



Planning & Zoning Commission Agenda
Rochester Boards & Commissions - Planning & Zoning Commission
August 13, 2025
5:00 p.m.

Attending and Viewing the Meeting

In-person at Council/Board Chambers of the Government Center, 151 4th Street SE, Rochester, MN. A recording is made available after the meeting on the [City's website](#).

- 1. Open Public Comment Period**
- 2. Call to Order/Roll Call**
- 3. Order of Agenda**
- 4. Consent Agenda**

4.A. Minutes of July 23, 2025

Accepting the minutes and video of the July 23, 2025, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

5. Reports and Recommendations

5.A. Vacation Petition No. CD2025-006VAC by Rochester School District

Forwarding a recommendation to the Council approving Vacation Petition No. CD2024-006VAC, by Rochester Public School District for the vacation of a two-alley right-of-way within Block 13 of Northern Addition Subdivision.

5.B. Major Land Subdivision No. CD2025-025 PLAT by SCS Rochester LLC.

Forwarding a recommendation to the Council approving Major Land Subdivision No. CD2025-025PLAT by SCS Rochester LLC., to be known as Savannah Rochester, with two conditions, for the subdivision of 30.17 acres into 2 Blocks consisting of 2 Lots and 2 Outlots.

6. Public Hearings

6.A. Growth Management Map Amendment No. CD2025-002GMMA by the City of Rochester

Forwarding a recommendation to the Council approving Growth Management Map Amendment No. CD2025-002GMMA, by the City of Rochester.

6.B. Comprehensive Plan Amendment No. CD2025-003CPA by the City of Rochester

Forwarding a recommendation to the Council approving Comprehensive Plan Amendment No. CD2025-003CPA, by the City of Rochester.

6.C. Annexation Petition No. CD2025-004ANX, by Pulte Homes of Minnesota LLC

Forwarding a recommendation to the Council approving Annexation Petition No. CD2025-004ANX, by Pulte Homes of Minnesota LLC

7. Other Business

1. City Council Recap
2. Downtown Commercial Historic District Visioning Project
3. Meeting Location Change to Rochester Police Department North Station, Development Services & Infrastructure Center (DSIC), Room 164B, 4001 West River Parkway NW, starting August 27, 2025

8. Adjournment



REQUEST FOR ACTION

Minutes of July 23, 2025

MEETING DATE:
August 13, 2025

ORIGINATING DEPT:
Community Development

AGENDA SECTION:
Consent Agenda

PRESENTER:
Edward Caples

Action Requested:

Accepting the minutes and video of the July 23, 2025, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

Report Narrative:

The minutes are the official record of the Planning and Zoning Commission.

Priorities & Foundational Principles:

Quality Services for Quality Living
Social Equity

Prepared By:
Janelle McGee

Attachments:

[Minutes - July 23, 2025](#)



**CITY OF ROCHESTER, MINNESOTA
Planning & Zoning Commission MINUTES**

1) ***Open Public Comment Period - none.***

2) **[Call to Order/Roll Call](#)**

Attendee Name	Status
Robert A Cline	Present
John Eischen	Present
Ruchi Gupta	Present
Jonathon P Krull	Present
Alissa T Moe	Present
Zach Pagel	Present
Lisa Ross	Present
Nicolas B.C. Yost	Present
Jeremy C Andrist	Absent

3) **[Order of Agenda](#)**

Motion to approve the Order of Agenda.

MOVER: Jonathon P Krull
SECONDER: Alissa T Moe
AYES: Robert A Cline, John Eischen, Ruchi Gupta, Jonathon P Krull, Alissa T Moe, Zach Pagel, Lisa Ross, Nicolas B.C. Yost
ABSENT: Jeremy C Andrist
RESULT: **APPROVED [UNANIMOUS]**

4) **[Consent Agenda](#)**

4.A) Minutes of June 11, 2025

[Cover Page](#)

[Minutes - June 11, 2025](#)

Motion to approve the minutes and video of the June 11, 2025, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

MOVER: Zach Pagel
SECONDER: John Eischen
AYES: Robert A Cline, John Eischen, Jonathon P Krull, Alissa T Moe, Zach Pagel, Lisa Ross, Nicolas B.C. Yost
ABSTAIN: Ruchi Gupta

ABSENT: Jeremy C Andrist
RESULT: **APPROVED [7 - 0 - 1 - 1]**

5) ***Reports and Recommendations - none.***

6) **Public Hearings**

6.A) Zone Change No. CD2025-004ZC by Veldco

Cover Page 

CD Memo - CD2025-004ZC Overland Reserve Zone Change 

Development Process - CD2025-004ZC Overland Reserve Zone Change 

Notification Map - CD2025-004ZC Overland Reserve Zone Change 

Location Map - CD2025-004ZC - Overland Reserve Zone Change 


Applicant Cover Letter - CD2025-004ZC Overland Reserve Zone Change 

Zoning Exhibit - CD2025-004ZC Overland Reserve Zone Change 


Massing Exhibit - CD2025-004ZC Overland Reserve Zone Change 

Concept Plan - CD2025-004ZC Overland Reserve Zone Change 

NIM Minutes - CD2025-004ZC Overland Reserve Zone Change 

Agency Review Comments - CD2025-004ZC Overland Reserve Zone Change 

UDC Use Table - CD2025-004ZC Overland Reserve Zone Change 

Zoning Map Amendment Criteria - CD2025-004ZC Overland Reserve Zone Change 

Desmond McGeough, presented the staff report.
Mark Welch, G-Cubed Engineering, spoke to the item.

The Public Hearing was opened. The following spoke:

1. Alex Peterson
2. Andrew Larson
3. Gary Lovelace
4. Sherry Kittleson

The public hearing was closed.

Mark Welch responded to the public comments. Staff answered the Commissioner's questions. A discussion ensued between the Commissioners.

Motion to forward a recommendation of approval for Zoning Map Amendment CD2025-004ZC with the findings and support outlined in the Community Development Memo dated July 23, 2025.

MOVER: John Eischen
SECONDER: Alissa T Moe
AYES: Robert A Cline, John Eischen, Ruchi Gupta, Jonathon P Krull, Alissa T Moe, Zach Pagel, Lisa Ross, Nicolas B.C. Yost
ABSENT: Jeremy C Andrist
RESULT: **APPROVED [UNANIMOUS]**

7) **Other Business**

Desmond McGeough will email the Commissioners the City Council recap from the July 21, 2025, meeting and will forward an opportunity for engagement through the Heritage Preservation Commission regarding the Downtown Historic District.

Chair Gupta requested an update on Traffic issues throughout the City. Staff will work on bringing in the City Traffic Manager or a Traffic Engineer in the next few months for a presentation.

8) ***Adjournment***

Motion to adjourn.

MOVER: Alissa T Moe
SECONDER: John Eischen
AYES: Robert A Cline, John Eischen, Ruchi Gupta, Jonathon P Krull, Alissa T Moe, Zach Pagel, Lisa Ross, Nicolas B.C. Yost
ABSENT: Jeremy C Andrist
RESULT: **APPROVED [UNANIMOUS]**



REQUEST FOR ACTION

Vacation Petition No. CD2025-006VAC by Rochester School District

MEETING DATE:

August 13, 2025

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Reports and Recommendations

PRESENTER:

Desmond McGeough

Action Requested:

Forwarding a recommendation to the Council approving Vacation Petition No. CD2024-006VAC, by Rochester Public School District for the vacation of a two-alley right-of-way within Block 13 of Northern Addition Subdivision.

Report Narrative:

The applicant is petitioning the City to vacate two alleyways located between 9th St. NW and 8th St. SW, east of 4th Ave NW and west of 2nd Ave NW. The two alleys are located within Block 13, Northern Addition Subdivision Plat, recorded in March of 1857. If approved, this vacation will allow for the alley right-of-way to be incorporated into three School District parcels, which are part of the Northrop Education Center.

One of the vacated alleyways runs north to south direction on the west side of the Northrop Education Center facility. The other alley runs in an east-to-west direction within the middle of Block 13. Both of the subject alleyways are 18' in width, except the west portion of the east-to-west running alley, where the alley is only 9 feet wide. The north half of the west 150 feet of the previously platted alleyway has already been vacated per the Document. No. A-1392875 that is on file at the Olmsted County Property Records Office. The previously vacated right-of-way has been incorporated into two of the adjoining residential back yard areas, and another lot is currently utilizing the previously vacated alleyway as a driveway for their single-family home.

Neither of these alley right-of-ways serves to access any property other than the Northrop Education site parcels. There are no public utilities in the existing right-of-ways that would require the establishment of a public utility easement or relocation.

The Development Review Team recommends approval of Vacation Petition No. CD2025-001VAC.

Priorities & Foundational Principles:

Economic Vibrancy & Growth Management

Policy Considerations & DEI Impact:

The proposed vacation achieves the Comprehensive Plan's core principles of Economic Vibrancy & Growth Management and Fiscal Responsibility & Sustainability.

Prior Legislative Actions & Community Engagement:

No prior legislative actions or engagement.

Fiscal & Resource Impact:

All development costs will be the responsibility of the developer.

Alternative Action(s):

No alternative actions are recommended at this time.

Prepared By:

Desmond McGeough

Attachments:

[CD Memo - CD2025-006VAC - Northrop Center Vacation](#)

[Notif Map - CD2025-006VAC - Northrop Center Vacation](#)

[Location Map Exhibit - CD20-25-006VAC - Northrop Center Vacation](#)

[Vacation Exhibit & Legal Description - CD2025-006VAC - Northrop Center Vacation](#)

[Applicant Letter - CD2025-006VAC - Northrop Center Vacation](#)

[Agency Review Comments - CD2025-006VAC - Northrop Center Vacation](#)

sPlanning Commission**August 13, 2025**

- Prepared by:** Rochester Community Development
- Request:** Vacation #CD2025-006VAC by Rochester School District to vacate two alley right-of-ways within Block 13 of the Northern Addition Subdivision.
- Location:** Subject alley is located between 9th St. NW and 8th St. SW; & west of 4th Ave. NW and east of 2nd Ave. NW.
- Applicant:** Rochester Public School District – John Carlson

COMMISSION AND COUNCIL SUMMARY

Application Type: Public Right-of-Way Vacation

What is Considered: A Public Right-of-Way Vacation applies to all public streets or easements or rights-of-way. It does not apply to requests to vacate private easements within or outside of a public street or public right-of-way. The City Council will evaluate the petition based on the criteria found in Section 60.500.040J of the Unified Development Code.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

VACATION SUMMARY

The applicant is petitioning the City of Rochester to vacate two alleyways located between 9th St. NW and 8th St. SW, east of 4th Ave NW and west of 2nd Ave NW. The two alleys are located within Block 13, Northern Addition Subdivision Plat, recorded in March of 1857. If approved, this vacation will allow for the alley right-of-way to be incorporated into three School District parcels which are part of the Northrop Education Center.

One of the vacated alleyways runs north to south direction on the west side of the Northrop Education Center facility. The other alley runs in an east to west direction within the middle of Block 13. Both of the subject alleyways are 18' in width, except the west portion of the east to west running alley where the alley is only 9 feet wide. The north half of the west 150 feet of the previously platted alleyway has already been vacated per Document. No. A-1392875 that is on file at the Olmsted County Property Records Office. The previously vacated right of way has been incorporated into two of the adjoining residential back yard areas and another lot is currently utilizing the previously vacated alleyway as a driveway for their single-family home.

Neither of these alley right-of-ways serve to access any property other than the Northrop Education site parcels. There are no public utilities in the existing right-of-ways that would require the establishment of a public utility easement or relocation.

CD2024-004VAC– ZONING SUMMARY TABLE	
Land Use/ Zoning	<p>The subject public alley is located in an R-2x (Low Density Infill) zoning district.</p> <p><u>Surrounding zoning & uses:</u></p> <p>East: R-2x – Goose Egg Park</p> <p>West: R-2x – Single Family & Duplex Residential Units</p> <p>North: R-2x – Single family Residential Units</p> <p>South: R-2x – Single Family Residential Units</p>
Streets and Access	<p>The Northrop Education Center parking lot has two access points, one driveway providing access to 9th St. NW and the other driveway providing access to 8th St. NW. There is no access provided to 4th Ave on the west side.</p>
Utilities	<p>There are no utilities located in the alley utility provider expressed concerns or objection to the proposed vacation.</p>

VACATION PETITION REVIEW

Under the provisions of Section 60.500.040J, the Planning Commission shall recommend, and the City Council shall approve, or approve with conditions, the Public Street/Utility Easement Vacation if it determines that the application complies with the following criteria:

- a. The vacation of the public street/utility easement is in the public interest and will confer a public benefit on the City;

The applicant seeks to incorporate the two right-of-ways into the three parcels the Northrop Education Center facility. Currently, there is no general public use of the right-of-way serving as vehicular access to the general public as the alleyways are located within the parking lot of the facility. It is likely that the subject right-of-way has never been utilized to provide access to the general public or served as a corridor for public utility lines. It should be noted that the north half of the west 150 feet of the east to west running alley has been previously vacated and absorbed by the three lots in the northwest portion of Block 13.

Removing the alley right-of-ways would be in the interest of the public since there is no practical purpose for the City to hold on to the dedicated right-of-way at this time. Additionally, the parking facility area and access to the adjoining residential parcels in the northwest corner of Block 13 will

continue to function exactly the same as they have in previous years. Thus, the right-of-way should be returned to the adjoining properties from which they were platted, per the applicant's request.

- b. The vacation of the public street/utility easement will not deny legally required public access to any lot or parcel.

The vacation of the right-of-way will not deny legally required public access to any lot or parcel. Upon vacation, the alley area will be absorbed by adjoining properties, all which are owned by Rochester Public School District. Approval of subject alley vacation will not deny legally required access to any parcel of land not owned by the property owner.

COMMUNITY DEVELOPMENT RECOMMENDATION

The Community Development Team has reviewed the Vacation for conformance with the Unified Development Code and recommends that all Vacation findings are met (Section 60.500.040J.3D).

The Community Development Team recommends APPROVAL, as outlined in the City Council Summary above.

ATTACHMENTS

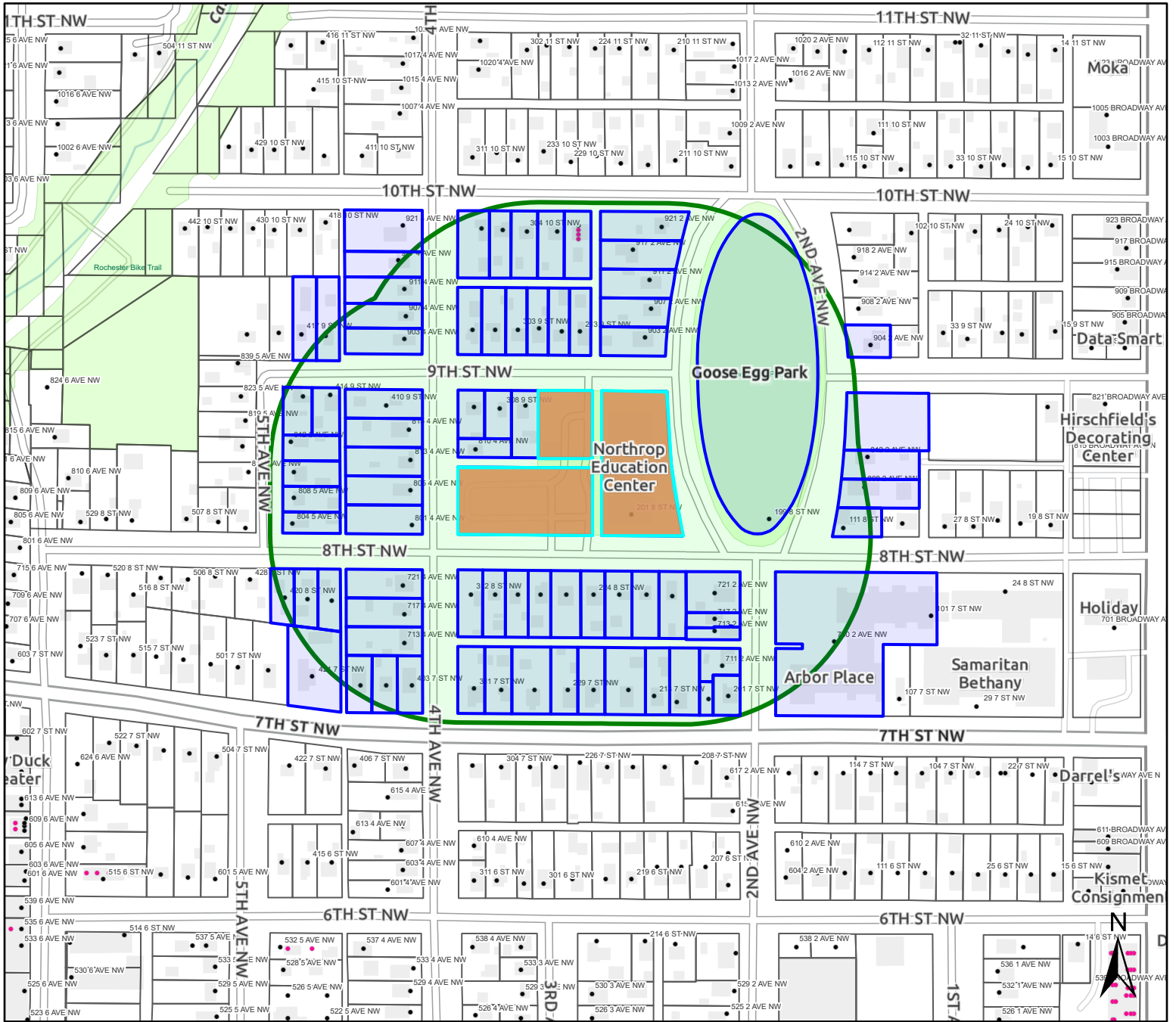
1. Notification Map
2. Site Location Map
3. Vacation Petition Exhibit & Legal Description
4. Applicant Letter
5. Agency Referral Comments

CD2025-006VAC - Rochester Public Schools

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7/23/2025 Olmsted County Geographic Information Systems

Scale: 1:4,514



- Site of Interest
- Notification Locations
- Notification Perimeter



Vacation Petition #CD2025-006VAC, by Rochester Public Schools, to vacate the public right-of-way of an 18-foot alleyway, approximately 268 feet in length, located within Block 13 of the Northern Addition Plat at 201 8th St NW. PIN: 015722
 Notif Area: 350'
 Ward 5, Lowertown Neighborhood



OLMSTED COUNTY
MINNESOTA

Location Map

Legend

-  Rochester City Limit
-  Application Location

0 1 2 Miles

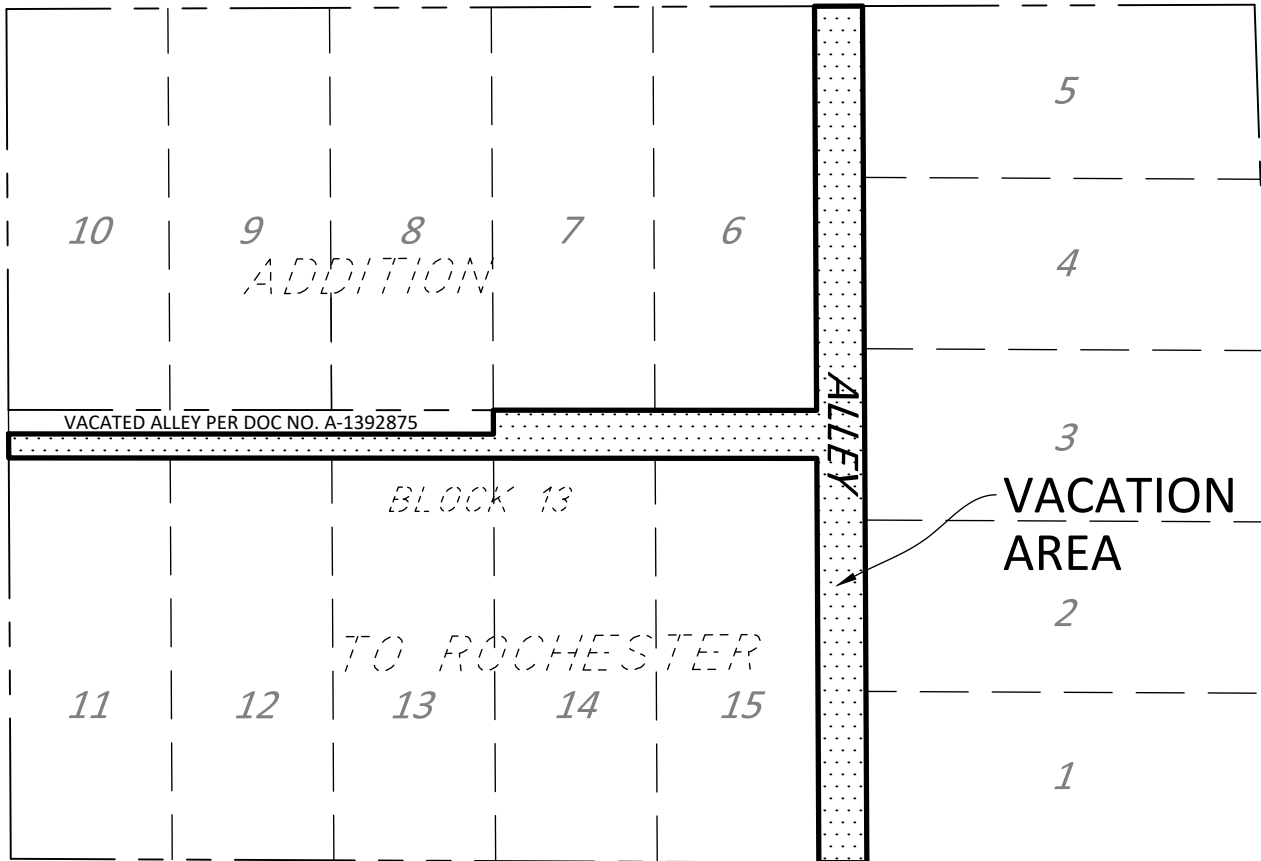
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community; Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

VACATION AREA

All of the platted Alleys within Block 13 of the NORTHERN ADDITION TO ROCHESTER, in the City of Rochester, according to the plat thereof of file and of recorded in the office of the County Recorder, Olmsted County, Minnesota. EXCEPTING THEREFROM that portion previously vacated per Doc. No. A-1392875.



NORTHERN 9TH ST NW



4TH AVE NW

8TH ST NW

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EXHIBIT OF VACATION
ROCHESTER, MINNESOTA

BLOCK 13
NORTHERN ADDITION TO ROCHESTER



2900 43RD STREET NW
SUITE 100
ROCHESTER, MN 55901
(507) 208-4332

FOR: CITY OF ROCHESTER

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July 10, 2025

Community Development
City of Rochester
4001 W. River Pkwy. NW Ste 100
Rochester, MN 55901-7090

Dear City of Rochester Staff:

Rochester Public Schools is petitioning to vacate the remaining alleys within the site (Parcel ID 743513015722). The requested vacation is noted on the attached exhibit.

All of the platted alleys are within Block 13 of the Northern Addition Plat according to the plat on file in the office of the County Recorder, Olmsted County, Minnesota except the portion previously vacated per Doc. No. A-1392875.

Sincerely,

A handwritten signature in black ink that reads "John Carlson". The signature is written in a cursive style.

John Carlson
Chief Administrative Officer
jocarlson@rochesterschools.org
507-328-4259

Agency Review Comments

Application No: CD2025-006VAC

- 7/21/2025 County Long Range Planning**
No Comment.
- 8/1/2025 County Public Works**
- 7/16/2025 Fire Review**
- 7/29/2025 Public Works Review**
There are no comments from this agency at this time.
- 7/16/2025 RPU Electric Review**
There are no comments from this agency at this time.
- 7/16/2025 RPU Water Review**
RPU Water Dept. has no objections to this vacation. There are no known existing water services or public water main impacted with this vacation. If an unknown existing water service is found in the future, the applicant shall work with property owner(s) that the water service serves to record a private utility easement for the ex. water service.

July 16, 2025

Community Development Department 4001 West River Parkway
Suite 100
Rochester, MN 55901

SUBJ: CD2025-006-VAC: Vacation of the Alleyway at 201 8th Street NW

The Rochester Fire Marshal's Office has conducted a review of the site vacation plan.

Buildings over 30ft in height are required by code to have an Aerial Fire Apparatus Access Road the full length of one side of the structure per section D105 of the 2020 Minnesota State Fire Code. No Parking Fire Lane signs shall be posted if the road has a width between 26ft and 32 ft. This fire lane should be left unobstructed with no parking or stopping allowed.

D103.6.2 Roads more than 26 feet in width.

Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm).

SECTION D105

AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required.

Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), *approved* aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D105.2 Width.

Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D105.3 Proximity to building.

One or more of the required access routes meeting this condition shall be located not less than 15 feet (4572 mm) and not greater than 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the *fire code official*.

D105.4 Obstructions.

Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the *fire code official*



The building is within our 4-minute response time and located in the ISO 2 rating

Sincerely,

Nathan Swisher

Fire Protection Specialist





REQUEST FOR ACTION

**Major Land Subdivision No. CD2025-025 PLAT by
SCS Rochester LLC.**

MEETING DATE:

August 13, 2025

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Reports and Recommendations

PRESENTER:

Desmond McGeough

Action Requested:

Forwarding a recommendation to the Council approving Major Land Subdivision No. CD2025-025PLAT by SCS Rochester LLC., to be known as Savannah Rochester, with two conditions, for the subdivision of 30.17 acres into 2 Blocks consisting of 2 Lots and 2 Outlots.

Report Narrative:

The applicant is proposing a Major Land Subdivision that would create two blocks having a total of 2 lots, 2 outlots, and a collector road extension (Alpha Parkway NW), which bifurcates the two blocks. The site contains a total of 30.17 acres and is located at the southeast corner of Badger Hills Dr. NW and 50th Ave. NW. The underlying zoning district of the property is R-2 (Low Density Residential – Small Lot). The site received approval for a General Development Plan (GDP2024-003GDP) on December 9, 2024, encompassing just the 30.17-acre site.

The GDP concept plan for the site consists of 196 attached townhome residential units within 30 residential buildings and a community clubhouse. The development will consist of a mix of 4-plex, 6-plex, and 8-plex residential buildings. The applicant has recently submitted a Site Development Plan (CD2025-024SDP) for this development, which is currently in administrative review. The first approved GDP is attached to this report as an exhibit for reference purposes. This Major Land Subdivision plat for the development is consistent with the approved General Development Plan and the Site Development Plan application currently in review.

The Development Review Team is recommending approval with the following conditions:

1. Prior to submission of a Final Plat, the applicant shall provide a revised Major Land Subdivision that addresses the following items:
 - a. Removing of the two outlots located in Block 1 and Block 2.
 - b. Adjust and clearly identify the perimeter property lines and 10-foot utility easement lines to correctly reflect the final geometry of the ROW, parcels, and easements at the Badger Hills DR NW intersections with Alpha Pkwy NW and 50 Ave NW.
 - c. Identifying which public utility easements exist and which are proposed, with existing easements being identified by the document recording number, subject to RPU Electric approval.
 - d. The proposed final plat drawing shall be sent to and reviewed by RPU Electric before the drawing is submitted with the revised Major Land Subdivision application
 - e. Adding directional NW label for Alpha Parkway NW and Labeling Worrall Court NW road stubs as indicated by the GIS referral comment.
2. Prior to or concurrently with final plat submission, the applicant shall provide documentation demonstrating that Preliminary plat GIS impact fees have been paid.

Priorities & Foundational Principles:

Economic Vibrancy & Growth Management
Fiscal Responsibility & Sustainability

Policy Considerations & DEI Impact:

The proposed preliminary plat is consistent with an active General Development Plan and achieves Comprehensive Plan Core principles of Economic Vibrancy and Growth Management, and Fiscal Responsibility & Sustainability.

Prior Legislative Actions & Community Engagement:

June 5, 2025: Major Land Subdivision Neighborhood Information Meeting

Fiscal & Resource Impact:

All development costs will be the responsibility of the developer and will be outlined in a Development Agreement and/or City-Owner Contract.

Alternative Action(s):

No alternative actions are suggested at this time.

Prepared By:

Desmond McGeough

Attachments:

- [CD Memo - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Development Timeline Exhibit - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Location Map Exhibit - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Major Land Subdivision Exhibit - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Applicant Narrative - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [NIM Minutes - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Review Comment - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Preliminary Plat Criteria - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)
- [Approved GDP Exhibit - CD2025-025PLAT - Savannah Rochester Major Land Subdivision](#)

Planning and Zoning Commission

August 13, 2025

- Prepared by:** Rochester Community Development
- Request:** Major Land Subdivision CD2025-025PLAT by SCS Rochester LLC., to be known as Savannah Rochester, for subdivision consisting of 2 Blocks, with each block encompassing one lot and one outlot on 30.17 acres
- Location:** Southeast corner of the intersection of Badger Hills Dr. NW and 50th Ave NW. (PIN #081584)
- Applicant:** SCS Rochester LLC.
- Consultant:** Widseth – Ryan Hermes

COUNCIL SUMMARY

Application Type: Major Land Subdivision

What is Considered: The Major Land Subdivision is the initial document authorizing the creation of a subdivision. During the Major Land Subdivision review, the Planning Commission and City Council evaluate the subdivision for conformance with lot development standards, such as lot size, vehicle and pedestrian access /connectivity, public utility needs, and the future for development on adjacent undeveloped land.

Site design standards, such as building and parking lot location, height, and setbacks, are not part of the preliminary plat review.

A final plat will follow the Major Land Subdivision and will ensure full compliance with future construction, utility, and grading plans.

Development Review Team Recommendation: Approval, with the following conditions:

1. Prior to submission of a Final Plat, the applicant shall provide a revised Major Land Subdivision that addresses the following items:
 - a. Removing of the two outlots located in Block 1 and Block 2.
 - b. Adjust and clearly identify the perimeter property lines and 10 foot utility easement lines to correctly reflect the final geometry of the ROW, parcels, and easements at the Badger Hills DR NW intersections with Alpha Pkwy NW and 50 Ave NW.
 - c. Identifying which public utility easements exist and which are proposed, with existing easements being identified by the document recording number, subject to RPU Electric approval.
 - d. The proposed final plat drawing shall be sent to, and reviewed by RPU Electric, before the drawing is submitted with the revised Major Land Subdivision application.

- e. Adding directional NW label for Alpha Parkway NW and Labeling Worrall Court NW road stubs as indicated by the GIS referral comment.
2. Prior to or concurrently with final plat submission the applicant shall provide documentation demonstrating that Preliminary plat GIS impact fees have been paid.

MAJOR LAND SUBDIVISION SUMMARY

The applicant is proposing a Major Land Subdivision that would create two blocks having a total of 2 lots, 2 outlots, and a collector road extension (Alpha Parkway NW), which bifurcates the two blocks. The site contains a total of 30.17 acres and is located at the southeast corner of Badger Hills Dr. NW and 50th Ave. NW. The underlying zoning district of the property is R-2 (Low Density Residential – Small Lot). The site received approval for a General Development Plan (GDP2024-003GDP) on December 9, 2024 encompassing just the 30.17-acre site.

The GDP concept plan for the site consists of 196 attached townhome residential units within 30 residential buildings and a community clubhouse. The development will consist of a mix of 4-plex, 6-plex and 8-plex residential buildings. The applicant has recently submitted a Site Development Plan application for the project which is currently under administrative review. The approved GDP is attached to this report as an exhibit for reference purposes. This Major Land Subdivision plat for the development is consistent with the approved General Development Plan and the Site Development Plan application currently in review.

CD2024-005PLAT – ZONING SUMMARY TABLE

Land Use/ Zoning	<p>The P2S Comprehensive Plan Land Use Designation of the subject site is Low Density Residential, and the property is currently zoned R-2 (Low Density Residential – Small Lot)</p> <p>North: Land to the north is zoned R-3 (Medium Density Residential). This area is developed with an apartment development community.</p> <p>East: The properties to the east of the subject properties are zoned R-1 (Mixed Single-Family), Current use of this land consists of a residential neighborhood.</p> <p>South: Land to the south is zoned R-2 and which was recently annexed by the City of Rochester. A Major Land Subdivision was recently approved for this site, which will consist of single-family home development in the future.</p> <p>West: Land to the west is currently zoned H (Holding Zone) and is currently utilized for agricultural production. This property is part of the Highland Preserve Development and was included as part of the General Development Plan (CD2021-001GDP) approved for the property. It is anticipated that this area will consist of low density residential land uses in conformance with the P2S</p>
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	Comprehensive Plan Low Density Residential land use designation.
Roads and Access	<p>The future development will be served by Alpha Parkway NW, a collector roadway that splits the property. Alpha Parkway extends from Bader Hills Drive NW on the north to 50th Ave. NW on the west side of the site. The roads shaded in gray within the two blocks shown on the plat, will be private streets that will provide individual access to the rental townhome community.</p> <p>This development is exempt from the submission of a traffic study. A previously prepared and submitted Traffic Impact Report Study for the development has been approved by the City of Rochester Public Works Department.</p>
Grading & Stormwater Management	No grading or earthwork is allowed to occur until a Stormwater Management Plan has been approved as part of the Site Development Plan review process and a grading permit has been issued.
Wetlands/Decorah Edge/Floodplain	There is a wetland located in the Northwest corner of the site. The Technical Advisory Panel (TEP) found the subject wetland feature to be incidental in nature as it was clearly an excavated ditch. No other wetlands were found on the property. The site is not located within a Decorah Edge Overlay Area.
Public Facilities	<p>Presently, off-site public facilities exist that can service development. The proposed stormwater pond shown on separate outlots will be privately owned and maintained. The private facilities need to be located within Lot 1 of Block 1 and Lot 1 of Block 2, not on separate outlots as depicted on the on the Major Land Subdivision Plat. A condition of approval has been include requiring the submittal of a revised Major Land Subdivision Plat prior to the submission of a Final Plat showing removal of the two outlots.</p> <p>Execution of an Individual Site Development Agreement will be needed to address Owner's and City's obligations related, but not limited to: stormwater management, transportation improvement, construction and maintenance obligations of the east-west running pedestrian path, and applicable development related charges. The agreements will address any on-site or off-site obligations that may be required to accommodate the subject development.</p> <p>The Public Works Département has provided separate comments regarding conditions for development of the property through Site Development Plan Application Number CD2025-024SDP.</p>
Utilities	Presently, public facilities exist to service the site. This parcel is within the NW High Pressure Level Water System Area. Water is currently available via an existing 8" water main stub at intersection of. Alpha Parkway NW and Badger Hills Drive NW

	<p>The project may be responsible for some water main oversizing. Twelve (12) inch or larger diameter pipe is considered “oversized” If oversized pipe installation is required for the water system, RPU will reimburse the developer the incremental cost for constructing over-sized water mains, valves, and fittings the year which oversized water main was installed and accepted.</p> <p>Static water pressures within this area will range from 45 PSI to 82 PSI. Homes with pressure greater than 80 PSI will be required to be equipped with a pressure-reducing device.</p>
Parkland Dedication	<p>The new plat is creating just two residential blocks, which will encompass a total of 196 residential units. This area will be served by the existing Badger Hills Neighborhood Park, which is only a quarter mile east of the site. Therefore, parkland dedication shall be met via payment of in cash in lieu of land with payment due prior to recordation of the final plat and approval of the Site Development Plan application.</p> <p>The submitted Site Development Plan identifies a pathway along the south boundary of the development which connects with the existing neighborhood on the east side of the site. This will provide convenient access to Badger Hills Park. 196 units proposed for the development will be responsible for 3.48 acres of Parkland Dedication.</p>

MAJOR LAND SUBDIVISION CRITERIA – STANDARDS FOR APPROVAL

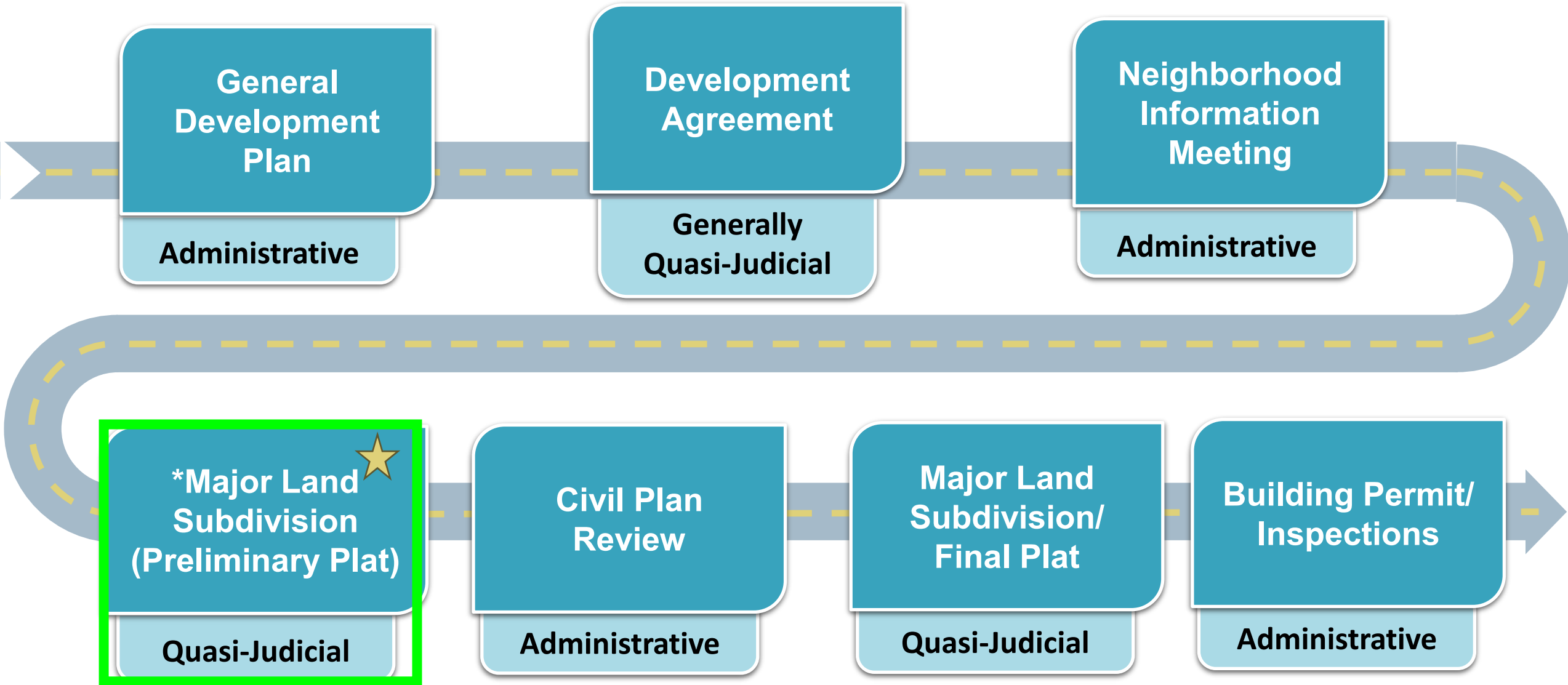
The Community Development Team has reviewed the Major Land Subdivision for conformance with the Unified Development Code and recommends that all Major Land Subdivision findings are met (Section 60.500.040G.4).

The Community Development Team recommends APPROVAL WITH CONDITIONS, as outlined in the City Council Summary above.

