



Shakopee Board of Adjustment and Appeals Regular Meeting

Thursday, July 9, 2026

7:00 PM

City Hall, 485 Gorman Street

Vision: Shakopee is a distinctive river town with a variety of business, cultural, and recreational opportunities in a safe, welcoming, and attractive environment. Our vision is for Shakopee to continue being the place people want to live, work, and play!

Mission: Our mission is to deliver high quality services essential to maintaining a safe and sustainable community. We commit to doing this cost-effectively, with integrity and transparency.

1. Roll Call
2. Approval of Agenda
3. Recognition by Board of Adjustment and Appeals of Interested Citizens
4. Consent Agenda

These items are considered routine and will be enacted by one motion. There will be no separate discussion of these unless a Commissioner or staff requests, in which event the item will be removed from the consent agenda for separate discussion & action.

 - 4.a [Approval of BOAA Minutes for June 4, 2026](#)
5. General Business
 - 5.a [PUBLIC HEARING – Conditional Use Permit to allow a Water Booster Station at Lot 11, Block 5, \(2704 Blue Spruce Drive\) in Arbor Bluff 3rd Addition](#)
6. Other Business
7. Adjournment

If a commissioner has any comments, concerns or questions, he or she should contact the staff project manager prior to the scheduled meeting date. Also, if a commissioner is unable to attend the meeting for any reason, Please call the Department of Planning and Development at (952)233-9300 as soon as possible. Thank you!



**Shakopee Board of
Adjustment and Appeals
July 9, 2026**

4.a

Agenda Item: Approval of BOAA Minutes for June 4, 2026
Prepared by: Rick Parsons
Reviewed by:

Action to be considered:
Approve the June 4, 2026, BOAA minutes.

Motion Type:
Simple Majority

Background:
The June 4, 2026, BOAA minutes are ready for review and approval.

Recommendation:
Approve the June 4, 2026, BOAA minutes.

Budget Impact:
N/A

Attachments:
[BOAA Minutes 06/04/2026](#)

**CITY OF SHAKOPEE
BOARD OF ADJUSTMENT AND APPEALS
MEETING MINUTES
JUNE 4, 2026**

1. ROLL CALL

Chair Reding called the meeting of the Shakopee Board of Adjustment and Appeals to order.

Present: Commissioners Weiler, Sandu, Reding, Vander Veen, Robbins and Forsythe

Absent: Commissioner Cherus.

City Staff Present: Michael Kerski, Director of Planning and Development

2. APPROVAL OF THE AGENDA

Commissioner Forsythe made a motion to approve the agenda as submitted. Commissioner Weiler seconded the motion.

Motion carried unanimously.

3. RECOGNITION OF INTERESTED CITIZENS

Chair Reding asked whether any members of the public wished to address the Board regarding an item not on the agenda.

No one appeared.

4. CONSENT AGENDA

4.A. Approval of May 7, 2026 Meeting Minutes

Chair Reding noted a correction to the spelling of her first name in the minutes.

Commissioner Sandu made a motion to approve May 7, 2026 Board of Adjustment and Appeals meeting minutes as corrected. Commissioner Forsythe seconded the motion.

Motion carried, with Robbins abstaining.

5. GENERAL BUSINESS

5.A. Appeal of Staff Decision Denying a Home Occupation Permit for Dog and Small Animal Daycare and Boarding at 1424 Primrose Lane

Commissioner Robbins made a motion to open the public hearing. Commissioner Forsythe seconded the motion.

Motion carried unanimously.

Director of Planning and Development Michael Kerski presented the staff report regarding an appeal of the staff decision denying a home occupation permit for dog and small animal daycare and boarding at 1424 Primrose Lane.

The applicant requested approval to operate Barks Belly Rubs and Beyond Pet Sitting from the residence and to provide daycare and boarding services for up to four dogs not owned by the property owner, in addition to small animals. The applicant owns two dogs.

Staff notified property owners within 500 feet of the property as part of the administrative review process. Staff received four emails and one telephone call opposing the request. Concerns included noise and barking, odor, safety, traffic, the operation of a commercial business in a residential neighborhood, and the potential need for neighbors to report violations to ensure compliance with City standards.

Staff denied the home occupation permit, and the applicant appealed the decision pursuant to City Code.

Staff explained that the City Council amended the zoning ordinance in October 2025 to allow the boarding and daycare of up to four dogs not owned by the resident for up to 180 calendar days per year with an approved home occupation permit. Staff stated that home occupations are privileges rather than uses permitted by right and that neighborhood input is an important component of the administrative review process.

The Board discussed the basis for the staff denial, the role of neighborhood comments in evaluating home occupation applications, the absence of a specific numerical threshold of objections requiring denial, and the ability of affected parties to appeal the Board's decision to the City Council.

Gary Youngs, a Shakopee resident and customer of the applicant, spoke in support of the appeal. Mr. Youngs stated that he had used the applicant's services several times and had not observed unsanitary conditions, odors, excessive traffic, excessive numbers of animals, or prolonged barking. He stated that the applicant had previously declined to accept his dogs when she believed she had reached an appropriate capacity.

Allison Newter, the applicant and owner of Barks Belly Rubs and Beyond Pet Sitting, addressed the Board. She stated that she appealed the staff decision because she believed the concerns submitted by neighboring property owners had not been discussed with her prior to denial of the permit.

The applicant stated that she had operated the business since March 2025 and had not received verified complaints regarding the operation. She described her procedures for supervising animals, controlling barking, monitoring the backyard with cameras, conducting meet-and-greet evaluations and trial stays, separating animals when necessary, declining animals that are not appropriate for the home environment, and limiting the number of animals based upon her ability to safely supervise them.

The applicant stated that she typically boards one or two dogs at a time, with higher demand during holidays and school breaks. She also described her procedures for exercising animals, walking dogs, managing conflicts between animals, and responding to behavioral concerns.

The Board discussed the applicant's operating history, the absence of documented enforcement actions or verified complaints, the applicant's procedures for mitigating potential impacts, and the role of neighborhood opposition in the home occupation review process.

Commissioner Robbins made a motion to close the public hearing. Commissioner Forsythe seconded the motion.

Motion carried unanimously.

The Board discussed the merits of the appeal. Commissioners noted that the applicant had operated for more than one year without documented enforcement issues, had established procedures to address noise and animal behavior, and had demonstrated a willingness to decline animals that were not appropriate for the business.

Commissioners also discussed the City's home occupation review process and the importance of neighborhood input. Staff explained that if future verified complaints demonstrated that the operation had become a nuisance or violated City requirements, the home occupation permit could be subject to enforcement and revocation proceedings.

Commissioner Robbins made a motion to reverse the decision of staff, grant the appeal, and approve the home occupation permit for dog and small animal daycare and boarding at 1424 Primrose Lane. Commissioner Forsythe seconded the motion.

Motion carried 6-0 in a roll call vote.

5.B. Conditional Use Permit for Exterior Storage at 4500 Valley Industrial Boulevard South – Resolution No. PC2026-014

Commissioner Robbins made a motion to open the public hearing. Commissioner Sandu seconded the motion.

Motion carried unanimously.

Director Kerski presented the application of Pat Mason, Ames Asset Management, on behalf of 4500 Valley Green LLC and Associated Mechanical Contractors, requesting approval of a Conditional Use Permit to allow exterior storage at 4500 Valley Industrial Boulevard South.

The approximately six-acre property is located in the I-2 Heavy Industry Zoning District and contains an approximately 55,000-square-foot building. The applicant proposed renovations to the building for office, warehouse, fabrication, mechanical, and plumbing operations.

The applicant proposed expanding parking areas and improving approximately two acres south of the building for exterior storage of vehicles, motorized equipment, and mechanical and plumbing construction materials. A portion of the site would contain a crushed granite surface for tracked construction equipment.

Staff stated that the request complied with applicable City Code requirements for exterior storage and recommended approval of Resolution No. PC2026-014 subject to the conditions identified in the staff report.

No members of the public spoke regarding the application.

Commissioner Robbins made a motion to close the public hearing. Commissioner Vander Veen seconded the motion.

Motion carried unanimously.

Commissioner Vander Veen made a motion to approve Resolution No. PC2026-014, approving a Conditional Use Permit for exterior storage at 4500 Valley Industrial Boulevard South subject to the conditions contained in the resolution. Commissioner Forsythe seconded the motion.

Motion carried 6-0 in a roll call vote.

5.C. Conditional Use Permit for Telecommunications Tower at 7700 County Road 101 East – Resolution No. PC2026-015

Commissioner Forsythe recused himself from consideration of the application due to a potential conflict of interest and left the meeting room.

Commissioner Sandu made a motion to open the public hearing. Commissioner Robbins seconded the motion.

Motion carried unanimously.

Director Kerski presented the application of Buell Consulting, on behalf of The Towers LLC, requesting approval of a Conditional Use Permit to construct a commercial wireless telecommunications tower at 7700 County Road 101 East.

The applicant proposed a 105-foot monopole telecommunications tower with a 10-foot lightning rod, for a total height of 115 feet. The proposed tower and equipment would be located within a 60-foot by 40-foot leased area on the approximately 14.64-acre property.

Verizon Wireless was identified as the initial carrier. The tower was designed to accommodate additional wireless carriers in the future.

Staff stated that the applicant had determined that the proposed equipment could not be accommodated on an existing tower or building within one-half mile of the site. Staff found that the request complied with City Code requirements and the criteria for approval of a Conditional Use Permit.

Justin Gartner, representing The Towers LLC, addressed the Board and stated that the company owns telecommunications infrastructure and leases space to wireless carriers. He stated that construction was anticipated in 2027, although the project schedule could be accelerated depending upon the priorities of the tower company and wireless carriers.

Commissioner Vander Veen made a motion to close the public hearing. Commissioner Wieler seconded the motion.

Motion carried unanimously.

Commissioner Robbins made a motion to approve Resolution No. PC2026-015, approving a Conditional Use Permit for a telecommunications tower at 7700 County Road 101 East subject to the conditions contained in the resolution. Commissioner Wieler seconded the motion.

Motion carried 5-0 by roll call..

Commissioner Forsythe returned to the meeting.

5.D. Conditional Use Permit for Vehicle Repair at 5515 Maris Street

Commissioner Robbins made a motion to open the public hearing. Commissioner Sandu seconded the motion.

Motion carried unanimously.

Director Kerski presented the application of Royal Imports for a Conditional Use Permit to operate a vehicle repair business at 5515 Maris Street.

The property is approximately 22.86 acres and is located in the I-1 Light Industry Zoning District and the Mixed-Use Employment Center land use designation. Royal Imports proposed relocating its business from Cannon Falls to Shakopee.

The applicant proposed providing vehicle repair services including fluid changes, tire mounting and dismounting, powertrain repair and replacement, internal component repair and replacement, and suspension repair and replacement. Bodywork and painting were not proposed.

Staff reviewed the history of the property, the proposed business operations, and the applicable Conditional Use Permit criteria.

Following the public hearing and Board discussion, the Board considered the resolution approving the Conditional Use Permit subject to the conditions contained in the resolution.

Commissioner Forsythe made a motion to adopt the resolution approving the Conditional Use Permit. Commissioner Robbins seconded the motion.

Motion carried 6-0 by roll call.

6. OTHER BUSINESS

There was no other business.

7. ADJOURNMENT

Commissioner Robbins made a motion to adjourn the meeting to July 9, 2026, at 7:00 p.m. Commissioner Sandu seconded the motion.

Motion carried unanimously.

The meeting was adjourned at 8:03.



**Shakopee Board of
Adjustment and Appeals
July 9, 2026**

5.a

Agenda Item: PUBLIC HEARING – Conditional Use Permit to allow a Water Booster Station at Lot 11, Block 5, (2704 Blue Spruce Drive) in Arbor Bluff 3rd Addition

Prepared by: Mark Noble, Senior Planner

Reviewed by: Michael Kerski, Director of Planning and Development

Action to be considered:

Approve Resolution PC2026-018 as presented.

