard is a minor arterial and shall have a 53-foot setback from the centerline plus the zoning district setback, per the Overlay Ordinance 08-58.

Include Leeds Castle Ave

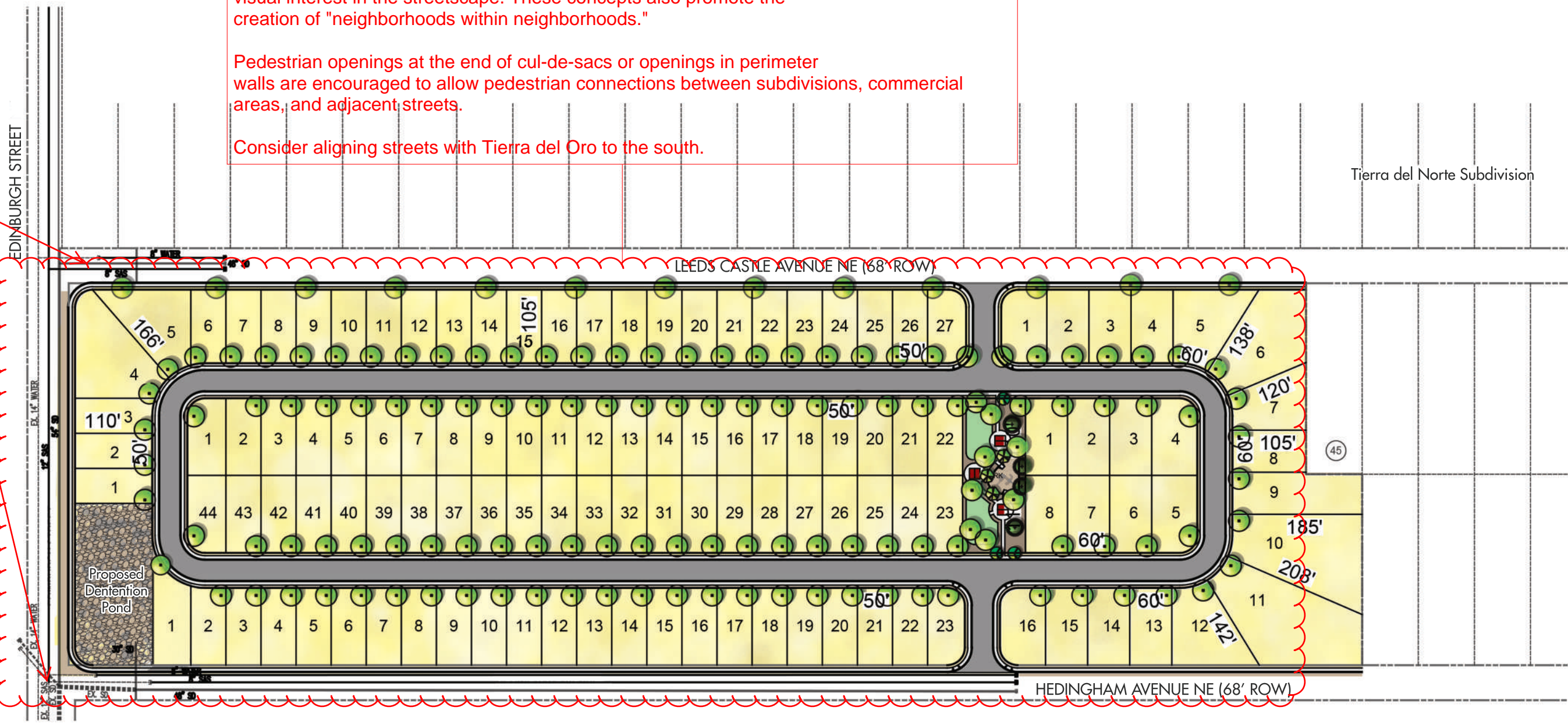


In general, long, straight roads are discouraged. The use of curvilinear streets, knuckles or cul-de-sacs is encouraged to provide variety and visual interest in the streetscape. These concepts also promote the creation of "neighborhoods within neighborhoods."

Pedestrian openings at the end of cul-de-sacs or openings in perimeter walls are encouraged to allow pedestrian connections between subdivisions, commercial areas, and adjacent streets.

Consider aligning streets with Tierra del Oro to the south.

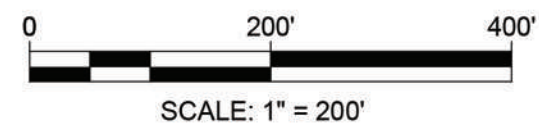
Call out ROW for overlay.



Stonegate Subdivision

Tierra del Norte Subdivision

Tierra del Oro Subdivision



Plotted: 10/27/2022 10:26:53 AM, Dr. Aedin Maxwell
 C:\Users\Aedin\Desktop\BLOCK 45 EXHIBIT 4.dwg
 Last Saved: 10/27/2022 9:48:37 AM, Aedin

Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
 AND OFFSITE UTILITIES

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

DATE:
OCTOBER 2022
 FIGURE
4

4. CONFORMANCE TO CITY OF RIO RANCHO PLANS AND POLICIES

The Scottish Isle Master Plan adheres to the Rio Rancho Comprehensive Plan. The Comprehensive Plan is a policy document that lays out broad goals, objectives and policies to guide the growth and development of Rio Rancho, and provides general development policies and guidelines for all new development.

The Scottish Isle Master Plan will help implement the principles of the Comprehensive Plan. A discussion of how the Master Plan meets each principle, and the intent of the policies and action statements, is provided in this chapter.

CITY OF RIO RANCHO COMPREHENSIVE PLAN

LAND USE

The intent of the Land Use Element is to provide guidance for population growth by identifying and proposing the location of types of development and land uses. Goals and policies from the Land Use Element that are furthered by the Scottish Isle Master Plan include:

- Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.
- Policy L-1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities and building location and design in the master plan.
- Policy L-3: Promote and support development that incorporates walkability.
- Policy L-4: Encourage adequate pedestrian connections to future transit facilities in all residential site development.
- Policy L-5: Incorporate suitable developments that can provide an immediate revenue



Figure 6: View across Scottish Isle toward development in Solcito

The Master Plan establishes the desired community character through the Design Guidelines, which addresses building colors, finishes, and landscape requirements. The development includes a neighborhood park to help meet the recreational needs of residents. The grading and drainage plan for Scottish Isle incorporates an on-site pond that will retain water from the site and water flows from the west.

POPULATION AND HOUSING

The intent of the Population and Housing Element of the Comprehensive Plan is to ensure that housing is available to all sectors of the population and to guide development to key areas that are fundamental to the development of the City. The ~~High Range 5~~ Master Plan furthers the following Population and Housing goals and policies:

Scottish Isle

- Goal 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.
- Policy 7: Support residential developments with appropriate amenities for families and children.

The Scottish Isle community is an attractive single-family neighborhood with amenities for a variety of households. The development includes a neighborhood park and open space that will help serve the multi-generational needs of the community. Scottish Isle is in proximity to other existing public amenities, such as the Loma Colorado Main Library, McDermott Athletic Center, and the Rio Rancho Sports Complex.

TRANSPORTATION

The Transportation element of the Comprehensive Plan encourages a multi-modal transportation network to meet long-term local and regional circulation needs. A coordinated pedestrian network is encouraged throughout the Plan Area to help foster non-vehicular mobility and accessibility. The following transportation goals, policies, and objectives are applicable to the Scottish Isle Master Plan:

- Goal TR-1: Transportation facilities designed and constructed in a manner to facilitate Rio Rancho's economic goals, enhance livability, and meet federal, state, and regional and local requirements.
- Goal TR-3: A balanced transportation system that provides access to a variety of transportation options (automobile, transit, bus rapid transit, rail, bicycle, and pedestrian facilities).
- Policy TR-11: Ensure all rights-of-way and transportation facilities are ADA-compliant. pace of making City Center a dense urban core.

To specific for MP.

Leeds Castle Avenue and Hedingham Avenue will be partially constructed with Scottish Isle. Leeds Castle Avenue is envisioned to feature an 8' wide ADA accessible paved trail. All roads constructed in and around Scottish Isle will feature a 5' wide sidewalk. According to the Lomas Negras SAP, the Department of Public Works will program the multi-use trail in the ICIP and be built to City standards as funds become available (see page 36, Lomas Negras SAP). The multi-use trail will provide greater balance to the transportation system by providing an option for residents to bike and walk.

Are the roads within the master plan anticipated to be private, or dedicated to the City?

ANTIQUATED PLATTING, ANNEXATIONS, AND ADDRESSING

The intent of this element of the Comprehensive Plan is to ensure the challenges associated with antiquated platting be resolved throughout Rio Rancho through proper platting and addressing.

- Goal A-1: Eliminate antiquated platting within the City of Rio Rancho where desirable.

The Scottish Isle site was annexed into the City of Rio Rancho in 1995 and has remained vacant for several years. Antiquated platting and checkerboard ownership presented a significant challenge to development and made assembling the land a difficult process. The developer assembled 43 parcels, totaling approximately 22.4 acres, to create the Scottish Isle Master Plan.

URBAN DESIGN

The Urban Design element of the Comprehensive Plan ensures that development will follow design standards that achieve the creation of community identity and aesthetic quality. Relevant goals furthered by the Scottish Isle Master Plan include:

- Goal UD-2: Create traditional neighborhood patterns that support a sense of place.
- Goal UD-6: Support development that links neighborhoods and encourages the use of all modes of transportation.

These goals are furthered by the Scottish Isle layout which creates a traditional neighborhood development pattern with multiple points of access to the existing street system and adjacent neighborhoods. Scottish Isle is linked to the Stonegate, Tierra del Norte, and Tierra del Oro neighborhoods through the provision of multi-use trails. Leeds Castle Avenue will also link Scottish Isle to future development to the west towards Edinburgh Street and Unser Boulevard.

LOMAS NEGRAS SPECIFIC AREA PLAN

The purpose of the Lomas Negras Specific Area Plan (SAP) is "to help guide and manage future development along, and in the vicinity of, major arterial streets within the City or Rio Rancho." The Lomas Negras SAP encompasses 981 acres located within Rio Rancho Estates Unit 13. The Scottish Isle Master Plan implements the following goals and objectives of the SAP:

LAND USE

The Lomas Negras SAP proposes land use categories that are consistent with, and promote the goals and policies in the Comprehensive Plan, such as medium density residential. The Lomas Negras SAP encourages the consolidation of lots and platting action to meet the current development standards. Preferred residential densities for properties within the Lomas Negras SAP ranges from low to high. Community uses, such as schools, parks, and churches that are integral to a creating a complete neighborhood, are also identified in the Lomas Negras SAP. The following land use goal is furthered by the Scottish Isle Master Plan:

- Land Use Goal: Promote a variety of housing choices including low- and medium-density single family residential uses and high density multi-family residential uses.

The Scottish Isle Master Plan furthers this goal by implementing medium density residential use through a Zone Map Amendment to R-2: Single-family Residential. The medium-density residential increases the availability of affordable housing opportunities and increases the mix of housing types within Rio Rancho.

COMMUNITY FACILITIES

The Scottish Isle Master Plan expands the City of Rio Rancho's parkland inventory through the provision of a neighborhood park, furthering the Community Facilities goal:

- Community Facilities Goal: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

As previously mentioned, the park will serve the residents of Scottish Isle, and will help to meet their recreational needs.

UTILITIES

The Scottish Isle Master Plan furthers the utilities goal, objective, and policy by coordinating and linking to existing water and sewer utility infrastructure within adjacent rights-of-way:

- Utilities Goal: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.
- Utilities Objective: Coordinate water and sewer utility infrastructure among various master plan and subdivision developments as approved within the Plan area.
- Utilities Policy: No building permits will be issued for development in the Plan area by Development Services department if the owner cannot provide community water and sewer to the property.

It is anticipated that Scottish Isle will be served by the existing water line and sewer line within Edinburgh Street.

To specific. This assumes others already constructed water and wastewater.

5. TRANSPORTATION

Confusing?

Not entirely correct?

The Scottish Isle Master Plan is to be located adjacent to the Tierra del Oro, Tierra del Norte, and Stonegate subdivisions, each of which are currently under construction. The new development is to be situated north of Hedingham Avenue, south of the Leeds Castle Avenue, east of the Edinburgh Street, and west of Broadmoor Boulevard. Scottish Isle will have easy access to Idalia Road via Edinburgh Street and Broadmoor Boulevard. Located near the northerly reaches of the developing Rio Rancho area, major employment centers of the greater Albuquerque and Rio Rancho areas are generally located to the south and east.

The site will be developed in a single construction phase with a total of 118 single-family dwelling units at full build-out. Access to the internal street network will be via two entrance roads off of Leeds Castle Avenue and Hedingham Avenue. The main entrance road (Leeds Castle Ave) will be a 50-foot wide collector street (68-foot right-of-way) extending west from the Tierra del Norte area. There will be an 8-foot wide multi-use trail on the north side and a 5-foot wide sidewalk on the south side. All internal streets in the subdivision will have a 30-foot wide paved section, and will be constructed to meet City of Rio Rancho standards.

Add language indicating that a traffic impact analysis will be completed per the development process manual. Off-site infrastructure will be completed per the traffic impact analysis.

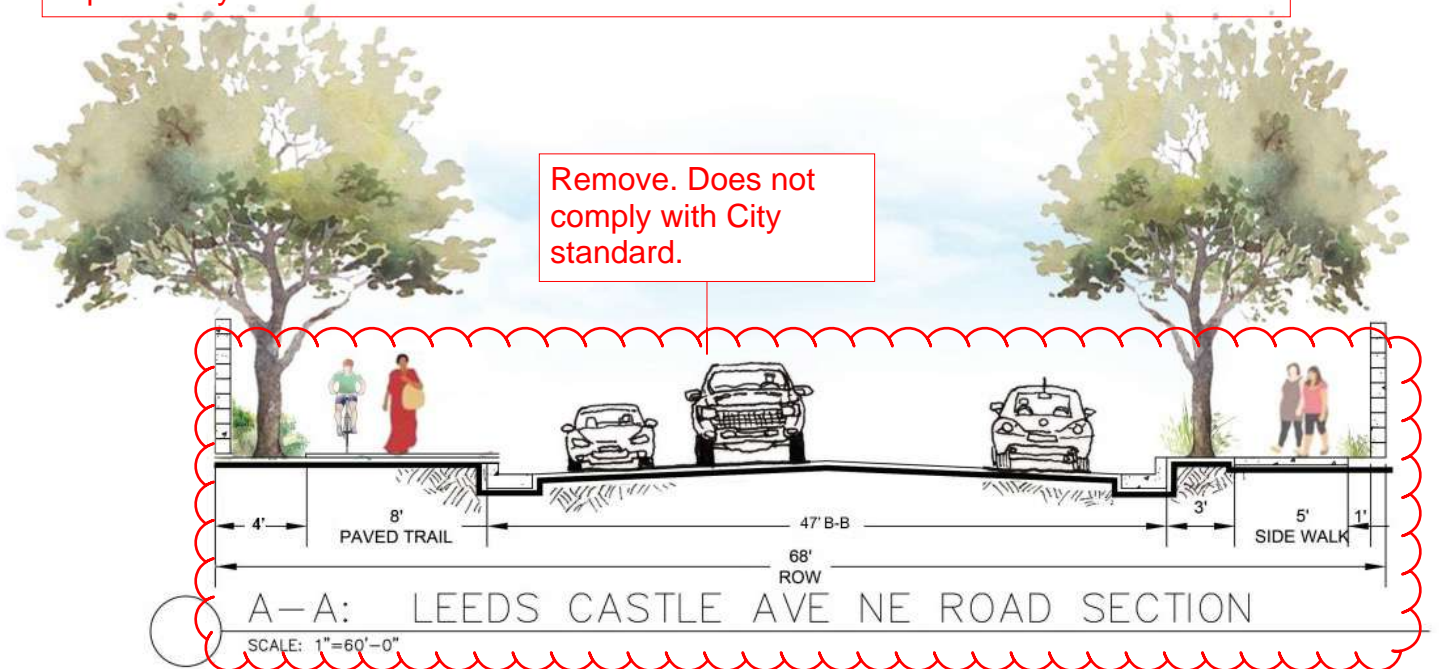


Figure 7: Cross section of Leeds Castle Ave NE

6. UTILITIES

To specific and vague at the same time. Off-site infrastructure may be constructed by others; off-site infrastructure requirements will be determined by the City at time of development.

INTRODUCTION

Scottish Isle is in an area that is yet to be serviced by the City of Rio Rancho Utilities Department. There are three developments at various stages surrounding Scottish Isle, including Stonegate, Tierra del Oro, and Tierra del Norte Subdivisions. The Tierra del Norte Subdivision to the east and north is beginning construction, and the Stonegate development to the west has submitted infrastructure plans for final approval. Tierra del Norte and Stonegate will both bring the required infrastructure to these developments according to the City of Rio Rancho requirements.

WATER

Water will be provided from a 14" water main built within Edinburgh Street which extends to Linderhof Avenue. The internal water line will be extended from Edinburgh Street with a 8" main to Leeds Castle Ave and Hedingham Avenue. All lines internal to the development will have 8" lines with connections to the main at Edinburgh Drive. All new homes will have service connections per the City of Rio Rancho standards (see Utility Layout Exhibit).

SANITARY SEWER

The Scottish Isle subdivision will be serviced through an internal 8-inch gravity line with manholes as necessary to meet City of Rio Rancho design standards along with sanitary sewer services to each lot. The topography within the project site falls from east to west.

Due to the particular topography of the area, the proposed subdivision will require a number of separate sanitary sewer connections to drain the site properly. One connection will be at the far southeast corner connecting to the existing sanitary sewer line at the intersection of Hedingham Avenue and Edinburgh Street.

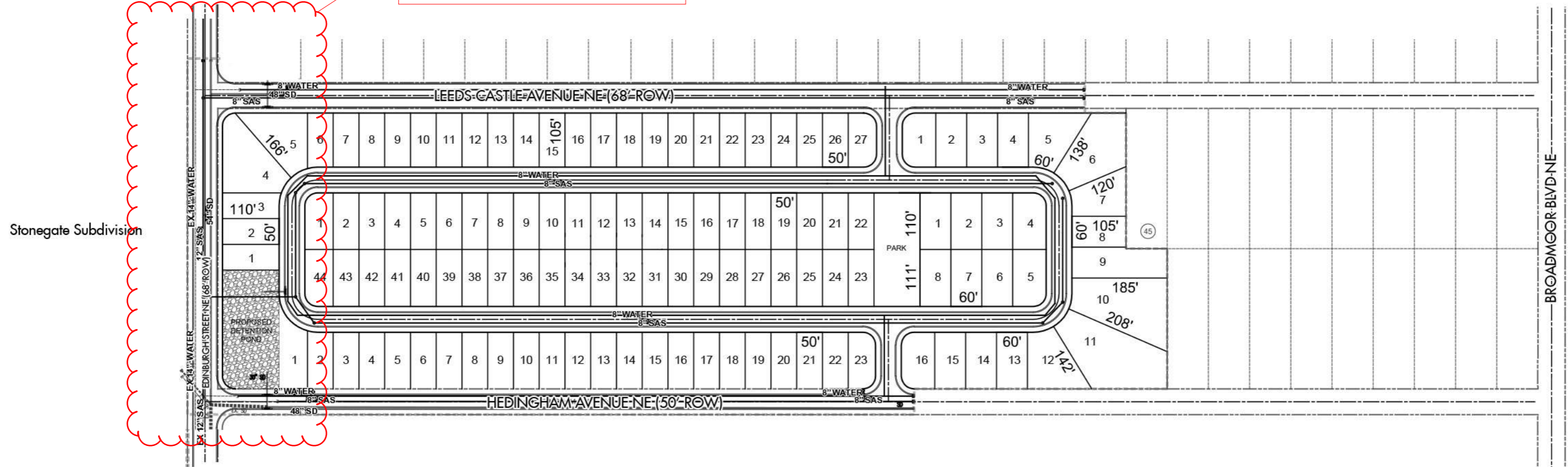
southwest?

Incorrect.

I only see one on the layout?

Tierra del Norte Subdivision

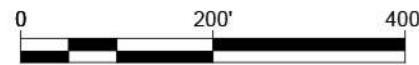
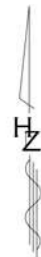
Some of the utility lines shown as existing are not existing. Revise.



Stonegate Subdivision

BROADMOOR BLVD NE

Tierra del Oro Subdivision



Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
 AND CONCEPTUAL UTILITY LAYOUT

Designed By:
HUITT-ZOLIARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

DATE:
 OCTOBER 2022
 FIGURE
A

Plotted: 10/25/2022 8:01:23 PM By: Villa, Nina
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 Last Saved: 10/25/2022 8:00:52 PM rvlm

7. GRADING AND DRAINAGE

INTRODUCTION

The proposed Scottish Isle subdivision will consist of 118 single family residential lots covering approximately 22.4 acres.

As shown on FEMA FIRM Panel #35043C1900D, the project site is not encumbered by a FEMA 100-year floodplain. The Drainage Plan for Scottish Isle will comply with the Edinburgh Basin Drainage Implementation Plan, Montoyas Watershed Management Plan, and any other applicable drainage plans.

EXISTING CONDITIONS

The general topography in the area flows downhill from east to west. The existing drainage basin consists of a total of 761.60 acres. The existing platting consists of 1/2 acre lots. Land treatments for existing conditions have been calculated at 100% Type 'A'.

The majority of the existing drainage basin converges near the intersection of Cardiff Avenue and Edinburgh Street, the site of a natural playa. Storm water runoff travels to the playa and ponds south of Cardiff. The entire area of the Scottish Isle Master Plan currently drains to the natural playa. Once the playa is overtopped, the storm water runoff will travel to Northern Boulevard via Edinburgh Street and into the Montoyas Arroyo. Storm water will not cross Northern Boulevard until it enters the existing box culvert at Northern Boulevard within the Montoyas Arroyo. Runoff from these sub basins flows through the site to the Montoyas Arroyo.

DEVELOPED CONDITIONS

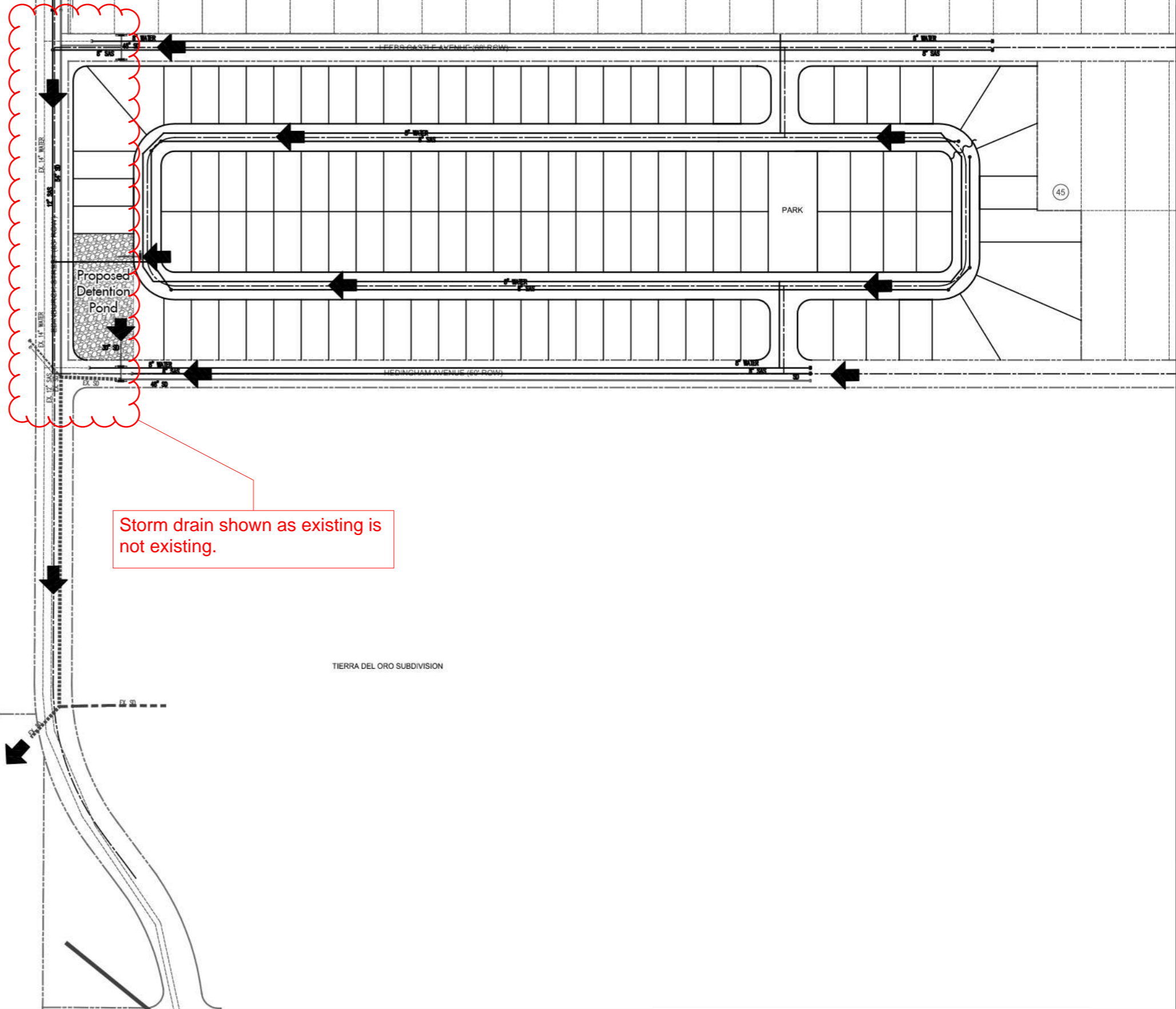
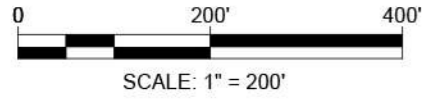
Under developed conditions, the offsite flows west of Scottish Isle will be intercepted and conveyed through an internal storm drain to the detention pond on site, before ultimately draining to the Stonegate detention pond. The internal runoff will be conveyed through surface street runoff before being intercepted by inlets into the onsite storm drain. The existing pond will be resized, as necessary, to detain runoff from offsite flows for existing conditions and onsite developed conditions runoff while limiting the discharge into the existing downstream storm drain in accordance with the previously approved Drainage Management Plan. The ponds will also be sized to detain/retain the required water quality volume for the onsite flows in accordance with the City of Rio Rancho current requirements. When the site to the west develops, it will be required to detain its developed flows and be restricted to an allowable discharge as approved by City drainage requirements. The developer ensures that increased stormwater runoff volume from the Scottish Isle development will not overwhelm the downstream SSCAFCA facility, and more analysis will be completed in a future drainage submittal indicating no change of design assumptions as the subdivision plats for Scottish Isle move forward.

Why have this statement in here?

What ponds?

What existing pond?

No existing storm drain exists.



Storm drain shown as existing is not existing.

Plotted: 10/25/2022 8:20:10 PM, By: Villa, Nina
H:\p\A\315256.01 - Rio Rancho Acres, Subdivision\05 Design\05_30 DRC SUBMITTAL\BLOCK 45 EXHIBIT 4.dwg
Last Saved: 10/25/2022 8:18:43 PM, rmla

Designed For:
GAMMA DEVELOPMENT

SCOTTISH ISLE

CONCEPTUAL LAYOUT #4 FOR BLOCK 45 (50' AND 60' WIDE LOTS)
AND CONCEPTUAL DRAINAGE PLAN

Designed By:
HUITT-ZOLIARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE:
OCTOBER 2022
FIGURE
A

8. DESIGN STANDARDS

INTRODUCTION

The Scottish Isle Master Plan recognizes the importance of promoting a sense of cohesiveness within the entire community. The purpose of these design standards is to provide a flexible framework for community design that encourages innovative and creative solutions, rather than setting a rigid set of requirements. These standards will help implement the Urban Design provisions of the City of Rio Rancho's Comprehensive Plan.

The desired character for this medium density residential development is expressed in these standards. These standards are primarily intended as a generalized guide for end users that will participate in the development of Scottish Isle. Where these standards conflict with City standards, the more stringent shall apply.

SITE DESIGN friendly

A primary ~~focus~~ ^{friendly} for specific site design within Scottish Isle will be the creation of a pedestrian and bicycle ~~oriented~~ community. The neighborhood should provide convenient pedestrian circulation throughout, and to the external streets and adjoining developments. The relationship of building to the street contributes to how the environment is experienced and as such is an important design issue to consider in site planning for all types of land uses.

General

1. Sidewalk requirements shall be consistent with City standards.
2. Safe, convenient, and pleasant pedestrian circulation may be accomplished with sidewalks, bike paths, special pavings, and shade.
3. All pedestrian walkways shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
4. Concrete, asphalt, or compacted decomposed granite with stabilizer are acceptable materials for pedestrian walkways around the pond and within the pocket park.
5. Clear sight distances shall be maintained at all driveway locations and intersections.
6. All perimeter block walls facing public rights-of-way shall include a continuous 4 inch cap.
7. Unfinished gray block walls, barbed wire, chain link, concertina wire, and wood or plastic/vinyl fencing are prohibited for all walls or fences visible from the public right-of-way.
8. Mechanical units shall be entirely concealed from public view by the use of parapets or equivalent
9. All wall surfaces shall be finished with either:
 - Stucco;
 - Colored split face block; or
 - Colored burnished block.

Single-Family Residences

The single family neighborhood of Scottish Isle is encouraged to have a unique identity that will be established through materials, perimeter wall treatment, and other measures. This approach will enable Scottish Isle to carve out its own identity within the overall context of Rio Rancho as a community of neighborhoods.

1. All development shall comply with the City's Subdivision Ordinance.
2. The front yard setback shall be a minimum of 20 feet for the garage and the living or heated portion of the house shall have a front yard setback of 15 feet in order to avoid creating a garage dominated streetscape. The use of courtyards, porches, or other design features may be used to accomplish this goal as well.
3. Single family units are prohibited from fronting a collector or major local street.
4. Proposed driveway locations shall be consistent with curb cut requirements identified in City standards.
5. Lots that face streets at the front and rear shall be limited to one driveway at the front facing street. A solid wall shall be provided at the rear yard of the property to ensure limited access.
6. Yard walls shall be constructed of CMU block. Perimeter walls shall be constructed of split-face CMU block.
7. To soften the horizontal mass of a continuous perimeter wall, the wall shall be designed to:
 - contain a 16 inch minimum setback in the wall surface for a minimum horizontal length of one lot. Setback intervals shall occur every three lots. Decorative pilasters may be used in place of wall setbacks; and
 - have landscaping facing the public right-of-way covering a minimum of 30% of the wall surface. Maintenance of the landscaping shall be the responsibility of the homeowners association.

ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the residential units to be constructed within the project. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

General

1. Stucco shall be the primary building material. Stone, tile, or brick accents are allowed.
2. Stucco colors shall be limited to shades of brown, grey, tan, sage green, and sand. Bright colors as the dominant exterior color are prohibited.

3. The use of accent colors in entry portals, front door, window frames and trim, and other incidental elements is encouraged.
4. Antennae or solar collector equipment, if used, shall be installed so as to minimize its visibility from any public street or adjacent lot.
5. Accent materials shall be used to articulate and give scale to a building. These may include tile, wood trim, metal, stone, etc.
6. Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.
7. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are earth tones, white, green, red, blue, and brown ranges.
8. Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surfaces
 - metal paneling
 - materials with high maintenance requirements

Doable?

Single-Family Residences

1. Building height on houses with pitched roofs shall not exceed 32 feet to the highest point of the pitch. Building height on houses with flat roofs shall not exceed 26 feet.
2. The maximum area of the second story of a single-family house, including heated spaces and covered porches, shall be no more than 75% of the area of the first floor, including heated spaces, covered porches, and garage. In situations where the top of roof (or parapet wall) associated with a first-floor room exceeds 18 feet from finished floor, then such area shall be considered as a second-story for determining the 75% ratio.
3. The second story portion of a two story single-family house shall be set back from the first floor exterior walls a minimum of 5 feet to eliminate the appearance of two story walls or utilize balconies/decks to achieve a difference in massing for the front and at least one side iteration.
4. Front porches, entryways, and/or portals, if used, shall have a minimum 6 foot depth, and may be built within the front setback.
5. Garages that front the street shall be constructed with a "shadow box" containing a minimum depth of eight inches.

Will there be an ARC and is Abrazo comfortable constructing to these standards?

LIGHTING

The objective of the lighting standards is to preserve the “dark sky” while providing lighting that enhances the safety, security, and visual aesthetics of the area. Careful attention to lighting detail will contribute to the sense of a cohesive community image. Additional restrictions on lighting may be imposed through privately enforced covenants, conditions, and restrictions (CC&Rs).

Requirements

1. Light fixtures and standards shall conform to local safety illumination standards and existing City standards, which require street lights at all intersections, cul-de-sacs, and curves in the roadway. PNM
2. Street lights shall be per Rio Rancho and ~~Public Service Company of New Mexico~~ standards.
3. Site lighting shall be shielded and oriented so as to eliminate glare or light trespass onto adjacent roadways and properties. All lighting shall be in compliance with the ~~State of New Mexico~~ Night Sky Act. City of Rio Rancho Night Sky Act; we go by state standards
4. Lighting layout shall be coordinated with proposed landscaping and trees to maximize light distribution and avoid conflicts.
5. Bollard lights, if used, shall be metal halide or LED and fitted with louvers, diffusers, or shields as necessary to eliminate glare on adjacent roadways and properties.

LANDSCAPE AND STREETScape

The environmental, as well as aesthetic, value of landscaping in an arid region cannot be overstated. Landscaping should be used to buffer residential from noise or undesirable views, to provide wind protection, shade, and relief from the heat and glare generated by development, to control soil erosion, and enhance pedestrian and vehicular traffic and safety. Recognizing the increased public awareness of water conservation, these standards promote the use of native and naturalized plant species that perform well in an arid environment.