ATTACHMENTS

1. Development Timeline
2. Location Map
3. Major Land Subdivision Exhibit
4. Applicant Narrative
5. Neighborhood Information Meeting Minutes
6. Review Comments
7. Major Land Subdivision Criteria
8. Approved General Development Plan

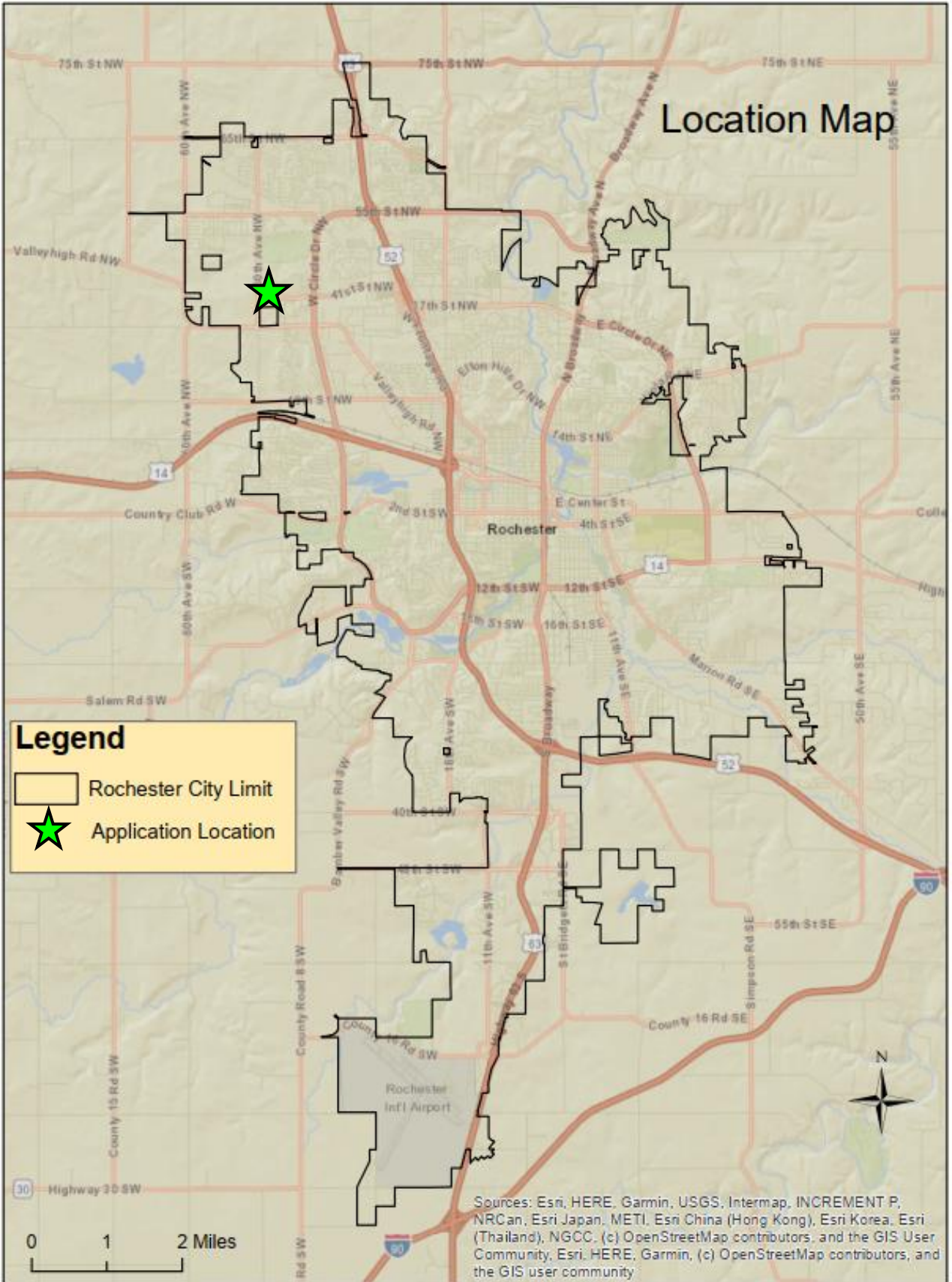
Savannah Rochester Subdivision



Location Map

Legend

-  Rochester City Limit
-  Application Location



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community; Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

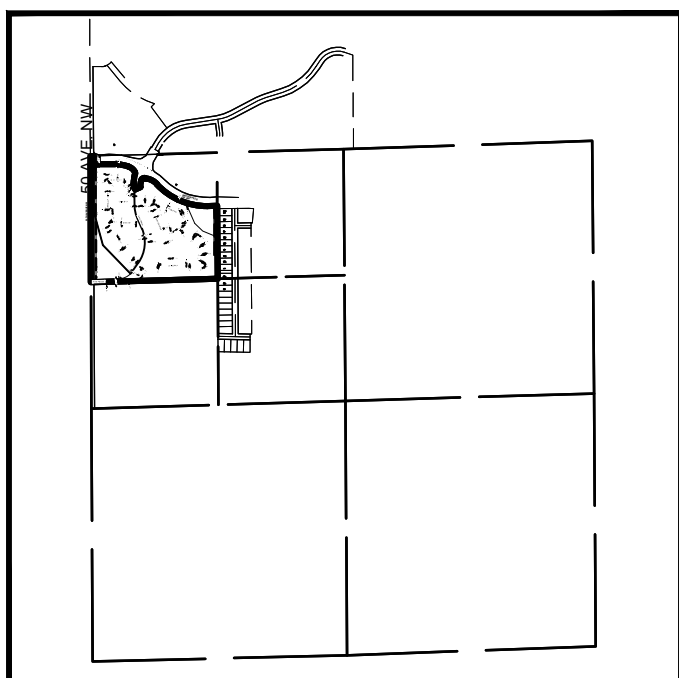
MAJOR LAND SUBDIVISION EXHIBIT

SEC. 20, TWN. 107, RGE. 14

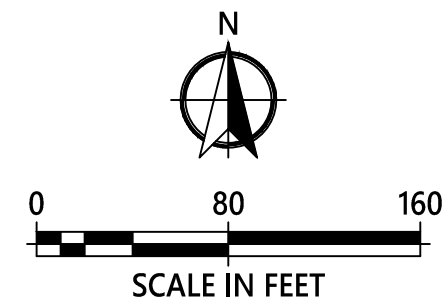
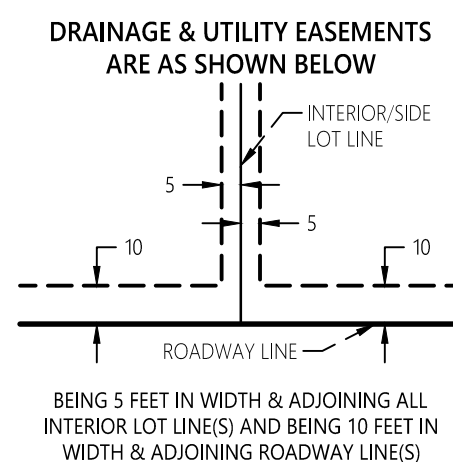
LEGEND

- SECTION LINE
- QUARTER (1/4) SECTION LINE
- QUARTER QUARTER (1/4-1/4) SECTION LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- DESCRIPTION LINE(S)
- DEEDED LOT LINE(S)
- PLATTED LOT LINE(S)
- PLATTED BLOCK LINE(S)
- SUBJECT TRACT(S) BOUNDARY
- SUBJECT TRACT(S) SUBDIVISION LINE(S)
- SUBJECT TRACT SETBACK LINE(S)
- 1230 MAJOR CONTOURS (WITH LABEL)
- 1234 MINOR CONTOURS (WITH LABEL)
- SHRUB
- TREE - CONIFER
- TREE - DECIDUOUS
- WETLAND
- EDGE OF WOODS
- EDGE OF WETLANDS
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CURB & GUTTER
- GRAVEL PAVEMENT
- ROADWAY/DRIVE/TRAIL CENTERLINE
- FENCE POST
- FLAG POLE
- GUARD POST (BOLLARD)
- GUY POLE
- GUY WIRE ANCHOR
- ACCESSIBLE PARKING MARKING
- SIGN - DOUBLE POST
- SIGN - SINGLE
- SIGN - FIRE #
- FENCE - WOOD
- RETAINING WALL
- TELECOM HANDHOLE
- TELECOM MANHOLE
- TELECOM PEDESTAL
- TELECOM POLE
- TV HANDHOLE
- TV PEDESTAL
- SATELLITE DISH
- UNDERGROUND FIBER OPTIC CABLE
- OVERHEAD TELEPHONE CABLE
- UNDERGROUND TELEPHONE CABLE
- OVERHEAD TV CABLE
- UNDERGROUND TV CABLE
- AC UNIT
- GENERATOR
- GROUND LIGHT (FLOODLIGHT)
- HANDHOLE
- LIGHT POLE
- MANHOLE
- ELECTRICAL METER
- PEDESTAL
- ELECTRIC POLE
- TRAFFIC SIGNAL
- TRANSFORMER
- YARD LIGHT
- OVERHEAD ELECTRIC WIRE
- UNDERGROUND ELECTRIC WIRE
- NATURAL GAS METER
- NATURAL GAS VALVE
- LIQUID PROPANE (LP) TANK
- NATURAL GAS MAIN PIPE
- AIR RELEASE MANHOLE
- CLEANOUT
- LIFT STATION WET WELL
- LIFT STATION VALVE VAULT
- MANHOLE
- VALVE (FORCEMAIN)
- FORCE MAIN PIPE
- GRAVITY MAIN PIPE
- SERVICE PIPE
- CATCH BASIN
- CLEANOUT
- CULVERT APRON
- INLET STRUCTURE
- MANHOLE
- GRAVITY MAIN PIPE
- SUBDRAIN (DRAIN TILE)
- CURB STOP
- HANDHOLE
- HYDRANT
- YARD HYDRANT
- MANHOLE
- WATER METER
- WATER MAIN VALVE
- WATER WELL
- WATER MAIN PIPE
- WATER SERVICE PIPE

© 2025 WIDSETH. FILE: W:\PROJECTS\STONELEIGH COMPANIES, LLC-49406\2024-10870\CADD\SURVEY\PP-2024-10870.DWG. PLOTTED BY: ADAM PLESCHOURT, JULY 7, 2025.

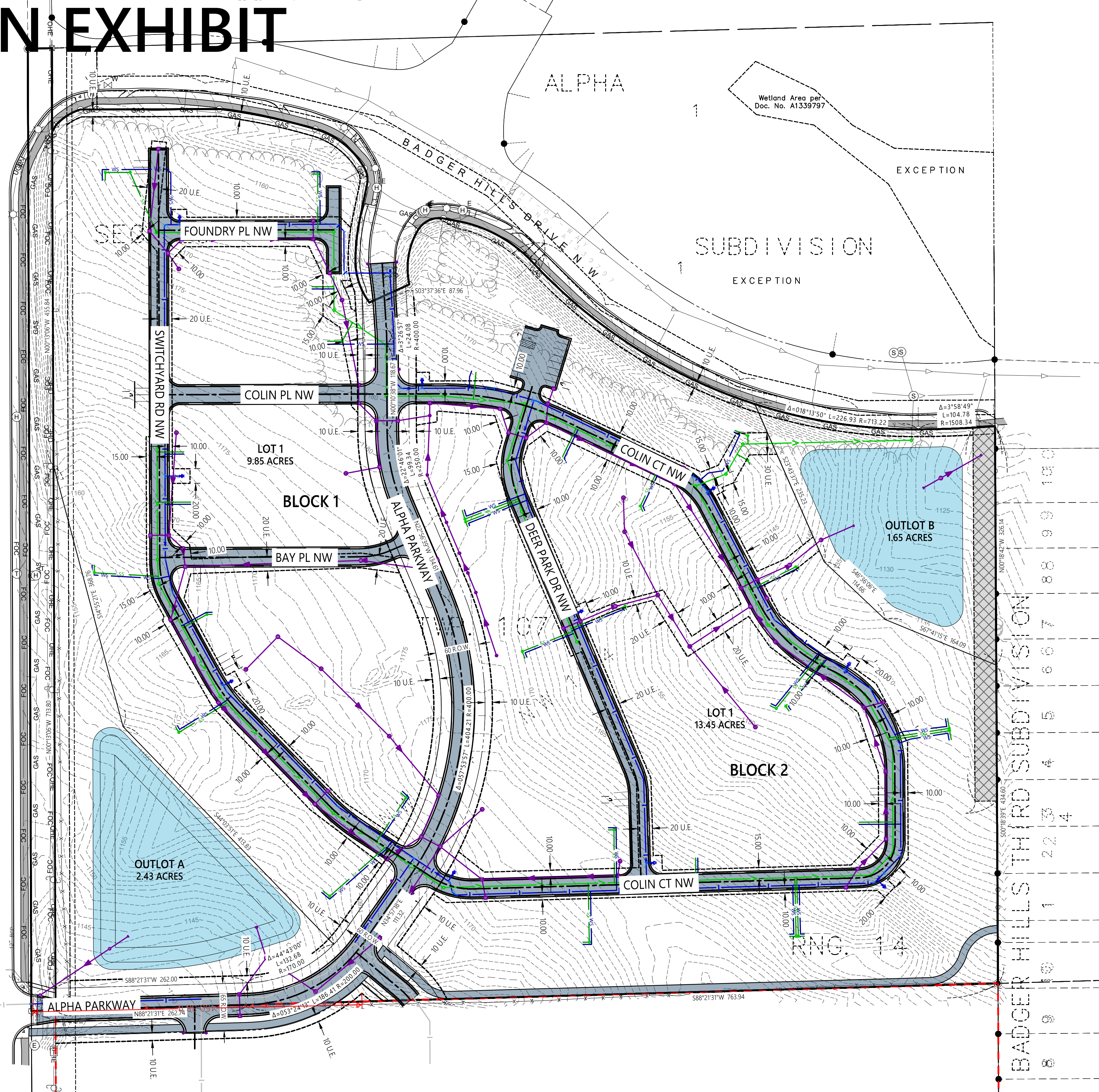


VICINITY MAP
SEC. 20, TWN. 107, RGE. 14
OLMSTED COUNTY, MN



ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE <COUNTY> COUNTY COORDINATE DATABASE, NAD83

- DENOTES FOUND IRON MONUMENT
- DENOTES 1/2 INCH DIAMETER BY 18 INCH LONG IRON PIPE SET AND MARKED BY RLS #-<NUMBER>



SHEET X OF X SHEETS

	DRAWN BY: RSH	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL PROFESSION UNDER THE LAWS OF THE STATE OF MINNESOTA. NOT FOR CONSTRUCTION	DATE:	AMENDMENT DESCRIPTION:	PREPARED FOR:
	CHECKED BY: CNB		SIGNER NAME:	DATE: MM/DD/YYYY	MAJOR LAND SUBDIVISION EXHIBIT
					STONELEIGH COMPANIES PROJECT #: 2024-10870

MEMO

Date: May 7th, 2025
To: Community Development Department - City of Rochester
From: Craig Britton, PE; Logan Tjossem, AICP
Subject: Savannah at Rochester – Major Land Subdivision Permit

Development Summary:

The proposed development, Savannah at Rochester, is an approximate 28-acre residential subdivision and consists of approximately 196 residential units. The development area is located at the intersection of 50th Ave NW and Badger Hills Drive NW (PID#: 74.20.22.081584). We are proposing two lots and two outlots, extensions of new public and private roads, utility infrastructure and a mix of 4-plex, 6-plex and 8-plex units. The proposed major land subdivision is consistent with the previously approved General Development Plan (#CD2024-003GDP).

Criteria for Major Land Subdivision Permit Approval

The Planning Commission shall recommend, and City Council shall approve, a Major Land Subdivision Permit, if it determines that the following criteria are met:

- a. The proposed land subdivision is consistent with the adopted Comprehensive Plan.
 - A residential subdivision is consistent with the adopted Land Use designation as Low Density Residential and is consistent with the need for a mix of housing styles in this designation.
- b. The proposed land subdivision conforms to all standards in this UDC, unless a Minor Modification, Major Modification, or Variance for any deviation from the standards in this UDC has been approved pursuant to this UDC.
 - The proposed land subdivision conforms with all relevant requirements of the ordinance without any Minor Modifications, Major Modifications or Variances to the standards of the UDC.
- c. The proposed land subdivision permit is consistent with any approved and applicable General Development Plan, Conditional Use Permit, and/or Traffic Impact Study.
 - The General Development Plan was approved on January 6th, 2025. This plan follows the approved GDP. A traffic Impact Study was waived by the city traffic engineer on 05/02/2024.
- d. The proposed land subdivision will not result in a violation of federal or state law or city or county ordinance.
 - There is nothing as part of this proposal that would result in any federal, state, city or county violations.
- e. The proposed water system and sanitary sewer system are adequate to serve the normal and fire protection demands of proposed development and to provide for the efficient and timely extension to serve future development.
 - A predevelopment meeting was held on 04-18-2024 and preliminary plans have been sent to the reviewing agencies for water and sanitary. They have deemed

the sizing to be adequate. The current plan has capacity to serve what is being proposed both now and in the future.

- f. The plan for soil erosion and stormwater management meets the adopted standards of the City of Rochester and is consistent with the adopted Stormwater Management Plan or adopted drainage or stormwater policies.
 - A stormwater analysis has been performed for the site and we are working through the Proof-of-Concept process for stormwater management with the City of Rochester.
- g. The vehicular, pedestrian, transit and non-motorized system is consistent with adopted transportation plans and is consistent with the street layout standards listed in Section 60.400.040C Subdivision Level Connectivity and Circulation and applicable traffic service standards.
 - The city staff has reviewed the general development plan and has made comments relating to pedestrian and non-motorized transit. Pedestrian facilities are shown along the new public street (Alpha Parkway). There is a combination of public and private roads throughout the development that connect to the surrounding area where the system of vehicles, pedestrians and non-motorized transportation are supported.
- h. The soils, topography and water tables have been adequately studied to ensure that all lots are developable for their designated purposes.
 - Soil borings have been taken and a geotechnical report has been drafted. The study determined that what is being proposed is feasible with the underlying glacial clays and sands. However, there will need to be some soil corrections with the overlying loessial clay and silt. Recommendations have been made by the geotechnical engineer for pavement sections, grading operations, etc. No free water was observed in any of the borings during exploration, but elevated moisture was noted in the overlying loess versus the underlying glacial clays. Sump pits and pumps are anticipated to be sufficient for utility installation.
- i. The proposed subdivision will not have off-site impacts on the street, drainage, water, or wastewater systems that exceed adopted standards.
 - Offsite impacts of the construction have been evaluated, and measures are going to be taken to protect neighboring properties. The proposed development is consistent with adopted policies and standards for access, grading, drainage, erosion control, and stormwater management. As part of the Major Land Subdivision Process, a Proof of Concept is required for review and completeness.
- j. The lot and block layout provide for safe and convenient pedestrian, non-motorized vehicle, transit, vehicular, service and emergency access, efficient utility service connections, and adequate buildable area in each lot for planned uses.
 - The proposed layout has been reviewed through the general development plan, and comments relating to the layout have been addressed. Both motorized and non-motorized travel paths have been analyzed both by the engineers

designing the site as well as city staff. The zoning district requirements have been studied, and building setbacks are being abided by for the R-2 district.

- k. The proposed subdivision has taken into account the current six-year and other Long-Range Capital Improvements Programs and the elements listed in those programs in the design of the subdivision.
 - The proposed residential development has considered the sewer and water infrastructure that has been put in to place by the City of Rochester. In addition, other public utilities are planned as part of this development.
- l. The proposed subdivision will not have adverse impacts on the safety or viability of permitted uses on, or the efficient continued development of, adjacent properties.
 - The proposed subdivision will help increase safety of adjacent properties by completing the road network for Alpha Parkway to 50th Avenue NW. The property is within the R-2 (Low Density Small Lot) Residential Zoning District. This district is intended to maintain and promote areas with a mixture of residential dwelling types that are of an overall low-density or are undergoing a conversion from predominantly single-family detached dwellings to duplexes and other attached dwellings. Certain supportive non-residential uses, and compatible infill development, consistent with the character of the area are permitted. The proposed development complies with all applicable laws and ordinances and will not have an adverse impact on adjacent properties.
- m. Rights-of-way and easements of adequate size and dimension are provided for the purpose of constructing the street, utility, and drainage facilities needed to serve the development.
 - The right of way widths were drafted at the direction of city staff and the city traffic engineer. Utility easements and drainage easements were created at the direction of RPU-Electric, RPU-Water, and Public Works.
- n. The proposed parks, trail thoroughfares, and open space dedications are consistent with adopted plans, policies, and regulations.
 - Parkland dedication will be required as part of this development request.
- o. If located in a residential zoning district, the subdivision addresses the need to avoid spillover parking from subdivision residents into surrounding residential districts.
 - There is ample parking for subdivision residents with the driveway/garage parking of each complex and is expected to accommodate the proposed development parking requirements.
- p. For any land located within the Special Flood Hazard Area of the FPO – Floodplain Overlay:
 - The property is in the FEMA Flood Hazard Area D and not located in the Special Flood Hazard Area of the Floodplain Overlay.
 - The proposed subdivision adequately mitigates the risks of flooding, inadequate drainage, soil and rock formations with severe limitations for development, severe erosion potential, or any other floodplain related risks to the health, safety, or welfare of the future residents of the proposed subdivision in a manner consistent

with this ordinance; [NA](#)

- Each lot contains a potential building site located outside of the Floodway District at or above the regulatory flood protection elevation; [NA](#)
- Adequate drainage is provided to reduce exposure of flood hazard; [NA](#)
- For all subdivisions containing land within the Floodway and/or Flood Fringe District boundaries, the regulatory flood protection elevation and the required elevation of all access roads are clearly labeled on all required subdivision drawings and platting documents; [NA](#)
- The subdivision provides road access both to the subdivision and to the individual building sites no lower than two feet below the regulatory flood protection elevation; and [NA](#)
- All public utilities and facilities, such as sewer, gas, electrical, and water systems, are located and constructed to minimize or eliminate flood damage. [NA](#)

Savannah of Rochester Development – Neighborhood Informational Meeting

Rochester

Date and Time: June 5, 2025 from 5:30 - 6:30 PM

3777 40th Avenue NW
Suite 200
Rochester MN 55901

Location: Widseth Office
3777 40th Avenue NW, Suite 200
Rochester, MN 55901

507.292.8743
Rochester@Widseth.com
Widseth.com

Craig Britton, Widseth, opened the meeting at approximately 5:31 pm. Craig started with a description of the proposed project. The virtual meeting was started at approximately 5:28 pm and was closed at 6:31 pm.

- a. Neighborhood Informational Meeting is being held to provide information on the proposed development. The meeting is a requirement of the City of Rochester for the development of this residential subdivision.
- b. Property is location on the SE corner of 50th Ave NW and Badger Hills Drive NW.
- c. Site is in the R-2 Zoning District (Residential Low-Density Small Lot).
- d. The property is approximately 28.3 acres in area.
- e. The proposed use on the property is single family attached dwellings. There are approximately 184 dwelling units proposed. There is planned to be a mix of 4-Plex, 6-Plex and 8-Plex buildings.
- f. Reviewed the Site Development Plan and Major Land Subdivision application processes.
- g. Reviewed the street layout and the site density.
 - a. Extension of Alpha Parkway NW. Craig explained that the plan is to have Alpha Parkway NW connect to 50th Ave in the location where the median opening is on 50th Ave, but that the intension is to only construct Alpha Parkway NW from Badger Hills Drive NW to the south property line at this time.
 - b. Site amenities include the clubhouse and private open space. The trail just east of the property is planned to be extended west through the property over to 50th Ave NW.
 - c. Site density is estimated to be approximately 6.5 units per acre.
- h. Discussed traffic impacts. The project is proposed to generate approximately 1,543 trips per day.
- i. Reviewed environmental features on the site. Craig explained that a wetland delineation was performed and a report was submitted for agency review. A site visit was conducted with the wetland review agencies a couple weeks ago. Our findings included a wetland in the NW corner of the property. The intention is to avoid the wetland during construction.
- j. The developer reviewed the floorplans for the at-grade and walk-out buildings.
- k. Questions
 - a. What is the construction schedule?

- i. The current plan is to begin tree removal and earthwork this year with the majority of the construction taking place next spring.
- b. There were some stormwater run-off questions.
 - i. There will be a swale or drainage ditch that will be constructed on the east property line to prevent direct run-off from the property to the adjacent property to the east. The swale will be directed to the proposed ponds in the NE and SW corners of the site.
 - ii. One of the residents that attended the meeting installed a tile in their yard because it's wet.
- c. A resident stated there is a tree that's close to the property line, but they believe it's on the Stoneleigh property. Craig mentioned that the location of the tree will be reviewed, but grading in the area may require the tree to be removed if it's on the Stoneleigh property.

The residents at the meeting left at approximately 6:18 pm. The virtual meeting was adjourned at 6:31 pm. Widseth staff left the meeting room at approximately 6:52 pm.

Agency Review Comments

Application No: CD2025-025PLAT

7/21/2025 **County GIS/E911**

See attached GIS referral and fee form documents - SavannahRochesterPP_Referral.pdf.

7/14/2025 **County Long Range Planning**

No Comment

7/23/2025 **County Public Works**

7/14/2025 **Fire Review**

7/14/2025 **LGU**

There are no Wetland or Decorah Edge related concerns with the project. R2024-004WET application for a wetland delineation appears to be taken into account for the development.

7/14/2025 **Park and Rec Review**

See attached comment in Accela software.

7/23/2025 **Public Works Review**

See attached comment in Accela software.

7/22/2025 **RPU Electric Review**

Items to be addressed prior to application approval:
- Must provide proposed Plat drawing in format for county submission.

Additional Comments:

- Cannot complete review due to only Exhibit drawing submitted. Proposed Plat drawing in format for county submission not part of review packet. Cannot discern exactly what easements are proposed and what are existing. Exhibit drawing does not match parcel records per Olmsted County GIS. Existing recorded easements not identified with recording #.

7/15/2025 **RPU Water Review**

RPU Water Dept has no objections to this Major Land Subdivision application. See RPU Water Dept. plan review mark-ups and informational letter both dated 7/15/2025 for more details and information.

TO: Community Development
4001 West River Parkway NW, Suite 100
Rochester, MN 55901-7090

FROM: Mark E. Baker

RE: Savannah Rochester Subdivision Major Land Subdivision
(Part of Part of NW ¼, Section 20-107-14)
(PIN 81584)

DATE: 7/23/25

The Department of Public Works has reviewed the requested application for Major Land Subdivision CD2025-025PLAT for the proposed plat called Savannah Rochester Subdivision. The following are Public Works comments for this application:

1. The proposed stormwater pond BMPs will be privately owned and maintained. They need to be located within the main lots(s) and not on separate outlots as depicted on the current plat.
2. Public Works has no other specific conditions of approval for this plat. Public Works has provided separate comments regarding conditions for development of the property through Site Development Plan Application Number CD2025-024SDP.

Sent to Planning Department via Accela only

July 15, 2025

COMMUNITY DEVELOPMENT DEPARTMENT
4001 West River Pkwy NW, Suite 100
Rochester, MN 55901

REFERENCE: Major Land Subdivision CD2025-025PLAT by SCS Rochester LLC to be known as Savannah Rochester Subdivision

Our review of the referenced preliminary plat is complete and our comments follow:

1. We have provided the applicant's engineering firm with comments on the proposed water system layout.
2. Final construction plans will need to conform to standard City of Rochester Requirements.
3. This parcel is all within the NW High Pressure Level Water System Area (tower working elevations 1280'), which is currently available via an existing 8" DIP water main stub at the south side of the intersection of Alpha Parkway NW and Badger Hills Drive NW (northern-central area of the parcel). There is also a southern-central future connection being planned for and designed currently as part of a subdivision development on the parcel abutting to the south of this parcel. Timing is unknown at this time but civil consultants for both projects have been informed to coordinate their designs and construction plans.
4. Static water pressures within this area will range from the low 40's PSI to the mid 60's PSI.
5. Per Section 1004 Water main Design of the City of Rochester Engineering Standards, looping of water mains is required in all cul-de-sacs and dead end streets unless topographic conditions make it impractical. Water mains are to be extended to the end limits of new subdivisions, and other developments, to facilitate future water system extensions and looping, unless RPU determines otherwise.
6. The proposed development may include some required water main over-sizing. Per the City of Rochester Engineering Standards Section 1004 Water Main Design Subsection 1004.1 Sizing Water Main, standard water main size for water distribution system design is eight (8) inch diameter. Twelve (12) inch or larger diameter water mains, as required by RPU based on water main hydraulic capacity requirements to serve future adjacent portions of the water distribution system, are considered over-sized water mains. At the end of the year in which the over-sized water main was installed, tested and accepted; RPU will reimburse the owner/developer the incremental cost for constructing over-sized water mains, valves, and fittings. RPU determines the reimbursement amount and it is NOT based on the developers costs and/or the contractors unit price or lump sum pricing for the project.

Please contact us at 507-280-1505 if you have questions.

Very truly yours,



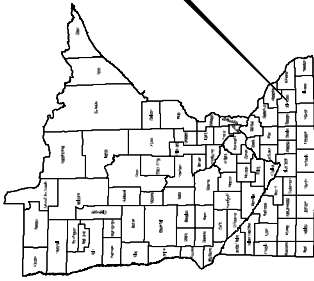
Wade Neubauer, Water

C: Luke Payne, RPU
Gary Schick, Building Safety, Plumbing
Jamie Miller, City Public Works
Ryan Hermes, Widseth

Brent Bunke, RPU Jerry Norman, Building Safety
Mark Baker, City Public Works
Jason Fife, Fire Prevention
Tim Cavanaugh, SCS Rochester LLC

SAVANNAH ROCHESTER SUBDIVISION

ROCHESTER, MN JUNE, 2025



PROJECT LOCATION
Rochester, MN

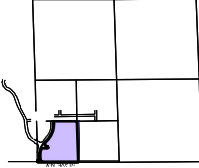
SUBSURFACE UTILITY NOTE

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL 1. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

GOPHER STATE ONE CALL
1-800-252-1166

VICINITY MAP
SEC. 20, T. 107, R. 14



REVIEWED BY RPU-WATER
Wednesday, 7/15/2025, 3:39:50 PM

GOVERNING SPECIFICATIONS
THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE 2020 SCHEDULE OF MATERIALS CONTROL FOR 2020 STANDARD SPECIFICATIONS SHALL GOVERN.

SHEET INDEX TABLE

SHEET NUMBERS	SHEET TITLE
C1.01	TITLE SHEET
C1.02	LEGEND SHEET
C1.03	SHEET INDEX
C4.01-C4.07	EXISTING CONDITIONS & DEMOLITION PLAN SHEET PLAN
C5.01-C5.14	UTILITY PLAN
C6.01-C6.17	GRADING PLAN
C7.01-C7.07	PLAN & PROFILES
C8.01-C8.14	LANDSCAPE PLAN
L2.01	THE PLAN CONTAINS
64 SHEETS	

FYI, AS OF JULY 1, 2025, RPU WATER DEPT. IS STARTING A PILOT PROGRAM TO ALLOW PVC WATER MAIN PIPE TO BE USED FOR 6" AND 8" PUBLIC WATER MAIN ONLY. EACH PROJECT WILL BE REVIEWED ON A CASE BY CASE BASIS TO BE DETERMINED IF THE PROJECT MEETS THE FOLLOWING CRITERIA:

- 1) NOT WITHIN THE DOWNTOWN AREA
- 2) NO CONTAMINATED SOILS
- 3) NO ROCK
- 4) LESS THAN 80 PSI WATER PRESSURE

THIS PROJECT MAY MEET THE ABOVE CRITERIA IF YOU CAN PROVIDE INFORMATION (SOIL BORINGS) SHOWING THERE ARE NO KNOWN CONTAMINATED SOILS AND ROCK PRESENT. OTHERWISE OUR STANDARD DIP WOULD BE REQUIRED FOR THE PROJECT.



THIS PLAN PLAN CONTAINS COLOR GRAPHICS. BLACK AND WHITE PRINTS ARE NOT OFFICIAL SIGNED DOCUMENTS.

IF YOU CANNOT PRINT THIS PLAN IN BLACK AND WHITE, PLEASE CONTACT THE PROJECT MANAGER FOR ASSISTANCE.
NOT FOR CONSTRUCTION

DRAWN BY: BSH
CHECKED BY: ONE



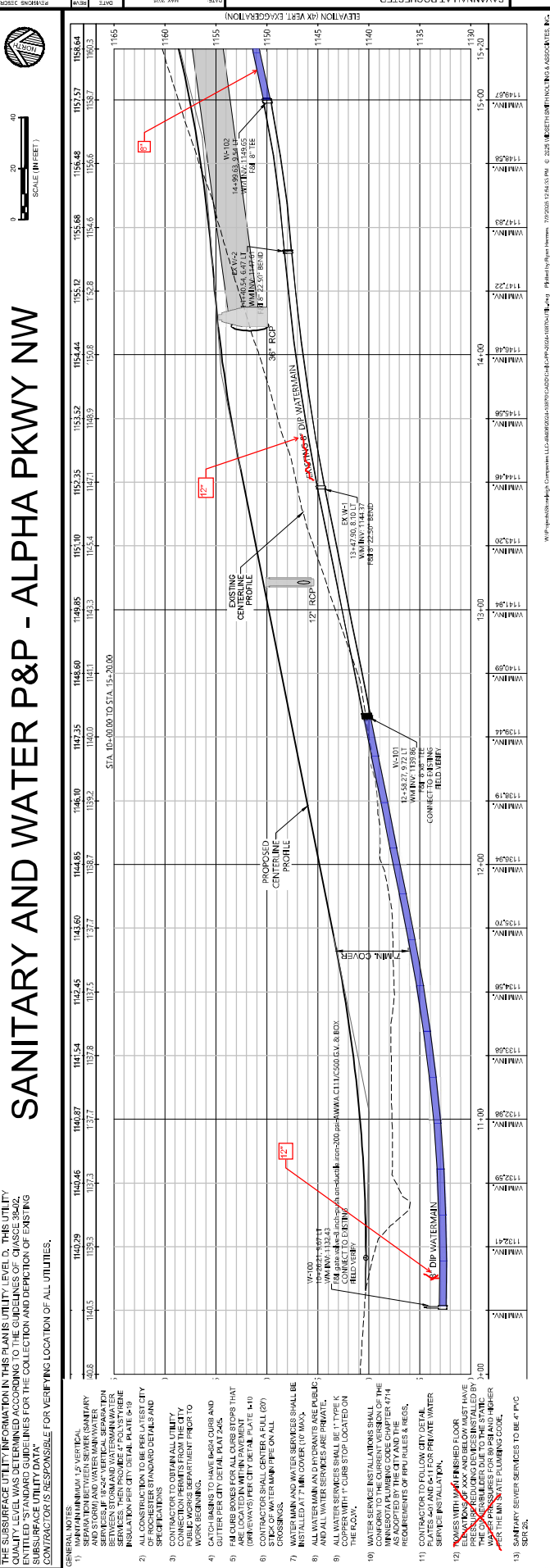
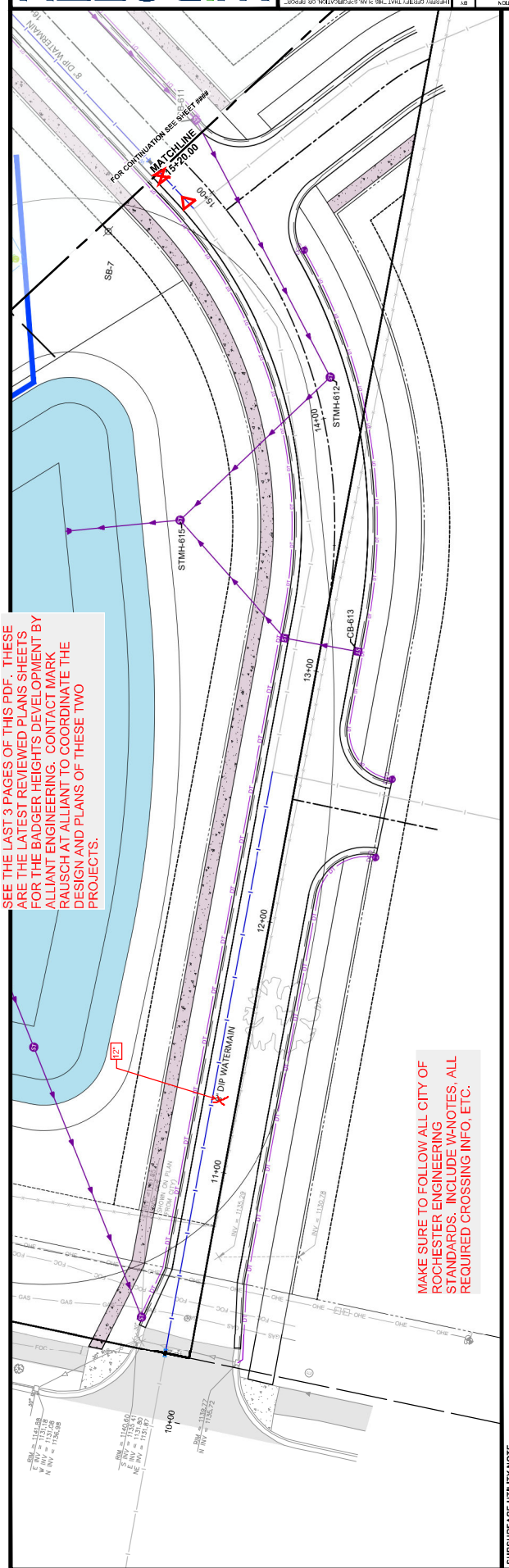
MAP SOURCE & YEAR: (YEAR) (MAP SOURCE)
MAP DESCRIPTION: (DESCRIPTION OF MAP, I.E. PARTIAL MAP OF BAYTEX CROW WING COUNTY, MINNESOTA)

SAVANNAH ROCHESTER SUBDIVISION

C1.01

TITLE SHEET

PROJECT #: 20241892D



SANITARY AND WATER P&P - ALPHA PKWY NW

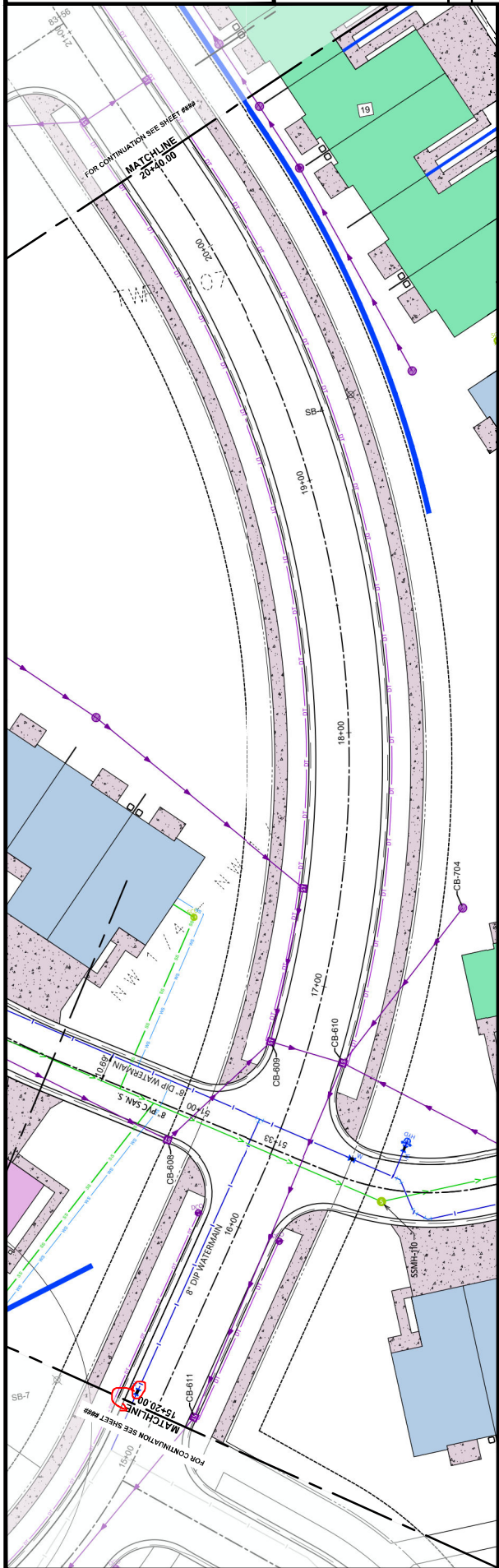
SUBSURFACE UTILITY MOVE
 THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN/UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASSIFICATION 38-42, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA" AS SET FORTH IN THE CITY OF ROCHESTER, MINNESOTA. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

- 1) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE OVER ALL EXISTING SANITARY AND WATER MAINS AND WATER MAIN WATER SERVICES. IF 18" VERTICAL CLEARANCE IS REQUIRED, CONTRACTOR SHALL PROVIDE 18" VERTICAL CLEARANCE. CONTRACTOR SHALL PROVIDE 18" VERTICAL CLEARANCE OVER ALL EXISTING SANITARY AND WATER MAINS AND WATER MAIN WATER SERVICES. THEN PROVIDE 18" VERTICAL CLEARANCE OVER ALL EXISTING SANITARY AND WATER MAINS AND WATER MAIN WATER SERVICES. THEN PROVIDE 18" VERTICAL CLEARANCE OVER ALL EXISTING SANITARY AND WATER MAINS AND WATER MAIN WATER SERVICES.
- 2) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES.
- 3) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES.
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- 10) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES.
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- 12) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES.
- 13) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES. CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM ALL CITY DEPARTMENTS AND UTILITIES.

