



Shakopee Planning Commission Regular Meeting

Thursday, February 5, 2026

7:00 PM

City Hall, 485 Gorman Street

Vision: Shakopee is a distinctive river town with a variety of business, cultural, and recreational opportunities in a safe, welcoming, and attractive environment. Our vision is for Shakopee to continue being the place people want to live, work, and play!

Mission: Our mission is to deliver high quality services essential to maintaining a safe and sustainable community. We commit to doing this cost-effectively, with integrity and transparency.

1. Roll Call
2. Approval of Agenda
3. Recognition by Planning Commission of interested Citizens
4. Consent Agenda

These items are considered routine and will be enacted by one motion. There will be no separate discussion of these unless a Commissioner or staff requests, in which event the item will be removed from consent agenda for separate discussion & action.

 - 4.a [Approval of Planning Commission Meeting Minutes from January 8, 2026](#)
5. General Business
 - 5.a [PUBLIC HEARING - Preliminary and Final Plat of Southbridge Crossings Sixth Addition](#)
6. Other Business
7. Adjournment

If a commissioner has any comments, concerns or questions, he or she should contact the project manager prior to the scheduled meeting date. Also, if a commissioner is unable to attend the meeting for any reason, Please call the Department of Planning and Development at (952)233-9300 as soon as possible. Thank you!



**Shakopee Planning
Commission
February 5, 2026**

4.a

Agenda Item: Approval of Planning Commission Meeting Minutes from January 8, 2026
Prepared by: Rick Parsons
Reviewed by:

Action to be considered:

Approve the Planning Commission meeting minutes from January 8, 2026.

Motion Type:

Simple Majority

Background:

The Planning Commission meeting minutes from January 8, 2026, are ready for review and approval.

Recommendation:

Approve the Planning Commission meeting minutes from January 8, 2026.

Budget Impact:

N/A

Attachments:

[PC Minutes - January 8, 2026](#)

City of Shakopee

Planning Commission

Regular Meeting Minutes

Date: Thursday, January 8, 2026

Time: 7:00 p.m.

Location: City Hall, 485 Gorman Street, Shakopee, MN

1. Call to Order

Chair **Forsythe** called the meeting to order at **7:16p.m.**

2. Roll Call

Members Present:

- Commissioner Weiler
- Commissioner Sandhu
- Commissioner Robbins
- Commissioner Ranua
- Commissioner Sepulvado
- Chair Forsythe

Members Absent:

- Commissioner Reding

Staff Present:

- Michael Kerski, Director of Planning and Development
-

3. Approval of Agenda

Motion by Commissioner **Robbins**, second by Commissioner **Sandhu**, to approve the agenda as presented.

Vote: Motion carried unanimously (voice vote).

4. Recognition of Interested Citizens

No individuals came forward to speak.

5. Consent Agenda

5.a Approval of Planning Commission Meeting Minutes – December 4, 2025

Motion by Commissioner **Robbins**, second by Commissioner **Weiler**, to approve the consent agenda as presented.

Vote: Motion carried unanimously (voice vote).

6. General Business

6.a Public Hearing – Entertainment Overlay Zone – Signage

Mystic Lake Amphitheater (712 Canterbury Road)

Motion by Commissioner **Robbins**, second by Commissioner **Ranua**, to open the public hearing.

Vote: Motion carried unanimously (voice vote).

Staff presented the request for an amendment to Planned Unit Development District No. 8 to allow additional permanent exterior signage at the Mystic Lake Amphitheater under the Entertainment Overlay Zone. The proposal included multiple wall and monument signs exceeding standard sign allowances, as permitted under the overlay district. The signage is in scale to the structure that is almost 110 feet at the highest point. The signage will help attendees identify gate and the facility.

Jason Moutry, General Manager of the Mystic Lake Amphitheater, noted that staff had covered everything in relation to signage scale and will not be that bright. Pallet is within branding of Mystic Lake. Commissioner Robbins asked about schedule. Moutry said the plan is to open this summer. Capacity is 19,000. Commissioner Sepulvado asked about opening plans and dates in case construction is not completed. Moutry said they are moving ahead with booking acts for when the believe construction will be completed.

No public comments were received.

Motion by Commissioner **Robbins**, second by Commissioner **Sandhu**, to close the public hearing.

Vote: Motion carried unanimously (voice vote).

Action:

Motion by Commissioner **Forsythe**, second by Commissioner **Robbins**, to adopt **Resolution PC2026-001**, approving signage for the Mystic Lake Amphitheater, subject to conditions.

Roll Call Vote:

- Forsythe – Aye
- Weiler – Aye
- Sandhu – Aye
- Ranua - Aye
- Robbins – Aye
- Sepulvado - Aye

Result: Motion passed **6–0**.

7. Other Business

No other business was discussed.

8. Adjournment

Motion by Commissioner **Robbins**, second by Commissioner **Sandhu**, to adjourn the meeting.

Vote: Motion carried unanimously (voice vote).

The meeting adjourned at **7:32 p.m. until February 5th**



**Shakopee Planning
Commission
February 5, 2026**

5.a

Agenda Item: PUBLIC HEARING - Preliminary and Final Plat of Southbridge Crossings Sixth Addition
Prepared by: Kyle Sobota, Senior Planner
Reviewed by: Michael Kerski, Director of Planning and Development

Action to be considered:

Recommend City Council approval of the proposed preliminary and final plat of Southbridge Crossings Sixth Addition, as presented.

Motion Type:

Simple Majority

Background:

Site Information:

Applicant: Nam Le, HR Green
Address: 8100 Old Carriage Court North
Property Owner: Chick-Fil-A, Inc.
Lot Area: 4.43 Acres
Current Zoning: B-1, Highway Business
2040 Comp. Plan: Mixed Use Commercial Center

Nam Le, representing Chick-Fil-A, has applied for the preliminary and final plat of Southbridge Crossings Sixth Addition for property located at 8100 Old Carriage Court. The site was previously occupied by a Best Buy retail store. The proposed plat creates two lots, one 3.20 acre lot for a 5,200 square-foot Chick-Fil-A restaurant (Lot 2) on the south side of the site and a 1.23 acre lot on the north side of the site for another user.

Chick-Fil-A has already applied for their building permit to construct the restaurant, but they intend to start construction at or near the time of the roundabout construction at Old Carriage Court and Old Carriage Road. Vehicle access to the site for both lots is proposed from the existing right-in-only access to Old Carriage Road and the full movement access to Old Carriage Court. A cross-access agreement between the two lots will be required.

The majority of the existing trees along County Highway 21 will be preserved and the configuration of some of the existing parking areas will remain consistent with the

configuration from Best Buy. Pedestrian access to both lots is from a proposed connection to the existing sidewalk on Old Carriage Court. Planning and Engineering staff have been working with the applicant extensively on on coordination for roadway and utilities construction and staff recommends that the Planning Commission give a positive recommendation to the City Council.

Recommendation:

Recommend City Council approval of the proposed preliminary and final plat, as presented.

Budget Impact:

N/A

Attachments:

[Location Map](#)

[Applicant Narrative](#)

[Existing Conditions Survey](#)

[Preliminary Plat Drawing](#)

[Landscape Plan](#)

[Final Plat Drawing](#)

[Civil Plans](#)

[Engineering Department Comments](#)

[Draft Resolution R2026-024](#)



Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

8100 Old Carriage Ct N





Project Narrative

Site Summary

Chick-fil-A (CFA) is proposing to redevelop a 3.13-acre lot located generally at the northeast corner of the Old Carriage Road and Old Carriage Court intersection in the City of Shakopee. The project is more specifically located at 8100 Old Carriage Court. The subject property is currently an existing Best Buy building that will be demolished as part of this project. CFA is proposing to redevelop the site with a new single story 5,218 square foot free-standing restaurant, dual drive-thru facility with free-standing canopies, 74 stall parking lot, and associated utilities. The property is currently zoned B-1 (Highway Business District, w/ PUD Overlay). Although operating hours have not yet been defined, many CFA restaurants are generally open Monday thru Saturday, between 6:00 AM to 10:30 PM, closed on Sundays. CFA is anticipating that a total of 15-20 employees will be at the restaurant during the largest shift.

Lot Layout/Configuration

The CFA building has been situated at the northeast corner of the property in order to achieve the following: provide the maximum number of parking stalls; provide a sufficiently long drive-thru facility to promote efficient restaurant operations; and to provide adequate visibility to the new store. Providing ample vision will be key to the success of the CFA restaurant as it will attract potential new customers that are traveling along the adjacent roadways. Positioning the building in this location & orientation allows an outdoor patio to be located west of the building which will feature 4 tables for a total of 16 outdoor seats. An ornamental aluminum fence will be installed around the perimeter to create a barrier between the patio and the adjacent greenspace & parking lot.

Per City Code, the proposed CFA use will require a total of 39 spaces. Parking is proposed to be located south and west of the CFA building. A total of 74 spaces is currently proposed for the new development. The parking lot has been configured to maximize circulation and minimize backups onto adjacent access drives. Access to the site will be provided via existing access drives along the south and west property line. One existing access drive ties into the east side of Old Carriage Court and the other existing access drive ties into the north side of Old Carriage Road.

A sufficiently long CFA dual drive-thru lane is proposed to begin near the south end of the property. The drive-thru lane will then run along the south, east and north sides of the site and ultimately exit near the northwest corner of the building. The drive-thru lane has been positioned in a way to create a separation between dine-in & drive-thru traffic in order to prevent congestion within the parking lot. CFA is proposing to install two free-standing canopies over the drive-thru lane: An order point canopy to be located southeast of the CFA building; and an order meal delivery canopy to be located on the north side of the CFA building, over the pick-up window.



Chick-fil-A, Inc. | 5200 Buffington Road Atlanta, Georgia 30349-2998 | chick-fil-a.com | 404.765.8000

CFA's drive-thru operation consists of two lanes of customer ordering and two lanes of meal fulfillment. This dual flex lane concept allows the restaurant operator to use the outer lane as either a second meal fulfillment lane or as a by-pass lane at their discretion to properly support the operational needs of his or her business. If/when the outer lane is not in use, a series of magnetic delineators will be used to merge cars back into one lane for meal fulfillment at the window. Providing the two full lanes gives the operator the most flexibility to service their guests effectively and efficiently. Additionally, Chick-fil-A has a philosophy of encouraging a team member forward drive-thru operation to provide a personal guest experience and increase overall efficiency. CFA has achieved this through incorporating the ability for team members to take meal orders & payment face-to-face prior to guests arriving at the meal fulfillment area and through team members executing outdoor meal delivery in the meal fulfillment area. Enhancements have also been made at the pick-up window through implementation of a drive-thru door. The enhancement constitutes replacing the typical window with a multi-function door, that also can function as a window. The purpose of the drive-thru door is to allow team members to stage more meals and beverages indoors while they are delivering meals outside, directly to vehicle windows. The door allows easier access to the meals without passing them through a small window. This change helps to create an efficient drive-thru operation and improve the overall guest experience. During non-peak times or periods of inclement weather, the door can be closed and will function as a standard pickup window. Innovative features such as these are what have earned Chick-fil-A best drive-thru in America for ten consecutive years as determined by a nationally recognized quick service authority. Out of all the quick service restaurants surveyed, Chick-fil-A scored the highest in order accuracy, friendliness of the order takers, and speed of service.

Deliveries to the site will occur both after operating hours via key drops and during non-peak hours of operating days. The semi-truck deliveries will be made overnight and would occur 1-2 times a week with the smaller box truck type deliveries occur daily.

A dual bin trash enclosure has been situated near the entrance of the drive-thru lane on the south side of the site and will be constructed utilizing materials to compliment the principal building.

The Chick-fil-A site will be attractively landscaped to provide year-round interest and to meet the intent of the City Code.

Signage

Signage for the CFA restaurant will be paramount and has been designed to notify potential customers that are approaching the site from multiple directions. In an effort to assist them in locating the restaurant, signage is proposed on all four elevations. A pylon sign is also being proposed along the Old Carriage Road. Appropriate signage will be key to the success of the restaurant.



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Building Elevations

The Chick-fil-A building has been designed with a mixture of brick veneer, prefinished metal, and glass. The mechanical units for heating/cooling will be located on the roof and will be screened via a parapet wall. Accent light via wall sconces are proposed around the building to provide nighttime interest. The trash enclosure will incorporate the same colored brick veneer as the building to maintain consistency. The dumpsters inside of the enclosure will be screened from the front by durable double gates with prefinished plastic lumber (weathered wood).

The Chick-fil-A Story

It's a story that began when a man named Truett Cathy was born in 1921 in the small town of Eatonton, Georgia, about 80 miles from Atlanta, where he grew up. Truett's mom ran a boarding house, which meant she had to cook a lot of meals – but Truett helped, and he paid close attention, and picked up cooking and serving tips that would come in quite handy later. Along the way, he also learned to be quite the entrepreneur. He sold magazines door to door, delivered newspapers all over the neighborhood, and sold Coca-Colas from a stand in his front yard and all the while he was learning the importance of good customer service.

After serving his country in World War II, in 1946 Truett used the business experience he gained growing up and opened his first restaurant with his brother, Ben, calling it the Dwarf Grill (later renamed the Dwarf House). Hamburgers were on the menu but, ironically, no chicken because he said it took too long to cook. Truett worked hard with that first venture, but considered Sunday to be a day of rest, for himself and his employees and as you know, that's a practice that Chick-fil-A honors to this day.

The early 60s would be a pivotal time in Truett's life. That's when he first took a boneless breast of chicken and spent the next few years experimenting until he found the perfect mix of seasonings. He breaded and cooked the filet so that it stayed juicy, put it between two buttered buns and added two pickles for extra measure and in 1963 unveiled what we now know as the Chick-fil-A Chicken Sandwich. As far as the name, Truett says it just came to him. He had it registered that year in 1963 and created a logo that has been updated but is still very similar to the original designed 50 years ago.

The Chick-fil-A sandwich was a huge hit, and in 1967 Truett opened his first Chick-fil-A restaurant in an enclosed shopping mall where, up to that point, food normally wasn't sold. Frankly, the developer of the Greenbriar Shopping Center in Atlanta wasn't too keen on serving food inside his mall, but as we know that turned out to be a very smart decision on his part, and especially Truett's. Today, Truett is recognized as the pioneer in quick-service mall food. It wasn't until 1986 that Chick-fil-A opened its first "freestanding" restaurant on North Druid Hills Road in Atlanta. Today there are over 2,300 restaurants locations in 47 states.

Chick-fil-A is now the largest quick-service chicken restaurant and one of the largest that's privately-held. Three generations of Cathy family members are involved in the business, including Truett's sons Dan (the president and CEO) and Bubba (senior VP) and also, his grandchildren.



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Our Food

There are a lot of things people say they like about Chick-fil-A, but it all begins with the food, and especially the Original Chick-fil-A Chicken Sandwich. It was a significant product innovation, and it remains our best-selling item on the menu. Our innovations didn't stop with the chicken sandwich. In 1982, we were the first restaurant to sell chicken nuggets nationally, and three years later added our trademark Waffle Potato Fries to the menu, and we still use 100% fully refined peanut oil, which is cholesterol and trans fat free. In 2010, we introduced the Chick-fil-A Spicy Chicken Sandwich. With its special blend of peppers and other seasonings, it became such a "hot" selling item that we soon after introduced the Spicy Chicken Biscuit. More recently and within the last couple years we introduced to our menu a new grilled chicken sandwich and grilled chicken nuggets along with the most recent addition of mac & cheese. People also like the fact that we offer a variety of menu options for those wanting foods that are lower in calories, carbs or fats, such as the Chick-fil-A Chargrilled Chicken Sandwich, entrée salads and fruit cups and by the way, fruit cups are an option with our kid's meals these days. In fact, Men's Health magazine named us "America's Healthiest Chain Restaurant for Kids." The high quality of our food is the number one reason people keep coming back to Chick-fil-A but there are a few more reasons – and one has four legs and is a terrible speller.

Serving our Customers

Whenever you ask people what they like about Chick-fil-A, one of first things they say is "the service" and it's an important part of our story, because it goes back to Truett's experience as a young businessman and to the values he instilled in Chick-fil-A. We call it Second Mile Service, and it's based on the belief that if someone asks you to carry something for them one mile, you do one better and carry it for them two. Its doing those unexpected things that make people feel special. Our drive-thru has been voted "America's #1 drive-thru" for six years in a row. We do our best to ensure a quick and pleasurable experience, and might even have a nugget for the family pet when you arrive at the window. But no matter if you're being served in our restaurants, at our drive-thrus, or with an outside delivery, you can always count on our team members responding to your words of thanks with two special words of their own – "My pleasure."

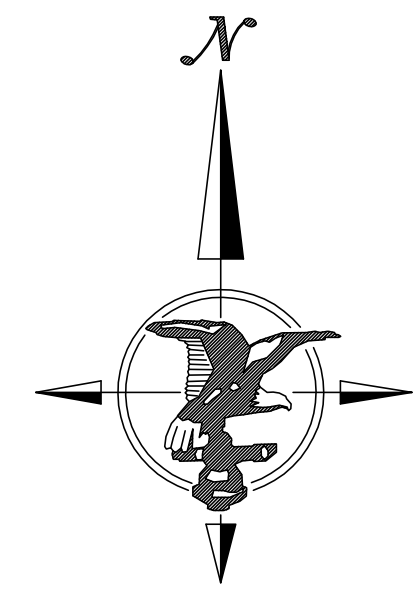
Chick-fil-A Philosophy & Operator/Employment Model

The Company's philosophy is that their restaurants become integral parts of the communities in which they are located. Chick-fil-A makes scholarships available to store employees and sponsors the Winshape Foundation which supports a family of programs designed to encourage outstanding young people nationwide. The Foundation has a college program and operates a series of camps, homes, and retreats. On the local level, individual restaurant operators typically engage in community support activities such as sponsoring youth sports teams, supporting educational activities, and leadership initiatives. Finally, and in accordance with company policy, the operators and employees in each Chick fil A Restaurant strive for a level of customer service unequalled in the quick-service food industry. It is quite common to go into a Chick-fil-A and have your tray carried to your table, have people clear your table, and ask if they can come and refresh your beverage.



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Beyond the above, Chick-fil-A's operator's model is very unique in the fast food industry. In their situation, the operator is part owner with Chick-fil-A. It's similar to a franchise except they usually have one location. Sometimes they have two but for the most part they have one location and what that provides is a situation where they have very competent partners with great character in the restaurants who are deeply involved in the community. What Chick-fil-A likes to say is that their operators are in business for themselves, but not by themselves. It is very unusual for an operator to shut down and the retention rate for operators is about 98%. A typical Chick-fil-A store will employ approximately 60 - 80 jobs with approximately 120 jobs created for temporary construction employment. A typical store will operate between the hours of 6:30am to 10:00pm; Monday thru Saturday and are always closed on Sundays.



SCALE: 1 INCH = 20 FEET

REVISIONS

Date:	
9/17/25	update site information

ALTA/NSPS
LAND TITLE SURVEY
WITH TOPOGRAPHY

For:

HR GREEN

SITE:

CFA SHAKOPEE

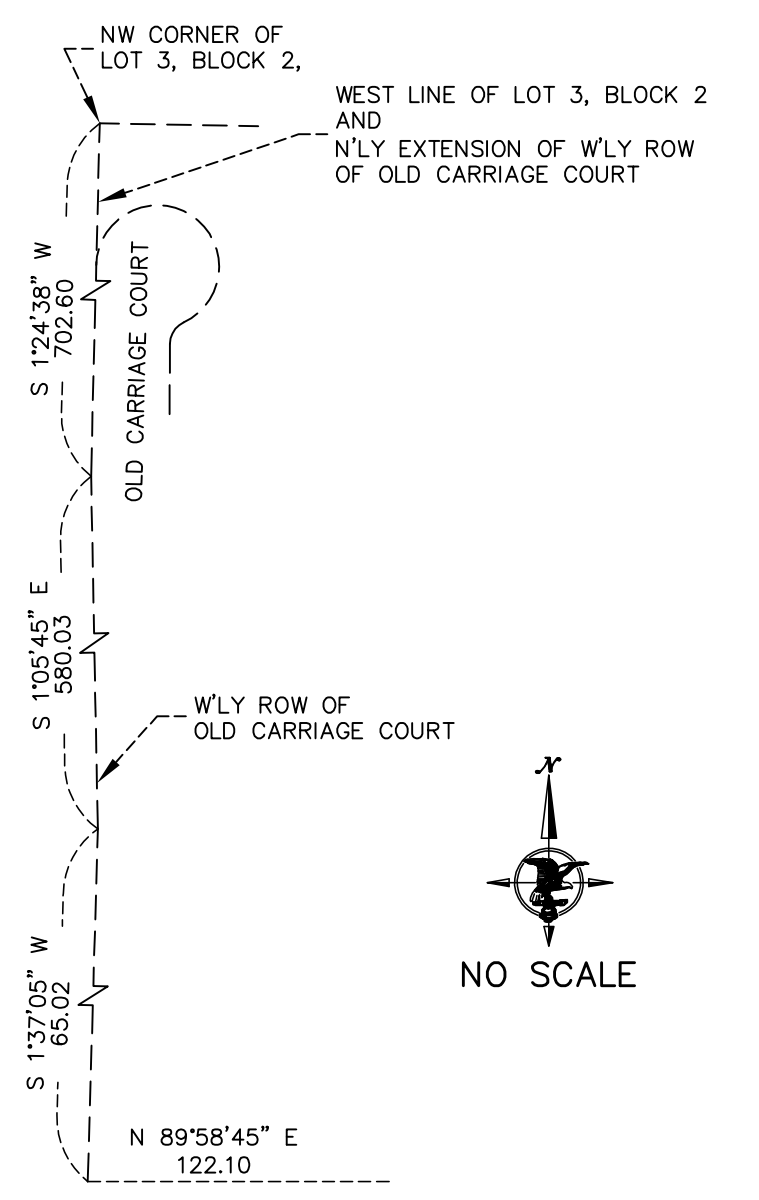
8100 OLD CARRIAGE COURT N.
SHAKOPEE, MINNESOTA

