



**CITY OF SHOREVIEW  
AGENDA  
CITY COUNCIL  
Monday April 15, 2024  
7:00 PM**

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF AGENDA**
5. **PROCLAMATIONS AND RECOGNITIONS**
6. **CITIZENS COMMENTS**

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*Individuals may address the city council about any item not included on the regular agenda. Specific procedures that are used for citizens comments are available on notecards located in the rack near the entrance to the council chambers. Speakers are requested to come to the podium, state their name and address for the clerk's record, and limit their remarks to three minutes. Generally, the city council will not take official action on items discussed at this time, but may typically refer the matter to staff for a future report or direct that the matter be scheduled on an upcoming agenda.*

7. **COUNCIL COMMENTS**
8. **CONSENT AGENDA**

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*These items are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a councilmember or citizen so requests, in which event the item will be removed from the consent agenda and placed elsewhere on the agenda.*

- 8.a [April 1, 2024 city council meeting minutes](#)
- 8.b [Receipt of committee/commission minutes](#)

- 8.c Monthly Reports
- 8.d Claims and purchases
- 8.e Authorize execution of Cooperative Agreement PUBW2022-17R associated with the Hodgson Road Reconstruction, City Project 23-02
- 8.f Establish parking restrictions on the south side of Lepak Court
- 8.g Authorize execution of a joint powers agreement with the City of Lino Lakes associated with the Hodgson Road and County Road J Reconstruction, city project 23-01
- 8.h Tree Trimmers License
- 8.i Appropriate Response Initiative
- 8.j Approval of Revised/Updated TIF Development Agreement with Scannell Properties #629, LLC (Seven Lakes Phase 1 - TIF District 14)
- 8.k Employee Handbook Update

**9. PUBLIC HEARINGS**

**10. GENERAL BUSINESS**

- 10.a Adopting the revisions to the bylaws for the Snail Lake Improvement District
- 10.b Receipt of bids and award of contract for the 2024 Street Rehabilitation, city project 24-01 and authorize the mayor and city manager to execute a construction contract

**11. SPECIAL ORDER OF BUSINESS**

**12. ADJOURNMENT**

**\* Denotes items that require four votes of the City Council.**



# Memorandum

**TO:** City Council  
**FROM:** Priyanka Rai , Deputy clerk  
**DATE:** April 15, 2024  
**SUBJECT:** April 1, 2024 city council meeting minutes  
**ITEM NUMBER:** 8.a  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

Approve April 1, 2024 city council meeting minutes.

## **INTRODUCTION**

City council is being asked to approve the April 1, 2024 city council meeting minutes.

## **DISCUSSION**

## **RECOMMENDATION**

It is recommended that the city council approve the minutes of the April 1, 2024 city council meeting as presented.

## **ATTACHMENTS**

[City Council Minutes 4-1-2024.pdf](#)

**CITY OF SHOREVIEW  
MINUTES  
REGULAR CITY COUNCIL MEETING  
APRIL 1, 2024**

**CALL TO ORDER**

Mayor Denkinger called the regular meeting of the Shoreview City Council to order at 7 pm on April 1, 2024.

**PLEDGE OF ALLEGIANCE**

The meeting opened with the Pledge of Allegiance.

**ROLL CALL**

The following members were present: Mayor Denkinger; Councilmembers Doan, Johnson, Myrland and Springhorn

Also in attendance:      City Manager Brad Martens  
                                    Asst. City Manager Renee Eisenbeisz  
                                    Public Works Director Tom Wesolowski  
                                    Senior Planner Allison Eddins  
                                    City Attorney Rebecca Duren

**APPROVAL OF AGENDA**

**MOTION:**    by Councilmember Springhorn, seconded by Councilmember Doan to approve the April 1, 2024 meeting agenda as presented.

**VOTE:**        **AYES - 5**                      **NAYS - 0**

**PROCLAMATIONS AND RECOGNITIONS**

There were none.

**CITIZEN COMMENTS**

There were none.

**COUNCIL COMMENTS**

**Councilmember Doan:**

On April 23, 2024, at 5 pm is the *Taste of Shoreview* fundraiser event for the *Slice of Shoreview*, hosted by the Shoreview/Arden Hills Rotary Club at the Community Center. Tickets are \$35.

The next environment quality committee (EQC) speaker series program is April 22, 2024, at 7 pm in the council chambers. The program is *Bringing Nature Home by Losing Some Lawn*, by Paul Erdman from the Ramsey-

Washington Metro Watershed District. The most used resources in the U. S. are to irrigate lawns.

**Councilmember Springhorn:**

The Historical Shoreview newsletter has been published and lists many upcoming events:

- Annual membership breakfast is April 17, 2024, 9:30 to 11:30 am
- April 21, 2024, the heritage program will honor the Hoff family at the community center in the Wedell Room.
- History of Applewood Point Cooperative - registration is required. RSVP phone number is listed in the newsletter.

**Mayor Denkinger:**

Kids' Corner pre-registration is still open.

Thanks to a federal SAFER grant, the department was able to hire six new captains. In 2023, calls increased 7.3%, which necessitated the increase of staff. There is now a 24/7 staff at Station No. 3 on Lexington Avenue.

The council held a workshop discussion about organized trash collection on March 18, 2024. She referred residents to the survey results posted on the city website under city news, and the meeting notes for the workshop with the council discussion. The council believes this is not the time to move forward with organized collection. The program would require a lot of staff time, and there were strong opinions for both opposition and support. She recognized the EQC for bringing this issue forward.

**CONSENT AGENDA**

**MOTION:** by Councilmember Springhorn, seconded by Councilmember Johnson to approve item 8.a, March 18, 2024 city council workshop minutes and item 8.b, March 18, 2024 city council meeting minutes as presented.

**VOTE:**       **AYES - 4**                   **NAYS - 0**                   **ABSTAIN - 1 (Doan)**

Councilmember Doan abstained, as he was absent from the March 18, 2024 meetings.

**MOTION:** by Councilmember Myrland, seconded by Councilmember Doan to approve the items 8.c through 8.i listed below on the consent agenda for April 1, 2024:

8.c     Receipt of committee/commission minutes

- 8.d Claims and purchases
- 8.e Tree trimmers Licenses
- 8.f Authorization to purchase replacement for unit BC1
- 8.g Authorization to purchase a replacement for unit PT1-09
- 8.h Authorization to purchase replacement for unit 207-12
- 8.i Approve application for special event liquor license - Arden Hills/Shoreview Rotary Club
- 8.j Approve first amendment to ground space lease agreement with New Cingular wireless, LLC for antenna tower property at 4615 Victoria Street N.
- 8.k Resolution calling for public hearing for establishment of Tax Increment District No. 15, (Seven Lakes Phase 2 - Scannell Properties)
- 8.l Request for approval to hire DDA as consultant for compensation study

**VOTE:        AYES - 5                NAYS - 0**

#### **PUBLIC HEARINGS**

There were none.

#### **GENERAL BUSINESS**

#### **PLANNED UNIT DEVELOPMENT - FINAL STAGE AND FINAL PLAT - 3680 VICTORIA STREET - SCANNELL PROPERTIES, LLC**

##### **Presentation by Senior Planner Allison Eddins**

In December 2022, the council approved phase 1 of the Scannell development. What is now presented for approval is the final stage of the PUD and final plat for phase 2. Phase 2 consists of over 20 acres which was outlet A as part of phase 1, zoned urban underdeveloped. The final plat for phase 2 creates lot 1, lot 2 and outlet A for the Seven Lakes second addition. Development is proposed for lot 1 as part of this PUD. Subsequent development for multi-family is planned for lot 2. Lot 1 will be rezoned to business park; lot 2 will be rezoned to R3; and outlet A will remain urban underdeveloped.

The phase 2 development for lot 1 is a mixed use medical building of 150,000 square feet for Fairview Medical. The primary uses will be pharmaceutical, lab and warehousing/shipping of medication. At the southern entrance there will be a small clinic for patients receiving cancer treatment.

Staff finds the final plat to be consistent with the preliminary plat that was approved by the city council in February. Ramsey County also finds the final plat to be in compliance with county regulations. Staff is recommending approval of the phase 2 applications submitted, subject to the conditions listed in the staff report.

Mayor Denkinger noted that the second building in phase 1 has been leased. She commended staff for all the hard work on this site and Scannell for being a good partner, bringing in solid business with good paying jobs to the city.

**MOTION:** by Councilmember Doan, seconded by Councilmember Myrland to approve the final plat and planned unit development - final stage applications submitted by Scannell Properties for Phase 2 of the Seven Lakes development located at 3680 Victoria Street. These approvals are subject to the following conditions:

**Final Plat**

1. A public use dedication fee shall be submitted as required by ordinance.
  - a. This will be paid prior to release of final plat by the city.
2. Drainage and utility easements shall be dedicated over the stormwater ponding areas. Other drainage and utility easements shall be provided over the proposed stormwater managements areas, infiltration basins and as required by the Director of Public Works.

**Planned Unit Development - Final Stage**

1. The developer shall secure a permit from the Ramsey-Washington Metro Watershed District, as well as a grading permit from the city, prior to commencing any grading on the property.
2. The applicant is required to enter into a site development agreement for phase 2. The site development agreement shall address the following:
  - a. Construction management and nuisances
  - b. Landscape installation and maintenance
  - c. Erosion control and site restoration
  - d. Escrow and fee amounts
3. The master PUD agreement will be amended to include the development of phase 2.
4. An executed and recorded copy of the declaration of easements, restrictions, covenants and conditions shall be submitted to the city. This shall include the maintenance of all common driveways, parking areas, storm water infrastructure, private sewer and water lines, landscaping and other shared improvements throughout the site.
5. The updated master PUD agreement and site development agreement shall be executed and financial sureties paid prior to the release of any building permits.

**VOTE:**        **AYES - 5**        **NAYS - 0**

**SPECIAL ORDER OF BUSINESS**

There was none.

## **ADJOURNMENT**

**MOTION:** by Councilmember Johnson, seconded by Councilmember Doan at 7:18 pm.

**VOTE:       AYES - 5                   NAYS – 0**

Mayor Denkinger declared the meeting adjourned at 7:18 pm.

These minutes approved by council on the 15th day of April 2024.

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Brad Martens  
City Manager

# Memorandum

**TO:** City Council  
**FROM:** Priyanka Rai , Deputy clerk  
**DATE:** April 15, 2024  
**SUBJECT:** Receipt of committee/commission minutes  
**ITEM NUMBER:** 8.b  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

To accept the following committee/commission minutes:

- Bikeways and Trails Committee - January 4, 2024, February 1, 2024

## **INTRODUCTION**

The city council is being asked to accept the above committee/commission minutes.

## **DISCUSSION**

## **RECOMMENDATION**

It is recommended that the city council accept the attached committee/commission minutes.

## **ATTACHMENTS**

[BTC Minutes - January 4, 2024.pdf](#)

[BTC Minutes - February 1, 2024.pdf](#)

**CITY OF SHOREVIEW  
BIKEWAYS & TRAILS COMMITTEE  
MEETING MINUTES**

**January 4, 2024**

**1. CALL TO ORDER**

The meeting was called to order at 7:00 p.m.

**2. ROLL CALL**

Members Present: Susan Borowick, Neil Cavanaugh (chair), Kelli Damlo, Emma Garcia, Rachelle Foster, Bob Johnson, Gina Lloyd, Jay Martin, Briana Murphy (called in- maternity leave), Mark Stange, Amar Subramanian

Members Absent: Elizabeth Burns

Guests: Barb Larson (SCF), Carol Brown Mills (SCF)

City Staff: David Yang

**3. APPROVAL OF AGENDA**

The agenda was reviewed and approved by all committee members present.

**4. APPROVAL OF MEETING MINUTES**

The December 7 meeting minutes was reviewed and approved by all committee members present.

**5. COMMITTEE DISCUSSION ITEMS**

A. Introductions

- a. The meeting began with introductions and the welcoming of newly appointed members Kelli Damlo and Gina Lloyd, and



guests Barb Larson and Carol Brown Mills from the Shoreview Community Foundation Board.

B. Shoreview Community Foundation (SCF)

- a. Guests Barb Larson and Carol Brown Mills from the SCF Board provided members with an overview of the non-profit organization, its current grant program, and also shared that they recently adopted a trail through the city's program. It was also noted that over 60 grants totaling close to \$225,000 has been awarded since the SCF was established 15 years ago. Guests Barb Larson and Carol Brown Mills encouraged the committee to apply for another grant, noting that the SCF particularly like to see joint applicants such as the committee's partnership with the Ramsey County Library in 2021.
- b. During inquiries about current needs in the community, member Bob Johnson noted to the SCF guests on the lack of bike racks across the city, especially at destination points such as businesses and schools. Member Johnson pointed out that Chippewa Middle School's 3 bike racks are fully utilized every day. Member Mark Stange noted that the committee has been trying to get the city to update the trail kiosk maps that were donated by the Turtleman Triathlon committee over a decade ago. Member Kelli Damlo mentioned that it would be great to secure outdoor exercise equipment for people who can't afford the community center fees or unable to get there. Chair Neil Cavanaugh noted that a "bike bus," similar to the one currently operating in Portland, where kids ride together in large groups along specific routes could be beneficial to the community. Member Amar Subramanian noted that there is a need present in the community for mountain bike paths, despite known pushback, based on the reoccurring questions about them brought up during interactions with residents at the Slice of Shoreview. Members noted that Mounds View High School has a mountain bike team but they practice outside the city.

C. Review 2023 Committee Objectives and Priorities

- a. Staff went over the current status of each objectives and priorities that the committee had established in early 2023, noting that the committee was successful in fulfilling all of them except for the walkability audit and council workshop, which didn't take place due to scheduling issues.

D. Discuss 2024 Committee Goals and Priorities

- a. Members agreed that one key goal this year is to work toward another SCF grant. Other goals established included updating their trail wish list and scheduling a workshop with the city council. Member Damlo suggested adding a direct link to the committee's trail wish list on the city website after being informed by staff that currently the list is only viewable on the committee's meeting minutes.
- b. Staff also proposed permanently canceling the September, October, and November meetings until further notice. Staff indicated that the reason for that is because members already devote a lot of their time to the annual Slice of Shoreview and Tour de Trails, and it's also to encourage members to attend the volunteer appreciation dinner in November. Members suggested scheduling the city council workshop on one of those months that they will not be meeting.

E. December 2023 Public Works Monthly Report

- a. Staff briefly went over the December monthly report, highlighting the EQC's 2024 speak series and the new toilet rebate program.

F. Other Topics

- a. Members and staff thanked outgoing members Susan Borowick and Rachelle Foster for all their past efforts serving on the committee, and wished them well.

The meeting was adjourned at 8:08 p.m.

**CITY OF SHOREVIEW  
BIKEWAYS & TRAILS COMMITTEE  
MEETING MINUTES**

**February 1, 2024**

**1. CALL TO ORDER**

The meeting was called to order at 7:03 p.m.

**2. ROLL CALL**

Members Present: Elizabeth Burns, Neil Cavanaugh (chair), Kelli Damlo, Emma Garcia, Bob Johnson, Gina Lloyd, Jay Martin, Briana Murphy, Mark Stange, Amar Subramanian

Members Absent:

Guests: None

City Staff: David Yang

**3. APPROVAL OF AGENDA**

The agenda was reviewed and approved by all committee members present.

**4. APPROVAL OF MEETING MINUTES**

The January 4 meeting minutes was reviewed and approved by all committee members present.

**5. COMMITTEE DISCUSSION ITEMS**

A. Shoreview Community Foundation (SCF)

- a. Members continued with their discussions from last month in an effort to identify a viable project for possible funding through a grant from the Shoreview Community Foundation. There were mainly five potential projects that members

focused most of their discussions on. One of these would involve donating bike racks to a local school or two to meet the high demand for them. Member Bob Johnson and Member Rachelle Foster noted that the bike racks at Chippewa Middle School and Oak Hill Montessori, respectively, are usually completely full with some students having to resort to laying their bikes on the ground or up against a tree. Chair Neil Cavanaugh mentioned a company that sells a range of bike racks from the standard units to fun, customizable racks in the shape of animals, symbols, bikes, and other objects. Member Mark Stange noted that the committee could collaborate with the parent teacher organizations of these schools to identify their needs and improve the probability of receiving funding for it.

- b. Another project that Chair Cavanaugh suggested for committee consideration is an underpass mural. The paintings could be fun images such as recreation of characters from a children's book through a partnership with a local author. Chair Cavanaugh also shared that the Netherlands have great examples of underpass murals. Member Stange stated that the committee could consider partnering up with the local Gallery 96 group in finding an artist to do a mural. Member Jay Martin noted that the town of Crosby, Minnesota has similar projects in partnership with artists. Members discussed possible locations for such a project, with most voicing their agreement that the underpass right by the community center lower parking lot would be a great candidate. Staff noted that the recent security cameras and improved lighting installed at this underpass would help deter vandalism of the mural.
- c. Member Johnson had also mentioned a third potential project involving the funding of a bike rodeo similar to Ramsey County Sheriff's past events. Such an event would not only help increase safety awareness in bicycle use among children and adults, but it could also be an opportunity to handout helmets, safety lights, and other essential equipment and tools. Student Member Elizabeth Burns noted that similar

bicycle training held on site at her high school have been a very popular and helpful event for the students, not only equipping them with knowledge on bicycle maintenance, repairs, and usage, but also motivating them to ride more. Member Burns also noted that it was great to have ice cream at the event, which could be something the committee considers providing at the bike rodeo. Member Gina Lloyd asked if there is a maximum to how much is awarded by the SCF. Member Kelli Damlo noted that the SCF board members did not mention a limit but that they did note the organization would like to see applicants be as specific and detailed as possible in how much they would need in their grant applications.

- d. Chair Cavanaugh also mentioned installing a glowing path as a potential project, and shared that the Netherlands have constructed a few of these. They would add a fun and creative aspect to the city's trail system, while illuminating the pathway and inspiring evening walks. Members agreed that the outdoor playground by the community center would be a great place to do a pilot project.

B. Review Committee Trail Wish List

- a. Member conducted their annual review of the committee's trail wish list, going over each item and helping new members get up to speed. Member Stange requested that the list be revised to show bullet points in place of numbers in order to better convey the idea that the list isn't in any order of priority. Staff stated that they will make the revision. Member Stange also suggested adding mountain bike paths to the list. In regards to Item 3 on the list, Member Martin stated that it would be great to have staff from Ramsey County visit the committee to share updates, if any, on the projects to address flooded trails in the Snail Lake regional park open space. Staff stated that they will reach out to the county. Member Emma Garcia asked if there are accessible walking paths in the TCAAP area. Member Martin and Member Stange both noted that the area is closed off to the public but once in a while

some areas will open up in a limited capacity for organized events. In regards to Item 10, Member Briana Murphy went over why she thought this was an important item to have and keep on the list, mentioning the speeding traffic, minimal shoulder space, and poor geometric visuals as safety concerns for people who venture to walk or bike Soo Street.

- b. Member Johnson proposed adding an item to the list for the repair/maintenance of the poor pavement condition in the Grass Lake park area. Member Stange also proposed adding an item for the repair/maintenance of the trails along County Road J because of the poor pavement condition there as well. Member Damlo also noted that there are segments of trail on the east side of Lexington Avenue, from Highway 96 to County Road I, that could use some maintenance. Staff mentioned that the city will be replacing the pavement on a little over a mile of trails throughout the city this year, some of which are located along Lexington Avenue north of Highway 96.
- c. Members also discussed the possibility of putting in and maintaining temporary paths on the frozen lakes throughout the winter. Member Stange noted that local residents have put these in on Turtle Lake and Snail Lake in the past, but that it would be nice if the city could formally implement them. Staff stated that these will require resources that the city may not have the current means to allocate to in order to maintain and keep them safe and accessible.
- d. Chair Cavanaugh also asked if it would be possible to have separate bike lanes along city streets, such as on Mound Avenue where there is plenty of shoulder to utilize. Staff stated that the city hasn't consider this because we don't have the density and traffic volume compared to larger metro cities to warrant it, and that most of the city streets are not striped to begin with.

C. Tour de Trails Check-In Relocation

- a. Staff noted that the committee will not be able to setup the Tour de Trails check-in at the former Deluxe parking lot this year because of construction. Staff asked the committee for their input on possible locations for the event check-in, sharing that Slice organizers from the Parks and Recreation Department have suggested the parking lot at Wilson Park. Members agreed to continue the discussion after spending some time going over several options including the Cummins parking lot, McCullough Park, and at the community center.

D. January 2024 Public Works Monthly Report

- a. Staff did not go over the January monthly report because it was getting late and members had to leave.

The meeting was adjourned at 8:25 p.m.

# City of Shoreview Bikeways & Trails Committee

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## Trail Wish List

Last Revised: March 02, 2023

### **Pending Completion:**

- 1) Install trail on Hodgson Road, between Gramsie Road and Highway 96 (Ramsey County) – *Project Date Set for 2023*
- 2) Install trail on County Road J, between Grotto Street and St. Albans Street (Ramsey County) – *Project Date Set for 2024*
- 3) Address flooded trails in the Snail Lake Regional Park open space area (Ramsey County) – *Project Date TBD*

### **Additions and Improvements:**

- 4) Install trail from Highway 96 to Reiland Lane in the Highway 96 Regional Trail area (Ramsey County)
- 5) Replace Lexington Avenue sidewalk with a trail, between Highway 96 and Victoria Street (Ramsey County)
- 6) Install trail, or repair shoulder pavement, on Rice Street, between Highway 694 and Gramsie Road (Ramsey County)
- 7) Install trail on County Road I, between Shamrock and Lexington Avenue (Ramsey County)
- 8) Grass Lake area trail loop (Ramsey County)
- 9) Turtle Creek Open Space trail (Ramsey County)
- 10) Install trail or sidewalk on Soo Street (Ramsey County)
- 11) Install trail extension from Bobby Theisen Park to County Road E (Shoreview)



# City of Shoreview

## Bikeways & Trails Committee

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- 12)** Extend trail on Mackubin Street from Arner Avenue to Tomlyn Avenue (Shoreview)
- 13)** Curb cuts at the intersection of Gramsie Road and Chatsworth Street (Shoreview)

### **Maintenance and ADA Needs:**

- 14)** ADA improvements along Lexington Avenue, between County Road E to County Road D (Ramsey County)
- 15)** Rehab the section of trail on Vivian Avenue from County Road E to the St. Odilia Church driveway (Shoreview)

# Memorandum

**TO:** City Council  
**FROM:** Priyanka Rai , Deputy clerk  
**DATE:** April 15, 2024  
**SUBJECT:** Monthly Reports  
**ITEM NUMBER:** 8.c  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

### **INTRODUCTION**

The city council is being asked to accept the below department reports.

- Administration
- Community development
- Finance
- Human resources
- Parks and recreation
- Public works

### **DISCUSSION**

### **RECOMMENDATION**

It is recommended that the city council accept the attached monthly reports.

### **ATTACHMENTS**

[Administration.pdf](#)

[Community development.pdf](#)

[Finance.pdf](#)

[Human resources.pdf](#)

[Parks and recreation.pdf](#)

[Public works.pdf](#)

# Monthly administration report

**To:** Mayor and City Councilmembers  
**From:** Renee Eisenbeisz, Assistant City Manager  
**Date:** April 15, 2024

## Liquor license renewals

Staff sent out renewal letters for liquor licenses at the end of March. Liquor licenses expire June 30 and need to be approved by the city council in May before sending them to the Department of Alcohol and Gambling Enforcement. Currently there are 28 licenses across 18 businesses up for renewal.

## Communications update

### Community center & parks communications

- Created lawn signs to promote the May 4 family swim safety day event. Signs have been placed at the destination playground as a pilot to determine if lawn signs are a useful marketing tool
- Created a 2024 marketing plan that has been approved by the parks and recreation department.

### Website

The website redesign kicked off this month. The redesign is being done through our current provider, Granicus. We will use their new Open Cities platform. Staff continue to work on a new, digital-first policy to meet the needs of our residents and visitors who interact with us primarily online. A digital first plan prioritizes online information and design over print publications. An example of this includes transitioning from paper applications to online forms.

### Project management system

Communications has spent the past month working to review and compare two project management systems. These systems will allow staff to receive project requests, manage project statuses, provide draft proofs of projects to internal and external stakeholders, and keep an active database of all communications efforts and finalized projects. It's anticipated that staff will begin using one of the systems in the next month.

### ShoreViews

The summer Shoreviews will be finalized and delivered later this month. The spring and summer issues heavily feature images taken by communications staff members over the past year. We are working hard to incorporate Shoreview images over stock images in each issue.

## **IT update**

IT continues to work on patching, security (hardening), and updates/upgrades on servers, firewalls, and the city's virtual infrastructure.

## **Large IT projects**

Because IT is currently down two of its team members, daily tasks have been re-prioritized to focus on keeping systems running and ensuring employees can perform their job duties. All larger IT projects have been placed on hold until those positions can be filled. This means the network switch upgrade project has suffered a setback and will now take longer to complete. Security work and smart technology work being implemented at the city's parks will also be placed on hold as well.

## **Staffing updates**

IT is in the process of reviewing job applications for the vacant systems administrator position. The plan is to complete this process as soon as possible and begin to schedule interviews.

IT has been busy onboarding new full-time employees as well as provisioning mobile devices for community development and public works staff. IT is also entering that time of year of provisioning associate staff for the upcoming summer programs. This includes configuring city email accounts, computer accounts, building access, and hardware setup.

# Memorandum

**To:** Mayor and City Council  
City Manager

**From:** Tom Simonson  
Community Development Director and Assistant City Manager

**Date:** April 10, 2024

**Re:** Community Development Monthly Report

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## Planning Commission

The planning commission will have a very full agenda at their April 23 meeting, including:

- Development applications from Urban Works Architecture, on behalf of Tycon Companies, for the 580 Highway 96 property on Snail Lake (the former Union Gospel Mission). A public hearing will be held in consideration of the development proposal that includes 8 lakeside single family lots, and 17 detached villa lots with an outlot for shared lake access. The northern portion of the site near Highway 96 would be platted as an outlot with no development proposed at this time. Any future development of the north outlot will require to go through a comprehensive plan amendment and rezoning.
- A public hearing for a PUD development stage and rezoning for the Rice Street Crossings redevelopment project at 3377 Rice Street by Enclave Companies. The proposal is to develop the 11-acre city-owned property with a 295-unit, four story mixed use apartment building that will include eight live/work apartment units, a quasi-public outdoor community space, and approximately 4,500 square feet of restaurant/retail space.
- PUD concept plan review for 3 affordable owner-occupied twin homes (6 total units) that will be part of the Rondo Community Land Trust. This is a joint development project between Rondo CLT and Twin Cities Habitat for Humanity on property currently owned by the City of Shoreview.

## Economic Development Authority

The EDA met on Monday, April 1, with the following items on their agenda:

- Review and preliminary approval of term sheets for providing financial assistance to Fairview Health Services and Scannell Properties for the Seven Lakes – Phase 2 building project.

- Approval of a revised/updated TIF development agreement with Scannell Properties for their building one project in Phase 1 of Seven Lakes.
- Introduction and discussion on establishing a 4D affordable housing program.
- Development and project updates.

### Economic Development Commission

- The economic development commission has been working on the following:
  - Completed a SWOT analysis outlining strengths/weaknesses and opportunities/threats for the city as it relates to business and economic development. Commissioner Megan Larson prepared and shared a Google document for members to identify issues. The SWOT process will be used to help frame a new mission and vision statement for the EDC.
  - The commission also is finalizing the update of the EDC work plan goals and priorities for 2024-2025.
- Also note that a joint meeting of the economic development authority and economic development commission is planned for the April 15 workshop meeting of the city council starting at 5pm. The purpose of the meeting is to discuss major business and economic development goals and strategies.
- The second issue of the new monthly *Business Matters* e-newsletter was distributed to subscribers this past week. The e-newsletter includes news and information regarding business and economic development, features on local businesses, business resources and programs, upcoming events, and general city news.
- The city hosted the quarterly Arden Hills-Shoreview Business Council meeting on March 20 at Churchill St. restaurant. The meeting was very well attended. In addition to receiving updates from both cities, a representative from the MN Retailers Association gave a presentation and answered questions on how the new cannabis laws will impact retail business and the state economy. The next business council will be held on June 12.

### Development Updates

#### **Seven Lakes**

A public hearing will be held by city council on May 6 in consideration of a tax increment financing (TIF) plan which would establish TIF District No. 15 for the Seven Lakes - Phase 2 development project.

Phase 2 includes the development of a building for Fairview Health Services pharmaceutical operations and multifamily apartments to be developed later in the future. The developer is expected to begin construction on the three large office/business buildings by spring of this year.



### **Rice Street Crossing**

The Economic Development Authority adopted a resolution supporting an agreement with the Metropolitan Council to payback a loan that was used in 2006 for the city to purchase the former Ramsey County public works maintenance site at the southwest quadrant of Rice Street and I-694. The loan will be paid from the proceeds of the sale of the property by the city to a developer. The property was held by the city to preserve the land until the improvements were made to the interchange several years ago. The Met Council is expected to approve the settlement of the loan in late April.

The remaining land of 11-acres can now be sold by the city for development. The city selected Enclave Companies as the development partner for a mixed-use project of 295 apartments along with 8 live/work units, and approximately 4,500 square feet of building endcap retail/restaurant space. Enclave has submitted development plan applications and will be reviewed at the April meeting of the planning



commission. The EDA will begin their review of the tax increment financing for the project next month. Enclave hopes to start construction by September of this year.



### **Aloma Apartments**

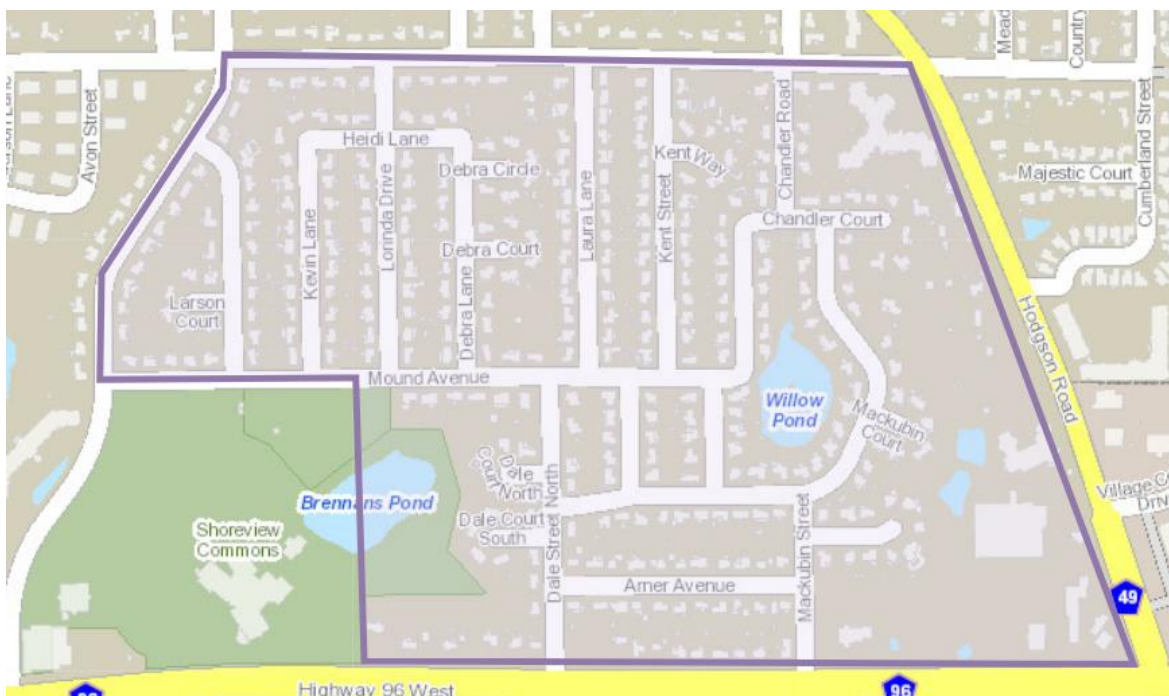
Eagle Ridge Partners and Greco Development have officially announced *Aloma* as the name for the third phase of apartments currently under construction within the Shoreview Corporate Center along Lexington Avenue just north of I-694. The project will provide 200 new apartments, including 20 affordable units. The campus will have over 600 apartments in total between the *Loden SV*, *Emrik SV*, and now *Aloma*, with 44 of the apartments available for people with more modest incomes. This is the final phase of the five-year redevelopment and renovation project by the owners with assistance from the city to transform an aging business park into a vibrant mixed-use site of corporate offices and high density housing.





### Code Enforcement

Code enforcement staff is preparing for the spring SHINE neighborhood inspections. The SHINE program was established 20 years ago as a new approach to code enforcement by selecting neighborhoods each spring and fall with the focus on educating residents of city regulations and raise awareness on the importance of maintaining properties. This helps protect property values, improves livability, and enhances the quality of our neighborhoods. SHINE letters and information will be mailed out to property owners/residents in advance of the drive by inspections. The neighborhood areas for the spring SHINE are located south of Tanglewood Drive from Victoria Street to Hodgson Road.




## Rental Licensing

There are five hundred fifty-one (551) general dwelling unit licenses through March, 2024. Of those 551 units, there are two hundred seventy-one (271) general dwelling units scheduled to be inspected in 2024.

## Building Permit Activity

Below is the building permit activity for March, 2024:

 <b>Monthly Building Permit Activity Current Year</b> <b>Mar-24</b>								
<b>To Previous Year</b>								
	<b>March 2024 Permits</b>	<b>March 2024 Valuation</b>	<b>2024 YTD Permits</b>	<b>2024 YTD Valuation</b>	<b>March 2023 Permits</b>	<b>March 2023 Valuation</b>	<b>2023 YTD Permits</b>	<b>2023 YTD Valuation</b>
Dwellings			3	\$2,253,000			0	\$0
Townhomes			0	\$0			0	\$0
Additions			0	\$0			2	\$263,430
Garages			0	\$0			0	\$0
Miscellaneous	68	\$1,590,219	222	\$5,713,888	45	\$667,349	135	\$2,540,199
Apartments			0	\$0			0	\$0
Offices			0	\$0			0	\$0
Retail			0	\$0			0	\$0
Industrial/Warehouse			0	\$0			0	\$0
Public buildings			0	\$0			0	\$0
Commercial Additions			0	\$0			0	\$0
Comercial Alter	2	\$1,759,000	6	\$2,362,490		\$86,010	4	\$2,762,560
HVAC	61		170	\$0	58		163	\$0
Plumbing	43		143	\$0	54		134	\$0
<b>TOTAL</b>	<b>174</b>	<b>\$3,349,219</b>	<b>544</b>	<b>\$10,329,378</b>	<b>157</b>	<b>\$753,359</b>	<b>438</b>	<b>\$5,566,189</b>

TO: Brad Martens, City Manager

FROM: Fred Espe, Finance Director

DATE: April 10, 2024

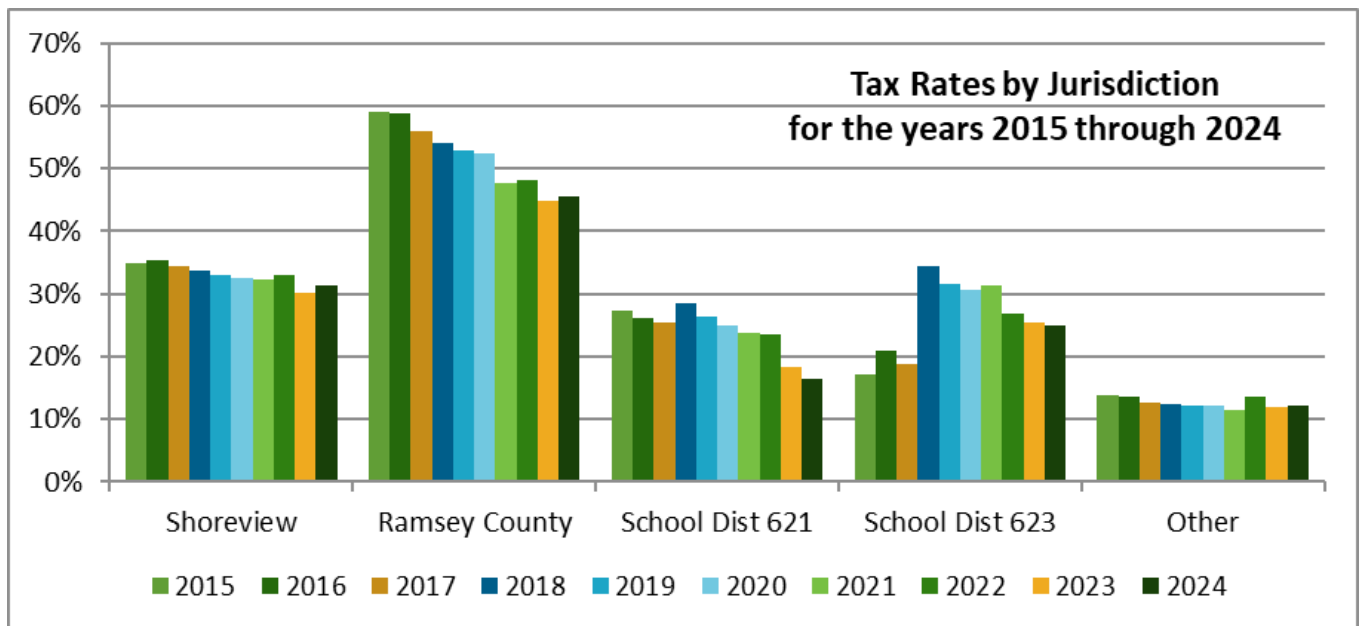
RE: Monthly Finance Report

## FINAL 2024 TAX INFORMATION

Ramsey County released final 2024 values and tax rates. The table below provides a 10-year comparison of tax rates for all jurisdictions, and shows combined tax rates for all properties located in the city.

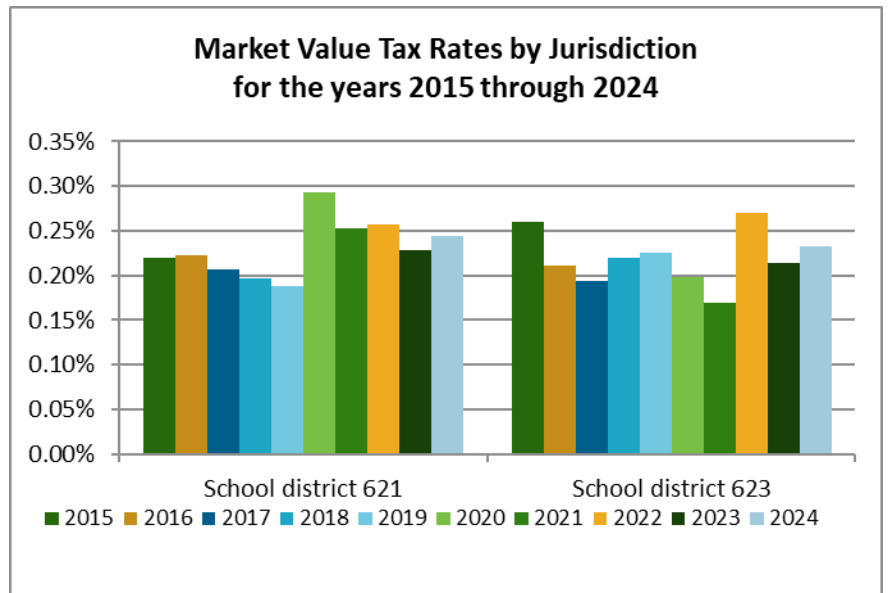
Property Tax Rates All Overlapping Governments										
Jurisdiction	Payable 2015	Payable 2016	Payable 2017	Payable 2018	Payable 2019	Payable 2020	Payable 2021	Payable 2022	Payable 2023	Payable 2024
<b>Tax Rates:</b>										
Shoreview	34.873%	35.357%	34.302%	33.617%	32.960%	32.626%	32.331%	32.960%	30.258%	31.432%
Ramsey County	58.922%	58.885%	55.850%	53.962%	52.879%	52.302%	47.760%	48.067%	44.901%	45.455%
School Dist 621	27.378%	26.245%	25.305%	28.464%	26.330%	24.964%	23.863%	23.420%	18.367%	16.469%
School Dist 623	17.180%	20.958%	18.895%	34.396%	31.687%	30.668%	31.250%	26.914%	25.533%	25.030%
* Other	13.761%	13.598%	12.696%	12.313%	12.247%	12.166%	11.394%	13.521%	12.001%	12.224%
<b>Total (621 &amp; Metro)</b>	<b>132.729%</b>	<b>131.977%</b>	<b>126.168%</b>	<b>126.530%</b>	<b>122.559%</b>	<b>120.133%</b>	<b>113.526%</b>	<b>116.138%</b>	<b>103.856%</b>	<b>103.973%</b>
<b>Total (621 &amp; Rice Creek)</b>	<b>130.675%</b>	<b>129.871%</b>	<b>124.340%</b>	<b>124.610%</b>	<b>121.030%</b>	<b>118.810%</b>	<b>112.410%</b>	<b>115.075%</b>	<b>102.859%</b>	<b>102.928%</b>
<b>Total (623 &amp; Metro)</b>	<b>122.531%</b>	<b>126.690%</b>	<b>119.758%</b>	<b>132.462%</b>	<b>127.915%</b>	<b>125.837%</b>	<b>120.913%</b>	<b>119.632%</b>	<b>111.022%</b>	<b>112.534%</b>
<b>Total (623 &amp; Rice Creek)</b>	<b>120.477%</b>	<b>124.584%</b>	<b>117.930%</b>	<b>130.542%</b>	<b>126.386%</b>	<b>124.514%</b>	<b>119.797%</b>	<b>118.569%</b>	<b>110.025%</b>	<b>111.489%</b>
<b>Market Value Tax Rates:</b>										
School district 621	0.21901%	0.22261%	0.20712%	0.19725%	0.18765%	0.29347%	0.25290%	0.25640%	0.22776%	0.24480%
School district 623	0.25930%	0.21044%	0.19350%	0.21951%	0.22529%	0.19816%	0.16876%	0.26937%	0.21357%	0.23293%

\* Met Council, Mosquito Control, Regional Transit, County Housing Authority, Rice Creek Watershed, Metro Watershed & Shoreview HRA.



The graph above illustrates the change in tax rates from 2015 to 2024.

The graph at right illustrates the change in market value tax rates for the two school districts. These rates are used to distribute taxes associated with voter approved levies.



The table below shows median home value, tax rates, and total tax for 2024 and 3 prior years (in 5-year increments).

Total property tax on a median value home increased from \$3,209 in 2009 to \$5,310 in 2024, which is a \$2,101 increase over 15 years (an annual increase of about \$140 per year).

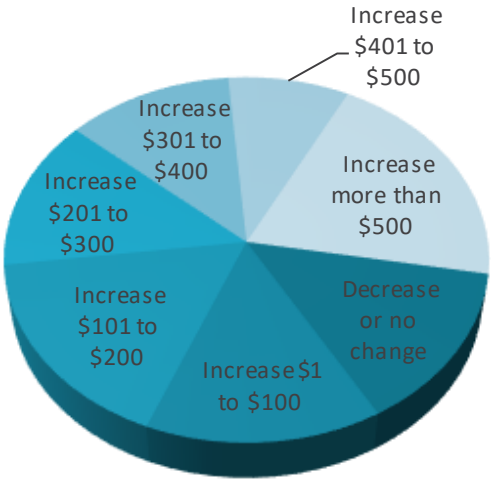
When measuring property tax as a percent of market value, the information shows that 2009 and 2024 property taxes are 1.2% and 1.3% of market value respectively.

Description	2009	2014	2019	2024
<b>Property Value:</b>				
Median Market Value	\$ 275,600	\$ 224,500	\$ 303,800	\$ 416,800
Taxable Median Market Value	\$ 275,600	\$ 207,500	\$ 293,900	\$ 416,800
Taxable Value	\$ 2,756	\$ 2,075	\$ 2,939	\$ 4,168
<b>Tax Rates (taxable value):</b>				
City tax rate	25.129%	37.490%	32.960%	31.432%
County & light rail tax rate	50.067%	67.932%	56.766%	49.429%
School district 621 tax rate	22.937%	29.734%	26.330%	16.469%
Misc. tax rates combined	4.116%	5.974%	4.974%	5.598%
<b>Total Tax Rate [1]</b>	<b>102.249%</b>	<b>141.130%</b>	<b>121.030%</b>	<b>102.928%</b>
<b>Tax Rates (market value):</b>				
School district	0.18685%	0.21069%	0.18765%	0.24480%
<b>Property Tax as % of Market Value</b>	<b>1.2%</b>	<b>1.6%</b>	<b>1.4%</b>	<b>1.3%</b>
<b>Property Tax by Jurisdiction</b>				
City	\$ 662.00	\$ 777.92	\$ 968.69	\$ 1,310.09
County	1,318.96	1,409.59	1,668.35	2,060.20
School dist	1,119.20	1,089.98	1,343.94	1,706.76
Misc.	108.43	123.96	146.17	233.34
<b>Total</b>	<b>\$3,208.59</b>	<b>\$ 3,401.45</b>	<b>\$ 4,127.15</b>	<b>\$ 5,310.39</b>
[1] Mounds View Schools & Rice Creek Watershed				

The change in the total tax bill from 2023 to 2024 for all residential property in Shoreview is shown in the table and graph below. According to Ramsey County, the total tax bill remained the same or decreased for 1,343 homes (13.9% of homes), and an additional 31.4% of homes had increases less than \$200, 34.5% of homes had increases of \$201 to \$500 and 20.2% of homes had an increase of \$500 or more.

Change in Total Residential Property Taxes		
Change in Dollars	Number of Homes	Percent of Total
Decrease or no change	1,343	13.9%
Increase \$1 to \$100	1,394	14.5%
Increase \$101 to \$200	1,627	16.9%
Increase \$201 to \$300	1,296	13.4%
Increase \$301 to \$400	1,181	12.2%
Increase \$401 to \$500	856	8.9%
Increase more than \$500	1,953	20.2%
Total Residential	9,650	100%
	ISD#621	ISD#623
Median change	\$ 221	\$ 377

Ramsey County's Estimated Change in Total Residential Property Taxes



MONTHLY REPORT

Attached is the monthly report for March of 2024.

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
% Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdg Used	2023 % Bdg Used
<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Revenues</b>							
3110	Current taxes	11,512,747.00			11,512,747.00	0.00	0.00
3310	Bus. License & Perm	49,750.00	5,316.67	1,300.00	44,433.33	10.69	6.34
3320	Non-Bus Lic & Permit	532,800.00	226,017.45	65,435.30	306,782.55	42.42	20.89
3420	State	640,000.00	159,900.00	3,000.00	480,100.00	24.98	25.72
3430	Other	42,100.00	1,378.69		40,721.31	3.27	0.00
3510	General Government	600.00	109.00	3.32	491.00	18.17	15.04
3520	Public Works	350,500.00	12,399.02	9,255.93	338,100.98	3.54	29.01
3530	Parks and Recreation	31,000.00	937.50	473.50	30,062.50	3.02	2.29
3540	Community Develop.	168,700.00	40,871.30	15,271.87	127,828.70	24.23	14.25
3550	Admin Charges	1,259,850.00			1,259,850.00	0.00	0.00
3600	Fines & Forfeits	35,500.00	9,555.15	2,708.77	25,944.85	26.92	13.52
3800	Interest Earnings	80,000.00			80,000.00	0.00	0.00
3910	Miscellaneous	15,250.00	5,096.45	907.36	10,153.55	33.42	55.04
3930	Transfers In	1,127,000.00	43,749.99	14,583.33	1,083,250.01	3.88	3.97
Revenues		15,845,797.00	505,331.22	112,939.38	15,340,465.78	3.19	3.13
<b>Account Category: Expenditures</b>							
4010	COUNCIL & COMMISS	191,909.00	113,848.07	12,801.55	78,060.93	59.32	31.43
4020	ADMINISTRATION	605,034.00	108,944.05	36,148.82	496,089.95	18.01	23.03
4021	HUMAN RESOURCES	419,986.00	66,515.01	23,352.34	353,470.99	15.84	18.07
4030	ELECTIONS	149,552.00	34,138.00		115,414.00	22.83	0.00
4040	COMMUNICATIONS	377,204.00	95,641.43	45,184.88	281,562.57	25.36	22.76
4050	FINANCE/ACCOUNTING	799,642.00	182,821.20	53,310.81	616,820.80	22.86	21.93
4055	INFORMATION SYSTEMS	868,203.00	181,820.37	18,547.00	686,382.63	20.94	25.52
4060	LEGAL	127,000.00	21,931.35		105,068.65	17.27	21.58
4080	MUNICIPAL BUILDINGS	183,657.00	13,914.08	3,739.94	169,742.92	7.58	5.44
4110	POLICE	3,451,169.00	887,052.19	299,986.07	2,564,116.81	25.70	25.99
4120	FIRE	2,448,921.00	1,053,057.12	3,000.00	1,395,863.88	43.00	43.62
4205	PUB WORKS ADM/ENGIN	388,359.00	77,415.57	24,429.24	310,943.43	19.93	20.38
4220	STREETS	1,034,301.00	184,967.91	92,522.89	849,333.09	17.88	19.33
4340	PARK/RECREATION ADM	623,986.00	108,633.90	34,365.32	515,352.10	17.41	20.98
4345	TRAIL MGMT	204,484.00	20,326.06	10,196.25	184,157.94	9.94	8.81
4371	PARK MAINTENANCE	1,968,156.00	338,555.83	113,247.99	1,629,600.17	17.20	13.75
4390	FORESTRY/NURSERY	511,603.00	132,662.20	44,031.97	378,940.80	25.93	16.33
4410	PLANNING/ZONING ADM	417,278.00	82,213.72	28,579.03	335,064.28	19.70	18.35
4430	BUILDING INSPECTION	445,353.00	80,444.24	33,277.99	364,908.76	18.06	18.04
4990	TRANSFERS OUT	630,000.00	76,249.98	25,416.66	553,750.02	12.10	12.10
Expenditures		15,845,797.00	3,861,152.28	902,138.75	11,984,644.72	24.37	23.64
<b>Fund 101 - GENERAL FUND:</b>							
TOTAL REVENUES		15,845,797.00	505,331.22	112,939.38	15,340,465.78		
TOTAL EXPENDITURES		15,845,797.00	3,861,152.28	902,138.75	11,984,644.72		
NET OF REVENUES & EXPENDITURES:		0.00	(3,355,821.06)	(789,199.37)	3,355,821.06		

COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 210 RECYCLING</b>							
<b>Account Category: Revenues</b>							
3430	Other	65,000.00			65,000.00	0.00	0.00
3520	Public Works	1,250,000.00			1,250,000.00	0.00	0.00
	Revenues	1,315,000.00	0.00	0.00	1,315,000.00	0.00	0.00
<b>Account Category: Expenditures</b>							
4275	RECYCLING	1,316,867.00	178,729.71	87,545.78	1,138,137.29	13.57	12.29
	Expenditures	1,316,867.00	178,729.71	87,545.78	1,138,137.29	13.57	12.29
<b>Fund 210 - RECYCLING:</b>							
TOTAL REVENUES		1,315,000.00	0.00	0.00	1,315,000.00		
TOTAL EXPENDITURES		1,316,867.00	178,729.71	87,545.78	1,138,137.29		
NET OF REVENUES & EXPENDITURES:		(1,867.00)	(178,729.71)	(87,545.78)	176,862.71		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 220 COMMUNITY CENTER</b>							
<b>Account Category: Revenues</b>							
3510	General Government	1,180.00	59.87	(35.32)	1,120.13	5.07	244.99
3530	Parks and Recreation	4,021,491.00	1,186,758.77	403,415.79	2,834,732.23	29.51	33.24
3800	Interest Earnings	10,000.00	40.58	11.55	9,959.42	0.41	0.34
3910	Miscellaneous	12,800.00			12,800.00	0.00	0.00
3930	Transfers In	305,000.00	76,249.98	25,416.66	228,750.02	25.00	25.00
	Revenues	4,350,471.00	1,263,109.20	428,808.68	3,087,361.80	29.03	32.33
<b>Account Category: Expenditures</b>							
4380	COMMUNITY CENTER	4,358,300.00	950,402.20	328,867.55	3,407,897.80	21.81	22.55
	Expenditures	4,358,300.00	950,402.20	328,867.55	3,407,897.80	21.81	22.55
<b>Fund 220 - COMMUNITY CENTER:</b>							
TOTAL REVENUES		4,350,471.00	1,263,109.20	428,808.68	3,087,361.80		
TOTAL EXPENDITURES		4,358,300.00	950,402.20	328,867.55	3,407,897.80		
NET OF REVENUES & EXPENDITURES:		(7,829.00)	312,707.00	99,941.13	(320,536.00)		



## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 225 RECREATION PROGRAMS</b>							
<b>Account Category: Revenues</b>							
3530	Parks and Recreation	1,789,000.00	486,708.98	190,950.13	1,302,291.02	27.21	24.99
3800	Interest Earnings	2,000.00			2,000.00	0.00	0.00
3930	Transfers In	300,000.00			300,000.00	0.00	0.00
Revenues		2,091,000.00	486,708.98	190,950.13	1,604,291.02	23.28	21.27
<b>Account Category: Expenditures</b>							
4340	PARK/RECREATION ADM	719,916.00	186,687.28	62,690.47	533,228.72	25.93	20.42
4351	ADULT & YOUTH SPORTS	135,666.00	15,065.09	9,957.07	120,600.91	11.10	7.35
4352	AQUATICS	131,540.00	25,974.88	7,466.44	105,565.12	19.75	18.81
4353	FITNESS PROGRAMS	122,462.00	32,633.22	16,097.22	89,828.78	26.65	14.90
4354	SUMMER DISCOVERY	377,198.00	2,613.52	92.12	374,584.48	0.69	0.71
4355	PRESCHOOL PROGRAMS	280,120.00	70,250.73	21,202.69	209,869.27	25.08	25.01
4356	DROP-IN CHILD CARE	94,134.00	16,088.41	5,406.84	78,045.59	17.09	23.12
4358	YOUTH/TEEN	77,423.00	19,124.52	17,280.73	58,298.48	24.70	26.83
4359	COMMUNITY PROGRAMS	154,216.00	13,262.28	1,537.19	140,953.72	8.60	15.37
Expenditures		2,092,675.00	381,699.93	141,730.77	1,710,975.07	18.24	16.07
<b>Fund 225 - RECREATION PROGRAMS:</b>							
TOTAL REVENUES		2,091,000.00	486,708.98	190,950.13	1,604,291.02		
TOTAL EXPENDITURES		2,092,675.00	381,699.93	141,730.77	1,710,975.07		
NET OF REVENUES & EXPENDITURES:		(1,675.00)	105,009.05	49,219.36	(106,684.05)		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 230 CABLE TELEVISION</b>							
<b>Account Category: Revenues</b>							
3510	General Government	362,850.00			362,850.00	0.00	0.00
3800	Interest Earnings	2,000.00			2,000.00	0.00	0.00
3910	Miscellaneous	1,200.00	400.00		800.00	33.33	91.67
Revenues		366,050.00	400.00	0.00	365,650.00	0.11	0.31
<b>Account Category: Expenditures</b>							
4090	CABLE TELEVISION	181,976.00	52,022.01	17,076.90	129,953.99	28.59	22.34
4990	TRANSFERS OUT	175,000.00	43,749.99	14,583.33	131,250.01	25.00	25.00
Expenditures		356,976.00	95,772.00	31,660.23	261,204.00	26.83	23.50
<b>Fund 230 - CABLE TELEVISION:</b>							
TOTAL REVENUES		366,050.00	400.00	0.00	365,650.00		
TOTAL EXPENDITURES		356,976.00	95,772.00	31,660.23	261,204.00		
NET OF REVENUES & EXPENDITURES:		9,074.00	(95,372.00)	(31,660.23)	104,446.00		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 240 ECON DEVEL AUTH/EDA</b>							
<b>Account Category: Revenues</b>							
3110	Current taxes	240,000.00			240,000.00	0.00	0.00
3540	Community Develop.	0.00	216.00		(216.00)	100.00	0.00
3930	Transfers In	0.00			0.00	0.00	100.00
	Revenues	<u>240,000.00</u>	<u>216.00</u>	<u>0.00</u>	<u>239,784.00</u>	<u>0.09</u>	<u>77.11</u>
<b>Account Category: Expenditures</b>							
4440	ECON DEVELOPMENT-EDA	243,955.00	71,871.40	28,856.07	172,083.60	29.46	22.51
	Expenditures	<u>243,955.00</u>	<u>71,871.40</u>	<u>28,856.07</u>	<u>172,083.60</u>	<u>29.46</u>	<u>22.51</u>
<b>Fund 240 - ECON DEVEL AUTH/EDA:</b>							
	TOTAL REVENUES	240,000.00	216.00	0.00	239,784.00		
	TOTAL EXPENDITURES	<u>243,955.00</u>	<u>71,871.40</u>	<u>28,856.07</u>	<u>172,083.60</u>		
	NET OF REVENUES & EXPENDITURES:	<u>(3,955.00)</u>	<u>(71,655.40)</u>	<u>(28,856.07)</u>	<u>67,700.40</u>		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 241 HRA PROGRAMS OF EDA</b>							
<b>Account Category: Revenues</b>							
3110	Current taxes	310,000.00			310,000.00	0.00	0.00
3320	Non-Bus Lic & Permit	100,000.00			100,000.00	0.00	0.00
	Revenues	410,000.00	0.00	0.00	410,000.00	0.00	0.00
<b>Account Category: Expenditures</b>							
4450	HOUSING PROGRAMS-HRA	368,499.00	28,519.49	11,871.92	339,979.51	7.74	18.55
	Expenditures	368,499.00	28,519.49	11,871.92	339,979.51	7.74	18.55
<b>Fund 241 - HRA PROGRAMS OF EDA:</b>							
TOTAL REVENUES		410,000.00	0.00	0.00	410,000.00		
TOTAL EXPENDITURES		368,499.00	28,519.49	11,871.92	339,979.51		
NET OF REVENUES & EXPENDITURES:		41,501.00	(28,519.49)	(11,871.92)	70,020.49		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 270 SLICE SV EVENT</b>							
<b>Account Category: Revenues</b>							
3510	General Government	28,000.00	7,475.00	1,750.00	20,525.00	26.70	30.70
3910	Miscellaneous	29,000.00	4,000.00	3,000.00	25,000.00	13.79	4.00
3930	Transfers In	25,000.00			25,000.00	0.00	0.00
	Revenues	<u>82,000.00</u>	<u>11,475.00</u>	<u>4,750.00</u>	<u>70,525.00</u>	<u>13.99</u>	<u>11.57</u>
<b>Account Category: Expenditures</b>							
4025	SLICE OF SHOREVIEW	80,751.00	3,959.60	11.31	76,791.40	4.90	6.50
	Expenditures	<u>80,751.00</u>	<u>3,959.60</u>	<u>11.31</u>	<u>76,791.40</u>	<u>4.90</u>	<u>6.50</u>
<b>Fund 270 - SLICE SV EVENT:</b>							
TOTAL REVENUES		82,000.00	11,475.00	4,750.00	70,525.00		
TOTAL EXPENDITURES		<u>80,751.00</u>	<u>3,959.60</u>	<u>11.31</u>	<u>76,791.40</u>		
NET OF REVENUES & EXPENDITURES:		<u>1,249.00</u>	<u>7,515.40</u>	<u>4,738.69</u>	<u>(6,266.40)</u>		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 601 WATER FUND</b>							
<b>Account Category: Revenues</b>							
3710	Utility Charges	4,555,500.00	856,008.10	323,481.63	3,699,491.90	18.79	18.00
3720	Late fees	0.00	18,011.35	5,967.60	(18,011.35)	100.00	100.00
3760	Water meters	7,000.00	822.00		6,178.00	11.74	0.00
3790	Other prop charges	20,000.00	775.00	625.00	19,225.00	3.88	1.98
3800	Interest Earnings	30,000.00	1,947.33		28,052.67	6.49	57.81
3960	Contributed Assets	0.00	707.12		(707.12)	100.00	0.00
Revenues		4,612,500.00	878,270.90	330,074.23	3,734,229.10	19.04	18.52
<b>Account Category: Expenditures</b>							
4505	WATER OPERATIONS	2,311,664.00	357,942.43	96,644.90	1,953,721.57	15.48	18.25
4830	GO REVENUE BONDS	351,152.00	206,695.40	2,548.60	144,456.60	58.86	53.87
4970	DEPRECIATION	1,028,114.00	257,040.00	85,680.00	771,074.00	25.00	25.00
4990	TRANSFERS OUT	525,250.00			525,250.00	0.00	0.00
Expenditures		4,216,180.00	821,677.83	184,873.50	3,394,502.17	19.49	21.37
<b>Fund 601 - WATER FUND:</b>							
TOTAL REVENUES		4,612,500.00	878,270.90	330,074.23	3,734,229.10		
TOTAL EXPENDITURES		4,216,180.00	821,677.83	184,873.50	3,394,502.17		
NET OF REVENUES & EXPENDITURES:		396,320.00	56,593.07	145,200.73	339,726.93		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 602 SEWER FUND</b>							
<b>Account Category: Revenues</b>							
3510	General Government	1,600.00			1,600.00	0.00	0.00
3710	Utility Charges	5,120,000.00	1,266,328.48	501,986.60	3,853,671.52	24.73	24.29
3720	Late fees	0.00	20,569.61	6,652.07	(20,569.61)	100.00	100.00
3730	Facility/area chgs	5,000.00	635.00	120.00	4,365.00	12.70	4.80
3790	Other prop charges	2,500.00			2,500.00	0.00	0.00
3800	Interest Earnings	35,000.00	2,269.69		32,730.31	6.48	28.22
Revenues		5,164,100.00	1,289,802.78	508,758.67	3,874,297.22	24.98	24.67
<b>Account Category: Expenditures</b>							
4555	SEWER OPERATIONS	4,332,273.00	1,046,332.33	269,597.51	3,285,940.67	24.15	19.05
4830	GO REVENUE BONDS	115,624.00	81,779.52	503.63	33,844.48	70.73	49.56
4970	DEPRECIATION	356,502.00	89,130.00	29,710.00	267,372.00	25.00	25.00
4990	TRANSFERS OUT	256,250.00			256,250.00	0.00	0.00
Expenditures		5,060,649.00	1,217,241.85	299,811.14	3,843,407.15	24.05	19.48
<b>Fund 602 - SEWER FUND:</b>							
TOTAL REVENUES		5,164,100.00	1,289,802.78	508,758.67	3,874,297.22		
TOTAL EXPENDITURES		5,060,649.00	1,217,241.85	299,811.14	3,843,407.15		
NET OF REVENUES & EXPENDITURES:		103,451.00	72,560.93	208,947.53	30,890.07		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 603 SURFACE WATER MGMT</b>							
<b>Account Category: Revenues</b>							
3540	Community Develop.	0.00	930.00	40.00	(930.00)	100.00	27.80
3710	Utility Charges	2,305,000.00	561,201.18	227,568.79	1,743,798.82	24.35	24.50
3720	Late fees	0.00	8,880.41	2,617.58	(8,880.41)	100.00	100.00
3740	Lake Impr Dist chgs	38,000.00	5,154.48	2,076.11	32,845.52	13.56	7.86
3790	Other prop charges	8,000.00			8,000.00	0.00	0.00
3800	Interest Earnings	15,000.00	859.44		14,140.56	5.73	85.14
Revenues		2,366,000.00	577,025.51	232,302.48	1,788,974.49	24.39	24.92
<b>Account Category: Expenditures</b>							
4585	SURFACE WATER OPER	1,244,246.00	299,553.50	99,944.36	944,692.50	24.08	29.28
4590	SNAIL LAKE AUG.	67,256.00	3,798.47	1,147.31	63,457.53	5.65	6.80
4830	GO REVENUE BONDS	99,506.00	63,764.87	237.77	35,741.13	64.08	52.80
4970	DEPRECIATION	433,749.00	108,450.00	36,150.00	325,299.00	25.00	25.00
4990	TRANSFERS OUT	241,000.00			241,000.00	0.00	0.00
Expenditures		2,085,757.00	475,566.84	137,479.44	1,610,190.16	22.80	26.42
<b>Fund 603 - SURFACE WATER MGMT:</b>							
TOTAL REVENUES		2,366,000.00	577,025.51	232,302.48	1,788,974.49		
TOTAL EXPENDITURES		2,085,757.00	475,566.84	137,479.44	1,610,190.16		
NET OF REVENUES & EXPENDITURES:		280,243.00	101,458.67	94,823.04	178,784.33		



## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 604 STREET LIGHT UTILITY</b>							
<b>Account Category: Revenues</b>							
3710	Utility Charges	902,000.00	223,413.02	91,308.76	678,586.98	24.77	24.85
3720	Late fees	0.00	3,465.21	1,148.59	(3,465.21)	100.00	100.00
3800	Interest Earnings	10,000.00			10,000.00	0.00	0.00
Revenues		<u>912,000.00</u>	<u>226,878.23</u>	<u>92,457.35</u>	<u>685,121.77</u>	<u>24.88</u>	<u>24.97</u>
<b>Account Category: Expenditures</b>							
4260	STREET LIGHTING	399,021.00	58,780.17	24,558.53	340,240.83	14.73	27.11
4700	CAPITAL PROJECTS	0.00			0.00	0.00	100.00
4970	DEPRECIATION	151,491.00	37,875.00	12,625.00	113,616.00	25.00	25.00
4990	TRANSFERS OUT	51,400.00			51,400.00	0.00	0.00
Expenditures		<u>601,912.00</u>	<u>96,655.17</u>	<u>37,183.53</u>	<u>505,256.83</u>	<u>16.06</u>	<u>23.73</u>
<b>Fund 604 - STREET LIGHT UTILITY:</b>							
TOTAL REVENUES		912,000.00	226,878.23	92,457.35	685,121.77		
TOTAL EXPENDITURES		<u>601,912.00</u>	<u>96,655.17</u>	<u>37,183.53</u>	<u>505,256.83</u>		
NET OF REVENUES & EXPENDITURES:		<u>310,088.00</u>	<u>130,223.06</u>	<u>55,273.82</u>	<u>179,864.94</u>		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 701 CENTRAL GARAGE FUND</b>							
<b>Account Category: Revenues</b>							
3110	Current taxes	184,000.00			184,000.00	0.00	0.00
3770	Cent Garage chgs	1,473,823.00	1,028.78	884.08	1,472,794.22	0.07	0.00
3800	Interest Earnings	20,000.00			20,000.00	0.00	0.00
3920	Sale of Asset	45,000.00	8,393.63	8,393.63	36,606.37	18.65	0.00
3930	Transfers In	119,400.00			119,400.00	0.00	0.00
Revenues		1,842,223.00	9,422.41	9,277.71	1,832,800.59	0.51	0.00
<b>Account Category: Expenditures</b>							
4650	CENTRAL GARAGE OPER	815,361.00	476,054.59	151,771.20	339,306.41	58.39	23.39
4813	GO CIP BONDS	50,513.00	34,791.80		15,721.20	68.88	66.43
4970	DEPRECIATION	793,942.00	198,480.00	66,160.00	595,462.00	25.00	25.00
4990	TRANSFERS OUT	10,000.00			10,000.00	0.00	0.00
Expenditures		1,669,816.00	709,326.39	217,931.20	960,489.61	42.48	25.68
<b>Fund 701 - CENTRAL GARAGE FUND:</b>							
TOTAL REVENUES		1,842,223.00	9,422.41	9,277.71	1,832,800.59		
TOTAL EXPENDITURES		1,669,816.00	709,326.39	217,931.20	960,489.61		
NET OF REVENUES & EXPENDITURES:		172,407.00	(699,903.98)	(208,653.49)	872,310.98		

## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 702 STD SELF INSURANCE</b>							
<b>Account Category: Revenues</b>							
3510	General Government	7,900.00	2,136.00	712.00	5,764.00	27.04	27.65
3800	Interest Earnings	600.00			600.00	0.00	0.00
	Revenues	8,500.00	2,136.00	712.00	6,364.00	25.13	25.69
<b>Account Category: Expenditures</b>							
4755	SHORT-TERM DISAB	10,000.00			10,000.00	0.00	50.22
	Expenditures	10,000.00	0.00	0.00	10,000.00	0.00	50.22
<b>Fund 702 - STD SELF INSURANCE:</b>							
TOTAL REVENUES		8,500.00	2,136.00	712.00	6,364.00		
TOTAL EXPENDITURES		10,000.00	0.00	0.00	10,000.00		
NET OF REVENUES & EXPENDITURES:		(1,500.00)	2,136.00	712.00	(3,636.00)		

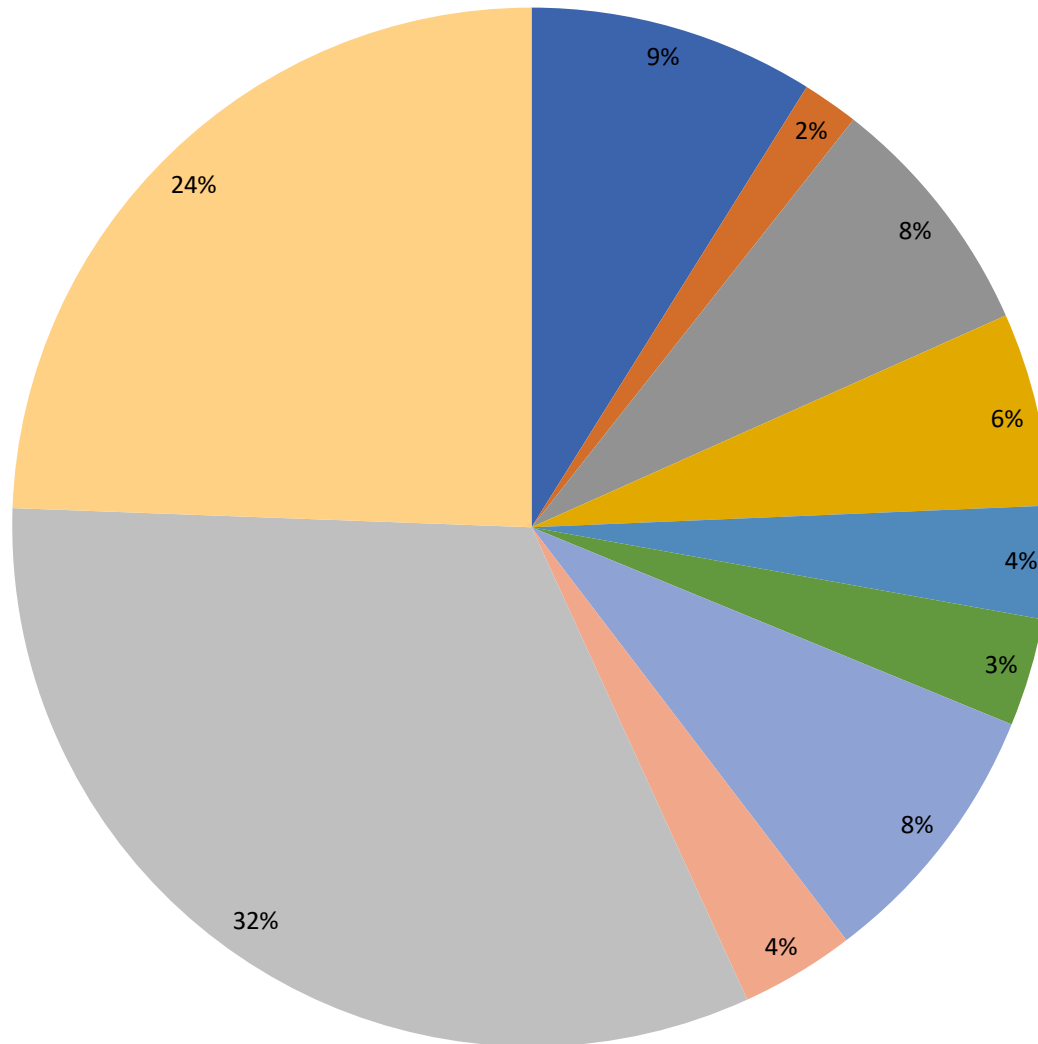
## COUNCIL FOR CITY OF SHOREVIEW

Balance As of 03/31/2024  
 % Fiscal Year Completed: 24.86

GL Number	Description	2024 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	Available Balance 03/31/2024 Norm (Abnorm)	% Bdgt Used	2023 % Bdgt Used
<b>Fund: 703 LIABILITY CLAIMS</b>							
<b>Account Category: Revenues</b>							
3800	Interest Earnings	2,500.00			2,500.00	0.00	0.00
3910	Miscellaneous	15,000.00			15,000.00	0.00	0.00
Revenues		17,500.00	0.00	0.00	17,500.00	0.00	0.00
<b>Account Category: Expenditures</b>							
4740	INSURANCE CLAIMS	32,000.00	3,236.19		28,763.81	10.11	22.32
Expenditures		32,000.00	3,236.19	0.00	28,763.81	10.11	22.32
<b>Fund 703 - LIABILITY CLAIMS:</b>							
TOTAL REVENUES		17,500.00	0.00	0.00	17,500.00		
TOTAL EXPENDITURES		32,000.00	3,236.19	0.00	28,763.81		
NET OF REVENUES & EXPENDITURES:		(14,500.00)	(3,236.19)	0.00	(11,263.81)		
<b>Report Totals:</b>							
TOTAL REVENUES - ALL FUNDS		39,623,141.00	5,250,776.23	1,911,030.63	34,372,364.77		
TOTAL EXPENDITURES - ALL FUNDS		38,340,134.00	8,895,810.88	2,409,961.19	29,444,323.12		
NET OF REVENUES & EXPENDITURES:		1,283,007.00	(3,645,034.65)	(498,930.56)	4,928,041.65		

City of Shoreview  
Portfolio Management  
Portfolio Summary  
**Book Value by Investment Type**

City of Shoreview



- Certificates of Deposit - Bank
- Money Market Account
- Negotiable CDs Monthly
- Federal Home Loan Bank
- Federal Farm Credit Bank
- Tax Exempt Municipal Bonds
- Negotiable CDs SA
- Taxable Municipal Bonds disc cost
- Taxable Municipal Bonds
- 4M/RBC



City of Shoreview  
Portfolio Management  
Portfolio Summary  
March 31, 2024

Investments	Par Value	Market Value	Book Value	% of Portfolio	Term	Days to Maturity	YTM 360 Equiv.	YTM 365 Equiv.
Negotiable CDs Monthly	3,609,000.00	3,342,237.44	3,587,967.24	7.68	1,710	834	1.636	1.659
Negotiable CDs SA	3,939,000.00	3,772,785.69	3,933,617.52	8.42	1,400	611	1.917	1.943
Federal Farm Credit Bank	1,643,000.00	1,572,381.10	1,637,459.60	3.51	1,593	659	1.311	1.329
Federal Home Loan Bank	2,810,000.00	2,692,005.63	2,808,336.00	6.01	1,482	644	1.733	1.757
Tax Exempt Municipal Bonds	1,425,000.00	1,459,180.88	1,575,997.75	3.37	3,216	929	2.437	2.471
Taxable Municipal Bonds	15,775,000.00	14,626,447.94	15,132,027.65	32.39	1,616	942	2.946	2.987
Taxable Municipal Bonds disc cost	1,740,000.00	1,588,793.16	1,661,594.00	3.56	1,693	622	0.978	0.992
Certificates of Deposit - Bank	4,155,000.00	4,155,740.27	4,155,000.00	8.89	789	515	4.848	4.915
Money Market Account	815,332.83	815,332.83	815,332.83	1.75	1	1	1.231	1.248
4M/RBC	11,409,357.99	11,409,357.99	11,409,357.99	24.42	1	1	0.000	0.000
<b>Investments</b>	<b>47,320,690.82</b>	<b>45,434,262.93</b>	<b>46,716,690.58</b>	<b>100.00%</b>	<b>1,157</b>	<b>582</b>	<b>1.961</b>	<b>1.988</b>
<b>Cash and Accrued Interest</b>								
Accrued Interest at Purchase		37,332.98	37,332.98					
Subtotal		37,332.98	37,332.98					
<b>Total Cash and Investments</b>	<b>47,320,690.82</b>	<b>45,471,595.91</b>	<b>46,754,023.56</b>		<b>1,157</b>	<b>582</b>	<b>1.961</b>	<b>1.988</b>
<b>Total Earnings</b>								
	<b>March 31</b>	<b>Month Ending</b>						
Current Year		113,025.67						
<b>Average Daily Balance</b>		<b>48,163,953.19</b>						
<b>Effective Rate of Return</b>		<b>2.76%</b>						

Travis Byrne, Assistant Finance Director

Reporting period 03/01/2024-03/31/2024

Run Date: 04/09/2024 - 13:26

No fiscal year history available

Portfolio SHOR  
CP  
PM (PRF\_PM1) 7.3.11  
Report Ver. 7.3.11

**City of Shoreview  
Portfolio Management  
Portfolio Details - Investments  
March 31, 2024**

Page 1

CUSIP	Investment #	Issuer	Average Balance	Purchase Date	Par Value	Market Value	Book Value	Stated Rate	YTM 360	YTM 365	Days to Maturity	Maturity Date
<b>Negotiable CDs Monthly</b>												
32022RSG3	1439	1st Financial Bank USA		08/01/2022	249,000.00	236,839.84	249,000.00	3.300	3.209	3.254	1,218	08/02/2027
020080CB1	1384	Alma Bank		01/19/2021	185,000.00	169,864.60	184,741.00	0.450	0.472	0.479	631	12/23/2025
099703GP9	1418	Border State Bank		12/30/2021	249,000.00	232,111.08	244,846.68	0.550	1.006	1.020	497	08/11/2025
15118RWN3	1404	Celtic Bank		09/30/2021	249,000.00	219,119.75	249,000.00	1.050	1.036	1.050	1,277	09/30/2027
15964EAB7	1389	Charis Bank		02/24/2021	249,000.00	218,692.47	249,000.00	0.700	0.691	0.700	1,059	02/24/2027
211163KQ2	1419	Continental Bank UT		12/30/2021	249,000.00	232,238.57	244,622.58	0.500	0.986	1.000	484	07/29/2025
23344RAE7	1441	Dr.Bank/DarienRowayton Bridgpr		09/09/2022	249,000.00	241,053.66	249,000.00	3.600	3.551	3.601	799	06/09/2026
335857CM8	1407	First Oklahoma Bank		11/17/2021	200,000.00	175,468.80	193,986.00	0.550	1.135	1.151	1,019	01/15/2027
37149CAZ0	1440	Generations Bank		08/03/2022	249,000.00	243,179.38	249,000.00	3.400	3.273	3.319	490	08/04/2025
38149MWC3	1398	Goldman Sachs Bank		05/19/2021	249,000.00	244,312.08	249,000.00	0.300	0.288	0.292	49	05/20/2024
538036NR1	1390	Live Oak Banking Co		02/26/2021	245,000.00	211,275.51	245,000.00	1.000	0.987	1.001	1,425	02/25/2028
66736ABW8	1415	Northwest Bank		12/20/2021	240,000.00	211,835.28	234,264.00	0.850	1.283	1.300	1,176	06/21/2027
84338CQ1	1455	SOUTHERN BK POPLAR BLUFF MO		05/17/2023	249,000.00	245,294.88	249,000.00	4.350	4.294	4.354	1,141	05/17/2027
88241THU7	1360	Texas Exchange Bank SSB		06/23/2020	249,000.00	234,962.13	248,880.48	1.000	0.997	1.010	444	06/19/2025
90348JM72	1399	UBS Bank USA		07/19/2021	249,000.00	225,989.41	248,626.50	0.850	0.870	0.882	806	06/16/2026
<b>Subtotal and Average</b>			<b>3,587,967.24</b>		<b>3,609,000.00</b>	<b>3,342,237.44</b>	<b>3,587,967.24</b>		<b>1.636</b>	<b>1.659</b>	<b>834</b>	
<b>Negotiable CDs SA</b>												
02007GNK5	1427	Ally Bank		02/03/2022	248,000.00	237,585.24	248,000.00	1.150	1.135	1.151	308	02/03/2025
02589ABP6	1431	Amer Expr Nat		03/09/2022	247,000.00	237,677.23	247,000.00	1.800	1.530	1.552	343	03/10/2025
05961SNS9	1433	Banc of California NA		06/29/2022	246,000.00	243,714.91	246,000.00	3.200	3.161	3.204	91	07/01/2024
066519RV3	1413	Bankunited Nat'l Assoc		12/09/2021	249,000.00	239,413.25	249,000.00	0.950	0.938	0.951	252	12/09/2024
06251A2Q2	1382	Bank Hapoalim BM NY Branch		12/24/2020	245,000.00	225,495.55	244,510.00	0.500	0.440	0.447	623	12/15/2025
05600XAY6	1372	BMO Harris Bank		10/05/2020	245,000.00	231,556.85	245,000.00	0.500	0.493	0.500	361	03/28/2025
14042RWD9	1460	CAPITAL ONE NATL ASSN VA		06/07/2023	244,000.00	248,392.00	244,000.00	4.450	4.394	4.455	1,528	06/07/2028
856285A27	1416	State Bank of India		12/30/2021	248,000.00	223,670.70	248,000.00	1.350	1.332	1.351	1,003	12/30/2026
549104VM6	1386	Luana Savings Bank		01/22/2021	245,000.00	224,112.77	245,000.00	0.400	0.395	0.400	661	01/22/2026
61690U2N9	1451	Morgan Stanley Bk NA		03/09/2023	244,000.00	243,691.34	244,000.00	4.750	4.690	4.755	707	03/09/2026
61768U3M7	1421	Morgan Stanley Private Bank		01/25/2022	246,000.00	220,291.28	241,355.52	1.100	1.481	1.501	995	12/22/2026
69506YZZ5	1459	PACIFIC WESTERN BANK		06/09/2023	243,000.00	243,544.32	243,000.00	5.150	5.085	5.156	1,530	06/09/2028
800364FA4	1456	Sandy Spring Bank		05/05/2023	243,000.00	241,532.28	243,000.00	4.750	3.793	3.845	399	05/05/2025
795451AB9	1400	Sallie Mae Bank, Salt Lake Cit		07/23/2021	248,000.00	225,248.73	247,752.00	1.000	1.007	1.021	841	07/21/2026
89235MLF6	1401	Toyota Finl Svgs Bk		08/05/2021	249,000.00	242,350.70	249,000.00	0.550	0.543	0.551	126	08/05/2024
947547MX0	1397	WebBank		05/17/2021	249,000.00	244,508.54	249,000.00	0.400	0.395	0.400	46	05/17/2024
<b>Subtotal and Average</b>			<b>3,933,617.52</b>		<b>3,939,000.00</b>	<b>3,772,785.69</b>	<b>3,933,617.52</b>		<b>1.917</b>	<b>1.943</b>	<b>611</b>	

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<b>Federal Farm Credit Bank</b>												
31422XY2	1500	Federal Agricultural Mtg Corp		02/28/2024	243,000.00	237,459.60	237,459.60	4.170	4.600	4.664	1,879	05/24/2029
3133EL6E9	1368	Federal Farm Credit Bank		09/09/2020	500,000.00	484,274.00	500,000.00	0.420	0.414	0.420	161	09/09/2024
3133EMNK4	1385	Federal Farm Credit Bank		01/22/2021	400,000.00	389,450.00	400,000.00	0.310	0.306	0.310	112	07/22/2024
3133ENKG4	1420	Federal Farm Credit Bank		01/11/2022	500,000.00	461,197.50	500,000.00	1.470	1.450	1.470	1,015	01/11/2027
<b>Subtotal and Average</b>			<b>1,637,459.60</b>		<b>1,643,000.00</b>	<b>1,572,381.10</b>	<b>1,637,459.60</b>		<b>1.311</b>	<b>1.329</b>	<b>659</b>	
<b>Federal Home Loan Bank</b>												
3130AKKG0	1381	Federal Home Loan Bank		12/30/2020	400,000.00	369,420.80	400,000.00	0.520	0.513	0.520	638	12/30/2025
3130APN43	1405	Federal Home Loan Bank		11/05/2021	250,000.00	237,697.25	251,000.00	2.250	1.485	1.506	939	10/27/2026
3130AQ5Y5	1417	Federal Home Loan Bank		12/30/2021	500,000.00	473,592.50	500,000.00	1.300	1.282	1.300	547	09/30/2025
3130AQGS6	1422	Federal Home Loan Bank		01/28/2022	400,000.00	388,983.60	398,900.00	1.500	2.176	2.206	653	01/14/2026
3130AQMWO	1423	Federal Home Loan Bank		01/28/2022	400,000.00	381,698.40	398,436.00	1.375	1.470	1.490	483	07/28/2025
3130AQY49	1429	Federal Home Loan Bank		02/28/2022	500,000.00	486,948.00	500,000.00	2.000	1.973	2.000	332	02/27/2025
3130ASDY2	1434	Federal Home Loan Bank		06/30/2022	360,000.00	353,665.08	360,000.00	3.500	3.353	3.400	1,185	06/30/2027
<b>Subtotal and Average</b>			<b>2,808,336.00</b>		<b>2,810,000.00</b>	<b>2,692,005.63</b>	<b>2,808,336.00</b>		<b>1.733</b>	<b>1.757</b>	<b>644</b>	
<b>Tax Exempt Municipal Bonds</b>												
13063C4N7	1349	California St for PGP		03/25/2020	500,000.00	531,257.00	572,955.00	5.000	2.466	2.500	852	08/01/2026
690564QU6	1248	Owatonna MN Indpt Sch Dist		03/01/2016	500,000.00	501,485.50	518,805.00	3.000	2.633	2.669	1,767	02/01/2029
721858CQ9	1197	Pima County AZ		04/01/2013	200,000.00	200,580.00	232,528.00	5.623	3.777	3.829	91	07/01/2024
851039KT3	1383	Springfield Mo Spl Oblig		01/07/2021	225,000.00	225,858.38	251,709.75	4.000	0.728	0.738	153	09/01/2024
<b>Subtotal and Average</b>			<b>1,575,997.75</b>		<b>1,425,000.00</b>	<b>1,459,180.88</b>	<b>1,575,997.75</b>		<b>2.437</b>	<b>2.471</b>	<b>929</b>	
<b>Taxable Municipal Bonds</b>												
037028VH7	1392	Antietam PA Sch Dist		03/30/2021	385,000.00	344,189.23	389,812.50	1.750	1.539	1.561	1,461	04/01/2028
082869NV6	1371	Benton Cnty Wash Pub Util		09/29/2020	395,000.00	369,388.20	395,000.00	0.960	0.947	0.960	579	11/01/2025
111746JA2	1472	Brockton Mass Txble		11/21/2023	110,000.00	101,444.53	99,256.30	1.618	5.168	5.240	944	11/01/2026
122632FJ6	1463	BURR RIDGE IL PARK DIST		10/13/2023	140,000.00	124,004.16	119,574.00	1.250	5.227	5.300	1,309	11/01/2027
13063DMB1	1474	California St for PGP		11/21/2023	250,000.00	234,934.50	228,415.00	3.050	4.833	4.900	1,826	04/01/2029
13063DGC6	1494	California St for PGP		12/22/2023	130,000.00	125,972.60	126,366.50	3.500	4.162	4.220	1,461	04/01/2028
13281NZB1	1365	Camden Cnty N J Impt Auth Rev		09/10/2020	215,000.00	197,029.01	217,666.00	1.219	0.987	1.000	835	07/15/2026
13281NZA3	1366	Camden Cnty N J Impt Auth Rev		09/10/2020	210,000.00	197,754.48	211,740.90	1.025	0.838	0.850	470	07/15/2025
170016E21	1495	Chippewa Valley MI Sch Dist		12/22/2023	160,000.00	147,495.52	148,041.60	2.290	4.123	4.180	1,491	05/01/2028
20775HGG2	1461	Connecticut ST HSG FIN		06/26/2023	240,000.00	213,275.52	211,226.40	1.551	4.537	4.600	1,323	11/15/2027
21969AAF9	1486	Corona Rev Txbl		11/30/2023	140,000.00	126,650.30	126,180.60	1.683	4.716	4.782	1,125	05/01/2027
21969AAH5	1498	Corona Rev Txbl		02/08/2024	155,000.00	137,080.45	137,080.45	2.042	4.488	4.550	1,856	05/01/2029
216057FF1	1380	Cook Cnty Ill Cmnty College		12/30/2020	500,000.00	454,055.50	510,910.00	1.450	1.082	1.097	1,156	06/01/2027
222367FS8	1388	Countryside Ill Taxable GO Ref		02/10/2021	400,000.00	361,898.00	405,280.00	1.171	0.927	0.940	1,005	01/01/2027

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<b>Taxable Municipal Bonds</b>												
222367FR0	1493	Countryside Ill Taxable GO Ref		12/22/2023	105,000.00	97,356.00	97,189.05	0.949	4.784	4.850	640	01/01/2026
264471LS0	1410	Duluth MN Indep Sch Dist #709		11/23/2021	400,000.00	377,512.00	413,860.00	2.000	1.134	1.150	671	02/01/2026
264471LW1	1499	Duluth MN Indep Sch Dist #709		02/08/2024	150,000.00	120,927.00	120,927.00		4.683	4.749	1,795	03/01/2029
292521GT2	1502	Encinitas CA Public Fing Auth		03/05/2024	125,000.00	109,052.50	109,052.50	1.840	4.680	4.745	2,009	10/01/2029
377136QV1	1391	Glassboro NJ Ref Taxable GO		03/11/2021	460,000.00	420,652.06	469,503.60	1.375	0.996	1.010	1,019	01/15/2027
377298S96	1406	Glastonbury Conn Taxable GO		11/16/2021	250,000.00	235,641.75	251,132.50	1.210	1.075	1.090	548	10/01/2025
384540LR9	1473	Grafton WI Sch Dist		11/21/2023	1,000,000.00	933,841.00	920,250.00	1.320	4.412	4.474	730	04/01/2026
400524KQ6	1402	Guadalupe-Blanco River Auth TX		08/03/2021	500,000.00	469,320.00	506,255.00	0.995	0.671	0.680	501	08/15/2025
4095586T5	1491	Hampton VA		12/21/2023	205,000.00	202,929.50	203,122.20	4.000	4.379	4.440	699	03/01/2026
422002QR9	1497	Hazelton Area Sch Dist		02/02/2024	500,000.00	459,570.00	459,570.00	1.470	4.241	4.300	1,064	03/01/2027
428061EG6	1436	Hesperia CA Unif		07/18/2022	150,000.00	135,704.25	135,519.00	2.039	3.945	4.000	1,401	02/01/2028
44372REA2	1375	Hudson Cnty NJ Impt Auth Rev		09/17/2020	450,000.00	406,152.45	453,109.50	1.116	0.986	1.000	958	11/15/2026
45528UP88	1442	Indianapolis IN Local Public		09/08/2022	300,000.00	287,853.60	281,241.00	0.760	3.551	3.600	275	01/01/2025
513804KQ6	1403	Lancaster CA Sch Dist		08/31/2021	240,000.00	216,293.04	244,039.20	1.425	1.115	1.130	1,217	08/01/2027
516228RW5	1496	L'Anse Cruese MI		12/22/2023	110,000.00	99,265.98	98,982.40	1.640	4.123	4.180	1,491	05/01/2028
525876WQ7	1393	Lenape NJ Regl High Sch Dist		03/08/2021	315,000.00	294,261.35	321,259.05	1.407	0.986	1.000	713	03/15/2026
558770DX8	1475	Madras Txble		11/21/2023	300,000.00	273,764.10	267,831.00	1.507	5.218	5.291	1,064	03/01/2027
56781RKV8	1465	MARIN CA CMNTY CLG DIST		10/13/2023	375,000.00	337,173.75	322,702.50	1.173	5.199	5.271	1,217	08/01/2027
57582RK96	1414	Massachusetts St		12/17/2021	300,000.00	273,706.50	295,563.00	0.986	1.282	1.300	944	11/01/2026
57582RL38	1478	Massachusetts St		11/24/2023	250,000.00	218,736.00	212,705.00	1.370	4.734	4.800	1,675	11/01/2028
576000KW2	1488	Massachusetts St		12/20/2023	250,000.00	256,887.50	258,540.00	5.468	4.340	4.400	1,170	06/15/2027
562784AJ7	1485	Manhattan Beach Txble		11/30/2023	155,000.00	138,121.43	134,484.20	2.021	4.932	5.000	1,736	01/01/2029
607802CB9	1487	Modesto CA Wstwr Rev		12/20/2023	175,000.00	159,915.00	159,209.75	1.202	4.578	4.642	944	11/01/2026
650818EH6	1363	Newburgh City NY Taxable Ref		08/07/2020	370,000.00	351,293.17	393,791.00	2.496	1.332	1.350	805	06/15/2026
643154FY8	1443	New Caney Tex Indpt Sch Dist		09/23/2022	200,000.00	205,437.60	206,920.00	5.000	4.216	4.274	1,415	02/15/2028
64966QSE1	1447	New York, NY Taxable GO Bds		10/28/2022	280,000.00	247,693.32	230,434.40	1.623	5.150	5.222	1,583	08/01/2028
64971WJ68	1261	New York NY Transitional		07/28/2016	500,000.00	483,187.50	500,000.00	2.150	2.121	2.150	395	05/01/2025
64971WTB6	1378	New York NY Transitional		11/20/2020	250,000.00	242,504.00	273,195.00	3.000	1.140	1.155	671	02/01/2026
69511AAU8	1483	Pacifica CA Pension Obl		11/22/2023	205,000.00	193,796.55	189,727.50	2.860	5.820	5.901	1,156	06/01/2027
713567HJ7	1471	Pequot Lakes Minn Indpt Sch Di		11/21/2023	175,000.00	162,873.03	160,706.00	1.070	5.050	5.120	671	02/01/2026
72178JAH6	1503	Pima County AZ		03/13/2024	125,000.00	110,268.75	110,268.75	1.764	4.290	4.350	1,856	05/01/2029
763612CP1	1476	Richland Pub SD		11/21/2023	155,000.00	146,044.72	144,401.10	1.000	5.778	5.858	487	08/01/2025
778017QR7	1477	Roseville Comnty Schs		11/21/2023	185,000.00	157,451.28	150,841.60	1.747	4.936	5.005	2,221	05/01/2030
769059A48	1492	Riverside CA Sch Dist		12/21/2023	480,000.00	455,323.20	460,377.60	2.372	4.360	4.420	671	02/01/2026
797683HJ1	1464	SAN FRANCISCO CA CMNTY CLG DIS		10/13/2023	400,000.00	369,196.00	361,180.00	1.330	5.198	5.270	805	06/15/2026
797055DM9	1484	San Buenaventura Ref		11/22/2023	145,000.00	132,009.45	129,614.05	1.319	4.981	5.050	1,005	01/01/2027
840058UZ2	1490	South San Fran Sch Dist		12/21/2023	270,000.00	247,544.10	247,201.20	1.852	4.176	4.234	1,248	09/01/2027
792897MZ0	1437	St. Paul MN Indep Sch Dist 625		07/19/2022	125,000.00	118,058.63	120,381.25	2.514	3.354	3.400	1,036	02/01/2027

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Taxable Municipal Bonds												
886640HY0	1489	Tift Cnty GA Hosp Auth		12/20/2023	250,000.00	232,467.50	233,650.00	1.051	4.537	4.600	609	12/01/2025
928346PW9	1394	Vista CA Unif		03/18/2021	335,000.00	314,856.78	335,000.00	0.824	0.813	0.824	487	08/01/2025
957569ZM1	1409	Westerly RI Taxable GO Bds		11/23/2021	250,000.00	245,144.50	250,872.50	0.916	0.770	0.780	91	07/01/2024
962727NZ2	1466	WHEATON IL		10/13/2023	80,000.00	73,253.60	70,868.00	1.310	5.235	5.307	974	12/01/2026
98840BBB8	1428	Yucaipa VY Calif Wtr Dist		02/16/2022	500,000.00	478,235.50	500,000.00	2.040	2.012	2.040	518	09/01/2025
Subtotal and Average			15,075,271.68		15,775,000.00	14,626,447.94	15,132,027.65		2.946	2.987	942	
Taxable Municipal Bonds disc cost												
018106UW2	1396	Allen Tex Indpt Sch Dist		05/27/2021	500,000.00	435,591.50	466,945.00	1.139	1.199	1.216	1,050	02/15/2027
086851DE9	1361	Bethel Ohio Loc Sch Dist		07/28/2020	250,000.00	229,063.25	236,232.50	1.031	1.080	1.095	579	11/01/2025
20772GG28	1408	State of Connecticut Tax GO TR		11/18/2021	440,000.00	414,490.56	425,260.00	0.994	1.028	1.042	348	03/15/2025
235218L51	1395	Dallas Tex GO Pension Bds		04/16/2021	300,000.00	282,918.60	292,074.00	0.679	0.700	0.709	320	02/15/2025
774286AT5	1379	Rockwall TX Indep Sch		12/04/2020	250,000.00	226,729.25	241,082.50	0.676	0.700	0.710	685	02/15/2026
Subtotal and Average			1,661,594.00		1,740,000.00	1,588,793.16	1,661,594.00		0.978	0.992	622	
Certificates of Deposit - Bank												
32026U3M6	1480	First Foundation Bank		11/29/2023	243,000.00	243,770.31	243,000.00	5.250	5.178	5.250	423	05/29/2025
06428FR82	1479	Bank of China		11/29/2023	243,000.00	243,267.06	243,000.00	5.400	5.326	5.400	58	05/29/2024
062119BU5	1454	BANK FIVE NINE OCONOMOWOC WIS		05/12/2023	249,000.00	245,673.86	249,000.00	4.400	4.340	4.400	1,136	05/12/2027
06051V3Y0	1469	BANK OF AMERICA CHARLOTTE NC		10/18/2023	243,000.00	243,105.95	243,000.00	5.400	5.326	5.400	17	04/18/2024
06063HQL0	1457	Bank of Baroda		05/15/2023	243,000.00	242,757.49	243,000.00	5.050	4.981	5.050	228	11/15/2024
05580AY32	1453	BMW		04/14/2023	244,000.00	242,537.22	244,000.00	4.550	4.488	4.550	743	04/14/2026
15987UAT5	1452	Charles Schwab Bank SSB		03/10/2023	241,000.00	241,219.31	241,000.00	5.200	5.129	5.200	168	09/16/2024
12547CBG2	1458	CIBC Bank USA		05/16/2023	244,000.00	243,259.46	244,000.00	4.800	4.734	4.800	410	05/16/2025
254673Z74	1448	Discover Bank		11/15/2022	243,000.00	248,439.80	243,000.00	5.000	4.932	5.000	1,323	11/15/2027
30002CAW8	1450	EVERETT CO-OPERATIVE BK MASS		02/08/2023	244,000.00	242,003.59	244,000.00	4.350	4.290	4.350	315	02/10/2025
46656MRW3	1470	JP MORGAN CHASE BANK NA		10/17/2023	243,000.00	243,318.33	243,000.00	5.600	5.523	5.600	60	05/31/2024
60685BRE3	1482	Mizrahi Tefahot Bank		11/30/2023	243,000.00	243,272.16	243,000.00	5.400	5.326	5.400	59	05/30/2024
62847NEG7	1501	MVB BK INC FAIRMONT WV		01/31/2024	248,000.00	248,000.00	248,000.00	4.250	4.192	4.250	1,033	01/29/2027
654062LC0	1445	NICOLET NATL BK GREEN BAY WI		09/30/2022	249,000.00	246,233.61	249,000.00	4.200	4.142	4.200	547	09/30/2025
75472RBD2	1449	Ramond James Bank NA		02/08/2023	244,000.00	242,527.22	244,000.00	4.550	4.488	4.550	315	02/10/2025
84287PJA1	1462	SOUTHERN FIRST BK NA GREENVILL		10/17/2023	243,000.00	247,310.82	243,000.00	4.900	4.833	4.900	1,477	04/17/2028
84464PBV8	1481	Southpoint Bank		11/29/2023	248,000.00	249,044.08	248,000.00	5.300	5.227	5.300	423	05/29/2025
Subtotal and Average			4,155,000.00		4,155,000.00	4,155,740.27	4,155,000.00		4.848	4.915	515	
Money Market Account												
85473003	WF Reserve	Allspring 100% Treasury MMKT		06/30/2022	0.00	0.00	0.00		0.000	0.000	1	
85473001	WF Rntl Pymt	Allspring 100% Treasury MMKT		06/30/2022	0.00	0.00	0.00		0.000	0.000	1	

Portfolio SHOR  
CP  
PM (PRF\_PM2) 7.3.11

**City of Shoreview  
Portfolio Management  
Portfolio Details - Investments  
March 31, 2024**

Page 5

CUSIP	Investment #	Issuer	Average Balance	Purchase Date	Par Value	Market Value	Book Value	Stated Rate	YTM 360	YTM 365	Days to Maturity	Maturity Date
<b>Money Market Account</b>												
608919718	Oppenheimer	Federated Hermes Government Ob		07/01/2022	271,146.62	271,146.62	271,146.62		0.000	0.000	1	
31846V336	Moreton	First American Government Obli		07/01/2022	544,186.21	544,186.21	544,186.21	1.870	1.844	1.870	1	
<b>Subtotal and Average</b>			<b>868,050.73</b>		<b>815,332.83</b>	<b>815,332.83</b>	<b>815,332.83</b>		<b>1.231</b>	<b>1.248</b>	<b>1</b>	
<b>4M/RBC</b>												
RBC316	RBC MMKT	IntraFi Network Deposits		07/01/2022	-151,869.35	-151,869.35	-151,869.35		0.000	0.000	1	
4M 2020 IMP BDS	4M 2020 Imp	Minnesota Municipal Money Mkt		07/01/2022	0.00	0.00	0.00		0.000	0.000	1	
4M 2022A GO BDS	4M 2022A GO	Minnesota Municipal Money Mkt		07/19/2022	588,024.98	588,024.98	588,024.98		0.000	0.000	1	
4M ATM	4M ATM	Minnesota Municipal Money Mkt		07/01/2022	2,132.22	2,132.22	2,132.22		0.000	0.000	1	
4M GENERAL	4M General	Minnesota Municipal Money Mkt		07/01/2022	10,535,553.16	10,535,553.16	10,535,553.16		0.000	0.000	1	
4M HOCKEY ASSN	4M Hockey As	Minnesota Municipal Money Mkt		07/01/2022	0.00	0.00	0.00		0.000	0.000	1	
4M TIF #1	4M TIF #1	Minnesota Municipal Money Mkt		07/01/2022	329,761.75	329,761.75	329,761.75		0.000	0.000	1	
4M TIF #4	4M TIF #4	Minnesota Municipal Money Mkt		07/01/2022	105,755.23	105,755.23	105,755.23		0.000	0.000	1	
<b>Subtotal and Average</b>			<b>12,860,658.67</b>		<b>11,409,357.99</b>	<b>11,409,357.99</b>	<b>11,409,357.99</b>		<b>0.000</b>	<b>0.000</b>	<b>1</b>	
<b>Total and Average</b>			<b>48,163,953.19</b>		<b>47,320,690.82</b>	<b>45,434,262.93</b>	<b>46,716,690.58</b>		<b>1.961</b>	<b>1.988</b>	<b>582</b>	

**City of Shoreview  
Portfolio Management  
Portfolio Details - Cash  
March 31, 2024**

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CUSIP	Investment #	Issuer	Average Balance	Purchase Date	Par Value	Market Value	Book Value	Stated Rate	YTM 360	YTM 365	Days to Maturity
<b>Average Balance</b>			<b>0.00</b>	Accrued Interest at Purchase		37,332.98	37,332.98				<b>0</b>
				Subtotal		37,332.98	37,332.98				
<b>Total Cash and Investments</b>			<b>48,163,953.19</b>		<b>47,320,690.82</b>	<b>45,471,595.91</b>	<b>46,754,023.56</b>		<b>1.961</b>	<b>1.988</b>	<b>582</b>

# Monthly HR report

**To:** Mayor and City Councilmembers  
**From:** Charnelle Dengnoue, Human Resources Director  
**Date:** April 15, 2024

## Employee Handbook Updates

The annual employee handbook updates were completed and send to all staff on April 2,2024. The following sections of the handbook were updated:

New policy! Flexible Work Arrangement Policy 4.01

- This policy aims to enhance the potential for additional work flexibility, including telework.

NEW STATE LAW! earned Sick and Safe Time (ESST) 8.37

- New State law provides time off to employees working 80 hours or more yearly to care for themselves or family members, effective January 1, 2024.

Nursing Mothers 8.38

- Language updated to reflect law changes.

Unpaid Pregnancy and Parenting Leave 8.39

- Language updated to reflect new State Law requirements.

Severe Weather Conditions 8.45

- Language updated to include ESST as an option of paid time off due during severe weather conditions.

## Positions at Shoreview

The city has the following full-time positions posted:

- Utility Maintenance/ Wastewater Worker - (reposted)
- Office Technician – Park and Recreation
- Street Maintenance Worker

### Seasonal positions

- Supervisors continue to hire for seasonal positions. Many are filled, and the remaining are close to being filled.



# Parks & Recreation

April Monthly Report

## Department Activity

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### Community Center Finances

- Revenues for the first three months of the year are comparable to the same timeframe last year. Year to date revenues are at \$1,237,693 as compared to 2023 which was at \$1,207,348. At the upcoming April meeting, staff will be working with the parks and recreation commission to determine if community center fee adjustments are warranted.

### Park Projects

- LHB has developed initial site plans for the redevelopment of Bobby Theisen Park project. As part of this process staff sent the Shoreview pickleball club a survey to solicit feedback on what specific amenities should be incorporated into the new courts such as court color, bench locations, and fencing.

## Community Center

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### Memberships/Daily users

- There were 43,800 visits to the community center in March. This includes 25,410 member check-ins and 18,390 daily passes.
- Friday, March 29 (Good Friday) was the third busiest day of the year with 2,529 wristbands issued. The two busiest days of the year were Martin Luther King Jr. Day (2,661 wristbands) and Presidents Day (2,629 wristbands).
- There are 562 active monthly billed memberships. Of those, 219 are nonresident family and 146 resident family memberships. Family memberships account for 64.9% of the monthly billed memberships.

## Rentals

- Rental visits increased in March with 12,551 visitors to the facility.
- There were 257 rental calls in March.
- Elections were held in the banquet rooms and Emmanuel Covenant held special services for Easter.
- The playground exclusive continues to be extremely popular and was reserved every Saturday and Sunday morning in March with the exception of Easter Sunday.

## Aquatics

- Group and private swim lessons continue to be popular. The spring session has 356 people enrolled.
- The Bamboo Bay egg hunt was held on March 17. There were 75 youth and 78 adults in attendance. During the event children had the opportunity to find eggs and turn them in for a bag of prizes, as well as visit with the Easter bunny. After the egg hunt participants were able to swim in the pool.
- In May we will be offering meradventures with mom. This mother's day class offers moms and their children the opportunity to make a craft and have a snack before learning to use the mermaid fins.
- March pool rentals included 25 cabana rentals, six poolside party room reservations, six bamboo bay exclusive rentals, and one field trip. Several rentals have already been made for April.
- Over Mounds View school district's spring break the waterpark was open for extended hours. The pool was very busy that week and capacity was met on March 14 and 15 from 1 – 3pm.



- On Friday, March 29 Bamboo Bay was open from 10 am – noon and Tropics from noon – 8 pm. This was one of the busiest days of the year with capacity being met by 10:30am and remaining throughout the rest of the afternoon.
- In April there will be extended waterpark hours for Tropics on non-school days.
  - April 1: 12 – 3pm
  - April 10: 12 – 3pm
  - April 12: 12 – 3pm

### **Fitness**

- Over 1,200 people attended group fitness and 330 people attended SeniorFit classes. A couple of new yoga classes and a new Zumba class have been added to accommodate the demand.
- One of the long-time fitness instructors, Adrienne Peppin, retired on March 15. Adrienne worked for the city for 22 years. During that time, she taught fitness classes, was a personal trainer and also a part-time group fitness coordinator. She will be missed by many members and staff.

## Recreation Programs

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- 2,224 program registrations were processed in March
  - Adult Programs: 229
  - Adult Sports: 525
  - Aquatics: 430
  - Drop-in childcare punch cards: 35
  - Fitness: 101
  - Kids Corner Preschool: 1
  - Special Events: 97
  - Youth Programs: 224
  - Youth Sports: 582
- Interviews were held for the seasonal recreation intern. Kory Klouse will be joining us from June 3 – August 23. Kory currently attends the University of Minnesota – Twin Cities and is completing his degree in sports management. We are excited to have him on our team this summer!

## Adult Programs

- Film north (in partnership with PBS North) is including Shoreview's Dementia Caregiver Support Group as part of their upcoming documentary series, Inside Senior Living. The crew is interviewing the facilitator of our dementia caregiver support group, Lori LaBey of Alzheimer's Speaks. Interviews were scheduled to be filmed on March 25, but had to be rescheduled due to the storm. The show will cover the struggle many seniors and their families face while trying to remain independent.

- Staff is recruiting potential vendors for the 55+ Housing Fair, which is scheduled for May 7 from 2 – 4 pm at the community center. The housing fair provides local options for senior housing, assisted living, and aging-in-place related services.
- The Air Force Band of Mid-America was slated to perform at the concert series on July 3, however they had to cancel after being offered the opportunity to perform at the Twins Game.
- The AARP Fraud Watch Network is presenting How to Protect Yourself from Fraud and Identity Theft at the community center on April 24 at 10am. Martin Fleishchhacker, senior financial fraud ombudsman at Minnesota Department of Commerce, will speak about the latest ways people can protect themselves from the ever-changing scams and traps.

### Youth Programs

- Mayer Arts dance classes began in March with 24 participants in the ballet classes. Music Together and Chess school are scheduled to begin in April with over 50 kids registered.
- Kids Corner Preschool is preparing for the end of the school year. Activities being planned include the end of the year program picnic, graduations and school's out camp that is held between the end of preschool and beginning of Summer Discovery. Staff are also planning for the upcoming school year.
- Kids Care is fully staffed after several months of staff turnover. The punch card payment process that began in January has taken some time for families to adjust to. The late pickup policies are being enforced more consistently and many patrons are refusing to pay the late fee. Staff are assessing better options to improve these policies and practices and improve communication with participants.

- Staff are busy preparing for Summer Discovery. Interviews are being conducted and positions are 75% filled. Staff retention for the program this year is the highest it has been since pre-covid. This has created a smaller demand for the number of new hires needed to for the summer. Additionally, field trips are booked, enrichment programs are being planned, and the lunch provider is being secured.

### Youth and Adult Sports

- The Shoreview Area Pickleball club enrollment reached maximum capacity within two weeks of registration opening. This is the earliest the club has ever filled. Staff have added a pickleball supervisor position that will be present during club hours this summer. This person will ensure only members are playing during this time, track attendance, and ensure players have access to equipment.
- The TGA golf program kicked off after school at Island Lake Elementary. Instructors help students develop golf skills and knowledge, while using the sport to teach valuable life lessons like honesty and sportsmanship.
- The spring session of tumbling began in March and all four classes are at full capacity. Participants ages 2 – 11, learn basic skills on floor, balance beam, bars, and vault.
- Pee Wee, Beginners, and Advanced Beginner tennis lessons begin in late April. The spring program is held at Wilson park and provides Saturday morning lessons for children 5 – 11 years old. Semi-private and private lessons are also available.

## Special Events

- Springfest is a new event this spring that will be focused on celebrating earth day. The event will be held on Sunday, April 21 from 2 – 5 pm at the Haffeman Pavilion. It will include ecology related vendors, activities for kids, and live entertainment. Attendees can also register to participate in or just check out the family puzzle challenge and parking-lot garage sale being held at the same time.
- The 2024 Concert in the Commons series has been finalized. Concerts are held on Wednesdays at 7pm at the Haffeman Pavilion.

2024 Dates	Band	Genre
June 12	The Backyard Band	Shoreview's own much-loved cover band
June 19	Big Mike & The Funktion	Music from the 70s in honor of Juneteenth
June 26	Church of Cash	Johnny Cash tribute
July 3	<i>No concert</i>	
July 10	The One Hit Wonders	Music from one hit wonders
July 17	Mia Dorr presents: Evolution of the Diva	An interactive show featuring the music of Linda Ronstadt
July 24	Shoreview Northern Lights Variety Band	Community band
July 31	Saddle Sores	Country music from 50s, 60s, and 70s
August 7	ABBASolutely Fab	The Twin Cities' top ABBA tribute band

- The 2024 Kidz Concert series has been finalized. The concerts are held on Wednesdays at 10am at Haffeman Pavilion.

2024 Dates	Artist/Band
July 10	Captain Cool Kid
July 17	The Raptor Center

July 24	Mr. Norman
July 31	Dueling Pianos with Alyssa & Maxwell
August 7	KidPower with Rachel

## Community Center Maintenance

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- The pool locker room locker replacement project bid was awarded to H2I Group. The locker replacement will occur during pool shutdown at the end of August this year.
- An RPZ valve in the tropics pool pump room needed to be serviced due to a leak that had developed.
- Our HVAC contractor completed warranty work on the HVAC ionization units that are installed in all of the building air handler and rooftop units. These systems improve the quality of air going through the units and into the building. The manufacturer covered the cost of the warranty work.
- Maintenance staff worked on completing paint touch up in various areas throughout the building.
- Maintenance staff completed 202 work order list items in the month of March.

## Park Maintenance

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- The weather in March allowed for the park maintenance staff to spend a good amount of time prepping youth athletic fields for play. Staff started laying out the fields as well and striping. Youth athletic associations and well as our recreation program staff are exiting to be able to access the fields earlier than is typical.
- Work was done in order to transition equipment from winter mode to summer mode. This includes general maintenance such as greasing,

changing oil, replacing spark plugs and air filters, and replacing worn chains.

- Interviews were conducted for seasonal staff in March. We have two horticulture interns and two regular seasonal returning from last year and four new seasonals hired. We are still needing two more seasonals to be fully staffed.
- Doggi pot installs were completed in March at Shamrock, McCullough, Bucher, Sitzler, Wilson and Bobby Theisen.
- Staff worked with the contractor that helped us install the smart irrigation controllers to configure and to bring the controllers online for remote access through our desktops, Ipads, cell phones, etc. This technology will allow for more efficient use of staff time and conserve water.
- One snow event requiring snow removal occurred in March. In addition to the snow removal, the crew cleared storm catch basins around the parks to avoid water backups from the melting snow and rain.
- Additional trash and recycling units were added throughout the park system at strategic locations in order to encourage higher use.
- A great deal of landscaping was accomplished in March. This included stump grinding, tree trimming, removing dead standing and diseased tree, weeding, and mulching.
- Staff begin installing security camera signs at locations where new cameras have been installed.
- Staff assembled and delivered concrete picnic tables to Shamrock, Commons and Lake Judy to replaced old tables at each shelters.

TO: MAYOR, CITY COUNCIL AND CITY MANAGER

FROM: TOM WESOLOWSKI, PUBLIC WORKS DIRECTOR

DATE: APRIL 10, 2024

SUBJ: PUBLIC WORKS MONTHLY REPORT

### **Partners in Energy Program**

City staff and community representatives have been participating in Xcel Energy's Partners in Energy program and recently completed the workshop portion of the program. Five workshops were held between the months of October and March, facilitated by staff from the Center for Energy and Environment. The energy action team that attended the workshops included representatives from schools, churches, businesses, the environmental quality committee, interested residents, and city staff.

Xcel's stated goals for doing the program are - to develop a better understanding of the energy needs of the communities they serve, to better align the services and programs they offer with customer needs to save energy and advance clean energy, and to support communities through engagement and partnership.

Throughout the workshops, the facilitators guided the process to create energy goals for Shoreview based on the focus areas of the group. They shared aggregate data from Xcel on energy consumption in the city, for both electricity and natural gas. Baseline data was gathered of how many customers participate in program offerings from Xcel, such as home energy squad visits and refrigerator recycling for residential properties, and lighting efficiency and energy design assistance for commercial and industrial buildings. The majority of Xcel customers in Shoreview are residential, but commercial and industrial customers use a higher proportion of energy.

The group was interested in increasing renewable energy and energy efficiency across different sectors of the city – businesses, residents, and municipal. Goals were created around these topics and will be measured by participation in Xcel programs. The group was interested in having both energy and cost savings be reflected in the goals.

The facilitators will now write the energy action plan and bring it to staff this summer. After the plan is brought to the city council, staff and the facilitators will begin the implementation part of the program which will last for a year and a half. Xcel will provide resources such as marketing, mailings, and information to help



connect residents and businesses with programs that will increase energy efficiency and renewable energy.



## **ENVIRONMENTAL SERVICES**

### **Environmental Quality Committee (EQC)**

The EQC met for their monthly meeting and held the next speaker in the series on March 25. The topic was 'Weather: Past, Present, and Future,' presented by Pete Boulay from the MN Climatologist's office. The presenter shared data on current climate trends compared to historical trends

The last speaker in the series will be on April 22 at 7pm and the topic will be, 'Bring Nature Home by Losing Some Lawn.'

**Forestry**The contractor completed removing the next grouping of approximately 60 ash trees. Staff are working with the contractor on the next step of stump grinding and ground restoration to begin soon.

Two people accepted the summer forestry positions and will start in mid-May. They will primarily run the EAB treatment program as well as assist with other projects. Residents have already been calling about EAB treatment for this year.

The spring tree sale closed for orders on Friday, April 12. The number of orders is similar to 2023.

## **Recycling**

Staff is planning for the Spring Cleanup Day which will take place on Saturday, May 18<sup>th</sup> at McCullough Park. This is the first year that Second Chance Recycling will be collecting mattresses that are brought to the event. The organization deconstructs mattresses and recycles materials that are able to be sorted and recycled.

## **Other**

Staff submitted an application for the next round of the water efficiency grant through the Met Council to be able to provide rebates to residents for upgrading qualifying irrigation controllers and toilets. The current water efficiency grant will be ending June 30<sup>th</sup>.

The fifth Partners in Energy workshop took place on March 20<sup>th</sup>.

Staff are working with the streets department on inspecting storm ponds and recording data for MS4 requirements.

## **MAINTENANCE ACTIVITIES**

The Utilities division work program for the last month included:

- Regular/daily inspection of all wells, lift stations, water towers, the booster station and the water treatment plant.
  - Routine maintenance is performed and any necessary repairs are completed as scheduled.
  - Cleaning in and around all well houses and lift stations.
- Utility crews continue to respond to location requests by marking underground City utilities in proposed excavation areas.

- As owners of buried infrastructure, the City is required by law to locate these facilities within a certain time period of a Gopher State One-Call request.
- Drinking water samples are collected and analyzed as required by the Minnesota Department of Health.
- Hodgson Rd. re-construct, has several residents now on temporary water so the old water main can be replaced.
- Approximately 10,000 water meters are read every month.
  - It normally takes one person about one week to drive the streets to collect all the water meter readings through radio transmission. That data is used for utility billing statements as well as the WaterSmart customer portal.
- Water Treatment Plant
  - Utility Staff completed the process of timed interval PM's.
- Water Maintenance Activities
  - Two watermain breaks were repaired, on Cobb Rd. and Harriet Ave.
  - Continue with GIS data of the Lead & Copper Rule Revision.
  - Hydrant bags have been removed from all hydrants.
- Sanitary Sewer Maintenance
  - Regular flushing/cleaning of segments of the sanitary sewer system continues.
  - Completed Manhole Inspections as one of our winter maintenance programs.
  - Flushed and jetted sanitary hot spots that need extra attention.
  - Continuing with televising sewer mains as one of our winter maintenance programs.

The street division work program for the last month included:

- Storm Sewer Maintenance
  - Updating assets in the GIS system
  - Routine checks of the storm lift stations
  - Sifting street sweepings and hauling to Pine Bend Landfill
  - Pond inspections
  - Removal of trees and brush from ponds
- Street maintenance
  - Full plow of the city, twice
  - Remove plow equipment from trucks and prepare for spring setup
  - Collecting salt barrels
  - Asphaltting watermain break on Lexington Avenue trail
  - Work zone safety training
- Sign maintenance
  - Replacing damaged signs
  - Take down load limit signs
  - Remove signs from project area on Hodgson
- Tree trimming
  - Trimming of trees along the boulevards
  - Placing wood chips along the trail around Brennan's Pond
  - 3 employees attended Shade Tree short course

- Street lights
  - 5 street lights were reported as out or failing this month
  - 1 light was repaired in house
  - 1 light which has been previously reported was referred to a contractor
  - 3 were referred to Xcel, 1 has been repaired
  - Xcel has started to repair lights vandalized along Rice Creek Parkway and Parkview

## **PROJECT UPDATES**

### **Hodgson Road and County Road J Intersection Reconstruction - Project 23-01 -**

Anoka county awarded the contract to Park Construction and the preconstruction meeting for the project was held on April 8. Work on the project is expected to begin on the section of Hodgson Road north of County Road J the week of April 22.

**Hodgson Road Reconstruction – Project 23-02** – The section of Hodgson Road between the Hodgson Road/Snail Lake Road intersection and Dennison Avenue was closed to through traffic and the pavement removed. Temporary water was installed and the contractor has started the replacement of the city’s water and sanitary sewer infrastructure in this area. The contractor continues to work on the installation of the underground stormwater storage and treatment infrastructure located by the Hodgson Road/Rice Street intersection and has started the removal of trees throughout the project area.

**2023 Storm Sewer Rehabilitation – Project 23-03** – The restoration of the disturbed areas was completed later in the fall and the project will remain open until the Spring of 2024 to make sure vegetation is established before sending a recommendation to the city council to approve final payment and close out the project.

**2024 Street Rehabilitation - Project 24-01** - Four bids for the project were received and opened on April 4. The low bidder was Park Construction and a recommendation to award the contract will be presented to the city council for consideration at the April 15 council meeting.

**Kerry Ponds Sediment Removal - Phase 2 - Project 24-02** - All of the sediment removal work is complete and it is expected the contractor will complete the restoration of the areas disturbed areas in late April or early May.

**Cottage Place Wetland Restoration - Project 24-03** - The Ramsey-Washington Metro Watershed District staff continues to work with representatives from St. Odeila on the wetland project and is planning to advertise the project in May.

REGULAR COUNCIL MEETING, APRIL 10, 2024

# Memorandum

**TO:** City Council  
**FROM:** Rob Falk , Accountant  
**DATE:** April 15, 2024  
**SUBJECT:** Claims and purchases  
**ITEM NUMBER:** 8.d  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

To approve the following payment of bills as presented by the finance department in the below table.

## **INTRODUCTION**

## **DISCUSSION**

Date	Description	Range	EFT range	
03/28/24	Accounts payable	575768-575820	6069	\$ 135,223.50
04/04/24	Accounts payable	575821-575888	6070-6071	\$ 405,457.30
04/05/24	Accounts payable		6072-6079	\$ <u>161,467.91</u>
	Sub-total Accounts Payable			\$ 702,148.71
04/05/24	Payroll	134931-134942		\$ <u>254,281.04</u>
	Sub-total Payroll			\$ 254,281.04
	Total			\$ 956,429.75

## **RECOMMENDATION**

It is recommended that the city council approve the above purchases.

## **ATTACHMENTS**

[575768-575888.pdf](#)

[6069-6079.pdf](#)

[MN Dept of Health.pdf](#)

[John Deere.pdf](#)

[Metropolitan Council.pdf](#)

[Rachel Contracting .pdf](#)

[Ramsey County .pdf](#)

## CHECK REGISTER FOR CITY OF SHOREVIEW

CHECK NUMBER 575768 - 575888

Check Date	Check	Vendor Name	Amount
<b>Bank USBNK US BANK CHECKING\4M</b>			
03/28/2024	575768	ACE SOLID WASTE	5,952.96
03/28/2024	575769	AE2S OPERATIONS, LLC	618.00
03/28/2024	575770	AMAZON CAPITAL SERVICES	3,967.95
03/28/2024	575771	ARAMARK UNIFORM SERVICES	81.76
03/28/2024	575772	ATIR ELECTRIC CORPORATION	1,050.00
03/28/2024	575773	BLACKBURN MANUFACTURING COMPA	697.13
03/28/2024	575774	CBIZ BENEFITS & INSURANCE SVC	336.22
03/28/2024	575775	CBRE, INC	3,850.00
03/28/2024	575776	CHESSE	1,550.00
03/28/2024	575777	CINTAS CORPORATION #470	720.69
03/28/2024	575778	CRYSTEEL TRUCK EQUIPMENT	209.20
03/28/2024	575779	DANIEL V THEOBALD	101.00
03/28/2024	575780	DAVIS LOCK & SAFE	19.50
03/28/2024	575781	EICHER-SCHMIDT, ROXANNE	56.46
03/28/2024	575782	ELECTRO WATCHMAN INC.	125.85
03/28/2024	575783	FERGUSON WATERWORKS #2518	513.98
03/28/2024	575784	FINANCE & COMMERCE.COM	455.70
03/28/2024	575785	FRA-DOR INC	1,116.20
03/28/2024	575786	GOPHER STATE ONE-CALL	631.80
03/28/2024	575787	GRAINGER, INC.	10.80
03/28/2024	575788	HAWKINS, INC.	1,141.41
03/28/2024	575789	J. BECHER & ASSOC	874.79
03/28/2024	575790	LHB INC.	6,000.00
03/28/2024	575791	Lumpkins, Alexus	300.00
03/28/2024	575792	MASON, JILL	301.00
03/28/2024	575793	MENARDS - FRIDLEY	59.82
03/28/2024	575794	MINNESOTA DEPARTMENT OF HEALT	21,211.00
03/28/2024	575795	MINNESOTA METRO NORTH TOURISM	13,577.20
03/28/2024	575796	MINTERWEISMAN CO DBA CORE-MAR	2,232.39
03/28/2024	575797	NARDINI FIRE EQUIPMENT CO., I	6,180.25
03/28/2024	575798	NEUMAN POOL, INC.	7,233.84
03/28/2024	575799	ODP BUSINESS SOLUTIONS LLC	167.61
03/28/2024	575800	ORKIN, LLC	345.99
03/28/2024	575801	PERNSTEINER BUILDERS & DEVELO	10,571.72
03/28/2024	575802	PITNEY BOWES INC	1,974.00
03/28/2024	575803	POO FREE PARKS	449.47
03/28/2024	575804	PRESS PUBLICATIONS	51.80
03/28/2024	575805	RAMSEY COUNTY	100.00
03/28/2024	575806	REPUBLIC SERVICES INC #899	1,442.48
03/28/2024	575807	SCHARBER, CAELA	205.00
03/28/2024	575808	SHERWIN WILLIAMS	120.03
03/28/2024	575809	SHI INTERNATIONAL GROUP	12,582.50
03/28/2024	575810	SHI INTERNATIONAL GROUP	224.00
03/28/2024	575811	SHI INTERNATIONAL GROUP	846.46
03/28/2024	575812	SIMMER, KATHLEEN C	256.50
03/28/2024	575813	SUN YI'S ACADEMY TKD LLC	5,951.40
03/28/2024	575814	T.A. SCHIFSKY & SONS, INCORPO	1,955.54
03/28/2024	575815	TRITON RECOVERY, LLC.	85.81
03/28/2024	575816	TRUST IN US, LLC	350.00
03/28/2024	575817	WATSON COMPANY	3,176.09
03/28/2024	575818	XCEL ENERGY	2,217.75
03/28/2024	575819	XCEL ENERGY	3,894.09
03/28/2024	575820	YALE MECHANICAL INC	6,078.36
04/04/2024	575821	A-1 HYDRAULICS SALES & SERVIC	82.03
04/04/2024	575822	ABLE HOSE & RUBBER INC.	112.50
04/04/2024	575823	ALZHEIMER'S SPEAKS LLC	300.00
04/04/2024	575824	AMAZON CAPITAL SERVICES	807.43
04/04/2024	575825	ARAMARK UNIFORM SERVICES	104.74
04/04/2024	575826	AU, PETER	98.85
04/04/2024	575827	BADGER METER INC.	637.77
04/04/2024	575828	BANHOLZER, WILLIAM	101.00
04/04/2024	575829	BEAUDRY OIL	11,078.20
04/04/2024	575830	CENTRAL TURF & IRRIGATION SUP	1,866.36
04/04/2024	575831	CINTAS CORPORATION #470	329.54
04/04/2024	575832	COMCAST	259.65
04/04/2024	575833	DOG WASTE DEPOT	866.91
04/04/2024	575834	ELSMORE SWIM SHOP	647.28
04/04/2024	575835	FORCE AMERICA INC	935.28
04/04/2024	575836	GOPHER STATE ONE-CALL	355.05
04/04/2024	575837	GRAINGER, INC.	219.62
04/04/2024	575838	GUSE, MILDRED	225.02



## CHECK REGISTER FOR CITY OF SHOREVIEW

CHECK NUMBER 575768 - 575888

Check Date	Check	Vendor Name	Amount
<b>Bank USBNK US BANK CHECKING\4M</b>			
04/04/2024	575839	Hatfield, Ashley	774.00
04/04/2024	575840	HAWKINS, INC.	4,346.76
04/04/2024	575841	HIRSHFIELD'S PAINT MFG, INC.	2,268.09
04/04/2024	575842	HOMEDEPOT PRO	2,828.15
04/04/2024	575843	HOOTS CLICKS	2,792.50
04/04/2024	575844	HUGO EQUIPMENT COMPANY	18.49
04/04/2024	575845	JOHN DEERE COMPANY	56,158.42
04/04/2024	575846	KATH FUEL	323.31
04/04/2024	575847	KOTEESWARAN, SAMYUKTA	64.73
04/04/2024	575848	LYSIK, GARRETT	212.55
04/04/2024	575849	M-K GRAPHICS	296.34
04/04/2024	575850	MAC QUEEN EQUIPMENT INC.	2,717.86
04/04/2024	575851	MANSUN, JOHN	22.21
04/04/2024	575852	MARCUS METROS	647.13
04/04/2024	575853	MATHESON TRI-GAS INC	381.97
04/04/2024	575854	MCCAREN DESIGNS INC	996.10
04/04/2024	575855	MCCARTHY, PEGGY	193.69
04/04/2024	575856	MCCORMICK, RANDI	202.28
04/04/2024	575857	MENARDS - BLAINE	492.52
04/04/2024	575858	METROPOLITAN COUNCIL ENVIRONM	195,993.88
04/04/2024	575859	MINNESOTA DEPARTMENT OF HEALT	23.00
04/04/2024	575860	MINTERWEISMAN CO DBA CORE-MAR	1,272.80
04/04/2024	575861	NYSTROM PUBLISHING	4,403.08
04/04/2024	575862	OXYGEN SERVICE COMPANY	33.03
04/04/2024	575863	PERFECTLY PRINCESSED, LLC	385.00
04/04/2024	575864	PFEFFER, JEFFREY	51.19
04/04/2024	575865	PISKE-NYBERG, MARY	31.20
04/04/2024	575866	PRASAD, SHAILENDRA	322.93
04/04/2024	575867	PRESS PUBLICATIONS	296.00
04/04/2024	575868	PRODUCTION 101, INC	497.00
04/04/2024	575869	QUALITY FLOW SYSTEMS INC	800.00
04/04/2024	575870	RACHEL CONTRACTING	40,219.96
04/04/2024	575871	RAMSEY COUNTY	34,138.00
04/04/2024	575872	REINDERS, INC.	10,257.01
04/04/2024	575873	RENEWAL BY ANDERSEN	481.65
04/04/2024	575874	REVOLUTIONARY SPORTS, LLC	2,408.00
04/04/2024	575875	RICOH USA, INC.	72.73
04/04/2024	575876	ROSEDALE CHEV	498.03
04/04/2024	575877	SAFE-FAST INC	561.59
04/04/2024	575878	STEPHEN TOKLE INSPECTIONS INC	2,320.54
04/04/2024	575879	TATLEY, ESTHER B	33.93
04/04/2024	575880	TOKLE INSPECTIONS INC	1,251.20
04/04/2024	575881	TRITON RECOVERY, LLC.	18.22
04/04/2024	575882	TWIN CITY GARAGE DOOR COMPANY	1,714.00
04/04/2024	575883	ULINE CORPORATION	160.73
04/04/2024	575884	WATER SAFETY PRODUCTS INC	3,420.56
04/04/2024	575885	WATSON COMPANY	897.22
04/04/2024	575886	WRISTBAND RESOURCES	2,623.00
04/04/2024	575887	XCEL ENERGY	1,644.46
04/04/2024	575888	Xiong, Mai	900.00

## USBK TOTALS:

Total of 121 Checks:	536,717.77
Less 0 Void Checks:	0.00
Total of 121 Disbursements:	536,717.77

## CHECK REGISTER FOR CITY OF SHOREVIEW

CHECK NUMBER 6069 - 6079

Check Date	Check	Vendor Name	Amount
Bank USBNK US BANK CHECKING\4M			
03/28/2024	6069(A)	ALLEN, DEANNE	1,000.00
04/04/2024	6070(A)	MADISON NATIONAL LIFE	2,867.03
04/04/2024	6071(A)	NCPERS GROUP LIFE INS	96.00
04/05/2024	6072(E)	TREASURY, DEPARTMENT OF	84,614.97
04/05/2024	6073(E)	MINNESOTA CHILD SUPPORT PAYME	271.50
04/05/2024	6074(E)	ICMA/VANTAGEPOINT TRANSFER-30	7,461.49
04/05/2024	6075(E)	ICMA/VANTAGEPOINT TRANSFER-70	1,216.52
04/05/2024	6076(E)	COMMISSIONER OF REVENUE- WH T	13,967.80
04/05/2024	6077(E)	PERA COORDINATED	46,155.63
04/05/2024	6078(A)	MSRS 457 PLAN 98945-01	300.00
04/05/2024	6079(A)	TASC	7,480.00
USBK TOTALS:			
Total of 11 Checks:			165,430.94
Less 0 Void Checks:			0.00
Total of 11 Disbursements:			165,430.94



## ACCOUNTS PAYABLE VOUCHER

PAGE: 1

VOUCHER NO.

