



Shakopee City Council Regular Meeting

Tuesday, August 18, 2026

7:00 PM

City Hall, 485 Gorman Street

Vision: Shakopee is a distinctive river town with a variety of business, cultural, and recreational opportunities in a safe, welcoming, and attractive environment. Our vision is for Shakopee to continue being the place people want to live, work, and play!

Mission: Our mission is to deliver high quality services essential to maintaining a safe and sustainable community. We commit to doing this cost-effectively, with integrity and transparency.

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approval of Agenda
5. Consent Agenda

These items are considered routine and will be enacted by one motion. There will be no separate discussion of these unless a council member or staff requests, in which event the item will be removed from the consent agenda for separate discussion & action.

- 5.a Authorize Final Acceptance and Payment for the CSAH 101 and Shenandoah Drive Intersection Improvements
- 5.b Renewal of Lease for Archery Range
- 5.c Surplus Property
- 5.d Monthly Financial Review - July 2026
- 5.e Donation of code enforcement equipment
- 5.f Lateral Police Officer Hire
- 5.g Minnesota Department of Human Services' Provide Opioid Epidemic Response

Services Grant Program Application

5.h Department of Justice's Community Policing Development Microgrants Program Application

5.i Surplus Property

5.j Approve Parking Restrictions on Disc Drive and Secretariat Drive

5.k Approve Plans and Authorize Bidding for the Minnesota Riverbank Stabilization Improvements

5.l Wage adjustment for LELS Sergeants

5.m Approval of the August 4, 2026, City Council Minutes

5.n Amend City Code Section 151.002 and 151.007 K related to the definition of cannabis cultivator and indoor cannabis cultivation and manufacturing uses in the Highway Business (B-1) zoning district.

5.o Updates To Forestry Manual

5.p Approve Temporary Liquor Licenses for BHB2 LLC. dba Badger Hill Brewing.

6. Public Comment

Individuals may address the City Council about any item not on the regular agenda. Speakers are requested to come to the center table, state their name and address for the clerk's record, and limit their remarks to three minutes. The City Council will not take official action on items discussed at this time, but may refer the matter to staff for a follow up report or direct that matter be scheduled on an upcoming agenda.

7. Business removed from consent agenda

8. Workshop

8.a Overview of 2027 Preliminary Budget and Levy

9. Reports

Liaison and Administration

9.a City Bill List

9.b News and Announcements

10. Other Business

11. Adjourn to September 1, 2026, at 7:00 pm



Shakopee City Council August 18, 2026

5.a

Agenda Item: Authorize Final Acceptance and Payment for the CSAH 101 and Shenandoah Drive Intersection Improvements
Prepared by: Darin Manning, Project Engineer
Reviewed by: Alex Jordan, City Engineer

Action to be considered:

Adopt Resolution R2026-119, accepting work on the CSAH 101 and Shenandoah Drive Intersection Improvements Project, CIF-23-016, and authorizing final payment in the amount of \$75,102.55.

Motion Type:

Adopt

Background:

On October 3, 2023, the City Council adopted Resolution R2023-111, accepting the bids and awarding the contract for the CSAH 101 and Shenandoah Drive Traffic Signal and Improvements Project to Max Steininger, Inc., of Eagan, Minnesota.

All of the improvements have been constructed in accordance with the contract documents. Attached is the Certificate of Completion showing the original contract amount of \$1,174,728.08 with actual final costs of \$1,361,873.81. All required project documentation has been received and is compliant. Final payment to Max Steininger, inc., in the amount of \$75,102.55 will be issued once approved.

Recommendation:

Adopt Resolution R2026-119

Budget Impact:

The total final project amount is \$1,888,884.87. This project is funded through the Canterbury Commons Tax Increment Financing and Shakopee Public Utilities. The following table summarizes the project costs and funding, comparing the original budget based on the bid award with the final project costs.

Table 1: Cost and Funding for the CSAH 101 and Shenandoah Drive Traffic Signal and Improvements Project

	Estimate Based on Bid Award	Based on Final Project Costs
COSTS		
Construction Cost	\$ 1,174,728.07	\$ 1,361,873.81
Contingency	\$ 117,000.00	\$ 9,800.00
Subtotal	\$ 1,291,728.07	\$ 1,371,673.81
Easements	\$24,100.00	\$24,100.00
Engineering/Legal/Admin	\$ 547,000.00	\$ 493,111.06
Total Project Cost	\$ 1,862,828.07	\$ 1,888,884.87
FUNDING		
Canterbury Commons TIF	\$ 1,862,828.07	\$ 1,812,566.65
Shakopee Public Utilities	\$ 0.00	\$ 76,318.22
Total Funding	\$ 1,862,828.07	\$ 1,888,884.87

Shakopee Public Utilities provided \$76,318.22 in reimbursement to the City for project-related costs. This included \$67,443.28 for three 3-inch conduits requested for lighting along the corridor and \$8,874.94 for costs associated with the delay related to the SPU power line relocation.

Attachments:

[Resolution R2026-119.docx](#)

[CERTIFICATE OF COMPLETION -CSAH 101 and Shenandoah Traffic Signal.pdf](#)

RESOLUTION R2026-119
A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA ACCEPTING WORK ON THE CSAH 101 AND
SHENANDOAH DRIVE TRAFFIC SIGNAL AND IMPROVEMENTS PROJECT AND AUTHORIZING FINAL
PAYMENT

WHEREAS, pursuant to a written contract signed with the City of Shakopee on October 3, 2023, Max Steininger, Inc., has satisfactorily completed the CSAH 101 and Shenandoah drive Traffic Signal and Improvements Project in accordance with such contract.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAKOPEE, MINNESOTA AS FOLLOWS: The work completed under said contract is hereby accepted and approved.

BE IT FURTHER RESOLVED AS FOLLOWS: The City Clerk and Mayor are hereby directed to issue a proper order for the final payment on such contract in the amount of \$75,102.55, taking the contractor's receipt in full.

Adopted in regular session of the City Council of the City of Shakopee, Minnesota, held this 18th day of August 2026.

Matt Lehman,
Mayor of the City of Shakopee

ATTEST:

Richard Parsons,
City Clerk

Prepared by:
City of Shakopee
485 Gorman Street
Shakopee, MN 55379

CERTIFICATE OF COMPLETION

CONTRACT NO(S): CIF-23-016

DATE: August 18, 2026

PROJECT DESCRIPTION: CSAH 101 and Shenandoah Drive Traffic Signal and
Improvements Project

CONTRACTOR: Max Steininger, Inc
3080 Lexington Avenue South
Eagan, MN 55121

ORIGINAL CONTRACT AMOUNT \$ 1,174,728.07

CHANGE ORDER NO. 1 **THRU NO.** 1 **AMOUNT** \$ 187,145.74

FINAL CONTRACT AMOUNT \$ 1,361,873.81

LESS PREVIOUS PAYMENTS \$ 1,286,771.26

FINAL PAYMENT \$ 75,102.55

I, hereby certify that the above described work was inspected under my direct supervision and that, to the best of my belief and knowledge, I find that the same has been fully completed in all respects according to the contract, together with any modifications approved by City Council. I, therefore, recommend above specified final payment be made to the above named Contractor.



Professional Engineer



Shakopee City Council

August 18, 2026

5.b

Agenda Item: Renewal of Lease for Archery Range
Prepared by: Sherry Dvorak, Recreation Programs Manager
Reviewed by: Kelsi McNutt

Action to be considered:

Approve 10 year renewal lease with the Minnesota Department of Natural Resources for Archery Range.

Motion Type:

Simple Majority

Background:

Since 2006, the City of Shakopee has successfully leased the property that is owned by the Minnesota Department of Natural Resources for the Shakopee Archery Range. The original lease was renewed in 2016.

The terms of the lease are consistent with the 2016 lease. It outlines the current maintenance and operation of the existing range and the process for any new additions or added amenities to be developed.

The Shakopee Archery Range is a valuable addition to the community. The facility is used year round and is home to events and programs for Shakopee Parks and Recreation and the Minnesota River Valley Chapter of the Minnesota Deer Hunters Association.

Recommendation:

Approve 10 year renewal lease with the Minnesota Department of Natural Resources for the Shakopee Archery Range.

Budget Impact:

The budget impacts of the Shakopee Archery Range are covered under the Range Development, Operation and Maintenance Plan (Exhibit D of the Lease Agreement).

Attachments:

[2026-07-29 LMIS000380 Lease.pdf](#)

[2026-07-28 LMIS000380 Signature Letter.pdf](#)

**MINNESOTA
DEPARTMENT OF
NATURAL RESOURCES**

Lease Number
LMIS000380

Field Unit
Region 3 - Central Region Wildlife (Area 300)

MISCELLANEOUS LEASE

This lease, executed in duplicate by and between the State of Minnesota, under the authority and subject to the provisions of Minn. Stat. § 92.50, acting by and through its Commissioner of Natural Resources, hereinafter called LANDLORD and the TENANT as named below.

TENANT City of Shakopee		
TENANT Address (No. & Street, RFD, Box No., City, State, Zip) 1255 Fuller St. S., Shakopee, MN 55379-1328		
Lease Fee No Fee	Fee Payment Schedule No Fee	
Term Ten (10) Years	Effective Date April 1, 2026	Termination Date March 31, 2036
Purpose of Lease Archery Range		County Scott

IT IS AGREED AS FOLLOWS:

BASIC TERMS:

1. **PREMISES.** The LANDLORD in consideration of the terms, conditions and agreements contained herein, and the payment of the Lease Fee to be paid by the TENANT, hereby leases to the TENANT, subject at all times to sale, lease and use for mineral or other purposes the following described premises:

That part of the NW1/4 NE1/4 and Government Lot 2 in Section 1, Township 115 North, Range 23 West in Scott County containing 8.47 acres and is approximately shown on the attached Exhibit A which is made a part of this lease

and herein referred to as the "Premises".

2. **TERMS.** The terms LANDLORD, TENANT, TENANT ADDRESS, LEASE FEE, FEE PAYMENT SCHEDULE, TERM, EFFECTIVE DATE, TERMINATION DATE, PURPOSE OF LEASE AND STATUTORY AUTHORITY, used herein are described above and are incorporated herein.
3. **LEASE PERIOD.** This lease will be in effect for the TERM, beginning on the EFFECTIVE DATE and ending on the TERMINATION DATE, unless terminated earlier under provisions of this lease.
4. **USE OF PREMISES.** TENANT will use the Premises only for PURPOSE OF LEASE.
5. **"AS IS."** TENANT is taking the Premises in its "as is" condition, and LANDLORD is under no obligation to make any alterations or modifications to accommodate TENANT's use.

TENANT'S RESPONSIBILITIES:

6. **LEASE PAYMENTS.** The TENANT will pay to the LANDLORD the LEASE FEE, which is due and payable according to the FEE PAYMENT SCHEDULE. The LANDLORD may assess interest pursuant to Minn. Stat. § 270C.40, subd. 5 on any payments over thirty (30) days past due.
7. **MAINTENANCE.** The TENANT will maintain the Premises in good repair, keeping them safe and clean, removing all refuse and debris that may accumulate. No timber shall be cut, used, removed or destroyed by the TENANT without first obtaining written permission from the LANDLORD.
8. **INVASIVE SPECIES.** The TENANT is responsible for controlling invasive species on the Premises. (See the attached Exhibit C, which is made a part of this lease, for additional terms and conditions on the control of invasive species.)
9. **UTILITIES.** TENANT will pay for all utilities furnished on the Premises for the term of this lease, including electric, gas, oil, water, sewer and telephone.
10. **ALTERATIONS AND MECHANIC'S LIENS.** The TENANT may not make changes, alterations or improvements to the Premises or to any structure thereon without the prior written consent of the LANDLORD. Any changes, alterations or improvements in or to the Premises will be at TENANT's sole expense. TENANT has no right to subject the interest of LANDLORD in the Premises to any mechanic's liens, material liens or other liens of any nature, and TENANT must have any such lien discharged within 10 days after the recording of the lien. TENANT will be liable to LANDLORD for LANDLORD's costs and attorneys' fees incurred relating to mechanic's liens and other liens.
11. **TAXES.** The TENANT will pay, when due, all taxes assessed against or levied upon the Premises or upon the fixtures, improvements, furnishings, equipment and other personal property of the TENANT located on the Premises during the TERM of this lease. NOTE: Due to the lease, the county may assess property taxes against the property based on its market value, and TENANT is required to pay the property taxes.
12. **COMPLIANCE WITH LAWS.** TENANT must comply with all applicable municipal, county and state laws, ordinances and regulations, and obtain and pay for all licenses and permits as may be required by its use of the Premises.
13. **ENVIRONMENTAL.** TENANT will not use in any way, or permit the use of the Premises, or any part thereof, to either directly or indirectly produce, manufacture, refine, transport, store, dispose of, or process any Hazardous Substance (as defined below), unless it has received the prior written consent of LANDLORD. "Hazardous Substance" means any pollutant, contaminant, toxic or hazardous waste, potentially dangerous substance, noxious substance, toxic substance, flammable, explosive or radioactive material, urea formaldehyde foam insulation, asbestos, PCBs, or any other substance the removal of which is required, or the production, manufacture, maintenance, refining, transport, storage, disposal, processing, or ownership of which is restricted or prohibited by federal, state, or county or municipal statutes or laws now or any time hereafter in effect, including but not limited to, the Comprehensive Environmental Response, Compensation, and Liability Act (42 U.S.C. § 9601, et seq.), the Hazardous Materials Transportation Act (49 U.S.C. § 5101, et seq.), the Resource Conservation and Recovery Act (42 U.S.C. § 6901 et seq.), the Federal Water Pollution Control Act (33 U.S.C. § 1251 et seq.), the Clean Air Act (42 U.S.C. § 7401 et seq.), the Toxic Substances Control Act (15 U.S.C. § 2601 et seq.), and the Occupational Safety and Health Act (29 U.S.C. § 651 et seq.) as these laws have been amended or supplemented. TENANT agrees to hold harmless and indemnify LANDLORD from any and all damages, costs, fines and expenses that might arise as a result of TENANT's violation of this provision. This provision will survive the termination of this Lease.

PUBLIC ACCESS:

14. LANDLORD'S ACCESS. LANDLORD, acting through its designated agents or employees, has the right to enter the Premises at all reasonable times.
15. PUBLIC RECREATION USE. The TENANT agrees and understands that the public land leased herein shall be open to public recreational uses, as defined by Minn. Stat. § 604A.21, not inconsistent with the purposes of this lease. The TENANT shall not unreasonably refuse permission to any person to enter upon the lands leased herein for reasonable public recreational use without first obtaining the written permission of the LANDLORD. If the LANDLORD authorizes the prohibition of any public recreational uses, the prohibition shall apply to all persons including the TENANT.

TERMINATION AND ASSIGNMENT:

16. TERMINATION. This lease may be terminated at any time by mutual agreement. A lease entered pursuant to Minn. Stat. § 92.50 may be canceled for just cause at any time by LANDLORD upon six months written notice.

TENANT will, on the TERMINATION DATE, or earlier as provided for in this lease, peacefully and quietly surrender the Premises to the LANDLORD in as good condition and repair as on the EFFECTIVE DATE. If the TENANT fails to surrender the Premises on the termination of this lease, the LANDLORD may eject or remove the TENANT from the Premises and TENANT will indemnify the LANDLORD for all expenses incurred by the LANDLORD. In addition, TENANT will remove all TENANT's property from the Premises upon termination and any property remaining will be considered abandoned and disposed of by the LANDLORD according to law. Upon demand, TENANT will pay to LANDLORD all of LANDLORD's expenses incurred in connection with LANDLORD's disposition of TENANT's personal property. TENANT's obligations under this paragraph will survive termination of the Lease.

If this lease is terminated prior to the TERMINATION DATE, the TENANT will not be relieved of any obligation incurred prior to termination.

17. HOLDOVER. TENANT will pay to the LANDLORD a sum equal to the rent plus fifty (50) percent of the rent for each rental period that TENANT holds the Premises after termination of this lease without authorization by LANDLORD. This sum will be liquidated damages for the wrongful holding over. TENANT acquires no additional rights by holding the Premises after termination and will be subject to legal action for removal.
18. TRANSFERS. This lease will extend to, and bind the successors, heirs, legal representative and assigns of the LANDLORD and TENANT. In addition, the TENANT may not without the LANDLORD's prior written consent: a) assign, convey, mortgage, pledge, encumber or otherwise transfer this lease or any interest under it; b) allow any transfer or any lien upon the TENANT's interest by operation of law; c) sublet the Premises or any part thereof; d) permit the use or occupancy of the Premises or any part thereof by anyone other than the TENANT.

DEFAULT:

19. DEFAULT BY TENANT. If TENANT defaults in any of its promises or covenants under the Lease and fails to cure the same within thirty (30) days after receipt of written notice of default from LANDLORD, LANDLORD may exercise one or more of the following remedies, or any other remedy available at law or in equity:

- a. Terminate the Lease and recover from TENANT all damages it has incurred by reason of such breach;
 - b. Re-enter the Premises and remove all persons and property from the Premises, without terminating the Lease or releasing TENANT from its obligations under the Lease; or
 - c. Re-let the Premises without terminating the Lease. If the amount received from re-letting in any month is less than the amount of rent to be paid by TENANT, TENANT will pay any such deficiency to LANDLORD upon demand.
20. SELF-HELP RIGHT. If TENANT defaults in the performance of any term of this Lease, LANDLORD, in addition to any other rights and remedies it has under this Lease and without waiving such default, may perform the same for the account of and at the expense of TENANT (but shall not be obligated to do so), without notice in a case of emergency and in any other case if such default continues after five (5) days from the date that LANDLORD gives written notice to TENANT of its intention to do so. TENANT must pay upon demand bills for all amounts paid by LANDLORD and all losses, costs and expenses incurred by LANDLORD, in connection with any such performance by LANDLORD pursuant to this section, including, without limitation, all amounts paid and costs and expenses incurred by LANDLORD for any property, material, labor or services provided by LANDLORD to TENANT.

LIABILITY:

21. LIABILITY. This lease will not be construed as imposing any liability on the LANDLORD for injury or damage to the person or property of the TENANT or to any other persons or property, arising out of any use of the Premises, or under any other easement, right-of-way, license, lease or other encumbrance now in effect. The TENANT will indemnify and hold harmless the LANDLORD from all claims arising out of the use of the Premises whether such claims are asserted by civil action or otherwise.
22. PERSONAL PROPERTY RISK. All personal property on the Premises belonging to TENANT or its occupants or visitors shall be there at the sole risk of TENANT or such other person only, and LANDLORD will not be liable for theft or misappropriation of such property, nor for any loss or damage to such property, including destruction by fire.

MISCELLANEOUS:

23. LEGAL OBLIGATIONS. This lease is not to be construed to relieve the TENANT of any obligations imposed by law.
24. ENCUMBRANCE. This lease is subject to all existing easements, right-of-ways, licenses, leases and other encumbrance upon the Premises and LANDLORD will not be liable to TENANT for any damages resulting from any action taken by a holder of an interest pursuant to the rights of that holder thereunder.
25. NO WAIVER. No delay on the part of the LANDLORD in enforcing any conditions in this lease, including termination for violation of the terms of this lease, shall operate as a waiver of any of the rights of the LANDLORD.
26. NOTICES. Any notice given under this lease shall be in writing and served upon the other party either personally or by depositing such notice in the United States mail with the proper first class postage and address. Service shall be effective upon the depositing of the notice in the United States mails. The proper mailing address for the purposes of serving notice on the LANDLORD

shall be the Commissioner, Department of Natural Resources, 500 Lafayette Road, St. Paul, Minnesota 55155-4045, and on the TENANT it shall be as stated in the TENANT'S ADDRESS.

27. CONSTRUCTION OF LEASE. If any clause or provision of this lease is or becomes illegal, invalid or unenforceable because of present or future laws or any rule or regulation of any governmental body, the intentions of the LANDLORD and TENANT here is that the remaining parts of this lease shall not be affected thereby.
28. AUDIT. LANDLORD is a State of Minnesota entity. The books, records, documents and accounting procedures and practices of the TENANT (whether in hard copy or electronic format) regarding this Lease shall be subject to reasonable examination by the STATE and/or the State Auditor or Legislative Auditor, as appropriate, during the term of the Lease and for a minimum of six (6) years after the Lease's expiration or termination.
29. BOND FINANCED PROPERTY. If LANDLORD used General Obligation bonds to purchase, construct, or improve the Premises, TENANT agrees to comply with all requirements imposed by the Commissioner of Management and Budget, up to and including furnishing any documents as the Commissioner determines to be necessary, to ensure that interest paid on the General Obligation bonds, if any, used to purchase, construct or improve the Premises is exempt from federal taxation.
30. ADDITIONAL TERMS. See the attached Exhibit A (Map), Exhibit B (Additional Terms), Exhibit C (Invasive Species), and Exhibit D (Range Development, Operation & Maintenance Plan) which are made a part of this lease.

IN WITNESS WHEREOF, the parties have set their hands.

**STATE OF MINNESOTA
DEPARTMENT OF NATURAL RESOURCES**

Joey A. Rokala, Regional Manager
Division of Lands and Minerals

By	Date

TENANT (Individual's Name or Name of Entity) City of Shakopee	
Authorized Signature & Title (If an Entity) Sign/Print	Date

Authorized Signature & Title (If an Entity) Sign/Print	Date

Exhibit A

Map

Miscellaneous Lease LMIS000380

LMIS000380

City of Shakopee Archery Shooting Range



Scott County
T 115 R23 S1
Lat/Lon: 44.801403, -93.52821



Exhibit B
Additional Terms
Miscellaneous Lease LMIS000380

Terms and Conditions which Apply:

1. The Range Development, Operation, and Maintenance Plan, attached hereto as Exhibit D, has been reviewed and approved by LANDLORD. TENANT shall comply with the Range Development, Operation, and Maintenance Plan.
2. TENANT shall be solely responsible for the safe operation of the archery range and TENANT shall provide a safety plan to LANDLORD upon request.
3. The archery range is located within the Minnesota River flood plan. TENANT shall not construct structures without prior written authorization of LANDLORD.
4. TENANT shall post warning signs along the boundary of the Premises at intervals not to exceed 100 feet, notifying the public of the presence of the archery range.
5. TENANT may install a gate across the approach so as to manage vehicular traffic on the Premises.
6. TENANT shall procure liability insurance, naming the State as additional insured in the amount of at least \$500,000 per individual and \$1,500,000 per occurrence from an insurance carrier licensed to do business in Minnesota. Upon execution of this lease, TENANT shall provide LANDLORD with a certificate of insurance indicating the required coverage and TENANT shall periodically provide LANDLORD with evidence of insurance as LANDLORD may request. The policy shall provide that LANDLORD be notified ten days prior to the cancellation or termination of the policy. TENANT shall be required to maintain such insurance to the full extent of the amounts specified in Minnesota Statutes, Section 3.736 which amounts shall be incorporated herein by reference. If those amounts are changed following execution of this lease, TENANT shall provide whatever amount of insurance is required by that change within 30 days after LANDLORD notifies TENANT of the change.

Exhibit C
Invasive Species
 Miscellaneous Lease LMIS000380

Check all that apply	
☒	Mandatory - (1) Before entering and leaving the site, check clothing, gear, vehicle and equipment (including timber mats) and remove caked mud, dirt clods, and reproductive plant parts (seeds, berries, fruit, cones, flowers or seed stalks, and roots). Using either a power washer or an air compressor is an effective means of cleaning equipment, but is not required unless stated below.
☐	(2) This site is infested with ☐ gypsy moth, ☐ emerald ash borer, ☐ Asian long horned beetle, ☐ other invasive disease or insect _____. Obtain a compliance agreement from USDA APHIS or Minnesota Dept. of Agriculture prior to hauling wood or woody debris off this site. For more information visit http://www.mda.state.mn.us/en/plants/pestmanagement/eab/regulatoryinfo.aspx
☐	(3) This site is infested with ☐ oak wilt, ☐ Dutch elm disease, ☐ sirex wood wasp, ☐ other invasive plant disease or non-regulated insect _____. ☐ Girdle the marked trees and leave them on site. ☐ Do not haul infected trees between April 1st and Nov 1st. ☐ Other _____.
☐	(4a) This site is infested with ☐ buckthorn, ☐ garlic mustard, ☐ other invasive plant, ☐ exotic earthworms. Before starting work, review known infestations with the site administrator. Avoid traveling through or parking in infested areas. Time operations and organize routes of travel to avoid spreading weed seed or infested soil. If mowing hay, be aware of any chemical applications and honor wait times before mowing. Some herbicides are passed through manure into sensitive crop fields. See other restrictions below.
☐	(4b) This site is infested with ☐ buckthorn, ☐ amur or Norway maple, ☐ peashrub, ☐ honeysuckle, ☐ multiflora rose, ☐ Russian olive, ☐ other: _____. When cutting: ☐ chip, ☐ pile and burn rather than scattering the tops of invasive species.
☐	(5) Using a power washer or air compressor, ☐ daily, ☐ weekly, ☐ monthly; clean all vehicles, equipment and trailers taken on and off site during the snow-free season. Washing may be done at an approved location on site or off site at an appropriate cleaning facility. Avoid letting rinse water run into open bodies of water or native plant communities. Cleaning is not required during frozen conditions.
☐	(6a) All materials (gravel, fill, mulch, chips, sand, etc.) brought to the site are to be weed and pest free. Sources are to be approved prior to purchase or acquisition.
☐	(6b) Before utilizing the underlying gravel or other earth materials, scrape off the top 6-12" and segregate in an on-site location designated by the site administrator.
☐	(7) Plant or reclaim site within: ☐ one month, ☐ three months, ☐ six months of end of lease or project. Use weed and pest free native plant and seed mixes. Where available, use certified or local sources. Sources are to be approved prior to purchase and acquisition.
☐	(8) Upon completion of the project or operation, close, obstruct or gate all access routes. If project is inactive for longer than ☐ one month, ☐ three months, ☐ six months close, obstruct or gate all access routes until project resumes.
☐	When collecting field material (seed, I&D samples, berries, mushrooms, special wood products, etc.) use new clean bags or baskets.

☐	In the case invasive plants become an issue during operations (to be determined by the site administrator), the TENANT agrees to stop operations and gate or otherwise close the site until the infestation can be controlled.
☐	The TENANT is responsible for controlling noxious weeds on the site. Contact the site administrator and county agricultural inspector for details.
☐	Follow other actions as directed by the site administrator to minimize the introduction and/or spread of invasive species.
☐	Before starting work, review known infestations with site administrator(s). When traveling between multiple sites a day, be sure to start at the site with the fewest number of invasive plants, leaving the most heavily infested site to last. Time operations and site visits to avoid the spread of weed seed.

Last updated March 30, 2023

Exhibit D

Range Development, Operation and Maintenance Plan

Miscellaneous Lease LMIS000380

Shakopee Archery Park: Range Development, Operation and Maintenance Plan- 2026

Overview

In 2002, the City removed an existing archery range from Lion's Park in Shakopee due to safety concerns and potential conflicts with other uses. A successful effort to relocate and develop the range, along with developing an operational/maintenance plan occurred in 2006. This was through the efforts of local archers, the Minnesota River Valley Chapter of the Minnesota Deer Hunters Association, the City, DNR and Arrowsport. Since the opening of the range, it has been a popular destination for the community.

Range Location

Land owned by the MN DNR's Division of Wildlife. North side of the Minnesota River, west of CSAH 101 in the location of the former baseball stadium site. Access via boat launch access road, owned by the U.S. Fish and Wildlife Service, via easement.

Range Design

Currently consists of 5-10 static targets at varying distances. A small shade shelter has been installed upon approvals, along with picnic table seating.

Range Construction and Development

The City of Shakopee and the MRVMDHA work cooperatively on the development and improvements of the range. In 2020-21, an elevated shooting platform was constructed. In 2025, additional targets were placed to the west of the platform specifically for youth.

Programming

The City and MRVMDHA annually host a free community event that allows participants to learn about archery, the range and how to properly and safely use the range.

Funding

Funding for any development, enhancement or maintenance expenses may come from City funds, MRVMDHA contributions, donations or grants.

Operation and Maintenance Plan 2026

Component	Details	Responsibility
Insurance	Basic operation covered under City. Agreements w/ other organizations would require hold harmless agreements and insurance coverage.	Shared
Hours	Sunrise to Sunset. U.S. Fish and Wildlife oppose lighting.	City
Gate Closures	N/A	-
Security Visits	City Police regular patrol	City
Promotion		

Exhibit D
Range Development, Operation and Maintenance Plan
 Miscellaneous Lease LMIS000380

Programs + Events	City oversees decisions regarding programmatic components and requirements.	City
Instructors	Programs/Events through the City, or in partnership with the MRVMDHA, typically utilize trained staff or volunteers.	Shared
Fees	Not currently proposed or charged	City
Equipment Rental	Not available	City
Off Season Use	No off season use proposed	-
Use Analysis	No formal counts or surveys have been implemented	Shared
Marketing	City catalog, website and social media. Add'l through MNDNR, MRVMDHA, USFWS, etc.	Shared
Maintenance		
Targets	Seasonal placement, replacement, oversight	MRVMDHA
Garbage	City provided containers and collection	City
	Periodic site cleanup	MRVMDHA
Restroom	Seasonal portable toilet provided via contract	MRVMDHA
Field/Lawn	Mowing	MRVMDHA
Accessibility	Gravel access paths	MRVMDHA
	Access Road	City
Buildings	Picnic shelter upkeep	MRVMDHA
Signage	New and replacement as needed	City
Flood Preparation and Restoration	Target removal and site restoration upon flood waters receding	MRVMDHA (City may assist)

Overview

The Shakopee Archery Park has been a valuable addition to the community. The facility is used heavily and the location has worked well. The contributions of the City and MRVMDHA have resulted in a successful archery range facility.

July 28, 2026

City of Shakopee
1255 Fuller St. S.
Shakopee, MN 55379-1328

c/o Sherry Dvorak

RE: Miscellaneous Lease # LMIS000380
NWNE, S1, T115N, R23W, Scott County
GL2, S1, T115N, R23W, Scott County

Dear Sherry Dvorak:

Enclosed is the above referenced lease. Please sign and date the lease. Return the copy to this office within 30 days. When the lease is completed by the State, we will send you a copy for your records.

This is a no-fee lease.

Also, the insurance certificate we have expires 7/31/26. Please send me updated proof of insurance by providing the State with a certificate of insurance by an insurance carrier licensed to do business in Minnesota. The certificate must list the State as an additional insured; list the above lease number and the amounts of \$500,000 and \$1,000,000 (non-profit organization) or \$500,000 and \$1,500,000 (for profit organization), per occurrence. Please assure that the lease number is shown on the certificate of insurance.

Please have the document signed by an officer of the City, with the officer's title listed beneath the signature. If the document is signed by a person who is not an officer of the City, please send a copy of the power of attorney or board resolution which authorized this person to sign the document on behalf of the City.

Please do not make any changes to the lease. If you have changes, questions, or concerns regarding this lease, please contact me at 218-328-8920 or email me at mary.m.witte@state.mn.us.

Sincerely,



Mary Witte
Realty Specialist

Enclosure

DNR Transaction # LMIS000380 and Transaction ID 1110927



Shakopee City Council August 18, 2026

5.c

Agenda Item: Surplus Property
Prepared by: Josh Davis, Sergeant
Reviewed by:

Action to be considered:

Declare two vehicles as surplus property and authorize disposal.

Motion Type:

Simple Majority

Background:

The following vehicles were obtained through forfeiture proceedings and are described as follows:

1. 2014 Chevrolet Malibu, VIN: 1G11C5SL8EF212643
2. 2015 Nissan Rogue, VIN: 5N1AT2MV0FC853529

The vehicles suitable for resale will be sold at auction and the proceeds, if any, will be distributed according to Minnesota State Statute. The vehicles unsuitable for resale will be junked.

Recommendation:

Approve policy/action as requested.

Budget Impact:

None

Attachments:



Shakopee City Council August 18, 2026

5.d

Agenda Item: Monthly Financial Review - July 2026
Prepared by: Nate Reinhardt, Finance Director
Reviewed by:

Action to be considered:

Review of July 2026 General Fund revenues and expenditures.

Motion Type:

Informational only

Background:

General Fund - July 2026 (see attachment)

Revenues variances (58% target)

- Licenses and permits are tracking ahead of budget targets and similar to the previous year, primarily from building permits, as the City continues to see growth.
- Miscellaneous includes interest earning on investments, which are tracking ahead of budget targets.