SCOTT COUNTY

HARRY S. JOHNSON CO., INC.
LAND SURVEYORS

9063 Lyndale Avenue South
Bloomington, MN. 55437
Tele. 952-884-5341 Fax 952-884-5344
www.hsjsurveyors.com

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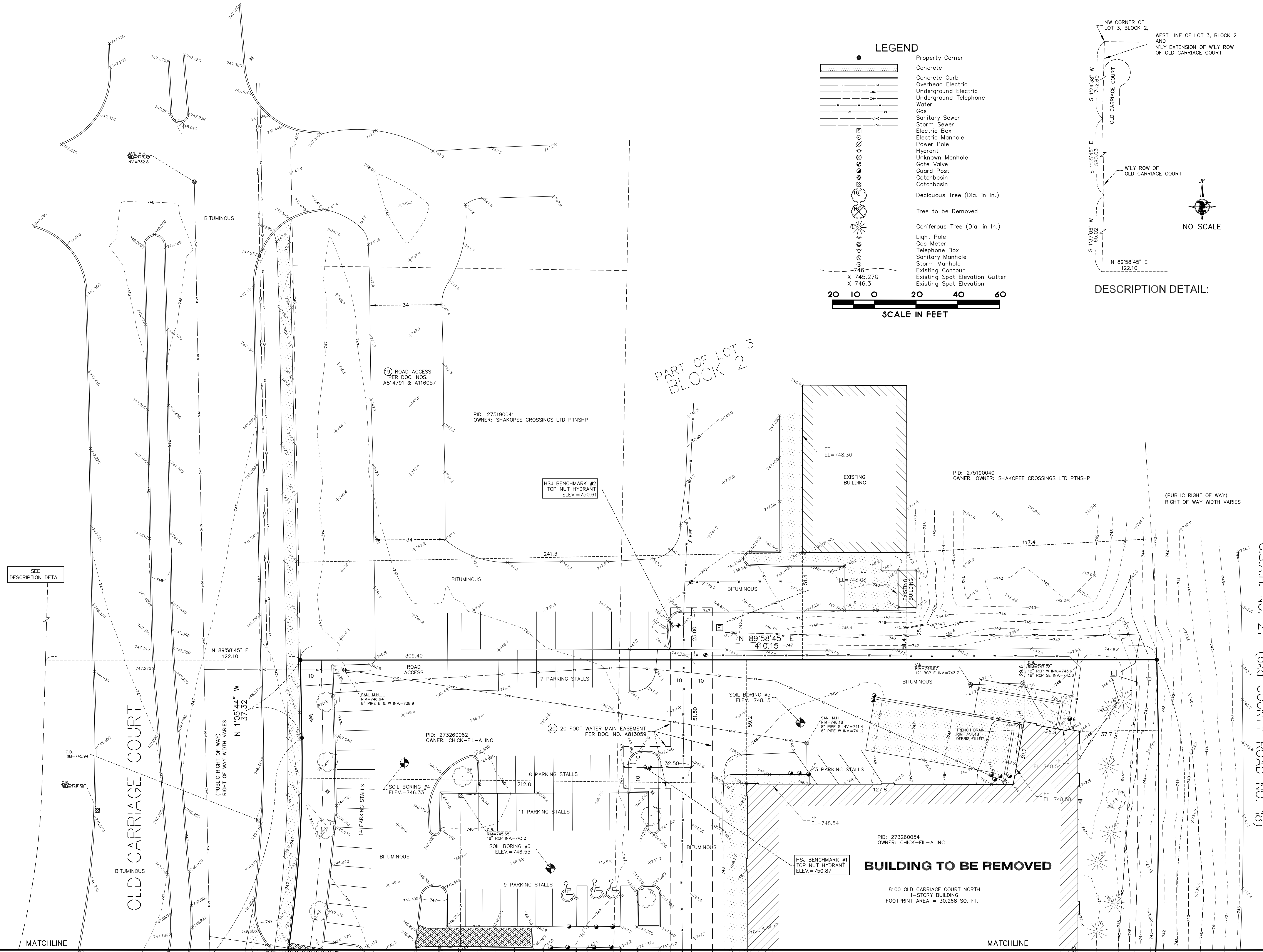


DESCRIPTION DETAIL:

LEGEND

- Property Corner
- ▨ Concrete
- ▨ Concrete Curb
- Overhead Electric
- Underground Electric
- Underground Telephone
- Water
- Gas
- Sanitary Sewer
- Storm Sewer
- Electric Box
- Electric Manhole
- Power Pole
- Hydrant
- Unknown Manhole
- Gate Valve
- Guard Post
- Catchbasin
- Catchbasin
- Deciduous Tree (Dia. in In.)
- Tree to be Removed
- Coniferous Tree (Dia. in In.)
- Light Pole
- Gas Meter
- Telephone Box
- Sanitary Manhole
- Storm Manhole
- Existing Contour
- Existing Spot Elevation
- Existing Spot Elevation Gutter
- Existing Spot Elevation

20 10 0 20 40 60
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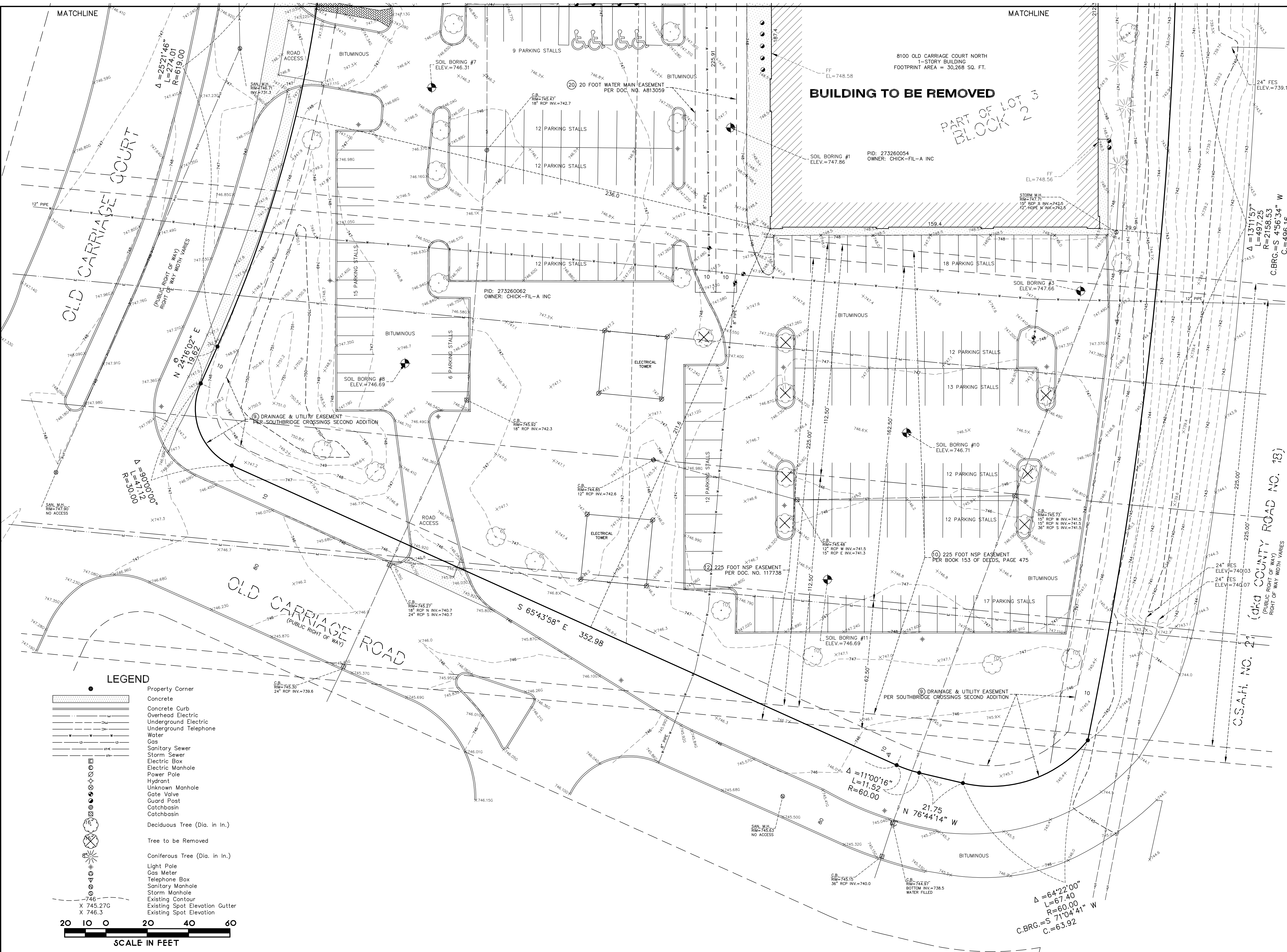


SEE DESCRIPTION DETAIL

MATCHLINE

MATCHLINE

CAD: F14-2024236.DWG
Path: J:\2024236\DWG



N

SCALE: 1 INCH = 20 FEET

REVISIONS

Date: _____

9/17/25	update site information

**ALTA/NSPS
 LAND TITLE SURVEY
 WITH TOPOGRAPHY**

For:

HR GREEN

SITE:
CFA SHAKOPEE

8100 OLD CARRIAGE COURT N.
 SHAKOPEE, MINNESOTA

SCOTT COUNTY

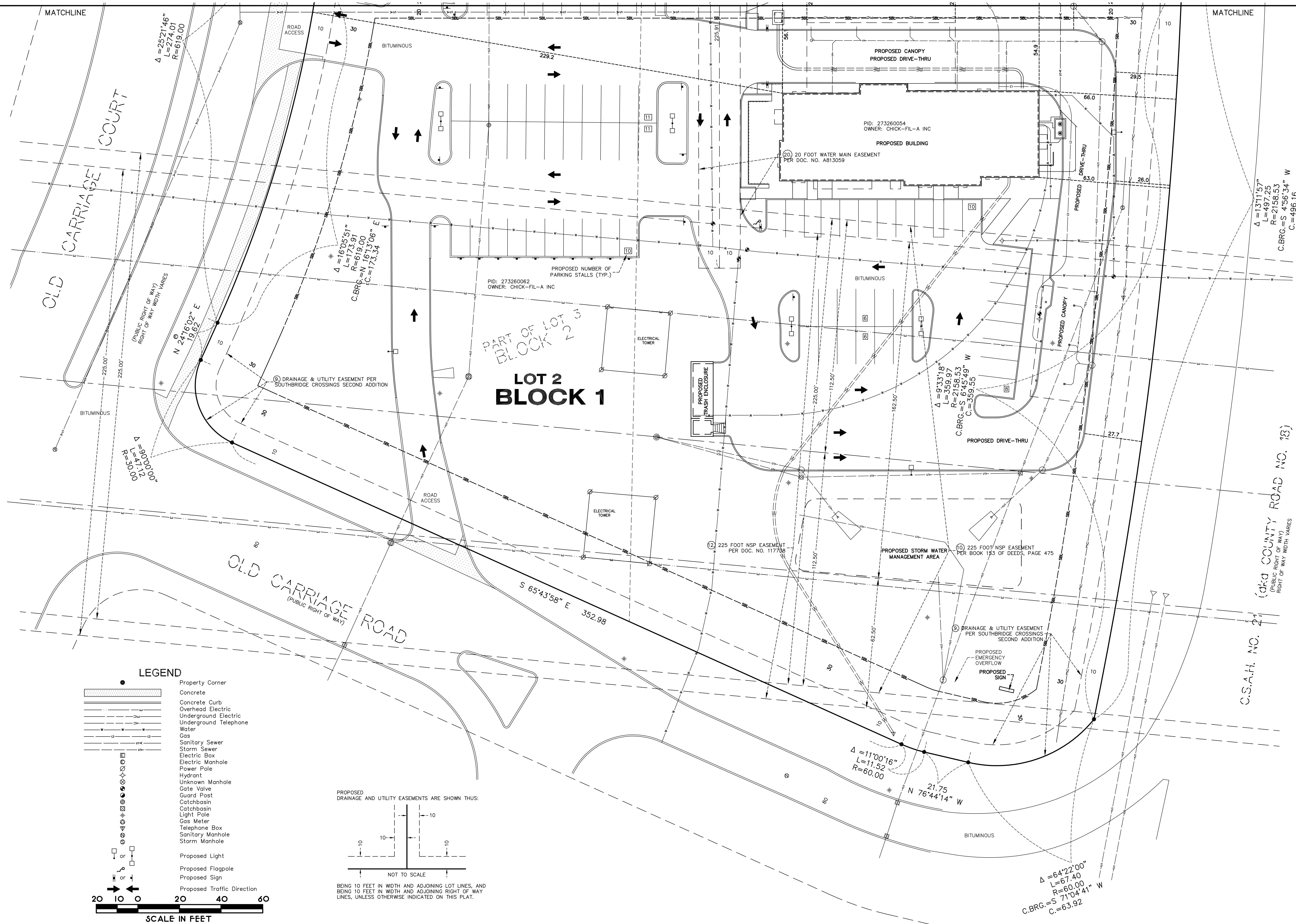
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Sheet No. 3 OF 3



MATCHLINE

MATCHLINE

SCALE: 1 INCH = 20 FEET

REVISIONS

Date: _____

12/5/25	update site plan

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

Thomas E. Hodorff, L.S.
Minnesota Reg. No. 23677

Date: _____

PRELIMINARY PLAT FOR SOUTHBRIDGE CROSSINGS SIXTH ADDITION

For:

HR GREEN

SITE:
CFA SHAKOPEE

8100 OLD CARRIAGE COURT N.
SHAKOPEE, MINNESOTA

SCOTT COUNTY

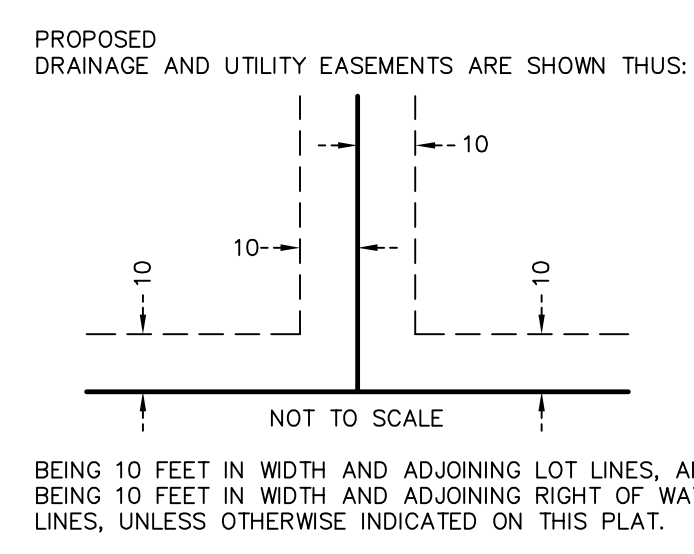
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LEGEND

- Property Corner
- ▬ Concrete
- ▬ Concrete Curb
- ▬ Overhead Electric
- ▬ Underground Electric
- ▬ Underground Telephone
- ▬ Water
- ▬ Gas
- ▬ Sanitary Sewer
- ▬ Storm Sewer
- Electric Box
- Electric Manhole
- Power Pole
- Hydrant
- Unknown Manhole
- Gate Valve
- Guard Post
- Catchbasin
- Catchbasin
- Light Pole
- Gas Meter
- Telephone Box
- Sanitary Manhole
- Storm Manhole
- ▬ Proposed Light
- ▬ Proposed Flagpole
- ▬ Proposed Sign
- ▬ Proposed Traffic Direction



PRELIMINARY PLAT OF: SOUTHBRIDGE CROSSINGS SIXTH ADDITION



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

HRGreen.com
HRGreen

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
DAVID LEE REITZ DATE 11/08/2025
LIC. NO. 48874
Pages or sheets covered by this seal:
L-100 - L-102

CHICK-FIL-A
SHAKOPEE (MN) FSU
8100 OLD CARRIAGE COURT
SHAKOPEE, MN 55379

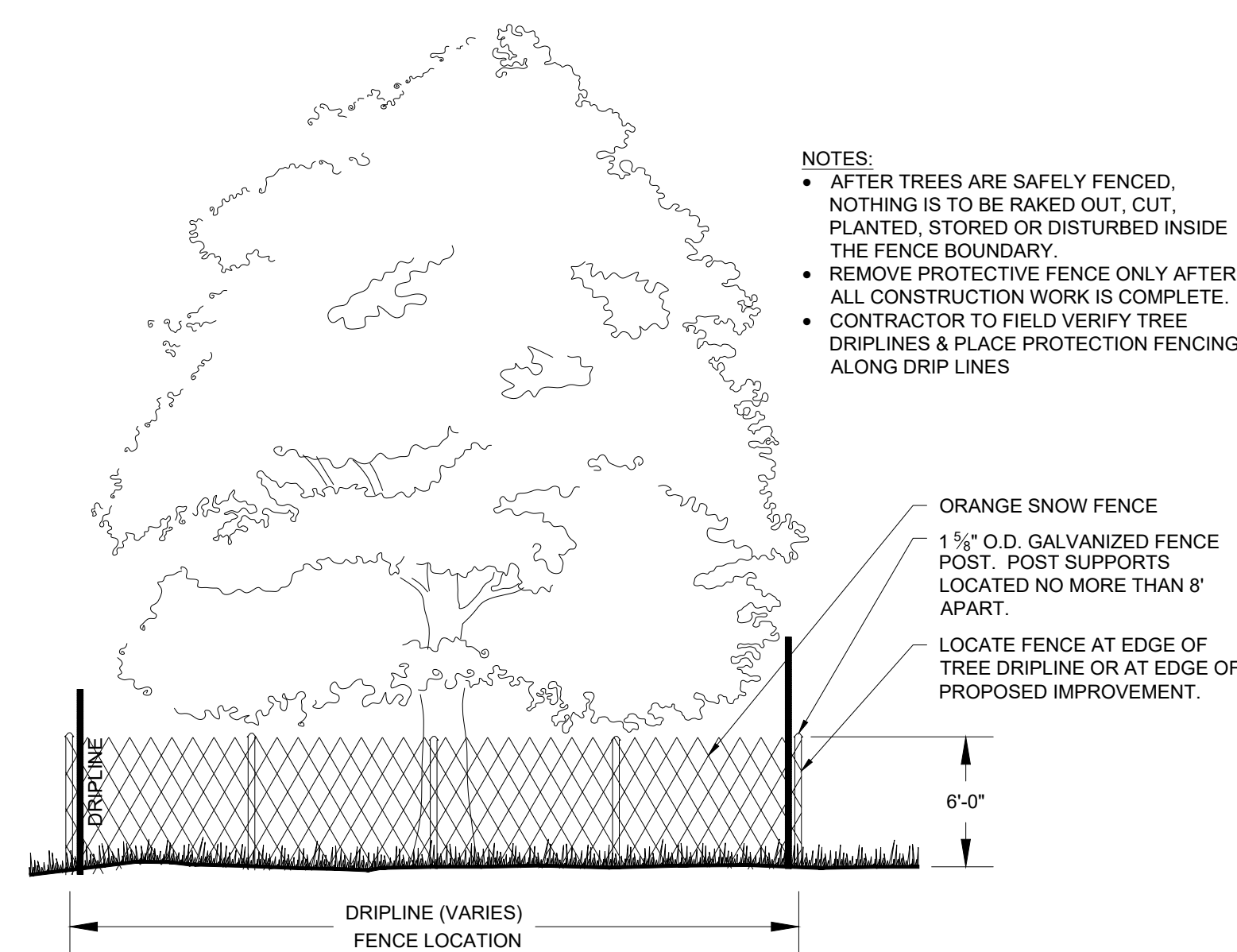
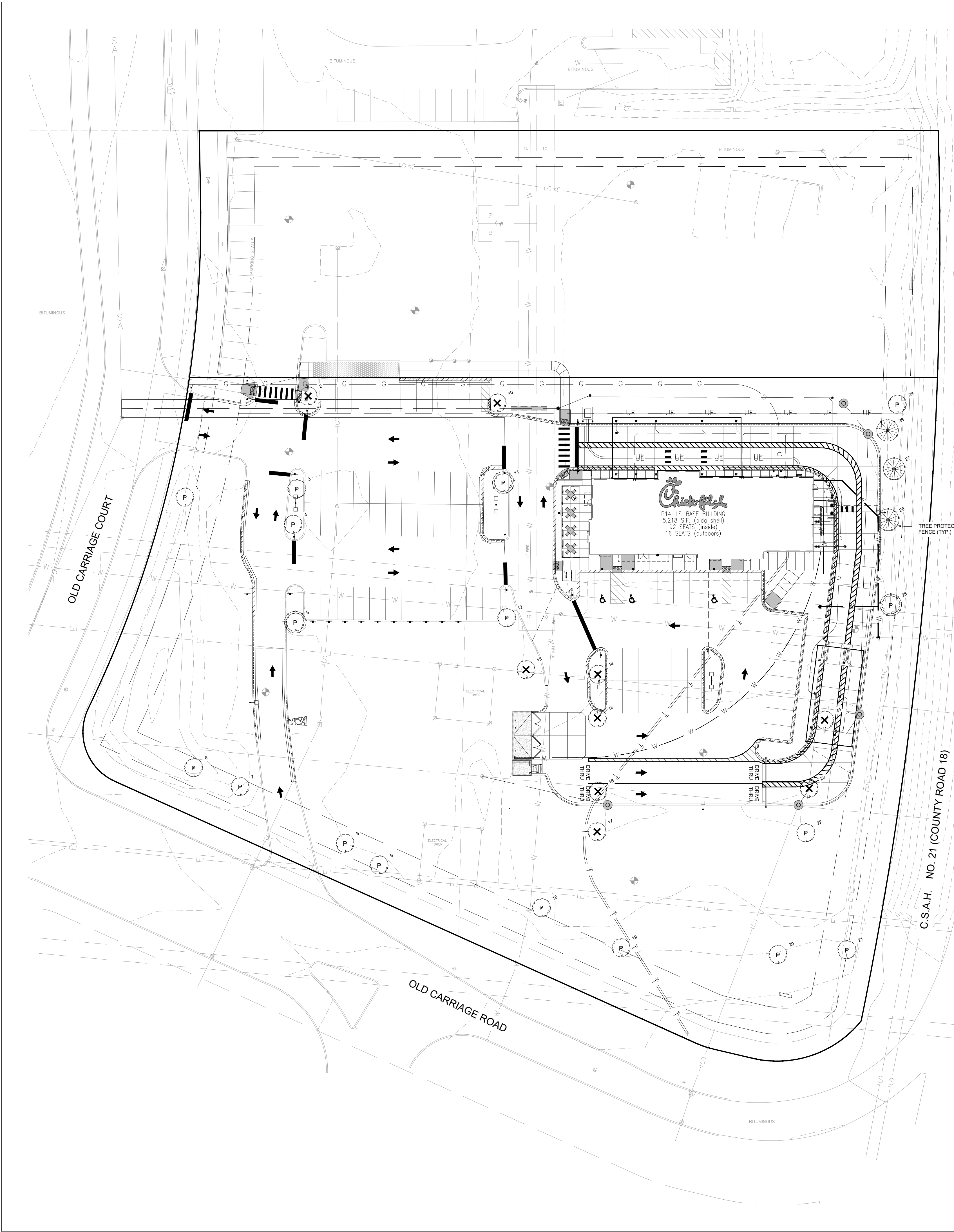
FSR# 05949