WARRANT NO.

DATE ALLOWED 04 10 2024  
Mo. Day Yr.

IN THE SUM OF \$ 21211.00

Mo. Day Yr.

## CITY OF SHOREVIEW

Payee	MINNESOTA DEP
-------	---------------

<p>VENDOR # 00455</p> <p>MINNESOTA DEPARTMENT OF HEALTH</p> <p>DRINKING WATER PROTECTION SECTION</p> <p>SERVICE CONNECTION FEES</p> <p>ST PAUL, MN 55164-0494</p>	<p>Purchase Order No.</p> <p>Terms</p> <p>Due Date 04/10/2024</p>
---	---

INVOICE DATE	INVOICE NUMBER	APPROP NUMBER	PROJECT	DESCRIPTION	AMOUNT
03/25/2024	03312024	801-0000-21820.000		STATE WATER CONNECT FEE 1/1/24-3/31/	21,211.00

CITY OF SHOREVIEW

Favor Of		
MINNESOTA DEPARTMENT OF HEALTH		
Total Amount of Voucher Deductions	\$	
Total Amount of Warrant	\$	
Month of _____ , _____		

VOUCHER RECORD	ACCT #	
Total		

I hereby certify that the attached invoice(s), or bill(s), is (are) true and correct and that the materials or services itemized thereon for which charge is made were ordered and received except

Mo. Day Yr.

Signature

Officer/Title

I hereby certify that the attached invoice(s), or bill(s), is (are) true and correct and I have audited same in accordance with IC 5-11-10-1.6.

Mo. Day Yr.

Signature

Officer/Title

Board/Council Members

## ACCOUNTS PAYABLE VOUCHER

PAGE: 1

VOUCHER NO.

WARRANT NO.

DATE ALLOWED 04 11 2024

Mo. Day Yr.

IN THE SUM OF \$

56158.42

## CITY OF SHOREVIEW

Payee	JOHN DEERE CO
-------	---------------

<p>VENDOR # 00883</p> <p>JOHN DEERE COMPANY</p> <p>AG &amp; TURF CBD &amp; GOVERNMENT SALES</p> <p>21748 NETWORK PL</p> <p>CHICAGO, IL 60673-1217</p>	<p>Purchase Order No.</p> <p>Terms</p> <p>Due Date 04/11/2024</p>
---	---

INVOICE DATE	INVOICE NUMBER	APPROP NUMBER	PROJECT	DESCRIPTION	AMOUNT
03/11/2024	11758307	701-4650-45400.000		PURCHASE OF UNIT JD1585-24	56,158.42

CITY OF SHOREVIEW

Favor Of		
JOHN DEERE COMPANY		
Total Amount of Voucher	\$	
Deductions		
Total Amount of Warrant	\$	
Month of _____		

VOUCHER RECORD	ACCT #	
Total		

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Signature

Officer/Title

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Mo. Day Yr.

Signature

Officer/Title

### Board/Council Members

## ACCOUNTS PAYABLE VOUCHER

PAGE: 1

VOUCHER NO.

WARRANT NO.

DATE ALLOWED      05 01 2024  
Mo. Day Yr.

IN THE SUM OF \$ 195993.88

Mo. Day Yr.

## CITY OF SHOREVIEW

Payee	METROPOLITAN
-------	--------------

<p>VENDOR # 01171</p> <p>METROPOLITAN COUNCIL ENVIRONMENTA</p> <p>PO BOX 856513</p> <p>MINNEAPOLIS, MN 55485-6513</p>	<p>Purchase Order No.</p> <p>Terms</p> <p>Due Date 05/01/2024</p>
---	---

INVOICE DATE	INVOICE NUMBER	APPROP NUMBER	PROJECT	DESCRIPTION	AMOUNT
04/01/2024	0001170607	602-4555-43670.000		SEWER SERVICE MAY 2024	195,993.88

CITY OF SHOREVIEW

Favor Of <b>METROPOLITAN COUNCIL ENVIRONMENTAL</b>		
Total Amount of Voucher Deductions	<b>\$</b>	
Total Amount of Warrant	<b>\$</b>	
Month of _____ '____		

VOUCHER RECORD	ACCT #	
Total		

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Mo. Day Yr.

Signature

Officer/Title

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Mo. Day Yr.

Signature

Officer/Title

### Board/Council Members

## ACCOUNTS PAYABLE VOUCHER

PAGE: 1

VOUCHER NO.

WARRANT NO.

DATE ALLOWED                  04 15 2024  
Mo. Day Yr.

IN THE SUM OF \$ 40219.96

Mo. Day Yr.

# CITY OF SHOREVIEW

Payee	RACHEL CONTR
-------	--------------

<p>VENDOR # 10171</p> <p>RACHEL CONTRACTING</p> <p>4180 NAPIER COURT NE</p> <p>SAINT MICHAEL, MN 55376</p>	<p>Purchase Order No.</p> <p>Terms</p> <p>Due Date 04/15/2024</p>
--	---

INVOICE DATE	INVOICE NUMBER	APPROP NUMBER	PROJECT	DESCRIPTION	AMOUNT
03/20/2024	02	603-4585-43190.145		POND DREDGING	40,219.96

CITY OF SHOREVIEW

Favor Of <b>RACHEL CONTRACTING</b>		
Total Amount of Voucher Deductions	\$	
Total Amount of Warrant	\$	
Month of _____		' _____

VOUCHER RECORD	ACCT #	
Total		

I hereby certify that the attached invoice(s), or bill(s), is (are) true and correct and that the materials or services itemized thereon for which charge is made were ordered and received except

Mo. Day Yr.

Signature

Officer/Title

I hereby certify that the attached invoice(s), or bill(s), is (are) true and correct and I have audited same in accordance with IC 5-11-10-1.6.

Mo. Day Yr.

Signature

Officer/Title

Board/Council Members

## ACCOUNTS PAYABLE VOUCHER

PAGE: 1

VOUCHER NO.

WARRANT NO.

DATE ALLOWED 04 26 2024

Mo. Day Yr.

IN THE SUM OF \$

34138.00

# CITY OF SHOREVIEW

Payee	RAMSEY COUNT
-------	--------------

<p>VENDOR # 00569</p> <p>RAMSEY COUNTY</p> <p>121 7TH PL E STE 4000</p> <p>SAINT PAUL, MN 55101-2419</p>	<p>Purchase Order No.</p> <p>Terms</p> <p>Due Date 04/26/2024</p>
--	---

INVOICE DATE	INVOICE NUMBER	APPROP NUMBER	PROJECT	DESCRIPTION	AMOUNT
03/27/2024	PRRRV-002573	101-4030-43190.000		CONTRACTUAL FEES	34,138.00

CITY OF SHOREVIEW

Favor Of		
RAMSEY COUNTY		
Total Amount of Voucher	\$	
Deductions		
Total Amount of Warrant	\$	
Month of _____	'	_____

VOUCHER RECORD	ACCT #	
Total		

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Mo. Day Yr.

Signature

Officer/Title

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Mo. Day Yr.

Signature

Officer/Title

Board/Council Members

# Memorandum

**TO:** City Council  
**FROM:** Tom Wesolowski , Public Works Director  
**DATE:** April 15, 2024  
**SUBJECT:** Authorize execution of Cooperative Agreement PUBW2022-17R associated with the Hodgson Road Reconstruction, City Project 23-02  
**ITEM NUMBER:** 8.e  
**SECTION:** CONSENT AGENDA

---

## **REQUESTED MOTION**

To adopt Resolution No. 24-20 authorizing execution of Cooperative Agreement PWB2022-17R associated with Hodgson Road Reconstruction, City Project 23-02.

## **INTRODUCTION**

As part of Ramsey County's reconstruction of Hodgson Road, it is required that cooperative agreement be executed between the City of Shoreview and Ramsey County that includes cost share participation and ownership and maintenance responsibilities for the city and county. Council authorization is required for the execution of the agreement.

## **DISCUSSION**

Ramsey County in cooperation with the Cities of Shoreview and Vadnais Heights has programmed the reconstruction of Hodgson Road from Bridge Street to Rice Street, County Road F from Hodgson Road to Rice Street, Rice Street from County Road F to 700-feet south of Hodgson Road, and Gramsie Road from Hodgson Road to 211-feet west in 2023 and 2024. Hodgson Road and County Road F are located in the City of Shoreview and operated and maintained by Ramsey County. Rice Street is located on the border between the cities of Shoreview and Vadnais Heights and maintained and operated by Ramsey County. Gramsie Road is operated and maintained by the City of Shoreview.

The improvements include:

- Reconstruction of the pavement, addition of a center turn lane, and concrete curb and gutter
- Geometric improvements at the Hodgson Road/Snail Lake Road and Hodgson Road/County Road F intersections
- Installation of a sidewalk along the east side of Hodgson Road and the south side of County Road F
- Installation of a trail along the west side of Hodgson Road
- Upgraded signal system at the Hodgson Road/Snail Lake Road intersection
- Replacement of the signal system at the Hodgson Road/Rice Street/Gramsie Road intersection with a roundabout
- Replacement of the city's water and sanitary sewer systems
- Stormwater collection and treatment
- Replacement of the Xcel street lights with city street lights consisting of aluminum poles,

## LED fixtures, and underground power

Costs for the project will be shared between Ramsey County and the Cities of Shoreview and Vadnais Heights in accordance with Ramsey County's cost-share policy, with the county providing the majority of the funding for the project. Shoreview will provide cost share for improvements related to the sidewalk, trail, concrete curb & gutter, street lighting and stormwater improvements and cover the entire cost of the replacement of the city's water and sanitary sewer infrastructure. Shoreview's estimated cost share for the project is \$3,264,518.26. A copy of the cooperative agreement, which includes a cost share breakdown is attached at the end of this report. Shoreview's actual cost share for the project will be determined based on the contract unit prices and quantities installed. The city's cost share for the project will be funded from a combination of funds including Municipal State Aid, city utility funds, community investment fund and assessments.

As determined in a previous study by Ramsey County, County Road F between Hodgson Road and Rice Street no longer serves the function of a regional roadway and after completion of the reconstruction project jurisdiction of the roadway section will be transferred to the City of Shoreview. The city will own and maintain the water, sanitary sewer and street light infrastructure and portions of the storm sewer infrastructure. Ramsey County will own the sidewalk and the trail and the city will be responsible for maintenance including snow removal, patching, sweeping, crack sealing, ect. A detailed listing of the ownership and maintenance responsibilities for the city and county are listed in the attached agreement. Ownership and maintenance of the street signal system will be detailed in future cooperative agreement that will be presented to the city council for consideration at a later date.

### **RECOMMENDATION**

It is recommended the city council authorize execution of Cooperative Agreement PUBW2022-17R associated with the Hodgson Road Reconstruction, city project 23-02.

### **ATTACHMENTS**

[Location Map](#)  
[Cooperative Agreement](#)  
[Resolution 24-20](#)



MINNESOTA DEPARTMENT OF TRANSPORTATION

RAMSEY COUNTY  
CITIES OF SHOREVIEW & VADNAIS HEIGHTS

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" ALONG WITH SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022 SHALL GOVERN.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE MOST RECENT EDITION OF "MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MN MUTCD) AND PART VI, "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS".

CITY OF SHOREVIEW STANDARD SPECIFICATION FOR UTILITY AND STREET CONSTRUCTION

CITY OF VADNAIS HEIGHTS STANDARD SPECIFICATION FOR UTILITY AND STREET CONSTRUCTION

PLANS FOR: GRADING, CONCRETE & BITUMINOUS SURFACING, ADA IMPROVEMENTS, CONCRETE WALK, BITUMINOUS TRAIL, UTILITY IMPROVEMENTS, TRAFFIC SIGNALS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

LOCATED ON HODGSON ROAD FROM GRAMSIE ROAD TO 100FT SOUTH OF HWY 96  
LOCATED ON RICE STREET FROM 800 FT SOUTH OF GRAMSIE ROAD TO COUNTY ROAD F  
LOCATED ON GRAMSIE ROAD FROM 3700 FT EAST OF MACKUBIN STREET TO HODGSON ROAD  
LOCATED ON COUNTY ROAD F FROM HODGSON ROAD TO RICE STREET  
SEC 25, TOWN 30, RANGE 23 - SEC 24, TOWN 30, RANGE 23

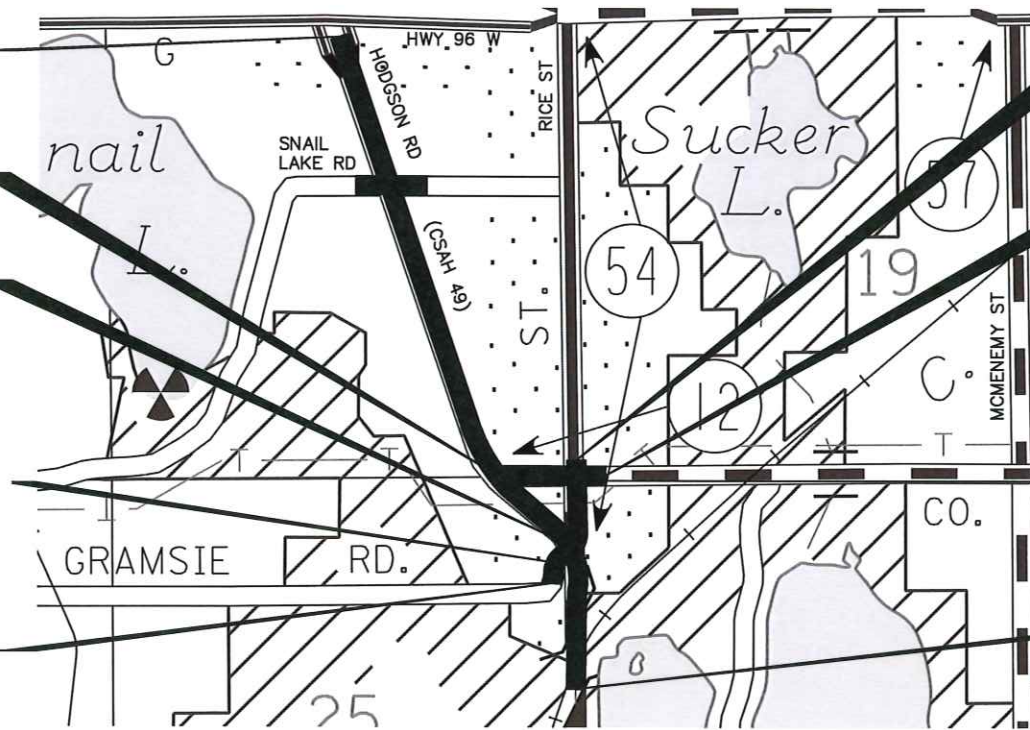
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END S.A.P. 167-020-024  
RICE-HODGSON-SB  
STA: 276+35.66

BEGIN S.A.P. 062-612-030  
BEGIN S.A.P. 167-020-025  
CR-F  
STA: 501+62.54

END S.A.P. 062-654-005  
END S.A.P. 167-020-023  
BEGIN S.A.P. 062-649-050  
BEGIN S.A.P. 167-020-024  
RICE-HODGSON-SB  
STA: 213+24.24

END S.A.P. 167-235-007  
BEGIN S.A.P. 062-654-005  
BEGIN S.A.P. 167-020-023  
GRAMSIE-RICE-NB  
STA: 304+22.40

BEGIN S.A.P. 167-235-007  
GRAMSIE-RICE-NB  
STA: 302+11.44



END S.A.P. 062-654-005  
END S.A.P. 167-020-023  
GRAMSIE-RICE-NB  
STA: 314+71.85

END S.A.P. 062-612-030  
END S.A.P. 167-020-025  
CR-F  
STA: 510+42.15

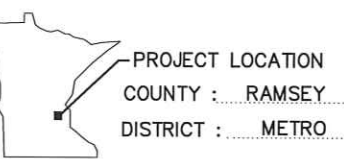
BEGIN S.A.P. 062-654-005  
BEGIN S.A.P. 167-020-023  
RICE-HODGSON-SB  
STA: 202+00.00

PLAN SYMBOLS

- STATE LINE
- COUNTY LINE
- TOWNSHIP OR RANGE LINE
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- RIGHT-OF-WAY LINE
- PRESENT RIGHT-OF-WAY LINE
- CONTROL OF ACCESS LINE
- PROPERTY LINE (Except Land Lines)
- VACATED PLATTED PROPERTY
- CORPORATE OR CITY LIMITS
- TRUNK HIGHWAY CENTER LINE
- CONC. RETAINING WALL
- RAILROAD
- RAILROAD RIGHT-OF-WAY LINE
- RIVER OR CREEK
- DRY RUN
- DRAINAGE DITCH
- DRAIN TILE
- CULVERT
- DROP INLET
- GUARD RAIL
- BARBED WIRE FENCE
- WOVEN WIRE FENCE
- CHAIN LINK FENCE
- RAILROAD SNOW FENCE
- STONE WALL OR FENCE
- HEDGE
- RAILROAD CROSSING SIGN
- RAILROAD CROSSING BELL
- ELECTRIC WARNING SIGN
- CROSSING DATE
- MEANDER CORNER
- MAIL BOX
- SPRINGS
- MARSH
- TIMBER
- ORCHARD
- BRUSH
- NURSERY
- CATCH BASIN
- FIRE HYDRANT
- BUILDING (One Story Frame)
- F-FRAME
- C-CONCRETE
- S-STONE
- T-TILE
- B-BRICK
- ST-STUCCO
- IRON PIPE OR ROD
- MONUMENT (STONE, CONCRETE, OR METAL)
- WOODEN HUB
- GRAVEL PIT
- SAND PIT
- BORROW PIT
- ROCK QUARRY

UTILITY SYMBOLS

- POWER POLE LINE
- TELEPHONE OR TELEGRAPH POLE LINE
- JOINT TELEPHONE AND POWER ON POWER POLES
- ON TELEPHONE POLES
- ANCHOR
- STEEL TOWER
- STREET LIGHT
- PEDESTAL (TELEPHONE CABLE TERMINAL)
- GAS MAIN
- WATER MAIN
- CONDUIT
- TELEPHONE CABLE IN CONDUIT
- ELECTRIC CABLE IN CONDUIT
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- BURIED TELEPHONE CABLE
- BURIED ELECTRIC CABLE
- AERIAL TELEPHONE CABLE
- SEWER (SANITARY)
- SEWER (STORM)
- SEWER MANHOLE
- HANDHOLE



CSAH 49 (HODGSON RD)

STATE AID PROJ. NO. 062-649-050, 167-020-024	GROSS LENGTH 6311.42 FEET 1.195 MILES
	BRIDGE LENGTH N/A FEET N/A MILES
	EXCEPTIONS LENGTH N/A FEET N/A MILES
	NET LENGTH 6311.42 FEET 1.195 MILES

CSAH 12 (COUNTY RD F)

STATE AID PROJ. NO. 062-612-030, 167-020-025	GROSS LENGTH 879.64 FEET 0.167 MILES
	BRIDGE LENGTH N/A FEET N/A MILES
	EXCEPTIONS LENGTH N/A FEET N/A MILES
	NET LENGTH 879.64 FEET 0.167 MILES

CSAH 54 (RICE ST)

STATE AID PROJ. NO. 062-654-005, 167-020-023	GROSS LENGTH 11271.85 FEET 2.135 MILES
	BRIDGE LENGTH N/A FEET N/A MILES
	*EXCEPTIONS LENGTH 9552.61 FEET 1.809 MILES
	NET LENGTH 1719.24 FEET 0.326 MILES
	*EXCEPTION 210+12.50 = 305+65.11

DESIGN DESIGNATION FOR:	HODGSON RD	RICE ST	GRAMSIE RD	CTY RD F	TRAIL
R-VALUE	12	12	12	12	N/A
ADT (Current Year) 2023 =	15,730	14,660	4,540	810	N/A
ADT (Future Year) 2043 =	17,303	16,130	4,994	891	N/A
PAVEMENT DESIGN	10 TON	10 TON	10 TON	10 TON	N/A
FUNCTIONAL CLASSIFICATION	MAJOR REGIONAL ARTERIAL	URBAN ARTERIAL	URBAN ARTERIAL	URBAN COLLECTOR	N/A
NO. OF TRAFFIC LANES	2-3	2-3	2-3	2-3	N/A
NO. OF PARKING LANES	0	0	0	1	N/A
ESALS (20)	2,335,000	2,136,000	557,000	94,000	N/A
Design Speed	40 MPH	30 MPH	30 MPH	30 MPH	30 MPH
Based on Sight Distance	STOPPING	STOPPING	STOPPING	STOPPING	STOPPING
Height of eye / Height of Object	3.5' / 2.0'	3.5' / 2.0'	3.5' / 2.0'	3.5' / 2.0'	4.5' / 0.0'
Design Speed not achieved at:	ROUNDAABOUT	ROUNDAABOUT	ROUNDAABOUT	N/A	N/A

GRAMSIE RD

STATE AID PROJ. NO. 167-235-007	GROSS LENGTH 210.96 FEET 0.040 MILES
	BRIDGE LENGTH N/A FEET N/A MILES
	EXCEPTIONS LENGTH N/A FEET N/A MILES
	NET LENGTH 210.96 FEET 0.040 MILES

SCALES

INDEX MAP	2000
GENERAL LAYOUT	500
PLAN	100
PROFILE	100
X-SECTION	20

SHEET NO.	SHEET DESCRIPTION
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317-329	TRAFFIC SIGNALS
330-334	CONTOUR PLANS
335-342	LIGHTING PLANS AND DETAILS
343-349	CROSS SECTION MATCH LINE PLAN
350-434	CROSS SECTIONS

THIS PLAN CONTAINS 434 SHEETS



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Steven B. Prusak  
DATE 1/16/23 LIC. NO. 47622 PRINT NAME STEVEN B. PRUSAK

APPROVED: COUNTY ENGINEER, RAMSEY COUNTY DATE

APPROVED: CITY ENGINEER, CITY OF SHOREVIEW DATE

APPROVED: CITY ENGINEER, CITY OF VADNAIS HEIGHTS DATE

DISTRICT STATE AID ENGINEER: REVIEWED FOR COMPLIANCE WITH STATE AND/OR FEDERAL AID RULES/POLICY DATE

APPROVED FOR STATE AND/OR FEDERAL AID FUNDING: STATE AID ENGINEER DATE

THIS PLAN AND/OR SPECIFICATION WAS PREPARED SPECIFICALLY FOR THIS PROJECT, AND ANY RE-USE OF DETAILS OR SPECIFICATIONS ON OTHER PROJECTS IS NOT INTENDED OR AUTHORIZED BY THE DESIGNER. LIABILITY FOR ANY RE-USE ON OTHER PROJECTS IS THE RESPONSIBILITY OF THE PERSON, AGENCY, OR CORPORATION USING PLAN OR SPECIFICATION DATA FROM THIS PROJECT.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO GUIDELINES OF C/ASCE 38-02. ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".



Agreement PUBW2022-17R

**RAMSEY COUNTY  
COOPERATIVE AGREEMENT  
WITH THE CITY OF SHOREVIEW FOR  
Construction and Maintenance for  
Hodgson Road (County State Aid Highway 49)  
between Gramsie and Bridge Street  
Rice Street (County State Aid Highway 54)  
between Gramsie/Hodgson and County Road F, and  
County Road F (County State Aid Highway 12)  
between Hodgson Road and Rice Street  
County State Aid Project 062-649-050 (Hodgson Road)  
County State Aid Project 062-654-005 (Rice Street)  
County State Aid Project 062-612-030 (County Road F)  
Municipal State Aid Project 167-020-024 (Hodgson Road)  
Municipal State Aid Project 167-020-023 (Rice Street)  
Municipal State Aid Project 167-020-025 (County Road F)  
Municipal State Aid Project 167-235-007 (Gramsie Road)**

Total Estimated Cost:	\$ 17,409,341.50
City of Shoreview Cost:	\$ 3,264,518.26
Ramsey County Cost:	\$ 14,009,524.78

**Attachments:**

- A – Project Location Map
- B – Engineer's Estimate
- C – Storm Sewer Ownership
- D – Drainage BMP Maintenance Map

This Agreement is between the City of Shoreview, a municipal corporation ("City") and Ramsey County, a political subdivision of the State of Minnesota, ("County") for the reconstruction of Hodgson Road (County State Aid Highway 49) between Gramsie and Bridge Street, Rice Street (County State Aid Highway 54) between Gramsie/Hodgson and County Road F, and County Road F (County State Aid Highway 12) between Hodgson Road and Rice Street ("Project"). A project location map is shown in Attachment A.

**RECITALS**

1. The Project is identified in Ramsey County's 2022 – 2026 Transportation Improvement Program.

2. Hodgson Road, in the area affected by reconstruction, is designated County State Aid Highway (CSAH) 49. Rice Street, in the area affected by reconstruction, is designated County State Aid Highway (CSAH) 54. County Road F, in the area affected by reconstruction, is designated County State Aid Highway (CSAH) 12.
3. The Project has been designated by the Minnesota Department of Transportation (MnDOT) as eligible for State Aid Highway funds.
4. The Project has been designated as County State Aid Project (S.A.P.) 062-649-049 (ROW) and 062-649-050 (Construction).
5. The subject road segment is located within the City.

### **AGREEMENTS**

#### **1. Procurement and Award of Contract**

- 1.1 The County will take bids in accordance with state law and County procedures.
- 1.2 The County will prepare an abstract of bids and a cost participation summary based on the lowest responsible bidder's proposal and will provide the same to the City.
- 1.3 The County will request the City's concurrence to award a contract to the lowest responsible bidder.
- 1.4 The County will award a contract and pay the contractor from the County State Aid Highway and Turnback Funds, Municipal State Aid Highway, and local funds identified for the Project.

#### **2. Responsibility for Construction Engineering**

- 2.1. Except for those portions identified in Section 2.1.1, the County shall perform or contract the performance of the construction engineering for all elements of the Project.
  - 2.1.1. The City will provide construction engineering for watermain and sanitary sewer.

#### **3. Project Costs**

- 3.1 Except as provided herein, the County and City will participate in the costs of construction in accordance with the Ramsey County Cost Participation Policy and approved in the 2022 – 2026 Ramsey County Transportation Improvement

Plan. If there is a conflict between the Cost Participation Policy and this Agreement, this Agreement will prevail.

- 3.2 A list of the construction pay items and percentages of City funding responsibility as well as the total estimated City Project cost is attached as Attachment A. Cost Participation Based on Engineer's Estimate). Quantities and unit prices in Attachment A are estimates. Actual costs shall be based on the contract unit prices and the quantities constructed.
- 3.3 Mobilization, Field Office, Erosion Control Supervisor, Traffic Control, As Built, Construction Staking, Erosion Control Items (such as Storm Drain Inlet Protection, Water, Street Sweeper) are defined collectively as the "Prorated Items". The City percentage of the Prorated Items is calculated as follows:

$$\text{City \% Prorated Items} = \frac{(\text{City Cost excluding the Prorated Items Cost})}{(\text{Total Project Cost excluding the Prorated Items Cost})}$$

The costs in the Prorated Items calculation will be based on contract unit prices and quantities at the time of contract award. No adjustments in the percentages will be made if unit prices or quantities vary during construction.

### 3.4 Design Engineering Costs

- 3.4.1 Design engineering costs are covered under agreement PUBW2022-08R.

### 3.5 Right of Way Acquisition Costs

- 3.5.1 Right of way acquisition costs are covered under agreement PUBW2022-08R.

### 3.6 Construction Engineering Costs

- 3.6.1 The City shall pay the County a construction engineering fee equal to a percentage of the identified project items as detailed in Attachment B., except as provided below.
- 3.6.2 The City shall pay the County a construction engineering fee equal to 2% of its share of watermain and sanitary sewer identified in Attachment B.
- 3.6.3 Construction engineering and administration fees shall be calculated based on the final contract quantities and unit prices.

### 3.7 Payment Schedule

- 3.7.1 The County will invoice the City for construction costs incurred on a monthly basis or as determined by the payment schedule for the contractor.
- 3.7.2 Payment will be made within 30 days of receipt of an invoice.

## 4. Ownership and Maintenance Responsibility for Project Elements

### 4.1 Ownership and Maintenance Responsibility of the Roadway

- 4.1.1 The County will own and maintain Hodgson Road and associated roadway elements location within the County Right of Way, except as detailed below.
- 4.1.2 Upon completion of the reconstruction of County Road F between Rice Street and Hodgson Road, the roadway will be transferred to the City.

The County shall provide basic maintenance of this section of County Road F, to consist of snow plowing, street sweeping and other minor maintenance for a period of two years following the jurisdictional turn-back. The City will be responsible for maintenance of the sidewalk upon construction completion.

Prior to the execution of the jurisdictional turnback and transfer of ownership, the County shall provide the City the title to the rights-of-way in question.

Prior to the execution of the jurisdictional turnback, the County shall provide the City with funds in-lieu of a future mill and overlay project, the value of which will be determined prior to project completion.

### 4.2 Ownership and Maintenance Responsibility of the Storm Sewer (*catch basins and leads, main, infiltration systems, ponding, water treatment*)

- 4.2.1 The County and City shall own and maintain their respective elements of the storm sewer system as identified in Attachment C and as follows.
- 4.2.2 The City shall own the following components of the storm sewer system:
  - i. Trunk line
  - ii. Trunk line manholes, including manholes which connect catch basins and leads to the truck line

- iii. Surface drains located outside of the County road right-of-way and associated leads

4.2.3 The County shall own the following components of the storm sewer system:

- iv. Catch basins
- v. Catch basin leads
- vi. Cross-culverts
- vii. Surface drains located within the County road right-of-way
- viii. BMP(s)
  - 1. Pond A
  - 2. Pond B (drainage easement)
  - 3. Pond C
  - 4. Pond D (drainage easement)

4.2.4 The City and County shall each maintain the components of the storm sewer system under their respective ownership.

4.2.5 The cost for maintenance of trunk line outfalls and BMPs shall be distributed between the City and County by relative contributing area and runoff coefficient based on its adopted land-use classification. The cost distribution for trunk line outfalls and BMPs within this agreement (see Attachment D) are specified below:

List all BMP(s):

Pond A Shoreview 73%, County 27%.

Pond B Shoreview 77%, County 23%

Pond C Shoreview 82%, County 18%

Pond D Shoreview 48%, County 19%, Vadnais Heights 33%

4.3 Ownership and Maintenance of the Sanitary Sewer and Watermain

4.3.1 The City will own and maintain the sanitary sewer and watermain systems including services.

4.4 Ownership and Maintenance of the Street Lights

4.4.1 The City will own and maintain the street lights.

4.5 Ownership and Maintenance of the Signal Systems, Accessible Pedestrian System (APS)

4.5.1 Ownership and maintenance of the signal system and APS is detailed in Agreement PW2023-14M

4.6 Ownership and Maintenance of the Sidewalk and Trail

4.6.1 The County will own the sidewalk and trail and be responsible for preservation, overlay or reconstruction.

The City shall be responsible for all maintenance, including but not limited to patching, snow and ice control, sweeping, crack sealing, debris removal, vegetation control, panel replacement, settlement adjustments, etc.

5. The City grants the County temporary construction permits over all City owned rights-of-way and property within the limits of the Project for use during construction at no cost to the County.
6. The City and County shall indemnify, defend, and hold each other harmless against any and all liability, losses, costs, damages, expenses, claims, or actions, including attorney's fees, which the indemnified party, its officials, agents, or employees may hereafter sustain, incur, or be required to pay, arising out of or by reason of any act or omission of the indemnifying party, its officials, agents, or employees, in the execution, performance, or failure to adequately perform the indemnifying party's obligation pursuant to this Agreement. Nothing in this Agreement shall constitute a waiver by the County or the City of any statutory or common law immunities, limits, or exceptions on liability.
7. This Agreement shall remain in full force and effect until terminated by mutual agreement of the parties.

THE REMAINDER OF THIS PAGE IS INTENTIONALLY BLANK.

## CITY OF SHOREVIEW, MINNESOTA

By: \_\_\_\_\_  
Sue Denkinger, City Mayor

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Brad Martens, City Manager

Date: \_\_\_\_\_

RAMSEY COUNTY, MINNESOTA

By: \_\_\_\_\_  
Ryan O'Connor, County Manager

Date: \_\_\_\_\_

Approval recommended:

\_\_\_\_\_  
Brian Isaacson, Director, Public Works Department

Approved as to form:

\_\_\_\_\_  
Assistant County Attorney



MINNESOTA DEPARTMENT OF TRANSPORTATION

RAMSEY COUNTY  
CITIES OF SHOREVIEW & VADNAIS HEIGHTS

PLANS FOR: GRADING, CONCRETE & BITUMINOUS SURFACING, ADA IMPROVEMENTS, CONCRETE WALK, BITUMINOUS TRAIL, UTILITY IMPROVEMENTS, TRAFFIC SIGNALS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

LOCATED ON HODGSON ROAD FROM GRAMSIE ROAD TO 100FT SOUTH OF HWY 96  
LOCATED ON RICE STREET FROM 800 FT SOUTH OF GRAMSIE ROAD TO COUNTY ROAD F  
LOCATED ON GRAMSIE ROAD FROM 3700 FT EAST OF MACKUBIN STREET TO HODGSON ROAD  
LOCATED ON COUNTY ROAD F FROM HODGSON ROAD TO RICE STREET  
SEC 25, TOWN 30, RANGE 23 - SEC 24, TOWN 30, RANGE 23

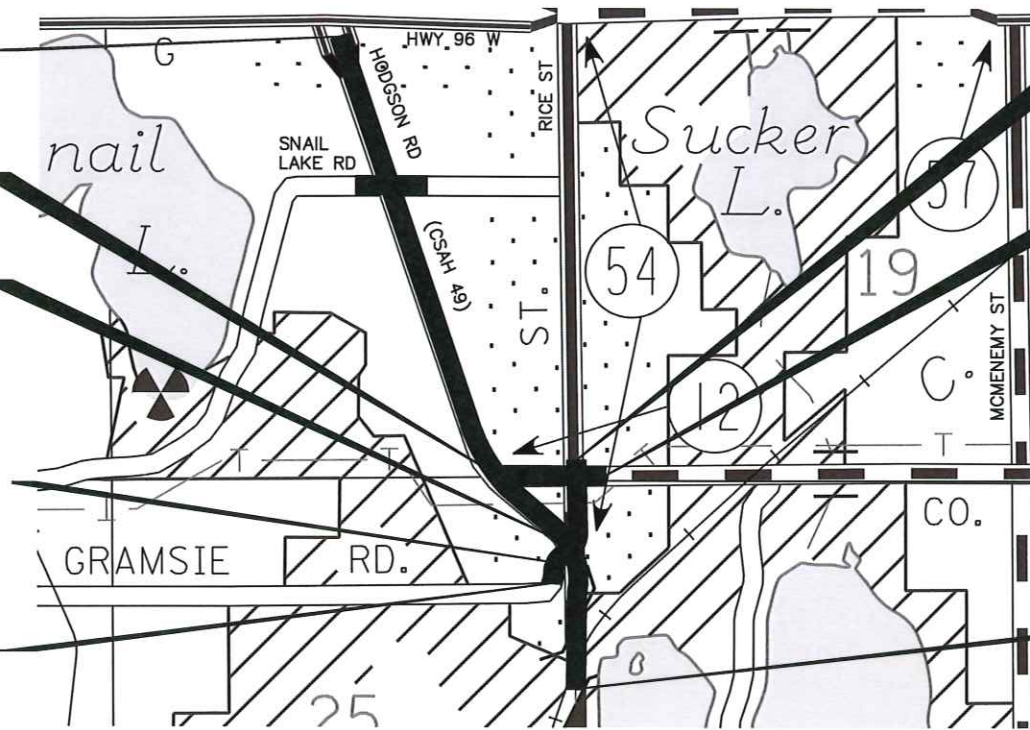
END S.A.P. 062-649-050  
END S.A.P. 167-020-024  
RICE-HODGSON-SB  
STA: 276+35.66

BEGIN S.A.P. 062-612-030  
BEGIN S.A.P. 167-020-025  
CR-F  
STA: 501+62.54

END S.A.P. 062-654-005  
END S.A.P. 167-020-023  
BEGIN S.A.P. 062-649-050  
BEGIN S.A.P. 167-020-024  
RICE-HODGSON-SB  
STA: 213+24.24

END S.A.P. 167-235-007  
BEGIN S.A.P. 062-654-005  
BEGIN S.A.P. 167-020-023  
GRAMSIE-RICE-NB  
STA: 304+22.40

BEGIN S.A.P. 167-235-007  
GRAMSIE-RICE-NB  
STA: 302+11.44



END S.A.P. 062-654-005  
END S.A.P. 167-020-023  
GRAMSIE-RICE-NB  
STA: 314+71.85

END S.A.P. 062-612-030  
END S.A.P. 167-020-025  
CR-F  
STA: 510+42.15

BEGIN S.A.P. 062-654-005  
BEGIN S.A.P. 167-020-023  
RICE-HODGSON-SB  
STA: 202+00.00

CSAH 49 (HODGSON RD)

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BRIDGE LENGTH N/A FEET N/A MILES	EXCEPTIONS LENGTH N/A FEET N/A MILES
NET LENGTH 6311.42 FEET 1.195 MILES	

CSAH 12 (COUNTY RD F)

STATE AID PROJ. NO. 062-612-030, 167-020-025	GROSS LENGTH 879.64 FEET 0.167 MILES
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Design Speed not achieved at:	ROUNDAABOUT	ROUNDAABOUT	ROUNDAABOUT	N/A	N/A

GRAMSIE RD

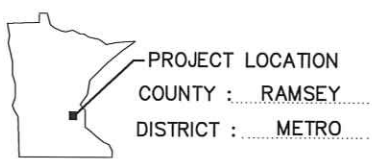
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SCALES

INDEX MAP	2000
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- PLAN SYMBOLS
- STATE LINE
  - COUNTY LINE
  - TOWNSHIP OR RANGE LINE
  - SECTION LINE
  - QUARTER LINE
  - SIXTEENTH LINE
  - RIGHT-OF-WAY LINE
  - PRESENT RIGHT-OF-WAY LINE
  - CONTROL OF ACCESS LINE
  - PROPERTY LINE (Except Land Lines)
  - VACATED PLATTED PROPERTY
  - CORPORATE OR CITY LIMITS
  - TRUNK HIGHWAY CENTER LINE
  - CONC. RETAINING WALL
  - RAILROAD
  - RAILROAD RIGHT-OF-WAY LINE
  - RIVER OR CREEK
  - DRY RUN
  - DRAINAGE DITCH
  - DRAIN TILE
  - CULVERT
  - DROP INLET
  - GUARD RAIL
  - BARBED WIRE FENCE
  - WOVEN WIRE FENCE
  - CHAIN LINK FENCE
  - RAILROAD SNOW FENCE
  - STONE WALL OR FENCE
  - HEDGE
  - RAILROAD CROSSING SIGN
  - RAILROAD CROSSING BELL
  - ELECTRIC WARNING SIGN
  - CROSSING DATE
  - MEANDER CORNER
  - MAIL BOX
  - SPRINGS
  - MARSH
  - TIMBER
  - ORCHARD
  - BRUSH
  - NURSERY
  - CATCH BASIN
  - FIRE HYDRANT
  - BUILDING (One Story Frame)
  - F-FRAME
  - C-CONCRETE
  - S-STONE
  - T-TILE
  - B-BRICK
  - ST-STUCCO
  - IRON PIPE OR ROD
  - MONUMENT (STONE, CONCRETE, OR METAL)
  - WOODEN HUB
  - GRAVEL PIT
  - SAND PIT
  - BORROW PIT
  - ROCK QUARRY

- UTILITY SYMBOLS
- POWER POLE LINE
  - TELEPHONE OR TELEGRAPH POLE LINE
  - JOINT TELEPHONE AND POWER ON POWER POLES
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  - BURIED ELECTRIC CABLE
  - AERIAL TELEPHONE CABLE
  - SEWER (SANITARY)
  - SEWER (STORM)
  - SEWER MANHOLE
  - HANDHOLE



GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" ALONG WITH SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022 SHALL GOVERN.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE MOST RECENT EDITION OF "MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MN MUTCD) AND PART VI, "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS".

CITY OF SHOREVIEW STANDARD SPECIFICATION FOR UTILITY AND STREET CONSTRUCTION

CITY OF VADNAIS HEIGHTS STANDARD SPECIFICATION FOR UTILITY AND STREET CONSTRUCTION

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THIS PLAN CONTAINS 434 SHEETS



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE *Steven B. Prusak*  
DATE 1/16/23 LIC. NO. 47622 PRINT NAME STEVEN B. PRUSAK

APPROVED \_\_\_\_\_ COUNTY ENGINEER, RAMSEY COUNTY DATE \_\_\_\_\_

APPROVED \_\_\_\_\_ CITY ENGINEER, CITY OF SHOREVIEW DATE \_\_\_\_\_

APPROVED \_\_\_\_\_ CITY ENGINEER, CITY OF VADNAIS HEIGHTS DATE \_\_\_\_\_

DISTRICT STATE AID ENGINEER: \_\_\_\_\_ DATE \_\_\_\_\_  
REVIEWED FOR COMPLIANCE WITH STATE AND/OR FEDERAL AID RULES/POLICY

APPROVED FOR STATE AND/OR FEDERAL AID FUNDING: STATE AID ENGINEER DATE \_\_\_\_\_

THIS PLAN AND/OR SPECIFICATION WAS PREPARED SPECIFICALLY FOR THIS PROJECT, AND ANY RE-USE OF DETAILS OR SPECIFICATIONS ON OTHER PROJECTS IS NOT INTENDED OR AUTHORIZED BY THE DESIGNER. LIABILITY FOR ANY RE-USE ON OTHER PROJECTS IS THE RESPONSIBILITY OF THE PERSON, AGENCY, OR CORPORATION USING PLAN OR SPECIFICATION DATA FROM THIS PROJECT.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO GUIDELINES OF C/ASCE 38-02. ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

062-649-050, 062-612-030, 062-654-005, 167-235-007  
S.A.P. 167-020-024, 167-020-025, 167-020-023 SHEET NO. 1 OF 434 SHEETS



ATTACHMENT B - ENGINEER'S ESTIMATE - HODGSON ROAD PROJECT

	TOTAL	RAMSEY COUNTY		CITY OF SHOREVIEW			VADNAIS HEIGHTS
		ROADWAY	STORMSEWER	ROADWAY	STORMSEWER	NON-PARTICIPATING	NON-PARTICIPATING
HODGSON ROAD (S.A.P. 062-649-050) (S.A.P. 167-020-024)	\$12,559,369.57	\$8,028,849.68	\$2,001,387.20	\$500,333.79		\$2,028,798.90	
RICE STREET (S.A.P. 062-654-005) (S.A.P. 167-020-023)	\$2,307,341.77	\$1,513,846.83	\$352,939.00	\$115,124.28		\$216,320.00	\$109,111.66
COUNTY ROAD F (S.A.P. 062-612-030) (S.A.P. 167-020-025)	\$705,984.87	\$364,203.57	\$72,659.00			\$269,122.30	
GRAMSIE ROAD (S.A.P. 167-235-007)	\$184,153.99	\$158,402.49	\$16,216.50	\$9,535.00			
SUBTOTAL	\$15,756,850.20	\$10,065,302.57	\$2,443,201.70	\$624,993.07	\$0.00	\$2,514,241.20	\$109,111.66
Design Engineering - - 12% of Construction Costs	\$13,093.40						\$13,093.40
Construction Engineering - 12% of Construction Costs	\$1,589,113.08	\$1,207,836.31	\$293,184.20	\$74,999.17	\$0.00		\$13,093.40
Construction Engineering - 2% of Construction Costs	\$50,284.82					\$50,284.82	
Grand Total Project Costs	\$17,409,341.50	\$11,273,138.88	\$2,736,385.90	\$699,992.24	\$0.00	\$2,564,526.02	\$135,298.46
		\$14,009,524.78		\$3,264,518.26			\$135,298.46

LOW BID ESTIMATE OF CONSTRUCTION COSTS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		CSAH 49 (HODGSON ROAD)									
							PARTICIPATING								NON-PARTICIPATING	
							RAMSEY COUNTY				CITY OF SHOREVIEW					
							S.A.P. 062-649-050				S.A.P. 167-020-024				CITY OF SHOREVIEW	
							ROADWAY		STORM SEWER		ROADWAY		STORM SEWER			
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT					
	2021.501	MOBILIZATION	LUMP SUM	\$ 760,000.00	1.00	\$ 760,000.00	0.45	\$ 342,000.00	0.17	\$ 129,200.00	0.02	\$ 15,200.00	\$ -	-	0.14	\$ 106,400.00
	2031.502	FIELD OFFICE TYPE D-MODIFIED	EACH	\$ 50,000.00	1.00	\$ 50,000.00	0.57	\$ 28,500.00		\$ -	0.04	\$ 2,000.00	\$ -	-	0.18	\$ 9,000.00
	2101.502	CLEARING	EACH	\$ 570.00	81	\$ 46,170.00	50	\$ 28,500.00		\$ -		\$ -	\$ -	-		\$ -
	2101.502	GRUBBING	EACH	\$ 100.00	81	\$ 8,100.00	50	\$ 5,000.00		\$ -		\$ -	\$ -	-		\$ -
	2101.505	CLEARING	ACRE	\$ 5,500.00	1.01	\$ 5,555.00	0.89	\$ 4,895.00		\$ -		\$ -	\$ -	-		\$ -
	2101.505	GRUBBING	ACRE	\$ 1,500.00	1.01	\$ 1,515.00	0.89	\$ 1,335.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE TEMPORARY BYPASS	EACH	\$ 1,000.00	2	\$ 2,000.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
20	2104.502	REMOVE MISCELLANEOUS STRUCTURES	EACH	\$ 390.00	2	\$ 780.00		\$ -		\$ -		\$ -	\$ -	-	2	\$ 780.00
32	2104.502	REMOVE MANHOLE	EACH	\$ 520.00	23	\$ 11,960.00		\$ -		\$ -		\$ -	\$ -	-	16	\$ 8,320.00
	2104.502	REMOVE GATE VALVE & BOX	EACH	\$ 390.00	43	\$ 16,770.00		\$ -		\$ -		\$ -	\$ -	-	29	\$ 11,310.00
	2104.502	REMOVE CURB STOP & BOX	EACH	\$ 260.00	67	\$ 17,420.00		\$ -		\$ -		\$ -	\$ -	-	53	\$ 13,780.00
	2104.502	REMOVE HYDRANT	EACH	\$ 260.00	15	\$ 3,900.00	7	\$ 1,820.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$ 490.00	38	\$ 18,620.00	25	\$ 12,250.00		\$ -		\$ -	\$ -	-		\$ -
33	2104.502	REMOVE LIGHT POLE	EACH	\$ 270.00	6	\$ 1,620.00	3	\$ 810.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE SIGNAL FOUNDATION	EACH	\$ 1,300.00	4	\$ 5,200.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE DELINEATOR / MARKER	EACH	\$ 25.00	1	\$ 25.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE SIGN	EACH	\$ 25.00	84	\$ 2,100.00	42	\$ 1,050.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE SIGN TYPE SPECIAL	EACH	\$ 25.00	2	\$ 50.00		\$ -		\$ -		\$ -	\$ -	-	1	\$ 25.00
4	2104.502	REMOVE SIGNAL SYSTEM A	EACH	\$ 6,700.00	1.00	\$ 6,700.00	0.50	\$ 3,350.00		\$ -		\$ -	\$ -	-		\$ -
5	2104.502	REMOVE SIGNAL SYSTEM B	EACH	\$ 4,500.00	1	\$ 4,500.00	1	\$ 4,500.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	REMOVE LIGHT FOUNDATION	EACH	\$ 310.00	11	\$ 3,410.00	10	\$ 3,100.00		\$ -		\$ -	\$ -	-		\$ -
6,31	2104.502	SALVAGE LIGHTING UNIT	EACH	\$ 270.00	8	\$ 2,160.00	8	\$ 2,160.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	SALVAGE SIGN	EACH	\$ 25.00	27	\$ 675.00	19	\$ 475.00		\$ -		\$ -	\$ -	-		\$ -
	2104.502	SALVAGE SIGN TYPE SPECIAL	EACH	\$ 25.00	16	\$ 400.00		\$ -		\$ -		\$ -	\$ -	-	13	\$ 325.00
7	2104.502	SALVAGE BENCH	EACH	\$ 250.00	1	\$ 250.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	\$ 4.90	262	\$ 1,283.80	222	\$ 1,087.80		\$ -		\$ -	\$ -	-		\$ -
	2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	LIN FT	\$ 1.90	2367	\$ 4,497.30	1650	\$ 3,135.00		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE PIPE DRAIN	LIN FT	\$ 1.50	1433	\$ 2,149.50	1433	\$ 2,149.50		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE PIPE CULVERTS	LIN FT	\$ 18.00	836	\$ 15,048.00	836	\$ 15,048.00		\$ -		\$ -	\$ -	-		\$ -
34	2104.503	REMOVE WATER MAIN	LIN FT	\$ 13.00	8559	\$ 111,267.00		\$ -		\$ -		\$ -	\$ -	-	6889	\$ 89,557.00
	2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	\$ 18.00	2984	\$ 53,712.00	1704	\$ 30,672.00		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE SEWER PIPE (SANITARY)	LIN FT	\$ 13.00	4644	\$ 60,372.00		\$ -		\$ -		\$ -	\$ -	-	3719	\$ 48,347.00
	2104.503	REMOVE CURB & GUTTER	LIN FT	\$ 2.90	9944	\$ 28,837.60	4205	\$ 12,194.50		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE CHAIN LINK FENCE	LIN FT	\$ 10.00	140	\$ 1,400.00	70	\$ 700.00		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE WOOD FENCE	LIN FT	\$ 10.00	85	\$ 850.00	85	\$ 850.00		\$ -		\$ -	\$ -	-		\$ -
	2104.503	REMOVE STEEL CASING	LIN FT	\$ 11.00	372	\$ 4,092.00		\$ -		\$ -		\$ -	\$ -	-	372	\$ 4,092.00
	2104.503	REMOVE SANITARY SERVICE PIPE	LIN FT	\$ 4.00	2670	\$ 10,680.00		\$ -		\$ -		\$ -	\$ -	-	2459	\$ 9,836.00
	2104.503	REMOVE WATER SERVICE PIPE	LIN FT	\$ 7.80	3046	\$ 23,758.80		\$ -		\$ -		\$ -	\$ -	-	2503	\$ 19,523.40
	2104.504	REMOVE CONCRETE MEDIAN	SQ YD	\$ 5.00	418	\$ 2,090.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$ 8.00	433	\$ 3,464.00	361	\$ 2,888.00		\$ -		\$ -	\$ -	-		\$ -
	2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	\$ 9.00	6604	\$ 59,436.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	SQ YD	\$ 4.00	4184	\$ 16,736.00	3228	\$ 12,912.00		\$ -		\$ -	\$ -	-		\$ -
	2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	\$ 6.00	51666	\$ 309,996.00	35805	\$ 214,830.00		\$ -		\$ -	\$ -	-		\$ -
	2104.518	REMOVE BITUMINOUS WALK	SQ FT	\$ 0.30	12141	\$ 3,642.30	3880	\$ 1,164.00		\$ -		\$ -	\$ -	-		\$ -
	2104.518	REMOVE CONCRETE WALK	SQ FT	\$ 0.40	5243	\$ 2,097.20	3235	\$ 1,294.00		\$ -		\$ -	\$ -	-		\$ -
8	2104.602	REMOVE SURVEY MONUMENT	EACH	\$ 1,200.00	1	\$ 1,200.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
2,3	2106.507	EXCAVATION - COMMON	CU YD	\$ 15.00	48818	\$ 732,270.00	38419	\$ 576,285.00		\$ -	686	\$ 10,290.00	\$ -	-		\$ -
2,3	2106.507	EXCAVATION - SUBGRADE	CU YD	\$ 0.01	29155	\$ 291.55	21469	\$ 214.69		\$ -	565	\$ 5.65	\$ -	-		\$ -
30	2106.507	EXCAVATION - CHANNEL AND POND	CU YD	\$ 4.00	40494	\$ 161,976.00	40494	\$ 161,976.00		\$ -		\$ -	\$ -	-		\$ -
2,3,16	2106.507	SELECT GRANULAR EMBANKMENT (CV)	CU YD	\$ 0.01	35259	\$ 352.59	26971	\$ 269.71		\$ -	764	\$ 7.64	\$ -	-		\$ -
2,3	2106.507	COMMON EMBANKMENT (CV)	CU YD	\$ 8.00	23172	\$ 185,376.00	10782	\$ 86,256.00		\$ -	5933	\$ 47,464.00	\$ -	-		\$ -
9	2106.507	STABILIZING AGGREGATE (CV)	CU YD	\$ 0.01	100	\$ 1.00	64	\$ 0.64		\$ -		\$ -	\$ -	-		\$ -
	2106.602	CONSTRUCT TEMPORARY BYPASS	EACH	\$ 4,000.00	2	\$ 8,000.00		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2112.519	SUBGRADE PREPARATION	ROAD STA	\$ 100.00	100	\$ 10,000.00	64	\$ 6,400.00		\$ -		\$ -	\$ -	-		\$ -
9	2123.510	COMMON LABORERS	HOURL	\$ 0.01	100	\$ 1.00	64	\$ 0.64		\$ -		\$ -	\$ -	-		\$ -
9	2123.610	TRACTOR MOUNTED BACKHOE	HOURL	\$ 0.01	100	\$ 1.00	64	\$ 0.64		\$ -		\$ -	\$ -	-		\$ -
9	2123.610	STREET SWEEPER (WITH VACUUM PICKUP)	HOURL	\$ 160.00	100	\$ 16,000.00	64	\$ 10,240.00		\$ -		\$ -	\$ -	-		\$ -
2,3	2211.507	AGGREGATE BASE (CV) CLASS 5	CU YD	\$ 35.00	8296.05	\$ 290,361.75	5541.73	\$ 193,960.55		\$ -	431.32	\$ 15,096.20	\$ -	-		\$ -
29	2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$ 230.00	260	\$ 59,800.00	260	\$ 59,800.00		\$ -		\$ -	\$ -	-		\$ -
	2232.504	MILL BITUMINOUS SURFACE (2.0")	SQ YD	\$ 1.80	3373	\$ 6,071.40	3373	\$ 6,071.40		\$ -		\$ -	\$ -	-		\$ -
	2301.502	DOWEL BAR	EACH	\$ 22.50	3644	\$ 81,990.00	566	\$ 12,735.00		\$ -		\$ -	\$ -	-		\$ -
	2301.504	CONCRETE PAVEMENT 5"	SQ YD	\$ 62.50	397	\$ 24,812.50	397	\$ 24,812.50		\$ -		\$ -	\$ -	-		\$ -
	2301.504	CONCRETE PAVEMENT 8.0"	SQ YD	\$ 88.50	2189	\$ 193,726.50		\$ -		\$ -		\$ -	\$ -	-		\$ -
	2301.508	SUPPLEMENTAL PAVEMENT REINFORCEMENT	POUND	\$ 4.00	2425	\$ 9,700.00	108	\$ 432.00		\$ -		\$ -	\$ -	-		\$ -
29	2360.509	TYPE SP 9.5 WEARING COURSE MIX (3,C)	TON	\$ 93.00	5869	\$ 545,817.00	4504	\$ 418,872.00		\$ -		\$ -	\$ -	-		\$ -
29	2360.509	TYPE SP 12.5 WEARING COURSE MIX (3,C)	TON	\$ 88.00	5072	\$ 446,336.00	3772	\$ 331,936.00		\$ -		\$ -	\$ -	-		\$ -
29	2360.509	TYPE SP 12.5 NON WEAR COURSE MIX (4,B)	TON	\$ 82.00	7105	\$ 582,610.00	5156	\$ 422,792.00		\$ -		\$ -	\$ -	-		\$ -
	2451.507	FINE FILTER AGGREGATE (CV)	CU YD	\$ 38.00	742	\$ 28,196.00		\$ -	742	\$ 28,196.00		\$ -	\$ -	-		\$ -
	2501.502	12" RC PIPE APRON	EACH	\$ 1,400.00	3	\$ 4,200.00		\$ -	3	\$ 4,200.00		\$ -	\$ -			