Expenditure variances (58% of target)

- Total departmental expenditures are within the normal range and similar to last year's percentage through July.
- Finance expenditures are currently exceeding budget targets as a result of the timing of annual audit and property assessment contracts (full year paid during the first half of the year).
- Fire expenditures are currently tracking ahead of budget targets, as a result of full-time firefighters added with the SAFER grant. The budgeted number does not currently reflect a budget amendment for the SAFER grant.

Recommendation:

Information only

Budget Impact:

N/A

Attachments:

CITY OF SHAKOPEE

Monthly Financial Report

	YTD 2026 Budget	July 2026 Actual	July YTD 2026 Actual	Budget Balance Remaining	Percent Used	July YTD 2025 Actual
01000 - GENERAL FUND						
REVENUES:						
* - TAXES	24,581,880	1,061	13,355,176	11,226,704	54% ➡	13,185,198
* - SPECIAL ASSESSMENTS	17,000	226	13,486	3,514	79% ⬆	11,859
* - LICENSES AND PERMITS	4,392,000	506,099	3,460,401	931,599	79% ⬆	3,410,412
* - INTERGOVERNMENTAL	5,617,250	758,928	2,937,486	2,679,764	52% ➡	2,836,404
* - CHARGES FOR SERVICES	6,548,180	337,289	3,250,773	3,297,407	50% ➡	4,857,543
* - FINES AND FORFEITS	325,200	27,397	200,819	124,381	62% ➡	198,436
* - MISCELLANEOUS	625,700	96,180	667,369	(41,669)	107% ⬆	594,180
TOTAL REVENUES	42,107,210	1,727,181	23,885,509	18,221,701	57% ➡	25,094,033
EXPENDITURES:						
11 - MAYOR & COUNCIL	(196,400)	(7,520)	(114,697)	(81,703)	58% ➡	(131,967)
12 - ADMINISTRATION	(2,951,650)	(197,305)	(1,503,402)	(1,448,248)	51% ➡	(1,567,056)
13 - CITY CLERK	(633,900)	(35,562)	(319,498)	(314,402)	50% ➡	(242,731)
15 - FINANCE	(1,226,150)	(48,619)	(866,634)	(359,516)	71% ⬇	(851,342)
17 - PLANNING AND DEVELOPMENT	(902,450)	(358,348)	(418,647)	(177,803)	46% ⬆	(423,543)
18 - FACILITIES	(666,600)	(40,586)	(314,260)	(352,340)	47% ⬆	(330,494)
31 - POLICE DEPARTMENT	(14,260,280)	(959,824)	(7,329,203)	(6,931,077)	51% ➡	(7,584,173)
32 - FIRE	(4,847,700)	(547,273)	(3,369,782)	(1,477,918)	70% ⬇	(2,380,982)
33 - INSPECTION-BLDG-PLMBG-HTG	(2,316,250)	(130,604)	(1,311,401)	(1,004,849)	57% ➡	(1,527,679)
41 - ENGINEERING	(1,631,700)	(148,746)	(807,310)	(824,390)	49% ➡	(830,229)
42 - STREET MAINTENANCE	(2,894,450)	(217,576)	(1,447,529)	(1,446,921)	50% ➡	(1,713,526)
44 - FLEET	(603,170)	(36,788)	(310,066)	(293,104)	51% ➡	(295,187)
46 - PARK MAINTENANCE	(3,641,810)	(375,072)	(2,088,758)	(1,553,052)	57% ➡	(2,154,321)
67 - RECREATION	(5,997,100)	(586,330)	(3,426,039)	(2,571,061)	57% ➡	(3,416,799)
91 - UNALLOCATED	(237,600)	(1,102)	(18,583)	(219,017)	8% ⬆	(12,883)
TOTAL EXPENDITURES	(43,007,210)	(3,691,254)	(23,645,809)	(19,055,401)	55% ➡	(23,462,913)
OTHER FINANCING						
* - TRANSFERS IN	900,000	0	0	900,000	0%	0
* - TRANSFERS OUT	0	0	0	0	#DIV/0!	0
OTHER FINANCING TOTAL	900,000	0	0	900,000	0%	0
FUND TOTAL	0	(1,964,073)	239,701	66,299		1,631,120

Key

- ⬆ Varies more than 10% than budget positively
- ⬇ Varies more than 10% than budget negatively
- ➡ Within 10% of budget



Shakopee City Council

August 18, 2026

5.e

Agenda Item: Donation of code enforcement equipment
Prepared by: Jamie Pearson, Police Chief
Reviewed by:

Action to be considered:

Accept donation from Crystal Police Department of code enforcement equipment for vehicle

Motion Type:

Simple Majority

Background:

In 2026, the City transitioned animal control services from 4 Paws to a service model that no longer includes animal transportation. As a result, responsibility for transporting animals now falls to the Code Enforcement Officer.

The current Code Enforcement vehicle is not equipped to safely transport animals, particularly those that are dangerous or potentially dangerous. The Crystal Police Department has offered to donate vehicle equipment that would allow the existing Code Enforcement vehicle to be outfitted for the safe transport of these animals.

The donated equipment was removed from a 2021 Ford Police Interceptor Utility (SUV) and has an estimated value of approximately \$2,500, including all supplemental accessories. It was previously used as a K-9 transport system in a police squad vehicle and is compatible with the current make and model of the City's Code Enforcement vehicle.

Recommendation:

Approve resolution R2026-118, a resolution of the City of Shakopee, Minnesota accepting the donation of vehicle equipment from Crystal Police Department.

Budget Impact:

None.

Attachments:

[Resolution No R2026-118 Code Enforcement Equipment.docx](#)

RESOLUTION NO. R2026-118

**A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA, ACCEPTING A
DONATION OF CODE ENFORCEMENT EQUIPMENT FROM THE CRYSTAL
POLICE DEPARTMENT TO BE USED FOR THE SAFE TRANSPORTATION OF
DANGEROUS AND POTENTIALLY DANGEROUS ANIMALS.**

WHEREAS, the City of Shakopee has authority to accept donations for public purposes pursuant to applicable Minnesota law; and

WHEREAS, the Crystal Police Department has offered to donate code enforcement equipment with an estimated value of \$2,500 to the City of Shakopee; and

WHEREAS, the donated equipment will be used by the City of Shakopee for the safe transportation and handling of dangerous or potentially dangerous animals in connection with code enforcement and animal control activities; and

WHEREAS, the City Council finds that acceptance of the donated equipment is in the best interests of the City and will enhance the safety of City staff, law enforcement personnel, animal control personnel, and members of the public; and

WHEREAS, the City Council wishes to formally acknowledge and accept the generous donation from the Crystal Police Department.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Shakopee, Minnesota, that the donation of Code Enforcement Equipment from the Crystal Police Department is gratefully accepted; and

FURTHER , that City staff is directed to send a letter to the donor, acknowledging receipt of the gift and expressing the appreciation of the City Council.

Adopted by the City Council of the City of Shakopee, Minnesota, this 18th day of August 2026.

Mayor of the City of Shakopee

Attest:

City Clerk



Shakopee City Council August 18, 2026

5.f

Agenda Item: Lateral Police Officer Hire
Prepared by: Jamie Pearson, Police Chief
Reviewed by:

Action to be considered:

Approve the hiring of Officer Jay Personious at step 6 of the 2026 union contract

Motion Type:

Simple Majority

Background:

Officer Jay Personious was selected following the oral interview process and has successfully completed all required pre-employment testing for the position of Police Officer. Officer Personious brings 14 years of experience as a licensed peace officer, along with extensive training and a proven record of service.

City policy requires City Council approval for new hires whose starting salary exceeds the midpoint of the established salary range.

Recommendation:

Approve the hiring of Officer Jay Personious at step 6 of the 2026 union contract

Budget Impact:

None

Attachments:



Shakopee City Council

August 18, 2026

5.g

Agenda Item: Minnesota Department of Human Services' Provide Opioid Epidemic Response Services Grant Program Application
Prepared by: Andrea Harrell, Grants and Special Projects Coordinator
Reviewed by: Chelsea Petersen, Assistant City Administrator

Action to be considered:

Adopt Resolution R2026-116, approving an application to the Minnesota Department of Human Services' (MN DHS) Provide Opioid Epidemic Response Services grant program.

Motion Type:

Simple Majority

Background:

MN DHS has allocated funding to provide services aimed at addressing the opioid epidemic in Minnesota, including prevention and harm reduction for opioid use disorder, expansion and enhancement of the continuum of care for opioid related substance use disorders, and chronic pain management and alternative treatments. The City of Shakopee is seeking funding to further support the Shakopee Police Department's Recovery Assistance Program.

Recommendation:

Adopt Resolution R2026-116.

Budget Impact:

The grant requires a 0% match.

Attachments:

[Resolution R2026-116.docx](#)

RESOLUTION R2026-116
A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA APPROVING
THE CITY TO SUBMIT A MINNESOTA DEPARTMENT OF HUMAN SERVICES’
PROVIDE OPIOID EPIDEMIC RESPONSE SERVICES GRANT PROGRAM APPLICATION

WHEREAS, the City of Shakopee supports the application made to the Minnesota Department of Human Services’ Provide Opioid Epidemic Response Services grant program, and

WHEREAS, the application is to obtain funding to support the Shakopee Police Department’s Recovery Assistance Program, and

WHEREAS, the City of Shakopee recognizes a 0% match.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAKOPEE, MINNESOTA AS FOLLOWS: if the City of Shakopee is awarded a grant by the Minnesota Department of Human Services, the City of Shakopee agrees to accept the grant award and may enter into an agreement with Minnesota Department of Human Services for the above-referenced project. The City of Shakopee will comply with all applicable laws, requirements, and regulations as stated in the grant agreement.

Adopted in the regular session of the City Council of the City of Shakopee, Minnesota, held this 18th day of August 2026.

Matt Lehman,
Mayor of the City of Shakopee

ATTEST:

Richard Parsons
City Clerk



Shakopee City Council

August 18, 2026

5.h

Agenda Item: Department of Justice's Community Policing Development Microgrants Program Application
Prepared by: Andrea Harrell, Grants and Special Projects Coordinator
Reviewed by: Chelsea Petersen, Assistant City Manager

Action to be considered:

Adopt Resolution R2026-115, approving an application to the Department of Justice Community Oriented Policing Services' Community Policing Development Microgrants program.

Motion Type:

Simple Majority

Background:

The Office of Community Oriented Policing Services (COPS) provides funding for demonstration and pilot projects to be implemented by local, state, tribal, and territorial law enforcement agencies to increase their capacity to implement innovative or evidence-based projects that improve officer and public safety. The City of Shakopee is seeking funding to support its violent crime enforcement and investigations.

Recommendation:

Adopt Resolution R2026-115.

Budget Impact:

The grant requires a 0%.

Attachments:

[Resolution R2026-115.docx](#)

RESOLUTION R2026-115
A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA APPROVING
THE CITY TO SUBMIT DEPARTMENT OF JUSTICE'S
COMMUNITY POLICING DEVELOPMENT MICROGRANT PROGRAM FUNDING APPLICATION

WHEREAS, the City of Shakopee supports the application made to the Department of Justice's Community Policing Development Microgrant program, and

WHEREAS, the application is to obtain funding to support the Shakopee Police Department's violent crime enforcement and investigations, and

WHEREAS, the City of Shakopee recognizes a 0% match is required.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAKOPEE, MINNESOTA AS FOLLOWS: if the City of Shakopee is awarded a grant by the Department of Justice, the City of Shakopee agrees to accept the grant award and may enter into an agreement with Department of Justice for the above-referenced project. The City of Shakopee will comply with all applicable laws, requirements, and regulations as stated in the grant agreement.

Adopted in the regular session of the City Council of the City of Shakopee, Minnesota, held this 18th day of August 2026.

Matt Lehman,
Mayor of the City of Shakopee

ATTEST:

Richard Parsons
City Clerk



Shakopee City Council

August 18, 2026

5.i

Agenda Item: Surplus Property
Prepared by: Josh Davis, Sergeant
Reviewed by:

Action to be considered:

Declare fitness equipment as surplus property and authorize disposal.

Motion Type:

Simple Majority

Background:

The Shakopee Police Department has several pieces of fitness equipment currently located in the bike garage for designation as surplus. This equipment in general is quite used, in fair to poor conditions. The equipment is as follows:

- One utility bench with tears in the fabric (with attachments)
- One heavy duty hanging training bag
- Approximately 4 sets of boxing hand pads/gloves
- Approximately 24 dumbbells with weights ranging from 5 to 65 pounds with storage rack
- One scale
- Two 45-pound weightlifting bars
- Two curl bars
- One pull-down bar
- One training rope

The items suitable for resale will be sold and the proceeds, if any, will be deposited into the general fund. The items unsuitable for resale will be discarded.

Recommendation:

Approve policy/action as requested.

Budget Impact:

None.

Attachments:



Shakopee City Council August 18, 2026

5.j

Agenda Item: Approve Parking Restrictions on Disc Drive and Secretariat Drive
Prepared by: Alex Jordan, City Engineer
Reviewed by:

Action to be considered:

Approve no parking zones and installation of "No Parking" signs along Disc Drive and Secretariat Drive south of 12th Avenue.

Motion Type:

Approve

Background:

Shakopee Engineering and Police Departments received complaints of on street parking along Disc Drive and Secretariat Drive obstructing sightlines during events at Mystic Lake Amphitheater. Police department staff recently observed the on street parking during an event and noted that vehicles were parking right up to and into the intersections. The parked vehicles made it difficult to navigate the roadways and created safety issues for drivers by obstructing views.

Staff recommend implementing parking restrictions at key locations near the intersections to eliminate the sightline restrictions. The signage will help clearly communicate to drivers and event attendees where they are allowed to park and where they are not permitted to park. This will also make enforcement more clear for officers.

The proposed layout of the parking restrictions is attached for reference.

Recommendation:

Approve the parking zone restrictions.

Budget Impact:

No parking signs are manufactured and installed by the Public Works Department at a cost of \$291 per sign. Seven signs will be installed, and will be funded through the Public Works Street Division operating budget.

Attachments:

[Disc Drive Parking Restriction.pdf](#)



Disc Drive Parking Restriction



Shakopee City Council August 18, 2026

5.k

Agenda Item: Approve Plans and Authorize Bidding for the Minnesota Riverbank Stabilization Improvements
Prepared by: Alex Jordan, City Engineer
Reviewed by:

Action to be considered:

Adopt Resolution R2026-117, approving plans and specifications and ordering advertisement for bids for the Minnesota Riverbank Stabilization Improvements.

Motion Type:

Simple Majority

Background:

The City's adopted 2026-2030 Capital Improvement Plan programs the construction of the Minnesota Riverbank Stabilization Project in 2026. The projects includes stabilizing sections of the Minnesota Riverbank, flood protection for the City's parallel sanitary sewer, and parks integration improvements, including re-establishment of the historic Sweeney's Marina.

Plans have been prepared and staff is ready to solicit public bids to complete the improvements. Upon approval, subsequent advertising and bidding will commence with a scheduled bid opening in September 2026. Bids would then be considered and awarded with construction of the improvements scheduled to begin in late Fall 2026 and be completed in Fall 2027.

Recommendation:

Adopt Resolution R2026-117.

Budget Impact:

The adopted Capital Improvement Plan programs \$18,750,000 for the project, which includes engineering and administrative costs. The project is funded by the following sources:

- State Bonding Funds
- EPA Federal Grant
- LCCMR Grant
- DNR Outdoor Recreation Grant

- DNR Shore Fishing Grant
- Watershed Based Implementation Funding
- Lower MN River Watershed District Cost Share and Funding through the Water Resources Restoration Fund
- Local Funding Sources (Park Asset Fund, Storm Drainage Fund, Sanitary Sewer Fund, Park Development Fund)

Attachments:

[Resolution R2026-117.docx](#)

[Capital Improvement Plan.pdf](#)

[112688G001-TITLE SHEET - SIGNED.pdf](#)

RESOLUTION R2026-117
A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA APPROVING PLANS AND SPECIFICATIONS AND
ORDERING ADVERTISEMENT FOR BIDS FOR THE MINNESOTA RIVERBANK STABILIZATION
IMPROVEMENTS

WHEREAS, the City Engineer has prepared plans and specifications for the Minnesota Riverbank Stabilization Improvements, by stabilizing sections of the Minnesota Riverbank, flood protection for the City's parallel sanitary sewer, stormwater management improvements, parks integration improvements including re-establishment of the historic Sweeney's Marina and any appurtenance work and has presented such plans and specifications to the Council for approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAKOPEE, MINNESOTA AS FOLLOWS:

- 1.** Such plans and specifications, a copy of which is on file and of record in the Office of the City Engineer, are hereby approved.
- 2.** The City Clerk shall prepare and cause to be placed on the city's website and on questcdn.com an advertisement for bids upon the making of such improvement under such approved plans and specifications. The Advertisement for Bids shall be published as required by law.

Adopted in regular session of the City Council of the City of Shakopee, Minnesota, held this 18th day of August 2026.

Matt Lehman,
Mayor of the City of Shakopee

ATTEST:

Richard Parsons,
City Clerk

Prepared by:
City of Shakopee
485 Gorman Street
Shakopee, MN 55379

Project Details
Shakopee, MN

Project #	PR-23-002
Project Name	Riverbank Stablization

Total Project Cost	\$17,610,000	Contact	City Engineer
Department	Park Development Fund	Type	Improvement
Category	Park Improvements	Priority	1 - Have to do
Status	Active	Useful Life	50 years
Accounting Code	5934/6934	Fund	Park Development Fund

Description

Stabilize sections of the Minnesota River riverbank that has eroded along the city's parallel trunk sanitary sewer line that flows to L-16 and at storm sewer outlets. An evaluation was completed in 2023 to determine the scope and cost of this project. This project is essential in order to complete Huber Park and the Cultural Corridor project. Cost share funding and grant opportunities have been obtained from State Bonding and Federal Funds along with a grant from LCCMR and Watershed Based Implementation Funding. Additional funding opportunity will be applied for from various grants and sources.

Justification

Huber Park is one of the signature parks in the Parks Master Plan. This includes the recently completed playground, riverbank stabilization, cultural corridor and creation of a natural flooding area that will protect the main elements of the park. Eroded riverbank needs to be stabilized to protect the city's adjacent trunk sanitary sewer, repair erosion along the riverbank and at outlets, and to minimize future erosion (Minnesota River is impaired). The stabilized river banks will help create areas for the planned Art Plaza and Veterans Memorial.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
1,800,000	Improvements	15,110,000	0	0	0	0	15,110,000
	Engineering/Administration	700,000	0	0	0	0	700,000
	Total	15,810,000	0	0	0	0	15,810,000

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
1,800,000	State Bonding Funds	6,460,000	0	0	0	0	6,460,000
	Cost Sharing, MnDOT/Federal	3,500,000	0	0	0	0	3,500,000
	Sanitary Sewer Fund	1,760,000	0	0	0	0	1,760,000
	Grants	1,549,300	0	0	0	0	1,549,300
	Storm Drainage Fund	1,248,700	0	0	0	0	1,248,700
	Park Development Fund	1,000,000	0	0	0	0	1,000,000
	Park Asset Internal Service Fund	200,000	0	0	0	0	200,000
	Cost Sharing	92,000	0	0	0	0	92,000
	Total	15,810,000	0	0	0	0	15,810,000

Budget Impact

The City received following dedicated funds for the project:

- \$8,260,000 from State Bonding
- \$3,500,000 EPA Grant
- \$149,297 WBIIF for downtown stormwater treatment
- \$1,400,000 LCCMR Funds
- The City share of the Riverbank Stabilization project would be funded primarily from the Sanitary Sewer, Park Dedication and Storm Drainage Funds.

Project Details
Shakopee, MN

Project #	PR-23-002	Contact	City Engineer
Project Name	Riverbank Stabilization	Department	Park Development Fund



Project Details
Shakopee, MN

Project #	PR-19-002
Project Name	Riverfront Marina/Schroeder House

Total Project Cost	\$2,650,000	Contact	Director of Planning & Development
Department	Park Development Fund	Type	Improvement
Category	Park Improvements	Priority	2 - Smart to do
Status	Active	Useful Life	30 years
Accounting Code	5876/6876	Fund	Park Development Fund

Description

The Parks System Master Plan provides guidance for this development. This will provide public access to the MN River. In cooperation with Three Rivers Park System, there may be an opportunity for boat rentals that would exit the river on the Three River's Landing property. This park development will also allow for the preservation and reuse of the Schroeder House, the owner of the Shakopee Brick Company. The house will be used for a public purpose as part of the parks master plan. The city already owns the property to the west as part of Huber Park. Funding for the restoration of the house may come from the State Historic Preservation Grant program. The Marina is in the Riverfront project and the grant is for the ramp in the Marina.

Justification

This is a very historic house and site and will also provide the public with access to the river. The use of the house as a potential event site will also provide the community with another option. The event portion would be likely run by a private operator with the city reserving use of the space for public meetings.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
950,000	Improvements	1,700,000	0	0	0	0	1,700,000
	Total	1,700,000	0	0	0	0	1,700,000
Prior	Funding Sources	2026	2027	2028	2029	2030	Total
950,000	Park Development Fund	1,560,000	0	0	0	0	1,560,000
	Grants	140,000	0	0	0	0	140,000
	Total	1,700,000	0	0	0	0	1,700,000

Project Details

Shakopee, MN

Project #	PR-19-002	Contact	Director of Planning & Development
Project Name	Riverfront Marina/Schroeder House	Department	Park Development Fund



CITY OF SHAKOPEE

CONSTRUCTION PLANS FOR

MINNESOTA RIVERBANK PROTECTION AND PARKS INTEGRATION

GRADING, AGGREGATE BASE, PLANT MIXED BITUMINOUS PAVEMENT, CONCRETE CURB & GUTTER, ADA IMPROVEMENTS,
STORM SEWER, SANITARY SEWER, WATER MAIN, LIGHTING, LANDSCAPING AND RELATED APPURTENANCES

JULY, 2026

RESOURCE LIST

CITY OF SHAKOPEE

City Hall
485 Gorman Street
Shakopee, MN 55379

City Administrator:
William H. Reynolds

Mayor:
Matt Lehman

City Council Members:
Angelica Contreras
Jay Whiting
Jim DuLaney
Jesse Lara

City Engineer:
Alex Jordan

Utility Superintendent:

Department of Natural Resources:

Scott County ____

UTILITIES

GAS

?
?
?
?

TELEPHONE

TOLL: ?
?
?
?

LOCAL: ?

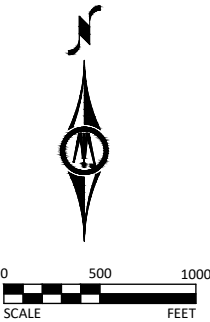
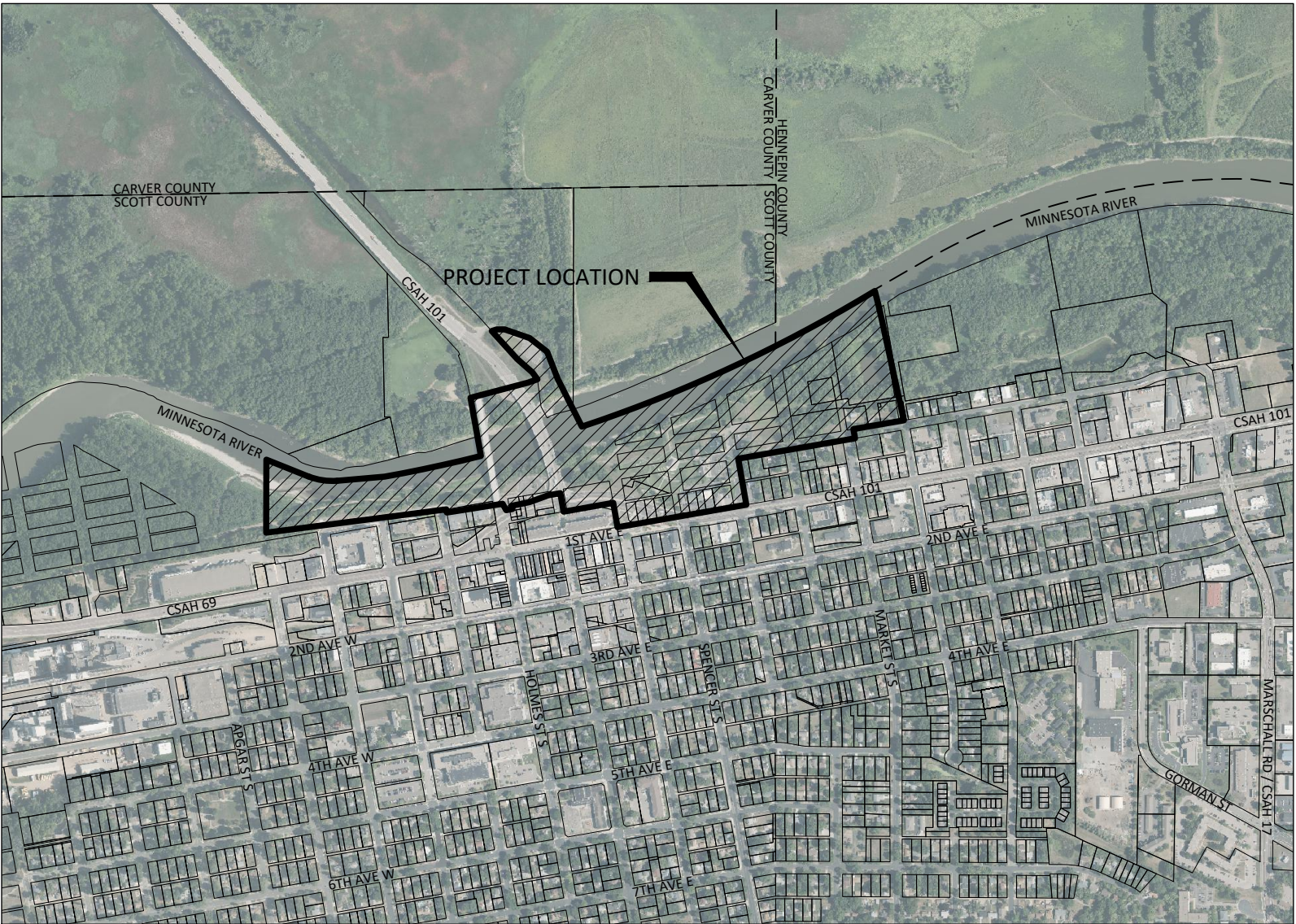
?
?
?

CABLE

?
?
?

ELECTRIC

?
?
?
?



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-22, ENTITLED "STANDARD GUIDELINE FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES".

SHEET NUMBER	SHEET TITLE
GENERAL	
G0.01 - G0.04	TITLE SHEET, LEGEND, GENERAL NOTES, SITE REFERENCE PLAN
G1.01	GENERAL OVERVIEW
G2.01 - G2.03	STATEMENT OF ESTIMATED QUANTITIES

CIVIL	
C0.01 - C0.10	EXISTING CONDITIONS & REMOVAL PLAN
C1.01 - C1.25	TABLES, TYPICAL SECTIONS, DETAILS, PHASING & TRAFFIC CONTROL
C2.01 - C2.13	SWPPP PLAN, EROSION CONTROL PLAN
C2.14 - C2.21	RIPRAP PLAN
C3.01 - C3.07	GRADING PLAN
C4.01 - C4.05	SANITARY SEWER & WATERMAIN PLAN & PROFILE
C5.01 - C5.08	STORM SEWER PLAN & PROFILE
C6.01 - C6.12	STREET PLAN & PROFILE, TRAIL PLAN & PROFILE
C6.13 - C6.14	PEDESTRIAN RAMP DETAILS
C6.15 - C6.21	RETAINING WALL PLAN AND PROFILE
C7.01 - C7.06	SIGNING & STRIPING PLAN
C8.01 - C8.33	CROSS SECTIONS

LANDSCAPE	
L1.01 - L1.06	SITE LAYOUT PLAN
L2.01 - L2.04	IRRIGATION PLAN
L3.01	IRRIGATION DETAILS
L4.01 - L4.09	PLANTING PLAN, SEEDING SCHEDULES
L5.01 - L5.02	LANDSCAPE DETAILS

ELECTRICAL	
P1.01 - P1.04	ELECTRICAL PLAN
P2.01 - P2.23	ELECTRICAL DETAILS

STRUCTURAL	
S0.01	STRUCTURAL NOTES
S1.01 - #####	STRUCTURAL PLAN
##### - #####	STRUCTURAL SECTIONS
S5.01 - S5.04	STRUCTURAL DETAILS

THIS PLAN SET CONTAINS 206 SHEETS.

REVIEWED & APPROVED _____ CITY ENGINEER _____ DATE: _____

+ BM=722.13' MINNESOTA DEPARTMENT OF TRANSPORTATION ALUM. MONUMENT GEODETIC STATION #97215 (MIKE) 0.25 MILE NW ON CO. RD. 101 FROM THE JUNCTION OF CO. RD. 69.	PROJECT DATUM: SCOTT COUNTY COORDINATE SYSTEM HORIZONTAL: NAD83 (1996 ADJ.) VERTICAL: NAVD88	RECORD DRAWING INFORMATION OBSERVER: CONTRACTOR: DATE:
	CITY OF SHAKOPEE, MINNESOTA MINNESOTA RIVERBANK PROTECTION AND PARKS INTEGRATION TITLE SHEET	SHEET G0.01 43

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TIMOTHY J. OLSON
LIC. NO. 49129 DATE 08/19/2026



12224 NICOLLET AVENUE
BURNSVILLE, MN 55337
Phone: (952) 890-0509
Email: BurnsVille@bolton-menk.com
www.bolton-menk.com



DESIGNED	NO.	ISSUED FOR	DATE
DRAWN	1		
CHECKED	3		
CLIENT PROJ. NO.	2		
	017.132688		



Shakopee City Council August 18, 2026

5.I

Agenda Item: Wage adjustment for LELS Sergeants
Prepared by: William Reynolds, City Administrator
Reviewed by:

Action to be considered:

Approve the Memorandum of Understanding between the City of Shakopee and the Law Enforcement Labor Services (LELS), Local #279 representing Shakopee Police Sergeants.

Motion Type:

Simple Majority

Background:

As part of the last contract between the city and LELS Sergeants, there was a wage reopener for 2026 - the final year of the contract. The purpose of this was to ensure that there would not be a large pay jump between 2026 and 2027 in light of the city's commitment to paying the mid-point of our comparable cities and the changes occurring in law enforcement compensation.

Upon reviewing both Patrol and Sergeant pay, we determined that Patrol compensation was in line with comparable cities and would not need an adjustment, but the Sergeants were approximately 3% off. This action is to bring Sergeants' pay to the mid-point. We will next look at the Captains' compensation per their union agreement as well.

Recommendation:

Approve.

Budget Impact:

The impact for 2026 will be approximately \$47,000.

Attachments:

[20260806095224958.pdf](#)

MEMORANDUM OF UNDERSTANDING
BETWEEN
CITY OF SHAKOPEE
AND
LAW ENFORCEMENT LABOR SERVICES, Local No. 279

This Agreement is entered into between Law Enforcement Labor Services, Local No. 279 (Union) and the City of Shakopee (Employer):

WHEREAS, Law Enforcement Labor Services Local 279 is the certified exclusive representative for Sergeants with the Shakopee Police Department; and

WHEREAS, the parties have negotiated and agreed upon the terms and conditions of employment for bargaining unit employees through December 31, 2026; and

WHEREAS, the parties have agreed to amend Appendix A – Monthly Wages, to adjust the 2026 wages by 3% to be reflective of the market average;

NOW THEREFORE, the Union and the Employer hereby agree that Appendix A will be adjusted effective January 12, 2026, and remain in place for the duration of the existing contract.