Requirements

1. Landscape plans shall comply with the City’s Water Conservation Ordinance and City standards.
2. Landscaping in accordance with an approved plan must be installed in a timely manner in accordance with the CC&Rs.
3. Turf shall not be used within the street R.O.W. or within the landscape area between the curb and sidewalk.
4. A clear sight triangle must be maintained in any landscape area.
5. A fully automated irrigation system shall be provided for all landscaped areas. The system shall be designed to avoid overspraying. Irrigation and maintenance of front yard landscape and street trees shall be the responsibility of the individual homeowner.
6. Coverage of the common landscape areas with living vegetative material will be governed by existing City standards.
7. Street trees shall be planted within 10 feet of the back of curb.

8. Street trees shall be provided at a rate of one tree per lot throughout Scottish Isle.
9. Minimum plant sizes at time of installation shall be as follows:
 - Trees 2.5 inch caliper, or a minimum of 8-10 feet in height
 - Shrubs & Groundcovers - 1 gallon
 - Turf grasses shall provide complete ground coverage within 1 growing season after installation

Allowable tree species include:

- ▶ Bloodgood Plane Tree / *Platanus acerifolia*
- ▶ Shumard Oak / *Quercus shumardii*
- ▶ Blue Atlas Cedar / *Cedrus Atlantica 'Glauca'*
- ▶ Chinese Pistache / *Pistacia chinensis*
- ▶ Austrian Pine / *Pinus nigra*
- ▶ Chitalpa / *Chitalpa Tashkentensis*

Allowable shrubs and groundcover include:

- ▶ Apache Plume / *Fallugia paradoxa*
- ▶ Autumn Sage / *Salvia greggii*
- ▶ Big Sage / *Artemisia tridentata*
- ▶ Blue Leadwort / *Ceratostigma plumbaginoides*
- ▶ Blue Mist Spirea / *Caryopteris x clandonensis*
- ▶ Claret Cup / *Echinocerus triglochidiatus*
- ▶ Crape Myrtle / *Lagerstroemia*
- ▶ Creeping Rosemary / *Rosmarinus off. pro.*
- ▶ Mugo Pine / *Pinus mugo*
- ▶ Parry Agave / *Agave parryi*
- ▶ Red Yucca / *Hesperaloe parviflora*
- ▶ Rosewood / *Vaquelinia*
- ▶ Shrubby Cinquefoil / *Potentilla frutacosa*
- ▶ Soft Blade Yucca / *Yucca recurvifolia*
- ▶ Spanish Bayonet / *Yucca baccta*
- ▶ Three Leaf Sumac / *Rhus trilobata*
- ▶ Winterfat / *Ceratoides lanata*
- ▶ Ornamental Grasses
- ▶ Maiden Grass / *Miscanthus sinensis 'Gracillimus'*
- ▶ Bear Grass / *Nolina microcarpa*
- ▶ Blue Fescue / *Festuca ovina 'Glauca'*
- ▶ Sand Dropseed / *Sporobolus cryptandrus*
- ▶ Regal Mist / *Muhlenbergia capillaris*

SITE UTILITIES

The purpose of these standards is to promote the coordinated development of utilities to minimize utility costs and visual impacts associated with utility structures.

- a. All permanent utilities shall be located underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above ground backflow prevention device is required by the City of Rio Rancho, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

November 14, 2022

Fred Radosevich, Acting Chair
Planning and Zoning Board
City of Rio Rancho
3200 Civic Plaza Circle NE
Rio Rancho, New Mexico 87144

Re: New Master Plan and Zone Map Amendment requests – Rio Rancho Estates Unit 13,
Block 45, Lots 1-21 and 41-62

Dear Chairman Radosevich:

This letter is to confirm that Consensus Planning, Inc. is authorized to represent Abrazo Homes, LLC in the new Scottish Isle Master Plan and Zone Map Amendment request related to the properties legally described as Rio Rancho Estates, Unit 13, Block 45, Lots 1 – 21 & 41 – 62:

The subject properties consist of approximately 22.4 acres, and are owned, or are under purchase agreement, by Abrazo Homes, LLC.

Sincerely,

Property Owner
Abrazo Homes, LLC

CC: Scott Eddings, Project Manager, Huitt-Zollars, Inc.



City of Rio Rancho
Development Services
3200 Civic Center Circle NE - Ste 130
Rio Rancho, NM 87144
(505) 891-5005 Fax: (505) 896-8994

December 20, 2022

Thomas Lampo
Consensus Planning, Inc.
302 8th St NW
Albuquerque, NM 87102

RE: Scottish Isle Master Plan & ZMA R-1 to R-2 Residential (Case #22-400-00005)

Please review the following staff comments for your preliminary plat proposal and return revisions to the Development Services Department.

Development Services:

1. Comments on document "DSD Planning & Engineering Comments."

Engineering:

1. Comments on document "DSD Planning & Engineering Comments."

Rio Rancho Fire Department:

Per- International Fire Code 2015 shall be followed.

1. Confirm fire hydrants are in approved distances and locations
2. Turning radius shall be 28 feet, IFC Appendix D
3. No crash gates shall be allowed. No dead ends shall be approved.
4. Gated subdivision shall require Knox box at entries in approved locations.
5. No construction is to begin until fire hydrants are fully operational.
6. IFC Appendix D107- exceeds 30 units shall be provided with two separate and approved fire apparatus access roads.
7. Further requirements may necessary

Parks & Recreation:

Based on the number of residences and the Subdivision ordinance, 3 acres of parkland are required per 1,000 residents. This development has 118 residences ($118 \times 2.83 \text{ residents/residence} = 1/3 \text{ acre of parkland minimum allocation}$) the park size appears appropriate, but the developer must obtain a commercial building permit to construct the park, and must ensure all pedestrian paths are ADA compliant per federal law (note p. 37 of 43 which talks about stabilized crusher fines). The current Master Plan shows a pocket park of 0.25 acres. PRCS is willing to discuss expanding the park acreage – or reviewing the amenities to be built as part of the park, and to hopefully provide approval. There will be an HOA to own and maintain the park, which would be in the HOA and City's best interests, as PRCS does not wish to take on pocket parks that serve a specific neighborhood versus the entire city. At this time, no recommendation for or against approval of the ZMA or MP.

SSCAFCA:

DEVELOPED CONDITIONS

Under developed conditions, the offsite flows west of Scottish Isle will be intercepted and conveyed through an internal storm drain to the detention pond on site, before ultimately draining to the Stonegate detention pond. The internal runoff will be conveyed through surface street runoff before being intercepted by inlets into the onsite storm drain. The existing pond will be resized, as necessary, to detain runoff from offsite flows for existing conditions and onsite developed conditions runoff while limiting the discharge into the existing downstream storm drain in accordance with the previously approved Drainage Management Plan. The ponds will also be sized to detain/retain ??? the required water quality volume for the onsite flows in accordance with the City of Rio Rancho current requirements. When the site to the west develops, it will be required to detain its developed flows and be restricted to an allowable discharge as approved by City drainage requirements. The developer ensures that increased stormwater runoff volume from the Scottish Isle development will not overwhelm the downstream SSCAFCA facility, and more analysis will be completed in a future drainage submittal indicating no change of design assumptions as the subdivision plats for Scottish Isle move forward.

Confusing, Multiple?

What existing pond?

And discharge into a detention pond with WQ?

Stonegate Pond? This is not a SSCAFCA facility until SSCAFCA accepts it. This has not happened as of yet.

Overall, confusing paragraph. I think there should be more language on the onsite pond. Also, clarity on the onsite pond vs the Stonegate pond

MRCOG:

No adverse comments.

If you have any additional questions or concerns please feel free to contact me at any time.

Respectfully,

Tim Dvorak

Tim Dvorak
Municipal Planner II
Development Services Department
City of Rio Rancho
(505) 896-8361
tdvorak@rrnm.gov



February 24, 2023

RE: New Master Plan #22-400-00005 Scottish Isle Master Plan; Zone Map Amendment #22-100-00027 R-1: Single-Family Residential District to R-2: Single-Family Residential District (approx. 22.4 acres)

Dear Property Owner:

You are receiving this notice because your property abuts a site where a land development decision is required by the Planning and Zoning Board and Governing Body.

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of two separate requests:

Proposed Master Plan: Scottish Isle Master Plan, comprised of the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62 (approx. 22.4 acres).

Zone Map Amendment: from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties legally described as Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62. These properties consist of approximately 22.4 acres.

The Planning and Zoning Board will consider these requests at a public hearing on **Tuesday, March 14, 2023** starting at 6:00 pm in the **Council Chambers of City Hall, located at 3200 Civic Center Circle**. Subsequently, the Governing Body will consider these requests at a public hearing on **Thursday, March 23, 2023** starting at 6:00 pm in the **Council Chambers of City Hall, located at 3200 Civic Center Circle**. If you would like to comment on these applications, you are encouraged to send in comments in writing to tdvorak@rrnm.gov, which will be presented to the respective body (Planning and Zoning Board and/or Governing Body). Both the Planning and Zoning Board meeting and Governing Body meeting will be hybrid with options to participate virtually or in person (**Please note the separate Zoom links**). The City highly encourages citizens to watch the meeting live on the City's website www.rrnm.gov or on Sparklight cable channel 56.

For the **Planning and Zoning Board meeting**, to participate virtually: Join via computer:
<https://us06web.zoom.us/j/85180741871?pwd=T3BISHVpWkp6d3dDRmlHd3k2VzYvUT09>
Meeting ID: 851 8074 1871 Passcode: 026819 Join via phone: 1-253-215-8782 US

For the **Governing Body meeting**, to participate virtually: Join via computer:
<https://us06web.zoom.us/j/85302353741?pwd=bWp1QXliSGJoeHhJaGV0czF4MDN0UT09>
Meeting ID: 853 0235 3741 Passcode: 789419 Join via phone: 1-346-248-7799 US

Please do not hesitate to contact me at 505-896-8361 or e-mail me at tdvorak@rrnm.gov if you have any questions about the application or accessing the meeting. The agenda for this hearing and related staff reports will be posted on the City's website, www.rrnm.gov, approximately one week before the hearing.

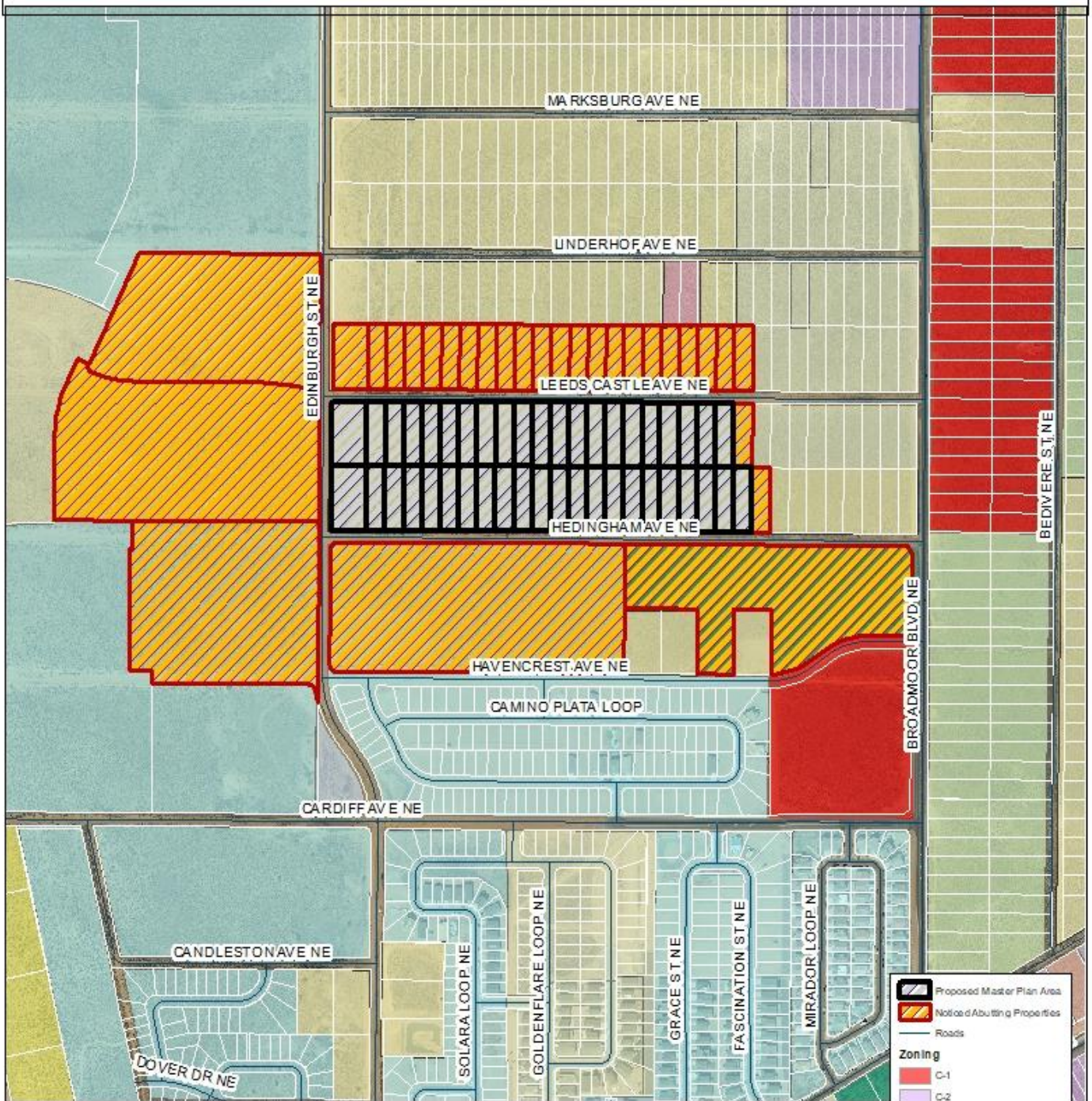
If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the City Clerk, 505-891-5004, as soon as possible prior to the meeting. Public documents including the agenda and minutes can be provided in various accessible formats. Please contact the City Clerk if a summary or other type of accessible format is needed.

Respectfully,

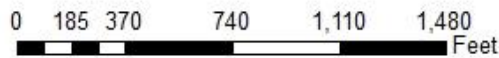
Tim Dvorak

Tim Dvorak
Municipal Planner II
Development Services Department
Planning Division
City of Rio Rancho

SCOTTISH ISLE MASTER PLAN NEW MASTER PLAN & ZONE MAP AMENDMENT



	Proposed Master Plan Area
	Notice of Abutting Properties
	Roads
Zoning	
	C-1
	C-2
	NC
	D-1
	PR
	R-1
	R-2
	R-3
	R-4
	R-6
	SU
	Unzoned



Map Created by Tim Dvorak on 2/23/2023



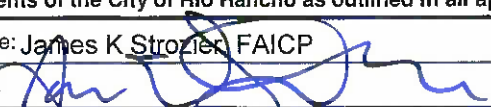
DISCLAIMER: All information in this map is provided "as is" without warranty or any representation of accuracy, timeliness, or completeness. This map is not a survey and should be used for graphical purposes only.

PLANNING & ZONING LAND USE APPLICATION

Please check appropriate box

(Fees are listed on the back)

Administrative Permit	Plan	Subdivision	Zoning
<input type="checkbox"/> Community Residential Care Facility	<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Annexation
<input type="checkbox"/> Development Review Committee (DRC)	<input type="checkbox"/> Corridor Plan Amendment	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Appeal
<input type="checkbox"/> Home Occupation	<input checked="" type="checkbox"/> Master Plan	<input type="checkbox"/> Summary Plat	<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> Model Home / Sales Office	<input type="checkbox"/> Master Plan Amendment	<input type="checkbox"/> Vacation of Plat	<input type="checkbox"/> Master Sign Plan
<input type="checkbox"/> Residential Child Care Facility 6 or <	<input type="checkbox"/> Specific Area Plan Amendment	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Sign Permit	<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Subdivision Interpretation	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Other		<input type="checkbox"/> Subdivision Variance	<input type="checkbox"/> Variance
			<input checked="" type="checkbox"/> Zone Map Amendment
			<input type="checkbox"/> Zoning Certification
			<input type="checkbox"/> Zoning Interpretation

Please Print In Ink Only or Type Application must be complete. Please attach the appropriate checklist for the action you are requesting, if applicable.			
APPLICANT/AGENT INFORMATION			
Applicant Name: Abrazo Homes, Inc.		Phone:	
Address: 9798 Coors Blvd NW, Suite 400		E-Mail:	
City: Albuquerque	State: NM	Zip: 87114	
Proprietary Interest:	List Owners:		
Deed or Ownership Verification Provided: (Initials) See attached		Letter of Authorization Provided: (Initials) See attached	
Agent Name: Consensus Planning, Inc.		Phone: 505-764-9801	
Address: 302 8th Street NW		E-Mail: lampo@consensusplanning.com	
City: Albuquerque	State: NM	ZIP Code: 87102	
DESCRIPTION OF REQUEST: (PLEASE ADD ADDITIONAL SHEET(S) IF NECESSARY)			
Request for a new Master Plan and a Zone Map Amendment on subject property legally described as Rio Rancho Estates Unit 13, Block 45,			
Lots 1 - 21 and 41 - 62			
SITE INFORMATION: (PLEASE PROVIDE ACCURATE LEGAL DESCRIPTION)			
Subdivision/Unit : Unit 13	Block(s): 45	Lot(s): 1 - 21 & 41 - 62	
Existing Zoning: R-1: Single-family Residential	Proposed Zoning: R-2: Single-family Residential		
No. of existing lots: 43	No. of proposed lots: 43	Total area of site (acres) 22.4	
ACKNOWLEDGEMENT			
I hereby acknowledge that I have read this entire application and affirm that all information provided is correct. I agree to comply with the requirements of the City of Rio Rancho as outlined in all applicable laws, ordinances and regulations.			
Print Name: James K. Strozien, FAICP	Applicant:	Agent: Consensus Planning, Inc.	
Signature: 		Date: 11/15/2022	
FOR OFFICIAL USE ONLY			
H.T.E. PROJECT #	FEE	RECEIPT #	
APPLICATION ACCEPTED BY: _____		DATE: _____	



November 15, 2022

Fred Radosevich, Chairman
Planning and Zoning Board
City of Rio Rancho
3200 Civic Center Circle NE
Rio Rancho, NM 87144

Landscape Architecture
Urban Design
Planning Services

Re: New Master Plan and Zone Map Amendment Request for Unit 13, Block 45, Lots 1-21 and 41-62

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to provide justification for a request for approval of the proposed Scottish Isle Master Plan, as well as a Zone Map Amendment that will allow for the additional residential uses.

The proposed Master Plan and requested Zone Map Amendments are for a vacant property that consists of approximately 22.4 acres located near the northeast corner of Edinburgh Street NE and Hedingham Avenue NE.

The legal description for the properties included within the Scottish Isle Master Plan and zoning action include Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

Subject Property Location



PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



OWNERSHIP

The subject property is owned by Abrazo Homes. The property owner has signed a letter (included in the application packet) authorizing these requests, and authorizing Consensus Planning, Inc. to act as the Agent representing the project.

MASTER PLAN REQUEST

A request is being made for the new Scottish Isle Master Plan, which has a stated objective of designating the land use and preferred zoning for the site, providing urban design standards, implementing the City of Rio Rancho Comprehensive Plan, and integrating land use, transportation, drainage, and utility planning into a comprehensive development plan for the property. The proposed Master Plan includes the following chapters:

Existing Conditions

The Existing Conditions chapter discusses existing transportation, nearby educational and activity centers, natural features, and antiquated platting in the area. Surrounding Master Plans and large subdivisions are discussed, and a map of each has been provided to illustrate the location of Scottish Isle among the many developments of the Edinburgh Basin. Existing zoning and land use is discussed, and maps are provided for both.

Land Use and Zoning

The proposed land use and zoning for the subject property are discussed within this chapter, as well as the location of a proposed private park and pond. A conceptual layout for the development is provided on page 9. In addition, the Corridor Overlay Zone that affects the subject property is discussed.

Conformance to City of Rio Rancho Plans and Policies

This chapter discusses how the Scottish Isle Master Plan adheres to, promotes, or furthers goals and policies within the Land Use, Population and Housing, Transportation, Urban Design, and Antiquated Platting chapters of the City of Rio Rancho Comprehensive Plan. This chapter also discusses the adherence of the Scottish Isle Master Plan to the Land Use, Community Facilities, and Utilities chapters of the Lomas Negras Specific Area Plan.

Transportation

The Transportation chapter discusses how the new residential development will connect with the surrounding subdivisions, most of which are currently under construction. A conceptual cross section of Leeds Castle Avenue NE is provided on page 14, and a conceptual paving/transportation plan is provided on page 15 of the document.

Utilities

The Utilities chapter discusses the water and sanitary sewer connections needed for the new development. A conceptual utilities plan is provided on page 17 of the document.



Grading and Drainage

This chapter discusses the existing and developed conditions, as well as the lack of FEMA 100-year floodplain designation within the master plan area. A conceptual grading and drainage plan showing the proposed detention pond is provided on page 19 of the document.

Design Standards

To ensure cohesiveness, the Design Standards chapter includes specific requirements for development within the master plan area, including those related to site design, architecture, lighting, landscape and streetscape, and site utilities.

ZONE MAP AMENDMENT REQUEST

This Zone Map Amendment request is to change the zoning on 22.4 acres from R-1: Single-family Residential to R-2: Single-family Residential to allow for a medium density community consisting of 118 single-family residences. This request for R-2: Single-family Residential is for the properties legally described as Unit 13, Block 45, Lots 1 – 21 and Lots 41 - 62. It is anticipated that as part of the implementation of the development, a plat that subdivides the existing parcels will be prepared.

The proposed Zone Map Amendment for R-2: Single-family Residential will enable a housing density of approximately 5 dwelling units per acre for a total of 118 dwelling units. All units will have a maximum height of 32 feet and will be set back approximately 15' from the edge of curb. Easements for utilities will be delineated and dedicated as part of the platting process. Parking will be in accordance with the City's requirements for single-family residential.

SITE BACKGROUND

The property subject to these requests for a new Master Plan and Zone Map Amendment consists of 43 lots, which were annexed by the City of Rio Rancho in 1995, and total approximately 22.4 acres. The site has remained vacant since its annexation.

The Edinburgh Basin area is experiencing rapid growth in single-family development, with several Master Planned areas and subdivisions currently under construction. The area surrounding the subject property is positioned to welcome a diverse mix of development, with a wide range of zoning districts nearby, allowing low to high density residential, office, commercial, and mixed-use developments.

The final phases of Solcito were approved in 2021, and construction is nearly complete. Grading work is currently underway for Stonegate to the west and Tierra del Norte to the east. Milagro Mesa and Mirador del Sol are nearing completion to the south. Large portions of the Tierra del Oro Plan have been completed, or have begun construction. Utilities were recently extended to the subject property via Edinburgh Street, from Cardiff Avenue to the northern portion of Tierra del Oro.

Multiple views of subject property

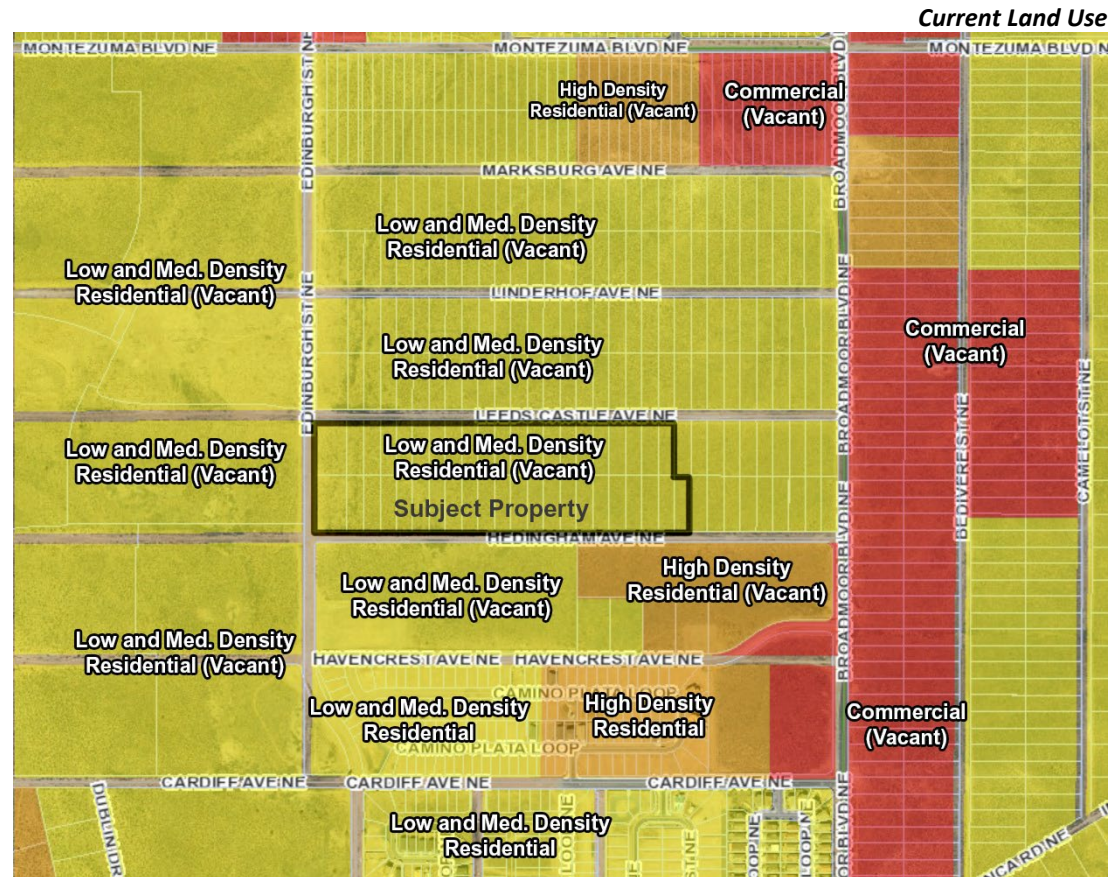


EXISTING ZONING & LAND USE

The subject property is currently vacant and surrounded by a variety of underlying residential land uses, mostly governed by the numerous approved Master Plans in the area, including Stonegate, Tierra del Oro, Tierra del Norte, Solcito, and Melon Ridge. The subject property is located within the Lomas Negras Specific Area Plan, which was adopted by the City of Rio Rancho Governing Body in 2008, and most recently amended in 2011. The current R-1: Single-family Residential zoning found on the property was adopted by the Governing Body in 2008 as Ordinance No. 57, Enactment No. 08-58. In addition, portion of the site is covered by a Corridor Overlay Zone, which established additional design guidelines and access management standards, and was adopted by the Governing Body in 2008. The Master Plan ensures compliance with the Overlay Zone.

TABLE 1. SURROUNDING ZONING & LAND USE		
	ZONING	LAND USE
NORTH	R-1: Single-Family Residential	Low Density Residential (Vacant)
EAST	R-1: Single-Family Residential and R-2: Single-Family Residential	Low/Medium Density Residential (vacant and under construction)
SOUTH	R-4: Single-Family Residential and SU: Special Use for R-6/CCRC	Medium to High Density Residential (under construction)
WEST	R-3: Mixed Residential and R-4: Single-Family Residential	Medium to High Density Residential (under construction)

Tierra del Oro, to the south of the subject property, contains parcels zoned R-4: Single-family Residential, as well as SU: Special Use for R-6 uses. Stonegate, to the west, contains parcels zoned R-3: Mixed Residential, as well as R-4: Single-family Residential. Parcels to the north, which are not yet governed by a Master Plan, are zoned R-1: Single-family Residential. Tierra del Norte, to the northeast and east of the subject property, contains parcels zoned R-2: Single-family Residential.



The subject property, and most of the directly adjacent land that surrounds the site to the north, south, east, and west is currently vacant low and medium density residential. However, as previously mentioned in this letter, a large percentage of the land within the Edinburgh Basin is currently under construction. Grading work has begun in both Tierra del Norte and Stonegate, and a portion of Tierra del Oro below Havencrest Avenue is under construction.

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ZONE MAP AMENDMENT POLICY COMPLIANCE

(D) The following policies for deciding Zone Map Amendments pursuant to the City Zoning Code are as follows:

- 1. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.**

Applicant Response: *The proposed Zone Map Amendment is consistent with the health, safety, morals, and general welfare of the city.*

The Applicant is proposing a medium-density single-family development that will bring new residents to an optimal location near the Northern Boulevard commercial corridor, educational facilities, existing infrastructure. The proposed zoning for the subject property will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995 and will further the intent of the Lomas Negras Specific Area Plan. The proposed zoning is complementary to the adjacent zoning and land uses and will promote the general welfare of the City by meeting the demand for new, high-quality, accessible housing within Rio Rancho.

- 2. Stability of land use and zoning is desirable; therefore, the Applicant must provide a sound justification for the change. The burden is on the Applicant to show why the change should be made, not on the City to show why the change should not be made.**

Applicant Response: *The Zone Map Amendment to R-2: Single-family Residential will have a positive effect on the stability of land use and zoning. The Applicant proposes that rezoning the site to R-2: Single-family Residential is the highest and best use, as it will enable the development of vacant land into a quality single-family neighborhood that utilizes existing infrastructure, is harmonious with surrounding developments, and will complement existing and proposed uses. The development will provide needed housing, in a desirable location in the Edinburgh Basin. The development will foster the criterion of distinct and complete neighborhoods that support a mixture of housing types and densities and community amenities. In addition, the Zone Map Amendment furthers numerous goals within the Comprehensive Plan and Lomas Negras Specific Area Plan, as discussed below.*

This portion intentionally left blank.

3. A proposed change shall generally be consistent with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

***Applicant Response:** The Zone Map Amendment furthers multiple goals and policies as contained in the City of Rio Rancho Comprehensive Plan as follows:*

LAND USE ELEMENT GOAL 2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

LAND USE ELEMENT GOAL 3: Maintain a balance of land uses throughout the City.

LAND USE ELEMENT POLICY 1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.

***Applicant Response:** The proposed amendments will enable the creation of a medium-density community, which will be harmonious with the surrounding developments. This development involves the consolidation of several lots, and the incorporation of those lots to a new Master Plan, thus satisfying Land Use Goal 2 and Policy 1. The additional medium density residential uses will help to balance the low-density residential uses which dominate the City. The proposed Master Plan establishes a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design. These developments will help to address a clear need for residential uses and housing stock within the city. The Master Plan envisions that the neighborhood will have unifying design elements, such as building colors and materials, setbacks, and attractive landscaping throughout. All design standards established within the Master Plan will be adhered to for the development.*

POPULATION AND HOUSING ELEMENT GOAL 2: Maintain the strength, vitality, and stability of all residential neighborhoods and types.

POPULATION AND HOUSING ELEMENT GOAL 3: Promote a variety of housing types to meet the needs of all members of the community.

POPULATION AND HOUSING ELEMENT GOAL 4: To ensure that single-family and multi-family residential neighborhoods provide an attractive living environment.

***Applicant Response:** The proposed amendment will maintain the strength, vitality, and stability of the residential areas within the Edinburgh Basin. This amendment will enable a development that harmoniously blends in with the variety of low, medium, and high-density single and multi-family residential uses within the Edinburgh Basin. This development will be attractively designed, in accordance with the regulations promulgated by the proposed Master Plan, the Lomas Negras Specific Area Plan, and additional City policies.*



POPULATION AND HOUSING ELEMENT POLICY 5: Encourage mixed-use and mixed-income housing opportunities in designated growth nodes throughout the city.

POPULATION AND HOUSING ELEMENT POLICY 7: Support residential developments with appropriate amenities for families with children.

Applicant Response: This development will be an attractive neighborhood of single-family residences with amenities for a variety of households, including those with children. As discussed within the proposed Master Plan, Leeds Castle Avenue will be constructed to contain a multi-use path, which will connect to the trail constructed by Tierra del Norte and Stonegate, to provide pedestrian and bicycle access to existing or proposed trails along Cardiff Avenue and Broadmoor Boulevard. The proposed development is in very close proximity to several existing and future community assets. Although not within a designated growth node, this development provides housing opportunities within very close proximity to three designated development nodes along the Northern Boulevard commercial corridor. The future residents will be served by the nearby Ernest Stapleton Elementary School, Eagle Ridge Middle School, Loma Colorado Main Library, Rio Rancho Aquatic Center, McDermott Athletic Center, and existing or envisioned commercial retail and services located on Northern Boulevard, Unser Boulevard, Broadmoor Boulevard, and Idalia Road.

TRANSPORTATION ELEMENT GOAL 1: Encourage development that effectively mixes land uses to create an efficient transportation system that reduces congestion, improves air quality and creates opportunities to build Rio Rancho's Economy.

Applicant Response: These developments will effectively mix land uses within the Edinburgh Basin by adding an additional medium-density residential use to the surrounding commercial, office, and low, medium, and high-density residential uses. The developments are strategically placed near Idalia Road, Broadmoor Boulevard, Unser Boulevard, and Northern Boulevard to provide residents with access to nearby employment opportunities, shopping, and recreational amenities.

URBAN DESIGN ELEMENT GOAL 2: Create traditional neighborhood patterns that support a sense of place.

Applicant Response: The Applicant is proposing a development that fosters a sense of place through distinct design and landscaping elements, in accordance with the requirements proposed within the Scottish Isle Master Plan. The developments will be in close proximity to existing and envisioned retail, employment, and recreational opportunities, and will seamlessly blend with the surrounding residential uses.

URBAN DESIGN ELEMENT GOAL 6: Support development that links neighborhoods and encourages the use of all modes of transportation.