REVISION SCHEDULE

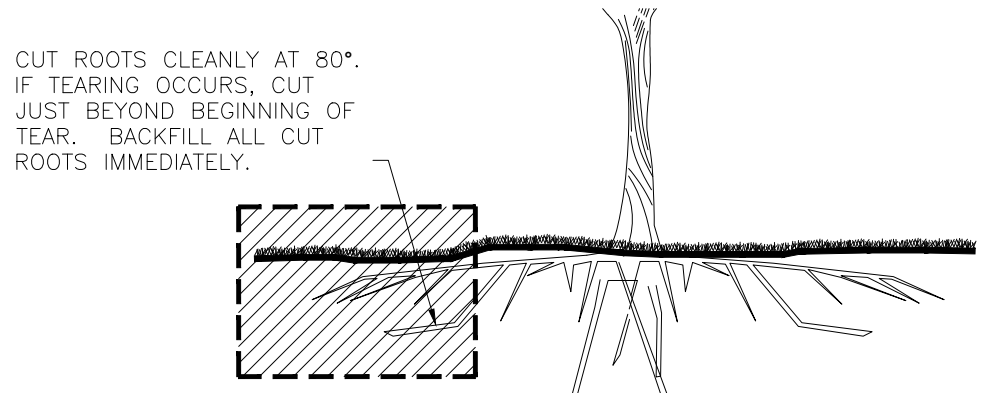
NO.	DATE	DESCRIPTION
1	07/31/25	ISSUED FOR PERMIT
2	09/26/25	CITY COMMENTS
3	10/21/25	DLI COMMENTS
4	11/06/25	CITY COMMENTS

ISSUED FOR PERMIT

ENGINEER'S PROJECT # 2402640
PRINTED FOR ISSUED FOR PERMIT
DATE 07/31/2025
DRAWN BY: KAL
CHECKED BY: JFR
Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.
SHEET TREE PRESERVATION PLAN
SHEET NUMBER L-100



1 TYP. TREE PROTECTION SNOW FENCE DETAIL
SCALE: NTS



2 TYP. ROOT PRUNING DETAIL
SCALE: NTS

CFA Shakopee, MN
9/24/2025
TREE SURVEY

TAG #	12	BOTANICAL NAME	COMMON NAME	AGE*	CONDITION**	ACTION	REASON
1	12.0	Tilia cordata	Littleleaf Linden	M	A	PRESERVE	
2	6.0	Cercis canadensis	Eastern Redbud	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
3	6.0	Quercus bicolor	Swamp White Oak	S	A	PRESERVE	
4	6.0	Quercus bicolor	Swamp White Oak	S	A	PRESERVE	
5	6.0	Cercis canadensis	Eastern Redbud	M	A	PRESERVE	
6	12.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
7	12.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
8	6.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
9	6.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
10	6.0	Betula papyrifera	Paper Birch	S	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
11	6.0	Cercis canadensis	Eastern Redbud	M	A	PRESERVE	
12	6.0	Gleditsia triacanthos	Honey Locust	M	A	PRESERVE	
13	6.0	Acer tatanicum subsp. ginnala	Amur Maple	S	C	REMOVE	POOR CONDITION
14	6.0	Prunus X cistena	Purple Leaf Sand Cherry	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
15	6.0	Morus var.	Crapapple	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
16	6.0	Morus var.	Crapapple	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
17	6.0	Morus var.	Crapapple	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
18	10.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
19	10.0	Acer carpinifolium	Hornbeam Maple	M	A	PRESERVE	
20	10.0	Acer carpinifolium	Hornbeam Maple	M	A	PRESERVE	
21	10.0	Acer tatanicum subsp. ginnala	Amur Maple	M	A	PRESERVE	
22	10.0	Morus var.	Crapapple	M	A	PRESERVE	
23	10.0	Morus var.	Crapapple	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
24	10.0	Morus var.	Crapapple	M	A	REMOVE	DISTURBANCE IN CRITICAL ROOT ZONE
25	6.0	Betula papyrifera	Paper Birch	M	A	PRESERVE	
26	6.0	Picea glauca	White Spruce	M	A	PRESERVE	
27	8.0	Picea glauca	White Spruce	M	A	PRESERVE	
28	8.0	Picea glauca	White Spruce	M	A	PRESERVE	
29	12.0	Acer rubrum	Red Maple	M	A	PRESERVE	

KEY:
* AGE: S - Semi-Mature (young trees over 5m high) M - Mature (approximately 40-50 years old) O - Over-Mature (die-back of branches, dead wood, etc.)
** CONDITION: A - Good B - Fair C - Poor D - Dead

TREE PROTECTION KEY

- (P) EXISTING TREE TO BE PRESERVED
- (X) EXISTING TREE TO BE REMOVED

TOTAL QUANTITIES (IN VICINITY OF DISTURBANCE AND PROPOSED IMPROVEMENTS)

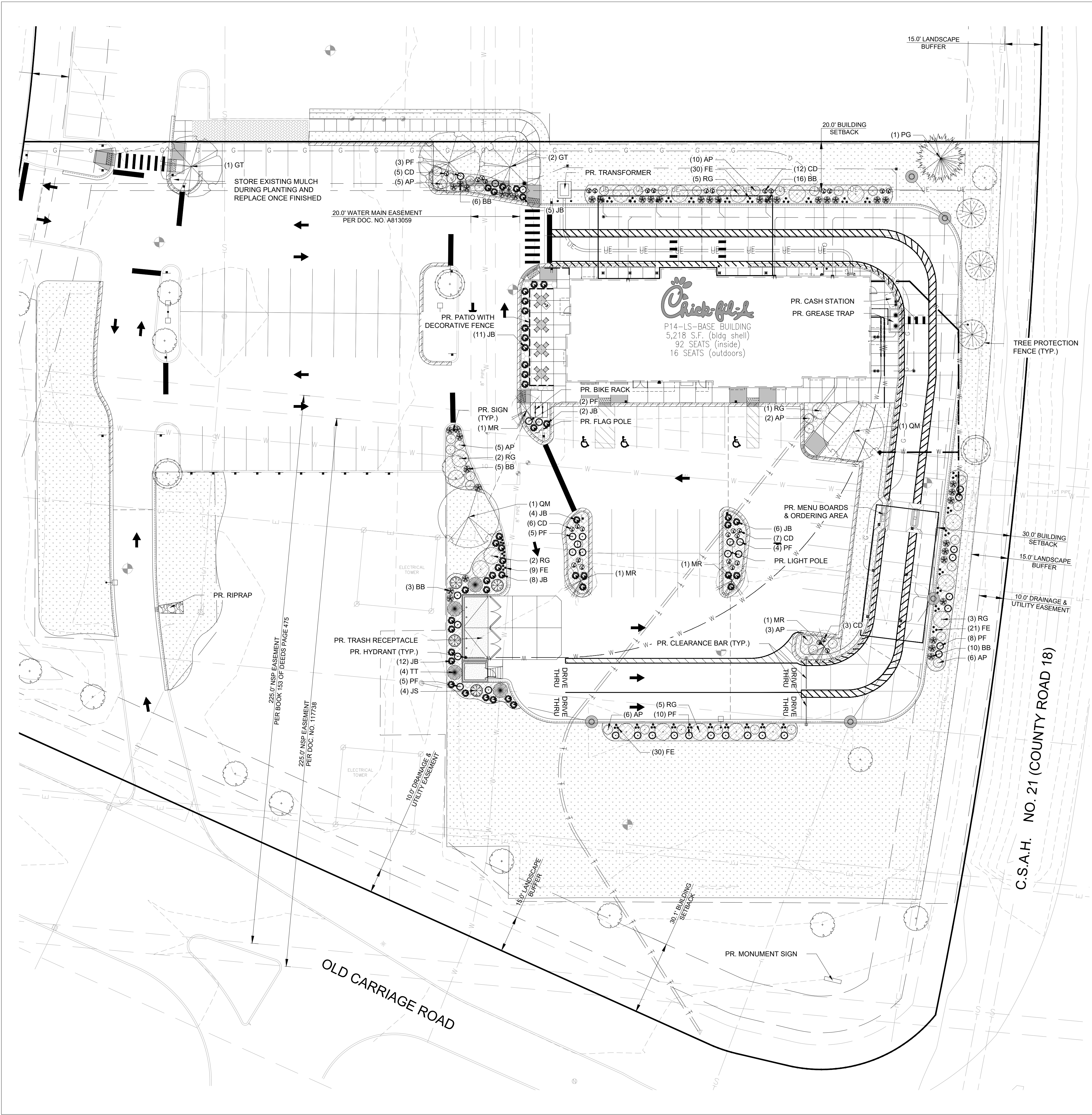
EXIST. TREES TO BE PRESERVED	20
EXIST. TREES TO BE REMOVED	9
TOTAL EXISTING TREES TAGGED	29

GENERAL NOTES

- THE INTENT IS TO KEEP THE EXISTING TREES TO BE PRESERVED IN TACT THROUGHOUT THE DURATION OF CONSTRUCTION ON-SITE. IF THE TREES ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR REPLACING PER THE MUNICIPALITY'S ORDINANCE.
- CONTRACTOR IS RESPONSIBLE FOR THE HAUL-OFF OF ALL TREES AND OTHER VEGETATION TO BE REMOVED.



FOR PERMIT



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE
DECIDUOUS TREES				
GT		3	GLEDITSIA TRIACANTHOS F. INERMIS THORNLESS HONEY LOCUST	2.5" CAL.
QM		2	QUERCUS MUEHLENBERGII CHINKAPIN OAK	2.5" CAL.
EVERGREEN TREES				
JS		4	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	6' HT.
PG		1	PICEA GLAUCA WHITE SPRUCE	6' HT.
TT		4	THUJA OCCIDENTALIS 'TECHNY' TECHNY ARBORVITAE	6' HT.
ORNAMENTAL TREES				
MR		4	MALUS X 'ROYAL RAINDROPS' ROYAL RAINDROPS CRABAPPLE	1.5" CAL.
SYMBOL CODE QTY BOTANICAL / COMMON NAME SIZE				
DECIDUOUS SHRUBS				
CD		33	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' DARK KNIGHT BLUEBEARD	5 GAL.
PF		37	POTENTILLA FRUTICOSA 'GOLD STAR' GOLD STAR BUSH CINQUEFOIL	5 GAL.
RG		18	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL.
EVERGREEN SHRUBS				
AP		37	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' PANCHITO MANZANITA	5 GAL.
JB		48	JUNIPERUS SQUAMATA 'BLUE STAR' BLUE STAR JUNIPER	5 GAL.
GRASSES				
BB		40	BOUPELLOU GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL.
FE		90	FESTUCA GLAUCA 'ELIJAH BLUE' ELIJAH BLUE FESCUE	1 GAL.

LANDSCAPE CALCULATIONS

BUILDING AREA			
AREA/MATERIAL	ORDINANCE	REQUIRED	PROVIDED
5,218 SF (ROUNDED UP TO 6,000)	2 TREES PER 1,000 SF	12	12
PARKING ISLANDS			
AREA/MATERIAL	ORDINANCE	REQUIRED	PROVIDED
4 PARKING ISLANDS	1 SHADE TREE PER ISLAND	6	6

NOTE: ORNAMENTAL TREES WERE PROVIDED IN PARKING ISLANDS INSTEAD OF SHADE TREES DUE TO OVERHEAD UTILITIES.

GROUND COVERS		
5 SF	1-1/2" DECORATIVE ROCK	
29 SF	SHREDDED MULCH	
197 SF	TURF SOD	



Chick-fil-A

Chick-fil-A
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Atlanta, Georgia
30349-2998



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DAVID LEE REITZ DATE 11/06/2025
L-100 - L-102 LIC. NO. 46874

CHICK-FIL-A
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8100 OLD CARRIAGE COURT
SHAKOPEE, MN 55379

FSR# 05949

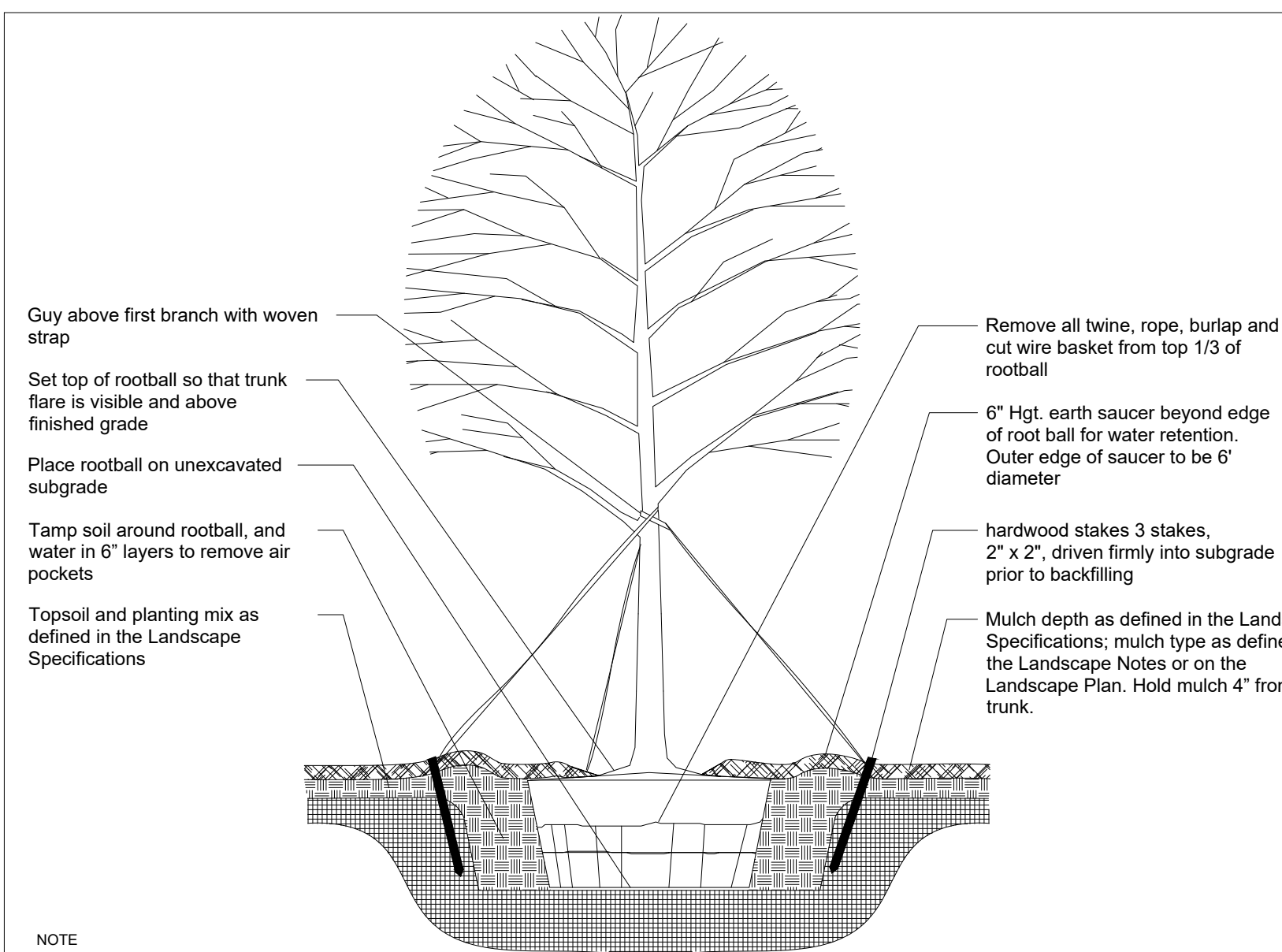
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SHEET **LANDSCAPE PLAN**
SHEET NUMBER
L-101

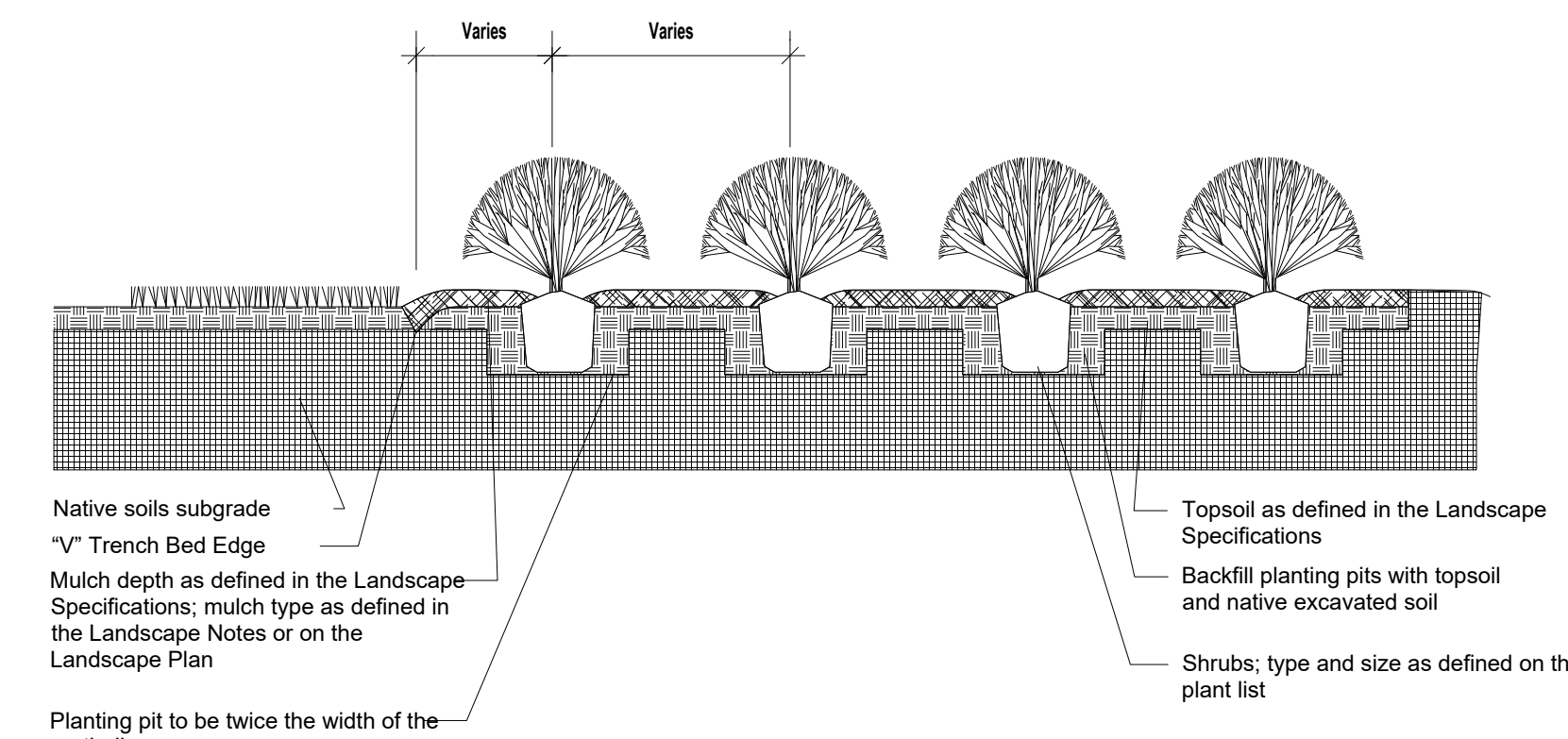


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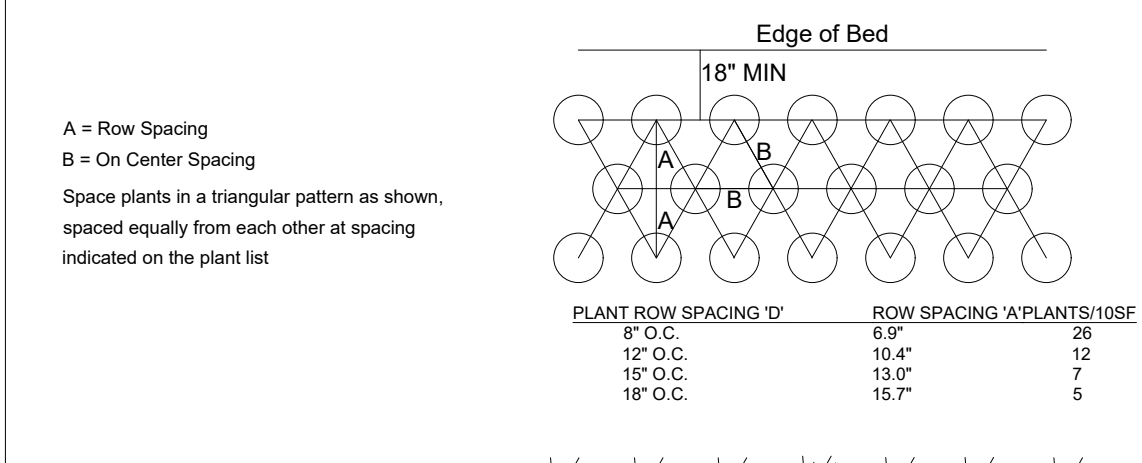