DATE: 11/20/2024	PROJECT: SANITARY AND WATER P&P - ALPHA PKWY NW
DRAWN BY: J. H. HARRIS	CHECKED BY: J. H. HARRIS
SCALE: AS SHOWN	DATE: 11/20/2024
PROJECT NO: 2024-10370	SHEET NO: 05.02

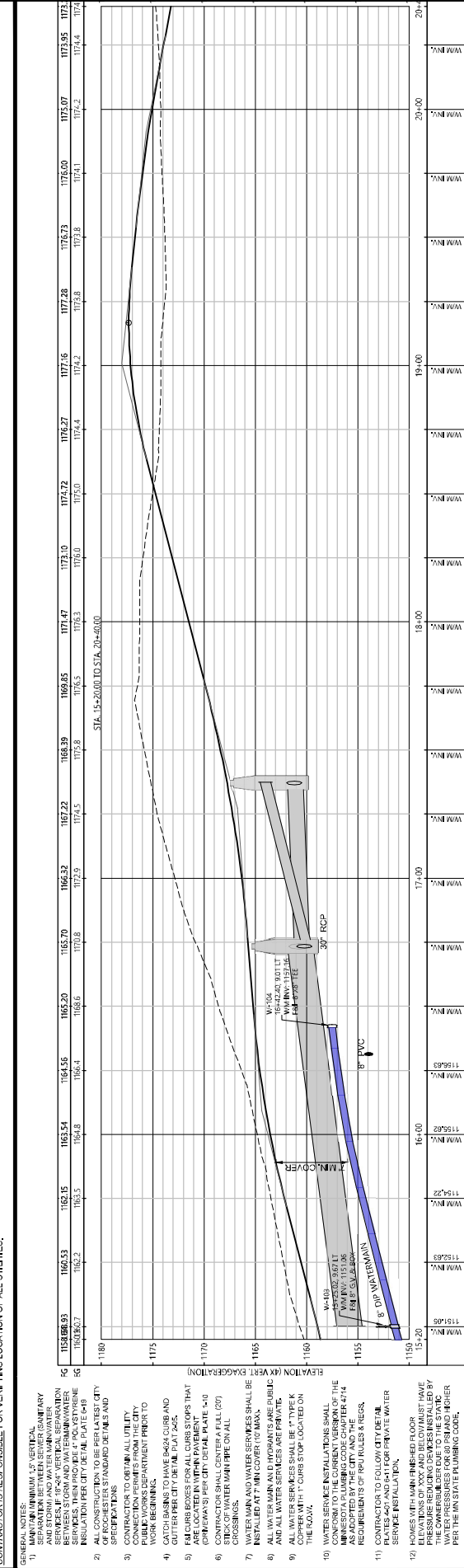
STONELIGH COMPANIES LLC ROCHESTER, MINNESOTA	DATE: 11/20/2024
SANITARY AND WATER P&P - ALPHA PKWY NW	PROJECT: SANITARY AND WATER P&P - ALPHA PKWY NW

05.02

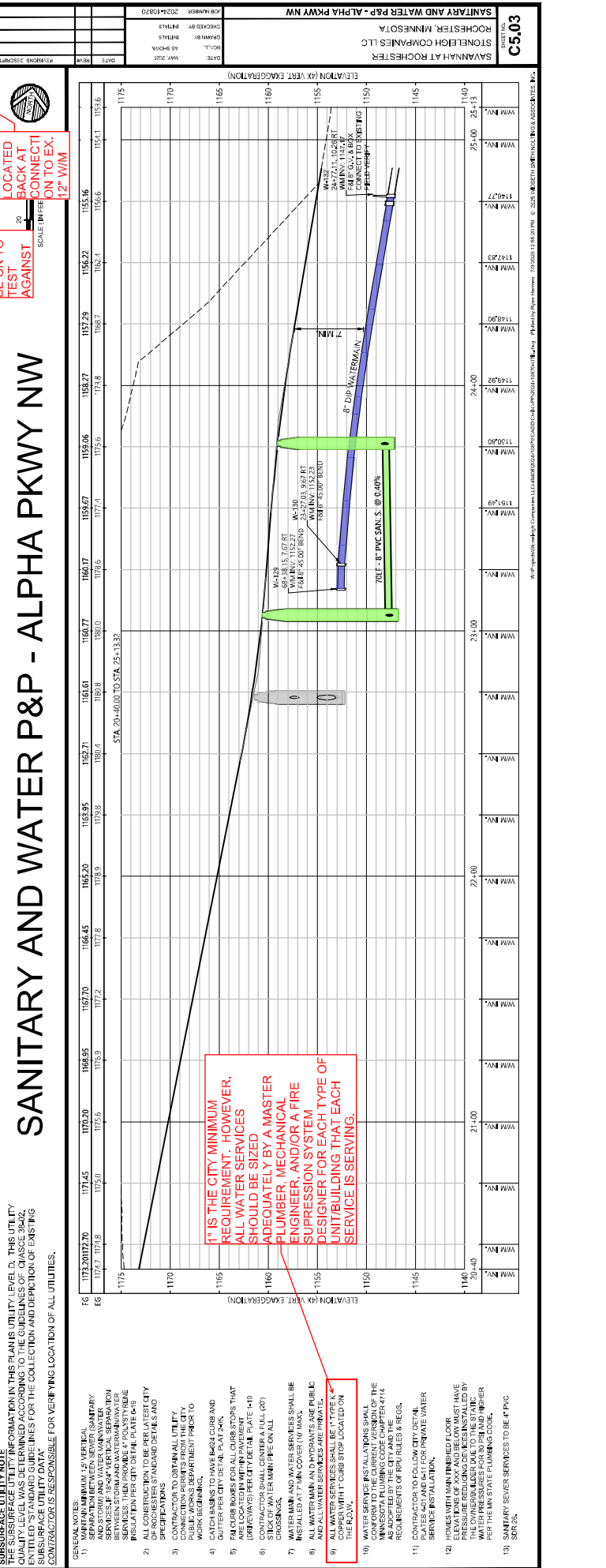
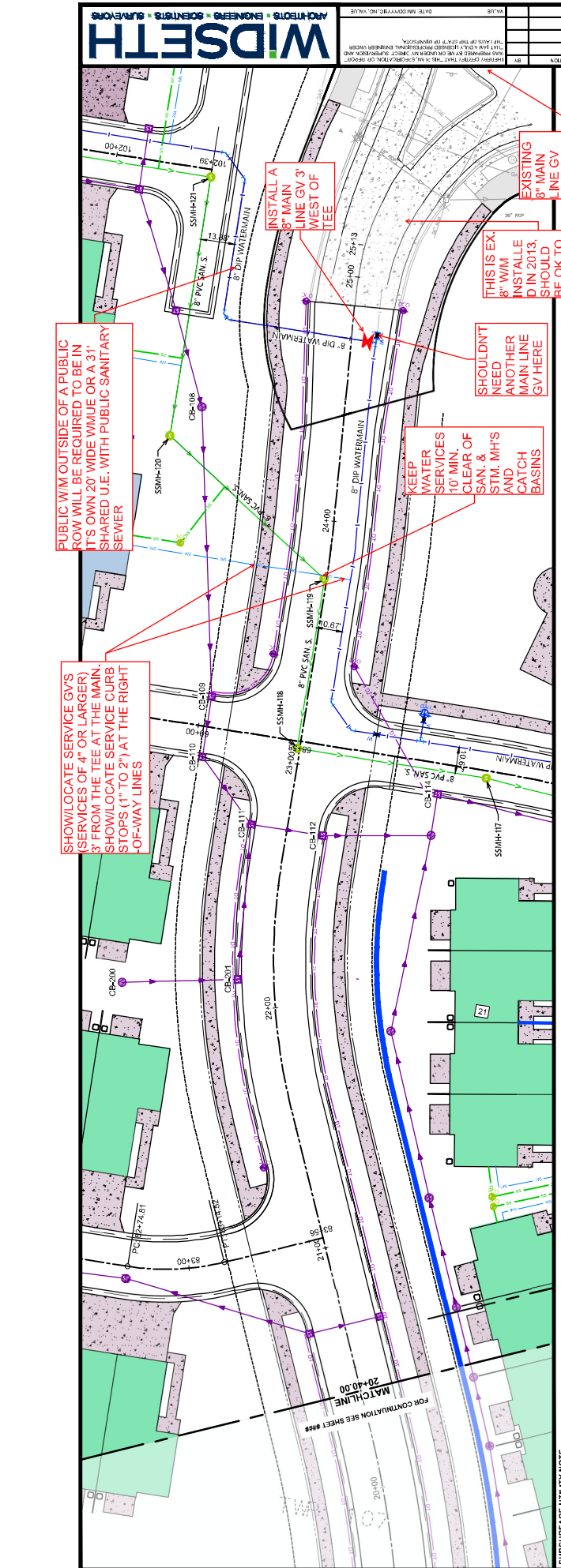


SANITARY AND WATER P&P - ALPHA PKWY NW

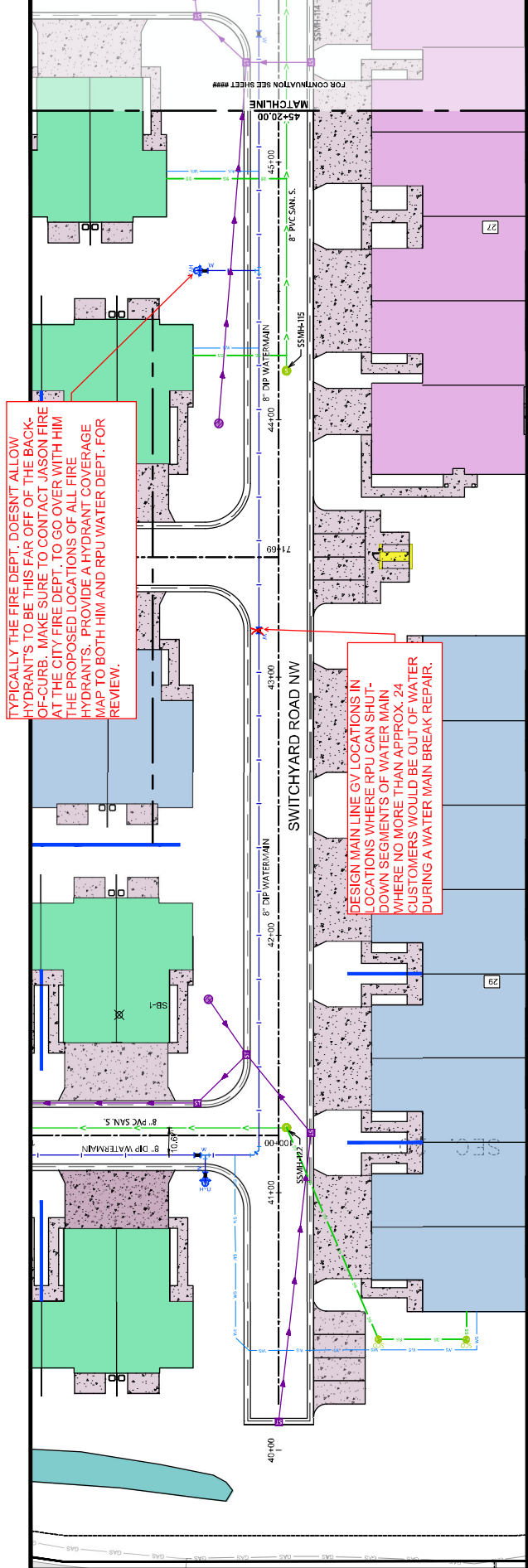
SUBSURFACE UTILITY MOVE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS 3B-42, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.



- 1) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE UNDER ALL SANITARY AND WATER MAINS/WATER SERVICES. IF 18" MIN VERTICAL CLEARANCE IS REQUIRED, CONTRACTOR SHALL PROVIDE 7" POLYSTYRENE INSULATION PER CITY DETAIL 649.
- 2) ALL CONSTRUCTION TO BE REPERMITS CITY SPECIFICATIONS.
- 3) CONTRACTOR TO OBTAIN ALL UTILITY CONNECTION PERMITS FROM THE CITY PRIOR TO WORK BEGINNING.
- 4) CATCH BASINS TO HAVE BACK CURB AND GUTTER PER CITY DETAIL PLAT 245E.
- 5) RECORD ADDRESS FOR ALL CURB STOPS THAT ARE 15' OR MORE FROM THE CURB (OR 10' FROM CITY DETAIL PLATE 440) PER CITY DETAIL PLATE 440.
- 6) CONTRACTOR SHALL CENTER A FULL (20) INCH DIAMETER WATER MAIN PIPE ON ALL CROSSINGS.
- 7) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER (10" MAX).
- 8) ALL WATER MAIN AND HYDRANTS ARE PUBLIC AND ALL WATER SERVICES ARE PRIVATE.
- 9) CONTRACTOR SHALL PROVIDE ALL NECESSARY COOPER WITH CURB STOP LOCATIONS TO THE R.O.W.
- 10) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF ROCHESTER WATER MAINS AND SERVICES AS ADOPTED BY THE CITY AND THE REQUIREMENTS OF RPI RULES & REGS.
- 11) CONTRACTOR TO FOLLOW CITY DETAIL PLATES 440 AND 441 FOR PRIVATE WATER SERVICE INSTALLATION.
- 12) HOMES WITH UNFINISHED FLOOR PRESSURE REDUCING DEVICES INSTALLED BY THE CONTRACTOR SHALL BE INSTALLED PER THE MIN STATE PLUMBING CODE.
- 13) SANITARY SEWER SERVICES TO BE 4" PVC SDR 35.



- GENERAL NOTES:**
- 1) MAIN TANK MINIMUM 15\"/>



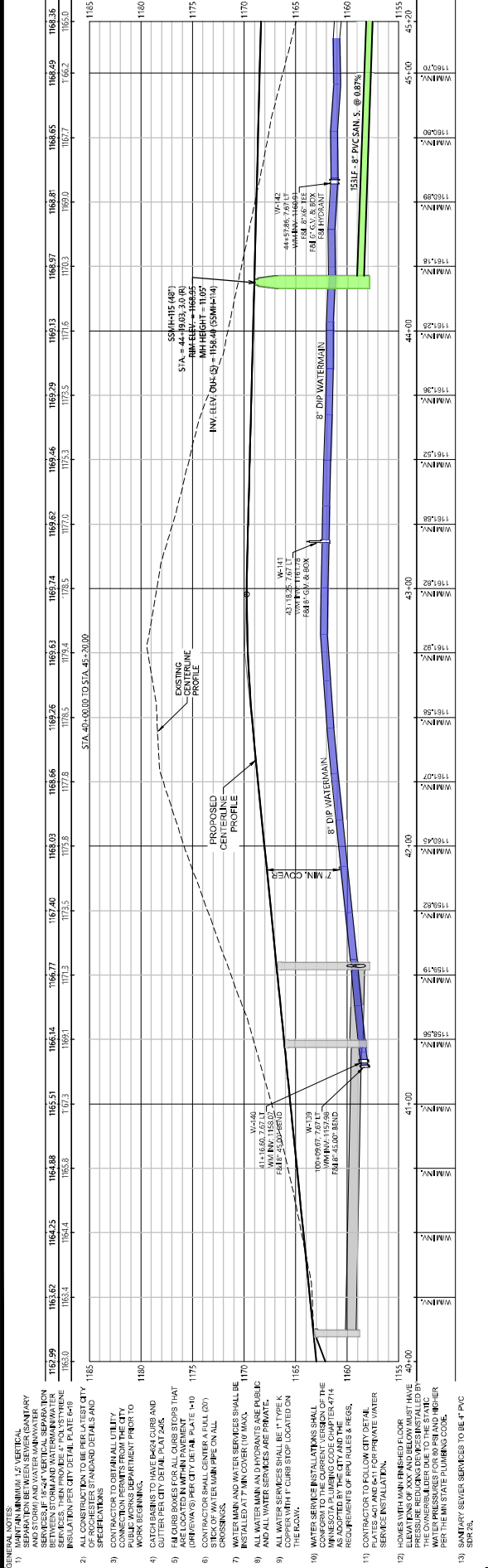
TYPICALLY THE FIRE DEPT. DOESN'T ALLOW HYDRANTS TO BE THIS FAR OFF OF THE BACK-OF-CURB. MAKE SURE TO CONTACT JASON FIRE AT THE CITY FIRE DEPT. TO GO OVER WITH HIM THE PROPOSED LOCATIONS OF ALL FIRE HYDRANTS. PROVIDE A HYDRANT COVERAGE MAP TO BOTH HIM AND RPU WATER DEPT. FOR REVIEW.

DESIGN MAIN LINE GV LOCATIONS IN LOCATIONS WHERE RPU CAN SHUT-DOWN SEGMENTS OF WATER MAIN WHERE NO MORE THAN APPROX. 24 CUSTOMERS WOULD BE OUT OF WATER DURING A WATER MAIN BREAK REPAIR.

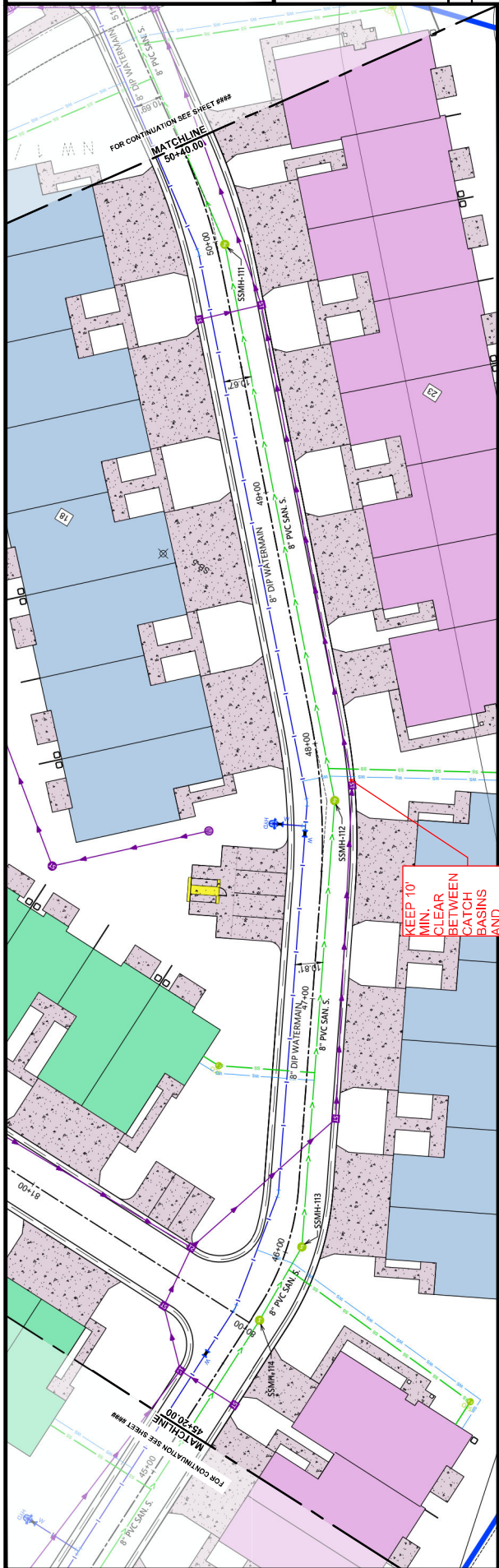


SANITARY AND WATER P&P - SWITCHYARD RD NW

SUBSURFACE UTILITY MOVE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS 38-02. ENTITLED 'STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA'. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.



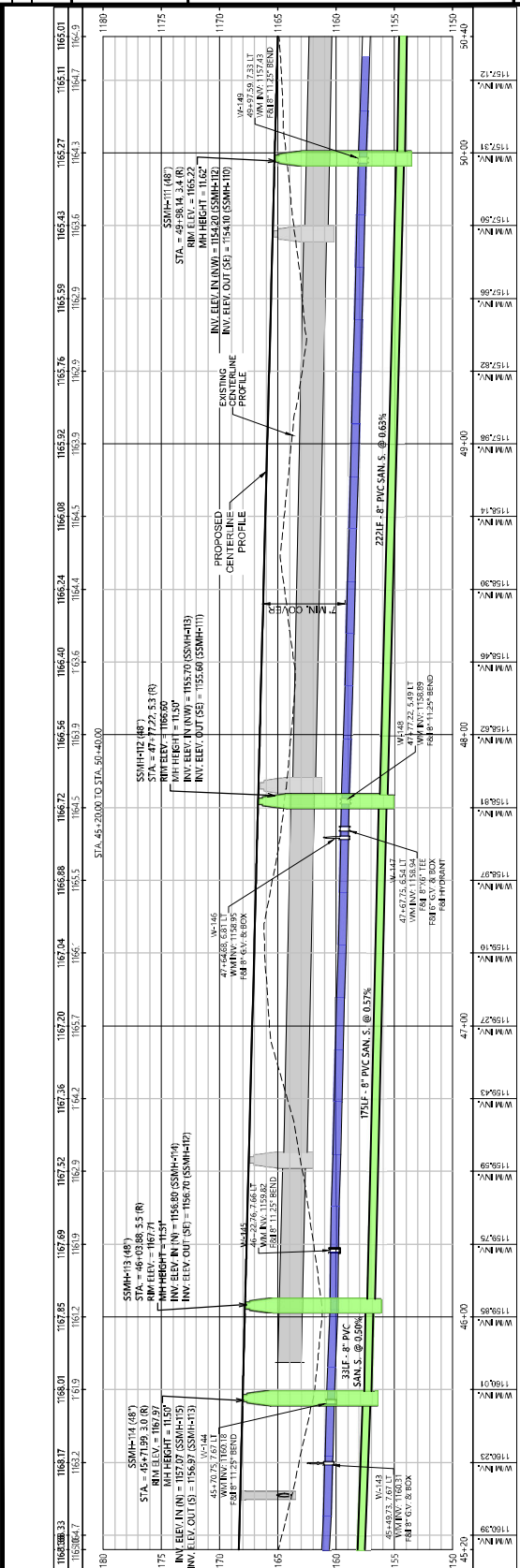
- 1) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE UNDER ALL OVERHEAD UTILITIES AND 5' TO 6' VERTICAL CLEARANCE UNDER ALL WATER MAINS AND WATER SERVICES. THEN PROVIDE 4" POLYSTYRENE INSULATION PER CITY DETAIL P&P-10.
- 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS REGARDING DETAIL AND SPECIFICATIONS.
- 3) CONTRACTOR TO OBTAIN ALL UTILITY LOCATIONS FROM THE CITY ENGINEERING DEPARTMENT PRIOR TO WORK BEGINNING.
- 4) CATCH BASINS TO HAVE EACH CURB AND GUTTER PER CITY DETAIL P&P-10.
- 5) ALL WATER MAINS AND WATER SERVICES SHALL BE INSTALLED IN 12" MIN. COVER.
- 6) CONTRACTOR SHALL CENTER A FULL (20") DIAMETER WATER MAIN PIPE ON ALL CROSSINGS.
- 7) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN. COVER (10" MAX.)
- 8) ALL WATER MAIN AND HYDRANTS ARE PUBLIC AND ALL WATER SERVICES ARE PRIVATE.
- 9) ALL WATER MAINS AND WATER SERVICES SHALL BE INSTALLED WITH CURB STOP LOCATED ON THE ROADWAY.
- 10) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE CITY ENGINEERING DEPARTMENT WATER REQUIREMENTS OF RPU RULES & REGS. AS ADOPTED BY THE CITY AND THE REQUIREMENTS OF RPU RULES & REGS.
- 11) CONTRACTOR TO FOLLOW CITY DETAIL P&P-10 AND 6-1 FOR PRIVATE WATER SERVICE INSTALLATION.
- 12) ELEVATIONS ABOVE AND BELOW MUST HAVE PRESSURE REDUCING DEVICES INSTALLED BY THE CONTRACTOR TO MAINTAIN THE WATER PRESSURE FOR RPU AND OTHER PER THE MN STATE PLUMBING CODE.
- 13) SANITARY SERVICES TO BE 4" PVC SDP-25.

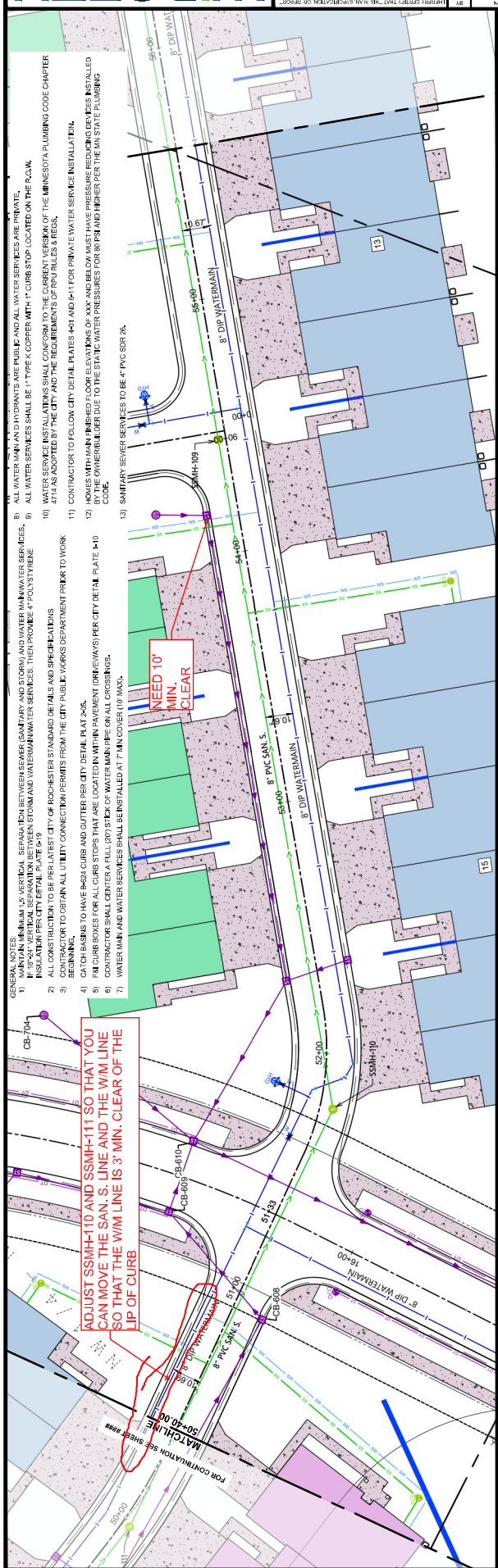


SANITARY AND WATER P&P - SWITCHYARD RD NW

SUBSURFACE UTILITY MOVE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS 38-42, ENTITLED 'STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA'. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

- 1) MAINLINE MINIMUM 12" VERTICAL CLEARANCE UNDER ALL OVERHEAD POWER LINES AND 5' OVER AND WATER MAIN/WATER SERVICES. IF 8" x 4" VERTICAL SEPARATION IS REQUIRED, ALL WATER MAIN/WATER SERVICES SHALL BE INSTALLED WITH POLYSTYRENE INSULATION PER CITY DETAIL P&P-10.
- 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS.
- 3) CONTRACTOR TO OBTAIN ALL UTILITY LOCATIONS FROM THE CITY WORK RECORDS.
- 4) CATCH BASINS TO HAVE EACH CURB AND GUTTER PER CITY DETAIL P&P-10.
- 5) ALL CATCH BASINS TO BE INSTALLED PER CITY DETAIL P&P-10.
- 6) CONTRACTOR SHALL CENTER A FULL (20") DIAMETER PER CITY DETAIL P&P-10 CROSSINGS.
- 7) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER (10" MAX).
- 8) ALL WATER MAIN AND HYDRANTS ARE PUBLIC AND ALL WATER SERVICES ARE PRIVATE.
- 9) COOPER WITH CURB STOP LOCATED ON THE ROADWAY.
- 10) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE CITY DETAIL P&P-10.
- 11) CONTRACTORS TO FOLLOW CITY DETAIL P&P-10, 401 AND 401 FOR PRIVATE WATER SERVICE INSTALLATION.
- 12) ELEVATIONS ON MAIN AND BELOW MUST HAVE PRESSURE REDUCING DEVICES INSTALLED BY WATER PRESSURES OVER 100 PSI AND OTHER PER THE MN STATE PLUMBING CODE.
- 13) SANITARY SERVICES TO BE 4" PVC SDP-25.



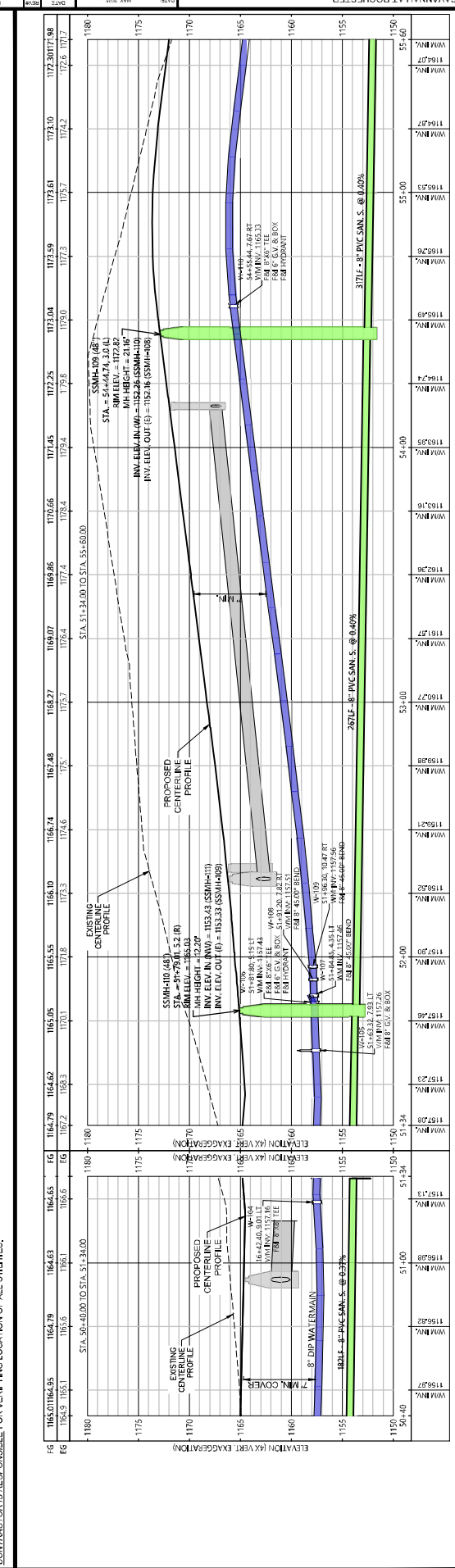


GENERAL NOTES:

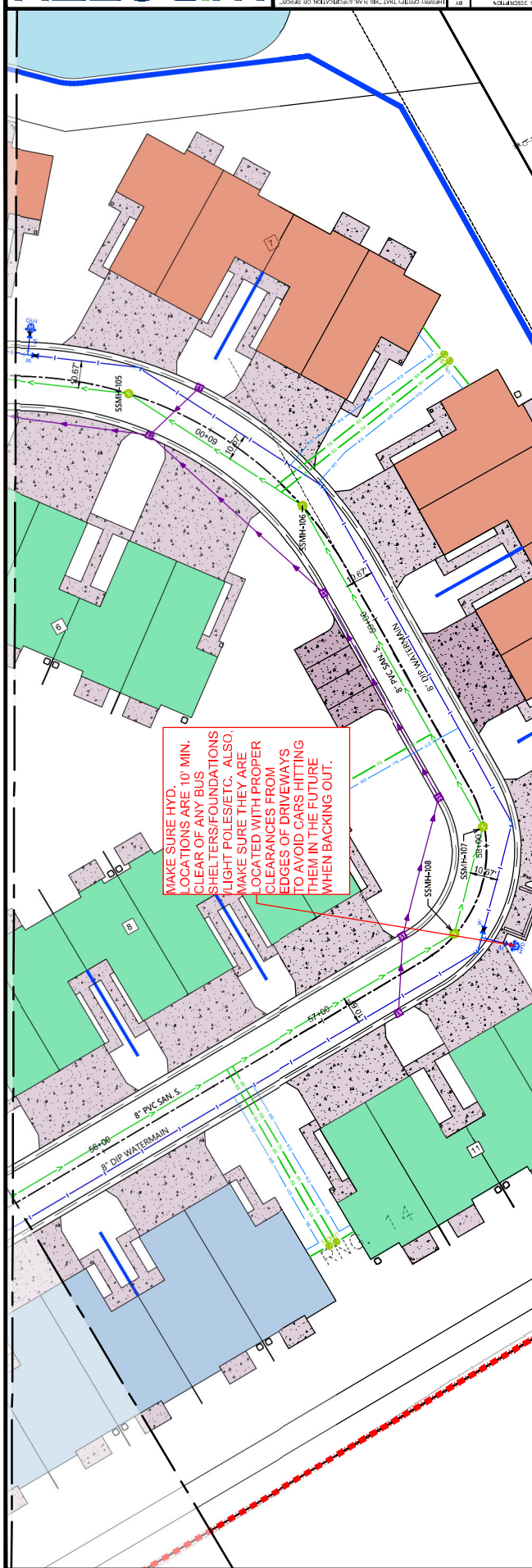
- 1) ALL WATER MAIN AND DRINKS ARE PUBLIC AND ALL WATER SERVICES ARE PRIVATE.
- 2) ALL WATER SERVICE INSTALLATIONS SHALL BE 1" TYPE K COPPER WITH 1" CURB STOP LOCATED ON THE P.C.M.
- 3) INSULATION PER CITY DETAIL PLATE 4-19
- 4) ALL CONSTRUCTION TO BE PER LATEST CITY OF ROCHESTER STANDARD DETAILS AND SPECIFICATIONS
- 5) CONTRACTOR TO OBTAIN ALL UTILITY CONNECTION PERMITS FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO WORK
- 6) CATCH BASINS TO HAVE 8x24 CURB AND GUTTER PER CITY DETAIL PLATE 2-05
- 7) FM CURB BUSES FOR ALL CURB STOPS THAT ARE LOCATED IN PAVEMENT DRIVEWAYS PER CITY DETAIL PLATE 4-10
- 8) CONTRACTOR SHALL CENTER A FULL 200' STICK OF WATER MAIN PIPE ON ALL CROSSINGS.
- 9) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7' MIN COVER (10' MAX).
- 10) HOLES WITHIN PAVED FLOOR ELEVATIONS OF 4" OR MORE BELOW MUST HAVE PRESSURE REDUCING DEVICES INSTALLED TO PREVENT OVER PRESSURE TO THE SYSTEM DUE TO THE STOP WATER PRESSURES FOR 4" AND 6" PIPES PER THE WATER PLUMBING CODE.
- 11) SANITARY SEWER SERVICES TO BE 4" PVC SDR 26.
- 12) CONTRACTOR TO FOLLOW CITY DETAIL PLATES 4-01 AND 4-11 FOR PRIVATE WATER SERVICE INSTALLATION.

SANITARY AND WATER P&P - COLIN COURT NW

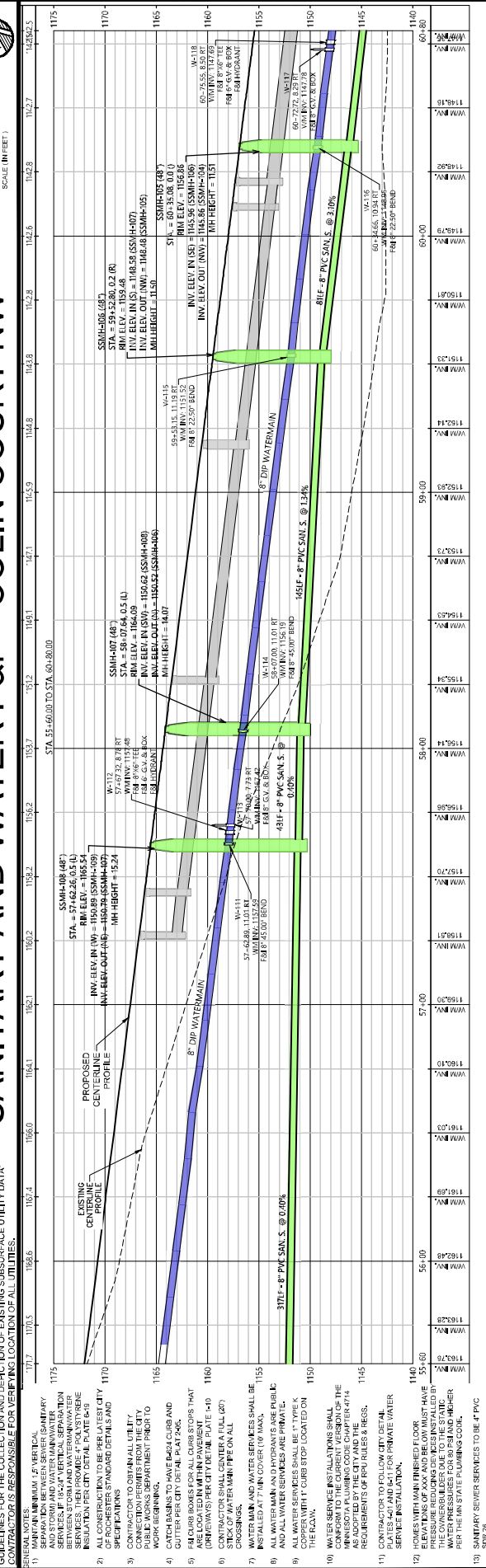
SUBSURFACE UTILITY MOVE:
 THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.



