

**Scio Township Planning Commission Agenda**  
**Ann Arbor, MI 48103**  
**October 25, 2021, 7:00 PM**

Pursuant to the MCL 15.263a Sec. 3(a)(1)(b) the Scio Township Planning Commission will meet at the Township Hall at 827 N. Zeeb Road. Planning Commission members and the public may join either in person at Township Hall, or via Zoom at <https://us02web.zoom.us/j/87200700925> or <http://zoom.us> and entering Meeting ID 872 0070 0925 or by calling 1 312 626 6799 and entering Meeting ID 872 0070 0925.

Members of the public may contact members of Planning Commission by emailing [planningcommission@sciotownship.org](mailto:planningcommission@sciotownship.org) to provide input or ask questions on any business that will come before the Zoning Board of Appeals at the meeting.

Persons with disabilities requiring any accommodation for participation in this meeting should contact the Township Clerk at (734) 369-9400 or [clerk@sciotownship.org](mailto:clerk@sciotownship.org).

**1) CALL TO ORDER**

**2) ROLL CALL**

Culbertson, Holland, Cheng, Courteau, Hyde, Moore, Sharma,

**3) ADOPTION OF AGENDA**

**4) COMMUNICATIONS/CORRESPONDENCE**

The Commission will be advised of communications and correspondence received.

**5) PRESENTATIONS REQUESTED BY THE PLANNING COMMISSION**

NONE.

**6) PUBLIC COMMENT**

Citizens wishing to address the Planning Commission on matters which are not on the public hearing portion of the agenda or seek information on any other matters. Such oral presentations shall be limited to three (3) minutes except a representative or spokesperson of an organization shall have five (5) minutes to address the Commission.

**7) BUSINESS SESSION**

a) Advertised Public Hearings: The Chairperson will declare such a meeting open and state its purpose and rules of procedure for the hearing. The applicant will be heard first. The Planning Commission may or may not take formal action on this or these matters at this meeting.

1. OA#21006 PUD-PSP#21013 Suburban Collection Lithia, rezoning,

b) Unfinished Business

None.

c) New Business

None

**8) REPORTS / COMMISSION ACTIVITY**

1. Engineering Consultant – OHM
2. Planning Consultant – CWA
3. Chair Report - Culbertson
4. BOT Board of Trustees Report - Courteau
5. ZBA Zoning Board of Appeals - Culbertson
6. DDA – Holland
7. Road Commission Advisory Committee –
8. LPC Land Preservation Commission – Courteau
9. ZOA Zoning Ordinance Amendments - Cheng
10. Parks and Rec Advisory Board – Hyde
11. TAP committee – Cheng
12. HRWC – Hyde

**9) APPROVAL OF MINUTES**

1. Minutes of 2021-09-27,
2. Minutes of 2021-09-27 special joint,
3. Minutes of 2021-10-11,

**10) ADJOURNMENT**

Specific items may be placed on the agenda by staff after consultation with the Commission Chairperson.

Jan Culbertson, Planning Commission Chair

Persons with disabilities are encouraged to participate. Accommodations, including sign language interpreters, may be arranged by contacting the Scio Township Clerk's Office at 734-369-9400 at least 7 days in advance.

# Township of Scio

827 N. Zeeb Road • Ann Arbor, MI 48103  
734/369-9400 • 734/665-0825 Fax  
www.ScioTownship.org

Applications will not be processed until deemed complete.  
Incomplete applications will be destroyed after 90 days.

## ORDINANCE AMENDMENT

21006

PROPERTY ID NO. Multi  
ZONING DISTRICT R20 I 1  
PROPOSED DISTRICT PUD  
APPLICATION DATE 2021-09-10

**PETITIONER:** Jeff Huhta  
AGENT/DEVELOPER  
460777 Woodward  
STREET, NUMBER  
Pontiac MI 48020  
CITY, STATE, ZIP  
246 332-7731  
PHONE  
jhuh@nfe-engr.com  
FAX EMAIL

**OWNER:** Timothy Leroy  
NAME  
1745 Mapleawn Road  
STREET, NUMBER  
Troy MI  
CITY, STATE, ZIP  
248-277-9688  
PHONE  
tleroy@suburbanconnection.com  
FAX EMAIL

**PROPERTY ADDRESS:** Jackson Road West of Pechi Road **SIZE OF PROPERTY (AREA):** 1/8 acres

**LEGAL DESCRIPTION:**  ATTACHED

**AREA DESCRIPTION:** ATTACH SEPARATE INFORMATION PURSUANT TO SECTION 36-461 OF THE SCIO TOWNSHIP ZONING ORDINANCE.

**PURPOSE OF AMENDMENT:** rezone to PUD R20 I 1 to PUD

I AGREE TO GIVE PERMISSION FOR OFFICIALS OF SCIO TOWNSHIP TO ENTER THE PROPERTY SUBJECT TO THIS APPLICATION FOR PURPOSES OF INSPECTION.  Property owner authorization letter attached.

Jeff Huhta 9-10-21  
SIGNATURE OF PETITIONER DATE

Timothy Leroy \_\_\_\_\_  
SIGNATURE OF OWNER DATE

Jeff Huhta  
PRINT NAME

\_\_\_\_\_  
PRINT NAME/TITLE

### FOR OFFICE USE ONLY

THIS PETITION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE TOWNSHIP ZONING ORDINANCE, AND FOR ACCURACY OF PROPERTY DESCRIPTION:

20210913#29749 \$1000.00 (12) FEES \$4570.00 (15) ORDINANCE ADMINISTRATOR DATE

**PUBLIC HEARING NOTICE:** \_\_\_\_\_  
**PUBLIC HEARING DATE:** \_\_\_\_\_  
**PLANNING COMM. RECOMMENDATION:**  
 APPROVED, DATE \_\_\_\_\_  
 DENIED, DATE \_\_\_\_\_  
**TOWNSHIP BOARD OF TRUSTEES:**  
 APPROVED, DATE \_\_\_\_\_  
 DENIED, DATE \_\_\_\_\_

**APPLICATION RECEIVED:**

\_\_\_\_\_  
TOWNSHIP CLERK DATE

**FEE RECEIVED** \_\_\_\_\_ **DATE** \_\_\_\_\_

# Township of <sup>21006</sup> Scio

827 N. Zeeb Road · Ann Arbor, MI 48103  
734/369-9400 · 734/665-0825 Fax  
www.ScioTownship.org

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**SITE PLAN** 21013  
 ADMINISTRATIVE SITE PLAN  
 FULL SITE PLAN  
 DATE 2021-09-10  
 PROPERTY ID NO. MUN TX  
 ZONING DISTRICT R2014

**APPLICANT:** Jeff Huhta  
 AGENT/DEVELOPER  
46777 Woodward Avenue  
 STREET NUMBER  
Pontiac MI 48020  
 CITY, STATE, ZIP  
248-332-7937  
 PHONE  
huhta@ape-fax.com  
 FAX  
 EMAIL

**OWNER:** Timothy LeRoy  
 NAME  
1795 Maple Lawn  
 STREET NUMBER  
Troy MI  
 CITY, STATE, ZIP  
 PHONE  
tleroy@a9sports.com  
 FAX  
 EMAIL

**PROPOSED NAME OF DEVELOPMENT:** The Suburban Collection Scio  
**ADDRESS OF PROPERTY (OR POPULAR ADDRESS):** Jackson Road West of DeWitt Road  
**LEGAL DESCRIPTION:**  ATTACHED  ON SITE PLAN  
**LOT SIZE:** ± 166 acres (AREA) **DEED RESTRICTIONS:**  NONE  ATTACHED  
**DESCRIPTION OF PROPOSED USE:** Mercedes Benz, Jaguar (and Rover), and BMW car dealerships

**STORIES:**  EXISTING  NEW 1  
**SQ. FT.:**  ADDITION  NEW

**SANITARY FACILITIES:**  SEWER  SEPTIC  
**WATER:**  MUNICIPAL  PRIVATE WELL

**SQ. FT. BY USE:**  
 COMMERCIAL  
 OFFICE  
 WAREHOUSE  
 MANUFACTURING  
 OTHER PUD

I AGREE TO GIVE PERMISSION FOR OFFICIALS OF SCIO TOWNSHIP TO ENTER THE PROPERTY SUBJECT TO THIS APPLICATION FOR PURPOSES OF INSPECTION.  Property owner authorization letter attached.

Jeff Huhta  
 SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_  
Jeff Huhta  
 PRINT NAME \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE OF OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 \_\_\_\_\_  
 PRINT NAME/TITLE \_\_\_\_\_

Approved under DA #21006 **FOR OFFICE USE ONLY**  
 THIS APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE TOWNSHIP ZONING ORDINANCE, AND FOR ACCURACY OF PROPERTY DESCRIPTION:  
 \_\_\_\_\_  
 ORDINANCE ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

**PLANNING COMMISSION ACTION:**  
 APPROVED, DATE \_\_\_\_\_  
 DENIED, DATE \_\_\_\_\_  
**TOWNSHIP BOARD:**  
 APPROVED, DATE \_\_\_\_\_  
 DENIED, DATE \_\_\_\_\_

**APPLICATION RECEIVED DATE:** \_\_\_\_\_  
**FEE RECEIVED:** CASH \_\_\_\_\_ CHECK \_\_\_\_\_  
 SP \_\_\_\_\_ DATE \_\_\_\_\_  
 SW \_\_\_\_\_  
 WA \_\_\_\_\_  
**EXPIRATION DATE:** \_\_\_\_\_

SCIO TOWNSHIP  
PLANNING COMMISSION

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NOTICE IS HEREBY GIVEN that a public meeting of the Scio Township Planning Commission will be held via zoom, Ann Arbor, Michigan, on **MONDAY, October 25, 2021** at 7:00 PM. During this meeting the Planning Commission will hold a public hearing on the following matters:

Review of Preliminary PUD (Planned Unit Development) for possible rezoning of 18.44 acres from R-2 and I-1(Single Family Residential and Limited Industrial) to PUD (Planned Unit Development) for a new automobile dealership. (OA 21006/PSP-PUD 21013)

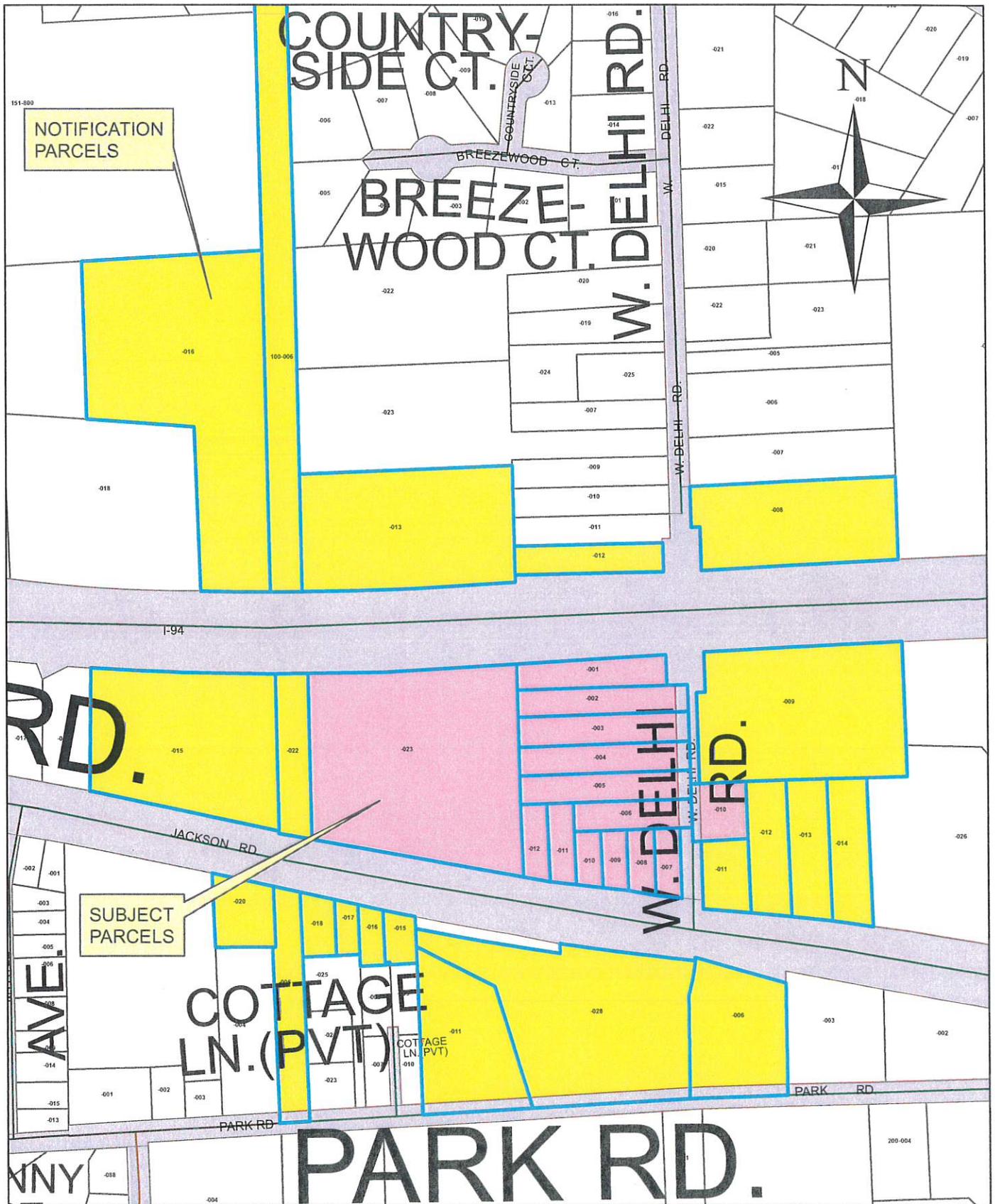
H -08-22-470-001	85	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-002	83	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-003	79	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-004	75	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-005	VCNT	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-006	55	W DELHI	LITHIA REAL ESTATE INC
H -08-22-470-007	4530	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-008	4540	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-009	4550	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-010	4560	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-011	4568	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-012	4572	JACKSON	LITHIA REAL ESTATE INC
H -08-22-470-023	4600	JACKSON	LITHIA REAL ESTATE INC
H -08-23-300-010	50	W DELHI	LITHIA REAL ESTATE INC

Details concerning the aforementioned matters may be examined at the Township Offices, 827 N. Zeeb Road by interested persons during office hour's weekdays, between 8:00 AM and 5:00 PM.

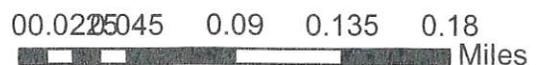
Any person having interest in said Township or their duly appointed representatives shall there and then be heard at the above described meetings or adjournment thereat relative to any matters that should come before the Planning Commission.

Scio Township will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon 10 days notice to Scio Township. Individuals with disabilities requiring auxiliary aids or services should contact Scio Township by writing or calling the Scio Township Staff at (734) 369-9400.

Scio Township Clerk  
SunTimes 2021-10-06  
Washtenaw Legal News 2021-10-07



SUBURBAN LITHIA  
 OA# 21006 PUD-PSP# 21013.





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 21, 2021

**Preliminary Planned Unit Development Review  
For  
Scio Township, Michigan**

**GENERAL INFORMATION**

<b>Applicant:</b>	Nowak & Fraus Engineers / Jeff Huhta
<b>Project Name:</b>	Suburban Collection 2021
<b>Plan Date:</b>	February 15, 2021
<b>Revised Date:</b>	September 10, 2021
<b>Location:</b>	Northwest quadrant Jackson and W. Delhi Roads.
<b>Zoning:</b>	Western portion of the site is zoned I-1, Limited Industrial and the eastern portion is zoned R-2, Single-Family Residential. The property is also found within the Jackson Road Overlay District (JROD).
<b>Action Requested:</b>	The applicant is requesting Planning Commission review and recommendation for a Preliminary PUD to the Township Board pursuant to Section 36-249(d) of the Township Zoning Ordinance.
<b>Required Information:</b>	There are specific informational requirements for a preliminary PUD. We review the required information in detail in the sections below.

**PROJECT AND SITE DESCRIPTION**

The applicant is proposing three (3) new car dealership buildings with a proposed mixed-use area in the western portion of the site to be determined later. The proposed buildings will encompass 33,735 SF (Mercedes dealership); 22,622 SF (JLR dealership); and 27,600 SF (BMW dealership). The site will also encompass shared parking/auto storage areas and stormwater management facilities.

The site currently maintains 21 acres and 14 properties which will be combined to develop the site.

PUD zoning is being requested in order to allow the auto sales use on this site. The current R-2, Single-Family Residential and I-1, Limited Industrial zoning classifications do not allow auto sales uses. However, as part of the Jackson Road Overlay District (JROD), mixed-use development may be considered as a conditional use or a planned unit development (PUD). The applicant has chosen to apply as a PUD.



**Items to be addressed:** *Combination of parcels will be a condition of approval.*

## PRELIMINARY PUD PROCEDURE

PUD review and approval are a two-step process consisting of Preliminary PUD review and Final PUD review. Both Preliminary and Final review are conducted by both the Planning Commission and Township Board. The Planning Commission makes recommendations to the Township Board in both steps of the process, the Township Board being the approving body.

It is important to note that “approval of the preliminary PUD plan that is required to accompany a PUD application does not constitute final PUD plan or rezoning approval, but only bestows the right on the applicant to proceed to the final site plan stage.” The Final PUD review is the stage where full detailed site plans are provided for review. We would also note that a Final PUD approval is both a site plan and a rezoning.

**REQUIRED INFORMATION FOR PRELIMINARY PUD**

Section 36-249(c) indicates fifteen (15) informational items required for the review of a Preliminary PUD. The following is a listing of those items and how they have been addressed as a part of this submission:

Required Preliminary PUD Information	Provided	Not Provided
Date, north arrow, and scale which shall not be more than 1" = 100'.	X	
Location sketch of site in relation to surrounding area.	X	
Legal description of property including common street address and tax identification number.	X	
Size of parcel.	X	
All lot or property lines with dimensions.	X	
General location of all buildings within 100 feet of the property lines.	X	
General location and size of all existing structures on the site.	X	
General location and size of all proposed structures on the site. The general size of all buildings shall be within 5,000 square feet or five percent, whatever is smaller of whatever is constructed.	X	
General location and dimensions of all existing and proposed streets, driveways, parking areas, including total number of spaces and typical dimensions.	X	
General size and location of all areas devoted to open space.	X	
Location of existing vegetation and general location and size of proposed landscaped areas and buffer strips.	X	
All areas within the 100-year floodplain, wetland areas or bodies of water.	X	
Generalized topographical information including contours and/or spot elevations which illustrate drainage patterns.	X	
Preliminary phasing lines of PUD if applicable.	X	
A narrative addressing: a. The nature of the project, projected phases, and timetable. b. The proposed density, number, and types of dwelling units if a residential PUD. c. A statement describing how the proposed project meets the objectives of the PUD District pursuant to <a href="#">section 36-245(c)</a> . d. A statement from a registered professional engineer describing how the proposed project will be served by public water, sanitary sewer, and storm drainage. e. Proof of ownership or legal interest in property.		X

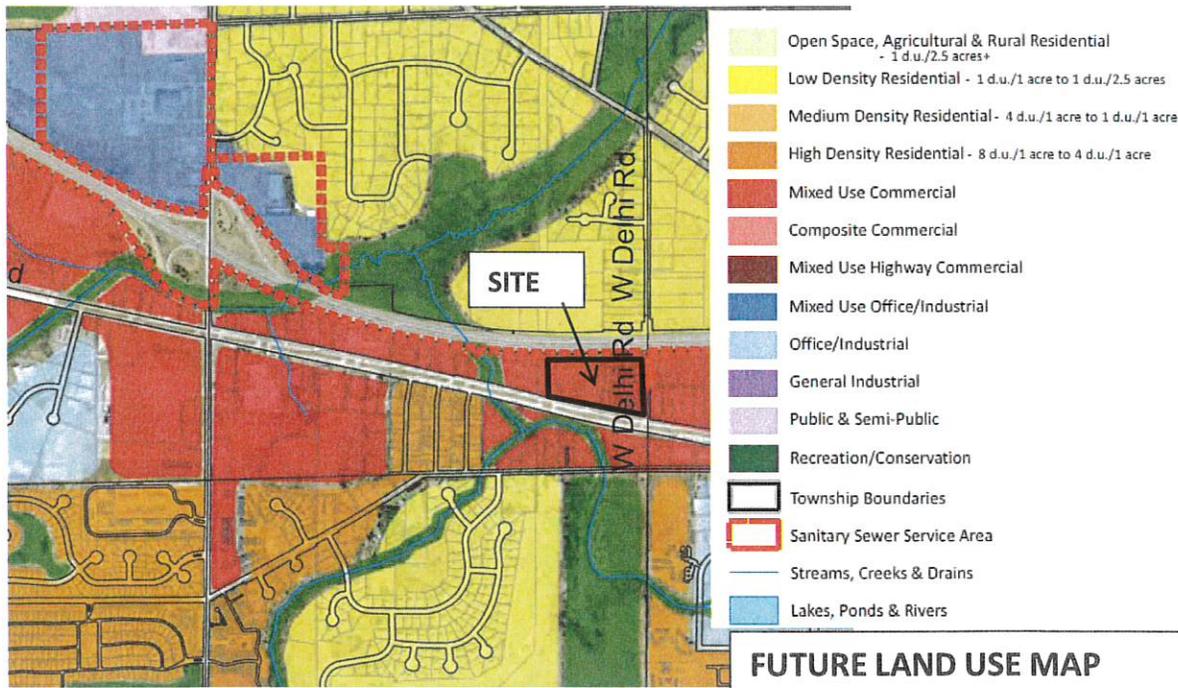
The applicant should provide a narrative describing the project as outlined in the above table in order for the Preliminary PUD application to be considered complete.

**Items to be Addressed:** Provide a narrative describing the project in accordance with Section 36-249(c).

**MASTER PLAN**

The subject site is planned as Mixed-Use Commercial future land use classification in the Master Plan. The Mixed-Use Commercial future land use designation is intended to provide areas where a mix of commercial, office, industrial, and high-density residential land uses are encouraged. While general retail, service and office establishments are the primary uses envisioned for these areas, mixed-use developments may also include more intensive commercial businesses as well as office, research, and

light industrial operations. A limited amount of high-density residential uses can also take place only as part of a mixed-use development including commercial uses.



Desirable land uses in this designation are listed as: general commercial uses; high-density residential uses, if part of a mixed-use development; more intensive commercial operations; parks, open spaces, and conservation areas; office uses; office/research uses; and light industrial uses. The zoning district that coincides most closely with the Mixed-Use Commercial future land use designation is C-2, Regional Commercial. Other districts appropriate in mixed-use developments include Composite Commercial (C-4), MR-2 and MR-3 multi-family residential districts, Limited Industrial (I-1), and Office Service (OS).

In summary the Township Master Plan envisions uses allowed in the C-2, General Commercial zoning within the Mixed-Use Commercial designation of the Future Land Use Plan. Automobile dealerships are not permitted in the C-2, General Commercial zoning district. So, it is clear that automobile dealerships as a single land use are not in conformance with the Future Land Use Plan.

As noted above, the Master Plan designates “desirable” land uses within this part of the Township and they include “more intensive commercial operations”. More intensive commercial operations could certainly include automobile dealerships.

While we point out that the use could be considered under the Master Plan, they are not part of a mixed-use development.

Based on the information provided, we do not believe the proposed car dealership uses meet the intent of a mixed-use project. Car dealerships coincide with the C-4, Composite Commercial zoning designation. The proposed development does not include a mix of uses, it proposes three (3) car dealerships and a future mixed-use development component to be determined at a later date.

While this use does not meet the specific intent of the Mixed-Use Commercial designation of the Master Plan it does contain uses deemed desirable, i.e., intensive commercial and potential future mixed-use development. We think discussion on the part of the Planning Commission should take place regarding the conformance with the Master Plan.

**Items to be Addressed:** *Planning Commission consideration of conformance with the Township Master Plan.*

## **PUD STANDARDS**

In making a recommendation to the Township Board the Planning Commission shall find that the proposed PUD meets the intent of the PUD district and standards. The four standards are provided below with our analysis following each criteria:

1. *In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities, and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment.*

**CWA Comment:** The site is located within the Township's utility service area along Jackson Road. The site has been formerly developed with a number of residential home sites (eastern portion) and an industrial facility (western portion). It is unlikely development of the site as proposed will place a material burden on the site, surrounding area, adjacent property owners/occupants or the natural environment.

2. *The proposed development shall be compatible with the township master plan and shall be consistent with the intent and spirit of this article.*

**CWA Comment:** As noted in the Master Plan section above, while this use does not meet the specific intent of the Mixed-Use Commercial designation of the Master Plan it does contain uses deemed desirable, i.e., intensive commercial uses. We think discussion on the part of the Planning Commission should take place regarding the conformance with the Master Plan and the spirit of what the Township is trying to accomplish.

The intent of the PUD district is to allow flexibility in the regulation of land development, encourage innovation in land use and variety in design, layout and type of structures constructed, achieve economy and efficiency in the use of land, natural resources, energy and the provision of public services and utilities, encourage useful open space, and provide better housing, employment and shopping opportunities particularly suited to the needs of residents. Additionally, approval of a PUD will result in one or more of the following (Section 36-245(c)(2)):

- a. A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely achieved without application of the PUD regulations.
- b. Protection and preservation of natural resources and natural features of a quantity and/or quality that can be clearly demonstrated, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations.

- c. A non-conforming use shall, to a material extent, be rendered more conforming to, and compatible with, the zoning district in which it is situated.