- NOTE
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4\"/>

1 TREE PLANTING AND STAKING DETAIL
SCALE: NTS

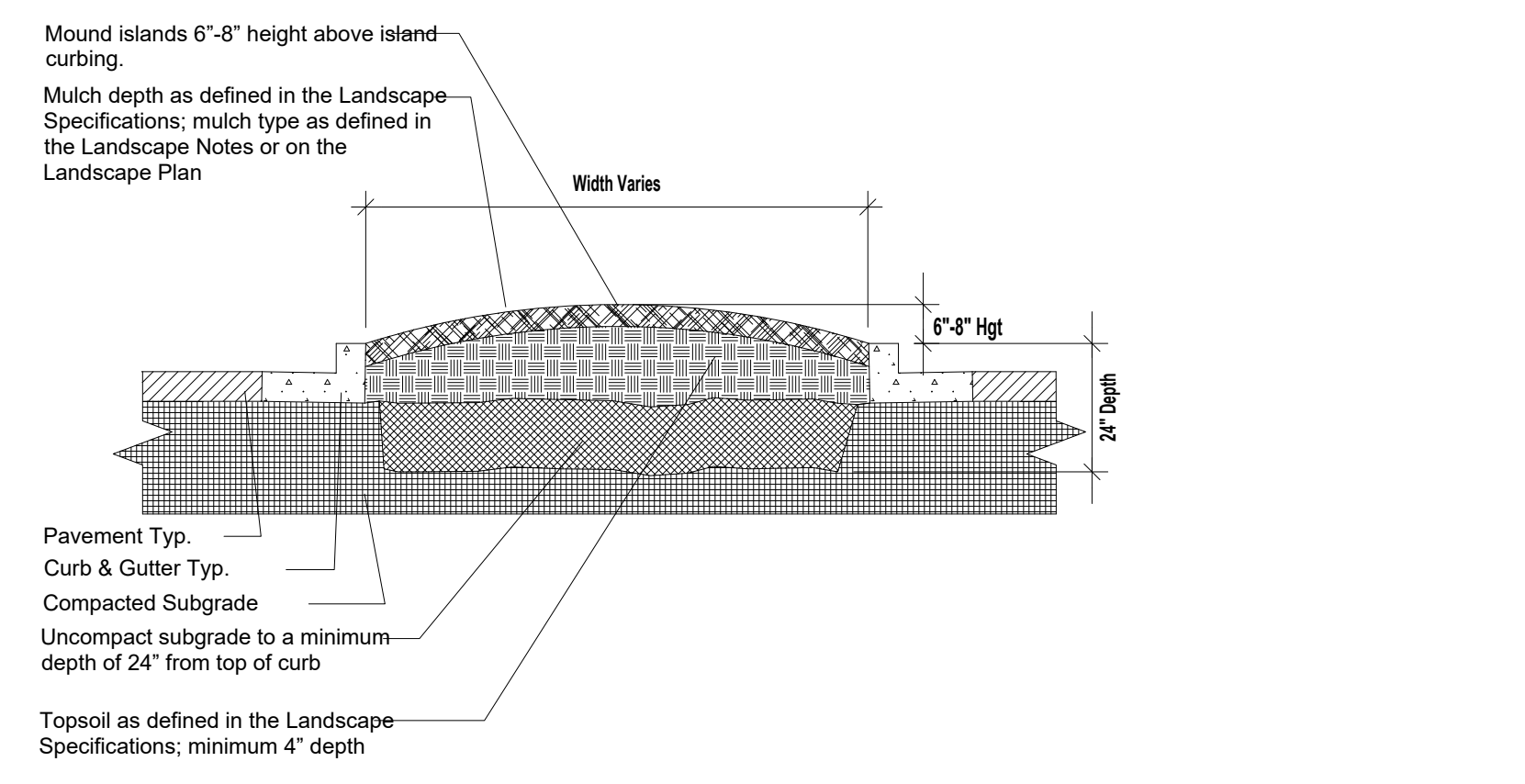


2 SHRUB BED PLANTING DETAIL
SCALE: NTS



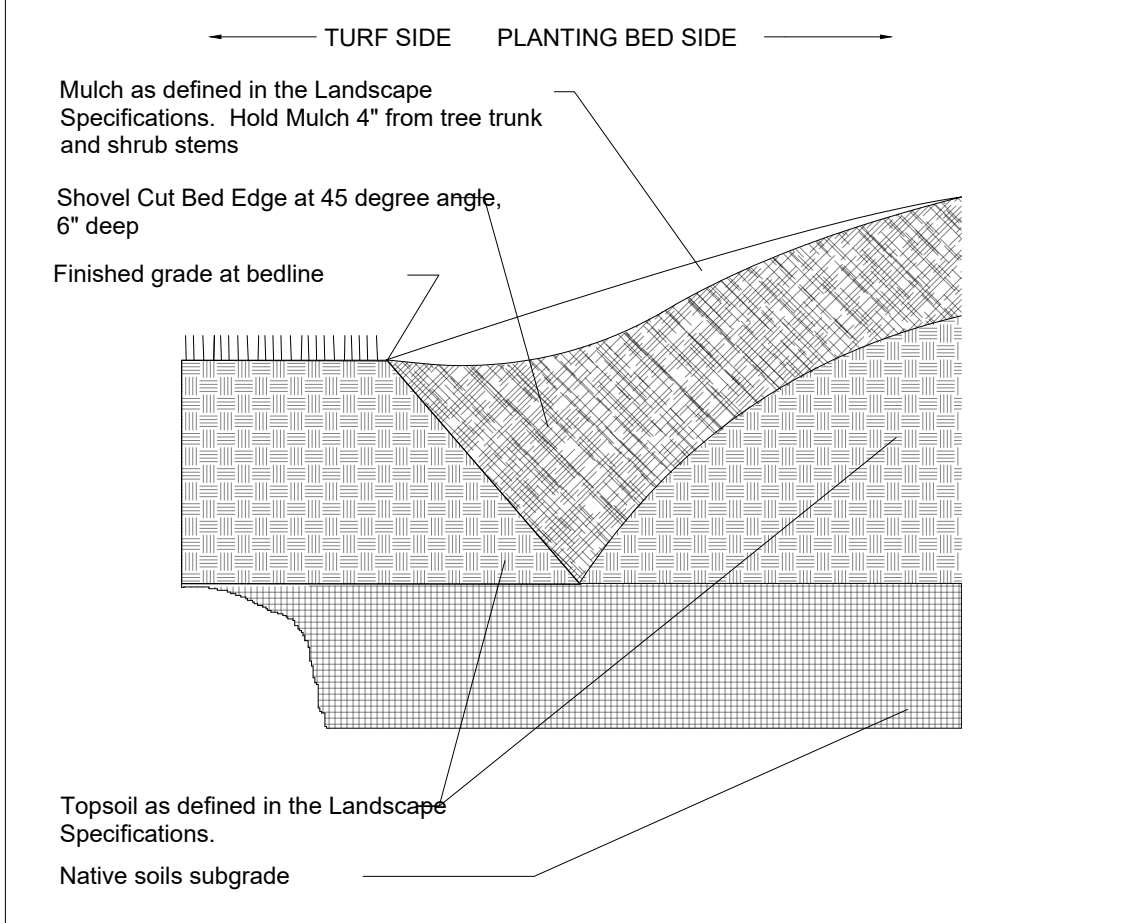
- Mulch depth as defined in the Landscape Specifications; mulch type as defined in the Landscape Notes or on the Landscape Plan.
- Topsoil as defined in the Landscape Specifications
- Native soils subgrade
- NOTE
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24\"/>

3 GROUND COVER PLANTING DETAIL
SCALE: NTS



- NOTE
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24\"/>

4 PARKING ISLAND BERMING DETAIL
SCALE: NTS



5 V TRENCH BED EDGING
SCALE: NTS

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING JULIE, THE COUNTY PUBLIC WORKS DEPARTMENT, THE MUNICIPALITY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE OR AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1\"/>

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR TO READ AND UNDERSTAND THE LANDSCAPE SPECIFICATIONS (SHEET L-103) PRIOR TO FINALIZING BIDS. THE LANDSCAPE SPECIFICATIONS SHALL BE ADHERED TO THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
- EDGER SHALL BE PLACED IN BETWEEN ALL CHANGES IN SURFACE MATERIAL.
- ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, ROCK, RUBBLE, BUILDING MATERIALS, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOPSOIL.
- ALL SHRUBS BEDS (EXISTING AND NEW) TO BE MULCHED WITH A 3 INCH MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANTED ANNUAL AND PERENNIAL BEDS WITH 2 INCH DEPTH OF MINI NUGGETS.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH OF THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. BACK TO BE A MIX OF 4 PARTS TOPSOIL AND 1 PART ORGANIC SOIL CONDITIONER (IE. NATURE'S HELPER OR PRO MIX). BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED AND REPLACED. ALL TIRE MARKS AND INDENTIONS TO BE REPAIRED.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD IS TO BE V TRENCHED.
- ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADDING A MIN OF 4\"/>



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SHEET
LANDSCAPE NOTES & DETAILS
SHEET NUMBER
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LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

PROVIDE TREES, SHRUBS, GROUND COVERS, SOD, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:

1. SOIL PREPARATION.
2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
3. PLANTING MIXES.
4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.
5. MAINTENANCE.
6. DECORATIVE STONE.

RELATED WORK:

1. IRRIGATION SYSTEM: SEE IRRIGATION SPECIFICATIONS (NOT INCLUDED IN PACKAGE).

QUALITY ASSURANCE

PLANT NAMES INDICATED, COMPLY WITH 'STANDARDIZED PLANT NAMES' AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE STOCK INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL, SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING, WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT. INVOICE OR ORDER TO STOCK, PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HEATED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS, AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE, LEAVES AND BRANCHES, OR OTHER BRUISES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANTY WILL BEGIN ON THE DATE OF PLANTING AND END ONE YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERINGS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 15 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION. MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.

1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO, ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED AND HEALTHY ROOT SYSTEM. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP. TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.
2. CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR CIRCULATING LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - 2.1. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - 2.2. CONTAINER STOCK SHALL NOT BE POT BOUND.
 - 2.3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.
 - 2.4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
 - 2.5. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
3. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
4. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
5. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
6. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
7. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
- 8.2. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
- 8.3. SINGLE BRANCHED SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.
- 8.4. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES

TOPSOIL: SHALL BE FERTILE, FRABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED AERABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

1. SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
3. LANDSCAPE ISLANDS/MEDIANS: FRACTURE/COSEAN EXISTING SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENEED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.
4. ANNUAL/PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON GROUND AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MULCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

1. HARDWOOD: 6 MONTH OLD WELL ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND .12" IN WIDTH. FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3".
2. PINE STRAW: PINE STRAW TO BE FRESH HARVEST, FREE OF DEBRIS, BRIGHT IN COLOR. BALES TO BE WIRED AND TIGHTLY BOUND. NEEDLES TO BE DRY. INSTALL MINIMUM DEPTH OF 3".
3. RIVER ROCK: (COLOR) LIGHT GRAY TO BUFF TO DARK BROWN, WASHED RIVER ROCK, 1" - 3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE PLANT MATERIAL.
4. MINI NUGGETS: INSTALL TO A MINIMUM DEPTH OF 2"-3" AT ALL LOCATIONS OF ANNUAL AND PERENNIAL BEDS. LIFT THE STEMS AND LEAVES OF THE ANNUALS AND CAREFULLY SPREAD THE MULCH TO AVOID INJURING THE PLANTS. GENTLY BRUSH THE MULCH OFF THE PLANTS.

GUYNING/STAKING:

1. ARBORITE (GREEN OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL, 3/4" WIDE 900 LB. BREAK STRENGTH. ARBORITE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE.
2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

TREE WRAP: TREE WRAPS SHOULD BE USED ON YOUNG, NEWLY PLANTED THIN-BARKED TREES (CHERRY, CRABAPPLE, HONEY LOCUST, LINDEN, MAPLE, MOUNTAIN ASH, PLUM) THAT ARE MOST SUSCEPTIBLE TO SUN SCALD/SUNBURN. STANDARD WATERPROOFED TREE WRAPPING PAPER, 2-1/2" WIDE, MADE OF 2 LAYERS OF CREPE DRAFT PAPER WEIGHING NOT LESS THAN 30 LBS. PER REAM, CEMENTED TOGETHER WITH ASPHALT, WRAP THE TREE IN THE FALL, AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE TREES DEVELOP CORKY BARK.

PART 3 - EXECUTION

INSPECTION

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2" - 3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL, MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MULCH PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL WOUNDS.

1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL.

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

DECORATIVE STONE: (WHERE INDICATED ON LANDSCAPE PLAN)

1. INSTALL WEED CONTROL BARRIER OVER SUB-GRADE PRIOR TO INSTALLING STONE. LAP 6" ON ALL SIDES.
2. PLACE STONE WITHOUT DAMAGING WEED BARRIER.
3. ARRANGE STONES FOR BEST APPEARANCE AND TO COVER ALL WEED BARRIER FABRIC.

WRAPPING, GUYING, STAKING:

1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION, AND IMPROPER PRUNING BEFORE WRAPPING.
2. WRAPPING:
 - 2.1. WRAP TRUNKS OF ALL YOUNG NEWLY PLANTED TREES KNOWN TO HAVE THIN BARK. WRAP SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE.
 - 2.2. OVERLAP 1/2 THE WIDTH OF THE TREE WRAP STRIP AND COVER THE TRUNK FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH.
 - 2.3. SECURE TREE WRAP IN PLACE WITH TWINE WOUND SPIRALLY DOWNWARD IN THE OPPOSITE DIRECTION, TIED AROUND THE TREE AT LEAST 3 PLACES IN ADDITION TO THE TOP AND BOTTOM.
 - 2.4. WRAP THE TREES IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING.
 - 2.5. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREES DEVELOP CORKY BARK.
3. STAKING/GUYING:
 - 3.1. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING OPERATIONS AND PRIOR TO ACCEPTANCE.
 - 3.2. STAKE DECIDUOUS TREES 2" CALIPER AND LESS. STAKE EVERGREEN TREES UNDER 7'-0" TALL.
 - 3.2.1. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL.
 - 3.2.2. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH.
 - 3.3. GUY DECIDUOUS TREES OVER 2" CALIPER, GUY EVERGREEN TREES 8'-0" TALL AND OVER.
 - 3.3.1. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL, WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND.
 - 3.3.2. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH.
 - 3.3.3. THE AXIS OF THE STAKE SHOULD BE AT 90 DEGREE ANGLE TO THE AXIS ON THE PULL OF THE GUY WIRE.
 4. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

PRUNING:

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

WORKMANSHIP

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE. UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

MAINTENANCE

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASE.

1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR.
3. REPAIR DEFICIENCIES SUCH AS SOON AS POSSIBLE AFTER APPARENT AND WEATHER AND SEASON PERMIT.
4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS

ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.

ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.

ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS

ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE (GENERAL MANAGER OF THE RESTAURANT).

ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE GENERAL MANAGER PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING

THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

ACCEPTABLE SOIL TEST RESULTS

	LANDSCAPE TREES AND SHRUBS	TURF
pH RANGE	5.0 - 7.0	6.0 - 7.0
ORGANIC MATTER	> 1.5%	> 1.5%
MAGNESIUM (Mg)	100+ LBS/ACRE	100+ LBS/ACRE
PHOSPHORUS (PP2O5)	150+ LBS/ACRE	150+ LBS/ACRE
POTASSIUM (K2O)	120+ LBS/ACRE	120+ LBS/ACRE
SOLUBLE SALTS/ CONDUCTIVITY	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.

WORKMANSHIP

DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

TURF

GENERAL CLEAN UP

PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING

WARM SEASON GRASSES (IE. BERMUDDA GRASS) SHALL BE MAINTAINED AT A HEIGHT OF 1" TO 2" DURING THE GROWING SEASON.

COOL SEASON GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: WEED EATERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING

EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

LIMING & FERTILIZING

A SOIL TEST SHALL BE TAKEN TO DETERMINE WHETHER AN APPLICATION OF LIMESTONE IN LATE FALL IS NECESSARY. IF LIMESTONE IS REQUIRED, THE LANDSCAPE CONTRACTOR SHALL SPECIFY THE RATE, OBTAIN APPROVAL FROM THE OWNER AND APPLY IT AT AN ADDITIONAL COST. A UNIT PRICE FOR LIMING OF TURF SHALL ACCOMPANY THE BID BASED ON A RATE OF 50 POUNDS PER 1000 SQUARE FEET.

FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL- HERBICIDES

SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICE'S "COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF" FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

TREES, SHRUBS, & GROUND COVER

PRUNING

ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES. DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

PRUNING GUIDELINES:

1. PRUNE THOSE THAT FLOWER BEFORE THE END OF JUNE IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
2. PRUNE THOSE THAT FLOWER IN SUMMER OR AUTUMN IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.

3. DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS, PYRACANTHAS AND VIBURNUMS.
4. HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
5. BROAD-LEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
6. HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.
7. CONFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
 - 7.1. YEW, JUNIPERS, HEMLOCKS, ARBORVITAE, AND FALSE-CYPRESS MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
 - 7.2. FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
 - 7.3. PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
8. GROUNDCOVER SHALL BE EDGED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
9. THINNING- REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CREPE MYRTLES, LILACS, VIBURNUMS, SMOKE BUSH ETC.
10. REVERSAL PRUNING- REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. ALSO REMOVE WEAK STEMS, OR OVERGROWN PLANTS. THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON ABELIA, FORSYTHIA, DEUTZIA, SPIREA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.

SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP

PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING


FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR BROAD-LEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.

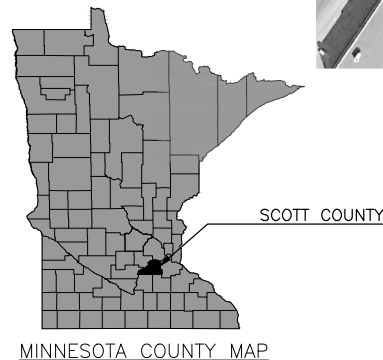
SHRUBS AND GROUNDCOVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP, OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

MULCHING

ANNUALLY, ALL TREE AND SHR

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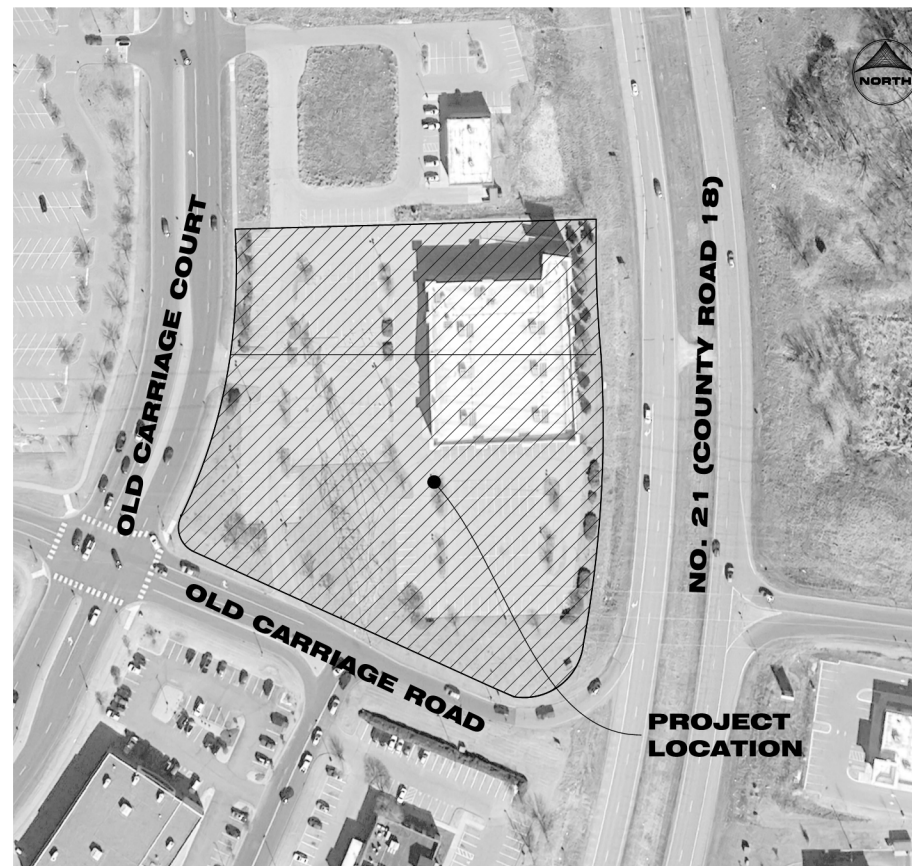
SHAKOPEE, MINNESOTA

8100 OLD CARRIAGE COURT

SHAKOPEE, MN 55379

ZONED

B-1 - HIGHWAY BUSINESS DISTRICT
LOCATION MAP



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C-504	STANDARD CONSTRUCTION DETAILS
C-505	STANDARD CONSTRUCTION DETAILS
C-506	STANDARD CONSTRUCTION DETAILS
C-507	STANDARD CONSTRUCTION DETAILS

LANDSCAPING

L-100	TREE PRESERVATION PLAN
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE NOTES & DETAILS
L-103	LANDSCAPE SPECIFICATIONS

SITE BENCHMARK:
ELEVATION DATUM IS BASED ON NAVD 88 DATA.
FISJ BENCHMARK #1 IS LOCATED TOP NUT HYDRANT
(AS SHOWN ON SURVEY)
ELEVATION = 750.87

- NOTES:**
- HR GREEN, INC. IS TO BE NOTIFIED 3 DAYS PRIOR TO CONSTRUCTION START.
 - HR GREEN, INC. SHALL BE INCLUDED IN ALL PRE-CONSTRUCTION MEETINGS.
 - ANY DISCREPANCIES ON THIS PLAN SET MUST BE NOTED AND HR GREEN, INC. NOTIFIED PRIOR TO ACTUAL CONSTRUCTION SO THAT ANY DISCREPANCIES CAN BE RESOLVED.