EXISTING CENTERLINE PROFILE
PROPOSED CENTERLINE PROFILE
SSMH-10 (48)
 STA. 51+79.41 - 52.18
 INV. ELEV. IN (I) = 1153.43 (SSMH-10)
 INV. ELEV. OUT (O) = 1152.33 (SSMH-10)
SSMH-09 (48)
 STA. 51+34.00 TO 51.58+60.00
 INV. ELEV. IN (I) = 1152.26 (SSMH-09)
 INV. ELEV. OUT (O) = 1152.16 (SSMH-09)
W-108
 STA. 51+79.41 - 52.18
 INV. ELEV. IN (I) = 1153.43 (SSMH-10)
 INV. ELEV. OUT (O) = 1152.33 (SSMH-10)
W-109
 STA. 51+34.00 TO 51.58+60.00
 INV. ELEV. IN (I) = 1152.26 (SSMH-09)
 INV. ELEV. OUT (O) = 1152.16 (SSMH-09)
W-110
 STA. 51+34.00 TO 51.58+60.00
 INV. ELEV. IN (I) = 1152.26 (SSMH-09)
 INV. ELEV. OUT (O) = 1152.16 (SSMH-09)
W-111
 STA. 51+34.00 TO 51.58+60.00
 INV. ELEV. IN (I) = 1152.26 (SSMH-09)
 INV. ELEV. OUT (O) = 1152.16 (SSMH-09)

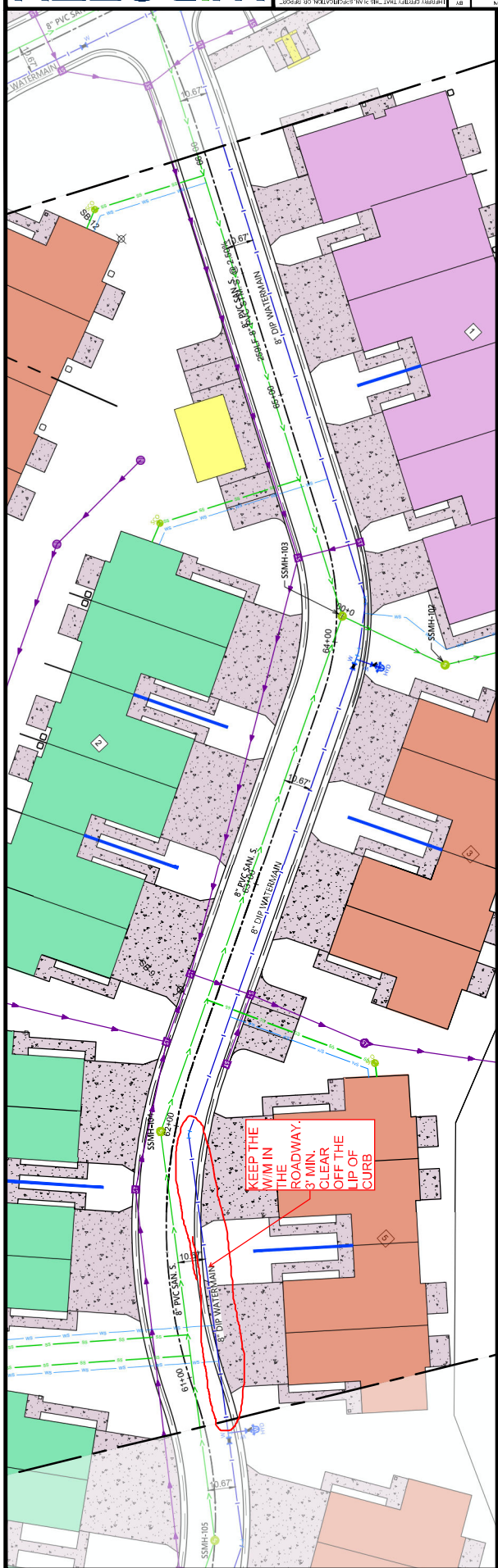


SANITARY AND WATER P&P - COLIN COURT NW



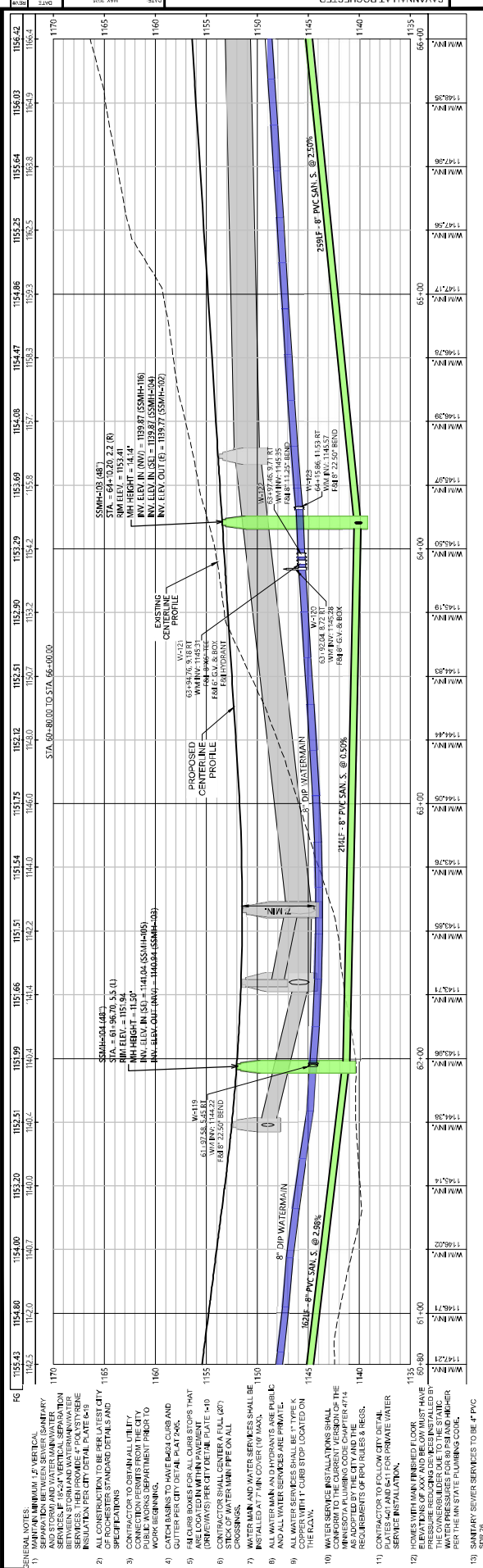
SUBSURFACE UTILITY NOTE

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 35402. ENTITLED "STANDARD PRACTICES FOR THE LOCATION AND DEPTH OF SUBSURFACE UTILITIES". THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.
- 1) MAINTAIN MINIMUM 12" VERTICAL SEPARATION BETWEEN SEWER (SANITARY) SERVICES AND WATER (POTABLE) SERVICES. IF 12" VERTICAL SEPARATION SERVICES STORED AND WATER MAINS WATER SERVICE SHALL BE INSTALLED WITH INSULATION PER CITY DETAIL PLATE 6-18.
 - 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS AND DETAILS AND CONTRACTOR TO OBTAIN ALL UTILITY CONNECTION PERMITS FROM THE CITY WORK BEGINS.
 - 3) CATCH BASINS TO HAVE 6" CURB AND GUTTER PER CITY DETAIL PLATE 2A&C.
 - 4) 6" CURB BOXES FOR ALL CURB STOPS THAT (DRIVEWAYS) PER CITY DETAIL PLATE 1-10.
 - 5) STOCK OF WATER MAIN PIPE ON ALL CROSSINGS. AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER TO MAX.
 - 6) AND ALL WATER SERVICES ARE PUBLIC.
 - 7) ALL WATER SERVICES SHALL BE TYPE K THE RCVAN WITH T CURB STOP COATED ON THE RCVAN.
 - 8) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE MINNESOTA PLUMBING CODE CHAPTER 4714 REQUIREMENTS OF FRU RULES & RES.
 - 9) CONTRACTOR TO FOLLOW CITY DETAIL PLATES 4&1 AND 6&1 FOR PRIVATE WATER SERVICE INSTALLATION.
 - 10) HOMES WITH MAIN FINISHED FLOOR PRESSURE REDUCING DEVICES SHALL BE THE OWNER'S RESPONSIBILITY TO BE INSTALLED PER THE MINNESOTA PLUMBING CODE.
 - 11) SANITARY SERVICE SERVICES TO BE TYPE K SDP-25.

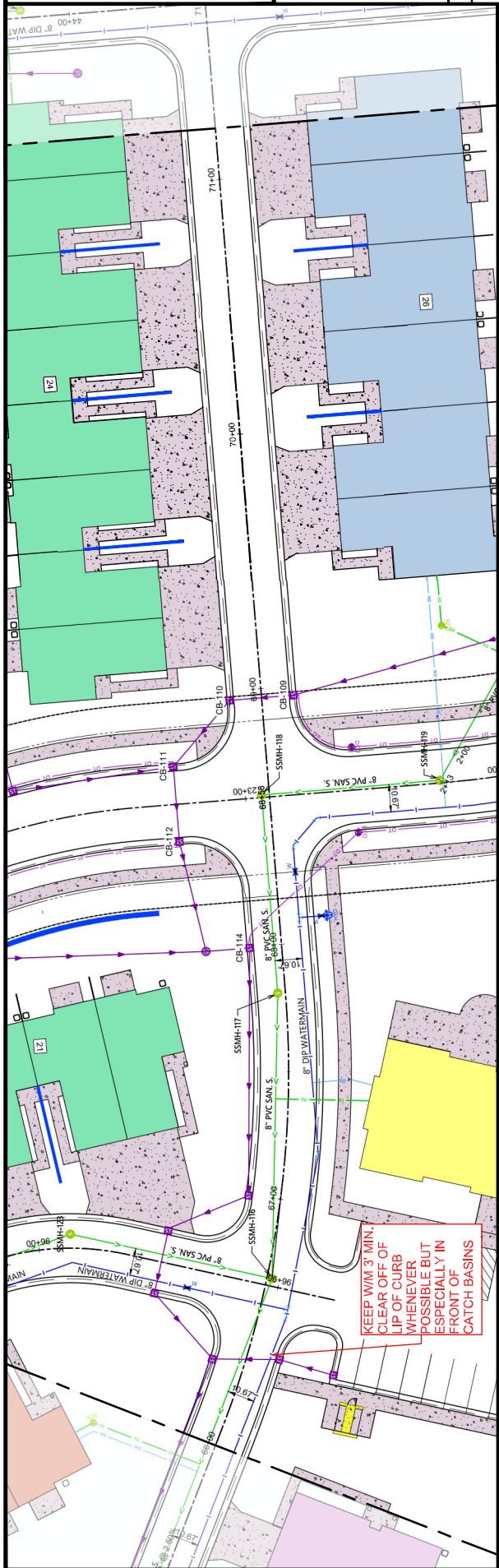


SANITARY AND WATER P&P - COLIN COURT NW

SUBSURFACE UTILITY MOVE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS C 38-42. ENTITLED 'STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA'. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.



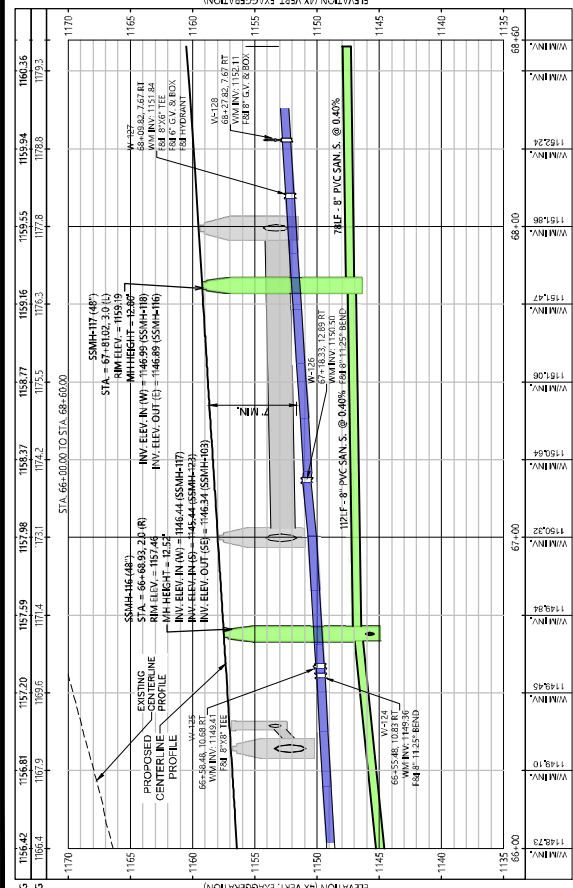
- 1) SEPARATION BETWEEN SEWER (SANITARY) AND WATER MAIN SHALL BE VERTICAL.
- 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS. STANDARD DETAILS AND CONNECTION PERMITS FROM THE CITY WORK DEPARTMENT SHOULD BE OBTAINED PRIOR TO WORK BEGINNING.
- 3) CONTRACTOR SHALL HAVE 6x24 CURB AND CATCH BASINS FOR ALL CURB STOPS THAT EXCEED 4" IN HEIGHT. ALL CURB STOPS SHALL BE PER CITY DETAIL PLATE #10 (OR NEAREST PER CITY DETAIL PLATE #10).
- 4) CONTRACTOR SHALL CENTER A FULL 60" STOCK OF WATER MAIN PIPE ON ALL CROSSINGS.
- 5) ALL WATER MAIN AND HYDRANTS ARE PUBLIC. ALL WATER SERVICES SHALL BE AT TYPE K.
- 6) ALL WATER SERVICES SHALL BE AT TYPE K.
- 7) ALL WATER SERVICES SHALL BE AT TYPE K.
- 8) ALL WATER SERVICES SHALL BE AT TYPE K.
- 9) ALL WATER SERVICES SHALL BE AT TYPE K.
- 10) WATER SERVICES INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE MINNESOTA PLUMBING CODE CHAPTER 4714. REQUIREMENTS OF FRU RULES & RES. REQUIREMENTS OF FRU RULES & RES.
- 11) CONTRACTOR TO FOLLOW CITY DETAIL PLATES 461 AND 641 FOR PRIVATE WATER SERVICE INSTALLATION.
- 12) HOMES WITH MAIN FINISHED FLOOR PRESSURE REDUCING DEVICES SHALL BE THE OWNER'S RESPONSIBILITY. THE PRESSURE REDUCING DEVICES SHALL BE INSTALLED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION. THE PRESSURE REDUCING DEVICES SHALL BE INSTALLED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- 13) SANITARY SEWER SERVICES TO BE 4" PVC SDR-25.



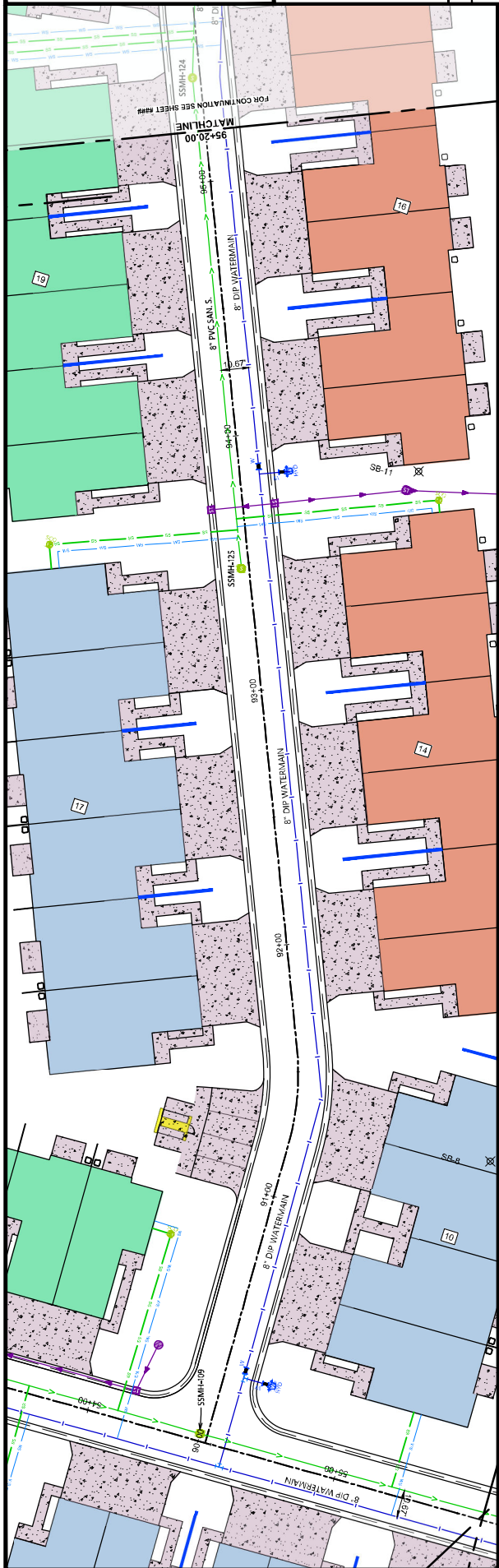
SANITARY AND WATER P&P - COLIN COURT NW

SUBSURFACE UTILITY INFO:
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KEEP WIM 3' MIN. CLEAR OFF OF LIP OF CURB WHENEVER POSSIBLE BUT ESPECIALLY IN FRONT OF CATCH BASINS

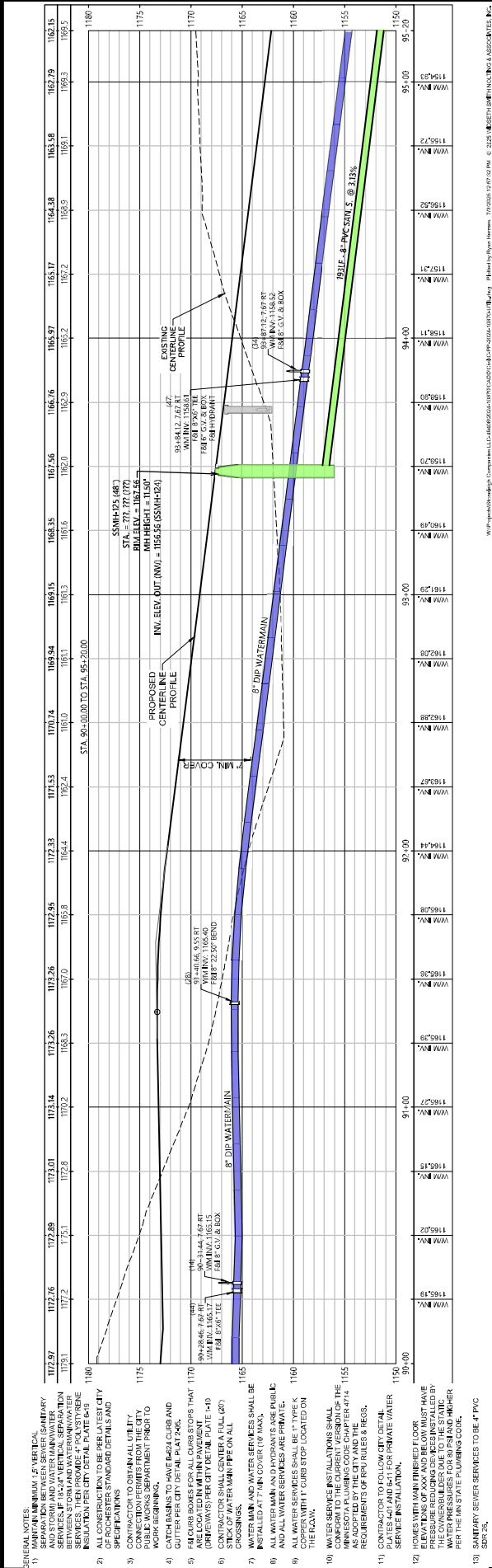


- GENERAL NOTES:**
- 1) MAINLINE MINIMUM 48\"/>
 - 2) CONTRACTOR SHALL OBTAIN ALL UTILITY INFORMATION FROM THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT PRIOR TO WORK BEGINNING.
 - 3) CATCH BASINS TO HAVE 6\"/>
 - 4) ALL WATER MAIN AND WATERS SERVICES SHALL BE INSTALLED AT 7\"/>
 - 5) ALL WATER MAIN AND WATERS SERVICES ARE PUBLIC.
 - 6) ALL WATER SERVICES SHALL BE 1\"/>
 - 7) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF ROCHESTER PLUMBING CODE AS ADOPTED BY THE CITY AND THE REQUIREMENTS OF IPC RULES & REGS.
 - 8) CONTRACTOR TO FOLLOW CITY DETAIL FOR PRIVATE WATER SERVICE INSTALLATION.
 - 9) HOUSES WITH MAIN FINISHED FLOORS ELEVATIONS OF 20\"/>
 - 10) PRESSURE REMAINING DIMENSION INSTALLED BY CONTRACTOR SHALL BE 80 PSIG AND HIGHER PER THE MN STATE PLUMBING CODE.
 - 11) SANITARY SEWER SERVICES TO BE 4\"/>

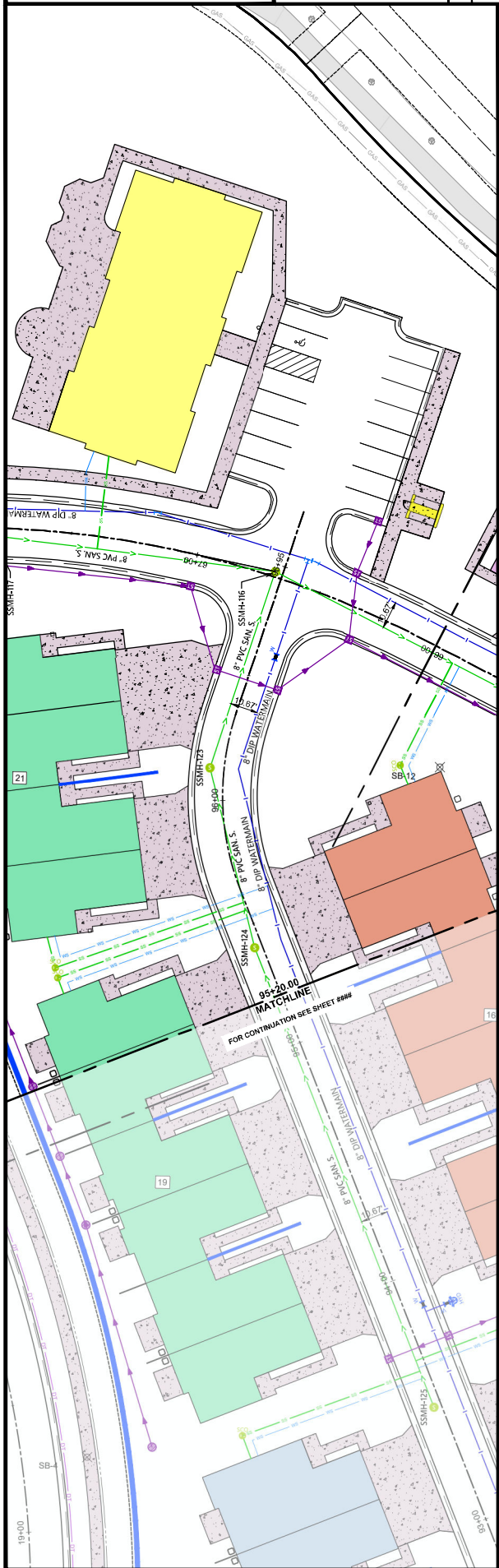


SANITARY AND WATER P&P - DEER PARK DR NW

SUBSURFACE UTILITY NOTE
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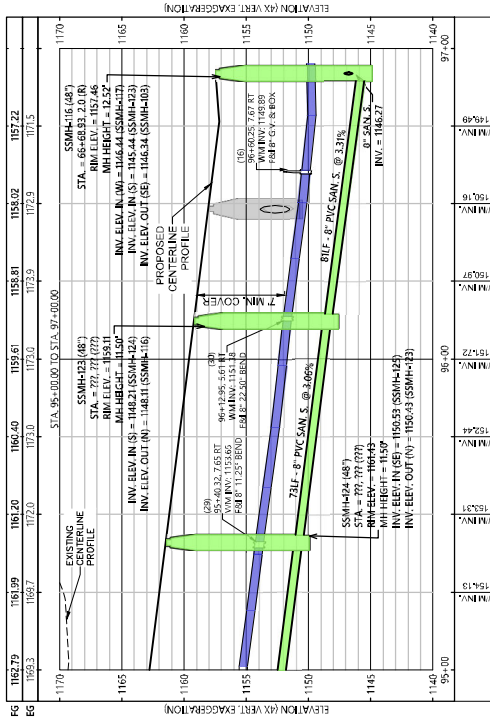
- GENERAL NOTES**
- 1) MAINTAIN MINIMUM 12" VERTICAL SEPARATION BETWEEN SEWER (SANITARY) AND WATER MAINS. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN 8" WATER MAINS AND WATER SERVICES. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN 8" WATER MAINS AND 8" WATER MAINS. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN 8" WATER MAINS AND 8" WATER MAINS.
 - 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS AND STANDARD DETAILS AND CONNECTION PERMITS FROM THE CITY OF ROCHESTER.
 - 3) CONTRACTOR TO OBTAIN ALL UTILITY INFORMATION FROM THE CITY OF ROCHESTER AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION.
 - 4) CATCH BASINS TO HAVE 6x24 CURB AND GUTTER PER CITY DETAIL PLATE 618.
 - 5) 6x24 CURB BOXES FOR ALL CURB STOPS THAT 1170 TO 1175.
 - 6) CONTRACTOR SHALL CENTER A FULL 120" DIAMETER WATER MAIN PIPE ON ALL CROSSINGS.
 - 7) ALL WATER MAINS SHALL BE INSTALLED AT 7" MIN COVER TO MAX.
 - 8) ALL WATER SERVICES ARE PUBLIC.
 - 9) ALL WATER SERVICES SHALL BE TYPE K WITH 1" CURB STOP COATED ON THE EXTERIOR.
 - 10) WATER SERVICES SHALL CONFORM TO THE CURRENT VERSION OF THE MINNESOTA PLUMBING CODE CHAPTER 4718.1155.
 - 11) CONTRACTOR TO FOLLOW CITY DETAIL PLATE 641 AND 641 FOR PRIVATE WATER SERVICE INSTALLATION.
 - 12) HOMES WITH FINISHED FLOOR SHALL BE INSTALLED BY THE OWNER/INSTALLER DUE TO THE STATIC REQUIREMENTS OF THE PLUMBING CODE.
 - 13) SANITARY SEWER SERVICES TO BE PPVC.

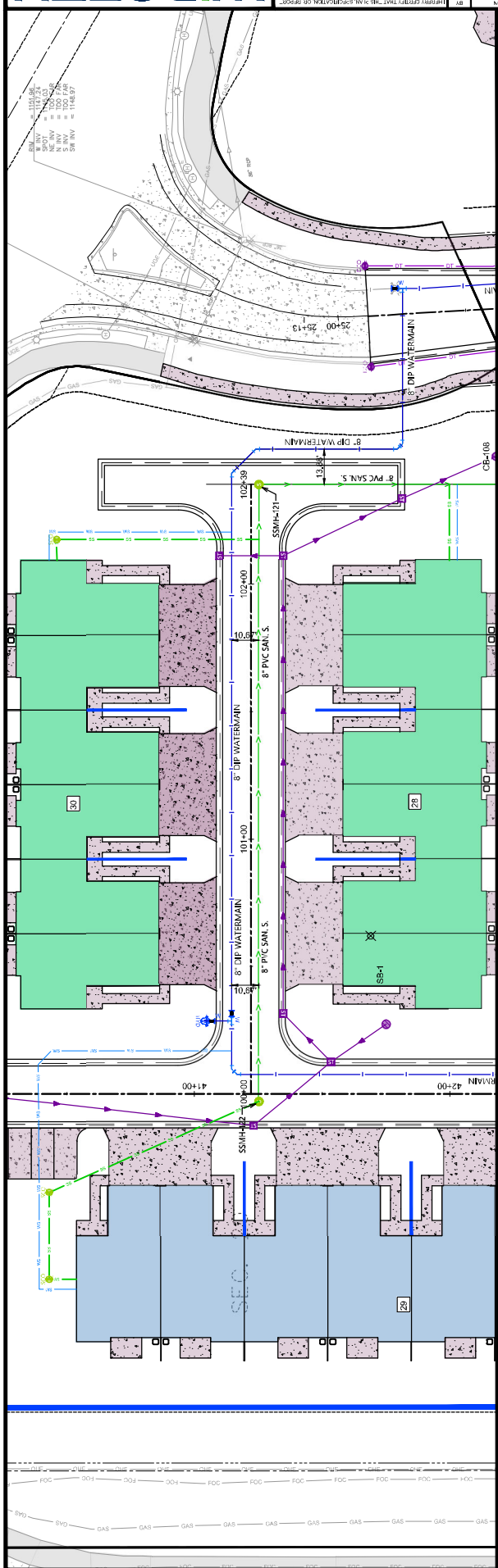


SANITARY AND WATER P&P - DEER PARK DR NW

SUBSURFACE UTILITY MOVE
THE QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASSIFICATION 38-42. ENTITLED 'STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA'. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

- GENERAL NOTES:**
- 1) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE OVER ALL UTILITIES AND STORM AND WATER MAIN/WATER SERVICES. IF 18" VERTICAL SEPARATION SERVICES, THEN PROVIDE 18" VERTICAL CLEARANCE PER CITY DETAIL PLATE 6-49.
 - 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS.
 - 3) CONTRACTOR TO OBTAIN ALL UTILITY CONNECTION PERMITS FROM THE CITY CONNECTION DEPARTMENT PRIOR TO WORK BEGINNING.
 - 4) CATCH BASINS TO HAVE 6" CURB AND GUTTER PER CITY DETAIL PLATE 6-46.
 - 5) FILL CURB BOXES FOR ALL CURB STOPS THAT EXCEED 6" CURB HEIGHT.
 - 6) CONTRACTOR SHALL CENTER A FULL 18" (OR 6" (6" V/S)) PRE-CAST DETAIL PLATE 1-40 STACK OF WATER MAIN PIPE ON ALL CURB STOPS.
 - 7) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER (10" MAX).
 - 8) ALL WATER MAIN AND HYDRANTS ARE PUBLIC AND ALL WATER SERVICES ARE PRIVATE.
 - 9) ALL WATER SERVICES SHALL BE ELEVATED TO THE CURB STOP LOCATED ON THE ROW.
 - 10) WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE CITY SPECIFICATIONS PER DETAIL PLATE 4-74 AS ADOPTED BY THE CITY AND THE REQUIREMENTS OF CITY RULES & REGS.
 - 11) CONTRACTOR TO FOLLOW CITY DETAIL PLATE 6-47 AND 6-48 FOR PRIVATE WATER SERVICE INSTALLATION.
 - 12) HOMES WITH FINISHED FLOOR SHALL HAVE PRESSURE REDUCING DEVICES INSTALLED BY THE OWNER DUE TO THE STAMP REQUIREMENTS OF THE MINNESOTA WATER PER THE MN STATE PLUMBING CODE.
 - 13) SANITARY SERVICE SERVICES TO BE 4" PVC SDR 25.

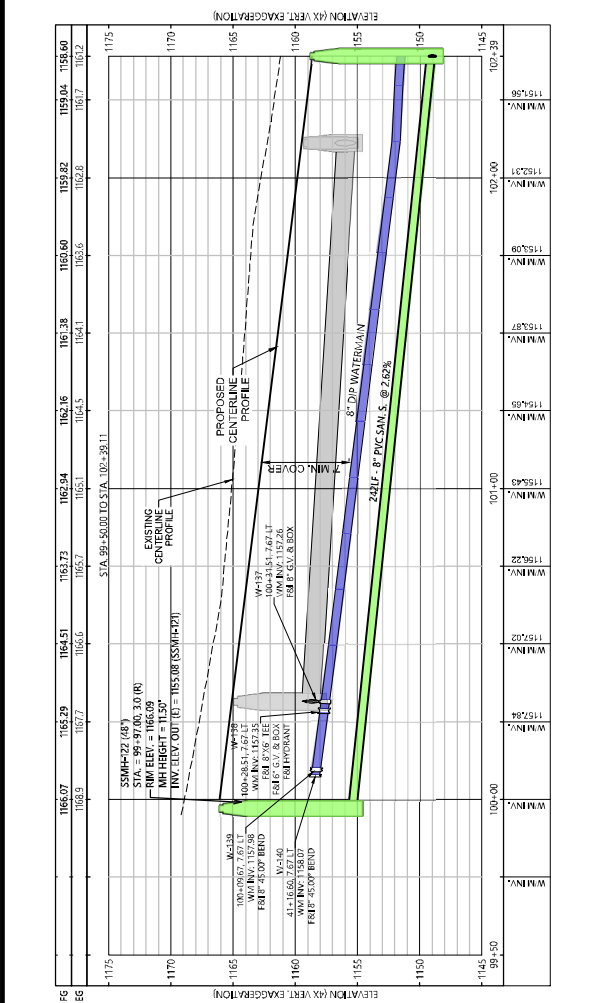


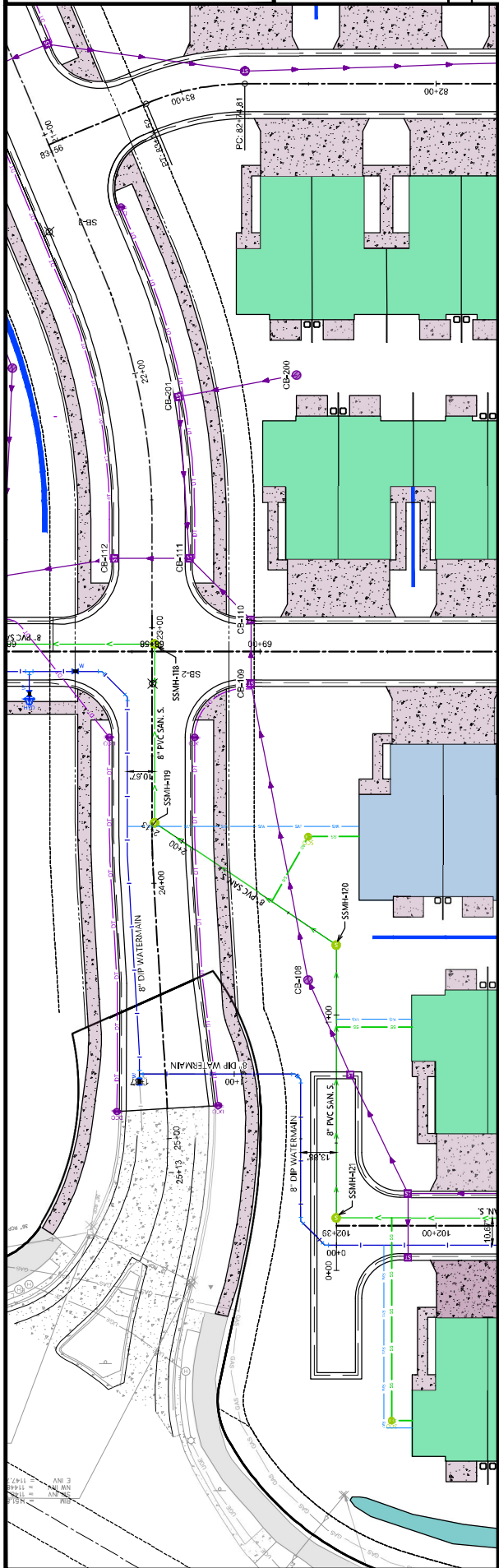


SANITARY AND WATER P&P - FOUNDRY PLACE NW

SUBSURFACE UTILITY NOTE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS 38-02, ENTITLED 'STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA' FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA. THE CLIENT IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

- GENERAL NOTES**
- 1) SEPARATION BETWEEN SEWER (SANITARY) AND WATER MAINS SHALL BE MAINTAINED. ALL WATER MAINS SHALL BE 12\"/>
 - 2) ALL CONSTRUCTION TO BE PER LATEST CITY SPECIFICATIONS.
 - 3) ALL CONSTRUCTION SHALL BE PER ALL CITY PUBLIC WORKS DEPARTMENT PRIOR TO WORK BEGINNING.
 - 4) ALL CONSTRUCTION SHALL BE PER LATEST CITY DETAIL #245.
 - 5) ALL CURB BOXES FOR ALL CURB STOPS THAT ARE LOCATED IN WITH PAVEMENT CONCRETE SHALL BE PER DETAIL #140.
 - 6) ALL CURB BOXES FOR ALL CURB STOPS SHALL BE PER DETAIL #140.
 - 7) WATER MAIN AND WATER SERVICES SHALL BE PER DETAIL #140.
 - 8) ALL WATER MAIN AND COVERS ARE RUBIC AND ALL WATER SERVICES SHALL BE 1\"/>
 - 9) ALL WATER SERVICES SHALL BE 1\"/>
 - 10) WATER SERVICE INSTALLATIONS SHALL BE PER DETAIL #140. ALL WATER SERVICES SHALL BE PER DETAIL #140. ALL WATER SERVICES SHALL BE PER DETAIL #140.
 - 11) ALL WATER SERVICES SHALL BE PER DETAIL #140 AND ALL WATER SERVICES SHALL BE PER DETAIL #140.
 - 12) HOMES WITH MAIN FINISHED FLOOR ELEVATIONS OF XXX AND BELOW MUST HAVE WATER PRESSURES FOR 80 PSIA AND HIGHER PER THE MINNAPLUMING CODE.
 - 13) SANITARY SEWER SERVICES TO BE 8\"/>

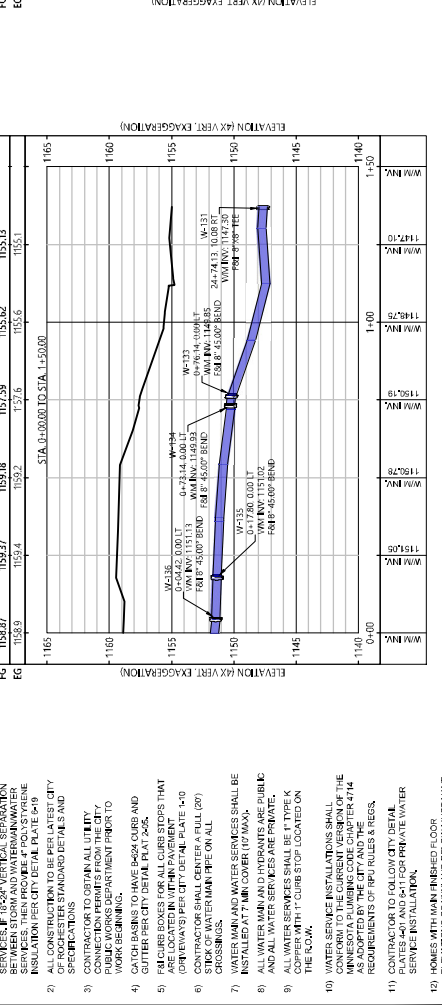
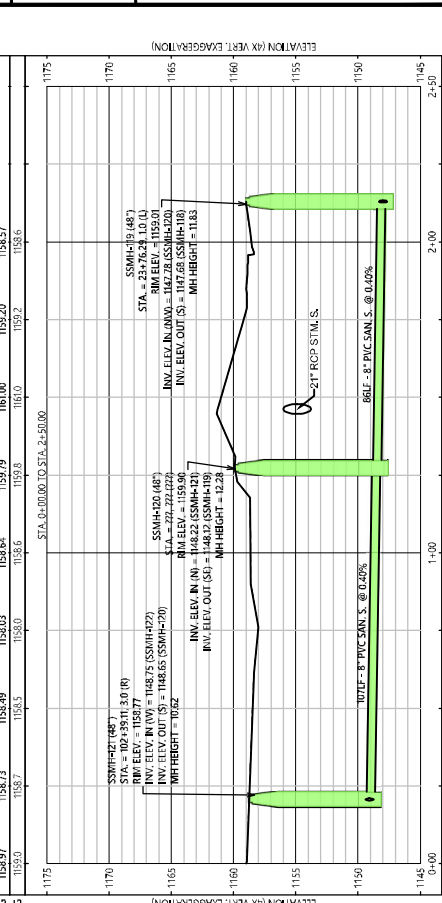




SANITARY AND WATER P&P - MISC NW

SUBSURFACE UTILITY MOVE
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLASS 38-42, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.