Applicant Response: The proposed Zone Map Amendments will facilitate the development of neighborhoods that are linked together via a system of proposed multi-use trails along Leeds Castle Avenue, as discussed within both the Stonegate and Tierra del Norte Master Plans. Multi-modal transportation is further supported, as this development accommodates walking, biking, and vehicles by way of Broadmoor Boulevard NE, a minor arterial. This amendment will enable a medium density single-family development that is complementary to nearby neighborhoods within the Edinburgh Basin area. Residents will have easy bicycle or pedestrian access to the bikeways on Broadmoor Boulevard, Northern Boulevard, Edinburgh Street, and Cardiff Avenue.

LOMAS NEGRAS SPECIFIC AREA PLAN COMPLIANCE

Land Use Goal 1: Promote a variety of housing choices including low- and medium-density single family residential uses and high-density multi-family residential uses.

Applicant Response: The proposed Zone Map Amendment will provide for medium density, single-family residential development that is harmonious with the surrounding low, medium, and high-density developments.

Land Use Goal 2: Encourage mixed uses – retail, office, residential, and community uses – pedestrian oriented and clustered around corridors and activity centers.

Land Use Objective: Develop land use categories which allow for choice of a variety of zoning districts and which mitigate impacts on surrounding uses through design standards.

Applicant Response: The proposed Zone Map Amendment will allow a medium density, single-family residential development strategically placed near existing and envisioned activity centers, and will provide for pedestrian and bicycle access to a system of planned multi-use trails.

Transportation Goal 1: Assure safe and convenient multi-modal roadways to well-connected residences, businesses, offices, schools, and other facilities.

Applicant Response: The proposed Zone Map Amendment will be well connected to multi-modal roadways leading to residential neighborhoods, businesses, offices, schools, and other facilities. The proposed Master Plan includes a conceptual cross-section of Leeds Castle Avenue that includes an 8-foot-wide multi-use path.

Urban Design Goal 1: Create neighborhood centers and corridors within walking distance of residences and with a balance of retail, office, and multi-family uses.

Applicant Response: The proposed Zone Map Amendment will allow for new housing that is within walking distance to a balance of retail, office, and multi-family uses.



Utilities Goal 1: Assure that urban uses have full utilities, both community water and sewer provided to all new development in the Plan area.

Applicant Response: The proposed Zone Map Amendment will allow for development located near existing sewer and water lines.

Community Facilities Goal 1: Create open space, parkland, trails and other recreation amenities to serve the Plan area.

Applicant Response: The proposed Zone Map Amendments will enable a new single-family neighborhood that contains a pocket park near the center of the development to serve resident's needs.

The Applicant must demonstrate the existing zoning is inappropriate because:

- a) there was an error, mistake or is necessary to correct an injustice that occurred when the existing zone map pattern was created, antiquated plat filed before the City's incorporation and adoption of its own Zoning Code or on land annexed by the City or
- b) changed neighborhood or community conditions justify the change, or
- c) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) or (2) above do not apply. Applicant's reliance on this provision requires proof that (a) there is a public need for a change of the kind in question, and (b) that need will be best served by changing the classification of the particular piece of property in question as compared with other available property.

Applicant Response: In this case, Criterion B and C should apply. Housing needs have changed drastically in the City of Rio Rancho in recent years, and the proposed Zone Map Amendment will serve to further the vision of the Lomas Negras Specific Area Plan and increase the viability of the nearby commercial and office uses by adding additional residents.

The proposed Zone Map Amendment to R-2: Single-family Residential is more advantageous to the community for several reasons, as previously discussed in this letter. The Zone Map Amendment facilitates the development of land that has remained vacant since its annexation, while complementing the adjacent low, medium, and high-density residential uses, as well as the commercial and office uses nearby.

The proposed R-2: Single-family Residential will meet the stated land use objective of providing for higher density residential within the Lomas Negras Specific Area Plan. A different use category, as expressed by the City's Comprehensive and SAP plan goals and polices, other than low-density single-family residential, is more advantageous to the community.

The developments will help to meet the demand for high quality housing within the City of Rio Rancho and will facilitate an alternative means for new residential growth in the area. This is the most optimal location for medium-density housing given the subject property's location near existing infrastructure, potential employment centers, and several activity nodes.

This Zone Map Amendment presents an opportunity for the vision of higher density development to occur while still preserving the character of the nearby neighborhoods. The proposed Zone Map Amendment is more advantageous to the community as they further many goals of the Comprehensive Plan and Lomas Negras Specific Area Plan, as described above. The proposed uses complement the existing and developing medium-density residential and commercial land uses with new medium-density single-family residences.

(E) The cost of land or other economic considerations pertaining to the Applicant shall not be the determining factor for a change of zone.

Applicant Response: The cost of land or other economic considerations are not the determining factor behind this request. Rather, the Applicant is proposing a zone change that is consistent with the surrounding zoning while adding diversity to the City of Rio Rancho housing stock in order to balance land uses throughout the City, and to continue to grow its tax base.

(F) Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

***Applicant Response:** These requests are not based on the subject property's location next to a collector or major street. Rather, the basis for this request is that the proposed zoning is more compatible than the current zoning for the subject property. The proposed Master Plan and Zone Map Amendment will serve as an extension of the single-family character of the area, and further various goals and policies of the Comprehensive Plan. The proposed ZMA provides the necessary mechanisms to stabilize this part of Rio Rancho for residential uses and provide the volume of housing to meet demand for those wishing to locate within Edinburgh Basin.*

(G) A zone change request which will give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

1. the change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan;

Or



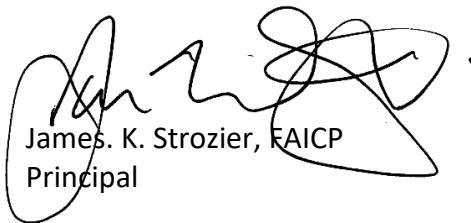
2. the area of the proposed zone change is different from surrounding land because it will function as a transition between adjacent zones; because the subject property is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of the structures already on the premises makes the subject property unsuitable for the uses allowed in any adjacent zone.

***Applicant Response:** This request is not a spot zone. Parcels to the east and north of the subject property are zoned for Single-family Residential (including R-2). In addition, the proposing zoning is similar in scope and function to the surrounding low and medium density uses. The proposed Zone Map Amendment clearly facilitates the realization of the Comprehensive Plan and Lomas Negras Specific Area Plan. This development will locate new residents near activity nodes and existing infrastructure. The zone change will ensure productive use of land that has remained undeveloped since its annexation into the City of Rio Rancho in 1995.*

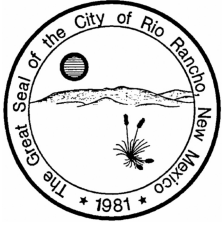
CONCLUSION

We respectfully request that the Rio Rancho Planning and Zoning Board recommend approval of the proposed Master Plan and the Zone Map Amendment request for R-2: Single-family Residential. We believe this use furthers the vision for land use within the Edinburgh Basin, and promotes several goals and policies found within the Comprehensive Plan and Lomas Negras Specific Area Plan, while helping to meet a documented housing need, and balancing the low-density single-family dominated landscape with worthy and needed medium density single-family uses.

Sincerely,



James. K. Strozier, FAICP
Principal



CITY OF RIO RANCHO COVER PAGE

Legislation Item: 23-410-00002

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
Specific Area Plan Amendment. The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of an amendment to the Northern Unser Specific Area Plan to change the Proposed Land Use Map. Staff contact is Brian Babyak, and staff recommends approval with findings.

BACKGROUND AND ANALYSIS:

The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of an amendment to the Northern Unser Specific Area Plan to change the Proposed Land Use Map. A proposed Zone Map Amendment to change the zoning of Unit 13, Block 58, Tract B & Lots 4 thru 6 and Unit 13, Block EE Lots 18 thru 20 is being heard concurrently under case #23-100-00001.

Documents and attachments for this item can be found under the item for Zone Map Amendment request #23-100-00001.

This proposed Specific Area Plan Amendment is updating "Map 2. Proposed Land Use" in the Northern Under Specific Area Plan to allow for compliance of the proposed Zone Map Amendment. The amendment requests the proposed Land Use be amended from "Mixed Use" to "Community Commercial" for the area legally described as Unit 13, Block 58, Lots 2-6, Tract B and Unit 13, Lots 3A-22. This area is bounded by Painted Sage Ave NE to the north, Autumn Sage Ave NE to the south, Unser Blvd NE to the west, and Calor Rd NE to the east.

REVIEW CRITERIA:

The City's Comprehensive Plan states that "the City will rely on the development of Specific Area Plans and Master Plans for identifying a specific land use at the parcel-level. Specific Area Plans and Master Plans are a part of the Land Use Element and are used as a statement of policy to guide land use decision making by the Governing Body."

The City's Comprehensive Plan further outlines the type of material expected to be included in a Specific Area Plan or Master Plan. Staff has used the list as the guiding policy on whether the amendments fit with Specific Area Plans in general. Staff finds that the proposed amendment fits into the development goals and intent of the Northern Unser Specific Area Plan (NUSAP), as well as the City's Comprehensive Plan.

The applicant's justification letter states: "The NUSAP has this entire Block designated as MIXED USE. The MU designation was assigned even after a number of spot zonings on this Block were

changed to C-1. The MU designation no longer achieves the goals of the NUSAP. Also, three popular anchor businesses on the northeast corner of the Northern Blvd. and Unser Blvd. intersection have emerged, which lends the area to more commercial development over MU. Additionally, the designation of this area as a Development Node strengthens the argument that the original NUSAP should change the planned usage of this Block from MU to C-1. The MU designation would still apply to two Blocks north of the Block referred to herein (see Figure 3 below)."

Staff recommends the Planning and Zoning Board find that the proposed amendment to the Proposed Land Use Map in the NUSAP meets the intent of the Specific Area Plan by enabling further community commercial development along a major arterial road in the City (Unser Boulevard) and by allowing for a more consistent zoning designation that may ease the constraints of antiquated platting in the area and spur development as a result.

The NUSAP states: "Recent development activity in the planning area for rezoning of land has established a need to develop a land use plan that will address the needs of residents living in the planning area and potential business developments along arterial roads", a vision which the proposed amendment will address. Additionally, under the Proposed Land Use section of the NUSAP, the following goals and vision as they relate to the Comprehensive Plan are listed (pgs 12-13):

- Integrating mixed uses into a single structure with retail on lower level and office and residential on upper levels
- Evaluating future development based on the ability to integrate dissimilar uses by utilizing buffering, scale, and design elements
- Expanding the City's gross receipts tax base by recruiting additional local retail and office uses
- Making Rio Rancho a place where one can live, work, shop, and play without leaving the city.

Staff recommends that the Planning and Zoning Board find that the proposed amendment accomplishes these goals by allowing for a more consistent zoning designation in an area of land with mixed and incompatible zoning designations. Currently, the subject property for the Specific Area Plan Amendment has a mix of C-1: Retail Commercial, NC: Neighborhood Commercial, and R-1: Single-Family Residential zoning designations with an underlying "Mixed Use" Proposed Land Use. The NUSAP only permits "MU-A: Mixed Use Activity Center" zoning in this area (pg 14 of NUSAP), and with parcels already established under commercial zoning, it is doubtful that the vision of a mixed-use activity center can be achieved for this area. Additionally, under City Code Section 154.24, the C-1: Retail Commercial Zoning District allows for multi-family residences above the first floor of commercial developments. This type of development would be similar to the MU-A zoning district, accomplishing this goal of the plan while preserving the possibility for mixed-use development in this area.

In the "Proposed Land Use Map" in the NUSAP, the area in the southwest corner of the intersection of Northern Blvd NE and Unser Blvd NE is designated as Community Commercial (Map 2 in Appendices). Staff recommends the Planning and Zoning Board find that this proposed Community Commercial area currently has single-family residential developments on E-1: Estate Residential zoned properties, and full realization of the proposed land use under the NUSAP cannot be accomplished. This has resulted in the potential loss of a significant portion of Community Commercial under the NUSAP, and the proposed amendment to the Specific Area Plan seeks to increase the area of Community Commercial under the plan suitable for a zone map amendment and subsequent development of C-1: Retail Commercial properties.

Staff recommends the Planning and Zoning Board find that the proposed amendment to the NUSAP meets the goals and elements of the City Comprehensive Plan by encouraging mixed use, retail, and office uses centered on pedestrian oriented developments along principal arterial roads,

encouraging consolidation of lots to promote a variety of land uses in a planned manner, and by promoting and supporting neighborhood scale retail activities that are consistent with residential development.

SITE ANALYSIS: The Northern Unser Specific Area Plan was adopted April 28, 2010 under Resolution No. 37, Enactment No. 10-041. The area encompasses an area of approximately 1,472 acres and is bounded by Idalia Road, Abrazo Road, 10th Street, 8th Street, Pine Road, 23rd Avenue, and the east edge of the Los Montoyas Arroyo. The NUSAP details a variety of residential and nonresidential land uses within the plan area on pages 12-15.

The subject property for the proposed amendment is bounded by Painted Sage Ave NE to the north, Autumn Sage Ave NE to the south, Unser Blvd NE to the west, and Calor Rd NE to the east. The subject property is located approximately 600 ft north of Northern Blvd NE.

LAND USE: The subject property being amended in the Specific Area Plan currently has a Mixed Use land use in the Northern Unser Specific Area Plan (Map 2) and a "Commercial (Neighborhood, Community), Mixed-Use, Office" Land Use in the Generalized Land Use Map, Map L-2 in the City Comprehensive Plan. The proposed amendment would update the Specific Area Plan to reflect a "Community Commercial" land use and the GLUM, Map L-2 would remain the same.

GRADING AND DRAINAGE: No proposed changes.

CIRCULATION: No proposed changes.

PHASING AND FINANCING: No proposed changes.

DESIGN STANDARDS: No proposed changes.

NOTIFICATIONS:

Notifications were sent to affected property owners via certified letter, return receipt requested in conjunction with the Zone Map Amendment request. A legal advertisement was placed in the February 27 edition of the Albuquerque Journal. A sign was posted on the property one week prior to the hearing. All legal notification requirements have been met.

INTERDEPARTMENTAL/INTERAGENCY REVIEW:

See comments listed for Zone Map Amendment case #22-100-00001.

IMPACT:

The Development Services Department recommends that the Planning and Zoning Board recommend approval of the request to the Governing Body for an amendment to the Northern Unser Specific Area Plan subject to the findings below:

General Findings of Fact:

1. The Planning and Zoning Board may make a recommendation to the Governing Body on the applicant's request for an amendment to the Northern Unser Specific Area Plan.
2. The applicant has the authority to make an application to request an amendment to the Northern Unser Specific Area Plan.
3. The applicant and adjacent property owners received due process, as proper notice and an opportunity to present views was given.

Specific Findings of Fact for Approval:

1. The proposed amendment to the Proposed Land Use Map in the Northern Unser Specific Area Plan does not adversely affect the community character of the area under the Specific Area Plan.

2. The proposed amendment to the Proposed Land Use Map in the Northern Unser Specific Area Plan furthers goals and elements of the Area Plan and the Comprehensive Plan by enabling Community Commercial development along an arterial road and expanding properties for additional local and retail uses.
3. The proposed amendment allows for the current mixed-use land use type while expanding the permissive uses and zoning districts for the subject property.

If the Board finds that the proposed master plan amendment is not justified, the denial may be based on the following specific findings:

1. The proposed amendment adversely affects the community character of the area within the Northern Unser Specific Area Plan.

ALTERNATIVES:

1. The Planning and Zoning Board may recommend approval of the request to the Governing Body;
2. The Planning and Zoning Board may recommend denial of the request to the Governing Body;
3. The Planning and Zoning Board may modify the request and recommend the Governing Body approve such modifications;
4. The Planning and Zoning Board may continue the public hearing to request additional information or to consider testimony provided at the public hearing.

DEPARTMENT RECOMMENDATION:

The Development Services Department recommends the Planning and Zoning Board recommend approval of the Specific Area Plan Amendment to the Governing Body.

ATTACHMENT: [Draft_Resolution.docx](#)

ATTACHMENT: [Northern-Unser SAP Current Proposed Land Use Map](#)

ATTACHMENT: [Exhibit A - Amended Proposed Land Use Map, Map 2](#)



**CITY OF RIO RANCHO
RESOLUTION**

RESOLUTION NO.

ENACTMENT NO.

**RESOLUTION AMENDING THE NORTHERN UNSER SPECIFIC AREA PLAN TO
UPDATE THE PROPOSED LAND USE MAP**

WHEREAS: the State of New Mexico has granted the City of Rio Rancho the power, authority, jurisdiction and duty to enforce and carry out the provisions of law relating to planning, platting, zoning, and the power to adopt, amend, extend and carry out a general municipal or master plan which may be referred to as the general or master plan, all pursuant to 3-19-1, NMSA, 1978; and

WHEREAS: the Governing Body of the City of Rio Rancho has adopted a Comprehensive Plan that addresses and provides for specific goals, policies, and actions; proposes land use throughout the City; provides for adoption of specific area plans for specific areas within the City; and also provides for land use in master planned communities via master plans; and

WHEREAS: the Governing Body of the City of Rio Rancho has adopted a Comprehensive Plan that addresses land use in master planned communities; and

WHEREAS: the Governing Body of the City of Rio Rancho adopted the Northern Unser Specific Area Plan on April 28, 2010 with Resolution No. 37, Enactment No. 10-041; and

WHEREAS: the Planning and Zoning Board of the City of Rio Rancho reviewed the amendments to the Northern Unser Specific Area Plan at their meeting held on March 14, 2022, and following public hearing recommends approval of those amendments and modifications; and

WHEREAS: the Governing Body of the City of Rio Rancho has reviewed the proposed amendments (Case No. 23-410-00002) to the Northern Unser Specific Area Plan at their meeting held on April 13, 2022, and following public hearing and receipt of the Planning and Zoning Board's report and recommendation, has determined that the amended Plan is in conformance with the City of Rio Rancho Comprehensive Plan.

**NOW THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY
OF RIO RANCHO:**

Section 1. The Governing Body hereby approves and adopts the amendments and modifications to the Northern Unser Specific Area Plan to update the Proposed Land Use Map as shown as Exhibit A to this Resolution.

Section 2. Effective Date:

This Resolution shall take effect immediately upon adoption.

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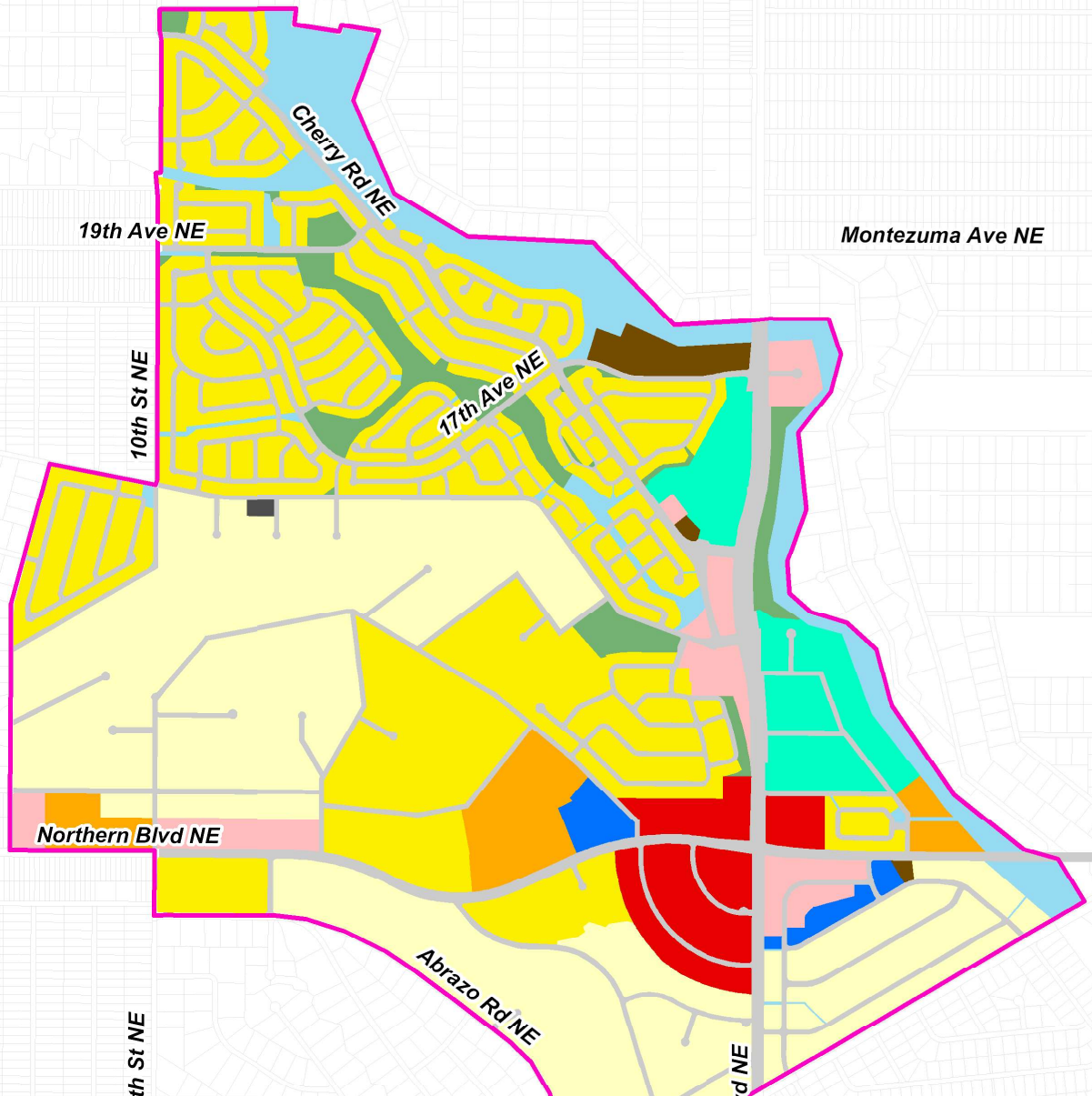
ADOPTED THIS _____ DAY OF _____, 2022.

Greggory D. Hull, Mayor

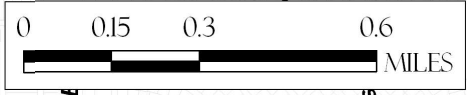
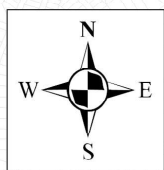
ATTEST:

Rebecca A. Martinez, City Clerk
(SEAL)

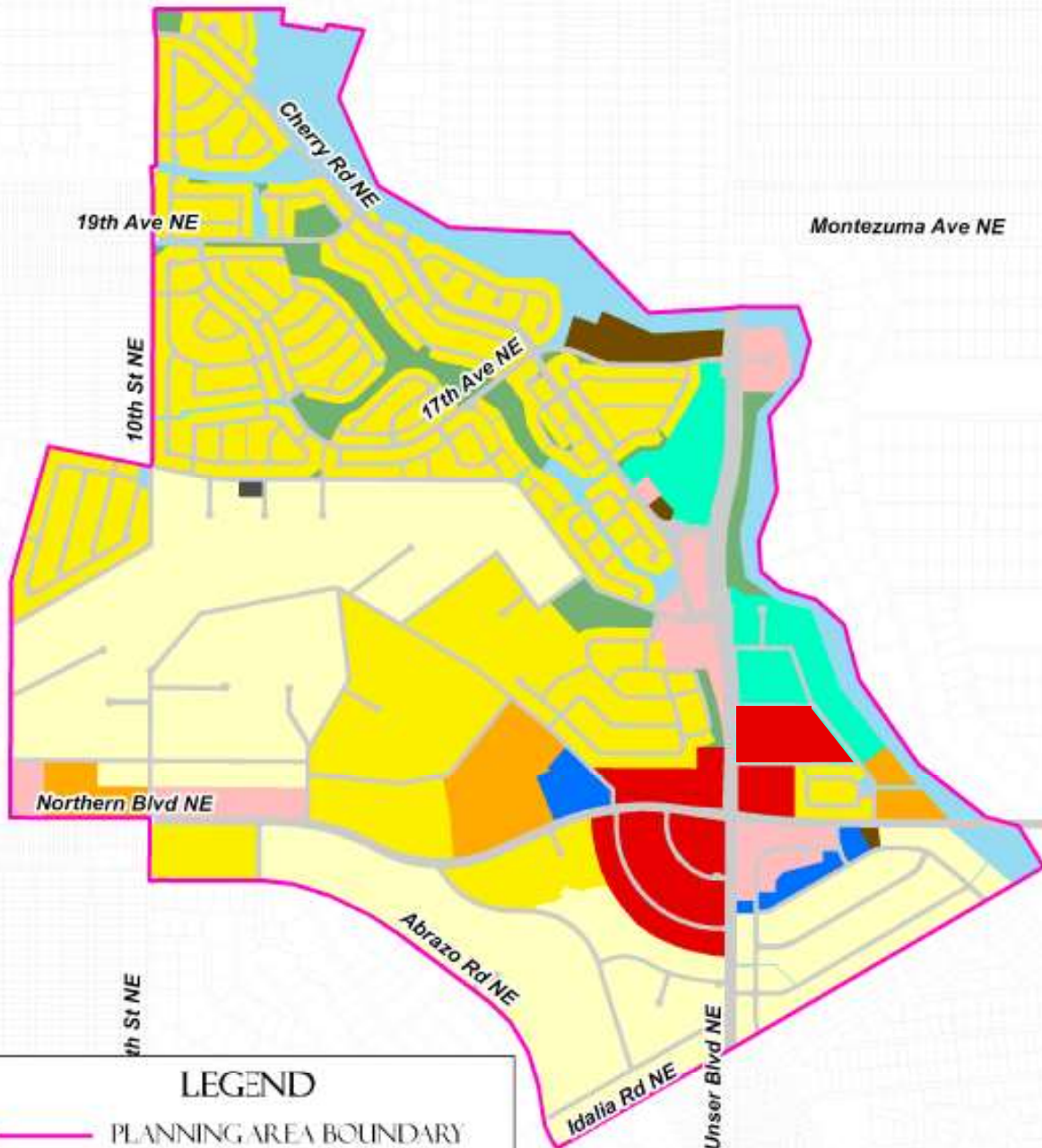
MAP 2. PROPOSED LAND USE



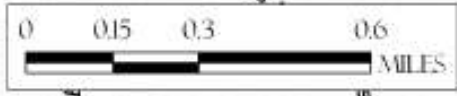
LEGEND	
	PLANNING AREA BOUNDARY
	DRAINAGE
	OPEN SPACE
	LOW-DENSITY RESIDENTIAL
	MEDIUM-DENSITY RESIDENTIAL
	HIGH-DENISTY RESIDENTIAL
	OFFICE
	NEIGHBORHOOD COMMERCIAL
	COMMUNITY COMMERCIAL
	MIXED-USE
	CIVIC
	UTILITY
	RIGHT OF WAY



MAP 2. PROPOSED LAND USE



LEGEND	
	PLANNING AREA BOUNDARY
	DRAINAGE
	OPEN SPACE
	LOW-DENSITY RESIDENTIAL
	MEDIUM-DENSITY RESIDENTIAL
	HIGH-DENSITY RESIDENTIAL
	OFFICE
	NEIGHBORHOOD COMMERCIAL
	COMMUNITY COMMERCIAL
	MIXED-USE
	CIVIC
	UTILITY
	RIGHT OF WAY





CITY OF RIO RANCHO COVER PAGE

**Legislation Item: 23-100-
00001**

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
Zone Map Amendment. The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of a Zone Map Amendment for the property legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District. Staff contact is Brian Babyak, and staff recommends approval with findings.

BACKGROUND AND ANALYSIS:
The applicant, Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, through their agent, Matthew Carle, requests approval of a Zone Map Amendment for the property legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District.

The subject property is 4.3306 acres and is zoned R-1: Single Family Residential and NC: Neighborhood Commercial. Unit 13, Block 58, Tract B, Lots 4-6 are zoned R-1: Single Family Residential under Ordinance No. 70, Enactment No. 97-068; Unit 13, Block EE, Lots 18-20 are zoned NC: Neighborhood Commercial under Ordinance No. 53, Enactment No. 08-53 and Ordinance No. 54, Enactment No. 08-54. The subject property has an underlying land use of "Mixed Use" within the Northern Unser Specific Area Plan, adopted April 28, 2010 under Resolution No. 36, Enactment No. 07-037, and "Commercial (Neighborhood, Community), Mixed-Use, Office" in the Generalized Land Use Map L-2 (GLUM) of the City Comprehensive Plan. Concurrent with this request is a request to amend the Northern Unser Specific Area Plan to update Map 2, Proposed Land Use Map, under case #23-410-00002.

REVIEW CRITERIA:

Rio Rancho Code of Ordinances (R.O. 2003) § 150.07(A) states, "Proposed amendments shall be submitted to the Governing Body through the Planning and Zoning Board."

The zone map amendment application was submitted to the Development Services Department and received on February 20, 2023, for review by the Governing Body through the Planning and Zoning Board. Conforms.

R.O. 2003 § 150.07(B) states "The Board shall study the proposals at a regular meeting or at a special meeting, if necessary, and shall submit its recommendations to the Governing Body. Notice of the application must be posted on the property at least one week prior to consideration of the

application by the Board.”

Proper notice was provided through a sign posted on the property on March 7, 2022. Conforms.

R.O. 2003 § 150.07(D)(1) states: “A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.”

The applicant has submitted a justification letter that states: "A C-1 zoning designation is consistent with the health, safety, morals, and general welfare of the City of Rio Rancho. The opening and operation of businesses will directly benefit the several hundred existing residences in the surrounding residential communities by providing retail products and services, restaurants, medical clinics and similar services, as well as employment opportunities. The ZMA will also support the productive use of land that has otherwise remained unused and undeveloped.

The proposed ZMA provides the opportunity to further the health and welfare of the City by creating the development conditions necessary to construct high quality community commercial development that will meet the needs of existing and future Rio Rancho residents. Additionally, the ZMA will allow the Subject Property to be developed consistent with the surrounding land uses. The C-1 zoning designation would complement the existing and surrounding developed residential and commercial areas by allowing a variety of commercial options and creating an activity center to serve the surrounding community. The proposed ZMA will also maintain the safety and morals of the Rio Rancho community by providing stability and opportunity in an otherwise undeveloped area.

The surrounding area consists of undeveloped raw land, mixed residential, mixed use, and commercial development. The Northern/Unser area is also a Development Node as stated in the Rio Rancho Comprehensive Plan. The comprehensive plan states "In order for a node to function as a vibrant and diverse development, nodes tend to be created with a mixture of land use types...". This zone map amendment would transition from a somewhat limited "mixed use" zoning district to a more varied C-1 district, which allows more flexibility for market driven development as opposed to theoretically driven, and possibly never realized, development."

Staff recommends the Planning and Zoning Board find the proposed zone map amendment to be consistent with the health, safety, morals, and general welfare of the City by establishing a more consistent commercial zoning district across a block with mixed zoning districts. The proposed zoning will be similar to C-1 properties in the east end of the block, allowing for the consolidation of lots and easing access and antiquated platting concerns in this area. Several of the subject properties have substandard or very narrow lot widths of 50 ft on Autumn Sage Ave NE and lots on the north end of the block do not have improved access to Unser Blvd via Painted Sage Ave NE. The proposed Zone Map Amendment will allow for the same and consistent zoning throughout most of this block, which may encourage future commercial development.

Staff recommends the Planning and Zoning Board find the proposed amendment is consistent with the health, safety, morals, and welfare by allowing for additional commercially zoned properties along a major arterial road in the City and the amendment may create commercial retail or office developments accessible to adjacent neighborhoods. The proposed zoning district may strengthen the Northern-Unser area Development Node contemplated in the City Comprehensive Plan, Map VEI-1, growing the health and welfare of the city. Conforms.

R.O. 2003 § 150.07(D)(2) states: "Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the City to show why the change should not be made."

The applicant's justification letter states: "The zone map amendment is consistent with the Northern-Unser Specific Area Plan ("NUSAP") and its goal to promote development of high-density,

mixed activity centers within master planned growth nodes to curb low density, single use, and strip commercial sprawl development. These growth nodes, according to the NUSAP, should be designed to capture a significant share of the City's future jobs and housing. Furthermore, the City's Vision 2020 Integrated Comprehensive Plan ("ICP") encourages expansion of the City's gross receipts tax base by recruiting additional local retail and office uses and desires to make Rio Rancho a place where one can live, work, shop, and play without leaving the city. Approving the zone map amendment will further the goals of not only the NUSAP, but of the ICP as well. A zoning designation of C-1 for the Subject Property will enable the area to grow in a fashion contemplated by the NUSAP and the ICP by allowing commercial development to compliment and support the existing residential community. The zone map amendment will allow the Subject Property to be used for a wide variety of purposes designed to support the economic needs of the community.

In addition, a zone map amendment of the Subject Property to C-1 would contribute to eliminating the existing "spot" zoning issue that exists in the row of properties throughout this Block. Reducing the residential zoning sprinkled within this row of properties will create a catalyst for commercial development in this area by establishing a planned community commercial area. The Subject Property is one of many in the area that has been undeveloped since the inception of the NUSAP. Many of the lots in the area, including those bounding the Subject Property, were zoned C-1 prior to the creation of the NUSAP. Granting this zone map amendment will contribute to the growth of the area in concert with the vision of the City of Rio Rancho.

The requested zone map amendment will allow the Subject Property to be developed and/or combined with adjacent, same zoned properties, in a manner compatible with surrounding uses and consistent with current development possibilities and the goals of the overlay zone that covers the south portion of this Block. For this reason, there is sound justification for the requested zone change."

Staff recommends the Planning and Zoning Board find the proposed zone map amendment would allow for commercial development that may be used for a variety of commercial, office, or mixed-use purposes. The proposed zone change would enable retail commercial development that is accessible to the neighboring community, and will reduce the antiquated residential zoning in this area, promoting a stable land use and zoning designation for future development. Conforms.

R.O. 2003 § 150.07(D)(3) states: " A proposed change shall generally be consistent with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City."