CALL: 1-800-252-1166

WITH THE FOLLOWING:
COUNTY SCOTT COUNTY
CITY-TOWNSHIP SHAKOPEE - S12, T155N, R22W
PARCEL ID. NO. # 273260054 & 273260062


48 hours before you dig
(Excluding Sat., Sun. & Holidays)

1-800-252-1166
WWW.GOPHERSTATEONECALL.ORG

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

 DATE 11/06/2025
DAVID LEE REITZ LIC. NO. 46874
Pages or sheets covered by this seal:
L-100 - L-102

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 DATE 11/06/2025
TODD M. RICHARDS LIC. NO. 52503
Pages or sheets covered by this seal:
ALL "C" SHEETS AND ALL "PS" SHEETS EXCEPT C-002 - C-004

- CITY NOTES:**
- CONTRACTOR TO CALL 952-233-9349 TO SCHEDULE TREE PROTECTION FENCING INSPECTION PRIOR TO ISSUANCE OF BUILDING PERMIT OR RAZING PERMIT.
 - ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH THE MINNESOTA STATE FIRE CODE. ACCESS ROADS SHALL BE PROVIDED DURING CONSTRUCTION, ALTERATION OR DEMOLITION OF ANY BUILDING. REFER TO SHAKOPEE FIRE DEPARTMENT'S HANDOUT ON ACCESS ROADS FOR ADDITIONAL REQUIREMENTS.




1391 CORPORATE DRIVE, SUITE 203 | McHENRY, ILLINOIS 60050
Phone: 815.385.1778 | Toll Free: 800.728.7805 | Fax: 815.385.1781 | HRGreen.com



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 DATE 11/06/2025
TODD M. RICHARDS LIC. NO. 52503

CHICK-FIL-A
SHAKOPEE (MN) FSU
8100 OLD CARRIAGE COURT
SHAKOPEE, MN 55379

FSR# 05949

NO.	DATE	DESCRIPTION
1	07/31/25	ISSUED FOR PERMIT
2	09/26/25	CITY COMMENTS
3	10/21/25	DLI COMMENTS
4	11/06/25	CITY COMMENTS

ISSUED FOR PERMIT

ENGINEER'S PROJECT # 2402640
PRINTED FOR ISSUED FOR PERMIT
DATE 07/31/2025
DRAWN BY: MRJ
CHECKED BY: JFV
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SHEET
COVER SHEET

SHEET NUMBER
C-000

FOR PERMIT

SPECIFICATIONS & GENERAL NOTES

- All items of this project shall be governed by specifications included in the documents listed below:
- A. Minnesota Plumbing Code, (Latest Edition).
 - B. Minnesota Department of Transportation Standard Specifications for Construction, (Latest Edition).
 - C. Stormwater Best Management Practices Manual, (Latest Edition) by the Minnesota Pollution Control Agency.
 - D. Manual on Uniform Traffic Control Devices (MUTCD), (Latest Edition).
 - E. City of Shakopee Engineering Standards Manual, (Latest Edition).

In addition the following special provisions supplement the said specifications, and in case of conflict with any part or parts of said specifications, these special provisions shall take precedence and shall govern.

1. SCOPE OF WORK. The proposed improvement consists of supplying all the necessary labor, material and equipment to satisfactorily construct and install all improvements according to the plans designated as CHICK-FIL-A, Shakopee, MN.
2. CONSTRUCTION OF UNDERGROUND UTILITIES
 - A. Excavation: Where working conditions and right-of-way permit, pipe line trenches with sloping sides may be used.

The slopes shall not extend below the top of the pipe, and trench excavations below this point shall be made with vertical sides with widths not exceeding those specified herein for the various sizes of pipe.

Open-cut trenches shall be sheeted and braced as required by the governing State and Federal laws and municipal ordinances, and as may be necessary to protect life, property, or the work.

Where firm foundation is not encountered at the grade established due to unsuitable soil, all such unsuitable material shall be removed and replaced with approved compacted granular material.
 - B. Removal of water: Contractors shall, at all times during construction, provide and maintain ample means and devices with which to remove and properly dispose of all water entering the excavations. No sanitary sewer shall be used for disposal of trench water.
 - C. Bedding of pipe: All pipe shall be installed on a bed of approved, compacted granular material unless otherwise approved by the City Engineer. The bedding and backfilling of excavated materials shall be compacted in place to meet the requirements of Section 653.1111 when:
 - (1) It is impossible to obtain the proper vertical separation as described in (a) above; and
 - (2) The water main passes under a sewer or drain.
 - D. Special backfill: Whenever the excavation is in existing or proposed street, parking areas, driveways, or other paved areas, the trench shall be backfilled per Class B bedding, compacted in place. The top 12" of the backfill shall be filled with road gravel or crushed stone and maintained as a temporary surface for the normal use of the area. Special backfill shall be compacted in place to ninety-five percent (95%) of maximum density at optimum moisture as determined by the Standard Proctor Test.
 - E. Restoration of drainage: As soon as possible after backfilling the trench, all ditching, grading and shaping necessary to restore the original drainage in the area of work shall be performed. Culverts removed during the course of the work shall be replaced as soon as practicable.

Adequate temporary drainage facilities shall be provided during construction.
 - F. Utilities: The Contractor shall notify all utility companies prior to the installation of any pipe lines. Where conflict exists between underground utilities and the proposed underground piping requiring a revision to the plans, such construction shall not be undertaken until such changes are approved by the City Engineer in writing.
 - G. Removal of Storm and Sanitary Sewer Pipes: This work consist of removing and disposal of all storm and sanitary sewer structures and related pipes as shown on the plans. Storm and Sanitary Sewer removal will be paid for at the contract per lineal foot price. Structures shall be paid for at the contract unit price each. Both are to include all labor to remove the pipes and structures must be removed.
3. The subgrade shall be free of unsuitable material and shall be prepared in accordance with the recommendations noted in the geotechnical report prepared by Terracon Consultants, Inc. dated June 17, 2024 for this project. Testing for compaction shall be the responsibility of the contractor. The City of Shakopee will require a proof-roll test if warranted by final soil composition. This also applies to the parking lot and aisle subgrade and also upon gravel placement. All topsoil and any organic materials must be removed.
4. Easements for the existing utilities, both public and private, and utilities within public rights-of-way are shown on the plans according to available records. The Contractor shall be responsible for determining the exact location in the field of these utility lines and their protection from damage due to construction operations. If existing utility lines of any nature are encountered which conflict in location with new construction, the Contractor shall notify the Engineer so that the conflict may be resolved.
5. Contractor shall be responsible for securing all Permits including municipal permits.
6. INSPECTION. All improvements shall be subject to inspection by a duly authorized and qualified City inspector both during the course of construction and after construction is complete. The Inspector shall have authority over materials of construction, methods of construction and workmanship to insure compliance with working drawings and specifications. The Contractor shall provide for reasonable tests and proof of quality of materials as requested by the Inspector. The contractor shall notify the City of Shakopee Building Permits & Inspections Department at least 48 hours prior to any storm sewer, sanitary sewer, water main, or paving operations.
7. PIPE MATERIAL. Material permitted for use in sanitary sewers and services for use at the building line only shall be PVC SCHEDULE 40 conforming to ASTM D 1785. Permitted sanitary sewer and service pipe material outside of the building line shall be PVC SDR 26 conforming to ASTM D 2241. Installation of sanitary sewer pipe must comply with the requirements of ASTM D2321. All PVC fittings shall meet the requirements of ASTM F 794.
8. CLEANOUTS. Sanitary sewer cleanouts must be provided at intervals not to exceed 100 feet and shall be of the same nominal size as the pipes they serve per Minnesota Rules, Chapter 4714. Manholes may be placed at intervals not to exceed 200 feet.
9. GREASE INTERCEPTOR. Gravity grease interceptors must comply with Minnesota Rules, Chapter 4714.
10. Wherever a sewer crosses under a water main, the minimum vertical distance from the top of the sewer to the bottom of the water main shall be 18". Furthermore, a minimum horizontal distance of 10' between sanitary sewers and water mains shall be maintained. If either the vertical or horizontal distances described above cannot be maintained, or the sewer crosses above the water main, the sewer pipe shall be pipe of water main type quality, or the water main shall be encased in a steel sleeve for a perpendicular distance of 10' on each side of the sewer.
11. WATER AND SEWER - Pipe and Structure material shall follow Minnesota Plumbing Code Specifications.
12. SAN. MH, 48" DIA. Manholes shall be constructed of prefabricated concrete sections meeting the requirements of ASTM C-478. Sections shall be joined using either flexible rubber gaskets or preformed bituminous plastic gaskets. The manhole bottom shall be precast with the first riser section. Manholes shall have the pipe cast in place through the manhole or a water tight joint cast in the manhole wall to receive the pipe. Manhole frames and lids shall be of self-sealing type Neenah R-1642 with concealed pick holes Type E or equal with approval by the municipality.
13. Sanitary sewer manholes shall be 4'-0" diameter precast structures, with appropriate frame and lids. Resilient connectors, conforming to ASTM C-923, shall be used between manhole and pipe(s).
14. All manholes to be eccentric, lids to have utility name.
15. All manholes and valve vaults shall be equipped with steps.
16. STORM SEWERS. Storm sewers shall be of reinforced concrete pipe meeting the requirements of ASTM designation C76. Pipe class shall be determined using the standard specifications listed previously. All joints and connections in the storm sewer system shall be in accordance with Minnesota Rules, Chapter 4714 and have O-rings to provide a water tight seal. See Storm Sewer Tags on Sheet PS-101 for detailed information. All building PVC storm sewer and fittings shall be SDR 26 meeting the requirements of ASTM F 794.

17. STORM SEWER FRAMES AND LIDS. Frame and grates designated on the plans as open lid shall be Neenah R-2504 or approved equal. See plans for appropriate open lid style. All frames and grates in the 8-6.18 curb and gutter shall be Neenah R-3235 type "C" grate or approved equal.
18. WATER SERVICES. The fire water services shall be 6" with valve and valve box as shown on the site plumbing sheet unless otherwise noted. The closed lid on vaults shall have the word "Water" cast in the lid. Materials and installation of water services must comply with the standards specified in Minnesota Rules, Chapter 4714. Copper water distribution piping must meet ASTM Standard 888 per Minnesota Rules, Chapter 4714.
19. PROTECTION OF WATER MAIN AND WATER SERVICE LINES. Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains as follows:
 - A. Water Service Lines
 - (1.) Horizontal Separation
 - a. Water mains shall be laid at least 10' horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.
 - b. Water mains may be laid closer than 10' to a sewer line when:
 - (1) Local conditions prevent a lateral separation of 10';
 - (2) The water main invert is at least 18" above the crown of the sewer; and
 - (3) The water main is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer with a minimum vertical separation of 18".
 - c. Both the water main and drain or sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling.
 - (2.) Vertical Separation
 - a. A water main shall be laid so that its invert is 18" above the crown of the drain or sewer whenever water mains cross storm sewers, sanitary sewers or sewer service connections. The vertical separation shall be maintained for that portion of the water main located within 10' horizontally of any sewer or drain crossed. A length of water main pipe shall be centered over the sewer to be crossed with joints equidistant from the sewer or drain.
 - b. Both the water main and sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, or PVC pipe meeting requirements of Section 653.1111 when:
 - (1) It is impossible to obtain the proper vertical separation as described in (a) above; and
 - (2) The water main passes under a sewer or drain.
 - c. A vertical separation of 18" between the invert of the sewer or drain and the crown of the water main shall be maintained where a water main crosses under a sewer. Support the sewer or drain lines to prevent settling and breaking the water main.
 - d. Construction shall extend on each side of the crossing until the normal distance from the water main to the sewer or drain line is at least 10'.
 - B. Special Conditions. Alternate solutions shall be presented to the City when extreme topographical, geological or existing structural conditions make strict compliance with (1) and (2) above technically and economically impractical. Alternate solutions will be approved provided water-tight construction structurally equivalent to approved water main material is proposed.
20. The Contractor may not remove any material from the site except as directed by the Owner or Engineer in the case of excess material.
21. EROSION CONTROL. It shall be the Contractor's responsibility to properly control erosion on the jobsite. Any siltation of conduits, structures, or ditches shall be cleaned and maintained by the Contractor until the seeding has taken hold. All washouts, gullies, etc. will be regraded and reseeded by the Contractor.

The Contractor's responsibility for erosion control shall extend throughout the construction process. The Contractor shall be responsible for clean-up of paved surfaces within and adjacent to the project on a timely basis and/or at the direction of the City of Shakopee.

All construction will adhere to the requirements set forth in the EPA's new construction site activities National Pollutant Discharge Elimination System (NPDES) Storm Water Permit.

It is the contractor's responsibility to meet all requirements of the MPCA NPDES General Permit including completion of a Storm Water Pollution Prevention Plan (SWPPP). See Sheet C-302.
22. TOPSOIL PLACEMENT. Contractor shall place stockpiled topsoil or imported material on all disturbed areas with 6" topsoil raked smooth to be ready for landscaping (seeding, sod, etc.).
23. The Engineer and City of Shakopee shall be notified if, during construction, any buried field tiles are exposed or disturbed. The Contractor shall reconnect said field tiles if deemed necessary.
24. All handicapped parking signs must have a \$200.00 fine sign attached.
25. Lighting shall be constructed as per the Lighting plan, done under separate contract by Developer.

All conduit shall be placed outside of any municipal easements except for authorized 90' crossings.
26. DISINFECTION AND CHLORINATION. All disinfection and chlorination shall follow Minnesota Rules, Chapter 4714.
27. TESTING OF PLUMBING SYSTEMS. All plumbing shall be tested in accordance with Minnesota Rules, Chapter 4714.

All portions of the storm sewer system located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Chapter 4714.
28. PRESSURE AND LEAKAGE TESTING. All water service/main pressure and leakage testing shall follow AWWA standard C600 and C605 Specifications.

After the hydrostatic pressure test has been satisfactorily completed, all new work shall be subjected to a full-bore flush - 1000 G.P.M. flow test.

The Contractor shall provide all labor, materials, tools and equipment necessary to perform the pressure and leakage tests.

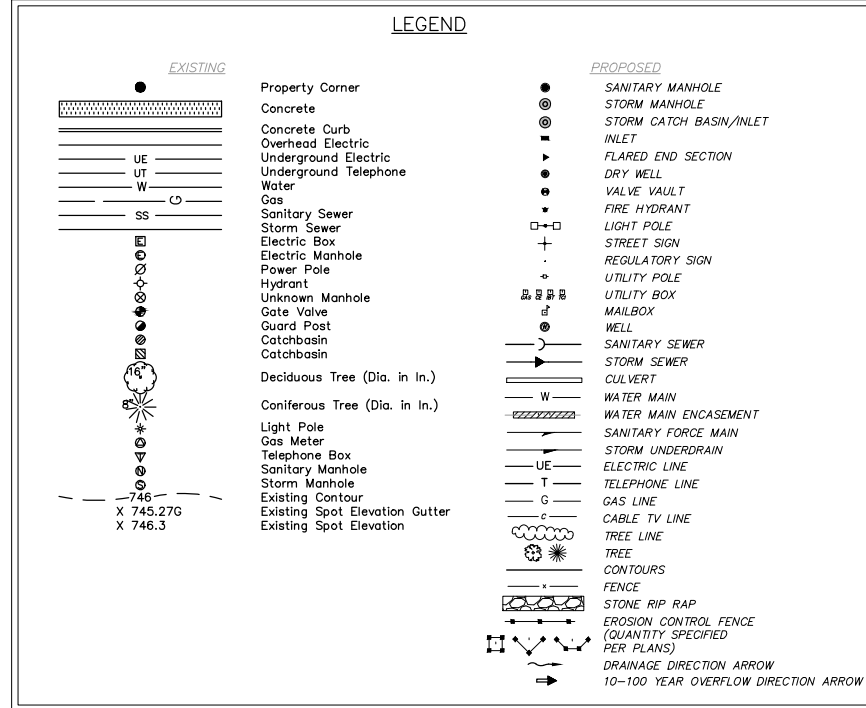
The Contractor shall satisfactorily perform the pressure and leakage tests prior to requesting the Engineer to and/or Building/Fire Inspector to witness the official tests.

The Contractor shall notify the Engineer at least 48 hours prior to the time that the official tests are requested. Depending on traffic conditions, public hazard, or other reasons, the Engineer may direct when tests of new work shall be conducted, and may order the tests to be made in relatively short sections of new water mains.

All testing shall follow City procedures and requirements in addition to those already listed.

All testing shall be coordinated with Building Department and City of Shakopee Public Works Department.

- It is the responsibility of the contractor to coordinate the required tests with the City of Shakopee Public Works Department and the Building Department.
- The Engineer shall be responsible for the following:
- A. To visit the construction site in order to better carry out the duties and responsibilities assigned by the Owner and undertaken by the Engineer; and
 - B. The Engineer shall not, during such visits or as a result of such observations of the Contractor's work in progress, supervise, direct, have control over the Contractor's work, nor shall the Engineer have the authority over the responsibility for the means, methods, techniques, sequences, or procedures of construction selected by the Contractor, for safety precautions and programs incidental to the work of the Contractor, or for any failure of the Contractor to comply with laws, rules, regulations, ordinances, codes or orders applicable to the Contractor furnishing and performing his work. Accordingly, the Engineer can neither guarantee the performance of the construction contracts by the Contractor nor assume responsibility for the Contractor's failure to furnish and perform his work in accordance with the Contract Documents.
30. No construction plans shall be used for construction unless specifically marked "For Construction." Prior to commencement of construction, the Contractor shall verify all dimensions and conditions affecting their work with the actual conditions at the job site. In addition, the Contractor must verify the Engineer's line and grade stakes. If there are any discrepancies from what is shown on the construction plans, he must immediately report same to the Engineer before doing any work, otherwise the Contractor assumes full responsibility. In the event of disagreement between the construction plans, standard specifications and/or special details, the Contractor shall secure written instructions from the Engineer prior to proceeding with any part of the work affected by omissions or discrepancies. Failing to secure such instructions, the Contractor will be considered to have proceeded at his own risk and expense.
 31. Sawing of removal items as noted on the plans, or as required by the engineer, shall be considered incidental to the cost of the item being removed, and no extra compensation will be allowed, unless otherwise specified. All pavement removed within the 1-foot sawcut along the access drive shall be considered incidental to earth excavation.
 32. All curb & gutter crossings over trench locations shall be reinforced with 2-#4 rebar extended 2' beyond each side of trench.
 33. All storm sewer pipe to have o-rings.
 34. CONCRETE PAVEMENT. The curing requirements should follow Section 3754 as noted in the Minnesota Department of Transportation Standard Specifications for Road and Bridge Construction, Latest Edition.
 35. Joint Sealing shall follow Section 3725 of the Minnesota Department of Transportation Standard Specifications for Road and Bridge Construction, Latest Edition.
 36. Contractor shall submit shop drawings of all curing and sealing materials to engineer prior to use.



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 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



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Todd M. Richards DATE 11/06/2025
 TODD M. RICHARDS LIC. NO. 52503

CHICK-FIL-A
 SHAKOPEE (MN) FSU
 8100 OLD CARRIAGE COURT
 SHAKOPEE, MN 55379

FSR# 05949

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
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4	11/06/25	CITY COMMENTS

ENGINEER'S PROJECT #	2402640
PRINTED FOR	ISSUED FOR PERMIT
DATE	07/31/2025
DRAWN BY:	MRJ
CHECKED BY:	JFY

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SHEET
GENERAL NOTES
SPECIFICATIONS & LEGEND

SHEET NUMBER
C-001

FOR PERMIT

Xref: xgl-CHICK-24X36-BBR; 2402640_C00-Dgn-ALT-2; 2402640_XV-Survey; 2402640_CS-Tubulations

PROJECT NOTES:

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES, IN ADDITION TO, NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. (INCLUDING STORM WATER POLLUTION PREVENTION PLAN PER THE DEVELOPMENT CRITERIA.) SEE SHEET C-302 FOR EROSION CONTROL MEASURES)
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- ALL STRUCTURES & DEBRIS SHALL BE REMOVED PRIOR TO CONSTRUCTION & DISPOSED OF OFFSITE.
- ANY EXISTING FIELD DRAIN TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE NEAREST STORM SEWER.
- CONTRACTOR TO KEEP ACCESS DRIVE OPEN AT ALL TIMES WITH MINOR CLOSINGS ALLOWED FOR PAVING ACTIVITIES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL BITUMINOUS PAVEMENT REMOVAL AREAS SHALL BE SAWCUT.
- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AND SIGNAGE AROUND CONSTRUCTION BOUNDARIES TO PROTECT PEDESTRIANS.