FOR THE CITY OF SHAKOPEE

Mayor

Date: _____

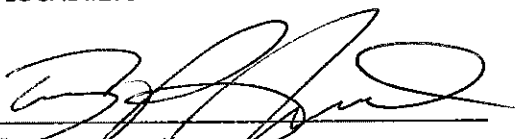
City Administrator

Date: _____

City Clerk

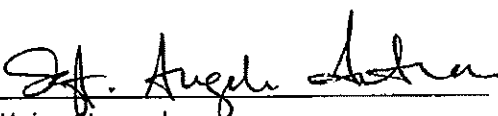
Date: _____

LAW ENFORCEMENT LABOR SERVICES,
LOCAL #279



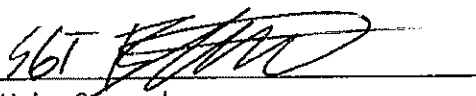
Business Agent

Date: 08/04-26



Union Steward

Date: 8/4/26



Union Steward

Date: 8-4-26

APPENDIX A

MONTHLY WAGES – SERGEANTS

Effective 1/1/24 - 6.5% wage adjustment at step 1, 9% wage adjustment at step 5, adjustments to steps 2, 3, 4 to provide a similar spread between steps, and a 3% COLA.					
	Step 1	Step 2	Step 3	Step 4	Step 5
	0-11 Months	12-23 Months	24-35 Months	36-47 Months	48+ Months
Hourly	\$ 53.94	\$ 56.10	\$ 58.34	\$ 60.67	\$ 63.09
Monthly	\$ 9,349.55	\$ 9,723.53	\$ 10,112.47	\$ 10,516.97	\$ 10,935.53

Effective 1/13/25 - 0.5% wage adjustment at step 1, 2% wage adjustment at step 5, adjustments to steps 2, 3, 4 to provide a similar spread between steps, and a 3% COLA.					
	Step 1	Step 2	Step 3	Step 4	Step 5
	0-11 Months	12-23 Months	24-35 Months	36-47 Months	48+ Months
Hourly	\$ 55.83	\$ 58.06	\$ 60.38	\$ 62.80	\$ 66.24
Monthly	\$ 9,676.78	\$ 10,063.85	\$ 10,466.41	\$ 10,885.06	\$ 11,482.31

Effective 1/12/26 - 3% COLA for all steps. During the month of March 2026, the parties agree to a contract opener to discuss the market average.					
	Step 1	Step 2	Step 3	Step 4	Step 5
	0-11 Months	12-23 Months	24-35 Months	36-47 Months	48+ Months
Hourly	\$ 57.50	\$ 59.80	\$ 62.19	\$ 64.68	\$ 68.23
Monthly	\$ 9,967.09	\$ 10,365.77	\$ 10,780.40	\$ 11,211.62	\$ 11,826.78

MOU, 8/18/2026 - Effective 1/12/26 - 3% MRA					
	Step 1	Step 2	Step 3	Step 4	Step 5
	0-11 Months	12-23 Months	24-35 Months	36-47 Months	48+ Months
Hourly	\$ 59.23	\$ 61.59	\$ 64.06	\$ 66.62	\$ 70.28
Monthly	\$ 10,266.53	\$ 10,675.60	\$ 11,103.73	\$ 11,547.47	\$ 12,181.87



Shakopee City Council August 18, 2026

5.m

Agenda Item: Approval of the August 4, 2026, City Council Minutes
Prepared by: Rick Parsons
Reviewed by:

Action to be considered:

Approve the August 4, 2026, City Council minutes

Motion Type:

Simple Majority

Background:

N/A

Recommendation:

Approve the August 4, 2026, City Council minutes.

Budget Impact:

N/A

Attachments:

[08-04-2026 City Council Minutes](#)



City Council

City Hall
485 Gorman Street
Shakopee, MN, 55379

Tuesday, August 4, 2026
7:00 p.m.

Vision: Shakopee is a place where people want to be! A distinctive river town, with a multitude of business, cultural and recreational opportunities in a safe, welcoming, and attractive environment for residents and visitors.

Mission: Our mission is to deliver high quality services essential to maintaining a safe and sustainable community. We commit to doing this cost-effectively, with integrity and transparency.

1) Call to Order

2) Roll Call

PRESENT:

Mayor Lehman, Council Member Contreras, Council Member Whiting, Council Member DuLaney, and Council Member Lara

ABSENT:

None.

ALSO PRESENT:

None.

3) Pledge of Allegiance

4) Approval of Agenda

Council Member Contreras made a motion to approve the agenda, second by Council Member DuLaney and the motion passed. 5 - 0

5) Consent Agenda

5.a) Approve Parking Restrictions on Bluff Avenue

- 5.b) Surplus Property
- 5.c) Special Event Permit and Temporary Liquor License for TAP 2026 Event
- 5.d) Special Event Permit for the Shakopee Chamber of Commerce and Shakopee Brew Hall Anniversary Event.
- 5.e) Approve Taproom, On-Sale, Small Brewery and Sunday Liquor Licenses for Dilemma Brewing Co. LLC. dba Shakopee Brew Hall.
- 5.f) US Department of Justice's Law Enforcement Mental Health & Wellness Grant Program Application
- 5.g) Ordinance amending City Code Section 111.01 related to National Electrical Code.
- 5.h) Approve Extended Construction Hours for the Boiling Springs Drainage Improvement Project
- 5.i) Approve a Streambank Credit Purchase Agreement with Willow Glen, LLC for the Minnesota Riverbank Stabilization Improvements
- 5.j) Approve a Contract with JC Hallet Construction for the 2026 Pond Cleanout Project
- 5.k) Approval of the July 21, 2026, City Council Minutes
- 5.l) Approve the Wetland Replacement Plan for Southbridge Crossing Garden Center
- 5.m) SandVenture Aquatic Park Pumphouse Roof Replacement
- 5.n) Resolution R2026-111 Donation for Flag Pole at the Miracle League Field
- 5.o) Approval of an Off-Site Gambling Permit for Shakopee Trap Club for Shakopee TAP 2026

Council Member Whiting made a motion to approve the consent agenda with the modification of removing item 5.n for separate consideration, second by Council Member Contreras and the motion passed. 5 - 0

6) **Public Comment**

Public comment was heard.

7) **Business removed from consent agenda**

- 5.n) Resolution R2026-111 Donation for Flag Pole at the Miracle League Field

Council Member Lara made a motion to approve Resolution R2026-111 Donation for Flag Pole at the Miracle League Field, second by Council Member Whiting and the motion passed. 5 - 0

8) Recess for Economic Development Authority Meeting

Council Member Contreras made a motion to recess for the Economic Development Authority Meeting, second by Council Member Lara and the motion passed. 5 - 0

9) Reconvene

The City Council reconvened at 7:33 pm.

10) General Business

10.a) Extension of the Comprehensive Solid Waste and Recycling Contract with Dick's Sanitation, Inc.

Council Member Whiting made a motion to approve the service contract extension for Comprehensive Solid Waste and Recycling Services between the City of Shakopee and Dick's Sanitation, Inc, second by Council Member DuLaney and the motion passed. 4 - 1
Nays: Council Member Lara

10.b) Monthly Financial Review - June 2026

Informational only.

11) Workshop

11.a) Review Preliminary 2027-2031 Capital Improvement Plan (CIP)

Informational only.

12) Reports

12.a) City Bill List

12.b) News and Announcements

13) Other Business

14) Adjourn to August 18, 2026, at 7:00 pm

Council Member Lara made a motion to adjourn to August 18, 2026, at 7:00 pm, second by Council Member Whiting and the motion passed. 5 - 0



Shakopee City Council

August 18, 2026

5.n

Agenda Item: Amend City Code Section 151.002 and 151.007 K related to the definition of cannabis cultivator and indoor cannabis cultivation and manufacturing uses in the Highway Business (B-1) zoning district.

Prepared by: Michael Kerski, Planning and Development Director

Reviewed by: Michael Kerski, Planning & Development Director

Action to be considered:

Move for denial.

Motion Type:

Simple Majority

Background:

On December 17, 2024 the City Council approved Ordinance O2024-011 which amended City Code Section 151.002 by adding cannabis definitions and Section 151.007 K by adding cannabis use classifications.

The ordinance was written so the use is either permitted (P) or not permitted (blank) by zoning district in the use table with superscript references for additional conditions of approval. In addition, any endorsement received from the state for a cannabis microbusiness, mezzobusiness, or medical cannabis combination business must also be permitted in the zoning district to be allowed.

Rory Cummings, applicant for the code change, and Tom Madden, business partner, have received pre-approval from the State of Minnesota Office of Cannabis Management (OCM) for a Cannabis Microbusiness license with a retail endorsement. They leased space at 491 Marshall Road and obtained the necessary building permit(s) to modify the space for a cannabis retail store in Fall 2025. They are still pending submittal of an application and receipt of the city of Shakopee Cannabis Retail Registration, completion of building and fire inspections, and issuance of the license from the OCM.

Based on discussions with the applicant, staff understands they are experiencing difficulty obtaining sufficient product for retail sales. As a result, the applicant requested that the city consider three ordinance amendments to allow cultivating indoors and manufacturing cannabis products in their leased location. There would be no retail sales in Shakopee, but only a grow space, and the product would serve a retail location in

another city.

The proposed changes were as follows: 1) Amend the definition of cannabis cultivator. Current Cannabis Cultivator definition: A business with a cannabis cultivator license, or cultivation endorsement from the State of Minnesota Office of Cannabis Management.

Proposed Cannabis Cultivator definition (same as the City of Chaska): Cannabis cultivation means a cannabis business licensed to grow cannabis plants within the approved amount of space from seed or immature plant to mature plant, harvest cannabis flower from mature plant, package and label immature plants and seedlings and cannabis flower for sale to other cannabis businesses, transport cannabis flower to a cannabis manufacturer located on the same premises, and perform other actions approved by the OCM.

Current definitions were intentionally written by the City Attorney's Office to refer to state rules and statutes as they describe what the license holder can do. Modifying the definition to outline what is allowed, instead of referring to the state required license for this specific definition, would result in this specific definition being in a dramatically different format than all of the other cannabis definitions and may result in confusion in the future if the language in the rules and statutes are amended and the city does not update its definition to specifically align.

2) Amend the use table to allow indoor cannabis cultivation up to 5,000 sq. ft. and cannabis manufacturing in the Highway Business (B-1) zoning district. City Code currently allows cultivation and manufacturing in the Light Industry (I-1) and Heavy Industry (I-2) zoning districts. These districts also allow for microbusinesses, mezzobusinesses, and medical cannabis combination businesses to have a limited retail component (15% of the operational area or 2,000 sq. ft. whichever is less). Amending the city code to allow indoor cultivation and/or manufacturing in a commercial zoning district would apply to all properties in the B-1 zoning district (not just the leased space).

The intent of the B-1 zoning district is to offer goods and services directly to the ultimate consumer. Horticulture (not involving retail sales) and manufacturing uses are not permitted within the B-1 zoning district. Some B-1 properties are improved with residences and a majority of the B-1 properties abut residential zoning districts (including the subject property) which raises concerns including, but not limited to, compatibility with adjacent commercial businesses as well as compatibility with adjacent residential uses, odor, noise, and security.

In addition, the 2040 Comprehensive Plan guides the B-1 zoned properties as either Mixed Use Commercial Corridor or Mixed Use Commercial Center. The primary and secondary uses for these classifications are commercial, office, mixed uses, institutional, multifamily residential, parking, transit facilities, and public gathering spaces. Amending

the city code to allow industrial uses in the commercial classification would be in conflict with the comprehensive plan.

3) Amend superscript 61 a. of the Use Table to delete the language "each endorsement received or, when combined, must follow". Superscript 61 a. states "Cannabis microbusinesses, cannabis mezzobusinesses, and medical cannabis combination businesses may be zoned based on each endorsement received, or, when combined, must follow the designations for each license in the use table." This language was intentionally written by the City Attorney's Office to ensure that both the license type and any endorsement(s) received are permitted in a specific zoning district to be allowed. For example, an operator with a cannabis microbusiness license with a cannabis retail endorsement is permitted in the B-1 zoning district because both the license type (microbusiness) and the endorsement (cannabis retail) are permitted uses in City Code Section 151.007 K Use Table.

However, an operator with a cannabis microbusiness license as well as a cannabis retail endorsement and a cannabis cultivation endorsement is not permitted as cannabis cultivation is not a permitted use in the B-1 zoning district. Removing the language as proposed would allow any microbusiness, mezzobusiness, or medical cannabis combination business to operate with any combination of endorsements in any district where that license type is allowed, regardless of whether the individual endorsement(s) are otherwise allowed.

Staff and the Planning Commission recommends denial of the proposed ordinance amendments with the following findings:

Cannabis cultivation and manufacturing uses are not in the spirit and intent of the Highway Business (B-1) zoning district. The B-1 zoning district includes both commercial and residential uses. Proximity of cannabis cultivation and manufacturing uses to non-cannabis related commercial businesses, abutting residential zoning districts as well as existing residential homes raises serious concerns including, but not limited to, odor, noise, and security.

The 2040 Comprehensive Plan guides the B-1 zoned properties as Mixed Use Commercial Corridor or Mixed Use Commercial Center, which does not allow industrial uses. Amending the city code to allow industrial uses would be in conflict with the comprehensive plan.

Modifying the definition of cannabis cultivator to list what is allowed instead of referring to the state required license for this specific definition would result in this specific definition being in a dramatically different format than all of the other cannabis definitions and may result in confusion in the future if the language in the rules and

statutes are amended and not longer align with the city definition.

Eliminating the requirement for all cannabis license types and endorsements to follow the designations in the use table would result in industrial uses (e.g. cultivation, manufacturing, testing facilities, wholesaler, etc.) operating in any district where the license type (e.g. microbusiness, mezzobusiness, medical cannabis combination business) is permitted which was not the intent of O2024-011.

Recommendation:

City Council move for denial of the requests by the applicant.

Planning Commission also voted 5-0 against changing the code to allow manufacturing in the B-1 District. While appreciating the applicant's predicament, the change would violate the Comprehensive Plan and also could have negative impacts on surrounding neighborhoods.

Budget Impact:

None

Attachments:

[Ordinance_O2024-011_FE.pdf](#)

[Summary Minutes from Planning Commission.pdf](#)

ORDINANCE NO. O2024-011

**AN ORDINANCE OF THE CITY OF SHAKOPEE, MINNESOTA,
AMENDING CHAPTER 151 OF THE SHAKOPEE CITY CODE BY
ADDING REGULATIONS RELATED TO CANNABIS AND HEMP
BUSINESSES**

The City Council of Shakopee, Minnesota ordains:

Section 1. Chapter 151.002 is hereby amended by adding the following definitions:

Cannabis Cultivator. A business with a cannabis cultivator license, or cultivation endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Delivery Service. A business with a cannabis delivery service license or delivery service endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Manufacturer. A business with a cannabis manufacturer license, or manufacturing endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Microbusiness. A business with a cannabis microbusiness license from the State of Minnesota Office of Cannabis Management.

Cannabis Mezzobusiness. A business with a cannabis mezzobusiness license from the State of Minnesota Office of Cannabis Management.

Cannabis Retailer. A business with a cannabis retailer license, lower-potency hemp edible retailer license, or retail endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Testing Facility. A business with a cannabis testing facility license or testing endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Transporter. A business with a cannabis transporter license or transportation endorsement from the State of Minnesota Office of Cannabis Management.

Cannabis Wholesaler. A business with a cannabis wholesaler license or wholesaling endorsement from the State of Minnesota Office of Cannabis Management.

Lower-Potency Hemp Edible Retailer. A business with a lower-potency hemp edible retailer license from the Office of Cannabis Management.

Lower-Potency Hemp Edible Manufacturer. A business with a lower-potency hemp edible manufacturer license from the Office of Cannabis Management.

Medical Cannabis Combination Business. A business with a medical cannabis combination business license from the State of Minnesota Office of Cannabis Management.

Section 2. Chapter 151.007 (K) of the Shakopee City Code is amended by adding the following Use Table:

COMMERCIAL AND INDUSTRIAL DISTRICTS									
A=Accessory Use C=Conditional Use P=Permitted Use PUD=Planned Unit Development Blank = Not Permitted Numbers in superscript indicate additional conditions for approval of use. These conditions are found in City Code 151.007 K.									
USE CLASSIFICATION	B-1	B-2	B-3	NC	MR	CC	I-1	I-2	BP
Cannabis Cultivator ⁶⁰							P	P	
Cannabis Delivery Service ⁶⁰							P	P	
Cannabis Manufacturer ⁶⁰							P	P	
Cannabis Mezzobusiness ⁶¹							P	P	
Cannabis Microbusiness ⁶¹	P		P		P	P	P	P	
Cannabis Retailer ⁶³	P				P	P			
Cannabis Testing Facility ⁶⁰							P	P	P
Cannabis Transporter ⁶⁰							P	P	
Cannabis Wholesaler ⁶⁰							P	P	
Medical Cannabis Combination Business ⁶¹							P	P	
Lower-Potency Hemp Edible Manufacturer ⁶²							P	P	
Lower-Potency Hemp Edible Retailer ⁶³	P		P	P	P	P			

Section 3. Chapter 151.007 (K) of the Shakopee City Code is amended by adding the following conditions for approval of use:

60. Cannabis Businesses Without Public Facing Retail.
 - a. Must comply with Minnesota Statutes Chapter 341 and applicable Minnesota Rules, City Code, Chapter 110; and any other applicable law.
 - b. Shall sell products only within the principal structure; and
 - c. Shall have no outside storage or display or accessory structures; and
 - d. Waste products must be disposed of in a timely manner and in such a way to reduce odors.

61. Cannabis Microbusinesses, Cannabis Mezzobusinesses, and Medical Cannabis Combination Businesses.

a. Cannabis microbusinesses, cannabis mezzobusinesses, and medical cannabis combination businesses may be zoned based on each endorsement received or, when combined, must follow the designations for each license in the use table.

b. On-site consumption is an accessory use to a cannabis business licensed by the OCM as a Microbusiness in B-1, B-3, MR, CC, I-1, I-2; and

c. Cannabis retail is an accessory use to a cannabis microbusiness, cannabis mezzobusiness, or medical cannabis combination business in I-1 and I-2; and

d. Must comply with Minnesota Statutes Chapter 341 and applicable Minnesota Rules, City Code, Chapter 110; and any other applicable law; and

e. When the location of a Cannabis Microbusiness includes a Cannabis Retailer endorsement or on-site consumption endorsement, the business must limit the area devoted to display, sale, and on-site consumption of products to no more than 15% of the operational space or 2,000 square feet within the principal structure, whichever is less; and

f. Shall sell products only within the principal structure; and

g. Shall have no outside storage or display or accessory structures; and

h. Waste products must be disposed of in a timely manner and in such a way to reduce odors.

62. Lower-Potency Hemp Edible Manufacturers.

a. Must comply with Minnesota Statutes Chapter 341 and applicable Minnesota Rules; City Code, Chapter 110; and any other applicable regulations.

b. Shall have no outside storage or display or accessory structures; and

c. Waste products must be disposed of in a timely manner and in such a way to reduce odors.

63 Cannabis Retailers and Lower Potency-Hemp Edible Retailers.

a. Must comply with Minnesota Statutes Chapter 341 and applicable Minnesota Rules; City Code, Chapter 110; and any other applicable regulations.

b. Shall sell products only within the principal structure.

Section 3. Effective Date. This ordinance becomes effective from and after its adoption and publication.

Passed in regular session of the City Council of the City of Shakopee, Minnesota held on the 17th day of December, 2024.



Matt Lehman, Mayor of the City of Shakopee

Attest:



Heidi Emerson, Deputy City Clerk

Published in the New Prague Times on the 26 day of December, 2024.

The Planning Commission held a public hearing on proposed amendments to the City's cannabis ordinance that would have changed the definition of "cannabis cultivator" and allowed indoor cannabis cultivation and manufacturing in the B-1 Highway Business District. The request was associated with a proposed cannabis microbusiness at 491 Marshall Road.

Staff recommended denial, primarily because cultivation and manufacturing are industrial-type uses that are inconsistent with the intent of the B-1 commercial district and the 2040 Comprehensive Plan. Staff also raised concerns about compatibility with nearby residential and commercial uses, odor, noise and security, and cautioned that changing the endorsement provisions could allow industrial cannabis activities in zoning districts where they were not otherwise intended.

During the hearing, the applicants explained that they intended to operate a relatively small indoor grow, using filtration systems to control odor, and that cultivation was necessary because of the current shortage and high cost of cannabis product in Minnesota. They indicated that the Shakopee location would initially be used primarily to grow product to support their Minnetonka operation, with the possibility of eventually converting the Shakopee site to retail.

Commissioners generally expressed sympathy for the applicants' situation but were concerned that the requested amendment would change the character of the B-1 district citywide rather than simply authorize one business. They emphasized that B-1 is intended primarily for retail and commercial activity, that the amendment could establish a precedent for cultivation and other industrial activities throughout B-1 areas, and that the Marshall Road property is near apartments, homes and a hotel.

Action: Commissioner Robbins moved to recommend denial to the City Council of the ordinance amendments changing the cannabis cultivator definition and allowing indoor cannabis cultivation and manufacturing in the B-1 district. Commissioner Wieler seconded the motion. The Planning Commission voted unanimously, 5-0, to recommend denial



Shakopee City Council

August 18, 2026

5.o

Agenda Item: Updates To Forestry Manual
Prepared by: Bill Egan, Public Works Director
Reviewed by:

Action to be considered:

Approve Updates To Forestry Manual

Motion Type:
Simple Majority

Background:

The Forestry Manual was last updated December 21, 2021. Staff is reviewing policies as part of our APWA Accreditation and has identified some minor edits as follows:

- **Clarification of staff authority**, including identifying the Public Works Director or designee as having authority over certain pruning and forestry-related decisions.
- **Updated recommended tree species lists** in Appendix A to provide current guidance for boulevard, non-boulevard, and visual-barrier plantings.
- **Updated undesirable tree species lists** in Appendix B, including revisions related to invasive, disease-prone, or otherwise unsuitable species for City property. The revisions also improve consistency with the Minnesota Department of Agriculture Noxious Weed List.
- **Corrected technical and administrative items** throughout the manual, including scientific names, species listings, formatting, terminology, and appendix references.

Recommendation:
Approve The Requested Action

Budget Impact:

Not Applicable

Attachments:

[2021 Forestry Manual Reviewed_Redlined 8-11-2026.doc](#)

[2021 Forestry Manual Reviewed 8-11-2026_clean.doc](#)

City of Shakopee

Forestry Specifications Manual



SHAKOPEE

Adopted by:
City Council, Regular Session, December 21, 2021
Reviewed April 2, 2026 by Bill Egan

Introduction

Authority: Pursuant to authority granted under Shakopee City Code Section 151.112, Section 151.113, Section 130.15, Section 90.05 and Section 90.16, the following serves as the Forestry Specifications and Standards of Practice for the City of Shakopee, Minnesota, hereinafter referred to as the **Forestry Specifications Manual**.

Guideline: The guideline of the City of Shakopee's Tree Management Regulations is to regulate the planting, transplanting, maintenance, removal and protection of public trees and shrubs in the city in order to alleviate hazardous conditions which may result in injury to persons using the streets, sidewalks or other public property within the city. It is also a guideline to promote and enhance the beauty and general welfare of the city by protecting trees and shrubs from undesirable treatment, maintenance practice, planting and removal.

Function: The general responsibility of the Public Works Department is to maintain trees and shrubs located on all public properties, including, but not limited to, boulevards, right-of-way, medians, alleys, parks, and other public facilities and spaces. This involves all phases of forestry work from planting through removal. These specifications are to serve as a standard for the planting and maintenance of all public trees by city employees and city contractors. However, contractors or private individuals may reference these specifications to perform forestry work. In abiding by and enforcing these specifications, the Public Works Department makes reasonable efforts towards the desired goal of maintaining a safe and aesthetically pleasing urban forest allowing it to provide the maximum benefit to the community. The Public Works Department must approve exceptions to these specifications. The Forestry Specifications Manual shall be adhered to at all times, but may be amended at any time that experience, new research, or laws indicate that improved methods or circumstances make it advisable.

Table of Contents

Introduction	Page 1
Authority	
Guideline	
Function	
Tree Planting Standards	Page 4
Size	
Condition	
Planting Methods	
Location	
Easement Areas	
Sight Triangle	
Right-of-Way	
Spacing	
Recommended Street Trees	
Conditional Plantings	
Undesirable Street Trees	
Maintenance of Newly Planted Trees	Page 9
General	
Watering	
Mulching	
Pruning	
Fertilization	
Staking	
Wrapping	
Planting Guidelines	Page 10
General	
Restrictions to Planting Trees	
Reconstructed and Widened Streets	
New Subdivisions	
Unimproved Streets	
Pruning Standards	Page 11
General	
Pruning Cuts	
Crown Cleaning	
Crown Thinning	
Crown Raising	
Crown Reduction	
Clearance Pruning	
Tools	
Site Appearance and Clean-Up	
Topping	
Pruning of Oaks	
Treating Wounds	

Tree Removal Guidelines	Page 14
General	
Control Areas	
Public Trees	
Private Trees	
Reforestation	
Stump Removal – Public Trees	
Shakopee Tree and Shrub Maintenance Standards	Page 15
General	
Boulevard Trees and Public Lands	
Duties of Private Property Owners	
Storm Damage	
Unauthorized Removals	
Miscellaneous Maintenance Practices	Page 16
Stump Removal	
Fertilization	
Cabling and Bracing	
Chemical Treatment	
Gopher State One and Local Utilities	Page 17
References	Page 18
Appendices	
A. Recommended Tree Species to Plant	Page 19
B. Undesirable Species	Page 21
C. Risk Evaluation Guidelines	Page 22
D. Shade Tree Disease and Pest Inspection Form	Page 25
E. Tree, Shrub and Bush Planting Permit Application	Page 26

Tree Planting Standards

Size: All trees planted along the right-of-way and within public spaces must be of sufficient size to absorb the abuse and conditions common to trees planted in urban areas. The minimum allowable size for shade trees is 1 ¾" caliper and 1 ½" caliper for ornamental trees; however, larger or smaller sizes may be required to ensure survival for specific situations. Tree caliper shall be measured six inches above the ground to the nearest ¼".

Condition: Unless otherwise specified, all trees shall conform to the American Nursery and Landscape Association's *American Standard for Nursery Stock*, (Z60.1-2014 or as updated). Each tree chosen for planting shall be a high-quality, healthy tree with evidence of vigorous growth during the previous year. All trees shall have a comparatively straight, single trunk, well-developed leaders and crown, and the roots shall not only be characteristic of the species, cultivar or variety, but also exhibit evidence of proper nursery pruning practices. Ornamental trees may be multiple-stemmed if they can be pruned for adequate clearance. At the time of planting, all trees must have a full healthy crown, be free of mechanical injuries and display no other objectionable features that will affect the future form, health, and beauty of the tree.

Planting Methods:

Planting a Bare Root Tree

Bare root trees are usually available only in early spring. These trees are dug from nurseries in late fall, and all soil is removed from their roots. They are held in climate controlled coolers over winter and sold bare root in spring. Bare root trees typically have a 1 ½- to 2-inch trunk diameter.

While bare root trees can be very economical, they can be highly perishable and it is very important that the roots never be allowed to dry out. When planting many bare root trees (five to ten or more), they should be ordered from the nursery ahead of time and stored in the city's gravel bed (or similar) until they are planted. Bare root trees are usually available only for a short time in spring (usually at the end of April or beginning of May in this area) so there is little flexibility for planting which is available with containerized or balled and burlapped trees. See Figure 1 for details to plant a bare root tree.

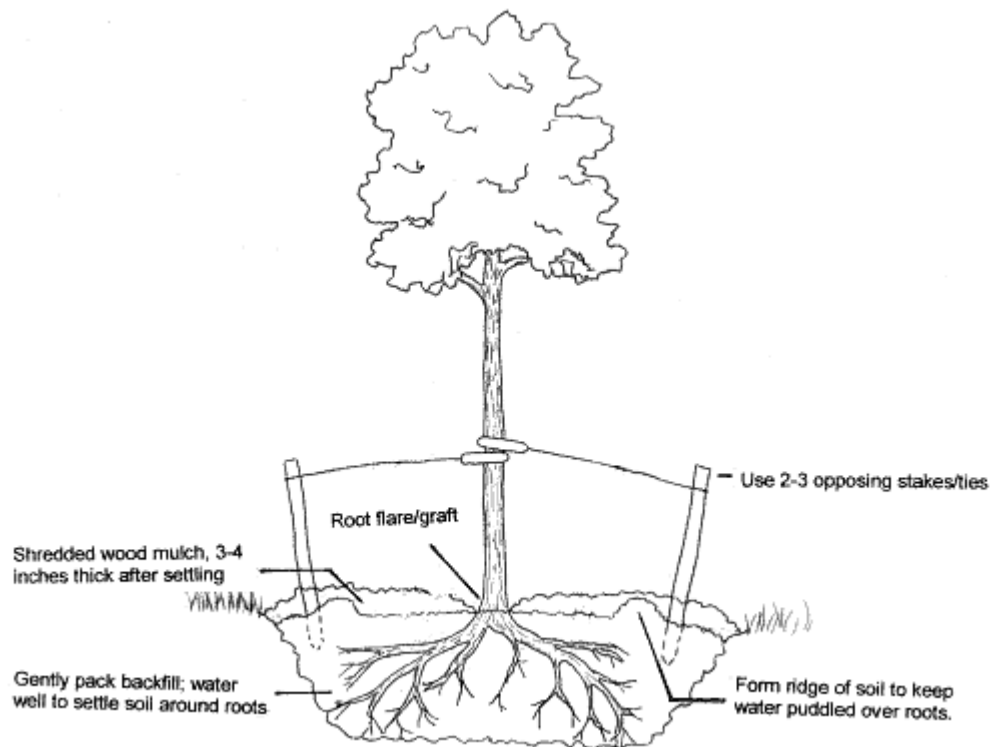


Figure 1. How to plant a bare root tree. Figure from the University of Minnesota Extension. See the city standard detail for planting trees for additional details.

Planting a Container-Grown Tree

Container-grown trees are sold in a variety of different sized pots. The pots may be plastic, paper maché, or wooden “bushel baskets.” In some cases, the tree had been growing in the container since it was a seedling; in others, it was planted in the container as a bare root tree. These trees are available throughout the growing season, and can be held in the containers for quite some time, allowing for more flexibility in planting. See Figure 2 for details to plant a container-grown tree.

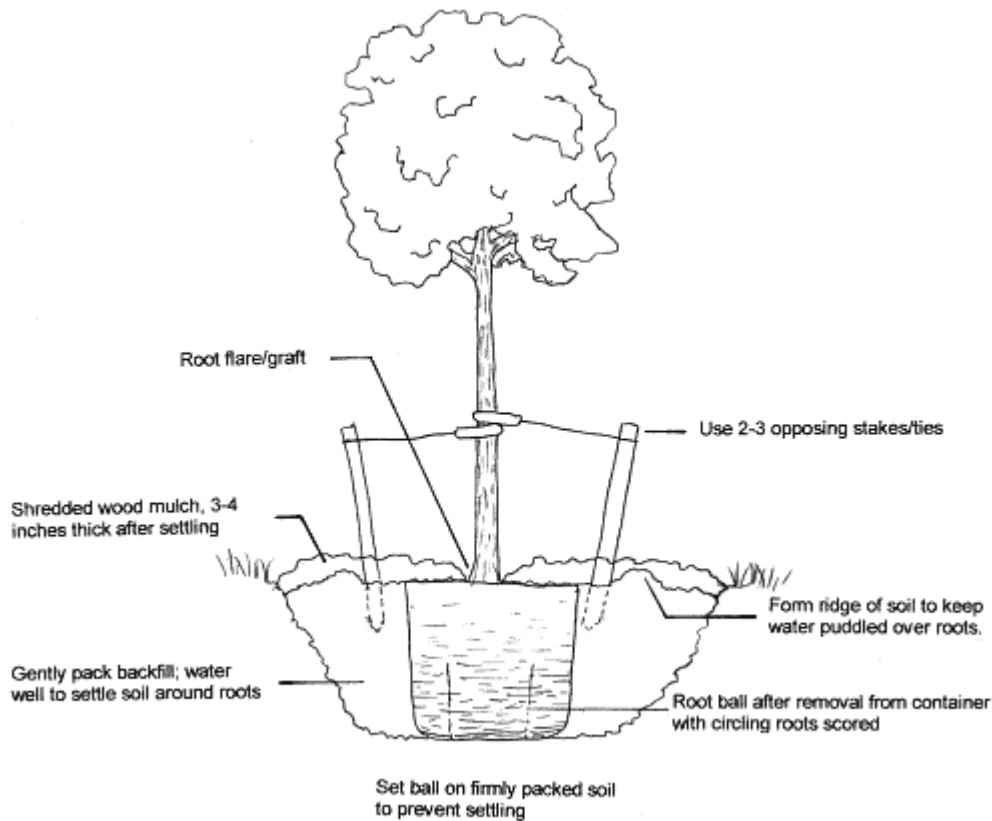


Figure 2. How to plant a container-grown tree. Note: Only use 2-3 opposing stakes/ties when needed. Figure from the University of Minnesota Extension. See city standard detail for planting trees for additional details.