The applicant's justification letter states: "As described above, the Subject Property is a part of the NUSAP. The proposed C-1 zoning is consistent with the proposed land uses envisioned by the NUSAP and the IRP. The C-1 zoning is also already present for a large portion of the properties located on this Block and south of Autumn Sage Rd. In addition to compliance with the NUSAP, the request for rezoning furthers several goals and policies of the Rio Rancho Comprehensive Plan (the "Comprehensive Plan") as identified below:

Goal L-1: Encourage mixed uses- retail, office, and residential centered on pedestrian oriented developments along principal arterial roads.

Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

Goal L-3: Maintain a balance of land uses throughout the city.

Policy L-2: Promote and support neighborhood scale retail activities that are consistent with residential development.

Through rezoning of the Subject Property to C-1, the City of Rio Rancho would allow for additional community commercial uses integrated with residential as expressly contemplated and encouraged by the Comprehensive Plan. Rezoning would promote a variety of land use in the community to

encourage neighborhood businesses co-existing with residential areas to create neighborhoods and ultimately a city envisioned within the Comprehensive Plan.

The proposed rezoning of the Subject Property is also not in conflict with the access management of the NUSAP. to comply with the NUSAP's specified access points for Unser Boulevard, Painted Sage Rd. (to the north) had its access to Unser Blvd. eliminated. Many properties surrounding the Subject Property have already been zoned C-1. Being as all six lots on the North portion of this Block are owned by one of the two individuals named in this request, the opportunity to replat and combine all six of those lots in some configuration with the south portion of the Block will be fostered if all these lots are allowed to have the same C-1 zoning. This action could potentially eliminate the need for Painted Sage Rd. also.

Requiring the Subject Property to remain zoned R-1 is directly in conflict with the health, safety, morals, and general welfare of the City. The existing growth and manner of development of the area no longer supports the Subject Property being zoned R-1. The location of the Subject Property, one Block north of the three businesses at the corner of the intersection of two arterial roads, the shape and size of the Subject Property, the dangerous conditions created by having a residence with a direct access onto an arterial road, or, in the alternative having a residence share an access with a commercial user, the impossibility of installation of a standard residential drive way or yard all support the approval of the zone map amendment to C-1. The Subject Properties are not suitable for a residential zoning.

A residential property fronting on Unser Blvd. (Block 58, Tract B), or backing up to a C-1 lot (Block EE lots) is simply not tenable and would be in direct contravention to the vision of the City of Rio Rancho. Any access issue that currently exists would have to be addressed whether the Subject Property is zoned R-1 or C-1. Requiring the Subject Property to retain the R-1 zoning designation would exasperate any logistical problems with access."

Staff recommends the Planning and Zoning Board find that the proposed zone map amendment furthers multiple goals and elements of the City Comprehensive Plan and the Northern Unser Specific Area Plan. The proposed zone map amendment accomplishes several goals and policies under the Land Use element of the City Comprehensive Plan (5.6.2 and 5.6.3), including Goals L-1, L-2, L-3, and Policies L-2 and L-3. These policies and goals include encouraging mixed uses (retail, office, and residential) centered on pedestrian-oriented developments along principal arterial roads, encouraging consolidation of lots to promote a variety of land uses, promoting development that incorporates walkability, and promoting and supporting neighborhood scale retail activities that are consistent with residential development. The proposed zone change may enable retail commercial development in close proximity to a developed neighborhood and the consistency and stability of zoning will increase the possibilities of development and consolidation of lots in the area. The proposed zone change remains consistent with Map L-2: Generalized Land Use (GLUM) of the City Comprehensive Plan with "Commercial (Neighborhood, Community) Mixed-Use, Office" designated for the subject property. The proposed zone change may also enable further commercial development in a Development Node as contemplated in Map VEI-1 of the Comprehensive Plan, as the area currently has a mix of zoning districts which restricts consolidation and development.

Staff recommends the Planning and Zoning Board find that the proposed zone map amendment may be consistent with the Northern Unser Specific Area Plan (NUSAP) should the SAP Amendment being heard concurrently be approved. Case no. 23-410-02 is requesting an amendment to the NUSAP to change the underlying proposed land use from "Mixed-Use" to "Community Commercial". The proposed Zone Map Amendment may still allow for mixed-use development per the permissive uses under City Code, Section 154.24, however the SAP currently only permits "MU-A: Mixed Use Activity Center" zoning in this Land Use. Staff recommends the Board finds that the zone map amendment furthers goals stated in the NUSAP by encouraging infill development, expanding the City's gross receipts tax base by recruiting additional local retail and

office uses, and making Rio Rancho a place where one can live, work, shop, and play without leaving the City. The proposed zone change encourages and may enable retail and office infill development along a major arterial road and adjacent to developed neighborhoods. Conforms.

R.O. 2003 § 150.07(D)(4) states: The applicant must demonstrate that the existing zoning is inappropriate because:

- (a) There was an error, mistake or is necessary to correct an injustice that occurred when the existing zone map pattern was created, including the placement of an R-1 or transitional zone on an antiquated plat filed before the City's incorporation and adoption of its own zoning code or on land annexed by the City; or
 - (b) Changed neighborhood or community conditions justify the change; or
 - (c) A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (D)(1) or (2) does not apply.
- Applicant's reliance on this provision requires proof that (i) there is a public need for a change of the kind in question, and (ii) that need will be best served by changing the classification of the particular piece of property in question as compared with other available property.

The applicant's justification letter states: "Since the adoption of the NUSAP there have been several neighborhood and community changes (Criterion b) locally that justify a change in zoning, including the following:

- The elimination of Unser access from Painted Sage Rd. that abuts four of the Subject Properties and their proximity to existing C-1 zoning on the same Block makes the Subject Property less than ideal for R-1 zoning.
- The land use of the NUSAP has changed since its inception in 2011 owing largely to the increase in residential areas and the influx of new homes. This growth of residential areas merits the support of the City in providing needed neighborhood services, amenities and comforts that will substantially increase the satisfaction of the residents in the Subject Property's neighborhood. The NUSAP and the Comprehensive Plan support this proposition. In order to provide these neighborhood amenities, the Subject Property must be rezoned C-1 to allow the land use to accommodate the needs and desires of the residents.
- In direct contravention to the NUSAP and the Comprehensive Plan the majority of the land in this area has been left undeveloped. Rezoning the Subject Property will increase the likelihood of the NUSAP and the Comprehensive Plan goals being achieved.

For these reasons, the requested C-1 zoning for this Property will better serve the interests of the City of Rio Rancho than the existing R-1, or NC zoning."

Staff recommends the Planning and Zoning Board find that the proposed zone map amendment is justified due to changed community conditions and the placement of R-1 zoning on antiquated platted lots. Due to the development of single-family E-1: Estate-Residential lots to the southwest and the development of single-family neighborhoods to the south and southeast, this area of the City has not been built out as proposed in the NUSAP, and the result has been a deficit in commercially developed property within this area. The development of Mixed-Use zoning as originally contemplated in the NUSAP may not be feasible and is not as advantageous in this block due to the existing C-1: Retail Commercial Zoning in part of this block, and the proposed zone change may enable the consolidation of lots and commercial development that serves adjacent residential neighborhoods. Staff recommends the Board find that this would be more advantageous as articulated in the goals and policies of the City Comprehensive Plan by promoting and encouraging commercial development along an arterial road and possible retail commercial development adjacent to neighborhoods. The proposed Zone Map Amendment provides a Community Commercial use, which "is intended to provide community-scale retail nodes that serve surrounding residential areas" per the City Comprehensive Plan, Land Use Element (5.5.8).

Conforms.

R.O. 2003 § 150.07(E) states: "The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone."

The applicant's justification letter states: "The cost of land or other economic considerations are not the determining factor for this request. The request is to bring the zoning in alignment with surrounding properties on this Block and encourage additional opportunities for community commercial in this Development Node."

Staff recommends the Planning and Zoning Board find that the cost of land or other economic considerations were not a determining factor for this request. Conforms.

R.O. 2003 § 150.07(F) states: "Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning."

The applicant's justification letter states: "The requested zone change is not solely being requested based on its location along a major street. While the proximity of the Subject Property to two arterial streets is a factor to be considered in the zone map amendment, it is not the sole factor and there are substantial other considerations that support approval of the zone map amendment as detailed in this letter. Notably, the zone map amendment would further the goals and policies of the NUSAP and Comprehensive Plan. The goals and policies set forth in the Comprehensive Plan and the NUSAP dictate a need for community commercial in proximity to residential neighborhoods and rezoning the Subject Property to C-1 operates to achieve those goals and adhere to those policies."

Staff recommends the Planning and Zoning Board finds that the location adjacent to the principal arterial road, Unser Blvd NE, is not being used as the primary factor and justification for the amendment to the zoning ordinance, and the applicant has relied on other factors in their justification letter. Conforms.

R.O. 2003 § 150.07(G) states: "A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premises is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

- (1) The change will clearly facilitate realization of the comprehensive plan and any applicable adopted sector development plan or area development plan; or
- (2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The applicant's justification letter states: "The requested zone map amendment works to further reduce what appears to be an existing spot zoning dilemma in the row of properties on both portions of this Block. Eliminating the R-1 and NC zoning sprinkled within this row of properties will create a planned community commercial (C-1) area affecting over 82% of that Block's land area, which will encourage the remaining five lots to eventually change their zoning to C-1 since it applies to a large, contiguous area within NUSAP and the proposed zoning is the same as surrounding properties."

Staff recommends that the Planning and Zoning Board finds that the proposed zone change is not a spot zone as it seeks to create a more similar and consistent zoning across this block of properties of C-1: Retail Commercial Zoning. The proposed zone change to C-1 is similar to the zoning found in properties to the west and southwest and eliminates R-1 zoned properties that are the result of antiquated platting and default zoning designations assigned at annexation in 1994. Conforms.

Surrounding Zoning/Land Use:

North	R-1; Mixed Use Land Use in NUSAP
South	C-1 and R-4; Community Commercial and Medium Density Residential in NUSAP
East	R-1; Mixed Use in NUSAP
West	R-4, C-1, and SU: Special Use for C-1 uses; Community Commercial, Neighborhood Commercial, and Medium Density Residential in NUSAP

NOTIFICATIONS:

Notice of the application was sent via certified mail, return receipt requested to the property owners within 100 ft of the subject property 15 days prior to the hearing date. A legal notification was published in the Rio Rancho Observer on February 27, 2023. A notification sign was posted on the property one week prior to the hearing on March 7, 2023.

IMPACT:

Staff recommends the Planning and Zoning Board recommend approval of the Zone Map Amendment to the Governing Body, subject to the findings set forth below:

General Findings of Fact:

1. The Planning and Zoning Board may make a recommendation to the Governing Body on the applicant's request for a zone map amendment.
2. Following procedures for a zone map amendment, proper notice of hearing on this matter was given.
3. The applicant has the authority to make an application to request a zone map amendment.
4. The applicant and adjacent property owners received due process, as proper notice and an opportunity to present views was given.

Specific Findings of Fact for Approval:

The applicant has submitted an application and narrative which demonstrates that the change in zoning designation meets the requirements of Rio Rancho Code of Ordinances (R.O. 2003) §150.07(D) Amendments, including:

1. The proposed zone change would be consistent with the health, safety, morals, and general welfare of the City by allowing for additional commercially zoned properties along a major arterial road in the city, and would be accessible to adjacent neighborhoods.
2. The applicant has provided sound justification, in a narrative dated February 20, 2023, that the proposed zone map amendment would provide stability of zoning, as the zoning would reduce the antiquated residential zoning in this area, promoting a stable land use and zoning designation for future commercial development.
3. The proposed zone map amendment accomplishes goals and elements of the City Comprehensive Plan and Northern Unser Specific Area Plan and is in accordance with the Land Use for the property pending approval of Master Plan Amendment case #23-410-00002.
4. The applicant adequately demonstrates that a different zoning category is advantageous due to changed community conditions and the placement of R-1 zoning on antiquated platting lots.
5. The cost of the land or other economic considerations does not appear to be a justification for the proposed zone map amendment.
6. The applicant has provided sufficient justification that zone map amendment request is not based on the location of the subject property.
7. The requested zone map amendment does not create a spot zone, as it is similar to and compatible with adjacent zoning.

If the Board finds that the proposed zone map amendment is not justified, the denial may be based, on the following specific findings:

The applicant has submitted an application and narrative which demonstrates that the change to the zoning ordinance does not meet the requirements of the Rio Rancho Code of Ordinances (R.O. 2003) §150.07(D) Amendments, including:

1. The proposed zone change would be inconsistent with the goals and elements of the City Comprehensive Plan by zoning a property C-1:Retail Commercial in an area designated for Mixed-Use, should the Specific Area Plan Amendment #23-410-02 be denied.

ALTERNATIVES:

1. The Planning and Zoning Board may recommend approval of the request to the Governing Body;
2. The Planning and Zoning Board may recommend denial of the request to the Governing Body;
3. The Planning and Zoning Board may modify the request and recommend the Governing Body approve such modifications;
4. The Planning and Zoning Board may continue the public hearing to request additional information or to consider testimony provided at the public hearing

DEPARTMENT RECOMMENDATION:

The Development Services Department recommends the Planning and Zoning Board recommend approval of the Zone Map Amendment request to the Governing Body.

ATTACHMENT: [Draft Ordinance_23-100-01.docx](#)

ATTACHMENT: [LocationZoneMap](#)

ATTACHMENT: [ZMA Justification Letter_MatthewCarle.pdf](#)

ATTACHMENT: [ApplicationForm.pdf](#)

ATTACHMENT: [Herrera Authorization Letter.pdf](#)

ATTACHMENT: [Northern Unser SAP](#)

ATTACHMENT: [Land Use Element comp plan.pdf](#)

ATTACHMENT: [Vision Element-comp plan.pdf](#)

ATTACHMENT: [ReviewerComments_MRMPO.pdf](#)

ATTACHMENT: [ReproductionofNotifications](#)



**CITY OF RIO RANCHO
ORDINANCE**

ORDINANCE NO.

ENACTMENT NO.

ORDINANCE OF THE CITY OF RIO RANCHO, NEW MEXICO AMENDING THE ZONING CLASSIFICATION AND OFFICIAL ZONING MAP FOR THE PROPERTY LEGALLY DESCRIBED AS UNIT 13, BLOCK EE, LOTS 18-20 AND UNIT 13, BLOCK 58, LOTS 4-6 AND TRACT B FROM R-1: SINGLE-FAMILY RESIDENTIAL AND NC: NEIGHBORHOOD COMMERCIAL TO C-1: RETAIL COMMERCIAL, IDENTIFYING CONDITIONS OF DEVELOPMENT; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS: the Governing Body of the City of Rio Rancho has adopted zoning regulations and an official zone map in accordance with New Mexico Statutes Annotated 1978 (NMSA 1978) Chapter 3, Article 21; and,

WHEREAS: in accordance with Rio Rancho Code of Ordinances (R.O. 2003) Section 150.07, an application to amend the zoning ordinance on the subject property has been submitted by Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, and assigned City Case No. 23-100-00001; and

WHEREAS: the Governing Body of the City of Rio Rancho adopted the Northern User Specific Area Plan on April 28, 2010, with Resolution No. 37, Enactment No. 10-041; and

WHEREAS: the Governing Body of the City of Rio Rancho approved the amendment to the Northern User Specific Area Plan on April 11, 2023 with Resolution No. ___, Enactment No. 23-___; and

WHEREAS: the City of Rio Rancho Planning and Zoning Board held a duly noticed public hearing on March 14, 2023, regarding the proposed changes to the Official Zoning Map and, following study and consideration, has made findings (where applicable) whether or not the criteria in R.O. 2003 Section 150.07 are satisfied, and made these recommendations to the Governing Body regarding adoption of the changes; and

WHEREAS: the Governing Body received a report from the Planning and Zoning Board, and such report indicates the Planning and Zoning Board has studied and considered the proposed changes pursuant to R.O. 2003 Section 150.07, and said report includes specific findings related to the affected property; and

WHEREAS: a public hearing occurred, in accordance with procedures set forth in R.O. 2003 Section 150.07, and NMSA 1978 Section 3-21-6, on the proposed Official Zone Map changes hereinafter described were duly advertised and held by the Governing Body of the City of Rio Rancho on April 11, 2023 and the Governing Body heard interested parties and citizens for and

1 against the proposed amendments; and

2
3 **WHEREAS:** the proposed amendments to be adopted by this Ordinance comply with
4 the statutory and regulatory requirements of the aforesaid Code of
5 Ordinances and Statutes, and upon specific findings related to the subject
6 property and determining the proposed amendment is consistent with the
7 policies and criteria set forth in R.O. 2003 Section 150.07 (D) through (G),
8 the Governing Body finds the amendments promote the health, safety,
9 morals, and general welfare of the City.

10
11 **NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF**
12 **RIO RANCHO:**

13
14 **Section 1. Rezoning of Property and Change in Land Use.**

15 The Official Zone Map is hereby amended by assigning a zoning designation
16 on approximately 4.3306 acres from R-1: Single-Family Residential and NC:
17 Neighborhood Commercial to C-1: Retail Commercial on the land legally
18 described as:

19 Unit 13 Rio Rancho Estates, Block 58, Lots 4-6 as shown on the plat
20 entitled "S.W. Portion of Unit Thirteen Rio Rancho Estates Town of
21 Alameda Grant Sandoval County, New Mexico, April – 1963", filed in
22 the office of the County Clerk April 22, 1963, in Volume 1, Folio 49,
23 (R.R.E. Book 1, Page 49); Unit 13 Rio Rancho Estates, Block 58,
24 Tract B, as shown on the plat entitled "Correction Plat Summary Plat
25 of Unser Boulevard Right-of-Way Northern Blvd. to 19th Ave. NE
26 (Being a Replat of Easterly Portions of Unit 12 and Western Portions
27 of Unit 13 Rio Rancho Estates) NMP TPU-4081(4)04 PCN 2150 City
28 of Rio rancho Sandoval County, New Mexico March 2008", filed in
29 the office of the County Clerk October 13, 2008, in Book 411, Page
30 31210, (R.R.E. Book 22, Page 19A-19E); and Unit 13, Rio Rancho
31 Estates, Block EE, Lots 18-20, as shown on the plat entitled "Replat
32 of Lots within Units Seven and Thirteen Rio rancho Estates Town of
33 Alameda Grant Sandoval County, New Mexico June 1966 Blocks
34 DD, EE, and Tract F; Unit 13 Rio Rancho Estates Town of Alameda
35 Grant Sandoval County New Mexico", filed in the office of the County
36 Clerk June 13, 1966, in Book 1, Page 69 (R.R.E. Book 1, Page 69).

37
38 **Section 2. Land Use, Conditions, Development Standards/Regulations and use**
39 **of PROPERTY:**

40 The property identified in Section 1, above, is subject to all requirements of the
41 C-1: Retail Commercial Zoning District set forth in R.O. 2003 Section 154.24 (as
42 of the effective date of this ordinance or as subsequently amended).

43
44 **Section 3. Severability Clause.** If any section, paragraph, clause, or provision of
45 this Ordinance, or any section, paragraph, clause, or provision of any regulation
46 promulgated hereunder shall for any reason be held to be invalid, unlawful, or
47 enforceable, the invalidity, illegality, or unenforceability of such section, paragraph,
48 clause, or provision shall not affect the validity of the remaining portions of this
49 Ordinance or the regulation so challenged.

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Section 4. Effective Date. This Ordinance shall become effective ten days after adoption.

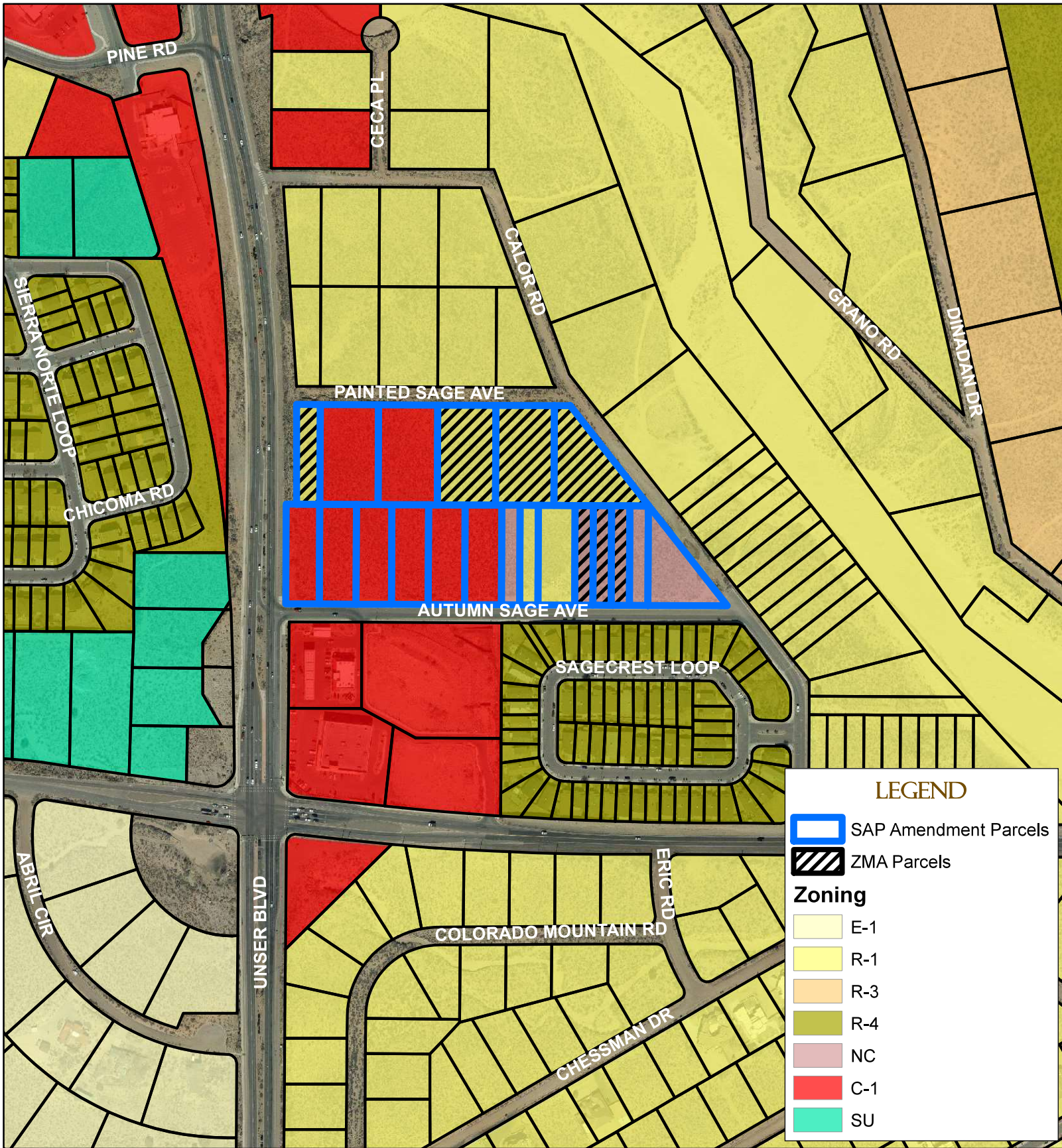
ADOPTED THIS _____ DAY OF _____, 2023.

Greggory D. Hull, Mayor



ATTEST:

Rebecca A. Martinez, City Clerk
(SEAL)








UI3, BLK 58, TR B, LOTS 4-6; UI3, BLOCK EE, LOTS 18-20 ZMA NORTHERN UNSER SAP AMENDMENT



LEGEND

-  SAP Amendment Parcels
-  ZMA Parcels

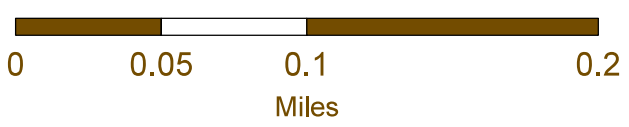
Zoning

-  E-1
-  R-1
-  R-3
-  R-4
-  NC
-  C-1
-  SU

DISCLAIMER: All information in this map is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. This map is not a survey and should be used for graphical purposes only.



Map Created by Brian Babyak on February 23, 2023



Amy Rincon
Director of Development Services
City of Rio Rancho
3200 Civic Center Drive
Rio Rancho, NM 87144

**RE: Zone Map Amendment for: Unit 13, Block 58, Tract B & Lots 4 thru 6 and
Unit 13, Block EE Lots 18 thru 20**

RE: Northern-User Specific Area Plan change from MU to C-1 for Unit 13, Blocks 58 and EE

Dear Amy:

February 20, 2023

Matthew Carle, on behalf of Aragorn Properties, LLC, Legolas Properties, LLC, and X2D, LLC, respectfully requests a Zone Map Amendment (ZMA) for the seven Subject Properties on Block 58 from a Residential Zone (R-1) to Commercial Zone (C-1), and the three properties on Block EE, from Neighborhood Commercial Zone (NC) also to Commercial Zone (C-1).

The subject properties for this ZMA request are for approximately 4.24 acres and within the Northern-User Specific Area Plan (NUSAP). More particularly, the site is located just north of Autumn Sage Rd. which is one block north of Northern Blvd., east of Unser Blvd. and west of Calor Rd. NE (see Figure 1 below). The proposed zone map amendments require an SAP Amendment for this Block from MIXED USE to C-1, as shown on Figure 3, page 3 of this letter, and copied from the NUSAP.

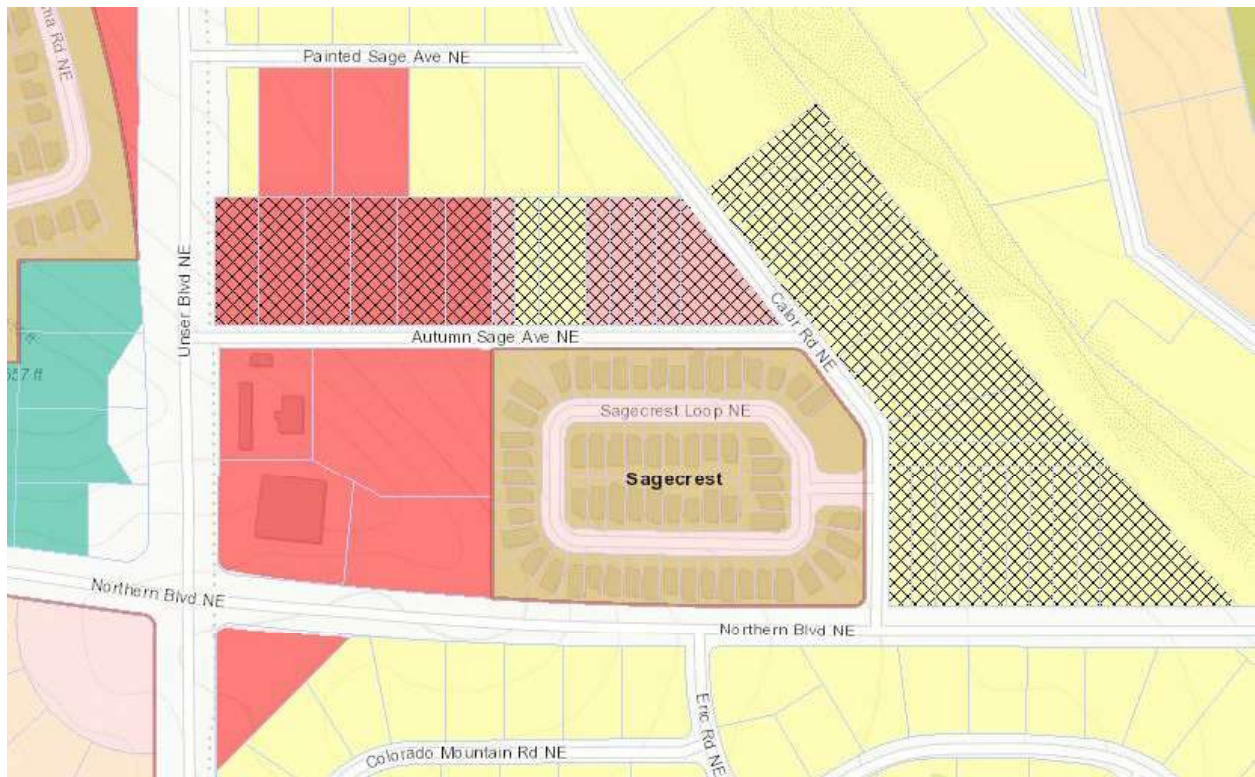


FIGURE 1 CURRENT ZONE MAP

SITE CONTEXT/ZONE MAP AMENDMENT

The subject property is situated within the NUSAP. The surrounding area consists of a commercial hub containing a Speedway gas station, Walgreens and McDonalds to the south, and Sagecrest residential sub-division to the south and east, Unser Blvd. to the west, and future residential developments to the north and east.

The Block consists of Unit 13, Block 58, Lots 2-6 and Tract B on the north portion of the Block, and Block EE, Lots 3-A thru 22 on the south portion of the Block. The Block EE lots are subject to an OZ Overlay Zone. Figure 2 shows that the ownership of the majority of the Block (82% of the area) is held by two individuals: Matthew Herrera and Matthew Carle, whose interests are represented by this ZMA request. The other 5 lots are all owned by unrelated individuals (see Figure 2 below).

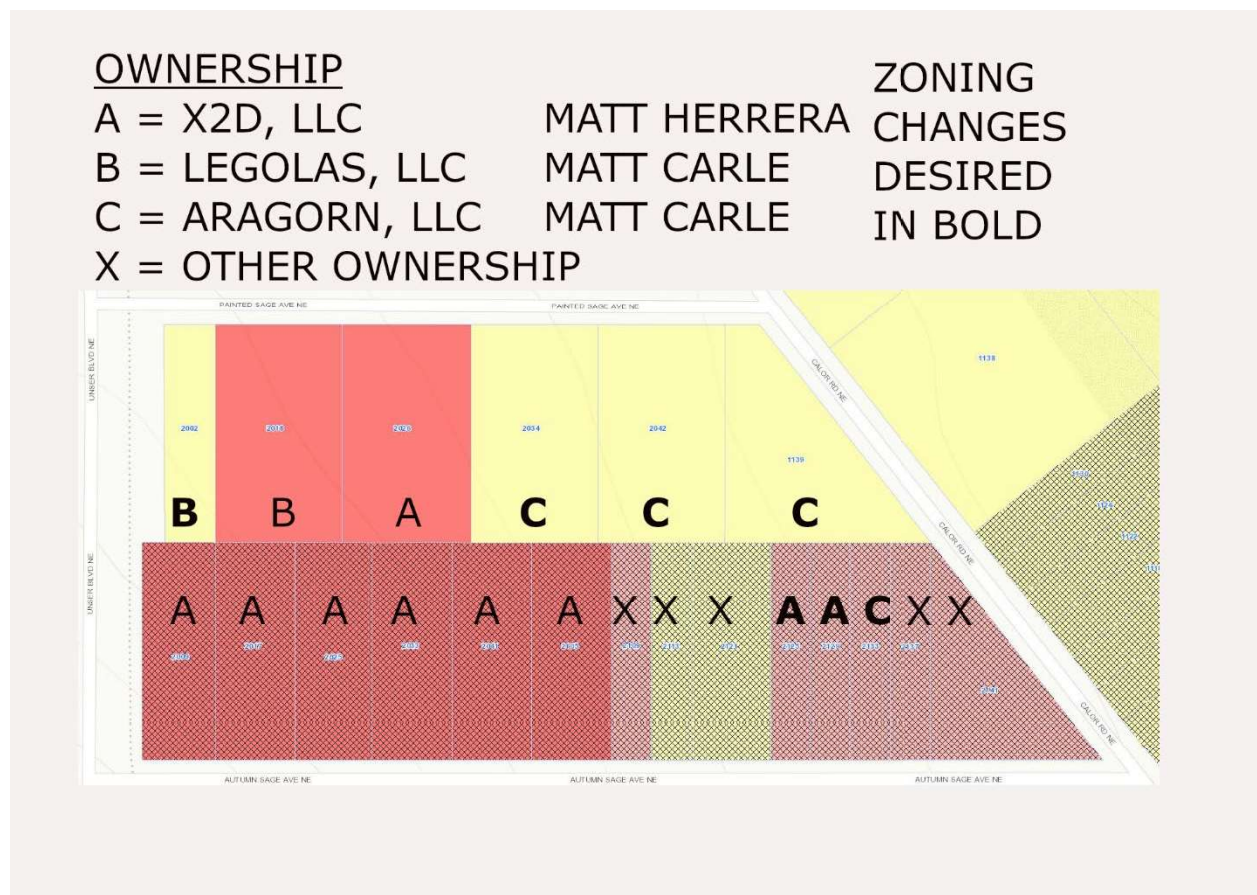


FIGURE 2 OWNERSHIP MAP

ZMA REQUIRING SAP AMENDMENT

The NUSAP has this entire Block designated as MIXED USE. The MU designation was assigned even after a number of spot zonings on this Block were changed to C-1. The MU designation no longer achieves the goals of the NUSAP. Also, three popular anchor businesses on the northeast corner of the Northern Blvd. and Unser Blvd. intersection have emerged, which lends the area to more commercial development over MU. Additionally, the designation of this area as a Development Node strengthens the argument that the original NUSAP should change the planned usage of this Block from MU to C-1. The MU designation would still apply to two Blocks north of the Block referred to herein (see Figure 3 below).