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

LEGEND

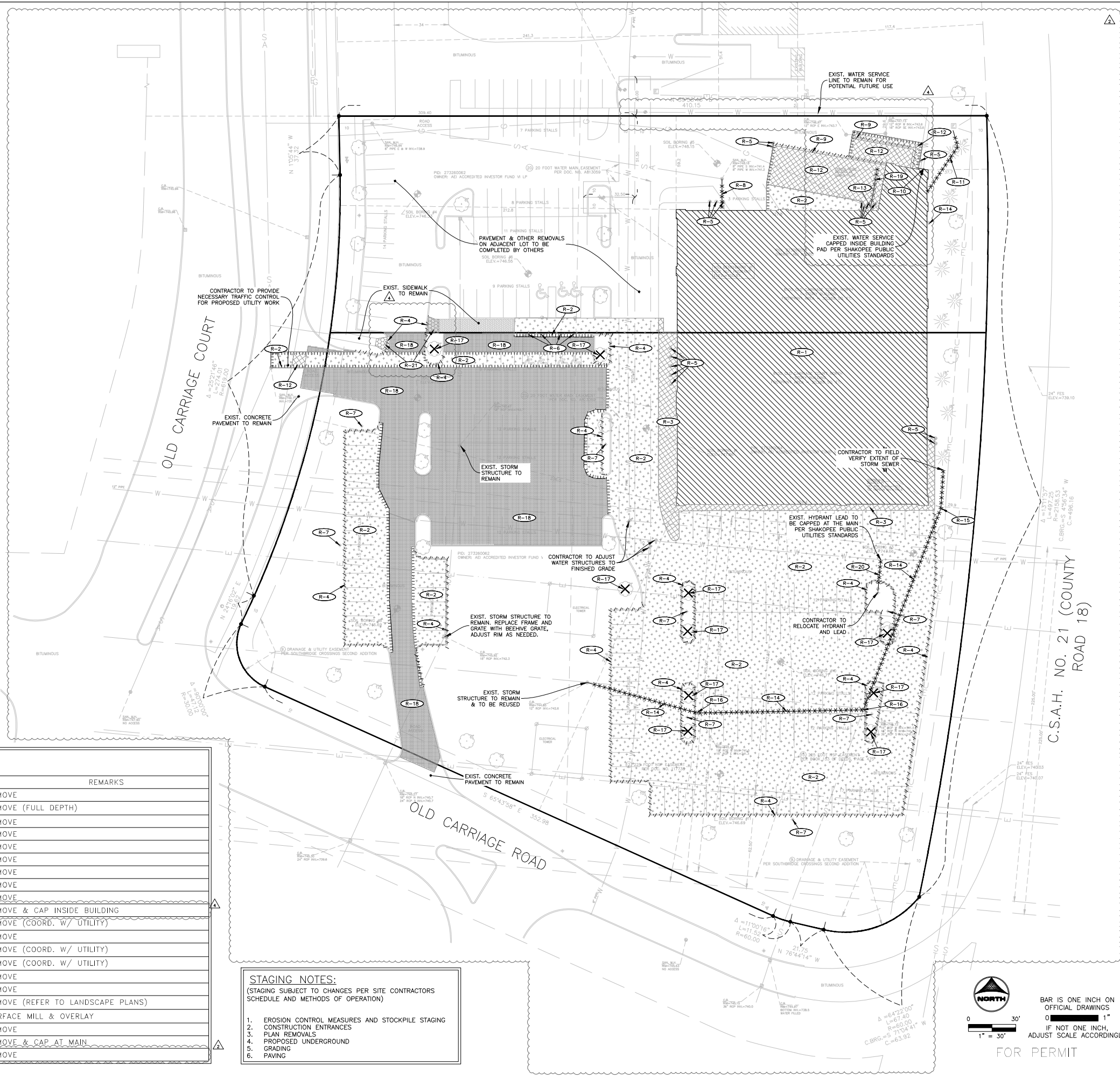
- INDICATES FULL DEPTH SAWCUT (SAWCUT LINES SHALL BE AT THE NEAREST JOINT FOR CONCRETE REMOVALS)
- INDICATES CONC./SIDEWALK REMOVAL (FULL DEPTH)
- INDICATES BRICK SIDEWALK REMOVAL (FULL DEPTH)
- INDICATES BIT./ASPHALT REMOVAL (FULL DEPTH)
- INDICATES BIT./ASPHALT SURFACE MILL & OVERLAY (MAINTAIN EXISTING GRADES; AGGREGATE BASE TO REMAIN)
- INDICATES BUILDING AND FOUNDATION
- INDICATES MISC. REMOVAL ITEMS (SEE THIS SHEET FOR SIZE AND QUANTITY)
- DENOTES EXIST. CONCRETE CURB & GUTTER AND CONCRETE WALL REMOVAL
- DENOTES EXIST. UTILITY LINE & PIPE REMOVAL
- INDICATES TREE AND BRUSH REMOVAL (SEE LANDSCAPING PLANS FOR SIZE AND QUANTITY)
- INDICATES TREE AND BRUSH PROTECTION (SEE LANDSCAPING PLANS FOR SIZE AND QUANTITY)

REMOVAL TAGS

NUMBER	REMARKS	REMOVAL TAGS
R-1	BUILDING AND FOUNDATION	REMOVE
R-2	BITUMINOUS PAVEMENT	REMOVE (FULL DEPTH)
R-3	CONCRETE SIDEWALK	REMOVE
R-4	CONCRETE CURB & GUTTER	REMOVE
R-5	BOLLARD	REMOVE
R-6	BOLLARD SIGN	REMOVE
R-7	LIGHT POLE	REMOVE
R-8	SANITARY SEWER SERVICE	REMOVE
R-9	CONCRETE WALL	REMOVE
R-10	WATER SERVICE	REMOVE & CAP INSIDE BUILDING
R-11	ELECTRIC METER & SERVICE LINE	REMOVE (COORD. W/ UTILITY)
R-12	CONCRETE PAVEMENT	REMOVE
R-13	GAS METER & SERVICE LINE	REMOVE (COORD. W/ UTILITY)
R-14	TELEPHONE PEDESTAL & SERVICE LINE	REMOVE (COORD. W/ UTILITY)
R-15	STORM SEWER	REMOVE
R-16	STORM STRUCTURE	REMOVE
R-17	TREE	REMOVE (REFER TO LANDSCAPE PLANS)
R-18	BITUMINOUS PAVEMENT	SURFACE MILL & OVERLAY
R-19	STORM TRENCH DRAIN	REMOVE
R-20	FIRE HYDRANT & LEAD	REMOVE & CAP AT MAIN
R-21	BRICK SIDEWALK	REMOVE

STAGING NOTES:

- (STAGING SUBJECT TO CHANGES PER SITE CONTRACTORS SCHEDULE AND METHODS OF OPERATION)
1. EROSION CONTROL MEASURES AND STOCKPILE STAGING
 2. CONSTRUCTION ENTRANCES
 3. PLAN REMOVALS
 4. PROPOSED UNDERGROUND
 5. GRADING
 6. PAVING



Chick-fil-A
 5200 Buffington Road
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 30349-2998



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Todd M. Richards DATE 11/06/2025
 TODD M. RICHARDS LIC. NO. 52603

CHICK-FIL-A
 SHAKOPEE (MN) FSU
 8100 OLD CARRIAGE COURT
 SHAKOPEE, MN 55379

FSR# 05949

REVISION SCHEDULE

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ISSUED FOR PERMIT

ENGINEER'S PROJECT # 2402640
 PRINTED FOR ISSUED FOR PERMIT
 DATE 07/31/2025
 DRAWN BY: MRJ
 CHECKED BY: JFV
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SITE DEMOLITION PLAN
 SHEET NUMBER
C-100

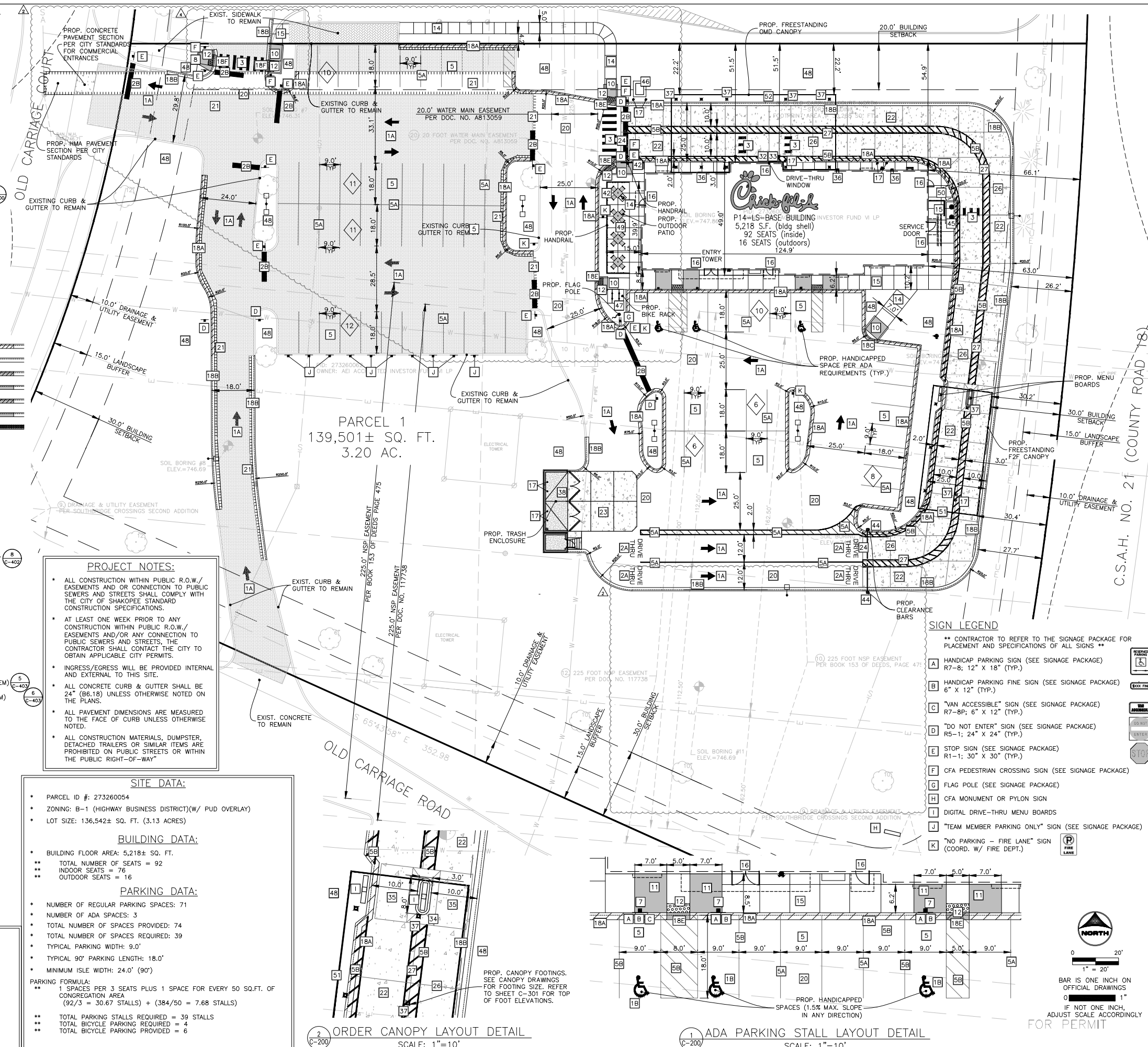


0 30' 0 1" 1"
 1" = 30'
 BAR IS ONE INCH ON OFFICIAL DRAWINGS
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

FOR PERMIT

SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW (C-400)
- 1B PAINTED HANDICAP PARKING SYMBOL (C-400)
- 2A DRIVE-THRU GRAPHICS (C-400)
- 2B STOP BAR GRAPHIC (C-400)
- 3 CROSSWALK MARKINGS (C-400)
- 4 MULTI-LANE DIRECTIONAL GRAPHICS (C-400)
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE (C-400)
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP (C-400)
- 7 BOLLARD MOUNTED SIGN (C-400)
- 8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS) (C-400)
- 9 CURB RAMP w/ FLARED SIDES (IN SIDEWALKS) (C-400)
- 10 RETURNED CURB HANDICAP RAMP (C-400)
- 11 SIDEWALK ACCESSIBLE RAMP (C-400)
- 12 DETECTABLE WARNING DEVICE (C-401)
- 13 TYPICAL ADA RAMP & HANDRAIL (C-401)
- 14 CONCRETE SIDEWALK (C-401)
- 15 CONCRETE SIDEWALK w/ CURB & GUTTER (C-401)
- 16 ENTRY DOOR FROST SLAB DETAIL (C-401)
- 17 CONCRETE BOLLARD (C-401)
- 18 CONCRETE CURB & GUTTER (C-401)
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR (C-401)
- 20 TYPICAL HMAC PAVEMENT SECTION (C-401)
- 21 BUTT JOINT (C-402)
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE (C-402)
- 23 CONCRETE APRON AT TRASH ENCLOSURE (C-402)
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES) (C-402)
- 25 CONCRETE PAVEMENT SECTIONS (C-402)
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (C-402)
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT (C-402)
- 28 CONTRACTION JOINT (C-402)
- 29 KEYED CONSTRUCTION JOINT (C-402)
- 30 LONGITUDINAL BUTT JOINT (C-402)
- 31 EXPANSION JOINT (C-402)
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE (C-403)
- 33 DRIVE-THRU ISOMETRIC (C-403)
- 34 DRIVE-THRU ORDER POINT ISLAND (C-403)
- 35 MENU BOARD LOOP DETECTION SYSTEM (C-403)
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS) (C-403)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING) (C-403)
- 40 THICKENED PAVEMENT @ STRUCTURES (C-403)
- 41 STORM STRUCTURE WEEP HOLE DETAILS (C-403)
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)
- 43 OMITTED
- 44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 45 GREASE TRAP
- 46 PROPOSED TRANSFORMER
- 47 BIKE RACK
- 48 LANDSCAPED AREA
- 49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 50 CONCRETE PAD FOR OPTIONAL CASH STATION
- 51 FREE-STANDING ORDER POINT CANOPY
- 52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY



PROJECT NOTES:

- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF SHAKOPEE STANDARD CONSTRUCTION SPECIFICATIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE CITY PERMITS.
- INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
- ALL CONCRETE CURB & GUTTER SHALL BE 24" (66.18) UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION MATERIALS, DUMPSTER, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY

SITE DATA:

- PARCEL ID #: 273260054
- ZONING: B-1 (HIGHWAY BUSINESS DISTRICT)(W/ PUD OVERLAY)
- LOT SIZE: 136,542± SQ. FT. (3.13 ACRES)

BUILDING DATA:

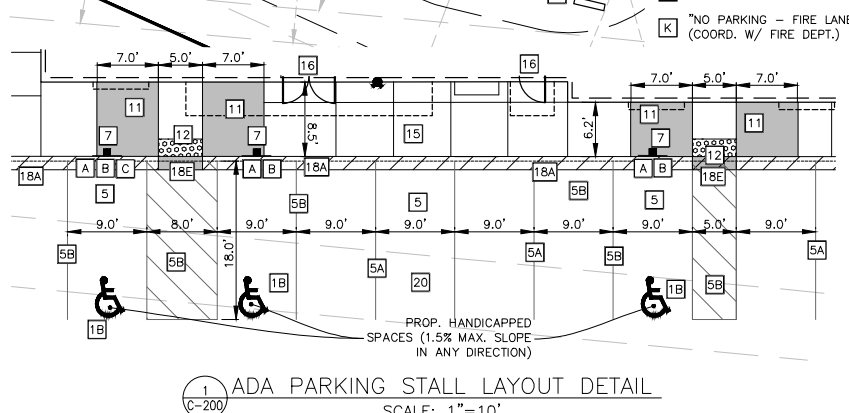
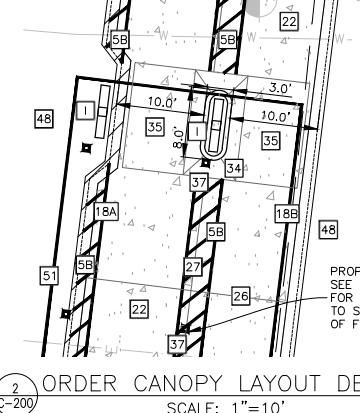
- BUILDING FLOOR AREA: 5,218± SQ. FT.
- TOTAL NUMBER OF SEATS = 92
- INDOOR SEATS = 76
- OUTDOOR SEATS = 16

PARKING DATA:

- NUMBER OF REGULAR PARKING SPACES: 71
- NUMBER OF ADA SPACES: 3
- TOTAL NUMBER OF SPACES PROVIDED: 74
- TOTAL NUMBER OF SPACES REQUIRED: 39
- TYPICAL PARKING WIDTH: 9.0'
- TYPICAL 90° PARKING LENGTH: 18.0'
- MINIMUM ISLE WIDTH: 24.0' (90°)

PARKING FORMULA:

- 1 SPACES PER 3 SEATS PLUS 1 SPACE FOR EVERY 50 SQ.FT. OF CONGREGATION AREA (92/3 = 30.67 STALLS) + (384/50 = 7.68 STALLS)
- TOTAL PARKING STALLS REQUIRED = 39 STALLS
- TOTAL BIKE PARKING PROVIDED = 4
- TOTAL BIKE PARKING PROVIDED = 6



- SIGN LEGEND**
- ** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **
 - A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12" X 18" (TYP.)
 - B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
 - C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6" X 12" (TYP.)
 - D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24" X 24" (TYP.)
 - E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30" X 30" (TYP.)
 - F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
 - G FLAG POLE (SEE SIGNAGE PACKAGE)
 - H CFA MONUMENT OR PYLON SIGN
 - I DIGITAL DRIVE-THRU MENU BOARDS
 - J "TEAM MEMBER PARKING ONLY" SIGN (SEE SIGNAGE PACKAGE)
 - K "NO PARKING - FIRE LANE" SIGN (COORD. W/ FIRE DEPT.)



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd M. Richards DATE: 11/06/2025
 TODD M. RICHARDS LIC. NO.: 52953

CHICK-FIL-A
 SHAKOPEE (MN) FSU
 8100 OLD CARRIAGE COURT
 SHAKOPEE, MN 55379

FSR# 05949

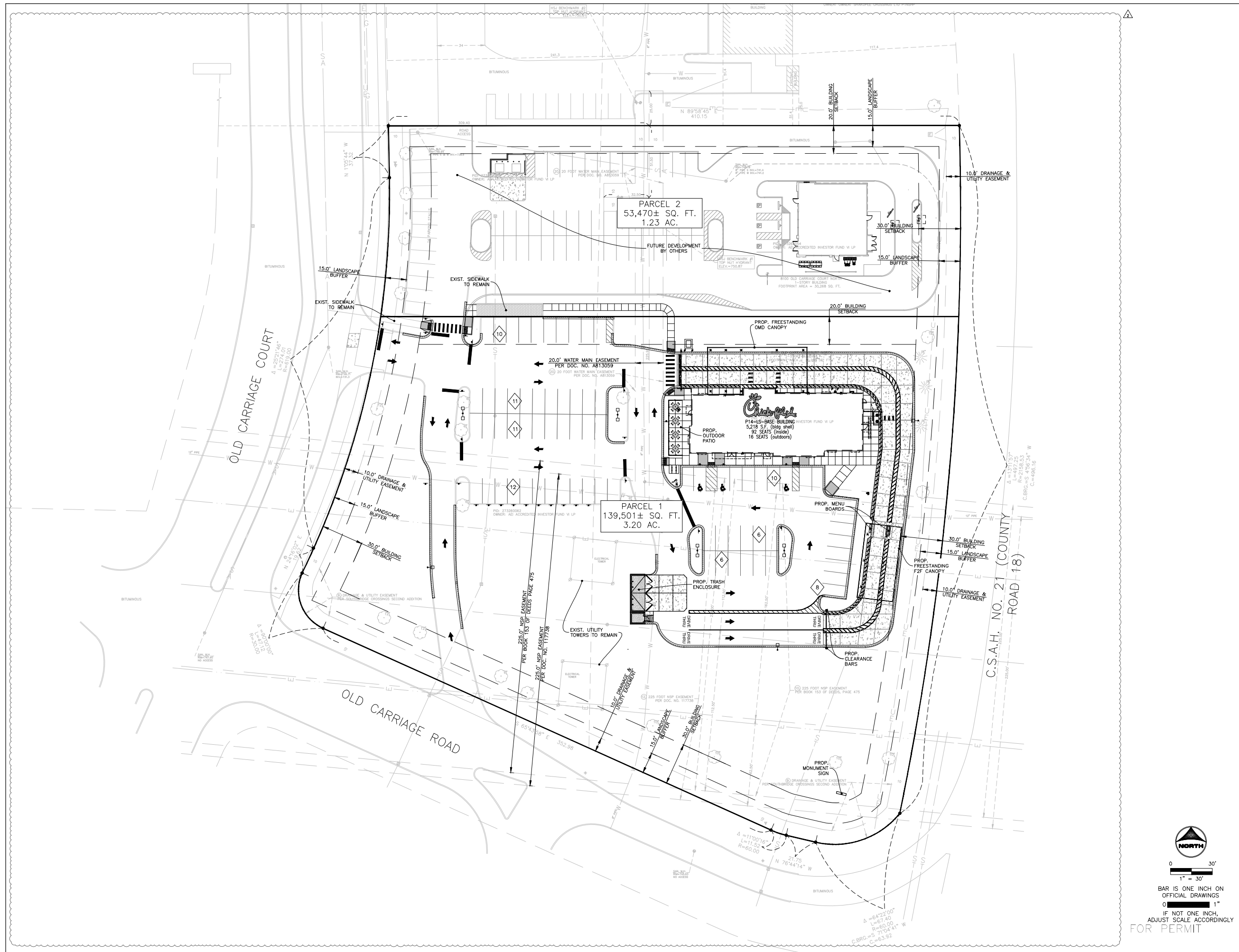
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	07/31/25	ISSUED FOR PERMIT
2	09/26/25	CITY COMMENTS
3	10/21/25	DLI COMMENTS
4	11/06/25	CITY COMMENTS

ISSUED FOR PERMIT

ENGINEER'S PROJECT # 2402640
 PRINTED FOR ISSUED FOR PERMIT
 DATE 07/31/2025
 DRAWN BY: MRJ
 CHECKED BY: JFV
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SHEET
SITE PLAN
 SHEET NUMBER
C-200



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Atlanta, Georgia
30349-2998



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Todd M. Richards DATE: 11/06/2025
TODD M. RICHARDS LIC. NO.: 52553

CHICK-FIL-A
SHAKOPEE (MN) FSU
8100 OLD CARRIAGE COURT
SHAKOPEE, MN 55379

FSR# 05949

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2	09/26/25	CITY COMMENTS
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ISSUED FOR PERMIT

ENGINEER'S PROJECT #	2402640
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DRAWN BY:	MRJ
CHECKED BY:	JFV
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SHEET	
OVERALL SITE PLAN	
SHEET NUMBER	
C-201	



0 30'
1" = 30'

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY
FOR PERMIT



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 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



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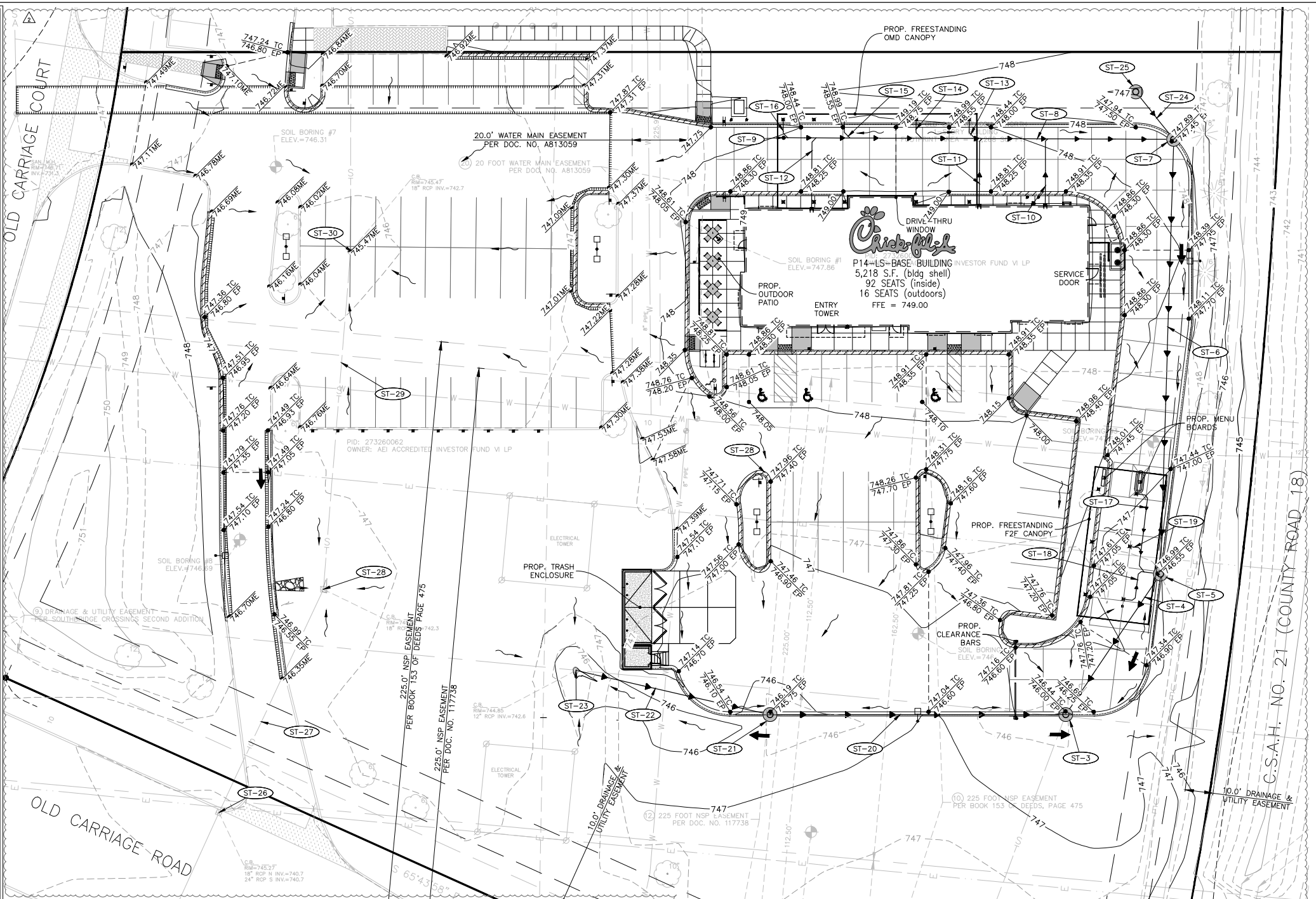
GRADING PLAN

SHEET NUMBER

C-300

GRADING & DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- SEE EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES AND NOTES.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. NO ON SITE BURNING WILL BE ALLOWED.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- NO PART OF THE PROPOSED PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA.
- SPOT ELEVATIONS SHOWN ARE @ EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLAN.
- ALL CONCRETE CURB & GUTTER SHALL BE TYPE B-6.12 CURB UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER JOINTS SHALL HAVE O-RING GASKETS.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- BACKFILL TO THE TOP OF CURBS.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 1.5%.
- DESIGNATED HANDICAP PARKING AREAS SHALL BE GRADED TO A MAXIMUM OF 1.5%.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING OF PAVEMENT.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST CURRENT CITY OF SHAKOPEE STANDARDS AND SPECIFICATIONS.