The applicant has not provided a narrative or outline any specific recognizable benefits of the development as part of their preliminary PUD submittal. We note a list of sustainable design features has been included noting the following: 35% open space; pocket park; permeable paving; bioswales; public electric vehicle charging stations; energy efficient buildings; energy efficient LED lighting and low water usage plumbing fixtures; dark sky compliant lighting; and creative parking lot landscaping.

As noted in the Master Plan section previous, the Planning Commission will need to consider whether the project is in conformance with the Master Plan, and specifically the spirit of what the Plan is trying to accomplish.

3. *The PUD shall not change the essential character of the surrounding area.*

**CWA comment:** The Jackson Road corridor encompasses a number of auto dealership uses east of the subject site along Jackson Road. Composite Commercial (C-4) zoning which allows car dealership uses is clustered to the east of this site with the current border ending at the western extent of the Auto Mall PUD. The subject site, while previously developed, has been underutilized for a number of years. Any redevelopment of this site will set the tone for future redevelopment west of the site and across Jackson Road to the south.

4. *The proposed PUD shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this article. This provision shall not prohibit a transfer of ownership or control upon due notice to the zoning administrator.*

**CWA Comment:** It is our understanding that the project is under the control of a single entity.

**Items to be Addressed:** *Planning Commission consideration of each of the four PUD standards as noted above. Each of these standards are to be referenced as a part of the Planning Commission's recommendation to the Township Board. Our review of four PUD standards and how those standards relate to the current Master Plan indicates that these standards have not been fully met.*

## NATURAL FEATURES

- Topography:** The site is undulating with the site sloping upward 32 from west to east.
- Wetlands:** No wetlands are noted to be located on-site.
- Woodlands:** A large portion of the site is covered by mature woodlands. A tree survey is provided on Sheet C-1 and a tree removal plan is provided on Sheet L-1. However, the tree list does not list which trees are proposed to be removed and we are unable to verify the tree replacement calculations provided. Further, the tree removal plan is difficult to read – tree labels are not clearly visible (Sheet L1). See Section 36-346(d) for tree removal/preservation plan requirements.

**Soil:** Soils information is not provided on the plan set. We note the following soils are present on the site: Boyer loamy sand 1-6% slopes; fill land; Spinks-Oshtemo loamy sands 0-6% slopes; Wawasee loam 2-6% slopes; Wawasee loam, 6-12% slopes; Wawasee loam 12-18% slopes. The USDA websoil survey indicates areas of the site has a “very limited” ranking (red areas). “Very limited” indicates the soil has one or more features that are unfavorable for small commercial building development. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures. Poor performance and high maintenance can be expected.



**Items to be Addressed:** 1) Provide tree removals on tree inventory list. 2) Clearly depict trees to be removed/preserved on the tree survey in accordance with Section 36-346(d). 3) Provide soil information on the site plan. 4) Indicate how soil constraints will be addressed.

## TRAFFIC IMPACT

A traffic study may need to be submitted for review by the Township Engineer and Washtenaw County Road Commission as required in Section 36-275. The Washtenaw County Road Commission will make the determination if a TIS will be required due in part on the projected amount of traffic.

**Items to be Addressed:** 1) Provide TIS, if required. 2) Review of the TIS by the appropriate road agencies and by the Township Engineer.

## ESSENTIAL FACILITIES AND SERVICES

The site plan demonstrates the site is to be served with public water, sanitary sewer, and a private storm water system. We defer conceptual review of the utilities and storm water system to the Township Engineer.

**Items to be Addressed:** *Township Engineer review of the preliminary PUD essential facilities and services.*

## DESIGN STANDARDS

Six design standards are outlined in Section 36-248 (PUD Design Standards). Each of those is listed with commentary how they have been addressed.

- Open space preservation.
  - A minimum of 30% of the site must be maintained in open space. The applicant indicates 35% of the site or approximately 7 acres will be maintained in open space. The applicant will need to better demonstrate areas of open space on the site plan. As the future mixed-use development area appears to encompass the entire western portion of the site on the site plan, but the landscape plan depicts a much smaller area for future development.
  - Provide a way to maintain open space in perpetuity. This will be required at the final PUD stage of review.
- Setbacks.
  - Setbacks for the project must coincide with the C-4, Commercial Composite and JROD, Jackson Road Overlay zoning districts unless deviations from the requirements are requested. All C-4 district setbacks appear to be met; however, the JROD standards require new principal structures to be located no more than 75 feet from the greenbelt line. Both the BMW and Mercedes dealership buildings appear to be a distance greater than 75 feet from the greenbelt (by scale measurement, no dimensions provided).

Additionally, a minimum perimeter setback and buffer area a minimum width of 50 feet is required taking into consideration the uses in and adjacent to the development. The required buffer area appears to be provided along the northern and western boundaries. However, no dimensions or buffer areas are labeled on the site plan. A perimeter buffer along the east (Delhi Road) and south (Jackson Road) boundaries would not be keeping with the intent of the JROD district. The Township Board may reduce the perimeter setback and buffering in cases where the density of the proposed development is compatible with adjacent uses and/or natural features (Section 36-248(c)).

- Buffering from adjacent property.
  - A minimum 50-foot buffer is required for a PUD see setback section above.
- Vehicular and pedestrian circulation.

October 21, 2021

- The site will be accessed via two (2) driveways from Jackson and a third via W. Delhi. Six (6) other existing curb cuts will be eliminated with this proposed configuration. Pedestrian circulation is demonstrated via the existing Jackson Road sidewalk and an internal connection to the site via three (3) locations from the Jackson Road sidewalk to each dealership.
- Utilities.  
Addressed above.
- Stormwater drainage.  
Addressed above.

**Items to be Addressed:** 1) Recalculate open space to include only unimproved areas, buffers and greenbelts, and stormwater management facilities. 2) Demonstrate all setback requirements of the C-4 and JROD districts can be met or request deviations. 3) Demonstrate the 50-foot required perimeter buffer or request Township Board consider a reduction.

**SITE PLAN CONSIDERATIONS**

Please note that several site plan considerations have been addressed in the previous sections.

**PARKING, LOADING**

Parking calculations are provided on sheet C5. Section 36-278(h) requires auto sales uses provide one (1) parking space for each 200 square feet of showroom floor area plus three (3) per service stall. The applicant indicates the site will contain a total of 13,340 square feet of showroom and 48 service bays.

	Required	Total Parking Provided
Auto Sales = (1 space per 200 SF of showroom floor area + 3 spaces per service stall ) = 13,340 SF/200 = 67 spaces + 48 stalls x3 = 144 = <b>211 spaces</b>	211 spaces	771 total spaces* 211 spaces 8 barrier-free 544 inventory
Barrier Free	7	8
Bicycle Parking	11	Unknown*
Loading – 20,001 SF to 100,000 SF requires one (1) loading space plus 1 space for each 20,000 SF in excess of 20,000 SF = 83,857 SF = 3 loading spaces	3	0

The applicant indicates the required parking is provided for the site (211 spaces) with 8 barrier-free and 544 additional spaces for inventory/storage. The applicant will need to distinguish which spaces are for employee and customer parking, and which locations will be used for inventory/storage.

October 21, 2021

Based on the plans, there are a number of discrepancies in the parking numbers provided. Specifically, there four (4) parking space counts that are incorrect and one (1) location that does not provide any parking space count. We count the number of proposed parking/inventory spaces on the plan to total 771 spaces, not 763 spaces as noted in the site information on Sheet C5. Further, we note 340 spaces will consist of porous brick pavers and twelve (12) EV charging stations are provided.

We note the majority of spaces are dimensioned having a length of 18 feet; however, some are shown having a length of 20 feet. The width of spaces is not shown; it should be provided at the required 9-foot width.

The barrier-free spaces for the JLR dealership are located across from the main entry. These should be moved to a location directly adjacent to a ramp at the main entry.

No bicycle parking is provided. Section 36-278(j) requires one (1) bicycle parking space for every 20 auto parking spaces. Eleven (11) bicycle parking spaces are required; none are provided.

Based on the size of the proposed structures, three (3) loading areas are required. The applicant will need to demonstrate where unloading/loading of vehicles will be accommodated. If this is a shared location for all three (3) dealerships, then the location and narrative regarding deliveries and the shared loading/unloading area should be provided.

**Items to be Addressed:** 1) Demonstrate which spaces will be parking versus storage. 2) Modify parking counts/site plan to depict correct number of spaces proposed. 3) Demonstrate proposed parking space widths. 4) Relocate barrier-free spaces at JLR directly adjacent to main entry. 5) Provide bicycle parking in accordance with Section 36-278(j). 6) Demonstrate loading/unloading area(s).

## LANDSCAPING

A general landscape plan was included in the plan set. A detailed landscape plan will be required and will be reviewed by this office if this project progresses to the final PUD stage of review.

**Items to be Addressed:** Provide detailed landscape plan at the final PUD stage of review.

## LIGHTING

A detailed lighting plan will be required at the final PUD stage of review.

**Items to be Addressed:** Provide detailed lighting plan at the final PUD stage of review.

## SIGNS

No freestanding signage is demonstrated on the site plan. A detailed sign plan will be required at the final PUD stage of review. If any deviations are needed for signs they should be submitted as part of the Preliminary PUD otherwise the underlying zoning provisions will prevail.

**Items to be Addressed:** Provide detailed signage information at the final PUD stage of review.

## FLOOR PLANS AND ELEVATIONS

Concept elevations and floor plans have been provided. The elevations are generally attractive and provide a combination of brick, glass and paneling and siding facades with a flat roofs. All three (3) buildings are required to meet JROD building design guidelines outlined in Section 36-76(f) which includes the following:

- New principal structures shall be located no more than 75 feet from the greenbelt line.
- Facades greater than 100 feet in length, shall incorporate projections or recesses extending at least 20% of the length of the façade. No uninterrupted length of any façade shall exceed 100 horizontal feet.
- Ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. Real windows allowing daylight in the building are encouraged.
- Flat roofs shall have parapets concealing equipment from public view.
- Predominant building materials shall be high quality materials, including, but not limited to brick, stone, architectural steel and glass, and integrally tinted/textured concrete masonry units.
- All façade colors and systems shall be reviewed and approved by the Planning Commission.
- Each principal building on the site shall have clearly defined, highly visible entrances featuring no less than three of the following: canopies or porticos; overhangs, recesses/projection, arcades, raised corniced parapets over the door, peaked roof forms, arches, outdoor patios, display windows, architectural details such as tile work and moldings which are integrated into the building structure and design, integral planters or wing walls that incorporate landscape areas and/or places for sitting and special pavement.

Additional information should be provided by the applicant demonstrating how these JRO building design requirements are met for each of the proposed dealership structures. Color renderings have been provided for review. The Planning Commission should provide input on the proposed building architecture at this stage of the review process in preparation of the project moving to the final stage of review.

**Items to be Addressed:** 1) Applicant to provide information how JROD building design standards have been met. 2) Planning Commission input on conceptual building elevations.

## PUD DEVIATIONS

Zoning deviations from the underlying district provisions are approved by the Township "as part of the overall approval of the PUD provided there are features or elements demonstrated by the applicant and deemed adequate by the Township Board upon the recommendation of the Planning Commission designed into the project for the purpose of achieving the objectives of this article."

No deviations have been requested by the applicant in this submittal. However, we note several areas throughout this report where ordinance requirements will either need to be met or a deviation granted. These include:

- Demonstrate all setback requirements of the C-4 and JROD districts can be met or request deviations.

- Demonstrate the 50-foot required perimeter buffer or request Township Board consider a reduction.
- Additional parking/vehicle storage.
- Parking stalls having 20-foot length.

*Items to be Addressed: Consideration of PUD deviations.*

## **RECOMMENDATIONS**

The comments of this review should be addressed by the applicant prior to moving this project to the final PUD stage of review. Our comments are provided above and summarized below:

1. Combination of parcels will be a condition of approval.
2. Provide a narrative describing the project in accordance with Section 36-249(c).
3. Planning Commission consideration of conformance with the Township Master Plan, and specifically the spirit of what the Plan is trying to accomplish.
4. Planning Commission consideration of each of the four PUD standards as noted above. Each of these standards are to be referenced as a part of the Planning Commission's recommendation to the Township Board. Our review of four PUD standards and how those standards relate to the current Master Plan indicates that these standards have not been fully met.
5. Provide tree removals on tree inventory list.
6. Clearly depict trees to be removed/preserved on the tree survey in accordance with Section 36-346(d).
7. Provide soil information on the site plan.
8. Indicate how soil constraints will be addressed.
9. Provide TIS.
10. Review of the TIS by the appropriate road agencies and by the Township Engineer.
11. Township Engineer review of the preliminary PUD essential facilities and services.
12. Recalculate open space to include only unimproved areas, buffers and greenbelts, and stormwater management facilities.
13. Demonstrate all setback requirements of the C-4 and JROD districts can be met or request deviations.
14. Demonstrate the 50-foot required perimeter buffer or request Township Board consider a reduction.
15. Demonstrate which spaces will be parking versus storage.
16. Modify parking counts/site plan to depict correct number of spaces proposed.
17. Demonstrate proposed parking space widths.
18. Relocate barrier-free spaces at JLR directly adjacent to main entry.
19. Provide bicycle parking in accordance with Section 36-278(j).
20. Demonstrate loading/unloading area(s).
21. Applicant to provide information how JROD building design standards have been met.
22. Consideration of PUD deviations.

Items to be addressed during final PUD site plan review:

1. Provide detailed landscape plan at the final PUD stage of review.
2. Provide detailed lighting plan at the final PUD stage of review.

Suburban Collection Lithia PUD  
October 21, 2021

3. Provide detailed signage information at the final PUD stage of review.
4. Planning Commission input on conceptual building elevations.



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**CARLISLE/WORTMAN ASSOC., INC.**  
**Douglas J. Lewan, AICP**  
**Executive Vice President**



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**CARLISLE/WORTMAN ASSOC., INC.**  
**Laura K. Kreps, AICP**  
**Senior Associate**

cc: Jeff Huhta via [jhuhta@nfe-engr.com](mailto:jhuhta@nfe-engr.com)  
Tim LeRoy via [TLeroy@suburbancollection.com](mailto:TLeroy@suburbancollection.com)



September 28, 2021

**Scio Township, Michigan**  
827 N. Zeeb Road  
Ann Arbor, MI 48103

**GENERAL INFORMATION**

Application No: PUD-PSP #21003  
Applicant: Timothy Leroy  
Project Name: Suburban Collection  
Plan Date: February 15, 2021 Revision Date: September 10, 2021  
Location: NW corner of Jackson Road and W Delhi Road  
Parcel ID: H-08-18-470-001, -002, -003, -004, -005, -006,  
-007, -008, -009, -010, -011, -012, -023, H-08-23-300-010  
Sewer Capacity: Current REUs – 1.0 Required REUs – TBD  
Action Requested: Preliminary PUD/Preliminary Site Plan Review

We have completed the first Preliminary PUD/Preliminary Site Plan Review of the plans dated February 15, 2021, revised September 10, 2021, and stamped received by OHM Advisors on September 14, 2021.

A brief description of the project has been provided below, followed by our comments and a list of anticipated required permits and approvals. At this time, the plans are not recommended for approval. The following comments shall be addressed prior to resubmitting for review and approval.

A list of both PUD and preliminary site plan comments have been provided in our letter for the applicant's consideration and shall be addressed prior to resubmittal. Final site plan/detailed engineering comments were not provided due to the preliminary nature of the proposed PUD.

If the applicant would like to meet to discuss these comments further, we would be happy to make ourselves available to attend a Staff Review Meeting.

**PROJECT AND SITE DESCRIPTION**

The applicant is proposing three (3) car dealerships (Mercedes Benz, Jaguar/Land Rover, and BMW) located at the northwest corner of Jackson Road and W Delhi Road. The existing parcels, approximately 21 acres in total, are currently zoned R-2 and I-1. The applicant is also proposed a mixed-use at the west side of the site which is to be determined.

The proposed dealerships will be serviced by the existing water main along Jackson Road, as well as the existing sanitary sewer along Jackson Road and W Delhi Road. One detention basin is being proposed to capture the proposed stormwater runoff, in addition to ten (10) bio-swales.



### **PLANNED UNIT DEVELOPMENT (PUD) COMMENTS**

1. The applicant shall clearly identify the proposed public benefits to be provided as part of the PUD rezoning. We defer discussion, negotiation, and approval of the proposed public benefits to the Township Staff, Township Planning Commission, and Township Board of Trustees. We recommend that our office be involved in the review of any portions of the PUD Agreement that relate to utility infrastructure improvements or contributions relating to off-site improvements. Once further information on the proposed water/sewage usage is provided, it can be determined, under separate review, if infrastructure improvements to either the water distribution and/or sanitary sewer collection system may be required as a result of this development.
2. The applicant shall provide a copy of the Traffic Impact Study (TIS) to this office for the project file. The applicant shall note that the TIS shall be reviewed and approved by the Washtenaw County Road Commission (WCRC). All proposed roadway improvements, if necessary, shall be shown on the plans for review.
3. The applicant shall provide additional details on the proposed mixed-use component on the west side of the site, including water and sanitary stubs and stormwater management.
4. The applicant shall clarify if the existing W Delhi Road is proposed to remain a public road and if access will be maintained to the existing property to the northeast (H-08-23-300-009).

### **PRELIMINARY SITE PLAN (PSP) COMMENTS**

#### **SITE UTILITIES**

1. The applicant shall provide an overall utility sheet within the plan set.
2. The applicant shall provide a preliminary sanitary sewer basis of design on the plans using the Ann Arbor Table A (attached).
3. The applicant shall clarify if, and how many, carwashes are being provided. The applicant shall note that oil-water separators shall be provided for each proposed carwash. The locations of these oil-water separators shall be clearly indicated on the plans.
4. The applicant shall overlay all existing and proposed utilities (water, sanitary, storm) on the landscape plan to ensure there are no conflicts with trees. The applicant shall note that trees shall not be placed directly above any existing or proposed utilities.
5. The applicant shall provide a minimum of 10 feet between utilities, including services, per Scio Township Standards. It currently appears the proposed water services, as well as the proposed sanitary service and hydrant near the BMW dealership, do not meet this requirement.

#### **STORMWATER MANAGEMENT**

6. The applicant shall provide preliminary stormwater calculations for the proposed detention basin and the bioswales on the plans to ensure adequate space has been provided for these stormwater management features.
7. The applicant shall provide a soil erosion and sedimentation control plan sheet within the plan set.
8. The applicant shall note that the soil boring logs and locations shall be included on the plans. The applicant shall also provide the existing soil types on the plans.



9. In addition, the applicant shall clearly indicate the location of the infiltration test pits on the plans and a copy of the infiltration report shall be submitted to this office for reference once infiltration testing has been performed.
10. The applicant shall provide an engineer's certificate of outlet on the plans, signed and sealed by a registered engineer in the State of Michigan.
11. The applicant shall provide a preliminary drainage map on the plans.
12. The applicant shall provide outfalls for all proposed bio-swales.

#### **SITE LAYOUT**

13. It currently appears that there may be conflicts between the fire truck turning template and the proposed curb/parking spaces. We defer to the Township Fire Department on the review and approval of site accessibility and hydrant radii coverage.
14. The applicant shall clarify if a designated car-hauler loading zone will be provided. If so, its location shall be shown on the plans. The applicant shall also verify the loading zone will not interfere with fire truck accessibility.

#### **PAVING/GRADING**

15. The applicant shall provide an overall grading plan within the plan set. Both existing and proposed contours shall be provided on the plans.
16. The applicant shall provide preliminary elevations (top of wall, bottom of wall) for the proposed retaining wall on the plans.
17. The applicant shall verify the proposed grading at the entrance drive along Jackson Road as they currently appear to be much lower than existing grades in the area.

#### **GENERAL**

18. The applicant shall clarify if the existing houses/utilities have already been removed. The applicant shall also clarify what trees need to be removed within the proposed parking lot on the east of W Delhi Road as it currently appears some trees were missed on the plans (Sheet L1).
19. The applicant shall provide a lighting plan within the plan set. This office defers to the Township Planner for the review and approval of the lighting plan.
20. The applicant shall provide a minimum of two (2) benchmarks, including their descriptions, on the plans, per Scio Township Standards. It currently appears only one (1) has been provided.

#### **REQUIRED PERMITS & APPROVALS**

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and this office.

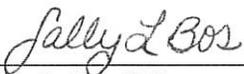
- ✦ **Scio Township Board of Trustees (BOT):** After approval of the preliminary PUD/PSP by the Township Planning Commission, Final PUD/Final Site Plan/Detailed Engineering drawings are required to be submitted for review. In addition, approvals from all applicable agencies will be required prior to PC/BOT approval. Additional sewer REU's shall be requested, in writing, prior to the Board of Trustees granting approval.
- ✦ **Scio Township Fire Department:** Review and approval is required.
- ✦ **Scio Township Planning Consultant:** Review and approval is required.

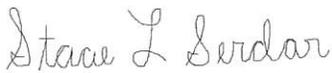


- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval of all proposed work within the Jackson Road ROW is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County SESC:** A permit will be required prior to construction.
- ▶ **Michigan Department of Environment, Great Lakes, and Energy (EGLE):** An EGLE Act 399 permit will be required for construction of all public water main improvements.
- ▶ **Michigan Department of Transportation (MDOT):** Review and approval of the proposed storm sewer outlet near the existing MDOT ROW may be required.
- ▶ Other permits/approvals/etc. may be required.

It is noted that additional comments may be generated from information presented in future submittals. If you have any questions, please contact us at (734) 522-6711.

Sincerely,  
OHM Advisors,

  
\_\_\_\_\_  
Sally L. Bos, P.E.

  
\_\_\_\_\_  
Stacie L. Serdar

SLB/SLS/nrb

cc: Steve Wyzgoski, Township Utilities Director  
Rich Hughes, Township Utilities Field Supervisor  
Will Hathaway, Township Supervisor  
Frances Szuma, Township Planning Coordinator  
Kristy Aiken, Township Office Coordinator  
Jessica Flintoft, Township Clerk  
Andrew Houde, Township Fire Chief  
Doug Lewan, CWA, Township Planner  
Laura Kreps, CWA, Township Planner  
Theresa Marsik, P.E., WCWRC  
Gary Streight, P.E., WCRC  
Mark McCulloch, WCRC  
Timothy LeRoy, Owner, Suburban Collection  
Jason Longhurst, P.E., Nowak and Fraus Engineers  
File

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TABLE A	
TYPE OF FACILITY OR USE	DESIGN DRY WEATHER FLOW RATE
Single Family Residence	300 gpd
Two Family Residence (Duplex)	600 gpd
Apartments, condos, mobile homes, trailers, coops, etc. up to 600 sq. ft. of gross floor area	175 gpd/unit
Apartments, condos, mobile homes, trailers, co-ops., etc. between 601-1200 sq. ft. of gross floor area	250 gpd/unit
Apartments, condos, mobile homes, trailers, co-ops., etc. greater than 1200 sq. ft. of gross floor area.	300 gpd/unit
Motel or hotel unit less than 400 sq. ft.	75 gpd/unit
Motel or hotel unit greater than 400 sq. ft.	150 gpd/unit
Hospital and Nursing Homes (without laundry)	150 gpd/bed
Hospital and Nursing Homes (with laundry)	300 gpd/bed
University housing, rooming house, or apartment unit housing more than 4 people	75 gpd/capita
Cafeteria (integral to an office, industrial building, or school)	2.50 gpd/capita
Non-Medical Office space	0.06 gpd/sq.ft. of gross floor area
Medical Office Space (doctor, dentist, urgent care, etc.)	0.10 gpd/sq.ft. of gross floor area
General Industrial Space	0.04 gpd/sq.ft. of gross floor area
Auditorium/Theater	5 gpd/seat
Bowling alley (plus food service areas per Restaurant standard)	100 gpd/alley
Parking Structure (exc. spaces on uncovered top decks)	27 gpd/parking space to maximum of 3,375 gpd
Church	1.50 gpd/seat
Fast Food Restaurants and Coffee Shops	20 gpd/seat
Restaurant (Other Than Fast Food)	30 gpd/seat
Stores with Food Processing but no seating (delis, butcher shop areas, etc.)	0.15 gpd/sq.ft. of gross floor area
Stores with Non-Food Process Water (barbershop, beauty salon, etc.)	0.10 gpd/sq.ft. of gross floor area
Retail Store (no process water discharge)	0.03 gpd/sq.ft. of gross floor area
Catering Hall	7.50 gpd/capita based on maximum occupancy
Grocery Store (Note: Deli and butcher shop areas to be calculated using Stores with Food Processing design rate)	0.05 gpd /sq.ft. of gross floor area
Bar, Tavern, Nightclub with no food preparation	15 gpd/capita based on maximum occupancy
Bar, Tavern, Nightclub with food preparation	30 gpd/seat
Swimming Pool (Note: Filter Backwash to be calculated using Swimming Pool Filter Backwash design rate)	20 gpd/capita based on maximum occupancy
Swimming Pool Filter Backwash based on manufacturer's spec.	To Be Determined by Public Services Area Admin.
Gas Stations	300 gpd/double hose pump
Warehouse and Storage Facilities: Manned Areas	0.06 gpd/sq.ft. of gross floor area
Laundry	425 gpd/laundry machine
Nursery and elementary schools	10 gpd/student
Middle and high schools	20 gpd/student
Spa, Country Club	0.30 gpd/sq.ft. of gross floor area
Industrial or Manufacturing Facility, Large Research Facility, or other uses not specified	To Be Determined by Public Services Area Admin.
Others (car wash, etc)	To Be Determined by Public Services Area Admin.