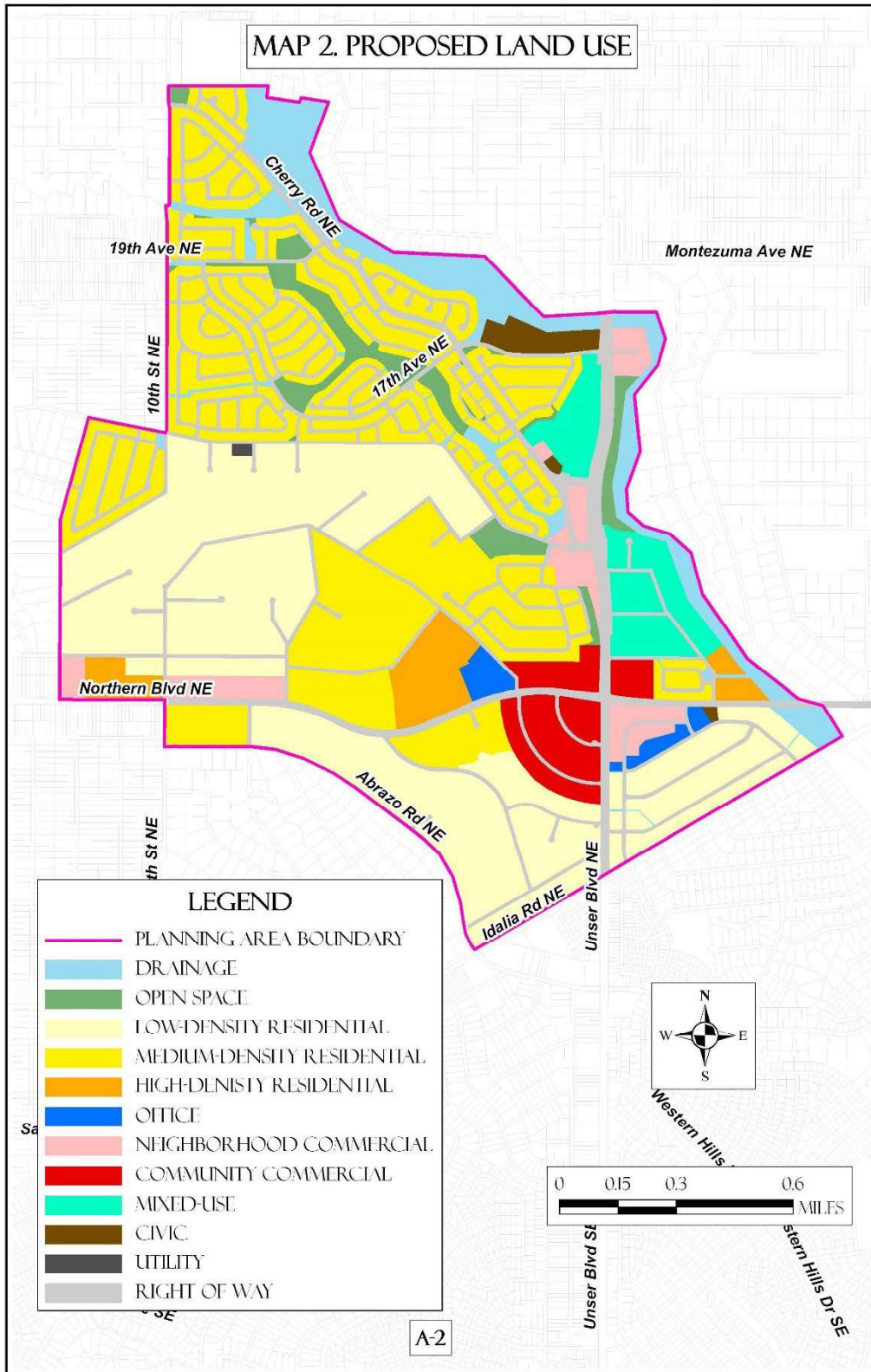


FIGURE 3: NORTHERN-UNSER SPECIFIC AREA PLAN

SECTION 150.07 JUSTIFICATION

The following addresses the criteria set in the Municipal Code for a zone map amendment request. A justification per Section 150.07 (D-G), Policies for Deciding Zone Map Amendments is provided below.

(D) The following Policies for deciding zone map change applications pursuant to the City Zoning Code are:

1. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.

Applicant Response: A C-1 zoning designation is consistent with the health, safety, morals, and general welfare of the City of Rio Rancho. The opening and operation of businesses will directly benefit the several hundred existing residences in the surrounding residential communities by providing retail products and services, restaurants, medical clinics and similar services, as well as employment opportunities. The ZMA will also support the productive use of land that has otherwise remained unused and undeveloped.

The proposed ZMA provides the opportunity to further the health and welfare of the City by creating the development conditions necessary to construct high quality community commercial development that will meet the needs of existing and future Rio Rancho residents. Additionally, the ZMA will allow the Subject Property to be developed consistent with the surrounding land uses. The C-1 zoning designation would complement the existing and surrounding developed residential and commercial areas by allowing a variety of commercial options and creating an activity center to serve the surrounding community. The proposed ZMA will also maintain the safety and morals of the Rio Rancho community by providing stability and opportunity in an otherwise undeveloped area.

The surrounding area consists of undeveloped raw land, mixed residential, mixed use, and commercial development. The Northern/Unser area is also a Development Node as stated in the Rio Rancho Comprehensive Plan. The comprehensive plan states "In order for a node to function as a vibrant and diverse development, nodes tend to be created with a mixture of land use types...". This zone map amendment would transition from a somewhat limited "mixed use" zoning district to a more varied C-1 district, which allows more flexibility for market driven development as opposed to theoretically driven, and possibly never realized, development.

2. Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

Applicant Response: The zone map amendment is consistent with the Northern-Unser Specific Area Plan ("NUSAP") and its goal to promote development of high-density, mixed activity centers within master planned growth nodes to curb low density, single use, and strip commercial sprawl development. These growth nodes, according to the NUSAP, should be designed to capture a significant share of the City's future jobs and housing. Furthermore, the City's Vision 2020 Integrated Comprehensive Plan ("ICP") encourages expansion of the City's gross receipts tax base by recruiting additional local retail and office uses and desires to make Rio Rancho a place where one can live, work, shop, and play without leaving the city. Approving the zone map amendment

will further the goals of not only the NUSAP, but of the ICP as well. A zoning designation of C-1 for the Subject Property will enable the area to grow in a fashion contemplated by the NUSAP and the ICP by allowing commercial development to compliment and support the existing residential community. The zone map amendment will allow the Subject Property to be used for a wide variety of purposes designed to support the economic needs of the community.

In addition, a zone map amendment of the Subject Property to C-1 would contribute to eliminating the existing "spot" zoning issue that exists in the row of properties throughout this Block. Reducing the residential zoning sprinkled within this row of properties will create a catalyst for commercial development in this area by establishing a planned community commercial area. The Subject Property is one of many in the area that has been undeveloped since the inception of the NUSAP. Many of the lots in the area, including those bounding the Subject Property, were zoned C-1 prior to the creation of the NUSAP. Granting this zone map amendment will contribute to the growth of the area in concert with the vision of the City of Rio Rancho.

The requested zone map amendment will allow the Subject Property to be developed and/or combined with adjacent, same zoned properties, in a manner compatible with surrounding uses and consistent with current development possibilities and the goals of the overlay zone that covers the south portion of this Block. For this reason, there is sound justification for the requested zone change.

3. A proposed change shall generally be consistent with adopted elements of the comprehensive plan or other city master plans and amendments thereto including privately developed area plans which have been adopted by the city.

Applicant Response: *As described above, the Subject Property is a part of the NUSAP. The proposed C-1 zoning is consistent with the proposed land uses envisioned by the NUSAP and the IRP. The C-1 zoning is also already present for a large portion of the properties located on this Block and south of Autumn Sage Rd.*

In addition to compliance with the NUSAP, the request for rezoning furthers several goals and policies of the Rio Rancho Comprehensive Plan (the "Comprehensive Plan") as identified below (Comprehensive Plan goals and policies are not in italics).

Goal L-1: Encourage mixed uses- retail, office, and residential centered on pedestrian- oriented developments along principal arterial roads.

Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

Goal L-3: Maintain a balance of land uses throughout the city.

Policy L-2: Promote and support neighborhood scale retail activities that are consistent with residential development.

Through rezoning of the Subject Property to C-1, the City of Rio Rancho would allow for additional community commercial uses integrated with residential as expressly contemplated and encouraged by the Comprehensive Plan. Rezoning would promote a variety of land use in the community to encourage neighborhood businesses co-existing with residential areas to create neighborhoods and ultimately a city envisioned within the Comprehensive Plan.

The proposed rezoning of the Subject Property is also not in conflict with the access management of the NUSAP. to comply with the NUSAP's specified access points for Unser Boulevard, Painted Sage Rd. (to the north) had its access to Unser Blvd. eliminated. Many properties surrounding the Subject Property have already been zoned C-1. Being as all six lots on the North portion of this Block are owned by one of the two individuals named in this request, the opportunity to replat and combine all six of those lots in some configuration with the south portion of the Block will be fostered if all these lots are allowed to have the same C-1 zoning. This action could potentially eliminate the need for Painted Sage Rd. also.

Requiring the Subject Property to remain zoned R-1 is directly in conflict with the health, safety, morals, and general welfare of the City. The existing growth and manner of development of the area no longer supports the Subject Property being zoned R-1. The location of the Subject Property, one Block north of the three businesses at the corner of the intersection of two arterial roads, the shape and size of the Subject Property, the dangerous conditions created by having a residence with a direct access onto an arterial road, or, in the alternative having a residence share an access with a commercial user, the impossibility of installation of a standard residential drive way or yard all support the approval of the zone map amendment to C-1. The Subject Properties are not suitable for a residential zoning.

A residential property fronting on Unser Blvd. (Block 58, Tract B), or backing up to a C-1 lot (Block EE lots) is simply not tenable and would be in direct contravention to the vision of the City of Rio Rancho. Any access issue that currently exists would have to be addressed whether the Subject Property is zoned R-1 or C-1. Requiring the Subject Property to retain the R-1 zoning designation would exasperate any logistical problems with access.

4. The applicant must demonstrate that the existing zoning is inappropriate because:

- a. There was an error, mistake or is necessary to correct an injustice that occurred when the existing zone map pattern was created, including the placement of an R-1 or transitional zone on an antiquated plat filed before the city's incorporation and adoption of its own zoning code or on land annexed by the City; or
 - b. Changed neighborhood or community conditions justify the change; or
 - c. A different use category is more advantageous to the community, as articulated in the comprehensive plan or other city master plan, even though (0)(1) or (2) does not apply.
- Applicant's reliance on this provision required proof that (i) there is a public need for a change of the kind in question, and (ii) that need will be best served by changing the classification of the particular piece of property in question as compared with other available property.

Applicant's Response: Since the adoption of the NUSAP there have been several neighborhood and community changes (Criterion b) locally that justify a change in zoning, including the following:

- *The elimination of Unser access from Painted Sage Rd. that abuts four of the Subject Properties and their proximity to existing C-1 zoning on the same Block makes the Subject Property less*

than ideal for R-1 zoning.

- *The land use of the NUSAP has changed since its inception in 2011 owing largely to the increase in residential areas and the influx of new homes. This growth of residential areas merits the support of the City in providing needed neighborhood services, amenities and comforts that will substantially increase the satisfaction of the residents in the Subject Property's neighborhood. The NUSAP and the Comprehensive Plan support this proposition. In order to provide these neighborhood amenities, the Subject Property must be rezoned C-1 to allow the land use to accommodate the needs and desires of the residents.*
- *In direct contravention to the NUSAP and the Comprehensive Plan the majority of the land in this area has been left undeveloped. Rezoning the Subject Property will increase the likelihood of the NUSAP and the Comprehensive Plan goals being achieved.*

For these reasons, the requested C-1 zoning for this Property will better serve the interests of the City of Rio Rancho than the existing R-1, or NC zoning.

(E) The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

Applicant Response: The cost of land or other economic considerations are not the determining factor for this request. The request is to bring the zoning in alignment with surrounding properties on this Block and encourage additional opportunities for community commercial in this Development Node.

(F) Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

Applicant's Response: The requested zone change is not solely being requested based on its location along a major street. While the proximity of the Subject Property to two arterial streets is a factor to be considered in the zone map amendment, it is not the sole factor and there are substantial other considerations that support approval of the zone map amendment as detailed in this letter. Notably, the zone map amendment would further the goals and policies of the NUSAP and Comprehensive Plan. The goals and policies set forth in the Comprehensive Plan and the NUSAP dictate a need for community commercial in proximity to residential neighborhoods and rezoning the Subject Property to C-1 operates to achieve those goals and adhere to those policies.

(G) A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premises is involved, is generally called a "spot zone". Such a change of zone may be approved only when:

1. The change will clearly facilitate realization of the comprehensive plan and any applicable adopted sector development plan or area development plan; or
2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby;

or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

Applicant's Response: The requested zone map amendment works to further reduce what appears to be an existing spot zoning dilemma in the row of properties on both portions of this Block. Eliminating the R-1 and NC zoning sprinkled within this row of properties will create a planned community commercial (C-1) area affecting over 82% of that Block's land area, which will encourage the remaining five lots to eventually change their zoning to C-1 since it applies to a large, contiguous area within NUSAP and the proposed zoning is the same as surrounding properties.

We respectfully request that the Rio Rancho Planning and Zoning Board and Governing Body approve this request for a zone map amendment from R-1 and NC zoning to C-1 for the seven Subject Properties. And concurrently modify the NUSAP to favor C-1 zoning over MU zoning for this entire Block.

If you have any questions, please contact me at aragornproperties@q.com or (505) 239-1617

Sincerely,
Aragorn Properties, LLC



Matthew Carle
Manager

PLANNING & ZONING LAND USE APPLICATION

Please check appropriate box

(Fees are listed on the back)

Administrative Permit	Plan	Subdivision	Zoning
<input type="checkbox"/> Community Residential Care Facility	<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Annexation
<input type="checkbox"/> Development Review Committee (DRC)	<input type="checkbox"/> Corridor Plan Amendment	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Appeal
<input type="checkbox"/> Home Occupation	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Summary Plat	<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> Model Home / Sales Office	<input type="checkbox"/> Master Plan Amendment	<input type="checkbox"/> Vacation of Plat	<input type="checkbox"/> Master Sign Plan
<input type="checkbox"/> Residential Child Care Facility 6 or <	<input checked="" type="checkbox"/> Specific Area Plan Amendment	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Sign Permit	<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Subdivision Interpretation	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Other		<input type="checkbox"/> Subdivision Variance	<input type="checkbox"/> Variance
			<input checked="" type="checkbox"/> Zone Map Amendment
			<input type="checkbox"/> Zoning Certification
			<input type="checkbox"/> Zoning Interpretation

Please Print In Ink Only or Type

Application must be complete. Please attach the appropriate checklist for the action you are requesting, if applicable.

APPLICANT/AGENT INFORMATION

Applicant Name: Aragorn Properties, LLC; Legolas properties, LLC; and X2D, LLC		Phone: (505) 239-1617
Address: PO Box 15834		E-Mail: aragornproperties@q.com
City: Rio Rancho	State: NM	Zip: 87174
Proprietary Interest:	List Owners: Matthew Carle and Matthew Herrera	
Deed or Ownership Verification Provided: (Initials)	Letter of Authorization Provided: (Initials)	
Agent Name: Matthew Carle (above), and Matthew Herrera		Phone: (505) 933-4411
Address: PO Box 10492		E-Mail:
City: Albuquerque	State: NM	ZIP Code: 87184

DESCRIPTION OF REQUEST: (PLEASE ADD ADDITIONAL SHEET(S) IF NECESSARY)

Change the Northern-Unser SAP for the Block from MU to C-1, and the Zoning of Unit 13, Block 58, Lots 4-6 and Tract B and Unit 13, Block EE, Lots 18-20 from NC to C-1 zoning.

SITE INFORMATION: (PLEASE PROVIDE ACCURATE LEGAL DESCRIPTION)

Subdivision/Unit : 13	Block(s): 58 and EE	Lot(s): 4-6, Tract B and 18-20
Existing Zoning: R-1 and NC	Proposed Zoning: C-1	
No. of existing lots: 7	No. of proposed lots: 7	Total area of site (acres) 4.24

ACKNOWLEDGEMENT

I hereby acknowledge that I have read this entire application and affirm that all information provided is correct. I agree to comply with the requirements of the City of Rio Rancho as outlined in all applicable laws, ordinances and regulations.

Print Name: Matthew Carle	Applicant: Same	Agent: Same
Signature: <i>Matthew Carle</i>	Date: 2/20/23	

FOR OFFICIAL USE ONLY

H.T.E. PROJECT #	FEE	RECEIPT #

APPLICATION ACCEPTED BY: _____ DATE: _____

February 22, 2023

Attn: Rio Rancho P&Z

"I, Matthew Herrera, manager of 2XD, LLC do hereby authorize Matthew Carle to act in order to change the zoning on my two lots: Unit 13, Block EE, Lots 18 and 19 from NC to C-1 zoning, and also a change to the Norther-Unser Strategic Area Plan underlying land use from Mixed Use to C-1."

Matthew Herrera

~~Matthew Herrera~~ 022223

Matthew Herrera

date



Northern-Unser Specific Area Plan

Mayor: Thomas E. Swisstack

City Council District 1: Michael J. Williams
City Council District 2: Patricia A. Thomas
City Council District 3: Tamara L. Gutierrez
City Council District 4: Steven L. Shaw
City Council District 5: Larry E. Naranjo
City Council District 6: Kathleen M. Colley

City Manager: James C. Jimenez

Prepared By: Development Services Department

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1. INTRODUCTION

1.1 PURPOSE

The purpose of *Northern-Unser Specific Area Plan* is to help guide and manage the physical development within the planning area. Physical development within the planning area will be guided by:

- Prescribing land uses to developed and undeveloped land
- Establishing a policy document for decision making
- Establishing a minimum acreage for the rezoning of land
- Establishing limited access points along arterial and collector streets
- Creating incentives to expand public infrastructure

This plan provides information about current conditions in the planning area, identifies goals and objectives, proposes land uses, identifies access management areas, and lists methods of implementation. Additionally, this plan identifies the development plan scenario for the planning area. Moreover, this plan further develops the land use element of the Comprehensive Plan by addressing compatibility of development within the planning area.

1.2 RELATIONSHIP TO THE COMPREHENSIVE PLAN

The *Vision 2020 – Integrated Comprehensive Plan*, adopted June 2001, is a broad-based general policy plan designed to direct current and future growth and physical development within the City. The *Northern-Unser Specific Area Plan* is effectively part of the land use element of the Comprehensive Plan. As such, the *Northern-Unser Specific Area Plan* provides more area-specific goals and policies designed

to carry out the vision of the Comprehensive Plan.

1.3 NEED FOR A LAND USE PLAN

The *Northern-Unser Specific Area Plan* is a land use plan. Land use plans can be created by the City or by a developer in the case of a master-planned community. In either case, a land use plan is specific to a geographic area within the City.

Recent development activity in the planning area for rezoning of land has established a need to develop a land use plan that will address the needs of residents living in the planning area and potential business developments along arterial roads. Additionally, developing a land use plan that addresses the creation of public infrastructure in areas that lack adequate public infrastructure is necessary to ensure that future development can be supported.

1.4 PLANNING PROCESS

There are many aspects to the planning process. Some aspects of the planning process deal with long-range planning (the creation of planning policy documents) while other aspects deal with current planning (the development review and public hearing process). While these two processes are very different, they are integrally linked to each other in that the land use plan goals and policies are carried out through the zoning ordinance, which is the basis of current planning. Another aspect of the planning process, where there is a similarity, is public involvement. Both types of planning involve public involvement through neighborhood meetings, Planning & Zoning Board meetings, and Governing Body meetings.

In the development of this land use plan, the Development Services Department notified citizens within the planning area and held a neighborhood meeting where staff took comments and input from citizens regarding

the land use plan. Public hearings will also be held by both the Planning & Zoning Board and the Governing Body.

1.5 PLAN IMPLEMENTATION

Implementation of this plan will occur through the approval of zone map amendments, initiated by either the City or landowners. An Access Management Plan for the planning area is established through the adoption of this plan as identified on the Access Management Map. Capital improvements will be implemented through the City's *Infrastructure and Capital Improvements Plan* (ICIP) or through the development review process as development occurs.

1.6 PLANNING AREA

The *Northern-Unser Specific Area Plan* encompasses an area of approximately 1,472 acres and is bounded by Idalia Road, Abrazo Road, 10th Street, 8th Street, Pine Road, 23rd Avenue, and the east edge of the Los Montoyas Arroyo (**Map 1**). This area encompasses parts of Units 11, 12, 13 and various subdivisions.

Northern Boulevard and Unser Boulevard, the two major roads within the planning area, intersect in the southeast region of the planning area. Northern Boulevard is the principal north-south boundary between Units 11 and 12, within the planning area. Unser Boulevard is the principal east-west boundary between Unit 13 and Units 11 and 12, within the planning area.

The majority of the planning area is comprised of large, undeveloped lots currently zoned E-1 Estate Residential. The largest existing development within the planning area is the North Hills subdivision which makes up the majority the northern area, north of Pine Road.

1.7 OPPORTUNITIES AND CONSTRAINTS

A major challenge for the planning area and the City is addressing land that was prematurely platted in the 1960s. When land for Rio Rancho Estates was subdivided, off-site improvements were not required as part of the subdivision platting. The lack of infrastructure, such as streets, curbs, gutters, sidewalks, sewer and water lines, and proper drainage facilities creates planning and safety concerns. Arroyos with erosive soils can be hazardous during flash floods that develop during summer thunderstorms. Creative planning of prematurely platted land near these areas is necessary to mitigate the damage that can be caused by this phenomenon.

Another challenge created by the prematurely platted land is the potential for numerous curb cuts along arterial and collector roads, thereby impeding traffic flow and reducing the level of service on these roads.

2. EXISTING CONDITIONS

Existing conditions for Rio Rancho and the planning area described in this section include:

- Population and Housing
- Natural Environment
- Land Use
- Zoning
- Public Facilities
- Capital Improvements
- Transportation
- Utilities

2.1 POPULATION AND HOUSING

2.1.1 Population

Rio Rancho's total population has increased since 2000. Between 2000 and 2008 the City's overall population increased by almost 60%. The 2008 population is projected to double by 2030 (Mid-Region Council of Governments Data Analysis Subzones).

In just over 10 years, the population of the planning area has increased by almost 30%. In 1997, the planning area population was estimated to be 4,204 persons in more than 1,500 households. In 2008, the planning area population was estimated at nearly 6,000 persons in 2,215 households.

2.1.2 Housing

Currently, all of the housing in the planning area is single-family. More than 70% of the homes in the planning area are in the North Hills subdivision. North Hills consists of more than 1,500 homes on lots that are generally smaller than $\frac{1}{4}$ of an acre.

The City and the planning area have experienced an overall slow-down related to national economic conditions. As **Figure 1** shows, the City and the planning area have produced a comparable decline in construction starts since 2005. However, 2009 construction starts have only been reported through September. The majority of construction starts during this time period in the planning area were in the Sierra Norte 2 and Los Pinons subdivisions. Prior to 2005, most of the North Hills subdivision was already developed.

2.2 NATURAL ENVIRONMENT

In general, planning area soils are sandy and receive 8-10 inches of rain a year which support mainly native grasses and shrubs. The Sheppard and Grieta soils are representative of the soil types in the planning area and are appropriate for urban development. **Table 1** shows the total acreage, percentage of each soil type and the slope conditions where these soils exist in the planning area (**Map 3**).

Figure 1. Construction Starts

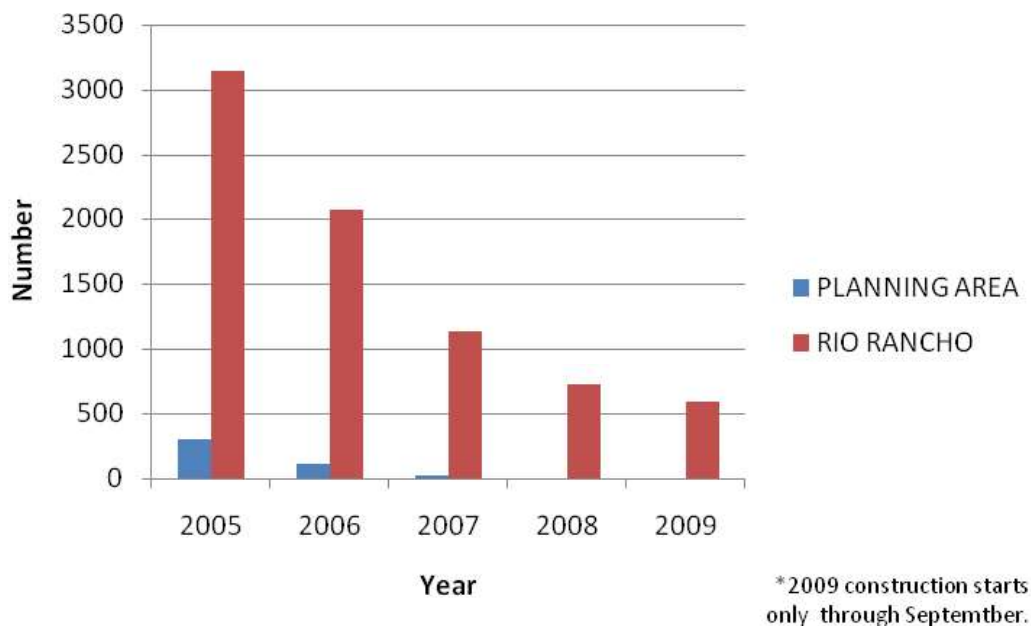


Table 1. Planning Area Soils

Type	Slope	Acreage	Percent
Grieta Fine Sandy Loam	1 - 4%	96.96	6.60%
Grieta-Sheppard Loamy Fine Sand	2 - 9%	51.67	3.52%
Sheppard Loamy Fine Sand	3 - 8%	629.57	42.87%
Sheppard Loamy Fine Sand	8 - 15%	690.33	47.01%
Total		1468.53	100.00%

2.2.1 Plant & Wildlife

The natural plant habitat of the planning area is marked by riparian conditions along arroyos with many indigenous types of brush and grasses. Common plants include chamisa, sand sagebrush, winterfat, mormon tea, broom snakewood, cholla cacti, prickly pear cacti, four-wing saltbrush, yucca, buckwheat, tansy mustard, tumbleweed, fiddleneck, western ragweed, verbena, fleabane, desert senna, kochia, piñon, and oneseed juniper.

Local wildlife includes mammals, reptiles, and birds such as coyotes, badgers, kit foxes, prairie dogs, jackrabbits, prairie rattlesnakes, round-tailed horned lizards, lesser earless lizards, and New Mexico whiptails.

2.2.2 Topography

The planning area is characterized by hilly terrain. Some hills, or lomas, are steep and stand out in the landscape. The hilly topography makes drainage a planning consideration. The major drainage feature in the planning area is the Los Montoyas Arroyo (**Map 4**). The land in the planning area slopes from west to east with a maximum elevation of 5,772 feet, dropping more than 370 feet to a low of 5,396 feet.

2.3 EXISTING LAND USE

As indicated in the *Population and Housing* section, the planning area population is estimated to be approximately 6,000 persons in 2215 households. All of the existing

residential development is single-family housing. The majority of this existing residential development is in the North Hills subdivision, north of Pine Road (**Table 2, Map 5**).

Rio Rancho has over 1.7 million square feet of retail space and 410,056 square feet of office space (Grubb & Ellis, 2009). Currently, the planning area has two commercial developments. The *North Hills Mini Mart* is an established business located at 1504 Cherry Road next to fire station #2. A *Walgreen's Pharmacy* is nearing completion at the northeast corner of Northern Boulevard and Unser Boulevard. Additionally, the planning area contains 82 active home occupation business licenses.

2.4 EXISTING ZONING

The majority of the properties within the planning area are zoned residential, 98% (1137 acres). 2% (59 acres) is zoned for non-residential uses.

2.5 PUBLIC FACILITIES

2.5.1 Parks

There are three City-maintained parks within the North Hills subdivision that were previously maintained by the North Hiss Homeowners Association. The Department of Parks, Recreation & Community Services is managing a redevelopment of the park located off of 17th Avenue. The first phase of this project is anticipated to be completed by April 2010. There is also one park located within

Table 2. Planning Area Existing Land Use

Land Use Category	Lots	%	Acreage	%
Vacant	646	22.4%	668.53	45.4%
Arroyos & Drainage	N/A	0.0%	110.89	8.9%
Open Space & Parks	17	0.6%	39.81	1.4%
Low-Density Residential	103	3.6%	101.79	6.9%
Medium-Residential	2,105	73.1%	293.48	19.9%
High-Density Residential	0	0.0%	0	0.0%
Office & Commercial	2	0.1%	2.57	0.2%
Civic & Institutional	2	0.1%	13.16	0.9%
Industrial	0	0.0%	0	0.0%
Utilities	1	0.2%	0.99	0.1%
Right-Of-Way	N/A	0.0%	240.88	16.4%
Total	2,875	100.0%	1,472.82	100.0%

the Sierra Norte II subdivision, also maintained by the City.

2.5.2 Public Schools

Rio Rancho Public Schools has over 16,000 students in 17 school facilities (8 are elementary schools). There are no public schools within the planning area. However, Colinas Del Norte Elementary School is located on the northwestern boundary of the planning area.

2.5.3 Churches

There is one church located within the planning area.

Living Word Church

1901 17th Avenue NE

NWC of 17th Avenue and Unser Boulevard

2.5.4 Special Assessment Districts

Special Assessment Districts (SADs) are areas in which property owners reimburse the City for the cost of public improvements in that district. Improvements within a SAD may include, storm drainage, sanitary sewer, streets, water and private utility

improvements. SADs 6 and 7A are included in the planning area (**Map 6**).

SAD 6 improvements have been completed to five different roads, three of which are in the planning area. The following streets received pavement as part of SAD 6: Acebo Road, Lorry Lane, Acetin Place, Flagstone Street, and Essex Road. While Idalia Road was not officially adopted as a part of SAD 6, it should be noted that the Department of Public Works also paved Idalia Road between Chessman Drive and Colorado Mountain Road at the time SAD 6 was constructed.

Improvements in SAD 7A included curb, gutter and paving roads, storm drains, sanitary sewer, water and private utilities. The portion of SAD 7A within the planning area covered Gazelle Road.

2.6 CAPITAL IMPROVEMENTS

All municipalities prepare an *Infrastructure and Capital Improvements Plan* (ICIP) that is submitted to the State annually. The ICIP is a plan that establishes planning priorities for all anticipated capital projects for a period of six years and is updated annually. Where

possible, the ICIP also identifies funding sources for projects, such as state appropriations, bonds, loans or grants. However, the ICIP is a plan that is only intended to identify projects and potential funding sources, but projects are not guaranteed to be executed.

Projects highlighted in this Plan are understood to be anticipatory and are not guaranteed, whether or not funding has been identified.

The 2010-2015 ICIP lists \$594.6 million in capital projects for parks, public safety, drainage, transportation, utilities, equipment, and vehicles across the City. Transportation projects total \$186.1 million city-wide over the six-year period. Projects specifically associated with the planning area have been identified and are highlighted in the appropriate section.

2.7 TRANSPORTATION

The planning area's transportation system includes existing and proposed streets, transit, and trails as described in this section.

2.7.1 Street System

The street system to serve the planning area is summarized by functional classification as described in the sections below.

Local Streets

A local street is intended primarily for access to abutting properties and carries low-volume traffic. Accessibility to homes and business is more important than mobility. Speed limits are set low, below what the roadway geometry allows, usually 25 MPH, with traffic volumes typically less than 1,000 vehicles per day (VPD). Minimum right-of-way is 50 feet.

There are 121 local streets within the planning area, 88 of which are paved.

Collector Streets

A collector street carries traffic from local streets to arterial streets. Accessibility and mobility are balanced relative to land use with speed limits generally between 25 and 35 MPH. Residential collectors with driveways are generally 25 MPH, while those with more limited access have a higher posted speed limit. Volumes can vary from 1,000 to 15,000 VPD. Collector streets are required to provide a minimum right-of-way width of 68 feet.

There are four collector streets in the planning area—all of which are paved except for a portion of 10th Street.

Arterial Streets

An arterial street is designed and used primarily for serving large volumes of traffic and to provide cross-city travel. Mobility takes precedence over accessibility. Speed limits are generally 35 to 45 MPH with volumes of approximately 7,000 VPD per lane. Four-lane arterials with a median are common with a capacity of 28,000 VPD. Access is controlled via signalized intersections and raised medians. Principal arterials are required to provide a minimum right-of-way width of 156 feet and minor arterials, 106 feet.

There are four arterial streets within the planning area, Northern Boulevard, Unser Boulevard, Cherry Road, and Idalia Road—all of which are paved except for a portion of Idalia Road.

2.7.2 Traffic

Traffic counts on collector and arterial streets in the planning area are shown in **Table 3**.

2.7.3 Street Naming

As part of the City's on-going addressing project, numeric street names are to be replaced with non-numeric street names. For example, 15th Avenue/Kings Road/Pine Road has been renamed to Pine Road.

Table 3. Traffic Volume on Collectors & Arterials

Street Name	Classification	Annual Average
Northern Boulevard	Principal Arterial	16,000
Unser Boulevard	Principal Arterial	20,100
Cherry Road	Minor Arterial	3,700-8,500
Idalia Road	Minor Arterial	N/A
10 th Street	Collector	3,300
17 th Avenue	Collector	2,200
19 th Avenue	Collector	N/A
Abrazo Road	Collector	1,600-3,100

Source: Mid Region Council of Governments 2008

2.7.4 Transit

Rio Transit operates a para-transit system serving seniors and eligible disabled adults 18 and older and seniors 55 and older who are residents of the City of Rio Rancho. Funding for this program is provided through the Federal Transit Administration under Section 5307 of Title 49 of the United States Code and the City of Rio Rancho general fund. Trips are available for any purpose in Rio Rancho. However, trips to Albuquerque, Placitas, Bernalillo, and Corrales are limited to medical, educational, and work purposes.

Starting in January 2010, Rio Transit, which is city-operated, will be operated by the Mid-Region Council of Governments.

The Rio Metro Transit District which is operated by the Mid-Region Council of Governments serves Sandoval, Bernalillo, and Valencia Counties. Rio Metro has developed a transit plan to be funded by a 1/8-cent gross receipts tax. It would provide for three neighborhood circulator routes, four commuter express routes, and four park and ride facilities in Rio Rancho. Funding has been secured by an approved increase in the gross receipts tax and funding commenced in October 2009.