GENERAL NOTES:
1) MAINTAIN MINIMUM 12" VERTICAL CLEARANCE BETWEEN SANITARY AND WATER MAINS.
2) CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND WATER MAINS. IF ANY UTILITIES ARE FOUND TO BE IN CONFLICT WITH THE PROPOSED UTILITIES, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO WORK BEGINNING.
3) CONTRACTOR TO OBTAIN ALL UTILITY LOCATIONS FROM THE CITY ENGINEER PRIOR TO WORK BEGINNING.
4) GUTTER BASINS TO HAVE 24" CURB AND GUTTER PER CITY DETAIL PLAT 2008.
5) ALL UTILITY LOCATIONS TO BE IDENTIFIED AND LOCATED WITH TAGS.
6) CONTRACTOR SHALL CENTER A FULL (90") WATER MAIN UNDERMIN PIPE ON ALL CROSSINGS.
7) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER (17" MAX).
8) ALL WATER MAIN AND FITTINGS ARE PUBLIK.
9) ALL WATER SERVICES ARE PUBLIK.
10) WATER MAIN AND WATER SERVICES SHALL BE INSTALLED AT 7" MIN COVER (17" MAX).
11) CONTRACTOR TO FOLLOW CITY DETAIL WATER MAIN INSTALLATION.
12) PRESSURE REDUCING DEVICES SHALL BE INSTALLED BY THE CONTRACTOR TO MAINTAIN WATER PRESSURES FOR 80 PSI AND HIGHER PER THE MN STATE PLUMBING CODE.
13) SANITARY SEWER SERVICES TO BE 4" PVC SDR 35.





**ROCHESTER PARK AND RECREATION
DEPARTMENT
REFERRAL COMMENTS FORM**

DATE: July 14, 2025
TO: Community Development
RE: Badger Hills Savannah Subdivision
 CD2025-025Plat

Acreage of plat.....	30.17
Number of dwelling units.....	196
Density factor.....	.01776
Dedication	3.48 acres
Fair market value of land.....	\$84,521/acre

PARK DEDICATION REQUIREMENTS

- The parcel being developed is being created as part of the subdivision of land, as such the parkland dedication ordinance is in effect. The location of the development is less than a quarter mile from Badger Hills Park to the east. The SDP shows a pathway along the south boundary of the development which connects with the existing neighborhood to the east. This allows good access to the park.

The development is responsible for 3.48 acres of dedication. Because of its close proximity to an existing park, the Parks and Recreation Department recommends that dedication requirements be met via: Cash in lieu of land in the amount of **\$294,133.08** (3.48 acres * **\$84,521 = 294,133.08**) with payment due prior to recordation of the final plat or approval of the SDP.

July 11th, 2025

Community Development Department
4001 West River Parkway Suite 100
Rochester, MN 55901

SUBJ: CD2025-025PLAT, by SCS Rochester LLC, to be known as Savannah at Rochester, for the subdivision of 30.17 acres into 2 residential lots and 2 outlots consisting of approximately 196 residential units consisting of a mixture of 4-plex, 6-plex, and 8-plex units. The site is located at the intersection of 50th Ave NW and Badger Hills Drive NW.

Regarding the above noted project plan, the fire department has the following requirements:

1. An adequate water supply shall be provided for fire protection including hydrants properly located and installed in accordance with the specifications of the Water Division. Hydrants shall be in place prior to building construction.
 - a) The actual required fire flow per lot will be determined by the size and construction type of the buildings being proposed.
2. Streets and roadways shall be provided in accordance with the fire code and the Zoning Ordinance and Land Development Manual. Emergency vehicle access roadways shall be serviceable prior to and during building construction.
 - a) Minimum street width shall not be less than 20 feet clear drivable width.
 - b) Streets less than 32 feet in width shall be posted “No Parking” on one side of the street.
 - c) Streets less than 26 feet in width shall be posed “No Parking” on both sides of the street.
 - d) Cul-de-sacs less than 96 feet in diameter shall be posted “No Parking”.
3. All streets, directional and fire lane signs must be in place prior to occupancy of any buildings.



4. The proposed emergency vehicle access road must meet the requirements of **Section 503 of the Minnesota State Fire Code.**

5. Contact the Fire Marshals office for the turning radius specifications for our apparatus.

6. Due to the number of dwelling units proposed and the current single fire access road the following code applies

a) D106.1 Projects having more than 100 dwelling units.

Multiple-family residential projects having more than 100 *dwelling units* shall be equipped throughout with two separate and *approved* fire apparatus access roads.

b) Exception: Projects having up to 200 *dwelling units* shall have not fewer than one *approved* fire apparatus access road where all buildings, including nonresidential occupancies, are equipped throughout with *approved automatic sprinkler systems* installed in accordance with Section 903.3.1.1 or 903.3.1.2.

c) D106.2 Projects having more than 200 dwelling units.

Multiple-family residential projects having more than 200 *dwelling units* shall be provided with two separate and *approved* fire apparatus access roads regardless of whether they are equipped with an *approved automatic sprinkler system*.

This new development is inside our 4-minute response area and the ISO rating is 2.

Sincerely,

Nathan Swisher
Fire Protection Specialist





Olmsted County Public Works
GIS/Addressing Division
1188 50 St SE
Rochester, MN 55904
(507) 328-7070



SAVANNAH ROCHESTER PRELIMINARY PLAT REFERRAL

DATE: JULY 21, 2025

TO: SCS ROCHESTER LLC, WIDSETH

FROM: DAVE MCCOLLISTER

CC: ADAM NOWINSKI

RE: SAVANNAH ROCHESTER PRELIMINARY PLAT GIS REFERRAL

A review of the SAVANNAH ROCHESTER PRELIMINARY PLAT to determine any existing or potential GIS, ROADWAY, or ADDRESS related issues are present shows the following:

- 1) Preliminary plat GIS impact fees have not been paid. See attached fee form.
- 2) Final plat GIS impact and E911 address fees will also be applicable during final plat submittal.
- 3) ALPHA PARKWAY should have directional NW labeled.
- 4) WORRALL CT NW road stubs should be labeled.

To address issues listed above, please contact our office.

Dave McCollister GIS Analyst / Addressing 507-328-7101

From: Wendy von Wald <wendy.vonwald@olmstedcounty.gov>
Sent: Monday, July 21, 2025 11:49 AM
To: Community Development Department
Subject: FW: Development Application CD2025-025PLAT is ready for review by 7/23/2025

[EXTERNAL SENDER]: Do not open links/attachments if uncertain about the sender and never give out your user id and password.

The Olmsted County Property Records office has no issues or concerns at this time with proposed plat of "Savannah Rochester Subdivision" except as follows:

Consider changing the name of the plat. There is already a plat named Savannah Heights and is not located in the same area as this proposed plat.

Wendy von Wald, deputy
Olmsted County Property Records
151 4th St SE
Rochester, MN 55904
(507) 328-7634 Fax (507) 328-7964
wendy.vonwald@olmstedcounty.gov



From: Accela_Mail <accela_mail@rochestermn.gov>
Sent: Wednesday, July 9, 2025 9:11 AM
To: Dombrovski, Dillon <ddombrovski@rochestermn.gov>; Michael Nigbur <mnigbur@rochestermn.gov>; Haberman, Jeff <JHaberman@rochestermn.gov>; Planning Web <planningweb@olmstedcounty.gov>; RPUElecDistrib <EDistribution@rpu.org>; Wade Neubauer <wneubauer@rpu.org>; Jon Turk <jturk@rochestermn.gov>; Brent Svenby <bsvenby@rochestermn.gov>; brian.mccoy@state.mn.us; Tony Hill <tony.hill@olmstedcounty.gov>; jjmoss@charter.net; TDLivingston@minnesotaenergyresources.com; BDWolf@minnesotaenergyresources.com; paul.osullivan@minnesotaenergyresources.com; Nicole.lehman@state.mn.us; Skip Langer <skip.langer@olmstedcounty.gov>; Scott Bennett <scott.bennett@olmstedcounty.gov>; Don VanKeulen <don.vankeulen@olmstedcounty.gov>; rene@rneighbors.org; Todd Osweiler <TOsweiler@RPU.ORG>; Justin.Watkins@state.mn.us; Brent Svenby <bsvenby@rochestermn.gov>; Sagar Chowdhury <sagar.chowdhury@olmstedcounty.gov>; Ron Muller <ron.muller@charter.com>; Adam Nowinski <adam.nowinski@olmstedcounty.gov>; David McCollister <david.mccollister@olmstedcounty.gov>; Wendy von Wald <wendy.vonwald@olmstedcounty.gov>; Jennifer Fibison <jennifer.fibison@olmstedcounty.gov>; Jeff Feece <JFeece@rochestermn.gov>; Beth Davis <beth.davis@olmstedcounty.gov>; greg.vreeman <greg.vreeman@charter.com>; Kelly Peterson <kpeterson@rochestermn.gov>; Gerald Norman <jnorman@rochestermn.gov>; Heather Flynn <heather.flynn@olmstedcounty.gov>; Mark Baker

<mbaker@rochestermn.gov>; Troy Erickson <terickson@rochestermn.gov>; jmiller@rochestermn.gov; Jacob Souhrada <JSouhrada@rochestermn.gov>; Seth Loken <sloken@rochestermn.gov>; Brent Bunke <BBunke@rpu.org>; Luke Payne <LPayne@RPU.ORG>; Burbank, Tyler <tburbank@rpu.org>; Fire Marshals Office <Firemarshalsoffice@rochestermn.gov>; Community Development Department <CommunityDevelopment@rochestermn.gov>; stuart.hiam@charter.com
Subject: Development Application CD2025-025PLAT is ready for review by 7/23/2025

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

A development application is ready for review:

- Application Number: CD2025-025PLAT
- Description: Major Land Subdivision #CD2025-025PLAT, by SCS Rochester LLC, to be known as Savannah Rochester Subdivision, for the subdivision of 30.17 acres into 2 residential lots and 2 outlots. The site is located south of Badger Hills Dr NW and east of 50th Ave NW.
- Comment Due Date: **7/23/2025**

To determine if your review is needed, please refer to the [Department and Agency Review Document](#). You can view the full referral *with site plans* at the following locations, **based on your security access**:

1. <https://rochester-prod-av.accela.com/>: Internal log-in required (view the [Accela instructions](#))
2. <https://aca-prod.accela.com/rochester/>: no log-in required
 1. Click on the "City Planning" tab
 2. Search for the Record Number (CD2025-025PLAT)
 3. Scroll down to the results screen and click on the Record Number
 4. Click on "Attachments"
 5. Click on the hyperlinked document name

If you have access to Accela, please submit your referral comments in the system. Otherwise, please send your comments via email to communitydevelopment@rochestermn.gov.

Thank you,

Community Development

Note: Please do not reply to this email. If you have any questions, contact our department at communitydevelopment@rochestermn.gov or (507)328-2600 during office hours.

4) Criteria for Major Land Subdivision Permit Approval

The Planning Commission shall recommend, and City Council shall approve, a Major Land Subdivision Permit, if it determines that the following criteria are met:

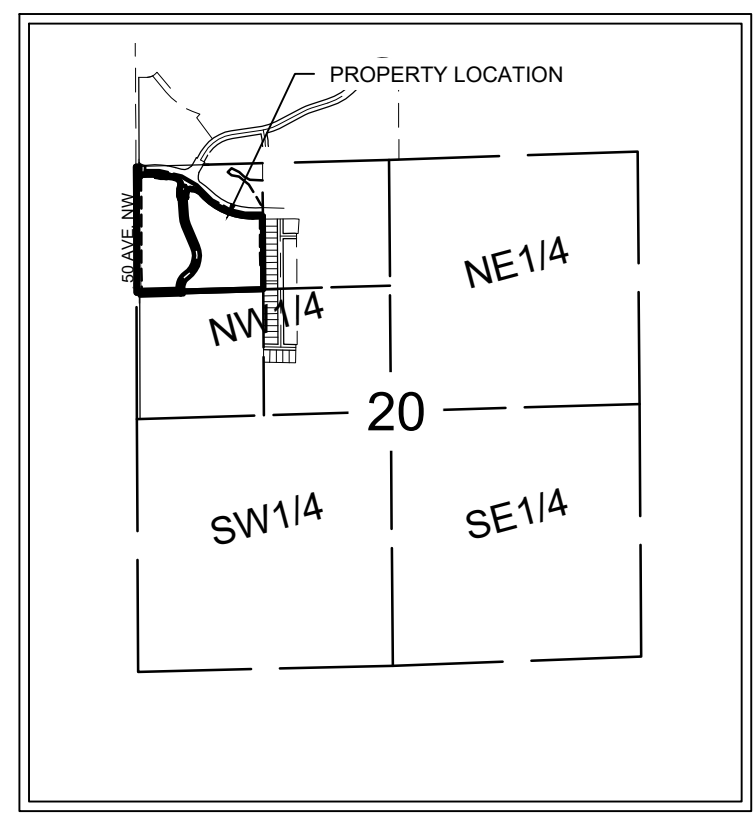
- a) The proposed land subdivision is consistent with the adopted Comprehensive Plan.
- b) The proposed land subdivision conforms to all standards in this UDC, unless a Minor Modification, Major Modification, or Variance for any deviation from the standards in this UDC has been approved pursuant to this UDC.
- c) The proposed land subdivision permit is consistent with any approved and applicable General Development Plan, Conditional Use Permit, and/or Traffic Impact Study.
- d) The proposed land subdivision will not result in a violation of federal or state law or city or county ordinance.
- e) The proposed water system and sanitary sewer system are adequate to serve the normal and fire protection demands of proposed development and to provide for the efficient and timely extension to serve future development.
- f) The plan for soil erosion and stormwater management meets the adopted standards of the City of Rochester and is consistent with the adopted Stormwater Management Plan or adopted drainage or stormwater policies.
- g) The vehicular, pedestrian, transit and non-motorized system is consistent with adopted transportation plans and is consistent with the street layout standards listed in Section 60.400.040C Subdivision level Connectivity and Circulation and applicable traffic service standards.
- h) The soils, topography and water tables have been adequately studied to ensure that all lots are developable for their designated purposes.
- i) The proposed subdivision will not have off-site impacts on the street, drainage, water, or wastewater systems that exceed adopted standards.
- j) The lot and block layout provide for safe and convenient pedestrian, non-motorized vehicle, transit, vehicular, service and emergency access, efficient utility service connections, and adequate buildable area in each lot for planned uses.
- k) The proposed subdivision has taken into account the current six-year and other Long-Range Capital Improvements Programs and the elements listed in those programs in the design of the subdivision.
- l) The proposed subdivision will not have adverse impacts on the safety or viability of permitted uses on, or the efficient continued development of, adjacent properties.
- m) Rights-of-way and easements of adequate size and dimension are provided for the purpose of constructing the street, utility, and drainage facilities needed to serve the development.

- n) The proposed parks, trail thoroughfares, and open space dedications are consistent with adopted plans, policies, and regulations.
- o) If located in a residential zoning district, the subdivision addresses the need to avoid spillover parking from subdivision residents into surrounding residential districts.
- p) For any land located within the Special Flood Hazard Area of the FPO – Floodplain Overlay:
 - i) The proposed subdivision adequately mitigates the risks of flooding, inadequate drainage, soil and rock formations with severe limitations for development, severe erosion potential, or any other floodplain related risks to the health, safety, or welfare of the future residents of the proposed subdivision in a manner consistent with this ordinance;
 - ii) Each lot contains a potential building site located outside of the Floodway District at or above the regulatory flood protection elevation;
 - iii) Adequate drainage is provided to reduce exposure of flood hazard;
 - iv) For all subdivisions containing land within the Floodway and/or Flood Fringe District boundaries, the regulatory flood protection elevation and the required elevation of all access roads are clearly labeled on all required subdivision drawings and platting documents;
 - v) The subdivision provides road access both to the subdivision and to the individual building sites no lower than two feet below the regulatory flood protection elevation; and
 - vi) All public utilities and facilities, such as sewer, gas, electrical, and water systems, are located and constructed to minimize or eliminate flood damage.

ALPHA SECOND SUBDIVISION

BADGER HILLS SUBDIVISION

VICINITY MAP
SEC. 20, T. 107, R. 14



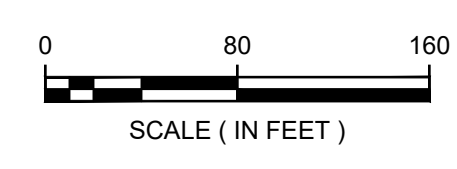
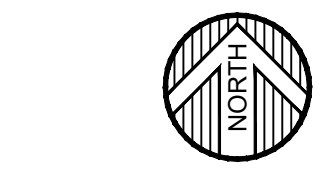
"NOT TO SCALE"

PROPOSED FEATURES LEGEND

	PROPOSED RIGHT OF WAY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	DELINEATED WETLAND PER WIDSETH REPORT (MAY 2024)
	CITY LIMITS
	PEDESTRIAN ACCESS

NOTES:

- STREET CLASSIFICATIONS - OTHER LOCAL STREET.
- PROPERTY IS IN ZONE R2 PER CITY OF ROCHESTER ZONING MAP.
- TOTAL ACRES = 30.17 ACRES
- TOTAL UNITS = 196
 - 4-PLEX = 6 BUILDINGS X 4 UNITS (24 DWELLING UNITS)
 - 6-PLEX = 14 BUILDINGS X 6 UNITS (84 DWELLING UNITS)
 - 8-PLEX = 11 BUILDINGS X 8 UNITS (88 DWELLING UNITS)
- PROPOSED DENSITY = 6.50 UNITS PER ACRE (196 UNITS / 30.17 ACRES)
- PROPERTY IS LOCATED IN ZONE D (AREA OF UNDETERMINED FLOOD HAZARD) PER FEMA MAP 27109C0135D AND 27109C0141F.
- PROPERTY IS NOT LOCATED IN DECORAH EDGE SUPPORT AREA.
- TEMPORARY STREET ENDS WILL BE PROVIDED ON DEAD END STREETS THAT EXCEED 150 FEET.



EXISTING FEATURES LEGEND

	DENOTES EXISTING SANITARY SEWER		DENOTES EXISTING SANITARY MANHOLE
	DENOTES EXISTING STORM SEWER		DENOTES EXISTING STORM MANHOLE
	DENOTES EXISTING WATER MAIN		DENOTES EXISTING STORM CATCH BASIN
	DENOTES EXISTING PLATTED LINE		DENOTES EXISTING STORM APRON
	DENOTES EXISTING EASEMENT		DENOTES EXISTING WATER VALVE
	DENOTES EXISTING PROPERTY BOUNDARY		DENOTES EXISTING HYDRANT
	DENOTES EXISTING OVERHEAD ELECTRIC		DENOTES EXISTING ELECTRIC MANHOLE
	DENOTES EXISTING UNDERGROUND GAS		DENOTES EXISTING TELEPHONE MANHOLE
	DENOTES EXISTING UNDERGROUND FIBER OPTIC		DENOTES EXISTING ELECTRIC PEDESTAL
	DENOTES EXISTING ELECTRIC POLE		DENOTES EXISTING ELECTRIC TRANSFORMER
	DENOTES EXISTING ELECTRIC LIGHT POLE		DENOTES EXISTING TELEPHONE PEDISTAL
	DENOTES EXISTING FENCE - WOOD		DENOTES EXISTING TREE
	DENOTES EXISTING FENCE - CHAIN LINK		DENOTES TELEPHONE HANDHOLE
	DENOTES EXISTING WOODS EDGE		DENOTES ELECTRIC HANDHOLE
	DENOTES EXISTING CONCRETE		WETLAND BOUNDARIES PER WIDSETH REPORT DATED MAY 2023
	DENOTES EXISTING BITUMINOUS		
	DENOTES SLOPES OVER 18%		



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



NEWLY SUBMITTED UNDER REVIEW FOR PERMITS. THIS REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
CRAIG N. BRITTON, LIC. NO. 44228

DATE	REVISION DESCRIPTION

DATE: MAY 2024	AS SHOWN
DRAWN BY: BJS	CNB
CHECKED BY: CNB	
JOB NUMBER: 2024-10870	

BADGER HILLS SUBDIVISION
STONELEIGH COMPANIES LLC
ROCHESTER, MINNESOTA
GENERAL DEVELOPMENT PLAN



REQUEST FOR ACTION

Growth Management Map Amendment No. CD2025-002GMMA by the City of Rochester

MEETING DATE:

August 13, 2025

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Public Hearings

PRESENTER:

Elliot Mohler

Action Requested:

Forwarding a recommendation to the Council approving Growth Management Map Amendment No. CD2025-002GMMA, by the City of Rochester.

Report Narrative:

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Upon the adoption of the City's Master Sewer Plan in 2020, this site was designated as "Urban Reserve Beyond 2050" due to the lack of a nearby sanitary sewer. The Urban Reserve Beyond 2050 designation includes land that the City plans to serve with sanitary sewer after 2050. This area serves as a secondary reserve for growth if the City grows faster than expected. Most notably, this designation is primarily for lands that fall outside of the City's immediate Urban Service Area. However, this lack of sewer availability has evolved since 2020. Therefore, the City proposes to amend approximately 175 acres of land from "Urban Reserve Beyond 2050" to "Near Term Urban Expansion".

The 175 acres in question are located adjacent to City limits, are within the City's Urban Service Area, and can readily be served by City sanitary sewer. Because of this, the 175 acres are more aligned with the Near-Term Urban Expansion designation, which refers to lands that are located where sanitary sewer is readily available and can support urban-style development. City policy requires that any land proposed to be annexed must be designated as "Near-Term Urban Expansion".

The Development Review Team recommends approval of Growth Management Map Amendment No. CD2025-002GMMA.

Priorities & Foundational Principles:

Fiscal Responsibility & Sustainability
Inclusive Growth Management

Policy Considerations & DEI Impact:

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Prior Legislative Actions & Community Engagement:

June 10, 2025: Neighborhood Information Meeting
August 1, 2025: Community Development - Public hearing notices sent
August 2, 2025: Post Bulletin - Public Notice published

Fiscal & Resource Impact:

All development costs associated with the project are the responsibility of the developer, except for the proposed cost-sharing agreement with RPU Water to extend a water main and the City-led sanitary sewer extension.

Alternative Action(s):

No alternative actions are recommended at this time.

Prepared By:

Elliot Mohler

Attachments:

[Community Development Memo - CD2025-002GMMA City of Rochester](#)

[Development Process - CD2025-002GMMA City of Rochester](#)

[Notification Map - CD2025-002GMMA City of Rochester](#)

[Site Location Map - CD2025-002GMMA City of Rochester](#)

[City Narrative - CD2025-002GMMA City of Rochester](#)

[NIM Minutes - CD2025-002GMMA City of Rochester](#)

[Review Comments - CD2025-002GMMA City of Rochester](#)

Rochester Planning Commission**August 13, 2025****Prepared By:** Rochester Community Development Department

Request:

1. Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from “Urban Reserve Beyond 2050” to “Near Term Urban Expansion” on the City’s Growth Management Map.
2. Comprehensive Plan Amendment CD2025-003CPA, by the City of Rochester, to change the land use designation of approximately 175 acres from “Urban Reserve” to “Low-Density Residential”.
3. Annexation Petition CD2025-004ANX, by Pulte Homes of Minnesota LLC, to incorporate approximately 120 acres of land into the Rochester City Limits.

Location: The site is located southwest of the intersection of Country Club Rd and 45th Ave SW.

Applicant: City of Rochester, Pulte Homes of Minnesota LLC

Consultant: Alliant Engineering

PLANNING COMMISSION / CITY COUNCIL SUMMARY

Application Type: Growth Management Map Amendment (GMMA)

What is Considered: The Growth Management Map was established as part of the City of Rochester’s Comprehensive Plan in 2018. The plan outlines a strategic growth policy to guide development through 2050. In November 2021, the Growth Management Map Amendment Policy was adopted as a tool for owners to seek amendments to the Growth Management Map outside of the regular Comprehensive Plan updates.

During the GMMA review, the Planning Commission and City Council consider unanticipated shortages of a specific land use category, land use and transportation integration strategies, utility and transit infrastructure costs, urban development suitability, impacts on the existing land supply and municipal costs incurred by servicing redesignated properties upon annexation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Comprehensive Plan Amendment (CPA)

What is Considered: The P2S Comprehensive Plan, Section 4, provides the applicable criteria to be considered by the Commission and Council when evaluating a land use amendment. Consideration shall be provided to issues such as whether a proposed change addresses an unanticipated shortage of a particular land use, land use and transportation strategies, utility and transit infrastructure costs of the potential change, urban development suitability of the property when considering natural features and constraints, and impact on the existing land supply under the current designation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Annexation Petition

What is Considered: Annexation is the process by which unincorporated lands are brought into a municipal boundary. The municipality annexing must be able to adequately serve the newly added land with city services and infrastructure, such as water and sanitary sewer. Amendments to the boundaries of corporate and extraterritorial limits shall be adopted as provided by Minnesota Statutes.

During the review of an Annexation request, both the Commission and Council must determine whether the request meets the criteria set in the Unified Development Code Section 60.500.040C. These include compatibility with adjacent land uses, the ability for the City to serve the newly annexed properties with city services, and whether the newly annexed land is appropriate for suburban or urban-style development.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

PROJECT SUMMARY

Background

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Per Minnesota Administrative Rules 4410.4300, any project that proposes 250 unattached units or 375 attached units in a city not located within the seven-county Twin Cities metropolitan area that has filed with the EQB chair a certification that it has adopted an approved comprehensive plan is subject to an Environmental Assessment Worksheet (EAW). The EAW will provide a brief analysis and overview of the potential environmental impacts of the project and consists of a standard list of 31 questions. If the GMMA, CPA, and Annexation requests are approved, the developer will work with City teammates to begin the EAW process with the Environmental Quality Board (EQB). City teammates have been working closely with Cascade and Rochester townships to execute a Joint Powers Agreement for administration of the EAW. These JPAs will delegate authority to the City of Rochester to lead the EAW process while keeping the townships closely involved and informed.

Growth Management Map Amendment

Upon the adoption of the City's Master Sewer Plan in 2020, this site was designated as "Urban Reserve Beyond 2050" due to the lack of nearby sanitary sewer. The Urban Reserve Beyond 2050 designation includes land that the City plans to serve with sanitary sewer after 2050. This area serves as a secondary reserve for growth if the City grows faster than expected. Most notably, this designation is primarily for lands that fall outside of the City's immediate Urban Service Area. However, this lack of sewer availability has since evolved since 2020. Therefore, the City proposes to amend approximately 175 acres of land from "Urban Reserve Beyond 2050" to "Near Term Urban Expansion".

The 175 acres in question are located adjacent to City limits, are within the City's Urban Service Area, and can readily be served by City sanitary sewer. Because of this, the 175 acres are more aligned with the Near-Term Urban Expansion designation, which refers to lands that are located where sanitary sewer is readily available and can support urban-style development. City policy requires that any land proposed to be annexed must be designated as "Near-Term Urban Expansion".

Comprehensive Plan Amendment

Land designated as "Urban Reserve Beyond 2050" often does not have a land use designation in the P2S Comprehensive Plan. Instead, they are designated "Urban Reserve". This designation is meant for areas that should be protected from development that could limit future urban growth. Furthermore, development should be limited in areas where it would require road upgrades before they are planned.

The City proposes to amend approximately 175 acres of land from "Urban Reserve" to "Low Density Residential". The P2S Comprehensive Plan supports this request as the site now abuts urban-style development and would not itself prevent future urban growth. Rather, this area would be the next logical extension of said urban growth. The site also abuts Country Club Road (County Road 34), a major arterial roadway designated by the Rochester-Olmsted Council of Governments' Long Range Transportation Plan.

Annexation Petition

Pulte proposes to annex 120 acres of the 175-acre site. Per Minnesota Statute 414.033, annexations by ordinance requested by private landowners cannot exceed 120 acres of land. All affected landowners must provide their signatures for the petition to be accepted

by the municipality. The properties are in a trust associated with the Nigon family. The petition has been signed by those included in the trust, as they plan to sell their property to Pulte if the requests are approved.

The City of Rochester requires that any land annexed be designated as “Near-Term Urban Expansion”, have a land use designation, and can readily be served by the city's sanitary sewer. These three applications may run concurrently, but must have separate motions, ending with the Annexation Petition, so that all conditions are met.

ZONING SUMMARY TABLE	
Land Use/ Zoning	<p><u>North:</u> The properties to the north of the site are zoned A3 Agriculture (township) and R-2 Single Family Small Lot. The future land use designation of the properties to the north is Low Density Residential.</p> <p><u>South:</u> The properties to the south of the site are zoned R1 Single Family (township) and RA Rural Residential (township) and have the underlying land use of Suburban Development in the Olmsted County General Land Use Plan.</p> <p><u>East:</u> The properties to the east are zoned MX-S Mixed Use Street Oriented, R3 Medium Density Residential, R2 Single Family Small Lot, and R1 Single Family (township). The land use designations to the east include Medium Density Residential, Low Density Residential, and Suburban Development (township).</p> <p><u>West:</u> The properties to the west of the site are zoned A3 Agriculture (township) and RA Rural Residential (township). The underlying land uses include Suburban Development and Resource Protection in the Olmsted County General Land Use Plan.</p>
Streets and Access	<p>The site abuts Country Club Road (County Road 34), which is designated as a major arterial roadway in the ROCOG Long Range Transportation Plan. The site also abuts 45th Ave SW, which is designated as a local street. The current proposal for the site is to gain access from 45th Ave SW. This provides safe access onto a low-speed road with immediate connection to a major roadway that provides easy access to downtown Rochester. A future connection is proposed off 8th St SW to accommodate the second phase of the community. Phase 1 and Phase 2 will be connected via a bridge that spans the floodplain.</p>
Utilities	<p>Pulte has been working actively with RPU and City Public Works to provide city utilities to the site. RPU Electric will provide service as the site develops. RPU Water is working with Pulte to finalize a cost-sharing agreement to extend water mains to 45th Ave SW. City Public Works is generally supportive of a proposed City-led sewer extension project to 45th Ave SW. A scope of services contract for the sewer and water extensions is planned to be brought to Council in September.</p>

Public Facilities	The community proposes private amenities available to residents. These include a large entrance monument, a dramatic hillside climb, open space views, and robust landscaping. An amenity center will be located in the community that includes various recreational and social gathering spaces. Pulte is in active conversations with Rochester Parks and Recreation to determine the best way to achieve the required parkland dedication. This will either be in the form of physical land for a public neighborhood park or cash in lieu of land.
Wetlands/Decorah Edge/Floodplain	The site contains wetlands, floodplain soils, Decorah Edge, and shoreland. The proposed development is outside of the floodway. Any lots proposed in the shoreland buffer will be required to meet the 25% maximum impervious surface requirement. Pulte must obtain a Shoreland Protection Permit to ensure this requirement is met. Pulte has completed wetland delineations and has worked with the Local Government Unit (Olmsted County) to verify their findings. The proposed bridge is required to span the floodway, and piers (small supports) can be placed within the floodway to allow for the construction of the bridge. The DNR will review and approve a “no-rise” certificate as part of the construction plans. The DNR will be heavily involved in the review of this project due to its proximity to a public waterway and will ensure no adverse impacts to the FEMA-regulated floodplain. Lastly, Pulte is required by Minnesota Rules 4110.4300 to conduct an Environmental Assessment Worksheet (EAW) to determine any impact on the environmental features on the site.

APPROVAL CRITERIA

Growth Management Map Amendment & Comprehensive Plan Amendment

1. The proposed GMMA will address a shortage of land designated and available for a proposed type of land use, as evidenced by an objective market analysis with costs covered by the applicant.

The 2020 Maxfield Housing Study stated that the Rochester area will need to produce 18,000 residential housing units in the span of 10 years (2020-2030). The 2025 Maxfield Housing Study maintains that 10-year demand. Specifically, the report states that of those 18,000 units, 4,800 should be new single-family homes. As it appears on paper, the City of Rochester has enough low-density residential land designated on the Future Land Use Map. However, it is important to understand that not all land that is designated is immediately developable. For instance, for land to be developed and annexed, it must

- i. **Be adjacent to Rochester City Limits**
- ii. **Be designated as Near-Term Urban Expansion**

- iii. **Have a designed land use**
- iv. **Have minimal environmentally sensitive features (Decorah Edge, Floodplain, Shoreland, Steep Slopes)**

Other compounding factors include the fact that the City is behind its stated goal for fringe development (new single-family homes) as stated in the P2S Comprehensive Plan, as well as the determination of adequate residential land is based on using the minimum square footage allowed for a lot. Rarely are subdivisions developed that include all lots at the square footage minimum.

As the City invests in extending sanitary sewer service, more land opens up to aid the City in meeting its fringe development growth. This investment provides more options for housing in Rochester, which can lower overall housing costs as supply increases. In particular, this community serves those who are 55 years or older and provides single-level slab-on-grade homes, opening up other single-family homes throughout the City.

2. A technical assessment of the sewage generation characteristics of the proposed development in combination with an assessment of remaining trunkline sewer capacity in the sanitary sewer subdistrict where the development is proposed should be completed to determine the availability of capacity and/or the potential scheduling of improvements to address this potential adequate public facility deficiency.

Pulte has been in active conversations with Rochester Public Works to determine the necessary extensions needed to serve this site. As of now, Rochester Public Works has shown preliminary support for the City-led extension. The land to the west of this site has a significant grade change and steep slopes, which make future development difficult. With the proposed extension, there will be adequate sewer capacity available to serve the proposed development.

3. The impact of a cost to municipal utilities and infrastructure, including but not limited to road and transit infrastructure, sewer, water, and electric infrastructure, parks, etc., as a result of the proposed GMMA has been considered, and the proposed project will not adversely affect these infrastructure systems.

All impacts that may result from this development have been considered. Pulte has been in close contact with Rochester Public Works, Community Development, Rochester Public Utilities, and Rochester Parks and Recreation. The extension of the sanitary sewer

will be City-led, while the main water extension will require a cost-sharing agreement between the developer and RPU Water. All costs associated with the extension of electrical services will be handled by the developer. As of now, no future transit stops are planned near this area. The developer has started conversations with Rochester Parks and Rec to determine the best path forward to handle parkland dedication, whether through physical land or cash in lieu.

4. An assessment of natural features on the proposed site has found that the site is suitable for urban development.

The applicant has conducted geotechnical soil borings to determine the extent of Decorah Edge soils, completed a wetland delineation, and has reviewed the FEMA-regulated floodplain and the higher standards implemented by the City of Rochester. The Local Government Unit (Olmsted County) is reviewing the geotechnical borings and wetland delineation. Due to the proximity of the project to a DNR public waterway, the DNR will be heavily involved with the review of this project to ensure compliance with state and federal regulations. Lastly, the project triggers the need for an Environmental Assessment Worksheet (EAW), which will add another layer of environmental analysis for the site to determine any negative impacts.

5. The proposed GMMA will not adversely affect the supply of land designated for the type of land use the area in question is currently planned for.

The 175 acres of land that are proposed to be redesignated currently do not have an assigned future land use. The site is designated as Urban Reserve, which acts as a “hold” until a land use is designated. There will not be a shortage of this land use.

6. The proposed Future Land Use Map amendment is consistent with and will help further the Vision, Principles, and Goals of the P2S 2040 Comprehensive Plan and

- a. Will not compromise the direction of the plan to create an integrated land use and transportation vision.

The intended single-family development is consistent with the direction to create an integrated land use and transportation vision.

- b. Will not compromise the strategies identified in the plan to implement the Primary Transit Network or the anticipated phasing of the PTN identified in the plan.

The subject amendment does not compromise any strategies to implement the Primary Transit Network. While the intent is to build single-family residential housing, the area in question will remain low-density residential in the future, with no intent of pulling higher-density development away from the Primary Transit Network.

- c. The development characteristics of uses in the proposed land use plan category, as described in Tables 2-8 through 2-12, are compatible with surrounding land use classifications.

The proposed Low Density Residential land use classification of the site is an appropriate land use classification that will provide a transitional buffer between the large lot subdivisions to the south and higher intensity uses to the east, which include a mixture of Medium Density Residential and Mixed-Use Transit Supportive Corridors.

- d. The locational characteristics and transportation features of the site are consistent with the locational and transportation factors described in Tables 2-8 through 2-12 for the proposed land use.
- **Table 2-8: Non-Residential Categories:** There are no non-residential uses planned for the site, such as commercial or industrial.
 - **Table 2-9: Community Anchor Areas:** There are no community anchor areas planned on the site. The proposal is to construct low-density housing that is compatible with the existing land use.
 - **Table 2-10: Preservation Categories:** The existing land use is compatible with the adjacent land use of medium-density residential to the east, the agricultural land to the west, and the large lot subdivisions to the south.
 - **Table 2-11: The future land use-Place Type Matrix.** Neighborhood Developing Areas and Low-Density Districts have the greatest level of compatibility per the matrix.
 - **Table 2-12: Top Origins into Rochester:** The site is along Country Club Road (County Road 34). This roadway may act as an alternative route for visitors and employees from the City of Byron. However, a more common route for these drivers to take is Highway 14 E, as it allows for higher speed traffic.
7. The proposed amendment is consistent with community goals and policies as expressed in the City's adopted Plans.

The proposed amendment is consistent with community goals and policies as expressed in the City's adopted plans.

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Annexation Petition

- 1. The annexation of land is consistent with the adopted Comprehensive Plan regarding areas for future growth and development of the City.**

The annexation of land is consistent with the adopted Comprehensive Plan. The P2S Comprehensive Plan prioritizes a strategic approach to growth. This requires annexed land to be designated as “Near Term Urban Expansion” on the City’s Growth Management Map. This ensures the site has readily available access to City services such as sanitary sewer, water, electricity, and roadways. This strategy prevents urban sprawl by preventing development from occurring where these services are not available or are inadequate.

2. The proposed annexation of land is able to be served by existing City infrastructure and services, or through future expansions of infrastructure and services included in approved City plans or policies, or the applicant has agreed to pay for required expansions of City infrastructure and services on terms acceptable to the City.

Adequate services will be available at the time of development. City services are proposed to be extended to the site. A City-led project to extend the sanitary sewer to 45th Ave SW is underway. The extension of water services will require a cost-sharing agreement between the developer and RPU Water. Electrical service will be the developer's responsibility as development occurs.

3. The property proposed for annexation is now or is about to become urban or suburban in character.

The site is soon to become urban in character. The subject is adjacent to City limits from the north and east. There are similar developments that exist to the north, northeast, and east of this site.

4. The annexation of land complies with all applicable provisions of Minnesota state law.

The annexation of land complies with all applicable provisions of Minnesota state law.

DEVELOPMENT REVIEW TEAM RECOMMENDATION

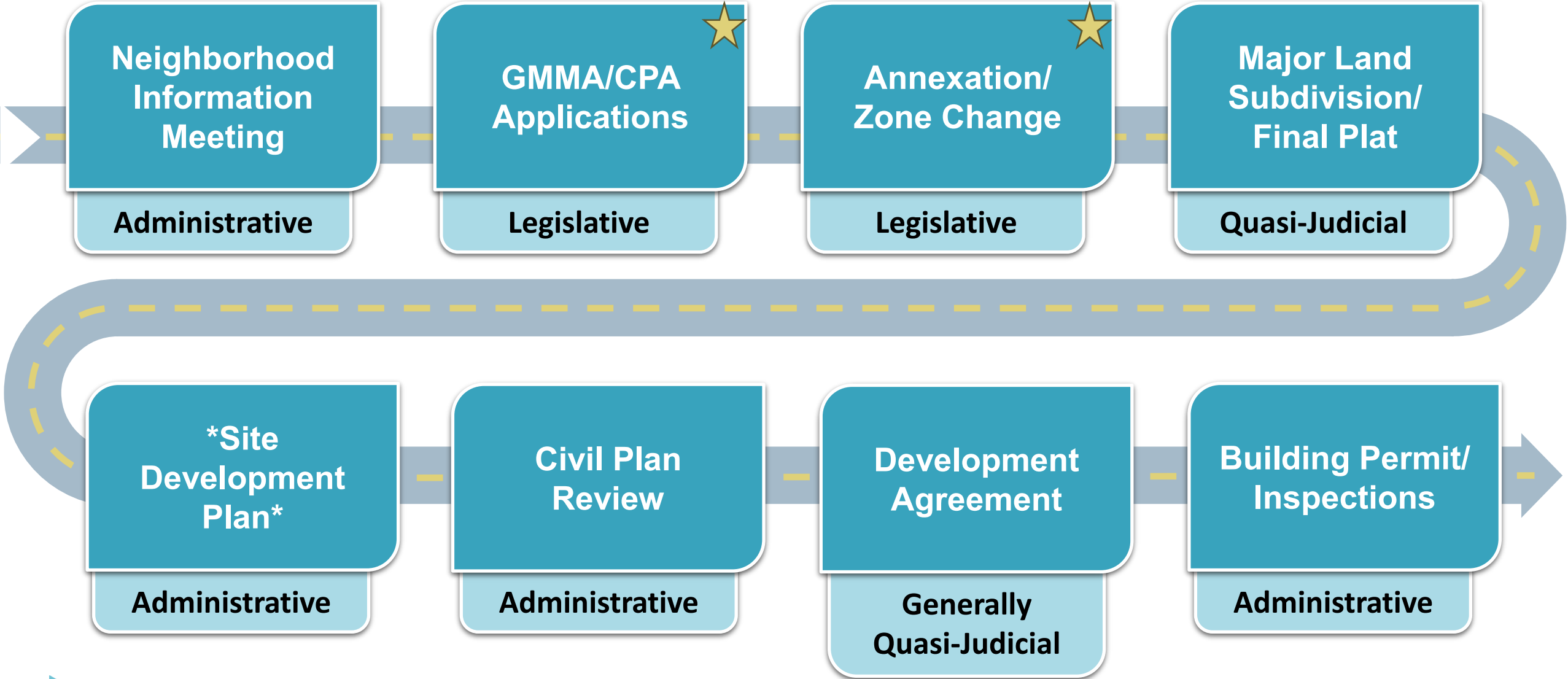
1. The Community Development Team has reviewed this GMMA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Growth Management Map from “*Urban Reserve Beyond 2050*” to “*Near Term Urban Expansion*”.
2. The Community Development Team has reviewed this CPA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Future Land Use Map from “Urban Reserve” to “Low Density Residential”.
3. The Community Development Team has reviewed this Annexation Petition in accordance with the Unified Development Code criteria found in Section 60.500.040C. Community Development has found that all criteria are met to annex the requested 120 acres of land into the Rochester City limits.

The Community Development Team recommends APPROVAL of the subject applications, as outlined in the Commission/Council Summary above.

ATTACHMENTS

1. Development Process
2. Notification Map
3. Site Location Map
4. City of Rochester Narrative
5. Application Exhibits
6. NIM Minutes
7. Review Comments

Pulte GMMA/CPA/ANX



*Project Dependent

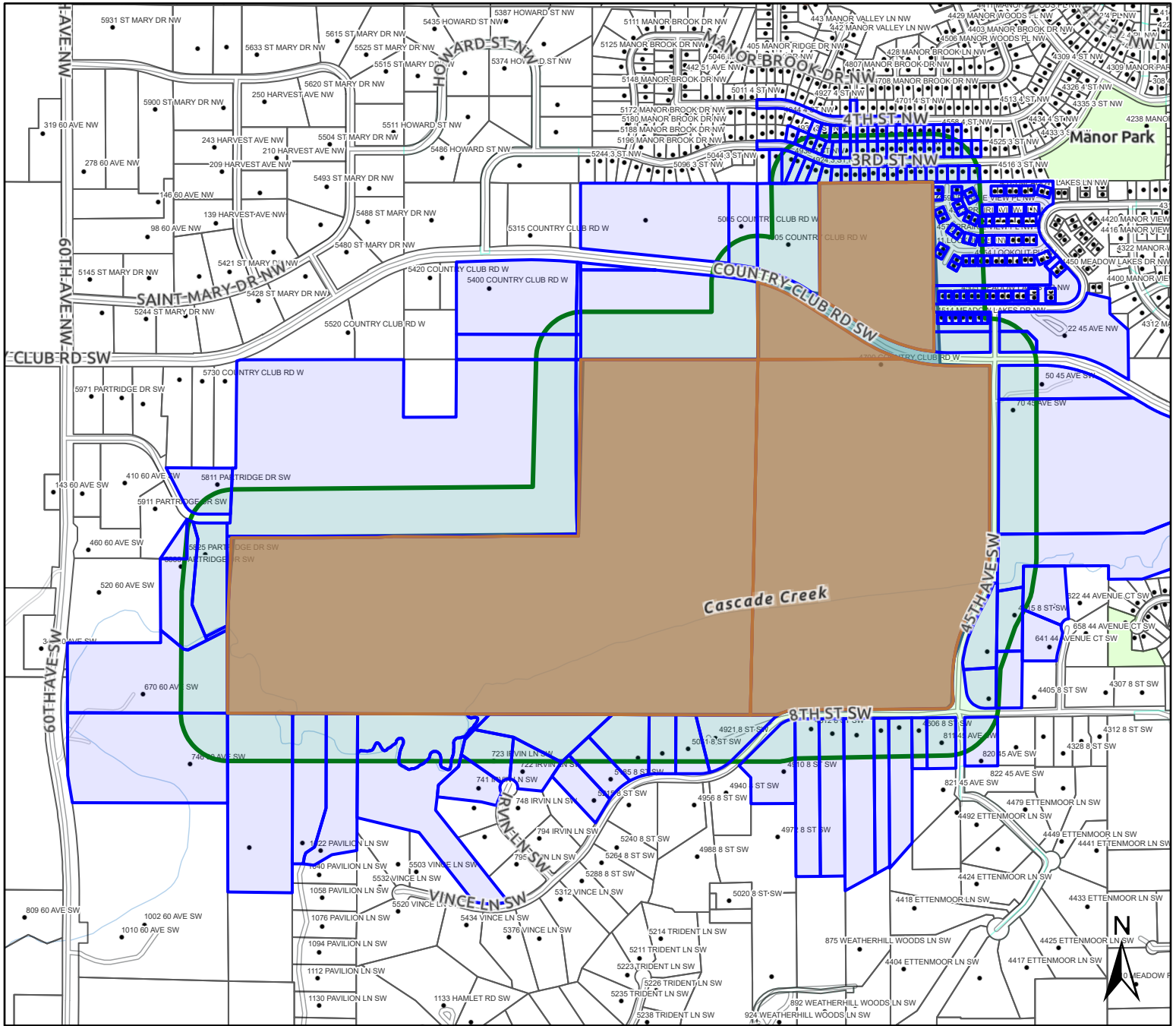


CD2025-002GMMA/CD2025-003CPA

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7/16/2025 Olmsted County Geographic Information Systems

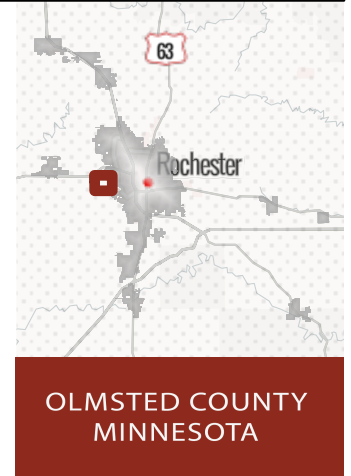
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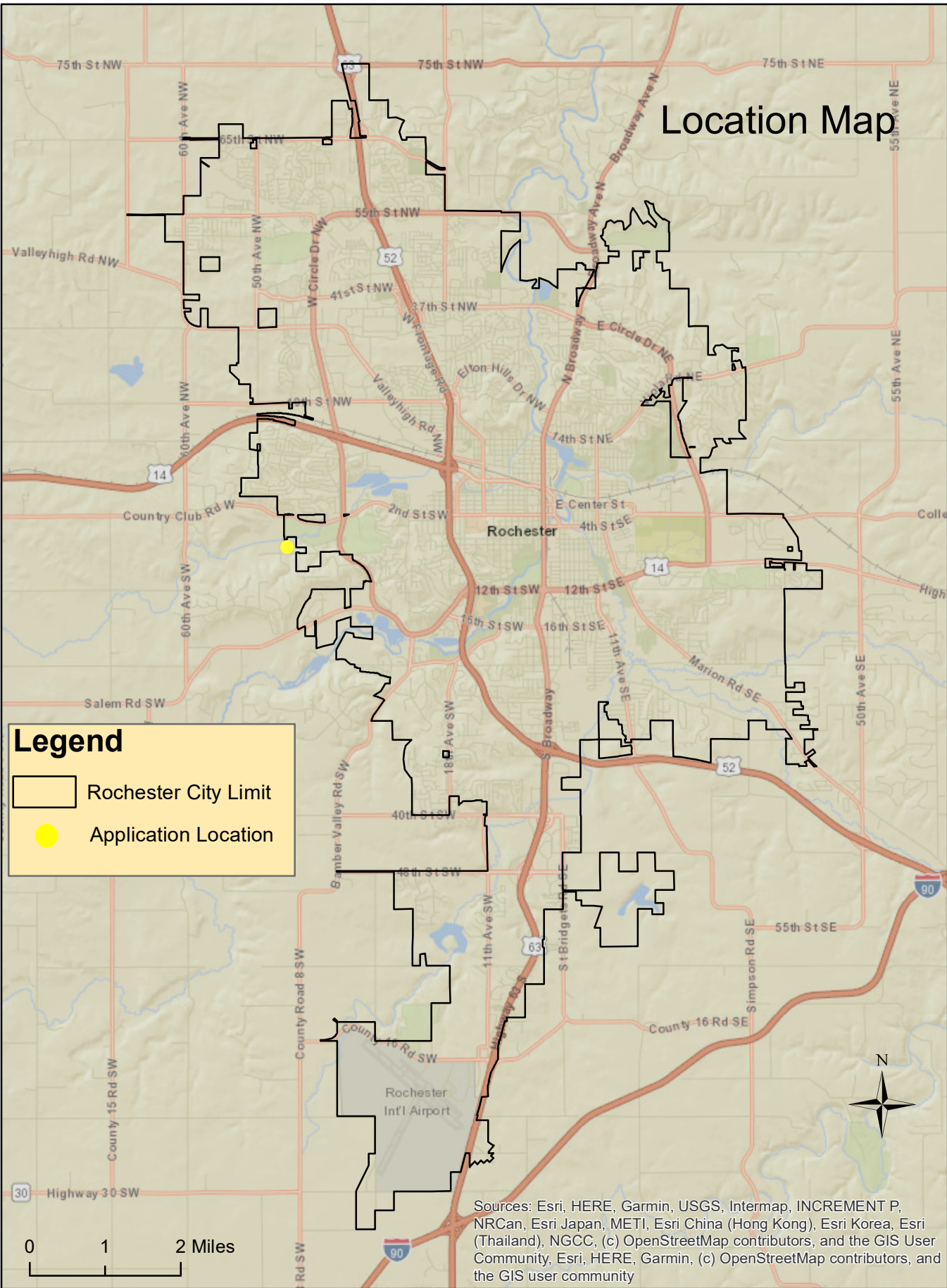
- Site of Interest
- Notification Locations
- Notification Perimeter

Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from "Urban Reserve Area Beyond 2050" to "Near Term Urban Expansion" on the City's Growth Management Map. The site is located southwest of the intersection of Country Club Road and 45th Ave SW. & Comprehensive Plan Amendment #CD2025-003CPA, by the City of Rochester, to change the land use designation of an approximately 175-acre site from Urban Reserve to Low Density Residential. The site is located southwest of the intersection of Country Club Road and 45th Ave SW.

PINs: 041608, 081149, 089159
 Ward 2, Cascade Township, Rochester Township
 The Manor Neighborhood Association
 Notif Area: 350'



Location Map



To: Rochester Planning Commission
From: Elliot Mohler, AICP
Date: August 13, 2025
Re: CD2025-002GMMA, CD2025-003CPA, CD2025-004ANX

The City of Rochester is bringing forward three coordinated requests to support a proposed age-restricted residential development southwest of Country Club Road and 45th Avenue SW. These requested include a City-initiated Growth Management Map Amendment (CD2025-002GMMA) to redesignated 175 acres from “Urban Reserve Beyond 2050” to “Near Term Urban Expansion” and a Comprehensive Plan Amendment (CD2025-003CPA) to redesignated 175 acres from “Urban Reserve” to “Low Density Residential. Concurrently, Pulte Homes of Minnesota LLC is bringing forward an Annexation Petition (CD2025-004ANX) to bring 120 acres of this land into City limits.

The purpose of these requests is to enable the development of approximately 300 single-family homes designed for residents aged 55 and older. The proposal aligns with the City’s P2S Comprehensive Plan goals, helps address a shortage of readily developable residential land, and supports orderly and fiscally responsible growth. Following a detailed review of infrastructure capacity, environmental conditions, and land use compatibility, the Community Development Team recommends approval of all three applications.

This effort reflects the City’s strategic approach to expanding infrastructure and housing choices in line with long-term planning objectives. By enabling a thoughtfully planned, age-targeted community in a location that is now primed for urban services, Rochester continues to advance its goals of housing diversity and sustainable growth.

For a detailed review of these applications, including a list of findings of fact, please refer to the Community Development Memo dated August 13, 2025.

Respectfully submitted,



Elliot Mohler, AICP
Planner
Community Development Department
City of Rochester, MN



Rochester – Del Webb NIMS Minutes

Dean Lotter Presenter

June 10, 2025

Meeting Held June 10, 2025

Start time 5 pm

Adjournment 6:30 pm

Location: People of Hope Church

1. About 25-ish people attended the meeting. Mostly from the township.
2. Concerns over creek meandering and who is leading the project (DNR)
 - a. Concern over the existing project that was done to the east. Public stated there is more flooding now and there was a loss of wildlife and trees because of project.
 - b. Are you widening and making deeper?
 - c. Lotter explained the creek rehabilitation project as he understood it and also talked about how the storm water management system created in our developments addresses rate and volume controls to improve storm water management overall.
3. Will there be stormwater ponding onsite? Will flooding increase? – Hot topic
 - a. The stormwater management system of the development was discussed and it was emphasized that engineered stormwater systems improve stormwater management when compared to undeveloped land.
4. How many points of access?
5. All single family?
 - a. The site plan was reviewed to discuss points of access and the type of development that was being proposed.
6. Who have we talked to at the city?
7. What areas are being annexed? – Hot topic
 - a. Will other neighbors be forced to annex?
 - b. Lotter explained what acreage was being annexed. Most in attendance seemed concerned that the City was considering annexing their land. It was made clear during the presentation that annexation of the Nigon site was occurring because we as the applicant and the Nigon family had signed a petition and requested the annexation.
8. Will the site have city sewer?
 - a. If bring sewer across 45th St will road access be cut off and for how long?

- b. Lotter stated that any disruptions to local road service would be noticed in advance, however the utility extension work had not yet been designed and therefore it wasn't known if 45th would be trench cut or direction drilled. This item was TBD.
- 9. How many homes? Will you expand?
 - a. Lotter responded that the proposal was for approximately 323 single family homes.
- 10. Phasing or build all at once?
 - a. It was explained that the project was take years to build out.
- 11. Have you begun EAW? What is an EAW?
 - a. Lotter discussed the EAW process and what it was.
- 12. Will Country Club require road improvements? Traffic control at 45th and Country Club?
 - a. Lotter explained that a traffic impact report or analysis would be completed as part of any EAW and it would help identify what if any road improvements would be necessary.
- 13. Does Pulte own Meadow Lakes to the east? No.
 - a. How many access points on 45th with this development? Full intersection?
 - b. Lotter reviewed the site plan showing one access on 45th Avenue and one on 8th Street.

Agency Review Comments

Application No: CD2025-002GMMA

8/1/2025 **County Public Works**

er previous discussions with the developer, Olmsted County is planning to reconstruct CSAH 34 (County Club Road W) and additional right of way will be required that will likely affect the proposed layout. A pedestrian trail is likely needed along CSAH 34. Work with Olmsted County on the required right of way needed for the future project. A traffic impact report is required to determine any mitigation or conditions required for the proposal. Olmsted County will review the provided Nigon Property - Engineer Road Connectivity Opinion and provided comments.

7/15/2025 **Fire Review**

7/29/2025 **Public Works Review**

There are no comments from this agency at this time.

7/24/2025 **RPU Electric Review**

There are no comments from this agency at this time.

7/16/2025 **RPU Water Review**

RPU Water Dept. has no comments on this GMMA application. However, please see RPU Water Dept.'s comments and informational letters for both the Annexation and General Development Plan applications for this parcel.



City of Rochester
201 4th Street SE - STE 10
Rochester, MN 55904-
3726

Phone: 507-328-2800
Fax: 507-328-2829

July 15, 2025

Community Development Department
4001 West River Parkway Suite 100
Rochester, MN 55901

Growth Management Map CD2025-002GMMA, by Pulte Homes of Minnesota, to amend 175.9 acres to be included in the City's current staging on the City's Growth Management Map. The site is located southwest of Country Club Rd and 45th Avenue SW.

The Rochester Fire Marshal's Office has conducted a review of plans submitted for the Annexation of the property noted above, and our comments are as follows:

The Rochester Fire Department supports the ongoing growth of the City of Rochester, and recommends approval of the proposed Annexation Plan and Growth Management Map Amendment.

The proposed development is currently located inside of a 4 minute response from Rochester Fire. A 4 minute or less emergency response is considered an industry benchmark for the efficient and effective deployment of emergency medical services and firefighting apparatus. The 175.9 acres is in an ISO 8.

Sincerely,

Nathan Swisher
Fire Protection Specialist
Rochester Fire Department





REQUEST FOR ACTION

Comprehensive Plan Amendment No. CD2025-003CPA by the City of Rochester

MEETING DATE:

August 13, 2025

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Public Hearings

PRESENTER:

Elliot Mohler

Action Requested:

Forwarding a recommendation to the Council approving Comprehensive Plan Amendment No. CD2025-003CPA, by the City of Rochester.

Report Narrative:

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Land designated as "Urban Reserve Beyond 2050" often does not have a land use designation in the P2S Comprehensive Plan. Instead, they are designated "Urban Reserve". This designation is meant for areas that should be protected from development that could limit future urban growth. Furthermore, development should be limited in areas where it would require road upgrades before they are planned.

The City proposes to amend approximately 175 acres of land from "Urban Reserve" to "Low Density Residential". The P2S Comprehensive Plan supports this request as the site now abuts urban-style development and would not itself prevent future urban growth. Rather, this area would be the next logical extension of said urban growth. The site also abuts Country Club Road (County Road 34), a major arterial roadway designated by the Rochester-Olmsted Council of Governments' Long Range Transportation Plan.

The Development Review Team recommends approval of CD2025-003CPA.

Priorities & Foundational Principles:

Fiscal Responsibility & Sustainability

Policy Considerations & DEI Impact:

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Prior Legislative Actions & Community Engagement:

June 10, 2025: Neighborhood Information Meeting

August 1, 2025: Community Development - Public hearing notices sent

August 2, 2025: Post Bulletin - Public Notice published

Fiscal & Resource Impact:

All development costs associated with the project are the developers responsibility, except for the proposed cost-sharing agreement with RPU Water to extend a water main and the City-led sanitary sewer extension.

Alternative Action(s):

No alternative actions are recommended at this time.

Prepared By:

Elliot Mohler

Attachments:

[Community Development Memo - CD2025-003CPA City of Rochester](#)

[Development Process - CD2025-003CPA City of Rochester](#)

[Notification Map - CD2025-003CPA City of Rochester](#)

[Site Location Map - CD2025-003CPA City of Rochester](#)

[City Narrative - CD2025-003CPA City of Rochester](#)

[NIM Minutes - CD2025-003CPA City of Rochester](#)

[Review Comments - CD2025-003CPA City of Rochester](#)

Rochester Planning Commission**August 13, 2025****Prepared By:** Rochester Community Development Department

Request:

1. Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from “Urban Reserve Beyond 2050” to “Near Term Urban Expansion” on the City’s Growth Management Map.
2. Comprehensive Plan Amendment CD2025-003CPA, by the City of Rochester, to change the land use designation of approximately 175 acres from “Urban Reserve” to “Low-Density Residential”.
3. Annexation Petition CD2025-004ANX, by Pulte Homes of Minnesota LLC, to incorporate approximately 120 acres of land into the Rochester City Limits.

Location: The site is located southwest of the intersection of Country Club Rd and 45th Ave SW.

Applicant: City of Rochester, Pulte Homes of Minnesota LLC

Consultant: Alliant Engineering

PLANNING COMMISSION / CITY COUNCIL SUMMARY

Application Type: Growth Management Map Amendment (GMMA)

What is Considered: The Growth Management Map was established as part of the City of Rochester’s Comprehensive Plan in 2018. The plan outlines a strategic growth policy to guide development through 2050. In November 2021, the Growth Management Map Amendment Policy was adopted as a tool for owners to seek amendments to the Growth Management Map outside of the regular Comprehensive Plan updates.

During the GMMA review, the Planning Commission and City Council consider unanticipated shortages of a specific land use category, land use and transportation integration strategies, utility and transit infrastructure costs, urban development suitability, impacts on the existing land supply and municipal costs incurred by servicing redesignated properties upon annexation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Comprehensive Plan Amendment (CPA)

What is Considered: The P2S Comprehensive Plan, Section 4, provides the applicable criteria to be considered by the Commission and Council when evaluating a land use amendment. Consideration shall be provided to issues such as whether a proposed change addresses an unanticipated shortage of a particular land use, land use and transportation strategies, utility and transit infrastructure costs of the potential change, urban development suitability of the property when considering natural features and constraints, and impact on the existing land supply under the current designation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Annexation Petition

What is Considered: Annexation is the process by which unincorporated lands are brought into a municipal boundary. The municipality annexing must be able to adequately serve the newly added land with city services and infrastructure, such as water and sanitary sewer. Amendments to the boundaries of corporate and extraterritorial limits shall be adopted as provided by Minnesota Statutes.

During the review of an Annexation request, both the Commission and Council must determine whether the request meets the criteria set in the Unified Development Code Section 60.500.040C. These include compatibility with adjacent land uses, the ability for the City to serve the newly annexed properties with city services, and whether the newly annexed land is appropriate for suburban or urban-style development.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

PROJECT SUMMARY

Background

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Per Minnesota Administrative Rules 4410.4300, any project that proposes 250 unattached units or 375 attached units in a city not located within the seven-county Twin Cities metropolitan area that has filed with the EQB chair a certification that it has adopted an approved comprehensive plan is subject to an Environmental Assessment Worksheet (EAW). The EAW will provide a brief analysis and overview of the potential environmental impacts of the project and consists of a standard list of 31 questions. If the GMMA, CPA, and Annexation requests are approved, the developer will work with City teammates to begin the EAW process with the Environmental Quality Board (EQB). City teammates have been working closely with Cascade and Rochester townships to execute a Joint Powers Agreement for administration of the EAW. These JPAs will delegate authority to the City of Rochester to lead the EAW process while keeping the townships closely involved and informed.

Growth Management Map Amendment

Upon the adoption of the City's Master Sewer Plan in 2020, this site was designated as "Urban Reserve Beyond 2050" due to the lack of nearby sanitary sewer. The Urban Reserve Beyond 2050 designation includes land that the City plans to serve with sanitary sewer after 2050. This area serves as a secondary reserve for growth if the City grows faster than expected. Most notably, this designation is primarily for lands that fall outside of the City's immediate Urban Service Area. However, this lack of sewer availability has since evolved since 2020. Therefore, the City proposes to amend approximately 175 acres of land from "Urban Reserve Beyond 2050" to "Near Term Urban Expansion".

The 175 acres in question are located adjacent to City limits, are within the City's Urban Service Area, and can readily be served by City sanitary sewer. Because of this, the 175 acres are more aligned with the Near-Term Urban Expansion designation, which refers to lands that are located where sanitary sewer is readily available and can support urban-style development. City policy requires that any land proposed to be annexed must be designated as "Near-Term Urban Expansion".

Comprehensive Plan Amendment

Land designated as "Urban Reserve Beyond 2050" often does not have a land use designation in the P2S Comprehensive Plan. Instead, they are designated "Urban Reserve". This designation is meant for areas that should be protected from development that could limit future urban growth. Furthermore, development should be limited in areas where it would require road upgrades before they are planned.

The City proposes to amend approximately 175 acres of land from "Urban Reserve" to "Low Density Residential". The P2S Comprehensive Plan supports this request as the site now abuts urban-style development and would not itself prevent future urban growth. Rather, this area would be the next logical extension of said urban growth. The site also abuts Country Club Road (County Road 34), a major arterial roadway designated by the Rochester-Olmsted Council of Governments' Long Range Transportation Plan.

Annexation Petition

Pulte proposes to annex 120 acres of the 175-acre site. Per Minnesota Statute 414.033, annexations by ordinance requested by private landowners cannot exceed 120 acres of land. All affected landowners must provide their signatures for the petition to be accepted

by the municipality. The properties are in a trust associated with the Nigon family. The petition has been signed by those included in the trust, as they plan to sell their property to Pulte if the requests are approved.

The City of Rochester requires that any land annexed be designated as “Near-Term Urban Expansion”, have a land use designation, and can readily be served by the city's sanitary sewer. These three applications may run concurrently, but must have separate motions, ending with the Annexation Petition, so that all conditions are met.

ZONING SUMMARY TABLE	
Land Use/ Zoning	<p><u>North:</u> The properties to the north of the site are zoned A3 Agriculture (township) and R-2 Single Family Small Lot. The future land use designation of the properties to the north is Low Density Residential.</p> <p><u>South:</u> The properties to the south of the site are zoned R1 Single Family (township) and RA Rural Residential (township) and have the underlying land use of Suburban Development in the Olmsted County General Land Use Plan.</p> <p><u>East:</u> The properties to the east are zoned MX-S Mixed Use Street Oriented, R3 Medium Density Residential, R2 Single Family Small Lot, and R1 Single Family (township). The land use designations to the east include Medium Density Residential, Low Density Residential, and Suburban Development (township).</p> <p><u>West:</u> The properties to the west of the site are zoned A3 Agriculture (township) and RA Rural Residential (township). The underlying land uses include Suburban Development and Resource Protection in the Olmsted County General Land Use Plan.</p>
Streets and Access	<p>The site abuts Country Club Road (County Road 34), which is designated as a major arterial roadway in the ROCOG Long Range Transportation Plan. The site also abuts 45th Ave SW, which is designated as a local street. The current proposal for the site is to gain access from 45th Ave SW. This provides safe access onto a low-speed road with immediate connection to a major roadway that provides easy access to downtown Rochester. A future connection is proposed off 8th St SW to accommodate the second phase of the community. Phase 1 and Phase 2 will be connected via a bridge that spans the floodplain.</p>
Utilities	<p>Pulte has been working actively with RPU and City Public Works to provide city utilities to the site. RPU Electric will provide service as the site develops. RPU Water is working with Pulte to finalize a cost-sharing agreement to extend water mains to 45th Ave SW. City Public Works is generally supportive of a proposed City-led sewer extension project to 45th Ave SW. A scope of services contract for the sewer and water extensions is planned to be brought to Council in September.</p>

Public Facilities	The community proposes private amenities available to residents. These include a large entrance monument, a dramatic hillside climb, open space views, and robust landscaping. An amenity center will be located in the community that includes various recreational and social gathering spaces. Pulte is in active conversations with Rochester Parks and Recreation to determine the best way to achieve the required parkland dedication. This will either be in the form of physical land for a public neighborhood park or cash in lieu of land.
Wetlands/Decorah Edge/Floodplain	The site contains wetlands, floodplain soils, Decorah Edge, and shoreland. The proposed development is outside of the floodway. Any lots proposed in the shoreland buffer will be required to meet the 25% maximum impervious surface requirement. Pulte must obtain a Shoreland Protection Permit to ensure this requirement is met. Pulte has completed wetland delineations and has worked with the Local Government Unit (Olmsted County) to verify their findings. The proposed bridge is required to span the floodway, and piers (small supports) can be placed within the floodway to allow for the construction of the bridge. The DNR will review and approve a “no-rise” certificate as part of the construction plans. The DNR will be heavily involved in the review of this project due to its proximity to a public waterway and will ensure no adverse impacts to the FEMA-regulated floodplain. Lastly, Pulte is required by Minnesota Rules 4110.4300 to conduct an Environmental Assessment Worksheet (EAW) to determine any impact on the environmental features on the site.

APPROVAL CRITERIA

Growth Management Map Amendment & Comprehensive Plan Amendment

1. The proposed GMMA will address a shortage of land designated and available for a proposed type of land use, as evidenced by an objective market analysis with costs covered by the applicant.

The 2020 Maxfield Housing Study stated that the Rochester area will need to produce 18,000 residential housing units in the span of 10 years (2020-2030). The 2025 Maxfield Housing Study maintains that 10-year demand. Specifically, the report states that of those 18,000 units, 4,800 should be new single-family homes. As it appears on paper, the City of Rochester has enough low-density residential land designated on the Future Land Use Map. However, it is important to understand that not all land that is designated is immediately developable. For instance, for land to be developed and annexed, it must

- i. **Be adjacent to Rochester City Limits**
- ii. **Be designated as Near-Term Urban Expansion**

- iii. **Have a designed land use**
- iv. **Have minimal environmentally sensitive features (Decorah Edge, Floodplain, Shoreland, Steep Slopes)**

Other compounding factors include the fact that the City is behind its stated goal for fringe development (new single-family homes) as stated in the P2S Comprehensive Plan, as well as the determination of adequate residential land is based on using the minimum square footage allowed for a lot. Rarely are subdivisions developed that include all lots at the square footage minimum.

As the City invests in extending sanitary sewer service, more land opens up to aid the City in meeting its fringe development growth. This investment provides more options for housing in Rochester, which can lower overall housing costs as supply increases. In particular, this community serves those who are 55 years or older and provides single-level slab-on-grade homes, opening up other single-family homes throughout the City.

2. A technical assessment of the sewage generation characteristics of the proposed development in combination with an assessment of remaining trunkline sewer capacity in the sanitary sewer subdistrict where the development is proposed should be completed to determine the availability of capacity and/or the potential scheduling of improvements to address this potential adequate public facility deficiency.

Pulte has been in active conversations with Rochester Public Works to determine the necessary extensions needed to serve this site. As of now, Rochester Public Works has shown preliminary support for the City-led extension. The land to the west of this site has a significant grade change and steep slopes, which make future development difficult. With the proposed extension, there will be adequate sewer capacity available to serve the proposed development.

3. The impact of a cost to municipal utilities and infrastructure, including but not limited to road and transit infrastructure, sewer, water, and electric infrastructure, parks, etc., as a result of the proposed GMMA has been considered, and the proposed project will not adversely affect these infrastructure systems.

All impacts that may result from this development have been considered. Pulte has been in close contact with Rochester Public Works, Community Development, Rochester Public Utilities, and Rochester Parks and Recreation. The extension of the sanitary sewer

will be City-led, while the main water extension will require a cost-sharing agreement between the developer and RPU Water. All costs associated with the extension of electrical services will be handled by the developer. As of now, no future transit stops are planned near this area. The developer has started conversations with Rochester Parks and Rec to determine the best path forward to handle parkland dedication, whether through physical land or cash in lieu.

4. An assessment of natural features on the proposed site has found that the site is suitable for urban development.

The applicant has conducted geotechnical soil borings to determine the extent of Decorah Edge soils, completed a wetland delineation, and has reviewed the FEMA-regulated floodplain and the higher standards implemented by the City of Rochester. The Local Government Unit (Olmsted County) is reviewing the geotechnical borings and wetland delineation. Due to the proximity of the project to a DNR public waterway, the DNR will be heavily involved with the review of this project to ensure compliance with state and federal regulations. Lastly, the project triggers the need for an Environmental Assessment Worksheet (EAW), which will add another layer of environmental analysis for the site to determine any negative impacts.

5. The proposed GMMA will not adversely affect the supply of land designated for the type of land use the area in question is currently planned for.

The 175 acres of land that are proposed to be redesignated currently do not have an assigned future land use. The site is designated as Urban Reserve, which acts as a “hold” until a land use is designated. There will not be a shortage of this land use.

6. The proposed Future Land Use Map amendment is consistent with and will help further the Vision, Principles, and Goals of the P2S 2040 Comprehensive Plan and

- a. Will not compromise the direction of the plan to create an integrated land use and transportation vision.

The intended single-family development is consistent with the direction to create an integrated land use and transportation vision.

- b. Will not compromise the strategies identified in the plan to implement the Primary Transit Network or the anticipated phasing of the PTN identified in the plan.

The subject amendment does not compromise any strategies to implement the Primary Transit Network. While the intent is to build single-family residential housing, the area in question will remain low-density residential in the future, with no intent of pulling higher-density development away from the Primary Transit Network.

- c. The development characteristics of uses in the proposed land use plan category, as described in Tables 2-8 through 2-12, are compatible with surrounding land use classifications.

The proposed Low Density Residential land use classification of the site is an appropriate land use classification that will provide a transitional buffer between the large lot subdivisions to the south and higher intensity uses to the east, which include a mixture of Medium Density Residential and Mixed-Use Transit Supportive Corridors.

- d. The locational characteristics and transportation features of the site are consistent with the locational and transportation factors described in Tables 2-8 through 2-12 for the proposed land use.
- **Table 2-8: Non-Residential Categories: There are no non-residential uses planned for the site, such as commercial or industrial.**
 - **Table 2-9: Community Anchor Areas: There are no community anchor areas planned on the site. The proposal is to construct low-density housing that is compatible with the existing land use.**
 - **Table 2-10: Preservation Categories: The existing land use is compatible with the adjacent land use of medium-density residential to the east, the agricultural land to the west, and the large lot subdivisions to the south.**
 - **Table 2-11: The future land use-Place Type Matrix. Neighborhood Developing Areas and Low-Density Districts have the greatest level of compatibility per the matrix.**
 - **Table 2-12: Top Origins into Rochester: The site is along Country Club Road (County Road 34). This roadway may act as an alternative route for visitors and employees from the City of Byron. However, a more common route for these drivers to take is Highway 14 E, as it allows for higher speed traffic.**
7. The proposed amendment is consistent with community goals and policies as expressed in the City's adopted Plans.

The proposed amendment is consistent with community goals and policies as expressed in the City's adopted plans.

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Annexation Petition

- 1. The annexation of land is consistent with the adopted Comprehensive Plan regarding areas for future growth and development of the City.**

The annexation of land is consistent with the adopted Comprehensive Plan. The P2S Comprehensive Plan prioritizes a strategic approach to growth. This requires annexed land to be designated as “Near Term Urban Expansion” on the City’s Growth Management Map. This ensures the site has readily available access to City services such as sanitary sewer, water, electricity, and roadways. This strategy prevents urban sprawl by preventing development from occurring where these services are not available or are inadequate.

2. The proposed annexation of land is able to be served by existing City infrastructure and services, or through future expansions of infrastructure and services included in approved City plans or policies, or the applicant has agreed to pay for required expansions of City infrastructure and services on terms acceptable to the City.

Adequate services will be available at the time of development. City services are proposed to be extended to the site. A City-led project to extend the sanitary sewer to 45th Ave SW is underway. The extension of water services will require a cost-sharing agreement between the developer and RPU Water. Electrical service will be the developer's responsibility as development occurs.

3. The property proposed for annexation is now or is about to become urban or suburban in character.

The site is soon to become urban in character. The subject is adjacent to City limits from the north and east. There are similar developments that exist to the north, northeast, and east of this site.

4. The annexation of land complies with all applicable provisions of Minnesota state law.

The annexation of land complies with all applicable provisions of Minnesota state law.

DEVELOPMENT REVIEW TEAM RECOMMENDATION

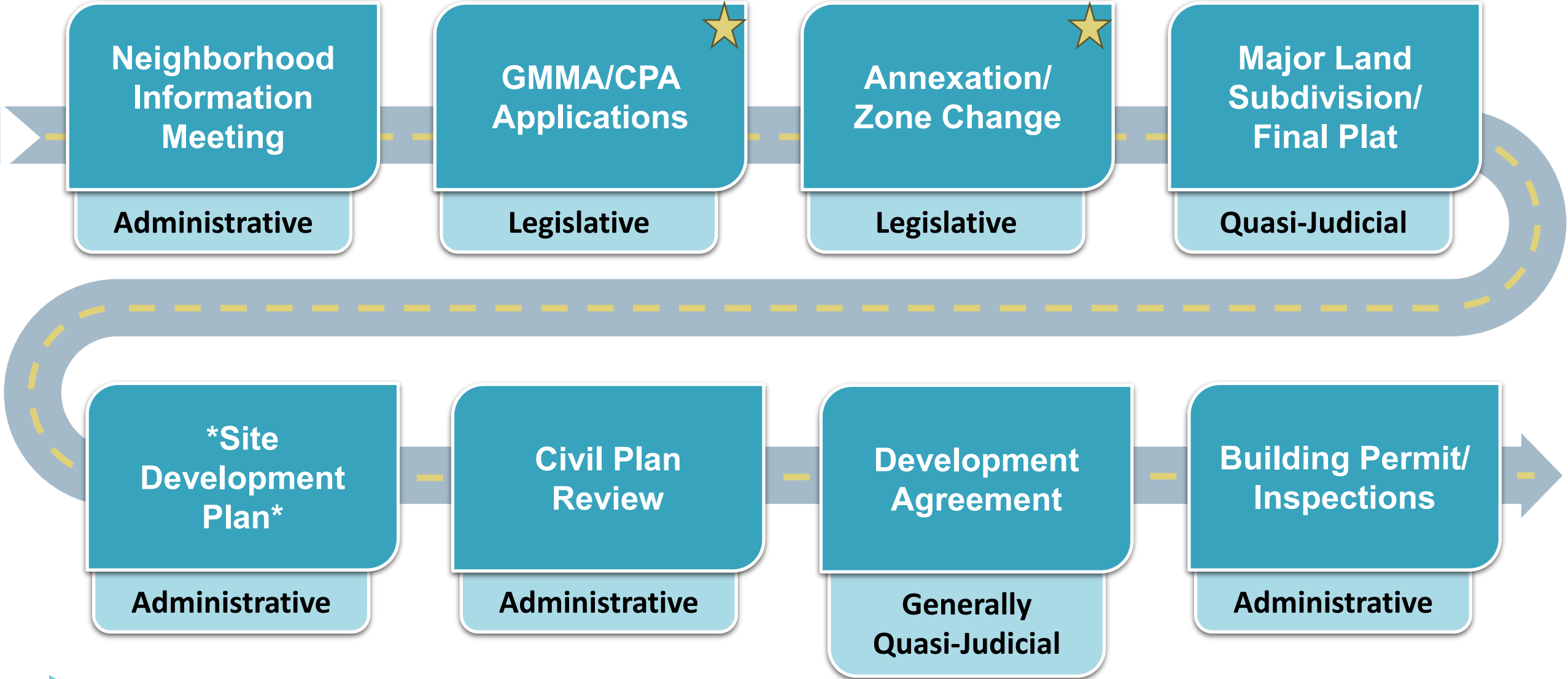
1. The Community Development Team has reviewed this GMMA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Growth Management Map from “*Urban Reserve Beyond 2050*” to “*Near Term Urban Expansion*”.
2. The Community Development Team has reviewed this CPA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Future Land Use Map from “Urban Reserve” to “Low Density Residential”.
3. The Community Development Team has reviewed this Annexation Petition in accordance with the Unified Development Code criteria found in Section 60.500.040C. Community Development has found that all criteria are met to annex the requested 120 acres of land into the Rochester City limits.

The Community Development Team recommends APPROVAL of the subject applications, as outlined in the Commission/Council Summary above.

ATTACHMENTS

1. Development Process
2. Notification Map
3. Site Location Map
4. City of Rochester Narrative
5. Application Exhibits
6. NIM Minutes
7. Review Comments

Pulte GMMA/CPA/ANX



*Project Dependent

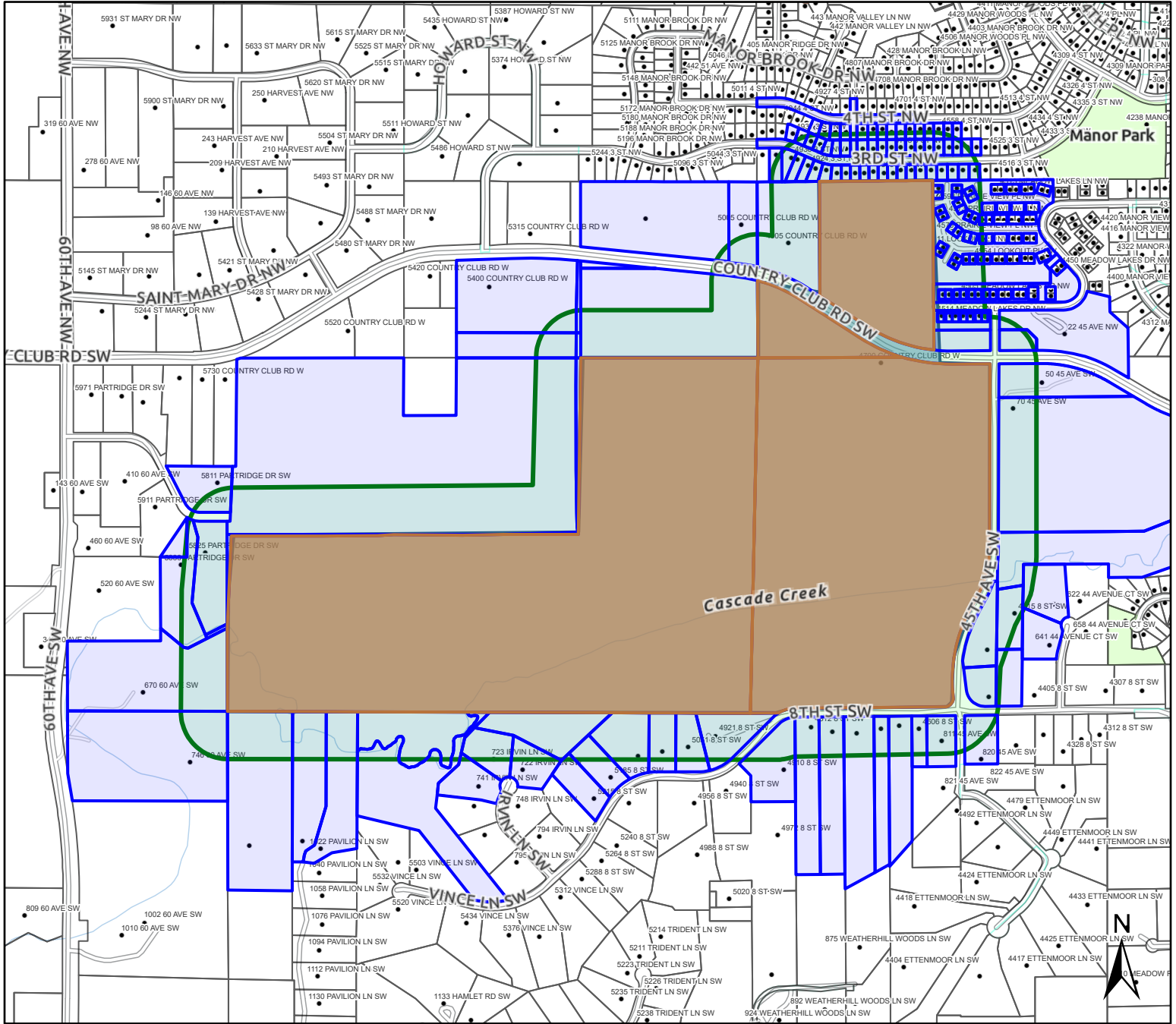


CD2025-002GMMA/CD2025-003CPA

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7/16/2025 Olmsted County Geographic Information Systems

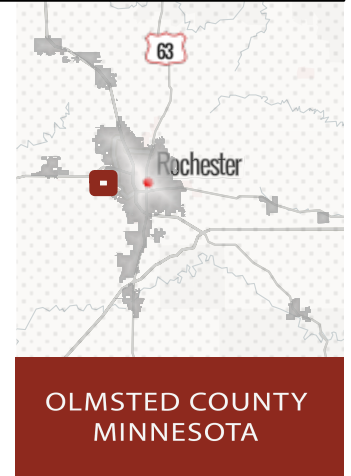
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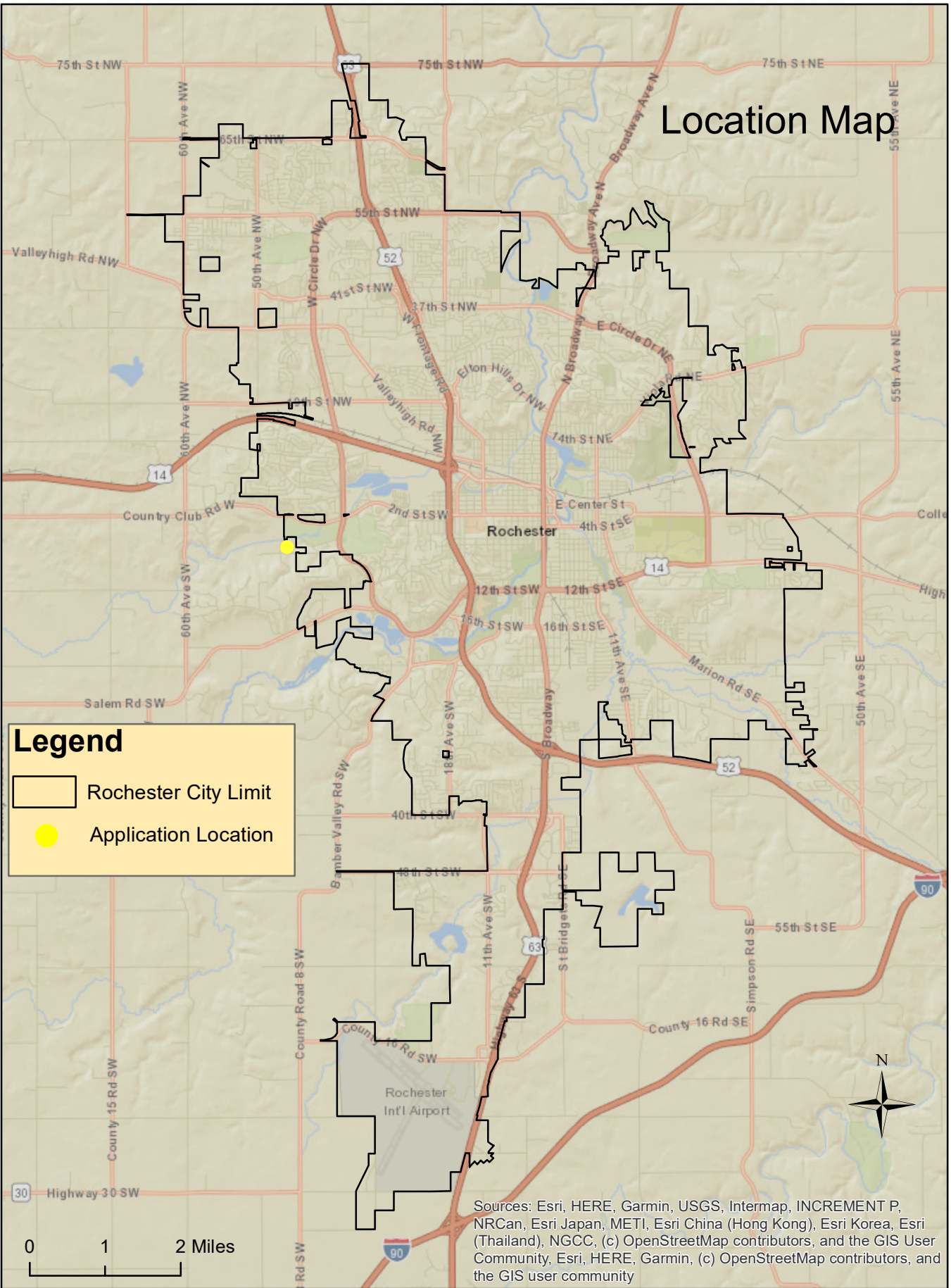
- Site of Interest
- Notification Locations
- Notification Perimeter

Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from "Urban Reserve Area Beyond 2050" to "Near Term Urban Expansion" on the City's Growth Management Map. The site is located southwest of the intersection of Country Club Road and 45th Ave SW. & Comprehensive Plan Amendment #CD2025-003CPA, by the City of Rochester, to change the land use designation of an approximately 175-acre site from Urban Reserve to Low Density Residential. The site is located southwest of the intersection of Country Club Road and 45th Ave SW.

PINs: 041608, 081149, 089159
 Ward 2, Cascade Township, Rochester Township
 The Manor Neighborhood Association
 Notif Area: 350'



Location Map



To: Rochester Planning Commission
From: Elliot Mohler, AICP
Date: August 13, 2025
Re: CD2025-002GMMA, CD2025-003CPA, CD2025-004ANX

The City of Rochester is bringing forward three coordinated requests to support a proposed age-restricted residential development southwest of Country Club Road and 45th Avenue SW. These requested include a City-initiated Growth Management Map Amendment (CD2025-002GMMA) to redesignated 175 acres from “Urban Reserve Beyond 2050” to “Near Term Urban Expansion” and a Comprehensive Plan Amendment (CD2025-003CPA) to redesignated 175 acres from “Urban Reserve” to “Low Density Residential. Concurrently, Pulte Homes of Minnesota LLC is bringing forward an Annexation Petition (CD2025-004ANX) to bring 120 acres of this land into City limits.

The purpose of these requests is to enable the development of approximately 300 single-family homes designed for residents aged 55 and older. The proposal aligns with the City’s P2S Comprehensive Plan goals, helps address a shortage of readily developable residential land, and supports orderly and fiscally responsible growth. Following a detailed review of infrastructure capacity, environmental conditions, and land use compatibility, the Community Development Team recommends approval of all three applications.

This effort reflects the City’s strategic approach to expanding infrastructure and housing choices in line with long-term planning objectives. By enabling a thoughtfully planned, age-targeted community in a location that is now primed for urban services, Rochester continues to advance its goals of housing diversity and sustainable growth.

For a detailed review of these applications, including a list of findings of fact, please refer to the Community Development Memo dated August 13, 2025.

Respectfully submitted,



Elliot Mohler, AICP
Planner
Community Development Department
City of Rochester, MN



Rochester – Del Webb NIMS Minutes

Dean Lotter Presenter

June 10, 2025

Meeting Held June 10, 2025

Start time 5 pm

Adjournment 6:30 pm

Location: People of Hope Church

1. About 25-ish people attended the meeting. Mostly from the township.
2. Concerns over creek meandering and who is leading the project (DNR)
 - a. Concern over the existing project that was done to the east. Public stated there is more flooding now and there was a loss of wildlife and trees because of project.
 - b. Are you widening and making deeper?
 - c. Lotter explained the creek rehabilitation project as he understood it and also talked about how the storm water management system created in our developments addresses rate and volume controls to improve storm water management overall.
3. Will there be stormwater ponding onsite? Will flooding increase? – Hot topic
 - a. The stormwater management system of the development was discussed and it was emphasized that engineered stormwater systems improve stormwater management when compared to undeveloped land.
4. How many points of access?
5. All single family?
 - a. The site plan was reviewed to discuss points of access and the type of development that was being proposed.
6. Who have we talked to at the city?
7. What areas are being annexed? – Hot topic
 - a. Will other neighbors be forced to annex?
 - b. Lotter explained what acreage was being annexed. Most in attendance seemed concerned that the City was considering annexing their land. It was made clear during the presentation that annexation of the Nigon site was occurring because we as the applicant and the Nigon family had signed a petition and requested the annexation.
8. Will the site have city sewer?
 - a. If bring sewer across 45th St will road access be cut off and for how long?

- b. Lotter stated that any disruptions to local road service would be noticed in advance, however the utility extension work had not yet been designed and therefore it wasn't known if 45th would be trench cut or direction drilled. This item was TBD.
- 9. How many homes? Will you expand?
 - a. Lotter responded that the proposal was for approximately 323 single family homes.
- 10. Phasing or build all at once?
 - a. It was explained that the project was take years to build out.
- 11. Have you begun EAW? What is an EAW?
 - a. Lotter discussed the EAW process and what it was.
- 12. Will Country Club require road improvements? Traffic control at 45th and Country Club?
 - a. Lotter explained that a traffic impact report or analysis would be completed as part of any EAW and it would help identify what if any road improvements would be necessary.
- 13. Does Pulte own Meadow Lakes to the east? No.
 - a. How many access points on 45th with this development? Full intersection?
 - b. Lotter reviewed the site plan showing one access on 45th Avenue and one on 8th Street.

Agency Review Comments

Application No: CD2025-003CPA

7/16/2025 **Building Plan Review**

7/16/2025 **County GIS/E911**

There are no comments at this time from the E911 Addressing Division Staff.

8/1/2025 **County Public Works**

er previous discussions with the developer, Olmsted County is planning to reconstruct CSAH 34 (County Club Road W) and additional right of way will be required that will likely affect the proposed layout. A pedestrian trail is likely needed along CSAH 34. Work with Olmsted County on the required right of way needed for the future project. A traffic impact report is required to determine any mitigation or conditions required for the proposal. Olmsted County will review the provided Nigon Property - Engineer Road Connectivity Opinion and provided comments.

7/16/2025 **Fire Review**

7/28/2025 **LGU**

Wetland delineation R2025-009WET has been submitted for review and the Decorah Edge study is in progress. We will be on site 7/31 for a portion of the Decorah Edge study. The latest site plan appears to have been adjusted to avoid the Decorah that they are aware of.

7/18/2025 **Park and Rec Review**

There are no comments from this agency at this time.

7/29/2025 **Public Works Review**

There are no comments from this agency at this time.

7/24/2025 **RPU Electric Review**

There are no comments from this agency at this time.

7/16/2025 **RPU Water Review**

RPU Water Dept. has no comments on this CPA application. However, please see RPU Water Dept.'s comments and informational letters for both the Annexation and General Development Plan applications for this parcel.



REQUEST FOR ACTION

Annexation Petition No. CD2025-004ANX, by Pulte Homes of Minnesota LLC

MEETING DATE:

August 13, 2025

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Public Hearings

PRESENTER:

Elliot Mohler

Action Requested:

Forwarding a recommendation to the Council approving Annexation Petition No. CD2025-004ANX, by Pulte Homes of Minnesota LLC

Report Narrative:

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Per Minnesota Administrative Rules 4410.4300, any project that proposes 250 unattached units or 375 attached units in a city not located within the seven-county Twin Cities metropolitan area that has filed with the EQB chair a certification that it has adopted an approved comprehensive plan is subject to an Environmental Assessment Worksheet (EAW). The EAW will provide a brief analysis and overview of the potential environmental impacts of the project and consists of a standard list of 31 questions. If the GMMA, CPA, and Annexation requests are approved, the developer will work with City teammates to begin the EAW process with the Environmental Quality Board (EQB). City teammates have been working closely with Cascade and Rochester townships to execute a Joint Powers Agreement for the administration of the EAW. These JPAs will delegate authority to the City of Rochester to lead the EAW process while keeping the townships closely involved and informed.

Pulte proposes to annex 120 acres of the 175-acre site. Per Minnesota Statute 414.033, annexations by ordinance requested by private landowners cannot exceed 120 acres of land. All affected landowners must provide their signatures for the petition to be accepted by the municipality. The properties are in a trust associated with the Nigon family. The petition has been signed by those included in the trust, as they plan to sell their property to Pulte if the requests are approved.

The City of Rochester requires that any land annexed be designated as “Near-Term Urban Expansion”, have a land use designation, and can readily be served by the city's sanitary sewer. These three applications may run concurrently, but must have separate motions, ending with the Annexation Petition, so that all conditions are met.

The Development Review Team recommends approval of Annexation Petition No. CD2025-0004ANX.

Priorities & Foundational Principles:

Fiscal Responsibility & Sustainability
Inclusive Growth Management

Policy Considerations & DEI Impact:

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Prior Legislative Actions & Community Engagement:

June 10, 2025: Neighborhood Information Meeting
August 1, 2025: Community Development - Public hearing notices sent
August 2, 2025: Post Bulletin - Public Notice published

Fiscal & Resource Impact:

All development costs associated with the project are the responsibility of the developer, except for the proposed cost-sharing agreement for a water main extension with RPU Water and the City-led sanitary sewer extension.

Alternative Action(s):

No alternative actions are recommended at this time.

Prepared By:

Elliot Mohler

Attachments:

[Community Development Memo - CD2025-004ANX Pulte Homes of Minnesota](#)
[Development Process - CD2025-004ANX Pulte Homes of Minnesota](#)

[Notification Map - CD2025-004ANX Pulte Homes of Minnesota](#)
[Site Location Map - CD2025-004ANX Pulte Homes of Minnesota](#)
[Applicant Narrative - CD2025-004ANX Pulte Homes of Minnesota](#)
[NIM Minutes - CD2025-004ANX Pulte Homes of Minnesota](#)
[Review Comments - CD2025-004ANX Pulte Homes of Minnesota](#)

Rochester Planning Commission**August 13, 2025****Prepared By:** Rochester Community Development Department

Request:

1. Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from “Urban Reserve Beyond 2050” to “Near Term Urban Expansion” on the City’s Growth Management Map.
2. Comprehensive Plan Amendment CD2025-003CPA, by the City of Rochester, to change the land use designation of approximately 175 acres from “Urban Reserve” to “Low-Density Residential”.
3. Annexation Petition CD2025-004ANX, by Pulte Homes of Minnesota LLC, to incorporate approximately 120 acres of land into the Rochester City Limits.

Location: The site is located southwest of the intersection of Country Club Rd and 45th Ave SW.

Applicant: City of Rochester, Pulte Homes of Minnesota LLC

Consultant: Alliant Engineering

PLANNING COMMISSION / CITY COUNCIL SUMMARY

Application Type: Growth Management Map Amendment (GMMA)

What is Considered: The Growth Management Map was established as part of the City of Rochester’s Comprehensive Plan in 2018. The plan outlines a strategic growth policy to guide development through 2050. In November 2021, the Growth Management Map Amendment Policy was adopted as a tool for owners to seek amendments to the Growth Management Map outside of the regular Comprehensive Plan updates.

During the GMMA review, the Planning Commission and City Council consider unanticipated shortages of a specific land use category, land use and transportation integration strategies, utility and transit infrastructure costs, urban development suitability, impacts on the existing land supply and municipal costs incurred by servicing redesignated properties upon annexation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Comprehensive Plan Amendment (CPA)

What is Considered: The P2S Comprehensive Plan, Section 4, provides the applicable criteria to be considered by the Commission and Council when evaluating a land use amendment. Consideration shall be provided to issues such as whether a proposed change addresses an unanticipated shortage of a particular land use, land use and transportation strategies, utility and transit infrastructure costs of the potential change, urban development suitability of the property when considering natural features and constraints, and impact on the existing land supply under the current designation.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

Application Type: Annexation Petition

What is Considered: Annexation is the process by which unincorporated lands are brought into a municipal boundary. The municipality annexing must be able to adequately serve the newly added land with city services and infrastructure, such as water and sanitary sewer. Amendments to the boundaries of corporate and extraterritorial limits shall be adopted as provided by Minnesota Statutes.

During the review of an Annexation request, both the Commission and Council must determine whether the request meets the criteria set in the Unified Development Code Section 60.500.040C. These include compatibility with adjacent land uses, the ability for the City to serve the newly annexed properties with city services, and whether the newly annexed land is appropriate for suburban or urban-style development.

Approval Body: Rochester City Council

Development Review Team Recommendation: Approval

PROJECT SUMMARY

Background

The City of Rochester seeks to amend the City's Growth Management Map and the P2S Comprehensive Plan Map. Pulte Homes of Minnesota LLC (herein "Pulte") is requesting annexation of the property located southwest of the intersection of Country Club Road and 45th Ave SW.

These requests will help facilitate a residential housing development led by Pulte that is geared towards the 55+ community. This community will offer a range of housing options and private amenities for its residents. The current proposal shows approximately 300 single-family homes. The developer has completed geotechnical borings, wetland delineations, and currently has a Decorah Edge study in process.

Pulte has a General Development Plan under review with the Community Development Department. The concept plan can be found within the narrative provided in the application review packet. General Development Plans are reviewed and approved administratively and do not require the encompassed land to be within City limits.

Per Minnesota Administrative Rules 4410.4300, any project that proposes 250 unattached units or 375 attached units in a city not located within the seven-county Twin Cities metropolitan area that has filed with the EQB chair a certification that it has adopted an approved comprehensive plan is subject to an Environmental Assessment Worksheet (EAW). The EAW will provide a brief analysis and overview of the potential environmental impacts of the project and consists of a standard list of 31 questions. If the GMMA, CPA, and Annexation requests are approved, the developer will work with City teammates to begin the EAW process with the Environmental Quality Board (EQB). City teammates have been working closely with Cascade and Rochester townships to execute a Joint Powers Agreement for administration of the EAW. These JPAs will delegate authority to the City of Rochester to lead the EAW process while keeping the townships closely involved and informed.

Growth Management Map Amendment

Upon the adoption of the City's Master Sewer Plan in 2020, this site was designated as "Urban Reserve Beyond 2050" due to the lack of nearby sanitary sewer. The Urban Reserve Beyond 2050 designation includes land that the City plans to serve with sanitary sewer after 2050. This area serves as a secondary reserve for growth if the City grows faster than expected. Most notably, this designation is primarily for lands that fall outside of the City's immediate Urban Service Area. However, this lack of sewer availability has since evolved since 2020. Therefore, the City proposes to amend approximately 175 acres of land from "Urban Reserve Beyond 2050" to "Near Term Urban Expansion".

The 175 acres in question are located adjacent to City limits, are within the City's Urban Service Area, and can readily be served by City sanitary sewer. Because of this, the 175 acres are more aligned with the Near-Term Urban Expansion designation, which refers to lands that are located where sanitary sewer is readily available and can support urban-style development. City policy requires that any land proposed to be annexed must be designated as "Near-Term Urban Expansion".

Comprehensive Plan Amendment

Land designated as "Urban Reserve Beyond 2050" often does not have a land use designation in the P2S Comprehensive Plan. Instead, they are designated "Urban Reserve". This designation is meant for areas that should be protected from development that could limit future urban growth. Furthermore, development should be limited in areas where it would require road upgrades before they are planned.

The City proposes to amend approximately 175 acres of land from "Urban Reserve" to "Low Density Residential". The P2S Comprehensive Plan supports this request as the site now abuts urban-style development and would not itself prevent future urban growth. Rather, this area would be the next logical extension of said urban growth. The site also abuts Country Club Road (County Road 34), a major arterial roadway designated by the Rochester-Olmsted Council of Governments' Long Range Transportation Plan.

Annexation Petition

Pulte proposes to annex 120 acres of the 175-acre site. Per Minnesota Statute 414.033, annexations by ordinance requested by private landowners cannot exceed 120 acres of land. All affected landowners must provide their signatures for the petition to be accepted

by the municipality. The properties are in a trust associated with the Nigon family. The petition has been signed by those included in the trust, as they plan to sell their property to Pulte if the requests are approved.

The City of Rochester requires that any land annexed be designated as “Near-Term Urban Expansion”, have a land use designation, and can readily be served by the city's sanitary sewer. These three applications may run concurrently, but must have separate motions, ending with the Annexation Petition, so that all conditions are met.

ZONING SUMMARY TABLE	
Land Use/ Zoning	<p><u>North:</u> The properties to the north of the site are zoned A3 Agriculture (township) and R-2 Single Family Small Lot. The future land use designation of the properties to the north is Low Density Residential.</p> <p><u>South:</u> The properties to the south of the site are zoned R1 Single Family (township) and RA Rural Residential (township) and have the underlying land use of Suburban Development in the Olmsted County General Land Use Plan.</p> <p><u>East:</u> The properties to the east are zoned MX-S Mixed Use Street Oriented, R3 Medium Density Residential, R2 Single Family Small Lot, and R1 Single Family (township). The land use designations to the east include Medium Density Residential, Low Density Residential, and Suburban Development (township).</p> <p><u>West:</u> The properties to the west of the site are zoned A3 Agriculture (township) and RA Rural Residential (township). The underlying land uses include Suburban Development and Resource Protection in the Olmsted County General Land Use Plan.</p>
Streets and Access	<p>The site abuts Country Club Road (County Road 34), which is designated as a major arterial roadway in the ROCOG Long Range Transportation Plan. The site also abuts 45th Ave SW, which is designated as a local street. The current proposal for the site is to gain access from 45th Ave SW. This provides safe access onto a low-speed road with immediate connection to a major roadway that provides easy access to downtown Rochester. A future connection is proposed off 8th St SW to accommodate the second phase of the community. Phase 1 and Phase 2 will be connected via a bridge that spans the floodplain.</p>
Utilities	<p>Pulte has been working actively with RPU and City Public Works to provide city utilities to the site. RPU Electric will provide service as the site develops. RPU Water is working with Pulte to finalize a cost-sharing agreement to extend water mains to 45th Ave SW. City Public Works is generally supportive of a proposed City-led sewer extension project to 45th Ave SW. A scope of services contract for the sewer and water extensions is planned to be brought to Council in September.</p>

Public Facilities	The community proposes private amenities available to residents. These include a large entrance monument, a dramatic hillside climb, open space views, and robust landscaping. An amenity center will be located in the community that includes various recreational and social gathering spaces. Pulte is in active conversations with Rochester Parks and Recreation to determine the best way to achieve the required parkland dedication. This will either be in the form of physical land for a public neighborhood park or cash in lieu of land.
Wetlands/Decorah Edge/Floodplain	The site contains wetlands, floodplain soils, Decorah Edge, and shoreland. The proposed development is outside of the floodway. Any lots proposed in the shoreland buffer will be required to meet the 25% maximum impervious surface requirement. Pulte must obtain a Shoreland Protection Permit to ensure this requirement is met. Pulte has completed wetland delineations and has worked with the Local Government Unit (Olmsted County) to verify their findings. The proposed bridge is required to span the floodway, and piers (small supports) can be placed within the floodway to allow for the construction of the bridge. The DNR will review and approve a “no-rise” certificate as part of the construction plans. The DNR will be heavily involved in the review of this project due to its proximity to a public waterway and will ensure no adverse impacts to the FEMA-regulated floodplain. Lastly, Pulte is required by Minnesota Rules 4110.4300 to conduct an Environmental Assessment Worksheet (EAW) to determine any impact on the environmental features on the site.

APPROVAL CRITERIA

Growth Management Map Amendment & Comprehensive Plan Amendment

1. The proposed GMMA will address a shortage of land designated and available for a proposed type of land use, as evidenced by an objective market analysis with costs covered by the applicant.

The 2020 Maxfield Housing Study stated that the Rochester area will need to produce 18,000 residential housing units in the span of 10 years (2020-2030). The 2025 Maxfield Housing Study maintains that 10-year demand. Specifically, the report states that of those 18,000 units, 4,800 should be new single-family homes. As it appears on paper, the City of Rochester has enough low-density residential land designated on the Future Land Use Map. However, it is important to understand that not all land that is designated is immediately developable. For instance, for land to be developed and annexed, it must

- i. Be adjacent to Rochester City Limits**
- ii. Be designated as Near-Term Urban Expansion**

- iii. **Have a designed land use**
- iv. **Have minimal environmentally sensitive features (Decorah Edge, Floodplain, Shoreland, Steep Slopes)**

Other compounding factors include the fact that the City is behind its stated goal for fringe development (new single-family homes) as stated in the P2S Comprehensive Plan, as well as the determination of adequate residential land is based on using the minimum square footage allowed for a lot. Rarely are subdivisions developed that include all lots at the square footage minimum.

As the City invests in extending sanitary sewer service, more land opens up to aid the City in meeting its fringe development growth. This investment provides more options for housing in Rochester, which can lower overall housing costs as supply increases. In particular, this community serves those who are 55 years or older and provides single-level slab-on-grade homes, opening up other single-family homes throughout the City.

2. A technical assessment of the sewage generation characteristics of the proposed development in combination with an assessment of remaining trunkline sewer capacity in the sanitary sewer subdistrict where the development is proposed should be completed to determine the availability of capacity and/or the potential scheduling of improvements to address this potential adequate public facility deficiency.

Pulte has been in active conversations with Rochester Public Works to determine the necessary extensions needed to serve this site. As of now, Rochester Public Works has shown preliminary support for the City-led extension. The land to the west of this site has a significant grade change and steep slopes, which make future development difficult. With the proposed extension, there will be adequate sewer capacity available to serve the proposed development.

3. The impact of a cost to municipal utilities and infrastructure, including but not limited to road and transit infrastructure, sewer, water, and electric infrastructure, parks, etc., as a result of the proposed GMMA has been considered, and the proposed project will not adversely affect these infrastructure systems.

All impacts that may result from this development have been considered. Pulte has been in close contact with Rochester Public Works, Community Development, Rochester Public Utilities, and Rochester Parks and Recreation. The extension of the sanitary sewer

will be City-led, while the main water extension will require a cost-sharing agreement between the developer and RPU Water. All costs associated with the extension of electrical services will be handled by the developer. As of now, no future transit stops are planned near this area. The developer has started conversations with Rochester Parks and Rec to determine the best path forward to handle parkland dedication, whether through physical land or cash in lieu.

4. An assessment of natural features on the proposed site has found that the site is suitable for urban development.

The applicant has conducted geotechnical soil borings to determine the extent of Decorah Edge soils, completed a wetland delineation, and has reviewed the FEMA-regulated floodplain and the higher standards implemented by the City of Rochester. The Local Government Unit (Olmsted County) is reviewing the geotechnical borings and wetland delineation. Due to the proximity of the project to a DNR public waterway, the DNR will be heavily involved with the review of this project to ensure compliance with state and federal regulations. Lastly, the project triggers the need for an Environmental Assessment Worksheet (EAW), which will add another layer of environmental analysis for the site to determine any negative impacts.

5. The proposed GMMA will not adversely affect the supply of land designated for the type of land use the area in question is currently planned for.

The 175 acres of land that are proposed to be redesignated currently do not have an assigned future land use. The site is designated as Urban Reserve, which acts as a “hold” until a land use is designated. There will not be a shortage of this land use.

6. The proposed Future Land Use Map amendment is consistent with and will help further the Vision, Principles, and Goals of the P2S 2040 Comprehensive Plan and

- a. Will not compromise the direction of the plan to create an integrated land use and transportation vision.

The intended single-family development is consistent with the direction to create an integrated land use and transportation vision.

- b. Will not compromise the strategies identified in the plan to implement the Primary Transit Network or the anticipated phasing of the PTN identified in the plan.

The subject amendment does not compromise any strategies to implement the Primary Transit Network. While the intent is to build single-family residential housing, the area in question will remain low-density residential in the future, with no intent of pulling higher-density development away from the Primary Transit Network.

- c. The development characteristics of uses in the proposed land use plan category, as described in Tables 2-8 through 2-12, are compatible with surrounding land use classifications.

The proposed Low Density Residential land use classification of the site is an appropriate land use classification that will provide a transitional buffer between the large lot subdivisions to the south and higher intensity uses to the east, which include a mixture of Medium Density Residential and Mixed-Use Transit Supportive Corridors.

- d. The locational characteristics and transportation features of the site are consistent with the locational and transportation factors described in Tables 2-8 through 2-12 for the proposed land use.
- **Table 2-8: Non-Residential Categories: There are no non-residential uses planned for the site, such as commercial or industrial.**
 - **Table 2-9: Community Anchor Areas: There are no community anchor areas planned on the site. The proposal is to construct low-density housing that is compatible with the existing land use.**
 - **Table 2-10: Preservation Categories: The existing land use is compatible with the adjacent land use of medium-density residential to the east, the agricultural land to the west, and the large lot subdivisions to the south.**
 - **Table 2-11: The future land use-Place Type Matrix. Neighborhood Developing Areas and Low-Density Districts have the greatest level of compatibility per the matrix.**
 - **Table 2-12: Top Origins into Rochester: The site is along Country Club Road (County Road 34). This roadway may act as an alternative route for visitors and employees from the City of Byron. However, a more common route for these drivers to take is Highway 14 E, as it allows for higher speed traffic.**
7. The proposed amendment is consistent with community goals and policies as expressed in the City's adopted Plans.

The proposed amendment is consistent with community goals and policies as expressed in the City's adopted plans.

The P2S Comprehensive Plan prioritizes a strategic, phased approach to growth, directing new development to areas where infrastructure can be readily extended in a fiscally responsible manner. The site abuts City limits, and extension of services will be shared between the developer and the City. Because of this, the site is no longer consistent with the “Urban Reserve Beyond 2050” designation and should be amended to “Near-Term Urban Expansion”. Due to significant grade changes to the west development, past this site may not be suitable.

The Comprehensive Plan identifies the need for a diversity of housing options, sizes, and prices to serve different demographics, including families, seniors, and single-person households. The 2025 Maxfield Study points out that single-family homes continue to meet strong market demand, with Rochester needing to provide at least 4,800 single-family homes by 2030. Furthermore, with Mayo Clinic’s Bold. Forward. Unbound. in Rochester initiative, future growth may continue to outpace housing production. The proposed development will assist in the City meeting this goal.

Housing turnover is imperative to a healthy housing market. Age-restricted communities provide aging residents with single-story and low-maintenance housing in a livable community. With many aging adults choosing to downsize, larger homes become available for younger families to move into. Most often, this creates a cascading effect that may open up starter homes to first-time buyers.

Annexation Petition

- 1. The annexation of land is consistent with the adopted Comprehensive Plan regarding areas for future growth and development of the City.**

The annexation of land is consistent with the adopted Comprehensive Plan. The P2S Comprehensive Plan prioritizes a strategic approach to growth. This requires annexed land to be designated as “Near Term Urban Expansion” on the City’s Growth Management Map. This ensures the site has readily available access to City services such as sanitary sewer, water, electricity, and roadways. This strategy prevents urban sprawl by preventing development from occurring where these services are not available or are inadequate.

2. The proposed annexation of land is able to be served by existing City infrastructure and services, or through future expansions of infrastructure and services included in approved City plans or policies, or the applicant has agreed to pay for required expansions of City infrastructure and services on terms acceptable to the City.

Adequate services will be available at the time of development. City services are proposed to be extended to the site. A City-led project to extend the sanitary sewer to 45th Ave SW is underway. The extension of water services will require a cost-sharing agreement between the developer and RPU Water. Electrical service will be the developer's responsibility as development occurs.

3. The property proposed for annexation is now or is about to become urban or suburban in character.

The site is soon to become urban in character. The subject is adjacent to City limits from the north and east. There are similar developments that exist to the north, northeast, and east of this site.

4. The annexation of land complies with all applicable provisions of Minnesota state law.

The annexation of land complies with all applicable provisions of Minnesota state law.

DEVELOPMENT REVIEW TEAM RECOMMENDATION

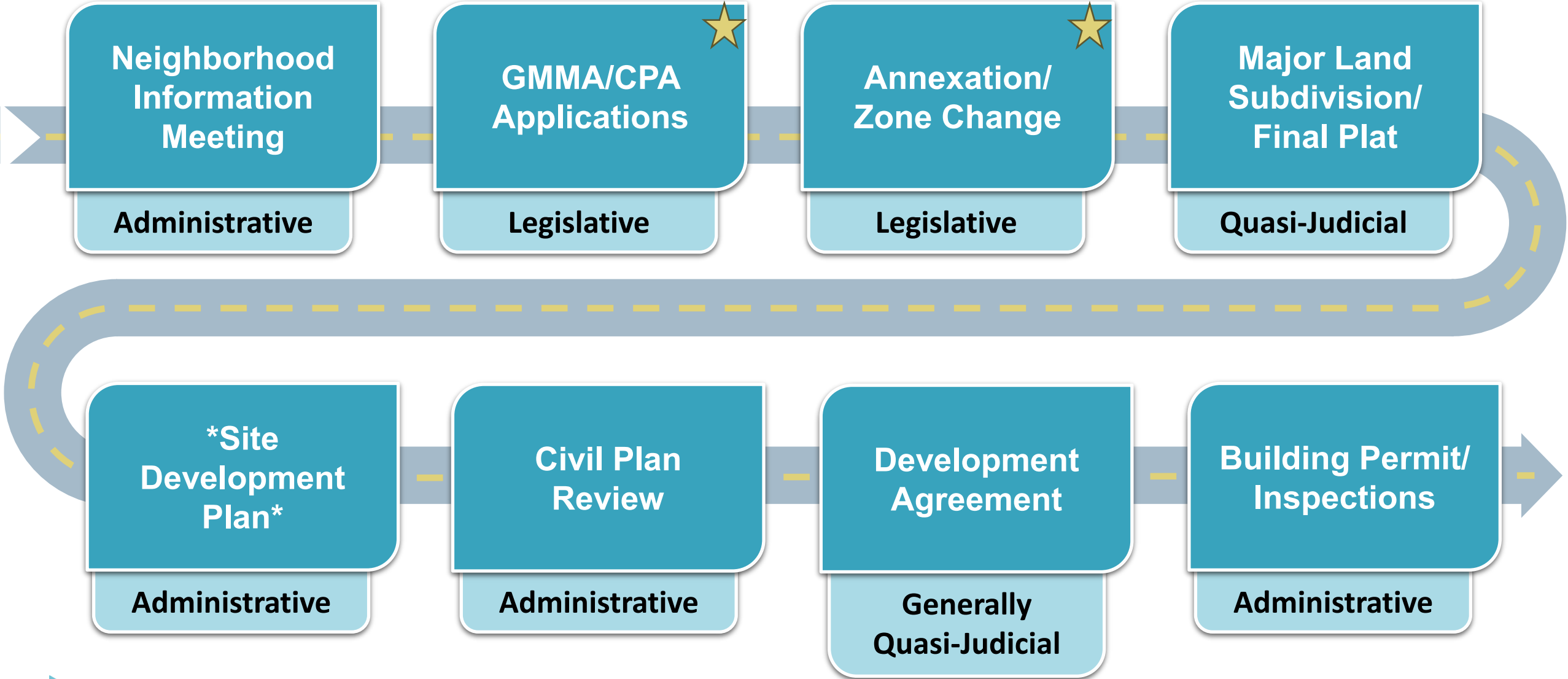
1. The Community Development Team has reviewed this GMMA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Growth Management Map from "*Urban Reserve Beyond 2050*" to "*Near Term Urban Expansion*".
2. The Community Development Team has reviewed this CPA request in accordance with the P2S Comprehensive Plan criteria found in Section 60.500.040B (Growth Management Map Amendment) of the Unified Development Code. Community Development has found that all criteria are met to amend 175 acres of land on the Future Land Use Map from "Urban Reserve" to "Low Density Residential".
3. The Community Development Team has reviewed this Annexation Petition in accordance with the Unified Development Code criteria found in Section 60.500.040C. Community Development has found that all criteria are met to annex the requested 120 acres of land into the Rochester City limits.

The Community Development Team recommends APPROVAL of the subject applications, as outlined in the Commission/Council Summary above.

ATTACHMENTS

1. Development Process
2. Notification Map
3. Site Location Map
4. Applicant Narrative
5. Application Exhibits
6. NIM Minutes
7. Review Comments

Pulte GMMA/CPA/ANX



*Project Dependent

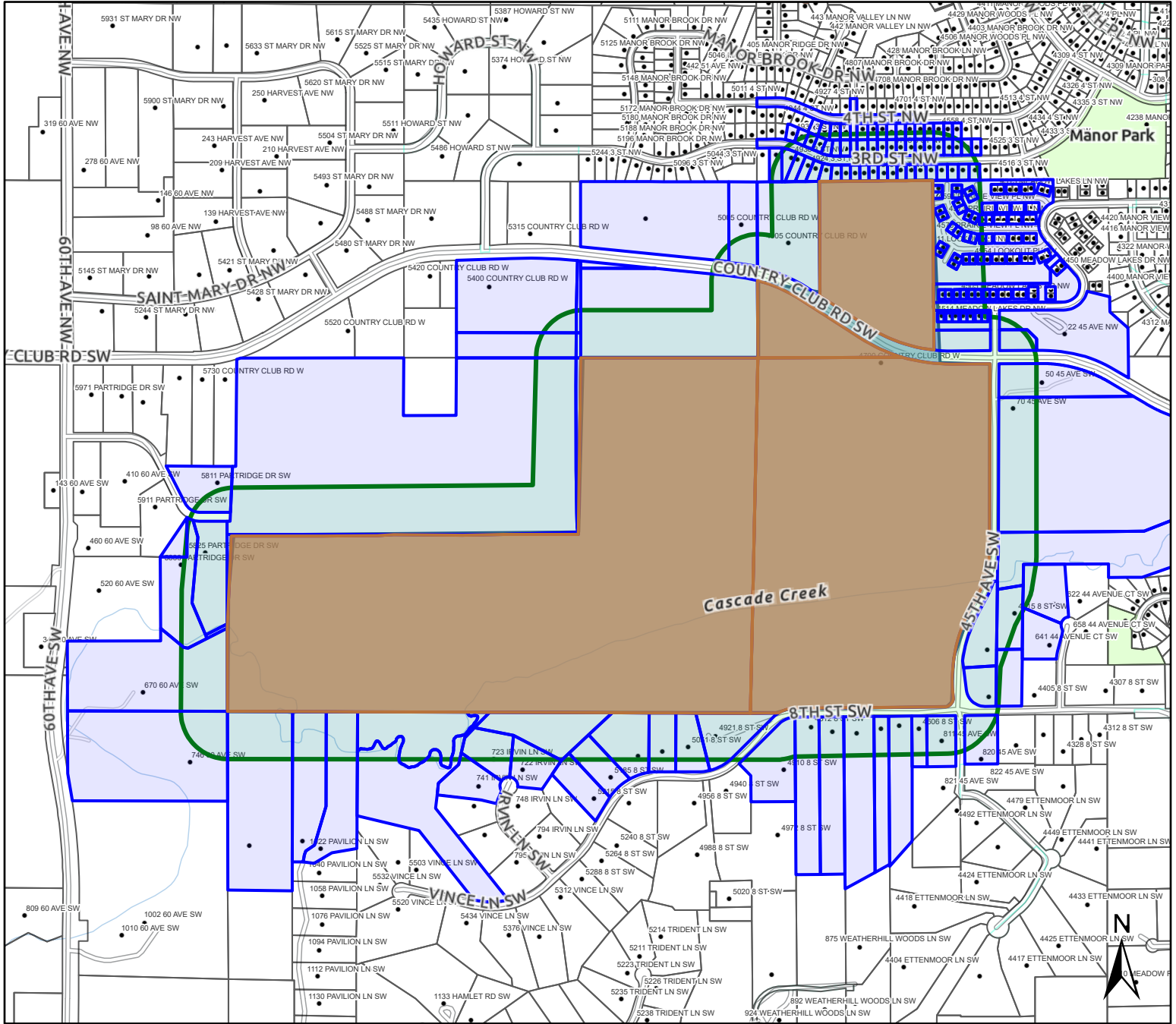


CD2025-002GMMA/CD2025-003CPA

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7/16/2025 Olmsted County Geographic Information Systems

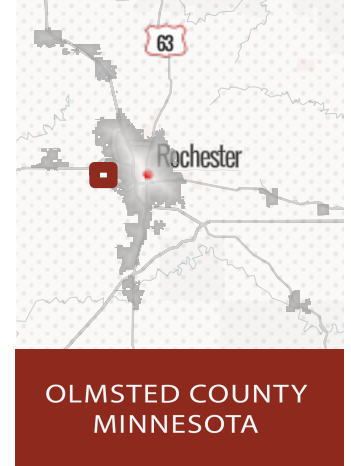
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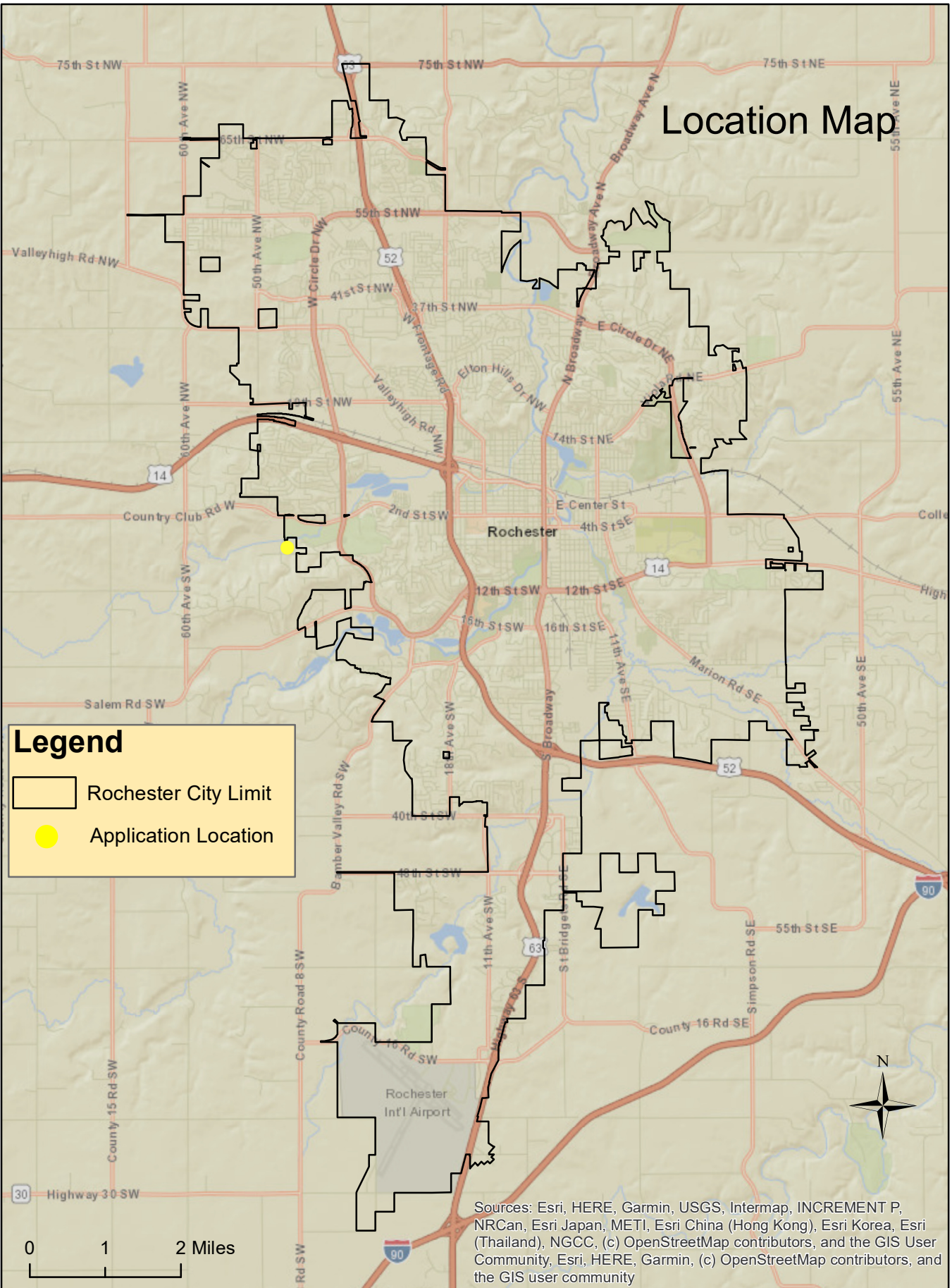
- Site of Interest
- Notification Locations
- Notification Perimeter

Growth Management Map Amendment CD2025-002GMMA, by the City of Rochester, to amend approximately 175 acres from "Urban Reserve Area Beyond 2050" to "Near Term Urban Expansion" on the City's Growth Management Map. The site is located southwest of the intersection of Country Club Road and 45th Ave SW. & Comprehensive Plan Amendment #CD2025-003CPA, by the City of Rochester, to change the land use designation of an approximately 175-acre site from Urban Reserve to Low Density Residential. The site is located southwest of the intersection of Country Club Road and 45th Ave SW.



PINs: 041608, 081149, 089159
 Ward 2, Cascade Township, Rochester Township
 The Manor Neighborhood Association
 Notif Area: 350'



Location Map



Legend

-  Rochester City Limit
-  Application Location

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community



Rochester Nigon

**APPLICATION FOR:
Annexation
General Development Plan
Growth Management Map Amendment**

**ROCHESTER, MINNESOTA
July 9, 2025**

Introduction

Pulte Homes of Minnesota, LLC (“Pulte”) is pleased to be submitting this application.

Our company mission statement is “***Building Incredible Places Where People Can Live Their Dreams.***” We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. The office for Pulte’s Minnesota Division is in Bloomington. We will sell and build over 600 homes in the Twin Cities a year under the Pulte Homes and Del Webb brands. We are now looking to building homes in the Rochester, Minnesota area and we are excited to share more about our proposal with this application.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is:

Dean R. Lotter, Director of Land Planning & Entitlement
1650 West 82nd Street
Suite 300
Bloomington, MN 55431
952-219-9082
Dean.Lotter@PulteGroup.com

The owners of the property:

(1) Ralph and Agnes Family Farm, LLC
Attention: Terrence Nigon, Stephen Nigon, and Rosemary Gundacker
670 60th Avenue
Rochester, MN 55902
Telephone: 507-254-9119
Email: Bernard.Nigon@gmail.com

The planner, surveyor, civil engineer, and landscape architect are:

Alliant Engineering, Attn: Mark Rausch
733 S Marquette Ave, Unit 700
Minneapolis, MN 55402
612-767-9339
mrausch@alliant-inc.com

The Property

Property Identification Number

- (1) 6400522041608
- (2) Portion of 743233081149
- (3) Portion of 640611084153

Key Facts

- Existing zoning undesignated
- Guided zoning Low Density Residential
- Proposed Comp Plan Guidance Low Density Residential
- Proposed zoning R-2
- Proposed use 300 single family homes

- Gross calculations:
 - Gross area 175.88 acres
 - Gross density 1.71 units/acre
 - Net Area ~130 acres
 - Net Density 2.31 units/acre

- Dimensions/Setbacks – 44’/50’/64’ Single-Family Lots
 - Front setback 25 feet
 - Rear setback 25 feet
 - Side setback 5 feet and 5 feet
 - Minimum lot depth 135 feet

Del Webb at Country Club Road

Pulte Group sells homes under the brands Pulte Homes and Del Webb here in Minnesota. Del Webb is a renowned and iconic brand name across the Country that exclusively caters to the “active adult” 55+ demographic. Del Webb neighborhoods are extremely popular and full of amenities. Many of these neighborhood names (ex. Sun City; Anthem) are well known across the country. Although we have developed many Del Webb neighborhoods in northern climates, the first one in Minnesota opened during the summer of 2019. We encourage you to visit Bellwether in the City of Corcoran in the northwest part of the Twin Cities. The attention to detail and the resort-like feel of a Del Webb neighborhood is unparalleled. We opened our second Del Webb neighborhood in Chaska, MN. This neighborhood is named Adelwood. Both of these Del

Webb neighborhoods have been very successful. As we searched for the next place to build a Del Webb neighborhood, the City of Rochester, MN became of interest to us.

Many active adult buyers are searching for a neighborhood with the following attributes: single level homes that are smaller than their current single family homes and have little or no stairs to navigate on a daily basis; homeowner's association yard and snow maintenance to eliminate the headaches and backaches associated with this work and that allows some of them to travel south for the winter; a safe and secure feeling; the attractiveness of a resort; and endless social and recreational opportunities.

Del Webb at Country Club Road incorporates the following intentional design strategies that are highly valued by the active adult buyer:

1. **Entrance experience** – We have arranged for a main entrance to the neighborhood off 45th Avenue which will offer a large monument, a dramatic hillside climb, open space views, and robust landscaping. This is the beginning of the resort-like feel.
2. **Arrival drive** – The arrival drive leads the driver directly from the main entrance through open space views and ends at the amenity center which is the focal point of the neighborhood. The arrival drive consists of a parkway with a wide, heavily landscaped center median and runs past a deep ravine and ponds, providing beautiful, open views. There are no driveways on the parkway, creating a feeling of luxury, beauty, safety, and a welcoming sense of arrival into a special neighborhood.
3. **Amenity center** – This buyer also expects a private amenity center that caters to their recreational and social needs. We have strategically planned the amenity center to be located at a high point overlooking rest of the neighborhood. It will be a beautiful setting for this recreational and social gathering space.
4. **A feeling of security** – We regularly hear from the active adult buyer that they want their neighborhood to feel safe and secure. This is accomplished by a variety of intentional design approaches such as buffer plantings, perimeter decorative fencing in key areas, the parkway arrival drive, and a sidewalk along every street, etc. However, the most impactful attribute that creates a sense of security is the natural location and topography of the land and, while still easily accessible, this neighborhood is a little distance from hustle and bustle of Rochester's downtown.
5. **Single level villa homes** – The active adult buyer commonly wants to move into a single level home (with no or minimal stairs) with homeowner's association-maintained yards/snow removal and social and recreational opportunities. We will be offering homes and a neighborhood that provides these attributes. Buyers will be able to choose from different categories of homes, each providing a different home size, price point, and location/views.

The site we are proposing for this development is owned by the Nigon family and is located just south of Country Club Road and immediately west of 45th Avenue. Initial renderings of our site plan contemplate approximately 300 single family homes. We plan to have trails/sidewalks throughout the development and an amenity center that will serve as the social focal point of the neighborhood. Below is a summary of the lots and homes that we are proposing.

Single Family – 44’ Lots

- Base square footage: 1,222 to 1,500
- Bedrooms: 2
- Bathrooms: 2
- 2-stall garages
- Slab on grade

Single Family – 50’ lots

- Base square footage 1,680 to 1,960
- 2 to 3 bedrooms
- 2 bathrooms
- 2-stall garages
- 50% basement/50% slab

Single Family – 64’ lots

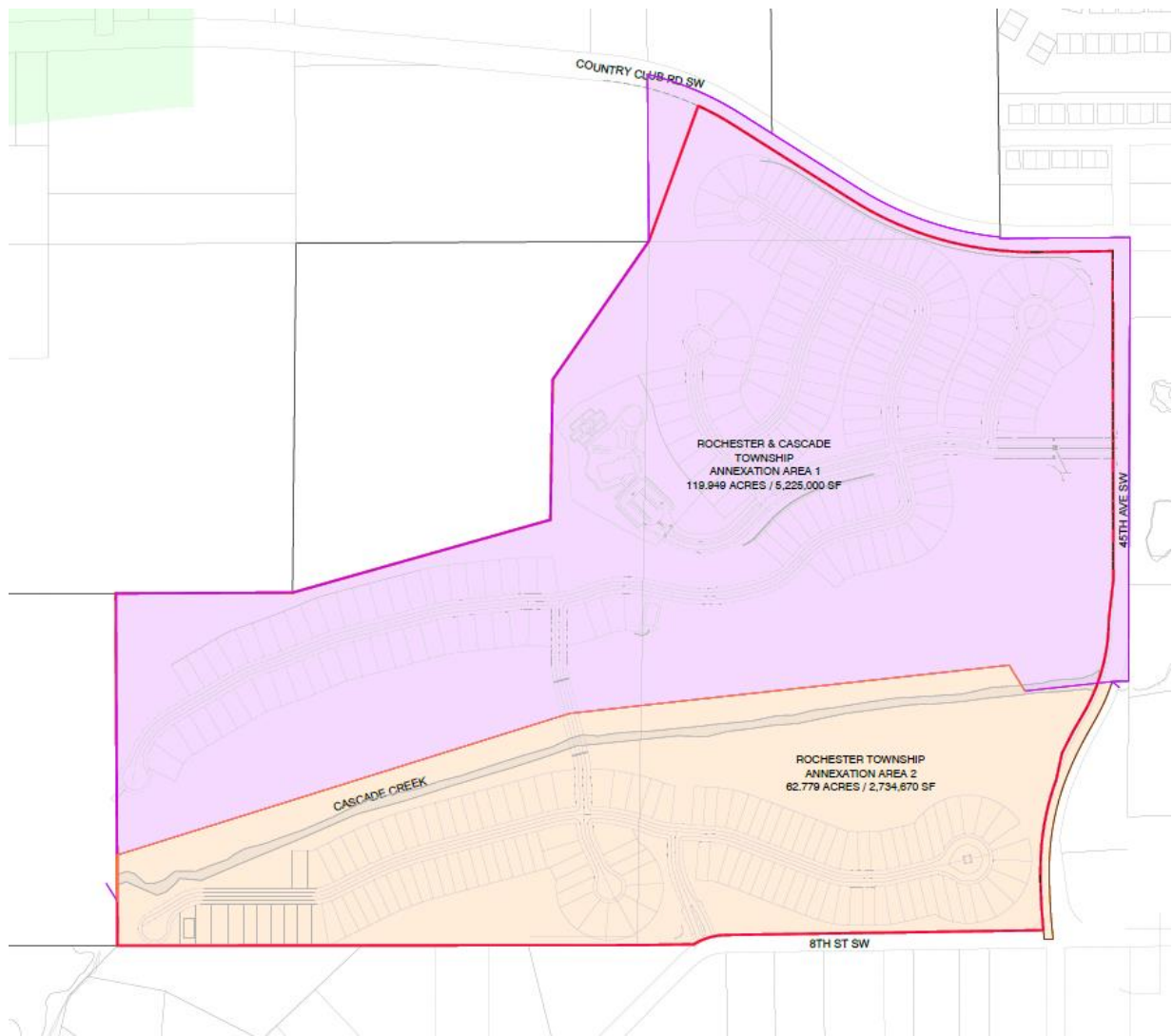
- Base square footage 1,680 to 1,960
- 2 to 3 bedrooms
- 2 bathrooms
- 3-stall garages
- basements

Progress to Date

Pulte has commissioned several consultants to perform an array of due diligence work on the site to help inform our development proposal. We have Phase 1 for the site and will be doing a Phase 2 environmental evaluation. We have done geotechnical borings, wetland delineation, and are currently having a Decorah Edge study in process. We met with city staff on February 20th, 2025, to present our site plan and receive initial feedback. On June 10th, 2025, we held a NIMS meeting at People of Hope Church. We are now submitting an annexation petition, general development plan and a growth management map amendment.

Annexation Application

Our proposed development is on land that needs to be annexed into the City of Rochester. As the applicant we can petition up to 120 acres per year to be annexed to the city’s jurisdictional boundaries and have it not be subject to appeal by the Township or County. We are proposing that the northern 120 acres of the site be annexed in 2025, and the remaining portion of the site be annexed into the city in 2026. The exhibit below illustrates the northern portion of the site called “annexation area 1” as well as depicting the southern portion of the site called “annexation area 2”. This exhibit, along with a survey exhibit and a legal description are attached to this application.



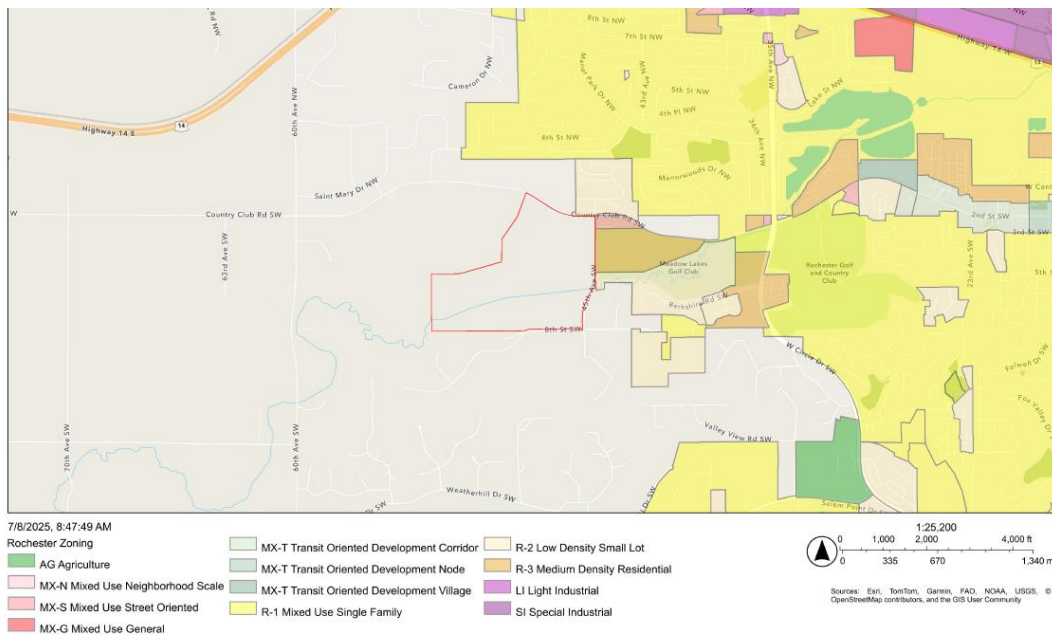
Special Request Regarding Annexation

The Nigon Family has made a request of Pulte and city staff regarding the annexation of their land. The Nigon family wants to avoid finding themselves in a situation where their land is annexed and Pulte is unable to buy the land. This would happen if the City, for some reason, did not support the necessary land use approvals that would allow Pulte to move forward with developing this site. Pulte has experience with addressing this kind of seller concern. We have a development, named Holbrook, that was annexed into the City of Waconia just this past Spring. Preliminary plat and other land use approvals, including a petition for annexation, were approved by the City Council in December of 2024, but other approvals were needed by other governmental agencies in order for Pulte to buy the land from the seller. While Pulte worked on securing these additional approvals from all other governmental agencies, the City of Waconia waited to submit the final annexation exhibits and legal descriptions to the State of Minnesota until said approvals were received. Once Pulte received all approvals necessary for development, Waconia City Staff submitted the annexation documents to the State of Minnesota so the annexation could become official, and Pulte then closed on the purchase of the land

Shoreland Overlay - Where Cascade Creek ultimately flows will bring with it a Shoreland Overlay district. While we cannot keep all lots out of the Shoreland Overlay District, in working with city, county and MNDNR staff the final design can accomplish the goals of the public agencies involved and minimize impacts on the lots in our development. In discussions with the city, county and the MNDNR staff, we have discussed how a conservation easement could be included over a portion of the site and allow for averaging of the impervious surface coverages regarding lots in this easement. This would allow the goal of limiting impervious surface on certain areas of the site, yet allowing all lots to be developed as proposed without reducing the proposed lot yield.

Growth Management Map Amendment

The property we are proposing for development lies just outside of the City of Rochester. The City's comprehensive plan has this site set aside as urban reserve and is staged into the future. We are asking for this site to be included in the City's current staging and for Pulte to develop the site with housing. This site is adjacent to land guided for R2 and R3 zoning. Our proposal is in keeping with this land use guidance of adjacent parcels. We respectfully request for approval of our GMMA application and update Rochester's comprehensive plan to include this site and we ask that the designated zoning be R-2. Below and attached to this application packet is an exhibit illustrating the area of land we are requesting to be brought into the city's current staging for development, served with city utilities and zoned R-2.



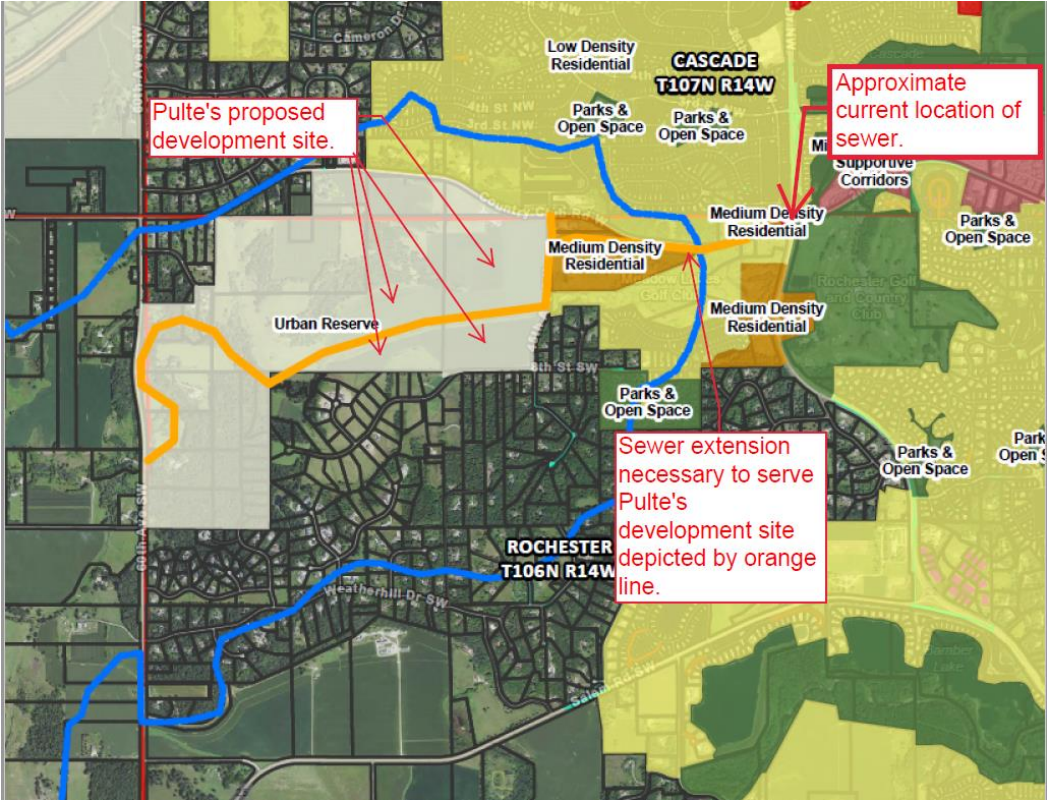
NIGON PROPERTY - GMMA EXHIBIT
ROCHESTER, MINNESOTA



Request for Extension of Utilities

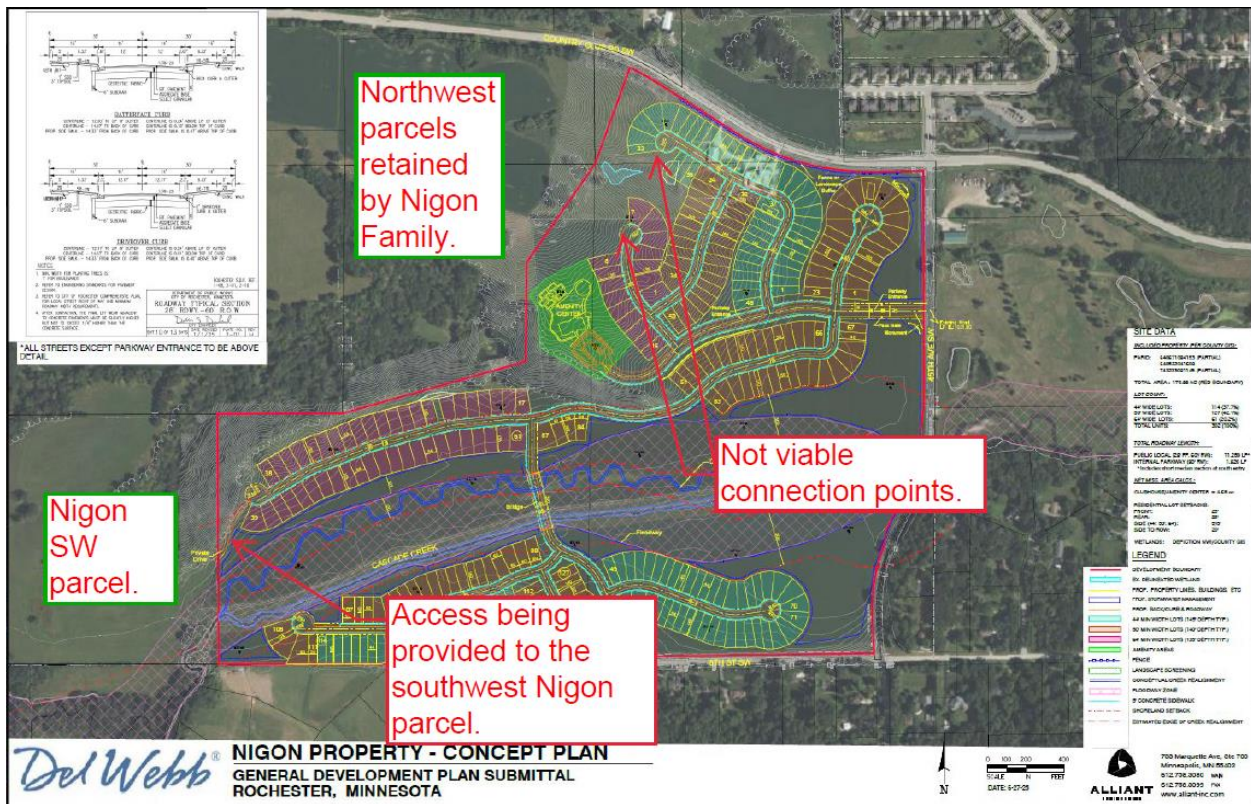
With our application for the general development plan, annexation of the property into city limits and the approval of a growth management map amendment, Pulte Homes also requests the extension of city sewer to our site. Pulte is proposing to develop ~175 acres with a Del Webb neighborhood.

All of parcel ID 640522041608 and portions of parcel IDs 640611084153 and 743233081149 are under contract for development. The purchase of the land is contingent upon the property obtaining access to the city sewer system. It is our understanding that the city's sewer is located in the northeast corner of what is commonly referred to as the Meadow Lakes Golf Course parcel. The sewer would be brought through this site located on the east side of 45th Ave providing service to Pulte's development. We understand that feasibility of municipal services will be analyzed as a result of this application. Please accept this narrative and application as a formal request to extend services to the site we have under contract and wish to develop.



Nigon Family Remanent Parcel Access

We as the developer and the Nigon family have a special request for support from the City of Rochester in helping the Nigon family confirm their future access to their remanent parcels (the portion of the Nigon family land that will not be sold to Pulte. Our proposed site plan will provide access to the southwest parcel to be retained by the Nigon family. The remaining concern of the Nigon family is in regard to ensuring the family has suitable access to their retained northwest parcels in the future. Providing access through Pulte’s development site is not feasible for a variety of reasons (please see the attached Engineering Memo from Alliant Engineering). The only viable option for access to the Nigon family’s retained northwest parcels, is off of Country Club Road. On behalf of the Nigon family, we respectfully request that the City of Rochester to support the Nigon family’s planned application to the County to confirm and approve access to the northwest parcels off of Country Club Road. Thank you for your consideration regarding this matter.



Phasing & Schedule

The City of Roger’s application schedule suggests that staff review, and possible planning commission and council consideration would occur as follows:

Annexation, General Development Plan, GMMA
 Preliminary Plat Approval
 Site Development
 Home Sales and First Occupation of Homes
 Full Build of Homes

Summer of 2025
 December 2025
 Spring 2026
 2027
 2030-2031



Rochester – Del Webb NIMS Minutes

Dean Lotter Presenter

June 10, 2025

Meeting Held June 10, 2025

Start time 5 pm

Adjournment 6:30 pm

Location: People of Hope Church

1. About 25-ish people attended the meeting. Mostly from the township.
2. Concerns over creek meandering and who is leading the project (DNR)
 - a. Concern over the existing project that was done to the east. Public stated there is more flooding now and there was a loss of wildlife and trees because of project.
 - b. Are you widening and making deeper?
 - c. Lotter explained the creek rehabilitation project as he understood it and also talked about how the storm water management system created in our developments addresses rate and volume controls to improve storm water management overall.
3. Will there be stormwater ponding onsite? Will flooding increase? – Hot topic
 - a. The stormwater management system of the development was discussed and it was emphasized that engineered stormwater systems improve stormwater management when compared to undeveloped land.
4. How many points of access?
5. All single family?
 - a. The site plan was reviewed to discuss points of access and the type of development that was being proposed.
6. Who have we talked to at the city?
7. What areas are being annexed? – Hot topic
 - a. Will other neighbors be forced to annex?
 - b. Lotter explained what acreage was being annexed. Most in attendance seemed concerned that the City was considering annexing their land. It was made clear during the presentation that annexation of the Nigon site was occurring because we as the applicant and the Nigon family had signed a petition and requested the annexation.
8. Will the site have city sewer?
 - a. If bring sewer across 45th St will road access be cut off and for how long?

- b. Lotter stated that any disruptions to local road service would be noticed in advance, however the utility extension work had not yet been designed and therefore it wasn't known if 45th would be trench cut or direction drilled. This item was TBD.
- 9. How many homes? Will you expand?
 - a. Lotter responded that the proposal was for approximately 323 single family homes.
- 10. Phasing or build all at once?
 - a. It was explained that the project was take years to build out.
- 11. Have you begun EAW? What is an EAW?
 - a. Lotter discussed the EAW process and what it was.
- 12. Will Country Club require road improvements? Traffic control at 45th and Country Club?
 - a. Lotter explained that a traffic impact report or analysis would be completed as part of any EAW and it would help identify what if any road improvements would be necessary.
- 13. Does Pulte own Meadow Lakes to the east? No.
 - a. How many access points on 45th with this development? Full intersection?
 - b. Lotter reviewed the site plan showing one access on 45th Avenue and one on 8th Street.

Agency Review Comments

Application No: CD2025-003CPA

7/16/2025 **Building Plan Review**

7/16/2025 **County GIS/E911**

There are no comments at this time from the E911 Addressing Division Staff.

8/1/2025 **County Public Works**

er previous discussions with the developer, Olmsted County is planning to reconstruct CSAH 34 (County Club Road W) and additional right of way will be required that will likely affect the proposed layout. A pedestrian trail is likely needed along CSAH 34. Work with Olmsted County on the required right of way needed for the future project. A traffic impact report is required to determine any mitigation or conditions required for the proposal. Olmsted County will review the provided Nigon Property - Engineer Road Connectivity Opinion and provided comments.

7/16/2025 **Fire Review**

7/28/2025 **LGU**

Wetland delineation R2025-009WET has been submitted for review and the Decorah Edge study is in progress. We will be on site 7/31 for a portion of the Decorah Edge study. The latest site plan appears to have been adjusted to avoid the Decorah that they are aware of.

7/18/2025 **Park and Rec Review**

There are no comments from this agency at this time.

7/29/2025 **Public Works Review**

There are no comments from this agency at this time.

7/24/2025 **RPU Electric Review**

There are no comments from this agency at this time.

7/16/2025 **RPU Water Review**

RPU Water Dept. has no comments on this CPA application. However, please see RPU Water Dept.'s comments and informational letters for both the Annexation and General Development Plan applications for this parcel.

TO: Community Development
4001 West River Parkway NW, Suite 100
Rochester, MN 55901-7090

FROM: Mark E. Baker

RE: Pulte Homes of Minnesota LLC Annexation
(Part of Section 5-106-14 & Section 6-106-14
(PIN 81149, 41608, 84153)

DATE: 8/5/25

Rochester Public Works has reviewed the application for annexation CD2025-004ANX by Pulte Homes of Minnesota LLC for annexation of 120 acres of land located in Sections 5 and 6 of Township 106, Range 14. The following are Public Works' comments for this application:

1. Trunk sanitary sewer is not currently available; however, it can be extended to serve this planned development of the property. The developer will need to coordinate with City Public Works Sanitary Sewer team for the extension of public sanitary sewer to and through the property, will be subject to standard development charges, and will be required to dedicate public sanitary sewer utility easements for the extension within the property.

Sent to Planning Department via Accela only

July 21, 2025

COMMUNITY DEVELOPMENT DEPARTMENT
4001 West River Pkwy NW, Suite 100
Rochester, MN 55901

REFERENCE: Annexation by Ordinance Petition CD2025-004ANX by Pulte Homes of Minnesota LLC to incorporate 175 acres of land located southwest of Country Club Road & 45th Ave SW.

Our review of the referenced petition is complete, and our comments follow:

1. A portion of the north-northeast corner of this land can be served from the NW Intermediate Level Pressure Water System (PRV HGL elevation set to 1220'), which is currently available via an existing 8" DIP water main stub at the north side of the intersection of Country Club Road W and 45th Avenue NW. All other portions of this land will need to be served from the Main Level Pressure Water System (tower working elevation 1166'), which is currently available via a 12" DIP water main located on the east side of what is commonly referred to as the Meadow Lakes Golf Course parcel. It would be the developer's sole responsibility (design, construction, costs, etc.) to connect to both water systems and extend them to the parcel requested for annexation.
2. Static water pressures within this property will range from the low 40's to upper 60's PSI depending on the finished floor elevations and which pressure water system each home/building is located in.
3. We will work with the applicant's engineering firm to develop the necessary water system layout to serve this area. It would be the applicant/property owner's responsibility to extend the existing public water main system to this property. Looping of water mains is required in all cul-de-sacs and dead-end streets unless topographic conditions make it impractical. Water mains are to be extended to the end limits of new subdivisions, and other developments, to facilitate future water system extensions and looping, unless Rochester Public Utilities determines otherwise. See the City of Rochester Engineering Standards Section 1004 Water Main Design for more information.

Please contact us at 507-280-1505 if you have questions.

Very truly yours,



Wade Neubauer
Water

C: Luke Payne, RPU
Mark Baker, City Public Works
Jason Fife, Fire Prevention
Bernard Nigon, Owner

Brent Bunke, RPU
Jamie Miller, City Public Works
Mark Rausch, Alliant Engineering
Dean R Lotter, Pulte Homes of Minnesota

July 15, 2025

Community Development Department
4001 West River Parkway Suite 100
Rochester, MN 55901

Re: CD2024-004ANX by Pulte Homes of Minnesota, to incorporate 175 acres of land into the Rochester City Limits. The site is located southwest of the intersection of Country Club Road and 45th Ave SW.

Parcels: 041608

The Rochester Fire Marshal's Office has conducted a review of plans submitted for the annexation of the property noted above, and our comments are as follows:

Rochester Fire approves of the annexation plan.

Due to the proposed numbers of houses and street layout please be aware of the following code:

D107.1 One- or two-family dwelling residential developments.

Developments of one- or two-family dwellings where the number of dwelling units exceeds 50 shall be provided with two separate and approved fire apparatus access roads.

Exceptions:

1. Where there are more than 50 dwelling units on a single public or private fire apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, access from two directions shall not be required.

This annexation falls within the 4 minutes response time and has an ISO rating of 8 for the Rochester Fire Department.

Sincerely,

Nathan Swisher

Fire Protection Specialist
Rochester Fire Department