**STUDIO DETROIT LLC**  
2040 Park Ave, Ste 200  
Detroit, MI 48226  
313.919.5886  
shane@studio-detroit.com

September 10, 2021

**SUBURBAN SCIO PUD**  
ARCHITECT'S PROJECT NO. 1952

List of Sustainable Design Features

1. 35%+ Site open space – promotes a natural environment and reduces the impact of buildings and hardscape upon the site
2. Pocket Park and landscaped public circulation – additional landscaping and places for the general public to utilize and move about within the site. Promotes non-motorized traffic and human activity
3. Permeable paving – promotes additional water infiltration
4. Bioswales – promotes additional water infiltration and allows for the natural cleaning of stormwater and a diverse ecosystem of flora while being connected to public circulation and enhancing the visual interest of the site
5. Public electric vehicle charging stations – free electric vehicle charging areas are provided near the entrances to the site to promote the use of electric vehicles while allowing the general public to witness firsthand how this technology is the future of the automobile.
6. Buildings are designed utilizing enhanced energy efficient envelopes, are provided with roofing materials that reflect the heat gain from the sun and incorporates sustainable materials in their design.
7. Energy efficient LED lighting throughout and low water usage plumbing fixtures are incorporated into the design.
8. Dark sky compliant exterior lighting
9. Creative site planning with abundant trees and shrubs to obscure the vehicle inventory parking lot. Does not feel like a traditional parking lot.





































**Owner**

THE SUBURBAN COLLECTION  
1795 MAPLELAWN DRIVE  
TROY, MI 48084  
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PHONE: (248) 519-9888  
EMAIL: TLEROY@SUBURBANCOLLECTION.COM

**Architect**

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2111 WOODWARD AVEUNE  
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CONTACT:  
MR. SHANE BURLEY AIA, NCARB  
PHONE: (313) 919-5886  
EMAIL: SHANE@STUDIO-DETROIT.COM

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
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EMAIL: JLONGHURST@NFE-ENGR.COM

**Landscape Architect**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. GEORGE OSTROWSKI  
PHONE: (248) 332-7931  
EMAIL: GOSTROWSI@NFE-ENGR.COM

Scio Township,  
Washtenaw County, Michigan  
PUD Plan Package  
Prepared For  
The Suburban Collection  
PART OF THE SE 1/4 OF SECTION 22, T.2S., R.5E.,  
SCIO TOWNSHIP,  
WASHTENAW COUNTY, MICHIGAN

**SHEET INDEX**

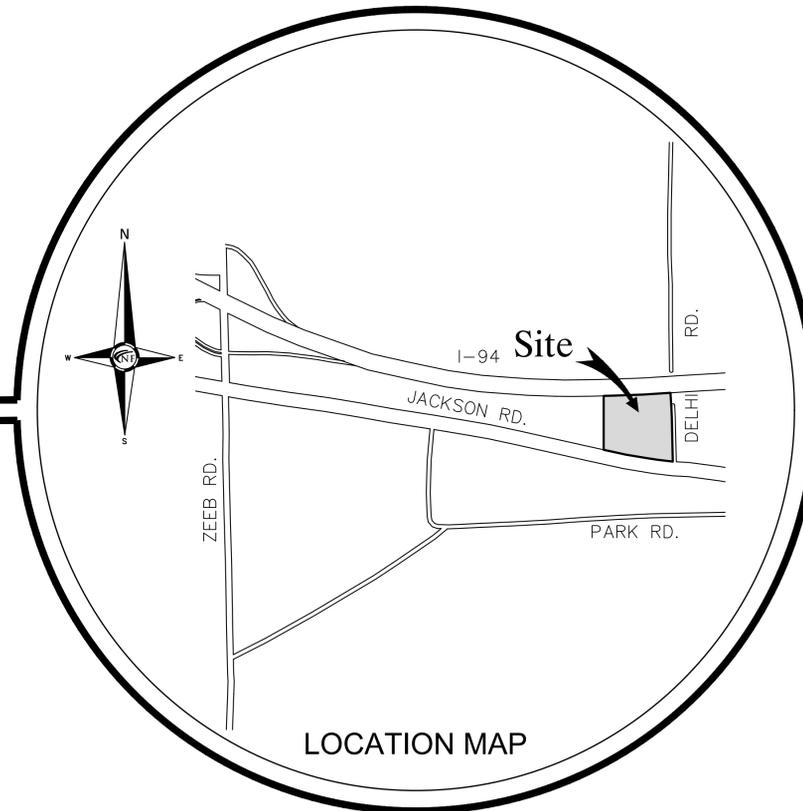
- C0 Cover Sheet
- C1 Boundary, Topographic, and Tree Survey - Overall
- C2 Boundary, Topographic, and Tree Survey - Area 1
- C3 Boundary, Topographic, and Tree Survey - Area 2
- C4 Boundary, Topographic, and Tree Survey - Area 3
- C5 Overall Site Plan
- C6 Stringer Dimension Plan - Area 1
- C7 Stringer Dimension Plan - Area 2
- C8 Stringer Dimension Plan - Area 3
- C9 Paving and Grading Plan - Area 1
- C10 Paving and Grading Plan - Area 2
- C11 Paving and Grading Plan - Area 3
- C12 Utility Plan - Area 1
- C13 Utility Plan - Area 2
- C14 Utility Plan - Area 3
- C15 Truck Maneuvering Plan

- L1 Tree Removal Plan
- L2 Overall Landscape Plan
- L3 Enlarged Landscape Plan
- L4 Enlarged Landscape Plan
- L5 Enlarged Landscape Plan
- L6 Landscape Notes and Details

- SP1.1 Site Plan
- Mercedes Benz
- TS1.4 Composite Plans
- A2.1 Exterior Elevations

- BMW
- TS1.4 Composite First Floor Plan
- TS1.5 Composite Mezzanine Plan
- A2.1 Exterior Elevations
- A2.2 Exterior Elevations

- Jaguar Land Rover
- TS1.4 Composite Floor Plan
- A2.1 Exterior Elevations



LOCATION MAP

Project Name

# The Suburban Collection Scio

**LEGAL DESCRIPTION**

(PARCELS 1 – 14 COMBINED)

PART OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 2 SOUTH, RANGE 5 EAST, TOWNSHIP OF SCIO, WASHTENAW COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

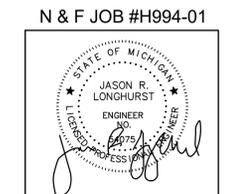
BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 22, ALSO BEING THE CENTERLINE OF DELHI ROAD (66 FEET WIDE), SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 1327.52 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 22; THENCE CONTINUING ALONG SAID EAST LINE OF SECTION 22 SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 851.55 FEET TO A POINT ON THE 1935 CENTERLINE OF JACKSON ROAD (WIDTH VARIES); THENCE NORTH 78 DEGREES 16 MINUTES 54 SECONDS WEST ALONG SAID CENTERLINE, 204.26 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, 51.64 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE DEEDED FOR RAILROAD PURPOSES AS RECORDED IN LIBER 151, PAGE 72, WASHTENAW COUNTY RECORDS; THENCE NORTH 78 DEGREES 14 MINUTES 45 SECONDS WEST ALONG SAID NORTHERLY RAILROAD RIGHT OF WAY, 83.76 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 51.70 FEET TO A POINT ON SAID CENTERLINE OF JACKSON ROAD; THENCE NORTH 78 DEGREES 16 MINUTES 54 SECONDS WEST ALONG SAID CENTERLINE OF JACKSON ROAD, 680.68 FEET; THENCE CONTINUING ALONG SAID CENTERLINE 102.49 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS OF 61462.51 FEET, CENTRAL ANGLE OF 00 DEGREES 05 MINUTES 44 SECONDS, CHORD BEARING NORTH 78 DEGREES 19 MINUTES 46 SECONDS WEST, 102.49 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 12 SECONDS EAST, 81.97 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID JACKSON ROAD; THENCE NORTH 76 DEGREES 23 MINUTES 14 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE, 154.16 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 12 SECONDS EAST, 494.18 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF I-94 (250 FEET WIDE); THENCE 413.32 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS OF 8719.42 FEET, CENTRAL ANGLE OF 02 DEGREES 42 MINUTES 57 SECONDS, CHORD BEARING NORTH 89 DEGREES 51 MINUTES 07 SECONDS EAST, 413.28 FEET; THENCE NORTH 88 DEGREES 29 MINUTES 38 SECONDS EAST ALONG SAID SOUTHERLY LINE, 782.97 FEET TO THE POINT OF BEGINNING.

EXCEPT A STRIP OF LAND, 33 FEET WIDE, DEEDED FOR RAILROAD RIGHT OF WAY PURPOSES AS RECORDED IN LIBER 151, PAGE 72 OF THE WASHTENAW COUNTY RECORDS.

OVERALL AREA LESS RAILROAD R.O.W.:  
CONTAINING 803,939.58 SQUARE FEET OR 18.45 ACRES OF LAND.

OVERALL AREA LESS JACKSON ROAD AND DELHI ROAD R.O.W.:  
CONTAINING 732,301.99 SQUARE FEET OR 16.81 ACRES OF LAND.

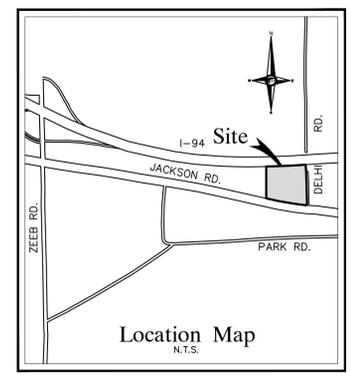
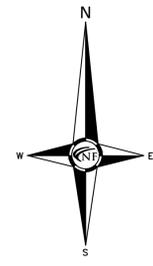
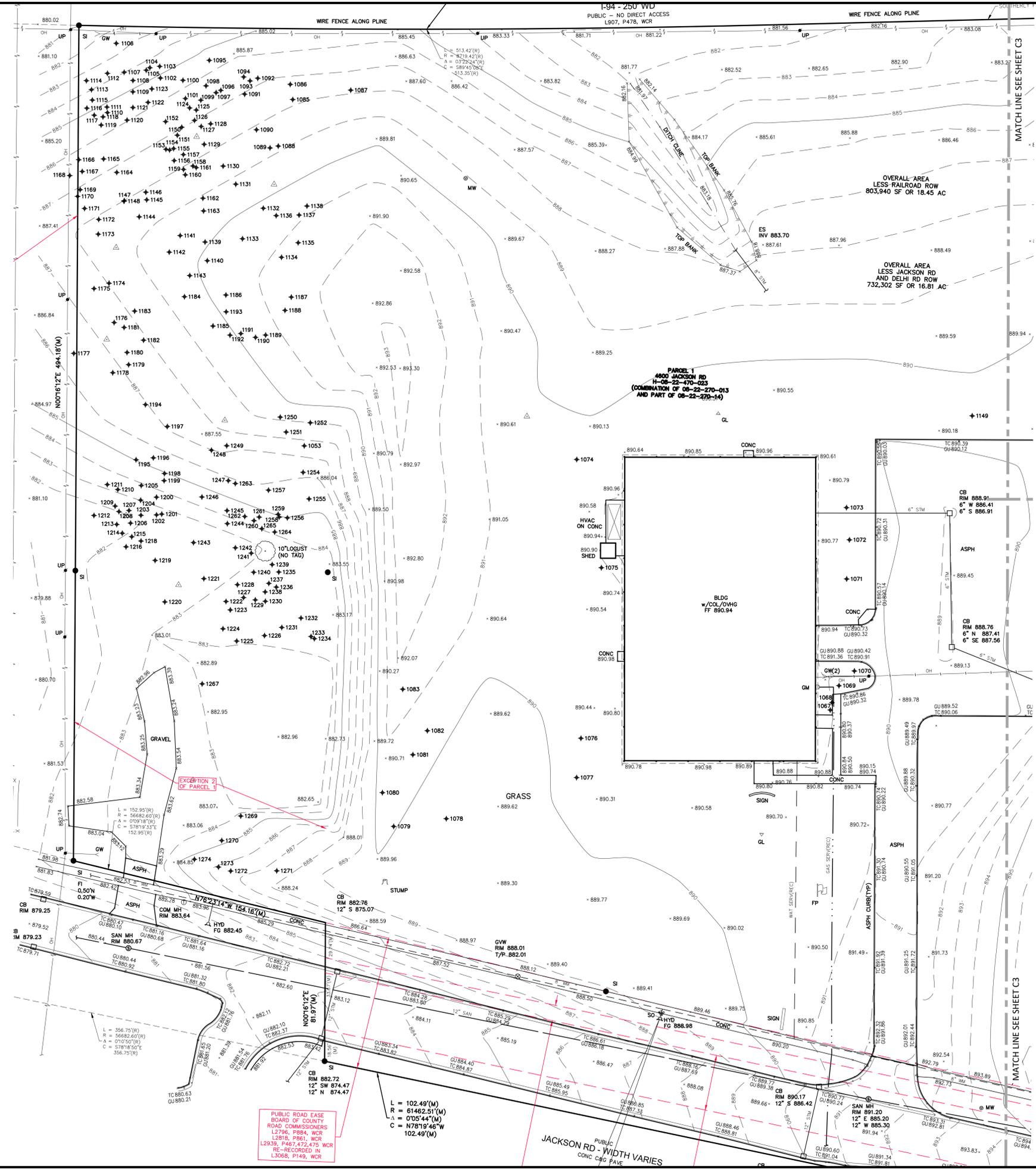
**REVISIONS:**  
2021-02-15 ISSUED FOR PRELIMINARY PUD  
2021-09-10 REVISED PER PUD REVIEW



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

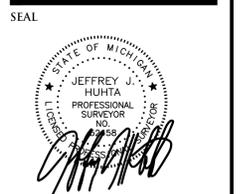
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM





**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Boundary, Topographic, and Tree Survey - Area 1



**BASIS OF BEARING NOTE**

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY THE EAST LINE OF SECTION 22 AS DESCRIBED IN THE RECORDED LEGAL DESCRIPTION OF PARCEL 1, (S.000'00"E).

**TOPOGRAPHIC SURVEY NOTES**

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.  
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**MISS DIG / UTILITY DISCLAIMER NOTE**

A MISS DIG TICKET NUMBER A41250149, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS. THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 6-28-17. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE WITH GATE VALVE		EXISTING WATER MAIN
	MANHOLE WITH CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R.Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	OVERHEAD LINES		LIGHT POLE
	SIGN		EXISTING GAS MAIN

DRAWN BY:  
 J. Nelson

DESIGNED BY:

APPROVED BY:  
 J. Huhta

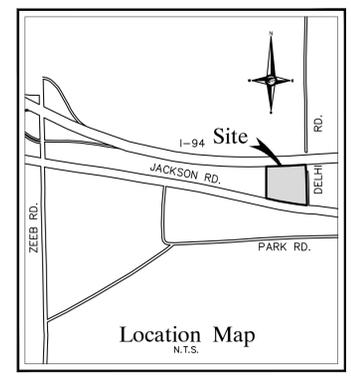
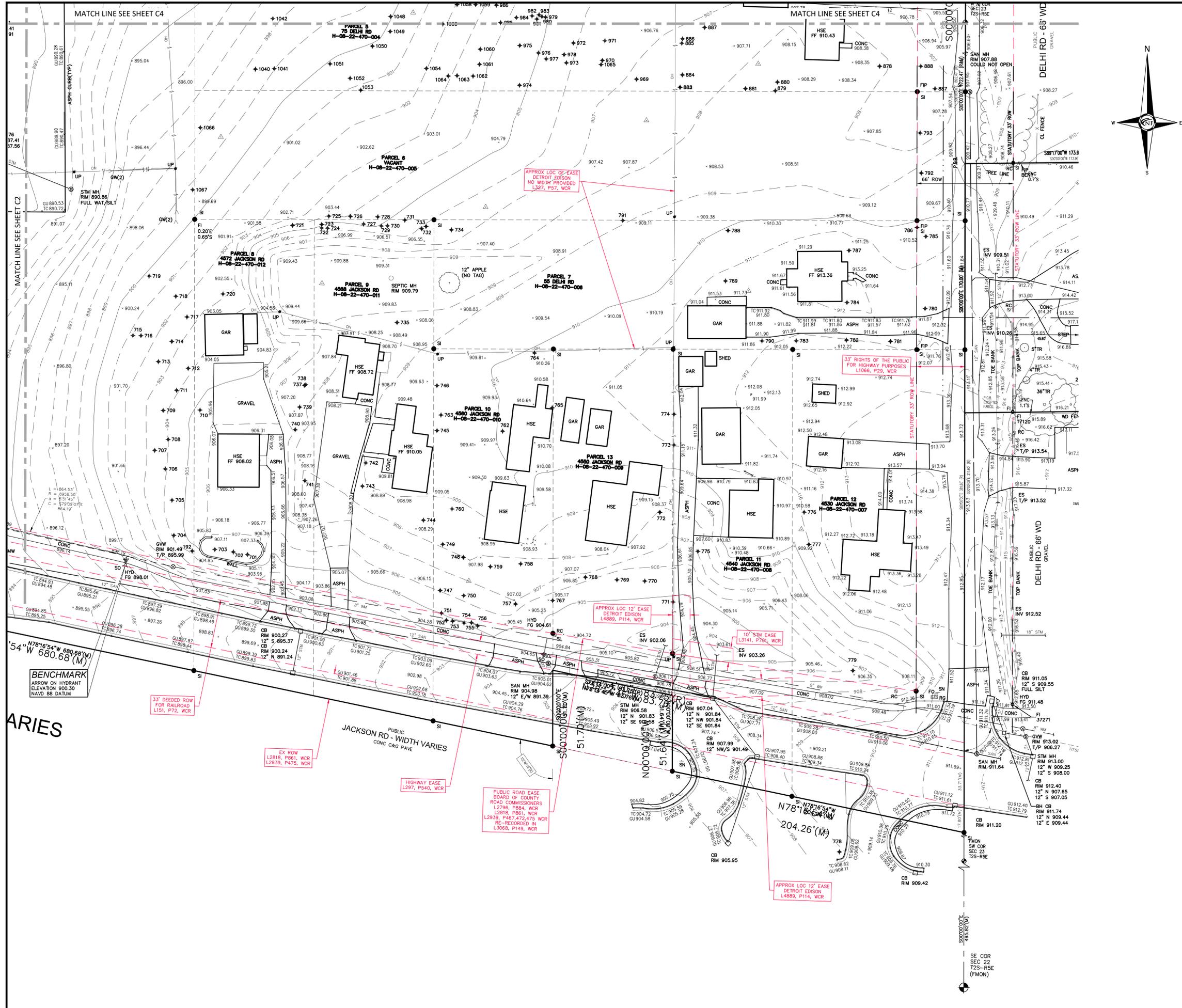
DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. **H994-01** SHEET NO. **C2**

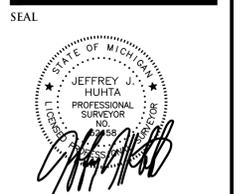
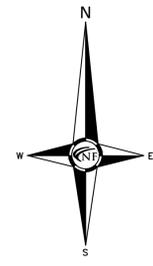
PUBLIC ROAD EASE  
 BOARD OF COUNTY  
 ROAD COMMISSIONERS  
 L2796, P884, WCR  
 L2819, P861, WCR  
 L2939, P467, 472, 475 WCR  
 RE-RECORDED IN  
 L3069, P149, WCR

L = 102.49'(M)  
 R = 61482.51'(M)  
 A = 0'05'44"(M)  
 C = 175'19'46" W  
 102.49'(M)



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM



PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Boundary, Topographic, and Tree Survey - Area 2



**BASIS OF BEARING NOTE**  
 THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY THE EAST LINE OF SECTION 22 AS DESCRIBED IN THE RECORDED LEGAL DESCRIPTION OF PARCEL 1, (S.000'00'00'').

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**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE WITH GATE VALVE		EXISTING WATER MAIN
	MANHOLE WITH CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R.Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	OVERHEAD LINES		LIGHT POLE
	SIGN		EXISTING GAS MAIN

DRAWN BY:  
 J. Nelson

DESIGNED BY:

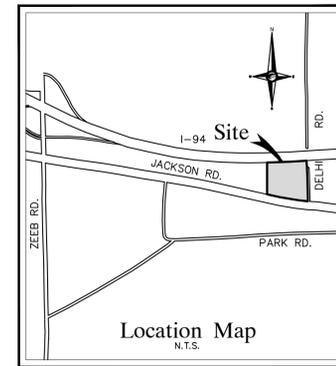
APPROVED BY:  
 J. Huhta

DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.  
**H994-01 C3**





NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM

SEAL



PROJECT  
 The Suburban Collection -  
 Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of  
 Section 22, Town 2 South,  
 Range 5 East, Scio Twp,  
 Washtenaw County,  
 Michigan

SHEET  
 Overall Site Plan

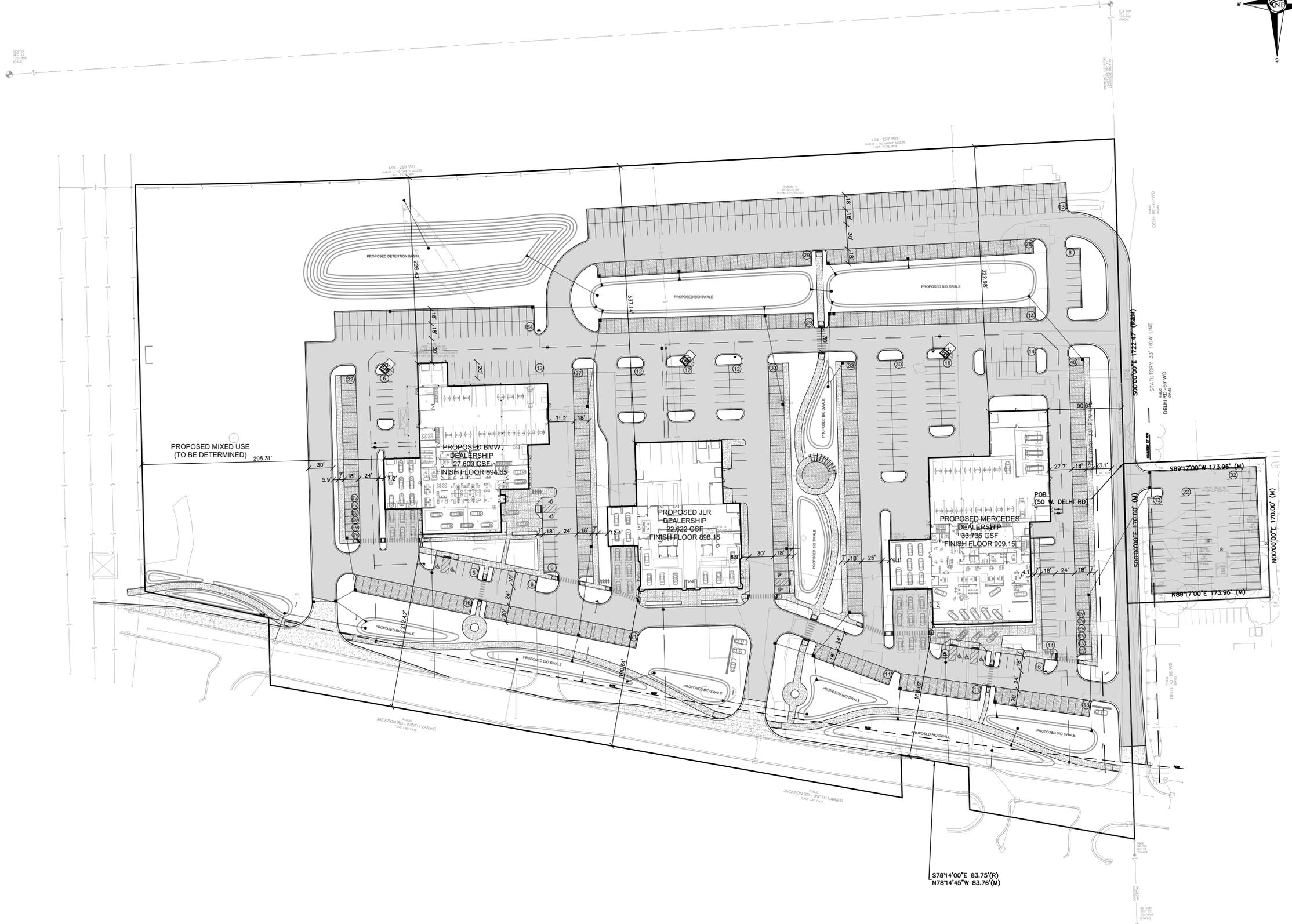


DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

DRAWN BY:  
 J. Lawrey  
 DESIGNED BY:  
 J. Longhurst  
 APPROVED BY:  
 J. Longhurst

DATE:  
 February 15, 2021  
 SCALE: 1" = 60'  
 60 30 0 30 60 90

NFE JOB NO. SHEET NO.  
**H994-01 C5**



**SITE INFORMATION**

EXISTING ZONING: R-2, I-1, AND JROD  
 PROPOSED ZONING: PUD  
 SITE AREA: 803,939.58 SF, OR 18.45 ACRES (TOTAL)  
 AREA EXCLUDING ROW: 732,301.99 SF OR 16.81 ACRES

MIN. YARD SETBACKS	REQUIRED	PROPOSED
FRONT (SOUTH)	30'	163.02'
SIDE (EAST)	20'	90.61'
SIDE (WEST)	20'	909.98'
REAR (NORTH)	50'	322.98'

MIN. YARD SETBACKS	REQUIRED	PROPOSED
FRONT (SOUTH)	30'	190.61'
SIDE (EAST)	20'	469.34'
SIDE (WEST)	20'	566.84'
REAR (NORTH)	50'	337.14'