Planting a Balled and Burlapped Tree

Balled and burlapped trees are trees that are dug with the soil around the roots (root ball) intact. That root ball is wrapped in burlap and enclosed in a wire basket which is tied around the trunk. Balled and burlapped trees cost more than bare root stock, but they are typically available throughout the growing season. Larger diameter trees are usually sold this way rather than as bare root or containerized. The root ball of a balled and burlapped trees can dry out very easily, so when choosing a tree, make sure that it is well mulched and does not look dry or otherwise stressed, be certain to keep the root ball moist until it is planted and, if possible, remove the burlap. See Figure 3 for details to plant a balled and burlapped tree.

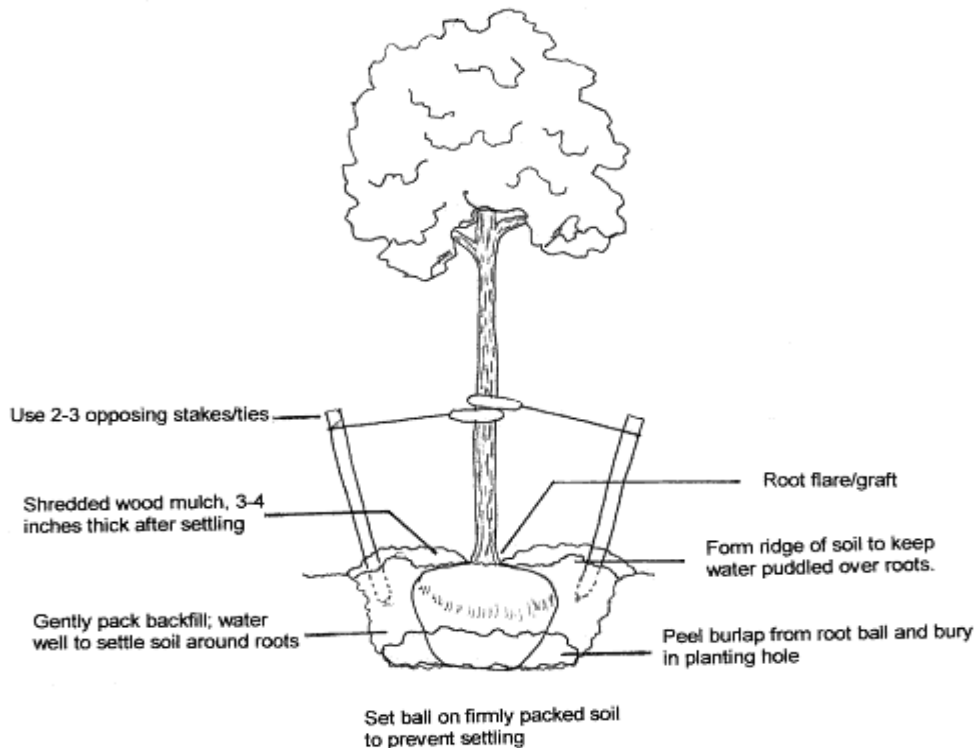


Figure 3. How to plant a B&B tree. Note: Only use 2-3 opposing stakes/ties when needed. Figure from the University of Minnesota Extension. See city standard detail for planting trees for additional details.

Location: All street trees shall be planted midway between the curb and sidewalk (or where the sidewalk would be if there is no sidewalk), unless in the opinion of the Public Works Department, there is sufficient reason to plant the trees off-center.

To allow for maintenance, minimize infrastructure damage and promote safety, trees shall be planted using the following guidelines. *The Public Works Department may make exceptions to these guidelines when circumstances warrant and public safety is not threatened.*

1. 50' from an approach corner
2. 35' from a non-approach corner
3. 20' from a street light
4. 10' from a driveway, utility pole, or fire hydrant
5. 10' from a Sanitary Sewer service, water main, or other underground utilities
6. 5' from a gas valve, water valve, or carriage walk
7. 3' from the curb

Easement Areas: Pursuant to Section 90.16 of the City Code, no trees, shrubs or bushes are allowed to be planted or located within a city easement area, right-of-way or sight triangle. In the event that the city grants permission to locate a tree, shrub or bush in its easement area or on its property, the following standards shall apply:

1. No tree shrub or bush shall be planted or allowed to be located in city-owned or managed property or within a city conservation easement area, sight triangle or right-of-way without first obtaining a permit from the city. The permit application in Appendix E is available at City Hall or on the city's website: www.ShakopeeMN.gov. The permit must be reviewed and approved by the City's Public Works Department.
2. Under no circumstances will the city issue a permit to plant or allow a tree, shrub or bush in any sidewalk or trail easement.
3. Under no circumstances will the city issue a permit to plant or allow a tree to be placed directly on top of a water, sewer or other utility service line. The city will not issue a permit to plant or allow any trees, shrubs, or bushes to be placed within two feet of the side and rear of any utility transformers, cabinets, or hydrants, or within eight feet of the front of any utility transformers, cabinets, or hydrants.
4. Under no circumstances will the city issue a permit to plant or allow a tree to be placed within a lot's front drainage and utility easements, street side easements of corner lots, or maintenance access easements. The city may permit trees to be placed within a lot's side and rear lot line easements if the easements do not contain any underground utilities and the tree does not obstruct drainage.

Sight Triangle: The city will not issue a permit to allow a tree, shrub or bush to be planted or located within a sight triangle, with the exception of low growing shrubs that are less than three feet high and trees that have branches that are able to be trimmed so that they are higher than nine feet from the ground.

Right-of-Way: The city will not allow trees to be planted in the city right-of-way without the approval of a Tree, Shrub and Bush Permit. Trees planted in the right-of-way without a permit will be removed.

Spacing: Future maintenance problems can be minimized by careful and thoughtful placement of trees. Spacing of trees is a function of local site conditions, the species or cultivar used, and their mature height, spread and form. A safe minimum spacing between trees is a distance equal to the width of the species at maturity. All Shakopee trees shall be planted a minimum 30 feet from another tree.

Recommended Street Trees: Appendix A contains the lists of tree species approved for planting in the city based upon their recommended planting sites. The list is subject to review to determine whether any species, cultivars or varieties should be added or removed from the list. The tree list is a recommendation but is subject to change based on availability of trees from suppliers.

Only small-growing trees shall be planted under overhead secondary or primary electrical distribution lines. Trees planted to the side of power lines shall be carefully selected for mature habit to minimize future conflicts.

Conditional Plantings: Conifers may be planted on city right-of-way provided the trunk is no closer than 14 feet to the back of the curb or 7 feet behind the existing public sidewalk. Also, it may not be closer than 35 feet from the non – approach corner of the intersection of two right-of-way lines and no closer than 20 feet to the edge of the nearest driveway.

Undesirable Street Trees: Unacceptable species or their varieties as listed in Appendix B shall not be planted on city property, except in special locations where, because of characteristics of adaptability or landscape effect, they can be used advantageously. Their lack of suitability is based upon objectionable growth habits, fruiting habits, form, susceptibility to serious diseases, propensity to incur storm damage, and other limitations. The limitations listed for each tree or species are the more serious problems encountered locally.

Maintenance of Newly Planted Trees

General: Newly planted trees, shrubs and other plants require special maintenance for one or two growing seasons following planting. All maintenance practices shall follow approved Forestry standards.

Watering: Watering bags should be utilized when available for newly planted trees that are planted by city employees. The recommended frequency of watering trees is one to two times per week in dry months for the first three years after planting. After three years, the need for watering is evaluated based on environmental conditions and monitoring.

Mulching: It is recommended that when planting a tree that mulch is applied around the base of the tree. Mulch is to be maintained until the tree is established which is typically 5 years. Mulch helps a tree retain moisture, control weeds, moderates soil temperature, and gives a nice appearance to the landscape. Most any organic material can be used as mulch, including

shredded wood or bark, wood chips, pine needles, cocoa beans hulls, straw, ground corn cobs, or any other available organic matter.

To be effective, mulches should be applied so that when settled, the mulch is 3-4 inches deep. However, mulch should be pulled away from the trunk or stem of the tree. Mulch left against the tree's bark can cause moisture buildup which can rot the bark and cause severe injury to the tree. The "volcano" of mulch around a tree's trunk should be avoided, and instead a "donut" of mulch should be applied. If using organic mulches, do not use a landscape fabric or plastic.

Inorganic materials often used as mulch, such as landscape rocks, may also be used. However, rocks tend to absorb heat during the day and release it at night, which can be stressful for plants. Also, a landscape plastic or fabric under the rocks will be needed to control weeds, which is not needed when using organic mulch.

Pruning: No pruning should occur at the time of planting except to remove dead or broken branches. Unnecessary pruning at this time may reduce the amount of stored energy the plant holds and may stress the tree.

The city is divided into multiple pruning zones to rotate through city-wide pruning. Young trees (10 years or less) are pruned once every three years, and mature trees (greater than 10 years) are pruned once every six years.

Fertilization: Adequate quantities of the essential nutrient elements should be available after new root growth starts. Provision of good drainage and adequate soil moisture are far more important following planting than fertilization. Apply fertilizer sparingly and only to correct a specific deficiency. Since excessive fertilization can "burn" roots and stimulate crown growth faster than the roots can supply water, it is best to wait until the third year after planting to begin applications.

Staking: Bare root trees are staked with a minimum of two stakes to help stabilize trees while they establish. Container and balled and burlapped trees are not staked unless monitoring identifies a need to help stabilize while the tree establishes. If it is necessary to stake a tree after planting use only broad, soft strapping and leave some play for the tree to sway in the wind. Do not use wire surrounded by a garden hose as this may cause serious damage to the trunk. All staking material should be removed within two years unless deemed necessary for continued stability. Please also note that not all trees require staking to stabilize the trees. Contact your local forester or arborist for advice.

Wrapping: Tree guards should be utilized when available for the first three years of establishment of newly planted trees when they are planted in areas that would be prone to damage from mowing, snow and ice, rodents, and sun scald.

Planting Guidelines

General: The following standards shall apply to trees and shrubs in city owned property such as right-of-way and park and open space. In addition, the standards shall apply to private property trees during a state of emergency declared by the Mayor or City Council.

Restrictions to Planting Trees: The following are general restrictions to planting trees within the City of Shakopee:

1. Have underground utilities located.
2. Do not plant trees within city owned property such as park and open space without prior written approval. These trees will become the property of the city.
3. Do not plant trees within city owned right-of-way without prior written approval. These trees will become the property of the city and may be removed as determined by the city.
4. Do not plant trees within drainage and utility easements without prior written approval. Future city improvement projects may require the removal of these trees.
5. Do not plant trees within Conservation Easements without prior written approval from the city.
6. Trees are to be planted a minimum of 5 feet from all property lines. The city recommends planting trees 10 feet from all property lines.

Reconstructed and Widened Streets: When trees are removed in preparation for reconstruction or widening of any established street, new trees will be planted provided there is adequate space in the right-of-way to support tree growth. The expense of this planting shall be borne by the city and incorporated into the project. The Department of Public Works shall determine the amount, location and species of these trees.

New Subdivisions: In the development of new subdivisions or commercial property, removal and planting of trees must meet the requirements of City Code Sections 151.112 and 151.113.

Unimproved Streets: Trees shall not be planted in the right-of-way of unimproved streets or where no curb and gutter exists without approval from the Department of Public Works.

Pruning Standards

General: All pruning shall follow the USDA Forest Service's *How to Prune Trees* manual (see references) for the purpose of crown cleaning, crown thinning, crown raising, and structure development. Pruning shall improve the appearance of the trees and maintain the crown shape and symmetry typical of the species at its given size and age. Permission from the city is required before any pruning is done on city owned and maintained trees.

Pruning Cuts: All final cuts shall be "collar cuts" made sufficiently close to the trunk or parent limb, without cutting into the branch collar or leaving a protruding stub, so that closure can readily begin under normal conditions. The face of the "collar cut" or wound area shall be circular in form. "Flush" cuts to the main stem behind the branch collar and that leave oval exposed wounds shall not be made. Cuts shall be clean and made such that all wound sides are even edged and do not leave "dog ear" ridges on one side or another.

All limbs removed shall be cut in such a manner so as to prevent any ripping or tearing of the wood or bark on the parent or remaining stem. Large limbs shall be cut using the three-cut pruning method as shown in Figure 4. Limbs shall be brought to the ground as to prevent any damage to property, publicly or privately owned.

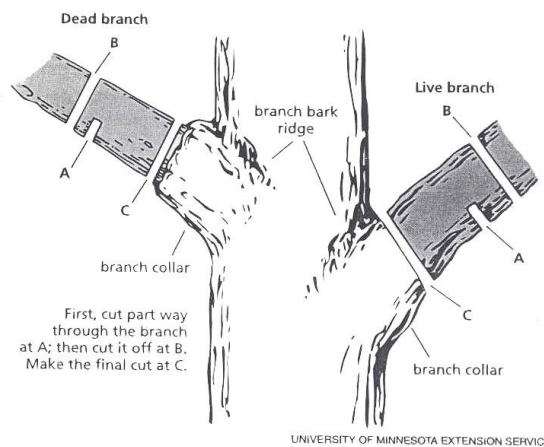


Figure 4 Proper Pruning Techniques – 3 Cut Method

Crown Cleaning: Crown cleaning should remove all dead, dying, diseased, crowded, weakly attached and low-vigor branches. Interior crowding and crossed or rubbing branches should be pruned where practical so as not to leave large holes in the general form of the tree. Trunk suckers and water sprouts, especially where they are present below the bottom 1/2 of the tree, should also be removed as part of crown cleaning. Suckers and sprouts that add to the shape of the tree above 14 feet may remain in mature trees that may not have an optimum crown or shape.

Crown Thinning: Crown thinning, primarily for hardwoods, is the selective removal of branches to increase light penetration and air movement throughout the crown of a tree. The intent is to maintain or develop a tree's structure and form. To avoid unnecessary stress and prevent excessive production of epicormic sprouts, no more than one-quarter of the living crown should be removed at a time. If it is necessary to remove more, it should be done over successive years.

Branches with strong U-shaped angles of attachment should be retained. Branches with narrow, V-shaped angles of attachment often form included bark and should be removed. Included bark forms when two branches grow at sharply acute angles to one another, producing a wedge of inward-rolled bark between them. Included bark prevents strong attachment of branches, often causing a crack at the point below where the branches meet. Co-dominant stems that are approximately the same size and arise from the same position often form included bark. Removing some of the lateral branches from a co-dominant stem can reduce its growth enough to allow the other stem to become dominant.

Lateral branches should be no more than one-half to three-quarters of the diameter of the stem at the point of attachment. Avoid producing "lion's tails," tufts of branches and foliage at the ends of branches, caused by removing all inner lateral branches and foliage. Lion's tails can result in sun-scalding, abundant epicormic sprouts, and weak branch structure and breakage. Branches that rub or cross another branch should be removed.

Conifers that have branches in whorls and pyramidal crowns rarely need crown thinning except to restore a dominant leader. Occasionally, the leader of a tree may be damaged and multiple branches may become co-dominant. Select the strongest leader and remove competing branches to prevent the development of co-dominant stems.

Crown Raising: Crown raising is the practice of removing branches from the bottom of the crown of a tree to provide clearance for pedestrians, vehicles, buildings, lines of site, or to develop a clear stem for timber production. Also, removing lower branches on white pines can prevent blister rust. For street trees the minimum clearance is often specified by municipal ordinance. After pruning, the ratio of the living crown to total tree height should be at least two-thirds (e.g., a 12 m tree should have living branches on at least the upper 8 m).

On young trees "temporary" branches may be retained along the stem to encourage taper and protect trees from vandalism and sun scald. Less vigorous shoots should be selected as temporary branches and should be about 10 to 15 cm apart along the stem. They should be pruned annually to slow their growth and should be removed eventually.

Crown Reduction: Crown reduction pruning is most often used when a tree has grown too large for its permitted space. This method, sometimes called drop crotch pruning, is preferred to topping because it results in a more natural appearance, increases the time before pruning is needed again, and minimizes stress (see drop crotch cuts in the next section).

Crown reduction pruning, a method of last resort, often results in large pruning wounds to stems that may lead to decay. This method should never be used on a tree with a pyramidal growth form. A better long term solution is to remove the tree and replace it with a tree that will not grow beyond the available space.

Clearance Pruning: Clearance of houses and buildings should be such that branches are a minimum of 15 feet from rooftops. Trees and other vegetation shall be pruned to maintain a clear line of sight when approaching all traffic control devices and intersections.

Tools: Proper tools such as hand pruners, pole saws, handsaws, and chain saws shall be used for each cut. The cutting edge of each tool shall be positioned to obtain a proper pruning cut so it will not cut, rip, or harm adjacent bark areas. At no time shall any person working in trees for pruning purposes, wear spurs or any other footwear, which, in the opinion of the Public Works Director or designate, may injure the tree being pruned.

Site Appearance and Clean Up: Pruned limbs and branches temporarily placed in the right-of-way area shall be placed in such a manner as to eliminate any obstruction to motor vehicles and pedestrians. Site cleanup shall include removal of small twigs, chips, leaves and limbs from the street, curb, right-of-way, sidewalk, private lawns and driveways with the appropriate tools for the job. The site shall be returned to the same state it existed in prior to the pruning work. Under no circumstances shall any materials be allowed to lie in the right-of-way overnight.

Topping: It is an unacceptable practice to top any public tree in the city and it is not recommended for any private tree. Topping is the indiscriminate cutting back of tree branches to stubs or lateral branches that are not large enough to assume the terminal role of growth. Property owners often feel that their trees have become too large for their property and feel the need to reduce the tree's height. Topping, however, is not a viable method of height reduction and will make a tree more hazardous in the long term by encouraging excessive growth and extensive decay.

Topping trees for utility clearance purposes should not be the standard operating procedure. Pruning trees for line clearance is necessary and understandable. However, proper pruning cuts need to be made and only those limbs necessary for proper clearance should be

pruned. Trees located under utility lines that require excessive pruning or pruning needs beyond what is acceptable for proper pruning, should be considered for outright removal and replaced with a suitable tree species for under utility lines. Topping trees is not an acceptable method of pruning under any circumstances and should not be done to any tree or part of within city right-of-way, park, or open space.

Trees damaged by storms or other causes, or trees under utility lines or other obstructions where other pruning practices are not practical may be exempt from City Code Section 151.113 at the determination of the Director of Public Works, or SPUC Utilities Manager or delegate.

Pruning of Oaks: In an effort to minimize the spread of Oak Wilt (*Ceratocystis fagacearum*), Shakopee City Code Section 151.113 states that the pruning of Oak trees or collateral damage to Oak trees from adjacent tree removal shall be avoided from April 1st thru July 31st which is the most susceptible period of infection, except by written permission of city personnel. Trees damaged by storms or other causes during this time may be treated with a nontoxic wound dressing. Final pruning cuts should be made in dormant season to remove stub with wound dressing.

Treating Wounds: Tree sap, gums, and resins are the natural means by which trees combat invasion by pathogens. Although unsightly, sap flow from pruning wounds is not generally harmful; however, excessive "bleeding" can weaken trees.

When oaks or elms are wounded during a critical time of year (usually spring for oaks, or throughout the growing season for elms) -- either from storms, other unforeseen mechanical wounds, or from necessary branch removals -- some type of wound dressing should be applied to the wound. Do this immediately after the wound is created. In most other instances, wound dressings are unnecessary, and may even be detrimental. Wound dressings will not stop decay or cure infectious diseases. They may actually interfere with the protective benefits of tree gums and resins, and prevent wound surfaces from closing as quickly as they might under natural conditions. The only benefit of wound dressings is to prevent introduction of pathogens in the specific cases of Dutch elm disease and oak wilt.

Tree Removal Guidelines

General: There are many factors that contribute to transforming a tree from an asset to a liability. They include: disease, infestation, decay, and mechanical damage, which can cause a tree to be structurally unsound, and therefore unsafe. It is the guideline of the city to base tree removals on safety related criteria and liability. As specified in the City of Shakopee ordinances, the only persons who may authorize the planting or removal of a city tree is the Public Works Director or designee.

Any person who desires to remove any Tree on any parcel of land may be required to submit a Tree Preservation Plan to the city and must demonstrate that there are no feasible or prudent alternatives to removing any tree.

Control Areas: In accordance with state law, the City of Shakopee has designated the populated areas of the city as the areas where the diseased tree and shade tree pest program will be strictly enforced. The control area consists of the developed areas of the city including any scattered subdivisions.

In areas outside of the control areas, the diseased tree and shade tree pest program will be strictly enforced by the city only in those areas within ¼ mile of non-farm homesteads.

Public Trees: The city will remove trees located on public property which contain a shade tree disease or shade tree pest which cause the trees to die. The city will remove these trees as quickly as possible for trees that create hazards located on street boulevards and in city park areas. For trees that have died or fallen that do not create hazards in city open space areas will not be removed. Anyone finding a tree on public property which appears to be diseased or infested but which has not been marked for removal should report the tree to the city.

Private Trees: See City Code Section 130.15 for the removal of trees with a shade tree disease or shade tree pest from private property. See Appendix D for the Shade Tree Disease or Pest Inspection Form.

Reforestation: The city will, to the extent possible under the current budget and/or project plans, attempt to replace boulevard and park trees removed because of shade tree diseases or shade tree pests by planting new trees.

Stump Removal – Public Trees: The city or contractor hired by the city will remove stumps of public trees along right-of-way, parks, or other public open spaces. The city will not remove or grind out stumps for private trees, but rather this is the property owner's responsibility.

Shakopee Tree and Shrub Maintenance Standards

General: The following standards shall apply to trees and shrubs in city owned property such as right-of-way and park and open space. In addition, the standards shall apply to private property trees during a state of emergency declared by the Mayor or City Council.

Boulevard Trees and Public Lands: The City of Shakopee will maintain all boulevard trees and public trees so as to not cause a hazard by trimming branches, pruning, etc. Trees that create hazards are those that are blocking street signs, traffic control devices or street lighting or have low hanging branches that cause hazards to vehicles or trucks such as garbage trucks, snowplows, fire trucks, etc. The city will maintain and trim branches so that there is a minimum of a nine foot clearance over sidewalks and a fifteen foot clearance over streets and alleys.

Duties of Private Property Owners: Any trees and shrubs that are located on private property, but overhang public rights-of-way such as alleys, sidewalks, trails, or streets, shall be trimmed to the same standards above by the city or by the property owner as required by the city per City Code Section 90.05. In no case will the city trim private trees that are not overhanging onto right-of-way, park or other public property.

Storm Damage: Any public trees that are damaged by storms will be maintained by the city, including picking up any tree branches that were blown down. The city will, to the extent possible under the current budget, attempt to replace public trees removed because of storm damage.

Any private trees damaged or that have branches blown down due to a storm shall be maintained or disposed of by the property owner, unless the City Council or Mayor declares a state of emergency. In that case, the city will provide assistance in picking up and disposing of storm damaged trees and branches for a specific length of time as determined by the Public Works Director. In these instances, the following requirements should be adhered to:

- a. The property owner should notify the city at least three days in advance of trees/branches needing pick up.
- b. Large tree pieces must be cut to 6 feet in length or less.
- c. Branches must be piled as follows:
 1. All stems at the same end.
 2. Stems pointing in the same direction as the flow of traffic.
 3. Laid on the ground parallel to the curb.
- d. Trees and branches must be placed next to the curb, or edge of the street (not in the street and if possible, not on the sidewalk).
- e. City crews will not enter private property to pick up trees or branches.

Unauthorized Removals: See City Code Section 151.113 for information on unauthorized removals.

Miscellaneous Maintenance Practices

Stump Removal: The stumps of all removed trees shall be ground to a depth of at least eight inches (8”) below the surrounding ground level. The excess stump chips shall be removed, the hole filled with clean topsoil, and the site graded and seeded. Watering of newly established grass will then be the responsibility of the adjacent property owner. All costs associated with stump removal shall be borne by whoever bears the cost of tree removal.

Fertilization: The city does not, in general, fertilize boulevard trees. A resident who wishes to fertilize the boulevard tree(s) adjacent to their property shall request written permission from the city. The Department of Public Works has the authority to approve or deny a fertilization request. All fertilization shall adhere to the American National Standards Institute’s *Standard Practices for Tree Care Operations – Fertilization (ANSI A 300 (Part 2))*.

Cabling and Bracing: Tree support systems are used to provide supplemental support to leaders, individual branches, and /or entire trees by limiting their movement. When a tree has a structural defect or condition that poses a high risk of failure, a supplemental support system can often reduce the risk. However, not all potential hazards can be mitigated by their installation and cabling and bracing will be prohibited in boulevards. It is essential that each tree be carefully examined for risk of failure by a qualified arborist to ensure that the system

will achieve its objective of providing added support, without increasing the risk of tree failure.

As a general rule, cables should be located above the crotch at a point approximately two-thirds (2/3) of the distance between the crotch and tops of the branch ends. Rust-resistant cables, thimbles and lags should be used and thimbles must be used in the eye splice in each end of the cable. Under no circumstances shall cable be wrapped around a branch. All cabling and bracing practices shall follow the American National Standards Institute's *Standard Practices for Tree Care Operations – Support Systems, Cabling, Bracing, and Guying* (ANSI A300 (Part 3)-2000) and the International Society of Arboriculture's companion publication *Best Management Practices – Tree Support Systems: Cabling, Bracing, and Guying* (2001).

Chemical Treatment: The city, in general, limits the use of pesticides, fungicides and herbicides on its public trees. Applications may be done for the control of specific diseases or insects with the proper timing and materials to obtain the desired level of control. Suitable precautions shall be taken to protect and warn the public chemical treatment is being done. All application practices shall conform to the appropriate State and Federal regulations.

A resident who wishes to apply chemical treatments to the boulevard tree(s) adjacent to their property shall request written permission from the city. The Department Public Works has the authority to approve or deny a chemical treatment application request. Residents applying for permission to apply chemical treatments must submit the following information: type of chemical, timing (weeks(s) to be applied), quantity to be used, application method, reason for chemical use and proof of a valid Minnesota Department of Agriculture Commercial Applicator License Number.

Gopher State One and Local Utilities

Upon issuance of a permit, a person planting an item shall have underground utilities located prior to digging or planting by calling Gopher State One at 651-454-0002 or online at www.gopherstateonecall.org. Proper marking of excavation sites prior to calling ensures that no resident, employee or utility are at risk from damage to unmarked utilities. Work within 18" of any underground utility requires hand digging to expose the facility and prevent unnecessary damage to utilities. Private utilities (i.e. irrigation, pet fences, private lighting etc.) located within the public right-of-way shall be marked by the adjacent property owner at their expense. The city cannot assume responsibility for any damage as a result of unmarked private utilities in the right-of-way.

References

American National Standards Institute. *American National Standards for Forestry Operations-Pruning, Repairing, Maintaining and Removing Trees, and Cutting Brush-Safety Requirements* (Z133.1-2000). International Society of Arboriculture, Champaign, IL.

American National Standards Institute. *American Standard for Nursery Stock*, (Z60.1-2014). American Nursery and Landscape Association, Washington D.C..

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Pruning)* (A300, Part 1-2001). National Arborist Association, Manchester, NH.

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Fertilization)* (A300, Part 2-1998). National Arborist Association, Manchester, NH.

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Support Systems a. Cabling, Bracing, and Guying)* (A300, Part 3-2000). National Arborist Association, Manchester, NH.

City of New London, *Forestry Specifications Manual*. New London Tree Board, 2005. New London, WI. 28 pp.

Council of Tree and Landscape appraisers, 2000. *Guide for Plant Appraisal*. International Society of Arboriculture, Champaign, IL. 143 pp.

Smiley, E.T. and S. Lilly. 2001. *Best Management Practices Tree Support Systems: Cabling, Bracing and Guying*. International Society of Arboriculture, Champaign, IL. 30 pp.

Bedker, Peter J., O'Brien, Joseph G., and Mielke, Manfred M. *How to Prune Trees*. USDA Forest Service. Northeastern Area State and Private Forestry. NA-FR-01-95. 12 pp.

USDA Forest Service Northeastern Area. *Urban Tree Risk Management: A community Guide to Program Design and Implementation* (NA-TP-03-03). 1992 Folwell Avenue, St Paul, MN.

APPENDIX A – RECOMMENDED TREE SPECIES TO PLANT

The following are recommended tree species to be planted along boulevards and non-boulevards:

Buckeye, Autumn Splendor	(<i>Aesculus x arnoldiana</i> 'autumn splendor')
Elm, Discovery	(<i>Ulmus davidiana</i> var. <i>japonica</i>)
Elm, Patriot	(<i>Ulmus</i> x 'Patriot')
Ginkgo (Male Only)	(<i>Ginkgo biloba</i>)
Hackberry	(<i>Celtis occidentalis</i>)
Honeylocust, Thornless	(<i>Gleditsia triacanthos</i> var. <i>intermis</i>)
Kentucky Coffeetree	(<i>Gymnocladus dioicus</i>)
Linden, American	(<i>Tilia americana</i> var. <i>Redmond</i>)
Northern Catalpa	(<i>Catalpa speciosa</i>)
Oak, Bur	(<i>Quercus macrocarpa</i>)
Oak, Northern Red	(<i>Quercus rubra</i>)
Oak, White	(<i>Quercus alba</i>)

The following are recommended tree species to be planted only in non-boulevard areas:

American Hornbeam	(<i>Carpinus caroliniana</i>)
American Mountain Ash	(<i>Sorbus americana</i>)
Birch, River	(<i>Betula nigra</i>)
Black Cherry	(<i>Prunus serotina</i>)
Black Walnut	(<i>Juglans nigra</i>)
Butternut Tree	(<i>Juglans cinerea</i>)
Hickory, Bitternut	(<i>Carya cordiformis</i>)
Hickory, Shagbark	(<i>Carya ovata</i>)
Horse Chestnut	(<i>Aesculus hippocastanum</i>)
Maple, Sugar	(<i>Acer saccharum</i>)
Maple, Black	(<i>Acer nigrum</i>)
Oak, Northern Pin	(<i>Quercus ellipsoidalis</i>)

The following are recommended tree species to be planted as visual barriers and non-boulevard areas:

Cedar, Eastern Red	(<i>Juniperus virginiana</i>)
Cedar, White	(<i>Thuja occidentalis</i>)
Fir, Balsam	(<i>Abies balsamea</i>)
Fir, Douglas	(<i>Pseudotsuga menziesii</i>)
Fir, Fraser	(<i>Abies fraseri</i>)
Fir, White	(<i>Abies concolor</i>)
Larch, American	(<i>Larix laricina</i>)
Larch, European	(<i>Larix decidua</i>)
Larch, Japanese	(<i>Larix kaempferi</i>)
Larch, Siberian	(<i>Larix sibirica</i>)
Pine, Eastern White	(<i>Pinus strobes</i>)
Pine, Jack	(<i>Pinus banksiana</i>)

Pine, Ponderosa	<i>(Pinus ponderosa)</i>
Pine, Red	<i>(Pinus resinosa)</i>
Pine, Scots	<i>(Pinus sylvestris)</i>
Spruce, Black Hills	<i>(Picea glauca var. densata)</i>
Spruce, White	<i>(Picea glauca)</i>

The tree lists above are recommendations but are subject to change based on availability of trees from suppliers. Additional species and cultivars may be approved by the Public Works Director or their designee. Please contact the city regarding approved trees to be planted in conservation easements.

**CALL GOPHER STATE ONE BEFORE YOU DIG
TO HAVE UNDERGROUND UTILITIES LOCATED**

651-454-0002

Online at

www.gopherstateonecall.org

APPENDIX B - UNDESIRABLE SPECIES

The list below is subject to change and is based on the Minnesota Noxious Weed List managed by the Minnesota Department of Agriculture. Additional species may be determined as undesirable by the Public Works Director or their designee.