Motion Type:

Simple Majority

Background:

The Shakopee Public Utilities (SPU) is requesting approval for construction of a fully developed site consisting of a Water Booster Station to serve water users in the Second High Elevation Service (2-HES) District. The site is located at the 2704 Blue Spruce Drive (southwest corner of Blue Spruce Drive and Wood Duck Lane). The property's legal description is Lot 11, Block 5, Arbor Bluff 3rd Addition.

The property will include a potable water booster station owned and operated by the Shakopee Public Utilities. Booster station influent water will be sourced from the 1st High Elevation Service (HES) pressure zone and will serve properties located within the 2nd HES water pressure zone. The booster station is a required condition of the Arbor Bluff 3rd Addition. The facility permit application requires a conditional use permit (CUP) for a municipal utility structure.

Construction of the Booster Station will provide water service for the phases of the Arbor Bluff Development currently planned for construction within the 2-HES District and will serve as a redundant water supply to the existing properties within the 2-HES District. The 2-HES District to be served by the Arbor Bluff Booster station is currently served by the existing Valley Creek Crossing Booster Station. Lennar is currently constructing homes in the 1-HES District and has obtained City approvals for continuing development of lots in the Arbor Bluff 3rd Addition.

The facility proposed for the Arbor Bluff Booster Station site is typical of booster station buildings that SPU operates throughout the City. SPU staff has coordinated with Lennar

and the City to design a structure with residential appearance using a “Cottage-inspired, with elements of Craftsman” architectural theme and building façade materials that complement the design theme and architecture of the adjacent residential properties. The operational purpose of the Booster Station facility is to provide water service with adequate pressures and flow rates, as reported by the SPU water distribution system model’s maximum day water demand and maximum day fire flow scenarios under ultimate distribution system build-out conditions, to residents and potential businesses in the 2-HES District.

The facility will include an onsite standby generator required to maintain continued water service within the 2-HES District. The generator location will be outside to the rear of the facility. Contingencies for noise mitigation will include generator enclosure soundproofing and noise wall installation around the generator, sized appropriately for operation and maintenance clearance. A noise study will be conducted to establish the noise wall design conditions.

Exterior structure lighting will be installed for facility security. Wall mounted and possibly pole mounted “down light” fixtures will minimize the light distribution scatter into the neighborhood. The fixtures will be similar to the lighting implemented at the Windermere and Riverview booster stations.

The land within the Arbor Bluff 3rd Addition consisted of farmland prior to developer acquisition. The developer will regrade, seed and mulch the booster station lot in preparation of lot development. There are no trees to be replaced, however a landscape plan was submitted that complies with the plat’s approved plan and will enhance building aesthetics. Front and side-yard landscape beds and sodded turf adjacent to the structure will be irrigated, and the backyard toward the wetland buffer will be planted with a low maintenance fescue and will not include irrigation. The entire turf area will be scheduled for mowing.

The site land use is included in the stormwater management plan prepared for the Arbor Bluff 3rd Addition Development plats. The ponds and infiltration basins per City requirements were designed by Pioneer Engineering.

The Arbor Bluff Booster Station is scheduled to begin in the fall of 2026 and be completed in the summer of 2027.

Findings

Section 151.011 (Conditional Use Permits), Subd. A (Criteria for Granting Conditional Use Permits) states “In granting a conditional use permit, the Board of Adjustment and Appeals shall consider the effect of the proposed use upon the health, safety, and general welfare of the occupants of surrounding lands and the City as a whole.” The Board of

Adjustment and Appeals shall not grant a conditional use permit without making certain findings.

The criteria required for the granting of conditional use permits are listed below with staff findings.

Criteria #1 The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the immediate vicinity;

Finding #1 The City has not received any evidence that the SPU Booster Station facility will be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, or substantially diminish and impair property values within the immediate vicinity, provided the use complies with the conditions of the resolution.

Criteria #2 The establishment of the conditional use permit will not impede the normal and orderly development and improvement of surrounding vacant property for uses allowed in the area;

Finding #2 The establishment of the conditional use of the SPU facilities will not impede but rather will be necessary for the continued development of vacant lots with first floor elevation above 915.00 feet located within the Arbor Bluff 3rd Addition plat map and for water supply redundancy in the existing 2-HES District.

Criteria #3 Adequate utilities, access roads, drainage and other necessary facilities have been or will be provided;

Finding #3 The Board finds that adequate utilities, site access, drainage and other facility and site features have been or will be provided, as conditioned in the resolution.

Criteria #4 The use is consistent with the purposes of the zone in which the applicant intends to locate the proposed use; and

Finding #4 The use is consistent with the purposes for the land use zone and is necessary for SPU to provide adequate water service and fire protection to existing and future development in the 2-HES District.

Criteria #5 The use is not in conflict with the Comprehensive Plan.

Finding #5 The use is in conformance with the City of Shakopee Comprehensive Plan and the Shakopee Public Utilities Comprehensive Water Plan.

Site and facility planning and design development is being coordinated with City Staff and the Arbor Bluff Developer, Lennar Homebuilders.

Staff reviewed the above criteria and have found that the proposal would meet the criteria, provided the conditions noted in the draft resolution are met. City Engineering

and Planning staff have provided conditions in addition to the conditions noted in City Code Section 151.007 (K) (50) that have been incorporated into the draft Resolution. Of particular emphasis by city staff is the need for extensive screening of the site and that the applicant will need to work closely with City staff prior to any building permit or site improvements construction should this CUP be approved to ensure compliance with any City Code and CUP Resolution requirements.

Recommendation:

Approve requested action

Budget Impact:

N/A

Attachments:

[CUP Resolution PC2026-018.docx](#)

[City Engineering Memo](#)

[Site Aerial - Arbor Bluff.pdf](#)

[Booster Station Site Aerial.pdf](#)

[Architectural Plan_v1.pdf](#)

[Civil Plan_Utility_v1.pdf](#)

[Landscape Plan_v1 \(3\).pdf](#)

[Engineering Comments/Redlines - Civil Plans.pdf](#)

[Engineering Comments/Redlines - Landscape Plan.pdf](#)

RESOLUTION PC2026-018

A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA, APPROVING A CONDITIONAL USE PERMIT TO ALLOW A WATER BOOSTER STATION AT LOT 11, BLOCK 5 (2704 BLUE SPRUCE DRIVE) IN ARBOR BLUFF 3RD ADDITION

WHEREAS, Mike Burdorf, Barr Engineering, and SPU (Shakopee Public Utilities), applicants, and DRP MN 1 LLC, property owner, have made application for a Conditional Use Permit (CUP) to allow a Water Booster Station at 2704 Blue Spruce Drive; and

WHEREAS, the property upon which the request is being made is legally described as:

Lot 11, Block 5, Arbor Bluff 3rd Addition, Scott County, Minnesota; and

WHEREAS, all required public notices regarding the public hearing for the application were duly sent and posted and all persons appearing at the hearing have been given an opportunity to be heard thereon; and

WHEREAS, the Board of Adjustment and Appeals of the City of Shakopee did review this application on July 9, 2026, and adopted the following findings:

- Finding #1 The City has not received any evidence that the SPU Booster Station facility will be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, or substantially diminish and impair property values within the immediate vicinity, provided the use complies with the conditions of the resolution.
- Finding #2 The establishment of the conditional use of the SPU facilities will not impede but rather will be necessary for the continued development of vacant lots with first floor elevation above 915.00 feet located within the Arbor Bluff 3rd Addition plat map and for water supply redundancy in the existing 2-HES District.
- Finding #3 The Board finds that adequate utilities, access, drainage and other necessary facilities have been or will be provided for the site, as conditioned in the resolution.
- Finding #4 The use is consistent with the purposes for the land use zone and is necessary for the SPU to provide adequate water service and fire protection to existing and future development in the 2-HES District.
- Finding #5 The use is in conformance with the City of Shakopee Comprehensive Plan and the Shakopee Public Utilities Comprehensive Water Plan.).

NOW THEREFORE, BE IT RESOLVED by the Board of Adjustment and Appeals of the City of Shakopee, Minnesota that the requested CUP is hereby approved, subject to the following conditions:

1. This use shall comply with conditions noted in City Code Section 151.007 (K) (50) in residential zones, as follows:
 - a. Shall be designed, placed, and landscaped as necessary to assure that it blends with the neighboring uses, and is unobtrusive;
 - b. Shall comply with all applicable design standards;
 - c. Shall provide necessary sound proofing and vibration attenuation in conformance with all applicable sound and noise regulations.
2. The proposed use shall be constructed consistent with the Preliminary Study Only plans dated April 17, 2026, the submitted Utility Site Plan dated April 23, 2026, and the submitted Landscaping Plan dated April 23, 2026, except as specifically noted in this Resolution or by city staff.
3. Fire department access shall be provided as required by the Minnesota State Fire Code.
4. Development of the site shall comply with the conditions noted in the City Engineering Memo (dated June 26, 2026) and as identified on the redlined site plans, unless as revised/approved by City Engineering staff.
5. Should fencing be included in this project, the materials shall be metal, maximum of 6 ½', and compliant with City staff requirements regarding location on site.

Adopted in regular session of the Board of Adjustment and Appeals of the City of Shakopee, Minnesota, held on the 9th day of July, 2026.

**Chairperson,
Board of Adjustment and Appeals**

ATTEST:

**Michael Kerski,
Director of Planning and Development**

PREPARED BY:
City of Shakopee
485 Gorman Street
Shakopee, MN 55379

City of Shakopee
Memorandum

TO: Mark Noble, Senior Planner

FROM: Darin Manning, Project Engineer

SUBJECT: Conditional Use Permit (Potable Water Booster Station)

CASE NO.: USE-000399-2026

DATE: June 26, 2026

The staff review indicates a request to review a Conditional Use Permit (CUP) for a potable water booster station to be owned and operated by Shakopee Public Utilities. The proposed booster station will be located at 2704 Blue Spruce Drive within the Arbor Bluff 3rd Addition development. The booster station is a required contingency to provide adequate water service for the proposed residential development.

The Engineering Department has completed its review and offers the following comments at this time for the applicant and for the planning department:

1. There is an emergency overflow path approximately 50 feet wide with a maximum flow depth of 0.8 feet located in the southeast corner of the site. Solid fencing is not permitted within the emergency overflow flow path. Review the grading plan and identify the exact limits and location of the overflow route. The proposed transformer location may also need to be adjusted to avoid interference with the emergency overflow flow path.
2. The proposed fence shall be located a minimum of 5 feet behind the back of the public sidewalk.
3. The maximum driveway width at the public right-of-way is 25 feet.
4. The City would support a 12-foot-wide concrete driveway in lieu of the proposed geogrid structural turf system. If geogrid structural turf is preferred, it shall be maintained by Shakopee Public Utilities.
5. Prior to any land disturbing activity, the applicant will obtain a grading permit and/or a building permit. The permit application must be accompanied by detailed, certified construction drawings (including a site plan). Along with the permit(s), the applicant must submit a detailed impervious surface drawing.
6. The proposed gravel pit drainpipe shall be relocated outside of the Drainage and Utility Easement.
7. Overstory trees are not permitted within the Drainage and Utility Easement (D&U Easement).

8. Prior to any land-disturbing activity, the applicant shall obtain a building permit from the City. Permit applications shall be accompanied by detailed, certified construction plans, including a site plan, grading plan, erosion and sediment control plan, utility plan, and any other information required by the City. A detailed impervious surface exhibit shall also be submitted for review.
9. Approval of the Conditional Use Permit (CUP) does not constitute approval of any construction, grading, drainage, utility, landscaping, or site development plans. All plans are subject to separate review and approval by the City and must comply with all applicable City ordinances, standards, and engineering requirements.

Recommendation

The Engineering Department recommends approval of the CUP application subject to the items above being attached as conditions of the approval.