MIN. YARD SETBACKS	REQUIRED	PROPOSED
FRONT (SOUTH)	30'	212.42'
SIDE (EAST)	20'	669.63'
SIDE (WEST)	20'	256.31'
REAR (NORTH)	50'	226.43'

VEHICLE PARKING:  
 REQUIRED: AUTO SALES  
 1 PER 200 SF OF SHOWROOM FLOOR PLUS 3 PER EACH SERVICE STALL  
 13,340 SF SHOWROOM / 200 SF = 67 SPACES  
 48 SERVICE BAYS \* 3 = 144 SPACES  
 REQUIRED: 211 SPACES  
 7 HANDICAP STALLS REQUIRED  
 PROVIDED: 211 CUSTOMER / EMPLOYEE PARKING STALLS  
 8 HANDICAP STALL  
 544 INVENTORY PARKING STALLS

LOT COVERAGE:	AREA (SF)	% LOT COVERAGE
SURFACE:	83,957 SF	11.47%
BUILDING:	292,790 SF	39.99%
IMPERVIOUS:	355,555 SF	45.55%
TOTAL:	732,302 SF	100.00%

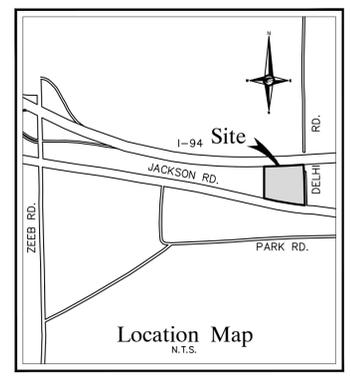
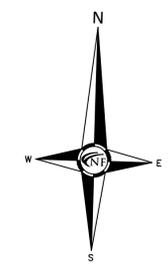
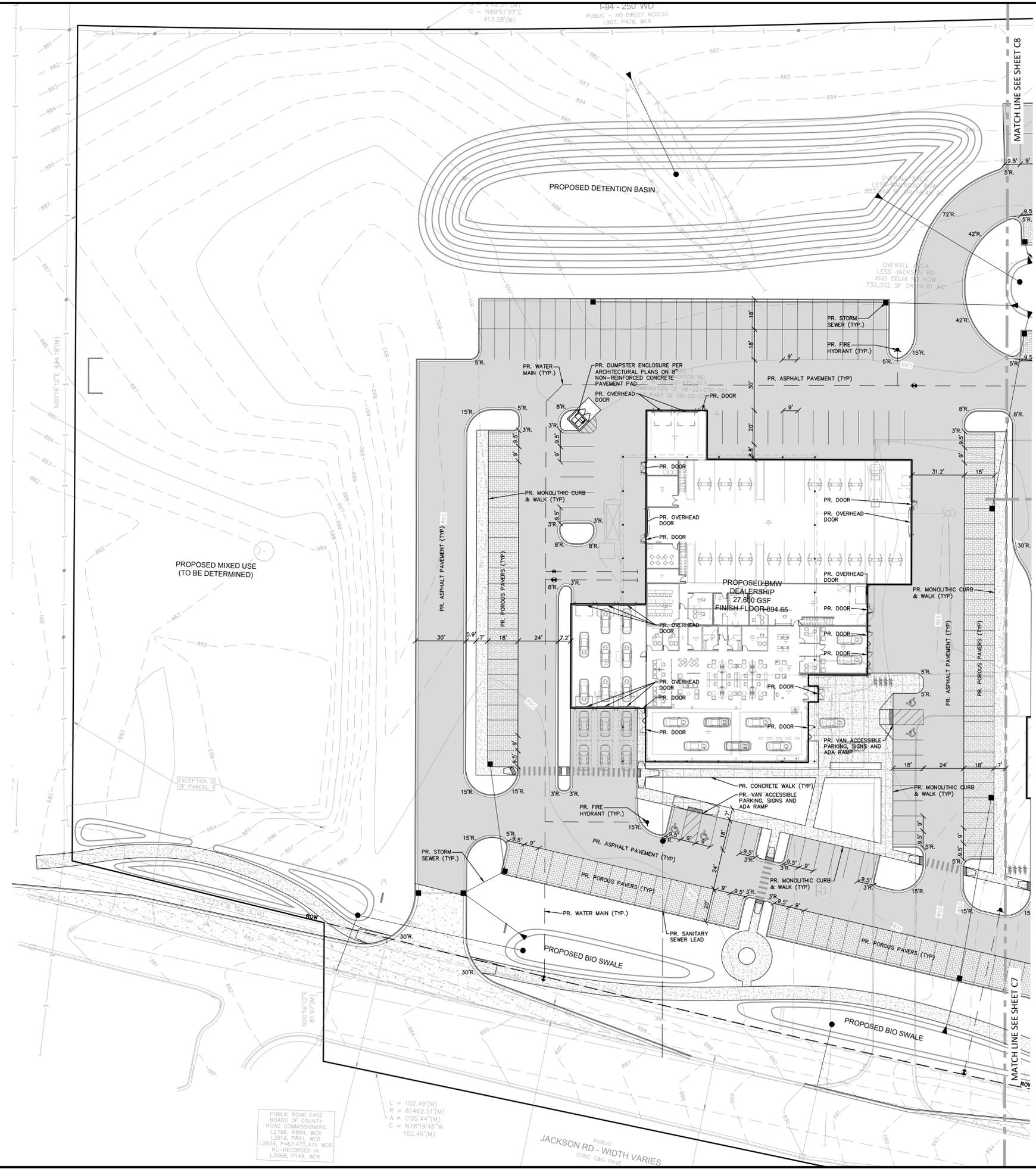
**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

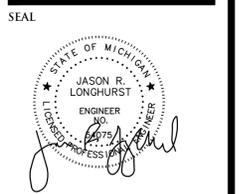
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	HYDRANT		GATE VALVE
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	INLET		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		

S78°14'00"E 83.75'(R)  
 N78°14'45"W 83.76'(M)



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM



PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Mapleawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Stringer Dimension Plan - Area 1



DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

DRAWN BY:  
 J. Lawrey

DESIGNED BY:  
 J. Longhurst

APPROVED BY:  
 J. Longhurst

DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.  
**H994-01 C6**

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

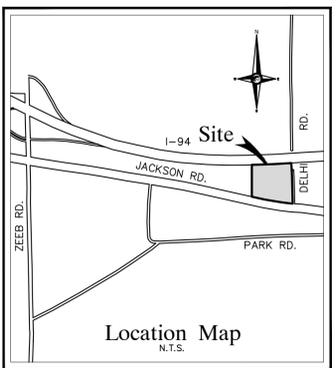
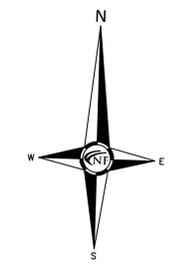
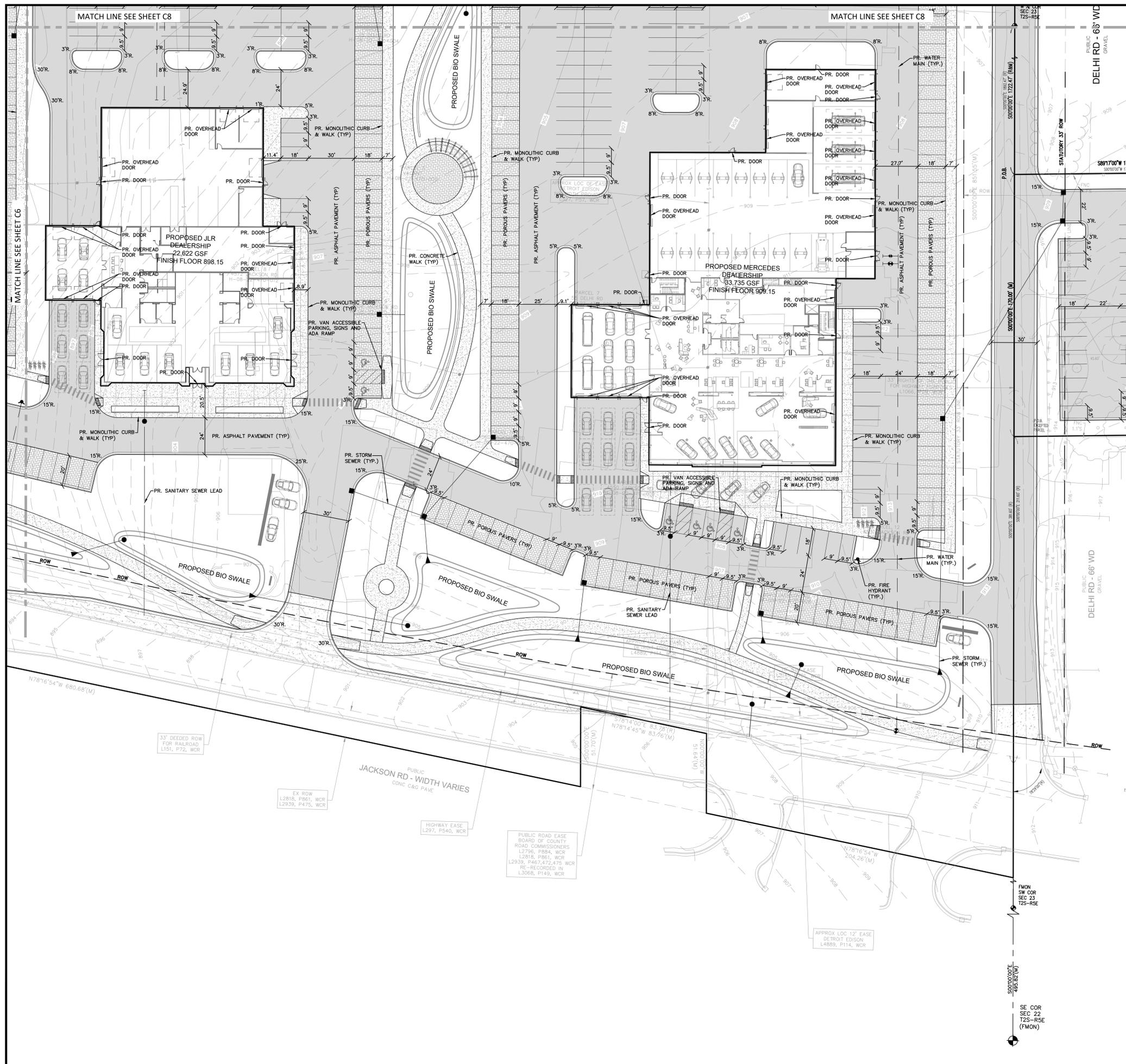
**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY WIRE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	C.O.		OVERHEAD LINES
	MANHOLE		LIGHT POLE
	HYDRANT		SIGN
	INLET		EXISTING GAS MAIN
	C.B.		PR. SANITARY SEWER
	MANHOLE		PR. WATER MAIN
			PR. STORM SEWER
			PR. R. Y. CATCH BASIN
			PROPOSED LIGHT POLE

PUBLIC ROAD EASE  
 BOARD OF COUNTY  
 ROAD COMMISSIONERS  
 L2796, P884, WCR  
 L2819, P861, WCR  
 L2930, P467, 472, 475 WCR  
 RE-RECORDED IN  
 L3068, P149, WCR

L = 102.49'(M)  
 R = 61462.51'(M)  
 A = 0°05'44"(M)  
 C = 478°19'45"W  
 102.49'(M)

JACKSON RD - WIDTH VARIES  
 CONC. C&G PAVE



**NF ENGINEERS**  
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 LAND SURVEYORS  
 LAND PLANNERS

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PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Mapleawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Stringer Dimension Plan - Area 2



DATE ISSUED/REVISED  
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PAVING LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND	
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

DRAWN BY:  
**J. Lawrey**

DESIGNED BY:  
**J. Longhurst**

APPROVED BY:  
**J. Longhurst**

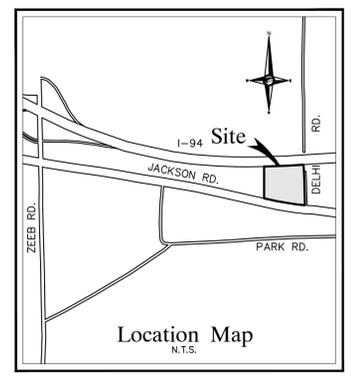
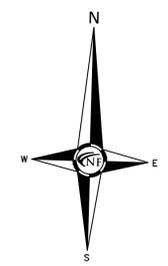
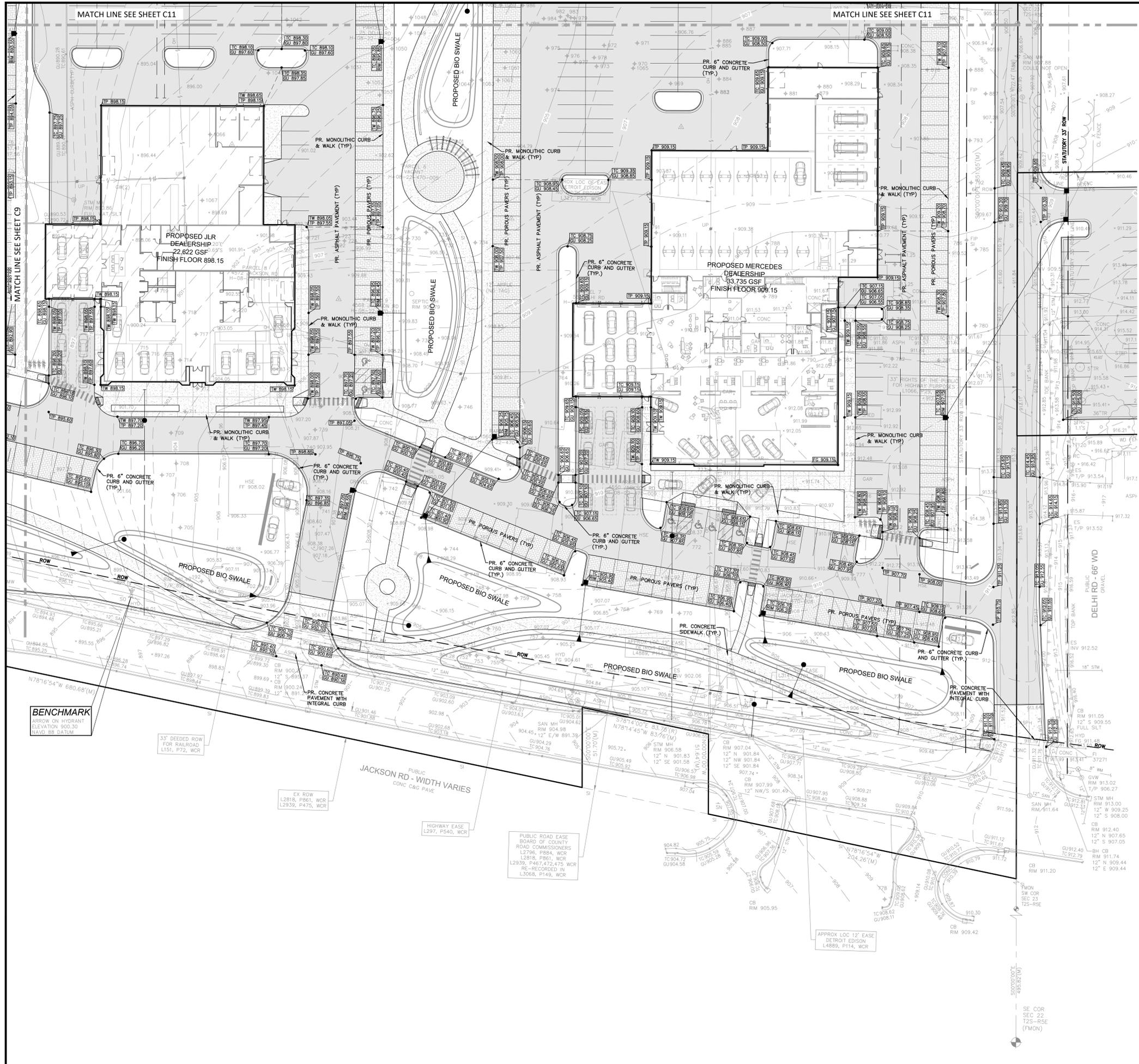
DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.  
**H994-01 C7**







**NF ENGINEERS**  
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 LAND SURVEYORS  
 LAND PLANNERS

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**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT HMA 4E1; SURFACE COURSE - MDT HMA 5E; ASPHALT CEMENT PENETRATION GRADE 58-22, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT Poured RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

STATE OF MICHIGAN  
 JASON R. LONGHURST  
 ENGINEER  
 No. 07575  
 PROFESSIONAL

PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Paving and Grading Plan - Area 2



DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

DRAWN BY:  
 J. Lawrey  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst

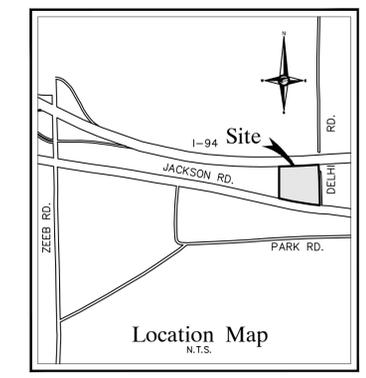
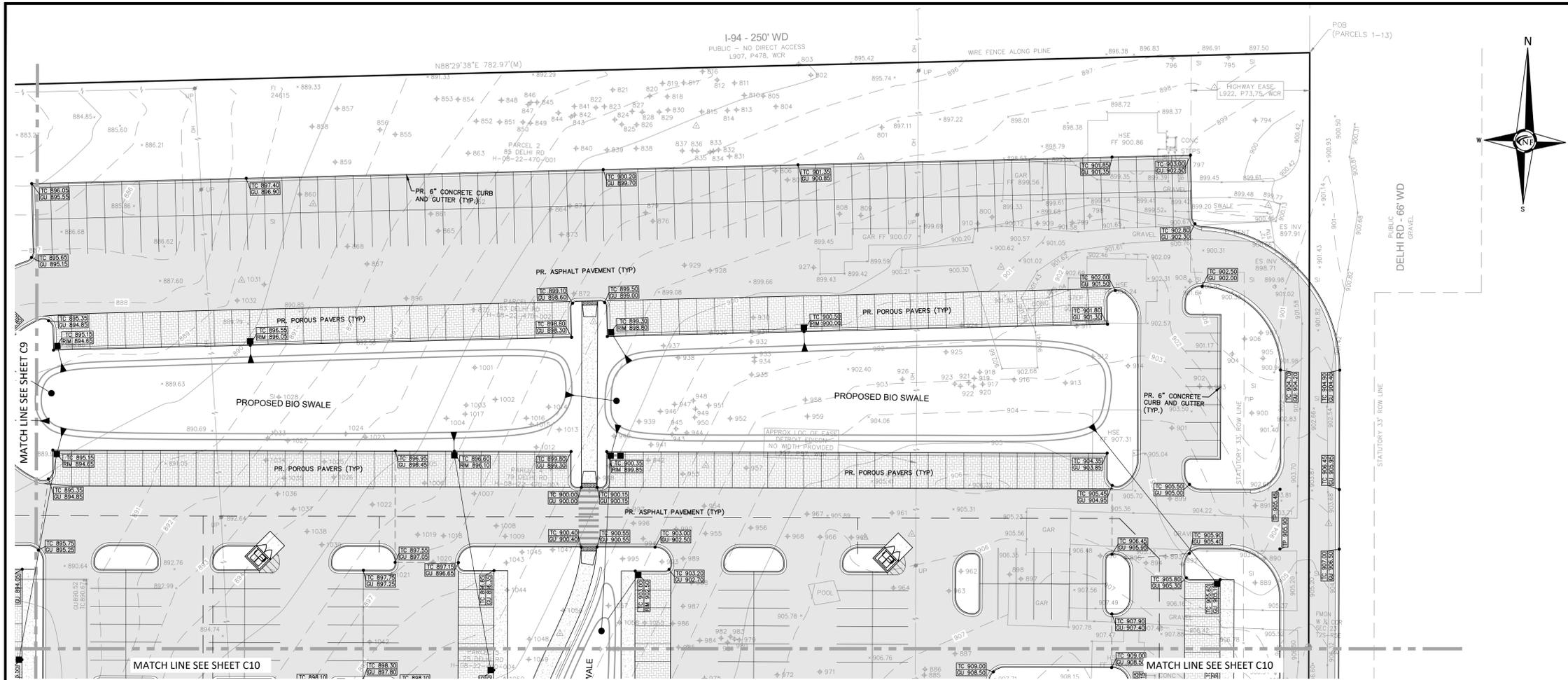
DATE:  
 February 15, 2021  
 SCALE: 1" = 30'  
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 NFE JOB NO. SHEET NO.  
 H994-01 C10

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

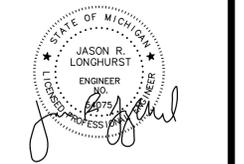
	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATERMAIN
	CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	EXISTING GAS MAIN		PR. SANITARY SEWER
	PR. WATER MAIN		PR. STORM SEWER
	PR. R. Y. CATCH BASIN		PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION		PR. TOP OF WALK ELEVATION
	PR. GUTTER ELEVATION		PR. TOP OF P.W.M. ELEVATION
	PR. TOP OF FINISH GRADE ELEVATION		



**CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS**

**NOWAK & FRAUS ENGINEERS**  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM

SEAL



**PROJECT**  
The Suburban Collection - Scio

**CLIENT**  
The Suburban Collection  
1795 Maplelawn Drive  
Troy, MI 48084

**Contact:**  
Timothy J. LeRoy  
Phone: (248) 519-9888  
Email: tleroy@suburbancollection.com

**PROJECT LOCATION**  
Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

**SHEET**  
Paving and Grading Plan - Area 3



**DATE ISSUED/REVISED**  
2021-02-15 ISSUED FOR PRELIMINARY PUD  
2021-09-10 REVISED PER PUD REVIEW

**DRAWN BY:**  
J. Lawrey  
**DESIGNED BY:**  
T. Wood  
**APPROVED BY:**  
J. Longhurst

**DATE:**  
February 15, 2021

**SCALE:** 1" = 30'  
30 15 0 15 30 45

**NFE JOB NO.** H994-01 **SHEET NO.** C11

**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - MDT HMA 4E1; SURFACE COURSE - MDT HMA 5E; ASPHALT CEMENT PENETRATION GRADE 58-22, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT Poured RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

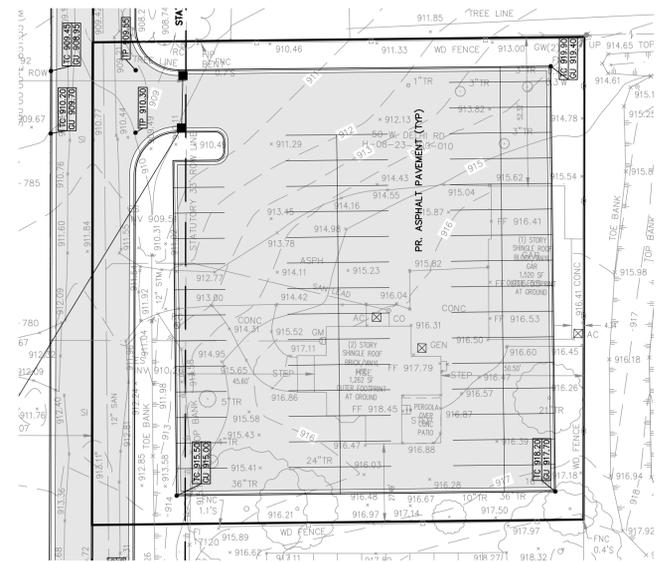
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

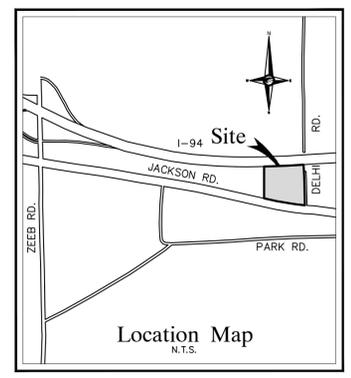
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

PAVING LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

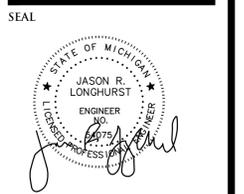
LEGEND			
	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATERMAIN
	MANHOLE		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	EXISTING GAS MAIN		PR. SANITARY SEWER
	PR. SANITARY SEWER		PR. WATER MAIN
	PR. WATER MAIN		PR. STORM SEWER
	PR. STORM SEWER		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		
	PR. TOP OF CURB ELEVATION		
	PR. GUTTER ELEVATION		
	PR. TOP OF WALK ELEVATION		
	PR. TOP OF P.W.M. ELEVATION		
	FINISH GRADE ELEVATION		





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PROJECT  
 The Suburban Collection -  
 Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of  
 Section 22, Town 2 South,  
 Range 5 East, Scio Twp,  
 Washtenaw County,  
 Michigan

SHEET  
 Utility Plan - Area 1

**SANITARY SEWER NOTE**  
 THE PROPOSED SANITARY SERVICE FOR THE SITE IS TO BE PROVIDED VIA ONE SANITARY SEWER LEAD FOR EACH BUILDING. THE PROPOSED SANITARY SEWER LEADS WILL TAP THE EX. 12" SANITARY SEWER.