LOW BID ESTIMATE OF CONSTRUCTION COSTS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		CSAH 49 (HODGSON ROAD)									
							PARTICIPATING								NON-PARTICIPATING	
							RAMSEY COUNTY				CITY OF SHOREVIEW					
							S.A.P. 062-649-050				S.A.P. 167-020-024					
					ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		CITY OF SHOREVIEW			
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT							
	2503.503	21" RC PIPE SEWER DES 3006	LIN FT	\$ 78.50	838	\$ 65,783.00		\$ -	723	\$ 56,755.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	21" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 87.50	351	\$ 30,712.50		\$ -	219	\$ 19,162.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	24" RC PIPE SEWER DES 3006	LIN FT	\$ 93.00	855	\$ 79,515.00		\$ -	624	\$ 58,032.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	24" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 110.00	62	\$ 6,820.00		\$ -	62	\$ 6,820.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	27" RC PIPE SEWER DES 3006	LIN FT	\$ 120.00	1363	\$ 163,560.00		\$ -	1363	\$ 163,560.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	27" RC PIPE SEWER DES 3006 CL III	LIN FT	\$ 140.00	118	\$ 16,520.00		\$ -	118	\$ 16,520.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	27" RC PIPE SEWER DES 3006 CL IV	LIN FT	\$ 160.00	280	\$ 44,800.00		\$ -	280	\$ 44,800.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	30" RC PIPE SEWER DES 3006	LIN FT	\$ 130.00	845	\$ 109,850.00		\$ -	845	\$ 109,850.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	30" RC PIPE SEWER DES 3006 CL III	LIN FT	\$ 140.00	617	\$ 86,380.00		\$ -	617	\$ 86,380.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	30" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 210.00	163	\$ 34,230.00		\$ -	163	\$ 34,230.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	36" RC PIPE SEWER DES 3006	LIN FT	\$ 180.00	356	\$ 64,080.00		\$ -	356	\$ 64,080.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	2503.503	36" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 260.00	192	\$ 49,920.00		\$ -	192	\$ 49,920.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
10	2503.601	TELEWISE PROJECT SANITARY SEWER	LUMP SUM	\$ 9,500.00	1	\$ 9,500.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	1	\$ 9,500.00
9	2503.602	CONSTRUCT BULKHEAD	EACH	\$ 230.00	10	\$ 2,300.00	6	\$ 1,380.00		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.602	CONNECT TO EXISTING SANITARY SEWER	EACH	\$ 990.00	8	\$ 7,920.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	7	\$ 6,930.00
	2503.602	CONNECT TO EXISTING MANHOLES (SAN)	EACH	\$ 2,900.00	1	\$ 2,900.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	\$ 840.00	6	\$ 5,040.00		\$ -	6	\$ 5,040.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.602	CONNECT TO EXISTING FORCE MAIN	EACH	\$ 3,100.00	1	\$ 3,100.00		\$ -	1	\$ 3,100.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.602	CONNECT TO EXISTING SANITARY SEWER SER	EACH	\$ 300.00	65	\$ 19,500.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	47	\$ 14,100.00
	2503.602	10"X4" PVC WYE	EACH	\$ 300.00	63	\$ 18,900.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	46	\$ 13,800.00
9,11	2503.603	PLUG FILL & ABANDON PIPE SEWER	LIN FT	\$ 16.00	100	\$ 1,600.00	64	\$ 1,024.00		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.603	8" PVC PIPE SEWER	LIN FT	\$ 43.50	217	\$ 9,439.50		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2503.603	10" PVC PIPE SEWER	LIN FT	\$ 48.00	4802.00	\$ 230,496.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	3565	\$ 171,120.00
	2503.603	4" PVC SANITARY SERVICE PIPE	LIN FT	\$ 15.00	2388	\$ 35,820.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	1849	\$ 27,735.00
	2504.601	TEMPORARY WATER SERVICE	LUMP SUM	\$ 100,000.00	1	\$ 100,000.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	1	\$ 100,000.00
	2504.601	WATER MAIN CONSTRUCTION A	LUMP SUM	\$ 0.01	1	\$ 0.01	1	\$ 0.01		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2504.602	CONNECT TO EXISTING WATER MAIN	EACH	\$ 1,700.00	23	\$ 39,100.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	17	\$ 28,900.00
	2504.602	CONNECT TO EXISTING WATER SERVICE	EACH	\$ 640.00	66	\$ 42,240.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	54	\$ 34,560.00
	2504.602	HYDRANT	EACH	\$ 6,400.00	14	\$ 89,600.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	6	\$ 38,400.00
	2504.602	1" CORPORATION STOP	EACH	\$ 550.00	66	\$ 36,300.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	54	\$ 29,700.00
12	2504.602	12" BUTTERFLY VALVE & BOX	EACH	\$ 5,600.00	1	\$ 5,600.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	1	\$ 5,600.00
12	2504.602	16" BUTTERFLY VALVE & BOX	EACH	\$ 9,100.00	16	\$ 145,600.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	13	\$ 118,300.00
	2504.602	6" GATE VALVE & BOX	EACH	\$ 3,200.00	29	\$ 92,800.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	18	\$ 57,600.00
	2504.602	8" GATE VALVE & BOX	EACH	\$ 4,000.00	3	\$ 12,000.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	3	\$ 12,000.00
	2504.602	8"X6" WET TAP	EACH	\$ 5,500.00	1	\$ 5,500.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2504.602	1" CURB STOP & BOX	EACH	\$ 660.00	66	\$ 43,560.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	54	\$ 35,640.00
	2504.602	GATE VALVE BOLT REPLACEMENT	EACH	\$ 1,500.00	2	\$ 3,000.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2504.603	1" TYPE PE PIPE	LIN FT	\$ 23.00	2796	\$ 64,308.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	2295	\$ 52,785.00
	2504.603	6" WATERMAIN DUCTILE IRON CL 53	LIN FT	\$ 84.50	71	\$ 5,999.50		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	21	\$ 1,774.50
	2504.603	12" WATERMAIN DUCTILE IRON CL 53	LIN FT	\$ 140.00	31	\$ 4,340.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	31	\$ 4,340.00
	2504.603	6" PVC WATERMAIN	LIN FT	\$ 49.00	1606	\$ 78,694.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	676	\$ 33,124.00
	2504.603	8" PVC WATERMAIN	LIN FT	\$ 73.50	145	\$ 10,657.50		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	145	\$ 10,657.50
	2504.603	16" PVC WATERMAIN	LIN FT	\$ 130.00	6656	\$ 865,280.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	5611	\$ 729,430.00
	2504.604	4" POLYSTYRENE INSULATION	SQ YD	\$ 63.50	466.2	\$ 29,603.70		\$ -	7.2	\$ 457.20	\$ -	\$ -	\$ -	\$ -	119.0	\$ 7,556.50
23	2504.608	WATERMAIN FITTINGS	POUND	\$ 8.00	1595	\$ 12,760.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	1520	\$ 12,160.00
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 2	EACH	\$ 8,100.00	3	\$ 24,300.00		\$ -	3	\$ 24,300.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 3	EACH	\$ 2,300.00	1	\$ 2,300.00		\$ -	1	\$ 2,300.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 4	EACH	\$ 6,600.00	1	\$ 6,600.00		\$ -	1	\$ 6,600.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 5	EACH	\$ 7,500.00	1	\$ 7,500.00		\$ -	1	\$ 7,500.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 6	EACH	\$ 5,300.00	1	\$ 5,300.00		\$ -	1	\$ 5,300.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 7	EACH	\$ 6,100.00	1	\$ 6,100.00		\$ -	1	\$ 6,100.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 9	EACH	\$ 200.00	1	\$ 200.00	1	\$ 200.00		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.502	CASTING ASSEMBLY	EACH	\$ 900.00	237	\$ 213,300.00		\$ -	145	\$ 130,500.00	\$ -	\$ -	\$ -	\$ -	27	\$ 24,300.00
	2506.502	ADJUST FRAME & RING CASTING	EACH	\$ 570.00	27	\$ 15,390.00	20	\$ 11,400.00		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN F	LIN FT	\$ 440.00	137.7	\$ 60,588.00		\$ -	111.1	\$ 48,884.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN G	LIN FT	\$ 460.00	79.7	\$ 36,662.00		\$ -	35.6	\$ 16,376.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN H	LIN FT	\$ 340.00	117.7	\$ 40,018.00		\$ -	110.3	\$ 37,502.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN N	LIN FT	\$ 360.00	59.2	\$ 21,312.00		\$ -	48.1	\$ 17,316.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-48	LIN FT	\$ 510.00	16.3	\$ 8,313.00		\$ -	12.3	\$ 6,273.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-60	LIN FT	\$ 970.00	4.7	\$ 4,559.00		\$ -	4.7	\$ 4,559.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-72	LIN FT	\$ 1,200.00	6.2	\$ 7,440.00		\$ -	6.2	\$ 7,440.00	\$ -	\$ -	\$ -	\$ -		\$ -
13	2506.503	CONST DRAINAGE STRUCTURE DESIGN SPEC 1	LIN FT	\$ 520.00	48.0	\$ 24,960.00		\$ -	20.0	\$ 10,400.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN 4007	LIN FT	\$ 530.00	281.8	\$ 149,354.00		\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	212.7	\$ 112,731.00
	2506.503	CONST DRAINAGE STRUCTURE DES 48-4020	LIN FT	\$ 730.00	215.8	\$ 157,534.00		\$ -	102.8	\$ 75,044.00	\$ -	\$ -	\$ -	\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DES 54-4020	LIN FT	\$ 760.00	164.9	\$ 125,32										



LOW BID ESTIMATE OF CONSTRUCTION COSTS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		CSAH 49 (HODGSON ROAD)									
							PARTICIPATING								NON-PARTICIPATING	
							RAMSEY COUNTY				CITY OF SHOREVIEW					
							S.A.P. 062-649-050				S.A.P. 167-020-024					
							ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		CITY OF SHOREVIEW	
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT									
	2511.507	RANDOM RIPRAP CLASS III	CU YD	\$ 130.00	28	\$ 3,640.00		\$ -	28.00	\$ 3,640.00		\$ -		\$ -		\$ -
2	2521.518	4" CONCRETE WALK	SQ FT	\$ 5.60	39939	\$ 223,658.40	14560	\$ 81,536.00		\$ -	11730	\$ 65,688.00		\$ -		\$ -
2	2521.518	6" CONCRETE WALK	SQ FT	\$ 15.50	11885	\$ 184,217.50	5291	\$ 82,010.50		\$ -	3106	\$ 48,143.00		\$ -		\$ -
2	2521.518	8" CONCRETE WALK	SQ FT	\$ 13.00	953	\$ 12,389.00		\$ -		\$ -		\$ -		\$ -		\$ -
3	2521.518	3" BITUMINOUS WALK	SQ FT	\$ 2.20	48946	\$ 107,681.20	38224	\$ 84,092.80		\$ -	444	\$ 976.80		\$ -		\$ -
	2521.602	DRILL & GROUT REINF BAR (EPOXY COATED)	EACH	\$ 18.00	1108	\$ 19,944.00	475	\$ 8,550.00		\$ -	261	\$ 4,698.00		\$ -		\$ -
15	2521.618	8" CONCRETE WALK SPECIAL	SQ FT	\$ 25.00	462	\$ 11,550.00		\$ -		\$ -		\$ -		\$ -		\$ -
1,17	2531.503	CONCRETE CURB & GUTTER DESIGN SPECIAL	LIN FT	\$ 34.00	590	\$ 20,060.00	590	\$ 20,060.00		\$ -		\$ -		\$ -		\$ -
1	2531.503	CONCRETE CURB & GUTTER DESIGN B612	LIN FT	\$ 28.50	261	\$ 7,438.50		\$ -		\$ -		\$ -		\$ -		\$ -
1	2531.503	CONCRETE CURB & GUTTER DESIGN B618	LIN FT	\$ 23.50	4973	\$ 116,865.50	1806	\$ 42,441.00		\$ -	79	\$ 1,856.50		\$ -		\$ -
1	2531.503	CONCRETE CURB & GUTTER DESIGN B624	LIN FT	\$ 26.00	17369	\$ 451,594.00	4395	\$ 114,270.00		\$ -	7855	\$ 204,230.00		\$ -		\$ -
1	2531.503	CONCRETE CURB & GUTTER DESIGN D418	LIN FT	\$ 40.50	643	\$ 26,041.50	552	\$ 22,356.00		\$ -		\$ -		\$ -		\$ -
1	2531.503	CONCRETE CURB & GUTTER DESIGN D424	LIN FT	\$ 33.50	446	\$ 14,941.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2531.503	CONCRETE CURB DESIGN V6	LIN FT	\$ 39.00	129	\$ 5,031.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2531.503	CONCRETE CURB DESIGN V10	LIN FT	\$ 41.00	44	\$ 1,804.00	44	\$ 1,804.00		\$ -		\$ -		\$ -		\$ -
	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$ 90.00	1581	\$ 142,290.00	1425	\$ 128,250.00		\$ -		\$ -		\$ -		\$ -
18	2531.604	7" CONCRETE VALLEY GUTTER	SQ YD	\$ 130.00	11	\$ 1,430.00	3	\$ 390.00		\$ -		\$ -		\$ -		\$ -
	2531.618	TRUNCATED DOMES	SQ FT	\$ 51.00	1788	\$ 91,188.00	714.00	\$ 36,414.00		\$ -	448.00	\$ 22,848.00		\$ -		\$ -
19	2540.601	RELOCATE BUS SHELTER	LUMP SUM	\$ 200.00	1	\$ 200.00		\$ -		\$ -		\$ -		\$ -		\$ -
7	2540.602	INSTALL BENCH	EACH	\$ 550.00	1	\$ 550.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2540.602	RELOCATE MAIL BOX SUPPORT	EACH	\$ 250.00	66	\$ 16,500.00	55	\$ 13,750.00		\$ -		\$ -		\$ -		\$ -
21	2545.501	LIGHTING SYSTEM "A"	LUMP SUM	\$ 151,000.00	1	\$ 151,000.00	0.5	\$ 75,500.00		\$ -		\$ -		\$ -		\$ -
22	2545.501	LIGHTING SYSTEM "B"	LUMP SUM	\$ 120,000.00	1	\$ 120,000.00	0.5	\$ 60,000.00		\$ -	0.5	\$ 60,000.00		\$ -		\$ -
	2554.502	GUIDE POST TYPE B	EACH	\$ 85.00	13	\$ 1,105.00		\$ -	12.00	\$ 1,020.00		\$ -		\$ -		\$ -
	2557.502	VEHICULAR GATE-SINGLE	EACH	\$ 3,500.00	2	\$ 7,000.00	2	\$ 7,000.00		\$ -		\$ -		\$ -		\$ -
	2557.502	METAL BRACE ASSEMBLY-CHAIN LINK FENCE	EACH	\$ 980.00	25	\$ 24,500.00	23	\$ 22,540.00		\$ -		\$ -		\$ -		\$ -
	2557.502	ELECTRICAL GROUND	EACH	\$ 300.00	6	\$ 1,800.00	5	\$ 1,500.00		\$ -		\$ -		\$ -		\$ -
	2557.503	WIRE FENCE DESIGN 48-9322	LIN FT	\$ 39.50	144	\$ 5,688.00	74	\$ 2,923.00		\$ -		\$ -		\$ -		\$ -
	2557.503	WIRE FENCE DESIGN 48V-9322	LIN FT	\$ 25.00	1100	\$ 27,500.00	1100	\$ 27,500.00		\$ -		\$ -		\$ -		\$ -
	2557.603	WOODEN FENCE	LIN FT	\$ 110.00	85	\$ 9,350.00	85	\$ 9,350.00		\$ -		\$ -		\$ -		\$ -
24	2563.601	TRAFFIC CONTROL	LUMP SUM	\$ 73,000.00	1.00	\$ 73,000.00	0.45	\$ 32,850.00	0.17	\$ 12,410.00	0.02	\$ 1,460.00		\$ -	0.14	\$ 10,220.00
25	2563.601	ALTERNATE PEDESTRIAN ROUTE	LUMP SUM	\$ 3,500.00	1	\$ 3,500.00	0.45	\$ 1,575.00	0.17	\$ 595.00	0.02	\$ 70.00		\$ -	0.14	\$ 490.00
	2563.613	PORTABLE CHANGEABLE MESSAGE SIGN	UNIT DAY	\$ 60.00	240	\$ 14,400.00	120	\$ 7,200.00		\$ -		\$ -		\$ -		\$ -
	2564.602	INSTALL SIGN	EACH	\$ 250.00	27	\$ 6,750.00	19	\$ 4,750.00		\$ -		\$ -		\$ -		\$ -
	2564.602	INSTALL SIGN TYPE SPECIAL	EACH	\$ 150.00	16	\$ 2,400.00		\$ -		\$ -		\$ -		\$ -	13	\$ 1,950.00
	2564.602	DELINEATOR / MARKER	EACH	\$ 95.00	13	\$ 1,235.00	6	\$ 570.00		\$ -		\$ -		\$ -		\$ -
	2564.618	SIGN	SQ FT	\$ 75.00	1012	\$ 75,900.00	563	\$ 42,225.00		\$ -		\$ -		\$ -		\$ -
	2565.501	EMERGENCY VEHICLE PREEMPTION SYSTEM	LUMP SUM	\$ 10,000.00	1	\$ 10,000.00	1	\$ 10,000.00		\$ -		\$ -		\$ -		\$ -
	2565.516	TRAFFIC CONTROL SIGNAL SYSTEM	SYSTEM	\$ 332,000.00	1	\$ 332,000.00	1	\$ 332,000.00		\$ -		\$ -		\$ -		\$ -
	2565.602	RED LED INDICATION	EACH	\$ 3,100.00	3	\$ 9,300.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2572.503	CLEAN ROOT CUTTING	LIN FT	\$ 6.00	100	\$ 600.00	64	\$ 384.00		\$ -		\$ -		\$ -		\$ -
	2572.510	PRUNE TREES	HOUR	\$ 230.00	100	\$ 23,000.00	64	\$ 14,720.00		\$ -		\$ -		\$ -		\$ -
	2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	\$ 5,000.00	1.00	\$ 5,000.00	0.45	\$ 2,250.00	0.17	\$ 850.00	0.02	\$ 100.00		\$ -	0.14	\$ 700.00
	2573.501	EROSION CONTROL SUPERVISOR	LUMP SUM	\$ 10,000.00	1	\$ 10,000.00	0	\$ 4,500.00	0.17	\$ 1,700.00	0.02	\$ 200.00		\$ -	0.14	\$ 1,400.00
	2573.502	STORM DRAIN INLET PROTECTION	EACH	\$ 160.00	168	\$ 26,880.00	113	\$ 18,080.00		\$ -		\$ -		\$ -		\$ -
	2573.503	SILT FENCE, TYPE MS	LIN FT	\$ 2.30	1097	\$ 2,523.10	416	\$ 956.80		\$ -		\$ -		\$ -		\$ -
	2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	LIN FT	\$ 2.30	3747	\$ 8,618.10	1218.00	\$ 2,801.40		\$ -		\$ -		\$ -		\$ -
	2574.505	SUBSOILING	ACRE	\$ 500.00	5.75	\$ 2,875.00	3.01	\$ 1,505.00		\$ -		\$ -		\$ -		\$ -
	2574.505	SOIL BED PREPARATION	ACRE	\$ 500.00	10.43	\$ 5,215.00	6.31	\$ 3,155.00		\$ -		\$ -		\$ -		\$ -
	2574.507	FILTER TOPSOIL BORROW	CU YD	\$ 59.00	820	\$ 48,380.00		\$ -	820.00	\$ 48,380.00		\$ -		\$ -		\$ -
9, 26	2574.508	FERTILIZER TYPE 1	POUND	\$ 0.70	1430	\$ 1,001.00	776	\$ 543.20		\$ -		\$ -		\$ -		\$ -
26	2574.508	FERTILIZER TYPE 3	POUND	\$ 0.80	3023	\$ 2,418.40	1191	\$ 952.80		\$ -		\$ -		\$ -		\$ -
26	2574.508	FERTILIZER TYPE 4	POUND	\$ 2.30	217	\$ 499.10	202	\$ 464.60		\$ -		\$ -		\$ -		\$ -
	2575.504	SODDING TYPE LAWN	SQ YD	\$ 8.10	15824	\$ 128,174.40	13247	\$ 107,300.70		\$ -		\$ -		\$ -		\$ -
	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SQ YD	\$ 1.40	8730	\$ 12,222.00	8129	\$ 11,380.60		\$ -		\$ -		\$ -		\$ -
	2575.504	ROLLED EROSION PREVENTION CATEGORY 15	SQ YD	\$ 1.60	30519	\$ 48,830.40	14682	\$ 23,491.20		\$ -		\$ -		\$ -		\$ -
	2575.504	ROLLED EROSION PREVENTION CATEGORY 25	SQ YD	\$ 1.80	595	\$ 1,071.00	253	\$ 455.40		\$ -		\$ -		\$ -		\$ -
	2575.504	ROLLED EROSION PREVENTION CATEGORY 72	SQ YD	\$ 50.00	14.00	\$ 700.00	14.00	\$ 700.00		\$ -		\$ -		\$ -		\$ -
26	2575.505	SEEDING	ACRE	\$ 560.00	14.30	\$ 8,008.00	7.76	\$ 4,345.60		\$ -		\$ -		\$ -		\$ -
26	2575.505	MOWING	ACRE	\$ 790.00	20.86	\$ 16,479.40	12.60	\$ 9,954.00		\$ -		\$ -		\$ -		\$ -
26	2575.505	WEED SPRAYING	ACRE	\$ 2,300.00	5.22	\$ 12,006.00	3.16	\$ 7,268.00		\$ -		\$ -		\$ -		\$ -
26	2575.505	RAPID STABILIZATION METHOD 2	ACRE	\$ 3,900.00	1.68	\$ 6,552.00	1.68	\$ 6,552.00		\$ -		\$ -		\$ -		\$ -
26	2575.506	WEED SPRAY MIXTURE	GALLON	\$ 260.00	2.61	\$ 678.60	1.58	\$ 410.80		\$ -		\$ -		\$ -		\$ -
9, 26	2575.508	SEED MIXTURE 21-111	POUND	\$ 4.00	715	\$ 2,860.00	353	\$ 1,412.00		\$ -		\$ -		\$ -		\$ -
26	2575.508	SEED MIXTURE 25-151	POUND	\$ 6.30	642	\$ 4,044.60	223	\$ 1,404.90		\$ -		\$ -		\$ -		\$ -
26	2575.508	SEED MIXTURE 33-261	POUND	\$ 26.50	30	\$ 795.00	15	\$ 397.50		\$ -						



LOW BID ESTIMATE OF CONSTRUCTION COSTS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		CSAH 49 (HODGSON ROAD)									
							PARTICIPATING								NON-PARTICIPATING	
							RAMSEY COUNTY				CITY OF SHOREVIEW				CITY OF SHOREVIEW	
							S.A.P. 062-649-050				S.A.P. 167-020-024					
					ROADWAY		STORM SEWER		ROADWAY		STORM SEWER					
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT					
28	2582.503	4" DOTTED LINE MULTI COMP GR IN (WR) CONT	LIN FT	\$ 13.00	77	\$ 1,001.00		\$ -		\$ -		\$ -		\$ -		\$ -
28	2582.518	PAVT MSSG PREF THERMO GR IN	SQ FT	\$ 26.00	944	\$ 24,544.00	897	\$ 23,322.00		\$ -		\$ -		\$ -		\$ -
28	2582.518	CROSSWALK PREF THERMO GR IN ESR	SQ FT	\$ 17.00	1900	\$ 32,300.00	1040	\$ 17,680.00		\$ -		\$ -		\$ -		\$ -
28	2582.518	CROSSWALK PREF THERMO GR IN CONT ESR	SQ FT	\$ 24.50	480	\$ 11,760.00	480	\$ 11,760.00		\$ -		\$ -		\$ -		\$ -
SUBTOTAL					\$	15,756,850.20	\$	8,028,849.68	\$	2,001,387.20	\$	500,333.79	\$	-	\$	2,028,798.90
CONTINGENCY					\$	-										
TOTAL					\$	15,756,850.20	\$	8,028,849.68	\$	2,001,387.20	\$	500,333.79	\$	-	\$	2,028,798.90

NOTES

- 1

RAMSEY COUNTY PAYS 25% OF NEW CURB & GUTTER AND 100% OF REPLACED CURB & GUTTER
- 2

RAMSEY COUNTY PAYS 50% OF NEW SIDEWALK AND 100% OF REPLACED SIDEWALK
- 3

RAMSEY COUNTY PAYS 50% OF NEW TRAIL AND 100% OF REPLACED TRAIL
- 4

FOR REMOVAL OF EXISTING SIGNAL SYSTEM AT HODGSON / GRAMSIE / RICE INTERSECTION
- 5

FOR REMOVAL OF EXISTING SIGNAL SYSTEM AT HODGSON / SNAIL LAKE INTERSECTION
- 6

SALVAGE AS INTEGRAL UNIT COMPLETE. SEE SPECIAL PROVISIONS.
- 7

FOR SALVAGE / INSTALL OF EXISTING BUS STOP BENCH AT RICE / SUZANNE INTERSECTION
- 8

FOR REMOVAL OF EXISTING SURVEY MONUMENT AT RICE / COUNTY ROAD F INTERSECTION. SEE SPECIAL PROVISIONS.
- 9

PAY ITEM TO BE USED AT THE DISCRETION OF THE ENGINEER
- 10

SEE SPECIAL PROVISIONS FOR ITEM REQUIREMENTS
- 11

FOR ABANDONMENT OF EXISTING PIPES WHERE OVERGROWTH OR ENCROACHMENT PREVENT COMPLETE REMOVAL
- 12

TO BE DIRECTLY BURIED WITHOUT ACCESS MANHOLE. SEE SPECIAL PROVISIONS.
- 13

SEE DRAINAGE TABULATION FOR ADDITIONAL INFORMATION
- 14

FOR STORMTRAP SYSTEM. SEE CONTOUR PLANS AND SPECIAL PROVISIONS.
- 15

FOR VISUAL DIFFERENTIATION OF TRAIL AND SLOPE PAVING AT MARTIN WAY HAMMERHEAD
- 16

IN-SITU SAND SUBBASE MAY MEET MNDOT SPECIFICATIONS AND BE ELIGIBLE FOR REUSE. CONTRACT QUANTITIES ASSUME FULL IMPORT OF VIRGIN MATERIAL. COSTS FOR TESTING TO CONFIRM GRADATION AND SEEK APPROVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 17

FOR SHOREVIEW SURMOUNTABLE CURB PER STANDARD PLATE STR-1
- 18

FOR SHOREVIEW CONCRETE VALLEY GUTTER PER STANDARD PLATE STR-11
- 19

FOR RELOCATION OF EXISTING BUS SHELTER AT HODGSON / GRAMSIE INTERSECTION TO NEW SOUTHBOUND BUS BAY ON HODGSON BETWEEN VIRGINIA AND GRAMSIE
- 20

FOR REMOVAL OF EXISTING BIKE LOCKERS AT HODGSON / GRAMSIE INTERSECTION
- 21

FOR PROPOSED LIGHTING SYSTEM AT ROUNDABOUT
- 22

FOR PROPOSED LIGHTING SYSTEM ALONG HODGSON ROAD. INCLUDES INSTALLATION OF SALVAGED LIGHTING UNITS.
- 23

SEE WATERMAIN FITTINGS TABULATION FOR ASSUMED DIP FITTING UNIT WEIGHTS. MEGALUGS ARE INCIDENTAL TO THIS PAY ITEM. PVC FITTINGS ARE INCIDENTAL TO THE TRUNK WATERMAIN PAY ITEM.
- 24

INCLUDES ALL ITEMS FOR TRAFFIC CONTROL DETOURS AND STAGES AND ANY OTHER ITEMS DEEMED NECESSARY FOR TRAFFIC CONTROL BY THE ENGINEER UNLESS OTHER PAY ITEMS ARE INCLUDED IN THE PLAN
- 25

FOR MAINTENANCE OF PEDESTRIAN / BIKE ROUTES DURING CONSTRUCTION ALONG SOUTH SIDE OF GRAMSIE, EAST SIDE OF RICE AND SOUTH SIDE OF SNAIL LAKE
- 26

SEE CONSTRUCTION / SOILS NOTES FOR SEEDING MATERIALS, LOCATIONS AND APPLICATION RATES
- 27

FOR TEMPORARY PAVEMENT MARKING
- 28

FOR PERMANENT PAVEMENT MARKING
- 29

BITUMINOUS QUANTITIES BASED ON UNIT WEIGHT OF 113 POUNDS PER SQUARE YARD PER INCH
- 30

SEE EARTHWORK SUMMARY FOR PAYMENT DETAILS AT POND D / STORMTRAP SYSTEM
- 31

CORRESPONDING INSTALLATION INCLUDED IN PROPOSED LIGHTING SYSTEM B. SEE SPECIAL PROVISIONS.
- 32

ITEM INCLUDES REMOVAL OF EXISTING CASTING ASSEMBLY
- 33

NO FOUNDATIONS ANTICIPATED
- 34

INCLUDES REMOVAL OF INLINE AIR RELIEF VALVES AND MANHOLES
- (P)

DENOTES PLAN QUANTITY



LOW BID ESTIMATE OF CONSTRUCTION COSTS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE													
							CSAH 54 (RICE STREET)								NON-PARTICIPATING					
							PARTICIPATING													
							RAMSEY COUNTY				CITY OF SHOREVIEW				CITY OF SHOREVIEW		CITY OF VADNAIS HEIGHTS			
							S.A.P. 062-654-005				S.A.P. 167-020-023									
ROADWAY		STORM SEWER		ROADWAY		STORM SEWER														
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT							
	2021.501	MOBILIZATION	LUMP SUM	\$	760,000.00	1.00	\$	760,000.00	0.09	\$	68,400.00	0.02	\$	15,200.00	0.01	\$	7,600.00	0.01	\$	7,600.00
	2031.502	FIELD OFFICE TYPE D-MODIFIED	EACH	\$	50,000.00	1.00	\$	50,000.00	0.11	\$	5,500.00		\$	-	0.01	\$	500.00	0.01	\$	500.00
	2101.502	CLEARING	EACH	\$	570.00	81	\$	46,170.00	10	\$	5,700.00		\$	-		\$	-		\$	-
	2101.502	GRUBBING	EACH	\$	100.00	81	\$	8,100.00	10	\$	1,000.00		\$	-		\$	-		\$	-
	2101.505	CLEARING	ACRE	\$	5,500.00	1.01	\$	5,555.00	0.12	\$	660.00		\$	-		\$	-		\$	-
	2101.505	GRUBBING	ACRE	\$	1,500.00	1.01	\$	1,515.00	0.12	\$	180.00		\$	-		\$	-		\$	-
	2104.502	REMOVE TEMPORARY BYPASS	EACH	\$	1,000.00	2	\$	2,000.00	2	\$	2,000.00		\$	-		\$	-		\$	-
20	2104.502	REMOVE MISCELLANEOUS STRUCTURES	EACH	\$	390.00	2	\$	780.00		\$	-		\$	-		\$	-		\$	-
32	2104.502	REMOVE MANHOLE	EACH	\$	520.00	23	\$	11,960.00		\$	-		\$	-		\$	-		\$	-
	2104.502	REMOVE GATE VALVE & BOX	EACH	\$	390.00	43	\$	16,770.00		\$	-		\$	-		\$	-	1	\$	520.00
	2104.502	REMOVE CURB STOP & BOX	EACH	\$	260.00	67	\$	17,420.00		\$	-		\$	-		\$	-	7	\$	2,730.00
	2104.502	REMOVE HYDRANT	EACH	\$	260.00	15	\$	3,900.00	6	\$	1,560.00		\$	-		\$	-	2	\$	520.00
	2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$	490.00	38	\$	18,620.00	10	\$	4,900.00		\$	-		\$	-		\$	-
	2104.502	REMOVE LIGHT POLE	EACH	\$	270.00	6	\$	1,620.00	2	\$	540.00		\$	-		\$	-		\$	-
	2104.502	REMOVE SIGNAL FOUNDATION	EACH	\$	1,300.00	4	\$	5,200.00	4	\$	5,200.00		\$	-		\$	-		\$	-
	2104.502	REMOVE DELINEATOR / MARKER	EACH	\$	25.00	1	\$	25.00	1	\$	25.00		\$	-		\$	-		\$	-
	2104.502	REMOVE SIGN	EACH	\$	25.00	84	\$	2,100.00	31	\$	775.00		\$	-		\$	-		\$	-
	2104.502	REMOVE SIGN TYPE SPECIAL	EACH	\$	25.00	2	\$	50.00		\$	-		\$	-		\$	-		\$	-
4	2104.502	REMOVE SIGNAL SYSTEM A	EACH	\$	6,700.00	1.00	\$	6,700.00	0.25	\$	1,675.00		\$	-		\$	-		\$	-
5	2104.502	REMOVE SIGNAL SYSTEM B	EACH	\$	4,500.00	1	\$	4,500.00		\$	-		\$	-		\$	-		\$	-
	2104.502	REMOVE LIGHT FOUNDATION	EACH	\$	310.00	11	\$	3,410.00		\$	-		\$	-		\$	-		\$	-
6,31	2104.502	SALVAGE LIGHTING UNIT	EACH	\$	270.00	8	\$	2,160.00		\$	-		\$	-		\$	-		\$	-
	2104.502	SALVAGE SIGN	EACH	\$	25.00	27	\$	675.00	6	\$	150.00		\$	-		\$	-		\$	-
	2104.502	SALVAGE SIGN TYPE SPECIAL	EACH	\$	25.00	16	\$	400.00		\$	-		\$	-		\$	-		\$	-
7	2104.502	SALVAGE BENCH	EACH	\$	250.00	1	\$	250.00	1	\$	250.00		\$	-		\$	-		\$	-
	2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	\$	4.90	262	\$	1,283.80	40	\$	196.00		\$	-		\$	-		\$	-
	2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	LIN FT	\$	1.90	2367	\$	4,497.30	307	\$	583.30		\$	-		\$	-		\$	-
	2104.503	REMOVE PIPE DRAIN	LIN FT	\$	1.50	1433	\$	2,149.50		\$	-		\$	-		\$	-		\$	-
	2104.503	REMOVE PIPE CULVERTS	LIN FT	\$	18.00	836	\$	15,048.00		\$	-		\$	-		\$	-		\$	-
34	2104.503	REMOVE WATER MAIN	LIN FT	\$	13.00	8559	\$	111,267.00		\$	-		\$	-		\$	-	843	\$	10,959.00
	2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	\$	18.00	2984	\$	53,712.00	950	\$	17,100.00		\$	-		\$	-		\$	-
	2104.503	REMOVE SEWER PIPE (SANITARY)	LIN FT	\$	13.00	4644	\$	60,372.00		\$	-		\$	-		\$	-		\$	-
	2104.503	REMOVE CURB & GUTTER	LIN FT	\$	2.90	9944	\$	28,837.60	4565	\$	13,238.50		\$	-		\$	-		\$	-
	2104.503	REMOVE CHAIN LINK FENCE	LIN FT	\$	10.00	140	\$	1,400.00	70	\$	700.00		\$	-		\$	-		\$	-
	2104.503	REMOVE WOOD FENCE	LIN FT	\$	10.00	85	\$	850.00		\$	-		\$	-		\$	-		\$	-
	2104.503	REMOVE STEEL CASING	LIN FT	\$	11.00	372	\$	4,092.00		\$	-		\$	-		\$	-		\$	-
	2104.503	REMOVE SANITARY SERVICE PIPE	LIN FT	\$	4.00	2670	\$	10,680.00		\$	-		\$	-		\$	-		\$	-
	2104.503	REMOVE WATER SERVICE PIPE	LIN FT	\$	7.80	3046	\$	23,758.80		\$	-		\$	-		\$	-	75	\$	585.00
	2104.504	REMOVE CONCRETE MEDIAN	SQ YD	\$	5.00	418	\$	2,090.00	418	\$	2,090.00		\$	-		\$	-		\$	-
	2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$	8.00	433	\$	3,464.00	72	\$	576.00		\$	-		\$	-		\$	-
	2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	\$	9.00	6604	\$	59,436.00	6604	\$	59,436.00		\$	-		\$	-		\$	-
	2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	SQ YD	\$	4.00	4184	\$	16,736.00	298	\$	1,192.00		\$	-		\$	-		\$	-
	2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	\$	6.00	51666	\$	309,996.00	11800	\$	70,800.00		\$	-		\$	-		\$	-
	2104.518	REMOVE BITUMINOUS WALK	SQ FT	\$	0.30	12141	\$	3,642.30	6830	\$	2,049.00		\$	-		\$	-		\$	-
	2104.518	REMOVE CONCRETE WALK	SQ FT	\$	0.40	5243	\$	2,097.20	1717	\$	686.80		\$	-		\$	-		\$	-
8	2104.602	REMOVE SURVEY MONUMENT	EACH	\$	1,200.00	1	\$	1,200.00	1	\$	1,200.00		\$	-		\$	-		\$	-
2,3	2106.507	EXCAVATION - COMMON	CU YD	\$	15.00	48818	\$	732,270.00	6239	\$	93,585.00		\$	-	74	\$	1,110.00		\$	-
2,3	2106.507	EXCAVATION - SUBGRADE	CU YD	\$	0.01	29155	\$	291.55	4435	\$	44.35		\$	-	24	\$	0.24		\$	-
30	2106.507	EXCAVATION - CHANNEL AND POND	CU YD	\$	4.00	40494	\$	161,976.00		\$	-		\$	-		\$	-		\$	-
2,3,16	2106.507	SELECT GRANULAR EMBANKMENT (CV)	CU YD	\$	0.01	35259	\$	352.59	4829	\$	48.29		\$	-	24	\$	0.24		\$	-
2,3	2106.507	COMMON EMBANKMENT (CV)	CU YD	\$	8.00	23172	\$	185,376.00	4008	\$	32,064.00		\$	-	72	\$	576.00		\$	-
9	2106.507	STABILIZING AGGREGATE (CV)	CU YD	\$	0.01	100	\$	1.00	23	\$	0.23		\$	-		\$	-		\$	-
	2106.602	CONSTRUCT TEMPORARY BYPASS	EACH	\$	4,000.00	2	\$	8,000.00	2	\$	8,000.00		\$	-		\$	-		\$	-
	2112.519	SUBGRADE PREPARATION	ROAD STA	\$	100.00	100	\$	10,000.00	23	\$	2,300.00		\$	-		\$	-		\$	-
9	2123.510	COMMON LABORERS	HOURL	\$	0.01	100	\$	1.00	23	\$	0.23		\$	-		\$	-		\$	-
9	2123.610	TRACTOR MOUNTED BACKHOE	HOURL	\$	0.01	100	\$	1.00	23	\$	0.23		\$	-		\$	-		\$	-
9	2123.610	STREET SWEEPER (WITH VACUUM PICKUP)	HOURL	\$	160.00	100	\$	16,000.00	23	\$	3,680.00		\$	-		\$	-		\$	-
2,3	2211.507	AGGREGATE BASE (CV) CLASS 5	CU YD	\$	35.00	8296.05	\$	290,361.75	1554.00	\$	54,390.00		\$	-	91.00	\$	3,185.00		\$	-
29	2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$	230.00	260	\$	59,800.00		\$	-		\$	-		\$	-		\$	-
	2232.504	MILL BITUMINOUS SURFACE (2.0")	SQ YD	\$	1.80	3373	\$	6,071.40		\$	-		\$	-		\$	-		\$	-
	2301.502	DOWEL BAR	EACH	\$	22.50	3644	\$	81,990.00	2332	\$	52,470.00		\$	-	746	\$	16,785.00		\$	-
	2301.504	CONCRETE PAVEMENT 5"	SQ YD	\$	62.50	397	\$	24,812.50		\$	-		\$	-		\$	-		\$	-
	2301.504	CONCRETE PAVEMENT 8.0"	SQ YD	\$	88.50	2189	\$	193,726.50	1651	\$	146,113.50		\$	-	538	\$	47,613.00		\$	-
	2301.508	SUPPLEMENTAL PAVEMENT REINFORCEMENT	POUND	\$	4.00	2425	\$	9,700.00	1647	\$	6									



LOW BID ESTIMATE OF CONSTRUCTION COSTS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE											
							CSAH 54 (RICE STREET)								NON-PARTICIPATING			
							PARTICIPATING											
							RAMSEY COUNTY				CITY OF SHOREVIEW				CITY OF SHOREVIEW		CITY OF VADNAIS HEIGHTS	
							S.A.P. 062-654-005				S.A.P. 167-020-023							
ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		QUANTITY	AMOUNT	QUANTITY	AMOUNT							
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT											
	2503.503	21" RC PIPE SEWER DES 3006	LIN FT	\$ 78.50	838	\$ 65,783.00		\$ -	115	\$ 9,027.50		\$ -		\$ -		\$ -		\$ -
	2503.503	21" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 87.50	351	\$ 30,712.50		\$ -	132	\$ 11,550.00		\$ -		\$ -		\$ -		\$ -
	2503.503	24" RC PIPE SEWER DES 3006	LIN FT	\$ 93.00	855	\$ 79,515.00		\$ -	231	\$ 21,483.00		\$ -		\$ -		\$ -		\$ -
	2503.503	24" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 110.00	62	\$ 6,820.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	27" RC PIPE SEWER DES 3006	LIN FT	\$ 120.00	1363	\$ 163,560.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	27" RC PIPE SEWER DES 3006 CL III	LIN FT	\$ 140.00	118	\$ 16,520.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	27" RC PIPE SEWER DES 3006 CL IV	LIN FT	\$ 160.00	280	\$ 44,800.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	30" RC PIPE SEWER DES 3006	LIN FT	\$ 130.00	845	\$ 109,850.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	30" RC PIPE SEWER DES 3006 CL III	LIN FT	\$ 140.00	617	\$ 86,380.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	30" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 210.00	163	\$ 34,230.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	36" RC PIPE SEWER DES 3006	LIN FT	\$ 180.00	356	\$ 64,080.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.503	36" RC PIPE SEWER DES 3006 CL V	LIN FT	\$ 260.00	192	\$ 49,920.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
10	2503.601	TELEWISE PROJECT SANITARY SEWER	LUMP SUM	\$ 9,500.00	1	\$ 9,500.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
9	2503.602	CONSTRUCT BULKHEAD	EACH	\$ 230.00	10	\$ 2,300.00	2	\$ 460.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.602	CONNECT TO EXISTING SANITARY SEWER	EACH	\$ 990.00	8	\$ 7,920.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.602	CONNECT TO EXISTING MANHOLES (SAN)	EACH	\$ 2,900.00	1	\$ 2,900.00		\$ -		\$ -		\$ -		\$ -		\$ -	1	\$ 2,900.00
	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	\$ 840.00	6	\$ 5,040.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.602	CONNECT TO EXISTING FORCE MAIN	EACH	\$ 3,100.00	1	\$ 3,100.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.602	CONNECT TO EXISTING SANITARY SEWER SER	EACH	\$ 300.00	65	\$ 19,500.00		\$ -		\$ -		\$ -		\$ -		\$ -	1	\$ 300.00
	2503.602	10"x4" PVC WYE	EACH	\$ 300.00	63	\$ 18,900.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
9,11	2503.603	PLUG FILL & ABANDON PIPE SEWER	LIN FT	\$ 16.00	100	\$ 1,600.00	23	\$ 368.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.603	8" PVC PIPE SEWER	LIN FT	\$ 43.50	217	\$ 9,439.50		\$ -		\$ -		\$ -		\$ -		\$ -	217	\$ 9,439.50
	2503.603	10" PVC PIPE SEWER	LIN FT	\$ 48.00	4802.00	\$ 230,496.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2503.603	4" PVC SANITARY SERVICE PIPE	LIN FT	\$ 15.00	2388	\$ 35,820.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.601	TEMPORARY WATER SERVICE	LUMP SUM	\$ 100,000.00	1	\$ 100,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.601	WATER MAIN CONSTRUCTION A	LUMP SUM	\$ 0.01	1	\$ 0.01		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.602	CONNECT TO EXISTING WATER MAIN	EACH	\$ 1,700.00	23	\$ 39,100.00		\$ -		\$ -		\$ -		\$ -	1	\$ 1,700.00	3	\$ 5,100.00
	2504.602	CONNECT TO EXISTING WATER SERVICE	EACH	\$ 640.00	66	\$ 42,240.00		\$ -		\$ -		\$ -		\$ -	1	\$ 640.00		\$ -
	2504.602	HYDRANT	EACH	\$ 6,400.00	14	\$ 89,600.00		\$ -		\$ -		\$ -		\$ -	2	\$ 12,800.00	4	\$ 25,600.00
	2504.602	1" CORPORATION STOP	EACH	\$ 550.00	66	\$ 36,300.00		\$ -		\$ -		\$ -		\$ -	1	\$ 550.00		\$ -
12	2504.602	12" BUTTERFLY VALVE & BOX	EACH	\$ 5,600.00	1	\$ 5,600.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
12	2504.602	16" BUTTERFLY VALVE & BOX	EACH	\$ 9,100.00	16	\$ 145,600.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.602	6" GATE VALVE & BOX	EACH	\$ 3,200.00	29	\$ 92,800.00		\$ -		\$ -		\$ -		\$ -	3	\$ 27,300.00		\$ -
	2504.602	8" GATE VALVE & BOX	EACH	\$ 4,000.00	3	\$ 12,000.00		\$ -		\$ -		\$ -		\$ -	2	\$ 6,400.00	4	\$ 12,800.00
	2504.602	8"x6" WET TAP	EACH	\$ 5,500.00	1	\$ 5,500.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.602	1" CURB STOP & BOX	EACH	\$ 660.00	66	\$ 43,560.00		\$ -		\$ -		\$ -		\$ -		\$ -	1	\$ 5,500.00
	2504.602	GATE VALVE BOLT REPLACEMENT	EACH	\$ 1,500.00	2	\$ 3,000.00		\$ -		\$ -		\$ -		\$ -	1	\$ 660.00		\$ -
	2504.603	1" TYPE PE PIPE	LIN FT	\$ 23.00	2796	\$ 64,308.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.603	6" WATERMAIN DUCTILE IRON CL 53	LIN FT	\$ 84.50	71	\$ 5,999.50		\$ -		\$ -		\$ -		\$ -	50	\$ 1,150.00		\$ -
	2504.603	12" WATERMAIN DUCTILE IRON CL 53	LIN FT	\$ 140.00	31	\$ 4,340.00		\$ -		\$ -		\$ -		\$ -		\$ -	50	\$ 4,225.00
	2504.603	6" PVC WATERMAIN	LIN FT	\$ 49.00	1606	\$ 78,694.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.603	8" PVC WATERMAIN	LIN FT	\$ 73.50	145	\$ 10,657.50		\$ -		\$ -		\$ -		\$ -	28	\$ 1,372.00		\$ -
	2504.603	16" PVC WATERMAIN	LIN FT	\$ 130.00	6656	\$ 865,280.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2504.604	4" POLYSTYRENE INSULATION	SQ YD	\$ 63.50	466.2	\$ 29,603.70	319.0	\$ 20,256.50		\$ -		\$ -		\$ -	1045	\$ 135,850.00		\$ -
23	2504.608	WATERMAIN FITTINGS	POUND	\$ 8.00	1595	\$ 12,760.00		\$ -		\$ -		\$ -		\$ -	14.0	\$ 889.00		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 2	EACH	\$ 8,100.00	3	\$ 24,300.00		\$ -		\$ -		\$ -		\$ -		\$ -	75	\$ 600.00
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 3	EACH	\$ 2,300.00	1	\$ 2,300.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 4	EACH	\$ 6,600.00	1	\$ 6,600.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 5	EACH	\$ 7,500.00	1	\$ 7,500.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 6	EACH	\$ 5,300.00	1	\$ 5,300.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
13	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 7	EACH	\$ 6,100.00	1	\$ 6,100.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 9	EACH	\$ 200.00	1	\$ 200.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2506.502	CASTING ASSEMBLY	EACH	\$ 900.00	237	\$ 213,300.00		\$ -	46	\$ 41,400.00		\$ -		\$ -		\$ -	4	\$ 3,600.00
	2506.502	ADJUST FRAME & RING CASTING	EACH	\$ 570.00	27	\$ 15,390.00	2	\$ 1,140.00		\$ -		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN F	LIN FT	\$ 440.00	137.7	\$ 60,588.00		\$ -	26.6	\$ 11,704.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN G	LIN FT	\$ 460.00	79.7	\$ 36,662.00		\$ -	44.1	\$ 20,286.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN H	LIN FT	\$ 340.00	117.7	\$ 40,018.00		\$ -	7.4	\$ 2,516.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN N	LIN FT	\$ 360.00	59.2	\$ 21,312.00		\$ -	11.1	\$ 3,996.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-48	LIN FT	\$ 510.00	16.3	\$ 8,313.00		\$ -	4.0	\$ 2,040.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-60	LIN FT	\$ 970.00	4.7	\$ 4,559.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN SD-72	LIN FT	\$ 1,200.00	6.2	\$ 7,440.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -
13	2506.503	CONST DRAINAGE STRUCTURE DESIGN SPEC 1	LIN FT	\$ 520.00	48.0	\$ 24,960.00		\$ -	8.0	\$ 4,160.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST DRAINAGE STRUCTURE DESIGN 4007	LIN FT	\$ 530.00	281.8	\$ 149,354.00		\$ -		\$ -		\$ -		\$ -		\$ -	14.4	\$ 7,632.00
	2506.503	CONST DRAINAGE STRUCTURE DES 48-4020	LIN FT	\$ 730.00	215.8	\$ 157,534.00		\$ -	94.4	\$ 68,912.00		\$ -		\$ -		\$ -		\$ -
	2506.503	CONST																



LOW BID ESTIMATE OF CONSTRUCTION COSTS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE											
							CSAH 54 (RICE STREET)											
							PARTICIPATING				NON-PARTICIPATING							
							RAMSEY COUNTY				CITY OF SHOREVIEW				CITY OF SHOREVIEW		CITY OF VADNAIS HEIGHTS	
							S.A.P. 062-654-005				S.A.P. 167-020-023							
ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		QUANTITY	AMOUNT	QUANTITY	AMOUNT							
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT											
	2511.507	RANDOM RIPRAP CLASS III	CU YD	\$ 130.00	28	\$ 3,640.00		\$ -		\$ -		\$ -		\$ -		\$ -		
2	2521.518	4" CONCRETE WALK	SQ FT	\$ 5.60	39939	\$ 223,658.40	9444	\$ 52,886.40		\$ -	1009	\$ 5,650.40		\$ -		\$ -		
2	2521.518	6" CONCRETE WALK	SQ FT	\$ 15.50	11885	\$ 184,217.50	2084	\$ 32,302.00		\$ -	489.00	\$ 7,579.50		\$ -		\$ -		
2	2521.518	8" CONCRETE WALK	SQ FT	\$ 13.00	953	\$ 12,389.00	538	\$ 6,994.00		\$ -		\$ -		\$ -	141.00	\$ 2,185.50		
3	2521.518	3" BITUMINOUS WALK	SQ FT	\$ 2.20	48946	\$ 107,681.20	7977	\$ 17,549.40		\$ -	987	\$ 2,171.40		\$ -		\$ -		
	2521.602	DRILL & GROUT REINF BAR (EPOXY COATED)	EACH	\$ 18.00	1108	\$ 19,944.00	228	\$ 4,104.00		\$ -	50	\$ 900.00		\$ -		\$ -		
15	2521.618	8" CONCRETE WALK SPECIAL	SQ FT	\$ 25.00	462	\$ 11,550.00	462	\$ 11,550.00		\$ -		\$ -		\$ -	10	\$ 180.00		
1,17	2531.503	CONCRETE CURB & GUTTER DESIGN SPECIAL	LIN FT	\$ 34.00	590	\$ 20,060.00		\$ -		\$ -		\$ -		\$ -		\$ -		
1	2531.503	CONCRETE CURB & GUTTER DESIGN B612	LIN FT	\$ 28.50	261	\$ 7,438.50	195	\$ 5,557.50		\$ -	66	\$ 1,881.00		\$ -		\$ -		
1	2531.503	CONCRETE CURB & GUTTER DESIGN B618	LIN FT	\$ 23.50	4973	\$ 116,865.50	763	\$ 17,930.50		\$ -	35	\$ 822.50		\$ -	222	\$ 5,217.00		
1	2531.503	CONCRETE CURB & GUTTER DESIGN B624	LIN FT	\$ 26.00	17369	\$ 451,594.00	4567	\$ 118,742.00		\$ -	353	\$ 9,178.00		\$ -	174	\$ 4,524.00		
1	2531.503	CONCRETE CURB & GUTTER DESIGN D418	LIN FT	\$ 40.50	643	\$ 26,041.50	91	\$ 3,685.50		\$ -		\$ -		\$ -		\$ -		
1	2531.503	CONCRETE CURB & GUTTER DESIGN D424	LIN FT	\$ 33.50	446	\$ 14,941.00	358	\$ 11,993.00		\$ -	88	\$ 2,948.00		\$ -		\$ -		
	2531.503	CONCRETE CURB DESIGN V6	LIN FT	\$ 39.00	129	\$ 5,031.00	99	\$ 3,861.00		\$ -	30.00	\$ 1,170.00		\$ -		\$ -		
	2531.503	CONCRETE CURB DESIGN V10	LIN FT	\$ 41.00	44	\$ 1,804.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$ 90.00	1581	\$ 142,290.00	48	\$ 4,320.00		\$ -		\$ -		\$ -		\$ -		
18	2531.604	7" CONCRETE VALLEY GUTTER	SQ YD	\$ 130.00	11	\$ 1,430.00	5	\$ 650.00		\$ -		\$ -		\$ -		\$ -		
	2531.618	TRUNCATED DOMES	SQ FT	\$ 51.00	1788	\$ 91,188.00	390	\$ 19,890.00		\$ -	89.00	\$ 4,539.00		\$ -	14.00	\$ 714.00		
19	2540.601	RELOCATE BUS SHELTER	LUMP SUM	\$ 200.00	1	\$ 200.00	1	\$ 200.00		\$ -		\$ -		\$ -		\$ -		
7	2540.602	INSTALL BENCH	EACH	\$ 550.00	1	\$ 550.00	1	\$ 550.00		\$ -		\$ -		\$ -		\$ -		
	2540.602	RELOCATE MAIL BOX SUPPORT	EACH	\$ 250.00	66	\$ 16,500.00	4	\$ 1,000.00		\$ -		\$ -		\$ -		\$ -		
21	2545.501	LIGHTING SYSTEM "A"	LUMP SUM	\$ 151,000.00	1	\$ 151,000.00	0.25	\$ 37,750.00		\$ -		\$ -		\$ -		\$ -		
22	2545.501	LIGHTING SYSTEM "B"	LUMP SUM	\$ 120,000.00	1	\$ 120,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2554.502	GUIDE POST TYPE B	EACH	\$ 85.00	13	\$ 1,105.00		\$ -	1.00	\$ 85.00		\$ -		\$ -		\$ -		
	2557.502	VEHICULAR GATE-SINGLE	EACH	\$ 3,500.00	2	\$ 7,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2557.502	METAL BRACE ASSEMBLY-CHAIN LINK FENCE	EACH	\$ 980.00	25	\$ 24,500.00	2	\$ 1,960.00		\$ -		\$ -		\$ -		\$ -		
	2557.502	ELECTRICAL GROUND	EACH	\$ 300.00	6	\$ 1,800.00	1	\$ 300.00		\$ -		\$ -		\$ -		\$ -		
	2557.503	WIRE FENCE DESIGN 48-9322	LIN FT	\$ 39.50	144	\$ 5,688.00	70	\$ 2,765.00		\$ -		\$ -		\$ -		\$ -		
	2557.503	WIRE FENCE DESIGN 48V-9322	LIN FT	\$ 25.00	1100	\$ 27,500.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2557.603	WOODEN FENCE	LIN FT	\$ 110.00	85	\$ 9,350.00		\$ -		\$ -		\$ -		\$ -		\$ -		
24	2563.601	TRAFFIC CONTROL	LUMP SUM	\$ 73,000.00	1.00	\$ 73,000.00	0.09	\$ 6,570.00	0.02	\$ 1,460.00	0.01	\$ 730.00		\$ -	0.01	\$ 730.00		
25	2563.601	ALTERNATE PEDESTRIAN ROUTE	LUMP SUM	\$ 3,500.00	1	\$ 3,500.00	0.09	\$ 315.00	0.02	\$ 70.00	0.01	\$ 35.00		\$ -	0.01	\$ 35.00		
	2563.613	PORTABLE CHANGEABLE MESSAGE SIGN	UNIT DAY	\$ 60.00	240	\$ 14,400.00	120	\$ 7,200.00		\$ -		\$ -		\$ -		\$ -		
	2564.602	INSTALL SIGN	EACH	\$ 250.00	27	\$ 6,750.00	6	\$ 1,500.00		\$ -		\$ -		\$ -		\$ -		
	2564.602	INSTALL SIGN TYPE SPECIAL	EACH	\$ 150.00	16	\$ 2,400.00		\$ -		\$ -		\$ -		\$ -	3	\$ 450.00		
	2564.602	DELINEATOR / MARKER	EACH	\$ 95.00	13	\$ 1,235.00	7	\$ 665.00		\$ -		\$ -		\$ -		\$ -		
	2564.618	SIGN	SQ FT	\$ 75.00	1012	\$ 75,900.00	338	\$ 25,350.00		\$ -		\$ -		\$ -		\$ -		
	2565.501	EMERGENCY VEHICLE PREEMPTION SYSTEM	LUMP SUM	\$ 10,000.00	1	\$ 10,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2565.516	TRAFFIC CONTROL SIGNAL SYSTEM	SYSTEM	\$ 332,000.00	1	\$ 332,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		
	2565.602	RED LED INDICATION	EACH	\$ 3,100.00	3	\$ 9,300.00	2	\$ 6,200.00		\$ -		\$ -		\$ -		\$ -		
	2572.503	CLEAN ROOT CUTTING	LIN FT	\$ 6.00	100	\$ 600.00	23	\$ 138.00		\$ -		\$ -		\$ -		\$ -		
	2572.510	PRUNE TREES	HOUR	\$ 230.00	100	\$ 23,000.00	23	\$ 5,290.00		\$ -		\$ -		\$ -		\$ -		
	2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	\$ 5,000.00	1.00	\$ 5,000.00	0.09	\$ 450.00	0.02	\$ 100.00	0.01	\$ 50.00		\$ -	0.01	\$ 50.00		
	2573.501	EROSION CONTROL SUPERVISOR	LUMP SUM	\$ 10,000.00	1	\$ 10,000.00	0	\$ 900.00	0.02	\$ 200.00	0.01	\$ 100.00		\$ -	0.01	\$ 100.00		
	2573.502	STORM DRAIN INLET PROTECTION	EACH	\$ 160.00	168	\$ 26,880.00	43	\$ 6,880.00		\$ -		\$ -		\$ -		\$ -		
	2573.503	SILT FENCE, TYPE MS	LIN FT	\$ 2.30	1097	\$ 2,523.10	88	\$ 202.40		\$ -		\$ -		\$ -		\$ -		
	2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	LIN FT	\$ 2.30	3747	\$ 8,618.10	1753.00	\$ 4,031.90		\$ -		\$ -		\$ -		\$ -		
	2574.505	SUBSOILING	ACRE	\$ 500.00	5.75	\$ 2,875.00	2.42	\$ 1,210.00		\$ -		\$ -		\$ -		\$ -		
	2574.505	SOIL BED PREPARATION	ACRE	\$ 500.00	10.43	\$ 5,215.00	4	\$ 1,760.00		\$ -		\$ -		\$ -		\$ -		
	2574.507	FILTER TOPSOIL BORROW	CU YD	\$ 59.00	820	\$ 48,380.00		\$ -		\$ -		\$ -		\$ -		\$ -		
9, 26	2574.508	FERTILIZER TYPE 1	POUND	\$ 0.70	1430	\$ 1,001.00	576	\$ 403.20		\$ -		\$ -		\$ -		\$ -		
26	2574.508	FERTILIZER TYPE 3	POUND	\$ 0.80	3023	\$ 2,418.40	1623	\$ 1,298.40		\$ -		\$ -		\$ -		\$ -		
26	2574.508	FERTILIZER TYPE 4	POUND	\$ 2.30	217	\$ 499.10	15	\$ 34.50		\$ -		\$ -		\$ -		\$ -		
	2575.504	SODDING TYPE LAWN	SQ YD	\$ 8.10	15824	\$ 128,174.40	1495	\$ 12,109.50		\$ -		\$ -		\$ -		\$ -		
	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SQ YD	\$ 1.40	8730	\$ 12,222.00	601	\$ 841.40		\$ -		\$ -		\$ -		\$ -		
	2575.504	ROLLED EROSION PREVENTION CATEGORY 15	SQ YD	\$ 1.60	30519	\$ 48,830.40	15141	\$ 24,225.60		\$ -		\$ -		\$ -		\$ -		
	2575.504	ROLLED EROSION PREVENTION CATEGORY 25	SQ YD	\$ 1.80	595	\$ 1,071.00	342.00	\$ 615.60		\$ -		\$ -		\$ -		\$ -		
	2575.504	ROLLED EROSION PREVENTION CATEGORY 72	SQ YD	\$ 50.00	14.00	\$ 700.00		\$ -		\$ -		\$ -		\$ -		\$ -		
26	2575.505	SEEDING	ACRE	\$ 560.00	14.30	\$ 8,008.00	5.76	\$ 3,225.60		\$ -		\$ -		\$ -		\$ -		
26	2575.505	MOWING	ACRE	\$ 790.00	20.86	\$ 16,479.40	7.06	\$ 5,577.40		\$ -		\$ -		\$ -		\$ -		
26	2575.505	WEED SPRAYING	ACRE	\$ 2,300.00	5.22	\$ 12,006.00	1.76	\$ 4,048.00		\$ -		\$ -		\$ -		\$ -		
26	2575.505	RAPID STABILIZATION METHOD 2	ACRE	\$ 3,900.00	1.68	\$ 6,552.00		\$ -		\$ -		\$ -		\$ -		\$ -		
26	2575.506	WEED SPRAY MIXTURE	GALLON	\$ 260.00	2.61	\$ 678.60	0.88	\$ 228.80		\$ -		\$ -		\$ -		\$ -		
9, 26	2575.508	SEED MIXTURE 21-111	POUND	\$ 4.00	715	\$ 2,860.00	323	\$ 1,292.00		\$ -		\$ -		\$ -		\$ -		
26	2575.508	SEED MIXTURE 25-151	POUND	\$ 6.30	642	\$ 4,044.60	372	\$ 2,343.60		\$ -		\$ -		\$ -		\$ -		
26	2575.508	SEED MIXTURE 33-261	POUND	\$ 26.50	30	\$ 795.00	15	\$ 397.50		\$ -		\$ -		\$ -		\$ -		
26	2575.508	SEED MIXTURE																



LOW BID ESTIMATE OF CONSTRUCTION COSTS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

NOTES	ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE											
							CSAH 54 (RICE STREET)								NON-PARTICIPATING			
							PARTICIPATING											
							RAMSEY COUNTY				CITY OF SHOREVIEW							
					S.A.P. 062-654-005				S.A.P. 167-020-023									
					ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		CITY OF SHOREVIEW		CITY OF VADNAIS HEIGHTS			
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT											
28	2582.503	4" DOTTED LINE MULTI COMP GR IN (WR) CONT	LIN FT	\$ 13.00	77	\$ 1,001.00	77	\$ 1,001.00		\$ -		\$ -		\$ -		\$ -		
28	2582.518	PAVT MSSG PREF THERMO GR IN	SQ FT	\$ 26.00	944	\$ 24,544.00	31	\$ 806.00		\$ -		\$ -		\$ -		\$ -		
28	2582.518	CROSSWALK PREF THERMO GR IN ESR	SQ FT	\$ 17.00	1900	\$ 32,300.00	660	\$ 11,220.00		\$ -		\$ -		\$ -		\$ -		
28	2582.518	CROSSWALK PREF THERMO GR IN CONT ESR	SQ FT	\$ 24.50	480	\$ 11,760.00		\$ -		\$ -		\$ -		\$ -		\$ -		
SUBTOTAL					\$	15,756,850.20	\$	1,513,846.83	\$	352,939.00	\$	115,124.28	\$	-	\$	216,320.00	\$	109,111.66
CONTINGENCY					\$	-												
TOTAL					\$	15,756,850.20	\$	1,513,846.83	\$	352,939.00	\$	115,124.28	\$	-	\$	216,320.00	\$	109,111.66

NOTES

- 1

RAMSEY COUNTY PAYS 25% OF NEW CURB & GUTTER AND 100% OF REPLACED CURB & GUTTER
- 2

RAMSEY COUNTY PAYS 50% OF NEW SIDEWALK AND 100% OF REPLACED SIDEWALK
- 3

RAMSEY COUNTY PAYS 50% OF NEW TRAIL AND 100% OF REPLACED TRAIL
- 4

FOR REMOVAL OF EXISTING SIGNAL SYSTEM AT HODGSON / GRAMSIE / RICE INTERSECTION
- 5

FOR REMOVAL OF EXISTING SIGNAL SYSTEM AT HODGSON / SNAIL LAKE INTERSECTION
- 6

SALVAGE AS INTEGRAL UNIT COMPLETE. SEE SPECIAL PROVISIONS.
- 7

FOR SALVAGE / INSTALL OF EXISTING BUS STOP BENCH AT RICE / SUZANNE INTERSECTION
- 8

FOR REMOVAL OF EXISTING SURVEY MONUMENT AT RICE / COUNTY ROAD F INTERSECTION. SEE SPECIAL PROVISIONS.
- 9

PAY ITEM TO BE USED AT THE DISCRETION OF THE ENGINEER
- 10

SEE SPECIAL PROVISIONS FOR ITEM REQUIREMENTS
- 11

FOR ABANDONMENT OF EXISTING PIPES WHERE OVERGROWTH OR ENCROACHMENT PREVENT COMPLETE REMOVAL
- 12

TO BE DIRECTLY BURIED WITHOUT ACCESS MANHOLE. SEE SPECIAL PROVISIONS.
- 13

SEE DRAINAGE TABULATION FOR ADDITIONAL INFORMATION
- 14

FOR STORMTRAP SYSTEM. SEE CONTOUR PLANS AND SPECIAL PROVISIONS.
- 15

FOR VISUAL DIFFERENTIATION OF TRAIL AND SLOPE PAVING AT MARTIN WAY HAMMERHEAD
- 16

IN-SITU SAND SUBBASE MAY MEET MNDOT SPECIFICATIONS AND BE ELIGIBLE FOR REUSE. CONTRACT QUANTITIES ASSUME FULL IMPORT OF VIRGIN MATERIAL. COSTS FOR TESTING TO CONFIRM GRADATION AND SEEK APPROVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 17

FOR SHOREVIEW SURMOUNTABLE CURB PER STANDARD PLATE STR-1
- 18

FOR SHOREVIEW CONCRETE VALLEY GUTTER PER STANDARD PLATE STR-11
- 19

FOR RELOCATION OF EXISTING BUS SHELTER AT HODGSON / GRAMSIE INTERSECTION TO NEW SOUTHBOUND BUS BAY ON HODGSON BETWEEN VIRGINIA AND GRAMSIE
- 20

FOR REMOVAL OF EXISTING BIKE LOCKERS AT HODGSON / GRAMSIE INTERSECTION
- 21

FOR PROPOSED LIGHTING SYSTEM AT ROUNDABOUT
- 22

FOR PROPOSED LIGHTING SYSTEM ALONG HODGSON ROAD. INCLUDES INSTALLATION OF SALVAGED LIGHTING UNITS.
- 23

SEE WATERMAIN FITTINGS TABULATION FOR ASSUMED DIP FITTING UNIT WEIGHTS. MEGALUGS ARE INCIDENTAL TO THIS PAY ITEM. PVC FITTINGS ARE INCIDENTAL TO THE TRUNK WATERMAIN PAY ITEM.
- 24