2.7.5 Trails and Bike Paths

Trails and bike paths listed in the 2030 Metropolitan Transportation Plan include the following City of Rio Rancho projects:

- Montoyas Arroyo Trail, \$3.63 million for construction of a bicycle trail located along Los Montoyas Arroyo
- Unser Boulevard Bike Lanes, \$254,363 from Abrazo to King

2.8 UTILITIES

2.8.1 Wet Utilities

Infrastructure that is designed to manage or move fluids, such as potable water, sewage, and runoff, are considered to be wet utilities. Wet utilities include water lines, sewage lines, drainage channels, detention ponds and arroyos, for example.

There are no waterlines programmed in the 2010-2015 ICIP for the planning area.

Maps 7 and 8 depict the existing sewer and water lines in the planning area.

2.8.2 Dry Utilities

Infrastructure such as electrical, gas, and data lines are considered to be dry utilities.

Electricity

There are two types of electrical lines in the electrical grid. The first type is a transmission line which carries high-voltage electricity at either at 115 or 345 kilovolts from power plants to substations in cities and towns. The second type is a distribution line which is smaller, usually underground, carrying electricity from substations into homes and businesses. Substations play a critical role in the delivery of electricity by decreasing the voltage for delivery to homes and businesses, typically at either 120 or 240 volts.

Map 9 depicts the electrical power lines and the substations in the planning area.

Natural Gas

Natural gas pipelines that distribute natural gas to residences and businesses are typically run under streets, sidewalks, and sometimes across private property within a utility easement. These smaller distribution lines can be only a few inches below ground due to erosion, landscaping and other activities. In contrast, larger and higher-pressure transmission pipelines that transport gas from suppliers to communities are typically buried four to eight feet below ground and can be affected by activities such as farming, construction and new housing development (New Mexico Gas Company 2009).

Natural gas service in the planning area is provided by New Mexico Gas Company. **Map 10** depicts the natural gas lines in the planning area.

2.8.3 Communications

Hard-line Telephone Service

Qwest Communications is the telephone service provider in Rio Rancho. Qwest also provides DSL (Digital Subscriber Line) Internet service within Rio Rancho. Qwest does not currently have their service lines in GIS—no map was created of their service lines in the planning area.

Cable Television

Cable ONE is the cable television service provider in Rio Rancho (**Map 11**).

Internet Service

Cable ONE is also the cable Internet service provider in Rio Rancho. They also offer Internet Telephone service. **Map 11** depicts Cable ONE's service lines in the planning area.

2.8.4 Drainage

The Southern Sandoval County Arroyo Flood Control Authority (SSCAFCA) has jurisdiction over drainage channels in the Sandoval County portion of Rio Rancho. The City acts as SSCAFCA's designee for minor facilities, including conveyances less than 500 cubic feet per second (CFS). Regional improvements are typically constructed by SSCAFCA and local improvements are typically constructed by the City.

3. PROPOSED LAND USE

3.1 COMPREHENSIVE PLAN

In accordance with the *Vision 2020 – Integrated Comprehensive Plan*, the land use plan for the planning area promotes high-density, mixed-use activity centers and discourages strip commercial development. Actions within the Comprehensive Plan that support this land use plan include:

- Encouraging infill development of all undeveloped areas within the municipal boundary
- Incorporating useable public spaces and provide for community gathering spaces in activity centers
- Integrating mixed uses into a single structure with retail on lower level and office and residential on upper levels

- Balancing compact development with parks, open space, and quality of life considerations
- Evaluating future development based on the ability to integrate dissimilar uses by utilizing buffering, scale, and design elements
- Expanding the City's gross receipts tax base by recruiting additional local retail and office uses
- Making Rio Rancho a place where one can live, work, shop, and play without leaving the city

3.2 SPECIAL USE ZONING

Future land use alternatives planned for the *Northern-Unser Specific Area Plan* are shown in **Map 2, Table 4**. While land designated for non-residential land uses in this section may fall into a specific range of allowable zoning districts, it may be necessary for parcels to be rezoned to a *SU Special Use* zoning district to ensure access, design and land use compatibility issues are addressed.

3.3 LAND USE CATEGORIES

The *Northern-Unser Specific Area Plan* contains proposed land use categories that are consistent with and promote the goals and policies of the *Vision 2020 - Integrated Comprehensive Plan*. Each of the categories indicate the range of suitable uses for that area. The overall land use orientation reflects nodal-oriented development that ensures there is appropriate compatibility between uses. Also, the land use plan ensures that proposed future uses will be well integrated with existing development. The land use categories identified in this plan are listed in **Table 4**.

3.3.1 Low-Density Residential

The Low-Density Residential land use category is intended to provide opportunities for large-lot, single-family development.

Additional uses that may be integrated into low-density residential development include community uses, such as schools, parks, and churches.

Density: Maximum 4 DU/AC

Compatible Zoning Districts:

- A-R Agricultural Residential
- E-1 Estate Residential
- R-1 Single-Family Residential

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of five acres.

3.3.2 Medium-Density Residential

The Medium-Density Residential land use category is intended to provide opportunities for higher-density, single-family development. Additional uses that may be integrated into medium-density residential development include community uses, such as schools, parks, and churches.

Density: 4.01 – 10.99 DU/AC

Compatible Zoning Districts:

- R-1 Single-Family Residential
- R-2 Single-Family Residential
- R-3 Multi-Family Residential*
- R-4 Single-Family Residential

*Only **single-family** and **townhome** uses within R-3 zoning district.

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of five acres.

3.3.3 High-Density Residential

The High-Density Residential land use category is intended to provide opportunities

for small-lot, single-family residential and multi-family residential development. Additional uses that may be integrated into high-density residential development include community uses, such as schools, parks, and churches.

Density: Minimum 11 DU/AC

Compatible Zoning Districts:

- R-3 Multi-Family Residential*
- R-5 Single-Family Residential
- R-6 Multi-Family Residential

*Only **multi-family** and **townhome** uses within R-3 zoning district.

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of five acres.

3.3.4 Office

The Office land use category is intended to provide opportunities for a variety of office uses. Appropriate uses may include financial, services or public administration. Office development is intended to provide a buffer between residential uses and more intense commercial uses.

Compatible Zoning Districts:

- O-1 Office
- O-2 Office

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of two and one-half acres.

3.3.5 Mixed-Use

The Mixed-Use land use category is intended to provide a dense, integrated blend of land uses allowing people to live and work in the same place. Mixed-use development seeks to decrease the use of automobiles and encourage alternative modes of transportation, including walking.

Compatible Zoning Districts:

- MU-A Mixed Use Activity Center

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of five acres.

3.3.6 Neighborhood Commercial

The Neighborhood Commercial land use category is intended to provide neighborhood-scale retail centers that serve the immediate residential areas. Uses for a Neighborhood Commercial may include small-scale

Table 4. Proposed Land Use Categories

Land Use Category	Density and Rezoning Specifications	Zoning Code
Low-Density Residential	0 - 4 DU/AC	A-R, E-1, R-1
Medium-Density Residential	4.01 - 10.99 DU/AC	R-1, R-2, R-3 (SF), R-4
High-Density Residential	11 - 32 DU/AC	R-3 (MF), R-5, R-6
Office	Generally Min. 2.5 Acres	O-1, O-2
Mixed-Use	Generally Min. 5 Acres	MU-A
Neighborhood Commercial	Generally Min. 2.5 Acres	O-1, O-2, C-1, CMU
Community Commercial	Generally Min. 5 Acres	O-1, O-2, C-1, CMU
Industrial	Generally Min. 2.5 Acres	C-2, M-1
Public and Community Facilities	-	-

restaurants, retail stores, or offices. The following uses due to their nature and intensity are deemed to be inappropriate within the Neighborhood Commercial land use category: Adult Uses and Conditional Uses within the C-1 zoning district.

Compatible Zoning Districts:

- O-1 Office
- O-2 Office
- C-1 Commercial
- CMU Commercial/Mixed Use

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of two and one-half acres.

3.3.7 Community Commercial

The Community Commercial land use category is intended to provide community-scale retail nodes that serve surrounding residential areas. Uses for a Community Commercial may include large-lot, anchor businesses, commercial mixed-use buildings, restaurants, retail stores, or offices.

Compatible Zoning Districts:

- O-1 Office
- O-2 Office
- C-1 Commercial
- CMU Commercial/Mixed Use

Further subdivision of land or rezoning shall generally require the consolidation of lots to achieve a minimum of five acres.

3.3.8 Civic

The Civic land use category is intended to identify land that is either developed or owned by a church, the Rio Rancho School District, a private school, a public utility company, or the City of Rio Rancho for the purpose of providing community and public

facilities. Any zoning district is appropriate for this classification.

4. TRANSPORTATION & ACCESS MANAGEMENT

4.1 LONG RANGE TRANSPORTATION PLANS

A \$15 million Northern Boulevard improvement project is proposed to be built from 35th Court (out of the planning area) west to Acorn Loop. The planned improvements consist of roadway, drainage, and utility modifications needed to increase functionality and safety. The proposed improvements to Northern Boulevard include widening the existing two-lane undivided roadway to a divided four-lane roadway with an elevated median, bicycle lanes, curbs, gutters and storm water drainage inlets. Installation of water and sanitary sewer lines will also take place to provide residents with the ability to tie into the City's water and waste systems.

The Northern Boulevard widening project will be split into two phases. Phase 1 will be entirely outside of the planning area, 35th Court to Broadmoor Drive. Phase 2 of the project will be from Broadmoor Drive west to Acorn Loop.

A planned improvement listed in the 2010-2015 ICIP is an intersection improvement at the corner of Colorado Mountain Road and Idalia Road. The proposed improvement has a project cost of \$317,200 and is unfunded.

A third improvement project listed in the 2010-2015 ICIP is an extension of 17th Avenue from Unser Boulevard to Cherry Road with a project cost of \$1.45 million.

Transportation projects are also listed in the Metropolitan Transportation Plan (MTP), which is prepared by the Mid-Region Council

of Governments (MRCOG). The 2030 MTP identifies regionally significant projects that are anticipated to be built within a 20 year period. Projects listed within the MTP are eligible for federal funding. These projects would be programmed in the five-year State Transportation Improvement Plan (STIP). Roadway construction projects within the planning area that appear in the MTP are widening Northern Boulevard and widening Unser Boulevard (already completed).

4.2 ACCESS MANAGEMENT

4.2.1 Justification

Obsolete platting has produced narrow, 50-foot wide lots along Northern Boulevard and Unser Boulevard. These lots are difficult to develop individually and create the possibility of curb cuts every 50 feet for commercial access. Allowing each 50-foot wide lot to have individual access off of arterial and collector streets creates potential ineffective traffic conditions.

Managing access into and out of commercial and multi-family residential developments along collector and arterial streets is necessary for the City of Rio Rancho to promote the health, safety, and welfare of the community and ensure proper traffic flow. The City follows the New Mexico Department of Transportation (NMDOT) access spacing standards. The standards are based on roadway classification and its posted speed.

4.2.2 Requirements

Non-residential (Office, Neighbor Commercial, Community Commercial, Mixed-Use and Civic) and multifamily residential (High-Density Residential) land uses will generally be limited to defined access points along arterial and collector roads determined by the Department of Public Works via an Access Management Plan in **Map 12**.

A reciprocal, cross-access, ingress and egress easement shall be required for all lots along a block. The easement shall be coordinated with the Department of Public Works to ensure NMDOT safety standards are met.

The easement will be required, unless adequate lot consolidation takes place for the establishment of a commercial or multifamily residential subdivision, to provide limited access points.

The City's access policy as part of this Plan will require that before an applicant may receive a building permit, they shall meet the following access requirements:

- Re-plat multiple narrow lots under common ownership into a single lot where possible and provide acceptable access points where possible
- Provide a recorded document showing a reciprocal, cross-access, ingress and egress agreement across the property
- Provide shared access driveways

4.2.3 Chessman Drive Access

Due to the existing large-lot, single-family character of the neighborhood on the south side of Chessman Drive, limiting commercial access along this road and into this neighborhood is necessary to preserve the residential character of this area. Therefore, commercial access to the properties along the north side of Chessman Drive and into this neighborhood shall be limited and addressed on a case-by-case basis to ensure that the vehicular traffic in this area is consistent with a residential neighborhood.

5. PLAN IMPLEMENTATION

The purpose of this section is to identify the goals of the plan, the policies staff will use as a basis for staff recommendations, and actions the Planning and Zoning Board and the Governing Body need to take in order to implement the this plan.

5.1 LAND USE

The objective of the land use goals, policies, and actions section of this plan is to achieve a balance between residential and commercial land uses and to promote development that is successful and increases the economic stability of the City of Rio Rancho.

Goal L1: Establish large commercial nodes to reduce the dominance of strip commercial.

Goal L2: Encourage consolidation of lots to promote a variety of housing choices including low- and medium-density single-family residential development to high-density multi-family residential development.

Goal L3: Encourage mixed uses – retail, office, and residential centered on pedestrian-oriented developments along principal arterial roads.

Policy L1: Restrict commercial development to arterial and collector roads.

Policy L2: Encourage residential lot consolidation.

Action L1: Provide density bonuses for lot consolidation to the base residential density with a consolidation generally in excess of 5 acres to the maximum density upon consolidating 10 acres or greater.

Action L2: Prohibit residential zone changes to a higher density zoning district for a parcel or group of parcels generally less than 5 acres.

5.2 TRANSPORTATION & ACCESS MANAGEMENT

The objective of the access management section of this plan is to reduce congestion on collector and arterial streets where commercial and multi-family residential developments are concentrated.

Goal TAM1: Reduce traffic congestion associated with multiple access points.

Policy TAM1: Discourage multi-point access for commercial developments.

Policy TMA2: Assure safe and convenient multi-modal roadways to well-connected residences, businesses, offices, schools, and other facilities.

Policy TMA3: Where common ownership of lots exists for contiguous parcels along a street frontage, the property owner of these parcels shall consolidate the lots prior to the approval of a Site Plan Review. Where possible, the minimum lot width shall be 300 feet.

Action TAM1: Preserve future rights-of-way by amending the zoning ordinance to require greater setbacks adjacent to public rights-of-way.

Action TAM3: Require applicants to demonstrate compliance with the Access Management Plan prior to acceptance of a site plan review application.

5.3 URBAN DESIGN

The objective of the urban design section of this plan is to create a vibrant community where people are encouraged, because of site design, to interact with other people.

Policy UD1: Encourage developers to design commercial and residential sites that foster human interaction.

Policy UD2: Provide development incentives for developments that incorporate quality design principles that foster human interaction.

Policy UD3: Encourage connectivity between residential developments and commercial developments.

Action UD1: Amend the subdivision ordinance to prohibit a block length greater

than 600 feet without a horizontal offset of 5 feet.

Action UD2: Amend the subdivision ordinance to require new cul-de-sac or hammer-head streets to provide pedestrian connectivity easements where possible.

5.4 INFRASTRUCTURE

The objective of the infrastructure section of this plan is to promote the development of infrastructure, to promote the health, safety, and welfare of the community by reducing flood risk and by providing improvements such as streets, sewer and water lines that are consistent with urban infrastructure development standards.

Policy I1: *Ensure all development within the planning area has connectivity to: paved streets, community water, sewer, power, and natural gas.*

Policy I2: *Ensure adequate drainage facilities are in place prior to completion of new development projects.*

Action I1: Adopt an overlay zone to restrict development in the 100-year floodplain as indicated on the most recent FIRM maps.

5.5 COMMUNITY FACILITIES

The objective of the community facilities section of this plan is to ensure that there is adequate parkland, trails, open space and other recreational amenities accessible to all people in the City of Rio Rancho.

Policy CF1: *Work with Parks, Recreation, and Community Services to identify adequate open space requirements for residential developments.*

Policy CF2: *The city shall require residential developments within the planning area to comply with the Subdivision Ordinance requirements for dedicated park, open space and trails. The city shall expect land to be dedicated adjacent to or in close proximity to one of the following public facilities: public schools, existing/planned trails and open space, or wherever dedication of land would make a logical connection linking these facilities within a fifteen minute walk.*

Action CF1: Amend the subdivision ordinance to require all residential subdivisions to provide public open space with recreational amenities that are maintained via a maintenance association.

APPENDICES

REFERENCES

Rio Rancho Parks and Recreation Master Plan, City of Rio Rancho, 2004
Vision 2020 – Integrated Comprehensive Plan, City of Rio Rancho, 2001
North Central Area Plan (Draft), City of Rio Rancho, 2006
2030 Transportation Plan, Mid-Region Council of Governments, 2007
US Census Bureau, Economic Census, 2002
Mayor’s Transition Team Report, 2008
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Rio Rancho Community Overview, Rio Rancho
Economic Development Corp., 2008

Prepared By: Department of Development Services

Reviewed By: City Manager’s Office
Development Services Department
Department of Public Works
Department of Parks Recreation and Community Services
Fire and Rescue
Police Department



LAND USE
ELEMENT



5. LAND USE

5.1. INTRODUCTION

Planning for the overall future growth and development of the City is the core function of the Comprehensive Plan. The Land Use element is intended to provide general, citywide land use guidance for future growth by identifying and proposing the location of different types of development, or land uses.

Land use planning, in general, affects all facets of development. The other elements of the Comprehensive Plan support the Land Use element by thoroughly planning certain components of development. Different types of land uses have different implications on infrastructure needs, traffic circulation, recreation needs, the environment, community and neighborhood character, and the City's overall economic viability.

For example, if a particular intersection within the City is planned for a high-intensity growth node, it creates different planning implications for traffic circulation than if that same intersection was planned for low-density, single-family residential development. Thus, plans regarding future transportation needs included in the Transportation element would be impacted by this land use decision. As such, all elements of the Comprehensive Plan are impacted by the Land Use element.

However, the Land Use element itself has several components that collectively guide the City's future growth: Existing Conditions; an explanation of the different types of plans that affect land uses; the Generalized Land Use Map; a template of land use categories to guide future Land Use Plans; and Land Use Policies. Together, the components of the Land Use element provide the framework for the City's future and the various elements of the Comprehensive Plan.

5.2. EXISTING CONDITIONS

Rio Rancho has a current land area of approximately 105 square miles. Of this land area, the majority is undeveloped. The amount of undeveloped land affords the City the opportunity to plan for future growth.

However, a planning challenge for the City also exists in addressing antiquated platting. Off-site improvements were not required as part of antiquated platting. The lack of infrastructure, such as streets, curbs, gutters, sidewalks, sewer and water lines, and proper drainage

facilities makes it difficult for the City to provide modern subdivision designs. Creative planning is necessary to address this lack of infrastructure.

Land use can have an integral role in addressing the challenges associated with antiquated platting. Generally, larger, planned developments, such as retail shopping centers and subdivisions, will be required to include the necessary infrastructure to address issues such as drainage and traffic circulation. However, because of the existing platting throughout the City, many property owners are able to develop individual lots without installing off-site infrastructure. When this phenomenon repeats itself, neighborhoods are created without planned infrastructure, or commercial developments may gain access from single, small lots creating potential traffic issues. Land use plans can be developed to require the installation of infrastructure through planned developments.

5.2.1 EXISTING LAND USE

Of the one third of the City that is developed, the largest land use is residential. The next largest land use is Civic and Institutional uses, which is primarily comprised of large tracts of land that are occupied by Rio Rancho schools.

Well-established neighborhoods near Southern Boulevard and east of Pat D'Arco Highway (NM 528) have been consistently developed at a medium density (lots generally no larger than one quarter of an acre). Other neighborhoods vary in their composition. Planned developments such as Cabezon and Loma Colorado provide a variety of housing through consistent and compatible neighborhoods. These developments have a street network that provides limited access onto major roads. Individual lot development, on the other hand, for example in the northwest portion of Unit 11, produces an assortment of single-family homes on the existing grid-like street network.

Commercial development (non-residential) comprises less than 2% of all of Rio Rancho's land area. In general, commercial development is concentrated along major roads in the southern portion of the City near older and more established development. The majority of this area is developed as retail strip centers. Commercial uses are particularly concentrated along Pat D'Arco Highway

and Southern Boulevard. Industrial development can be found concentrated just south of the Pat D'Arco Highway and Northern Boulevard intersection in an area known as Industrial Park.

Overall, the majority of existing development is found in the southern part of the City and along major roads to the east and northeast. Much of the City's opportunity to grow is to the north and northwest. The City's overall growth is depicted in Map LU-1: Existing Land Use.

5.3. GENERALIZED LAND USE MAP

The Vision 2020 Preferred Land Use Scenario (previously adopted) was adopted with the *Vision 2020 – Integrated Comprehensive Plan* as the preferred development scenario. This scenario adopted the concept of nodal development and identified areas that were intended to foster higher-intensity land uses.

An updated Generalized Land Use Map has been developed that maintains the concept of nodal development and accounts for updated existing development. The Generalized Land Use Map accounts for existing development, adopted land use plans, and expected future growth. MAP LU-2: Generalized Land Use (Existing and Planned) depicts an updated conceptual development scenario for the City's future growth.

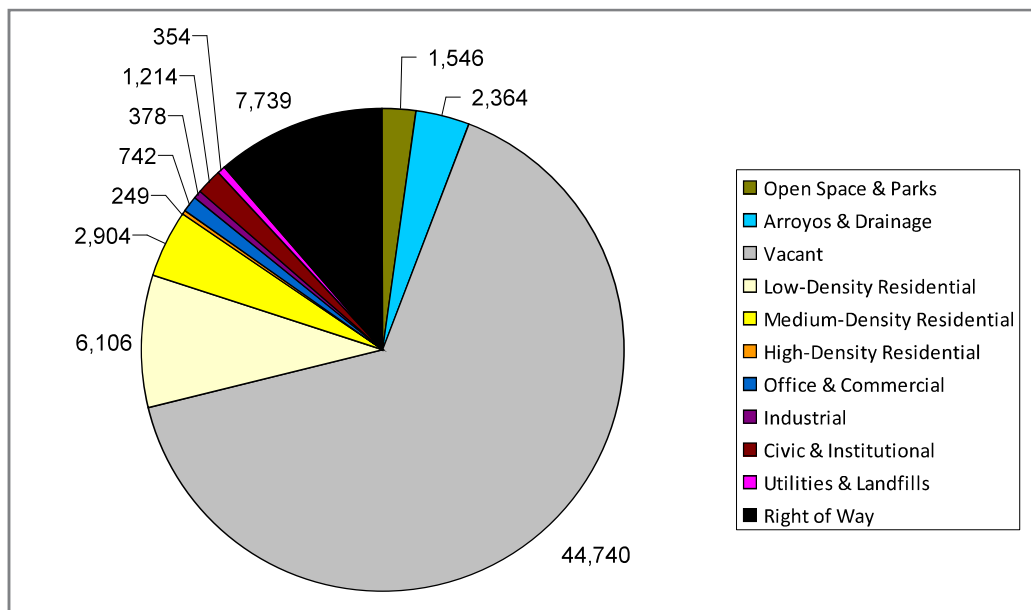
5.3.1 VISION 2020 PREFERRED LAND USE SCENARIO

The previously adopted Vision 2020 Preferred Land Use Scenario was developed through the visioning process of the *Vision 2020 – Integrated Comprehensive Plan*. The City's Vision Statement and the results of the community survey provided the impetus for organizing policy work groups to define general policy statements for the Comprehensive Plan. A Fiscal Land Use Analysis report grew out of concerns by members of the *Public Works & Infrastructure* and *Growth & Economic Development* policy work groups. They recognized the need to systematically evaluate the feasibility and cost effectiveness of different land use development patterns or scenarios for the future growth of the City to the year 2020.

A preliminary growth scenario that was part of the annexation study conducted in 1998 became the broad model for developing three alternative land use scenarios. *Downtown/Infill*, *Growth Nodes*, and *Trends* were the alternatives that were presented for public review and comment at a land use workshop. The Fiscal Land Use Analysis evaluated the Preferred Land Use Scenario on three criteria: land use assumptions, the cost of growth, and the timing of development.

The three scenarios were evaluated at the workshop in terms of land use and development patterns, infrastructure and public facilities costs, and addressed policy questions such as affordable housing, economic growth and revenue generation.

Figure L-1: Citywide Existing Land Use Acreage



The *Downtown/Infill* scenario assumed the development of a centralized, compact, urban core area surrounded by relatively dense, multi-family housing with high land costs and limited open space.

The *Trends* scenario projected the existing low density, suburban-style development into the future, with limited economic opportunities based primarily on strip commercial development.

The *Growth Node* scenario included economic development focused in master-planned activity centers surrounded by multi-family and single-family housing, with large-lot development in outlying areas. The scenario was modified to include infill and a downtown or government node to serve as an urban center. This scenario was the preferred land use pattern as a result of the Vision 2020 visioning process.

Therefore, the concept of growth nodes was maintained in the updated Generalized Land Use Map that is included in this Comprehensive Plan.

5.3.2 UPDATED GENERALIZED LAND USE MAP

The Generalized Land Use Map is the updated conceptual development scenario for the City’s future growth. It is a conceptual representation of existing and planned land use. Together three layers make up the Generalized Land Use Map: existing land use; planned land use; and conceptual development nodes.

Existing land use identifies development that already exists as being either *Open Space*, *Civic*, *Low-Density Residential*, *Medium-Density Residential*, *High-Density Residential*, *Non-Residential* (Office, Retail, etc.), *Industrial*, *Utility*, or *Vacant*.

Planned land use is a consolidation of land uses adopted in existing Specific Area Plans and Master Plans. Land uses in these plans vary and have been dissolved into collapsed categories. Planned land uses have been categorized as either *Open Space*, *Future Planning*, *Low-/Medium-Density Residential*, *High-Density Residential*, *Civic*, *Non-Residential* (Office, Retail, etc.), *Industrial*, or *Utility*.

Conceptual Development Nodes have also been identified to areas that may foster higher-intensity development, such as higher-density residential developments, office complexes, or shopping centers. A general time frame has been symbolized with Conceptual Development Nodes to provide a theoretical outlook for the development of these areas.

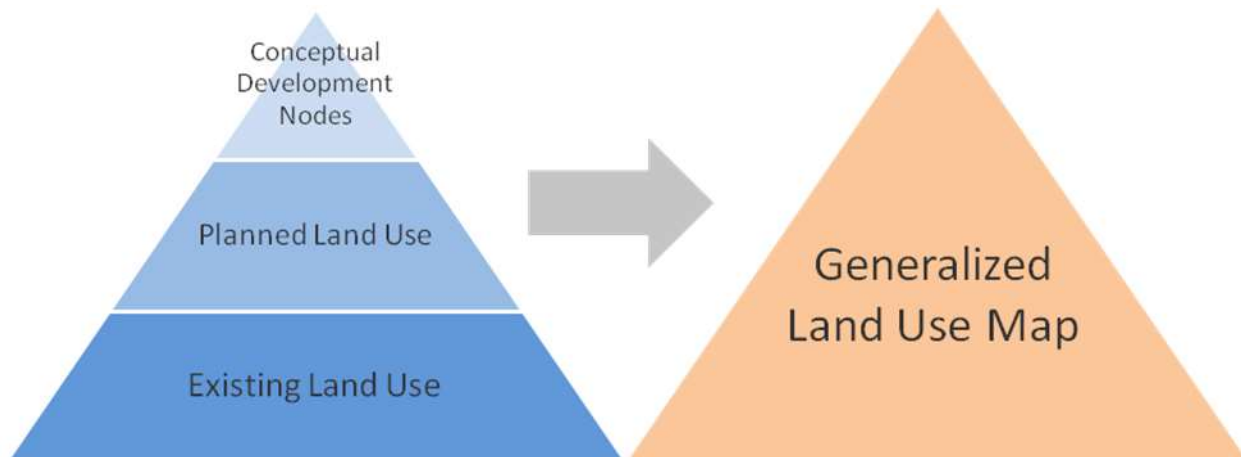
Together these layers create an overall vision of the City’s existing and future development. Map LU-2: Generalized Land Use (Existing and Planned) is the City’s citywide vision for the future. Land Use is conceptualized in the following categories on the Generalized Land Use Map.

5.3.2.1 PARK, OPEN SPACE, DRAINAGE

Areas that are either parks, open space, or drainage features that are generally at least one acre in size.

5.3.2.2 FUTURE PLANNING

Areas that do not currently have Specific Area Plans in place and are generally undeveloped. Development will usually be limited to low-density residential development until a Specific Area Plan can be adopted.



5.3.2.3 LOW/MEDIUM DENSITY RESIDENTIAL

Areas that have either existing single-family residential development, or are generally planned for single-family residential uses.

5.3.2.4 HIGH DENSITY RESIDENTIAL

Areas that have either existing higher-density or multi-family residential development, or are generally planned for higher-density or multi-family residential uses.

5.3.2.5 CIVIC

Areas that have either existing public facilities, such as schools or churches, or are generally planned for public facilities.

5.3.2.6 OFFICE, COMMERCIAL

Areas that have either existing non-residential development, such as office complexes or shopping centers, or are generally planned for non-residential uses.

5.3.2.7 WAREHOUSING, INDUSTRIAL

Areas that have either existing warehousing or industrial development, or is generally planned for existing warehousing or industrial uses.

5.3.2.8 UTILITY

Areas that generally have some type of utility, such as an electric substation, sewer treatment facility, or landfill.

5.3.2.9 CONCEPTUAL DEVELOPMENT NODES

Areas that have a concentration of higher-intensity uses, such as higher-density residential or shopping centers, or are generally planned for higher-intensity uses. A general time frame has been symbolized with Conceptual Development Nodes to provide a theoretical outlook for the development of these areas.

5.4. PLANS

The overall development of the City is guided by an integrated mix of plans. Each plan addresses different types of issues at different scales and capacities. Generally, land use plans are developed to guide future growth and development. Some land use plans are conceptual and address citywide growth. More specific land use plans offer more detailed guidance within a designated area. Together, the City's different land use plans provide the necessary guidance and justification to manage development.

Land use plans evaluate criteria such as topography, existing development, current zoning, and circulation. Land use plans generally use categories to conceptualize and distinguish between different types of development. A land use map will spatially display a proposal for future development using land use categories. Symbols such as dots, asterisks or flags may also be used to generally indicate possible growth nodes or other conceptual focal points. Land use categories are usually categorized by type, such as *Low-Density Residential*, *Office*, or *Industrial*. However, land use categories are **not** zoning districts.

Zoning is the tool that is used to implement the vision developed in land use plans. Zoning is lot-, parcel-, or tract-specific. Although multiple lots, parcels or tracts can be rezoned at one time, a zoning designation is adopted, by ordinance, for a specific property. The City's zoning ordinance specifically outlines regulations for zoning districts, such as its *Purpose*, *Permissive Uses*, *Conditional Uses*, *Area*, *Height*, *Setbacks*, *Off-Street Parking*, *Landscaping*, and *Buffer Zone*.

5.4.1 TYPES OF PLANS

There is a hierarchical approach to land use planning that is discussed in detail in this section. The City generally refers to five types of plans to implement land use planning. These five types of plans vary in scope. The five types of plans are:

- Strategic Plan
- Comprehensive Plan
- Specific Area Plans
- Master Plans
- Development Plans

These five types of plans vary in scope—from broad, citywide goals to site-specific development planning. For example, the City's broadest plan, the Strategic Plan, is a citywide goal-setting document. On the other hand, a Development Plan is a site-specific plan and addresses many on-site and off-site development issues.

In addition to these plans, other City Departments and collaborative entities adopt Master Plans for their areas of emphasis.

5.4.2 STRATEGIC PLAN

The City of Rio Rancho developed its Strategic Plan to establish priorities for City government for 2009 to 2014. It represents the consensus that emerged from the collaborative efforts of the City leadership over a period of several months.

5.4.2.1 COMPONENTS OF THE STRATEGIC PLAN

This Strategic Plan is for the period 2009 to 2014. It contains the following elements:

- Mission
- Vision
- Values
- Goals
- Strategies

5.4.2.2 MISSION, VISION AND VALUES

At the joint Governing Body-Staff workshop participants engaged in visioning exercises. Following the workshop, a subcommittee of staff and Governing Body members met to create mission, vision and values statements.

The mission statement for Rio Rancho is:

The City of Rio Rancho's mission is to ensure the health, safety and welfare of the community by providing excellent service to achieve a high quality of life for residents, businesses, and visitors.

The vision statement for Rio Rancho is:

A diverse, sustainable, family-friendly community that is safe, vibrant and attractive to residents, businesses and visitors.

The overarching values of Rio Rancho are:

- Service
- Accountability
- Respect

The values statement for Rio Rancho is:

A philosophy of service, accountability and respect shall govern our interactions with citizens and with each other.

5.4.2.3 GOALS

The Strategic Plan promotes the City of Rio Rancho's vision by establishing goals and strategic directions for each of the issue areas identified during the planning process. The following six goals have been created to reflect the character of the community that is envisioned in the future. The goals are multi-year in nature.

5.4.2.4 GOAL 1: INFRASTRUCTURE

Ensure that the City develops new and has well-maintained infrastructure that fosters a quality community, supports a strong economy and meets the needs of current and future residents.

5.4.2.5 GOAL 2: DEVELOPMENT

Ensure the City has plans and policies in place to attract and create well-planned high-quality, stable, residential, commercial and industrial development.

5.4.2.6 GOAL 3: FISCAL HEALTH

Ensure that the City's fiscal health is strong with a growing tax base, sound financial policies and economically diverse funding solutions.

5.4.2.7 GOAL 4: PUBLIC SAFETY SERVICES

Provide services to ensure the safety and health of the community through quality police, fire and emergency medical services.

5.4.2.8 GOAL 5: GOVERNMENT SERVICES

Deliver quality services to meet community needs, assuring that the City is sufficiently staffed, trained and equipped overall.