<u>Scientific Name</u>	<u>Common Name</u>	<u>Problem(s) or Limitation(s)</u>
<i>Acer negundo</i>	Boxelder	Weak wooded, female attracts the Boxelder bug.
<i>Acer saccharinum</i>	Silver Maple	Weak wooded, susceptible to storm damage, aggressive root system
<i>Acer x freemanii</i> 'Jeffersred'	Freeman Maple	Weak wooded, commonly planted
<i>Acer platanoides</i>	Norway Maple	Invasive
<i>Acer ginnala</i>	Amur Maple	Invasive
<i>Acer tataricum</i>	Tatarian Maple	Invasive
<i>Alianthus altissima</i>	Tree of Heaven	Weak wooded, invasive
<i>Alnus glutinosa</i>	European Alder	Invasive
<i>Eleagnus angustifolia</i>	Russian olive	Invasive
<i>Fraxinus</i>	Ash (All Species)	Disease prone (EAB)
<i>Populus alba</i>	White Poplar	Roots block sewers, weak wooded, cotton type seeds
<i>Populus deltoides</i>	Cottonwood	Weak wooded, susceptible to storm damage, cotton type seeds
<i>Populus nigra italica</i>	Lombardy Poplar	weak wooded
<i>Rhamnus cathartica</i>	Buckthorn	Invasive
<i>Robina</i> spp.	Black Locust	Shallow rooted, borers
<i>Sorbus aucuparia</i>	Rowan Mountain Ash	Invasive
<i>Ulmus pumila</i>	Siberian Elm	Weak wooded
<i>Ulmus Americana</i>	American Elm	Disease prone (Dutch Elm)

APPENDIX C- RISK EVALUATION GUIDELINES

(Companion guide to the USDA Community Tree Risk Evaluation Form)

Risk evaluation guidelines are from the reference Urban Tree Risk Management: A community Guide to Program Design and Implementation.

PROBABILITY OF FAILURE: 1-4 points

1. Low: some minor defects present:

- Minor branch/ crown dieback
- Minor defects or wounds

2. Moderate: several moderate defects present

- Stem decay or cavity within safe shell limits: shell thickness > 1 inch of sound wood for each 6 inches of stem diameter
- Crack(s) without extensive decay
- Defect(s) affecting 30-40% of the tree's circumference
- Crown damage/breakage: hardwoods up to 50%; pines up to 30%
- Weak branch union: major branch or co-dominant stem has included bark
- Stem girdling roots: <40% tree's circumference with compressed wood
- Root damage: < 40% of roots damaged within the CRR

3. High: multiple or significant defects present:

- Stem decay or cavity at or exceeding shell safety limits: shell thickness < 1 inch of sound wood for each 6 inches of stem diameter
- Cracks, particularly those in contact with the soil or associated with other defects
- Defect(s) affecting > 40% of the tree's circumference
- Crown damage/breakage: hardwoods >50%; pines >30%
- Weak branch union with crack or decay
- Girdling roots with > 40% of tree's circumference with compressed wood
- Root damage: > 40% of roots damaged within the CRR.
- Leaning tree with recent root breakage or soil mounding, crack or extensive decay
- Dead tree: standing dead without other significant defects

4. Extremely High: multiple and significant defects present; visual obstruction of traffic signs/lights or intersections:

- Stem decay or cavity exceeding shell safety limits and severe crack
- Cracks: when a stem or branch is split in half
- Defect(s) affecting > 40% of the tree's circumference or CRR and extensive decay or crack(s)
- Weak branch union with crack and decay
- Leaning tree with recent root breakage or soil mounding and a crack or extensive decay - Dead branches: broken (hangers) or with a crack
- Dead trees: standing dead with other defects such as cracks, hangers, extensive decay, or major root damage
- Visual obstruction of traffic signs/lights or intersections
- Physical obstruction of pedestrian or vehicular traffic

SIZE OF DEFECTIVE PART (S): 1-3 points

1. Parts less than 4 inches in diameter
2. Parts from 4 to 20 inches in diameter
3. Parts **greater than 20** inches in diameter

PROBABILITY OF TARGET IMPACT: 1-3 points

1. Occasional Use:

- Low use roads and park trails; parking lots adjacent to low use areas; natural areas such as woods or riparian zones; transition areas with limited public use; industrial areas.

2. Intermediate Use:

- Moderate to low use school playgrounds, parks, and picnic areas; parking lots adjacent to moderate use areas; secondary roads (neighborhoods) and park trails within moderate to high use areas; and dispersed campgrounds.

3. Frequent Use:

- Emergency access routes, medical and emergency facilities and shelters, and handicap access areas; high use school playgrounds, parks, and picnic areas; bus stops; visitor centers, shelters, and park administrative buildings and residences; main thoroughfares and congested intersections in high use areas; parking lots adjacent to high use areas; interpretive signs, kiosks; scenic vistas; and campsites (particularly drive-in).

OTHER RISK FACTORS: 0-2 points

- This category can be used if professional judgment suggests the need to increase the risk rating.
- It is especially helpful to use when tree species growth characteristics become a factor in risk rating. For example, some tree species have growth patterns that make them more vulnerable to certain defects such as weak branch unions (silver maple) and branching shedding (beech).
- It can also be used if the tree is likely to fail before the next scheduled risk inspection.

Table 1. Defect Codes

<u>Code</u>	<u>Defect</u>
D	Decay
CR	CRack
Root	Root Problems
RSG	Stem Girdling
RS	Severed
RPD	Planting Depth (too deep)
RGC	Grade Change
RSB	Sidewalk Buckling
WBU	Weak Branch Union
CA	CAnker
PTA	Poor Tree Architecture
PTA:LT	Leaning Tree
PTA:TT	Topped Tree
EE	Excessive Epicormics
DEAD	DEAD tree, tops or branches
VO	Visible Obstruction
PO	Physical Obstruction

Table 2. Corrective Action(s) Codes

Prune	
PD	Deadwood
PW	Weakwood (defective part(s))
PC	for Clearance
PT	to Thin crown or reduce crown weight
PR	to Reduce crown height
Target	
TM	Move
TEV	Exclude Visitors from Target Area
CB	Cable/Bracing
CWT	Convert to Wildlife Tree
RT	Remove Tree
Monitor	Monitor regularly
NA	No Action Required

Location: _____ Date: _____ Inspector(s): _____

[illegible]

* This is an *example* form adapted from various sources by the US Forest Service, Northeastern Area Hazard Tree Training Team. The US Forest Service assumes no responsibility for conclusions derived from the use of this form. Managers should construct their own forms, based on need and experience.

APPENDIX D - Shade Tree Disease or Pest Inspection Form



**CITY OF SHAKOPEE
SHADE TREE DISEASE/SHADE TREE PEST
TREE INSPECTION FORM**

DATE: _____ TREE INSPECTOR: _____

TREE TAG NUMBER
(PID#): _____

PROPERTY
ADDRESS: _____

The City Tree Inspector inspected _____ trees within your property. Based on this inspection the following has been determined:

- ☐ One or more trees within your property have been diagnosed as diseased, dying or containing a shade tree pest and are required to be removed within _____ days of this notice according to Minnesota Department of Agriculture regulations and Section 130.15 of the City Code.

PLEASE FILL OUT AND RETURN THE ATTACHED POSTCARD WITHIN FIVE DAYS INDICATING HOW YOU WISH TO HANDLE THE REMOVAL OF YOUR TREE CONTAINING A SHADE TREE DISEASE/SHADE TREE PEST.

REMOVAL OF THE MARKED TREES WITHIN YOUR PROPERTY WILL COST
_____.

PLEASE SEE THE ATTACHMENTS FOR PAYMENT OPTIONS AND ADDITIONAL INFORMATION.

- ☐ Quantities of _____ wood were found on your property. This situation is capable of harboring the beetles or insects that can infect other trees. This wood must be destroyed in a heating appliance, debarked or hauled for disposal 20 days following the date of this notification.

- ☐ We have marked your boulevard tree for removal. The City of Shakopee will do the removal work at no cost to you.

- ☐ Other:

If you have any questions please call the City of Shakopee Public Works Department at (952) 233-9550.

APPENDIX E - Tree, Shrub and Bush Planting Permit Application



CITY OF SHAKOPEE
485 GORMAN STREET, SHAKOPEE, MN 55379
Phone (952) 233-9300 Fax (952) 233-3801
www.ShakopeeMN.gov

Tree, Shrub and Bush Permit Application

A permit is required to plant or place trees, shrubs or bushes in a city easement area or sight triangle or on city-owned or managed property

Site Address: _____

Applicant Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Day Phone: (____) _____ Cell Phone: (____) _____

Proposed Planting Location (Check Box):

- | | |
|----------------------------|-------------------------------|
| < Right-of-way (Boulevard) | < Conservation Easement |
| < Park and Open Space | < Drainage & Utility Easement |

Type of Species Planting (Check Box):

<u>Species</u>	<u>Quantity</u>	<u>Size</u>	<u>(Scientific Name)</u>
< American Hornbeam			(<i>Carpinus caroliniana</i>)
< American Mountain Ash			(<i>Sorbus americana</i>)
< Black Cherry			(<i>Prunus serotina</i>)
< Black walnut	_____	_____	(<i>Juglans nigra</i>)
< Birch, River	_____	_____	(<i>Betula nigra</i>)
< Buckeye, Autumn Splendor			(<i>Aesculus x ardoldiana 'Autumn Splendor'</i>)
< Butternut Tree			(<i>Juglans cinerea</i>)
< Cedar, Eastern Red	_____	_____	(<i>Juniperus virginiana</i>)
< Cedar, White			(<i>Thuja occidentalis</i>)
< Elm, Discovery	_____	_____	(<i>Ulmus davidiana var. japonica</i>)
< Elm, Patriot			(<i>Ulmus x 'Patriot'</i>)
< Fir, Balsam			(<i>Abies balsamea</i>)
< Fir, Douglas			(<i>Pseudotsuga menziesii</i>)
< Fir, Fraser			(<i>Abies fraseri</i>)
< Fir, White			(<i>Abies concolor</i>)
< Ginkgo (male only)			(<i>Ginkgo biloba</i>)
< Hackberry	_____	_____	(<i>Celtis occidentalis</i>)
< Hickory, Bitternut	_____	_____	(<i>Carya cordiformis</i>)
< Hickory, Shagbark	_____	_____	(<i>Carya ovata</i>)
< Honeylocust, Thornless	_____	_____	(<i>Gleditsia triacanthos var. intermis</i>)
< Horse chestnut			(<i>Aesculus hippocastanum</i>)
< Kentucky Coffeetree			(<i>Gymnocladus dioica</i>)
< Larch, American			(<i>Larix laricina</i>)

- | | | | |
|-----------------------------------|-------|-------|--|
| < Larch, European | | | (<i>Larix decidua</i>) |
| < Larch, Japanese | | | (<i>Larix kaempferi</i>) |
| < Larch, Siberian | | | (<i>Larix sibirica</i>) |
| < Linden, American | _____ | _____ | (<i>Tilia americana</i> var. <i>Redmond</i>) |
| < Maple, Black | | | (<i>Acer nigrum</i>) |
| < Maple, Sugar | | | (<i>Acer saccharum</i>) |
| < Northern Catalpa | | | (<i>Catalpa speciosa</i>) |
| < | | | |
| < | | | |
| < Oak, Bur | _____ | _____ | (<i>Quercus macrocarpa</i>) |
| < Oak, Northern Pin | _____ | _____ | (<i>Quercus ellipsoidalis</i>) |
| < Oak, Red | _____ | _____ | (<i>Quercus rubra</i>) |
| < Oake, White | | | (<i>Quercus alba</i>) |
| < Pine, Eastern White | _____ | _____ | (<i>Pinus strobes</i>) |
| < Pine, Jack | | | (<i>Pinus banksiana</i>) |
| < Pine, Ponderosa | | | (<i>Pinus ponderosa</i>) |
| < Pine, Red | | | (<i>Pinus resinosa</i>) |
| < Pine, Scots | | | (<i>Pinus sylvestris</i>) |
| < Spruce, Black Hills | _____ | _____ | (<i>Picea glauca</i> var. <i>densata</i>) |
| < Spruce, White | _____ | _____ | (<i>Picea glauca</i>) |
| < | | | |
| < Other: Name and Quantity: _____ | | | |

PLEASE FILL OUT BACKSIDE OF APPLICATION

ACKNOWLEDGEMENT OF OWNER

I hereby acknowledge the following:

- a) I have reviewed and understand the requirements of the Shakopee Tree, Shrub and Bush Planting and Placement Policy and Standards, the Shakopee Tree and Shrub Maintenance Standards, and the Shakopee Diseased Tree Removal Guideline.
- b) I agree to install my permitted tree, shrub or bush in the approved location in accordance with these standards and policies.
- c) I agree to indemnify, defend and hold the City of Shakopee harmless with respect to any injury or property damage caused by my work within the easement area or on city property in connection with this permit.
- d) Pursuant to Section 90.16 of the City Code I understand that city staff may require that these items placed within an easement area be removed at my expense at any time, even these items that have been previously approved by the city and a permit has been issued. If I do not remove these items upon the request of the city or if an emergency situation exists, I understand that the city may remove these items for me and may charge me for any removal expenses that are incurred.
- e) I also understand that if the items are required to be removed, the city is not required to compensate me for the costs of the items. The city is also not required to replace any of the items.

Signature of Applicant

Date

RESIDENTS MUST CONTACT GOPHER ONE STATE PRIOR TO DIGGING OR PLANTING TO HAVE UNDERGROUND UTILITIES LOCATED

651-454-0002 or online at www.gopherstateonecall.org

Office Use Only:

Public Works: Approve/Deny By: _____ Date: _____

Natural Resources: Approve/Deny By: _____ Date: _____

SPUC: Approve/Deny By: _____ Date: _____

(SPUC Approval Necessary as Determined by Public Works or Natural Resources)

Installation Inspection By: _____ Date: _____

GPS Data Collected (Circle): (Yes) (No)

GPS Coordinates Obtained (Circle): (Yes) (No)

Latitude: _____ Longitude: _____

City of Shakopee

Forestry Specifications Manual



SHAKOPEE

Adopted by:

City Council, Regular Session, December 21, 2021

Reviewed August 11, 2026 by Bill Egan

City Council, Regular Session, August 18, 2026

Introduction

Authority: Pursuant to authority granted under Shakopee City Code Section 151.112, Section 151.113, Section 130.15, Section 90.05 and Section 90.16, the following serves as the Forestry Specifications and Standards of Practice for the City of Shakopee, Minnesota, hereinafter referred to as the **Forestry Specifications Manual**.

Guideline: The guideline of the City of Shakopee's Tree Management Regulations is to regulate the planting, transplanting, maintenance, removal and protection of public trees and shrubs in the city in order to alleviate hazardous conditions which may result in injury to persons using the streets, sidewalks or other public property within the city. It is also a guideline to promote and enhance the beauty and general welfare of the city by protecting trees and shrubs from undesirable treatment, maintenance practice, planting and removal.

Function: The general responsibility of the Public Works Department is to maintain trees and shrubs located on all public properties, including, but not limited to, boulevards, right-of-way, medians, alleys, parks, and other public facilities and spaces. This involves all phases of forestry work from planting through removal. These specifications are to serve as a standard for the planting and maintenance of all public trees by city employees and city contractors. However, contractors or private individuals may reference these specifications to perform forestry work. In abiding by and enforcing these specifications, the Public Works Department makes reasonable efforts towards the desired goal of maintaining a safe and aesthetically pleasing urban forest allowing it to provide the maximum benefit to the community. The Public Works Department must approve exceptions to these specifications. The Forestry Specifications Manual shall be adhered to at all times, but may be amended at any time that experience, new research, or laws indicate that improved methods or circumstances make it advisable.

Table of Contents

Introduction	Page 1
Authority	
Guideline	
Function	
Tree Planting Standards	Page 4
Size	
Condition	
Planting Methods	
Location	
Easement Areas	
Sight Triangle	
Right-of-Way	
Spacing	
Recommended Street Trees	
Conditional Plantings	
Undesirable Street Trees	
Maintenance of Newly Planted Trees	Page 9
General	
Watering	
Mulching	
Pruning	
Fertilization	
Staking	
Wrapping	
Planting Guidelines	Page 10
General	
Restrictions to Planting Trees	
Reconstructed and Widened Streets	
New Subdivisions	
Unimproved Streets	
Pruning Standards	Page 11
General	
Pruning Cuts	
Crown Cleaning	
Crown Thinning	
Crown Raising	
Crown Reduction	
Clearance Pruning	
Tools	
Site Appearance and Clean-Up	
Topping	
Pruning of Oaks	
Treating Wounds	

Tree Removal Guidelines	Page 14
General	
Control Areas	
Public Trees	
Private Trees	
Reforestation	
Stump Removal – Public Trees	
Shakopee Tree and Shrub Maintenance Standards	Page 15
General	
Boulevard Trees and Public Lands	
Duties of Private Property Owners	
Storm Damage	
Unauthorized Removals	
Miscellaneous Maintenance Practices	Page 16
Stump Removal	
Fertilization	
Cabling and Bracing	
Chemical Treatment	
Gopher State One and Local Utilities	Page 17
References	Page 18
Appendices	
A. Recommended Tree Species to Plant	Page 19
B. Undesirable Species	Page 21
C. Risk Evaluation Guidelines	Page 22
D. Shade Tree Disease and Pest Inspection Form	Page 25
E. Tree, Shrub and Bush Planting Permit Application	Page 26

Tree Planting Standards

Size: All trees planted along the right-of-way and within public spaces must be of sufficient size to absorb the abuse and conditions common to trees planted in urban areas. The minimum allowable size for shade trees is 1 ¾" caliper and 1 ½" caliper for ornamental trees; however, larger or smaller sizes may be required to ensure survival for specific situations. Tree caliper shall be measured six inches above the ground to the nearest ¼".

Condition: Unless otherwise specified, all trees shall conform to the American Nursery and Landscape Association's *American Standard for Nursery Stock*, (Z60.1-2014 or as updated). Each tree chosen for planting shall be a high-quality, healthy tree with evidence of vigorous growth during the previous year. All trees shall have a comparatively straight, single trunk, well-developed leaders and crown, and the roots shall not only be characteristic of the species, cultivar or variety, but also exhibit evidence of proper nursery pruning practices. Ornamental trees may be multiple-stemmed if they can be pruned for adequate clearance. At the time of planting, all trees must have a full healthy crown, be free of mechanical injuries and display no other objectionable features that will affect the future form, health, and beauty of the tree.

Planting Methods:

Planting a Bare Root Tree

Bare root trees are usually available only in early spring. These trees are dug from nurseries in late fall, and all soil is removed from their roots. They are held in climate controlled coolers over winter and sold bare root in spring. Bare root trees typically have a 1 ½- to 2-inch trunk diameter.

While bare root trees can be very economical, they can be highly perishable and it is very important that the roots never be allowed to dry out. When planting many bare root trees (five to ten or more), they should be ordered from the nursery ahead of time and stored in the city's gravel bed (or similar) until they are planted. Bare root trees are usually available only for a short time in spring (usually at the end of April or beginning of May in this area) so there is little flexibility for planting which is available with containerized or balled and burlapped trees. See Figure 1 for details to plant a bare root tree.

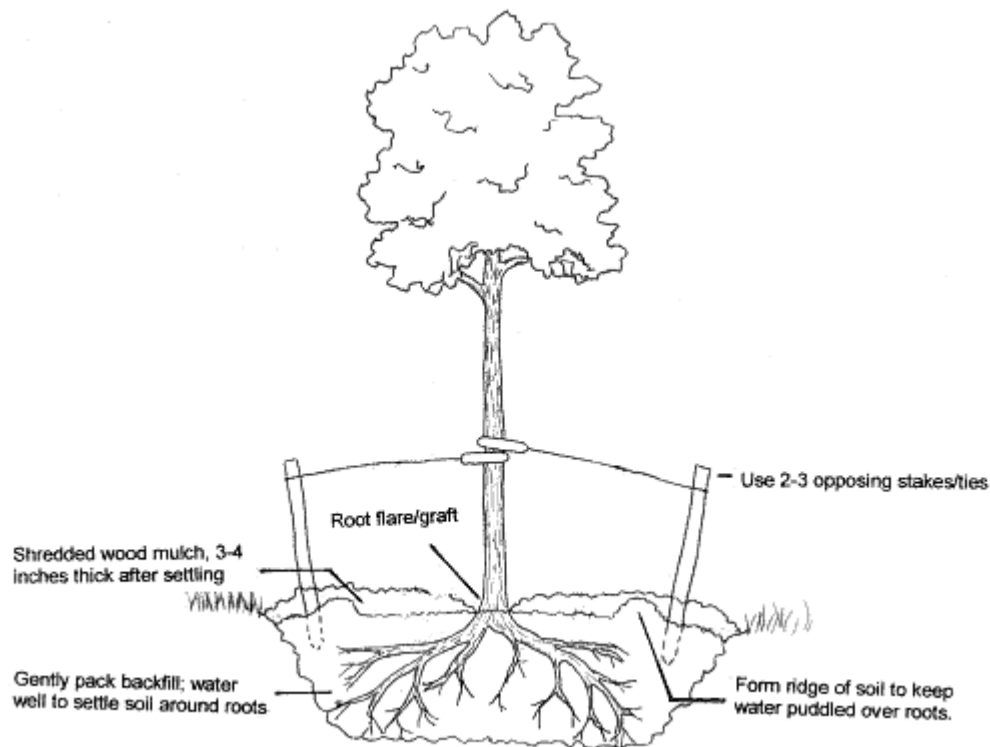


Figure 1. How to plant a bare root tree. Figure from the University of Minnesota Extension. See the city standard detail for planting trees for additional details.

Planting a Container-Grown Tree

Container-grown trees are sold in a variety of different sized pots. The pots may be plastic, paper maché, or wooden “bushel baskets.” In some cases, the tree had been growing in the container since it was a seedling; in others, it was planted in the container as a bare root tree. These trees are available throughout the growing season, and can be held in the containers for quite some time, allowing for more flexibility in planting. See Figure 2 for details to plant a container-grown tree.

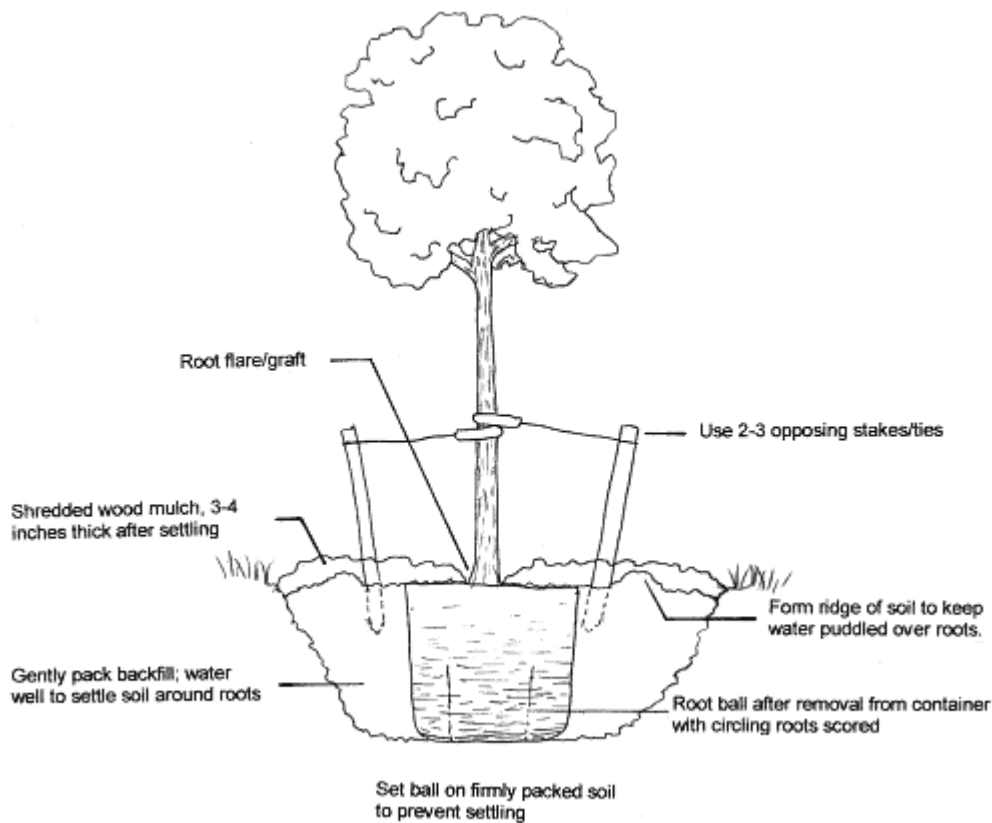


Figure 2. How to plant a container-grown tree. Note: Only use 2-3 opposing stakes/ties when needed. Figure from the University of Minnesota Extension. See city standard detail for planting trees for additional details.

Planting a Balled and Burlapped Tree

Balled and burlapped trees are trees that are dug with the soil around the roots (root ball) intact. That root ball is wrapped in burlap and enclosed in a wire basket which is tied around the trunk. Balled and burlapped trees cost more than bare root stock, but they are typically available throughout the growing season. Larger diameter trees are usually sold this way rather than as bare root or containerized. The root ball of a balled and burlapped trees can dry out very easily, so when choosing a tree, make sure that it is well mulched and does not look dry or otherwise stressed, be certain to keep the root ball moist until it is planted and, if possible, remove the burlap. See Figure 3 for details to plant a balled and burlapped tree.

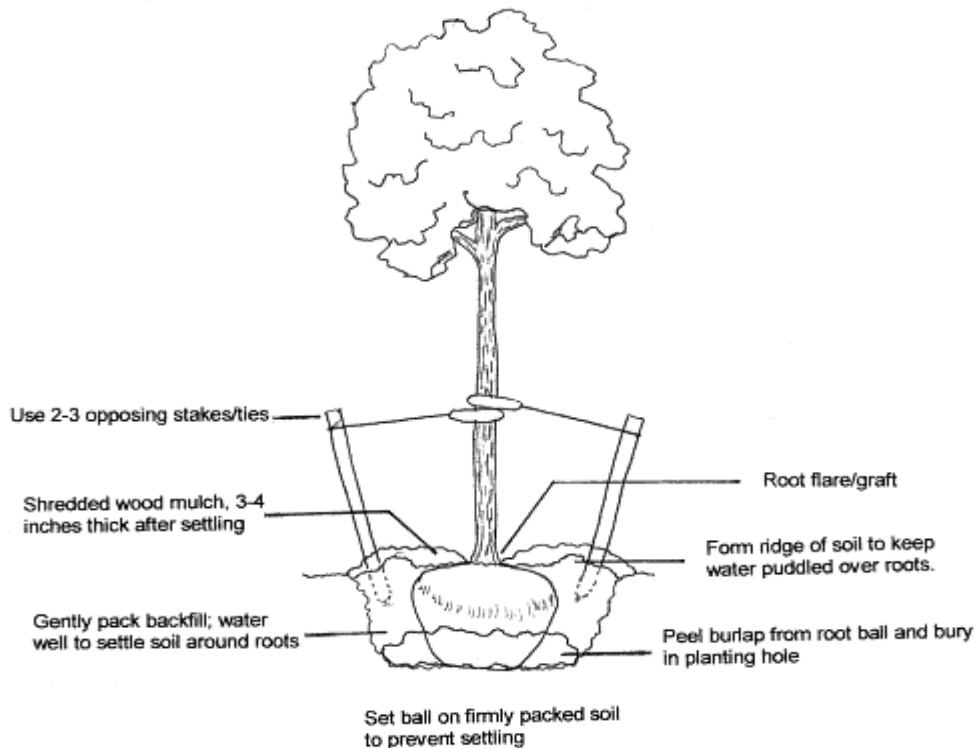


Figure 3. How to plant a B&B tree. Note: Only use 2-3 opposing stakes/ties when needed. Figure from the University of Minnesota Extension. See city standard detail for planting trees for additional details.

Location: All street trees shall be planted midway between the curb and sidewalk (or where the sidewalk would be if there is no sidewalk), unless in the opinion of the Public Works Department, there is sufficient reason to plant the trees off-center.

To allow for maintenance, minimize infrastructure damage and promote safety, trees shall be planted using the following guidelines. *The Public Works Department may make exceptions to these guidelines when circumstances warrant and public safety is not threatened.*

1. 50' from an approach corner
2. 35' from a non-approach corner
3. 20' from a street light
4. 10' from a driveway, utility pole, or fire hydrant
5. 10' from a Sanitary Sewer service, water main, or other underground utilities
6. 5' from a gas valve, water valve, or carriage walk
7. 3' from the curb

Easement Areas: Pursuant to Section 90.16 of the City Code, no trees, shrubs or bushes are allowed to be planted or located within a city easement area, right-of-way or sight triangle. In the event that the city grants permission to locate a tree, shrub or bush in its easement area or on its property, the following standards shall apply:

1. No tree shrub or bush shall be planted or allowed to be located in city-owned or managed property or within a city conservation easement area, sight triangle or right-of-way without first obtaining a permit from the city. The permit application in Appendix E is available at City Hall or on the city's website: www.ShakopeeMN.gov. The permit must be reviewed and approved by the City's Public Works Department.
2. Under no circumstances will the city issue a permit to plant or allow a tree, shrub or bush in any sidewalk or trail easement.
3. Under no circumstances will the city issue a permit to plant or allow a tree to be placed directly on top of a water, sewer or other utility service line. The city will not issue a permit to plant or allow any trees, shrubs, or bushes to be placed within two feet of the side and rear of any utility transformers, cabinets, or hydrants, or within eight feet of the front of any utility transformers, cabinets, or hydrants.
4. Under no circumstances will the city issue a permit to plant or allow a tree to be placed within a lot's front drainage and utility easements, street side easements of corner lots, or maintenance access easements. The city may permit trees to be placed within a lot's side and rear lot line easements if the easements do not contain any underground utilities and the tree does not obstruct drainage.

Sight Triangle: The city will not issue a permit to allow a tree, shrub or bush to be planted or located within a sight triangle, with the exception of low growing shrubs that are less than three feet high and trees that have branches that are able to be trimmed so that they are higher than nine feet from the ground.

Right-of-Way: The city will not allow trees to be planted in the city right-of-way without the approval of a Tree, Shrub and Bush Permit. Trees planted in the right-of-way without a permit will be removed.

Spacing: Future maintenance problems can be minimized by careful and thoughtful placement of trees. Spacing of trees is a function of local site conditions, the species or cultivar used, and their mature height, spread and form. A safe minimum spacing between trees is a distance equal to the width of the species at maturity. All Shakopee trees shall be planted a minimum 30 feet from another tree.

Recommended Street Trees: Appendix A contains the lists of tree species approved for planting in the city based upon their recommended planting sites. The list is subject to review to determine whether any species, cultivars or varieties should be added or removed from the list. The tree list is a recommendation but is subject to change based on availability of trees from suppliers.

Only small-growing trees shall be planted under overhead secondary or primary electrical distribution lines. Trees planted to the side of power lines shall be carefully selected for mature habit to minimize future conflicts.

Conditional Plantings: Conifers may be planted on city right-of-way provided the trunk is no closer than 14 feet to the back of the curb or 7 feet behind the existing public sidewalk. Also, it may not be closer than 35 feet from the non – approach corner of the intersection of two right-of-way lines and no closer than 20 feet to the edge of the nearest driveway.

Undesirable Street Trees: Unacceptable species or their varieties as listed in Appendix B shall not be planted on city property, except in special locations where, because of characteristics of adaptability or landscape effect, they can be used advantageously. Their lack of suitability is based upon objectionable growth habits, fruiting habits, form, susceptibility to serious diseases, propensity to incur storm damage, and other limitations. The limitations listed for each tree or species are the more serious problems encountered locally.

Maintenance of Newly Planted Trees

General: Newly planted trees, shrubs and other plants require special maintenance for one or two growing seasons following planting. All maintenance practices shall follow approved Forestry standards.

Watering: Watering bags should be utilized when available for newly planted trees that are planted by city employees. The recommended frequency of watering trees is one to two times per week in dry months for the first three years after planting. After three years, the need for watering is evaluated based on environmental conditions and monitoring.

Mulching: It is recommended that when planting a tree that mulch is applied around the base of the tree. Mulch is to be maintained until the tree is established which is typically 5 years. Mulch helps a tree retain moisture, control weeds, moderates soil temperature, and gives a nice appearance to the landscape. Most any organic material can be used as mulch, including

shredded wood or bark, wood chips, pine needles, cocoa beans hulls, straw, ground corncobs, or any other available organic matter.

To be effective, mulches should be applied so that when settled, the mulch is 3-4 inches deep. However, mulch should be pulled away from the trunk or stem of the tree. Mulch left against the tree's bark can cause moisture buildup which can rot the bark and cause severe injury to the tree. The "volcano" of mulch around a tree's trunk should be avoided, and instead a "donut" of mulch should be applied. If using organic mulches, do not use a landscape fabric or plastic.