INCLUDES ALL ITEMS FOR TRAFFIC CONTROL DETOURS AND STAGES AND ANY OTHER ITEMS DEEMED NECESSARY FOR TRAFFIC CONTROL BY THE ENGINEER UNLESS OTHER PAY ITEMS ARE INCLUDED IN THE PLAN
- 25

FOR MAINTENANCE OF PEDESTRIAN / BIKE ROUTES DURING CONSTRUCTION ALONG SOUTH SIDE OF GRAMSIE, EAST SIDE OF RICE AND SOUTH SIDE OF SNAIL LAKE
- 26

SEE CONSTRUCTION / SOILS NOTES FOR SEEDING MATERIALS, LOCATIONS AND APPLICATION RATES
- 27

FOR TEMPORARY PAVEMENT MARKING
- 28

FOR PERMANENT PAVEMENT MARKING
- 29

BITUMINOUS QUANTITIES BASED ON UNIT WEIGHT OF 113 POUNDS PER SQUARE YARD PER INCH
- 30

SEE EARTHWORK SUMMARY FOR PAYMENT DETAILS AT POND D / STORMTRAP SYSTEM
- 31

CORRESPONDING INSTALLATION INCLUDED IN PROPOSED LIGHTING SYSTEM B. SEE SPECIAL PROVISIONS.
- 32

ITEM INCLUDES REMOVAL OF EXISTING CASTING ASSEMBLY
- 33

NO FOUNDATIONS ANTICIPATED
- 34

INCLUDES REMOVAL OF INLINE AIR RELIEF VALVES AND MANHOLES
- (P)

DENOTES PLAN QUANTITY



LOW BID ESTIMATE OF CONSTRUCTION COSTS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL	ENGINEER'S ESTIMATE															
					CSAH 12 (CTY ROAD F)								GRAMSIE ROAD							
					PARTICIPATING				NON-PARTICIPATING				NON-PARTICIPATING							
					RAMSEY COUNTY				CITY OF SHOREVIEW				RAMSEY COUNTY				CITY OF SHOREVIEW			
					S.A.P. 062-612-030												S.A.P. 167-235-007			
ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		ROADWAY		STORM SEWER		ROADWAY		STORM SEWER						
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT					
2021.501	MOBILIZATION	LUMP SUM	\$ 760,000.00	1.00	\$ 760,000.00	0.02	\$ 15,200.00	0.01	\$ 7,600.00	0.02	\$ 15,200.00	0.01	\$ 7,600.00	0.01	\$ 7,600.00	\$ -	\$ -			
2031.502	FIELD OFFICE TYPE D-MODIFIED	EACH	\$ 50,000.00	1.00	\$ 50,000.00	0.02	\$ 1,000.00		\$ -	0.03	\$ 1,500.00	0.01	\$ 500.00		\$ -	0.01	\$ 500.00			
2101.502	CLEARING	EACH	\$ 570.00	81	\$ 46,170.00	20	\$ 11,400.00		\$ -		\$ -	1	\$ 570.00		\$ -		\$ -			
2101.502	GRUBBING	EACH	\$ 100.00	81	\$ 8,100.00	20	\$ 2,000.00		\$ -		\$ -	1	\$ 100.00		\$ -		\$ -			
2101.505	CLEARING	ACRE	\$ 5,500.00	1.01	\$ 5,555.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2101.505	GRUBBING	ACRE	\$ 1,500.00	1.01	\$ 1,515.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE TEMPORARY BYPASS	EACH	\$ 1,000.00	2	\$ 2,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE MISCELLANEOUS STRUCTURES	EACH	\$ 390.00	2	\$ 780.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE MANHOLE	EACH	\$ 520.00	23	\$ 11,960.00		\$ -		\$ -	3	\$ 1,560.00		\$ -		\$ -	1	\$ 520.00			
2104.502	REMOVE GATE VALVE & BOX	EACH	\$ 390.00	43	\$ 16,770.00		\$ -		\$ -	3	\$ 1,170.00		\$ -		\$ -		\$ -			
2104.502	REMOVE CURB STOP & BOX	EACH	\$ 260.00	67	\$ 17,420.00		\$ -		\$ -	10	\$ 2,600.00		\$ -		\$ -		\$ -			
2104.502	REMOVE HYDRANT	EACH	\$ 260.00	15	\$ 3,900.00	2	\$ 520.00		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$ 490.00	38	\$ 18,620.00	3	\$ 1,470.00		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE LIGHT POLE	EACH	\$ 270.00	6	\$ 1,620.00	1	\$ 270.00		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE SIGNAL FOUNDATION	EACH	\$ 1,300.00	4	\$ 5,200.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE DELINEATOR / MARKER	EACH	\$ 25.00	1	\$ 25.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE SIGN	EACH	\$ 25.00	84	\$ 2,100.00	7	\$ 175.00		\$ -		\$ -	4	\$ 100.00		\$ -		\$ -			
2104.502	REMOVE SIGN TYPE SPECIAL	EACH	\$ 25.00	2	\$ 50.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE SIGNAL SYSTEM A	EACH	\$ 6,700.00	1.00	\$ 6,700.00		\$ -		\$ -		\$ -	0.25	\$ 1,675.00		\$ -		\$ -			
2104.502	REMOVE SIGNAL SYSTEM B	EACH	\$ 4,500.00	1	\$ 4,500.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	REMOVE LIGHT FOUNDATION	EACH	\$ 310.00	11	\$ 3,410.00	1	\$ 310.00		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	SALVAGE LIGHTING UNIT	EACH	\$ 270.00	8	\$ 2,160.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	SALVAGE SIGN	EACH	\$ 25.00	27	\$ 675.00	1	\$ 25.00		\$ -		\$ -	1	\$ 25.00		\$ -		\$ -			
2104.502	SALVAGE SIGN TYPE SPECIAL	EACH	\$ 25.00	16	\$ 400.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.502	SALVAGE BENCH	EACH	\$ 250.00	1	\$ 250.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	\$ 4.90	262	\$ 1,283.80		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	LIN FT	\$ 1.90	2367	\$ 4,497.30	242	\$ 459.80		\$ -		\$ -	168	\$ 319.20		\$ -		\$ -			
2104.503	REMOVE PIPE DRAIN	LIN FT	\$ 1.50	1433	\$ 2,149.50		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	REMOVE PIPE CULVERTS	LIN FT	\$ 18.00	836	\$ 15,048.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	REMOVE WATER MAIN	LIN FT	\$ 13.00	8559	\$ 111,267.00		\$ -		\$ -	812	\$ 10,556.00		\$ -		\$ -		\$ -			
2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	\$ 18.00	2984	\$ 53,712.00	73	\$ 1,314.00		\$ -		\$ -	257	\$ 4,628.00		\$ -		\$ -			
2104.503	REMOVE SEWER PIPE (SANITARY)	LIN FT	\$ 13.00	4644	\$ 60,372.00		\$ -		\$ -	743	\$ 9,659.00		\$ -		\$ -		\$ -			
2104.503	REMOVE CURB & GUTTER	LIN FT	\$ 2.90	9944	\$ 28,837.60	688	\$ 1,995.20		\$ -		\$ -	486	\$ 1,409.40		\$ -		\$ -			
2104.503	REMOVE CHAIN LINK FENCE	LIN FT	\$ 10.00	140	\$ 1,400.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	REMOVE WOOD FENCE	LIN FT	\$ 10.00	85	\$ 850.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	REMOVE STEEL CASING	LIN FT	\$ 11.00	372	\$ 4,092.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.503	REMOVE SANITARY SERVICE PIPE	LIN FT	\$ 4.00	2670	\$ 10,680.00		\$ -		\$ -	211	\$ 844.00		\$ -		\$ -		\$ -			
2104.503	REMOVE WATER SERVICE PIPE	LIN FT	\$ 7.80	3046	\$ 23,758.80		\$ -		\$ -	461	\$ 3,595.80		\$ -		\$ -		\$ -			
2104.504	REMOVE CONCRETE MEDIAN	SQ YD	\$ 5.00	418	\$ 2,090.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$ 8.00	433	\$ 3,464.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	\$ 9.00	6604	\$ 59,436.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	SQ YD	\$ 4.00	4184	\$ 16,736.00	526	\$ 2,104.00		\$ -		\$ -	132	\$ 528.00		\$ -		\$ -			
2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	\$ 6.00	51666	\$ 309,996.00	2956	\$ 17,736.00		\$ -		\$ -	1105	\$ 6,630.00		\$ -		\$ -			
2104.518	REMOVE BITUMINOUS WALK	SQ FT	\$ 0.30	12141	\$ 3,642.30	617	\$ 185.10		\$ -		\$ -	814	\$ 244.20		\$ -		\$ -			
2104.518	REMOVE CONCRETE WALK	SQ FT	\$ 0.40	5243	\$ 2,097.20	63	\$ 25.20		\$ -		\$ -	226	\$ 91.20		\$ -		\$ -			
2104.602	REMOVE SURVEY MONUMENT	EACH	\$ 1,200.00	1	\$ 1,200.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2106.507	EXCAVATION - COMMON	CU YD	\$ 15.00	48818	\$ 732,270.00	2391	\$ 35,865.00		\$ -		\$ -	1009	\$ 15,135.00		\$ -		\$ -			
2106.507	EXCAVATION - SUBGRADE	CU YD	\$ 0.01	29155	\$ 291.55	1908	\$ 19.08		\$ -		\$ -	751	\$ 7.51		\$ -		\$ -			
2106.507	EXCAVATION - CHANNEL AND POND	CU YD	\$ 4.00	40494	\$ 161,976.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2106.507	SELECT GRANULAR EMBANKMENT (CV)	CU YD	\$ 0.01	35259	\$ 352.59	1959	\$ 19.59		\$ -		\$ -	709	\$ 7.09		\$ -		\$ -			
2106.507	STABILIZING AGGREGATE (CV)	CU YD	\$ 8.00	23172	\$ 185,376.00	2184	\$ 17,472.00		\$ -		\$ -	165	\$ 1,320.00		\$ -		\$ -			
2106.602	CONSTRUCT TEMPORARY BYPASS	CU YD	\$ 0.01	100	\$ 1.00	10	\$ 0.10		\$ -		\$ -	3	\$ 0.03		\$ -		\$ -			
2112.519	SUBGRADE PREPARATION	EACH	\$ 4,000.00	2	\$ 8,000.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2123.510	COMMON LABORERS	ROAD STA	\$ 100.00	100	\$ 10,000.00	10	\$ 1,000.00		\$ -		\$ -	3	\$ 300.00		\$ -		\$ -			
2123.610	TRACTOR MOUNTED BACKHOE	HOURL	\$ 0.01	100	\$ 1.00	10	\$ 0.10		\$ -		\$ -	3	\$ 0.03		\$ -		\$ -			
2123.610	STREET SWEEPER (WITH VACUUM PICKUP)	HOURL	\$ 160.00	100	\$ 16,000.00	10	\$ 1,600.00		\$ -		\$ -	3	\$ 0.03		\$ -		\$ -			
2211.507	AGGREGATE BASE (CV) CLASS 5	CU YD	\$ 35.00	8298.05	\$ 290,361.75	484.00	\$ 16,940.00		\$ -		\$ -	192.00	\$ 6,720.00		\$ -		\$ -			
2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$ 230.00	260	\$ 59,800.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2232.504	MILL BITUMINOUS SURFACE (2.0")	SQ YD	\$ 1.80	3373	\$ 6,071.40		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2301.502	DOWEL BAR	EACH	\$ 22.50	3644	\$ 81,990.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2301.504	CONCRETE PAVEMENT 5"	SQ YD	\$ 62.50	397	\$ 24,812.50		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2301.504	CONCRETE PAVEMENT 8.0"	SQ YD	\$ 88.50	2189	\$ 193,728.50		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2301.508	SUPPLEMENTAL PAVEMENT REINFORCEMENT	POUND	\$ 4.00	2425	\$ 9,700.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2360.509	TYPE SP 9.5 WEARING COURSE MIX (3,C)	TON	\$ 93.00	5969	\$ 545,817.00	368	\$ 34,224.00		\$ -		\$ -	127	\$ 11,811.00		\$ -		\$ -			
2360.509	TYPE SP 12.5 WEARING COURSE MIX (3,C)	TON	\$ 88.00	5072	\$ 446,336.00	310	\$ 27,280.00		\$ -		\$ -	127	\$ 11,178.00		\$ -		\$ -			
2360.509	TYPE SP 12.5 NON WEAR COURSE MIX (4,B)	TON	\$ 82.00	7105	\$ 582,610.00	464	\$ 38,048.00		\$ -		\$ -	190	\$ 15,580.00		\$ -		\$ -			
2451.507	FINE FILTER AGGREGATE (CV)	CU YD	\$ 38.00	742	\$ 28,196.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2501.502	12" RC PIPE APRON	EACH	\$ 1,400.00	3	\$ 4,200.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -			
2501.502	21" RC PIPE APRON	EACH	\$ 1,600.00	1	\$ 1,600.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$			



LOW BID ESTIMATE OF CONSTRUCTION COSTS  
**HODGSON ROAD (CSAH 49) RECONSTRUCTION**  
**FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS**

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE											
						CSAH 12 (CTY ROAD F)				GRAMSIE ROAD							
						PARTICIPATING		NON-PARTICIPATING		NON-PARTICIPATING							
						RAMSEY COUNTY		CITY OF SHOREVIEW		RAMSEY COUNTY		CITY OF SHOREVIEW					
						S.A.P. 062-612-030		S.A.P. 167-235-007									



LOW BID ESTIMATE OF CONSTRUCTION COSTS  
**HODGSON ROAD (CSAH 49) RECONSTRUCTION**  
**FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS**

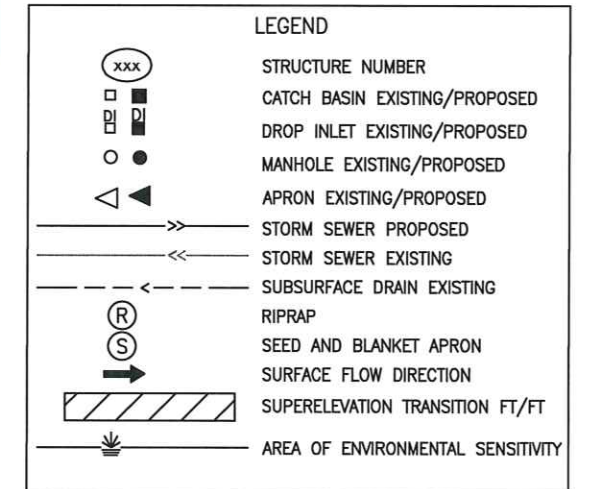
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LOW BID ESTIMATE OF CONSTRUCTION COSTS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
FOR RAMSEY COUNTY IN CITIES OF SHOREVIEW AND VADNAIS HEIGHTS

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	TOTAL		ENGINEER'S ESTIMATE															
						CSAH 12 (CTY ROAD F)								GRAMSIE ROAD							
						PARTICIPATING				NON-PARTICIPATING				NON-PARTICIPATING							
						RAMSEY COUNTY				CITY OF SHOREVIEW				RAMSEY COUNTY				CITY OF SHOREVIEW			
						S.A.P. 062-012-030								S.A.P. 167-235-007							
						ROADWAY		STORM SEWER						ROADWAY		STORM SEWER		ROADWAY		STORM SEWER	
QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT						
2582.503	4" DOTTED LINE MULTI COMP GR IN (WR) CONT	LIN FT	\$ 13.00	77	\$ 1,001.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		
2582.518	PAVT MSSG PREF THERMO GR IN	SQ FT	\$ 26.00	944	\$ 24,544.00	16	\$ 416.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		
2582.518	CROSSWALK PREF THERMO GR IN ESR	SQ FT	\$ 17.00	1900	\$ 32,300.00	200	\$ 3,400.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		
2582.518	CROSSWALK PREF THERMO GR IN CONT ESR	SQ FT	\$ 24.50	480	\$ 11,760.00		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -		
SUBTOTAL				\$ 15,756,850.20	\$ 364,203.57	\$ 72,659.00	\$ 269,122.30	\$ 158,402.49	\$ 16,216.50	\$ 9,535.00	\$ -										
CONTINGENCY				\$ -																	
TOTAL				\$ 15,756,850.20	\$ 364,203.57	\$ 72,659.00	\$ 269,122.30	\$ 158,402.49	\$ 16,216.50	\$ 9,535.00	\$ -										



## ATTACHMENT C



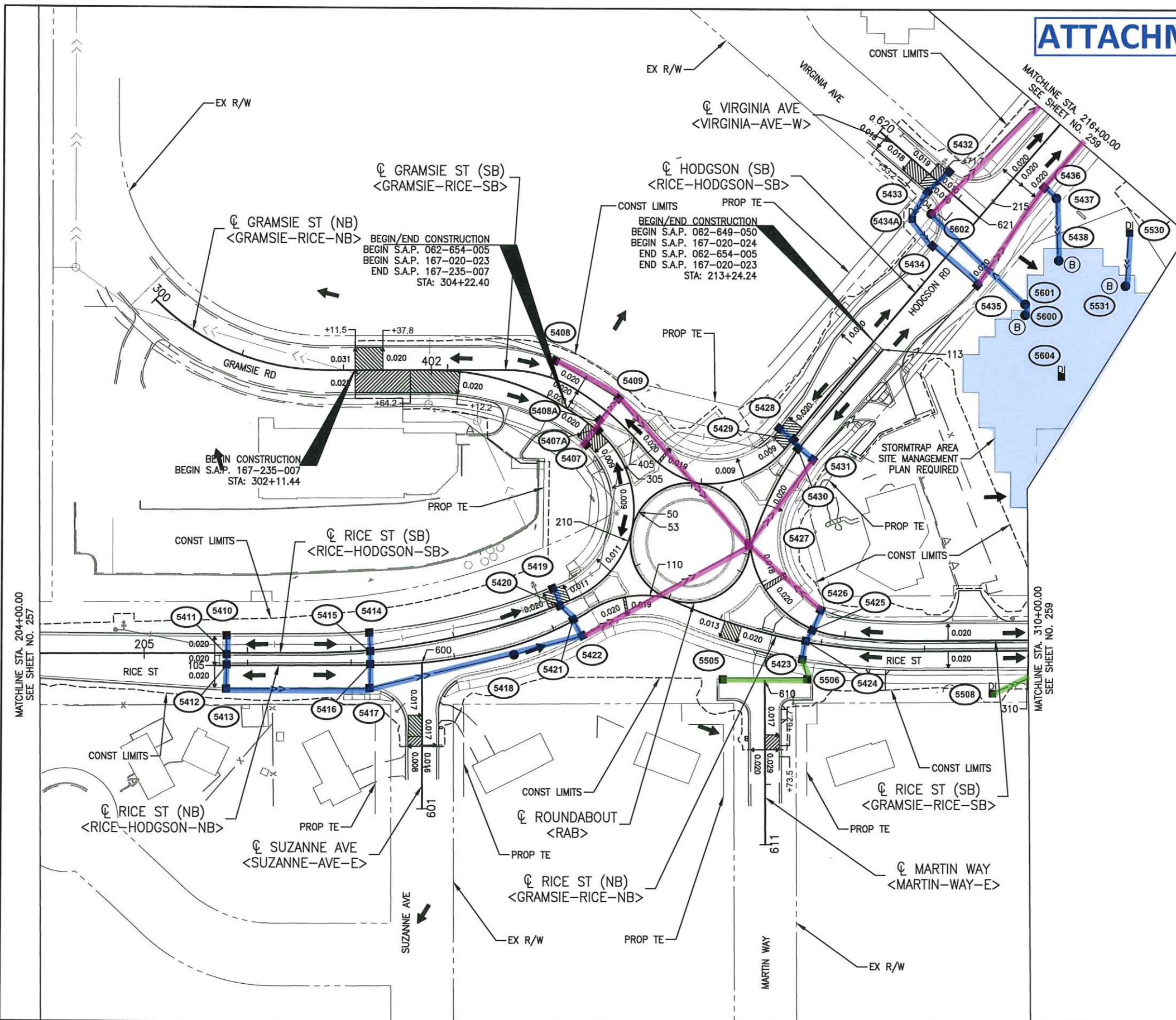
NOTES:

- (A) CONNECT TO EXISTING STORM SEWER
- (B) CONNECT TO UNDERGROUND STORMWATER SYSTEM  
(SEE SPECIAL PROVISION)

**RAMSEY COUNTY**

## SHOREVIEW

## VADNAIS HEIGHTS



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: KEVIN LACHOWITZER

*Kevin Lachowitz*

Date 2/13/2023 License # 55434

STATE AID PROJECT NO.	062-649-050
STATE PROJECT NO.	
COUNTY PROJECT NO.	
CITY PROJECT NO.	

DRAWN BY	KJQ
DESIGNED BY	MCF
CHECKED BY	KJL
COMM. NO.	15091



RAMSEY COUNTY

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DRAINAGE AND SUPERELEVATION PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN

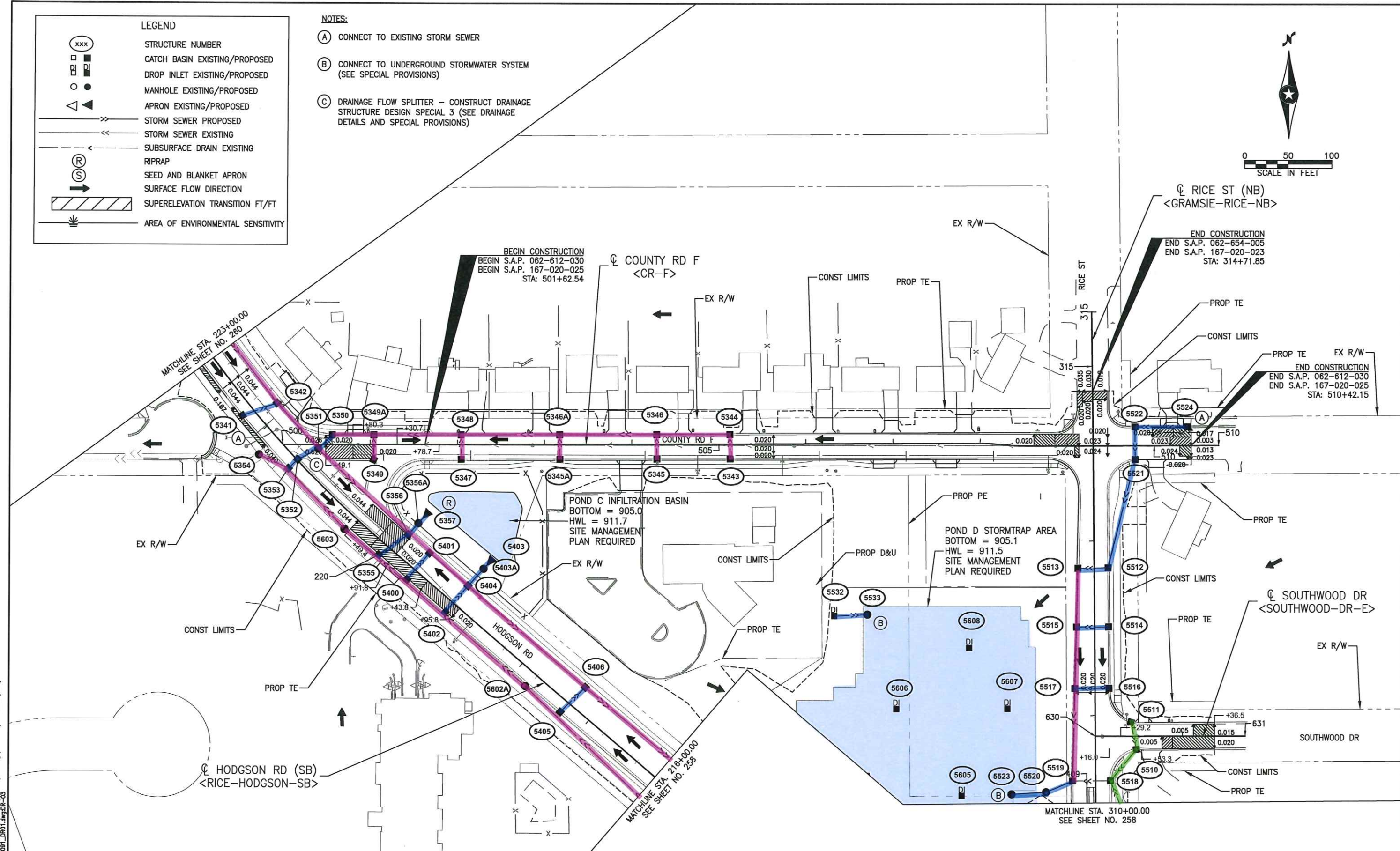
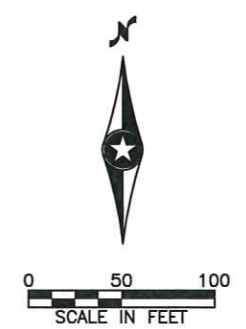
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437




**LEGEND**

- STRUCTURE NUMBER
- CATCH BASIN EXISTING/PROPOSED
- DROP INLET EXISTING/PROPOSED
- MANHOLE EXISTING/PROPOSED
- APRON EXISTING/PROPOSED
- STORM SEWER PROPOSED
- STORM SEWER EXISTING
- SUBSURFACE DRAIN EXISTING
- RIPRAP
- SEED AND BLANKET APRON
- SURFACE FLOW DIRECTION
- SUPERELEVATION TRANSITION FT/FT
- AREA OF ENVIRONMENTAL SENSITIVITY

- NOTES:**
- (A) CONNECT TO EXISTING STORM SEWER
  - (B) CONNECT TO UNDERGROUND STORMWATER SYSTEM (SEE SPECIAL PROVISIONS)
  - (C) DRAINAGE FLOW SPLITTER - CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 3 (SEE DRAINAGE DETAILS AND SPECIAL PROVISIONS)



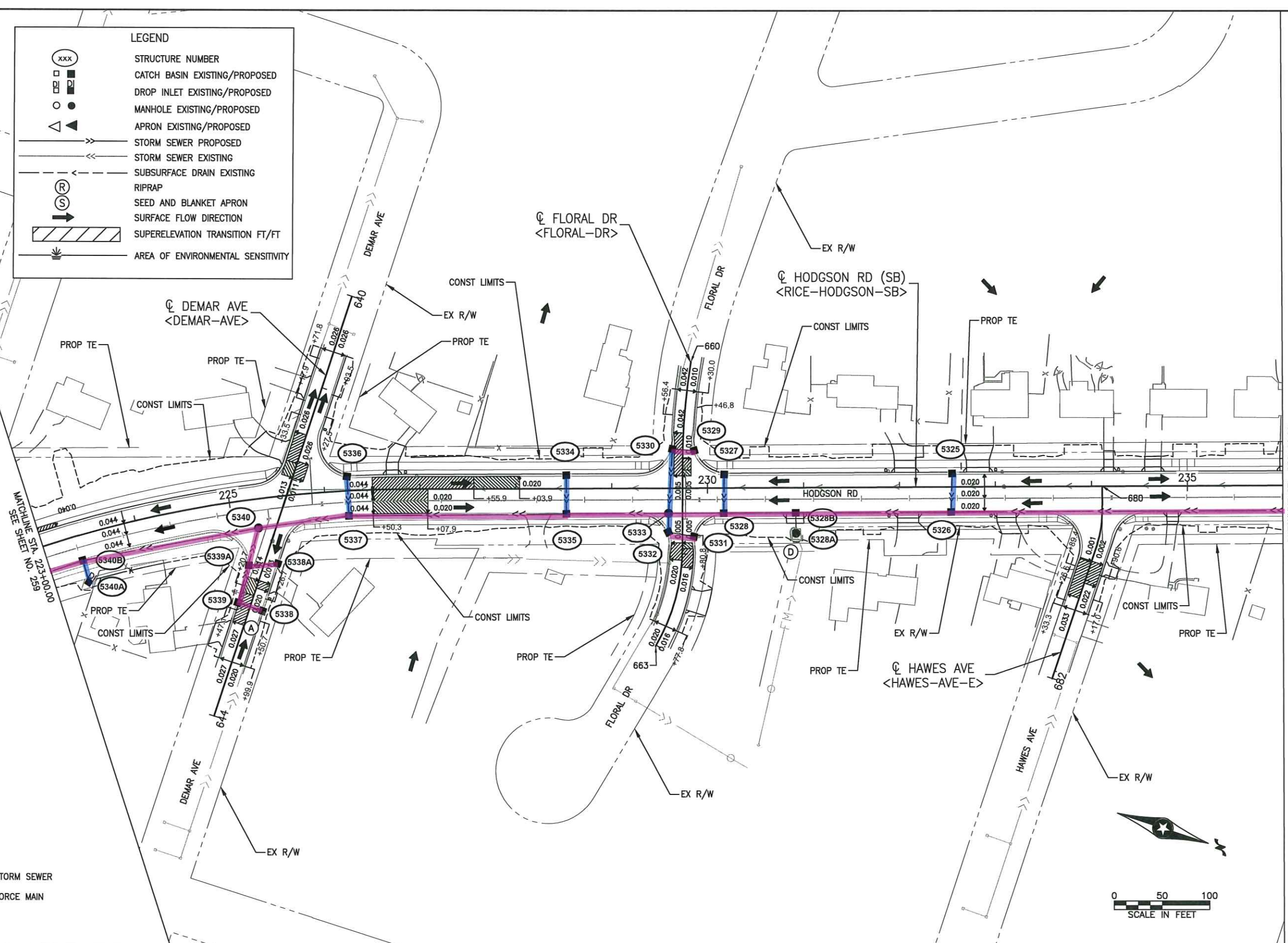
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KOLVEN ESPINOSA  
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					I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Print Name: <b>KEVIN LACHOWITZER</b> <i>Kevin Lachowitzer</i> Date <u>2/13/2023</u> License # <u>55434</u>		STATE AID PROJECT NO. <b>062-649-050</b> STATE PROJECT NO. COUNTY PROJECT NO. CITY PROJECT NO.		DRAWN BY <b>KJQ</b> DESIGNED BY <b>MCF</b> CHECKED BY <b>KJL</b> COMM. NO. <b>15091</b>				RAMSEY COUNTY DRAINAGE AND SUPERELEVATION PLANS HODGSON ROAD (CSAH 49) RECONSTRUCTION SHOREVIEW & VADNAIS HEIGHTS, MN		SHEET <b>259</b> OF <b>437</b>	
NO    DATE    BY    CKD    APPR C:\SRF-PW\00111728\15091_DR01.DWG: DR-03																




**LEGEND**

- xxx STRUCTURE NUMBER
- [ ] CATCH BASIN EXISTING/PROPOSED
- o DROP INLET EXISTING/PROPOSED
- MANHOLE EXISTING/PROPOSED
- APRON EXISTING/PROPOSED
- STORM SEWER PROPOSED
- STORM SEWER EXISTING
- SUBSURFACE DRAIN EXISTING
- RIPRAP
- SEED AND BLANKET APRON
- SURFACE FLOW DIRECTION
- SUPERELEVATION TRANSITION FT/FT
- AREA OF ENVIRONMENTAL SENSITIVITY

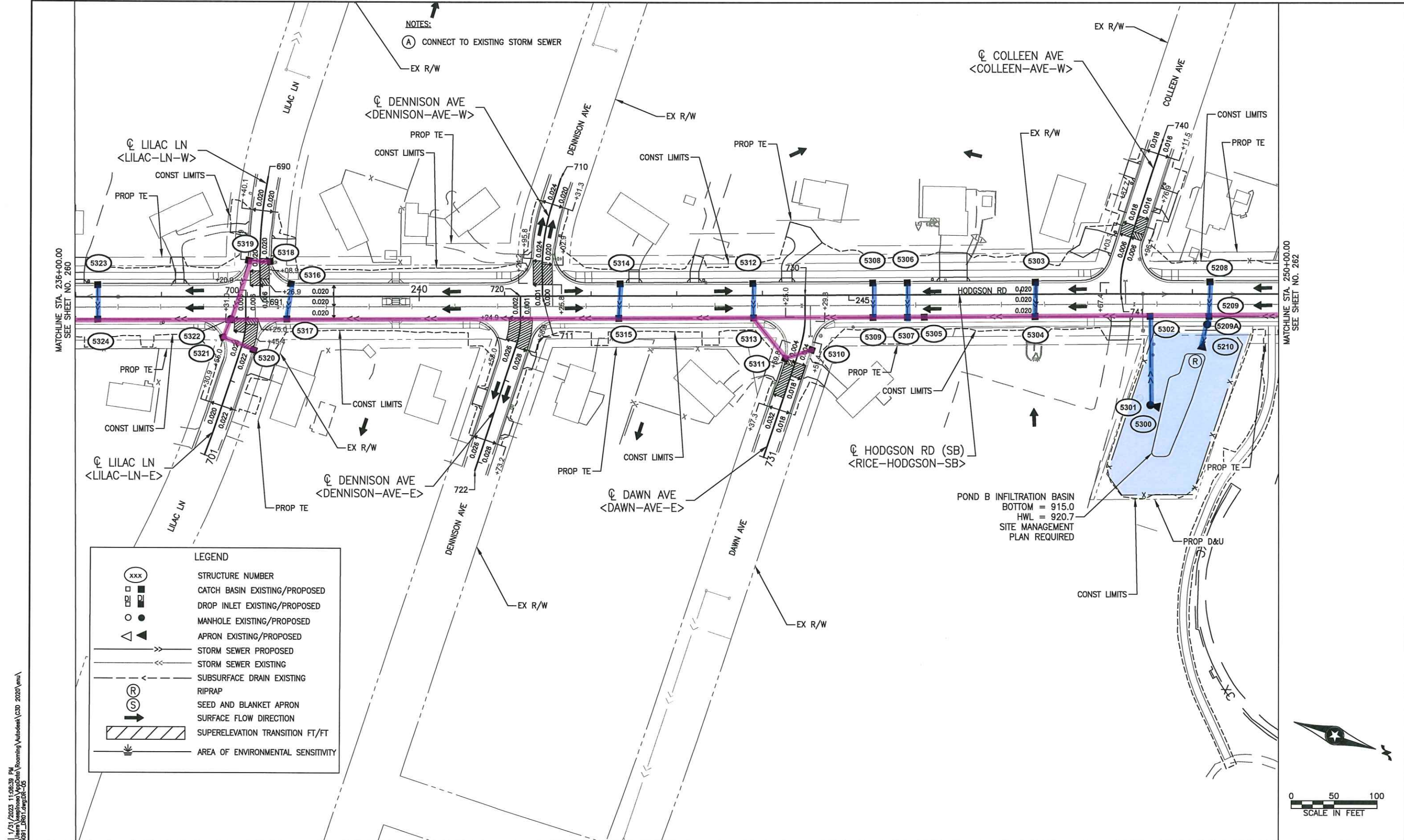


- NOTES:**
- (A) CONNECT TO EXISTING STORM SEWER
  - (D) CONNECT TO EXISTING FORCE MAIN

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					I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Print Name: <u>KEVIN LACHOWITZER</u> <i>Kevin Lachowitz</i> Date <u>2/13/2023</u> License # <u>55434</u>		STATE AID PROJECT NO. 062-649-050 STATE PROJECT NO. COUNTY PROJECT NO. CITY PROJECT NO.	DRAWN BY KJQ DESIGNED BY MCF CHECKED BY KJL COMM. NO. 15091		RAMSEY COUNTY DRAINAGE AND SUPERELEVATION PLANS HODGSON ROAD (CSAH 49) RECONSTRUCTION SHOREVIEW & VADNAIS HEIGHTS, MN		SHEET 260 OF 437
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NO	DATE	BY	CHKD	APPR

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Print Name: KEVIN LACHOWITZ  
*Kevin Lachowitz*  
Date 2/13/2023 License # 55434

STATE AID PROJECT NO. <u>062-649-050</u>	DRAWN BY <u>KJQ</u>
STATE PROJECT NO.	DESIGNED BY <u>MCF</u>
COUNTY PROJECT NO.	CHECKED BY <u>KJL</u>
CITY PROJECT NO.	COMM. NO. <u>15091</u>



RAMSEY COUNTY

DRAINAGE AND SUPERELEVATION PLANS

HODGSON ROAD (CSAH 49) RECONSTRUCTION

SHOREVIEW & VADNAIS HEIGHTS, MN

SHEET

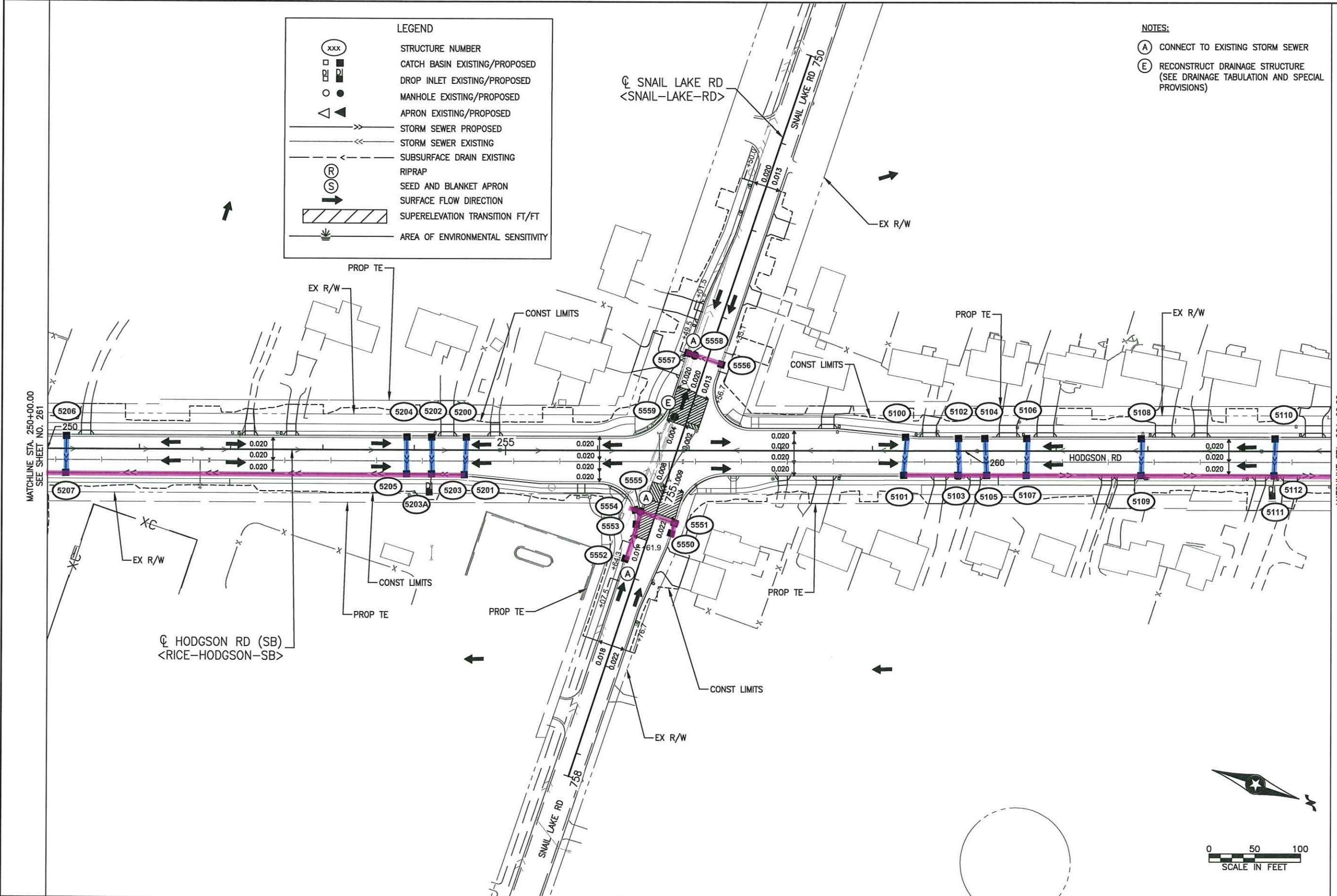
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437



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Print Name: **KEVIN LACHOWITZ**  
*Kevin Lachowitz*  
Date: **2/13/2023** License #: **55434**

STATE AID PROJECT NO. <b>062-649-050</b>	DRAWN BY <b>KJQ</b>
STATE PROJECT NO.	DESIGNED BY <b>MCF</b>
COUNTY PROJECT NO.	CHECKED BY <b>KJL</b>
CITY PROJECT NO.	COMM. NO. <b>15091</b>



RAMSEY COUNTY  
DRAINAGE AND SUPERELEVATION PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN

SHEET  
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OF  
**437**

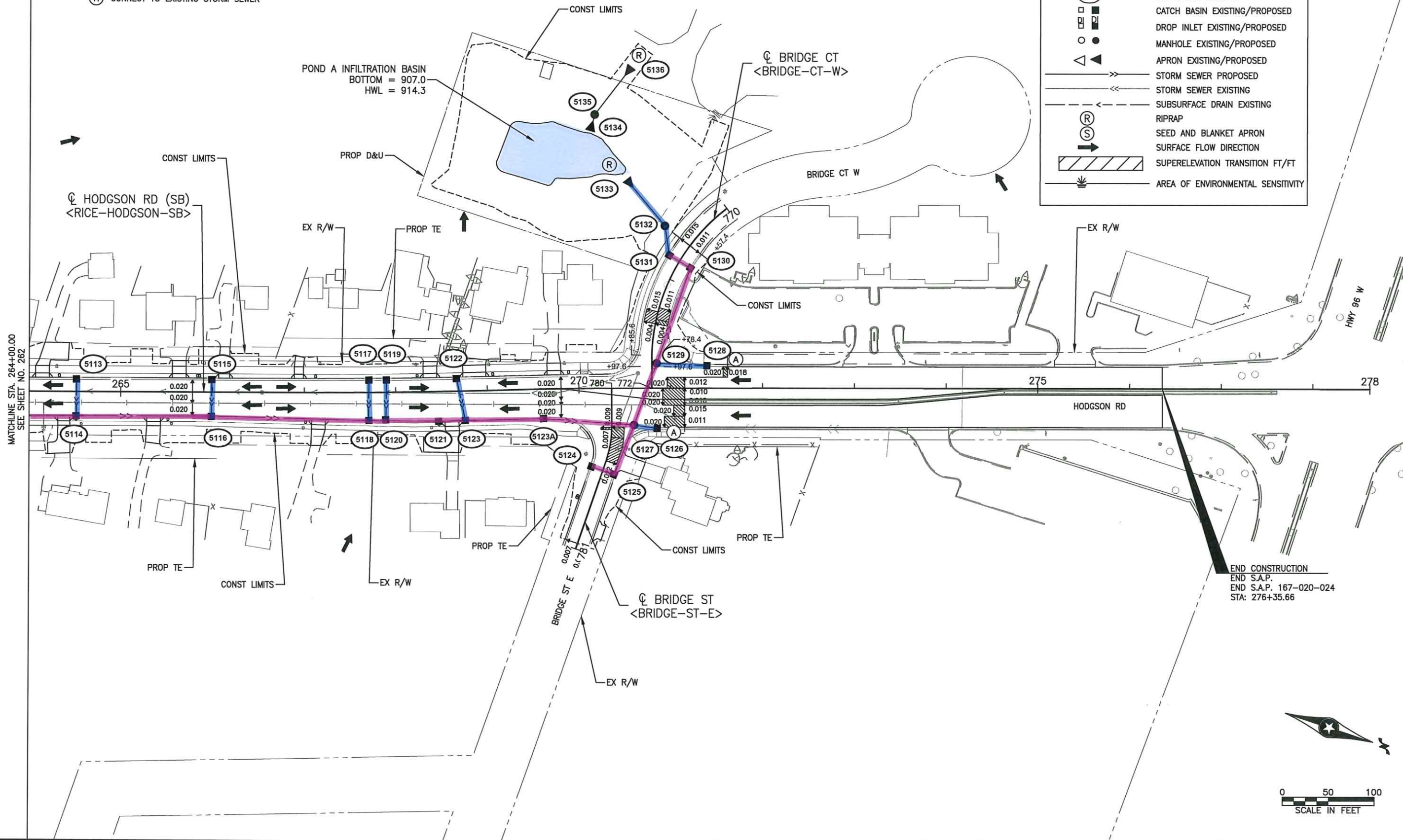


NOTES:

- (A) CONNECT TO EXISTING STORM SEWER

LEGEND

- xxx STRUCTURE NUMBER  
CATCH BASIN EXISTING/PROPOSED  
DROP INLET EXISTING/PROPOSED  
MANHOLE EXISTING/PROPOSED  
APRON EXISTING/PROPOSED  
STORM SEWER PROPOSED  
STORM SEWER EXISTING  
SUBSURFACE DRAIN EXISTING  
RIPRAP  
SEED AND BLANKET APRON  
SURFACE FLOW DIRECTION  
SUPERELEVATION TRANSITION FT/FT  
AREA OF ENVIRONMENTAL SENSITIVITY



END CONSTRUCTION  
END S.A.P.  
END S.A.P. 167-020-024  
STA: 276+35.66

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NO	DATE	BY	CKD	APPR

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Print Name: **KEVIN LACHOWITZ**  
*Kevin Lachowitz*  
Date: **2/13/2023** License #: **55434**

STATE AID PROJECT NO.  
**062-649-050**  
STATE PROJECT NO.  
COUNTY PROJECT NO.  
CITY PROJECT NO.

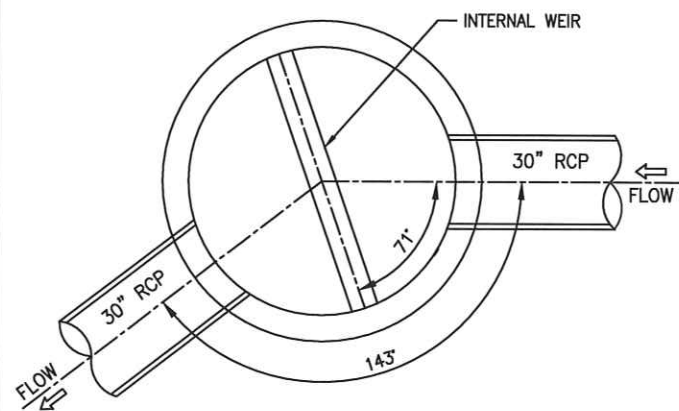
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DESIGNED BY  
**MCF**  
CHECKED BY  
**KJL**  
COMM. NO. **15091**



RAMSEY COUNTY  
DRAINAGE AND SUPERELEVATION PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN

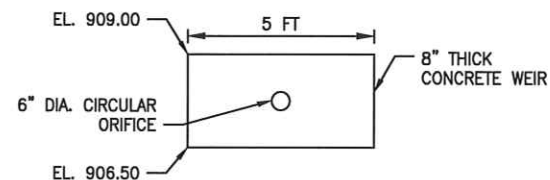
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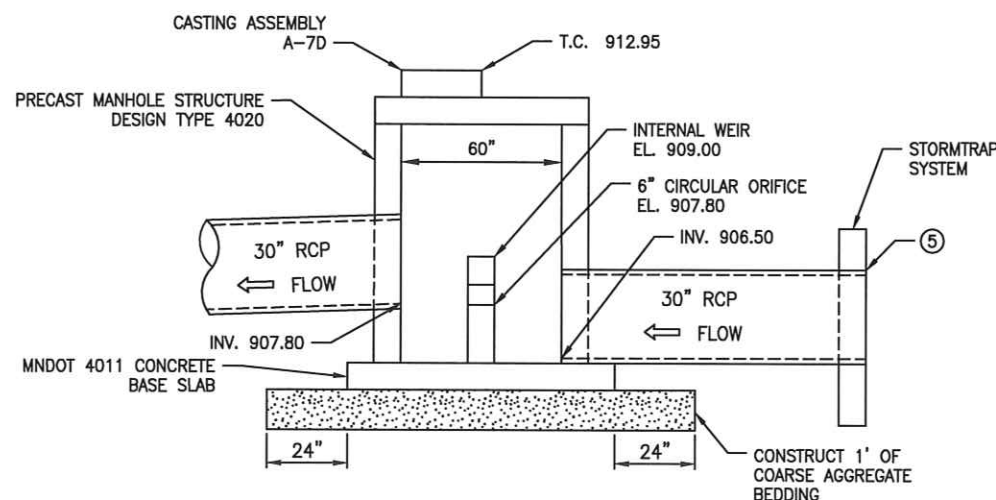
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INTERNAL WEIR SECTION

NO SCALE



DRAINAGE STRUCTURE DESIGN SPECIAL 4 - STRUCTURE 5601 ③④

NO SCALE

NOTES:

- ① CONNECTION TO STORMTRAP SYSTEM SHALL BE INCIDENTAL. PAID FOR AS CASTING ASSEMBLY (M-7) AND INCLUDES ADJUSTING RINGS NEEDED TO REACH PROPOSED GRADE. FOR STORMTRAP RISER DETAILS, SEE SPECIAL PROVISIONS.
- ② CONNECTION TO STORMTRAP SYSTEM SHALL BE INCIDENTAL. PAID FOR AS CASTING ASSEMBLY (A-7D) AND INCLUDES ADJUSTING RINGS NEEDED TO REACH PROPOSED GRADE. FOR STORMTRAP RISER DETAILS, SEE SPECIAL PROVISIONS.
- ③ PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 4. PAY ITEM CONSISTS OF CONCRETE STRUCTURE AND BASE, BEDDING, CASTING ASSEMBLY, STEPS, AND ALL HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. PAY ITEM DOES NOT INCLUDE INLET AND OUTLET PIPE.
- ④ SEE DRAINAGE PROFILES AND TABULATIONS FOR STRUCTURE LOCATION AND PIPE INFORMATION.
- ⑤ CONNECTION TO STORMTRAP SYSTEM SHALL BE INCIDENTAL. CASTING ASSEMBLY SPECIAL PAID FOR BY EACH AND INCLUDES ADJUSTING RINGS NEEDED TO REACH PROPOSED GRADE. FOR RISER/STAIR DETAILS SEE SPECIAL PROVISIONS. SEE CASTING ASSEMBLY SPECIAL DETAIL ON SHEET 337.
- ⑥ WITHIN SHADED AREA, EXCAVATE TO AN ELEVATION OF 900.0 TO REMOVE UNSUITABLE SOILS. BACKFILL WITH SELECT GRANULAR EMBANKMENT. PLACE MATERIAL IN LAYERS NO GREATER THAN 1 FOOT THICK. COMPACT EACH LAYER IN ACCORDANCE WITH THE METHODS IN MNDOT STD SPEC 2106.3G.2. CONTRACTOR MAY SUBSTITUTE ONSITE MATERIAL, PROVIDED IT MEETS THE SPECIFICATIONS OF SELECT GRANULAR EMBANKMENT (MNDOT STD SPEC 3149.2B).

GENERAL NOTES:

CONTOURS ARE SHOWN AT FINISHED GRADE (TOP OF TOPSOIL).

CONTOUR INTERVAL = 1.0'.

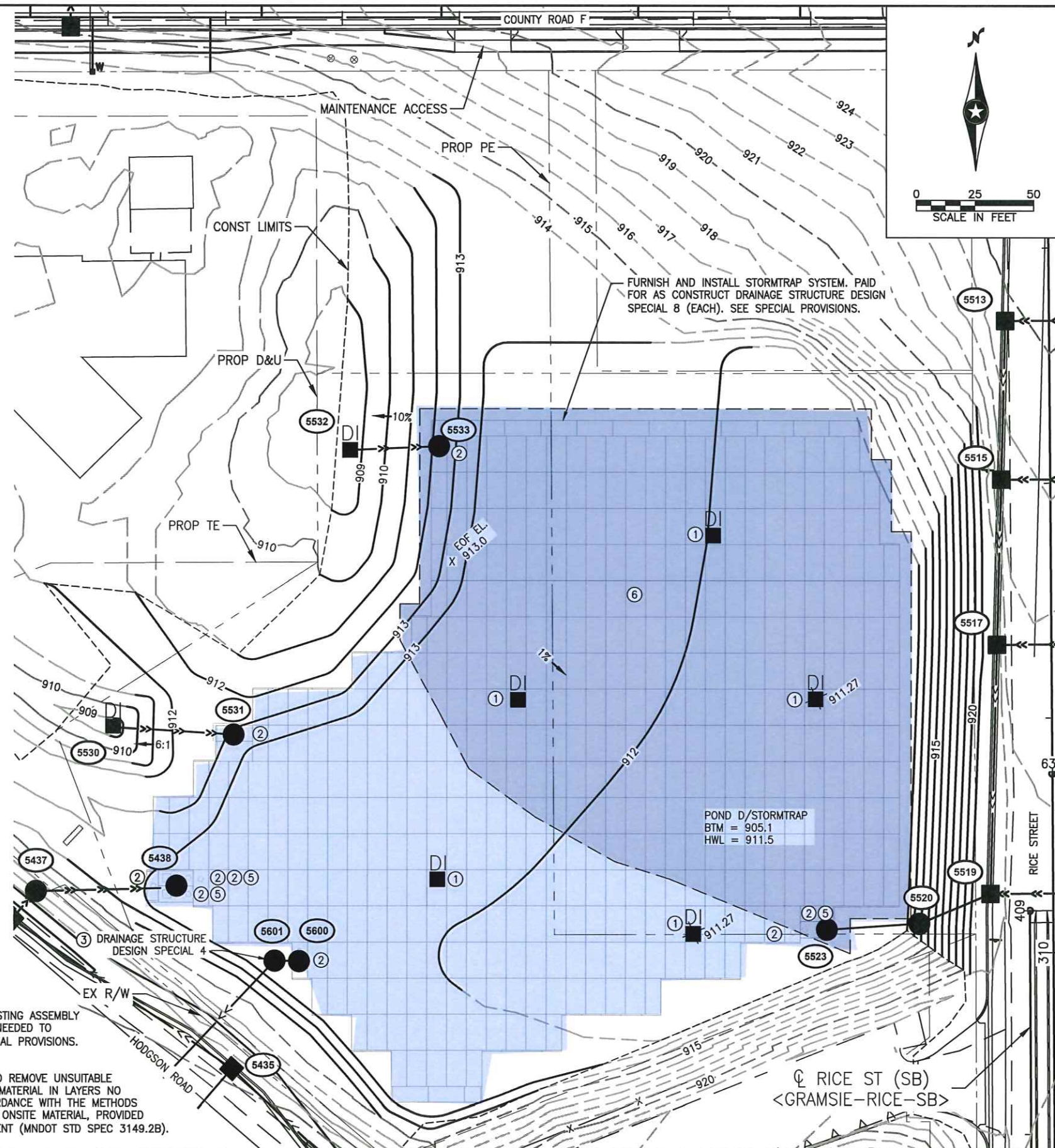
PROTECT INPLACE UTILITIES.

POND HWL IS THE 100-YR HIGH WATER LEVEL.

EXCAVATION SHALL BE PERFORMED BY AN EXCAVATOR WITH A TOOTHED BUCKET.

PRIOR TO THE RELEASE OF PERMIT OBLIGATIONS, THE PERMIT HOLDER MUST PROVIDE DOCUMENTATION THAT CONSTRUCTED VOLUME CONTROL FACILITIES HAVE THE CAPACITY AND PERFORM AS DESIGNED.

SEE THE DRAINAGE PLANS, PROFILES, AND TABULATIONS FOR STORM SEWER INFORMATION.



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NO	DATE	BY	CHKD	APPR

C:\SRF-PW\00111728\15091\_PND01.DWG: PND-01

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Print Name: CONNOR J. FORTUNE  
Date: 2/13/2023 License #: 58698

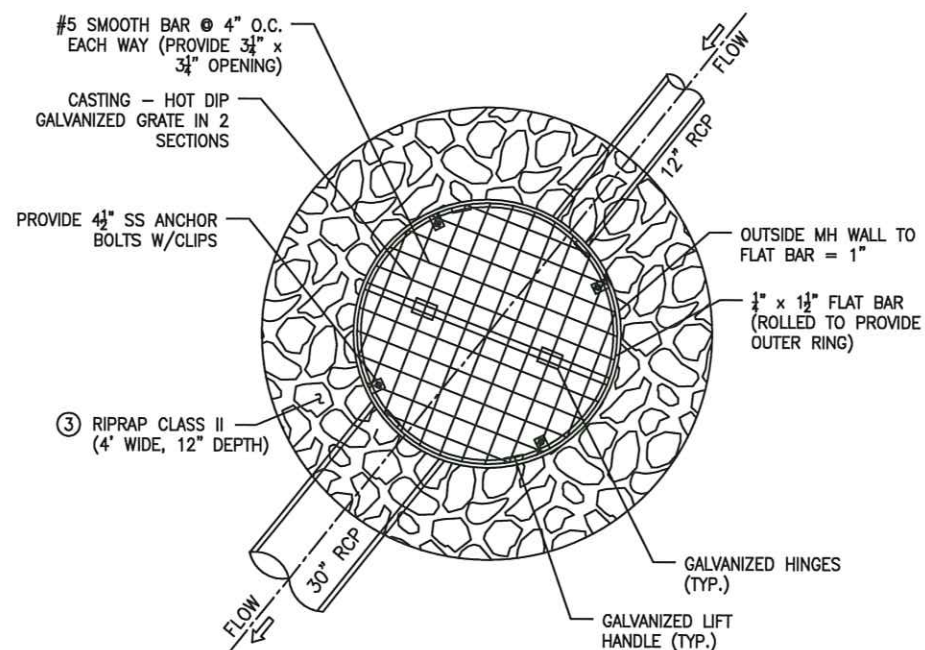
STATE AID PROJECT NO.  
062-649-050  
STATE PROJECT NO.  
COUNTY PROJECT NO.  
CITY PROJECT NO.

DRAWN BY  
KCB  
DESIGNED BY  
CJF  
CHECKED BY  
CJF  
COMM. NO. 15091



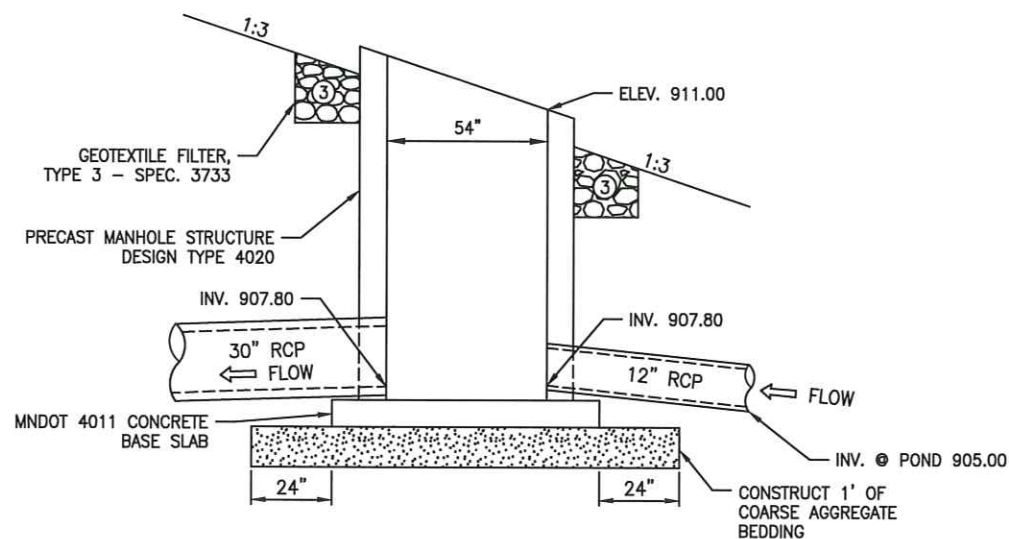
RAMSEY COUNTY  
CONTOUR PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN  
SHEET 333 OF 437





## PLAN

NO SCALE



DRAINAGE STRUCTURE DESIGN SPECIAL 5 – STRUCTURE 5403A ①②

NO SCALE

GENERAL NOTES:

CONTOURS ARE SHOWN AT FINISHED GRADE (TOP OF TOPSOIL).

CONTOUR INTERVAL = 1.0'.

PROTECT INPLACE UTILITIES.

POND HWL IS THE 100-YR HIGH WATER LEVEL.

INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE, OR WITHIN THREE FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. SEDIMENT ACCUMULATED IN PONDS DURING CONSTRUCTION MUST BE REMOVED TO RESTORE PLAN BOTTOM ELEVATION.

EXCAVATION SHALL BE PERFORMED BY AN EXCAVATOR WITH A TOOTHED BUCKET. WHEN EXCAVATING TO FINAL GRADE, AREA MUST BE STAKED OFF AND MARKED SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA.

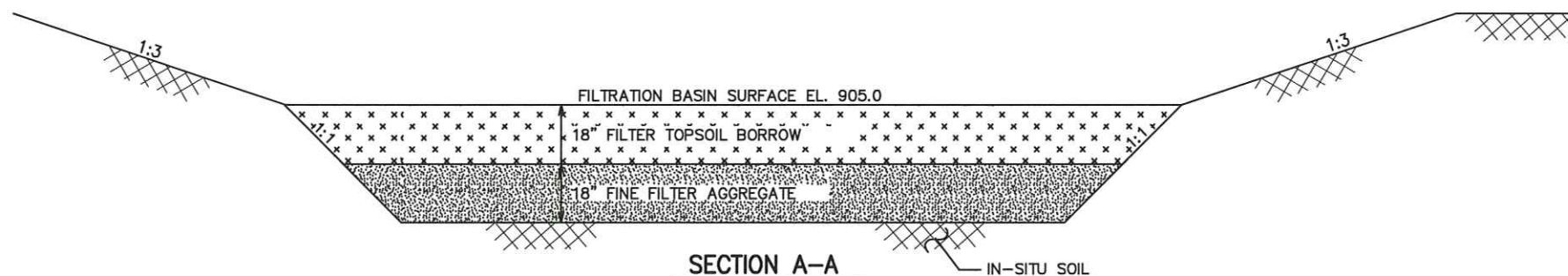
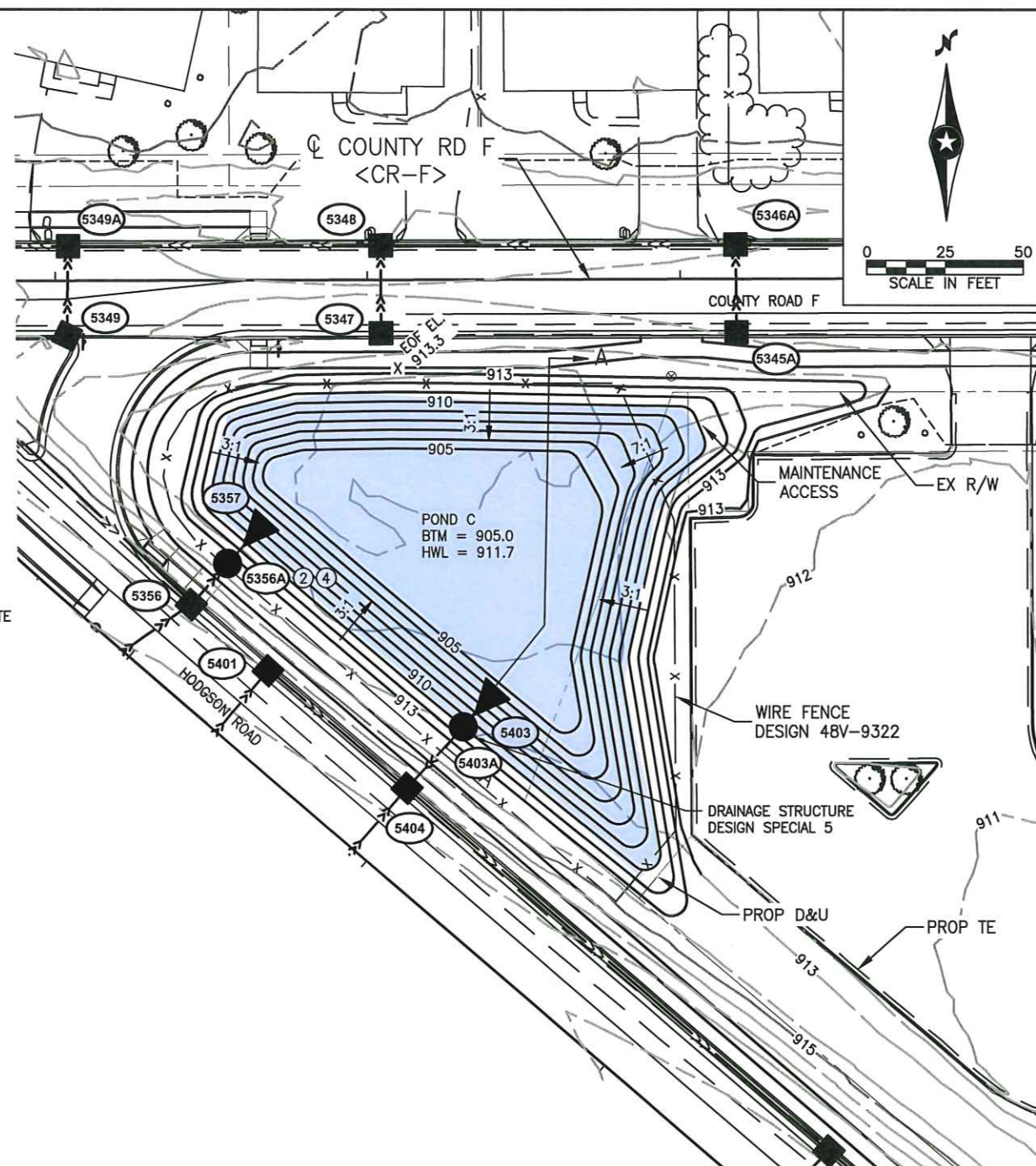
PRIOR TO THE RELEASE OF PERMIT OBLIGATIONS, THE PERMIT HOLDER MUST PROVIDE DOCUMENTATION THAT CONSTRUCTED VOLUME CONTROL FACILITIES HAVE THE CAPACITY AND PERFORM AS DESIGNED.