5.4.2.9 GOAL 6: QUALITY OF LIFE

Provide quality of life services to meet community needs, assuring that there are strong relationships with all sectors of the community and ample opportunities for citizen engagement.

5.4.3 COMPREHENSIVE PLAN

The City's *Comprehensive Plan* is more detailed than the *Strategic Plan*. The *Comprehensive Plan* provides a thorough analysis of existing citywide conditions and provides policies to guide land use and development decisions. The *Comprehensive Plan* provides two important components of land use planning. It outlines land use categories and provides a conceptual Generalized Land Use Map.

5.4.4 SPECIFIC AREA PLANS

Specific Area Plans further implement the Generalized Land Use Map described in the previous section. Thus, Specific Area Plans are part of the Land Use Element of the *Comprehensive Plan*. Specific Area Plans are developed by the City and further define land uses within a specific area. Specific Area Plans provide policies and propose land uses based on existing development, existing zoning, neighborhood input and sound land use planning methodology. These plans usually identify infrastructure and facility projects that may be planned in the area. However, these plans do not provide implementation strategies for specific types of infrastructure. Specific Area Plans usually further define specific growth nodes that are intended to harvest more intense land uses.

5.4.5 MASTER PLANS

Master Plans are detailed development plans that are often created by a developer. Master Plans are generally smaller than Specific Area Plans, but larger than subdivisions. Examples of Master Plans within the City include Cabezon and Loma Colorado. These areas are usually referred to as “master-planned communities” because they address land use, transportation, drainage and utilities in the planning document. These communities usually plan for a mix of housing and non-residential uses throughout the area—land uses included in the Comprehensive Plan are preferred.

Master Plans may fit within a Specific Area Plan or may provide sufficient planning detail that they may be developed in unplanned areas and stand in place of a Specific Area Plan. Sufficient planning detail usually addresses the overall site, land use, grading and drainage, circulation, utilities, design standards, and phasing and financing.

5.4.6 DEVELOPMENT PLANS

A Development Plan is a plan for a site-specific development project. This type of Plan may develop as a residential subdivision, office park, retail shopping center, or some other type of single or multi-lot site. A subdivision requires the review of a plat map. A non-residential development, such as an office park or retail shopping center, would require the review of a site plan. Development Plans are similar to Master Plans, however they are smaller in acreage and typically do not plan land uses.

5.5. LAND USE CATEGORIES

The building blocks of a land use plan are land use categories. Land use categories generally outline land uses that are considered appropriate in certain areas. Land use planning allows the City, developers and property owners to conceptualize where different types of development may occur. This concept institutes some predictability between land uses which creates well-planned neighborhoods. The land use categories in

Table L-1: Types of Plans

Plan	Description	Components	Acreage
Strategic Plan	The City’s Strategic Plan establishes citywide priorities.	<ul style="list-style-type: none"> • Mission • Vision • Values • Goals • Strategies 	Citywide
Comprehensive Plan	Provides a holistic analysis of City conditions, and provides goals policies and actions to guide future growth and development.	<ul style="list-style-type: none"> • Land Use • Population & Housing • Public Facilities • Transportation • Recreation • Conservation & Natural Environment • Urban Design • Economic Development • Antiquated Platting, Annexation & Addressing • Implementation 	Citywide
Specific Area Plans	Provides specific goals, policies, and actions; and proposes land use throughout a specific area within the City.	<ul style="list-style-type: none"> • Existing Conditions • Proposed Land Use • Transportation & Access Management • Implementation 	Generally At Least 1,000 Acres
Master Plans	Provide a comprehensive development plan for a large area within the City. Must comply with applicable Master Plans and/or Specific Area Plans, and the Comprehensive Plan.	<ul style="list-style-type: none"> • Site Analysis • Land Use • Grading & Drainage • Circulation • Utilities • Design Standards • Phasing and Financing 	Preferably At Least 100 Acres
Development Plans	Provide an adequate development plan for a specific site within an existing land use plan. Must comply with applicable Master Plans and/or Specific Area Plans, and the Comprehensive Plan.	<ul style="list-style-type: none"> • Site Analysis • Grading & Drainage • Circulation • Utilities • Design Standards • Phasing and Financing 	No Minimum Acreage

the Comprehensive Plan are intended to be the model framework from which land use categories in future plans are to be created.

5.5.1 LAND USE HIERARCHY

The idea of land use planning is built around the assumption that different types of land uses are more or less impactful on surrounding land uses. Thus, a hierarchy of land uses can be identified and planned for accordingly. In general, low-density, residential development is considered to be a low-intensity land use. An example of a high-intensity land use would be an industrial facility.

In land use planning, land uses are arranged to provide compatibility as much as possible. For example, low-density residential development is generally located near other types of residential development, offices, or light retail developments. More intense uses such as large shopping centers and warehousing will typically be planned near commercial and industrial areas. Thus, the building blocks of land use planning regulate how different types of development may be arranged geographically to produce well-integrated communities.

The Comprehensive Plan establishes the following land use categories to provide a consistent framework when future Specific Area and Mater Plans are developed.

These categories are based on density and permissive uses prescribed in the City's Zoning Ordinance. Residential densities are based on the gross density of a site. The categories are conceptual in nature and must be adaptable to changing development needs and amendments to the City's Zoning Ordinance.

5.5.2 LOW-DENSITY RESIDENTIAL

The Low-Density Residential land use category is intended to provide opportunities for large-lot, single-family residential development. Additional uses that may be integrated into low-density residential development include community uses such as schools, parks, and churches.

Density: Maximum 4 DU/AC

5.5.3 MEDIUM-DENSITY RESIDENTIAL

The Medium-Density Residential land use category is intended to provide opportunities for higher-density, single-family development. Additional uses that may be integrated into medium-density residential development include community uses, such as schools, parks, and churches.

Density: Maximum 16 DU/AC

Density restrictions should be adjusted to be compatible with surrounding development.

5.5.4 HIGH-DENSITY RESIDENTIAL

The High-Density Residential land use category is intended to provide opportunities for small-lot, single-family residential and multi-family residential development. Additional uses that may be integrated into high-density residential development include community uses, such as schools, parks, and churches.

Density: Maximum 32 DU/AC

5.5.5 OFFICE

The Office land use category is intended to provide opportunities for a variety of office uses. Appropriate uses may include financial, services or public administration. Office development is intended to provide a buffer between residential uses and more intense commercial uses.

5.5.6 MIXED-USE

The Mixed-Use land use category can often provide a dense, vertically-integrated blend of land uses allowing people to live and work in the same place. Mixed-use development seeks to decrease the use of automobiles and encourage alternative modes of transportation, including walking.

5.5.7 NEIGHBORHOOD COMMERCIAL

The Neighborhood Commercial land use category is intended to provide neighborhood-scale retail centers that serve the immediate residential areas. Uses for a Neighborhood Commercial may include small-scale restaurants, retail stores, or offices. Adult uses and more intense uses requiring a conditional uses permit are deemed to be inappropriate within the Neighborhood Commercial land use category.

5.5.8 COMMUNITY COMMERCIAL

The Community Commercial land use category is intended to provide community-scale retail nodes that serve surrounding residential areas. Uses for a Community Commercial may include large-lot, anchor businesses, commercial mixed-use buildings, restaurants, retail stores, or offices.

5.5.9 BUSINESS PARK INDUSTRIAL

The Business Park Industrial (BPI) land use category is intended to provide opportunities for visually-contained warehousing and light manufacturing. The BPI land use category prohibits outside storage. Uses within the BPI

land use category may include concealed storage, research and development, manufacturing assembly, printing, or the manufacturing or storage of food products. Uses shall not create offensive noise, vibration, smoke, dust, lint, odors, heat or glare because this land use category is intended to allow for less intense industrial land uses.

5.5.10 INDUSTRIAL

The Industrial land use category is intended to provide opportunities for heavy commercial and light manufacturing uses that are compatible with neighboring uses.

5.5.11 CIVIC

The Civic land use category is intended to identify land that is either developed or owned by a church, Rio Rancho Public Schools, a private school, a public utility company, the City of Rio Rancho, or other governmental or quasi-governmental entity for the purpose of providing community and/or public facilities. Uses within the Civic land use category will be subject to restrictions defined by any applicable land use plans or zoning that applies to that area.

5.6. IMPLEMENTATION

5.6.1 DISCUSSION

The land use element of the Comprehensive Plan is the dominant element within the plan because it establishes the direction of growth within the City. Moreover, the land use element also sets the policy direction for other elements within the Comprehensive Plan. Therefore, the goals, policies and actions within the land use element must be developed so as not to conflict with the goals, policies, and actions in other elements of the Comprehensive Plan.

5.6.2 GOALS

Goal L-1: Encourage mixed uses – retail, office, and residential centered on pedestrian-oriented developments along principal arterial roads.

Goal L-2: Encourage consolidation of lots to promote a variety of land uses in a planned manner.

Goal L-3: Maintain a balance of land uses throughout the City.

Goal L-4: Support development within City Center that is consistent with development commonly found within a dense urban core.

5.6.3 POLICIES

Policy L-1: Encourage the master planning of developments that establish a community character that considers circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.

Policy L-2: Promote and support neighborhood scale retail activities that are consistent with residential development.

Policy L-3: Promote and support development that incorporates walkability.

Policy L-4: Encourage adequate pedestrian connections to future transit facilities in all residential site development.

Policy L-5: Incorporate suitable developments that can provide an immediate revenue benefit to the City of Rio Rancho within City Center, recognizing land values will drive the pace of making City Center a dense urban core.

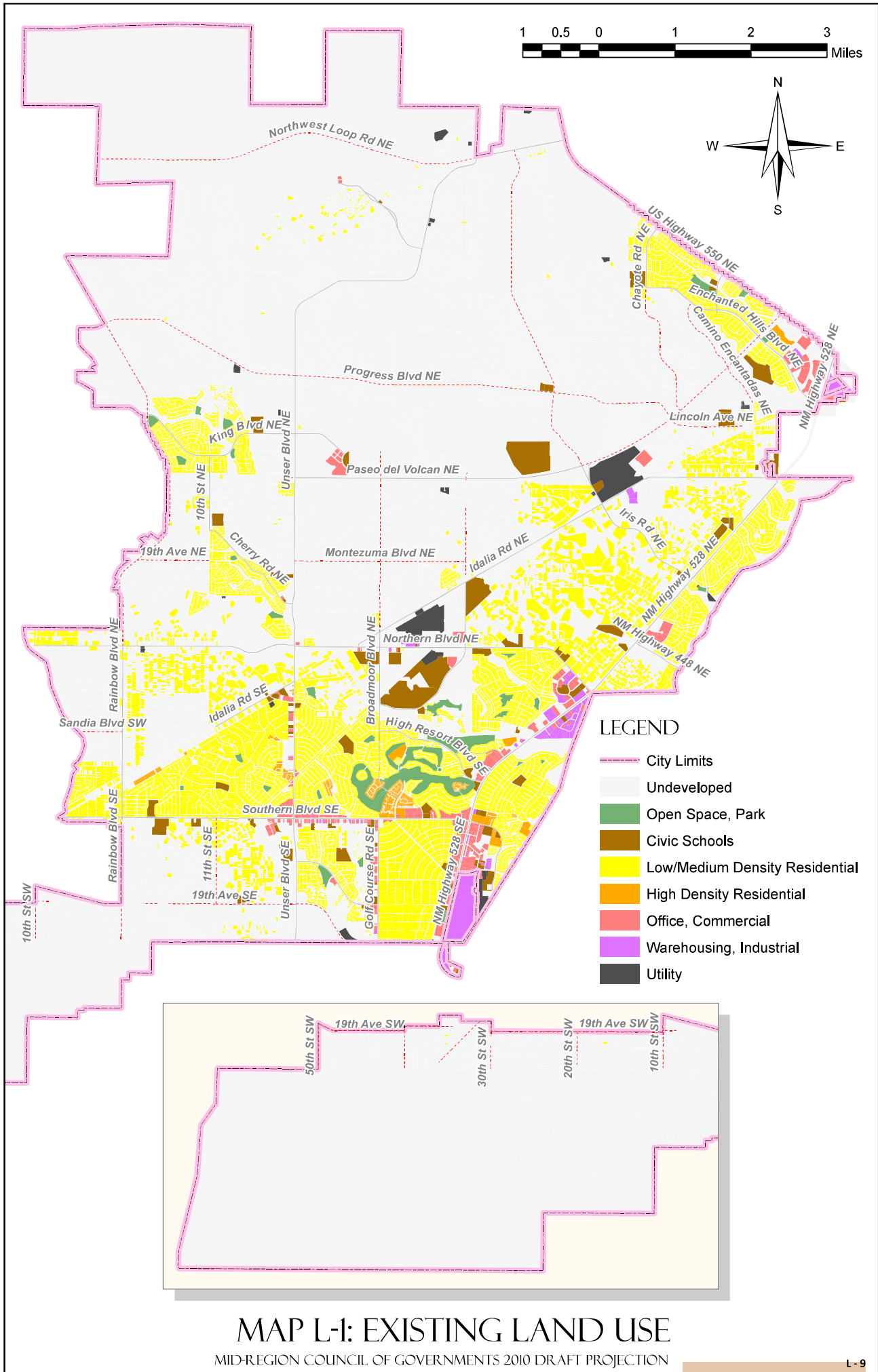
5.6.4 ACTIONS

Action L-1: Identify areas within the City where locating large-scale light industrial businesses such as light manufacturing, warehousing and research facilities are appropriate.

Action L-2: Amend the zoning ordinance to establish specific criteria necessary to establish master plans by developers.

Action L-3: Amend the zoning ordinance so it supports and implements the comprehensive plan.

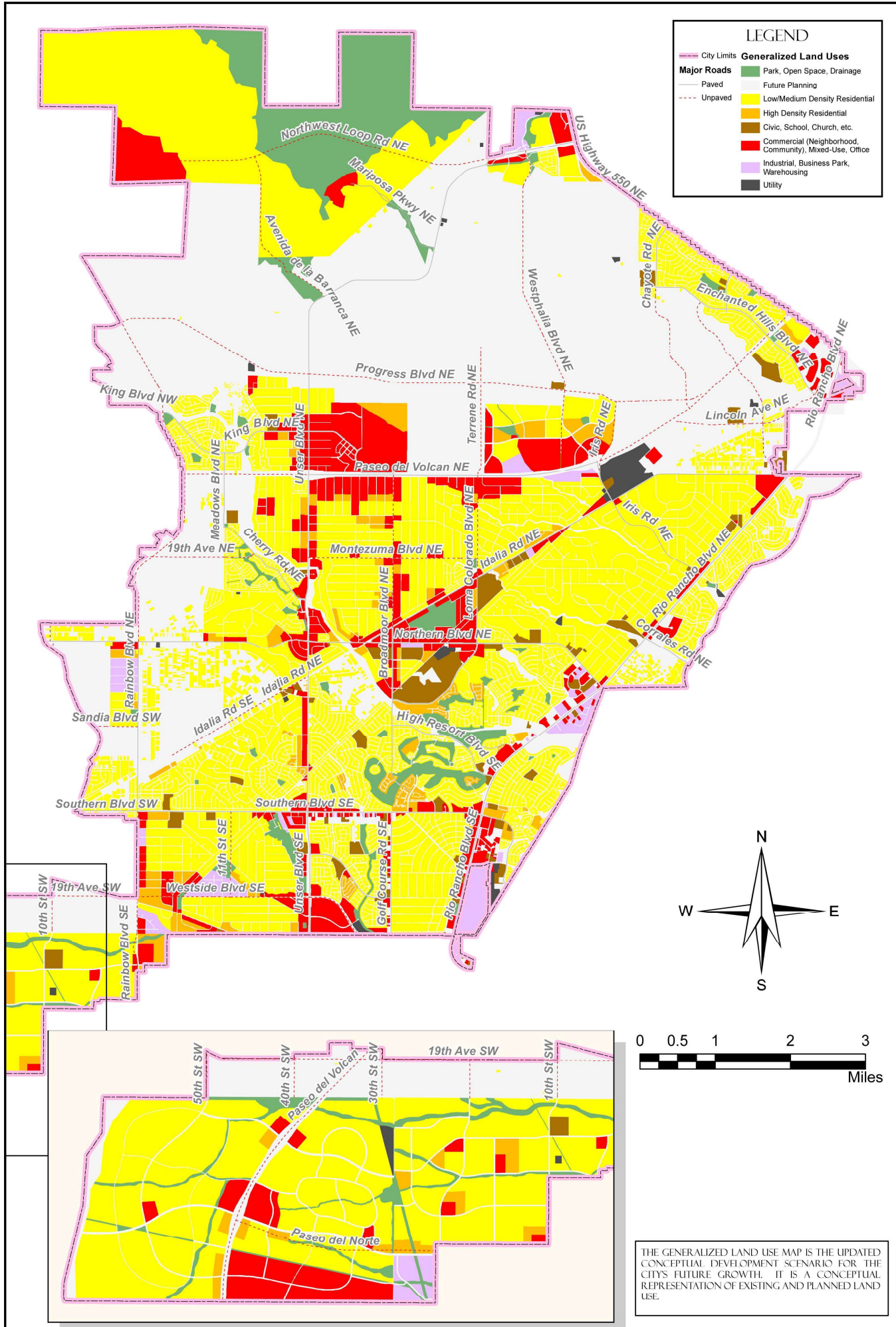
Action L-4: Offer incentives to land owners that have contiguous lots totaling at least five acres to consolidate their lots.



MAP L-1: EXISTING LAND USE

MID-REGION COUNCIL OF GOVERNMENTS 2010 DRAFT PROJECTION

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MAP L-2: GENERALIZED LAND USE (EXISTING AND PLANNED)

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VISION, INTRODUCTION
& EXECUTIVE SUMMARY



1. VISION FOR GROWTH

The vision for the physical development of the City of Rio Rancho emerged from a series of workshops held during the development of the Vision 2020 Integrated Comprehensive Plan (ICP), adopted in 2001. While some aspects of the updating of the Comprehensive Plan have changed, the idea of higher intensity and density growth nodes introduced in the Vision 2020 ICP has not changed. Since the Comprehensive Plan is organized with individual elements that can stand on their own, the Development Services Department will review each element no less than every five years and amend the plan elements as necessary.

The key elements of the Vision include:

- Gateways or entries into the city. More specifically, the identification and creation of gateway and corridor streets where high traffic volumes exist or will exist and specific design criteria will be applied to the type of landscape treatment, intersection details and the types of land uses that are appropriate along gateway and corridor streets to implement the vision conceived during the Vision 2020 ICP workshops.
- The preservation and enhancement of arroyos as an open space corridor is necessary to allow citizens the opportunity to connect with the natural environment. Likewise, utility easements

play an important role in the development of open space via multi-use trails. Utilizing arroyos and utility easements allows benefits the City by creating multi-use facilities which are addressed in the City's Strategic Plan and Southern Sandoval County Arroyo Flood Control Authority's (SSCAFCA) Quality of Life Master Plan. Arroyo preservation also contributes to aquifer recharge, flood control, and provides wildlife habitat all of which are sustainability issues that support the City's Strategic Plan which was adopted in March 2009.

- Community wide facilities such as parks, schools, libraries, and senior centers, etc. were deemed important during the Vision 2020 ICP workshops. Where possible, the Vision of the Comprehensive Plan is to link trails, to community facilities in order to increase Rio Rancho's walkability.
- As Rio Rancho grows, the development of higher intensity nodes with high-density residential land uses will be necessary to create transit opportunities, walkable neighborhoods, and complete streets (landscaped medians and sidewalk buffers, transit and bicycle lanes etc.).



1.1 ANTIQUATED PLATTING

Along with water availability, antiquated platting is one of the most significant issues that inhibits the City of Rio Rancho's ability to plan for roads, public facilities, economic development, and many of the quality of life topics addressed in the City's Strategic Plan and SSCAFCA's Quality of Life Master Plan. This issue affects land that was prematurely platted and sold in the 1960s and 1970s. Problems that continue due to the platting of Rio Rancho Estates include but are not limited to: fractionalized land ownership and the lack of off-site improvements like paved roads, sewers, and drainage facilities.

The topic of antiquated platting is discussed throughout the Comprehensive Plan because it crosses all of the City's lines of business, including Economic Development, Public Works, Planning, and Parks and Recreation. Therefore, a number of goals, policies and actions in the Comprehensive Plan address antiquated platting.

1.2 URBAN DESIGN CRITERIA

Rio Rancho has been and continues to be a rural to suburban community. However, as the City continues to grow and as land becomes more valuable, it will be necessary to increase residential densities in order to provide efficient services and affordable housing. Additionally, increasing residential densities is necessary for transit services to become successful. The following design criteria came out of the Vision 2020 ICP workshops:

1.1.1 LOW DENSITY RESIDENTIAL:

Sites should be developed in an environmentally sound approach with respect to storm water management by: reducing the impervious areas on an individual lot, utilizing rainwater collected in a gutter system for landscape irrigation, plants, trees, shrubs, and groundcover to encourage infiltration, and require on site retention and use of water collected. Additionally, the proper siting of buildings on a lot to take advantage of the natural systems such as: solar orientation to heat the house in the winter, location of the appropriate plant material to shade a house in the summer, but allow the sun to penetrate through windows in the house during the winter, and the use of trees to protect structures from the prevailing winds throughout the year. Discourage, where appropriate, the use of walls around the perimeter of lots, with the exception of horse fencing.

Encourage the use of development envelopes to determine the maximum extent of development allowed on a lot. This will allow for the preservation of the rural character of the area and the preservation of the natural landscape.

1.1.2 MEDIUM DENSITY RESIDENTIAL

Landscape streets with appropriate plant materials, the placement should create a sense of enclosure and enhance the continuity of the route.

To the extent practical, community facilities such as schools and parks should be part of a development node and surrounded by residential neighborhoods. Develop environmentally sound approaches to storm water management on each lot. This may include: reducing the impervious areas on an individual lot, utilizing rainwater collected in a gutter system for landscape irrigation, plant trees, shrubs, and groundcover to encourage infiltration, require on site retention and use of water collected at the subdivision level. Parking shall be on-site.

Where practical, locate development within a quarter mile of a community center, park, school, or other public facility. Sidewalks, walkways, and bikeways shall be incorporated into the development design so that more direct and convenient access will encourage their use. Cul-de-sacs should include a walkway/bikeway access to provide convenience for the pedestrian and bicyclist, yet still provide cul-de-sac insulation from auto traffic. Provide for multiple sidewalk/bikeway access points along the perimeter of a development to increase convenience for the user, yet still provide neighborhood insulation from through auto traffic. Connect walkways and bikeways directly to adjacent shopping centers, schools, churches, employment centers, and other public facilities to provide the opportunity to facilitate replacement of some auto trips. Connect the residential path system to the city-wide multi-use paths within the arroyos, easements, and arterial roadway system. Create the opportunity or flexibility to allow neighborhood serving commercial to be located within a residential area.

1.1.3 HIGH-DENSITY RESIDENTIAL

Locate high-density residential areas on collector or arterial streets within 1/8 mile walking distance of a commercial center, employment center, or other community facility. Incorporate sidewalks, walkways, and bikeways into the development design so that more direct and convenient access will encourage their use. Sidewalks, walkways, and bikeways shall be incorporated into the development design so that more direct and convenient access will encourage their use. Cul-de-sacs should include a walkway/bikeway access to provide convenience for the pedestrian and bicyclist, yet still provide cul-de-sac insulation from auto traffic. Provide for multiple sidewalk/bikeway access points along the perimeter of a development to increase convenience for the user, yet still provide neighborhood insulation from through auto traffic. Connect walkways and bikeways directly to adjacent shopping centers, schools, churches, employment centers, and other community facilities to provide the opportunity to facilitate replacement of some auto trips.

1.3 DEVELOPMENT NODES

The creation of development nodes where a higher concentration of land uses exist in the form of commercial, multi-family and mixed-use developments helps to develop a sense of place. In order for a node to function as a vibrant and diverse development, nodes tend to be created with a mixture of land use types (both horizontal and vertical) are more pedestrian in scale, and the focus, from a physical design sense, is one of building details and creation of the public realm by placement and relationships of the built form.

Incorporating public spaces and mixed-uses into a development is an important aspect to creating a vibrant and diverse node. By promoting creative site planning and design via floor area ratio (FAR) bonuses for exceptional quality planning and design developers are more likely to incorporate public spaces, community facilities and attractive design elements into a development. Increasing residential densities for projects that offer mixed uses with a diversity of housing opportunities including the provision of affordable housing also creates a more vibrant and diverse development.

Developing visual terminuses with changes in color/texture/materials, plazas and other design elements within a development enhances the sense of a place created by a mixed-use development. Avoiding freestanding pad site developments with large setbacks and allowing on-street parking helps reduce the size of the on-site parking areas increasing a pedestrian's sense of security by providing a pedestrian scale to a development that helps to foster human interaction. Reducing building setbacks to allow for on-site parking located behind buildings also promotes a pedestrian-scale development.

Because crosswalks are an integral part of encouraging pedestrian activities throughout the city, minimizing the distance a pedestrian has to travel when crossing a street is an important aspect to creating walkable, complete streets. On-street parking with extended curb lines is one way to accomplish reduced crossing distances. Additionally, incorporating well marked and appropriately sized bicycle lanes is an important aspect to a complete street. Another aspect to complete streets is the integration of dedicated transit lanes where practical.

2. INTRODUCTION

2.1. HISTORICAL PERSPECTIVE OF RIO RANCHO AND THE RIO GRANDE VALLEY

2.1.1 EARLY HISTORY OF THE RIO GRANDE VALLEY

It is commonly held that the Rio Grande Valley was inhabited approximately 10,000 to 12,000 years ago. The remains of a hunting campsite, located within the current City limits of Rio Rancho, reveal that the first indigenous residents lived in the Rio Rancho vicinity approximately 11,000 years ago. These early inhabitants were hunters and gatherers whose tools of the trade were arrowhead-like artifacts called “Folsom Points” named after the location where similar artifacts were first located in New Mexico in 1927.

In the winter of 1540 Francisco Vásquez de Coronado led Spanish conquistadors to the Rio Rancho vicinity in search of the fabled, “seven cities of gold,” while conquering native peoples along the way.

Instead of the Seven Cities of Gold, Coronado’s party found an agrarian society of more than 60,000 persons living in 12 to 16 inhabited pueblos along the Rio Grande between present-day Bernalillo and Isleta Pueblo.

The Spanish explored New Mexico as a combination of exploration and missionary efforts by the Catholic Church of Spain. The Spanish entered the middle Rio Grande valley and mandated catholic teachings in every pueblo they encountered. This was in direct conflict with the Native Americans’ traditional religions and eventually led to unrest and the ensuing Pueblo Revolt of 1680.

In 1706, colonization increased and Albuquerque was founded by Governor Don Francisco Cuervo y Valdes and named in honor of the Duke of Albuquerque, viceroy in Mexico City. Four years later the Town of Alameda Land Grant, land upon which Rio Rancho is built, was officially conveyed by the Spanish Crown. It stretched from the Rio Grande to the Rio Puerco, and included present day

Alameda, Corrales, Paradise Hills and Rio Rancho. Within the grant, the land was divided by varas: long, parcels that extended westward from the Rio Grande and connected each farmer to his neighbor through a network of acequias or irrigation ditches. This parcel platting is still evident in the ownership pattern and street pattern visible in the adjoining community of Corrales, New Mexico.

In 1821, Mexico won its independence and the Santa Fe Trail was opened as a major commerce route between Mexico City and Missouri. The route parallels the Rio Grande corridor adjacent to present day Rio Rancho.

In 1846, President Polk declared war with Mexico under the direction of General Stephen W. Kearny. Santa Fe was subsequently captured and the American Period began with New Mexico was organized as a territorial entity. At the close of the Mexican War two years later, the Treaty of Guadalupe Hidalgo was signed commencing the process of formally adopting New Mexico, as a Territory of the United States.

After the establishment of the American territorial government in 1848, private land holdings, such as the Alameda Land Grant, were challenged in the United States Court leading to a number of lawsuits resulting in disputed boundaries for many years. In 1864, the Office of the US Surveyor General surveyed the Town of Alameda Land Grant followed by the creation of Sandoval County in the early 1900’s. The total population of the entire State of New Mexico was estimated to be approximately 327,300 persons. President William Howard Taft signed the legislation that made New Mexico the 47th state of the union in 1912.

2.1.2 RIO RANCHO ESTATES PRIOR TO CITY INCORPORATION

The San Mateo Land Company purchased the property in 1919 for \$0.19 per acre as an investment and sold the property in 1948 to Brownfield & Koontz to become the “Koontz Ranch” with over 500 head of cattle grazing on the property. In 1959, the property was sold to Ed Snow a local investor and developer. The land, located immediately north and west of the City of Albuquerque, continued to increase in value as the Albuquerque metropolitan area grew to just over 200,000 persons in 1960.

In 1961, Rio Rancho Estates, Inc. (hereinafter, “AMREP”) purchased an estimated 55,000 acres as an investment. AMREP’s success in New York City as a rose flower mail order business afforded the company the financial ability to purchase the property for approximately ten million dollars. In the years immediately following the purchase, a plan was created to subdivide the property into tens of thousands of lots and sell them using mass marketing and mail order techniques. AMREP platted and sold this land as Rio Rancho Estates in half acre and one acre lots to thousands of absentee property owners through mail order sales in the 60’s and 70’s. AMREP sold 77,000 lots to 40,000 buyers for \$200 million at \$795 for one half acre and \$1,495 for one acre, while retaining over 25% of the acreage for future development.

In 1966 the 100th family moved into the community and by 1970, “Rio Rancho Estates” had grown to 91,000 acres with the purchase of an additional 35,000 acres of King Ranch property. AMREP continued its interest and involvement in the community and established its role in the development of the emerging City as builder, land developer, economic development coordinator and leader in the construction of affordable housing.

In 1975, AMREP ceased mail order land sales and began concentrating on housing and commercial development. Beginning in 1977, AMREP marketed most of its early subdivisions to retirees, but it soon shifted its focus to providing affordable housing for young families.

In the late 1970s, some local residents began an effort to incorporate a portion of Rio Rancho Estates into a city. On the third attempt on September 3, 1980, the residents voted approval of incorporating an area of approximately 8,194 acres into the City of Rio Rancho. A total of 3874 votes were cast with 2330 residents voting for incorporation.

2.1.3 THE CITY OF RIO RANCHO AND RIO RANCHO ESTATES SINCE CITY INCORPORATION

On February 23, 1981, with 10,208 residents the City of Rio Rancho was officially incorporated. Ordinances covering zoning and subdivisions were approved by the newly elected Governing Body making Rio Rancho one of New Mexico’s youngest cities.

AMREP continued being the builder of Rio Rancho residences, emphasizing affording housing and began promoting economic development to provide a more favorable jobs/housing balance for the area and an economic base to generate high paying jobs and tax revenues for the growing City. In 1980, the City had 1,500

jobs, less than one third of which were economic base jobs that export goods and services out of the area and bring in money. By 2000, employment in the City had increased to over 19,000 jobs, over 10,000 of which were in the economic base category.

The 1990s were marked by Rio Rancho’s monumental steps forward with respect to its ability to mature as a City – from bedroom community to a self-sustaining City. The City acquired the water and wastewater utility, established its own school district, solicited the development of several post-secondary educational facilities, elected to become a “Home Rule” chartered community, achieved the second lowest crime rate in the State of New Mexico and encouraged the development of a variety of businesses through the development of efficient public/private partnerships and through incentives such as industrial revenue bonds.

In the last decade, the City has continued its rapid growth, becoming the third largest City in the state, annexing two state land parcels, and attracting several large economic development projects. Throughout this period while Rio Rancho was maturing as a governmental entity, it was also growing physically, annexing more of the Rio Rancho Estates and even land in Bernalillo County into the City limits.

2.2. THE PURPOSE FOR A COMPREHENSIVE PLAN

The need for a Comprehensive Plan serves both a practical need and a legal need. A comprehensive plan serves these roles in the following ways: a) The Comprehensive Plan is a statement of City Development policy, b) The Comprehensive Plan is a guide for future development decision making, c) The Comprehensive Plan fulfills a legal requirement that justifies land use decisions adopted by the Governing Body.

The Comprehensive Plan is a statement of how community desires to grow. It becomes the basis for approving zone changes and other land use approvals. The Comprehensive Plan is composed of the following Elements, all of which relate to one another:

- a) Conservation & The Natural Environment,
- b) Land Use,
- c) Population & Housing,
- d) Transportation,
- e) Public Facilities,
- f) Parks & Recreation,
- g) Urban Design,
- h) Economic Development,
- i) Antiquated Platting, Annexation & Addressing.

Of particular note in this Comprehensive Plan is the Land Use Element. The Land Use Element includes a Land Use Map which is a key tool in determining whether or not a request for rezoning land is deemed appropriate or not. Because the Land Use Map in the Comprehensive Plan does not identify a specific land use to every parcel within the City, the City will rely on the development of Specific Area Plans and Master Plans for identifying a specific land use at the parcel-level. Specific Area Plans and Master Plans are a part of the Land Use Element and are used as a statement of policy to guide land-use decision making by the Governing Body.

This document and all of its elements, including Specific Area Plans and Master Plans will serve as the official Comprehensive Plan for the City of Rio Rancho and will hereafter be referred to in the document as the Comprehensive Plan. The City of Rio Rancho initially implemented a comprehensive plan in 1988. The 1988 Comprehensive Plan outlined goals and objectives for three areas—Land Use, Transportation and Public Services. Then, like now, several goals in the Comprehensive Plan stated the need for having a self-sustaining community, a variety of housing choices and enhancing the visual and environmental qualities of the city.

The 1988 Comprehensive Plan served the City for 13 years until the Vision 2020-Integrated Comprehensive Plan (ICP) was adopted in June 2001. The Vision2020 ICP greatly expanded the scope of the 1988 Comprehensive Plan. In addition to addressing Land Use, Transportation and Public Services, the Vision 2020 ICP incorporated sections with policy statements on Urban Design, Sustainability, Infrastructure, Housing and Economic Development.