CUP - SPU Booster Station

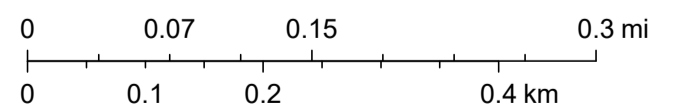


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Parcels - Scott County

 Shakopee Municipal Boundary

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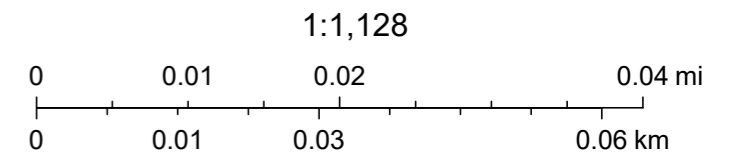
Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

SPU CUP - Booster Station



6/27/2026, 5:30:20 PM

Parcels - Scott County
Shakopee Municipal Boundary



Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community



Arbor Bluffs Pumphouse Preliminary Study Only

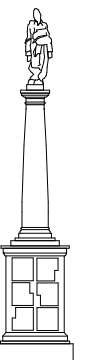
Shakopee, MN 55379

April 17, 2026

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Image
Scheme D
Looking SW

JAY P. NELSON
ARCHITECT
AIA, LEED AP, NCARB, CID



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6701 WEST 23RD STREET
SUITE B5
ST. LOUIS PARK, MN. 55426
jay@jaysnelsonarchitect.com

Arbor Bluffs Pumphouse Preliminary Study Only

Shakopee, MN 55379

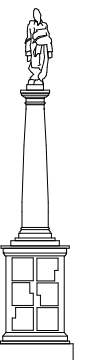
April 17, 2026

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Image Scheme D Streetscape

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ARCHITECT
AIA, LEED AP, NCARB, CID



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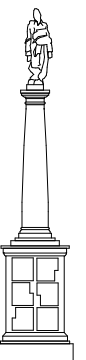
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April 17, 2026
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Area Map



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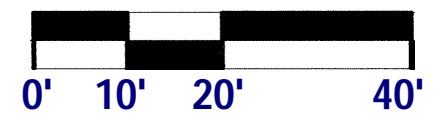
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Arbor Bluffs Pumphouse

Preliminary Study Only

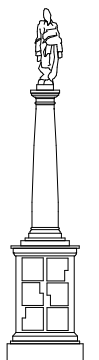
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Site Plan Scheme D

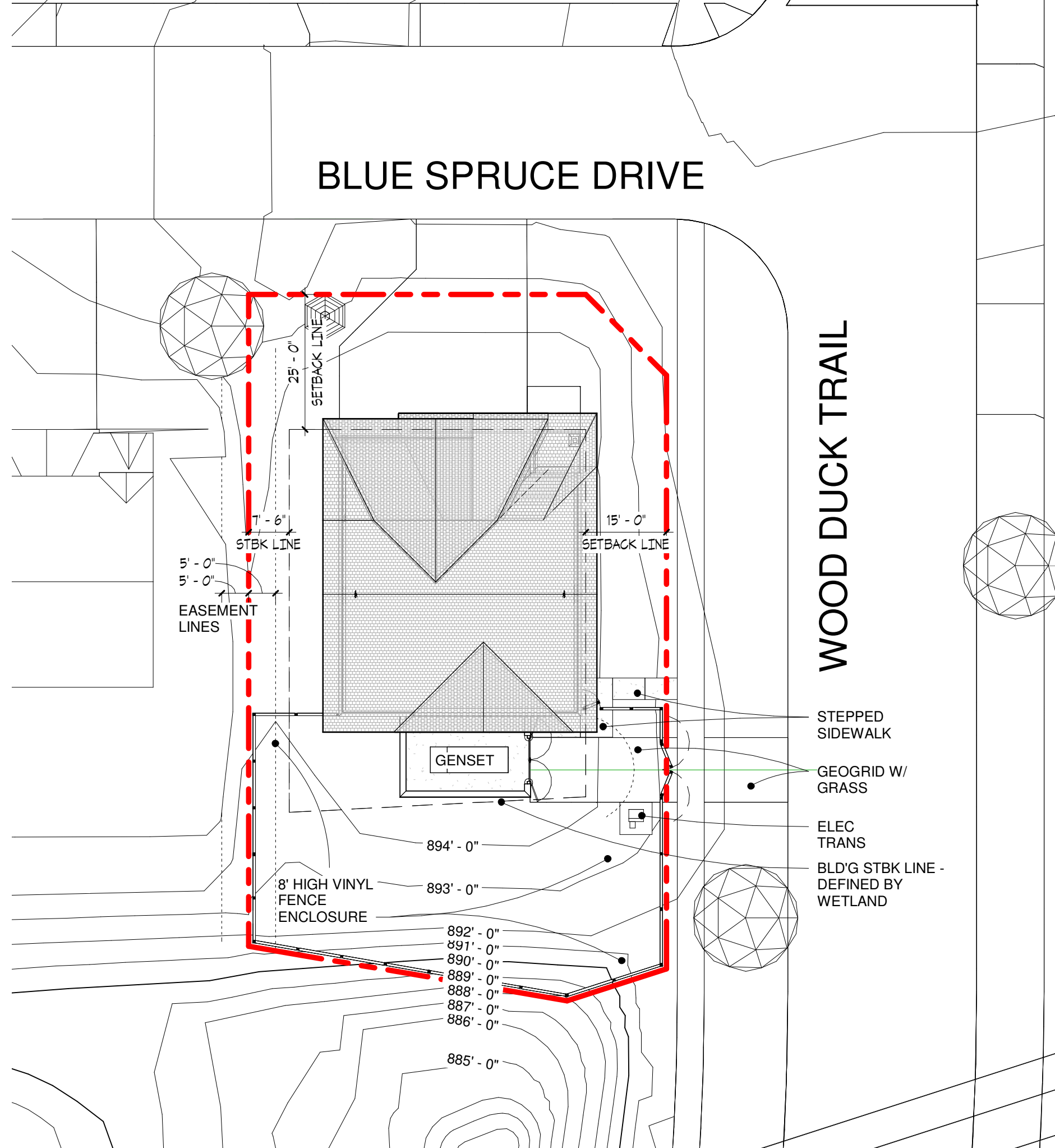


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JAY P. NELSON
ARCHITECT
AIA, LEED AP, NCARB, CID



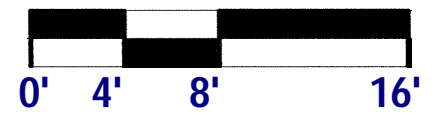
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Arbor Bluffs Pumphouse Preliminary Study Only

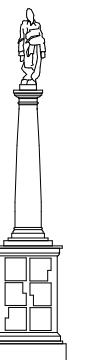
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Plan Scheme D

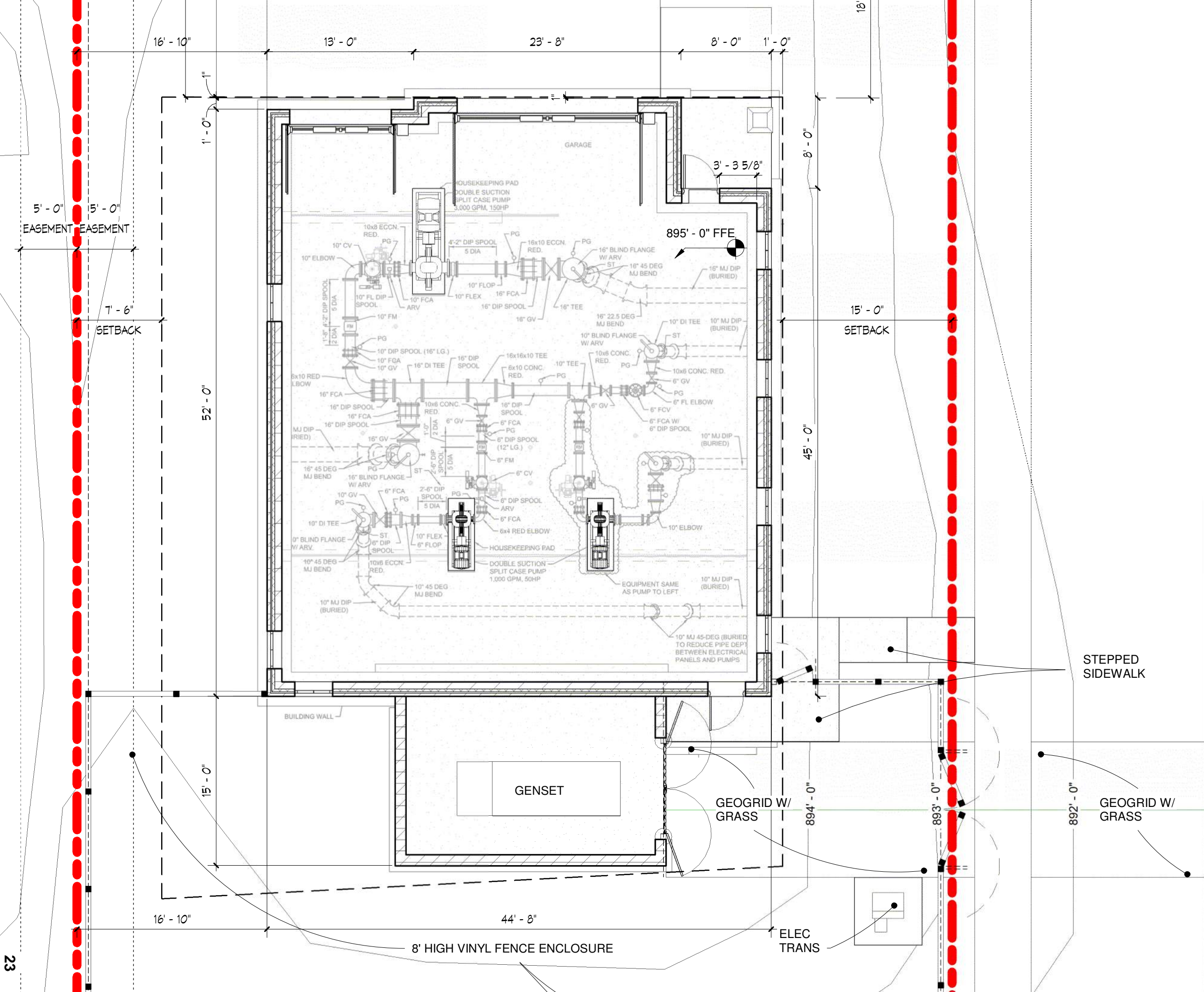


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JAY P. NELSON
ARCHITECT
AIA, LEED AP, NCARB, CID



612 - 812 - 4628
6701 WEST 23RD STREET
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WOOD DUCK TRAIL