SEE THE DRAINAGE PLANS, PROFILES, AND TABULATIONS FOR STORM SEWER INFORMATION.

SEE EROSION CONTROL PLANS FOR SEEDING AND STABILIZATION INFORMATION.

NOTES:

- ① PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 5. PAY ITEM CONSISTS OF CONCRETE STRUCTURE AND BASE, BEDDING, GRATE, RIPRAP, GEOTEXTILE, STEPS, AND ALL HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. PAY ITEM DOES NOT INCLUDE INLET AND OUTLET PIPE.
- ② SEE DRAINAGE PROFILES AND TABULATIONS FOR STRUCTURE LOCATION AND PIPE INFORMATION.
- ③ RIPRAP PLACED AROUND THE PERIMETER OF GRATE MUST BE FLUSH WITH FINISHED SOIL GRADE AS SHOWN IN DETAIL.
- ④ PRE-TREATMENT SUMP STRUCTURE WITH BAFFLE. PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2.



SECTION A-A

NO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CONNOR J. FORTUNE

*Connor J. Fortune*

Date 2/13/2023 License # 58698

STATE AID PROJECT NO.	062-649-050
STATE PROJECT NO.	
COUNTY PROJECT NO.	
CITY PROJECT NO.	

DRAWN BY	KCB
DESIGNED BY	CJF
CHECKED BY	CJF
COMM. NO.	15091

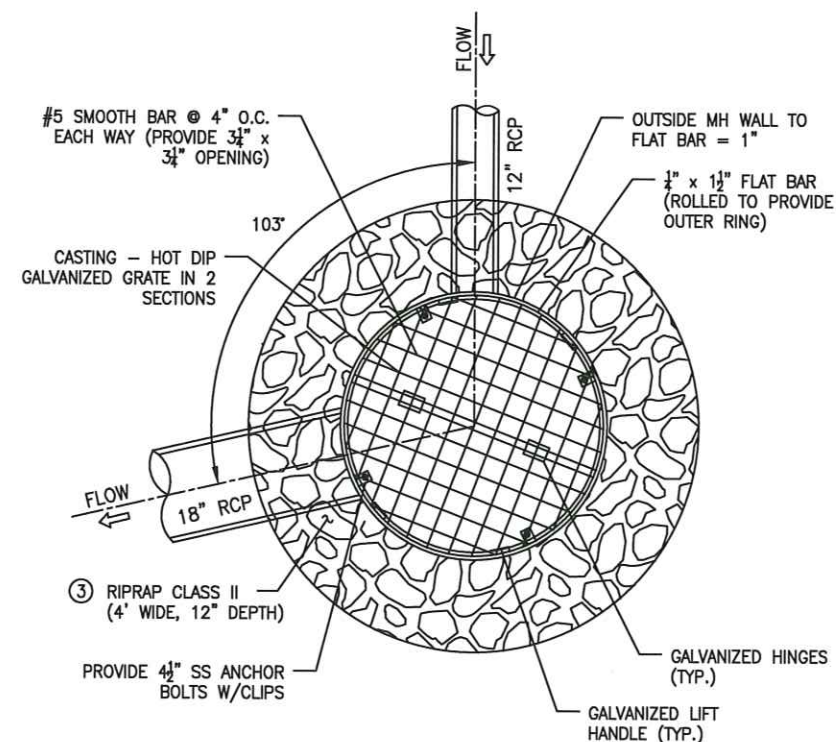


RAMSEY COUNTY

CONTOUR PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN

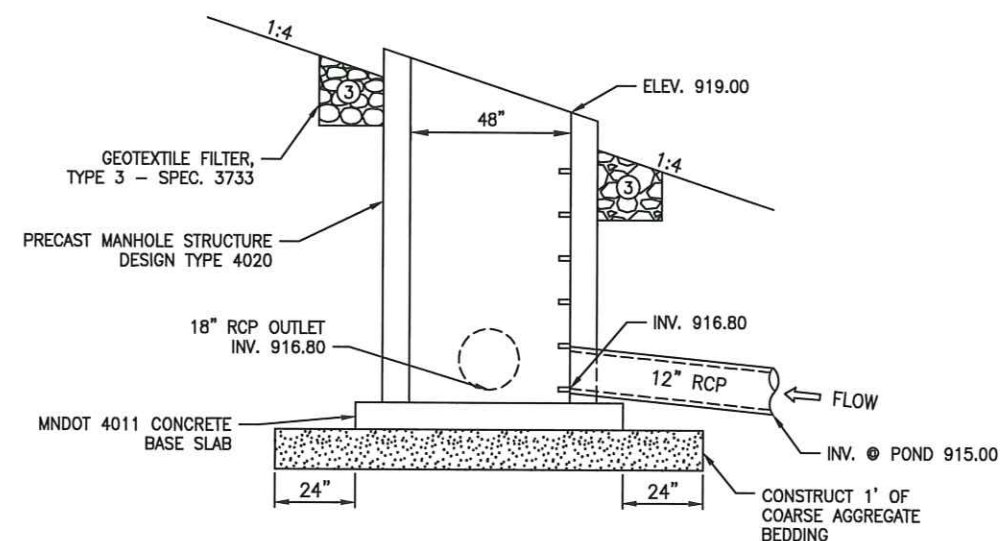
SHEET  
334  
OF  
437





## PLAN

NO SCALE



**DRAINAGE STRUCTURE DESIGN SPECIAL 6 – STRUCTURE 5301**

NO SCALE

GENERAL NOTES:

CONTOURS ARE SHOWN AT FINISHED GRADE (TOP OF TOPSOIL).

CONTOUR INTERVAL = 1.0'.

PROTECT INPLACE UTILITIES.

POND HWL IS THE 100-YR HIGH WATER LEVEL.

INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE, OR WITHIN THREE FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. SEDIMENT ACCUMULATED IN PONDS DURING CONSTRUCTION MUST BE REMOVED TO RESTORE PLAN BOTTOM ELEVATION.

EXCAVATION SHALL BE PERFORMED BY AN EXCAVATOR WITH A TOOTHED BUCKET. WHEN EXCAVATING TO FINAL GRADE, AREA MUST BE STAKED OFF AND MARKED SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA.

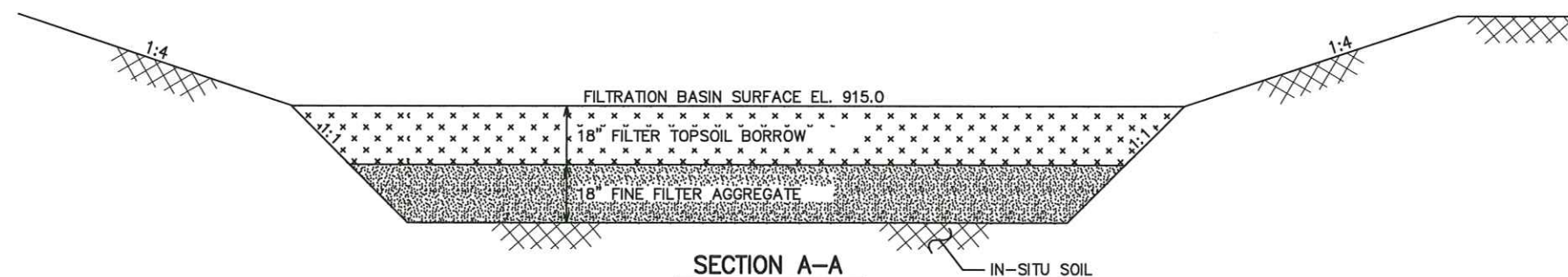
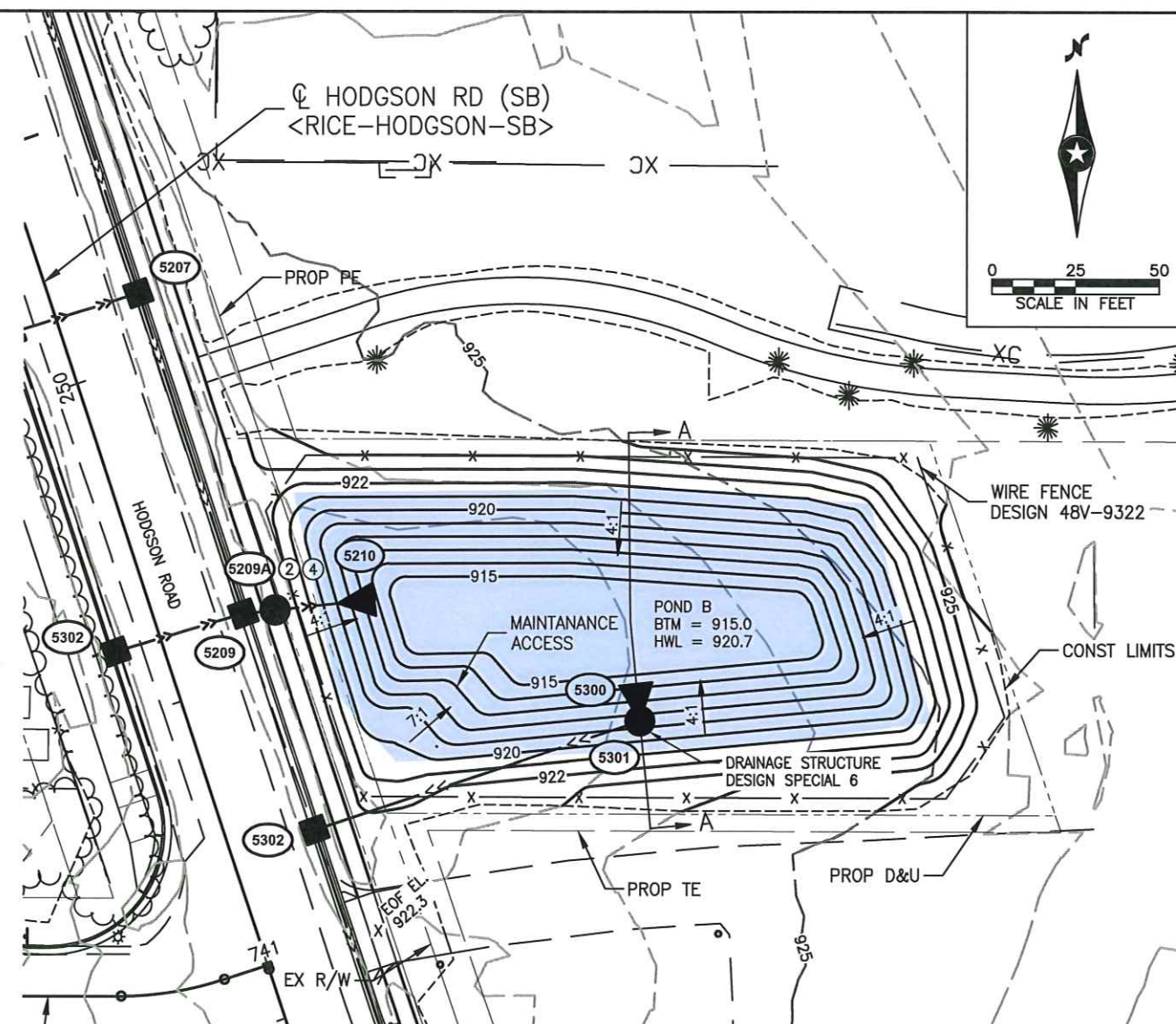
PRIOR TO THE RELEASE OF PERMIT OBLIGATIONS, THE PERMIT HOLDER MUST PROVIDE DOCUMENTATION THAT CONSTRUCTED VOLUME CONTROL FACILITIES HAVE THE CAPACITY AND PERFORM AS DESIGNED.

SEE THE DRAINAGE PLANS, PROFILES, AND TABULATIONS FOR STORM SEWER INFORMATION.

SEE EROSION CONTROL PLANS FOR SEEDING AND STABILIZATION INFORMATION.

NOTES:

- ① PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 6. PAY ITEM CONSISTS OF CONCRETE STRUCTURE AND BASE, BEDDING, GRATE, RIPRAP, GEOTEXTILE, STEPS, AND ALL HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. PAY ITEM DOES NOT INCLUDE INLET AND OUTLET PIPE.
- ② SEE DRAINAGE PROFILES AND TABULATIONS FOR STRUCTURE LOCATION AND PIPE INFORMATION.
- ③ RIPRAP PLACED AROUND THE PERIMETER OF GRATE MUST BE FLUSH WITH FINISHED SOIL GRADE AS SHOWN IN DETAIL.
- ④ PRE-TREATMENT SUMP STRUCTURE WITH BAFFLE. PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2.



SECTION A-A

NO SCALE

KOLTEN ESPINOSA | 1/18/2023 6:10:48 PM  
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CONNOR J. FORTUNE

*Connor J. Fortune*

Date: 2/13/2023 License # 58698

STATE AID PROJECT NO.	062-649-050
STATE PROJECT NO.	
COUNTY PROJECT NO.	
CITY PROJECT NO.	

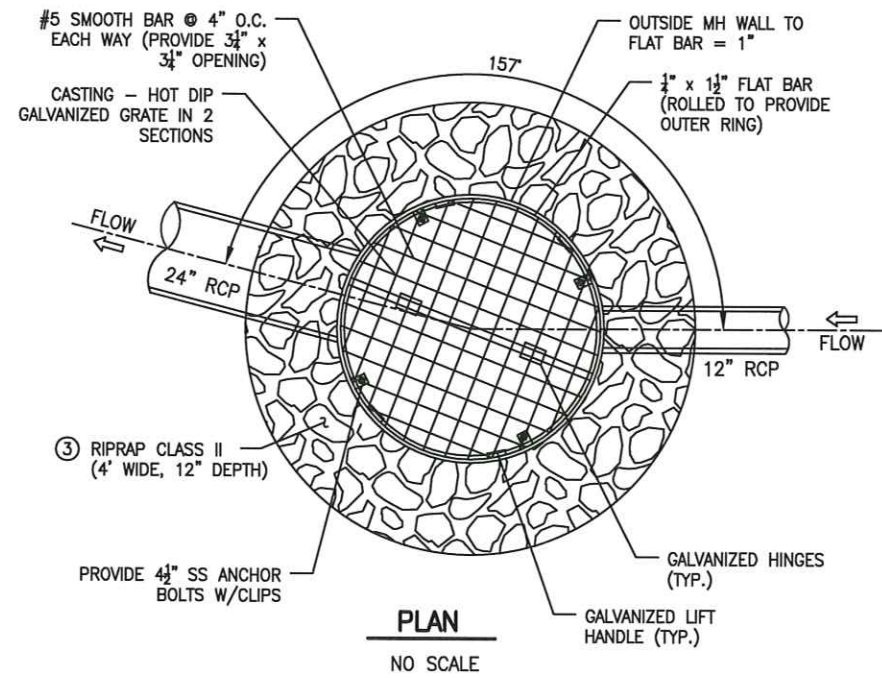
DRAWN BY	KCB
DESIGNED BY	CJF
CHECKED BY	CJF
COMM. NO.	1509



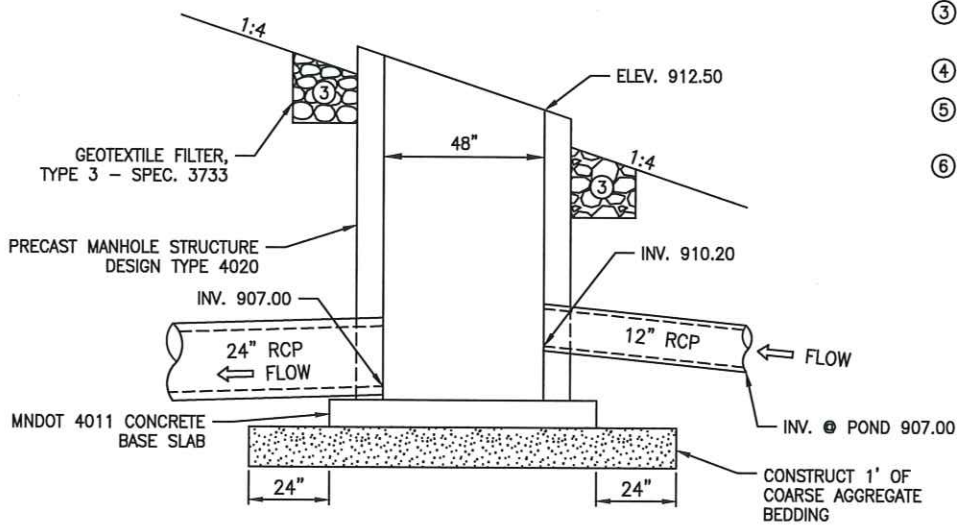
RAMSEY COUNTY  
CONTOUR PLANS  
HODGSON ROAD (CSAH 49) RECONSTRUCTION  
SHOREVIEW & VADNAIS HEIGHTS, MN

SHEET  
335  
OF  
437





PLAN  
NO SCALE



DRAINAGE STRUCTURE DESIGN SPECIAL 7 ① ②  
NO SCALE

**GENERAL NOTES:**

CONTOURS ARE SHOWN AT FINISHED GRADE (TOP OF TOPSOIL).  
CONTOUR INTERVAL = 1.0'.  
PROTECT INPLACE UTILITIES.  
POND HWL IS THE 100-YR HIGH WATER LEVEL.

INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE, OR WITHIN THREE FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. SEDIMENT ACCUMULATED IN PONDS DURING CONSTRUCTION MUST BE REMOVED TO RESTORE PLAN BOTTOM ELEVATION.

EXCAVATION SHALL BE PERFORMED BY AN EXCAVATOR WITH A TOOTHED BUCKET. WHEN EXCAVATING TO FINAL GRADE, AREA MUST BE STAKED OFF AND MARKED SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA.

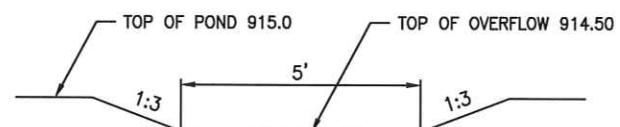
PRIOR TO THE RELEASE OF PERMIT OBLIGATIONS, THE PERMIT HOLDER MUST PROVIDE DOCUMENTATION THAT CONSTRUCTED VOLUME CONTROL FACILITIES HAVE THE CAPACITY AND PERFORM AS DESIGNED.

SEE THE DRAINAGE PLANS, PROFILES, AND TABULATIONS FOR STORM SEWER INFORMATION.

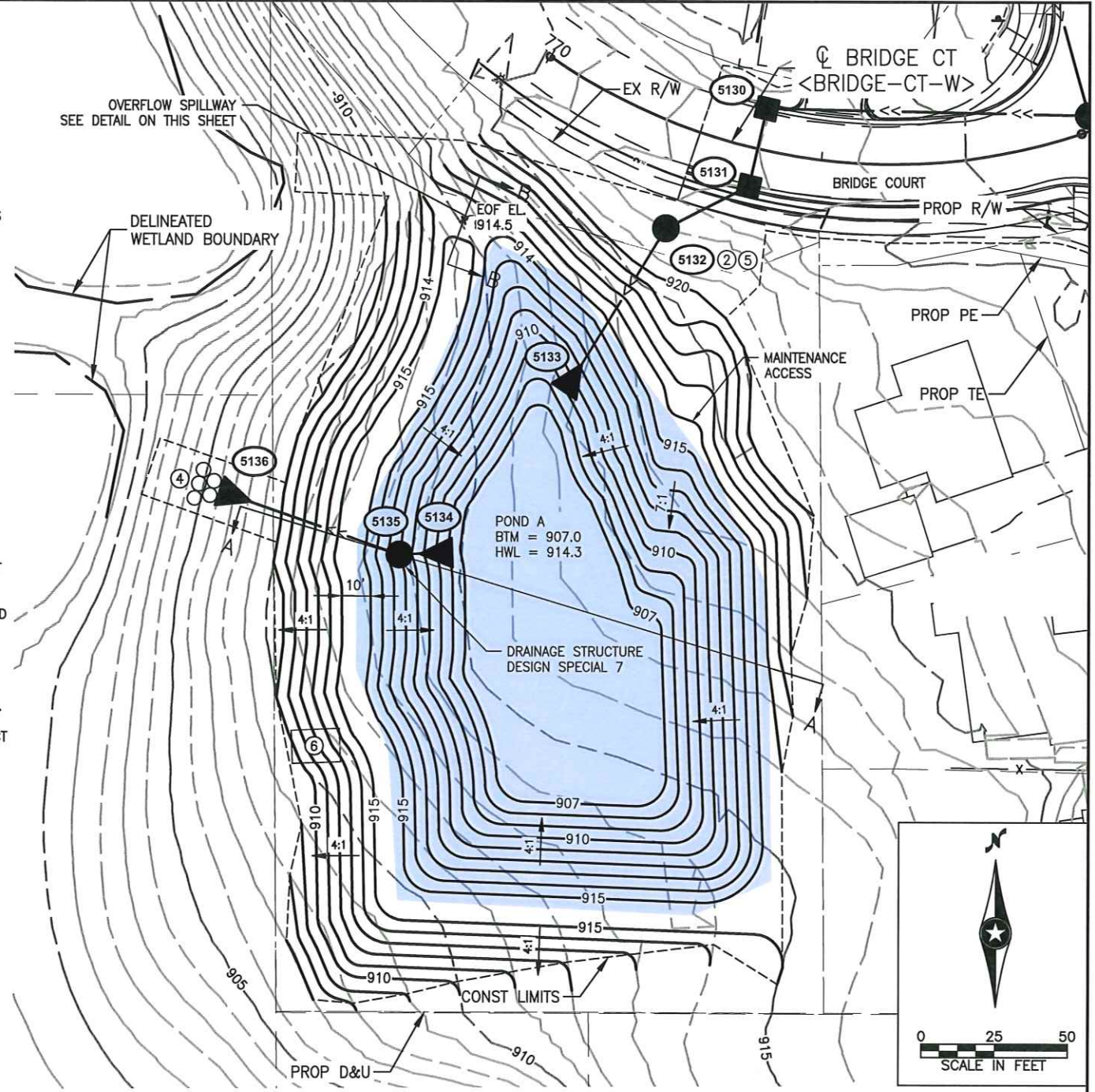
SEE EROSION CONTROL PLANS FOR SEEDING AND STABILIZATION INFORMATION.

**NOTES:**

- PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 7. PAY ITEM CONSISTS OF CONCRETE STRUCTURE AND BASE, BEDDING, GRATE, RIPRAP, GEOTEXTILE, STEPS, AND ALL HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. PAY ITEM DOES NOT INCLUDE INLET AND OUTLET PIPE.
- SEE DRAINAGE PROFILES AND TABULATIONS FOR STRUCTURE LOCATION AND PIPE INFORMATION.
- RIPRAP PLACED AROUND THE PERIMETER OF GRATE MUST BE FLUSH WITH FINISHED SOIL GRADE AS SHOWN IN DETAIL.
- INSTALL CLASS IV RIPRAP AT POND OUTLET PER MNDOT STD PLATE 3133.
- PRE-TREATMENT SUMP STRUCTURE WITH BAFFLE. PAID FOR AS CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2.
- SEE INPLACE TOPOGRAPHY AND UTILITY PLANS FOR SHED INFORMATION.





SECTION B-B  
OVERFLOW TYPICAL






LEGEND


 SURFACE FLOW ARROW


 DRAINAGE AREA NOT ROUTED TO BMP

DA-X/O-X

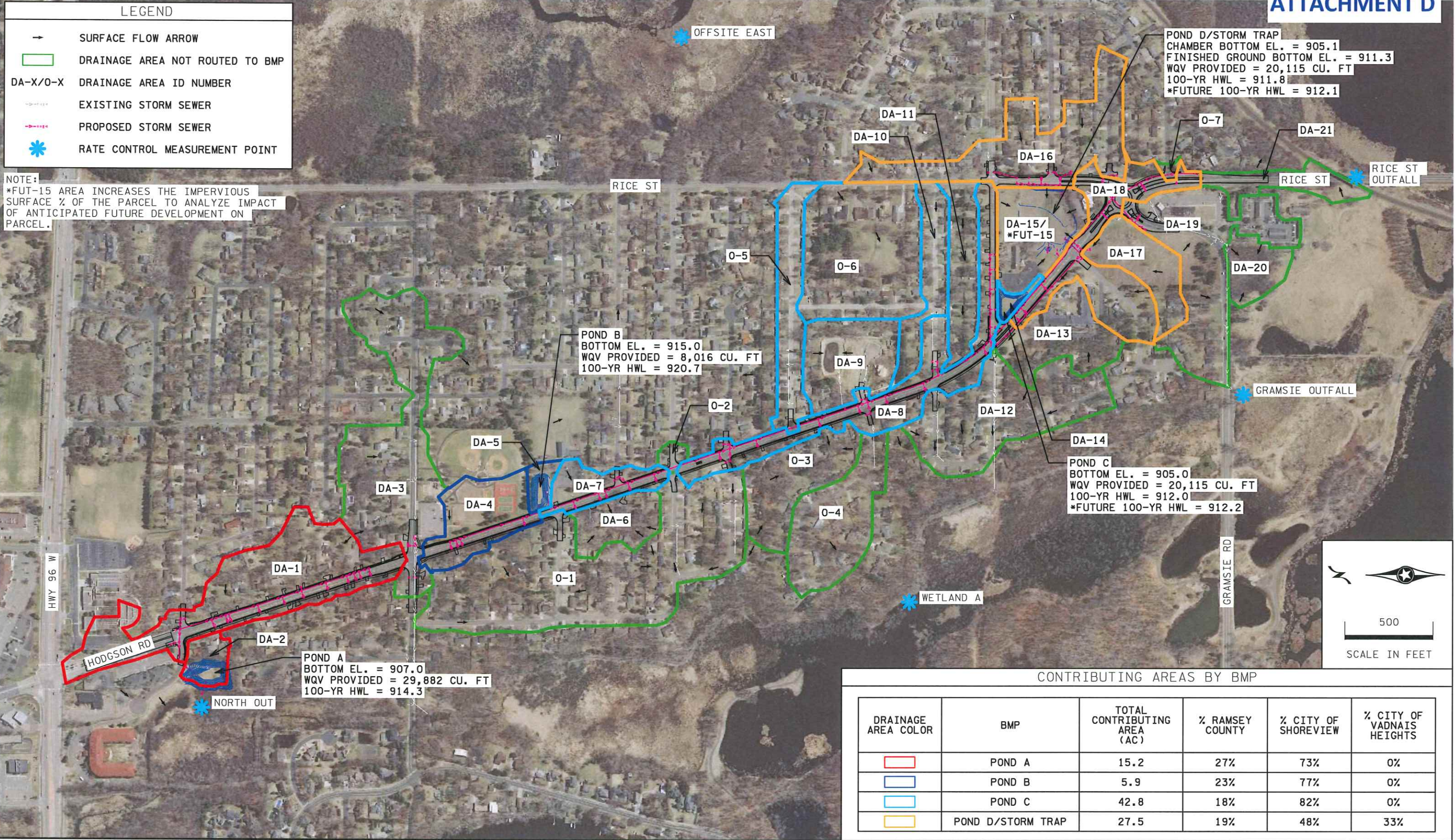
DRAINAGE AREA ID NUMBER

 EXISTING STORM SEWER

 PROPOSED STORM SEWER

 RATE CONTROL MEASUREMENT POINT

NOTE:  
\*FUT-15 AREA INCREASES THE IMPERVIOUS SURFACE % OF THE PARCEL TO ANALYZE IMPACT OF ANTICIPATED FUTURE DEVELOPMENT ON PARCEL.





**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA  
HELD APRIL 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on April 15, 2024 at 7 pm. The following members were present:

;

And the following members were absent:

Councilmember introduced the following resolution and moved its adoption.

\* \* \* \* \*

**RESOLUTION NO. 24-20**

**A RESOLUTION APPROVING COOPERATIVE AGREEMENT  
PUBW2022-17R ASSOCIATED WITH THE HODGSON ROAD  
RECONSTRUCTION, CITY PROJECT 23-02**

**WHEREAS**, Ramsey County has entered into a construction contract for the Hodgson Road Reconstruction, city project 23-02; and,

**WHEREAS**, the City of Shoreview has agreed to participate in costs and maintain portions of the infrastructure associated with the improvements; and,

**WHEREAS**, Ramsey County requires a cooperative agreement with the City of Shoreview that includes a cost participation summary and maintenance responsibilities for the project.

**NOW, THEREFORE BE IT RESOLVED** that the City Council of the City of Shoreview, County of Ramsey, State of Minnesota, hereby approves Agreement PUBW2022-17R between the City of Shoreview and Ramsey County and the Mayor and City Manager are authorized to sign.

\* \* \* \* \*

The motion of the foregoing resolution was duly seconded by Councilmember and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15<sup>th</sup> day of April, 2024.

---

Sue Denking, Mayor

**STATE OF MINNESOTA)**

**COUNTY OF RAMSEY)**

**CITY OF SHOREVIEW)**

I, the undersigned, being the duly qualified city manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council on the 15<sup>th</sup> day of April, 2024, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to the approval of cooperative agreement PUBW2022-17R associated with the Hodgson Road Reconstruction, city project 23-02.

**WITNESS MY HAND** officially as such city manager and the corporate seal of the City of Shoreview, Minnesota this 16<sup>th</sup> day of April, 2024.

---

Brad Martens, City Manager

SEAL

# Memorandum

**TO:** City Council  
**FROM:** Tom Wesolowski , Public Works Director  
**DATE:** April 15, 2024  
**SUBJECT:** Establish parking restrictions on the south side of Lepak Court  
**ITEM NUMBER:** 8.f  
**SECTION:** CONSENT AGENDA

---

## **REQUESTED MOTION**

To adopt Resolution No. 24-21 establishing parking restrictions on the south side of Lepak Court.

## **INTRODUCTION**

The public works department is recommending changes to the on-street parking regulations for the south side of Lepak Court, east of Wood Duck Court. Because the recommended change involves regulatory type signs (stop, parking, speed limit, ect.), state law requires that any changes or sign additions be ordered by the city council.

## **DISCUSSION**

Recently, city staff was contacted by the Mounds View School District transportation manager concerning issues the school buses were experiencing while trying to turn into the Turtle Lake Elementary School parking lot. Buses access the parking lot from Lepak Court and currently parking is allowed on both sides of the street near the parking lot entrance. During the times the buses are entering the parking lot to drop off or pick up the students, vehicles parked on the south side of the street across from the entrance to the parking lot reduce the amount of turning space available to the buses and make it difficult to enter the parking lot area. Videos provided to staff from the bus driver point of confirmed the issues with accessing the parking lot. Restricting parking on the south side of Lepak Court near the parking lot entrance would provide enough space for the buses to turn into the parking lot and alleviate the issues they are currently experiencing.

Due to the size of the existing parking lots at the school, parking spaces are sometimes not available and school staff park on Lepak Court. The proposed parking restriction would eliminate approximately ten parking spaces on Lepak Court and the school expressed concerns about the reduction of available parking spaces. The Heritage Park parking lot is located across the street from the school and based on discussions with city park staff and Shoreview's Historical Society, it was determined school staff could park in the Heritage Park parking lot when needed. This was acceptable to the school and is similar to the arrangement between the city and Island Lake Elementary School allowing staff to park at Bobby Theisen Park.

The no parking restriction would include the south side of Lepak Court for a distance of 260-feet east of Wood Duck Court between the hours of 8:30am and 4:30pm, Monday through

Friday to cover the time the buses need to access the parking lot. A map showing the location of the proposed parking restriction is attached at the end of this report. The Turtle Lake Elementary principal and Mounds View School District transportation manager support the proposed parking restriction.

#### **RECOMMENDATION**

It is recommended the city council adopt the attached resolution establishing parking restrictions on the south side of Lepak Court.

#### **ATTACHMENTS**

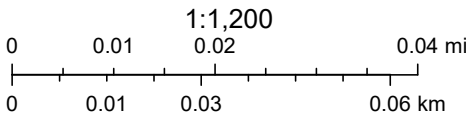
[Lepak Ct No Parking Map](#)  
[Resolution 24-21](#)

# Map Ramsey



4/6/2024, 7:35:21 AM

- |            |                     |                     |             |            |
|------------|---------------------|---------------------|-------------|------------|
| Override 1 | US or State Highway | US or State Highway | County Road | Local Road |
| Streets    | US or State Highway | Connector (Ramp)    | Local Road  | Local Road |
| Interstate | US or State Highway | County Road         | Local Road  | Local Road |



**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA  
HELD APRIL 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on April 15, 2024 at 7 pm. The following members were present:

And the following members were absent:

Councilmember introduced the following resolution and moved its adoption.

\* \* \* \* \*

**RESOLUTION NO. 24-21**

**A RESOLUTION ESTABLISHING PARKING RESTRICTIONS FOR THE  
SOUTH SIDE OF LEPAK COURT EAST OF WOOD DUCK COURT**

**WHEREAS**, the City of Shoreview, as a road authority, is responsible for traffic control on local streets; and

**WHEREAS**, the City has determined the need for revisions to on-street parking regulations for a portion of Lepak Court, a public street under City jurisdiction.

**NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHOREVIEW THAT:**

1. Parking restrictions along the south side of Lepak Court for a distance of 260-feet east of Wood Duck Court are hereby established between the hours of 8:30am and 4:30pm, Monday through Friday.
2. The public works director is hereby directed to place no parking signage along the above described portion of Lepak Court.

\* \* \* \* \*

The motion of the foregoing resolution was duly seconded by Councilmember and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15<sup>th</sup> day of April, 2024.

---

Sue Denkinger, Mayor

**STATE OF MINNESOTA)**

**COUNTY OF RAMSEY)**

**CITY OF SHOREVIEW)**

I, the undersigned, being the duly qualified city manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council on the 15<sup>th</sup> day of April, 2024, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to establishment of parking restrictions for Lepak Court.

**WITNESS MY HAND** officially as such city manager and the corporate seal of the City of Shoreview, Minnesota this 16<sup>th</sup> day of 2024.

---

Brad Martens, City Manager

SEAL



# Memorandum

**TO:** City Council

**FROM:** Tom Wesolowski , Public Works Director

**DATE:** April 15, 2024

**SUBJECT:** Authorize execution of a joint powers agreement with the City of Lino Lakes associated with the Hodgson Road and County Road J Reconstruction, city project 23-01

**ITEM NUMBER:** 8.g

**SECTION:** CONSENT AGENDA

---

## **REQUESTED MOTION**

To adopt Resolution No. 24-22 authorizing execution of a joint powers agreement with the City of Lino Lakes associated with Hodgson Road and County Road J Reconstruction, city project 23-01.

## **INTRODUCTION**

As part of Ramsey County's reconstruction of the Hodgson Road and County Road J intersection a joint powers agreement that includes cost share participation and maintenance responsibilities for the roundabout and stormwater infrastructure is required between Shoreview and Lino Lakes. Council authorization is required for the execution of the agreement.

## **DISCUSSION**

To address traffic issues, Anoka and Ramsey Counties in cooperation with the cities of Shoreview and Lino Lakes are planning to reconstruct portions of Hodgson Road and County Road J. County Road J is located along the border of Ramsey County and Shoreview to the south and Anoka County and Lino Lakes to the north and will be reconstructed from 350-feet west of Grotto Street to 250-feet east of Kent Street. The portion of Hodgson Road located in Ramsey County and Shoreview will be reconstructed from County Road J south to Emil Avenue and the portion in Anoka County and Lino Lakes from County Road J north to Rohavic Lane. A drawing of the project area is attached at the end of this report.

As part of the project the existing street signal at the Hodgson Road/County Road J intersection will be removed and a roundabout installed. The cost to landscape the center of the roundabout and the future costs associated with maintaining the roundabout landscaping and stormwater infrastructure associated with the roundabout is shared between the cities of Shoreview and Lino Lakes. The City of Lino Lakes will bid the landscaping project and the City of Shoreview will reimburse Lino Lakes for a portion of the cost. The estimated total cost for the landscaping is \$49,423.50 with a Lino Lakes share of \$25,888.50 and Shoreview's share of \$23,535.00. A copy of the joint powers agreement, which includes a cost share breakdown is attached at the end of this report. Shoreview's actual cost share for the project will be determined based on the contract unit prices and quantities installed. The city's cost share for

the landscaping will be funded from Municipal State Aid. Lino Lakes will maintain the roundabout center landscaping and stormwater filtration basin associated with the round about as per the schedule included in the attached agreement and invoice the City of Shoreview for 50% of the associated cost.

The joint powers agreement will be presented to the Lino Lakes city council for consideration at a meeting in April or May.

#### **RECOMMENDATION**

It is recommended the city council adopt the attached resolution authorizing the execution of a joint powers agreement with Lino Lakes associated with the Hodgson Road and County Road J Reconstruction, city project 23-01.

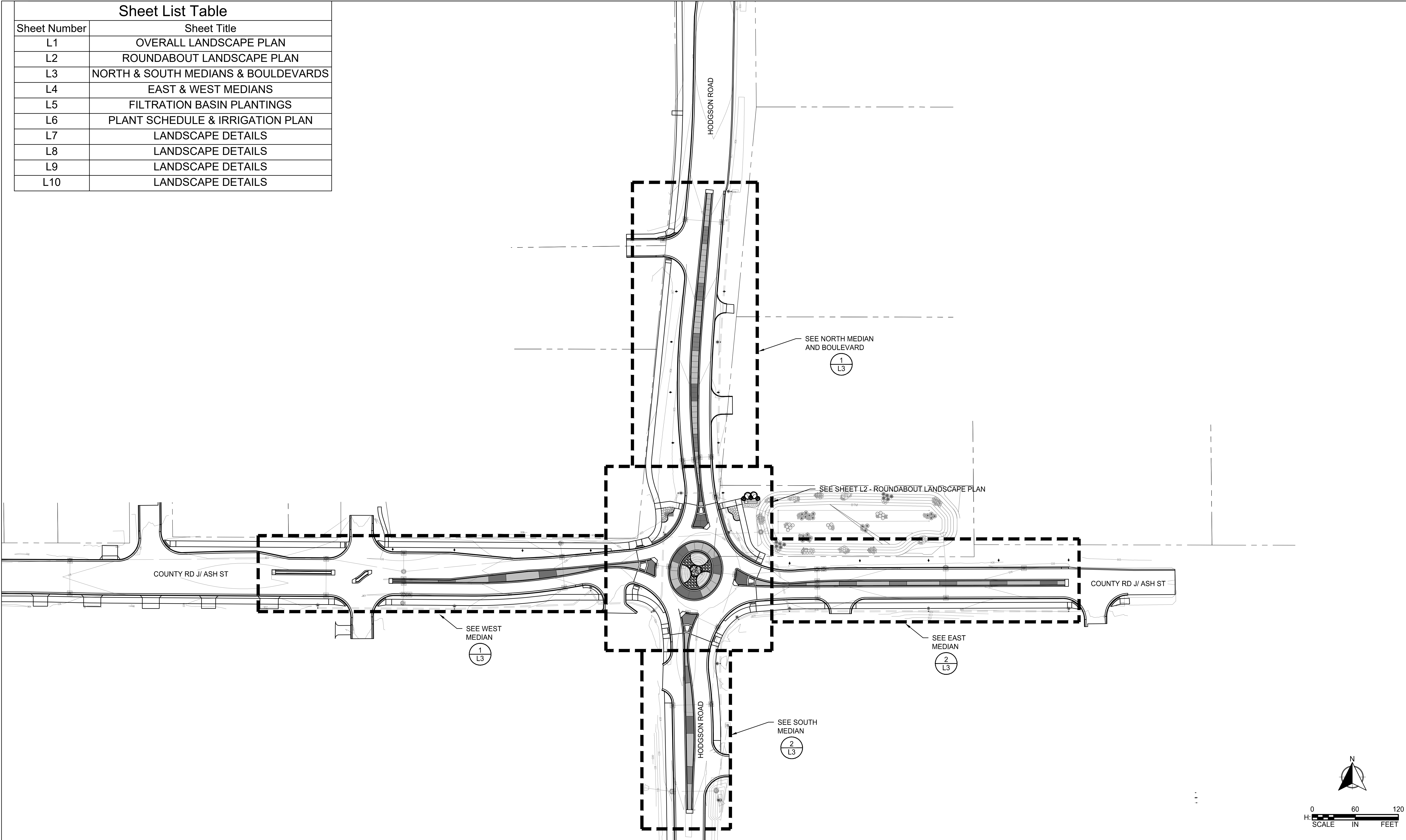
#### **ATTACHMENTS**

[Project Map](#)

[JPA Shoreview and Lino Lakes](#)

[Resolution 24-22](#)

Sheet List Table	
Sheet Number	Sheet Title
L1	OVERALL LANDSCAPE PLAN
L2	ROUNDAABOUT LANDSCAPE PLAN
L3	NORTH & SOUTH MEDIANS & BOULDEVARDS
L4	EAST & WEST MEDIANS
L5	FILTRATION BASIN PLANTINGS
L6	PLANT SCHEDULE & IRRIGATION PLAN
L7	LANDSCAPE DETAILS
L8	LANDSCAPE DETAILS
L9	LANDSCAPE DETAILS
L10	LANDSCAPE DETAILS



NO.	DATE	BY	CHK	REVISIONS

Design By:	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Plan By:	
Checked By:	
Approved By:	
PRINT NAME:	_____
DATE	_____ LICENSE # _____



**CSAH 49 at Ramsey County CSAH 1 / Anoka County CSAH 32 Intersection Improvements**

ANOKE & RAMSEY COUNTY, MN	SHEET L1 OF 10 SHEETS
OVERALL LANDSCAPE PLAN	

K:\021397-000\Cad\Plan\021397-000-L1-PLINT-PLAN.dwg

JOINT POWERS AGREEMENT FOR  
ROUNABOUT CENTER LANDSCAPING AND STORM WATER SYSTEM  
MAINTENANCE OF THE CSAH 49 AT RAMSEY COUNTY CSAH 1 / ANOKA COUNTY  
CSAH 32 ROUNABOUT

This Agreement made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2024, by and between the City of Lino Lakes, 600 Town Center Parkway, Lino Lakes, MN 55014, hereinafter referred to as “Lino Lakes” and the City of Shoreview, 4600 Victoria Street North, Shoreview, MN 55126, hereinafter referred to as “Shoreview”.

WITNESSETH

WHEREAS, Anoka County and Ramsey County are reconstructing the intersection of County State Aid Highway 49 (Hodgson Road), hereinafter referred to as CSAH 49, and Anoka County State Aid Highway 32 (Ash Street)/ Ramsey County State Aid Highway 1 (County Road J), hereinafter referred to as CSAH 32/CSAH 1 which is a shared border between Lino Lakes and Shoreview, the “Cities”; and

WHEREAS, the Cities consider it mutually desirable to divide the cost equally for the installation of a landscaped roundabout center island; and

WHEREAS, pursuant to Anoka County and Ramsey County policies and the Joint Powers Agreement between Anoka and Ramsey Counties and the Cities, the maintenance of the storm sewer (except catch basins and leads), filtration basin, and landscaped roundabout center island is the responsibility of the Cities; and

WHEREAS, the Cities also consider it mutually desirable to divide the cost equally for the maintenance of the storm sewer (except catch basins and leads), filtration basin, landscaped roundabout center island; and

WHEREAS, Minnesota Statutes Section 471.59 authorizes political subdivisions of the State to enter into joint powers agreements for the joint exercise of powers common to each.

NOW, THEREFORE, IT IS MUTUALLY STIPULATED AND AGREED:

I. PURPOSE

The Cities have joined together for the purpose of sharing the installation cost of the landscaped roundabout center. The City of Lino Lakes will bid the landscaping project and Shoreview will reimburse the City of Lino Lakes as outlined within.

The Cities will share the maintenance cost of the storm sewer (except catch basins and leads), filtration basin, and landscaped roundabout center island at the roundabout at CSAH 49 at Ramsey County CSAH 1/Anoka County CSAH 32.

II. METHOD AND COSTS

Roundabout Landscaping Cost

The estimated construction costs and City cost shares for the CSAH 49 at Ramsey County CSAH 1/Anoka County CSAH 32 landscaped roundabout center are shown in Exhibit C. Actual costs will vary and those will be the costs for which the relevant parties will be responsible. The total estimated roundabout landscaping cost is \$49,423.50. The City of Lino Lake's cost share is \$25,888.50 and the City of Shoreview's cost share is \$23,535.00.

After award of the contract, the City of Lino Lakes shall receive from Shoreview ninety percent (90%) of its estimated share of the project cost within 60 days of award of a

construction contract. Prior to billing this estimate will be updated by Lino Lakes to reflect actual bid prices as awarded. An updated cost estimate shall be provided to Shoreview at the time of billing.

Upon final completion of the project, Shoreview's share of the cost will be based upon actual costs incurred. If necessary, adjustments to the initial ninety (90%) charged will be made in the form of credit or additional charges to Shoreview's remaining ten percent (10%) share of the project costs. Final payment shall be due within 30 days of billing by Lino Lakes.

#### Roundabout Landscaping Maintenance

Lino Lakes will maintain and irrigate the roundabout center landscaping per the enclosed schedule, Exhibit A. Shoreview will reimburse Lino Lakes for one half of inspection and maintenance costs annually. Lino Lakes will coordinate with Shoreview prior to incurring costs. Each City agrees to pay the other maintenance costs as are billed to it within 30 days of receipt of an invoice.

#### Storm Sewer and Filtration Basin Maintenance

Lino Lakes will inspect and maintain the storm sewer (except catch basins and leads) and the filtration basin, Exhibit B. The filtration basin is located at the northeast corner of CSAH 49 at Ramsey County CSAH 1/Anoka County CSAH 32 intersection. The facilities will be maintained in accordance with the Lino Lakes' Programmatic Maintenance Agreement in place with Rice Creek Watershed District and enclosed schedule. Shoreview will reimburse Lino Lakes for one half of inspection and maintenance costs annually. Lino Lakes will coordinate with Shoreview prior to incurring costs. Each City agrees to pay the other maintenance costs as are billed to it within 30 days of receipt of an invoice.

### III. STRICT ACCOUNTABILITY

A strict accounting shall be made of all bills received by each City and shall be made upon request by either party.

### IV. NOTICE

For purposes of delivery of any notices hereunder, the notice shall be effective if delivered to the City Manager of Shoreview, 4600 Victoria Street North, Shoreview, MN 55126, and the City Administrator of Lino Lakes, 600 Town Center Parkway, Lino Lakes, MN 55014.

### V. INDEMNIFICATION

Lino Lakes and Shoreview agree to mutually indemnify and hold each other harmless from any claims, losses, costs, expenses or damages resulting from the acts or omissions of the respective officers, agents, or employees relating to activities conducted by either party under this Agreement.

### VI. ENTIRE AGREEMENT REQUIREMENT OF WRITING

It is understood and agreed that the entire agreement of the parties is contained herein and that this Agreement supersedes all oral agreements and all negotiations between the parties relating to the subject matter thereof, as well as any previous agreement presently in effect between the parties to the subject matter thereof. Any alterations, variations, or modifications of the provisions of this Agreement shall be valid only when they have been reduced to writing and duly signed by the parties.

IN WITNESS WHEREOF, the parties of this Agreement have hereunto set their hands on the dates written below.

CITY OF SHOREVIEW

CITY OF LINO LAKES

By: \_\_\_\_\_  
Sue Denkinger  
Mayor

By: \_\_\_\_\_  
Rob Rafferty  
Mayor

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

ATTEST:

ATTEST:

By: \_\_\_\_\_  
Brad Martens  
City Manager

By: \_\_\_\_\_  
Jolleen Chaika  
City Clerk

Dated: \_\_\_\_\_

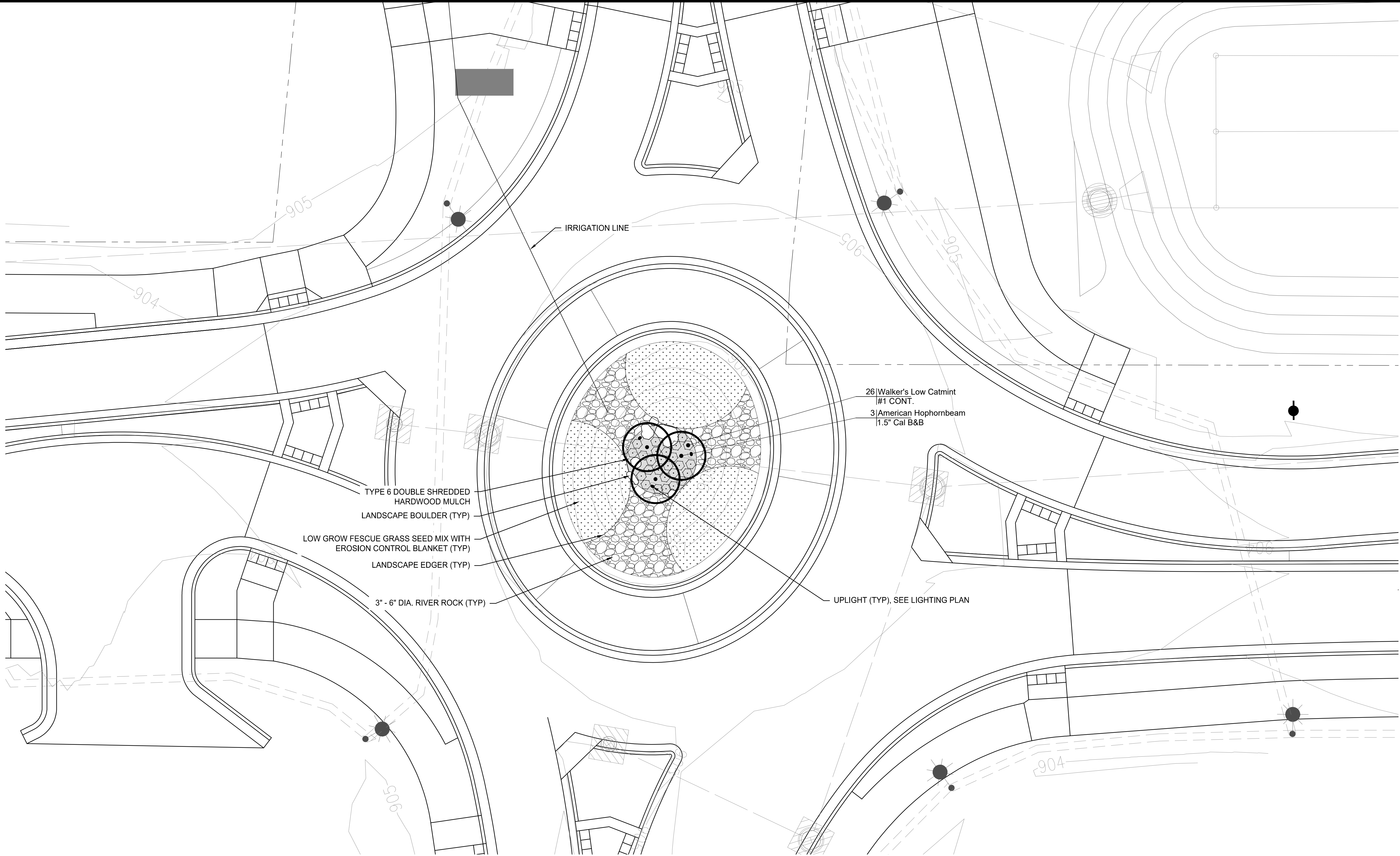
Dated: \_\_\_\_\_

## EXHIBIT A

Activity	Frequency
Remove and replace dead plants and reseed empty patches	As needed (for first 12 month after installation)
Mow Grow Low Fescue Grass	Each fall
Remove garbage and debris	Each spring and fall
Remove weeds from river rock and mulched areas	Twice during growing season
Prune trees	Later winter / early spring
Top dress hardwood mulch	Each spring
Inspect up-light units	Annually
Repair/adjust irrigation spray heads	As needed
Repair/adjust landscape edging	As needed

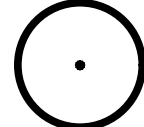



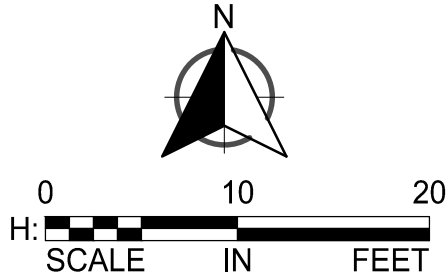
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LOW GROW FESCUE SEED MIXTURE:  
(SEEDING RATE 250 LBS PER ACRE)  
25% BLUE MESA SHEEP FESCUE  
25% NANOOK HARD FESCUE  
25%INTRIGUE CHEWINGS FESCUE  
25% CELESTIAL CREEPING RED FESCUE

### PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT
	3	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM	1.5" CAL B&B
PERENNIAL	QTY	BOTANICAL / COMMON NAME	SIZE
	26	NEPETA X FAASSENII 'WALKER'S LOW' / WALKER'S LOW CATMINT	#1 CONT.



wsb

SCALE: AS SHOWN

DESIGN BY: JG

PLAN BY: JG

CHECK BY: CA

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JORDAN GEDROSE, PLA

DATE: 3/18/2024

LIC. NO: 58254

### ROUNDABOUT LANDSCAPE PLAN

## HODGSON ROAD AND COUNTY ROAD J LANDSCAPE IMPROVEMENTS

### CITY OF LINO LAKES

WSB PROJECT NO. 021397-000

SHEET L3

130

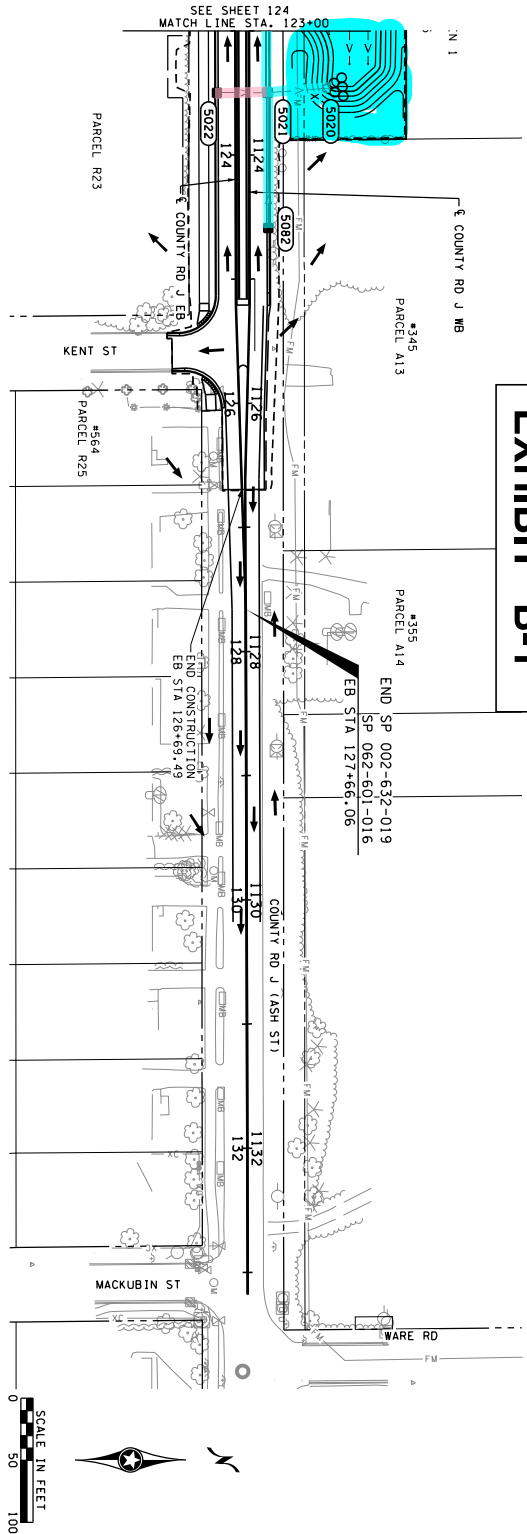


## EXHIBIT B

Activity	Frequency
Check for failure/erosion at inlet	After rainfall >0.5" (for first 6 months of BMP)
Remove and replace dead plants, reseed empty patches	As needed (for first 12 months of BMP)
Remove trash/debris from BMP	Monthly during rainy months
Weed and remove invasives	Twice during growing season
Check for ponding/clogging in BMP	Semi-annually
Cut back vegetation	Each spring
Remove leaf buildup	Each fall
Check for and remove excess sediment, repair eroded areas	Annually
Repair/replace broken pipes	As needed
Supplemental watering of vegetation	As needed during dry periods
Media regeneration/replacement	As needed (likely 5-10+ years of operation)



# EXHIBIT "B-1"



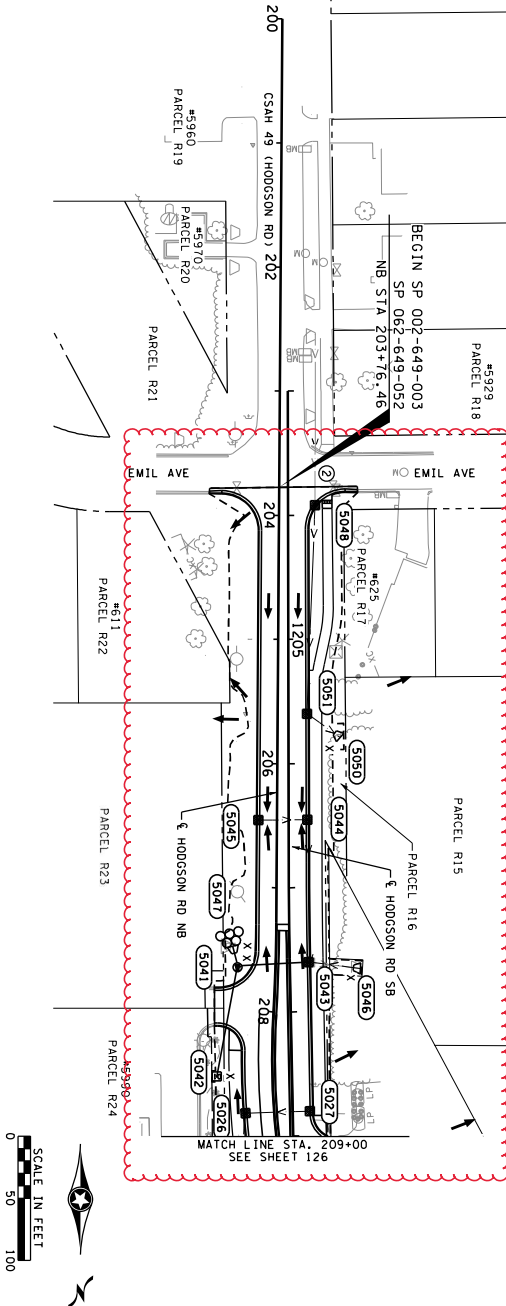
## LEGEND

- GUIDE POST TYPE B
- RANDOM REPAIR
- MANHOLE
- WATER INLET
- APRON
- STRUCTURE
- SURFACE FLOW DIRECTION
- CONNECT TO EXISTING DRAINAGE STRUCTURE
- CONNECT TO EXISTING STORM SEWER
- STORM SEWER PIPE
- IN-PLACE STORM SEWER
- IN-PLACE CULVERT
- CONSTRUCTION LIMITS
- AREA OF ENVIRONMENTAL SENSITIVITY

City maintained

County maintained

## RAMSEY COUNTY



NO.	DATE	BY	CHECKED	REVISIONS
1	9/22/2023	W.S.B.	W.S.B.	1.0
2	9/22/2023	W.S.B.	W.S.B.	2.0
3	9/22/2023	W.S.B.	W.S.B.	3.0
4	9/22/2023	W.S.B.	W.S.B.	4.0
5	9/22/2023	W.S.B.	W.S.B.	5.0
6	9/22/2023	W.S.B.	W.S.B.	6.0
7	9/22/2023	W.S.B.	W.S.B.	7.0
8	9/22/2023	W.S.B.	W.S.B.	8.0
9	9/22/2023	W.S.B.	W.S.B.	9.0
10	9/22/2023	W.S.B.	W.S.B.	10.0



CSAH 49 at Ramsey County  
CSAH 1 / Anoka County CSAH 32  
Intersection Improvements

ANOKA & RAMSEY COUNTY, MN	SHEET 125 OF 159 SHEETS
EB STA 123+00 TO EB STA 127+66.06 NB STA 123+00 TO NB STA 127+66.06 DRAINAGE PLAN	SP 002-632-019, SP 002-498-003, SP 062-601-016, SP 062-498-002





## EXHIBIT C

<b>Hodgson and County Road J</b>									
<b>ROUNDABOUT LANDSCAPING AND IRRIGATION QUOTE</b>		<b>Qty</b>	<b>Unit</b>	<b>Unit Cost</b>	<b>Total Cost</b>	<b>% Lino Lakes Funded</b>	<b>City of Lino Lakes</b>	<b>% Shoreview Funded</b>	<b>City of Shoreview</b>
2021.501	MOBILIZATION	1	LS	\$2,353.50	\$2,353.50	100%	\$2,353.50	0%	\$0.00
2511.602	LANDSCAPE BOULDER	6	EA	\$500.00	\$3,000.00	50%	\$1,500.00	50%	\$1,500.00
2540.603	LANDSCAPE EDGER	160	LF	\$20.00	\$3,200.00	50%	\$1,600.00	50%	\$1,600.00
2571.502	DECIDUOUS TREE 1.5" CAL B&B	3	EA	\$500.00	\$1,500.00	50%	\$750.00	50%	\$750.00
2571.507	PERENNIAL NO 1 CONT	26	EA	\$30.00	\$780.00	50%	\$390.00	50%	\$390.00
2575.508	GROW LOW FESCUE GRASS	875	SF	\$6.00	\$5,250.00	50%	\$2,625.00	50%	\$2,625.00
2575.513	MULCH MATERIAL TYPE 6	2	CY	\$95.00	\$190.00	50%	\$95.00	50%	\$95.00
2573.503	EROSION CONTROL BLANKET CATEGORY 30								
2575.607	RIVER ROCK	10	CY	\$300.00	\$3,000.00	50%	\$1,500.00	50%	\$1,500.00
2575.507	BOULEVARD TOPSOIL BORROW	1.5	CY	\$100.00	\$150.00	50%	\$75.00	50%	\$75.00
2571.507	IRRIGATION SYSTEM	1	LS	\$30,000.00	\$30,000.00	50%	\$15,000.00	50%	\$15,000.00
				Total:	<b>\$49,423.50</b>		\$25,888.50		\$23,535.00

**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA  
HELD APRIL 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on April 15, 2024 at 7 pm. The following members were present:

;

And the following members were absent:

Councilmember introduced the following resolution and moved its adoption.

\* \* \* \* \*

**RESOLUTION NO. 24-22**

**A RESOLUTION APPROVING THE JOINT POWERS AGREEMENT  
WITH LINO LAKES ASSOCIATED WITH THE HODGSON ROAD AND  
COUNTY ROAD J RECONSTRUCTION, CITY PROJECT 23-01**

**WHEREAS**, Anoka and Ramsey Counties in cooperation with the Cities of Shoreview and Lino Lakes are planning to construct a roundabout and associated stormwater infrastructure as part of the Hodgson Road and County Road Reconstruction, city project 23-01; and,

**WHEREAS**, the costs associated with landscaping the roundabout and maintaining the roundabout and associated stormwater infrastructure will be shared between the Cities of Shoreview and Lino Lakes; and,

**WHEREAS**, a joint powers agreement between the Cities of Shoreview and Lino Lakes is required that includes a cost participation summary and maintenance responsibilities for the roundabout and stormwater infrastructure.