**WATER MAIN NOTE**  
 THE SITE WILL BE SERVICED BY A LOOPED 8" DIA. WATER MAIN IN A PUBLIC EASEMENT. THE PROPOSED WATER MAIN LOOP WILL CONNECT TO THE EX. 8" WATER MAIN IN JACKSON ROAD AT TWO LOCATIONS VIA TAPPING SLEEVES AND GATE VALVES. ONE 6" FIRE HYDRANT LEAD WILL TAP THE EX. 8" WATER MAIN IN JACKSON ROAD. EACH BUILDING HAS A WATER SERVICE LEAD AND FIRE SUPPRESSION LEAD CONNECTING TO THE PROPOSED WATER MAIN LOOP ON SITE.

**STORM WATER MANAGEMENT NOTES**  
 EXISTING SITE CONDITIONS DRAIN TO THE I-94 MDT RIGHT-OF-WAY AND TO THE RIGHT-OF-WAY OF JACKSON ROAD. THE INTENT IS TO MAINTAIN THE SAME AREA ALREADY DRAINING TO EACH RIGHT-OF-WAY. THE PROJECT IS REQUIRED TO MEET WASHTENAW COUNTY STORM WATER REQUIREMENTS. A SERIES OF BIO SWALES AND DETENTION BASINS ARE BEING PROPOSED TO PROVIDE THE REQUIRED WATER TREATMENT, INFILTRATION AND DETENTION. AT THIS TIME NO SOIL INFILTRATION TESTS HAVE BEEN COMPLETED FOR THE PROJECT. THEREFORE THE AREAS PROPOSED FOR INFILTRATION AND DETENTION ARE PRELIMINARY AND HAVE NOT BEEN FINALIZED. FINAL DESIGN OF THE STORM WATER MANAGEMENT SYSTEMS WILL BE COMPLETED WITH THE ENGINEERING SUBMITTAL.

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	MANHOLE		EXISTING STORM SEWER
	MANHOLE		EX. R. Y. CATCH BASIN
	MANHOLE		EXISTING BURIED CABLES
	UTILITY POLE		OVERHEAD LINES
	GUY WIRE		LIGHT POLE
	GUY WIRE		SIGN
	EXISTING GAS MAIN		PR. SANITARY SEWER
	C.O. MANHOLE		PR. WATER MAIN
	HYDRANT		PR. STORM SEWER
	INLET		PR. R. Y. CATCH BASIN
	MANHOLE		SAND BACKFILL (95% DENSITY)
	MANHOLE		PROPOSED LIGHT POLE

DRAWN BY:  
 J. Lawrey

DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

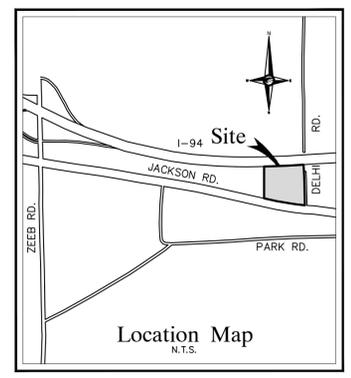
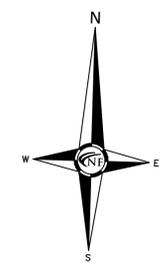
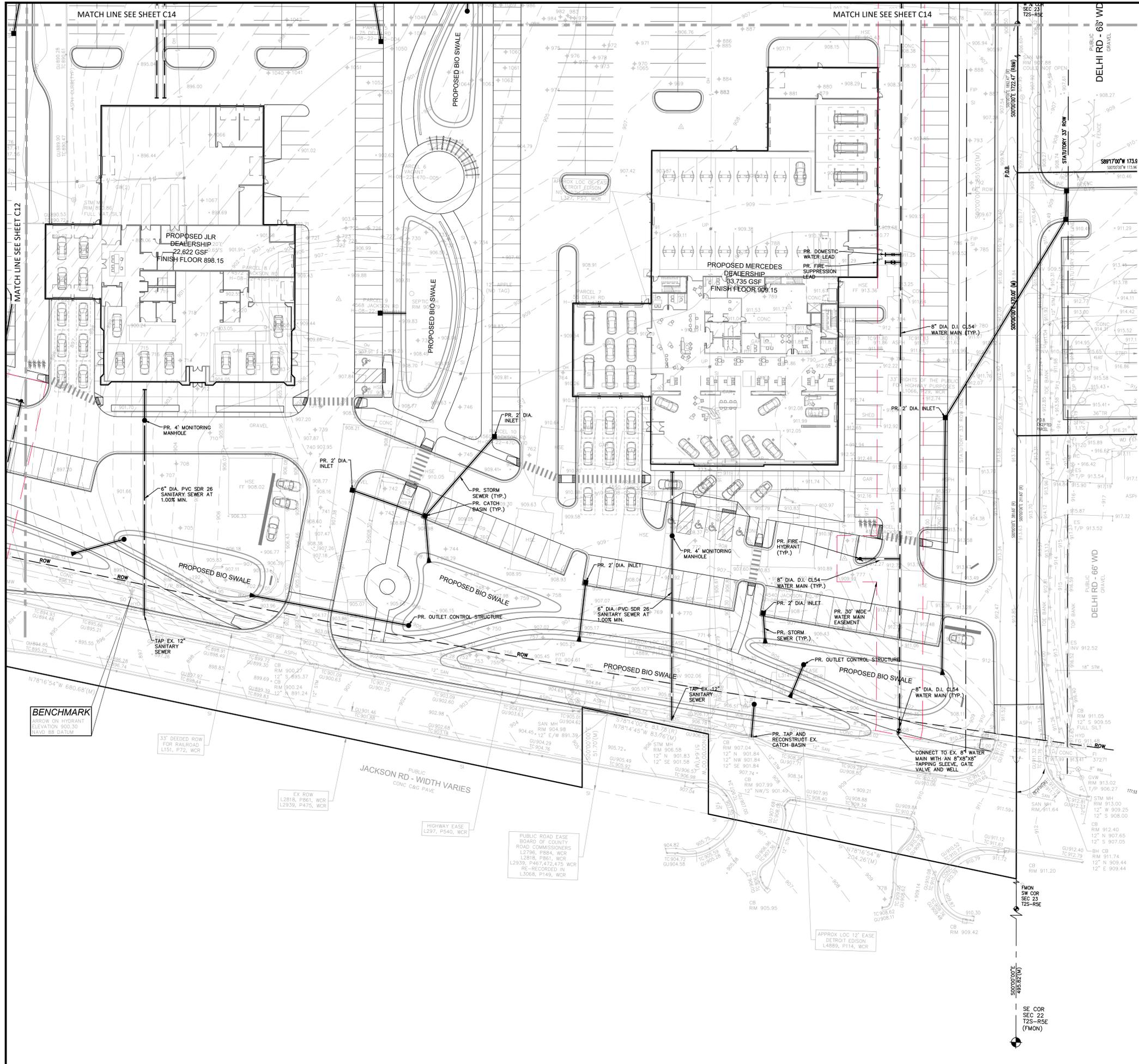
DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. **H994-01** SHEET NO. **C12**

PUBLIC ROAD EASE BOARD OF COUNTY ROAD COMMISSIONERS L2796, P884, WCR L2819, P861, WCR L2930, P467, 472, 475, WCR RE-RECORDED IN L3068, P149, WCR

L = 102.49'(M)  
 R = 61462.51'(M)  
 A = 0°05'44"(M)  
 C = N78°19'45"W 102.49'(M)



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 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
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PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Mapleawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Utility Plan - Area 2



DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE CATCH BASIN
	UTILITY POLE
	GUY POLE
	GUY WIRE
	C.O. MANHOLE
	HYDRANT GATE VALVE
	INLET C.B. MANHOLE
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	SAND BACKFILL (95% DENSITY)
	PROPOSED LIGHT POLE

DRAWN BY:  
 J. Lawrey

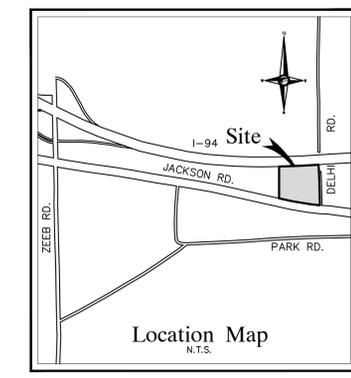
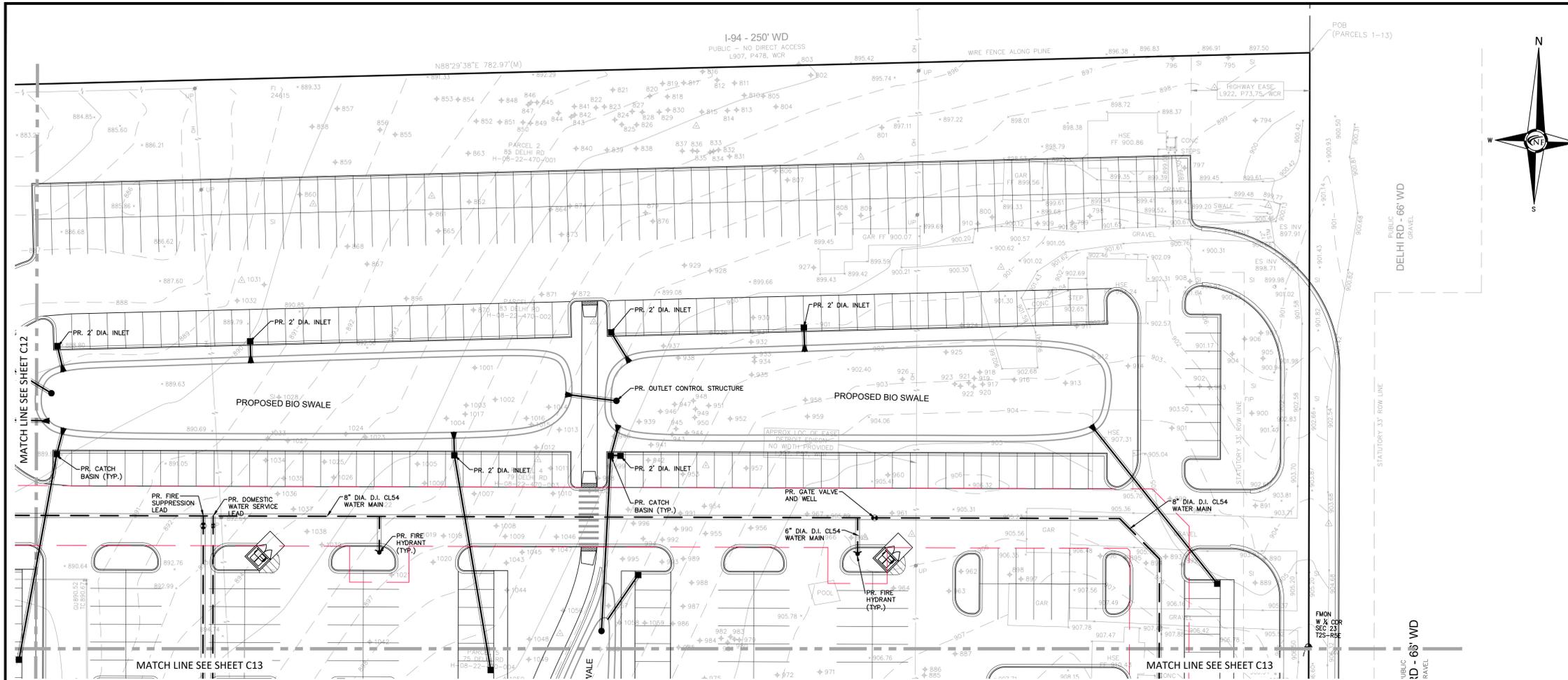
DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

DATE:  
 February 15, 2021

SCALE: 1" = 30'

NFE JOB NO. **H994-01** SHEET NO. **C13**



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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PROJECT  
 The Suburban Collection -  
 Scio

CLIENT  
 The Suburban Collection  
 1795 Maplelawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of  
 Section 22, Town 2 South,  
 Range 5 East, Scio Twp,  
 Washtenaw County,  
 Michigan

SHEET  
 Utility Plan - Area 3



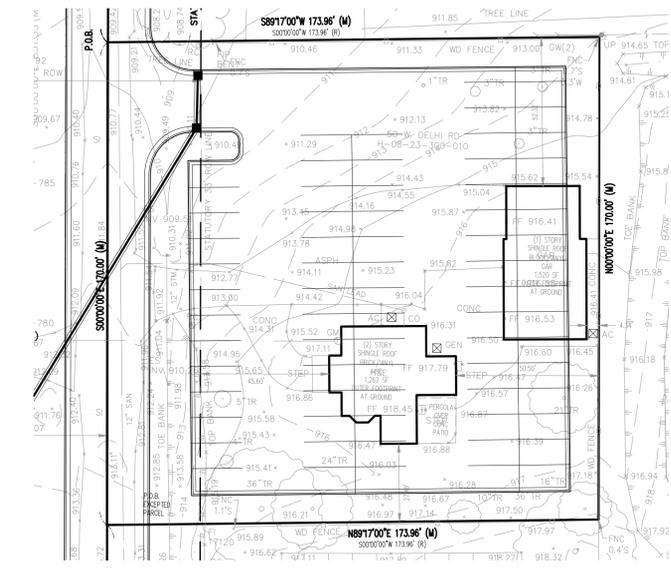
DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

DRAWN BY:  
 J. Lawrey  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst

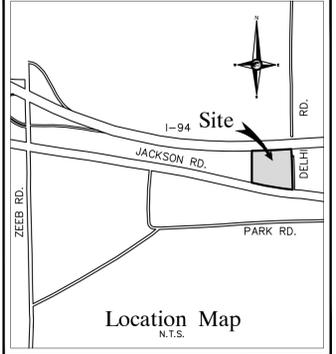
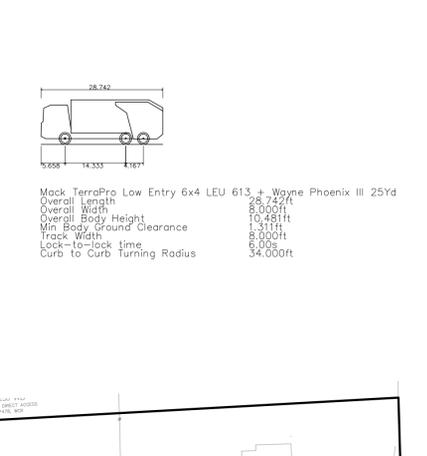
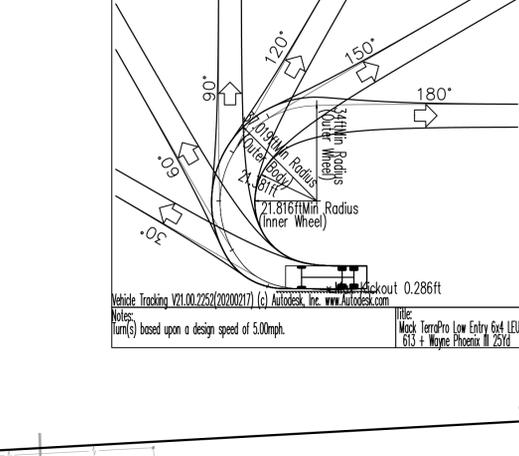
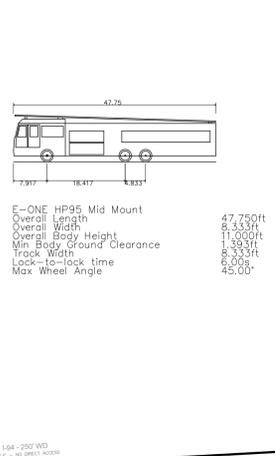
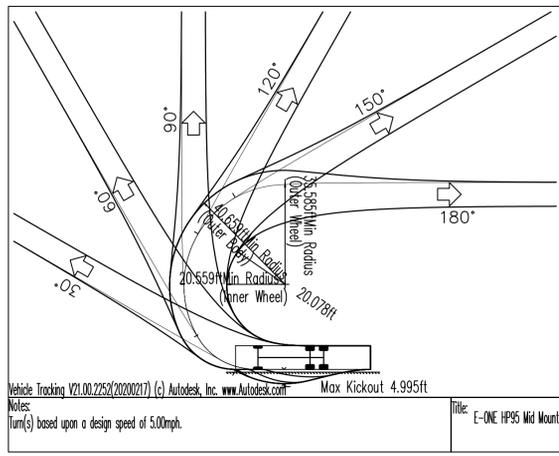
DATE:  
 February 15, 2021

SCALE: 1" = 30'  
 30 15 0 15 30 45

NFE JOB NO. SHEET NO.  
**H994-01 C14**

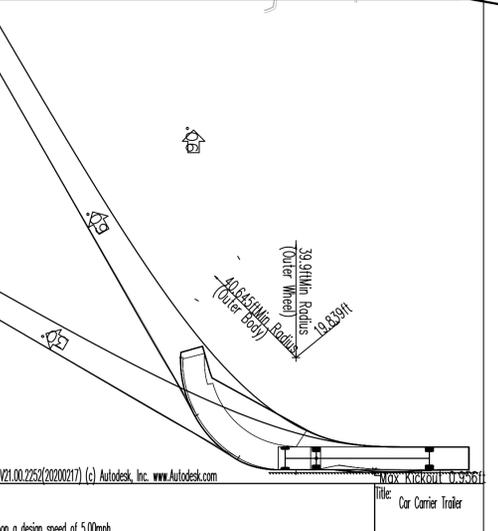
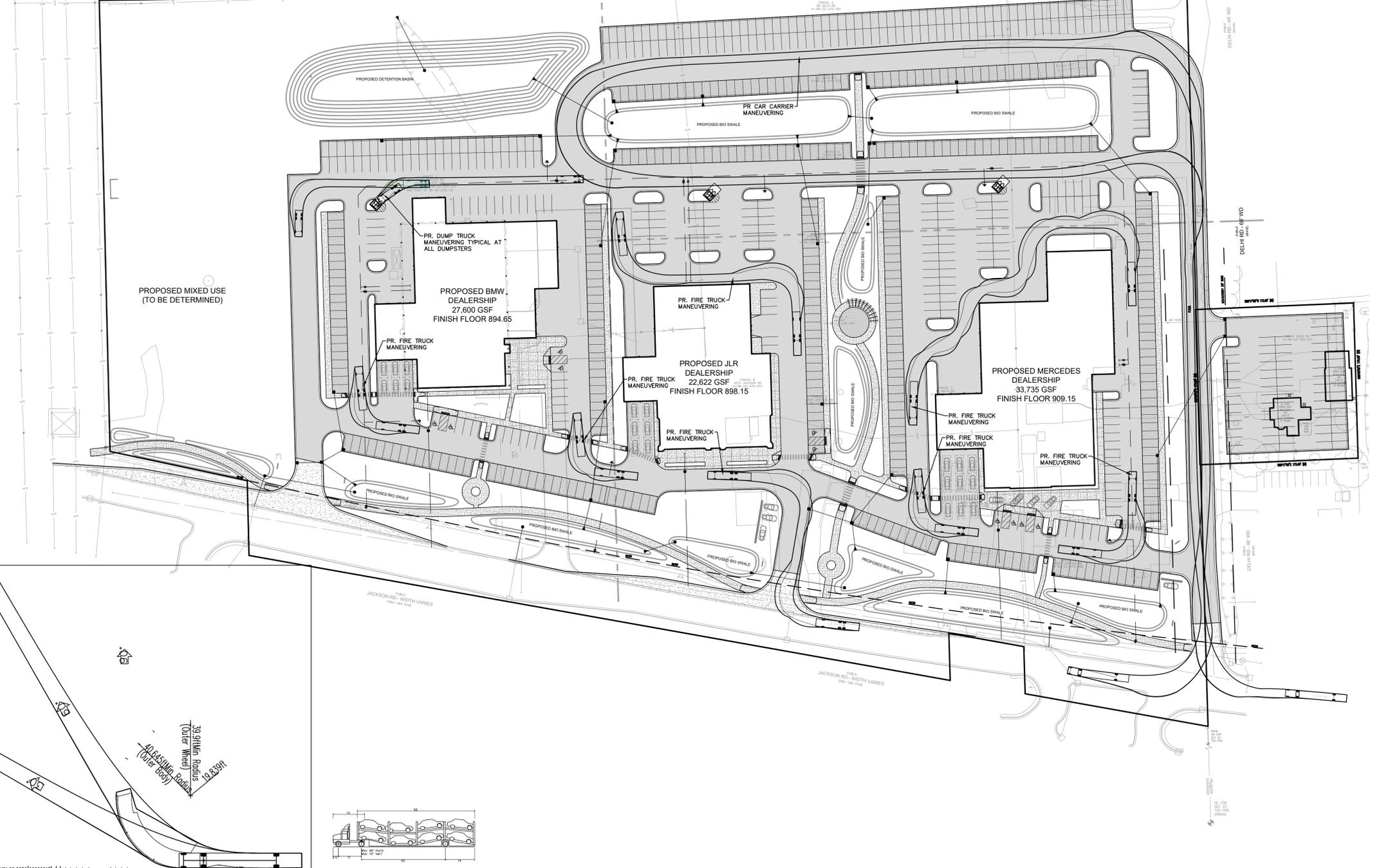


LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE
	UTILITY POLE
	C.O. MANHOLE
	HYDRANT
	INLET
	GATE VALVE
	C.B. MANHOLE
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	SAND BACKFILL (95% DENSITY)
	PROPOSED LIGHT POLE



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SEAL

STATE OF MICHIGAN  
 JASON R. LONGHURST  
 ENGINEER  
 No. 2775  
 EXPIRES 12/31/2021

PROJECT  
 The Suburban Collection - Scio

CLIENT  
 The Suburban Collection  
 1795 Mapleawn Drive  
 Troy, MI 48084

Contact:  
 Timothy J. LeRoy  
 Phone: (248) 519-9888  
 Email: tleroy@suburbancollection.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 22, Town 2 South, Range 5 East, Scio Twp, Washtenaw County, Michigan

SHEET  
 Truck Maneuvering Plan



DATE ISSUED/REVISED  
 2021-02-15 ISSUED FOR PRELIMINARY PUD  
 2021-09-10 REVISED PER PUD REVIEW

DRAWN BY:  
 J. Lawrey

DESIGNED BY:  
 J. Longhurst

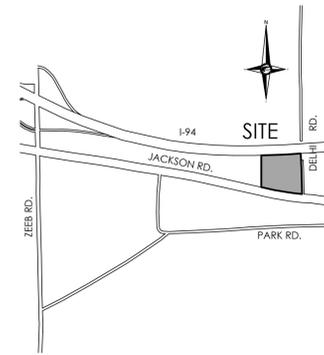
APPROVED BY:  
 J. Longhurst

DATE:  
 February 15, 2021

SCALE: 1" = 60'

NFE JOB NO. SHEET NO.  
**H994-01 C15**





LOCATION MAP N.T.S.



INTERSTATE 94

NATURAL BUFFER AREA OF TREES AND UNDERSTORY TO REMAIN AS MUCH AS POSSIBLE TO SCREEN INTERSTATE

PROPOSED PERMEABLE PAVERS

PROPOSED INVENTORY STORAGE LOT

DELHI ROAD

JACKSON ROAD

PROPOSED LINEAR PARKWAY ALONG JACKSON ROAD TO INCLUDE: 8' WIDE PATHWAY, BIOSWALES AND NATIVE VEGETATION TO MANAGE STORMWATER, BENCHES AND/OR LOW WALLS FOR SEATING

NOTE:  
SEE SHEETS L3-L5 FOR ENLARGED LANDSCAPE PLANS WITH PLANT INFORMATION

SEE SHEET L6 FOR NOTES AND DETAILS

LANDSCAPE REQUIREMENTS

GENERAL SITE LANDSCAPE AREA  
25% OF SITE AREA SHALL BE LANDSCAPED  
AREA REQUIRED: 25% X 732,302 S.F. = 183,075.50 S.F. OR 4.20 AC REQUIRED  
AREA PROVIDED: 241,352.31 S.F. OR 5.54 ACRES (33%)

FRONTAGE LANDSCAPE REQUIREMENTS

1 TREE PER 30 L.F. OF ROAD FRONTAGE  
6 SHRUBS PER 30 L.F. OF ROAD FRONTAGE  
JACKSON ROAD:  
1,222.90 L.F. OF FRONTAGE / 30 L.F. = 40.76 OR 41 TREES  
(AT LEAST 21 SHALL BE STREET TREES AS A PART OF JROAD)  
1,222.90 L.F. OF FRONTAGE / 30 L.F. X 6 = 244.58 OR 245 SHRUBS  
PROVIDED:  
41 CANOPY TREES  
245 SHRUBS

PARKING LOT LANDSCAPE REQUIREMENTS

1 TREE PER 8 PKG SPACES  
REQUIRED:  
765 PKG SPACES PROVIDED/8 = 96.63 OR 97 TREES REQUIRED  
PROVIDED:  
97 TREES

BUILDING FOUNDATION REQUIREMENTS

1 ORNAMENTAL TREE AND 6 SHRUBS PER 30 L.F. OF FACADE ADJACENT TO ROAD FRONTAGE  
BUILDING A: 176.42 L.F.  
REQUIRED:  
176.42 L.F. / 30 L.F. = 5.88 OR 6 ORNAMENTAL TREES  
176.42 L.F. / 30 L.F. X 6 = 35 SHRUBS  
PROVIDED: 6 TREES AND 36 SHRUBS

BUILDING B: 162.19 L.F.

REQUIRED:  
162.19 L.F. / 30 L.F. = 5.4 OR 6 ORNAMENTAL TREES  
162.19 L.F. / 30 L.F. X 6 = 32 SHRUBS  
PROVIDED: 6 TREES AND 32 SHRUBS

BUILDING C: 172.51 L.F.