STEPPED SIDEWALK

GENSET

GEOGRID W/
GRASS

GEOGRID W/
GRASS

8' HIGH VINYL FENCE ENCLOSURE

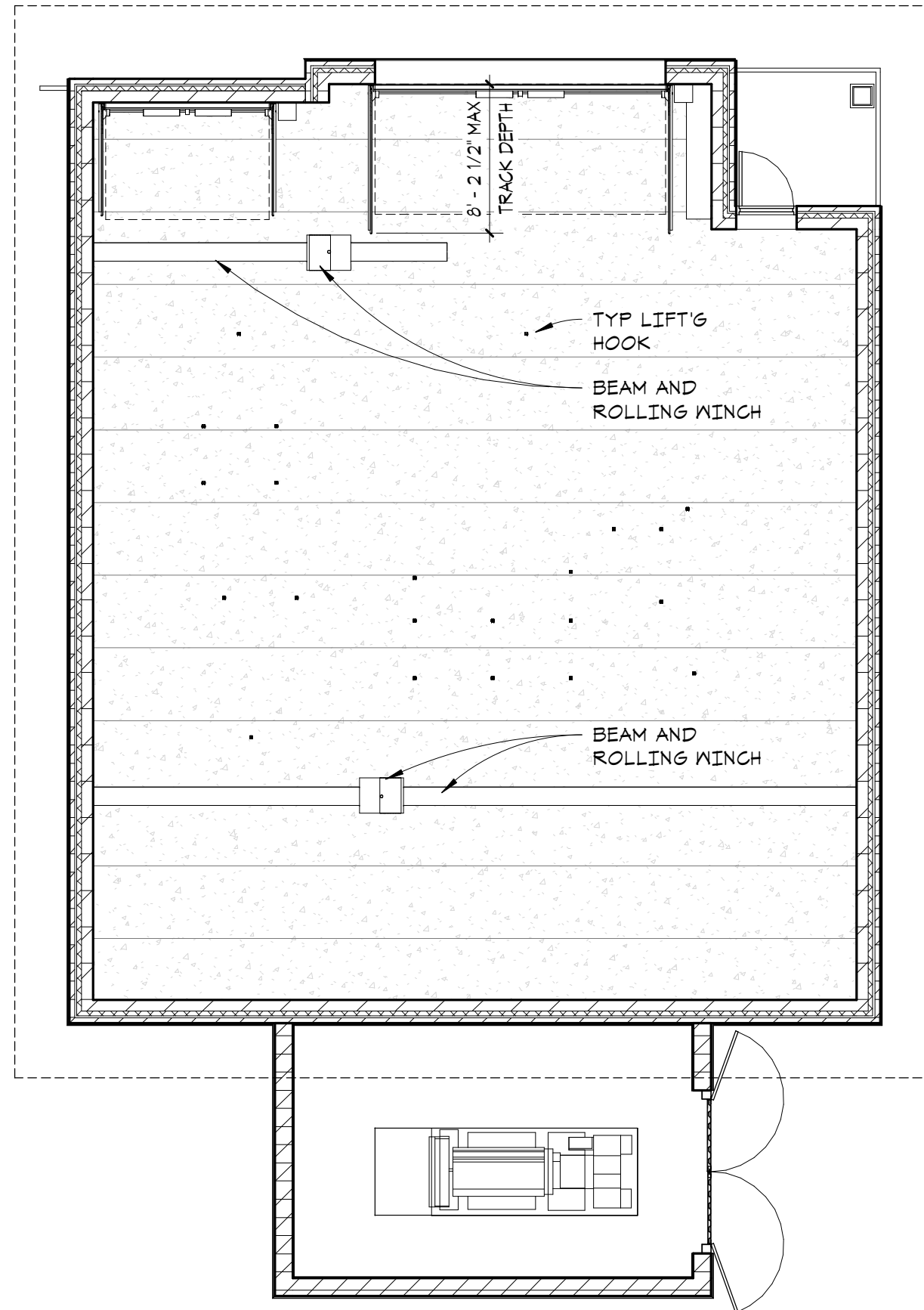
ELEC
TRANS

Arbor Bluffs Pumphouse Preliminary Study Only

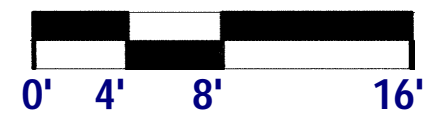
Shakopee, MN 55379

April 17, 2026

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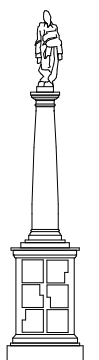


Ceiling Plan Scheme D



(Scale is approximate)

JAY P. NELSON
ARCHITECT
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jay@jaysnelsonarchitect.com

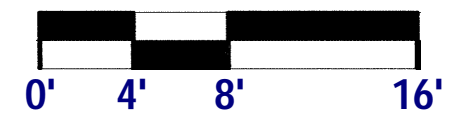
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April 17, 2026

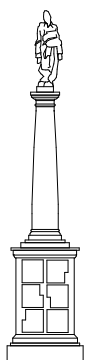
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Building Section Scheme D



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KEY TO EXTERIOR FINISHES:

1. MODULAR MASONRY
CJ = CONTROL JOINT- SEE 3 4/A6.3
1A = SPEG-BRICK "NATURAL GRAY BLEND"- 4" H- 16"L- 4"D
1B = NA
1C = NA
2. PRECAST
N.A.
3. STONE
3 = RUNNING CAST STONE SILL
4. SIDING- (DARK GRAY)
4A = FIBER CEMENT SIDING, FASCIA, TRIM
4B = 6" EXPOSURE FIBER CEMENT LAP SIDING
4C = NA
5. ROOFING
5A = "WEATHERED WOOD" FIBERGLASS SHINGLES
5B = METAL CLAD FASCIA- TO MATCH RF'G
5C = RIDGE VENT
5D = SNOW GUARD
6. PREFINISHED METAL
6A = METAL CORNICE AND OR GAP FLASHING

7. LOUVERS

- 7A = PREFINISHED METAL MECHANICAL LOUVER- MATCH COLOR OF ADJACENT MATERIAL- SEE 2/A6.3

8. PORCH COLUMNS

- 8A = WHITE

9. GLAZING AND DOORS

- 9A = WINDOWS (TRANSLUCENT WALL SYSTEM)- 2 3/4"- WHITE
- 9B = FIXED WHITE WINDOWS- COMPOSITE- OPAQUE
- 9C = FRP DOOR AND FRAME- OPAQUE INSUL GLAZING WHERE INDICATED
- 9D = OVERHEAD DOORS WITH OPAQUE INSULATED GLAZING- GRAY TO MATCH SIDING
- 9E = METAL GATES FOR SCREEN- GRAY
- 9F = VINYL FENCING GATES- WHITE

10. STEEL

- 10A = STEEL BOLLARD- TNEMEG PT.- HDPE COVERS- NA
- 10B = NA

11. EXTERIOR LIGHTING

- 11 = BUILDING ACCENT LIGHTS- SEE ELECT. DOCS FOR LOCATIONS, TYPE AND NUMBER

12. MISCELLANEOUS

- 12A = LIGHTENING PROTECTION
- 12B = 8' HIGH VINYL PRIVACY FENCE- WHITE

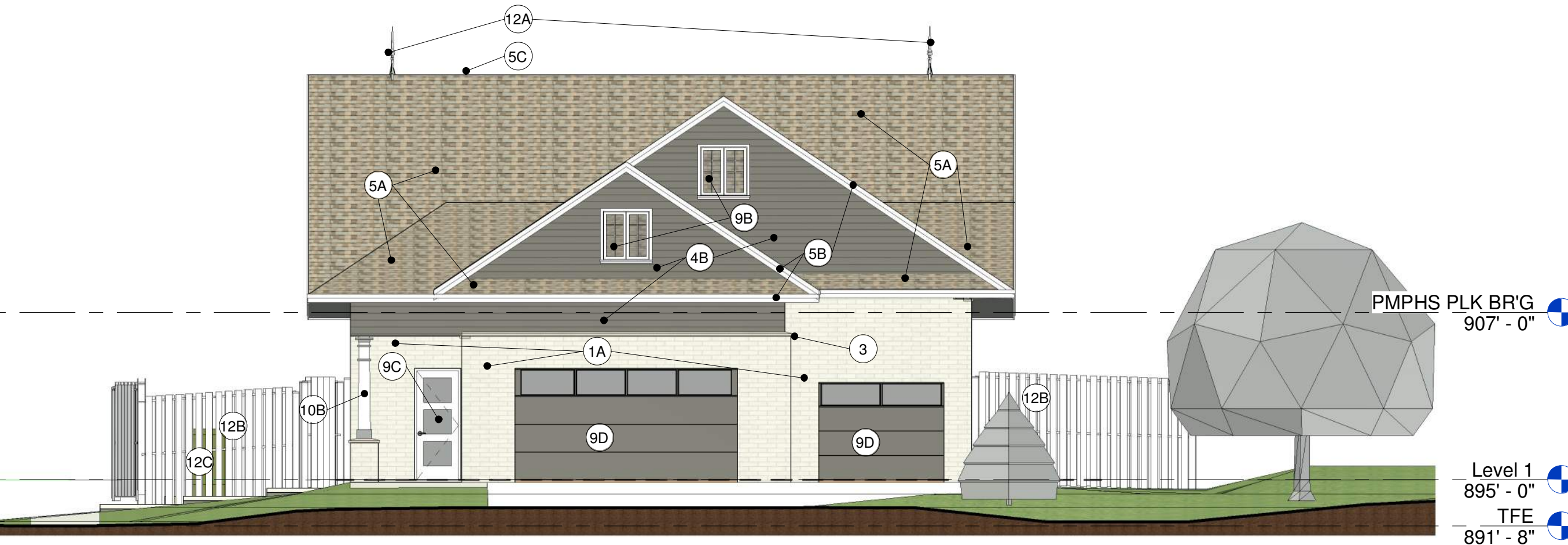
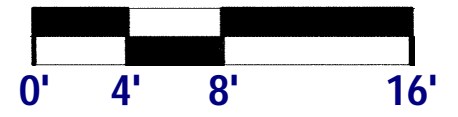


Image Scheme D- North Elevation

PMPHS PLK BR'G
907' - 0"

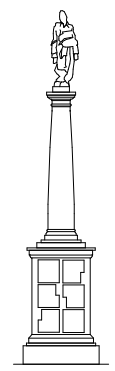


(Scale is approximate)

Level 1
895' - 0"

TFE
891' - 8"

JAY P. NELSON
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AIA, LEED AP, NCARB, CID



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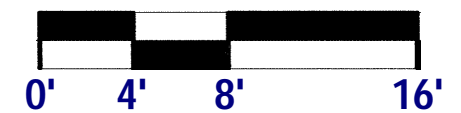
Arbor Bluffs Pumphouse

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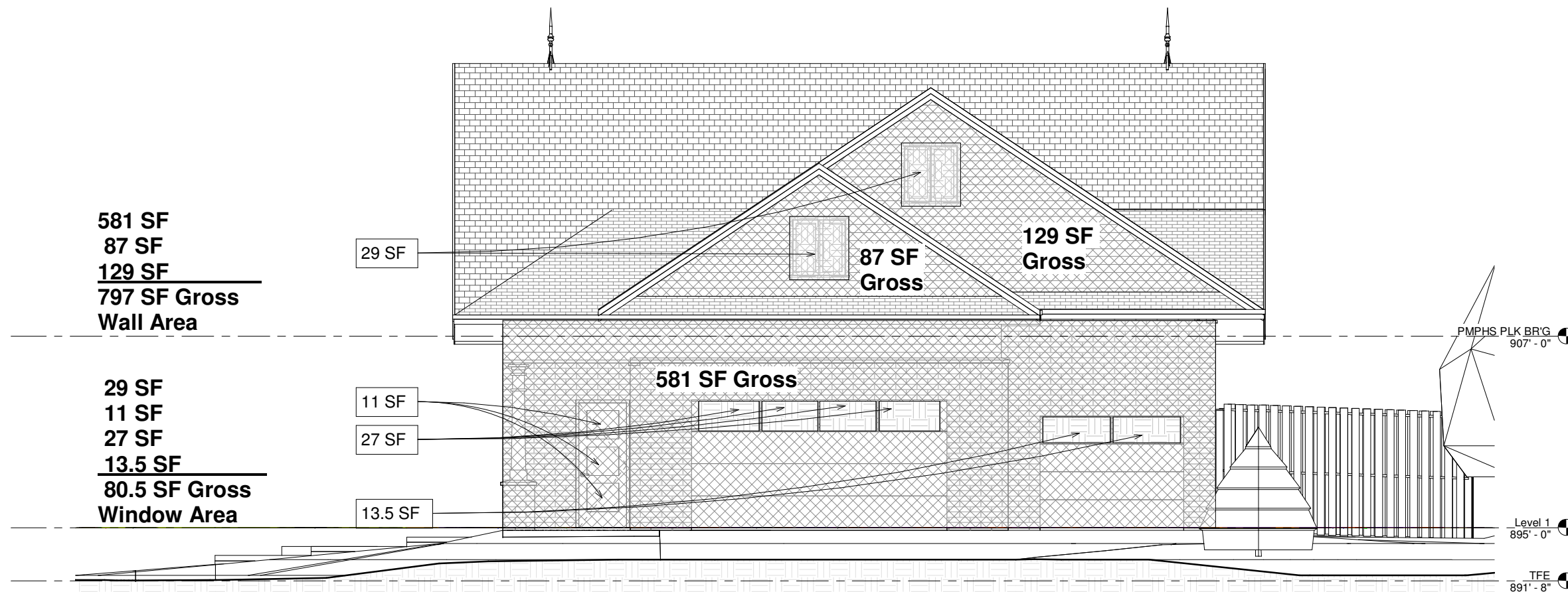
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April 17, 2026
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Image Scheme D- North Elevation

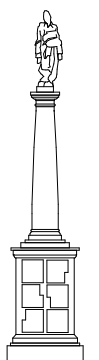
(WINDOW AREA
STUDY)



(Scale is approximate)



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5D = SNOW GUARD

6. PREFINISHED METAL

6A = METAL CORNICE AND OR CAP FLASHING

7. LOUVERS

7A = PREFINISHED METAL MECHANICAL LOUVER-
MATCH COLOR OF ADJACENT MATERIAL- SEE
2/A6.3

8. PORCH COLUMNS

8A = WHITE

9. GLAZING AND DOORS

9A = WINDOWS (TRANSLUCENT WALL SYSTEM)- 2
3/4"- WHITE
9B = FIXED WHITE WINDOWS- COMPOSITE- OPAQUE
9C = FRP DOOR AND FRAME- OPAQUE INSUL
GLAZING WHERE INDICATED
9D = OVERHEAD DOORS WITH OPAQUE INSULATED
GLAZING- GRAY TO MATCH SIDING
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11. EXTERIOR LIGHTING

11 = BUILDING ACCENT LIGHTS- SEE ELECT. DOCS
FOR LOCATIONS, TYPE AND NUMBER

12. MISCELLANEOUS

12A = LIGHTNING PROTECTION
12B = 8' HIGH VINYL PRIVACY FENCE- WHITE

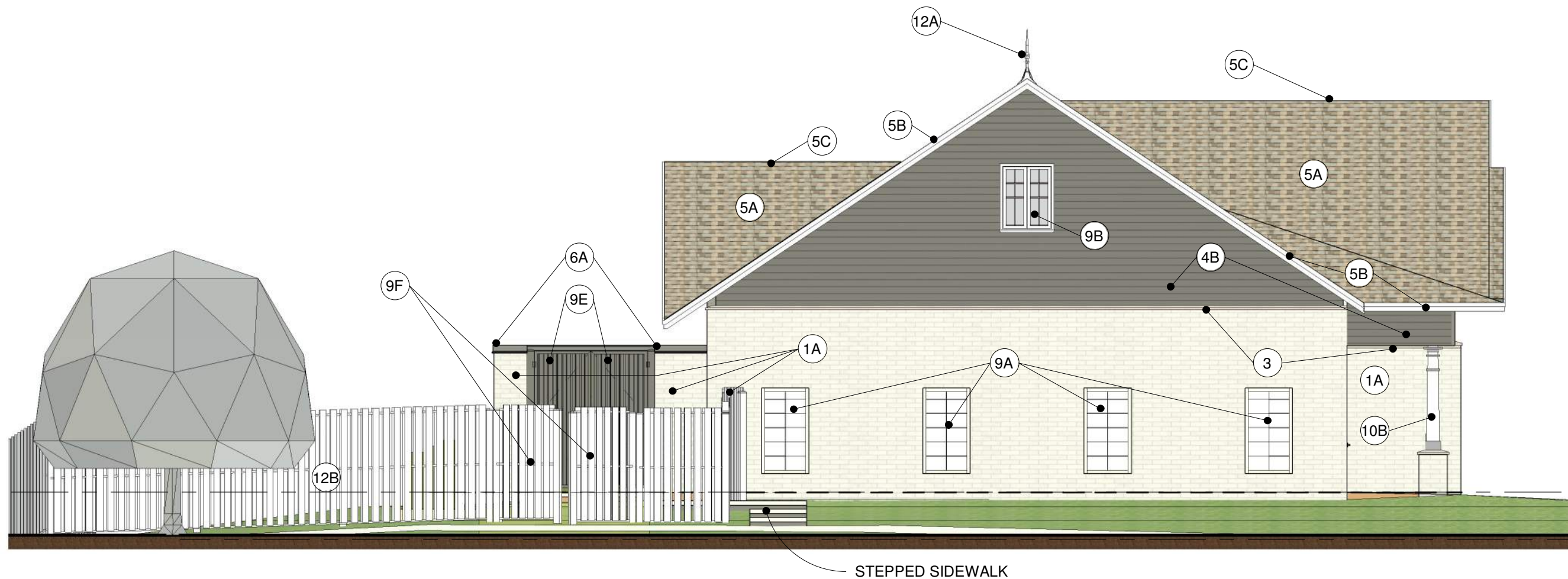
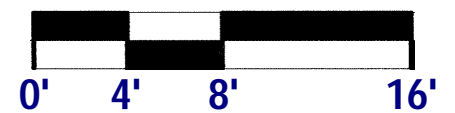
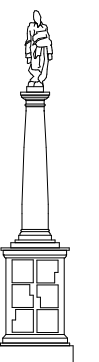


Image Scheme D- East Elevation



(Scale is approximate)

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Arbor Bluffs Pumphouse

Preliminary Study Only

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April 17, 2026
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KEY TO EXTERIOR FINISHES:

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1C = NA
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N.A.
- 3. STONE**
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- 4. SIDING- (DARK GRAY)**
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9. GLAZING AND DOORS

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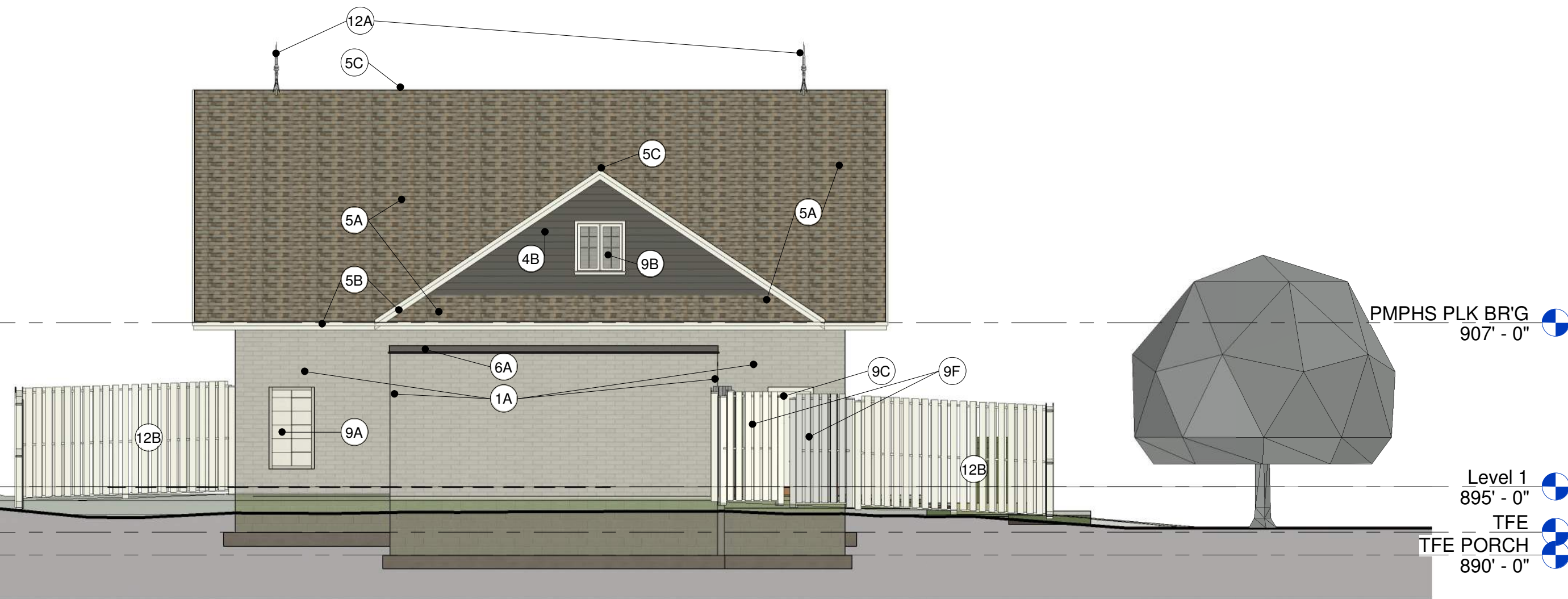
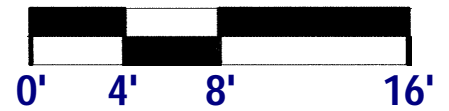


Image Scheme D South Elevation

PMPHS PLK BR'G
907' - 0"

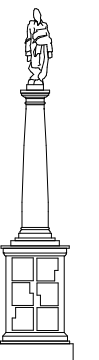


(Scale is approximate)

Level 1
895' - 0"

TFE
TFE PORCH
890' - 0"

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N.A.
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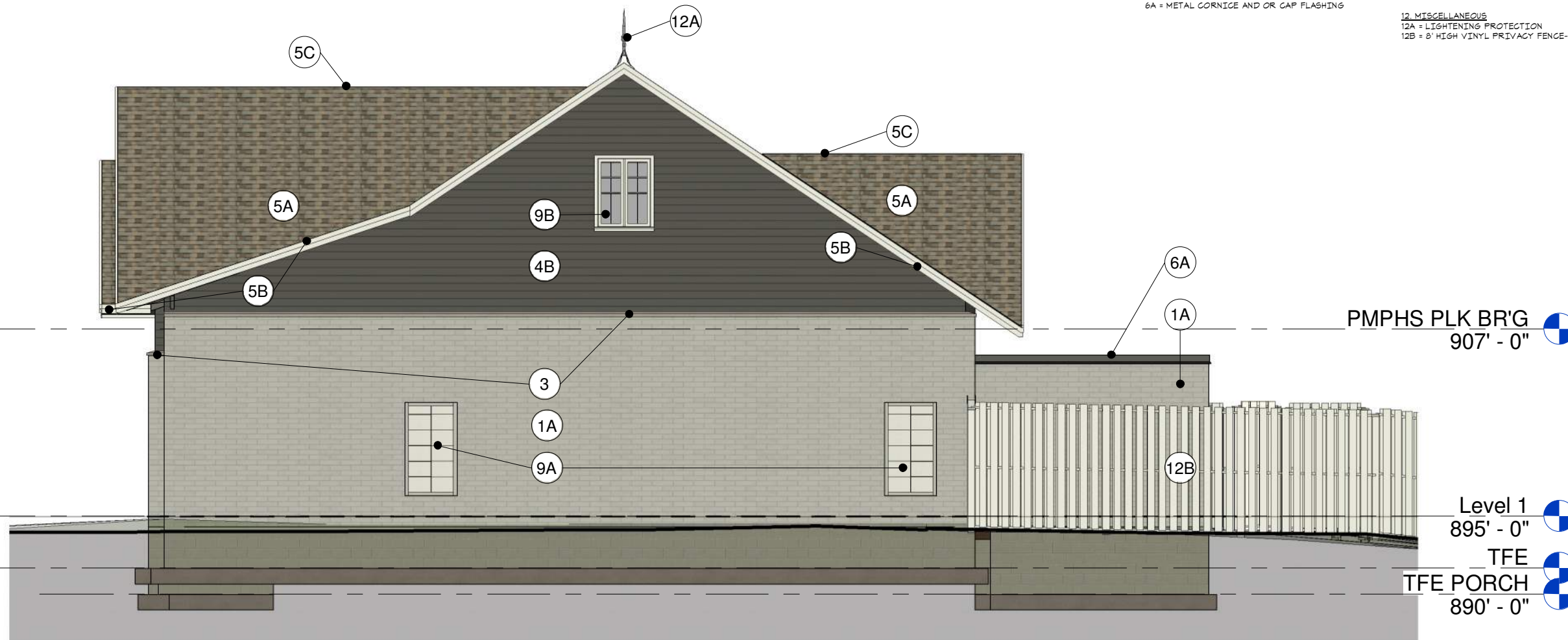
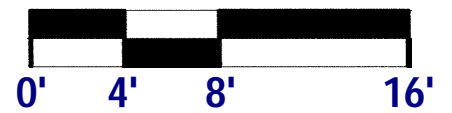
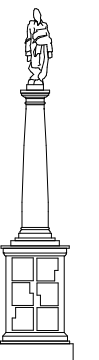


Image Scheme D West Elevation



(Scale is approximate)

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Arbor Bluffs Pumphouse Preliminary Study Only

Shakopee, MN 55379

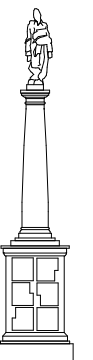
April 17, 2026

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Image
Scheme D
Looking
NW



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ARCHITECT
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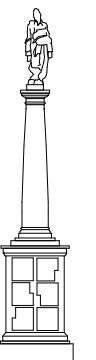
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Image
Scheme D
Looking SE

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Arbor Bluffs

Pumphouse

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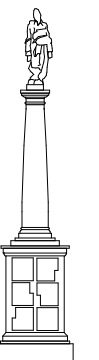
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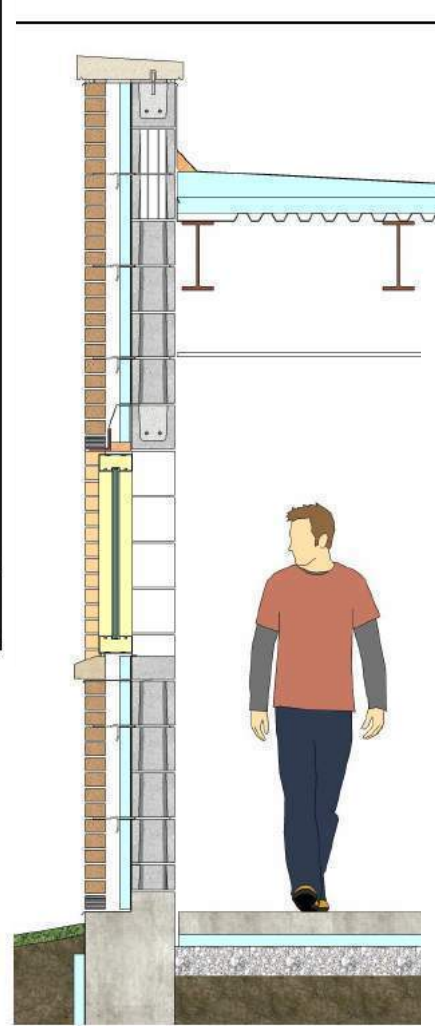
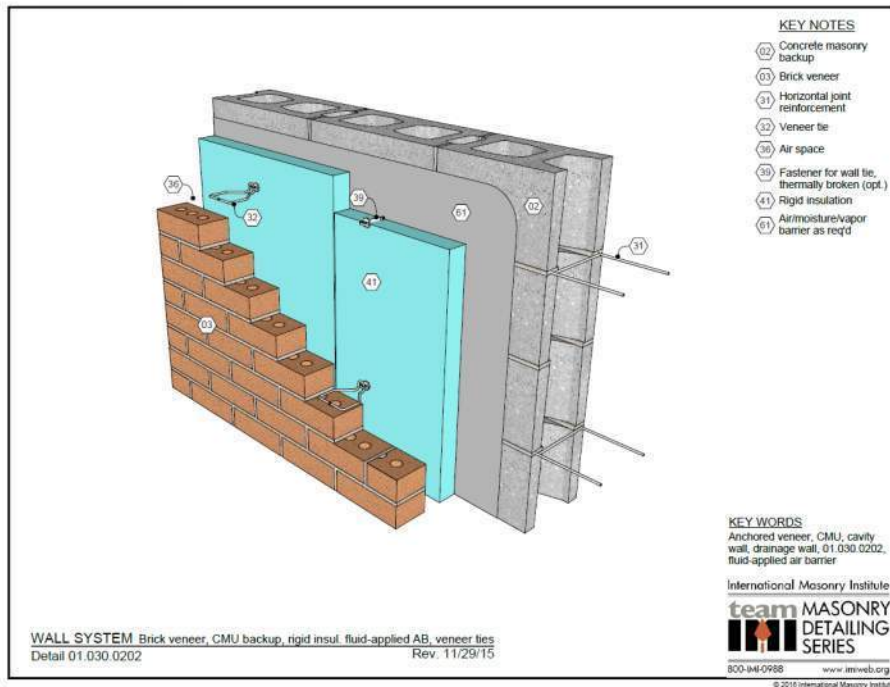


Image
Scheme D
Looking NE

JAY P. NELSON
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AIA, LEED AP, NCARB, CID



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jay@jaynelsonarchitect.com



Applications [edit]

Masonry [1] is commonly used for walls and buildings. Brick and concrete block are the most common types of masonry in use in industrialized nations and may be either weight-bearing or a veneer. Concrete blocks, especially those with hollow cores, offer various possibilities in masonry construction. They generally provide great compressive strength, and are best suited to structures with light transverse loading when the cores remain unfilled. Filling some or all of the cores with concrete or concrete with steel reinforcement (typically rebar) offers much greater tensile and lateral strength to structures.

Advantages [edit]

- The use of material such as bricks and stones can increase the thermal mass of a building and can protect the building from fire.
- Masonry is non-combustible product.
- Masonry walls are more resistant to projectiles, such as debris from hurricanes or tornadoes.

Disadvantages [edit]

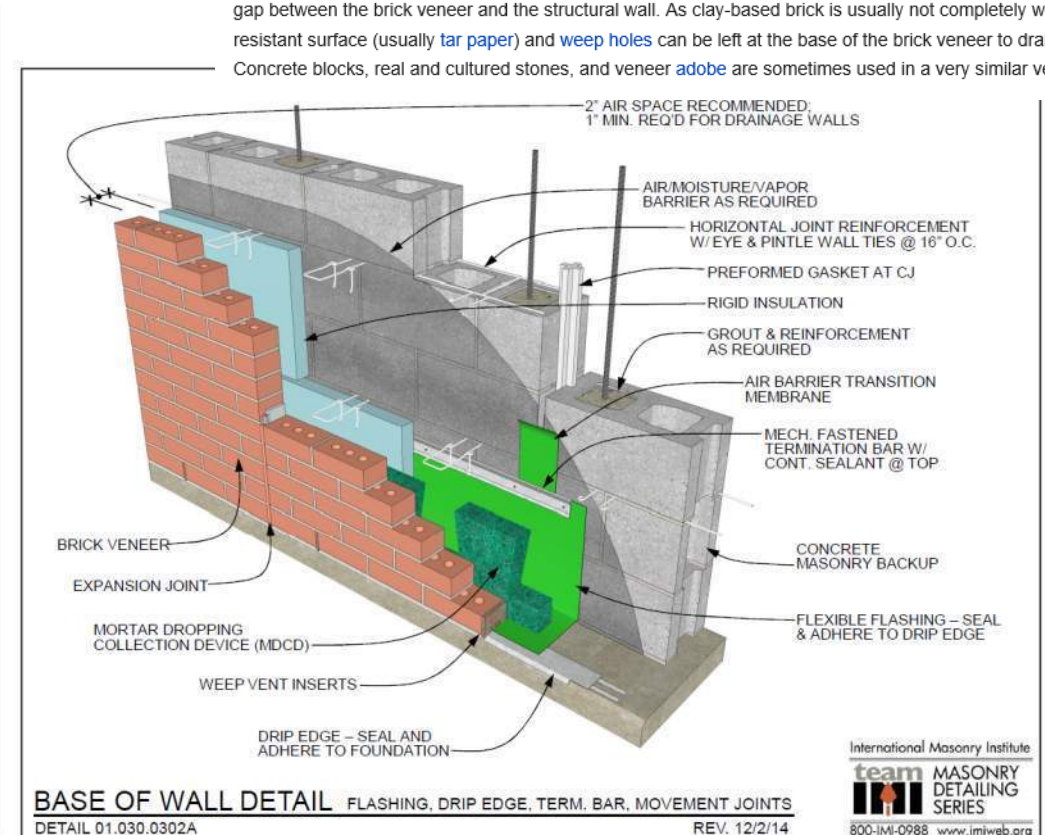
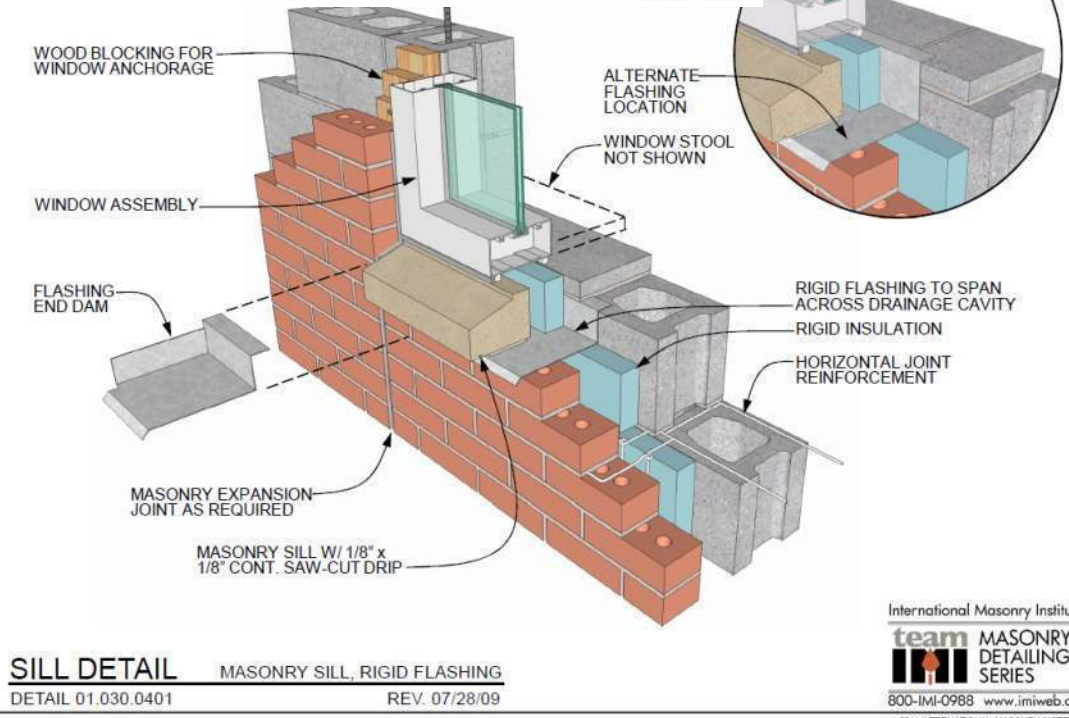
- Extreme weather, under certain circumstances, can cause degradation of masonry due to expansion and contractions forces associated with freeze-thaw cycles.
- Masonry tends to be heavy and must be built upon a strong foundation, such as reinforced concrete, to avoid settling and cracking.
- Other than concrete, masonry construction does not lend itself well to mechanization, and requires more skilled labor than stick-framing.
- Masonry consists of loose components and has a low tolerance to oscillation as compared to other materials such as reinforced concrete, plastics, wood, or metals.

Structural limitations [edit]

Masonry has high compressive strength under vertical loads but has low tensile strength (against twisting or stretching) unless reinforced. The tensile strength of masonry walls can be increased by thickening the wall, or by building masonry piers (vertical columns or ribs) at intervals. Where practical, steel reinforcements such as windposts can be added.

Veneer masonry [edit]

A masonry veneer wall consists of masonry units, usually clay-based bricks, installed on one or both sides of a structurally independent wall usually constructed of wood or masonry. In this context the brick masonry is primarily decorative, not structural. The brick veneer is generally connected to the structural wall by brick ties (metal strips that are attached to the structural wall, as well as the mortar joints of the brick veneer). There is typically an air gap between the brick veneer and the structural wall. As clay-based brick is usually not completely waterproof, the structural wall will often have a water-resistant surface (usually tar paper) and weep holes can be left at the base of the brick veneer to drain moisture that accumulates inside the air gap. Concrete blocks, real and cultured stones, and veneer adobe are sometimes used in a very similar veneer fashion.

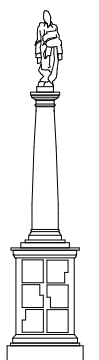


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 Pumphouse
 Preliminary Study
 Only**
 Shakopee, MN 55379
 April 17, 2026
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**Construction
 System:**

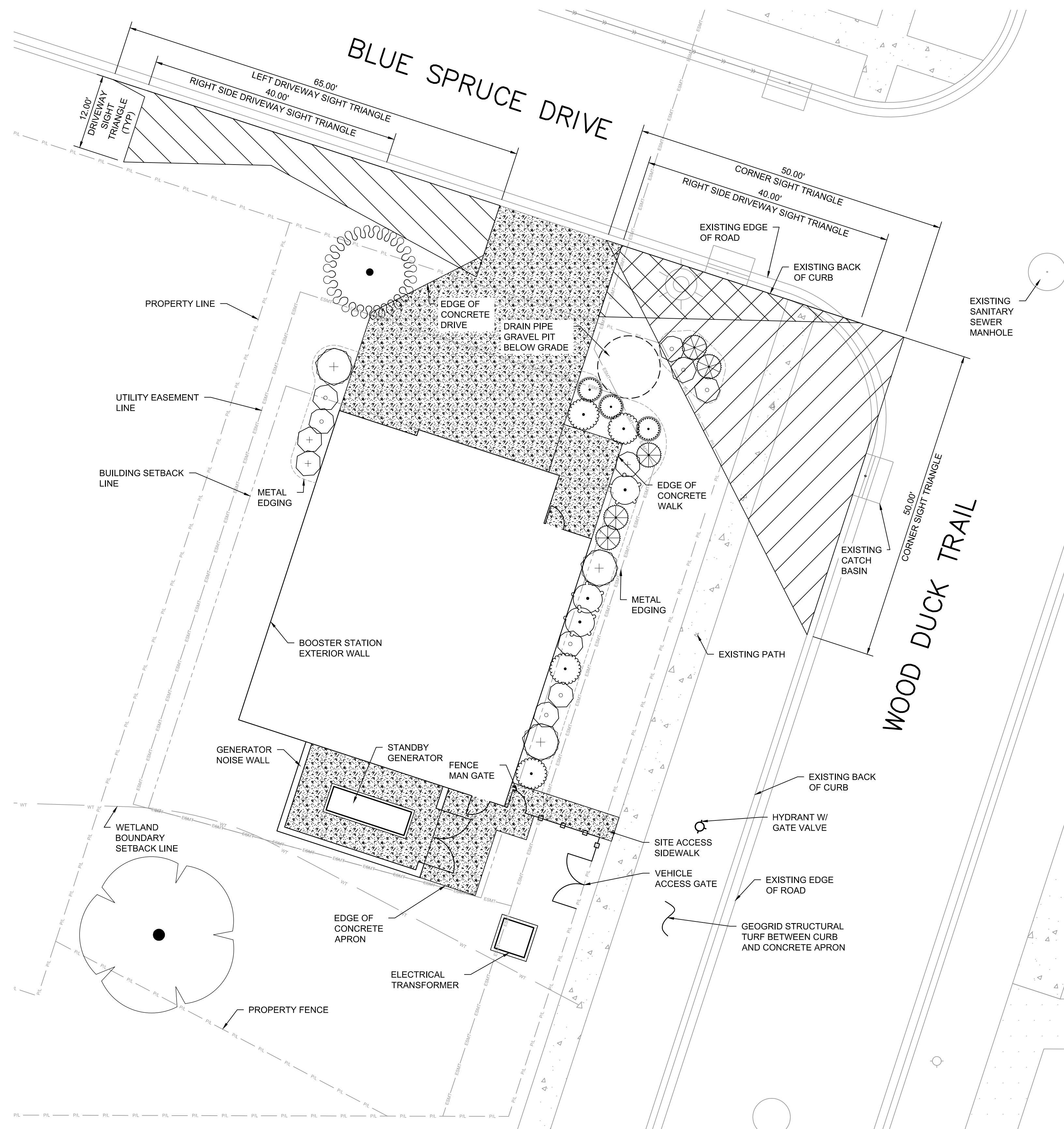
*Traditional
 Insulated Masonry
 Veneer*

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 jay@jaysnelsonarchitect.com

CADD USER: MIKE J. BURDORF FILE: M:\DESIGN\232701132.00\CIVILITY CUP DOCUMENTS\232701132.00-C-02-LANDSCAPE SITE PLANNING PLOT SCALE: 1:1 PLOT DATE: 5/2/2026 1:29 PM



1 PLAN: SITE LANDSCAPING PLAN
 0 10 20
 SCALE IN FEET

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	QT
	AA	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	B&B	1.5" CAL	1
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5" CAL	1
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QT
	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	5 gal		3
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal		3
	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal		3
	BJ	Juniperus sabina 'Broadmoor' / Broadmoor Juniper	5 gal		5
	JW	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	5'		4
	GS	Spiraea japonica 'Goldflame' / Spirea	5 gal		8
	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal		3

GATOR BAGS OR APPROVED EQUAL TREE WATERING SYSTEM TO BE INCLUDED AT EACH TREE - LANDSCAPE CONTRACTOR TO FILL BAGS ONCE A WEEK UNTIL DATE OF OWNER ACCEPTANCE

LEGEND

- LIGHT POLE
- HYDRANT
- VALVE
- WATERMAIN PLUG
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- EXISTING 5-FIT CONTOUR
- EXISTING 1-FIT CONTOUR
- PROPOSED 5-FIT CONTOUR
- PROPOSED 1-FIT CONTOUR
- WATERMAIN
- WETLAND BOUNDARY SETBACK
- PROPERTY FENCE
- GRAVEL DRAIN PIT
- CONCRETE SURFACE
- CORNER SIGHT TRIANGLE
- DRIVEWAY SIGHT TRIANGLE
- SIGHT TRIANGLE OVERLAP

PRELIMINARY DRAFT
 FOR CONDITIONAL USE PERMIT
 (NOT FOR CONSTRUCTION)

NO.	BY	CHK.	APP.	DATE	REVISION DESCRIPTION
A	MJB	MJB	MJB	04/23/2026	SUBMIT FOR CONDITIONAL USE PERMIT (CUP)

CLIENT	PERMIT	BID	CONSTRUCTION	RECORD
	04/23/26			

BARR Engineering Co.
 Project Office:
 BARR ENGINEERING CO.
 4300 MARKETPOINTE DRIVE
 SUITE 200
 MINNEAPOLIS, MN 55435
 Corporate Headquarters:
 Minneapolis, Minnesota
 Ph: 1-800-632-2277
 Fax: (952) 832-2601
 www.barr.com

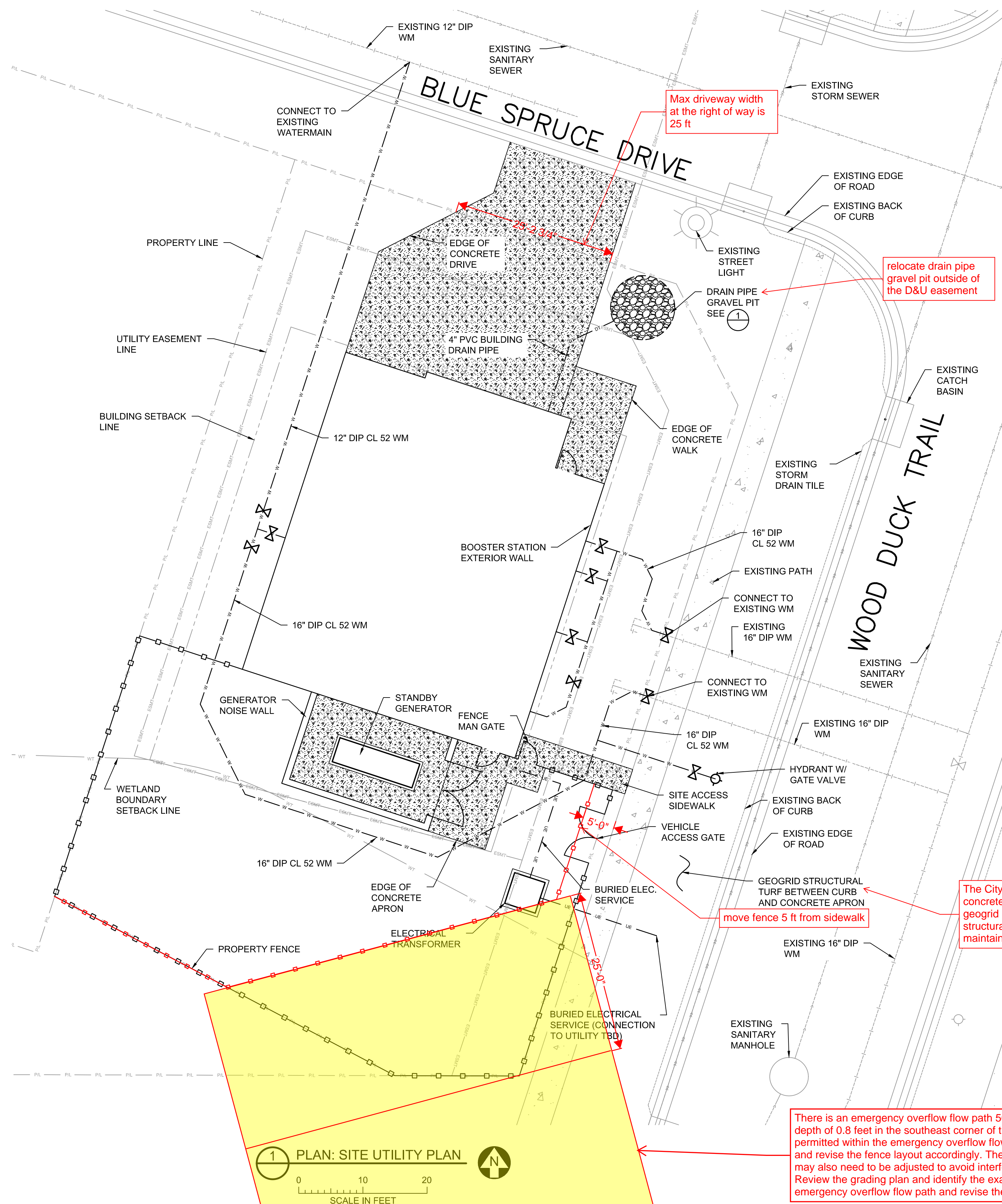
Scale	AS SHOWN
Date	04/23/2026
Drawn	MJB
Checked	MJB
Designed	MJB
Approved	MJB

SHAKOPEE PUBLIC UTILITIES
 SHAKOPEE, MINNESOTA

ARBOR BLUFFS WATER BOOSTER STATION
 SHAKOPEE, MINNESOTA
 UTILITY SITE PLAN

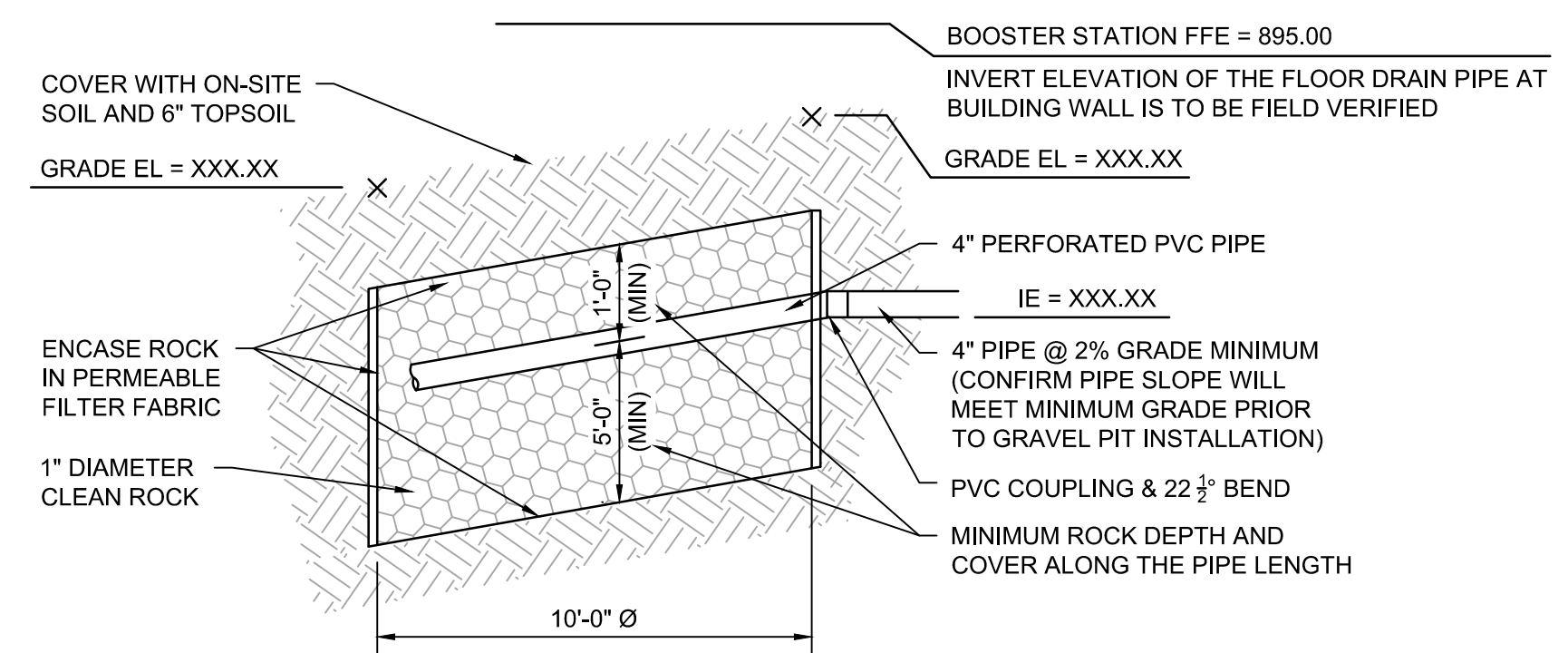
BARR PROJECT No.	23271132.00
CLIENT PROJECT No.	
DWG. No.	C-01
REV. No.	A

CADD USER: MIKE J. BURDORF FILE: M:\DESIGN\23701132.00\CIVILITY CUP DOCUMENTS\23701132.00-C-01-UTILITY PLANDWG PLOT SCALE: 1:1 PLOT DATE: 5/25/2026 1:18 PM



LEGEND

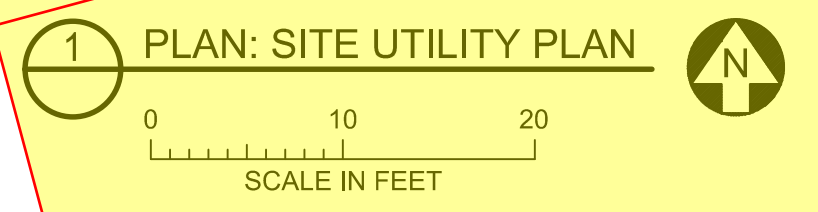
- LIGHT POLE
- HYDRANT
- VALVE
- WATERMAIN PLUG
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- EXISTING 5-FT CONTOUR
- EXISTING 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- WATERMAIN
- WETLAND BOUNDARY SETBACK
- PROPERTY FENCE
- GRAVEL DRAIN PIT
- CONCRETE SURFACE



1 DETAIL: DRAIN PIPE GRAVEL PIT
SCALE: NTS

There is an emergency overflow flow path 50 feet wide with a maximum flow depth of 0.8 feet in the southeast corner of the lot. Solid fencing is not permitted within the emergency overflow flow path. Review the grading plan and revise the fence layout accordingly. The proposed transformer location may also need to be adjusted to avoid interference with the overflow route. Review the grading plan and identify the exact limits and location of the emergency overflow flow path and revise the site plan as necessary.

The City would support a 12-foot-wide concrete driveway in lieu of the proposed geogrid structural turf system. If geogrid structural turf is preferred, it shall be maintained by Shakopee Public Utilities.



PRELIMINARY DRAFT
FOR CONDITIONAL USE PERMIT
(NOT FOR CONSTRUCTION)

NO.	BY	CHK.	APP.	DATE	REVISION DESCRIPTION
A	MJB	MJB	MJB	04/23/2026	SUBMIT FOR CONDITIONAL USE PERMIT (CUP)

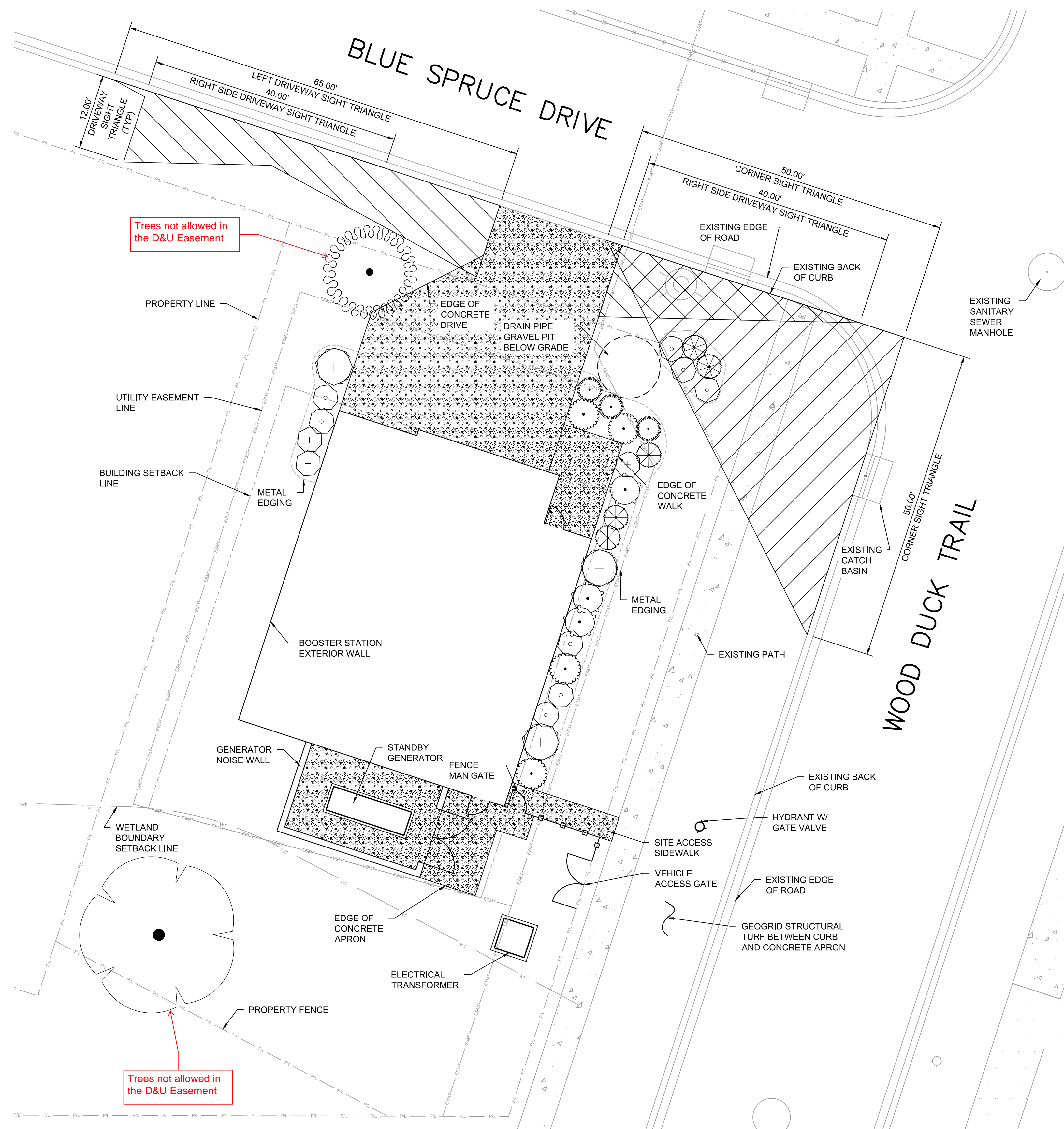
BARR	Project Office: BARR ENGINEERING CO. 4300 MARKETPOINTE DRIVE SUITE 200 MINNEAPOLIS, MN 55435 Corporate Headquarters: Minneapolis, Minnesota Ph: 1-800-632-2277 Fax: (952) 832-2601 www.barr.com
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Scale	AS SHOWN
Date	04/23/2026
Drawn	MJB
Checked	MJB
Designed	MJB
Approved	MJB

SHAKOPEE PUBLIC UTILITIES
SHAKOPEE, MINNESOTA

ARBOR BLUFFS WATER BOOSTER STATION SHAKOPEE, MINNESOTA UTILITY SITE PLAN	BARR PROJECT No. 23271132.00 CLIENT PROJECT No. DWG. No. C-01 REV. No. A
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CADD USER: MIKE J. BURDORF FILE: M:\DESIGN\23701132.00\CIVILITY CUP DOCUMENTS\23701132.00-C-02-LANDSCAPE SITE PLANNING PLOT SCALE: 1:1 PLOT DATE: 5/2/2026 1:29 PM



1 PLAN: SITE LANDSCAPING PLAN
 0 10 20
 SCALE IN FEET

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	QT
	AA	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	B&B	1.5" CAL	1
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5" CAL	1
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QT
	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	5 gal		3
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal		3
	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal		3
	BJ	Juniperus sabina 'Broadmoor' / Broadmoor Juniper	5 gal		5
	JW	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	5'		4
	GS	Spiraea japonica 'Goldflame' / Spirea	5 gal		8
	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal		3

GATOR BAGS OR APPROVED EQUAL TREE WATERING SYSTEM TO BE INCLUDED AT EACH TREE - LANDSCAPE CONTRACTOR TO FILL BAGS ONCE A WEEK UNTIL DATE OF OWNER ACCEPTANCE

LEGEND

- LIGHT POLE
- HYDRANT
- VALVE
- WATERMAIN PLUG
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- EXISTING 5-FT CONTOUR
- EXISTING 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- WATERMAIN
- WETLAND BOUNDARY SETBACK
- PROPERTY FENCE
- GRAVEL DRAIN PIT
- CONCRETE SURFACE
- CORNER SIGHT TRIANGLE
- DRIVEWAY SIGHT TRIANGLE
- SIGHT TRIANGLE OVERLAP

PRELIMINARY DRAFT
 FOR CONDITIONAL USE PERMIT
 (NOT FOR CONSTRUCTION)

NO.	BY	CHK.	APP.	DATE	REVISION DESCRIPTION
A	MJB	MJB	MJB	04/23/2026	SUBMIT FOR CONDITIONAL USE PERMIT (CUP)

CLIENT PERMIT	BID	CONSTRUCTION	RECORD
04/23/26			

BARR Engineering Co.
 4300 MARKETPOINTE DRIVE SUITE 200
 MINNEAPOLIS, MN 55435
 Project Office: BARR ENGINEERING CO., 4300 MARKETPOINTE DRIVE SUITE 200 MINNEAPOLIS, MN 55435
 Corporate Headquarters: Minneapolis, Minnesota Ph: 1-800-632-2277 Fax: (952) 832-2601 www.barr.com

Scale	AS SHOWN
Date	04/23/2026
Drawn	MJB
Checked	MJB
Designed	MJB
Approved	MJB

SHAKOPEE PUBLIC UTILITIES
 SHAKOPEE, MINNESOTA

ARBOR BLUFFS WATER BOOSTER STATION
 SHAKOPEE, MINNESOTA
 UTILITY SITE PLAN

BARR PROJECT No.	23271132.00
CLIENT PROJECT No.	
DWG. No.	C-01
REV. No.	A