In 2008, the City of Rio Rancho underwent a strategic planning initiative to help focus the operational goals for the City. The Strategic Plan outlined six broad-based goals that were deemed critical to the continued success in the growth of the city. Below are the six goals contained in the Strategic Plan.

Goal 1: Infrastructure

Ensure that the City develops new and has well-maintained infrastructure that fosters a quality community, supports a strong economy and meets the needs of current and future residents.

Goal 2: Development

Ensure the City has plans and policies in place to attract and create well-planned high-quality, stable, residential, commercial and industrial development.

Goal 3: Fiscal Health

Ensure that the City's fiscal health is strong with a growing tax base, sound financial policies and economically diverse funding solutions.

Goal 4: Public Safety Services

Provide services to ensure the safety and health of the community through quality police, fire and emergency medical services.

Goal 5: Government Services

Deliver quality services to meet community needs, assuring that the City is sufficiently staffed, trained and equipped overall.

Goal 6: Quality Of Life

Provide quality-of-life services to meet community needs, assuring that there are strong relationships with all sectors of the community and ample opportunities for citizen engagement.

Each of the goals is further broken down into a number of strategies designed to successfully accomplish meeting the goal. Goal 2: Development pertains to land-use planning. Six of the seven strategies in Goal 2 specifically relate to the update of Comprehensive Plan. Strategy B calls for an economic development strategy that was addressed by the development of an Economic Development Plan. The Economic Development Plan is the basis for the Economic Development Element contained within this Comprehensive Plan. Below are the strategies outlined in Goal 2 of the Strategic Plan that specifically relate to the update of Comprehensive Plan.

Strategy A (FY 09-11): Develop a unified vision of the level and type of growth to be allowed in the community, including but not limited to, a diversity of housing, by updating the Vision 2020 ICP.

Strategy B (FY 09-11): Update and implement the citywide comprehensive Economic Development Strategy that targets businesses the community wants and makes Rio Rancho a destination for a variety of events and activities.

Strategy C: Develop and implement a plan for expanding current and building new needed major roads (i.e. formal thoroughfare plans).

Strategy D: Develop and implement a method of reforming the current antiquated platting (including proposing legislative changes at the State level) in order to ensure quality development and proper use of water resources in the future.

Strategy E: Develop and implement a set of approval criteria for new development, based on the Governing Body's vision for future development by updating the Vision 2020 Plan.

Strategy F: Develop, implement and enforce design criteria for new infrastructure associated with new development by updating the Vision 2020 Plan.

Strategy G: Develop and implement a Comprehensive Plan containing clear principles and policies set forth to achieve the City's goals pertaining to public and private development by updating the Vision 2020 Plan.

This comprehensive plan will build upon the past two Comprehensive Plans adopted by the City of Rio Rancho. There are several major changes between this Comprehensive Plan and the 2020 ICP. The layout of this Comprehensive Plan departs from the 2020 ICP in that the existing conditions for all aspects of the plan were separated from the policy statements for each topic. This Comprehensive Plan is structured in plan elements. Each plan element is specific to a topic such as land use, population and housing, etc. and the goals, policies and action statements directly related to the topic being discussed follow the discussion in that element. By organizing the Comprehensive Plan into plan elements, future plan updates will be dynamic because each element is designed to stand on its own and can be updated without updating the entire plan. Moreover, this plan has specific action statements and includes an implementation section that will provide staff with a better basis for monitoring how well the plan is being implemented.

2.3. STRUCTURAL VISION OF THE COMPREHENSIVE PLAN AND EXECUTIVE SUMMARY

The Rio Rancho Comprehensive Plan is designed to express the direction of how the city will grow over the next 20 to 25 years. The comprehensive plan serves both a practical need and a legal need by being a statement of policy. As a policy statement, staff is guided by the Comprehensive Plan to support recommendations to the Governing Body. As a guide to decision making it fulfills a legal requirement to justify land use decisions adopted by the Governing Body. The Comprehensive Plan is broken into elements that discuss specific topics such as land use or public facilities. Each element within the plan provides policy guidance to both staff and the elected representatives in the areas of Antiquated Platting, Annexations and Addressing, Conservation, Land Use, Population & Housing, Transportation, Public Facilities, Parks & Recreation, Urban Design and Economic Development. No one element exists in a vacuum. Transportation and housing, for example, are highly dependent upon land use, likewise land use is highly dependent on the natural environment and economic development. Therefore, it is important for all elements in this Comprehensive Plan to relate to one another and have goals, policies and actions in each element that are supportive of goals policies and actions in the other elements. For the purpose of this introductory chapter it is important to identify the vision being portrayed in each of the elements of the Comprehensive Plan.

2.3.1 ANTIQUATED PLATTING, ANNEXATIONS, AND ADDRESSING

One of the greatest challenges the City of Rio Rancho faces is solving Antiquated Platting that took place in the 1960s and 1970s when land was prematurely subdivided into one-half acre and one-acre lots without the requirement for public infrastructure like paved streets, curbs, gutters, sewers, and drainage. Where contiguous parcels under common ownership exists, the city must devise ways to consolidate lots so planned development can take place. However, property owners with land platted as part of an approved subdivision, property owners of individual lots in these subdivisions have a development right and they are not obligated to put in public infrastructure. Piecemeal development of lots in the Rio Rancho Estates subdivisions only exacerbates the problems of having a lack of public infrastructure. Not only is a lack of public infrastructure a potential safety issue, it is also a quality of life problem defined in the City's Strategic Plan.

As the city continues to grow, at some point, annexation of land within Sandoval County is a possibility. With that annexation, comes additional prematurely subdivided land. In order to avoid the same problems the city faces with fractionalized ownership patterns within the city's jurisdiction, the City must work with and get the buy in of Sandoval County to develop solutions to reduce the amount of prematurely platted land within the County's jurisdiction to ensure land annexed in the future doesn't have the same constraints as land currently within the City's jurisdiction.

In addition to prematurely platted land and annexing land with similar constraints to land within the city's jurisdiction, land within Sandoval County's jurisdiction is addressed opposite that of the City of Rio Rancho. Therefore, land developed with a single-family residence that is annexed into the city from Sandoval County will have an odd numbered address on the same side of the street that a single-family residence within the City of Rio Rancho would have an even numbered address. Therefore, it will be important for the City of Rio Rancho to coordinate with property owners and Sandoval County as plans for future annexation take place to ensure consistency in addressing so that emergency service response is efficient.

2.3.2 CONSERVATION & THE NATURAL ENVIRONMENT

The adoption of the city's Strategic Plan by the Governing Body in March 2009 identified sustainability as a key component for the city's future growth. As the City of Rio Rancho grows it will be important for the city to maintain or improve its air quality and water quality. Additionally, water conservation is an important factor in how the city develops and the types of businesses it attracts. It is equally important for the city to grow in a manner that recognizes the constraints of the geological hazards such as arroyos and erosive soils and the role they play in ecosystem conservation.

2.3.3 LAND USE, POPULATION & HOUSING

The vision for land use, population and housing in the City of Rio Rancho is to ensure the city has a balance of land uses that supports employment (including retail sales), a neighborhood identity, foster human interaction and provide affordable and quality housing for all segments of Rio Rancho's population. Note, two different elements (Land Use) (Population & Housing) have been combined in this section for the purpose of discussing the vision because these elements have a significant amount of overlap in that the Population & Housing Element is dependant upon the Land Use Element.

2.3.4 TRANSPORTATION

With a number of government jurisdictions seeking transportation funding from the Mid Region Council Of Governments (MRCOG), it becomes more important that we create land uses and transportation systems supportive of the goals of MRCOG. Therefore, the City of Rio Rancho must be fully engaged in competing for MRCOG's limited resources. One way of being more competitive is to work more closely with MRCOG in long-range planning. Because MRCOG has a mass transit operation, it is important for the city to develop land uses that are benefited by and supportive of mass transit such as mixed-use development and transit oriented development.

2.3.5 PUBLIC FACILITIES

The City of Rio Rancho provides sewer and water services to its residents while other services such as natural gas, electric, and telecommunications are franchised with corporations. Fractionalized development and land ownership patterns are a very difficult problem to solve because antiquated platting exists in much of the city. Therefore, it is even more critical to focus development into areas of the city that already have well established public facilities so as to not overburden the existing facilities by extending public facilities into disconnected areas with little to no development, this especially as it relates to water availability.

2.3.6 PARKS & RECREATION

In order to attract business development in the City of Rio Rancho, it is also important to factor the amount and quality of the city's Parks and Recreation Facilities. Aside from the business climate of a city, one factor that businesses look at when locating or relocating their company to a city is the quality of the recreational facilities of a city. Therefore, it is important for the City of Rio Rancho to provide parks and recreation facilities at a level of service that is competitive with other cities in the southwest. Parks are an important quality of life aspects addressed in Goal 6 of the City's Strategic Plan. Parks are a gathering place that fosters human interaction, i.e. they are Third Places, which are addressed in the Urban Design Element. A third place is a place (not home or work) where human interaction is fostered on a social level.

2.3.7 URBAN DESIGN

Urban design is best expressed as the visual identity of the built environment of the city. The vision displayed in the Urban Design Element is to incorporate the following design characteristics into future development and revitalization of older developments:

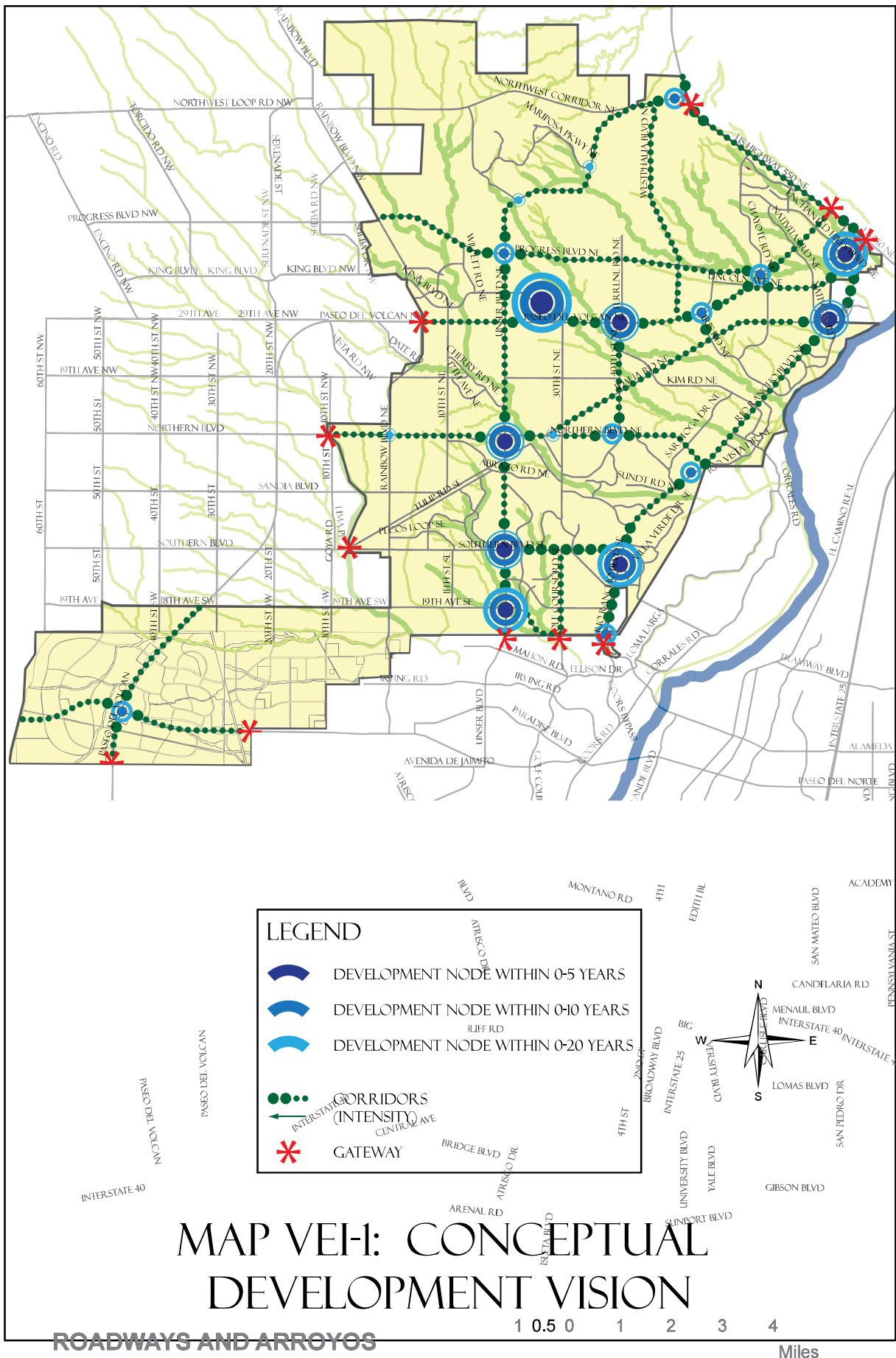
- Focusing growth into areas that the city has available infrastructure so as to not overburden areas that lack adequate infrastructure.
- Create Traditional Neighborhoods that have a balance of land uses and a variety of housing types that are within walking distance of commercial services.
- Develop a Sense of Place through architectural design that fosters human interaction and creates distinct neighborhoods with commercial developments scaled to a neighborhood.
- Create a Complete Street concept in transportation design so that all modes of transportation whether it be walking, transit, or vehicular are accommodated.
- Establish the concept of Third Places such as neighborhood cafes and coffee shops integrating outside dining as part of the Complete Street concept to foster human interaction.
- Ensure developments are safe by utilizing the concepts of CEPTED (Crime Prevention Through Environmental Design). Using the principles of CEPTED in site development will create defensible spaces by making a site visible throughout the development, which will discourage acts of crime.
- With the challenges Rio Rancho faces with antiquated platting it is important that infill and redevelopment take place to ensure adequate infrastructure is available to a site and to help address drainage in areas that were prematurely platted in the 1960s. Additionally, where practical, the city should encourage Redevelopment along major corridors to revitalize older areas of the city.
- Creating Traditional Neighborhoods (neighborhoods that have a range of housing types, a network of well-connected streets and blocks, humane public spaces, and have amenities such as stores, schools, and places of worship within walking distance of residents).
- Having well designed Traditional Neighborhoods is an important aspect to having Transportation Linkages supportive of Mass Transit. One aspect of doing this is to create Transit Oriented Developments along major transportation corridors where nodal mixed-use developments can be built to support mass transit.
- Rio Rancho has a significant amount of open space in the context of arroyos. The preservation of arroyos in a relatively natural state and the development of an open space network with walking trails, shade structures and trail heads within and adjacent to arroyos.
- Another aspect of development that has become more important in the past few years because of new EPA regulations is Low Impact Development, which is a development approach that implements engineered small-scale hydrologic controls to replicate the pre-development drainage patterns to protect water quality by maintaining drainage on-site as much as possible. With stricter regulations on water runoff from a newly or redeveloped site greater than one acre, applying the principles of Low Impact Development has become one of the factors in determining federal funding for road improvement projects qualifying for federal tax dollars.
- The final component in Urban Design addressed as part of the vision for the City of Rio Rancho is landscaping appropriate to the ecology of a high-desert city and the design of complete streets. With well designed streetscapes that create a feeling of safety, people are more apt to walk along all streets.

2.3.8 ECONOMIC DEVELOPMENT

The City of Rio Rancho has the lowest gross receipts tax generation for a large city in the State of New Mexico. Because Rio Rancho has a lack of retail development in relation to its population, the city experiences revenue leakage primarily to the City of Albuquerque. Therefore, the City of Rio Rancho must expand its retail development and focus retail growth in areas where the city has adequate infrastructure to support new development which will reduce the site development costs for developers.

2.4. MAYOR'S TASK FORCES

The mayor has formed a number of task forces to advise the Governing Body on many critical issues facing the City of Rio Rancho. Task force recommendations will be considered as the Comprehensive Plan is implemented.



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DEVELOPMENT SERVICES DEPARTMENT— TRANSMITTAL AND REVIEW SHEET

DATE: February 22, 2023

TO: (X) Development Services – Matt Geisel, David Serrano, Amy Rincon, Cedric Smith
(X) Fire and Rescue - Jessica Duron-Martinez, Gerard Bauer
(X) Police - Justin Garcia, Andrew Rodriguez
(X) SSCAFCA – John Stomp, Andy Edmondson
(X) Parks and Recreation - Dyane Sonier, Connie Peterson
(X) Rio Rancho Public Schools – Michael Baker
(X) MRCOG – Peach Anderson-Tauzer

FROM: Development Services Department, Planning & Zoning Division

RE: Zone Map Amendment & Specific Area Plan Amendment: DSD #23-100-00001, 23-410-00002 (please reference this # with any correspondence) Unit 13, Block 58, Lots 4-6; Unit 13, Block EE, Lots 18-20; UBNN, Tract B

This is a transmittal for a Zone Map Amendment and accompanying Specific Area Plan to amend the zoning of the subject property from R-1 and NC to C-1: Retail Commercial, and amend the underlying land use in the Northern Unser Specific Area Plan from Mixed Use to Community Commercial for the portion of Block EE and Block 58.

Please review and provide recommendations, comments or corrections on this form and return via hand delivery, fax or e-mail by Wednesday, **March 8, 2023**. If redline comments are made on the plat, please also provide me with a copy. Please contact Brian Babyak at 505-896-8756 or e-mail bbabyak@rrnm.gov if you have any questions or would like to review a hard copy at my office.

This item has been reviewed and is hereby:

- RECOMMENDED FOR APPROVAL
- RETURNED FOR REVISIONS RESUBMITTAL REQUIRED
- RETURNED WITH COMMENTS RESUBMITTAL NOT REQUIRED

MRMPO has no adverse comments. For informational purposes:

Appendix G of the MTP recommends the following as it relates to the subject property:

- Encourage a mix of land uses (retail, housing, entertainment, etc.) and multimodal facilities in appropriate locations to encourage shorter and more active trips
- Promote a healthy jobs housing balance west of the river through preserving commercially zoned land, site-readiness programs, etc.

Peach Anderson-Tauzer
Reviewer

3-3-2023
Date



The City of Rio Rancho

Development Services

Planning Division

3200 Civic Center Circle NE

Rio Rancho, NM 87144

Phone (505) 891-5005 • Fax (505) 896-8994

February 23, 2023

RE: Zone Map Amendment Case No. 23-100-00001
Specific Area Plan Amendment Case No. 23-410-00002
Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District for 4.3306 acres of land.
Updating Land Use in Northern Unser SAP from Mixed Use to Community Commercial

Dear Property Owner:

You are receiving this certified notice because your property is **within 100 ft** of a site where a land development decision is required by the Planning and Zoning Board.

The applicant, Aragorn Properties, LLC, request approval of a Zone Map Amendment for the properties legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract E from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District for 4.3306 acres of land. The applicant is also requesting approval of a Specific Area Plan Amendment to change the Proposed Land Use for the properties legally described as Unit 13, Block 58, Lots 2-6, Tract B and Unit 13, Lots 3A-22 from Mixed Use to Community Commercial.

The **Planning and Zoning Board** will consider this request at a public hearing on **Tuesday, March 14, 2023** at 6:00 pm in the **Council Chambers** and **Virtually** through the **zoom link and number below**.

On the back of this letter is a location map of the Master Plan Area and a Map of the Parcels proposed for the Zone Change.

If you would like to comment on this application, you are encouraged to send in comments in writing, which will be presented to the Planning and Zoning Board, to my email: bbabyak@rrnm.gov and CC: planning@rrnm.gov. This Planning and Zoning Board meeting will be hybrid with options to participate virtually or in person. The City highly encourages citizens to watch the meeting live on the City's website www.rrnm.gov or on Sparklight cable channel 56.

If you would like to participate virtually during the meeting please use the following information to join the meeting: <https://us06web.zoom.us/j/85180741871?pwd=T3B1SHVpWkp6d3dDRmlHd3k2VzYvUT09>, or call +1(346 248 7799 (US), Meeting ID: 851 8074 1871 Passcode: 026819

Please do not hesitate to contact me via the e-mail above, or call me at 505-896-8756, if you have any questions concerning this matter. The agenda for this hearing and related staff reports will be posted on the City's website, www.rrnm.gov one week prior to the meeting.

If you are an individual with a disability in need of a reader, amplifier, qualified sign language interpreter, or any form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the City Clerk, 505-891-5004, as soon as possible prior to the meeting. Public documents including the agenda and minutes can be provided in various accessible formats. Please contact the City Clerk if a summary or other type of accessible format is needed.

Respectfully,

Brian Babyak
Municipal Planner II
Development Services Department
City of Rio Rancho

The City of Rio Rancho

Development Services

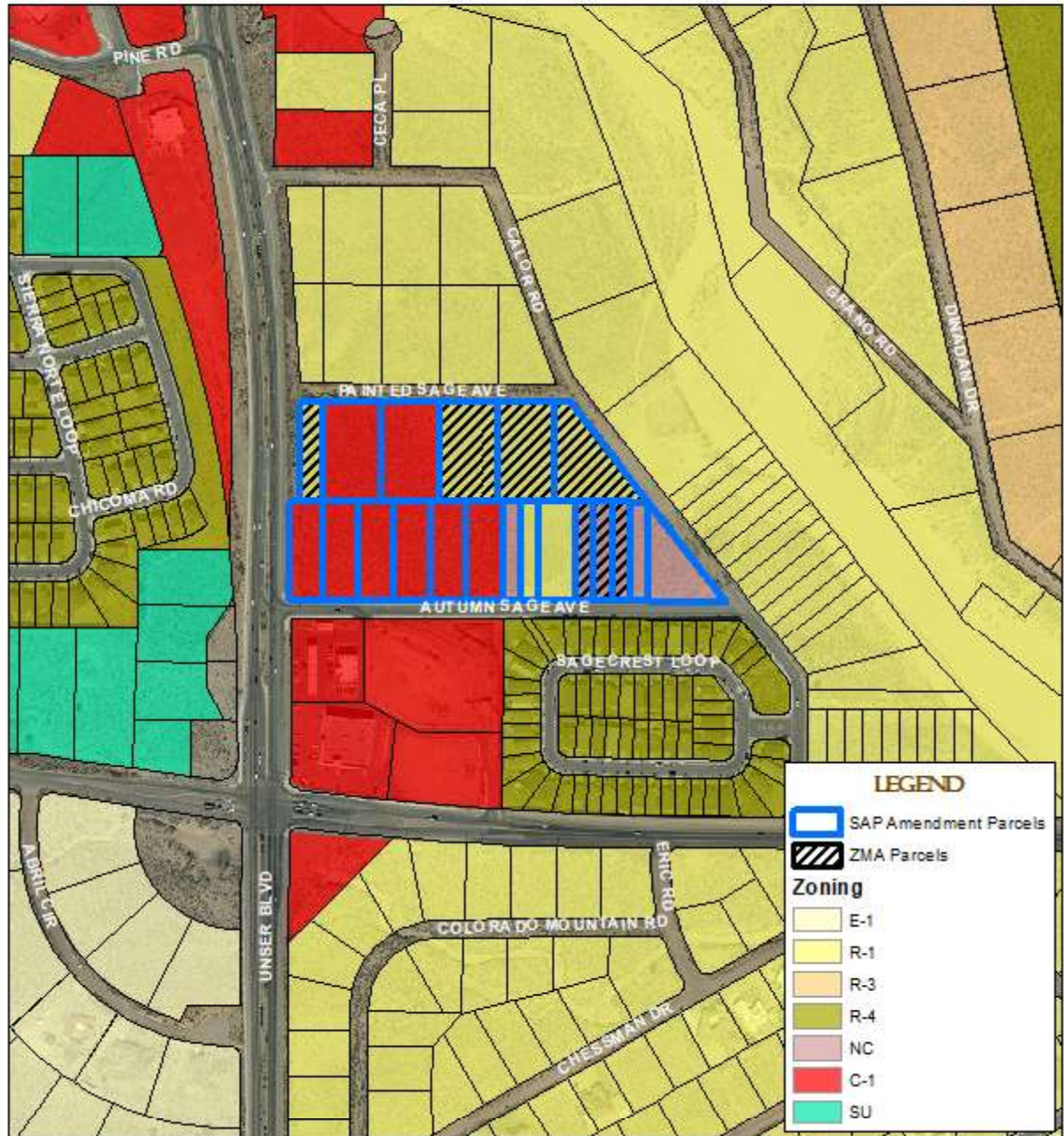
Planning Division

3200 Civic Center Circle NE

Rio Rancho, NM 87144

Phone (505) 891-5005 • Fax (505) 896-8994

U13, BLK 58, TR B, LOTS 4-6; U13, BLOCK EE, LOTS 18-20 ZMA NORTHERN UNSER SAP AMENDMENT



DISCLAIMER: All information on this map is provided "as is" without warranty or any representation of accuracy, reliability, or completeness. This map is not a survey and should be used for graphical purposes only.





**CITY OF RIO RANCHO
PUBLIC HEARING NOTICE**

The PLANNING and ZONING BOARD of the CITY of RIO RANCHO, NM will consider the following matters at its regularly scheduled meeting on Tuesday, March 14, 2023 at 6:00 pm:

**Master Plan
Case #22-400-00005**

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of the Scottish Isle Master Plan. The Master Plan boundary includes the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #22-100-000027**

The applicant, Abrazo Homes, Inc., through their agent, Consensus Planning, Inc., requests approval of a Zone Map Amendment of approx. 2.24 acres from R-1: Single-Family Residential District to R-2: Single-Family Residential District for the subject properties of Rio Rancho Estates Unit 13, Block 45, Lots 1-21 and 41-62.

**Zone Map Amendment
Case #23-100-00001**

The applicant, Aragon Properties, LLC, request approval of a Zone Map Amendment for the properties legally described as Unit 13, Block EE, Lots 18-20; Unit 13, Block 58, Lots 4-6 and Tract B from R-1: Single Family Residential and NC: Neighborhood Commercial to C-1: Retail Commercial Zoning District for 4.3306 acres of land.

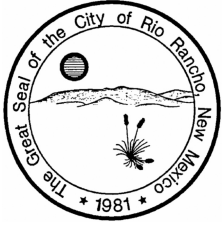
**Specific Area Plan
Amendment
Case #22-410-00002**

The applicant, Aragon Properties, LLC, request approval of Specific Area Plan Amendment to change the Proposed Land Use for the properties legally described as Unit 13, Block 58, Lots 2-6, Tract B and Unit 13, Lots 3A-22 from Mixed Use to Community Commercial.

The meeting is scheduled in the Council Chambers at City Hall, 3200 Civic Center Cir NE, Rio Rancho, NM. The public is invited to attend in person or virtually at www.rnm.gov. Materials related to these items are available for viewing in the Development Services Department at City Hall.

If you would like to comment on any of these applications, you are encouraged to submit a written comment to planning@rrnm.gov. Written comments will be inserted into the public record.

Journal: February 27, 2023



**CITY OF RIO RANCHO
COVER PAGE**

Legislation Item:

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
PZ Monthly Building Activity Report - FEB 2023

BACKGROUND AND ANALYSIS:

IMPACT:

ALTERNATIVES:

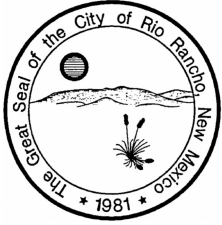
DEPARTMENT RECOMMENDATION:

ATTACHMENT: [PZ Monthly Building Activity Report - FEB 2023.pdf](#)

2023 BUILDING ACTIVITY COMPARISON

PERMIT TYPES	JAN	JANUARY VALUATION	FEB	FEBRUARY VALUATION	ANNUAL TOTALS	
Single Family	43	\$8,951,141	46	\$8,364,417	89	\$17,315,558
Additions/Residential	12	\$274,745	11	\$312,161	23	\$586,906
New Commercial	1	\$946,598	2	\$11,050,000	3	\$11,996,598
New Office/Institution	0		0		0	\$0
New Industrial	0		0		0	\$0
Non-Residential Interior Tenant Improvement	5	\$713,692	7	\$771,650	12	\$1,485,342
Office/Institution Addition	0		0		0	\$0
Industrial Addition	0		0		0	\$0
New Multi-Family	0		0		0	\$0
Telecommunication Tower	1	\$15,000	1	\$27,500	2	\$42,500
Demolition - Non-Residential	14	\$175,000			14	\$175,000
Demolition - Residential	0				0	\$0
Fence	11	\$166,500	6	\$25,880	17	\$192,380
Garages	3	\$89,290	6	\$293,155	9	\$382,445
Pool	9	\$685,336	6	\$470,945	15	\$1,156,281
Reroofs/Windows/ Doors	41	\$648,357	44	\$528,563	85	\$1,176,920
Retaining Wall	11	\$1,322,675	9	\$348,001	20	\$1,670,676
Small Shed (120 sq.ft. or less)	11	\$49,837	20	\$84,063	31	\$133,900
Sheds	3	\$24,467	3	\$48,682	6	\$73,149
Solar (Rooftop & Ground Mount)	60	\$1,297,854	57	\$984,071	117	\$2,281,925
Business Registrations (Occupancy Inspection)	13		9		22	\$0
Building Inspections	2,757		2,063		4,820	\$0
Engineering Inspections	143		136		279	\$0
R.O.W. Permits (Fees)	21	\$6,424	25	\$4,037	46	\$10,461
TOTALS:	3,159	\$15,366,916	2,451	\$23,313,125	5,610	\$38,680,041

Correction on January Additions/Residential



**CITY OF RIO RANCHO
COVER PAGE**

Legislation Item:

AGENDA DATE:
March 14, 2023

DEPARTMENT:
Development Services

SUBJECT:
PZ Monthly Summary Plat Report - FEB 2023

BACKGROUND AND ANALYSIS:

IMPACT:

ALTERNATIVES:

DEPARTMENT RECOMMENDATION:

ATTACHMENT: [PZ Monthly Summary Plat Activity Report - FEB 2023.pdf](#)

**SUMMARY PLAT ACTIVITY
FEBRUARY 2023**

CASE #	RECEIVED	LOCATION	COMMENTS	RECORDED
20-200-00010	03/23/20	12A, 16A, 16B, BLOCK 22, U10	Under Review	
21-200-00003	01/27/21	UNIT 16 BLOCK 91 TRACT A SPLIT	RECORDING	X
21-200-00004	02/01/21	LOT COMBO U10, BLK 25, LOTS 57 & 58	Awaiting Signatures	
21-200-00010	3/3/2021	UNIT 20 BLOCK 142 LOTS 14 AND 15	Under Review	
21-200-00011	3/8/2021	MOUNTAIN HAWK 27 - VACATION OF EASEMENTS	Under Review	
21-200-00014	3/11/2021	UNIT 20-INDUSTRIAL PARK, BLK A, PARCEL	Under Review	
21-200-00016	3/23/2021	U16, BLOCK M, LOT 6A GRANTING EASEMENTS	Under Review	
21-200-00017	04/01/21	RIDGELINE ESTATES, BLK A, LOT 20	Under Review	
21-200-00018	04/13/21	EH2 BLOCK 1 PARCEL C - SPLIT INTO	Under Review	
21-200-00027	06/04/21	U10 B36 L21 AND 22 COMBINATION	Under Review	
21-200-00033	07/30/21	UNIT 16, BLOCK 18A, LOTS 9 & 10	Under Review	
21-200-00035	08/19/21	UNIT 17, BLOCK 104, LOTS 7,8 & 9 COMBO	Awaiting Signatures	
21-200-00037	08/24/21	MOUNTAIN HAWK 38-A & 40-A	Under Review	
21-200-00045	09/01/21	BROADMOOR HEIGHTS 4-A VACATING/GRANTING EASEMENTS	Under Review	
22-200-00007	03/03/22	UNIT 17, BLOCK 113, LOTS 32 AND 33A LOT	Awaiting Signatures	
22-200-00008	03/17/22	UNIT 16, BLOCK F, LOTS 6 & 7 COMBO	Awaiting Signatures	
22-200-00012	04/18/22	UNIT 16, BLOCK F, LOTS 2A, 4, 5 COMBINATION	Awaiting Signatures	
22-200-00013	04/19/22	UNIT 11, BLK 34, LOTS 23 & 24 COMBO	Awaiting Signatures	
22-200-00016	05/12/22	LA PLAZUELA, TRACTS 2A & 2B	Under Review	
22-200-00024	08/17/22	MARIPOSA TCT 4, 2, 3A, & NW LOOP (TRACT CONSOLIDATION)	At County	
22-200-00027	09/14/22	RIO WEST BUSINESS PARK, BLK A, LOTS 4A-1	Awaiting Signatures	
22-200-00029	09/26/22	UNIT 11, BLOCK BB, LOTS 32-37 LOT COMBINATION	Awaiting Signatures	X
22-200-00031	10/12/22	LOT COMBO U17, BLK 105, LOT 4A-1 (lot 4A & 5)	Awaiting Signatures	
22-200-00033	10/19/22	RR Estates Unit 16, Blk J, Lot 1	Under Review	
22-200-00034	10/19/22	Unit 12, Blk C, Lots 67 & 68 - LOT COMBINATION	Awaiting Signatures	
22-200-00035	11/09/22	Unit 20, Block 106, Lot 4 Vacation of Easement	Under Review	
22-200-00040	12/08/22	UNIT 11, BLOCK V, LOT 34-A; COMBO OF LOTS 34 & 35	Under Review	
23-200-00001	01/10/23	UNIT 11, BLOCK P, LOTS 15 AND 16 COMBO, SUMMARY PLAT	Under Review	
23-200-00004	02/14/23	PETROGLYPH MEDICAL PLAZA, BLOCK A, LOTS 6A1A AND 7A1 COMBINATION SUMMARY PLAT	Under Review	
23-200-00005	02/21/23	UNIT 13, BLOCK 143, LOTS 23A & 23B LOT SPLIT	Under Review	
TOTAL TO DATE: 30				

GREEN = NEW ITEMS