Inorganic materials often used as mulch, such as landscape rocks, may also be used. However, rocks tend to absorb heat during the day and release it at night, which can be stressful for plants. Also, a landscape plastic or fabric under the rocks will be needed to control weeds, which is not needed when using organic mulch.

Pruning: No pruning should occur at the time of planting except to remove dead or broken branches. Unnecessary pruning at this time may reduce the amount of stored energy the plant holds and may stress the tree.

The city is divided into multiple pruning zones to rotate through city-wide pruning. Young trees (10 years or less) are pruned once every three years, and mature trees (greater than 10 years) are pruned once every six years.

Fertilization: Adequate quantities of the essential nutrient elements should be available after new root growth starts. Provision of good drainage and adequate soil moisture are far more important following planting than fertilization. Apply fertilizer sparingly and only to correct a specific deficiency. Since excessive fertilization can "burn" roots and stimulate crown growth faster than the roots can supply water, it is best to wait until the third year after planting to begin applications.

Staking: Bare root trees are staked with a minimum of two stakes to help stabilize trees while they establish. Container and balled and burlapped trees are not staked unless monitoring identifies a need to help stabilize while the tree establishes. If it is necessary to stake a tree after planting use only broad, soft strapping and leave some play for the tree to sway in the wind. Do not use wire surrounded by a garden hose as this may cause serious damage to the trunk. All staking material should be removed within two years unless deemed necessary for continued stability. Please also note that not all trees require staking to stabilize the trees. Contact your local forester or arborist for advice.

Wrapping: Tree guards should be utilized when available for the first three years of establishment of newly planted trees when they are planted in areas that would be prone to damage from mowing, snow and ice, rodents, and sun scald.

Planting Guidelines

General: The following standards shall apply to trees and shrubs in city owned property such as right-of-way and park and open space. In addition, the standards shall apply to private property trees during a state of emergency declared by the Mayor or City Council.

Restrictions to Planting Trees: The following are general restrictions to planting trees within the City of Shakopee:

1. Have underground utilities located.
2. Do not plant trees within city owned property such as park and open space without prior written approval. These trees will become the property of the city.
3. Do not plant trees within city owned right-of-way without prior written approval. These trees will become the property of the city and may be removed as determined by the city.
4. Do not plant trees within drainage and utility easements without prior written approval. Future city improvement projects may require the removal of these trees.
5. Do not plant trees within Conservation Easements without prior written approval from the city.
6. Trees are to be planted a minimum of 5 feet from all property lines. The city recommends planting trees 10 feet from all property lines.

Reconstructed and Widened Streets: When trees are removed in preparation for reconstruction or widening of any established street, new trees will be planted provided there is adequate space in the right-of-way to support tree growth. The expense of this planting shall be borne by the city and incorporated into the project. The Department of Public Works shall determine the amount, location and species of these trees.

New Subdivisions: In the development of new subdivisions or commercial property, removal and planting of trees must meet the requirements of City Code Sections 151.112 and 151.113.

Unimproved Streets: Trees shall not be planted in the right-of-way of unimproved streets or where no curb and gutter exists without approval from the Department of Public Works.

Pruning Standards

General: All pruning shall follow the USDA Forest Service's *How to Prune Trees* manual (see references) for the purpose of crown cleaning, crown thinning, crown raising, and structure development. Pruning shall improve the appearance of the trees and maintain the crown shape and symmetry typical of the species at its given size and age. Permission from the city is required before any pruning is done on city owned and maintained trees.

Pruning Cuts: All final cuts shall be "collar cuts" made sufficiently close to the trunk or parent limb, without cutting into the branch collar or leaving a protruding stub, so that closure can readily begin under normal conditions. The face of the "collar cut" or wound area shall be circular in form. "Flush" cuts to the main stem behind the branch collar and that leave oval exposed wounds shall not be made. Cuts shall be clean and made such that all wound sides are even edged and do not leave "dog ear" ridges on one side or another.

All limbs removed shall be cut in such a manner so as to prevent any ripping or tearing of the wood or bark on the parent or remaining stem. Large limbs shall be cut using the three-cut pruning method as shown in Figure 4. Limbs shall be brought to the ground as to prevent any damage to property, publicly or privately owned.

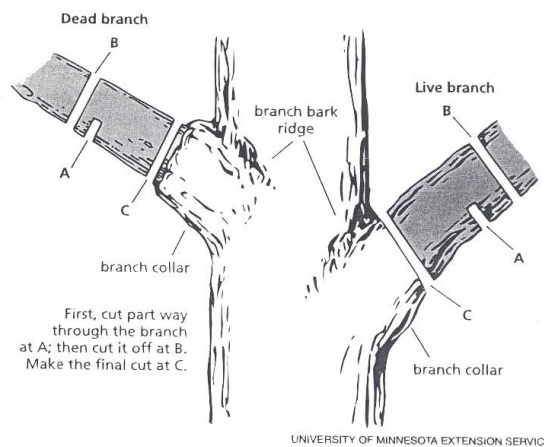


Figure 4 Proper Pruning Techniques – 3 Cut Method

Crown Cleaning: Crown cleaning should remove all dead, dying, diseased, crowded, weakly attached and low-vigor branches. Interior crowding and crossed or rubbing branches should be pruned where practical so as not to leave large holes in the general form of the tree. Trunk suckers and water sprouts, especially where they are present below the bottom 1/2 of the tree, should also be removed as part of crown cleaning. Suckers and sprouts that add to the shape of the tree above 14 feet may remain in mature trees that may not have an optimum crown or shape.

Crown Thinning: Crown thinning, primarily for hardwoods, is the selective removal of branches to increase light penetration and air movement throughout the crown of a tree. The intent is to maintain or develop a tree's structure and form. To avoid unnecessary stress and prevent excessive production of epicormic sprouts, no more than one-quarter of the living crown should be removed at a time. If it is necessary to remove more, it should be done over successive years.

Branches with strong U-shaped angles of attachment should be retained. Branches with narrow, V-shaped angles of attachment often form included bark and should be removed. Included bark forms when two branches grow at sharply acute angles to one another, producing a wedge of inward-rolled bark between them. Included bark prevents strong attachment of branches, often causing a crack at the point below where the branches meet. Co-dominant stems that are approximately the same size and arise from the same position often form included bark. Removing some of the lateral branches from a co-dominant stem can reduce its growth enough to allow the other stem to become dominant.

Lateral branches should be no more than one-half to three-quarters of the diameter of the stem at the point of attachment. Avoid producing "lion's tails," tufts of branches and foliage at the ends of branches, caused by removing all inner lateral branches and foliage. Lion's tails can result in sun-scalding, abundant epicormic sprouts, and weak branch structure and breakage. Branches that rub or cross another branch should be removed.

Conifers that have branches in whorls and pyramidal crowns rarely need crown thinning except to restore a dominant leader. Occasionally, the leader of a tree may be damaged and multiple branches may become co-dominant. Select the strongest leader and remove competing branches to prevent the development of co-dominant stems.

Crown Raising: Crown raising is the practice of removing branches from the bottom of the crown of a tree to provide clearance for pedestrians, vehicles, buildings, lines of site, or to develop a clear stem for timber production. Also, removing lower branches on white pines can prevent blister rust. For street trees the minimum clearance is often specified by municipal ordinance. After pruning, the ratio of the living crown to total tree height should be at least two-thirds (e.g., a 12 m tree should have living branches on at least the upper 8 m).

On young trees "temporary" branches may be retained along the stem to encourage taper and protect trees from vandalism and sun scald. Less vigorous shoots should be selected as temporary branches and should be about 10 to 15 cm apart along the stem. They should be pruned annually to slow their growth and should be removed eventually.

Crown Reduction: Crown reduction pruning is most often used when a tree has grown too large for its permitted space. This method, sometimes called drop crotch pruning, is preferred to topping because it results in a more natural appearance, increases the time before pruning is needed again, and minimizes stress (see drop crotch cuts in the next section).

Crown reduction pruning, a method of last resort, often results in large pruning wounds to stems that may lead to decay. This method should never be used on a tree with a pyramidal growth form. A better long term solution is to remove the tree and replace it with a tree that will not grow beyond the available space.

Clearance Pruning: Clearance of houses and buildings should be such that branches are a minimum of 15 feet from rooftops. Trees and other vegetation shall be pruned to maintain a clear line of sight when approaching all traffic control devices and intersections.

Tools: Proper tools such as hand pruners, pole saws, handsaws, and chain saws shall be used for each cut. The cutting edge of each tool shall be positioned to obtain a proper pruning cut so it will not cut, rip, or harm adjacent bark areas. At no time shall any person working in trees for pruning purposes, wear spurs or any other footwear, which, in the opinion of the Public Works Director or designate, may injure the tree being pruned.

Site Appearance and Clean Up: Pruned limbs and branches temporarily placed in the right-of-way area shall be placed in such a manner as to eliminate any obstruction to motor vehicles and pedestrians. Site cleanup shall include removal of small twigs, chips, leaves and limbs from the street, curb, right-of-way, sidewalk, private lawns and driveways with the appropriate tools for the job. The site shall be returned to the same state it existed in prior to the pruning work. Under no circumstances shall any materials be allowed to lie in the right-of-way overnight.

Topping: It is an unacceptable practice to top any public tree in the city and it is not recommended for any private tree. Topping is the indiscriminate cutting back of tree branches to stubs or lateral branches that are not large enough to assume the terminal role of growth. Property owners often feel that their trees have become too large for their property and feel the need to reduce the tree's height. Topping, however, is not a viable method of height reduction and will make a tree more hazardous in the long term by encouraging excessive growth and extensive decay.

Topping trees for utility clearance purposes should not be the standard operating procedure. Pruning trees for line clearance is necessary and understandable. However, proper pruning cuts need to be made and only those limbs necessary for proper clearance should be

pruned. Trees located under utility lines that require excessive pruning or pruning needs beyond what is acceptable for proper pruning, should be considered for outright removal and replaced with a suitable tree species for under utility lines. Topping trees is not an acceptable method of pruning under any circumstances and should not be done to any tree or part of within city right-of-way, park, or open space.

Trees damaged by storms or other causes, or trees under utility lines or other obstructions where other pruning practices are not practical may be exempt from City Code Section 151.113 at the determination of the Director of Public Works, or SPUC Utilities Manager or delegate.

Pruning of Oaks: In an effort to minimize the spread of Oak Wilt (*Ceratocystis fagacearum*), Shakopee City Code Section 151.113 states that the pruning of Oak trees or collateral damage to Oak trees from adjacent tree removal shall be avoided from April 1st thru July 31st which is the most susceptible period of infection, except by written permission of city personnel. Trees damaged by storms or other causes during this time may be treated with a nontoxic wound dressing. Final pruning cuts should be made in dormant season to remove stub with wound dressing.

Treating Wounds: Tree sap, gums, and resins are the natural means by which trees combat invasion by pathogens. Although unsightly, sap flow from pruning wounds is not generally harmful; however, excessive "bleeding" can weaken trees.

When oaks or elms are wounded during a critical time of year (usually spring for oaks, or throughout the growing season for elms) -- either from storms, other unforeseen mechanical wounds, or from necessary branch removals -- some type of wound dressing should be applied to the wound. Do this immediately after the wound is created. In most other instances, wound dressings are unnecessary, and may even be detrimental. Wound dressings will not stop decay or cure infectious diseases. They may actually interfere with the protective benefits of tree gums and resins, and prevent wound surfaces from closing as quickly as they might under natural conditions. The only benefit of wound dressings is to prevent introduction of pathogens in the specific cases of Dutch elm disease and oak wilt.

Tree Removal Guidelines

General: There are many factors that contribute to transforming a tree from an asset to a liability. They include: disease, infestation, decay, and mechanical damage, which can cause a tree to be structurally unsound, and therefore unsafe. It is the guideline of the city to base tree removals on safety related criteria and liability. As specified in the City of Shakopee ordinances, the only persons who may authorize the planting or removal of a city tree is the Public Works Director or designee.

Any person who desires to remove any Tree on any parcel of land may be required to submit a Tree Preservation Plan to the city and must demonstrate that there are no feasible or prudent alternatives to removing any tree.

Control Areas: In accordance with state law, the City of Shakopee has designated the populated areas of the city as the areas where the diseased tree and shade tree pest program will be strictly enforced. The control area consists of the developed areas of the city including any scattered subdivisions.

In areas outside of the control areas, the diseased tree and shade tree pest program will be strictly enforced by the city only in those areas within ¼ mile of non-farm homesteads.

Public Trees: The city will remove trees located on public property which contain a shade tree disease or shade tree pest which cause the trees to die. The city will remove these trees as quickly as possible for trees that create hazards located on street boulevards and in city park areas. For trees that have died or fallen that do not create hazards in city open space areas will not be removed. Anyone finding a tree on public property which appears to be diseased or infested but which has not been marked for removal should report the tree to the city.

Private Trees: See City Code Section 130.15 for the removal of trees with a shade tree disease or shade tree pest from private property. See Appendix D for the Shade Tree Disease or Pest Inspection Form.

Reforestation: The city will, to the extent possible under the current budget and/or project plans, attempt to replace boulevard and park trees removed because of shade tree diseases or shade tree pests by planting new trees.

Stump Removal – Public Trees: The city or contractor hired by the city will remove stumps of public trees along right-of-way, parks, or other public open spaces. The city will not remove or grind out stumps for private trees, but rather this is the property owner's responsibility.

Shakopee Tree and Shrub Maintenance Standards

General: The following standards shall apply to trees and shrubs in city owned property such as right-of-way and park and open space. In addition, the standards shall apply to private property trees during a state of emergency declared by the Mayor or City Council.

Boulevard Trees and Public Lands: The City of Shakopee will maintain all boulevard trees and public trees so as to not cause a hazard by trimming branches, pruning, etc. Trees that create hazards are those that are blocking street signs, traffic control devices or street lighting or have low hanging branches that cause hazards to vehicles or trucks such as garbage trucks, snowplows, fire trucks, etc. The city will maintain and trim branches so that there is a minimum of a nine foot clearance over sidewalks and a fifteen foot clearance over streets and alleys.

Duties of Private Property Owners: Any trees and shrubs that are located on private property, but overhang public rights-of-way such as alleys, sidewalks, trails, or streets, shall be trimmed to the same standards above by the city or by the property owner as required by the city per City Code Section 90.05. In no case will the city trim private trees that are not overhanging onto right-of-way, park or other public property.

Storm Damage: Any public trees that are damaged by storms will be maintained by the city, including picking up any tree branches that were blown down. The city will, to the extent possible under the current budget, attempt to replace public trees removed because of storm damage.

Any private trees damaged or that have branches blown down due to a storm shall be maintained or disposed of by the property owner, unless the City Council or Mayor declares a state of emergency. In that case, the city will provide assistance in picking up and disposing of storm damaged trees and branches for a specific length of time as determined by the Public Works Director. In these instances, the following requirements should be adhered to:

- a. The property owner should notify the city at least three days in advance of trees/branches needing pick up.
- b. Large tree pieces must be cut to 6 feet in length or less.
- c. Branches must be piled as follows:
 1. All stems at the same end.
 2. Stems pointing in the same direction as the flow of traffic.
 3. Laid on the ground parallel to the curb.
- d. Trees and branches must be placed next to the curb, or edge of the street (not in the street and if possible, not on the sidewalk).
- e. City crews will not enter private property to pick up trees or branches.

Unauthorized Removals: See City Code Section 151.113 for information on unauthorized removals.

Miscellaneous Maintenance Practices

Stump Removal: The stumps of all removed trees shall be ground to a depth of at least eight inches (8”) below the surrounding ground level. The excess stump chips shall be removed, the hole filled with clean topsoil, and the site graded and seeded. Watering of newly established grass will then be the responsibility of the adjacent property owner. All costs associated with stump removal shall be borne by whoever bears the cost of tree removal.

Fertilization: The city does not, in general, fertilize boulevard trees. A resident who wishes to fertilize the boulevard tree(s) adjacent to their property shall request written permission from the city. The Department of Public Works has the authority to approve or deny a fertilization request. All fertilization shall adhere to the American National Standards Institute’s *Standard Practices for Tree Care Operations – Fertilization (ANSI A 300 (Part 2))*.

Cabling and Bracing: Tree support systems are used to provide supplemental support to leaders, individual branches, and /or entire trees by limiting their movement. When a tree has a structural defect or condition that poses a high risk of failure, a supplemental support system can often reduce the risk. However, not all potential hazards can be mitigated by their installation and cabling and bracing will be prohibited in boulevards. It is essential that each tree be carefully examined for risk of failure by a qualified arborist to ensure that the system

will achieve its objective of providing added support, without increasing the risk of tree failure.

As a general rule, cables should be located above the crotch at a point approximately two-thirds (2/3) of the distance between the crotch and tops of the branch ends. Rust-resistant cables, thimbles and lags should be used and thimbles must be used in the eye splice in each end of the cable. Under no circumstances shall cable be wrapped around a branch. All cabling and bracing practices shall follow the American National Standards Institute's *Standard Practices for Tree Care Operations – Support Systems, Cabling, Bracing, and Guying* (ANSI A300 (Part 3)-2000) and the International Society of Arboriculture's companion publication *Best Management Practices – Tree Support Systems: Cabling, Bracing, and Guying* (2001).

Chemical Treatment: The city, in general, limits the use of pesticides, fungicides and herbicides on its public trees. Applications may be done for the control of specific diseases or insects with the proper timing and materials to obtain the desired level of control. Suitable precautions shall be taken to protect and warn the public chemical treatment is being done. All application practices shall conform to the appropriate State and Federal regulations.

A resident who wishes to apply chemical treatments to the boulevard tree(s) adjacent to their property shall request written permission from the city. The Department Public Works has the authority to approve or deny a chemical treatment application request. Residents applying for permission to apply chemical treatments must submit the following information: type of chemical, timing (weeks(s) to be applied), quantity to be used, application method, reason for chemical use and proof of a valid Minnesota Department of Agriculture Commercial Applicator License Number.

Gopher State One and Local Utilities

Upon issuance of a permit, a person planting an item shall have underground utilities located prior to digging or planting by calling Gopher State One at 651-454-0002 or online at www.gopherstateonecall.org. Proper marking of excavation sites prior to calling ensures that no resident, employee or utility are at risk from damage to unmarked utilities. Work within 18" of any underground utility requires hand digging to expose the facility and prevent unnecessary damage to utilities. Private utilities (i.e. irrigation, pet fences, private lighting etc.) located within the public right-of-way shall be marked by the adjacent property owner at their expense. The city cannot assume responsibility for any damage as a result of unmarked private utilities in the right-of-way.

References

American National Standards Institute. *American National Standards for Forestry Operations-Pruning, Repairing, Maintaining and Removing Trees, and Cutting Brush-Safety Requirements* (Z133.1-2000). International Society of Arboriculture, Champaign, IL.

American National Standards Institute. *American Standard for Nursery Stock*, (Z60.1-2014). American Nursery and Landscape Association, Washington D.C..

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Pruning)* (A300, Part 1-2001). National Arborist Association, Manchester, NH.

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Fertilization)* (A300, Part 2-1998). National Arborist Association, Manchester, NH.

American National Standards Institute. *American National Standards for Tree Care Operations-Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Support Systems a. Cabling, Bracing, and Guying)* (A300, Part 3-2000). National Arborist Association, Manchester, NH.

City of New London, *Forestry Specifications Manual*. New London Tree Board, 2005. New London, WI. 28 pp.

Council of Tree and Landscape appraisers, 2000. *Guide for Plant Appraisal*. International Society of Arboriculture, Champaign, IL. 143 pp.

Smiley, E.T. and S. Lilly. 2001. *Best Management Practices Tree Support Systems: Cabling, Bracing and Guying*. International Society of Arboriculture, Champaign, IL. 30 pp.

Bedker, Peter J., O'Brien, Joseph G., and Mielke, Manfred M. *How to Prune Trees*. USDA Forest Service. Northeastern Area State and Private Forestry. NA-FR-01-95. 12 pp.

USDA Forest Service Northeastern Area. *Urban Tree Risk Management: A community Guide to Program Design and Implementation* (NA-TP-03-03). 1992 Folwell Avenue, St Paul, MN.

APPENDIX A – RECOMMENDED TREE SPECIES TO PLANT

The following are recommended tree species to be planted along boulevards and non-boulevards:

Buckeye, Autumn Splendor	(<i>Aesculus x arnoldiana</i> 'autumn splendor')
Elm, Discovery	(<i>Ulmus davidiana</i> var. <i>japonica</i>)
Elm, Patriot	(<i>Ulmus</i> x 'Patriot')
Ginkgo (Male Only)	(<i>Ginkgo biloba</i>)
Hackberry	(<i>Celtis occidentalis</i>)
Honeylocust, Thornless	(<i>Gleditsia triacanthos</i> var. <i>intermis</i>)
Kentucky Coffeetree	(<i>Gymnocladus dioicus</i>)
Linden, American	(<i>Tilia americana</i> var. <i>Redmond</i>)
Northern Catalpa	(<i>Catalpa speciosa</i>)
Oak, Bur	(<i>Quercus macrocarpa</i>)
Oak, Northern Red	(<i>Quercus rubra</i>)
Oak, White	(<i>Quercus alba</i>)

The following are recommended tree species to be planted only in non-boulevard areas:

American Hornbeam	(<i>Carpinus caroliniana</i>)
American Mountain Ash	(<i>Sorbus americana</i>)
Birch, River	(<i>Betula nigra</i>)
Black Cherry	(<i>Prunus serotina</i>)
Black Walnut	(<i>Juglans nigra</i>)
Butternut Tree	(<i>Juglans cinerea</i>)
Hickory, Bitternut	(<i>Carya cordiformis</i>)
Hickory, Shagbark	(<i>Carya ovata</i>)
Horse Chestnut	(<i>Aesculus hippocastanum</i>)
Maple, Sugar	(<i>Acer saccharum</i>)
Maple, Black	(<i>Acer nigrum</i>)
Oak, Northern Pin	(<i>Quercus ellipsoidalis</i>)

The following are recommended tree species to be planted as visual barriers and non-boulevard areas:

Cedar, Eastern Red	(<i>Juniperus virginiana</i>)
Cedar, White	(<i>Thuja occidentalis</i>)
Fir, Balsam	(<i>Abies balsamea</i>)
Fir, Douglas	(<i>Pseudotsuga menziesii</i>)
Fir, Fraser	(<i>Abies fraseri</i>)
Fir, White	(<i>Abies concolor</i>)
Larch, American	(<i>Larix laricina</i>)
Larch, European	(<i>Larix decidua</i>)
Larch, Japanese	(<i>Larix kaempferi</i>)
Larch, Siberian	(<i>Larix sibirica</i>)
Pine, Eastern White	(<i>Pinus strobes</i>)
Pine, Jack	(<i>Pinus banksiana</i>)

Pine, Ponderosa	<i>(Pinus ponderosa)</i>
Pine, Red	<i>(Pinus resinosa)</i>
Pine, Scots	<i>(Pinus sylvestris)</i>
Spruce, Black Hills	<i>(Picea glauca var. densata)</i>
Spruce, White	<i>(Picea glauca)</i>

The tree lists above are recommendations but are subject to change based on availability of trees from suppliers. Additional species and cultivars may be approved by the Public Works Director or their designee. Please contact the city regarding approved trees to be planted in conservation easements.

**CALL GOPHER STATE ONE BEFORE YOU DIG
TO HAVE UNDERGROUND UTILITIES LOCATED**

651-454-0002

Online at

www.gopherstateonecall.org

APPENDIX B - UNDESIRABLE SPECIES

The list below is subject to change and is based on the Minnesota Noxious Weed List managed by the Minnesota Department of Agriculture. Additional species may be determined as undesirable by the Public Works Director or their designee.

<u>Scientific Name</u>	<u>Common Name</u>	<u>Problem(s) or Limitation(s)</u>
<i>Acer negundo</i>	Boxelder	Weak wooded, female attracts the Boxelder bug.
<i>Acer saccharinum</i>	Silver Maple	Weak wooded, susceptible to storm damage, aggressive root system
<i>Acer x freemanii</i> 'Jeffersred'	Freeman Maple	Weak wooded, commonly planted
<i>Acer platanoides</i>	Norway Maple	Invasive
<i>Acer ginnala</i>	Amur Maple	Invasive
<i>Acer tataricum</i>	Tatarian Maple	Invasive
<i>Alianthus altissima</i>	Tree of Heaven	Weak wooded, invasive
<i>Alnus glutinosa</i>	European Alder	Invasive
<i>Eleagnus angustifolia</i>	Russian olive	Invasive
<i>Fraxinus</i>	Ash (All Species)	Disease prone (EAB)
<i>Populus alba</i>	White Poplar	Roots block sewers, weak wooded, cotton type seeds
<i>Populus deltoides</i>	Cottonwood	Weak wooded, susceptible to storm damage, cotton type seeds
<i>Populus nigra italica</i>	Lombardy Poplar	weak wooded
<i>Rhamnus cathartica</i>	Buckthorn	Invasive
<i>Robina</i> spp.	Black Locust	Shallow rooted, borers
<i>Sorbus aucuparia</i>	Rowan Mountain Ash	Invasive
<i>Ulmus pumila</i>	Siberian Elm	Weak wooded
<i>Ulmus Americana</i>	American Elm	Disease prone (Dutch Elm)

APPENDIX C- RISK EVALUATION GUIDELINES

(Companion guide to the USDA Community Tree Risk Evaluation Form)

Risk evaluation guidelines are from the reference Urban Tree Risk Management: A community Guide to Program Design and Implementation.

PROBABILITY OF FAILURE: 1-4 points

1. Low: some minor defects present:

- Minor branch/ crown dieback
- Minor defects or wounds

2. Moderate: several moderate defects present

- Stem decay or cavity within safe shell limits: shell thickness > 1 inch of sound wood for each 6 inches of stem diameter
- Crack(s) without extensive decay
- Defect(s) affecting 30-40% of the tree's circumference
- Crown damage/breakage: hardwoods up to 50%; pines up to 30%
- Weak branch union: major branch or co-dominant stem has included bark
- Stem girdling roots: <40% tree's circumference with compressed wood
- Root damage: < 40% of roots damaged within the CRR

3. High: multiple or significant defects present:

- Stem decay or cavity at or exceeding shell safety limits: shell thickness < 1 inch of sound wood for each 6 inches of stem diameter
- Cracks, particularly those in contact with the soil or associated with other defects
- Defect(s) affecting > 40% of the tree's circumference
- Crown damage/breakage: hardwoods >50%; pines >30%
- Weak branch union with crack or decay
- Girdling roots with > 40% of tree's circumference with compressed wood
- Root damage: > 40% of roots damaged within the CRR.
- Leaning tree with recent root breakage or soil mounding, crack or extensive decay
- Dead tree: standing dead without other significant defects

4. Extremely High: multiple and significant defects present; visual obstruction of traffic signs/lights or intersections:

- Stem decay or cavity exceeding shell safety limits and severe crack
- Cracks: when a stem or branch is split in half
- Defect(s) affecting > 40% of the tree's circumference or CRR and extensive decay or crack(s)
- Weak branch union with crack and decay
- Leaning tree with recent root breakage or soil mounding and a crack or extensive decay - Dead branches: broken (hangers) or with a crack
- Dead trees: standing dead with other defects such as cracks, hangers, extensive decay, or major root damage
- Visual obstruction of traffic signs/lights or intersections
- Physical obstruction of pedestrian or vehicular traffic

SIZE OF DEFECTIVE PART (S): 1-3 points

1. Parts less than 4 inches in diameter
2. Parts from 4 to 20 inches in diameter
3. Parts **greater than 20** inches in diameter

PROBABILITY OF TARGET IMPACT: 1-3 points

1. Occasional Use:

- Low use roads and park trails; parking lots adjacent to low use areas; natural areas such as woods or riparian zones; transition areas with limited public use; industrial areas.

2. Intermediate Use:

- Moderate to low use school playgrounds, parks, and picnic areas; parking lots adjacent to moderate use areas; secondary roads (neighborhoods) and park trails within moderate to high use areas; and dispersed campgrounds.

3. Frequent Use:

- Emergency access routes, medical and emergency facilities and shelters, and handicap access areas; high use school playgrounds, parks, and picnic areas; bus stops; visitor centers, shelters, and park administrative buildings and residences; main thoroughfares and congested intersections in high use areas; parking lots adjacent to high use areas; interpretive signs, kiosks; scenic vistas; and campsites (particularly drive-in).

OTHER RISK FACTORS: 0-2 points

- This category can be used if professional judgment suggests the need to increase the risk rating.
- It is especially helpful to use when tree species growth characteristics become a factor in risk rating. For example, some tree species have growth patterns that make them more vulnerable to certain defects such as weak branch unions (silver maple) and branching shedding (beech).
- It can also be used if the tree is likely to fail before the next scheduled risk inspection.

Table 1. Defect Codes

<u>Code</u>	<u>Defect</u>
D	Decay
CR	CRack
Root	Root Problems
RSG	Stem Girdling
RS	Severed
RPD	Planting Depth (too deep)
RGC	Grade Change
RSB	Sidewalk Buckling
WBU	Weak Branch Union
CA	CAnker
PTA	Poor Tree Architecture
PTA:LT	Leaning Tree
PTA:TT	Topped Tree
EE	Excessive Epicormics
DEAD	DEAD tree, tops or branches
VO	Visible Obstruction
PO	Physical Obstruction

Table 2. Corrective Action(s) Codes

Prune	
PD	Deadwood
PW	Weakwood (defective part(s))
PC	for Clearance
PT	to Thin crown or reduce crown weight
PR	to Reduce crown height
Target	
TM	Move
TEV	Exclude Visitors from Target Area
CB	Cable/Bracing
CWT	Convert to Wildlife Tree
RT	Remove Tree
Monitor	Monitor regularly
NA	No Action Required

Location: _____ Date: _____ Inspector(s): _____

[illegible]

* This is an example form adapted from various sources by the US Forest Service, Northeastern Area Hazard Tree Training Team. The US Forest Service assumes no responsibility for conclusions derived from the use of this form. Managers should construct their own forms, based on need and experience.

APPENDIX D - Shade Tree Disease or Pest Inspection Form



**CITY OF SHAKOPEE
SHADE TREE DISEASE/SHADE TREE PEST
TREE INSPECTION FORM**

DATE: _____ TREE INSPECTOR: _____

TREE TAG NUMBER
(PID#): _____

PROPERTY
ADDRESS: _____

The City Tree Inspector inspected _____ trees within your property. Based on this inspection the following has been determined:

- ☐ One or more trees within your property have been diagnosed as diseased, dying or containing a shade tree pest and are required to be removed within _____ days of this notice according to Minnesota Department of Agriculture regulations and Section 130.15 of the City Code.

PLEASE FILL OUT AND RETURN THE ATTACHED POSTCARD WITHIN FIVE DAYS INDICATING HOW YOU WISH TO HANDLE THE REMOVAL OF YOUR TREE CONTAINING A SHADE TREE DISEASE/SHADE TREE PEST.

REMOVAL OF THE MARKED TREES WITHIN YOUR PROPERTY WILL COST
_____.

PLEASE SEE THE ATTACHMENTS FOR PAYMENT OPTIONS AND ADDITIONAL INFORMATION.

- ☐ Quantities of _____ wood were found on your property. This situation is capable of harboring the beetles or insects that can infect other trees. This wood must be destroyed in a heating appliance, debarked or hauled for disposal 20 days following the date of this notification.

- ☐ We have marked your boulevard tree for removal. The City of Shakopee will do the removal work at no cost to you.

- ☐ Other:

If you have any questions please call the City of Shakopee Public Works Department at (952) 233-9550.