REQUIRED:  
172.51 L.F. / 30 L.F. = 5.75 OR 6 ORNAMENTAL TREES  
172.51 L.F. / 30 L.F. X 6 = 35 SHRUBS  
PROVIDED: 6 TREES AND 50 SHRUBS

WOODLAND REPLACEMENTS

REGULATED TREE REPLACEMENTS REQUIRED: 200 TREES  
LANDMARK TREE REPLACEMENTS REQUIRED: 501 TREES  
TOTAL REPLACEMENTS REQUIRED: 701 TREES  
TOTAL REPLACEMENTS PROVIDED: 200 TREES

KEY LEGEND

- 1 BIOSWALE SERIES WITH NATIVE PLANT MATERIAL AND STONE
- 2 4' WIDE STONE CHANNEL, 3/4" TO 8" DIA WASHED STONE W/ CHECK DAMS WHERE NECESSARY
- 3 PERVIOUS PAVERS IN PARKING STALL AREAS, DRAIN TO BIOSWALES
- 4 CURVILINEAR RETAINING WALLS TO TRANSITION GRADE
- 5 MASONRY TRASH ENCLOSURE, W/ SELF-CLOSING GATES
- 6 DEALERSHIP SIGNAGE PER ARCHITECTURAL DRAWINGS
- 7 SITE ACCESS FROM LINEAR PARK, W/ ART INSTALLATION OR PLANTING BED
- 8 PLAZA W/ PERGOLA, BENCHES, DECORATIVE PAVING AND ORNAMENTAL PLANTINGS
- 9 NATURAL BUFFER OF TREES AND UNDERSTORY VEGETATION TO BE PRESERVED
- 10 NATURALIZED DETENTION BASIN
- 11 BENCHES PROVIDED ALONG LINEAR PARKWAY
- 12 FUTURE CONNECTION TO PUBLIC WALKWAY/LINEAR PARK

SEAL



PROJECT  
Suburban Collection - Scio  
Jackson Rd east of Zeeb Rd  
Scio Twp, MI

CLIENT  
Suburban Collection  
1795 Mapleawn Drive  
Troy, MI 48084

Contact:  
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PROJECT LOCATION  
Part of the Southeast 1/4 of  
Section 22, Town 2 South,  
Range 5 East, Scio Twp.,  
Washtenaw County,  
Michigan

SHEET  
Overall Landscape Plan



Know what's below  
Call before you dig.

REVISIONS

DRAWN BY:  
G. Ostrowski

DESIGNED BY:  
G. Ostrowski

APPROVED BY:  
G. Ostrowski

DATE:  
09-03-2021

SCALE: 1" = 60'

60 30 0 30 60 90

NFE JOB NO. SHEET NO.  
H994-01 L2

PLANT SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
AA	6	Acer rubra, Armstrong Armstrong Red Maple	2.5' CAL	SEE PLAN	8&B	FULLY BRANCHED HEADS
AL	22	Amelanchier alnifolia Allegheny Serviceberry	8-10' HT	SEE PLAN	8&B	
BN	20	Betula nigra River Birch	12-14' HT	SEE PLAN	8&B	CLUMP FORM, 3 CANES
CC	55	Cercocarpus canadensis Scarlet Tanager	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
GT	15	Gleditsia inopuntis 'Imperial' Imperial Honey Locust	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
LS	6	Liquidambar styraciflua Emerald Sentinel Emerald Green Sweet Gum	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
LT	40	Lonicera tulipifera Tulip Tree	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
MG	21	Metosagallo glaberrimoides Downy Hawthorn	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
NS	27	Nyssa sylvatica 'Red Rage' Red Rage Nyssa	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
PG	47	Picea glauca 'Denkmo' Black Hills Spruce	8' HT	SEE PLAN	8&B	FULL, MATCHED HEADS
PP	17	Picea canadensis Colorado White Spruce	8' HT	SEE PLAN	8&B	FULL, MATCHED HEADS
PS	18	Pinus strobus 'Pink Pearl' Pink Pearl Shortleaf Pine	2' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
QB	23	Quercus bicolor Swamp White Oak	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
TA	43	Tilia americana 'McSentry' American Sentinel Linden	2.5' CAL	SEE PLAN	8&B	FULL, MATCHED HEADS
<b>SHRUBS</b>						
AM	72	Amorpha melanocarpa Black Chokeberry	30' HT	36" OC	8&B	
BK	30	Buxus 'Winter Gem' Winter Gem Boxwood	30' HT	30" OC	8&B	
CS	186	Cornus alternifolia Kelsey Acid Top Dogwood	30' HT	4" OC	8&B	
RK	48	Rosa 'Knockout' Knockout Rose	30' HT	36" OC	8&B	
VC	24	Viburnum coccineum Cranemoss Viburnum	36" HT	5" OC	8&B	
<b>GROUNDCOVERS/PERENNIALS</b>						
CA	38	Cataglyphis a. 'Karl Foerster' Karl Foerster Feather Reed Grass	3 GAL	30" OC	CONT	
EP	48	Echinacea purpurea 'Cheyenne Spirit' Cheyenne Spirit Coneflower	2 GAL	24" OC	CONT	
HM	273	Hesperis matronalis Japanese Forest Grass	2 GAL	30" OC	CONT	
LR	424	Liriodendron chinensis Liriodendron	1 GAL	15" OC	CONT	
PV	50	Parthenocissum vitacea Northwind Sweet Grass	3 GAL	30" OC	CONT	









### LOW-GROW LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH LOW-GROW LAWN SEED MIX, AT A RATE OF 5 LBS/1,000 S.F. SEED AVAILABLE FROM:  
NATIVESCAPES, LLC  
(7) 1-517-456-7245

\* MIX IS COMPRISED OF  
22.25% PENN LAWN RED FESCUE  
22.5% CREEPING RED FESCUE  
21.75% CHEWINGS FESCUE  
11.8% VICTORY II CHEWINGS FESCUE  
9.8% SPARTAN HEAD FESCUE  
9.9% AZAY SHEEPS FESCUE

### GENERAL SOD NOTE:

ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES SOD INSTALLATION SHALL OCCUR ONLY:  
SPRING: APRIL 1 TO JUNE 1  
FALL: AUGUST 15 TO OCTOBER 15

### GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.

SEEDING INSTALLATION SHALL OCCUR ONLY:  
SPRING: APRIL 1 TO JUNE 1  
FALL: AUGUST 15 TO OCTOBER 15

### TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE

MIX IS COMPRISED OF  
30% NITE HAWK PERENNIAL RYE  
30% KENTUCKY BLUEGRASS  
20% CREEPING RED FESCUE  
10% MERIT KENTUCKY BLUEGRASS  
10% NEWPORT KENTUCKY BLUEGRASS

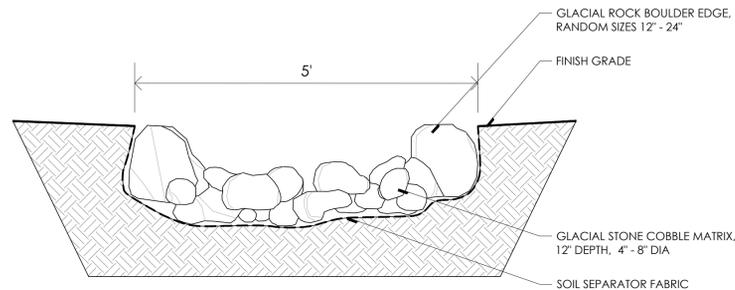
### RAIN GARDEN SEED MIX

\*CONTAINS 30% WILDFLOWERS, 10% NATIVE GRASSES AND 60% TEMPORARY GRASSES

WILDFLOWERS	GRASSES
NEW ENGLAND ASTER	BIG BLUESTEM
HEATH ASTER	CANADA WILD RYE
OX EYE SUNFLOWER	DARK GREEN BULRUSH
DENSE B. ADJUSTAR	INDIAN GRASS
GREAT BLUE LOBELIA	WETLAND SEDGES
CARDINAL FLOWER	FOWL MANNA GRASS
BERGAMOT (BEEBALM)	RAIRIE CORD GRASS
SMOOTH PENSTEMON	DEER TONGUE
MOUNTAIN MINT	
YELLOW CONIFLOWER	TEMPORARY GRASSES
BLACK EYED SUSAN	SEED OATS
PRAIRIE DOCK	ANNUAL RYE
LANCE-LEAVED GOLDENROD	WINTER WHEAT
CHIO GOLDENROD	AMERICAN SLOUGH GRASS
GOLDEN ALEXANDERS	

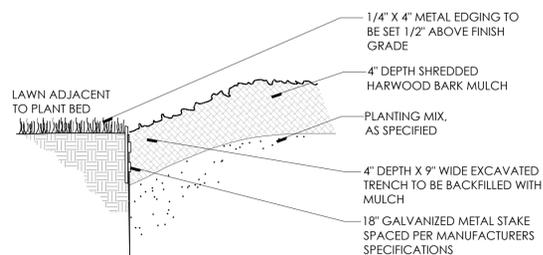
RECOMMENDED SEEDING RATE: 50-55 LBS/ACRE

SEED MIX AVAILABLE:  
NATIVESCAPES, LLC  
PO BOX 122  
MANCHESTER, MI 48158  
T 517.456.9696



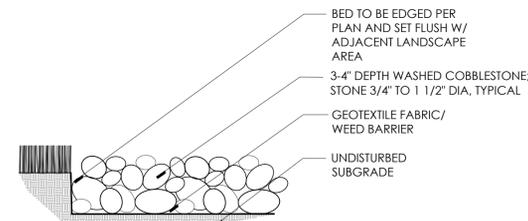
### STONE CHANNEL

N.T.S.



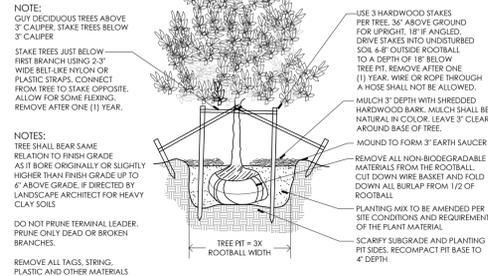
### METAL EDGING DETAIL

N.T.S.



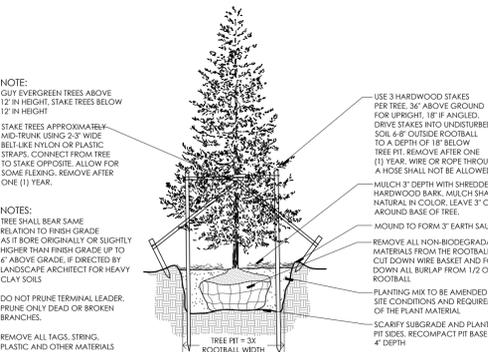
### COBBLESTONE MULCH DETAIL

N.T.S.



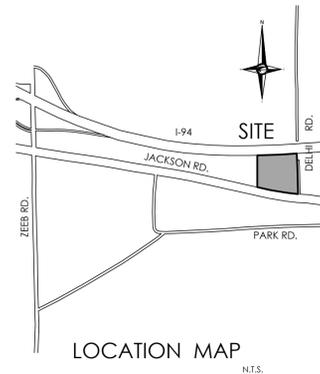
### DECIDUOUS TREE PLANTING DETAIL

N.T.S.



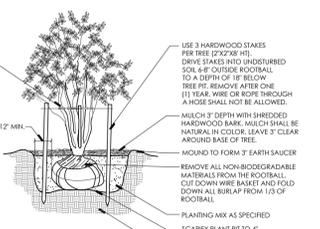
### EVERGREEN TREE PLANTING DETAIL

N.T.S.



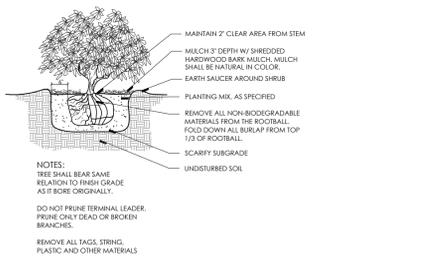
### LOCATION MAP

N.T.S.



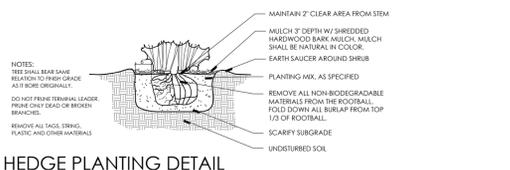
### MULTI-STEM TREE PLANTING DETAIL

N.T.S.



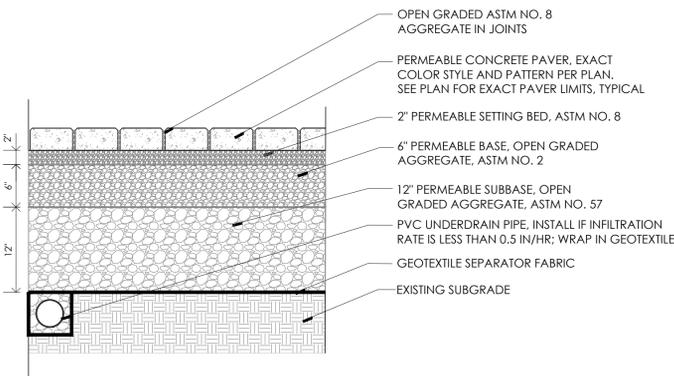
### SHRUB PLANTING DETAIL

N.T.S.



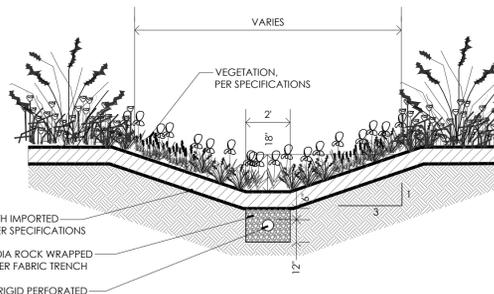
### HEDGE PLANTING DETAIL

N.T.S.



### PERMEABLE PAVER SECTION

N.T.S.

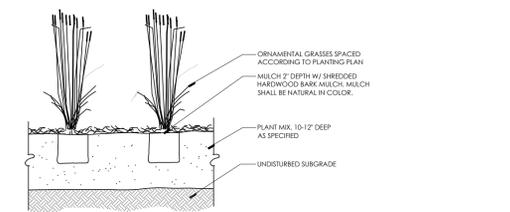


### TYPICAL BIOSWALE

N.T.S.

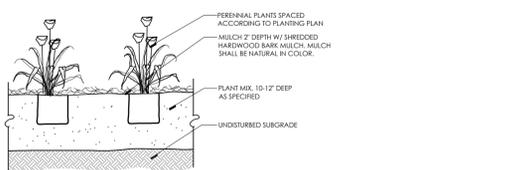
### GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANNING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR BEFORE FINISH OF WORK. ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL BEFORE ANY FINANCIAL/CONTRACTOR TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- PLANTS SHALL BE FULLY BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- FOR SEED MIX DETAIL.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR HURBURY STOCK. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING AREAS AS INDICATED BY PLAN DETAIL AND A DEPTH OF 4" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATES.
- AMENDED PLANT MIX PREPARED TOPSOIL SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 STONY DOZY COMPOST MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTING SHALL BE MULCHED WITH SHREDED HARDWOOD BARK, SPREAD TO A DEPTH OF 2" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GRASSES/COVER PLANTS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PRICES ON INCONSISTENT SITE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLAN) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DESTROYED DURING CONSTRUCTION, AND TO THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.



### ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.



### PERENNIAL PLANTING DETAIL

N.T.S.



NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
Suburban Collection - Scio  
Jackson Rd east of Zeeb Rd  
Scio Twp , MI

CLIENT  
Suburban Collection  
1795 Maplelawn Drive  
Troy, MI 48084

Contact:  
Timothy J. LeRoy  
248-519-9888  
tleroy@suburbancollection.com

PROJECT LOCATION  
Part of the Southeast 1/4 of  
Section 22, Town 2 South,  
Range 5 East, Scio Twp.,  
Washtenaw County,  
Michigan

SHEET  
Landscape Notes and  
Details



Know what's below  
Call before you dig.

REVISIONS

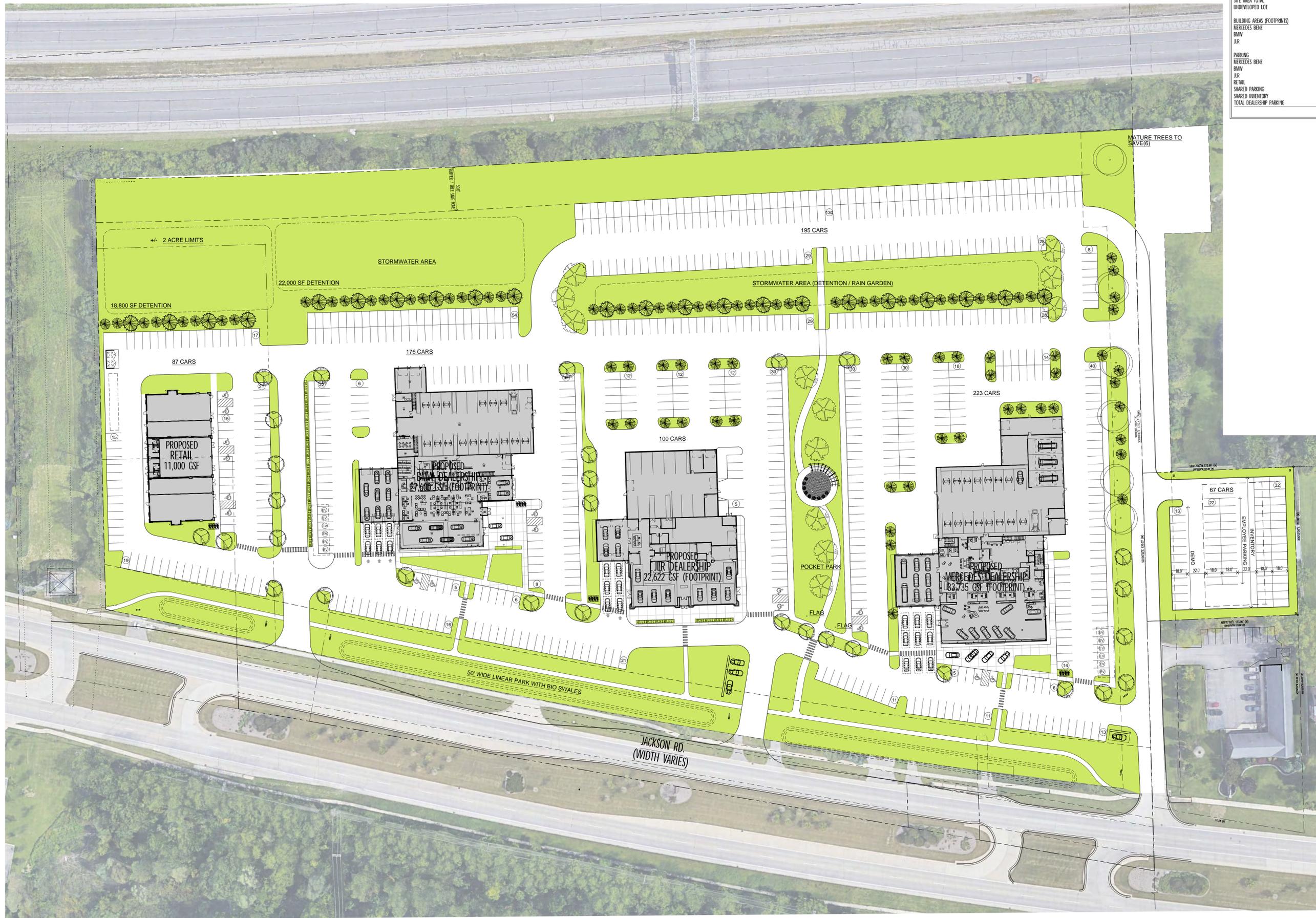
DRAWN BY:  
G. Ostrowski  
DESIGNED BY:  
G. Ostrowski  
APPROVED BY:  
G. Ostrowski

DATE:  
09-03-2021

SCALE: 1" = 30'

30 15 0 15 30 45

NFE JOB NO. SHEET NO.  
H994-01 L6



SITE DATA	
S210 TWP, MI	
SITE AREA	
SITE AREA TOTAL	18.14 ACRES
UNDEVELOPED LOT	2.00 ACRES
BUILDING AREAS (FOOTPRINTS)	
MERCEDES BENZ	33,735 SF
BMW	27,600 SF
JLR	22,622 SF
PARKING	
MERCEDES BENZ	223 CARS
BMW	176 CARS
JLR	100 CARS
RETAIL	87 CARS
SHARED INVENTORY	67 CARS
TOTAL DEALERSHIP PARKING	761 CARS

**STUDIO DETROIT**  
 VISIONARIES INNOVATORS ARCHITECTS  
 2111 WOODWARD AVE STE 1001  
 DETROIT MICHIGAN 48201  
 313 919 5886 - 313 909 3607  
 STUDIO-DETROIT.COM

**Suburban**  
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DO NOT SCALE DRAWINGS

ISSUED	REVIEW
08.12.21	

FILE 190X\_SP1-1\_SitePlan  
 DRAWN  
 CHECKED SHANE M. BURLEY  
 SEAL

CLIENT  
 SUBURBAN COLLECTION  
 1795 MAPLELAWN DR.  
 TROY, MI 48064  
 TIM LEROY, OWNER REPRESENTATIVE  
 248.505.2611

PROJECT  
 SUBURBAN BMW ANN ARBOR  
 PROPOSED NEW FACILITY  
 JACKSON RD  
 ANN ARBOR, MI 48103

JOB NO.  
 1949

SHEET  
 SITE PLAN

SHEET NO.  
 SP1.1

ARCHITECTURAL SITE PLAN  
 SCALE: 1"=50'

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

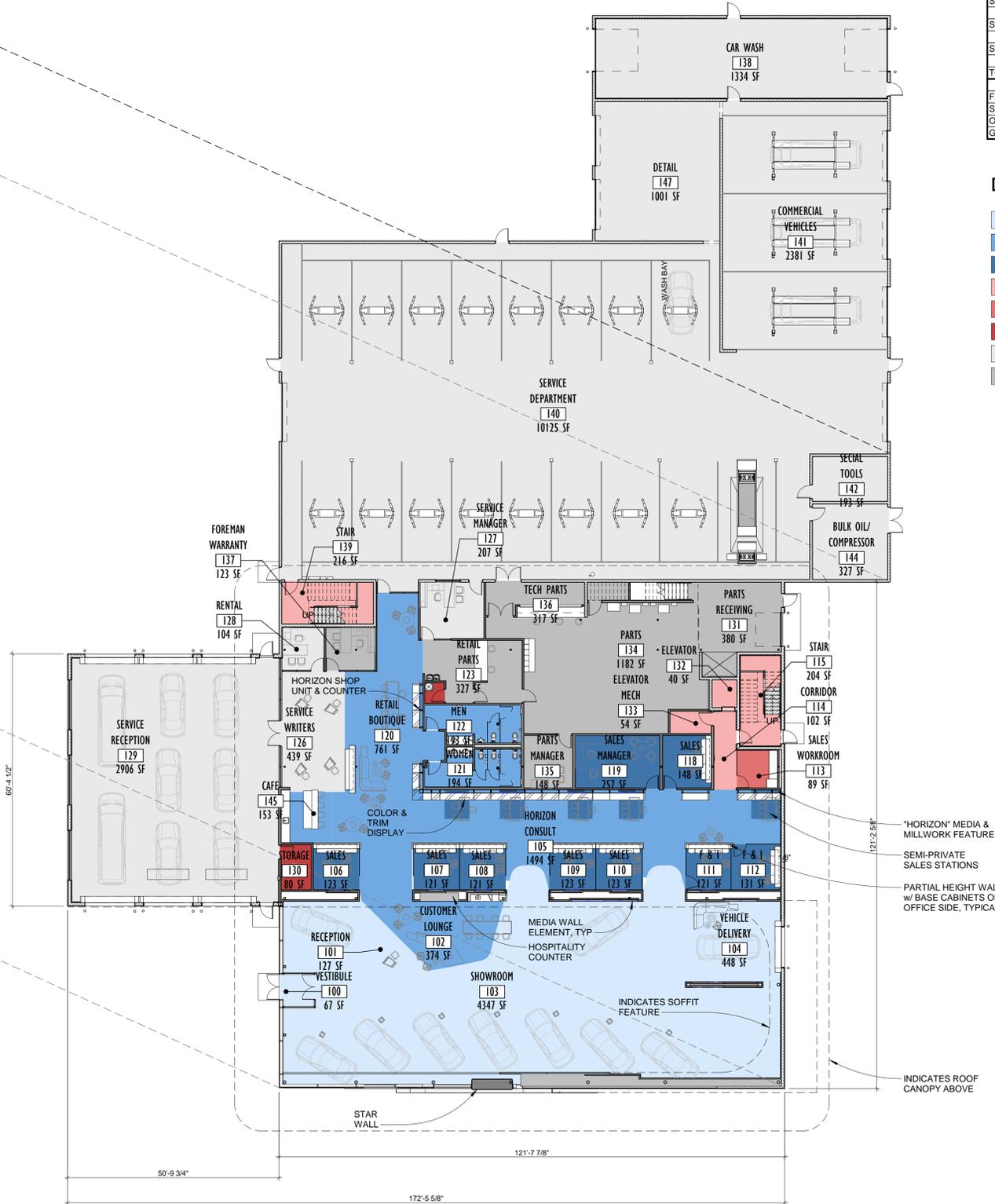
DEPARTMENT AREA BY FLOOR		
DEPARTMENT	LEVEL	AREA (NSF)
ADMINISTRATION	FIRST FLOOR	89 SF
ADMINISTRATION	SECOND FLOOR	2,469 SF
CIRCULATION	FIRST FLOOR	616 SF
CIRCULATION	SECOND FLOOR	1,854 SF
CUSTOMER	FIRST FLOOR	3,168 SF
EMPLOYEE FACILITIES	FIRST FLOOR	103 SF
EMPLOYEE FACILITIES	SECOND FLOOR	1,986 SF
PARTS	FIRST FLOOR	2,089 SF
PARTS	SECOND FLOOR	2,941 SF
SALES	FIRST FLOOR	5,462 SF
SERVICE	FIRST FLOOR	1,485 SF
SHOWROOM	FIRST FLOOR	19,018 SF
SHOWROOM	FIRST FLOOR	4,989 SF
TOTAL (NSF)		41,238 SF
LEVEL		GROSS AREA
FIRST FLOOR		33,902 SF
SECOND FLOOR		9,510 SF
OPEN MEZZ		599 SF
GROSS BUILDING AREA		44,011 SF

**DEPARTMENT LEGEND**

- SHOWROOM
- CUSTOMER
- SALES
- CIRCULATION
- ADMINISTRATION
- EMPLOYEE FACILITIES
- SERVICE
- PARTS



**SECOND FLOOR COMPOSITE PLAN**  
1/16" = 1'-0"



**FIRST FLOOR COMPOSITE PLAN**  
1/16" = 1'-0"

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09.10.21	PRELIMINARY PUD

FILE	
DRAWN	AEB
CHECKED	SHB
SEAL	

**NOT FOR CONSTRUCTION**

**CLIENT**  
SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
TROY, MI 48064  
TIM LEROY, OWNER REP.  
248.505.2611

**PROJECT**  
SUBURBAN MERCEDES BENZ  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

**JOB NO.**  
1948

**SHEET**  
COMPOSITE PLANS

**SHEET NO.**  
TSI.4

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ISSUED	PRELIMINARY PUD
09.10.21	

FILE	AEB
DRAWN	AEB
CHECKED	SHB
SEAL	

**NOT FOR CONSTRUCTION**

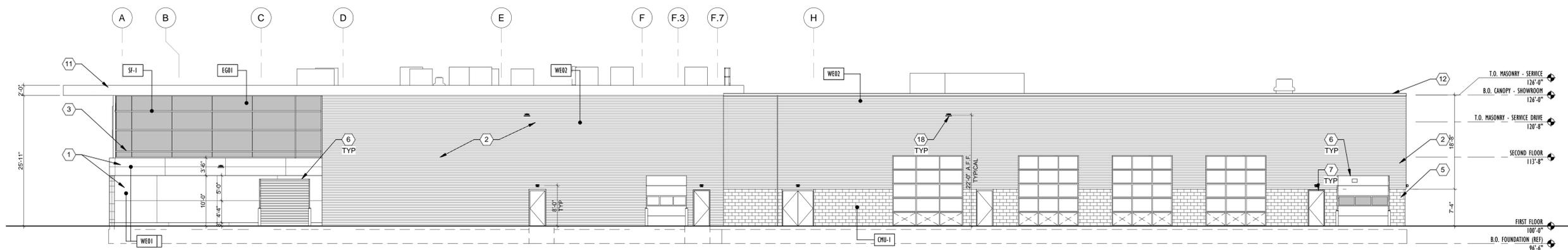
CLIENT  
SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
TROY, MI 48064  
TIM LEROY, OWNER REP.  
248.505.2611

PROJECT  
SUBURBAN MERCEDES BENZ  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

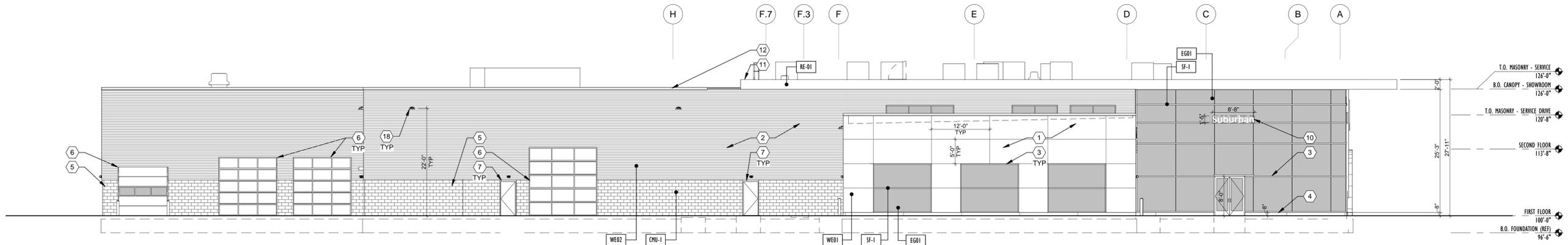
JOB NO.  
**1948**

SHEET  
EXTERIOR ELEVATIONS

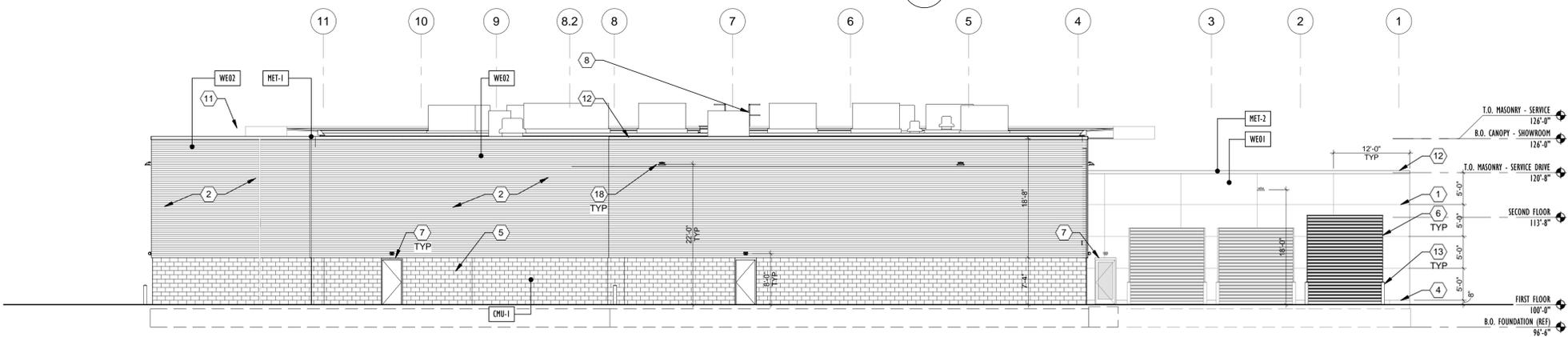
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**A2.1**



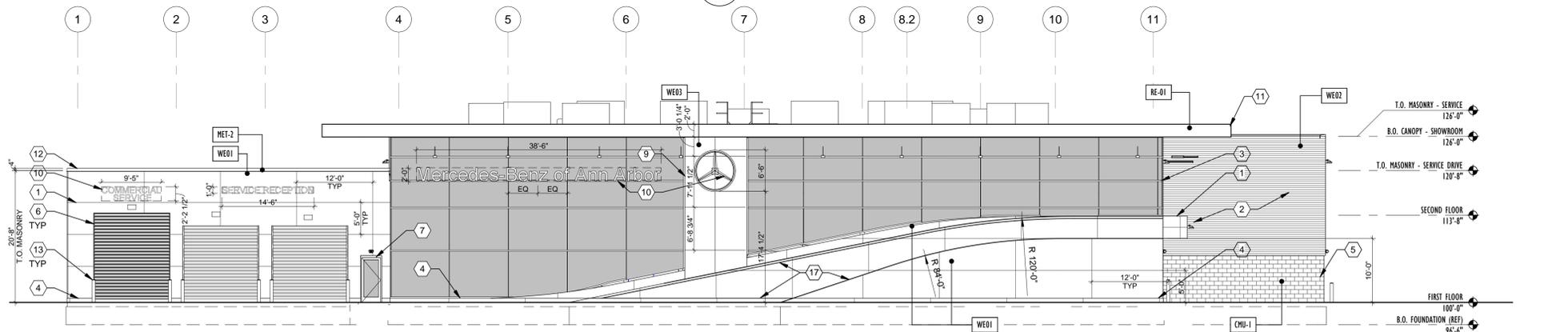
**4 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

**EXTERIOR ELEVATION KEY NOTES:**  
(TYPICAL THIS SHEET ONLY)

- 1 ALUMINUM COMPOSITE PANEL; SEE FINISH SCHEDULE
- 2 CORRUGATED METAL PANEL; SEE FINISH SCHEDULE
- 3 GLASS & ALUMINUM STOREFRONT/ CURTAIN WALL AS SCHEDULED
- 4 CMU SILL w/ DIRECT APPLIED EIFS FINISH COAT TO MATCH 'WE01'
- 5 CMU WALL; SMOOTH FACE BLOCK U.O.N., SPLIT FACE AT EXPOSED BLOCK ABOVE FIRST COURSE; FINISH TO MATCH 'WE02'; SEE WALL SECTIONS
- 6 OVERHEAD DOOR AS SCHEDULED
- 7 DOOR & FRAME AS SCHEDULED
- 8 PAINTED STEEL LADDER AS SPECIFIED
- 9 ACM CLAD STAR WALL
- 10 SIGNAGE BY VENDOR (AGI); COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS; COORD. MOUNTING w/ CURTAINWALL MFG AS REQ'D
- 11 ROOF CANOPY; SEE DETAILS
- 12 PRE-FINISHED METAL COPING
- 13 6" CONC. FILLED STEEL BOLLARD w/ COVER
- 14 INDICATES LINE OF ROOF BEYOND
- 15 MECHANICAL EQUIPMENT SCREEN AS SPECIFIED
- 16 MASONRY CONTROL JOINT; SEE STRUCTURAL
- 17 TOPOGRAPHY EXTERIOR WALL FEATURE; ACM AS SCHEDULED ON WEATHER BARRIER ON SHEATHING ON METAL FRAMING; PROVIDE CMU BASE COURSE w/ DIRECT APPLIED EIFS FINISH COAT AT INTERSECTION w/ GRADE; CUT BLOCK TO MAINTAIN FEATURE SHAPE; SEE DETAILS
- 18 LIGHT FIXTURE AS SCHEDULED

EXTERIOR MATERIALS		
	MATERIAL	FINISH
	CMU-1	CONCRETE MASONRY UNIT STANDARD/ SPLIT FACED BLOCK, INTEGRALLY COLORED OR PAINTED TO MATCH 'WE02'
	SF-1 SF-2 EG-1	CURTAINWALL / EXTERIOR GLAZING STOREFRONT/ CURTAINWALL FRAMING; BLACK ANODIZED ALUMINUM; SOLARBAN 70XL CLEAR GLASS
	WE01	METAL PANEL ALUMINUM COMPOSITE MATERIAL; ALPOLIC - 4-BLX-30 SOLID BLACK, 30% GLOSS
	WE02	CORRUGATED METAL PANEL CORRUGATED METAL PANEL; GRAY ALUMINUM PANEL
	WE03	METAL PANEL ALUMINUM COMPOSITE MATERIAL; ALPOLIC - FOCUS BLACK, 60% GLOSS
	RE01	METAL PANEL ALUMINUM COMPOSITE MATERIAL; ALPOLIC - MICA SILVER, 30% GLOSS
	RE02	FLUSH METAL PANEL METAL PANEL; WHITE

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ISSUED	DESCRIPTION
09.10.21	PRELIMINARY PUD

FILE	DATE	BY
DRAWN	PNP	
CHECKED	SMB	
SEAL		

**CLIENT**  
SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
TROY, MI 48064  
TIM LEROY, OWNER REP.  
248.505.2611

**PROJECT**  
SUBURBAN BMW OF ANN ARBOR  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

**JOB NO.**  
1949

**SHEET**  
COMPOSITE FIRST FLOOR PLAN

**SHEET NO.**  
TSI.4

- DEALERSHIP ZONES**
- SHOWROOM AND SALES
  - CUSTOMER AMENITIES
  - SERVICE
  - PARTS
  - EMPLOYEE

DEPARTMENT AREA			
DEPARTMENT	AREA (NSF)	ORIGINAL AREA (NSF)	DIFFERENCE
CUSTOMER AMENITIES	1,948 SF	1,977 SF	-29 SF
EMPLOYEE	1,713 SF	2,205 SF	-492 SF
PARTS	5,387 SF	5,453 SF	-66 SF
SERVICE	16,622 SF	20,286 SF	-3,664 SF
SHOWROOM AND SALES	6,999 SF	8,592 SF	-1,593 SF
TOTAL (NSF)	32,669 SF	38,513 SF	-5,844 SF

GROSS BUILDING AREA			
BUILDING FOOTPRINT	AREA (NSF)	ORIGINAL AREA (NSF)	DIFFERENCE
BUILDING FOOTPRINT	29,587 SF	34,300 SF	-4,713 SF
PARTS MEZZANINE	3,836 SF	4,500 SF	-664 SF
OPEN MEZZANINE	553 SF	1,601 SF	-1,048 SF
TOTAL BUILDING AREA (GSF)	33,975 SF	40,401 SF	-6,426 SF



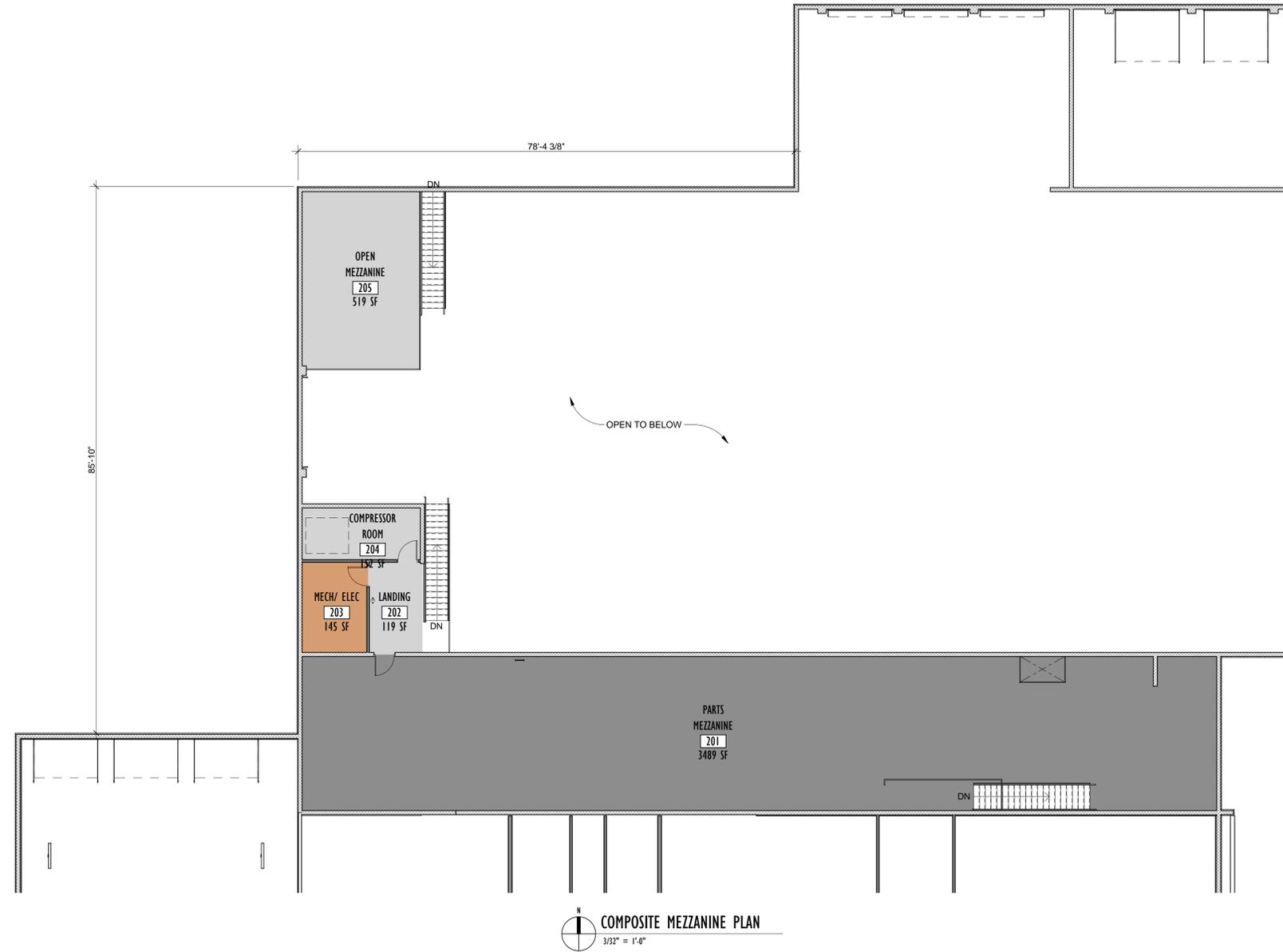
**COMPOSITE FIRST FLOOR PLAN**  
3/32" = 1'-0"

- DEALERSHIP ZONES
- SHOWROOM AND SALES
  - CUSTOMER AMENITIES
  - SERVICE
  - PARTS
  - EMPLOYEE

DEPARTMENT AREA			
DEPARTMENT	AREA (NSF)	ORIGINAL AREA (NSF)	DIFFERENCE
CUSTOMER AMENITIES	1,948 SF	1,977 SF	-29 SF
EMPLOYEE	1,713 SF	2,205 SF	-492 SF
PARTS	5,387 SF	5,453 SF	-66 SF
SERVICE	16,622 SF	20,286 SF	-3,664 SF
SHOWROOM AND SALES	6,999 SF	8,592 SF	-1,593 SF
TOTAL (NSF)	32,669 SF	38,513 SF	-5,844 SF

GROSS BUILDING AREA			
BUILDING FOOTPRINT	AREA (NSF)	ORIGINAL AREA (NSF)	DIFFERENCE
BUILDING FOOTPRINT	29,587 SF	34,300 SF	-4,713 SF
PARTS MEZZANINE	3,836 SF	4,500 SF	-664 SF
OPEN MEZZANINE	553 SF	1,601 SF	-1,048 SF
TOTAL BUILDING AREA (GSF)	33,975 SF	40,401 SF	-6,426 SF



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FILE	DATE	BY
DRAWN	PNP	
CHECKED	SHB	
SEAL		

CLIENT  
SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
TROY, MI 48064  
TIM LEROY, OWNER REP.  
248.505.2611

PROJECT  
SUBURBAN BMW OF ANN  
ARBOR  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

JOB NO.  
**1949**

SHEET  
COMPOSITE MEZZANINE PLAN

SHEET NO.  
**TSI.5**

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DRAWN	PNP
CHECKED	SMB
SEAL	

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SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
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**PROJECT**  
SUBURBAN BMW OF ANN ARBOR  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

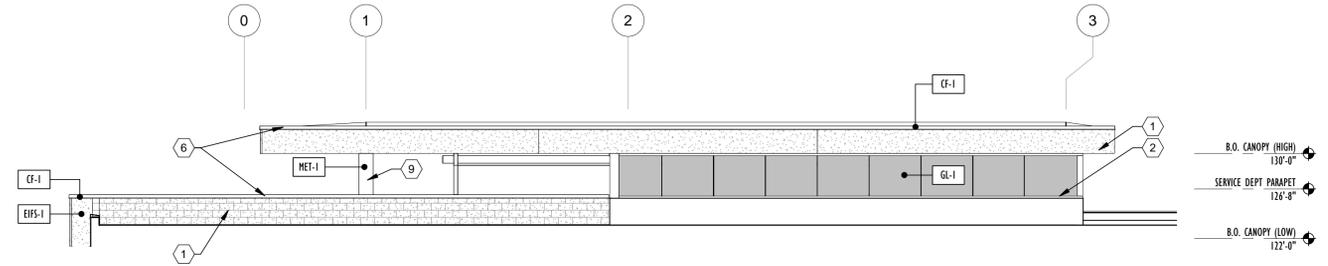
**JOB NO.**  
1949

**SHEET**  
EXTERIOR ELEVATIONS

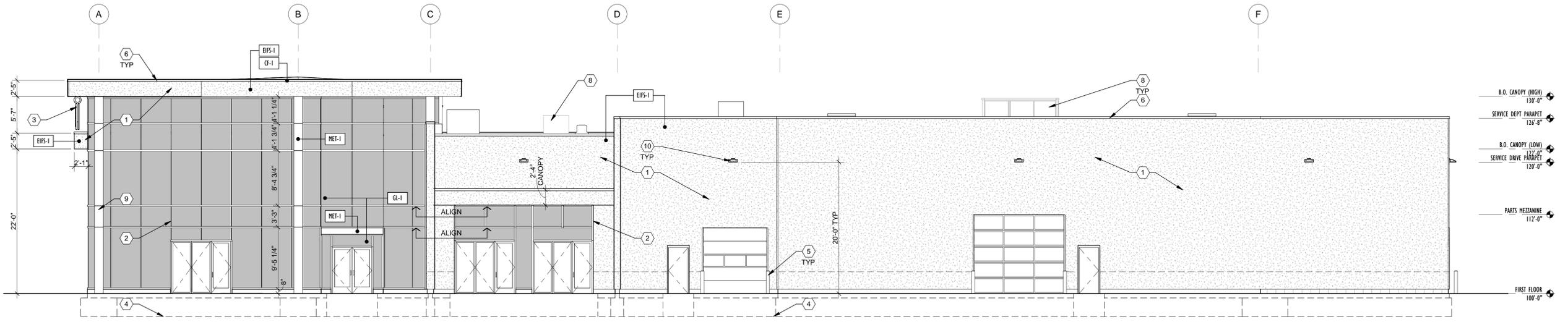
**SHEET NO.**  
A2.1

EXTERIOR MATERIALS		
	MATERIAL	FINISH
DEFS-1	DIRECT APPLIED EXTERIOR FINISH SYSTEM	PAREX - SUPER SMOOTH FINISH w/ AQUASOL COATING - COLOR: #NAC 55057 (TO MATCH RAL 9010 PURE WHITE)
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	PAREX - SUPER SMOOTH FINISH w/ AQUASOL COATING - COLOR: #NAC 55057 (TO MATCH RAL 9010 PURE WHITE)
GL-1	EXTERIOR GLAZING	1" CLEAR INSULATED GLAZING; PROVIDE LOW-E COATING 3RD SURFACE
EP-1	EXTERIOR PAINT	BENJAMIN MOORE - TO MATCH RAL 9010 PURE WHITE
CF-1	COPING	KYNAR 500 PVDF - BONE WHITE
SF-1	STOREFRONT/ CURTAINWALL	ALUMINUM FRAMING, COLOR: STERLING GRAY; THERMALLY BROKEN; SSG WHERE INDICATED
MET-1	COLUMN COVERS	KYNAR 500 PVDF - BONE WHITE

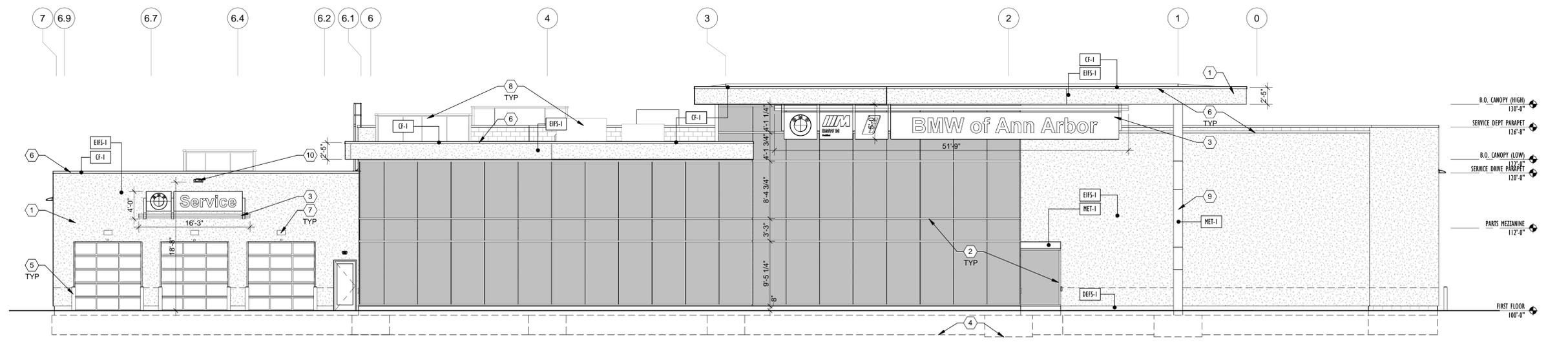
- EXTERIOR ELEVATION KEY NOTES:**  
(TYPICAL THIS SHEET ONLY)
- EIFS - PROVIDE IMPACT RESISTANT EIFS TO 3'-4" ABOVE GRADE MIN.; SEE MATERIAL FINISH SCHEDULE. PROVIDE EIFS CONTROL JOINT (30'-0" O.C. MAX) PER MANUFACTURER'S RECOMMENDATION AND AT ALL MASONRY CONTROL JOINTS
  - GLASS AND ALUMINUM STOREFRONT / CURTAINWALL SYSTEM; SEE FRAME ELEVATIONS
  - BUILDING MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS (UNITED VISUAL BRANDING)
  - INDICATES LINE OF CONCRETE FOUNDATION; SEE STRUCTURAL
  - 6" CONC. FILLED STL. BOLLARD, PRIMED W/ PLASTIC COVER
  - METAL COPING TO MATCH ADJACENT MATERIAL (CF-1)
  - LANE INDICATORS + FALCON SENSOR
  - MECHANICAL EQUIPMENT w/ ENVISOR ROOF TOP SCREENING AS INDICATED, SCREEN FINISH TO MATCH EIFS COLOR
  - NEW COLUMN, SEE STRUCTURAL; PROVIDE PREFINISHED METAL COLUMN WRAP; SEE ELEVATIONS
  - WALL MTD. EXT. LIGHT FIXTURE; SEE SCHEDULE & ELECTRICAL