**NOW, THEREFORE BE IT RESOLVED** that the City Council of the City of Shoreview, County of Ramsey, State of Minnesota, hereby approves the joint powers agreement between the City of Shoreview and the City of Lino Lakes and the Mayor and City Manager are authorized to sign.

\* \* \* \* \*

The motion of the foregoing resolution was duly seconded by Councilmember and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15<sup>th</sup> day of April, 2024.

---

Sue Denkinger, Mayor

**STATE OF MINNESOTA)**

**COUNTY OF RAMSEY)**

**CITY OF SHOREVIEW)**

I, the undersigned, being the duly qualified city manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council on the 15<sup>th</sup> day of April, 2024, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to the approval of the joint powers agreement with Lino Lakes associated with the Hodgson Road and County Road J Reconstruction, city project 23-01.

**WITNESS MY HAND** officially as such city manager and the corporate seal of the City of Shoreview, Minnesota this 16<sup>th</sup> day of April, 2024.

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Brad Martens, City Manager

SEAL



# Memorandum

**TO:** City Council  
**FROM:** Janice Miller  
**DATE:** April 15, 2024  
**SUBJECT:** Tree Trimmers License  
**ITEM NUMBER:** 8.h  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

To approve the license application(s) as listed below.

## **INTRODUCTION**

## **DISCUSSION**

Perfect Landscape Tree & Services Inc	241 Carriage Lane	Burnsville	55306	612-499-3938	
All Seasons Tree Service & Snow Plowing	8591 Hamlet Ave S	Cottage Grove	55106	651.690.3200	<a href="https://allseasonstreemn.com/">https://allseasonstreemn.com/</a>

## **RECOMMENDATION**

It is recommended that the City Council approve the above license(s).

## **ATTACHMENTS**

# Memorandum

**TO:** City Council  
**FROM:** Brad Martens , City Manager  
**DATE:** April 15, 2024  
**SUBJECT:** Appropriate Response Initiative  
**ITEM NUMBER:** 8.i  
**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

Authorize the city manager to initiate the process and execute documents to opt into the Appropriate Response Initiative program.

## **INTRODUCTION**

In 2022, Ramsey County established the Appropriate Response Initiative to offer additional resources to respond to 911 calls in situations in which a mental health worker would be more appropriate than a law enforcement officer. This program is now expanding and the City of Shoreview has an opportunity to opt into this service.

## **DISCUSSION**

The mission of the Appropriate Response Initiative is to support 911 dispatch, public wellness systems and community institutions to more appropriately response to people in need. This program was launched in 2022 with partnerships with the cities of Maplewood, Mounds View, and New Brighton. Embedded within the 911 dispatch services, Public Health Responders are dispatched in lieu of law enforcement for calls that meet the criteria of the following: nonmedical emergency, not an overdose, no weapon, and substance abuse is involved. Additional responders are being hired and an opportunity exists for other cities in Ramsey County to opt in to this service.

Cities which contract with the Ramsey County Sheriff's Office were informed of this service in March in a meeting that included a discussion on how the responders would complement the existing Sheriff's Office deputies. The Ramsey County Sheriff's Office fully supports this program and recommend the contract cities opt in to the program.

The next deadline to opt into the program is April 22nd in order to begin service on May 6th. In order to meet that deadline, it is requested that the city council adopt a motion authorizing the city manager to initiate the process and execute any documents to opt into the Appropriate Response Initiative.

The funding for this program is provided by Ramsey County through COVID assistance funds and is fully funded through 2026. In order for the program to continue past that time, a dedicated funding source will need to be provided.

**RECOMMENDATION**

Adopt a motion to authorize the city manager to initiate the process and execute documents to opt into the Appropriate Response Initiative program.

**ATTACHMENTS**

[ARI Program April 2024.pdf](#)

[ARI Flyer.pdf](#)



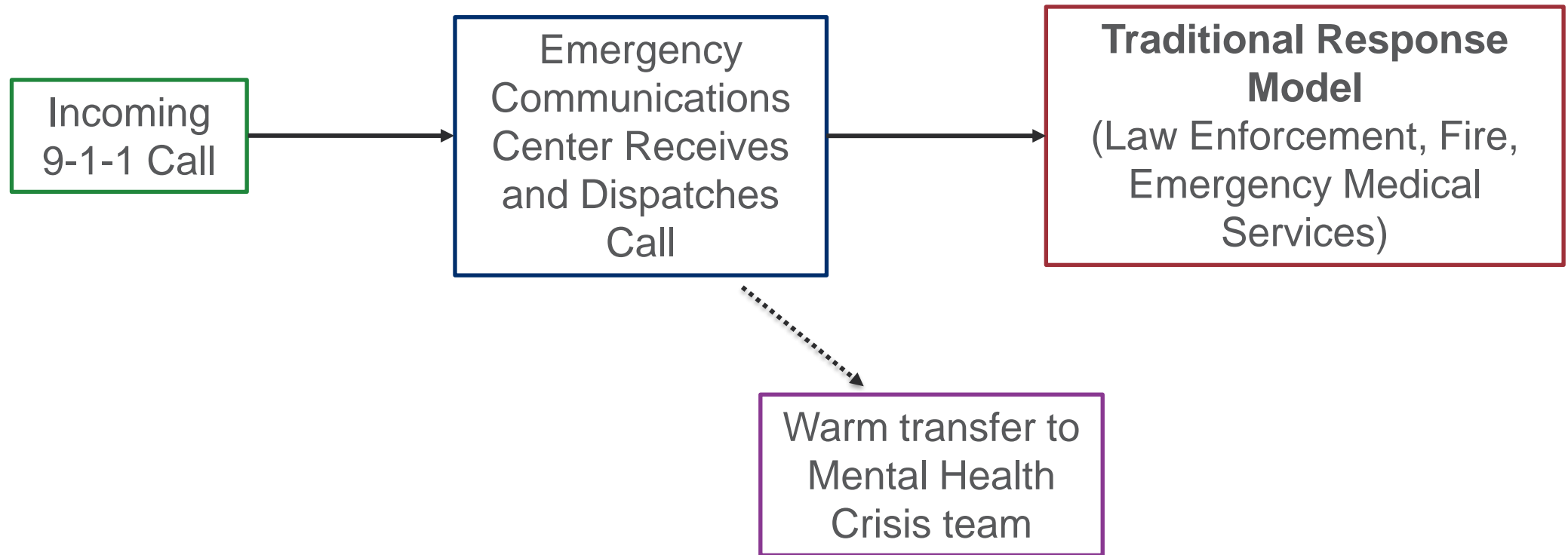
# **Appropriate Responses Initiative (ARI)**



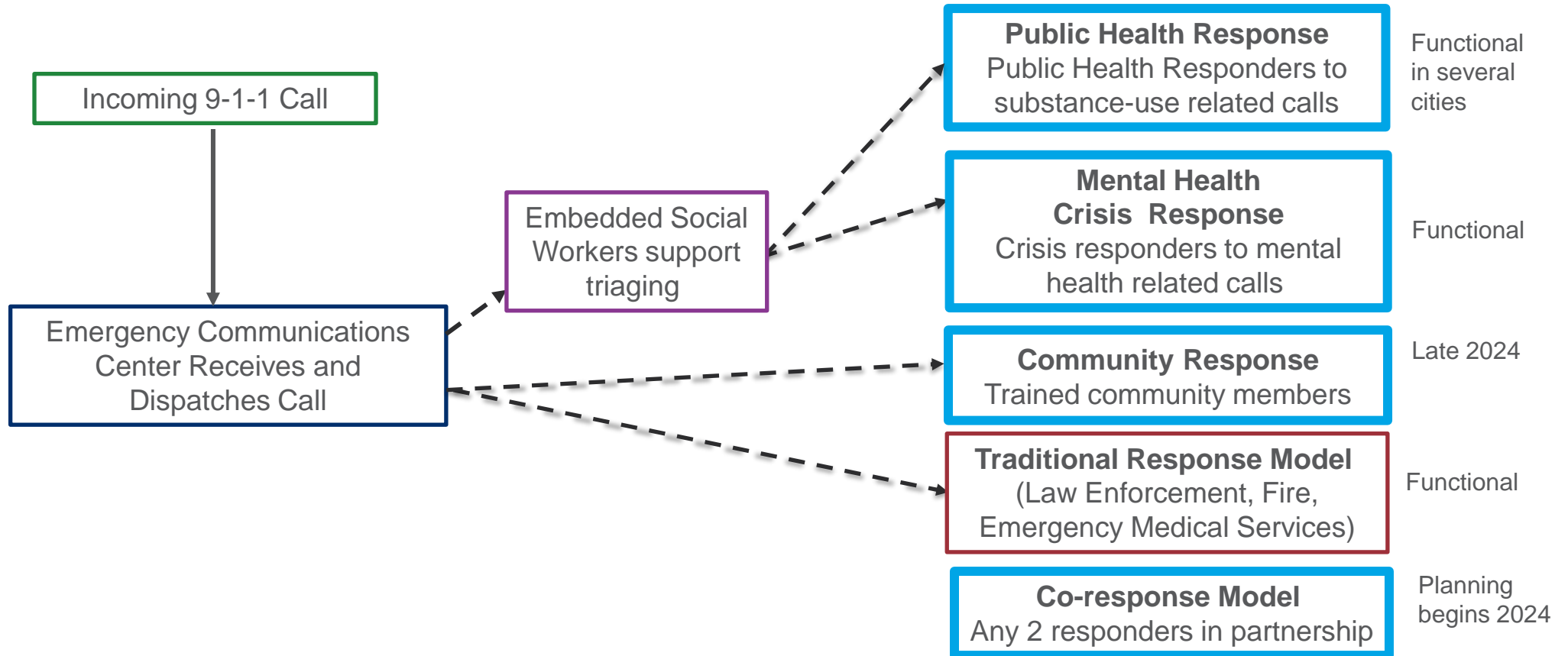
## Mission and Vision

- Support 911 dispatch, public wellness systems and community institutions to more appropriately respond to people in need.
- New response types and enhancements to dispatch county-wide resources:
  - Expanding Mental Health Crisis response
  - Creating Public Health response
  - Creating Community Based response
  - Enhancing Emergency Communications Center (ECC) protocols for new response options

## 9-1-1 Call Structure Since 2016



# Appropriate Responses Initiative (ARI) Call Structure



# Mental Health Crisis Teams



- 24/7 crisis phone support.
- In-person face to face response
- Responding at people's homes, in schools, and other community spaces where there is enough privacy for a conversation.
- Responders have a background and training in Mental Health and receive intensive initial training and ongoing consultation.



# Mental Health Crisis Teams

- Responding county-wide to Mental Health related calls, utilizing Ramsey County Crisis staff
  - Respond in teams of 2 to private residences
  - Responds 24/7 via ECC Embedded Social Workers or RC Crisis referral
  - Driving personal vehicle(s), non-uniformed
  - How to reach them:
    - RC Adult Crisis Services: 651-266-9700
    - Children's Crisis: 651-266-7878

# Emergency Communications Center (ECC) Embedded Social Workers (ESW)

ESWs joined ECC in April 2022! Currently, all non-criminal mental health related calls are transferred directly to the on-duty ESW.

They provide:

- Secondary call screening process for Crisis and Public Health, immediate assessments (if needed), call de-escalation, and connection to existing services/providers
- Diversion of qualifying calls: non-criminal, non-violent mental health related calls without weapons, public health substance-use related calls
- Coverage: 7 days/week + overnights Sun-Thurs
  - Backed up by RC Adult/Children's Crisis

# Public Health Responders (PHR)

Are available as a dispatchable response to substance use related calls.

Public Health related calls will be triaged by the ECC Embedded Social Worker.

Public Health Responders have varying experiences and education, with training focused on harm reduction, safe use education, and access to resources.



# Examples of PHR calls

- Will respond to both Private/Public spaces (a pair of 2 is required for private residences)
- Substance related Welfare Checks
- Public Bathrooms (substance use related)
- Openly using in public
- Encampment substance calls
- Ramey County Service Center Calls-Calls from Service centers to ECC or calls directly to ECC
- Youth Substance use disorder
- Calls in public places (substance use related)
- Calls from business (substance use related)
- Calls placed by a treatment Facilities
- Resource calls- “I need help...” (substance use related)



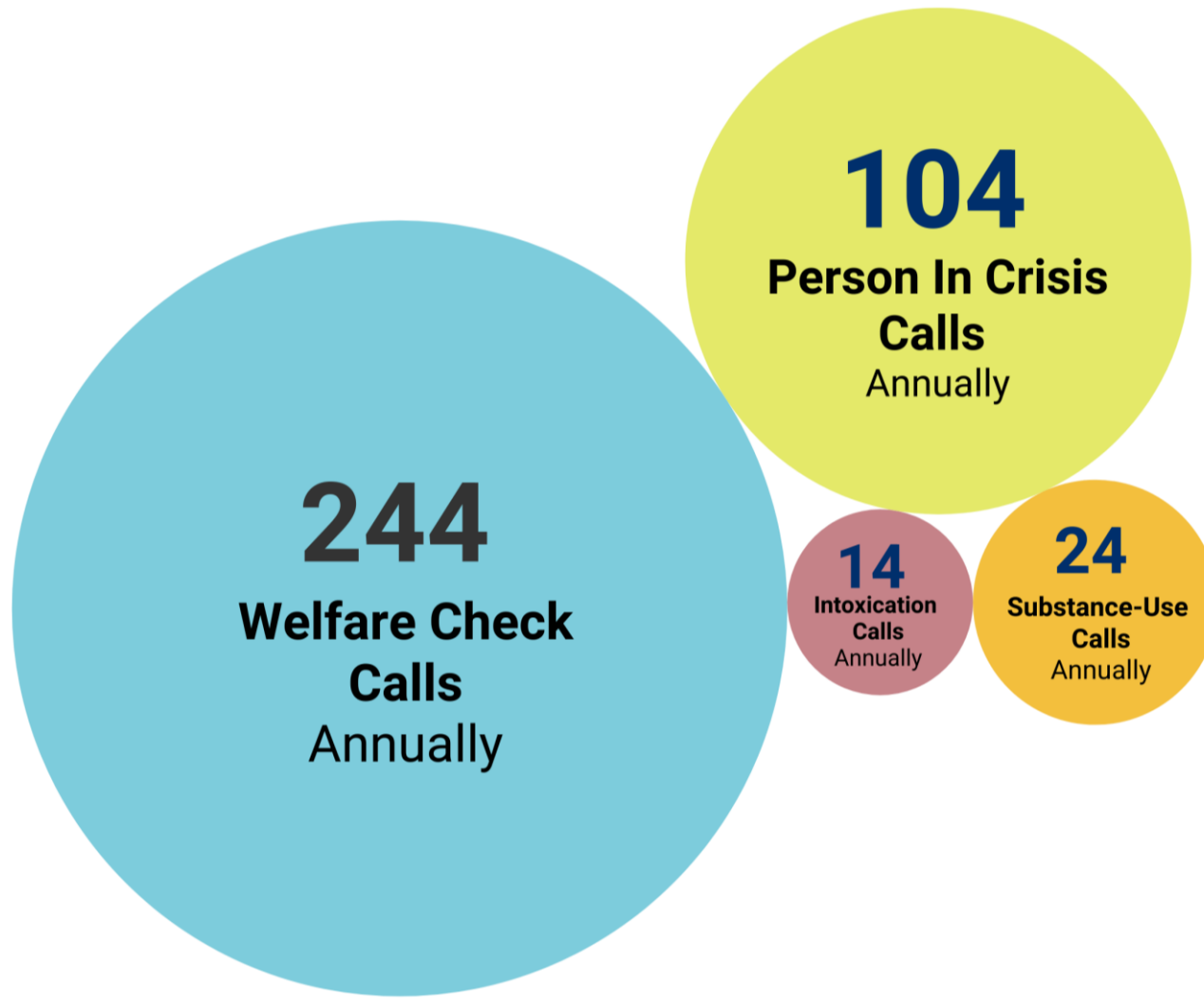
# Public Health Responders (PHRs)

- Criteria to be sent out:
  - Non-medical emergency
  - NOT an overdose
  - No weapon
  - Substance-use involved
- Equipment carrying:
  - CAD mobile laptop
  - Combined radio & cell phone
- Carrying backpack filled with supplies:
  - Includes: bandages, rubber gloves, puncture proof gloves, naloxone, safe use supplies, and more

## PHR Support In a City

- Currently 3 responders are actively responding to calls in New Brighton, Mounds View and Maplewood. An additional 3 will be hired for a total of 6 responders to support efforts across Ramsey County.
- Response times are currently Monday-Friday 8am-10pm
  - These hours may change depending on needs and data for when calls are coming in.
  - Cities will be informed of changes to service hours.
- Responders will be dispatched out to calls that come in through 9-1-1 and non-emergency numbers.
- Response times will vary depending on if the teams are already on a calls.
  - Emergency Communications Center (ECC) will monitor response times and can send out other or additional resources if an immediate response becomes necessary.
- Follow up after the response with the individuals supported to help connect to additional resources.

## How Many 9-1-1 Calls are Mental and Public Health Related?

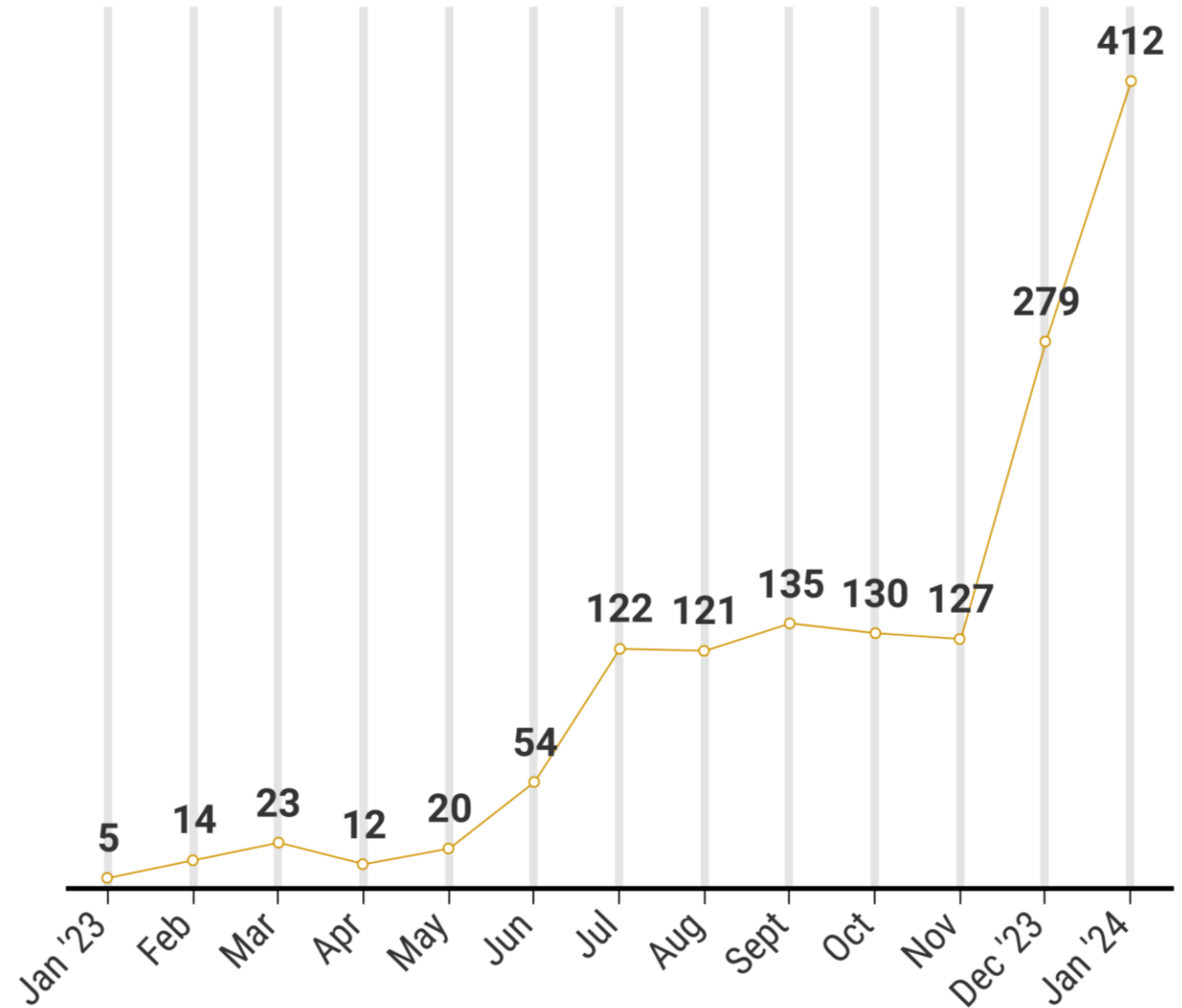


Shoreview has an average of **386** Mental and Public Health related 9-1-1 calls per year.

Depending on the information that is gathered from a caller, some of these calls will still be most appropriate to be responded to by police, fire, or EMS.

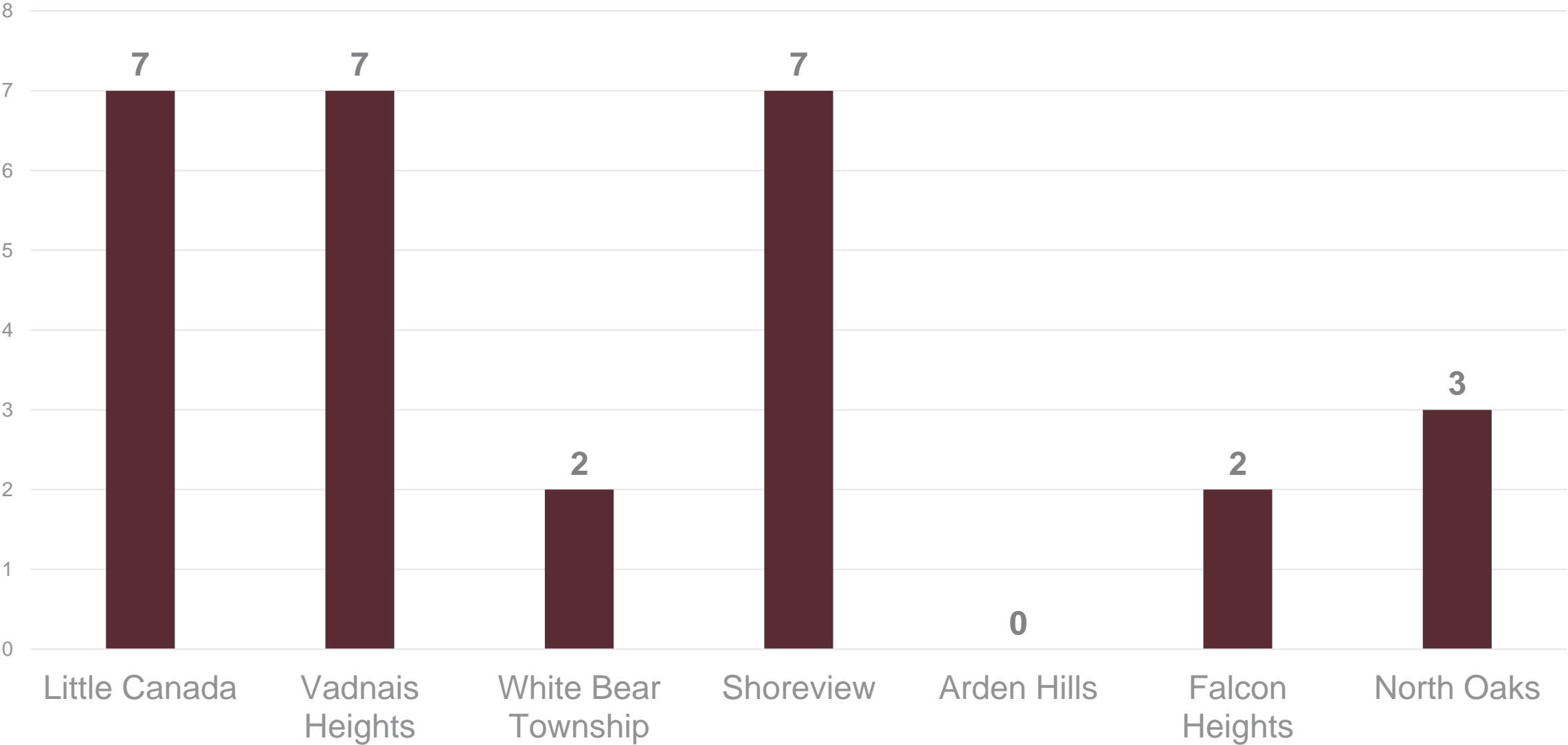
The number of ARI supported calls increased in June 2023, reaching its peak in Jan 2024 with **412** calls.

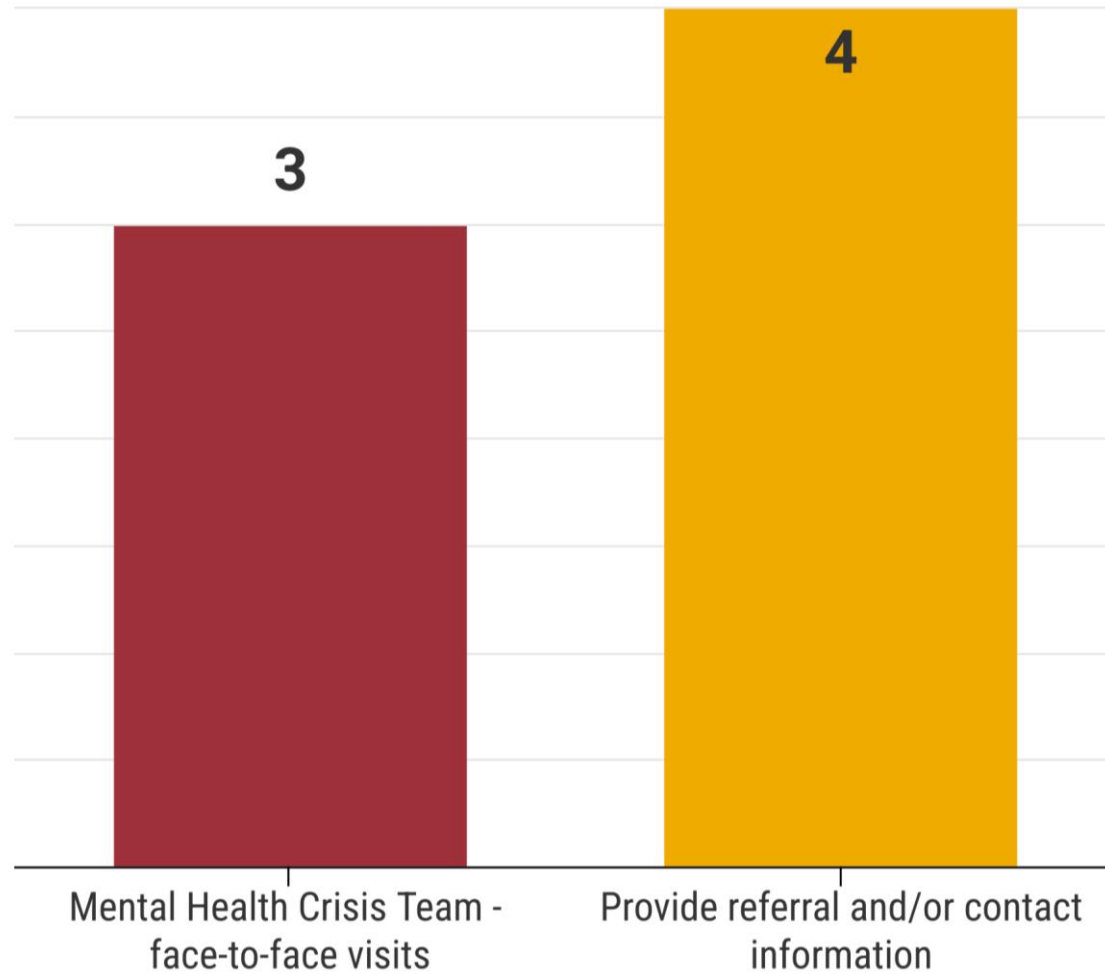
Monthly # of ESW Triaged calls (2023- Jan '24)





# # of ESW Triaged Calls (Jan 2023-Feb 2024)





ARI ESWs triaged **7** calls in Shoreview January 2023-February 2024.

## Communication Expectations- Ramsey County Will..

- Utilize social media to communicate with residents that new responders will be coming to their city.
- Partner with cities to learn what other communication channels will help to best inform residents of what they can expect when calling for help.
- Send quarterly reports to cities about the number of responses and ARI engagements.
- Ensure 2-way communication with cities so we can share with each other what seems to be working and any areas we should be working to improve for ARI responses.

## Partnership Expectations- Ramsey County Will ...

- Continue to partner with local police, fire, and EMS resources to ensure that we are all working together to provide the best support to residents.
- Connect with local community through outreach from new response teams, as well as hosting a community dinner gathering for people to come and learn more about ARI and connect with response teams.
- Continue engagement with the City of Shoreview, we want to hear from you. In addition to quarterly reports, how else do you want us to stay in touch and continue to deepen our relationship?





## Questions?

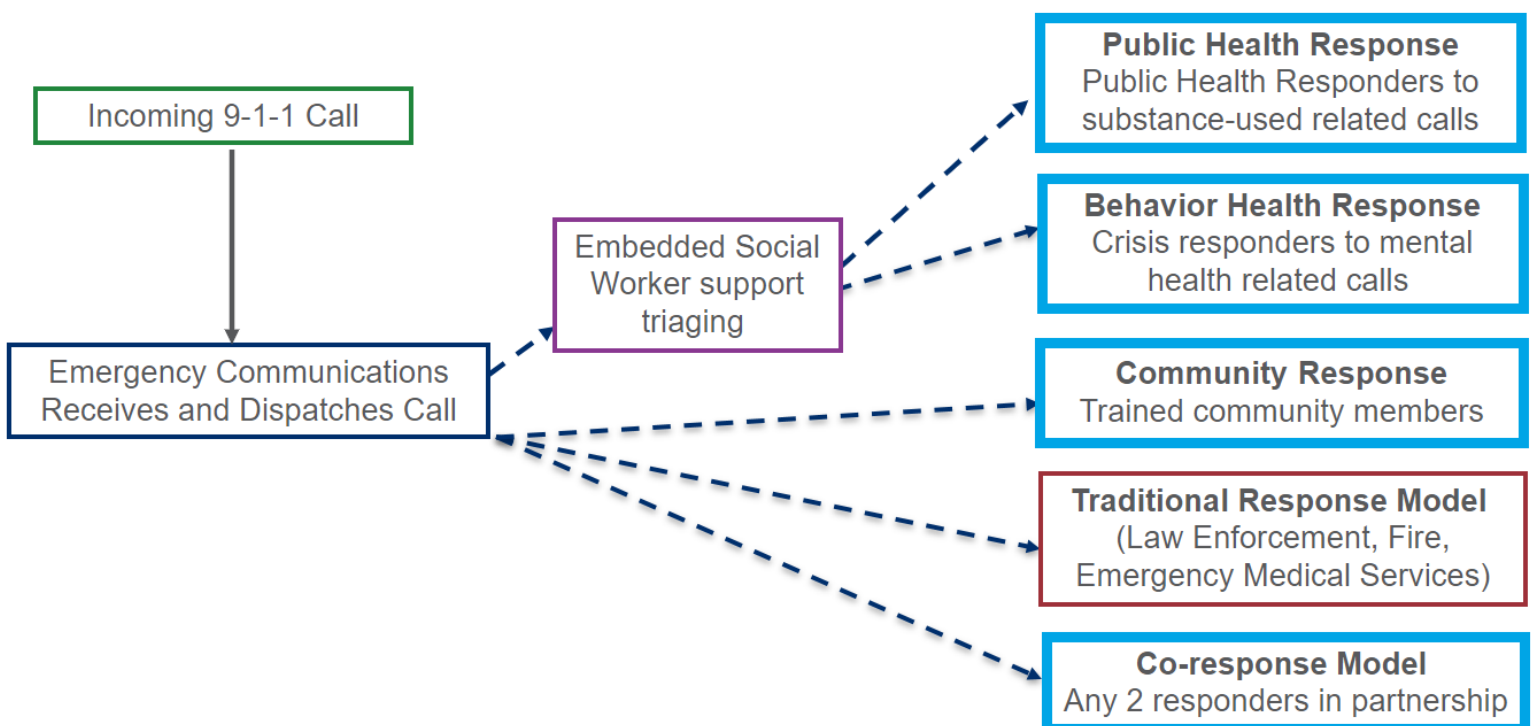
ARI@co.ramsey.mn.us



# About Appropriate Responses Initiative

Ramsey County is putting well-being and community at the center of justice system transformation by providing new and enhanced response types when calling 9-1-1. With an intentional focus on Black and American Indian populations and creating a system that affects all our communities, ARI seeks to: improve community wellness; have less people engaged with the justice system, incarcerated, and financially obligated to the justice system.

Learn more at [ramseycounty.us/AppropriateResponses](https://ramseycounty.us/AppropriateResponses)



# Memorandum

**TO:** City Council

**FROM:** Tom Simonson , Assistant City Manager and Community Development Director

**DATE:** April 15, 2024

**SUBJECT:** Approval of Revised/Updated TIF Development Agreement with Scannell Properties #629, LLC (Seven Lakes Phase 1 - TIF District 14)

**ITEM NUMBER:** 8.j

**SECTION:** CONSENT AGENDA

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## **REQUESTED MOTION**

To approve the revised/updated TIF Development Agreement with Scannell Properties #629, LLC (Seven Lakes Phase 1 - TIF District 14).

## **INTRODUCTION**

Scannell Properties received approval of tax increment financing and related development agreements for their Phase 1 development at Seven Lakes back on May 15, 2024. They are now ready to move forward with the building construction, but since so much time has passed the development agreement requires it be updated with revised dates. No financial terms are changing from what was previously approved.

## **DISCUSSION**

The approvals were for two separate development agreements for each of the buildings to be constructed in Phase 1. Scannell is now ready to begin construction of the first building in Phase 1 and has submitted a building permit. While the general terms of the TIF development agreement have not changed, many of the deadline dates need to be revised for the building one (Scannell Properties #629, LLC).

Included for city council review is the revised development agreement along with a redlined version showing the changes that have been prepared by our development attorneys at the Taft Law firm. The terms still reflect the assistance of \$3 million to be reimbursed to the developer for eligible costs through a pay-as-you-go TIF note. The developer will be paid from 75% of the tax increments and the city will retain 25% of the increments for other economic development purposes.

It should also be noted that the TIF development agreement for building two in the Phase 1 will also require a new approval as that project scope is changing and will likely involve another business entity that will occupy the entire building.

## **RECOMMENDATION**

The economic development authority reviewed the revised development agreement at their April 1 meeting, and voted to recommend approval. Staff is also recommending the city council

approve the revised/updated TIF Development Agreement with Scannell Properties #629, LLC (Seven Lakes Phase 1 - TIF District 14).

**ATTACHMENTS**

[CLEAN Shoreview TIF 14 Development Agreement \(Scannell Properties #629, LLC\)](#)

[REDLINE Shoreview TIF 14 Development Agreement \(Scannell Properties #629, LLC\)](#)

DEVELOPMENT AGREEMENT

BY AND BETWEEN

CITY OF SHOREVIEW, MINNESOTA

AND

SCANNELL PROPERTIES #629, LLC

This document drafted by:

TAFT STETTINIUS & HOLLISTER LLP  
2200 IDS Center  
80 South 8th Street  
Minneapolis, MN 55402



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## DEVELOPMENT AGREEMENT

THIS AGREEMENT, made as of the \_\_\_\_ day of \_\_\_\_\_, 2024, by and between the City of Shoreview, Minnesota (the "City"), a municipal corporation existing under the laws of the State of Minnesota and Scannell Properties #629, LLC, a Delaware limited liability company (the "Developer").

### WITNESSETH:

WHEREAS, pursuant to Minnesota Statutes, Section 469.124 to 469.133, the City has heretofore established Municipal Development District No. 2 (the "Development District") and has adopted a development program therefor (the "Development Program"); and

WHEREAS, pursuant to the provisions of Minnesota Statutes, Section 469.174 through 469.1794, as amended (hereinafter, the "Tax Increment Act"), the City has heretofore established, within the Development District, Tax Increment Financing District No. 14 (the "Tax Increment District") and has adopted a tax increment financing plan therefor (the "Tax Increment Plan") which provides for the use of tax increment financing in connection with certain development within the Development District; and

WHEREAS, in order to achieve the objectives of the Development Program and particularly to make the land in the Development District available for development by private enterprise in conformance with the Development Program, the City has determined to assist the Developer with the financing of certain costs of a Project (as hereinafter defined) to be constructed within the Tax Increment District as more particularly set forth in this Agreement; and

WHEREAS, the City believes that the redevelopment and construction of the Project, and fulfillment of this Agreement are vital and are in the best interests of the City, the health, safety, morals and welfare of residents of the City, and in accordance with the public purpose and provisions of the applicable state and local laws and requirements under which the Project has been undertaken and is being assisted; and

WHEREAS, the requirements of the Business Subsidy Law, Minnesota Statutes, Section 116J.993 through 116J.995, do not apply to this Agreement because the Developer's investment in the purchase of the site and in site preparation is at least 70 percent of the assessor's current year's estimated market value;

NOW, THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto, each of them does hereby covenant and agree with the other as follows:

## ARTICLE I

### DEFINITIONS

Section 1.1. Definitions. All capitalized terms used and not otherwise defined herein shall have the following meanings unless a different meaning clearly appears from the context:

Agreement means this Agreement, as the same may be from time to time modified, amended or supplemented;

Business Day means any day except a Saturday, Sunday or a legal holiday or a day on which banking institutions in the City are authorized by law or executive order to close;

City means the City of Shoreview, Minnesota, its successors and assigns;

County means Ramsey County, Minnesota;

Developer means Scannell Properties #629, LLC, a Delaware limited liability company, its successors and assigns;

Development District means the real property included in Municipal Development District No. 2 heretofore established;

Development Program means the Development Program approved in connection with the Development District;

Development Property means the real property described in Exhibit A attached to this Agreement;

Event of Default means any of the events described in Section 4.1 hereof;

Legal and Administrative Expenses means the fees and expenses actually incurred by the City in connection with the review and analysis of the development proposed under this Agreement, the adoption and administration of the Tax Increment Financing Plan and establishment of the Tax Increment District, the preparation of this Agreement and the issuance of the TIF Note including, but not limited to, attorney and municipal advisor fees and expenses;

Note Payment Date means August 1, 2026, and each February 1 and August 1 of each year thereafter to and including February 1, 2050; provided, that if any such Note Payment Date should not be a Business Day, the Note Payment Date shall be the next succeeding Business Day;

Prime Rate means the rate of interest from time to time publicly announced by U.S. Bank National Association in Minneapolis, Minnesota, as its "prime rate" or "reference rate" or any successor rate, which rate shall change as and when that rate or successor rate changes;

Project means the construction of an industrial flex warehouse building on the Development Property of approximately 150,000 square feet, to be leased to one or more tenants;

Site Improvements means the site improvements undertaken or to be undertaken on the Development Property, more particularly described on Exhibit C attached hereto;

State means the State of Minnesota;

Tax Increments means 75% of the tax increments derived from the Development Property as calculated by the City in its sole discretion and which have been received by the City in accordance with the provisions of Minnesota Statutes, Section 469.177;

Tax Increment Act means Minnesota Statutes, Sections 469.174 through 469.1794, as amended;

Tax Increment District means Tax Increment Financing District No. 14 located within the Development District, a description of which is set forth in the Tax Increment Financing Plan, which was qualified as a redevelopment district under the Tax Increment Act;

Tax Increment Financing Plan means the tax increment financing plan approved for the Tax Increment District by the City Council on February 21, 2023, and any future amendments thereto;

Termination Date means the earlier of (i) February 1, 2050, (ii) the date the TIF Note is paid as provided in the TIF Note, (iii) the date on which the Tax Increment District expires or is otherwise terminated, or (iv) the date this Agreement is terminated or rescinded in accordance with its terms; and

TIF Note means the Tax Increment Revenue Note (Scannell Properties #629, LLC Project) to be executed by the City and delivered to the Developer pursuant to Article III hereof, the form of which is attached hereto as Exhibit B; and

Unavoidable Delays means delays, outside the control of the party claiming its occurrence, which are the result of strikes, other labor troubles, unusually severe or prolonged bad weather, acts of God, global pandemic (including the current pandemic known as COVID-19), epidemic, fire or other casualty to the Project, litigation commenced by third parties which, by injunction or other similar judicial action or by the exercise of reasonable discretion, results in delays, or acts of any federal, state or local governmental unit other than the City.



## ARTICLE II

### REPRESENTATIONS AND WARRANTIES

Section 2.1. Representations and Warranties of the City. The City makes the following representations and warranties:

(1) The City is a municipal corporation and has the power to enter into this Agreement and carry out its obligations hereunder.

(2) The City has duly authorized the execution of this Agreement and the performance of its obligations hereunder and neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in a breach of, the terms, conditions or provisions of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which the City is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(3) The Tax Increment District is a "redevelopment district" within the meaning of Minnesota Statutes, Section 469.174, Subdivision 10, and was created, adopted and approved in accordance with the terms of the Tax Increment Act.

(4) The development contemplated by this Agreement is in conformance with the development objectives set forth in the Development Program.

(5) To finance certain costs within the Tax Increment District, the City proposes, subject to the further provisions of this Agreement, to apply Tax Increments to reimburse the Developer for a portion of the costs of certain Site Improvements incurred in connection with the Project as further provided in this Agreement.

(6) The City makes no representation or warranty, either express or implied, as to the Development Property or its condition or the soil conditions thereon, or that the Development Property shall be suitable for the Developer's purposes or needs.

Section 2.2. Representations and Warranties of the Developer. The Developer makes the following representations and warranties:

(1) The Developer is a Delaware limited liability company and has the power and authority to enter into this Agreement and to perform its obligations hereunder and doing so will not violate its articles of organization, member control agreement or operating agreement, or the laws of the State and by proper action has authorized the execution and delivery of this Agreement.

(2) The Developer shall cause the Project to be constructed in accordance with the terms of this Agreement, the Development Program, and all applicable local, state and federal laws and regulations (including, but not limited to, environmental, zoning, energy conservation, building code and public health laws and regulations).

(3) The construction of the Project would not be undertaken by the Developer, and in the opinion of the Developer would not be economically feasible within the reasonably foreseeable future, without the assistance and benefit to the Developer provided for in this Agreement.

(4) The Developer will use its best efforts to obtain, or cause to be obtained, in a timely manner, all required permits, licenses and approvals, and will meet, in a timely manner, all requirements of all applicable local, state, and federal laws and regulations which must be obtained or met before the Project may be lawfully constructed.

(5) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in a breach of, the terms, conditions or provision of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which the Developer is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(6) The Developer will cooperate fully with the City with respect to any litigation commenced with respect to the Project.

(7) The Developer will cooperate fully with the City in resolution of any traffic, parking, trash removal or public safety problems which may arise in connection with the construction and operation of the Project.

(8) The construction of the Project shall commence no later than May 31, 2024 and barring Unavoidable Delays will be substantially completed by March 31, 2025.

(9) The Developer acknowledges that Tax Increment projections contained in the Tax Increment Financing Plan are estimates only and the Developer acknowledges that it shall place no reliance on the amount of projected Tax Increments and the sufficiency of such Tax Increments to reimburse the Developer for a portion of the costs of the construction and installation of the Site Improvements provided in Article III.

## ARTICLE III

### UNDERTAKINGS BY DEVELOPER AND CITY

#### Section 3.1. Project, Site Improvements and Legal and Administrative Expenses.

(1) The parties agree that the Site Improvements are essential to the successful completion of the Project. The costs of the Site Improvements and Project shall be paid by the Developer. The City shall reimburse the Developer for the lesser of (a) \$3,000,000, or (b) the costs of the Site Improvements incurred and paid by the Developer (the "Reimbursement Amount") as further provided in Section 3.3 hereof.

(2) The Developer shall pay all Legal and Administrative Expenses in excess of the initial deposit of \$15,000 paid to the City by the Developer if requested by the City.

Section 3.2. Limitations on Undertaking of the City. Notwithstanding the provisions of Sections 3.1(1), the City shall have no obligation to the Developer under this Agreement to reimburse the Developer for the costs identified in Section 3.1(1), if the City, at the time or times such payment is to be made, is entitled under Section 4.2 to exercise any of the remedies set forth therein as a result of an Event of Default which has not been cured.

Section 3.3. Reimbursement: Tax Increment Revenue Note. The City shall reimburse the payments made by the Developer under Section 3.1(1) for costs of the construction and installation of the Site Improvements through the issuance of the City's TIF Note in substantially the form attached to this Agreement as Exhibit B, subject to the following conditions:

(1) The TIF Note shall be dated, issued and delivered when the Developer shall have demonstrated in writing to the reasonable satisfaction of the City and that the Developer has incurred and paid the costs of the Site Improvements, as described in and limited by Section 3.1(1) and shall have submitted paid invoices for the costs of the Site Improvements in an amount not less than the Reimbursement Amount.

(2) The unpaid principal of the TIF Note shall bear simple non-compounding interest from the date of issuance of the TIF Note, at 5.00% per annum. Interest shall be computed on the basis of a 360 day year consisting of twelve (12) 30-day months.

(3) The principal amount of the TIF Note and the interest thereon shall be payable solely from the Tax Increments.

(4) On each Note Payment Date and subject to the provisions of the TIF Note, the City shall pay, against the principal and interest outstanding on the TIF Note, any Tax Increments received by the City during the preceding 6 months. All such payments shall be applied first to accrued interest and then to reduce the principal of the TIF Note.

(5) The TIF Note shall be a special and limited obligation of the City and not a general obligation of the City, and only Tax Increments shall be used to pay the principal and interest on the TIF Note. If, on any TIF Note Payment Date, the Tax Increments for the payment of the accrued and unpaid interest on the TIF Note are insufficient for such purposes, the difference shall

be carried forward, without interest accruing thereon, and shall be paid if and to the extent that on a future TIF Note Payment Date there are Tax Increments in excess of the amounts needed to pay the accrued interest then due on the TIF Note.

(6) The City's obligation to make payments on the TIF Note on any Note Payment Date or any date thereafter shall be conditioned upon the requirements that: (a) there shall not at that time be an Event of Default that has occurred and is continuing under this Agreement and (b) this Agreement shall not have been rescinded pursuant to Section 4.2.

(7) The TIF Note shall be governed by and payable pursuant to the additional terms thereof, as set forth in Exhibit B. In the event of any conflict between the terms of the TIF Note and the terms of this Section 3.3, the terms of the TIF Note shall govern. The issuance of the TIF Note pursuant and subject to the terms of this Agreement, and the taking by the City of such additional actions as bond counsel for the TIF Note may require in connection therewith, are hereby authorized and approved by the City.

Section 3.4. DEED Reports. The Developer shall provide the City with information about the Project as requested by the City so that the City can satisfy the reporting requirements of Minnesota Statutes, Section 116J.994, Subdivision 8.

Section 3.5. Real Property Taxes. The Developer acknowledges that it is obligated under law to pay all real property taxes payable with respect to the Development Property and pursuant to the provisions of the Agreement until the Developer's obligations have been assumed by any other person with the written consent of the Authority pursuant to the provisions of this Agreement.

The Developer agrees that prior to the Termination Date:

(1) It will not seek administrative review or judicial review of the applicability of any tax statute relating to the taxation of real property contained on the Development Property determined by any tax official to be applicable to the Project or the Developer or raise the inapplicability of any such tax statute as a defense in any proceedings with respect to the Development Property, including delinquent tax proceedings; provided, however, "tax statute" does not include any local ordinance or resolution levying a tax;

(2) It will not seek administrative review or judicial review of the constitutionality of any tax statute relating to the taxation of real property contained on the Development Property determined by any tax official to be applicable to the Project or the Developer or raise the unconstitutionality of any such tax statute as a defense in any proceedings with respect to the Development Property, including delinquent tax proceedings; provided, however, "tax statute" does not include any local ordinance or resolution levying a tax;

(3) It will not seek any tax deferral or abatement, either presently or prospectively authorized under any other State or federal law, of the taxation of real property contained in the Development Property between the date of execution of this Agreement and the Termination Date.

(4) It may seek through petition or other means to have the market value for the Development Property and the Project reduced. Until the TIF Note is fully paid, such activity

must be preceded by written notice from the Developer to the City indicating its intention to do so. Upon receiving such notice, or otherwise learning of the Developer's intentions, the City may suspend payments due under the TIF Note until the actual amount of the reduction is determined, whereupon the City will make the suspended payments less any amount that the City is required to repay the County as a result of any reduction in market value of the Development Property and the Project. During the period that the payments are subject to suspension, the City may make partial payments on the TIF Note if it determines, in its sole and absolute discretion that the amount retained will be sufficient to cover any repayment which the County may require. The City's suspension of payments on the TIF Note pursuant to this Section shall not be considered a default under this Agreement.

Section 3.6. Prohibition Against Transfer of Project and Assignment of Agreement. The Developer represents and agrees that prior to the Termination Date the Developer shall not transfer the Project (except for leases to tenants in the ordinary course of the Developer's business) or any part thereof or any interest therein, without the prior written approval of the City, which approval shall not be unreasonably conditioned or delayed, as long as the following conditions are met to the City's reasonable satisfaction:

(1) Any proposed transferee shall have the qualifications and financial responsibility, in the reasonable judgment of the City, necessary and adequate to fulfill the obligations undertaken in this Agreement by the Developer.

(2) Any proposed transferee, by instrument in writing satisfactory to the City shall, for itself and its successors and assigns, and expressly for the benefit of the City, have expressly assumed all of the obligations of the Developer under this Agreement and agreed to be subject to all the conditions and restrictions to which the Developer is subject.

(3) There shall be submitted to the City for its review and prior written approval all instruments and other legal documents involved in effecting the transfer of any interest in this Agreement or the Note.



## ARTICLE IV

### EVENTS OF DEFAULT

Section 4.1. Events of Default Defined. The following shall be "Events of Default" under this Agreement and the term "Event of Default" shall mean whenever it is used in this Agreement any one or more of the following events:

(1) Failure by the Developer to timely pay any ad valorem real property taxes and special assessments levied against the Development Property and all public utility or other City payments due and owing with respect to the Development Property when due and payable.

(2) Failure of the Developer to observe or perform any covenant, condition, obligation or agreement on its part to be observed or performed under this Agreement.

(3) The holder of any mortgage on the Development Property or any improvements thereon, or any portion thereof, commences foreclosure proceedings as a result of any default under the applicable mortgage documents.

(4) If the Developer shall:

(a) file any petition in bankruptcy or for any reorganization, arrangement, composition, readjustment, liquidation, dissolution, or similar relief under the United States Bankruptcy Act of 1978, as amended or under any similar federal or state law; or

(b) make an assignment for the benefit of its creditors; or

(c) admit in writing its inability to pay its debts generally as they become due;  
or

(d) be adjudicated a bankrupt or insolvent; or if a petition or answer proposing the adjudication of the Developer as bankrupt or its reorganization under any present or future federal bankruptcy act or any similar federal or state law shall be filed in any court and such petition or answer shall not be discharged or denied within sixty (60) days after the filing thereof; or a receiver, liquidator or trustee of the Developer, or of the Project, or part thereof, shall be appointed in any proceeding brought against the Developer, and shall not be discharged within sixty (60) days after such appointment, or if the Developer, shall consent to or acquiesce in such appointment.

Section 4.2. Remedies on Default. Whenever any Event of Default referred to in Section 4.1 occurs and is continuing, the City, as specified below, may take any one or more of the following actions after the giving of thirty (30) days' written notice to the Developer, but only if the Event of Default has not been cured within said thirty (30) days:

(1) The City may suspend its performance under this Agreement and the TIF Note until it receives assurances from the Developer, deemed adequate by the City, that the Developer will cure its default and continue its performance under this Agreement.

(2) The City may cancel and rescind the Agreement and the TIF Note.

(3) The City may take any action, including legal or administrative action, in law or equity, which may appear necessary or desirable to enforce performance and observance of any obligation, agreement, or covenant of the Developer under this Agreement.

Section 4.3. No Remedy Exclusive. No remedy herein conferred upon or reserved to the City is intended to be exclusive of any other available remedy or remedies, but each and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Agreement or now or hereafter existing at law or in equity or by statute. No delay or omission to exercise any right or power accruing upon any default shall impair any such right or power or shall be construed to be a waiver thereof, but any such right and power may be exercised from time to time and as often as may be deemed expedient.

Section 4.4. No Implied Waiver. In the event any agreement contained in this Agreement should be breached by any party and thereafter waived by any other party, such waiver shall be limited to the particular breach so waived and shall not be deemed to waive any other concurrent, previous or subsequent breach hereunder.

Section 4.5. Agreement to Pay Attorney's Fees and Expenses. Whenever any Event of Default occurs and the City shall employ attorneys or incur other expenses for the collection of payments due or to become due or for the enforcement or performance or observance of any obligation or agreement on the part of the Developer herein contained, the Developer agrees that it shall, within thirty (30) days of demand therefor, pay to the City the reasonable fees of such attorneys and such other expenses so incurred by the City.

Section 4.6. Indemnification of City.

(1) Except for any gross negligence, willful misrepresentation or any willful or wanton misconduct of the Indemnified Parties, the Developer (a) releases the City and its governing body members, officers, agents, including the independent contractors, consultants and legal counsel, servants and employees (collectively, the "Indemnified Parties") from, (b) covenants and agrees that the Indemnified Parties shall not be liable for, and (c) agrees to indemnify and hold harmless the Indemnified Parties against, any claim, cause of action, suit or liability for loss or damage to property or any injury to or death of any person occurring at or about or resulting from any defect in the Project or on the Development Property.

(2) Except for any gross negligence, willful misrepresentation or any willful or wanton misconduct of the Indemnified Parties, the Developer agrees to protect and defend the Indemnified Parties, now and forever, and further agrees to hold the aforesaid harmless from any claim, demand, suit, action or other proceeding whatsoever by any person or entity whatsoever arising or purportedly arising from the actions or inactions of the Developer (or of other persons acting on its behalf or under its direction or control) under this Agreement, or the transactions contemplated hereby or the acquisition, construction, installation, ownership, and operation of the Project; provided, that this indemnification shall not apply to the warranties made or obligations undertaken by the City in this Agreement or to any actions undertaken by the City which are not contemplated by this Agreement but shall, in any event and without regard to any fault on the part of the City,

apply to any pecuniary loss or penalty (including interest thereon from the date the loss is incurred or penalty is paid by the City at a rate equal to the Prime Rate) as a result of the Project causing the Tax Increment District to not qualify or cease to qualify as a "redevelopment district" under Section 469.174, Subdivision 10, of the Act and Section 469.176, Subdivision 4(j), or to violate limitations as to the use of Tax Increments as set forth in Section 469.176, Subdivision 4(j).

(3) All covenants, stipulations, promises, agreements and obligations of the City contained herein shall be deemed to be the covenants, stipulations, promises, agreements and obligations of the City and not of any governing body member, officer, agent, servant or employee of the City. All covenants, stipulations, promises, agreements and obligations of the Developer contained herein shall be deemed to be the covenants, stipulations, promises, agreements and obligations of the Developer and not of any member, manager, officer, agent, servant or employee of the Developer.

## ARTICLE V

### DEVELOPER'S OPTION TO TERMINATE AGREEMENT

Section 5.1. The Developer's Option to Terminate. This Agreement may be terminated by the Developer, if (1) the Developer is in compliance with all material terms of this Agreement, including satisfaction of the requirements of Section 3.3 and no Event of Default has occurred which has not been cured; and (2) the City fails to comply with any material term of this Agreement, and, after written notice by the Developer of such failure, the City has failed to cure such noncompliance within ninety (90) days of receipt of such notice, or, if such noncompliance cannot reasonably be cured by the City within ninety (90) days, of receipt of such notice, the City has not provided assurances, reasonably satisfactory to the Developer, that such noncompliance will be cured as soon as reasonably possible.

Section 5.2. Action to Terminate. Termination of this Agreement pursuant to Section 5.1 must be accomplished by written notification by the Developer to the City within sixty (60) days after the date when such option to terminate may first be exercised. A failure by the Developer to terminate this Agreement within such period constitutes a waiver by the Developer of its rights to terminate this Agreement due to such occurrence or event.

Section 5.3. Effect of Termination. If this Agreement is terminated pursuant to this Article V, this Agreement shall be from such date forward null and void and of no further effect; provided, however, the termination of this Agreement shall not affect the rights of either party to institute any action, claim or demand for damages suffered as a result of breach or default of the terms of this Agreement by the other party, or to recover amounts which had accrued and become due and payable as of the date of such termination. Upon termination of this Agreement pursuant to this Article V, the Developer shall be free to proceed with the Project at its own expense and without regard to the provisions of this Agreement; provided, however, that the City shall have no further obligations to the Developer with respect to reimbursement of the expenses set forth in Section 3.2.

## ARTICLE VI

### ADDITIONAL PROVISIONS

Section 6.1. Restrictions on Use. Until termination of this Agreement, the Developer agrees for itself, its successors and assigns and every successor in interest to the Development Property, or any part thereof, that the Developer and such successors and assigns shall operate, or cause to be operated, the Project as commercial facilities and shall devote the Development Property to, and in accordance with, the uses specified in this Agreement.

Section 6.2. Conflicts of Interest. No member of the governing body or other official of the City shall have any financial interest, direct or indirect, in this Agreement, the Development Property or the Project, or any contract, agreement or other transaction contemplated to occur or be undertaken thereunder or with respect thereto, nor shall any such member of the governing body or other official participate in any decision relating to the Agreement which affects his or her personal interests or the interests of any corporation, partnership or association in which he or she is directly or indirectly interested. No member, official or employee of the City shall be personally liable to the City in the event of any default or breach by the Developer or successor or on any obligations under the terms of this Agreement.

Section 6.3. Titles of Articles and Sections. Any titles of the several parts, articles and sections of the Agreement are inserted for convenience of reference only and shall be disregarded in construing or interpreting any of its provisions.

Section 6.4. Notices and Demands. Except as otherwise expressly provided in this Agreement, a notice, demand or other communication under this Agreement by any party to any other shall be sufficiently given or delivered if it is dispatched by registered or certified mail, overnight courier, postage prepaid, return receipt requested, or delivered personally, and

- (1) in the case of the Developer is addressed to or delivered personally to:

Scannell Properties #629, LLC  
8801 River Crossing Boulevard, Suite 300  
Indianapolis, IN 46240  
Attention: Courtney Kanzinger

with a copy to:

Moss & Barnett  
Attention: Nathan M. Brandenburg  
150 South Fifth Street, Suite 1200  
Minneapolis, MN 55402



(2) in the case of the City is addressed to or delivered personally to the City at:

City of Shoreview, Minnesota  
4600 Victoria Street North  
Shoreview, MN 55126-5817  
Attention: City Manager

with a copy to:

Taft Stettinius & Hollister LLP  
Attention: Mary Ippel  
2200 IDS Center  
80 South 8th Street  
Minneapolis, MN 55402

or at such other address with respect to any such party as that party may, from time to time, designate in writing and forward to the other, as provided in this Section.

Section 6.5. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall constitute one and the same instrument.

Section 6.6. Law Governing. This Agreement will be governed and construed in accordance with the laws of the State.

Section 6.7. Expiration. This Agreement shall expire on the Termination Date.

Section 6.8. Provisions Surviving Rescission or Expiration. Sections 4.5 and 4.6 shall survive any rescission, termination or expiration of this Agreement with respect to or arising out of any event, occurrence or circumstance existing prior to the date thereof.

Section 6.9. Assignability of TIF Note. The TIF Note may only be assigned pursuant to the terms of the TIF Note.

IN WITNESS WHEREOF, the City has caused this Agreement to be duly executed in its name and on its behalf and the Developer has caused this Agreement to be duly executed in its name and on its behalf, on or as of the date first above written.

CITY OF SHOREVIEW, MINNESOTA

By \_\_\_\_\_  
Its Mayor

By \_\_\_\_\_  
Its City Manager

This is a signature page to the Development Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.

SCANNELL PROPERTIES #629, LLC,  
a Delaware limited liability company

---

By: Marc D. Pflaging  
Its: Manager

This is a signature page to the Development Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.

## EXHIBIT A

### DESCRIPTION OF DEVELOPMENT PROPERTY

Property located in the City of Shoreview, Ramsey County, Minnesota with the following description:

EXHIBIT B

FORM OF TIF NOTE

No. R-1

\$\_\_\_\_\_

UNITED STATES OF AMERICA  
STATE OF MINNESOTA  
COUNTY OF RAMSEY  
CITY OF SHOREVIEW

TAX INCREMENT REVENUE NOTE  
(SCANNELL PROPERTIES #629, LLC PROJECT)

The City of Shoreview, Minnesota (the "City"), hereby acknowledges itself to be indebted and, for value received, hereby promises to pay the amounts hereinafter described (the "Payment Amounts") to Scannell Properties #629, LLC, a Delaware limited liability company (the "Developer"), or its registered assigns (the "Registered Owner"), but only in the manner, at the times, from the sources of revenue, and to the extent hereinafter provided.

The principal amount of this Note shall equal from time to time the principal amount stated above, as reduced to the extent that such principal installments shall have been paid in whole or in part pursuant to the terms hereof; provided that the sum of the principal amount listed above shall in no event exceed \$3,000,000 as provided in that certain Development Agreement, dated as of \_\_\_\_\_, 2024, as the same may be amended from time to time (the "Development Agreement"), by and between the City and the Developer. The unpaid principal amount hereof shall bear interest from the date of this Note at the simple non-compounded rate of five and zero hundredths percent (5.00%) per annum. Interest shall be computed on the basis of a 360 day year consisting of twelve (12) 30-day months.

The amounts due under this Note shall be payable on August 1, 2026, and on each February 1 and August 1 thereafter to and including February 1, 2050, or, if the first should not be a Business Day (as defined in the Development Agreement), the next succeeding Business Day (the "Payment Dates"). On each Payment Date the City shall pay by check or draft mailed to the person that was the Registered Owner of this Note at the close of the last Business Day preceding such Payment Date an amount equal to the sum of the Tax Increments (hereinafter defined) received by the City during the six month period preceding such Payment Date. All payments made by the City under this Note shall first be applied to accrued interest and then to principal.

This Note is subject to prepayment on any date at the option of the City, in whole or in part and without penalty.

The Payment Amounts due hereon shall be payable solely from 75% of tax increments (the "Tax Increments") from the Development Property (as defined in the Development Agreement) within the City's Tax Increment Financing District No. 14 (the "Tax Increment District") within its Municipal Development District No. 2 which are paid to the City and which the City is entitled to retain pursuant to the provisions of Minnesota Statutes, Sections 469.174 through 469.1794, as the same may be amended or supplemented from time to time (the "Tax Increment Act"). This



Note shall terminate and be of no further force and effect following the last Payment Date defined above, on any date upon which the City shall have terminated the Development Agreement under Section 4.2(2) thereof or the Developer shall have terminated the Development Agreement under Article V thereof, on the date the Tax Increment District is terminated, or on the date that all amounts payable hereunder shall have been paid in full, whichever occurs earliest.

The Tax Increment District includes properties other than the Development Property and Ramsey County remits Tax Increment to the City on the basis of the Captured Tax Capacity of the entire Tax Increment District. For purposes of this Tax Increment Revenue Note, the City will determine Tax Increment generated from the Development Property and improvements thereon in its sole discretion.

The City makes no representation or covenant, express or implied, that the Tax Increments will be sufficient to pay, in whole or in part, the amounts which are or may become due and payable hereunder.

The City's payment obligations hereunder shall be further conditioned on the fact that no Event of Default under the Development Agreement shall have occurred and be continuing at the time payment is otherwise due hereunder, but such unpaid amounts shall become payable if said Event of Default shall thereafter have been cured; and, further, if pursuant to the occurrence of an Event of Default under the Development Agreement the City elects to cancel and rescind the Development Agreement, the City shall have no further debt or obligation under this Note whatsoever. Reference is hereby made to all of the provisions of the Development Agreement, including without limitation Article III thereof, for a fuller statement of the rights and obligations of the City to pay the principal of this Note, and said provisions are hereby incorporated into this Note as though set out in full herein.

This Note is a special, limited revenue obligation and not a general obligation of the City and is payable by the City only from the sources and subject to the qualifications stated or referenced herein. This Note is not a general obligation of the City and neither the full faith and credit nor the taxing powers of the City are pledged to the payment of the principal of this Note and no property or other asset of the City, save and except the above-referenced Tax Increments, is or shall be a source of payment of the City's obligations hereunder.

This Note is issued by the City in aid of financing a project pursuant to and in full conformity with the Constitution and laws of the State of Minnesota, including the Tax Increment Act.

This Note may be assigned only with the consent of the City which consent shall not be unreasonably withheld, conditioned or delayed. In order to assign the Note, the assignee shall surrender the same to the City either in exchange for a new fully registered note or for transfer of this Note on the registration records for the Note maintained by the City. Each permitted assignee shall take this Note subject to the foregoing conditions and subject to all provisions stated or referenced herein.

IT IS HEREBY CERTIFIED AND RECITED that all acts, conditions, and things required by the Constitution and laws of the State of Minnesota to be done, to have happened, and to be

performed precedent to and in the issuance of this Note have been done, have happened, and have been performed in regular and due form, time, and manner as required by law; and that this Note, together with all other indebtedness of the City outstanding on the date hereof and on the date of its actual issuance and delivery, does not cause the indebtedness of the City to exceed any constitutional or statutory limitation thereon.

IN WITNESS WHEREOF, City of Shoreview, Minnesota, by its City Council, has caused this Note to be executed by the manual signatures of its Mayor and City Manager and has caused this Note to be dated as of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
City Manager

\_\_\_\_\_  
Mayor

**DO NOT EXECUTE UNTIL PAID INVOICES FOR THE SITE IMPROVEMENTS IS GIVEN TO THE CITY - REFER TO SECTION 3.3(1).**

**CERTIFICATION OF REGISTRATION**

It is hereby certified that the foregoing Note was registered in the name of Scannell Properties #629, LLC, and that, at the request of the Registered Owner of this Note, the undersigned has this day registered the Note in the name of such Registered Owner, as indicated in the registration blank below, on the books kept by the undersigned for such purposes.

<div>NAME AND ADDRESS OF REGISTERED OWNER</div>	<div>DATE OF REGISTRATION</div>	<div>SIGNATURE OF CITY CITY MANAGER</div>
Scannell Properties #629, LLC Attention: Courtney Kanzinger 8801 River Crossing Blvd. Suite 300 Indianapolis, IN 46240	<div></div>	<div></div>
<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	<div></div>

## EXHIBIT C

### SITE IMPROVEMENTS

Demolition  
Engineering  
Environmental Testing  
Foundations and Footings  
Grading/earthwork  
Landscaping, including irrigation  
Onsite Utilities  
Onsite Road, Curb, Gutter, Driveway, Sidewalk and Streetscape Improvements  
Outdoor Lighting  
Parking  
Site Preparation  
Site Utilities  
Soil Testing & Boring  
Storm Water/Ponding  
Survey

DEVELOPMENT AGREEMENT

BY AND BETWEEN

CITY OF SHOREVIEW, MINNESOTA

AND

SCANNELL PROPERTIES #629, LLC

This document drafted by:

TAFT STETTINIUS & HOLLISTER LLP  
2200 IDS Center  
80 South 8th Street  
Minneapolis, MN 55402



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## DEVELOPMENT AGREEMENT

THIS AGREEMENT, made as of the \_\_\_\_ day of \_\_\_\_\_, 2024, by and between the City of Shoreview, Minnesota (the "City"), a municipal corporation existing under the laws of the State of Minnesota and Scannell Properties #629, LLC, a Delaware limited liability company (the "Developer").

WITNESSETH:

WHEREAS, pursuant to Minnesota Statutes, Section 469.124 to 469.133, the City has heretofore established Municipal Development District No. 2 (the "Development District") and has adopted a development program therefor (the "Development Program"); and

WHEREAS, pursuant to the provisions of Minnesota Statutes, Section 469.174 through 469.1794, as amended (hereinafter, the "Tax Increment Act"), the City has heretofore established, within the Development District, Tax Increment Financing District No. 14 (the "Tax Increment District") and has adopted a tax increment financing plan therefor (the "Tax Increment Plan") which provides for the use of tax increment financing in connection with certain development within the Development District; and

WHEREAS, in order to achieve the objectives of the Development Program and particularly to make the land in the Development District available for development by private enterprise in conformance with the Development Program, the City has determined to assist the Developer with the financing of certain costs of a Project (as hereinafter defined) to be constructed within the Tax Increment District as more particularly set forth in this Agreement; and

WHEREAS, the City believes that the redevelopment and construction of the Project, and fulfillment of this Agreement are vital and are in the best interests of the City, the health, safety, morals and welfare of residents of the City, and in accordance with the public purpose and provisions of the applicable state and local laws and requirements under which the Project has been undertaken and is being assisted; and

WHEREAS, the requirements of the Business Subsidy Law, Minnesota Statutes, Section 116J.993 through 116J.995, do not apply to this Agreement because the Developer's investment in the purchase of the site and in site preparation is at least 70 percent of the assessor's current year's estimated market value;

NOW, THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto, each of them does hereby covenant and agree with the other as follows:

## ARTICLE I

### DEFINITIONS

Section 1.1. Definitions. All capitalized terms used and not otherwise defined herein shall have the following meanings unless a different meaning clearly appears from the context:

Agreement means this Agreement, as the same may be from time to time modified, amended or supplemented;

~~Assessment Agreement means the agreement, in substantially the form of the agreement contained in Exhibit D attached hereto and hereby made a part of this Agreement, among the Developer, the City and the Assessor for the County, entered into pursuant to Article III of this Agreement;~~

~~Assessor's Minimum Market Value means the agreed minimum market value of the Development Property and Project and for calculation of real property taxes as determined by the Assessor for the County pursuant to the Assessment Agreement;~~

Business Day means any day except a Saturday, Sunday or a legal holiday or a day on which banking institutions in the City are authorized by law or executive order to close;

City means the City of Shoreview, Minnesota, its successors and assigns;

County means Ramsey County, Minnesota;

Developer means Scannell Properties #629, LLC, a Delaware limited liability company, its successors and assigns;

Development District means the real property included in Municipal Development District No. 2 heretofore established;

Development Program means the Development Program approved in connection with the Development District;

Development Property means the real property described in Exhibit A attached to this Agreement;

Event of Default means any of the events described in Section 4.1 hereof;

Legal and Administrative Expenses means the fees and expenses actually incurred by the City in connection with the review and analysis of the development proposed under this Agreement, the adoption and administration of the Tax Increment Financing Plan and establishment of the Tax Increment District, the preparation of this Agreement and the issuance of the TIF Note including, but not limited to, attorney and municipal advisor fees and expenses;

Note Payment Date means August 1, 2026, and each February 1 and August 1 of each year thereafter to and including February 1, 2050; provided, that if any such Note Payment Date



should not be a Business Day, the Note Payment Date shall be the next succeeding Business Day;

Prime Rate means the rate of interest from time to time publicly announced by U.S. Bank National Association in Minneapolis, Minnesota, as its "prime rate" or "reference rate" or any successor rate, which rate shall change as and when that rate or successor rate changes;

Project means the construction of an industrial flex warehouse building on the Development Property of approximately 150,000 square feet, to be leased to one or more tenants;

Site Improvements means the site improvements undertaken or to be undertaken on the Development Property, more particularly described on Exhibit C attached hereto;

State means the State of Minnesota;

Tax Increments means 75% of the tax increments derived from the Development Property as calculated by the City in its sole discretion and which have been received by the City in accordance with the provisions of Minnesota Statutes, Section 469.177;

Tax Increment Act means Minnesota Statutes, Sections 469.174 through 469.1794, as amended;

Tax Increment District means Tax Increment Financing District No. 14 located within the Development District, a description of which is set forth in the Tax Increment Financing Plan, which was qualified as a redevelopment district under the Tax Increment Act;

Tax Increment Financing Plan means the tax increment financing plan approved for the Tax Increment District by the City Council on February 21, 2023, and any future amendments thereto;

Termination Date means the earlier of (i) February 1, 2050, (ii) the date the TIF Note is paid as provided in the TIF Note, (iii) the date on which the Tax Increment District expires or is otherwise terminated, or (iv) the date this Agreement is terminated or rescinded in accordance with its terms; and

TIF Note means the Tax Increment Revenue Note (Scannell Properties #629, LLC Project) to be executed by the City and delivered to the Developer pursuant to Article III hereof, the form of which is attached hereto as Exhibit B; and

Unavoidable Delays means delays, outside the control of the party claiming its occurrence, which are the result of strikes, other labor troubles, unusually severe or prolonged bad weather, acts of God, global pandemic (including the current pandemic known as COVID-19), epidemic, fire or other casualty to the Project, litigation commenced by third parties which, by injunction or other similar judicial action or by the exercise of reasonable discretion, results in delays, or acts of any federal, state or local governmental unit other than the City.

## ARTICLE II

### REPRESENTATIONS AND WARRANTIES

Section 2.1. Representations and Warranties of the City. The City makes the following representations and warranties:

(1) The City is a municipal corporation and has the power to enter into this Agreement and carry out its obligations hereunder.

(2) The City has duly authorized the execution of this Agreement and the performance of its obligations hereunder and neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in a breach of, the terms, conditions or provisions of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which the City is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(3) The Tax Increment District is a "redevelopment district" within the meaning of Minnesota Statutes, Section 469.174, Subdivision 10, and was created, adopted and approved in accordance with the terms of the Tax Increment Act.

(4) The development contemplated by this Agreement is in conformance with the development objectives set forth in the Development Program.

(5) To finance certain costs within the Tax Increment District, the City proposes, subject to the further provisions of this Agreement, to apply Tax Increments to reimburse the Developer for a portion of the costs of certain Site Improvements incurred in connection with the Project as further provided in this Agreement.

(6) The City makes no representation or warranty, either express or implied, as to the Development Property or its condition or the soil conditions thereon, or that the Development Property shall be suitable for the Developer's purposes or needs.

Section 2.2. Representations and Warranties of the Developer. The Developer makes the following representations and warranties:

(1) The Developer is a Delaware limited liability company and has the power and authority to enter into this Agreement and to perform its obligations hereunder and doing so will not violate its articles of organization, member control agreement or operating agreement, or the laws of the State and by proper action has authorized the execution and delivery of this Agreement.

(2) The Developer shall cause the Project to be constructed in accordance with the terms of this Agreement, the Development Program, and all applicable local, state and federal laws and regulations (including, but not limited to, environmental, zoning, energy conservation, building code and public health laws and regulations).

(3) The construction of the Project would not be undertaken by the Developer, and in the opinion of the Developer would not be economically feasible within the reasonably foreseeable future, without the assistance and benefit to the Developer provided for in this Agreement.

(4) The Developer will use its best efforts to obtain, or cause to be obtained, in a timely manner, all required permits, licenses and approvals, and will meet, in a timely manner, all requirements of all applicable local, state, and federal laws and regulations which must be obtained or met before the Project may be lawfully constructed.

(5) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in a breach of, the terms, conditions or provision of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which the Developer is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(6) The Developer will cooperate fully with the City with respect to any litigation commenced with respect to the Project.

(7) The Developer will cooperate fully with the City in resolution of any traffic, parking, trash removal or public safety problems which may arise in connection with the construction and operation of the Project.

(8) The construction of the Project shall commence no later than May 31, 2024 and barring Unavoidable Delays will be substantially completed by March 31, 2025.

(9) The Developer acknowledges that Tax Increment projections contained in the Tax Increment Financing Plan are estimates only and the Developer acknowledges that it shall place no reliance on the amount of projected Tax Increments and the sufficiency of such Tax Increments to reimburse the Developer for a portion of the costs of the construction and installation of the Site Improvements provided in Article III.

## ARTICLE III

### UNDERTAKINGS BY DEVELOPER AND CITY

#### Section 3.1. Project, Site Improvements and Legal and Administrative Expenses.

(1) The parties agree that the Site Improvements are essential to the successful completion of the Project. The costs of the Site Improvements and Project shall be paid by the Developer. The City shall reimburse the Developer for the lesser of (a) \$3,000,000, or (b) the costs of the Site Improvements incurred and paid by the Developer (the "Reimbursement Amount") as further provided in Section 3.3 hereof.

(2) The Developer shall pay all Legal and Administrative Expenses in excess of the initial deposit of \$15,000 paid to the City by the Developer if requested by the City.

Section 3.2. Limitations on Undertaking of the City. Notwithstanding the provisions of Sections 3.1(1), the City shall have no obligation to the Developer under this Agreement to reimburse the Developer for the costs identified in Section 3.1(1), if the City, at the time or times such payment is to be made, is entitled under Section 4.2 to exercise any of the remedies set forth therein as a result of an Event of Default which has not been cured.

Section 3.3. Reimbursement: Tax Increment Revenue Note. The City shall reimburse the payments made by the Developer under Section 3.1(1) for costs of the construction and installation of the Site Improvements through the issuance of the City's TIF Note in substantially the form attached to this Agreement as Exhibit B, subject to the following conditions:

(1) The TIF Note shall be dated, issued and delivered when the Developer shall have demonstrated in writing to the reasonable satisfaction of the City and that the Developer has incurred and paid the costs of the Site Improvements, as described in and limited by Section 3.1(1) and shall have submitted paid invoices for the costs of the Site Improvements in an amount not less than the Reimbursement Amount.

(2) The unpaid principal of the TIF Note shall bear simple non-compounding interest from the date of issuance of the TIF Note, at 5.00% per annum. Interest shall be computed on the basis of a 360 day year consisting of twelve (12) 30-day months.

(3) The principal amount of the TIF Note and the interest thereon shall be payable solely from the Tax Increments.

(4) On each Note Payment Date and subject to the provisions of the TIF Note, the City shall pay, against the principal and interest outstanding on the TIF Note, any Tax Increments received by the City during the preceding 6 months. All such payments shall be applied first to accrued interest and then to reduce the principal of the TIF Note.

(5) The TIF Note shall be a special and limited obligation of the City and not a general obligation of the City, and only Tax Increments shall be used to pay the principal and interest on the TIF Note. If, on any TIF Note Payment Date, the Tax Increments for the payment of the accrued and unpaid interest on the TIF Note are insufficient for such purposes, the

difference shall be carried forward, without interest accruing thereon, and shall be paid if and to the extent that on a future TIF Note Payment Date there are Tax Increments in excess of the amounts needed to pay the accrued interest then due on the TIF Note.

(6) The City's obligation to make payments on the TIF Note on any Note Payment Date or any date thereafter shall be conditioned upon the requirements that: (a) there shall not at that time be an Event of Default that has occurred and is continuing under this Agreement and (b) this Agreement shall not have been rescinded pursuant to Section 4.2.

(7) The TIF Note shall be governed by and payable pursuant to the additional terms thereof, as set forth in Exhibit B. In the event of any conflict between the terms of the TIF Note and the terms of this Section 3.3, the terms of the TIF Note shall govern. The issuance of the TIF Note pursuant and subject to the terms of this Agreement, and the taking by the City of such additional actions as bond counsel for the TIF Note may require in connection therewith, are hereby authorized and approved by the City.

Section 3.4. DEED Reports. The Developer shall provide the City with information about the Project as requested by the City so that the City can satisfy the reporting requirements of Minnesota Statutes, Section 116J.994, Subdivision 8.

~~Section 3.5. Execution of Assessment Agreement; Action to Reduce Taxes.~~

~~(1) Simultaneously with the execution of this Agreement, the Developer and the City shall execute an Assessment Agreement pursuant to the provisions of Minnesota Statutes, Section 469.177, Subdivision 8, specifying the Assessor's Minimum Market Value for the Development Property and the Minimum Improvements for calculation of real property taxes. Specifically, the Developer shall agree to a market value for the Development Property and the Minimum Improvements which will result in a market value as of January 2, 2025 of not less than \$20,750,000 until the Termination Date (such minimum market value at the time applicable is herein referred to as the "Assessor's Minimum Market Value"). Nothing in the Assessment Agreement shall limit the discretion of the Assessor to assign a market value to the Development Property in excess of such Assessor's Minimum Market Value nor prohibit the Developer from seeking through the exercise of legal or administrative remedies a reduction in such market value for property tax purposes, provided however, that the Developer shall not seek a reduction of such market value below the Assessor's Minimum Market Value in any year so long as the Assessment Agreement shall remain in effect. The Assessment Agreement shall remain in effect until the earlier of (1) the Termination Date or (2) December 31, 2049. The Assessment Agreement shall be certified by the Assessor for the County as provided in Minnesota Statutes, Section 469.177, Subdivision 8, upon a finding by the Assessor that the Assessor's Minimum Market Value represents a reasonable estimate based upon the plans and specifications for the Minimum Improvements to be constructed on the Development Property and the market value previously assigned to the Development Property. Pursuant to Minnesota Statutes, Section 469.177, Subdivision 8, the Assessment Agreement shall be filed for record in the office of the county recorder or registrar of titles of Ramsey County, and such filing shall constitute notice to any subsequent encumbrancer or purchaser of the Development Property (or part thereof), whether voluntary or involuntary, and such Assessment Agreement shall be binding and~~



~~enforceable in its entirety against any such subsequent purchaser or encumbrancer, including the holder of any mortgage recorded against the Development Property.~~

~~(2) — The Developer may seek through petition or other means to have the market value of the Development Property and the Project reduced, provided however, that the Developer shall not seek a reduction of such market value below the Assessor's Minimum Market Value. Until the Note is fully paid, such activity must be preceded by written notice from the Developer to the City indicating its intention to do so. Upon receiving such notice, or otherwise learning of the Developer's intentions, the City may suspend payments due under the TIF Note until the actual amount of the reduction is determined, whereupon the City will make the suspended payments less any amount that the City is required to repay the County as a result of any reduction in market value of the Development Property and the Project. During the period that the payments are subject to suspension the City may make partial payments on the TIF Note if it determines, in its sole and absolute discretion that the amount retained will be sufficient to cover any repayment.~~

Section 3.5. ~~Section 3.6.~~ Real Property Taxes. The Developer acknowledges that it is obligated under law to pay all real property taxes payable with respect to the Development Property and pursuant to the provisions of the Agreement until the Developer's obligations have been assumed by any other person with the written consent of the Authority pursuant to the provisions of this Agreement.

The Developer agrees that prior to the Termination Date:

(1) It will not seek administrative review or judicial review of the applicability of any tax statute relating to the taxation of real property contained on the Development Property determined by any tax official to be applicable to the Project or the Developer or raise the inapplicability of any such tax statute as a defense in any proceedings with respect to the Development Property, including delinquent tax proceedings; provided, however, "tax statute" does not include any local ordinance or resolution levying a tax;

(2) It will not seek administrative review or judicial review of the constitutionality of any tax statute relating to the taxation of real property contained on the Development Property determined by any tax official to be applicable to the Project or the Developer or raise the unconstitutionality of any such tax statute as a defense in any proceedings with respect to the Development Property, including delinquent tax proceedings; provided, however, "tax statute" does not include any local ordinance or resolution levying a tax;

(3) It will not seek any tax deferral or abatement, either presently or prospectively authorized under any other State or federal law, of the taxation of real property contained in the Development Property between the date of execution of this Agreement and the Termination Date.

(4) It may seek through petition or other means to have the market value for the Development Property and the Project reduced. Until the TIF Note is fully paid, such activity must be preceded by written notice from the Developer to the City indicating its intention to do so. Upon receiving such notice, or otherwise learning of the Developer's intentions, the City may

suspend payments due under the TIF Note until the actual amount of the reduction is determined, whereupon the City will make the suspended payments less any amount that the City is required to repay the County as a result of any reduction in market value of the Development Property and the Project. During the period that the payments are subject to suspension, the City may make partial payments on the TIF Note if it determines, in its sole and absolute discretion that the amount retained will be sufficient to cover any repayment which the County may require. The City's suspension of payments on the TIF Note pursuant to this Section shall not be considered a default under this Agreement.

Section 3.6. ~~Section 3.7.~~ Prohibition Against Transfer of Project and Assignment of Agreement. The Developer represents and agrees, that prior to the Termination Date, the Developer shall not transfer the Project (except for leases to tenants in the ordinary course of the Developer's business) or any part thereof or any interest therein, without the prior written approval of the City, which approval shall not be unreasonably conditioned or delayed, as long as the following conditions are met to the City's reasonable satisfaction:

(1) Any proposed transferee shall have the qualifications and financial responsibility, in the reasonable judgment of the City, necessary and adequate to fulfill the obligations undertaken in this Agreement by the Developer.

(2) Any proposed transferee, by instrument in writing satisfactory to the City shall, for itself and its successors and assigns, and expressly for the benefit of the City, have expressly assumed all of the obligations of the Developer under this Agreement and agreed to be subject to all the conditions and restrictions to which the Developer is subject.

(3) There shall be submitted to the City for its review and prior written approval all instruments and other legal documents involved in effecting the transfer of any interest in this Agreement or the Note.

## ARTICLE IV

### EVENTS OF DEFAULT

Section 4.1. Events of Default Defined. The following shall be "Events of Default" under this Agreement and the term "Event of Default" shall mean whenever it is used in this Agreement any one or more of the following events:

(1) Failure by the Developer to timely pay any ad valorem real property taxes and special assessments levied against the Development Property and all public utility or other City payments due and owing with respect to the Development Property when due and payable.

(2) Failure of the Developer to observe or perform any covenant, condition, obligation or agreement on its part to be observed or performed under this Agreement.

(3) The holder of any mortgage on the Development Property or any improvements thereon, or any portion thereof, commences foreclosure proceedings as a result of any default under the applicable mortgage documents.

(4) If the Developer shall:

(a) file any petition in bankruptcy or for any reorganization, arrangement, composition, readjustment, liquidation, dissolution, or similar relief under the United States Bankruptcy Act of 1978, as amended or under any similar federal or state law; or

(b) make an assignment for the benefit of its creditors; or

(c) admit in writing its inability to pay its debts generally as they become due; or

(d) be adjudicated a bankrupt or insolvent; or if a petition or answer proposing the adjudication of the Developer as bankrupt or its reorganization under any present or future federal bankruptcy act or any similar federal or state law shall be filed in any court and such petition or answer shall not be discharged or denied within sixty (60) days after the filing thereof; or a receiver, liquidator or trustee of the Developer, or of the Project, or part thereof, shall be appointed in any proceeding brought against the Developer, and shall not be discharged within sixty (60) days after such appointment, or if the Developer, shall consent to or acquiesce in such appointment.

Section 4.2. Remedies on Default. Whenever any Event of Default referred to in Section 4.1 occurs and is continuing, the City, as specified below, may take any one or more of the following actions after the giving of thirty (30) days' written notice to the Developer, but only if the Event of Default has not been cured within said thirty (30) days:

(1) The City may suspend its performance under this Agreement and the TIF Note until it receives assurances from the Developer, deemed adequate by the City, that the Developer will cure its default and continue its performance under this Agreement.

(2) The City may cancel and rescind the Agreement and the TIF Note.

(3) The City may take any action, including legal or administrative action, in law or equity, which may appear necessary or desirable to enforce performance and observance of any obligation, agreement, or covenant of the Developer under this Agreement.

Section 4.3. No Remedy Exclusive. No remedy herein conferred upon or reserved to the City is intended to be exclusive of any other available remedy or remedies, but each and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Agreement or now or hereafter existing at law or in equity or by statute. No delay or omission to exercise any right or power accruing upon any default shall impair any such right or power or shall be construed to be a waiver thereof, but any such right and power may be exercised from time to time and as often as may be deemed expedient.

Section 4.4. No Implied Waiver. In the event any agreement contained in this Agreement should be breached by any party and thereafter waived by any other party, such waiver shall be limited to the particular breach so waived and shall not be deemed to waive any other concurrent, previous or subsequent breach hereunder.

Section 4.5. Agreement to Pay Attorney's Fees and Expenses. Whenever any Event of Default occurs and the City shall employ attorneys or incur other expenses for the collection of payments due or to become due or for the enforcement or performance or observance of any obligation or agreement on the part of the Developer herein contained, the Developer agrees that it shall, within thirty (30) days of demand therefor, pay to the City the reasonable fees of such attorneys and such other expenses so incurred by the City.

Section 4.6. Indemnification of City.

(1) Except for any gross negligence, willful misrepresentation or any willful or wanton misconduct of the Indemnified Parties, the Developer (a) releases the City and its governing body members, officers, agents, including the independent contractors, consultants and legal counsel, servants and employees (collectively, the "Indemnified Parties") from, (b) covenants and agrees that the Indemnified Parties shall not be liable for, and (c) agrees to indemnify and hold harmless the Indemnified Parties against, any claim, cause of action, suit or liability for loss or damage to property or any injury to or death of any person occurring at or about or resulting from any defect in the Project or on the Development Property.

(2) Except for any gross negligence, willful misrepresentation or any willful or wanton misconduct of the Indemnified Parties, the Developer agrees to protect and defend the Indemnified Parties, now and forever, and further agrees to hold the aforesaid harmless from any claim, demand, suit, action or other proceeding whatsoever by any person or entity whatsoever arising or purportedly arising from the actions or inactions of the Developer (or of other persons acting on its behalf or under its direction or control) under this Agreement, or the transactions contemplated hereby or the acquisition, construction, installation, ownership, and operation of

the Project; provided, that this indemnification shall not apply to the warranties made or obligations undertaken by the City in this Agreement or to any actions undertaken by the City which are not contemplated by this Agreement but shall, in any event and without regard to any fault on the part of the City, apply to any pecuniary loss or penalty (including interest thereon from the date the loss is incurred or penalty is paid by the City at a rate equal to the Prime Rate) as a result of the Project causing the Tax Increment District to not qualify or cease to qualify as a "redevelopment district" under Section 469.174, Subdivision 10, of the Act and Section 469.176, Subdivision 4(j), or to violate limitations as to the use of Tax Increments as set forth in Section 469.176, Subdivision 4(j).

(3) All covenants, stipulations, promises, agreements and obligations of the City contained herein shall be deemed to be the covenants, stipulations, promises, agreements and obligations of the City and not of any governing body member, officer, agent, servant or employee of the City. All covenants, stipulations, promises, agreements and obligations of the Developer contained herein shall be deemed to be the covenants, stipulations, promises, agreements and obligations of the Developer and not of any member, manager, officer, agent, servant or employee of the Developer.



## ARTICLE V

### DEVELOPER'S OPTION TO TERMINATE AGREEMENT

Section 5.1. The Developer's Option to Terminate. This Agreement may be terminated by the Developer, if (1) the Developer is in compliance with all material terms of this Agreement, including satisfaction of the requirements of Section 3.3 and no Event of Default has occurred which has not been cured; and (2) the City fails to comply with any material term of this Agreement, and, after written notice by the Developer of such failure, the City has failed to cure such noncompliance within ninety (90) days of receipt of such notice, or, if such noncompliance cannot reasonably be cured by the City within ninety (90) days, of receipt of such notice, the City has not provided assurances, reasonably satisfactory to the Developer, that such noncompliance will be cured as soon as reasonably possible.

Section 5.2. Action to Terminate. Termination of this Agreement pursuant to Section 5.1 must be accomplished by written notification by the Developer to the City within sixty (60) days after the date when such option to terminate may first be exercised. A failure by the Developer to terminate this Agreement within such period constitutes a waiver by the Developer of its rights to terminate this Agreement due to such occurrence or event.

Section 5.3. Effect of Termination. If this Agreement is terminated pursuant to this Article V, this Agreement shall be from such date forward null and void and of no further effect; provided, however, the termination of this Agreement shall not affect the rights of either party to institute any action, claim or demand for damages suffered as a result of breach or default of the terms of this Agreement by the other party, or to recover amounts which had accrued and become due and payable as of the date of such termination. Upon termination of this Agreement pursuant to this Article V, the Developer shall be free to proceed with the Project at its own expense and without regard to the provisions of this Agreement; provided, however, that the City shall have no further obligations to the Developer with respect to reimbursement of the expenses set forth in Section 3.2.

## ARTICLE VI

### ADDITIONAL PROVISIONS

Section 6.1. Restrictions on Use. Until termination of this Agreement, the Developer agrees for itself, its successors and assigns and every successor in interest to the Development Property, or any part thereof, that the Developer and such successors and assigns shall operate, or cause to be operated, the Project as commercial facilities and shall devote the Development Property to, and in accordance with, the uses specified in this Agreement.

Section 6.2. Conflicts of Interest. No member of the governing body or other official of the City shall have any financial interest, direct or indirect, in this Agreement, the Development Property or the Project, or any contract, agreement or other transaction contemplated to occur or be undertaken thereunder or with respect thereto, nor shall any such member of the governing body or other official participate in any decision relating to the Agreement which affects his or her personal interests or the interests of any corporation, partnership or association in which he or she is directly or indirectly interested. No member, official or employee of the City shall be personally liable to the City in the event of any default or breach by the Developer or successor or on any obligations under the terms of this Agreement.

Section 6.3. Titles of Articles and Sections. Any titles of the several parts, articles and sections of the Agreement are inserted for convenience of reference only and shall be disregarded in construing or interpreting any of its provisions.

Section 6.4. Notices and Demands. Except as otherwise expressly provided in this Agreement, a notice, demand or other communication under this Agreement by any party to any other shall be sufficiently given or delivered if it is dispatched by registered or certified mail, overnight courier, postage prepaid, return receipt requested, or delivered personally, and

- (1) in the case of the Developer is addressed to or delivered personally to:

Scannell Properties #629, LLC  
8801 River Crossing Boulevard, Suite 300  
Indianapolis, IN 46240  
Attention: Courtney Kanzinger

with a copy to:

Moss & Barnett  
Attention: Nathan M. Brandenburg  
150 South Fifth Street, Suite 1200  
Minneapolis, MN 55402

(2) in the case of the City is addressed to or delivered personally to the City at:

City of Shoreview, Minnesota  
4600 Victoria Street North  
Shoreview, MN 55126-5817  
Attention: City Manager

with a copy to:

Taft Stettinius & Hollister LLP  
Attention: Mary Ippel  
2200 IDS Center  
80 South 8th Street  
Minneapolis, MN 55402

or at such other address with respect to any such party as that party may, from time to time, designate in writing and forward to the other, as provided in this Section.

Section 6.5. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall constitute one and the same instrument.

Section 6.6. Law Governing. This Agreement will be governed and construed in accordance with the laws of the State.

Section 6.7. Expiration. This Agreement shall expire on the Termination Date.

Section 6.8. Provisions Surviving Rescission or Expiration. Sections 4.5 and 4.6 shall survive any rescission, termination or expiration of this Agreement with respect to or arising out of any event, occurrence or circumstance existing prior to the date thereof.

Section 6.9. Assignability of TIF Note. The TIF Note may only be assigned pursuant to the terms of the TIF Note.

IN WITNESS WHEREOF, the City has caused this Agreement to be duly executed in its name and on its behalf and the Developer has caused this Agreement to be duly executed in its name and on its behalf, on or as of the date first above written.

CITY OF SHOREVIEW, MINNESOTA

By \_\_\_\_\_  
Its Mayor

By \_\_\_\_\_  
Its City Manager

This is a signature page to the Development Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.

SCANNELL PROPERTIES #629, LLC,  
a Delaware limited liability company

---

By: Marc D. Pfleging  
Its: Manager

This is a signature page to the Development Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.



## EXHIBIT A

### DESCRIPTION OF DEVELOPMENT PROPERTY

Property located in the City of Shoreview, Ramsey County, Minnesota with the following description:

A-1

EXHIBIT B

FORM OF TIF NOTE

No. R-1

\$ \_\_\_\_\_

UNITED STATES OF AMERICA  
STATE OF MINNESOTA  
COUNTY OF RAMSEY  
CITY OF SHOREVIEW

TAX INCREMENT REVENUE NOTE  
(SCANNELL PROPERTIES #629, LLC PROJECT)

The City of Shoreview, Minnesota (the "City"), hereby acknowledges itself to be indebted and, for value received, hereby promises to pay the amounts hereinafter described (the "Payment Amounts") to Scannell Properties #629, LLC, a Delaware limited liability company (the "Developer"), or its registered assigns (the "Registered Owner"), but only in the manner, at the times, from the sources of revenue, and to the extent hereinafter provided.

The principal amount of this Note shall equal from time to time the principal amount stated above, as reduced to the extent that such principal installments shall have been paid in whole or in part pursuant to the terms hereof; provided that the sum of the principal amount listed above shall in no event exceed \$3,000,000 as provided in that certain Development Agreement, dated as of \_\_\_\_\_, 2024, as the same may be amended from time to time (the "Development Agreement"), by and between the City and the Developer. The unpaid principal amount hereof shall bear interest from the date of this Note at the simple non-compounded rate of five and zero hundredths percent (5.00%) per annum. Interest shall be computed on the basis of a 360 day year consisting of twelve (12) 30-day months.

The amounts due under this Note shall be payable on August 1, 2026, and on each February 1 and August 1 thereafter to and including February 1, 2050, or, if the first should not be a Business Day (as defined in the Development Agreement), the next succeeding Business Day (the "Payment Dates"). On each Payment Date the City shall pay by check or draft mailed to the person that was the Registered Owner of this Note at the close of the last Business Day preceding such Payment Date an amount equal to the sum of the Tax Increments (hereinafter defined) received by the City during the six month period preceding such Payment Date. All payments made by the City under this Note shall first be applied to accrued interest and then to principal.

This Note is subject to prepayment on any date at the option of the City, in whole or in part and without penalty.

The Payment Amounts due hereon shall be payable solely from 75% of tax increments (the "Tax Increments") from the Development Property (as defined in the Development Agreement) within the City's Tax Increment Financing District No. 14 (the "Tax Increment

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District") within its Municipal Development District No. 2 which are paid to the City and which the City is entitled to retain pursuant to the provisions of Minnesota Statutes, Sections 469.174 through 469.1794, as the same may be amended or supplemented from time to time (the "Tax Increment Act"). This Note shall terminate and be of no further force and effect following the last Payment Date defined above, on any date upon which the City shall have terminated the Development Agreement under Section 4.2(2) thereof or the Developer shall have terminated the Development Agreement under Article V thereof, on the date the Tax Increment District is terminated, or on the date that all amounts payable hereunder shall have been paid in full, whichever occurs earliest.

The Tax Increment District includes properties other than the Development Property and Ramsey County remits Tax Increment to the City on the basis of the Captured Tax Capacity of the entire Tax Increment District. For purposes of this Tax Increment Revenue Note, the City will determine Tax Increment generated from the Development Property and improvements thereon in its sole discretion.

The City makes no representation or covenant, express or implied, that the Tax Increments will be sufficient to pay, in whole or in part, the amounts which are or may become due and payable hereunder.

The City's payment obligations hereunder shall be further conditioned on the fact that no Event of Default under the Development Agreement shall have occurred and be continuing at the time payment is otherwise due hereunder, but such unpaid amounts shall become payable if said Event of Default shall thereafter have been cured; and, further, if pursuant to the occurrence of an Event of Default under the Development Agreement the City elects to cancel and rescind the Development Agreement, the City shall have no further debt or obligation under this Note whatsoever. Reference is hereby made to all of the provisions of the Development Agreement, including without limitation Article III thereof, for a fuller statement of the rights and obligations of the City to pay the principal of this Note, and said provisions are hereby incorporated into this Note as though set out in full herein.

This Note is a special, limited revenue obligation and not a general obligation of the City and is payable by the City only from the sources and subject to the qualifications stated or referenced herein. This Note is not a general obligation of the City and neither the full faith and credit nor the taxing powers of the City are pledged to the payment of the principal of this Note and no property or other asset of the City, save and except the above-referenced Tax Increments, is or shall be a source of payment of the City's obligations hereunder.

This Note is issued by the City in aid of financing a project pursuant to and in full conformity with the Constitution and laws of the State of Minnesota, including the Tax Increment Act.

This Note may be assigned only with the consent of the City which consent shall not be unreasonably withheld, conditioned or delayed. In order to assign the Note, the assignee shall surrender the same to the City either in exchange for a new fully registered note or for transfer of this Note on the registration records for the Note maintained by the City. Each permitted

assignee shall take this Note subject to the foregoing conditions and subject to all provisions stated or referenced herein.

IT IS HEREBY CERTIFIED AND RECITED that all acts, conditions, and things required by the Constitution and laws of the State of Minnesota to be done, to have happened, and to be performed precedent to and in the issuance of this Note have been done, have happened, and have been performed in regular and due form, time, and manner as required by law; and that this Note, together with all other indebtedness of the City outstanding on the date hereof and on the date of its actual issuance and delivery, does not cause the indebtedness of the City to exceed any constitutional or statutory limitation thereon.

IN WITNESS WHEREOF, City of Shoreview, Minnesota, by its City Council, has caused this Note to be executed by the manual signatures of its Mayor and City Manager and has caused this Note to be dated as of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
City Manager

\_\_\_\_\_  
Mayor

**DO NOT EXECUTE UNTIL PAID INVOICES FOR THE SITE IMPROVEMENTS IS GIVEN TO THE CITY - REFER TO SECTION 3.3(1).**

**CERTIFICATION OF REGISTRATION**

It is hereby certified that the foregoing Note was registered in the name of Scannell Properties #629, LLC, and that, at the request of the Registered Owner of this Note, the undersigned has this day registered the Note in the name of such Registered Owner, as indicated in the registration blank below, on the books kept by the undersigned for such purposes.

<u>NAME AND ADDRESS OF REGISTERED OWNER</u>	<u>DATE OF REGISTRATION</u>	<u>SIGNATURE OF CITY CITY MANAGER</u>
Scannell Properties #629, LLC Attention: Courtney Kanzinger 8801 River Crossing Blvd. Suite 300 Indianapolis, IN 46240	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

## EXHIBIT C

### SITE IMPROVEMENTS

Demolition  
Engineering  
Environmental Testing  
Foundations and Footings  
Grading/earthwork  
Landscaping, including irrigation  
Onsite Utilities  
Onsite Road, Curb, Gutter, Driveway, Sidewalk and Streetscape Improvements  
Outdoor Lighting  
Parking  
Site Preparation  
Site Utilities  
Soil Testing & Boring  
Storm Water/Ponding  
Survey

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~~EXHIBIT D~~

~~FORM OF ASSESSMENT AGREEMENT~~

~~THIS AGREEMENT, dated as of this \_\_\_\_ day of \_\_\_\_\_, 2024, is by and among the City of Shoreview, Minnesota (the "City"), and Scannell Properties #629, LLC, a Delaware limited liability company (the "Developer").~~

~~WITNESSETH~~

~~WHEREAS, the City and the Developer have entered into a Development Agreement dated as of \_\_\_\_\_, 2024 (the "Development Agreement") regarding certain real property located in the City (the "Development Property") which property is legally described on Exhibit A attached hereto and made a part hereof.~~

~~WHEREAS, it is contemplated that pursuant to said Agreement, the Developer will construct a Project on the Development Property as described in the Development Agreement.~~

~~WHEREAS, the City and Developer desire to establish a minimum market value for the Development Property and the improvements constructed or to be constructed thereon, pursuant to Minnesota Statutes, Section 469.177, Subdivision 8.~~

~~WHEREAS, the Developer has acquired the Development Property.~~

~~WHEREAS, the Developer has submitted the plans and specifications for the improvements to be constructed pursuant to the Development Agreement to the Ramsey County Assessor (the "Assessor");~~

~~NOW, THEREFORE, the parties to this Agreement, in consideration of the promises, covenants and agreements made by each to the other, do hereby agree as follows:~~

~~1. As of January 2, 2025 through and thereafter until December 31, 2049 the minimum market value which shall be assessed for the Project shall be not less than \$20,750,000.~~

~~2. The minimum market value herein established shall be of no further force and effect and this Agreement shall terminate on the earlier of: (i) December 31, 2049; or (ii) the date of termination of the Development Agreement.~~

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~~Signature page for Assessment Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.~~

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Page

~~SCANNELL PROPERTIES #629, LLC,~~  
~~a Delaware limited liability company~~

~~By: Marc D. Pfleging~~  
~~Its: Manager~~

~~STATE OF INDIANA )~~  
 ~~) ss.~~  
~~COUNTY OF MARION )~~

~~The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2024,~~  
~~by Marc D. Pfleging, the Manager of Scannell Properties #629, LLC, a Delaware limited liability~~  
~~company, on behalf of said company.~~

~~\_\_\_\_\_  
Notary Public~~

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~~Signature page for Assessment Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC.~~

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~~CERTIFICATION BY COUNTY ASSESSOR~~

~~The undersigned Assessor, having reviewed the plans and specifications for the improvements to be constructed, pursuant to that certain Assessment Agreement, by and between the City of Shoreview, Minnesota, and Scannell Properties #629, LLC, dated \_\_\_\_\_, 2024, on the property legally described as follows:~~

~~and being legally responsible for the assessment of such property, hereby certifies that the market values assigned to such land and improvements are reasonable.~~

\_\_\_\_\_  
~~County Assessor for Ramsey County~~

~~STATE OF MINNESOTA )  
\_\_\_\_\_) ss.  
COUNTY OF RAMSEY )~~

~~This instrument was acknowledged before me on \_\_\_\_\_, 2024, by \_\_\_\_\_, the County Assessor of Ramsey County.~~

\_\_\_\_\_  
\_\_\_\_\_  
~~Notary Public~~

~~Signature page for Assessment Agreement by and between the City of Shoreview, Minnesota and Scannell Properties #629, LLC~~

~~CONSENT TO ASSESSMENT AGREEMENT~~

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Page

IN WITNESS WHEREOF, we have caused this Consent to Assessment Agreement to be executed in its name and on its behalf as of this \_\_\_\_ day of \_\_\_\_\_, 2024.

Its \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2024, by \_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_ banking corporation on behalf of the corporation.

~~Notary Public~~

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~~EXHIBIT A TO ASSESSMENT AGREEMENT~~

~~LEGAL DESCRIPTION OF DEVELOPMENT PROPERTY~~

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Document comparison by Workshare Compare on Friday, March 29, 2024  
11:22:13 AM

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Description	#75656286v5<Active> - Shoreview TIF 14 Development Agreement (Scannell Properties #629, LLC)
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Description	75656286_6
Rendering set	TaftStandard

Legend:	
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Moved from	
<u>Moved to</u>	
Style change	
Format change	
<del>Moved deletion</del>	
Inserted cell	
Deleted cell	
Moved cell	
Split/Merged cell	
Padding cell	

Statistics:	
	Count
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Deletions	135
Moved from	3
Moved to	3
Style changes	0
Format changes	0
Total changes	196



# Memorandum

**TO:** City Council  
**FROM:** Charnelle Dengnoue , Human resources director  
**DATE:** April 15, 2024  
**SUBJECT:** Employee Handbook Update  
**ITEM NUMBER:** 8.k  
**SECTION:** CONSENT AGENDA

---

## **REQUESTED MOTION**

To adopt Resolution No. 24-26 approving employee handbook, section 6.15 policy changes.

## **INTRODUCTION**

The City Council is being asked to approve Resolution No. 24-26, removing the list of positions considered exempt, and adding the following language:

**“Exempt Positions: The City Manager shall determine which positions are considered exempt under the Fair Labor Standards Act. The Human Resources Director shall maintain a list of which positions are exempt or non-exempt.”**

## **DISCUSSION**

The current policy lists all the positions considered exempt under the Fair Labor Standard Act. The changes to this policy will give the City Manager the authority to classify current and/or future positions based on recommendations from the Human Resources Director.

## **RECOMMENDATION**

It is recommended the city council approve resolution 24-26, updating employee handbook section 6.15.

## **ATTACHMENTS**

[6- Overtime Pay .docx](#)  
[Resolution 24-26.pdf](#)

Policy:	OVERTIME PAY	Section:	6.15
Approved by:	City Council	Page:	1 of 2
	Res. 95-95, 10-51, 13-22, 21-56; Motion 1/15/01; FI_SA (29 USC); MSA 177.25		
Effective Date:	11/6/95; rev. 5/1/99, 1/15/01, 6/22/10, 2/19/13, 9/8/21		

#### Policy

Non-exempt employees who work in excess of the regular forty-hour work week, will be compensated at one and one-half times their regular rate of pay. Overtime work must be approved *in advance* by the employee's supervisor, department director or the City Manager. Hourly rates are determined by dividing the annual calculation by 2080 hours. The following paid leaves are considered *hours worked* for the purposes of calculating overtime: annual leave and holiday hours. All other leaves, and hours worked as a paid on-call firefighter for the Lake Johanna Fire Department, do not count as hours worked for calculating overtime.

An employee may not use annual leave or holiday hours to *extend* a workday in order to receive overtime pay. For example, an employee cannot report to work early, work four hours, and also take eight hours of annual leave for the day. In this situation, the hours worked plus the annual leave must total eight hours. If an employee uses annual leave during the day, and then is *unexpectedly* called out to work after hours, then the Emergency Call-out provisions as described in Section 6.25 will apply; and the employee may receive both paid leave that day and overtime pay for the hours which cause the employee to exceed 40 work hours for that week.

All employees in all departments are required to work overtime as requested by their supervisors as a condition of continued employment. Refusal to work overtime may result in disciplinary action, up to and including termination from employment.

#### Exempt Positions

Exempt employees are defined as an employee in a position that qualifies under one of the exemption categories of the Fair Labor Standards Act (FLSA), i.e., executive, administrative, professional, etc. These positions are paid on a salary basis regardless of the number of hours worked in a pay period. The employees in these positions are exempt from the provisions of the FLSA's minimum wage and overtime regulations. Exempt employees are not legally entitled to overtime compensation for work performed beyond 40 hours in a work week. Exempt employees are expected to work the hours necessary to complete their assignments with an acceptable level of quality in a timely manner.

If an exempt employee is not consistently accounting for at least 80 hours per pay period (of time actually worked and accrued leave time taken) the situation will be treated as a performance and/or workload concern.



Policy: OVERTIME PAY

Section: 6.15

Approved by: City Council

Page: 2 of 2

Exempt Positions  
(continued)

~~The following positions are considered exempt under the Fair Labor Standards Act: The City Manager shall determine which positions are considered exempt under the Fair Labor Standards Act. The Human Resources Director shall maintain a list of which positions are exempt or non-exempt.~~

~~Assistant City Manager/Community Development Director  
Assistant City Manager  
Assistant Community Center Manager  
Assistant Finance Director  
Assistant to the City Manager  
Associate Planner  
Aquatics Manager  
Aquatics Supervisor  
Building Official  
Building Operations Manager  
City Engineer  
City Manager  
City Planner  
Community Center General Manager  
Finance Director  
Human Resources Director  
Information Technology (IT) Manager  
Information Technology (IT) Systems Administrator  
Maintenance Supervisor  
Parks and Recreation Director  
Public Works Director  
Public Works Superintendent  
Recreation Program Coordinator  
Recreation Program Manager  
Recreation Program Supervisor  
Senior IT Analyst  
Senior Planner~~

"Comp" Time

Please see Section 6.20 for the City's policy regarding compensatory time.

**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA  
HELD April 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on April 15, 2024 at 7 pm. The following members were present:

And the following members were absent:

Councilmember \_\_\_\_\_ introduced the following resolution and moved its adoption.

\*\*\*\*\*

**RESOLUTION NO. 24-26  
A RESOLUTION AMENDING EMPLOYEE HANDBOOK SECTION 6.15**

**WHEREAS**, the list of positions considered exempt under the Fair Labor Standards Act was established on November 6, 1995; and

**WHEREAS**, this list was last updated on September 8, 2021.

**NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHOREVIEW THAT:**

1. The City Manager shall determine which positions are considered exempt under the Fair Labor Standards Act. The Human Resources Director shall maintain a list of which positions are exempt or non-exempt.
2. The changes to the Employee Handbook Section 6.15, as outlined in the attached: Employee Handbook Section 6.15 changes is hereby approved.
3. This policy will supersede any prior resolutions or motions pertaining to Employee Handbook Section 6.15.

\*\*\*\*\*

The motion of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15th day of April, 2024.

---

Sue Denkinger, Mayor

**STATE OF MINNESOTA)**

**COUNTY OF RAMSEY)**

**CITY OF SHOREVIEW)**

I, the undersigned, being the duly qualified city manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council on the 15th day of April, 2024, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to Employee Handbook Section 6.15 changes.

**WITNESS MY HAND** officially as such city manager and the corporate seal of the City of Shoreview, Minnesota this 15th day of April, 2024.

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Brad Martens, City Manager

SEAL

# Memorandum

**TO:** City Council  
**FROM:** Tom Wesolowski , Public Works Director  
**DATE:** April 15, 2024  
**SUBJECT:** Adopting the revisions to the bylaws for the Snail Lake Improvement District  
**ITEM NUMBER:** 10.a  
**SECTION:** GENERAL BUSINESS

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## **REQUESTED MOTION**

To adopt Resolution No. 24-23 adopting the revisions to the bylaws for the Snail Lake Improvement District.

## **INTRODUCTION**

The Snail Lake Improvement District (SLID) Board serves in an advisory capacity to the city council and is recommending the city council adopt the attached revised bylaws. Amendments to the bylaws for the SLID must be approved by a majority of the city council.

## **DISCUSSION**

The City of Shoreview originally established the SLID in 1992 and bylaws were established at that time. In 2002 the bylaws were revised to reflect amendments to the State statutes.

Due to input from SLID members, the SLID Board removed invasive aquatic plants from the lake in 2023 and would like to remove or treat additional invasive aquatic plants in 2024. Although the current bylaws most likely allow the removal or treatment of invasive plants, the city attorney recommended the bylaws be revised to include specific language for the treatment of plants as well as updating the bylaws to reflect current State statutes. The proposed revisions to the bylaws include the following:

- Item d - Aquatic nuisance control
- Item e - Preserving and improving fish and wildlife habitat
- Item f - Preserving and improving recreational potential of the lake
- Item g - Grants. Researching and applying for public and private grants to supplement the budget as approved by the city council.

The items relate to the control of invasive aquatic plants on the lake, the potential to apply for and receive grants related to invasive plant control and align with current State statutes. A copy of the revised bylaws with the revisions highlighted is attached at the end of the report. The revised bylaws were discussed at the March 4, 2024 SLID annual meeting and the Board voted to recommend the city council adopt the revised bylaws.

The current cost-share for the SLID annual operation and maintenance costs are split between the City of Shoreview (40.8%), Ramsey County (13.8%) and the SLID members (45.4%) except for expenses related with the treatment or removal of invasive aquatic plants which are

covered entirely by the SLID members. The city has an invasive aquatic plant management financial policy and the SLID is eligible to apply for funds and Ramsey County has its own invasive aquatic plant program.

**RECOMMENDATION**

It is recommended the city council adopt the attached resolution adopting the revisions to the bylaws for the Snail Lake Improvement District.

**ATTACHMENTS**

[Amended bylaws April 2024](#)  
[Resolution 24-23](#)



## **SNAIL LAKE IMPROVEMENT DISTRICT BYLAWS**

1. Establishment of Board of Directors. The Snail Lake Improvement District was established pursuant to Order of the City Council dated the 3<sup>rd</sup> day of August 1992 and as amended pursuant to Resolution No. 02-79 adopted on the 15<sup>th</sup> day of July, 2002.
2. Composition of Board of Directors. The Snail Lake Improvement District Board of Directors shall consist of five members. At least four Board members shall own property within the Snail Lake Improvement District and reside within the City of Shoreview (local members) One member may be elected who does not own property within the District but must reside and own property within the City of Shoreview (at-large member). A majority of the members must reside within the District.
3. Terms and Election of Board of Directors. Board members shall be elected for a term of three years expiring on March 31<sup>st</sup> provided that the first elected Board of Directors shall be composed of two members whose terms expire on March 31, 2004; two members whose terms expire on March 31, 2005; and one member whose term expires on March 31, 2006. Terms shall be assigned based on votes received, with the longest available term assigned to the person receiving the highest number of votes. Nomination and election of Board members shall occur at the annual meeting of the membership in accordance with these bylaws and Rules of Procedure adopted by the Board. These Rules shall include provisions to allow property owners to participate in Board elections if they are unable to attend the annual meeting.
4. Vacancies. In the case of a vacancy during the term of a Board member, the Board shall declare the vacancy. The vacancy shall be filled for the remainder of the term by a vote of the membership at the next annual meeting. A vacancy shall exist if any of the following events occur:
  - a. Death of a Board member.
  - b. Inability or failure to perform the duties of a Board member.
  - c. Loss of residency or sale or other disposition of qualifying property.
5. Organization. The Board of Directors shall annually elect one member to serve as chairperson. The chairperson is responsible for the agenda of the meetings, presiding at meetings, minutes of meetings, and reports and recommendations to the City Council. The Shoreview Department of Public Works shall maintain all records of the Board.
6. Meetings and Reports. The Board of Directors shall hold at least one annual meeting. It shall adopt Rules of Procedure for business and shall keep a public record of all motions, resolutions, findings, minutes and reports which shall be in writing and a copy forwarded to the City Council. The Shoreview Director of Public Works or designee shall be the advisory official attending meetings upon request.

7. Duties and Functions. The Snail Lake Improvement District Board of Directors will serve in an advisory capacity to the Shoreview City Council and may make recommendations to the City Council regarding the following:

- a. Augmentation. The operation and maintenance of the augmentation system including establishment of lake levels, pumping elevations and monitoring.;
- b. Budget. Development of an annual budget for the operation of the Snail Lake Improvement District.
- c. Bylaws. Propose amendments to the bylaws of the Snail Lake Improvement District,
- d. Aquatic nuisance control;
- e. Preserving and improving fish and wildlife habitat;
- f. Preserving and improving recreational potential of the lake;
- g. Grants. Researching and applying for public and private grants to supplement the budget as approved by the City Council;
- h. Bylaws. Propose amendments to the bylaws of the Snail Lake Improvement District.

8. Additional Advisory Capacities. The Snail Lake Improvement District Board of Directors may, at the direction of the City Council, make recommendations to the Council on other matters or issues uniquely affecting Snail Lake or property within the District such as control structure construction and operation; projects; navigation; research; comprehensive plans; implementation of plans; funding; maintenance; and regulations.

9. Amendments. Amendments to the Bylaws for the Snail Lake Improvement District shall be approved by a majority of the City Council.

10. Voting Rule. The voting rule shall be one vote per parcel.

**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA  
HELD APRIL 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on April 15, 2024 at 7 pm. The following members were present:

And the following members were absent:

Councilmember introduced the following resolution and moved its adoption.

\* \* \* \* \*

**RESOLUTION NO. 24-23**

**A RESOLUTION ADOPTING THE REVISIONS TO THE BYLAWS FOR  
THE SNAIL LAKE IMPROVEMENT DISTRICT**

**WHEREAS**, the City originally established the Snail Lake Improvement District (SLID) on August 3, 1992; and

**WHEREAS**, the bylaws for the SLID were amended on July 15, 2002; and,

**WHEREAS**, the current bylaws must be changed to reflect certain changes to the duties and functions of the SLID Board of Directors.

**NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHOREVIEW THAT:**

1. The SLID bylaws dated July 15, 2002 shall be amended in accordance with the attached documents and shall be dated April 15, 2024.

\* \* \* \* \*

The motion of the foregoing resolution was duly seconded by Councilmember and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15<sup>th</sup> day of April, 2024.

---

Sue Denkinger, Mayor

**STATE OF MINNESOTA)**

**COUNTY OF RAMSEY)**

**CITY OF SHOREVIEW)**

I, the undersigned, being the duly qualified city manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council on the 15<sup>th</sup> day of April, 2024, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to adopting the revisions to the bylaws for the Snail Lake Improvement District.

**WITNESS MY HAND** officially as such city manager and the corporate seal of the City of Shoreview, Minnesota this 16<sup>th</sup> day of April, 2024.

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Brad Martens, City Manager

SEAL

# Memorandum

**TO:** City Council

**FROM:** Tom Wesolowski , Public Works Director

**DATE:** April 15, 2024

**SUBJECT:** Receipt of bids and award of contract for the 2024 Street Rehabilitation, city project 24-01 and authorize the mayor and city manager to execute a construction contract

**ITEM NUMBER:** 10.b

**SECTION:** GENERAL BUSINESS

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**REQUESTED MOTION**

To adopt resolution no. 24-19 accepting the base bid from Park Construction Company for the 2024 Street Rehabilitation, city project 24-01 and authorize the mayor and city manager to execute a construction contract in the amount of \$3,065,837.59.

**INTRODUCTION**

Electronic bids were received and viewed on April 4, 2024 for the 2024 Street Rehabilitation, city project 24-01. The project areas are shown on the attached map. Council action is required to award the construction contract.

**DISCUSSION**

On March 4, 2024, the city council approved plans and specifications and ordered the taking of bids for the 2024 Street Rehabilitation, city project 24-01. Accordingly, on April 4, 2024, four bids were received and opened. All bids were submitted with proper bid security in the amount of five (5) percent of the total amount bid as required by the project manual. The bid amounts are listed below:

Contactor	Base Bid Amount	Alternate Bid Amount
Park Construction Company	\$3,065,837.59	\$673,891.95
Bituminous Roadways, Inc.	\$3,270,489.13	\$774,600.53
Northwest Asphalt	\$3,377,819.97	\$697,900.27
Forest Lake Contracting, Inc.	\$4,369,604.25	\$997,402.37
Engineer's Opinion of Cost	\$3,070,117.85	\$654,436.75

The base bid consists of the rehabilitation of 4.5-miles of roadway, replacement of 1.5-miles of

trails located in the right of way and city parks, construction of 1200-feet of concrete sidewalk and associated items. The alternate bid consists of the rehabilitation of 0.75-miles roadway and associated items.

Given the above information, Park Construction Company is the lowest responsible bidder. Park Construction has not completed any projects for the city but has completed many street rehabilitation and reconstruction in and around the metro area, is well respected, and has the necessary resources to complete the project.

The low base bid results in an estimated total cost for the project of \$3,591,000 including allowances for engineering and administrative costs, and contingencies. There is available funding in the 2024 capital improvement plan for the base bid but not for the alternate bid and the recommendation is to accept the base bid only and not the alternate bid. The streets included in the alternate bid will be added to the street rehabilitation project scheduled for 2026. Funding sources for the base bid project include:

Street Renewal Fund	\$2,736,000
Water Fund	\$ 290,000
Surface Water Fund	\$ 265,000
Capital Asset Replacement	\$ 200,000
Community Investment	\$ 100,000

**RECOMMENDATION**

It is recommended the city council adopt the attached resolution accepting the base bid from Park Construction Company the 2024 Street Rehabilitation, city project 24-01 and authorize the mayor and city manager to execute a construction contract in the amount of \$3,065,837.59.

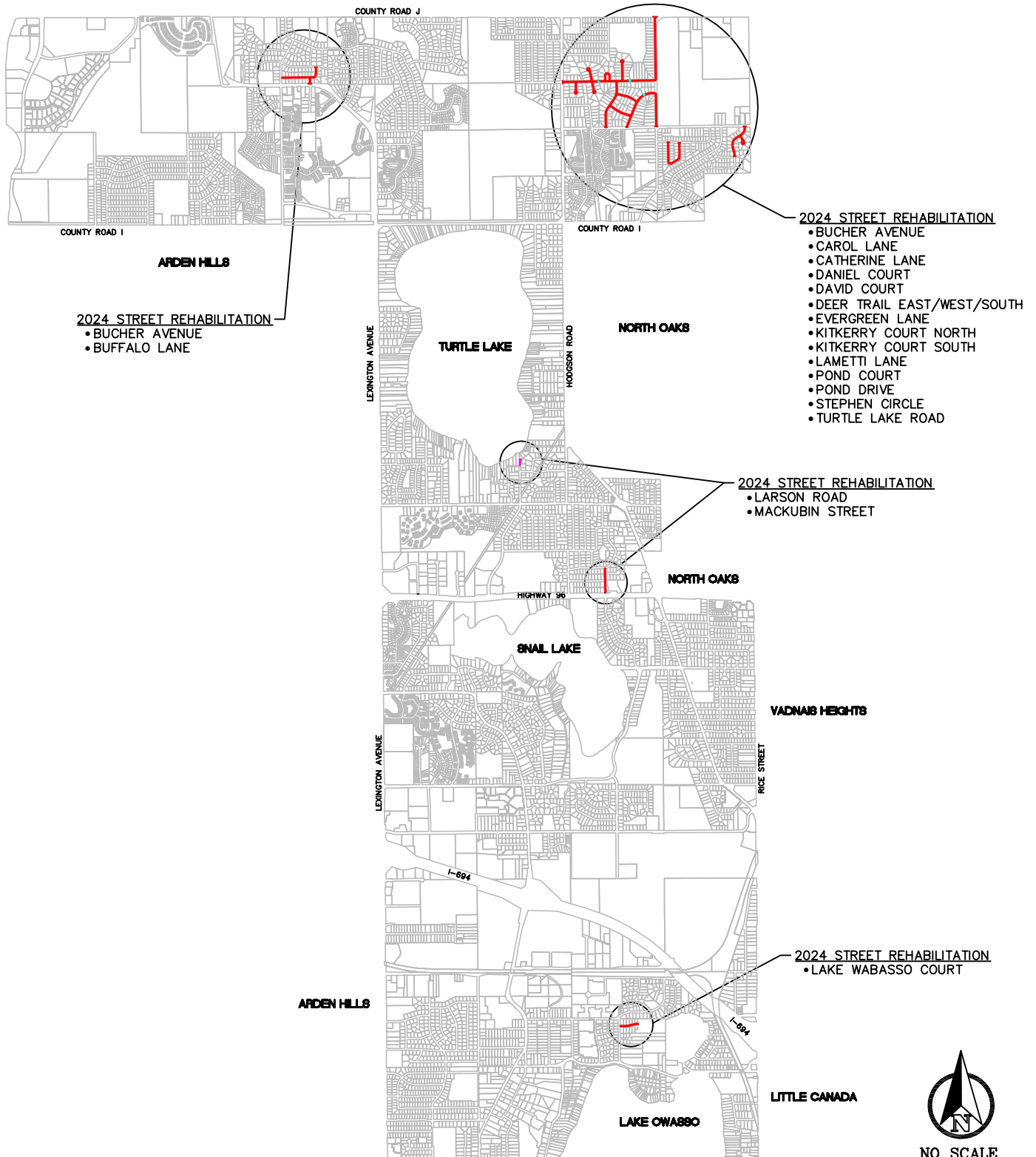
**ATTACHMENTS**

[Project Map](#)  
[Resolution 24-19](#)





# 2024 STREET REHABILITATION PROJECT CITY PROJECT NO. 24-01



NO SCALE

**EXTRACT OF MINUTES OF MEETING OF THE  
CITY COUNCIL OF SHOREVIEW, MINNESOTA**

**HELD APRIL 15, 2024**

Pursuant to due call and notice thereof, a meeting of the city council of the City of Shoreview, Minnesota, was duly called and held at the Shoreview City Hall in said city on April 15, 2024, at 7:00 pm. The following members were present:

and the following members were absent:

Member introduced the following resolution and moved its adoption.

\* \* \* \* \*

**RESOLUTION NO. 24-19**

**A RESOLUTION ACCEPTING THE LOWEST RESPONSIVE BID AND  
AUTHORIZING THE EXECUTION OF A CONTRACT FOR THE  
2024 STREET REHABILITATION, CITY PROJECT 24-01**

**WHEREAS**, the City of Shoreview has programmed in the 2024 capital improvement program for the 2024 Street Rehabilitation, city project 24-01; and

**WHEREAS**, pursuant to an advertisement for bids for the improvement of city project 24-01, bids were received, reviewed, and tabulated according to law, and the following bids received complying with the advertisement:

<u>Contractor</u>	<u>Base Bid</u>	<u>Alternate</u>
Park Construction Co.	\$3,065,837.59	\$673,891.95
Bituminous Roadways, Inc.	\$3,270,489.13	\$774,600.53
Northwest Asphalt	\$3,377,819.97	\$679,900.27
Forest Lake Contracting, Inc.	\$4,369,604.25	\$997,402.37
Engineer's Estimate	\$3,070,117.85	\$654,436.75

**WHEREAS,** city staff is recommending the city council award the bid to the lowest responsible bidder, Park Construction Company.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SHOREVIEW THAT:**

1. All bids were received as submitted on April 4, 2024.
2. The base bid from Park Construction Company in the amount of \$3,065,837.59 is hereby accepted and the mayor and city manager are hereby authorized and directed to enter into a construction contract for city project 24-01 with the lowest responsible bidder, Park Construction Company.

\* \* \* \* \*

The motion for the adoption of the foregoing resolution was duly seconded by Member and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

**WHEREUPON**, said resolution was declared duly passed and adopted the 15<sup>th</sup> day of April 2024.

Sue Denkinger, Mayor

STATE OF MINNESOTA )  
COUNTY OF RAMSEY )  
CITY OF SHOREVIEW )

I, the undersigned, being the duly qualified and acting manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said city council held on the 15th day of April, 2024, with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to award of contract for city project 24-01.

**WITNESS MY HAND** officially as such manager and the corporate seal of the City of Shoreview, Minnesota, on this 16<sup>th</sup> day of April 2024.

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Brad Martens, City Manager

SEAL