APPENDIX E - Tree, Shrub and Bush Planting Permit Application



CITY OF SHAKOPEE
485 GORMAN STREET, SHAKOPEE, MN 55379
Phone (952) 233-9300 Fax (952) 233-3801
www.ShakopeeMN.gov

Tree, Shrub and Bush Permit Application

A permit is required to plant or place trees, shrubs or bushes in a city easement area or sight triangle or on city-owned or managed property

Site Address: _____

Applicant Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Day Phone: (____) _____ Cell Phone: (____) _____

Proposed Planting Location (Check Box):

- | | |
|----------------------------|-------------------------------|
| < Right-of-way (Boulevard) | < Conservation Easement |
| < Park and Open Space | < Drainage & Utility Easement |

Type of Species Planting (Check Box):

<u>Species</u>	<u>Quantity</u>	<u>Size</u>	<u>(Scientific Name)</u>
< American Hornbeam			(<i>Carpinus caroliniana</i>)
< American Mountain Ash			(<i>Sorbus americana</i>)
< Black Cherry			(<i>Prunus serotina</i>)
< Black walnut	_____	_____	(<i>Juglans nigra</i>)
< Birch, River	_____	_____	(<i>Betula nigra</i>)
< Buckeye, Autumn Splendor			(<i>Aesculus x ardoldiana 'Autumn Splendor'</i>)
< Butternut Tree			(<i>Juglans cinerea</i>)
< Cedar, Eastern Red	_____	_____	(<i>Juniperus virginiana</i>)
< Cedar, White			(<i>Thuja occidentalis</i>)
< Elm, Discovery	_____	_____	(<i>Ulmus davidiana</i> var. <i>japonica</i>)
< Elm, Patriot			(<i>Ulmus x 'Patriot'</i>)
< Fir, Balsam			(<i>Abies balsamea</i>)
< Fir, Douglas			(<i>Pseudotsuga menziesii</i>)
< Fir, Fraser			(<i>Abies fraseri</i>)
< Fir, White			(<i>Abies concolor</i>)
< Ginkgo (male only)			(<i>Ginkgo biloba</i>)
< Hackberry	_____	_____	(<i>Celtis occidentalis</i>)
< Hickory, Bitternut	_____	_____	(<i>Carya cordiformis</i>)
< Hickory, Shagbark	_____	_____	(<i>Carya ovata</i>)
< Honeylocust, Thornless	_____	_____	(<i>Gleditsia triacanthos</i> var. <i>intermis</i>)
< Horse chestnut			(<i>Aesculus hippocastanum</i>)
< Kentucky Coffeetree			(<i>Gymnocladus dioica</i>)
< Larch, American			(<i>Larix laricina</i>)

- | | | | |
|-----------------------------------|-------|-------|--|
| < Larch, European | | | (<i>Larix decidua</i>) |
| < Larch, Japanese | | | (<i>Larix kaempferi</i>) |
| < Larch, Siberian | | | (<i>Larix sibirica</i>) |
| < Linden, American | _____ | _____ | (<i>Tilia americana</i> var. <i>Redmond</i>) |
| < Maple, Black | | | (<i>Acer nigrum</i>) |
| < Maple, Sugar | | | (<i>Acer saccharum</i>) |
| < Northern Catalpa | | | (<i>Catalpa speciosa</i>) |
| < | | | |
| < | | | |
| < Oak, Bur | _____ | _____ | (<i>Quercus macrocarpa</i>) |
| < Oak, Northern Pin | _____ | _____ | (<i>Quercus ellipsoidalis</i>) |
| < Oak, Red | _____ | _____ | (<i>Quercus rubra</i>) |
| < Oake, White | | | (<i>Quercus alba</i>) |
| < Pine, Eastern White | _____ | _____ | (<i>Pinus strobes</i>) |
| < Pine, Jack | | | (<i>Pinus banksiana</i>) |
| < Pine, Ponderosa | | | (<i>Pinus ponderosa</i>) |
| < Pine, Red | | | (<i>Pinus resinosa</i>) |
| < Pine, Scots | | | (<i>Pinus sylvestris</i>) |
| < Spruce, Black Hills | _____ | _____ | (<i>Picea glauca</i> var. <i>densata</i>) |
| < Spruce, White | _____ | _____ | (<i>Picea glauca</i>) |
| < | | | |
| < Other: Name and Quantity: _____ | | | |

PLEASE FILL OUT BACKSIDE OF APPLICATION

ACKNOWLEDGEMENT OF OWNER

I hereby acknowledge the following:

- a) I have reviewed and understand the requirements of the Shakopee Tree, Shrub and Bush Planting and Placement Policy and Standards, the Shakopee Tree and Shrub Maintenance Standards, and the Shakopee Diseased Tree Removal Guideline.
- b) I agree to install my permitted tree, shrub or bush in the approved location in accordance with these standards and policies.
- c) I agree to indemnify, defend and hold the City of Shakopee harmless with respect to any injury or property damage caused by my work within the easement area or on city property in connection with this permit.
- d) Pursuant to Section 90.16 of the City Code I understand that city staff may require that these items placed within an easement area be removed at my expense at any time, even these items that have been previously approved by the city and a permit has been issued. If I do not remove these items upon the request of the city or if an emergency situation exists, I understand that the city may remove these items for me and may charge me for any removal expenses that are incurred.
- e) I also understand that if the items are required to be removed, the city is not required to compensate me for the costs of the items. The city is also not required to replace any of the items.

Signature of Applicant

Date

RESIDENTS MUST CONTACT GOPHER ONE STATE PRIOR TO DIGGING OR PLANTING TO HAVE UNDERGROUND UTILITIES LOCATED

651-454-0002 or online at www.gopherstateonecall.org

Office Use Only:

Public Works: Approve/Deny By: _____ Date: _____

Natural Resources: Approve/Deny By: _____ Date: _____

SPUC: Approve/Deny By: _____ Date: _____

(SPUC Approval Necessary as Determined by Public Works or Natural Resources)

Installation Inspection By: _____ Date: _____

GPS Data Collected (Circle): (Yes) (No)

GPS Coordinates Obtained (Circle): (Yes) (No)

Latitude: _____ Longitude: _____



Shakopee City Council
August 18, 2026

5.p

Agenda Item: Approve Temporary Liquor Licenses for BHB2 LLC. dba Badger Hill Brewing.
Prepared by: Heidi Emerson, Deputy City Clerk
Reviewed by:

Action to be considered:

Approve Temporary Liquor Licenses for BHB2 LLC. dba Badger Hill Brewing, located at 4571 Valley Industrial Boulevard South #500.

Motion Type:

Simple Majority

Background:

BHB2 LLC. dba Badger Hill Brewing has submitted applications for temporary liquor licenses for events they are holding at their production facility located at 4571 Valley Industrial Boulevard South #500. The date of the events are as follows:

August 21, 29, 31st

September 5, 19 and 26th

The applications are in order, and the fees have been paid.

Recommendation:

Approve the above requested motion.

Budget Impact:

None.

Attachments:



Shakopee City Council August 18, 2026

8.a

Agenda Item: Overview of 2027 Preliminary Budget and Levy
Prepared by: Nate Reinhardt, Finance Director
Reviewed by:

Action to be considered:

Discuss and provide direction regarding the 2027 preliminary levy and budget. No formal action is being requested.

Motion Type:

Informational only

Background:

The City Council must certify a proposed levy on or before September 30, 2026. It is anticipated that the Council will consider adoption of the proposed maximum tax levies for both the City and the EDA on Tuesday, September 15.

See attached memo for further information.

Recommendation:

Receive overview of 2027 preliminary levy and budget and provide feedback to staff.

Budget Impact:

The 2027 City and EDA levies provide the necessary funds to maintain the city's current service levels.

Attachments:

[2027 Levy & Budget Memo 8-18-2026.pdf](#)

[2027 Preliminary Budget Overview Presentation 8-18-2026.pdf](#)

To: Mayor and Council Members
From: Nate Reinhardt, Finance Director
Cc: Bill Reynolds, City Administrator
Date: August 18, 2026
Re: 2027 Property Tax Levy & Budget

Background

Each year the city must prepare a budget and property tax levy for the following year. Staff analyzed revenues, expenditure information and initiatives to prepare a budget and levy for your consideration.

From providing fun recreation programs and beautiful parks to ensuring safe neighborhoods, providing high-quality services enhance and protects people's lives. Responsible fiscal management also builds the foundation for the city to run smoothly and provide effective, innovative programs and services while keeping in mind ways to evolve to meet future expectations and demands. Decisions are made with the future in mind to ensure the city's ongoing ability to provide high quality services at a reasonable price.

Levy Request & Impact

It's important to note that we are in the early stages of budget development. Staff continues to adjust the budget as new information is received. To provide greater transparency and clarity, the 2027 operational budget narrative separates the Fire Department's transition to 24/7 staffing from the operations across all other city departments. This separation, provided in the budget memo, helps clearly delineate the strategic investment in fire services from the incremental budget cost from the various other services provided by the city.

Fire Department

In 2026, the City of Shakopee fully achieved its operational goal of transitioning from a hybrid/volunteer response model to full-time, 24/7 coverage across both city-owned fire stations. This modernization ensures timely, around-the-clock emergency response for all of our residents, visitors, businesses and industrial properties.

Key accomplishments and community outcomes:

- ✓ Station #2 Dedicated Coverage: Fire Station #2 is permanently staffed for the first time with full-time personnel on site around the clock, significantly reducing response times in the southern and western response areas.
- ✓ Improved Emergency Response Times: Eliminating off-duty call-back delays ensures immediate response, directly benefitting life safety and property protection during critical incident windows.

- ✓ **Enhanced Command & Operations Safety:** The strategic reorganization established three Battalion Chiefs and three Captains from existing positions, bringing dedicated supervisory oversight, structured incident command and enhanced response to active emergency scenes.
- ✓ **Federal Grant Leverage:** The city successfully secured \$2.63 million in federal funding through the Department of Homeland Security's Staffing for Adequate Fire and Emergency Response (SAFER) Grant. This grant subsidized the baseline hiring of 12 new full-time firefighters hired in March 2026.

The SAFER Grant award is distributed across three years (March 2026 to March 2029) and requires a progressive local match (25% in Year 1, 25% in Year 2, and 65% in Year 3). The City Council approved a budget amendment to utilize available fund balance to cover the initial 2026 city share, the 2027 budget integrates the second-year grant match and localized operational costs into the ongoing levy.

In addition to the 12 grant-related positions, City Council authorized three additional full-time firefighters to complete necessary station shift schedules. A significant portion of these costs were offset with the reduction in part-time personnel. The 2027 Fire Department budget accounts for cost-of-living adjustments, anticipated market-rate adjustments for union contracts, related fringe and benefits, operating costs related to staffing an additional building, and a proposed dedicated vehicle for the Battalion Chief.

The impact on the 2027 budget and levy is as follows.

Fire Department Changes				
Description	2026 Budget	2027 Budget	Change	Levy Impact
Revenues				
Fire Inspections/Plan Review	75,500	80,000	4,500	
SAFER	-	1,067,000	1,067,000	
State Aid - Fire	390,000	460,000	70,000	
Townships Contracts	315,200	327,300	12,100	
Other	30,430	34,000	3,570	
Total Revenues	811,130	1,968,300	1,157,170	
Expenses				
Full-time Wages	1,643,400	3,204,700	1,561,300	
Part-time wages	503,600	192,800	(310,800)	
Overtime	138,600	175,000	36,400	
Benefits	857,800	1,492,500	634,700	
Supplies/Services	1,704,300	1,798,700	94,400	
Battalion Chief vehicle	-	125,000	125,000	
Total Expenses	4,847,700	6,988,700	2,141,000	
Net Increase			983,830	3.49%

General Fund Operations (excluding Fire Department)

A breakdown of adjustments to the General Fund have been included in the next few pages of the budget memo. In total the net adjustments to the General Fund (excluding the Fire Department) result in a levy increase of \$1,112,710 in comparison to 2026.

Description	Amount	Levy Impact
Revenues (increase)	\$ 343,300	
Transfers from other funds (decrease)	(150,000)	
Less Expenditures:		
Wages & benefits	562,600	
Operating expenses	450,310	
Internal rent changes	68,500	
One-time adjustments	224,600	
Change in property tax levy	\$1,112,710	3.94%

Debt Service

The city currently has two outstanding bonds that require a debt service tax levy, the 2016 Abatement Bond issued for the Community Center/Ice Arena and 2022A Improvement Bond issued for street reconstruction projects. Last year the city council approved the use of fund balance to eliminate the debt service levy on the 2022A bonds, the required debt service levy for 2027 is \$344,360 (1.22% levy increase).

Summary of Levy Changes – 2027 Budget

City of Shakopee Levy Analysis August 10, 2026				
	2026 Final	2027 Final	Increase/ (Decrease)	% Levy Impact
City Levy				
General Fund				
Operations (excluding Fire)	\$ 24,405,480	\$ 25,518,190	\$ 1,112,710	3.94%
Fire Department	-	983,830	983,830	3.49%
Abatements	120,000	120,000	-	0.00%
Capital Improvement Levy	1,500,000	1,500,000	-	0.00%
Debt Service				
2016 Abatement	2,189,000	2,189,000	-	0.00%
2022A Improvement	-	344,360	344,360	1.22%
Total Debt Service	<u>2,189,000</u>	<u>2,533,360</u>	<u>344,360</u>	<u>1.22%</u>
Total City Levy	\$ 28,214,480	\$ 30,655,380	\$ 2,440,900	8.65%
Shakopee EDA Special Levy	\$ 550,000	\$ 550,000	\$ -	0.00%
Total City and EDA Levies	\$ 28,764,480	\$ 31,205,380	\$ 2,440,900	8.49%

The next few pages provide a breakdown of the General Fund Operations changes shown in the earlier table.

Revenues (excluding Fire)

The city is projecting an overall net increase of \$343,300 in non-property tax revenues for the 2027 budget. A summary of revenue changes are as follows with explanations below:

Description	Change
Rental housing	\$180,000
Right of way permits (offset with contracted services)	150,000
Interest income (General fund)	100,000
Engineering fees (offset with contracted services)	90,000
Shakopee Public Utilities pilot fee	65,000
Restaurant lease (SandVenture)	42,000
Grade fees (offset with contracted services)	40,000
Municipal State Aid (MSA) maintenance funds	34,000
Other (net adjustments)	44,300
Restaurant licenses and inspections (offset with inspector wages and benefits)	(122,000)
Building permit revenues	(280,000)
Change in Revenues	\$343,300

Rental housing, right of way, engineering and grading revenues have been adjusted based on actual revenues over the past couple of years. The right of way, engineering and grading revenues are offset by increased contractual services costs in the engineering department as these revenues are collected to pay for the cost of third-party inspections and oversight.

The city has not yet been granted delegation from the state, which is required to complete the health and safety inspection of our hotels and restaurants. As a result, the restaurant licenses and inspections revenue along with the cost of the position has been removed from the budget.

Building permits have been strong over the past few years, the building permit forecast assumes that we continue to see residential units added in 2027, but less activity from commercial developments resulting in a net decrease of \$280,000.

Transfers to the General Fund

Transfers from other city funds to the General Fund help pay for operating costs.

Description	2026	2027	Change
Public safety fund (patrol officer reimbursement)	\$100,000	\$ -	\$(100,000)
Self-insurance fund	350,000	300,000	(50,000)
Sewer/storm water (allocation of admin overhead)	400,000	400,000	-
EDA (allocation of admin overhead)	50,000	50,000	-
Change in transfers			\$(150,000)

Staff recommends utilizing \$300,000 of fund balance from the city's self-insurance fund to offset costs associated with an increase in the employer share of health insurance premiums (this is a decrease of \$50,000 from what was used for the 2026 budget). The city continues to explore a potential implementation of a Scott County health insurance pool, a partnership with Scott County and other local partners. The original funding of \$600,000 was set-aside initially in 2017 when the city began exploring self-insurance options.

Expenditures (excluding Fire)

A number of factors will impact the cost of operations in next year's budget.

The expenditures have been further categorized in this section as wages and benefits, operational (on-going) expenditures, rent (equipment and capital replacement) and one-time adjustments.

Wages and benefits

Description	Change
Cost of living adjustment – 3%	\$574,690
Health Insurance – 16.3% estimate	328,090
Recreation part-time	70,340
Sergeants (market rate adjustment)	47,000
Other (step changes, benefit election changes, etc)	(81,820)
Election judges (non-election year)	(94,120)
Health inspector	(120,900)
Workers compensation – reduced rates	(160,680)
Change in wages & benefits	\$562,600

Wages and benefits account for nearly 70% of the City's General Fund costs. The City has five unions (Patrol, Sergeants, Captains, Fire and Public Works). The 2027 budget has been built with the assumption that the unions and non-union wages will see an equivalent 3.0 percent cost of living adjustment.

At this point, the health insurance premium amounts for 2027 are unknown. The preliminary 2027 budget currently includes an increase in health insurance premiums of 16.3 percent, based on data used as the city explored a health insurance pool with Scott County and other local partners.

Reductions to the wage budget include election judges (non-election year), health inspector costs as the position will remain vacant until the city receives delegation from the state for inspections, and workers compensation as rates have seen a decrease over the past two years.

There are currently no proposed new positions in the 2027 budget.

Operational Expenditure Changes

Adjustments to operating budgets that are anticipated to continue into future years are shown below. These include contractual and utility increases.

Description	Change
ROW – professional services	\$150,000
Engineering – professional services	100,000
Software	72,290
Property insurance	34,800
Street – street light replacements, signs & striping	30,000
Utilities (electric/water/gas)	28,900
Community Center/Ice Arena RTU Maintenance	20,000
Other (net)	149,420
Removal of prior year additional contingency	(135,100)
Change in operational expenses	\$450,310

As mentioned in the revenue section, engineering professional services are offset with revenues related to right of way and engineering fees. The City has contracted with third party engineering firms to provide these inspection and oversight services.

Software includes contractual increases along software that was previously purchased using tribal funds that are now being incorporated as on-going costs of the police department.

The “other” category is the lump sum of all other changes across the departments (excluding fire), there were no individual change to line items exceeding \$15,000.

The City has typically budgeted \$100,00 as a contingency line item, last year’s budgeted included an additional \$85,100 for unknowns related to fire staffing. The 2027 budget sets the contingency at \$50,000 (a reduction of \$135,100).

Rent Changes

The city utilizes internal services funds to accumulate funds for the purchase or replacement of city equipment and facilities. The funding sources are annual rents (internal charges) to the appropriate departments.

Description	Change	Fire Allocation	Net
Equipment Rent	\$40,000	\$32,800	\$7,200
Building Rent	27,600	4,500	23,100
Park Facilities Rent	50,000	0	50,000
Information Technology Rent	9,100	20,900	(11,800)
Change in internal rent charges	\$126,700	\$58,200	\$68,500

The equipment rent increase is both a result of new equipment being added to the schedule as well as increases in year over year costs of vehicles and equipment. A 20-year equipment replacement schedule is included in the 5-year Capital Improvement Plan that identifies all equipment, useful lives, replacement years and costs.

Building rents are set with the intention that they would provide the funding for major maintenance projects (roofs, boilers, hvac, etc.), but not fully fund building replacement or new construction. The rent increase is both the result of projects related to the aging of city buildings and inflationary costs of those projects.

The annual cost for the various internal service funds are calculated based on estimated useful life or scheduled replacement dates. The amounts for 2027 have been further adjusted (decreased) based on current balances. Allocations to the fire department represent about 46% of the total increase as the result of added equipment and personnel (technology rent).

One-time Adjustments

The General Fund up and down swings are typically moderated through the use of internal rent charges. However, a few one-time adjustments have been included in this budget. These costs will not be recurring in the future and will be removed from the 2028 budget.

Description	Change
Code Enforcement vehicle	\$59,000
Building Inspector – electric vehicle	55,600
Comprehensive Plan (2 nd year allocation of \$100k plus \$50k for transportation plan)	50,000
Road Materials/Salt (one-time inventory reduction from 2026)	50,000
Log Cabin – tables and chair replacements	10,000
Change in one-time costs	\$224,600

Additional Request for Consideration

The following additional item has not been included in the 2027 Preliminary Budget but will be presented for City Council consideration.

Description	Amount
Full-time Public Works employee	\$104,500

Public Works is requesting an additional employee to assist with maintaining streets, utilities, parks, stormwater systems and public facilities. The position would be split with the sanitary and sewer utilities, limiting the property levy to 50% of the full cost. The city continues to experience growth, resulting in a significant increase in the workload for the Public Works Department. Shakopee has added considerable lane miles, new subdivisions, trail segments, municipal facilities and expanded utility infrastructure. Despite the growing inventory, staffing levels within Public Works have not increased at a proportional rate.

Capital Project Funds

Staff and city council have reviewed the 2027-2031 CIP and projects programmed for 2027. The CIP identifies \$30.4 million in projects for 2027. The creation and update of a multi-year capital plan allows the city to plan for its current and long-term needs. Project areas within the CIP include buildings, equipment replacement, information technology, parks, street, sanitary

sewer and storm drainage. The CIP is published as a separate document and includes appendices for a 15-year CIP, 20-year equipment replacement schedule and a long-term financial plan.

Economic Development Authority

The Shakopee EDA has the statutory authority to levy a small percentage (up to 0.0185%) of the city's taxable market value, which for 2027 would be a maximum of \$1,598,946. The EDA and City Council can set the levy at any amount up to this cap.

The EDA levy is identified on property tax statements as a separate local tax outside of the city's general property tax. For 2027, the preliminary request is for an EDA levy of \$550,000 (no change). Additional funding is provided through a contribution of ½ percent of revenues from the Shakopee Public Utilities Commission.

The EDA serves as the landlord for the main level business tenants at River City Centre. The EDA currently owns the land and the CDA owns the building. The activity (lease revenue and expenditures) is accounted for in a separate fund of the EDA.

Taxable Market Value

The city's taxable market value is \$8.98 billion, which is an increase of \$333 million (4.3%) from last year. Residential saw the largest increase in market value (5.7%). New construction accounted for 43.3% of the increase in taxable market value.

Class	Payable 2026	Payable 2027	Change (%)
Agricultural	\$54,847,313	\$36,786,775	-32.9%
Apartment	846,047,588	873,902,500	3.3%
Commercial	762,240,300	779,696,400	2.3%
Industrial	1,787,901,500	1,799,528,600	0.7%
Public Utility/Railroad	38,764,100	38,714,700	-0.1%
Residential	5,149,301,046	5,443,178,758	5.7%
Other	<u>3,849,600</u>	<u>4,014,400</u>	<u>4.3%</u>
Totals	\$8,642,951,447	\$8,975,822,133	3.9%

For the city of Shakopee, the total residential taxable market value increased 5.7 percent (includes new construction), the majority of homes (93%) are seeing very little change in their values (increase/decrease by less than the 5.0 percent). A breakdown of the value changes is provided on the next page.

Residential Impacts - Shakopee		
% EMV Value Range Inc/Dec	# of affected Properties	% of Total
+15.01+%	191	1%
+10.01-15.00%	18	0%
+5.01-10.00%	640	5%
+0.01-5.00%	8,347	62%
No Change	143	1%
-0.01-5.00%	4,015	30%
-5.01 - 10.00%	50	0%
-10.00 - 15.00%	24	0%
-15.01% +	5	0%
	13,433	100%

Net Tax Capacity

Class	Payable 2026	Payable 2027	Change (%)
Agricultural	\$481,098	\$351,123	-32.4%
Apartment	9,622,148	9,949,475	3.4%
Commercial	15,010,905	15,352,256	2.3%
Industrial	35,622,168	35,850,400	0.6%
Public Utility/Railroad	767,321	766,333	-0.1%
Residential	52,392,496	55,562,355	6.2%
Other	39,221	40,883	4.2%
Adj. to match county report	-	(58,395)	
Gross Tax Capacity	\$113,935,357	\$117,788,430	3.4%
Adjustments:			
Tax Increment	(\$4,385,091)	(\$5,288,433)	20.6%
Fiscal Disparity Contribution	(20,022,622)	(19,546,441)	-2.4%
Net Tax Capacity	\$89,527,644	\$92,953,556	3.8%
Fiscal Disparity Distribution	\$8,316,317	\$8,316,317)*	- %

**Fiscal Disparity Distribution amounts have not been determined (as of 8/10/2026). The city typically receives the final amounts at the end of August.*

The total net tax capacity of the city is estimated at \$92,953,556 compared to \$89,527,644 in 2026, which is an increase of \$3,425,912 (3.8%).

The gross tax capacity is adjusted for the increase in tax capacity of properties within tax increment financing districts. The tax increment adjustment of \$5.3 million represents 4.5 percent of gross tax capacity. The net increase is primarily related to a portion of Shakopee Flats and Canterbury Commons being added. It is important to note that these developments would not have occurred without the use of tax increment financing. The value and tax capacity of these districts are added to the city's tax roll upon the decertification of these districts.

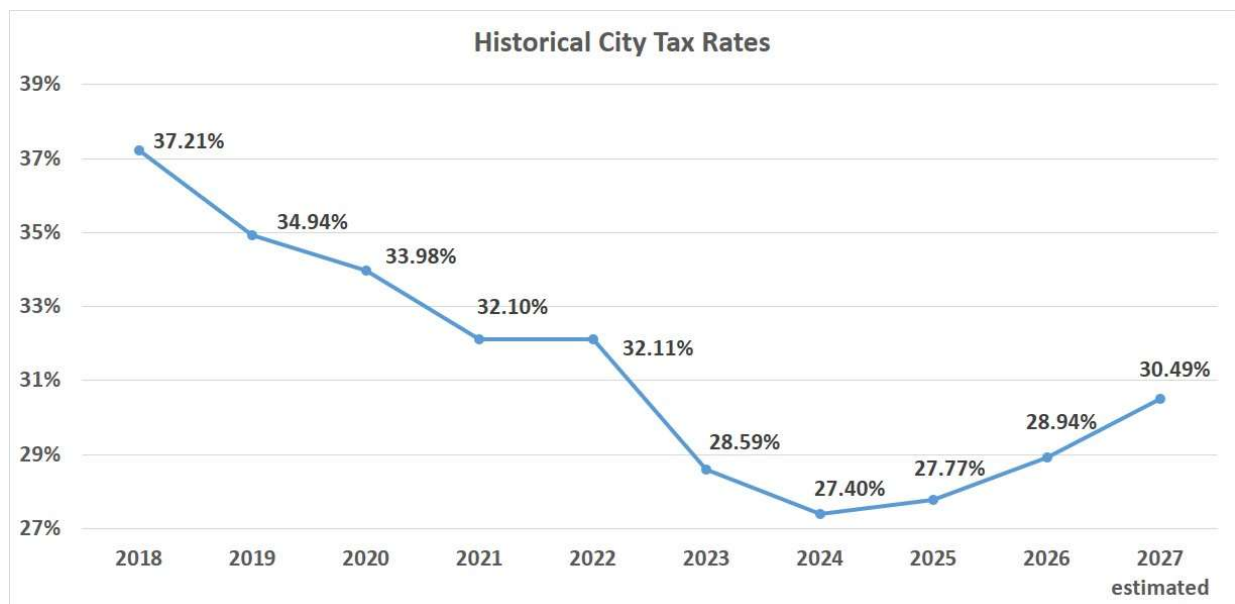
The gross tax capacity is also adjusted for the fiscal disparities program which is unique to the seven-county metro area and is further explained in the diagram below:



The city's estimated contribution to the program is \$19.5 million in tax capacity. The estimated distribution amount has not yet been determined for 2027. The city of Shakopee was the 4th highest net contributor to the program in 2026 at \$11.7 million (10.0%) of tax capacity.

City Tax Rates

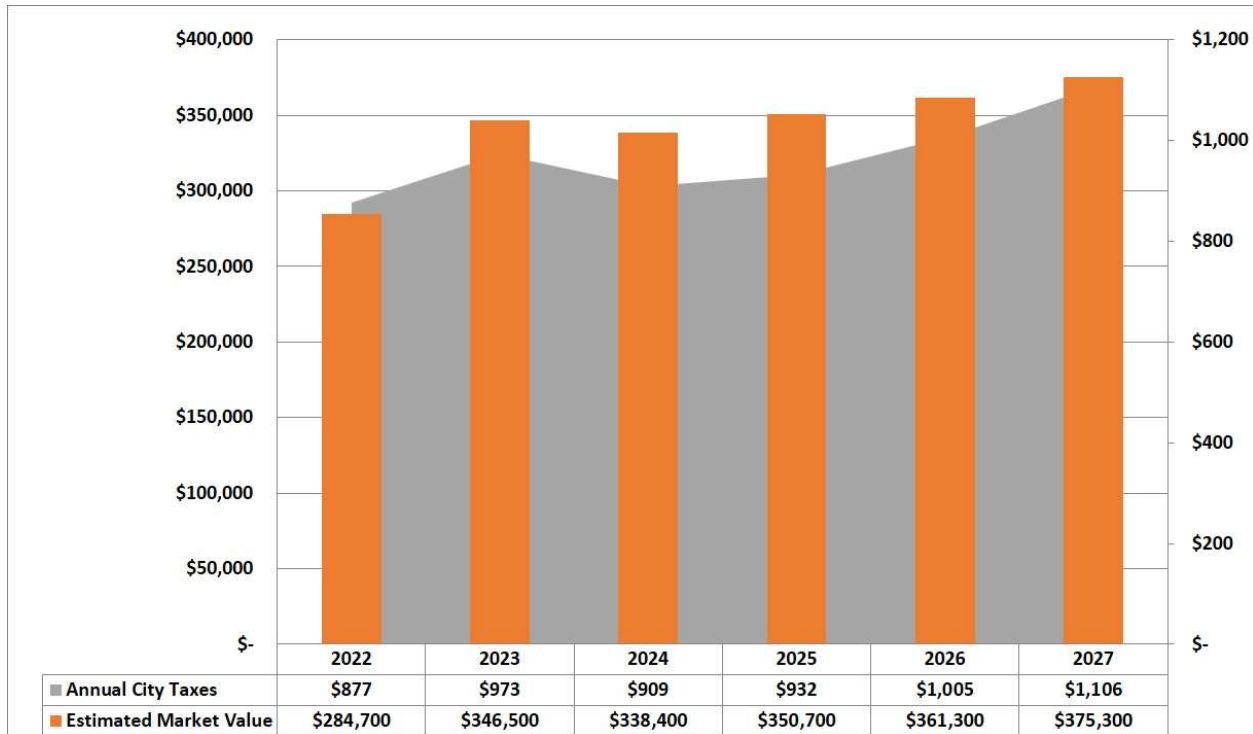
The tax levy and market value estimates are expected to have an impact on the city's tax rate, slightly increasing from 28.94 percent to an estimated 30.49 percent. This calculation will change, as the city received updates valuation numbers and the fiscal disparities distribution amount.



*2027 estimate will be adjusted as market values and budget information is updated

Median Value Home

The value of the median value home has increased from \$361,300 to \$375,300 over the past year. This is an increase of \$14,000 (3.9%). The following chart provides information on the median value home and city property taxes paid since 2021. The orange bar and amounts on the left axis represent the median value home.



As the budget stands currently, for the median value home this equates to an increase of \$101 or (10.0 percent) annually in property taxes. Absent any change in value, homeowners can expect a tax increase of \$54 or about 5.4 percent (taking into consideration the proposed tax rate).

Enterprise Funds

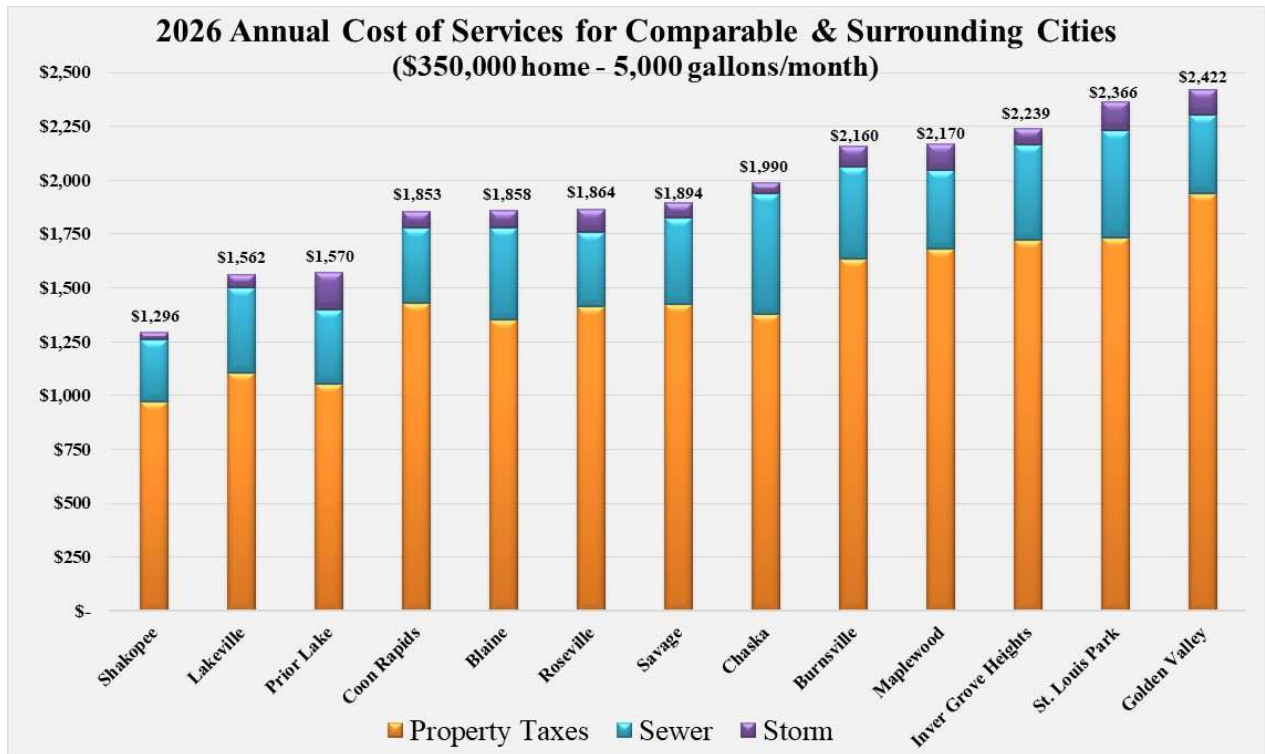
The city operates two public utility funds Sewer and Surface Water. These funds operate on their own ability to generate revenues and receive no property tax support. The Sewer fund provides for the collection and conveyance of wastewater through a system of mains and lift stations. Sewage is treated by the Metropolitan Council Environmental Services, whose contracted services account for approximately 80 percent of the fund's operating expenditures.