**NORTH ELEVATION - CLERESTORY**  
SCALE: 1/8" = 1'-0"

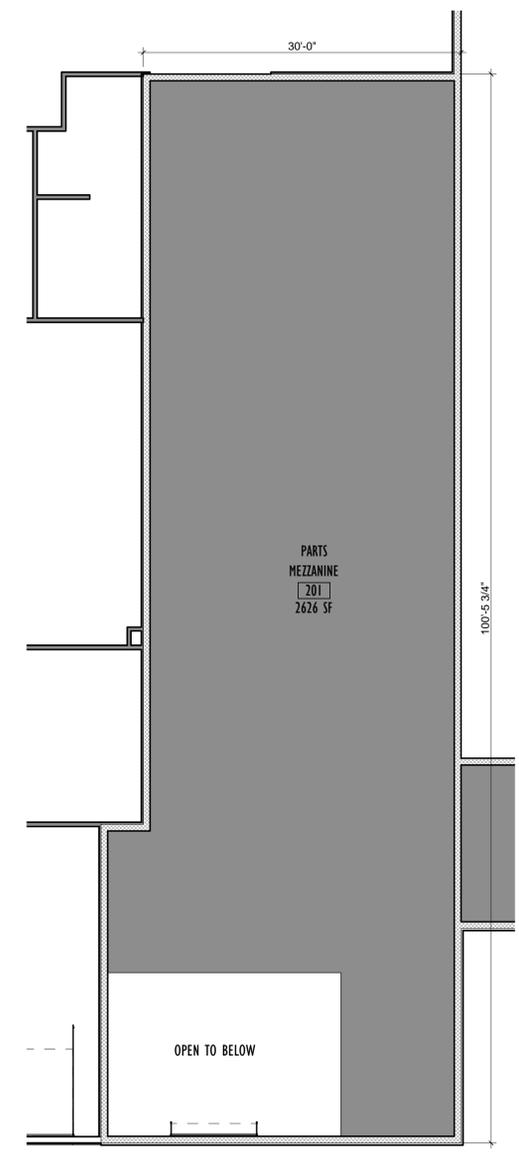


**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"





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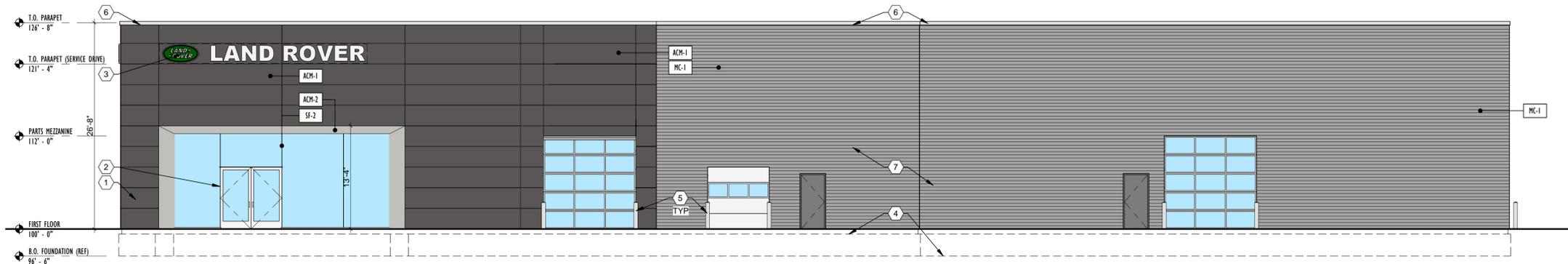
**CLIENT**  
SUBURBAN COLLECTION  
1795 MAPLELAWN DR.  
TROY, MI 48064  
TIM LEROY, OWNER REP.  
248.505.2611

**PROJECT**  
SUBURBAN JLR OF ANN ARBOR  
PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

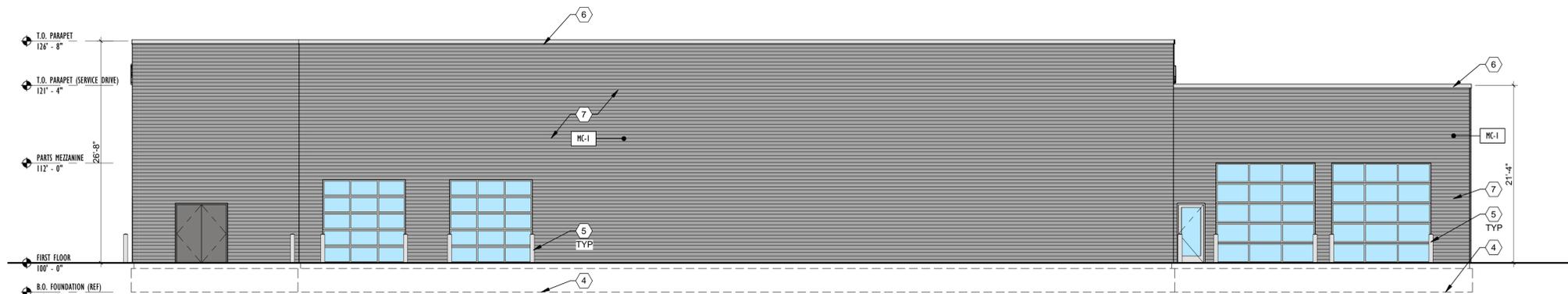
**JOB NO.**  
1950

**SHEET**  
COMPOSITE FLOOR PLAN

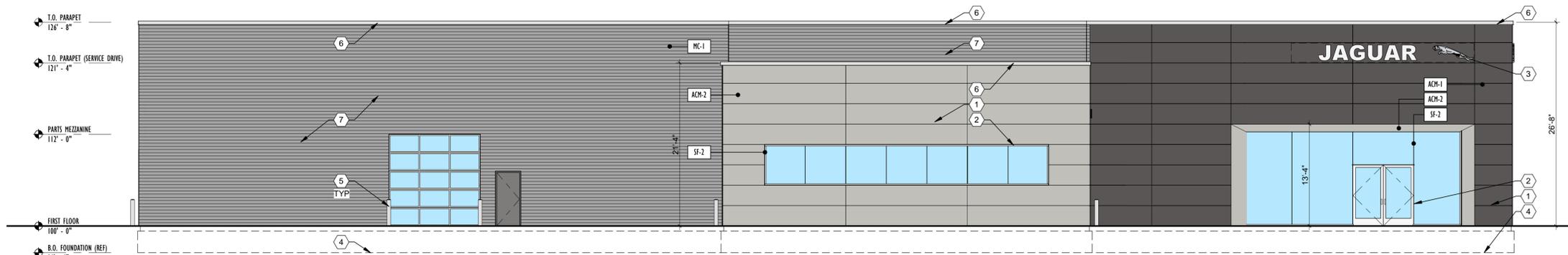
**SHEET NO.**  
TSI.4



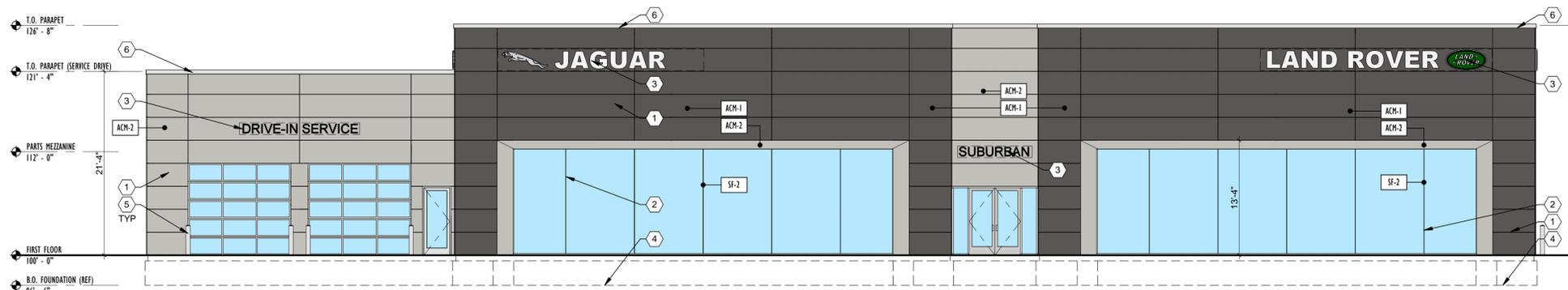
WEST ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



EAST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- ① ALUMINUM COMPOSITE PANEL (RAINSCREEN) w/ 1/2 REVEAL; SEE FINISH SCHEDULE
- ② GLASS AND ALUMINUM STOREFRONT / CURTAINWALL SYSTEM
- ③ BUILDING MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS
- ④ INDICATES LINE OF CONCRETE FOUNDATION
- ⑤ 6" CONC. FILLED STL. BOLLARD, PRIMED W/ PLASTIC COVER
- ⑥ METAL COPING TO MATCH ADJACENT MATERIAL
- ⑦ METAL PANEL PROFILE CLADDING; SEE FINISH SCHEDULE

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PROPOSED NEW FACILITY  
JACKSON RD.  
ANN ARBOR, MI 48103

JOB NO.  
1950

SHEET  
EXTERIOR ELEVATIONS

SHEET NO.

A2.1

EXTERIOR MATERIALS		
	MATERIAL	FINISH
CMU-1	CONCRETE MASONRY UNIT	TBD
EP-1	EXTERIOR PAINT	TBD
SF-1 EG-1	CURTAINWALL / EXTERIOR GLAZING	SSG STRUCTURAL FIN WALL GLAZING SYSTEM; SOLARBAN 70XL CLEAR GLASS
SF-2 EG-1	STOREFRONT / EXTERIOR GLAZING	CLEAR ANODIZED ALUMINUM FRAMING (SSG); THERMALLY BROKEN; SOLARBAN 70XL CLEAR GLASS
ACM-1	METAL PANEL	ALUMINUM COMPOSITE MATERIAL - PRIMARY; ALUCOBOND PRISMA JLR SUNSHINE GREY METALLIC
ACM-2	METAL PANEL	ALUMINUM COMPOSITE MATERIAL - ENTRY; ALUCOBOND PRISMA JLR CHAMPAGNE METALLIC
MC-1	METAL PANEL	METAL PROFILE CLADDING; CENTRIA PROFILE - BR5-36 REVERSE SIDE PATTERN, COLOR - RAL 9006
MET-1	COPING	AS SELECTED TO MATCH ADJACENT FINISH

# “ DRAFT “

SCIO TOWNSHIP PLANNING COMMISSION  
827 North Zeeb Road, Ann Arbor, Michigan 48103  
MEETING MINUTES OF MONDAY, SEPTEMBER 27, 2021

**Meeting Conducted Via Online Format  
For Complete Record of Planning Commission  
Discussion, please see available video format.**

## 1) CALL TO ORDER

Chair Culbertson called the meeting to order at 8:25 p.m.

## 2) ROLL CALL

Present: Holland, Sharma, Culbertson, Moore, Cheng, Courteau, Hyde

Commissioner Holland: Present  
Commissioner Moore: Present  
Commissioner Sharma: Scio Township, Washtenaw County, MI  
Commissioner Courteau: City of Ames, Story County, IA  
Commissioner Hyde: Scio Township, Washtenaw County, MI  
Commissioner Cheng: Scio Township, Washtenaw County, MI  
Commissioner Culbertson: Present

Others present:

Doug Lewan, AICP, CWA

## 3) ADOPTION OF AGENDA

**MOTION BY COMMISSIONER CHENG, SUPPORTED BY COMMISSIONER SHARMA TO ADOPT THE AGENDA AS PRESENTED.**

**YES: 7 NO: 0 MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES  
MOORE: YES  
SHARMA: YES  
COURTEAU: YES  
HYDE: YES  
CHENG: YES  
CULBERTSON: YES

## 4) COMMUNICATIONS/CORRESPONDENCE

Email from Jillian Kerry forwarding a message for Michael Drew regarding the sign ordinance.

# “ DRAFT “

## 5) PRESENTATIONS REQUESTED BY THE PLANNING COMMISSION

None.

## 6) PUBLIC COMMENT

Chair Culbertson read the rules for public comment.

Public comment opened at 8:27 p.m.

Pam Boyd, 517 Linden Lane, Ann Arbor, MI 48103

**MOTION BY COMMISSIONER HOLLAND, SUPPORTED BY  
COMMISSIONER MOORE TO CLOSE THE PUBLIC COMMENT.**

**YES: 7**

**NO: 0**

**MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES

MOORE: YES

SHARMA: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

Public Comment closed at 8:29 p.m.

## 7) BUSINESS SESSION

### A) Advertised Public Hearings

None.

### B) Unfinished Business

None.

### C) New Business

None.

## 8) REPORTS/COMMISSION ACTIVITY

### 1. Engineering Consultant – OHM

None.

# “ DRAFT “

2. Planning Consultant – CWA

Regarding the question by Ms. Kerry, that was forwarded to Jim Fink. There was a question about content neutrality for the sign ordinance.

3. Chair Report – Culbertson

The next Sustainability Task Force meeting is October 7<sup>th</sup> at 7:00. Anyone is welcome to join.

4. BOT Board of Trustees Report – Courteau

The BOT did approve the conditional use for the dental office and mixed use on North Zeeb and conditional use for the drive-thru on South Zeeb. The BOT will be considering Woodview Commons project. Ann Arbor is considering options for how they will source their water whether to upgrade municipal water treatment plants or switch over to the Great Lakes Water Authority.

5. ZBA Zoning Board of Appeals – Culbertson

None.

6. DDA – Holland

None.

7. Road Commission Advisory Committee – Sharma

None.

8. LPC Land Preservation Commission – Courteau

We are continuing to consider properties.

9. ZOA Zoning Ordinance Amendments – Cheng

None.

10. Parks and Rec Advisory Board – Hyde

We had a presentation by interns and that was very interesting. This Saturday is another preserve walk.

11. TAP committee – Cheng

None.

12. HRWC – Hyde

# “ DRAFT “

None.

## 9) APPROVAL OF MINUTES

1. Minutes of September 13, 2021

No action taken.

## 9) ADJOURNMENT

MOTION BY COMMISSIONER MOORE, SUPPORT BY COMMISSIONER HYDE TO ADJOURN AT 8:44 p.m.

YES: 7

NO: 0

MOTION CARRIED

ROLL CALL:

HOLLAND: YES

MOORE: YES

SHARMA: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

*Transcription by Kristy L. Aiken*

# “ DRAFT “

SCIO TOWNSHIP PLANNING COMMISSION  
827 North Zeeb Road, Ann Arbor, Michigan 48103  
JOINT MEETING WITH BOARD OF TRUSTEES  
MINUTES OF MONDAY, SEPTEMBER 27, 2021

**Meeting Conducted Via Online Format  
For Complete Record of Planning Commission  
Discussion, please see available video format.**

## 1) CALL TO ORDER

Chair Culbertson called the meeting to order at 6:01 p.m.

## 2) ROLL CALL

Present: Holland, Sharma, Culbertson, Moore, Cheng, Courteau, Hyde

### **Planning Commission:**

Commissioner Holland: Present

Commissioner Moore: Present

Commissioner Sharma: Scio Township, Washtenaw County, MI (arrived at 6:30 p.m.)

Commissioner Courteau: Ames County, IA (arrived at 6:10 p.m.)

Commissioner Hyde: Scio Township, Washtenaw County, MI

Commissioner Cheng: Scio Township, Washtenaw County, MI

Commissioner Culbertson: Present

### **Board of Trustees:**

Supervisor Hathaway: Present

Treasurer Palmer: Absent

Clerk Flintoft: Present

Trustee Courteau: Scio Township, Washtenaw County, MI (arrived at 6:10 p.m.)

Trustee Jerome: Absent

Trustee Knol: Scio Township, Washtenaw County, MI

Trustee Vogel: Absent.

### **Others present:**

Doug Lewan, AICP, CWA

Matt Parks, PE, OHM Advisors

## 3) ADOPTION OF AGENDA

**MOTION BY COMMISSIONER MOORE, SUPPORTED BY COMMISSIONER HOLLAND TO ADOPT THE AGENDA AS PRESENTED.**

**YES: 5 NO: 0 MOTION CARRIED.**

### **ROLL CALL:**

HOLLAND: YES

# “ DRAFT “

MOORE: YES  
HYDE: YES  
CHENG: YES  
CULBERTSON: YES

## 4) COMMUNICATIONS/CORRESPONDENCE

Received emails from Pam Boyd and Beth Lawless.

## 5) PRESENTATIONS REQUESTED BY THE PLANNING COMMISSION

OHM Presentation – Sewer Capacity Study by Matt Parks and Lucas Fitzpatrick

Questions and comments by Board of Trustees and Planning Commission members.

## 6) BUSINESS SESSION

### A) Advertised Public Hearings

Master Plan, public hearing, discussion

Chair Culbertson read the rules for public comment.

Public comment opened at 6:35 p.m.

Rob Pattinson, 500 N. Zeeb Road, Ann Arbor, MI 48103

Public Comment closed at 6:40 p.m.

Comments by Doug Lewan.

**MOTION BY COMMISSIONER MOORE, SUPPORTED BY SUPERVISOR HATHAWAY TO CLOSE THE PUBLIC HEARING AT 7:15 P.M.**

**YES: 7                      NO: 0                      MOTION CARRIED.**

### ROLL CALL:

HOLLAND: YES  
MOORE: YES  
SHARMA: YES  
COURTEAU: YES  
HYDE: YES  
CHENG: YES  
CULBERTSON: YES

**YES: 5                      NO: 0                      MOTION CARRIED.**

# “ DRAFT “

ROLL CALL:

HATHAWAY: YES  
PALMER: ABSENT  
FLINTOFT: YES  
COURTEAU: YES  
JEROME: YES  
KNOL: YES  
VOGEL: ABSENT

Questions and comments by the Planning Commission and Board of Trustees.

MOTION BY COMMISSIONER MOORE, SUPPORT BY SUPERVISOR HATHAWAY, TO ADJOURN THE BOARD OF TRUSTEES PORTION OF THE MEETING.

**YES: 5                      NO: 0                      MOTION CARRIED.**

ROLL CALL:

HATHAWAY: YES  
PALMER: ABSENT  
FLINTOFT: YES  
COURTEAU: YES  
JEROME: ABSENT  
KNOL: YES  
VOGEL: ABSENT

**YES: 7                      NO: 0                      MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES  
MOORE: YES  
SHARMA: YES  
COURTEAU: YES  
HYDE: YES  
CHENG: YES  
CULBERTSON: YES

**Joint meeting adjourned at 8:25pm.**

# “ DRAFT “

SCIO TOWNSHIP PLANNING COMMISSION  
827 North Zeeb Road, Ann Arbor, Michigan 48103  
MEETING MINUTES OF MONDAY, OCTOBER 11, 2021

**Meeting Conducted Via Online Format  
For Complete Record of Planning Commission  
Discussion, please see available video format.**

## 1) CALL TO ORDER

Chair Culbertson called the meeting to order at 7:00 p.m.

## 2) ROLL CALL

Present: Holland, Sharma, Culbertson, Moore, Cheng, Courteau, Hyde

Commissioner Holland: Present

Commissioner Moore: Present

Commissioner Sharma: Scio Township, Washtenaw County, MI

Commissioner Courteau: Present

Commissioner Hyde: Scio Township, Washtenaw County, MI

Commissioner Cheng: Scio Township, Washtenaw County, MI

Commissioner Culbertson: Present

Others present:

Doug Lewan, AICP, CWA

Sally Bos, PE, OHM Advisors

## 3) ADOPTION OF AGENDA

**MOTION BY COMMISSIONER COURTEAU, SUPPORTED BY COMMISSIONER SHARMA TO ADOPT THE AGENDA AS REVISED.**

**YES: 7**

**NO: 0**

**MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES

MOORE: YES

SHARMA: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

## 4) COMMUNICATIONS/CORRESPONDENCE

Email communication from Margaret Engle and Gavin Clabaugh. Email communication from Roger Rayle.

# “ DRAFT “

## 5) PRESENTATIONS REQUESTED BY THE PLANNING COMMISSION

None.

## 6) PUBLIC COMMENT

Chair Culbertson read the rules for public comment.

Public comment opened at 7:07 p.m.

None.

**MOTION BY COMMISSIONER MOORE, SUPPORTED BY COMMISSIONER COURTEAU TO CLOSE THE PUBLIC COMMENT.**

**YES: 7                      NO: 0                      MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES

MOORE: YES

SHARMA: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

Public Comment closed at 7:09 p.m.

## 7) BUSINESS SESSION

### A) Advertised Public Hearings

**MOTION BY COMMISSIONER MOORE, SUPPORTED BY COMMISSIONER HOLLAND TO OPEN THE PUBLIC HEARING.**

**YES: 7                      NO: 0                      MOTION CARRIED.**

ROLL CALL:

HOLLAND: YES

MOORE: YES

SHARMA: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

**Public Hearing opened at 7:10 p.m.**

# “ DRAFT “

1. Item number: OA #21005, PSP#21012 KOC Knights of Columbus, rezoning.  
Item name: Knights of Columbus  
Applicants: Tom Covert, Midwestern Consulting, 3815 Plaza Drive, Ann Arbor, MI 48108  
Jim Haeussler, Norfolk Homes

*Comments by the Applicant.*

*Comments by Doug Lewan.*

*Comments by Sally Bos.*

**Public Comment:**

Jonathan Brady, 4151 Dexter-Ann Arbor Road, Ann Arbor, MI 48103  
Tina Budzinski, 380 E. Delhi Road, Ann Arbor, MI 48103  
Bobbie Stoermer, 4392 Dexter-Ann Arbor Road, Ann Arbor, MI 48103  
Margaret Engle, 3941 Dexter-Ann Arbor Road, Ann Arbor, MI 48103

MOTION BY COMMISSIONER MOORE, SUPPORT BY COMMISSIONER SHARMA TO CLOSE THE PUBLIC HEARING AT 8:27 P.M.

YES: 7                      NO: 0                      MOTION CARRIED.

**ROLL CALL:**

HOLLAND: YES  
MOORE: YES  
COURTEAU: YES  
SHARMA: YES  
HYDE: YES  
CHENG: YES  
CULBERTSON: YES

*Questions, comments, discussion by the Commissioners.*

NO ACTION TAKEN.

**B) Unfinished Business**

None.

**C) New Business**

Discussion held regarding hybrid meetings.

# “ DRAFT “

MOTION BY COMMISSIONER COURTEAU, SUPPORT BY COMMISSIONER HYDE TO RETURN TO ALL VIRTUAL MEETINGS SO EACH COMMISSIONER CAN PARTICIPATE IN THE SAME FASHION.

YES: 4                      NO: 3                      MOTION CARRIED.

ROLL CALL:

HOLLAND: NO

MOORE: YES

COURTEAU: YES

SHARMA: YES

HYDE: YES

CHENG: NO

CULBERTSON: NO

## 8) REPORTS/COMMISSION ACTIVITY

### 1. Engineering Consultant – OHM

The Board of Trustees approved two proposals at the last meeting. One is a water optimization study. The second proposal was due diligence for a second fire station in the southeast corner of the Township. Zeeb Phase 3 is wrapping up as well. Zeeb Phase 4 is currently in line for bidding year next year.

### 2. Planning Consultant – CWA

We are working on a noise ordinance which is an amendment to the general code. We are still receiving minor non-content comments on the Master Plan.

### 3. Chair Report – Culbertson

The Sustainability Task Force will have speakers starting in November and they will get recorded. We will record them and make them into a library for public to reference.

### 4. BOT Board of Trustees Report – Courteau

We are considering Township Administrator candidates as well as a project manager position.

### 5. ZBA Zoning Board of Appeals – Culbertson

We will be looking at Township Fire inspections.

### 6. DDA – Holland

We had a special meeting on October 4<sup>th</sup>. We paid interest and principal on our bonds.

# “ DRAFT “

7. Road Commission Advisory Committee – Sharma

None.

8. LPC Land Preservation Commission – Courteau

The next meeting the 21<sup>st</sup> of October at 3:00. We are reviewing applications as they come in.

9. ZOA Zoning Ordinance Amendments – Cheng

None.

10. Parks and Rec Advisory Board – Hyde

The PROS plan is due to be updated in the near future.

11. TAP committee – Cheng

None.

12. HRWC – Hyde

The October meeting was cancelled and the next meeting is December 18<sup>th</sup> at 5:00 p.m. They are working on a 5-year strategic plan.

## 9) APPROVAL OF MINUTES

1. Minutes of September 13, 2021

MOTION BY COMMISSIONER MOORE, SUPPORTED BY COMMISSIONER HOLLAND APPROVE THE MINUTES OF SEPTEMBER 13, 2021, AS SUBMITTED.

YES: 6                      NO: 0                      ABSTAIN: 0                      MOTION CARRIED.

### ROLL CALL:

HOLLAND: YES

MOORE: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

2. Minutes of September 27, 2021, pending

# “ DRAFT “

3. Minutes of September 27, 2021, Joint Meeting, pending

## 9) ADJOURNMENT

MOTION BY COMMISSIONER MOORE, SUPPORT BY COMMISSIONER HYDE TO ADJOURN AT 8:44 p.m.

YES: 6

NO: 0

MOTION CARRIED

### ROLL CALL:

HOLLAND: YES

MOORE: YES

COURTEAU: YES

HYDE: YES

CHENG: YES

CULBERTSON: YES

*Transcription by Kristy L. Aiken*