GENERAL NOTES:

- ACCESSIBLE PARKING, RAMP, AND SIGNAGE SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- 48 HOURS PRIOR TO CONSTRUCTION WITHIN CITY OR STATE ROW OR ANY CONNECTION TO PUBLIC SEWERS, CONTRACTOR SHALL NOTIFY THE APPROPRIATE CITY ENGINEERING DIVISIONS:
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/ SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. CUT/TRIM EXPANSION JOINTS TO BE FLUSH WITH SURFACE.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OR MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- CONTRACTOR TO GRADE 4" BELOW THE BACK OF CURB TO ALLOW FOR THE PLACEMENT OF TOPSOIL. A MINIMUM OF 4" OF TOPSOIL SHALL BE PLACED IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN TO THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SHEET L-101 FOR DETAILS.

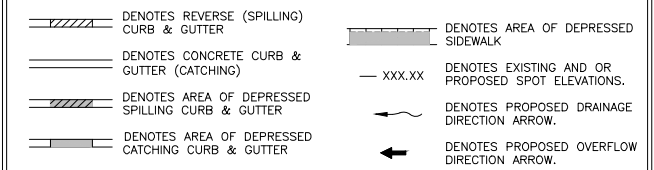
TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY/STATE PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY/STATE ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

ST-# STORM TAGS

- REFER TO SHEET PS-101 FOR TAG INFO

HATCH LEGEND



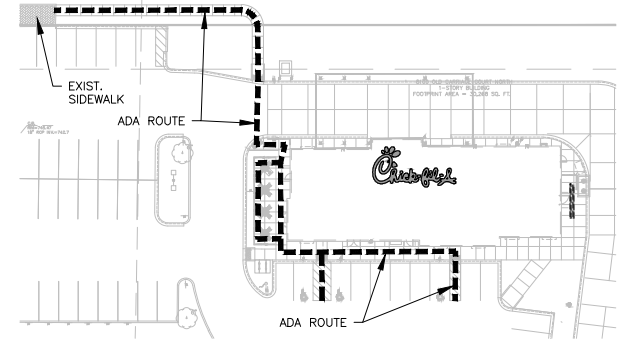
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 1" = 20'

BAR IS ONE INCH ON OFFICIAL DRAWINGS
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

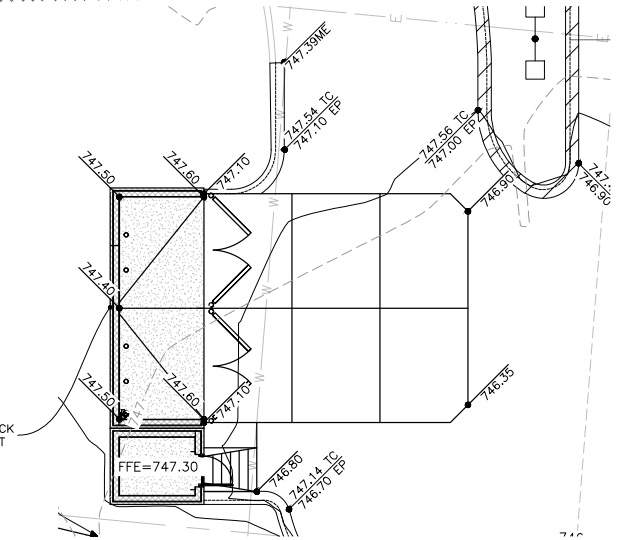
FOR PERMIT

GENERAL NOTES:

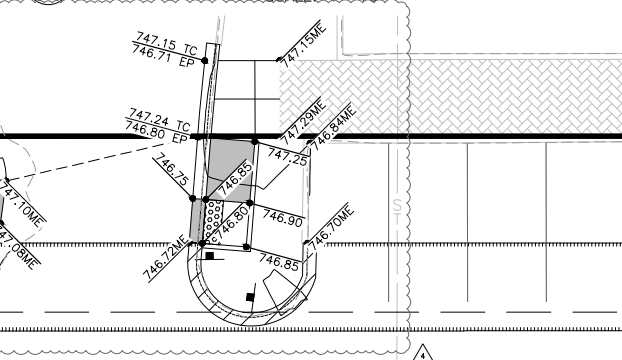
- ACCESSIBLE PARKING, RAMPS, AND SIGNAGE SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- 48 HOURS PRIOR TO CONSTRUCTION WITHIN CITY OR STATE ROW OR ANY CONNECTION TO PUBLIC SEWERS, CONTRACTOR SHALL NOTIFY THE APPROPRIATE CITY ENGINEERING DIVISIONS.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/ SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. CUT/TRIM EXPANSION JOINTS TO BE FLUSH WITH SURFACE.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
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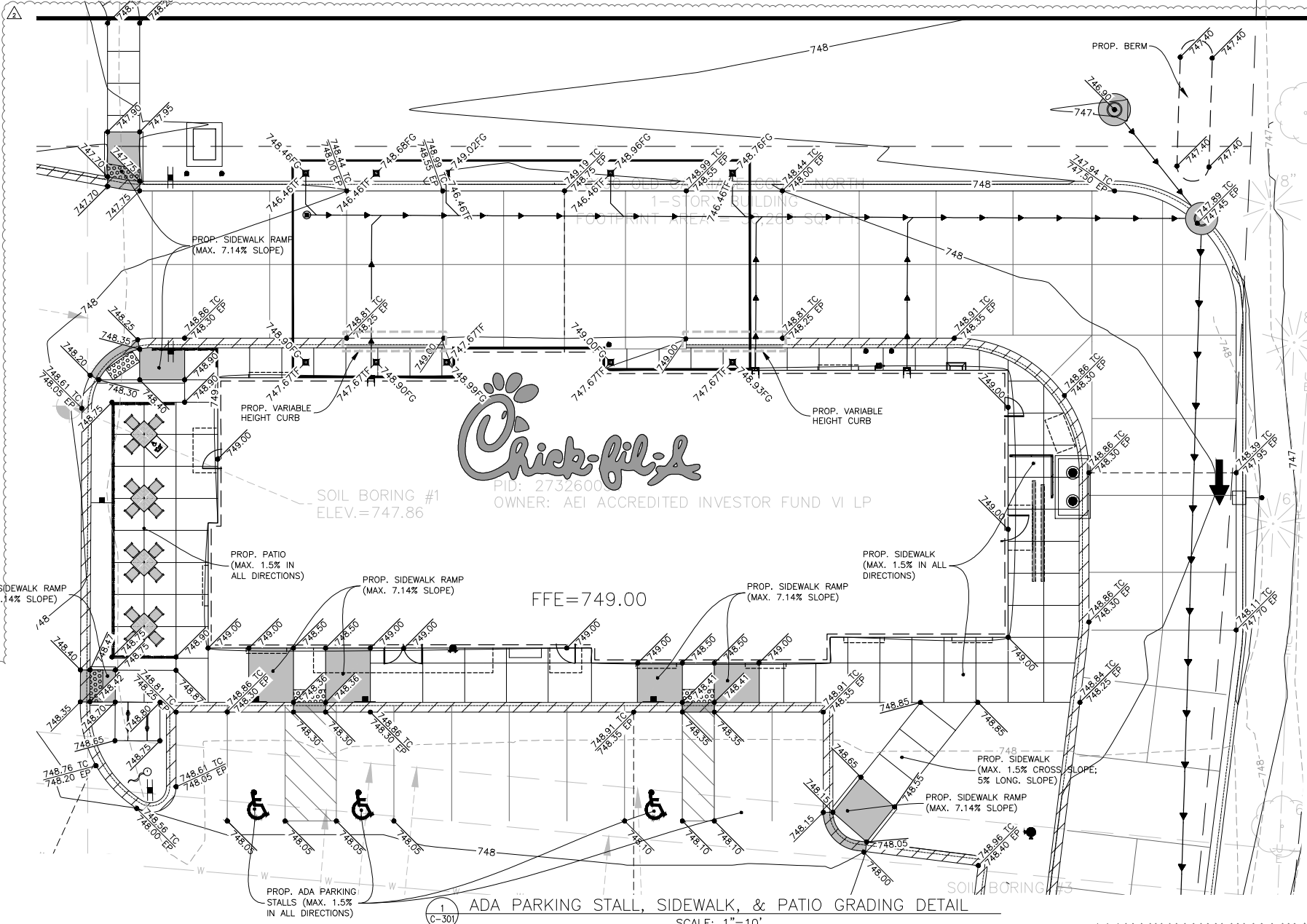
ADA ROUTE SCHEMATIC
SCALE: NTS



TRASH ENCLOSURE GRADING DETAIL
SCALE: 1"=10'

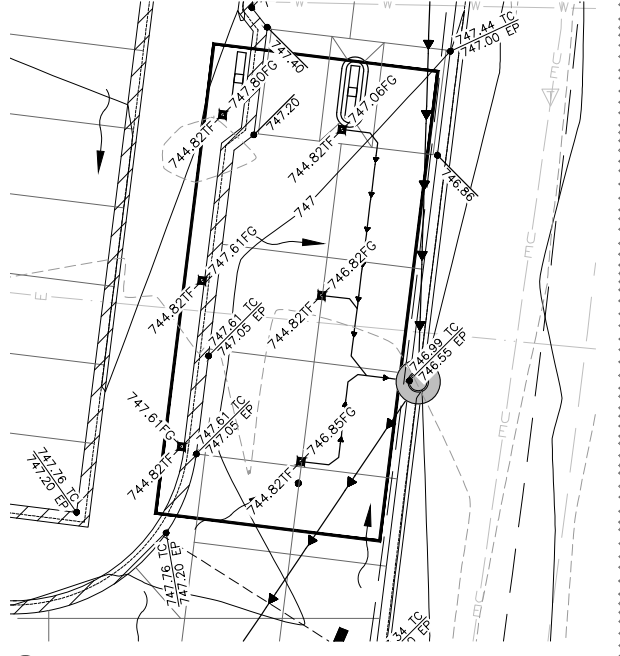


SIDEWALK GRADING DETAIL
SCALE: 1"=10'



HATCH LEGEND

	DENOTES REVERSE (SPILLING) CURB & GUTTER		DENOTES AREA OF DEPRESSED SIDEWALK
	DENOTES CONCRETE CURB & GUTTER (CATCHING)		— xxx.xx DENOTES EXISTING AND OR PROPOSED SPOT ELEVATIONS.
	DENOTES AREA OF DEPRESSED SPILLING CURB & GUTTER		— DENOTES PROPOSED DRAINAGE DIRECTION ARROW.
	DENOTES AREA OF DEPRESSED CATCHING CURB & GUTTER		— DENOTES PROPOSED OVERFLOW DIRECTION ARROW.



CANOPY GRADING DETAIL
SCALE: 1"=10'

FOR PERMIT

BAR IS ONE INCH ON OFFICIAL DRAWINGS
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

0 1" = 20'

FOR PERMIT



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Todd M. Richards DATE: 11/06/2025
TODD M. RICHARDS LIC. NO.: 52553

CHICK-FIL-A
SHAKOPEE (MN) FSU
8100 OLD CARRIAGE COURT
SHAKOPEE, MN 55379

FSR# 05949

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	07/31/25	ISSUED FOR PERMIT
2	09/26/25	CITY COMMENTS
3	10/21/25	DLI COMMENTS
4	11/06/25	CITY COMMENTS

ISSUED FOR PERMIT

ENGINEER'S PROJECT # 2402640
PRINTED FOR ISSUED FOR PERMIT
DATE 07/31/2025
DRAWN BY: MRJ
CHECKED BY: JFV
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SHEET
GRADING DETAILS
SHEET NUMBER
C-301

NOTES:

This plan has been prepared to comply with the provisions of the NPDES Permit Construction Stormwater Permit issued by the Minnesota Pollution Control Agency for Discharges from Construction Site Activities.

1. Site Description.

a. The following is a description of the construction activity which is the subject of this plan: CHICK-FIL-A SHAKOPEE, MN.

The proposed development consists of construction of a free-standing restaurant, parking lot, and associated utilities. The construction activities for site improvements will include: site clearing, demolition, grubbing, mass grading, pavement construction, installation of utilities including storm sewers, soil erosion and sedimentation control measures, as a minimum.

b. The following is a description of the intended sequence of major activities which will disturb soils for major portions of the construction site such as grubbing, excavation, and grading:

The sequence of the construction activities may be as follows: 1) install silt fence, inlet protection, and stabilized construction entrance, 2) site clearing and grubbing, 3) mass grading, 4) underground utilities installation, 5) fine grading in pavement area, and 6) pavement construction. The soil erosion and sedimentation control items will be constructed as needed during the above construction activities.

c. The total area of the construction site is estimated to be 3.13 acres.

The total area of the site that is estimated to be disturbed by excavation, grading, or other activities, is 1.86 acres.

d. The estimated runoff coefficients of the various areas of the site after construction activities are completed area contained in the project drainage study, titled FINAL ENGINEERING DRAINAGE REPORT for CHICK-FIL-A SHAKOPEE, MN, with (latest revision date) prepared by HR GREEN, INC. which is hereby incorporated by reference in this plan. Information describing the soils at the site is contained in the Geotechnical Report for the project, which is hereby incorporated by reference, or in an attachment to this plan.

2. Controls.

This section of the plan addresses the various controls that will be implemented for each of the major construction activities described in 1.b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. Each such contractor has signed the required certification on forms which are attached to, and are a part of, this plan.

a. Erosion and Sediment Controls.

(i) **STABILIZATION PRACTICES.** Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a. (i) (A) and 2.b, stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portions of the site where construction activity will not occur for a period of 21 or more calendar days.

(A) Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.

The following interim and permanent stabilization practices, as a minimum will be implemented to stabilize the disturbed area of the site:

1. Permanent seeding/sod
2. Inlet protection
3. Silt fence
4. Stabilized Construction Entrance
5. Rip-Rap

(ii) **STRUCTURAL PRACTICES.** Provided below is a description of structural practices that will be implemented, to the degree attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. The installation of these devices may be subject to Section 404 of the Clean Water Act.

1. Storm sewer system
2. Permanent seeding
3. Inlet protection
4. Rip-Rap

b. Stormwater Management.

(i) Provided below is a description of measures that will be installed during the construction process to control pollutants in stormwater discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

The practices selected for implantation were determined on the basis of the technical guidance contained in DNR's Standard Specifications for Soil Erosion and Sedimentation Control, and other ordinances listed in the Specifications.

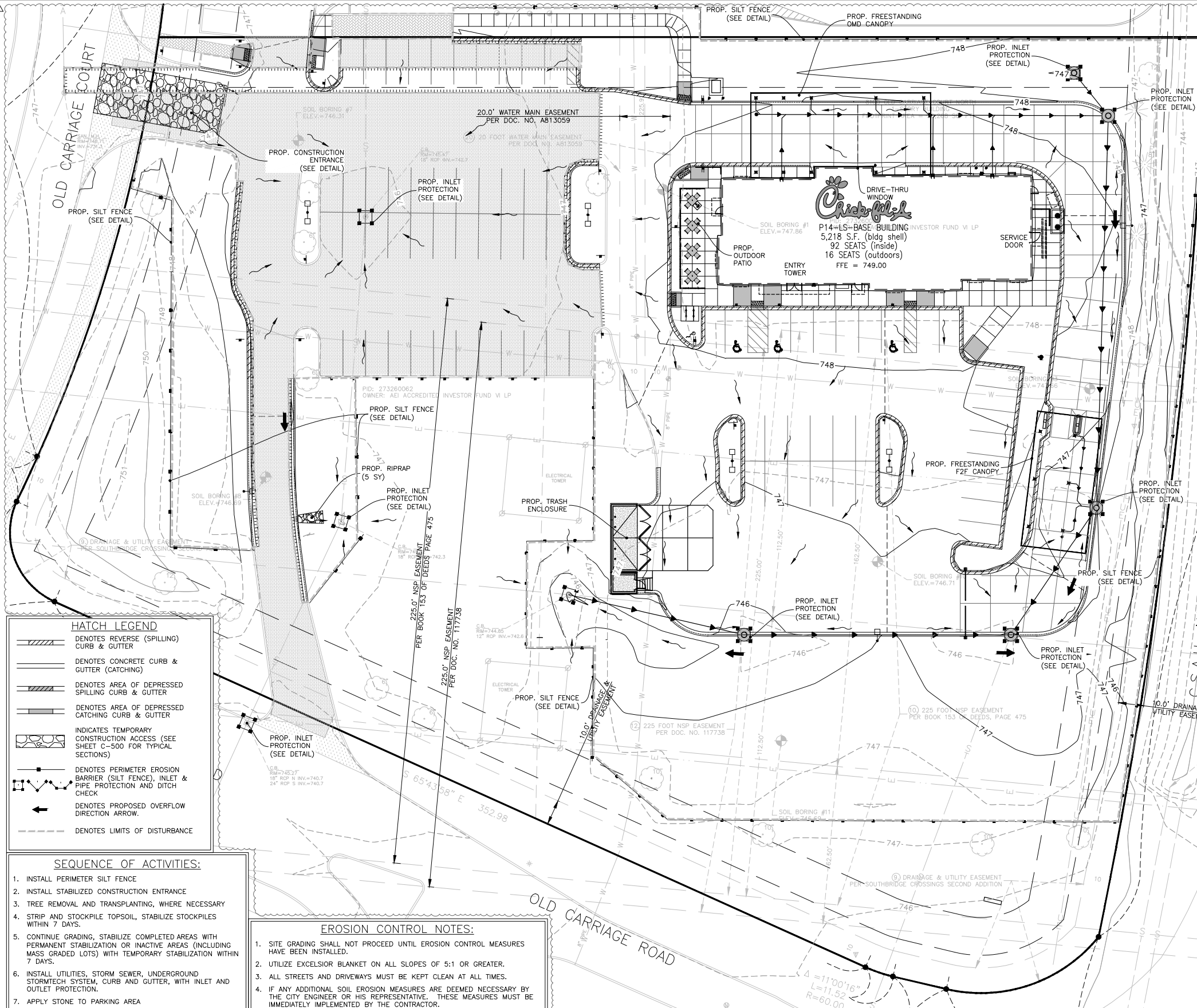
The stormwater pollutant control measures shall include:

1. Silt Fence
2. Inlet Protection Filter
3. Storm Sewers
4. Rip-Rap

2. Other Controls.

(i) **Waste Disposal.** The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building materials, shall be discharged into Waters of the State, except as authorized by a Section 404 permit.

(ii) The provisions of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.



HATCH LEGEND

- DENOTES REVERSE (SPILLING) CURB & GUTTER
- DENOTES CONCRETE CURB & GUTTER (CATCHING)
- DENOTES AREA OF DEPRESSED SPILLING CURB & GUTTER
- DENOTES AREA OF DEPRESSED CATCHING CURB & GUTTER
- INDICATES TEMPORARY CONSTRUCTION ACCESS (SEE SHEET C-500 FOR TYPICAL SECTIONS)
- DENOTES PERIMETER EROSION BARRIER (SILT FENCE, INLET & PIPE PROTECTION AND DITCH CHECK)
- DENOTES PROPOSED OVERFLOW DIRECTION ARROW
- DENOTES LIMITS OF DISTURBANCE

SEQUENCE OF ACTIVITIES:

1. INSTALL PERIMETER SILT FENCE
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE
3. TREE REMOVAL AND TRANSPLANTING, WHERE NECESSARY
4. STRIP AND STOCKPILE TOPSOIL, STABILIZE STOCKPILES WITHIN 7 DAYS.
5. CONTINUE GRADING, STABILIZE COMPLETED AREAS WITH PERMANENT STABILIZATION OR INACTIVE AREAS (INCLUDING MASS GRADED LOTS) WITH TEMPORARY STABILIZATION WITHIN 7 DAYS.
6. INSTALL UTILITIES, STORM SEWER, UNDERGROUND STORMTECH SYSTEM, CURB AND GUTTER, WITH INLET AND OUTLET PROTECTION.
7. APPLY STONE TO PARKING AREA
8. CONSTRUCT BUILDINGS
9. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
10. COMPLETE FINAL PAVING.
11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, RESEED ANY REMAINING DISTURBED AREAS.
12. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE VEGETATION REACHES 70% COVERAGE.
13. CONTRACTOR SHALL ADHERE TO ALL PROVISIONS AND REQUIREMENTS OF NOTED IN THE STORMWATER POLLUTION PREVENTION PLAN FOR THIS PROJECT

EROSION CONTROL NOTES:

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
2. UTILIZE EXCELSIOR BLANKET ON ALL SLOPES OF 5:1 OR GREATER.
3. ALL STREETS AND DRIVEWAYS MUST BE KEPT CLEAN AT ALL TIMES.
4. IF ANY ADDITIONAL SOIL EROSION MEASURES ARE DEEMED NECESSARY BY THE CITY ENGINEER OR HIS REPRESENTATIVE, THESE MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE CONTRACTOR.
5. REMOVE ALL DEBRIS TRANSFERRED INTO THE ROW OR ADJOINING PROPERTY AT THE END OF EACH WORK DAY.
6. PER THE NPDES CONSTRUCTION STORM WATER PERMIT, THE DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS MUST BE DOCUMENTED. RAINFALL AMOUNTS MUST BE OBTAINED FROM A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON SITE, A WEATHER STATION WITHIN 1 MILE OF THE SITE, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES.
7. SLOPES STEEPER THAN 5:1 SHALL BE STABILIZED TO PREVENT LAND-SLIDING AND SURFACE EROSION.
8. ADEQUATE MEASURES TO CONTROL SPRING EROSION & SEDIMENTATION SHALL BE IMPLEMENTED FOR SITES WHERE TEMPORARY OR PERMANENT COVER WILL NOT BE COMPLETE BY NOVEMBER 15TH.
9. CONCRETE WASHOUT AREAS ARE NOT ALLOWED ON THIS SITE.



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Todd M. Richards DATE 11/06/2025
 TOOD M. RICHARDS LIC. NO. 52953

CHICK-FIL-A
 SHAKOPEE (MN) FSU
 8100 OLD CARRIAGE COURT
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 SHEET EROSION CONTROL PLAN
 SHEET NUMBER C-302

CALL: 1-800-252-1166

WITH THE FOLLOWING:
 COUNTY SCOTT COUNTY
 CITY-TOWNSHIP SHAKOPEE - S12, T155N, R22W
 PARCEL ID. NO. # 273260054 & 273260062

48 hours before you dig
 (Excluding Sat., Sun. & Holidays)

1-800-252-1166
 WWW.GOPHERSTATEONECALL.ORG

FOR PERMIT

BAR IS ONE INCH ON OFFICIAL DRAWINGS
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- MAINTAIN A MINIMUM OF 7.5' COVER OVER ALL WATER MAINS AND SERVICE LINES.
- MAINTAIN A MINIMUM OF 4.0' COVER OVER ALL SANITARY SEWER.
- ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SHAKOPEE, SHAKOPEE PUBLIC UTILITIES, AND STATE OF MINNESOTA PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY AND WATER, 36" BETWEEN STORM AND WATER.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL GOPHER STATE ONE CALL AT 1-800-252-1166 AT LEAST 72 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
- MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES SHALL BE PVC SCHEDULE 40 FOR 4" & 6".
- CENTERPOINT ENERGY WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. CONTRACTOR TO PROVIDE (1) 4" SCHEDULE 40 PVC CONDUIT UNDER PAVED AREAS FOR NEW SERVICE LINE.
- CONTRACTOR TO FURNISH AND INSTALL (1) 4" SCHEDULE 40 PVC CONDUIT FOR TELEPHONE SERVICE FROM XFINITY PEDESTAL TO BUILDING. XFINITY TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE. CONDUITS TO BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE.
- SHAKOPEE PUBLIC UTILITIES TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR PRIMARY ELECTRIC SERVICE. SHAKOPEE PUBLIC UTILITIES TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO FURNISH AND INSTALL (4) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR SECONDARY ELECTRIC SERVICE. CONDUITS SHALL HAVE A MINIMUM OF 42" OF COVER. SHAKOPEE PUBLIC UTILITIES TO PROVIDE TRANSFORMER PAD GROUND GRID MATERIAL FOR CONTRACTOR TO INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH SHAKOPEE PUBLIC UTILITIES SPECIFICATIONS AND REQUIREMENTS. TRANSFORMER PAD SHALL BE INSTALLED TO FINAL GRADE AND LEVELED.
- CONTRACTOR TO FURNISH AND INSTALL (1) 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM XFINITY MAIN TO BUILDING. XFINITY TO SUPPLY, PROVIDE AND INSTALL ISP SERVICE. CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
- ALL SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF SHAKOPEE.
- ALL CONNECTIONS TO PUBLIC SANITARY SEWERS SHALL BE PER CITY OF SHAKOPEE STANDARD SPECIFICATIONS.
- THE CFA FIRE WATER SERVICE PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
- TRACER WIRE IS REQUIRED PER STATE AND CITY STANDARDS.
- IF EXISTING SANITARY/WATER LATERALS ARE NOT TO BE USED/REUSED, THEY SHALL BE ABANDONED AT MAIN PER CITY AND SHAKOPEE PUBLIC UTILITIES STANDARDS.

MISCELLANEOUS NOTES:

- ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED W/ ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY AND/OR MNDOT TO OBTAIN APPLICABLE PERMITS.
- WORK WITHIN THE ROW SHALL BE DONE IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
- ONLY THE SHAKOPEE PUBLIC UTILITIES MAY OPERATE EXISTING VALVES.
- THE CONTRACTOR MUST CONTACT THE CITY OF SHAKOPEE PUBLIC WORKS DEPARTMENT TO SCHEDULE INSPECTIONS FOR ALL WORK WITHIN THE ROW.
- COPPER STRAPS ON THE WATER SERVICE SHALL BE CONNECTED TO THE COPPER STRAPS ON THE WATER MAIN AND INSTALLED IN ACCORDANCE WITH SHAKOPEE PUBLIC UTILITIES SPECIFICATIONS.
- ANY WORK PERFORMED IN THE ROW SHALL BE PERFORMED BY A CITY "QUALIFIED" CONTRACTOR AND MONITORED BY SHAKOPEE PUBLIC UTILITIES.

CALL: 1-800-252-1166

WITH THE FOLLOWING:
 COUNTY SCOTT COUNTY - S12-T115N-R22W
 CITY-TOWNSHIP SHAKOPEE
 PARCEL ID. NO. 273260054

1-800-252-1166
 WWW.GOPHERSTATEONECALL.ORG

48 hours before you dig
 (Excluding Sat., Sun. & Holidays)

- LAYOUT NOTES**
- PAY CONNECTION FEES FOR 6" COMBINED FIRE/DOMESTIC/IRRIGATION WATER SERVICE AND ASSOCIATED METERS. DOMESTIC SERVICE TO SPLIT OFF FIRE SERVICE INTERNAL TO BUILDING. METER TO BE LOCATED INTERNAL TO BUILDING.
 - 1.5" SOFT COPPER (TYPE K) WITH POLYETHYLENE WRAP IRRIGATION LINE TO HAVE SEPARATE METER LOCATION ADJACENT TO DOMESTIC WATER METER INTERNAL TO THE BUILDING. MAINTAIN MIN. 7.5' COVER.
 - 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K) WITH POLYETHYLENE WRAP. MAINTAIN MIN. 7.5' COVER.
 - CONNECTION TO EXIST. SANITARY SEWER MANHOLE. CONTRACTOR TO VERIFY INVERT AT MAIN PRIOR TO ORDERING STRUCTURES. SEE SANITARY TAGS FOR INFO.
 - 4" OR 6" CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
 - PRECAST (2,000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2" ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN, SHEET P-101.
 - 4" KITCHEN WASTE LINE (SEE SANITARY TAGS FOR INFO)
 - OMITTED
 - 4" RESTROOM WASTE LINE (SEE SANITARY TAGS FOR INFO)
 - 4" OR 6" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS)(SEE DETAIL 37/C-403)
 - DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE DEPICTED ON THE PROJECT PLUMBING PLANS.
 - DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
 - PROPOSED GAS SERVICE (SEE NOTE 19)
 - COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
 - 8" PVC SCHEDULE 40 ROOF DRAIN PIPE SYSTEM (CONNECT TO SITE STORM DRAIN)
 - UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
 - UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
 - UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
 - PROPOSED PAD MOUNTED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE SERVICE UTILITY NOTES, THIS SHEET.
 - UNDERGROUND ISP SERVICE (SEE NOTE 22)
 - INSTALL TRANSFORMER PAD (SEE NOTE 21)
 - APPROX. LOCATION OF EXISTING 12" DUCTILE IRON WATERMAIN. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, & MATERIAL.
 - 6" PVC (SCHEDULE 40) SANITARY SERVICE PIPE
 - CONNECT TO EXISTING WATER MAIN VIA TAPPING SLEEVE WITH VALVE & VALVE BOX. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND SIZE OF THE EXISTING WATER MAIN PRIOR TO ORDERING MATERIALS. NOTIFY ENGINEER WITH ANY DISCREPANCIES.
 - 1.5" GAS SERVICE LINE TO DRIVE-THRU CANOPY
 - 6" PVC (SCHEDULE 40) CANOPY DRAIN SYSTEM (CONNECT TO SITE STORM DRAIN)
 - 6" PVC CLASS 52 DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT - FIRE SERVICE. MAINTAIN 7.5' COVER.
 - PROP. FDC LOCATION
 - PROP. FIRE HYDRANT WITH AUXILIARY VALVE AND 6" D.I. LEAD (RELOCATE EXIST. HYDRANT) (HYDRANT TO BE PAINTED PER SHAKOPEE PUBLIC UTILITIES SPECIFICATIONS)
 - 6" CLASS 52 DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT - FIRE HYDRANT LEAD
 - 12" PVC C900 WM QUALITY CASING PIPE AROUND 6" SANITARY SERVICE LINE
 - 6" PVC C900 WM QUALITY PIPE AROUND WATER SERVICE LINES

NOTE:

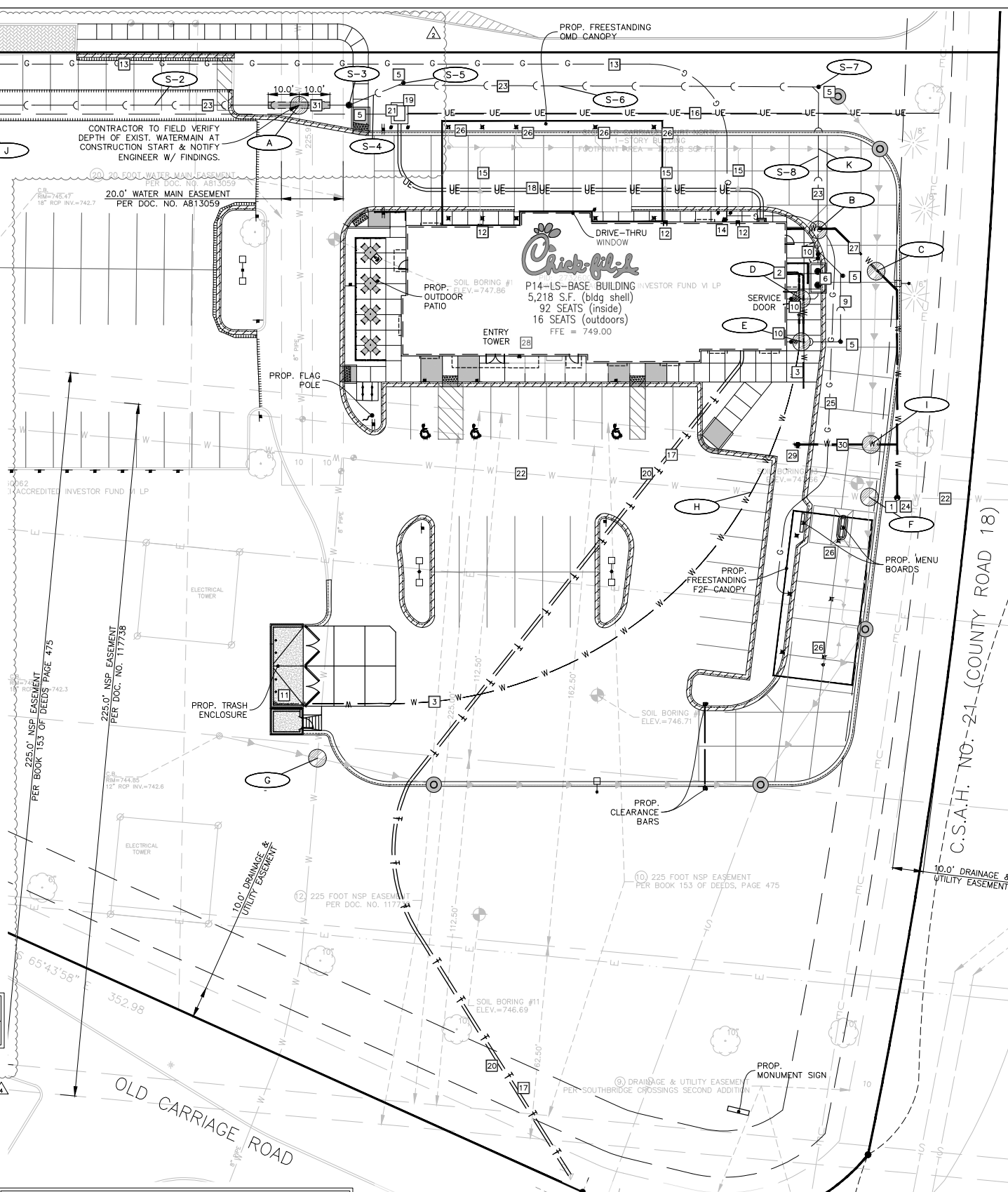
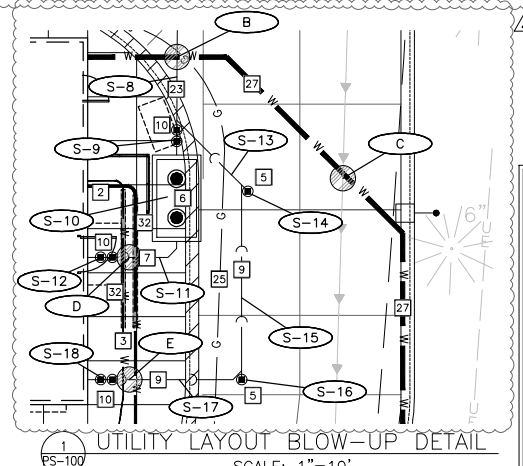
* CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING WATERMAIN AT SANITARY SERVICE CROSSING AT THE BEGINNING OF CONSTRUCTION AND NOTIFY ENGINEER WITH ANY FINDINGS.

LEGEND:

○ DENOTES MAINTAIN 18" VERTICAL SEPARATION PER MPCA'S REQUIREMENTS

⊙ CONFLICT TAGS

* REFER TO SHEET PS-101 FOR TAG INFO



- ONSITE WATERLINE NOTES:**
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
 - ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED AUXILIARY GATE VALVE.
 - ALL WATER SERVICES SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
 - ALL WATER SERVICES SHALL BE INSTALLED WITH TRACER WIRE IN ACCORDANCE WITH SHAKOPEE PUBLIC UTILITIES STANDARDS.
 - PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM.
 - ALL WATER DUCTILE IRON & COPPER WATER SERVICE LINES TO BE INSTALLED WITH POLYETHYLENE WRAP.

APPROVED FOR ONE YEAR FROM THIS DATE

SHAKOPEE PUBLIC UTILITIES COMMISSION

DATE _____

All materials and construction methods shall comply with Shakopee Public Utilities per water policy manual dtd. August 04, 2014.

SANITARY SEWER TAGS

* REFER TO SHEET PS-101 FOR TAG INFO

0 20' 1" = 20'

BAR IS ONE INCH ON OFFICIAL DRAWINGS

IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

FOR PERMIT



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd M. Richards DATE 11/06/2025
 TODD M. RICHARDS LIC. NO. 52503

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 CHECKED BY: JFY

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SHEET
PLUMBING SITE PLAN

SHEET NUMBER
PS-100

City of Shakopee
Memorandum

TO: Kyle Sobota, Senior Planner
FROM: Darin Manning, Project Engineer
SUBJECT: Preliminary & Final Plat – Southbridge Crossings 6th Addition
PROJECT: PLAT-000335-2025
DATE: January 20, 2026

The staff review indicates a request to review a Final Plat application for Southbridge Crossings Sixth Addition. The site is located on the northeast corner of Old Carriage Road and Old Carriage Court.

This review should be considered preliminary, as more comments will follow with additional submittals. However, the Engineering Department offers the following comments at this time to the applicant and to the planning department:

The following items need to be addressed/completed prior to release of the Final Plat for recording:

1. Refer to Shakopee Public Utilities comments for watermain.
2. Pay the Storm Water Management Plan Review Fee, as required by the most current City of Shakopee Fee Schedule.
3. Submit a copy of a cross-access and shared pedestrian access easement with a maintenance agreement for the shared driveway and sidewalk. The agreement shall be recorded against both properties.
4. Submit copies of the recorded permanent and temporary construction easements associated with the Old Carriage Court and Old Carriage Road roundabout improvements.
5. Obtain conditional approval of the development's storm water management plan.
6. Provide electronic files (AutoCAD and Portable Document Format – PDF) of the Final Plat to be recorded with datum on the Scott County coordinate system.
7. Approval of the final plat does not constitute approval of the submitted construction plans.

The following items need to be addressed/completed prior to approval of a grading permit, a street and utility plan and/or a building permit:

8. Obtain final approval of the subdivision's storm water management plan.
9. Obtain a NPDES construction site permit prior to any land disturbing activity. A copy of the permit must be provided to the city.
10. Grade the entire site, as proposed on the approved plans, in one phase within one year from the date of approval of the grading permit application. Grading is defined as bringing the site to the proposed finished grade with materials deemed acceptable by the City of Shakopee engineering department, providing topsoil per City requirements and applying seed, mulch and/or sod per City requirements and providing an as-built record grading plan per Section 2.5 of the City of Shakopee Design Criteria.
11. Submit a recorded copy of a Utility Facilities Easement Agreement for the proposed development. A template can be obtained from the Engineering division.
12. Record plans need to be provided per the City of Shakopee Design Criteria, Section 2.5 and Section 11.2 (A-L). The record plans need to be certified and submitted to the engineering department. Provide a letter from the engineer of record certifying all improvements were constructed per approved plans and under the direct supervision of the engineer of record.

Recommendation

The Engineering Department recommends approval of the application subject to the conditions above being addressed/completed by the applicant.

RESOLUTION R2026-024

**A RESOLUTION OF THE CITY OF SHAKOPEE, MINNESOTA APPROVING THE
PRELIMINARY AND FINAL PLAT OF SOUTHBRIDGE CROSSINGS SIXTH
ADDITION**

WHEREAS, Nam Le (applicant) and Chick-Fil-A Inc. (property owner), have made application for the Preliminary and Final Plat of Southbridge Crossings Sixth Addition; and

WHEREAS, the property is legally described as:

That part of Lot 3, Block 2, Southbridge Crossings Second Addition, according to the recorded plat thereof, Scott County, Minnesota, lying Southerly of the following described line, and its Westerly extension: Commencing at the Northwest corner of said Lot 3; thence South 01 degree 24 minutes 38 seconds West, assumed bearing, along the extended Westerly right of way line of Old Carriage Court, and said Westerly right of way line, as platted according to said Southbridge Crossings Second Addition, a distance of 702.60 feet; thence South 01 degree 05 minutes 45 seconds East, continuing along said Westerly right of way line, a distance of 580.03 feet; thence South 01 degree 37 minutes 05 seconds West, continuing along said Westerly right of way line, a distance of 65.02 feet; thence North 89 degrees 58 minute 45 seconds East, a distance of 122.11 feet to the Easterly right of way line of said Old Carriage Court and the actual point of the beginning of the line to be described; thence continuing North 89 degrees 58 minutes 45 seconds East, a distance of 410.13 feet to the East line of said Lot 3 and said line there terminating. Scott County, Minnesota; *and*

WHEREAS, notice was provided and on February 5, 2026 the Planning Commission held a public hearing regarding the Preliminary and Final Plat of Southbridge Crossings Sixth Addition, at which time it heard from City Planning staff and invited members of the public to comment; and

WHEREAS, the City Council reviewed the Preliminary and Final Plat of Southbridge Crossings Sixth Addition on February 17, 2026; and

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Shakopee, Minnesota that the Preliminary and Final Plat of Southbridge Crossings Sixth Addition is hereby approved subject to the following conditions:

I) The following procedural actions must be addressed/completed prior to the release of the recording of a Final Plat:

- A. Comply with the Engineering Department memorandum dated January 20, 2026, which includes the requirement for providing cross-access agreements and easements for vehicle access to both lots and permanent and temporary easements for roadway construction adjacent to this site.

II. Following approval and recording of the final plat, the following conditions shall apply:

- A. Pedestrian access to both future buildings is required and will require a shared pedestrian access agreement.
- B. Development of both lots must comply with City Code for design and performance standards.
- C. Tree protection fencing is required at the dripline of existing trees to be saved prior to any excavation or construction on the site.

Adopted in regular session of the City Council of the City of Shakopee, Minnesota, held the 17th day of February 2026.

Mayor

Attest:

City Clerk