The Surface Water fund maintains the surface water system for the city, which includes 140 miles of storm sewer and 224 ponds.

The City's sewer billings include a city usage rate, a city fixed rate, and Metropolitan Council disposal rate. The surface water charge is based on acreage with residential paying a monthly charge equivalent to 1/3 of an acre. Staff will be proposing rate increases, in the range of one to three percent) for each fund to keep pace with operational costs and maintain the current

balances of those funds. For a typical residential user, this would amount to approximately \$14.40 annually for sewer charges and \$1 annually in surface water charges.

Shakopee is below comparable and surrounding cities when it comes to a cost comparison of city property taxes, sanitary sewer and storm water charges. The following chart provides the 2026 annual cost of services for a \$350,000 value home (slightly below the median value home in Shakopee) and 5,000 gallons of water usage a month. A \$350,000 home in Shakopee saw a decrease from the previous year as a result of the expanded market value exclusion and minimal tax rate, sewer and storm fee adjustments.



Schedule for budget and property tax levy development

Date	Who	What
May 19, 2026	Council/Staff	Review Long-term Financial Plan
August 4, 2026	Staff/Public	Public Input Meeting
August 4, 2026	Council/Staff	Review Preliminary Capital Improvement Plan (CIP)
August 18, 2026	Council/Staff	2027 Budget Overview
September 1, 2026	Council/Staff	Review proposed levy, initiatives, and requests
September 15, 2026	Council	Adopt proposed maximum tax levy for City and Final EDA tax levy.
September 30, 2026	Staff	Certify maximum tax levy to the County which will be used for proposed property tax notices
October 20, 2026	Council	Adopt final 2027-2031 CIP
Mid-November	County	Proposed tax notices sent to owners
December 1, 2026	Council	Hold public meeting to discuss levy and budget.
December 15, 2026	Council	Adopt final tax levy and budget
December 31, 2026	Staff	Certify final tax levy and budget to County and State

2027 Budget Overview

City Council Work Session

August 18, 2026



INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov

2027 Financial Objectives

- City Council
 - Low taxes/stable tax rate
 - Increase tax capacity
- Administration
 - True fiscal transparency
 - Long-term perspective

Your City of Shakopee Property Tax Receipt	
General Government	\$177.12
Mayor & Council	\$6.28
Administration	\$26.74
Human Resources	\$23.26
Communications	\$11.99
Information Technology	\$20.79
City Clerk/Elections	\$11.01
Finance	\$26.72
Facility Maintenance	\$14.21
Library Building	\$6.75

View your City tax receipt

See an itemized breakdown of how the City uses your property taxes.

How much do I pay for City services?

See your City property taxes broken down.

HOW SHAKOPEE TAXES STACK UP: 2026 CITY VALUE REPORT



Prepared by the City of Shakopee Finance Department

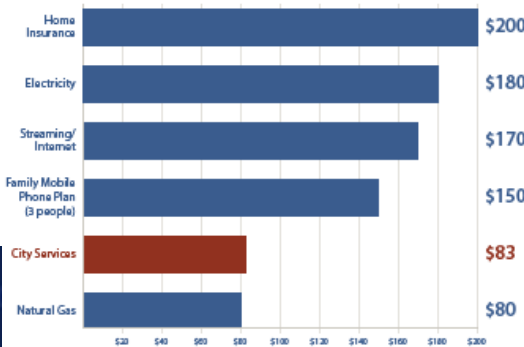
2026 Budget Fast Facts

- The City of Shakopee's tax rate is the 4th lowest out of 32 cities in the metro with a population between 25,000 and 100,000
- The median value home increased from \$350,700 to \$361,300, and will pay approximately \$996 annually in city property taxes, an increase of \$63 from 2025
- The City of Shakopee's share of property taxes is just 27.7% of a homeowner's total property tax bill
- Approximately 45 cents of every \$1 in city property taxes is paid by commercial and industrial properties
- Property taxes help fund the maintenance and snow removal of 178 miles of local roads—the distance from Shakopee to Duluth—85 miles of trail, 783 park acres, 94 sports fields, and 30 playgrounds

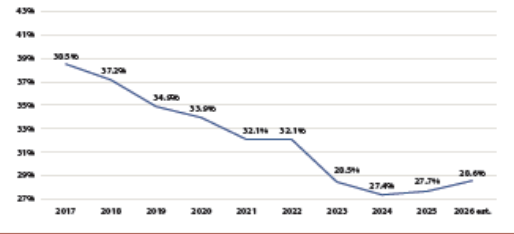
MONTHLY COST COMPARISON

The 2026 estimated property tax cost of City services (public safety, public works, parks and recreation programs, general government, infrastructure and debt service, and more) for the median valued home (\$361,300), is \$82.96 per month. The graphic compares that cost to estimated common monthly household costs.

ESTIMATED COMMON MONTHLY HOUSEHOLD COSTS



HISTORIC CITY TAX RATES



ANNUAL COST OF SERVICES

Total annual cost of City services in 2025 on a \$350,000 home including City property taxes, sewer, and storm drainage.

COMPARABLE & SURROUNDING CITIES	ANNUAL TOTAL COST Property Taxes, Sewer, Storm Water
Golden Valley	\$2,394
St. Louis Park	\$2,280
Inver Grove Heights	\$2,189
Maplewood	\$2,093
Burnsville	\$2,023
Chaska	\$1,863
Savage	\$1,823
Roseville	\$1,798
Blaine	\$1,717
Coon Rapids	\$1,731
Lakeville	\$1,540
Prior Lake	\$1,509
SHAKOPEE	\$1,246 (2025) \$1,287 (2026 est.)

\$43,007,210

Adopted 2026 General Fund Operating Budget

Where the General Fund dollars go...



CHECK OUT OUR TAX RECEIPT TOOL!

See an itemized breakdown of how the City uses your property taxes



Shakopee Sustainable Cycle of City Government



City of Shakopee
Levy Analysis
August 10, 2026

	2026 Final	2027 Final	Increase/ (Decrease)	% Levy Impact
City Levy				
General Fund				
Operations (excluding Fire)	\$ 24,405,480	\$ 25,518,190	\$ 1,112,710	3.94%
Fire Department	-	983,830	983,830	3.49%
Abatements	120,000	120,000	-	0.00%
Capital Improvement Levy	1,500,000	1,500,000	-	0.00%
Debt Service				
2016 Abatement	2,189,000	2,189,000	-	0.00%
2022A Improvement	-	344,360	344,360	1.22%
Total Debt Service	2,189,000	2,533,360	344,360	1.22%
Total City Levy	\$ 28,214,480	\$ 30,655,380	\$ 2,440,900	8.65%
Shakopee EDA Special Levy	\$ 550,000	\$ 550,000	\$ -	0.00%
Total City and EDA Levies	\$ 28,764,480	\$ 31,205,380	\$ 2,440,900	8.49%

Transformation of Fire & Emergency Services

- 24/7/365 Coverage
 - Fully staffed coverage of two fire stations, increase response capacity and reducing response times
- Leverage of Federal Staffing for Adequate Fire and Emergency Response Grant Award (SAFER)
 - \$2.63 million in federal support over 3 years to onboard 12 full-time firefighters
- Command & Control
 - Established Battalion Chief and Captain structures to enhance operational safety, scene management and oversight.



Fire Department

Fire Department Changes				
Description	2026 Budget	2027 Budget	Change	Levy Impact
Revenues				
Fire Inspections/Plan Review	75,500	80,000	4,500	
SAFER	-	1,067,000	1,067,000	
State Aid - Fire	390,000	460,000	70,000	
Townships Contracts	315,200	327,300	12,100	
Other	30,430	34,000	3,570	
Total Revenues	811,130	1,968,300	1,157,170	
Expenses				
Full-time Wages	1,643,400	3,204,700	1,561,300	
Part-time wages	503,600	192,800	(310,800)	
Overtime	138,600	175,000	36,400	
Benefits	857,800	1,492,500	634,700	
Supplies/Services	1,704,300	1,798,700	94,400	
Battalion Chief vehicle	-	125,000	125,000	
Total Expenses	4,847,700	6,988,700	2,141,000	
Net Increase			983,830	3.49%



INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov

Debt Service Levy

- 2016 Abatement Bonds – issued for the Community Center/Ice Arena
 - \$2,189,000 (no change)
- 2022A Improvement Bond – issued for street reconstruction projects
 - \$344,360 (\$344,360 increase)



General Fund (excluding Fire)

- Total net adjustments in comparison to the 2026 Budget, excluding Fire

Description	Amount	Levy Impact
Revenues (increase)	\$ 343,300	
Transfers from other funds (decrease)	(150,000)	
Less Expenditures:		
Wages & benefits	562,600	
Operating expenses	450,310	
Internal rent changes	68,500	
One-time adjustments	224,600	
Change in property tax levy	\$1,112,710	3.94%

Preliminary Revenue Changes (excluding Fire)

- Revenue forecasts (net increase of \$343,300, excluding property taxes)

Description	Change
Rental housing	\$180,000
Right of way permits (offset with contracted services)	150,000
Interest income (General fund)	100,000
Engineering fees (offset with contracted services)	90,000
Shakopee Public Utilities pilot fee	65,000
Restaurant lease (<u>SandVenture</u>)	42,000
Grade fees (offset with contracted services)	40,000
Municipal State Aid (MSA) maintenance funds	34,000
Other (net adjustments)	44,300
Restaurant licenses and inspections (offset with inspector wages and benefits)	(122,000)
Building permit revenues	(280,000)
Change in Revenues	\$343,300

Preliminary Revenue Changes

- Transfers from other city funds (covers General Fund operating costs)

Description	2026	2027	Change
Public safety fund (patrol officer reimbursement)	\$100,000	\$ -	\$(100,000)
Self-insurance fund	350,000	300,000	(50,000)
Sewer/storm water (allocation of admin overhead)	400,000	400,000	-
EDA (allocation of admin overhead)	50,000	50,000	-
Change in transfers			\$(150,000)

Preliminary Expenditure Changes (excluding Fire)

- Change in wages and benefits (\$562,600), no new positions included in current budget.

Description	Change
Cost of living adjustment – 3%	\$574,690
Health Insurance – 16.3% estimate	328,090
Recreation part-time	70,340
Sergeants (market rate adjustment)	47,000
Other (step changes, benefit election changes, etc)	(81,820)
Election judges (non-election year)	(94,120)
Health inspector	(120,900)
<u>Workers</u> compensation – reduced rates	(160,680)
Change in wages & benefits	\$562,600

Preliminary Expenditure Changes (excluding fire)

- Change in operational expenditures (\$450,310)

Description	Change
ROW – professional services	\$150,000
Engineering – professional services	100,000
Software	72,290
Property insurance	34,800
Street – <u>street light</u> replacements, signs & striping	30,000
Utilities (electric/water/gas)	28,900
Community Center/Ice Arena RTU Maintenance	20,000
Other (net)	149,420
Removal of prior year additional contingency	(135,100)
Change in operational expenses	\$450,310

Preliminary Expenditure Changes (excluding fire)

- Rent Charges (\$68,500)
- Increases a result of inflationary costs, new equipment and parks.

Description	Change	Fire Allocation	Net
Equipment Rent	\$40,000	\$32,800	\$7,200
Building Rent	27,600	4,500	23,100
Park Facilities Rent	50,000	0	50,000
Information Technology Rent	9,100	20,900	(11,800)
Change in internal rent charges	\$126,700	\$58,200	\$68,500

Additional Requests for Consideration

The following additional item has not been included in the 2027 Preliminary Budget, but is being presented for City Council consideration

- Shakopee has added considerable lane miles, new subdivisions, trail segments, municipal facilities and expanded utility infrastructure. This position would assist with maintaining streets, utilities, parks, stormwater systems and public facilities.

Description	Amount
Full-time Public Works employee	\$104,500

Note: The position would be split with the sanitary and sewer utilities, limiting the property levy change to 50% of the full cost.



EDA

- EDA levy is limited to 0.0185% of city's estimated market value
 - 2027 maximum = \$1,598,946
 - Applies to all taxable properties, including tax abatement and tax increment properties
 - Identified separately on property tax statements
- Proposed 2027 EDA Levy of \$550,000 (no change)



Taxable Market Value

Class	Payable 2026	Payable 2027	Change (%)
Agricultural	\$54,847,313	\$36,786,775	-32.9%
Apartment	846,047,588	873,902,500	3.3%
Commercial	762,240,300	779,696,400	2.3%
Industrial	1,787,901,500	1,799,528,600	0.7%
Public Utility/Railroad	38,764,100	38,714,700	-0.1%
Residential	5,149,301,046	5,443,178,758	5.7%
Other	<u>3,849,600</u>	<u>4,014,400</u>	<u>4.3%</u>
Totals	\$8,642,951,447	\$8,975,822,133	3.9%

New construction accounts for 43.3% of the increase

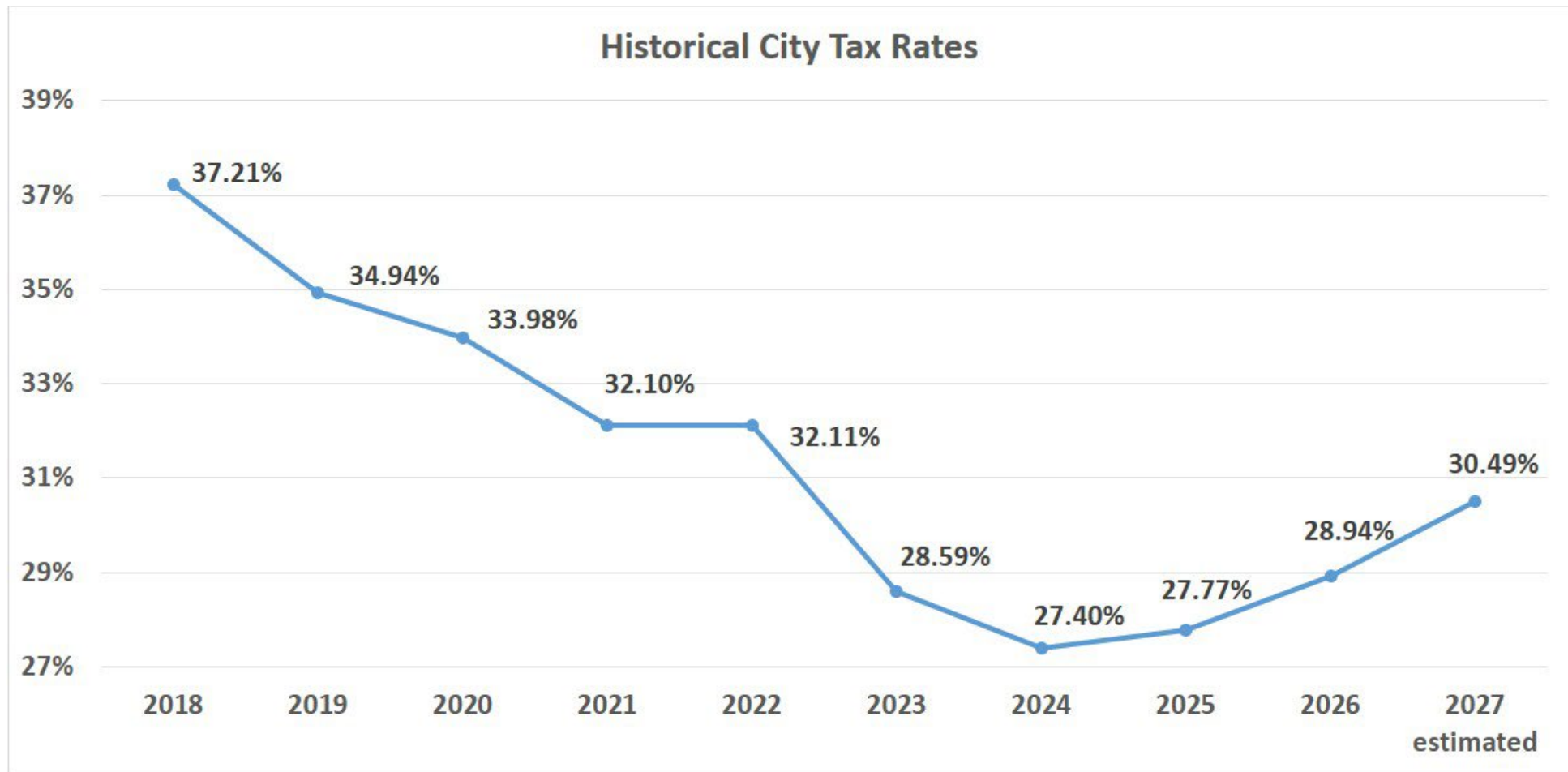
Residential Market Value

- Average value change (excluding new construction) was 5.7%

Residential Impacts - Shakopee		
% EMV Value Range Inc/Dec	# of affected Properties	% of Total
+15.01+%	191	1%
+10.01-15.00%	18	0%
+5.01-10.00%	640	5%
+0.01-5.00%	8,347	62%
No Change	143	1%
-0.01-5.00%	4,015	30%
-5.01 - 10.00%	50	0%
-10.00 - 15.00%	24	0%
-15.01% +	5	0%
	13,433	100%



INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov

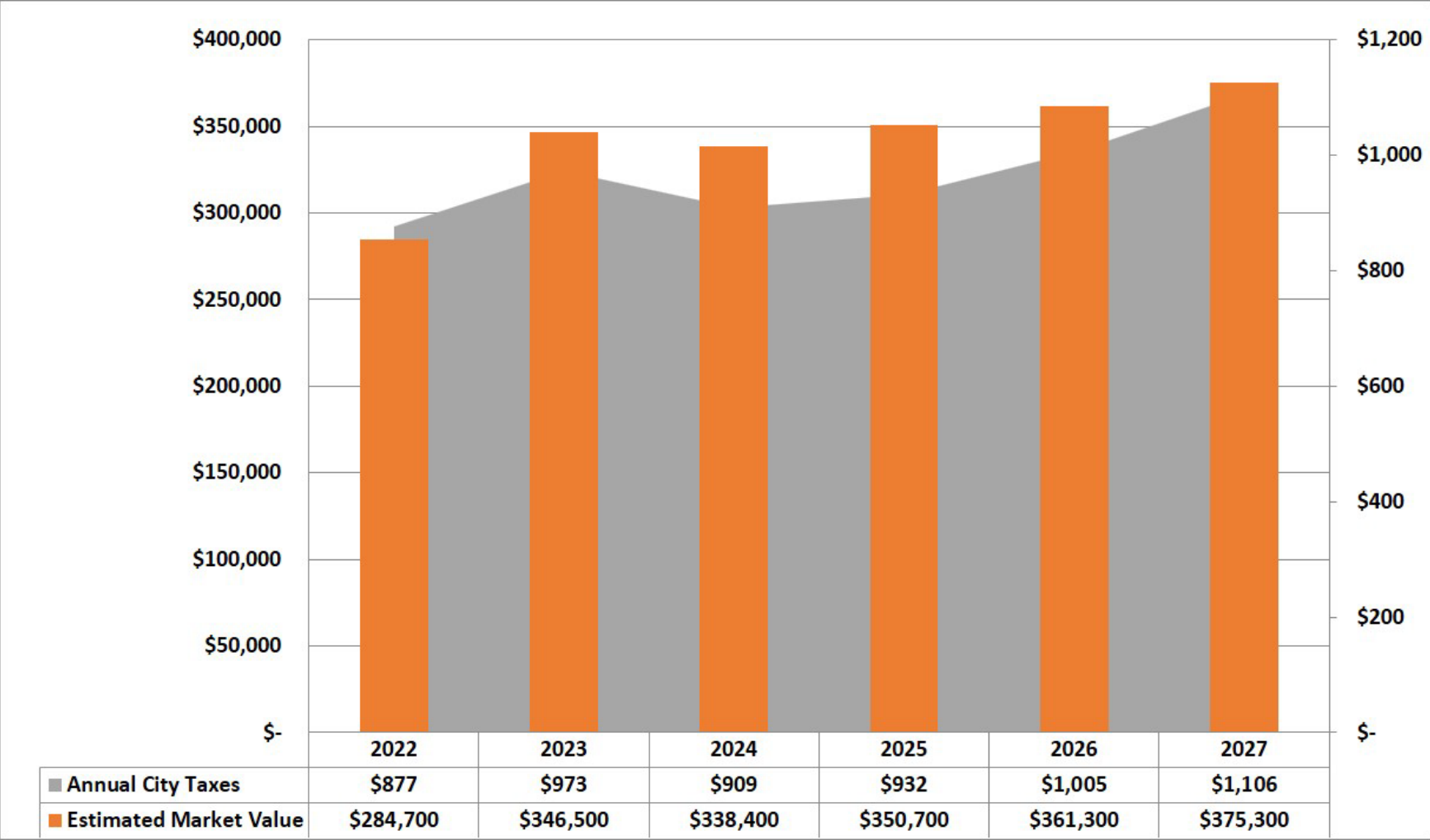


*2027 estimated tax rate will change with assessed value adjustments and budget changes

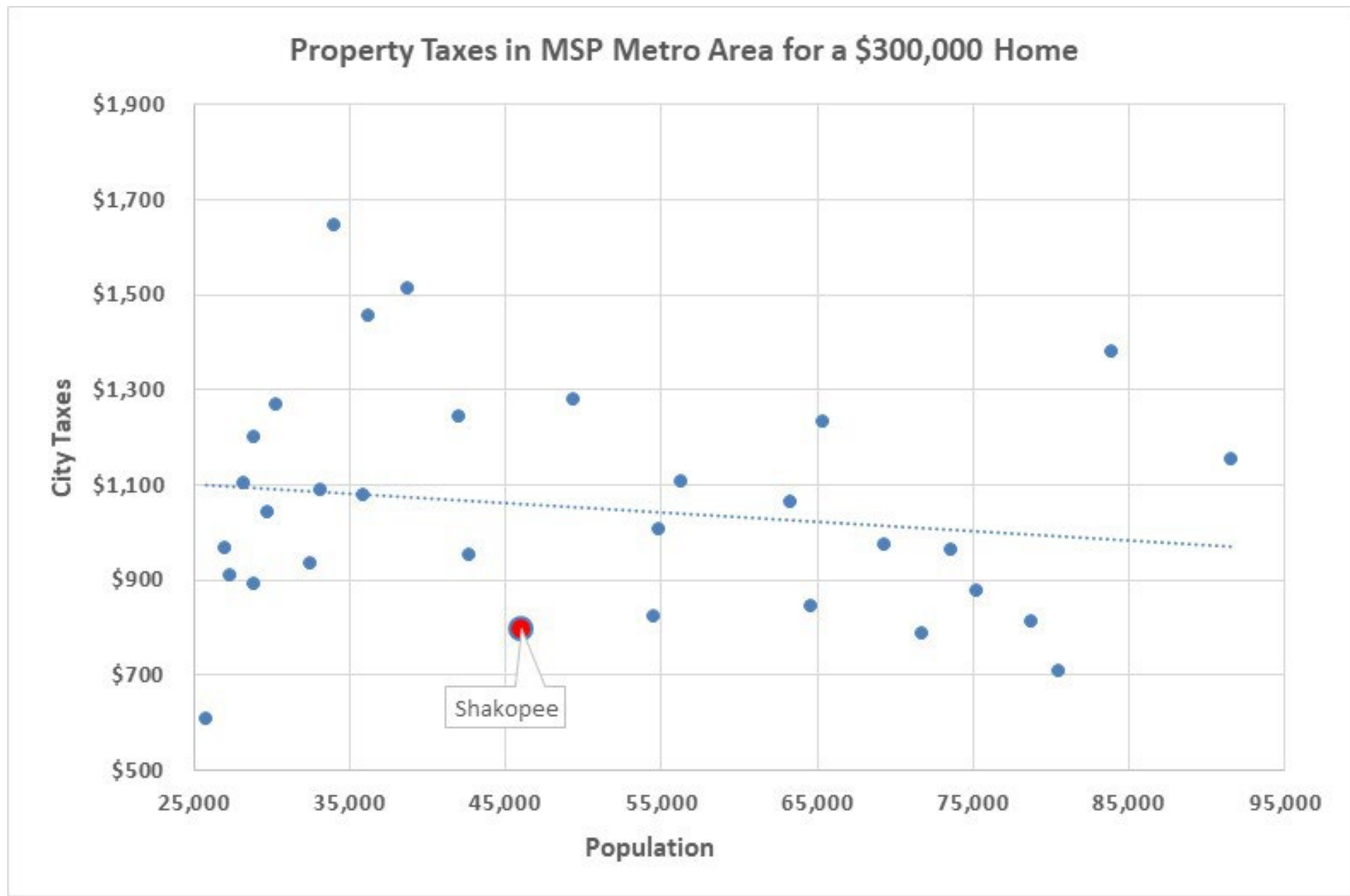


INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov

Median Value Home

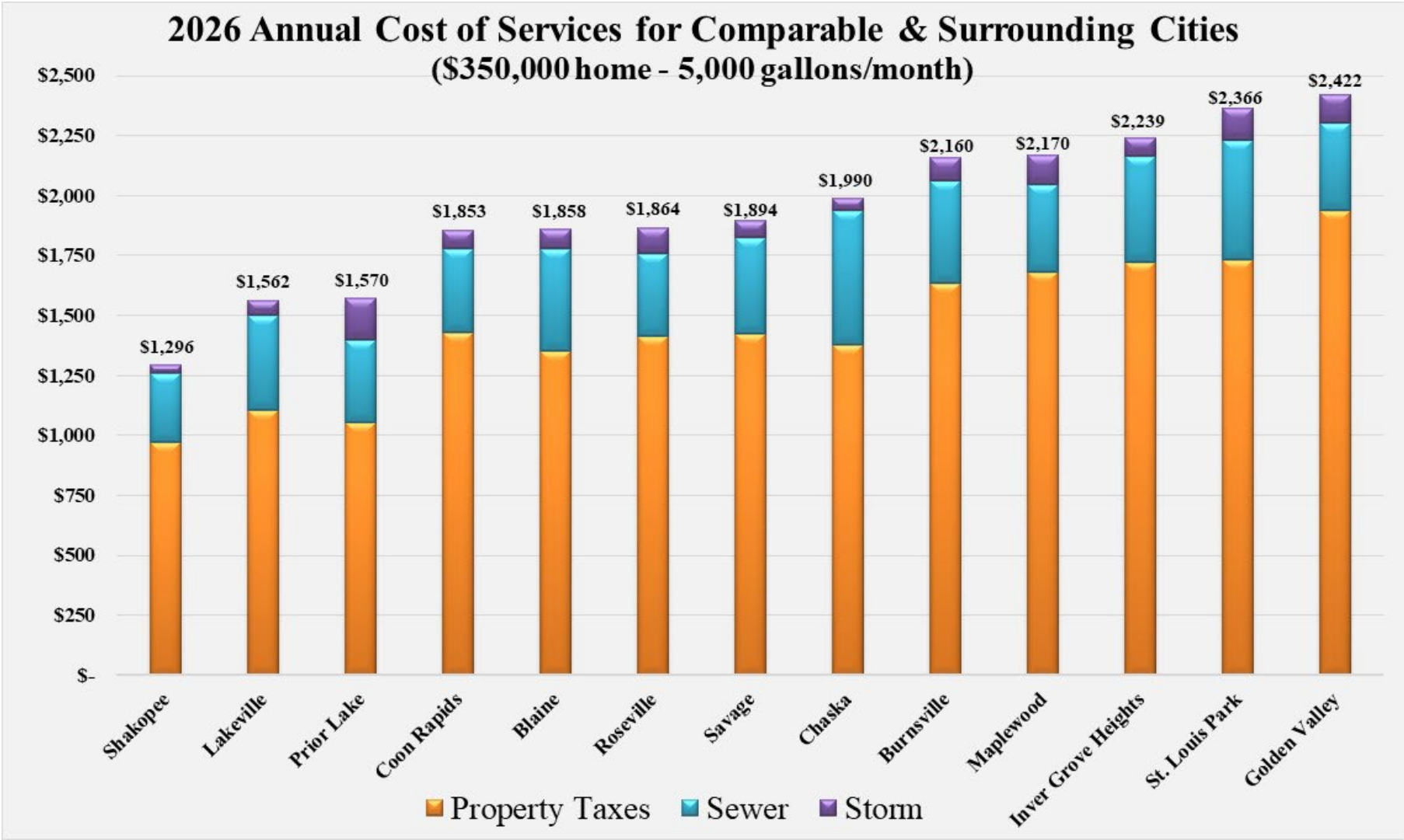


INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov



INNOVATING. ENTERTAINING. THRIVING.
City of Shakopee | 485 Gorman St., Shakopee MN 55379
952-233-9300 | www.ShakopeeMN.gov

Cities in the metro with population between 25,000 and 100,000,
based on 2024 property taxes.



Budget Calendar

Date	Who	What
May 19, 2026	Council/Staff	Review Longterm Financial Plan
August 4, 2026	Public/Staff	Budget Listening Session
August 4, 2026	Council/Staff	Review Preliminary Capital Improvement Plan (CIP)
August 18, 2026 / September 1, 2026 (as necessary)	Council/Staff	Review proposed levy, initiatives and requests
September 15, 2026	Council	Adopt proposed maximum tax levy for City and EDA.
September 30, 2026	Staff	Certify maximum tax levy to the County which will be used for proposed property tax notices
October 20, 2026	Council	Adopt final 20272031 CIP
Mid-November	County	Proposed tax notices sent to owners
November	Council/Staff	Work session to review budget document
December 1, 2026	Council	Hold public meeting to discuss levy and budget. Review and approve utility rates for 2027.
December 15, 2026	Council	Adopt final tax levy and budget
December 31, 2026	Staff	Certify final tax levy and budget to County and State

Council Consideration Items

- Input on the 2027 preliminary levy and budget





Shakopee City Council
August 18, 2026

9.a

Agenda Item: City Bill List
Prepared by: Becky Smith, Accounting Specialist
Reviewed by:

Action to be considered:

Review of City Bill List

Motion Type:

Informational only

Background:

The City Bill has been provided to the City Council.

Recommendation:

Review of City Bill List

Budget Impact:

N/A

Attachments:



Shakopee City Council

August 18, 2026

9.b

Agenda Item: News and Announcements
Prepared by: Rick Parsons
Reviewed by:

Action to be considered:

No action, item is informational only.

Motion Type:

Informational only

Background:

Announcements and Upcoming Events:

- Huber Park Movie Night

- The Shakopee Parks and Recreation Department hosts three free movie nights in Huber Park in late summer and early fall. The next movie is scheduled for Saturday, August 22. Movies begin at dusk. Movie nights are free and do not require registration. Bring a chair, blanket, snacks, and enjoy!

- Community Center Annual Maintenance

- The Community Center will be closed for its annual maintenance week August 24-30. During this time the community center will be receiving and installing new weight equipment and deep cleaning the pool and facility. The ice arena will be open normal hours during maintenance week.

Recommendation:

Please review the information on upcoming news and announcements.

Budget Impact:

N/A.

Attachments: