



AGENDA
EASTERN SUMMIT COUNTY PLANNING COMMISSION
Thursday, February 29, 2024

NOTICE is hereby given that the Eastern Summit County Planning Commission will meet electronically, via Zoom, and at the anchor location of Ledges Event Center - Auditorium
202 E Park Road, Coalville, Utah 84017

SPECIAL MEETING

(All times listed are general in nature, and are subject to change by the Board Chair)

You may attend in person or Join Zoom webinar:

<https://summitcountyut.zoom.us/j/99249026124>

OR To listen by phone only: Dial 1-301-715-8592,
or 1-253-215-8782, Webinar ID: 992 4902 6124

6:00P.M. Work Session

1. Work Session and Discussion, Cedar Crest Village Overlay application, located in eastern Hoytsville area, containing approximately 1,085 acres. Applicant: Cedar Crest Village Overlay Committee with representatives from Ivory Development and Larry H. Miller. Project #19-111.
Patrick Putt, Community Development Director; Peter Barnes, Planning Director; and Laura Kuhrmeyer, County Planner.
[Cedar Crest Village Overlay Zone Work Session Staff Report](#)
[Exhibit A: Work Session Questions and Discussion Points](#)

Regular Session

1. Public Input items not on the agenda or pending applications.
2. Continued Public Hearing and Discussion, Cedar Crest Village Overlay application, located in eastern Hoytsville area, containing approximately 1,085 acres. Applicant: Cedar Crest Village Overlay Committee with representatives from Ivory Development and Larry H. Miller. Project #19-111.
Patrick Putt, Community Development Director; Peter Barnes, Planning Director; and Laura Kuhrmeyer, County Planner.
[Cedar Crest Staff Report 2.29.24](#)
[Exhibit A: Village Overlay Rezone Review Process](#)
[Exhibit B: Revised Draft Ordinance 1.18.24](#)
[Exhibit C: Draft Development Standards](#)
[Exhibit D: Draft Infrastructure Plan](#)
[Exhibit E: Draft Land Use Map](#)
[Exhibit F: Applicant Provided FAQ](#)
[Exhibit G: Applicants Draft Project Land Plan Map](#)
[Exhibit H: Applicable Code Standards](#)
[Exhibit I: Compiled List of Comments and Concerns to be Addressed](#)

Commission Items

Director Items

Adjourn

To view staff reports available at the end of the Friday before the meeting please visit www.summitcounty.org.

Individuals needing special accommodations pursuant to the Americans with Disabilities Act regarding this meeting may contact Vicki Geary, Summit County Community Development Department at (435) 336-3123.

Staff Report

EASTERN SUMMIT COUNTY PLANNING COMMISSION AGENDA ITEM REPORT

DATE: February 29, 2024

SUBMITTED BY: Laura Kuhrmeyer, Community Development

ITEM TYPE: Discussion

AGENDA SECTION: 6:00P.M. Work Session

SUBJECT: Work Session and Discussion, Cedar Crest Village Overlay application, located in eastern Hoytsville area, containing approximately 1,085 acres. Applicant: Cedar Crest Village Overlay Committee with representatives from Ivory Development and Larry H. Miller. Project #19-111. *Patrick Putt, Community Development Director; Peter Barnes, Planning Director; and Laura Kuhrmeyer, County Planner.*

SUGGESTED ACTION:

ESTIMATED TIME:

INTRODUCTION:

BACKGROUND:

CONCLUSION:

ATTACHMENTS:

[Cedar Crest Village Overlay Zone Work Session Staff Report](#)
[Exhibit A: Work Session Questions and Discussion Points](#)



WORK SESSION

To: Eastern Summit County Planning Commission
From: Patrick Putt, Community Development Director
Peter Barnes, Planning Director
Laura Kuhmeyer, County Planner
Date of Meeting: February 29, 2024
Type of Item: Cedar Crest Village Overlay Rezone and Master Planned Development
Process: Work Session and Discussion
Project Number: 19-111

Topic

The Eastern Summit County Planning Commission requested that we schedule a Work Session for the Cedar Crest Village Overlay Master Plan and Rezone. Staff has collected some questions from the Eastern Summit County Planning Commissioners to discuss during the Work Session. Some questions are aimed at Staff while some are aimed at the Applicant. Staff has attached an outline of the questions as Exhibit A. Additional questions may arise throughout the discussion but Exhibit A will provide a starting point for the work session.

Project Description

Project Name: Cedar Crest Village Overlay Rezone and Master Planned Development (Hoytsville Area)
Applicant(s): Thirty (30) Hoytsville area property owners of sixty-seven (67) parcels consisting of approximately 1,085 acres
Location: East Hoytsville, Summit County
Type of Process: Village Overlay Master Plan and Rezone
Final Land Use Authority: Summit County Council

Attachments

Exhibit A – Work Session Questions and Discussion Points

Exhibit A – Work Session Questions and Discussion Points

Questions for Staff

1. What does a discretionary (re-zoning) entitlement review process mean?
 - a. Does the applicant/developer have a right to receive approval of the development entitlement proposed or just the right to apply for consideration of development entitlement?

If the County approves the rezone to Cedar Crest Village Overlay, property owners within that new zone would have the right to apply for consideration of development under the new zoning regulations. In other words, the approval of the rezone does not in itself grant development permits. Staff can expand on this further during the work session.
 - b. What determines the approval basis of a discretionary development entitlement?

The Village Overlay process is a legislative process, as opposed to an administrative process. The County is creating a new set of rules, a new set of zones, and new policy for a specific area. The standard of review is that whatever the decision ultimately is of the County Council will be upheld if it is reasonably debatable that the decision reached would promote the general welfare. Staff can expand on this further during the work session.
 - c. If the majority of the surrounding landowners and residences oppose the proposed development, is that sufficient basis or cause to deny the proposed development under a discretionary review process?

As part of the decision, the general preferences of the community, the background knowledge of those making the decision and their opinions are entirely appropriate considerations to factor into the decision-making process. Staff can expand on this further during the work session.
2. Under Utah State Code, we can't condition zoning on inclusion of affordable or workforce housing. Would it be possible to reduce the base density to 3 units per acre with an optional bonus transferrable unit of density available (up to 4 units per acre maximum) if additional affordable, deed restricted units are platted at the same time as the market rate units?

The Utah State Law now limits a county's ability to require "moderate income housing," or what is commonly referred to as inclusionary zoning. Utah Code Section 17-27a-531 states that a county may only require the development of a certain number of moderate income housing units as a condition of approval of a land use application if either the county and the developer enter into a written agreement related to the number of moderate income housing units or the county provides incentives for an applicant who agrees to include moderate income housing units in a development. If the developer doesn't agree to develop moderate income housing units, the County may not take into

consideration the developer's decision in the county's determination of whether to approve or deny a land use application. Staff can expand on this further during the work session.

Questions for Applicant

1. Questions, comments, and concerns listed in Exhibit I from the January 18th meeting (included below).
2. Has the applicant/developer provided an analysis addressing required Village Overlay Section 11-3-8:B.3.(2) “Density: *Proposed zoning district densities shall be based upon sufficient access, circulation, connectivity, water, and wastewater infrastructure?*”
 - a. How is the proposed 4 units per acre sustainable?
 - b. It would be helpful to understand both the existing conditions and future planned infrastructure that will support the proposed density.
3. How was the density calculated at 4/acre (by the applicants or Cedar subcommittee) and how does that density dovetail with the proposed land plan (exhibit K) from the applicants on Jan 18th?
4. Is this a 4,320 unit development or a 2,021 unit proposal as per the land plan?
5. How does the proposed development support Rural, Small-Town Character Typical Elements of *quiet, peaceful, family-friendly, low population density, interspersed agriculture and open lands, safety, quaintness, and proximity to recreation?*

January 18th Exhibit I – Compiled List of Comments and Concerns to Be Addressed:

Please note: This is not a comprehensive list and will be adjusted and modified throughout the process. Some of these questions may not be answered at this meeting but will be addressed at future meetings. We will continue to develop a compiled list of such comments and concerns to be addressed as we move forward. This will serve as a checklist of elements to be reviewed and resolved prior to action.

- 1) Density
 - a) What is the maximum number of potential houses based on current zoning?
 - b) What is the maximum number of potential houses based on the proposed density?
 - c) How would proposed density compare to nearby municipalities (Coalville, Henefer, Kamas, Francis, Oakley, etc.)?
- 2) Discussions with other entities
 - a) North Summit School District
 - b) Utah Department of Transportation (UDOT)
 - c) North Summit Fire District
- 3) Timing/Phasing
 - a) The Commission would like to see a visual of the potential phasing of the project. What would it look like in one year, five years, ten years, twenty years, etc.?
 - b) Consider a cap on density until the freeway interchange is completed.
- 4) Impact on other communities
 - a) What are the benefits to surrounding communities?
 - b) What are potential impacts to surrounding communities and what is the strategy to mitigate?
- 5) Attainable/Affordable Housing
 - a) How much attainable/affordable housing is proposed and at what price points?
 - b) How will it be kept attainable/affordable long-term?
 - c) How will it be kept for community residents rather than bringing in people from other communities?
- 6) Natural Resources/Wildlife Protection
 - a) How will natural resources, such as water, be protected?
 - b) How will wildlife and wildlife corridors be protected?
- 7) Trespassing
 - a) How will trespassing be addressed in the proposed plan?
- 8) Transfer of Development Rights (TDR)
 - a) How will the existing deed restricted land impact the TDR potential?
- 9) Small Town Feel
 - a) How will the proposed project maintain the small town feel?

Staff Report

EASTERN SUMMIT COUNTY PLANNING COMMISSION AGENDA ITEM REPORT

DATE: February 29, 2024

SUBMITTED BY: Vicki Geary, Planning

ITEM TYPE: Discussion

AGENDA SECTION: Regular Session

SUBJECT: Public Input items not on the agenda or pending applications.

SUGGESTED ACTION:

ESTIMATED TIME:

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Staff Report

EASTERN SUMMIT COUNTY PLANNING COMMISSION AGENDA ITEM REPORT

DATE: February 29, 2024

SUBMITTED BY: Laura Kuhrmeyer, Community Development

ITEM TYPE: Discussion

AGENDA SECTION: Regular Session

SUBJECT: Continued Public Hearing and Discussion, Cedar Crest Village Overlay application, located in eastern Hoytsville area, containing approximately 1,085 acres. Applicant: Cedar Crest Village Overlay Committee with representatives from Ivory Development and Larry H. Miller. Project #19-111. *Patrick Putt, Community Development Director; Peter Barnes, Planning Director; and Laura Kuhrmeyer, County Planner.*

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STAFF REPORT

To: Eastern Summit County Planning Commission
From: Patrick Putt, Community Development Director
Peter Barnes, Planning Director
Laura Kuhrmeyer, County Planner
Date of Meeting: February 29, 2024
Type of Item: Cedar Crest Village Overlay Rezone and Master Planned Development – Continued Public Hearing and Discussion
Process: Legislative Review
Project Number: 19-111

Recommendation

Staff recommends that the Commission consider the Cedar Crest Village Overlay Rezone and Master Planned Development application, open the public hearing, and continue the public hearing and discussion to March 21, 2024.

Project Description

Project Name: Cedar Crest Village Overlay Rezone and Master Planned Development (Hoytsville Area)
Applicant(s): Thirty (30) Hoytsville area property owners of sixty-seven (67) parcels consisting of approximately 1,085 acres
Location: East Hoytsville, Summit County
Type of Process: Village Overlay Master Plan and Rezone
Final Land Use Authority: Summit County Council

Proposal

The Development Code also states that a rezone to VOZ is subject to review of the Master Planned Development (MPD) requirements found in [11-4-12](#). The MPD Process requires the approvals for a rezone be put in the form of a Development Agreement (DA). The Development Agreement for the proposed project is pending additional input from the Planning Commission and the public and will be provided for review at a later date.

Vicinity Map



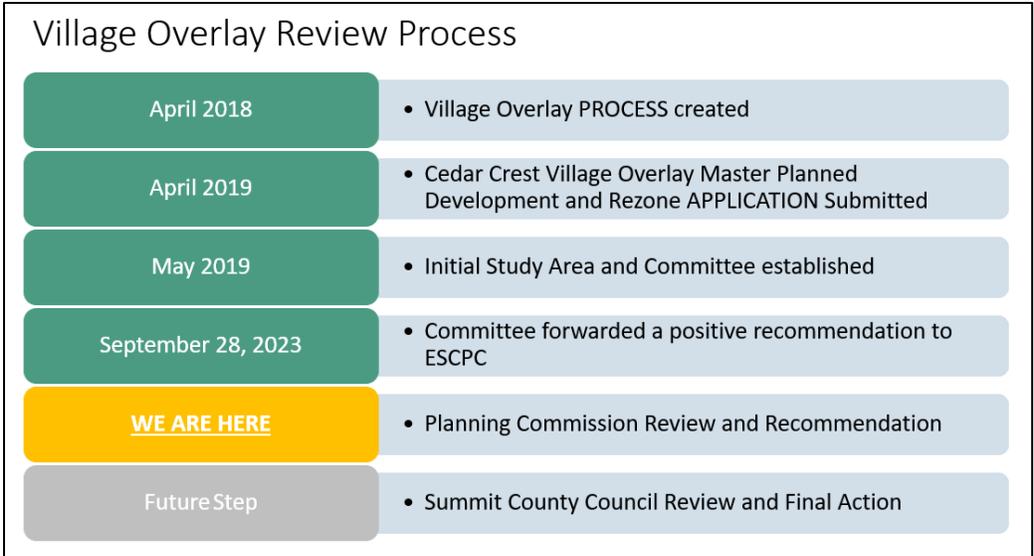
Background

On January 18, 2024, the Eastern Summit County Planning Commission (ESCPC_ held a continued public hearing for this item (previously discussed at the November 2 and December 7, 2023 meetings) and continued the public hearing again to February 15, 2024. However, the February 15th meeting was cancelled and instead a Special Meeting is being held tonight, February 29, 2024. Staff has created a bullet list of some of the major items that need to be addressed that have been brought up at previous meetings and work sessions, which can be found in **Exhibit I**. Some of those items cannot be addressed in this stage of the process and will be more carefully examined at a later stage for the specific Project Plans should the Cedar Crest Village Overlay be approved.

There were also some concerns from the public that they were not made aware of the public hearing dates. Staff has taken additional steps to notify the public of the projected meeting dates. Staff will continue to work on additional ways to ensure that the public and local community are made aware of upcoming meetings.

Process

In 2016, Planning Staff introduced the idea of the Village Overlay Zone (VOZ) which was approved in 2018. The purpose of this process is to incentivize community master planning flexibility and to reestablish and revitalize existing, traditionally compact, non-incorporated communities in the County. The uniqueness of the Village Overlay Zone is that it is process initiated by local property owners. The property owners have a direct voice in the future of their land planning area.



Analysis

The Planning Commission may forward a recommendation to the Summit County Council to approve, approve with conditions, or deny a Master Planned Development and Rezone application based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance. Staff has outlined the standards from applicable sections of Code, see **Exhibit H**.

Standards from Village Overlay (11-3-8):

The Village Overlay Committee shall develop a plan and proposed zoning districts that address the following:

VO Standard 1 – Land Uses: A mix of residential uses may be considered, including detached single-family, attached single-family, and multi-family. Mixed-use land-uses may also be considered, including residential, commercial, service commercial, and light industrial. **DISCUSSION**

Analysis: The proposed CCVOZ contains a mix of residential, commercial, service commercial, and light industrial uses. See **Exhibit B**.

VO Standard 2 – Density: A proposed zoning district densities shall be based upon sufficient access, circulation, connectivity, water, and wastewater infrastructure. **DISCUSSION**

Analysis: The Applicant has studied access, circulation, connectivity, water, and wastewater infrastructure and proposed a base density of four (4) units per one (1) acre. **DISCUSSION**

VO Standard 3 – Development Standards: Requirements for development, including but not limited to minimum lot sizes, building height, setbacks, parking, streets and circulation, community/civic space, and infrastructure. **DISCUSSION**

Analysis: The proposed enabling ordinance contains requirements for development such as minimum lot sizes, building heights, setbacks, parking, streets and circulation, community/civic space, and infrastructure. See **Exhibit C**.

VO Standard 4 – Infrastructure: Infrastructure implementation including financing and phasing. **DISCUSSION**

Analysis: The proposed CCVOZ has an infrastructure implementation plan for financing and phasing. See **Exhibit D**.

In addition to the above outlined standards from Development Code 11-3-8 Village Overlay, Staff has provided a document (**Exhibit H**) to the Applicant that outlines the standards from each applicable Code section.

Attachments

- Exhibit A – Village Overlay Rezone Review Process
- Exhibit B – Revised Draft Ordinance 1.18.24
- Exhibit C – Draft Development Standards
- Exhibit D – Draft Infrastructure Plan
- Exhibit E – Draft Land Use Map
- Exhibit F – Applicant Provided FAQ
- Exhibit G – Applicant’s Draft Project Land Plan Map
- Exhibit H – Applicable Code Standards
- Exhibit I – Compiled List of Comments and Concerns to be Addressed



TIMELINE REVIEW PROCESS



1 APPLICATION FILED

IN APRIL 2019, THE CEDAR CREST VILLAGE OVERLAY APPLICATION WAS SUBMITTED TO THE SUMMIT COUNTY PLANNING DEPARTMENT.



2 ESTABLISH STUDY AREA & COMMITTEE

ON MAY 22, 2019, THE INITIAL STUDY AREA BOUNDARY WAS APPROVED BY THE COUNTY COUNCIL AND THE COMMITTEE WAS APPOINTED.



3 COMMITTEE REVIEW

THE COMMITTEE HAS MET OVER 40 TIMES SINCE ESTABLISHMENT TO DEVELOP A PLAN AND PROPOSED ZONING DISTRICTS.



4 PLANNING COMMISSION

THE EASTERN SUMMIT COUNTY PLANNING COMMISSION (ESPCPC) SHALL REVIEW THE PROPOSAL AS A REZONE AND MASTER PLANNED DEVELOPMENT (MPD) AND MAKE A RECOMMENDATION TO COUNCIL.



5 SUMMIT COUNTY COUNCIL

THE SUMMIT COUNTY COUNCIL SHALL REVIEW AND TAKE FINAL ACTION ON A VILLAGE OVERLAY ZONE PLAN, REZONE, AND DRAFT ZONING DISTRICTS. THIS ACTION INCLUDES AN AMENDMENT TO THE GENERAL PLAN AND THE ZONING ORDINANCE.

CEDAR CREST VILLAGE ZONE

HOYTSVILLE, SUMMIT COUNTY, UTAH



Working Draft
January 18, 2024

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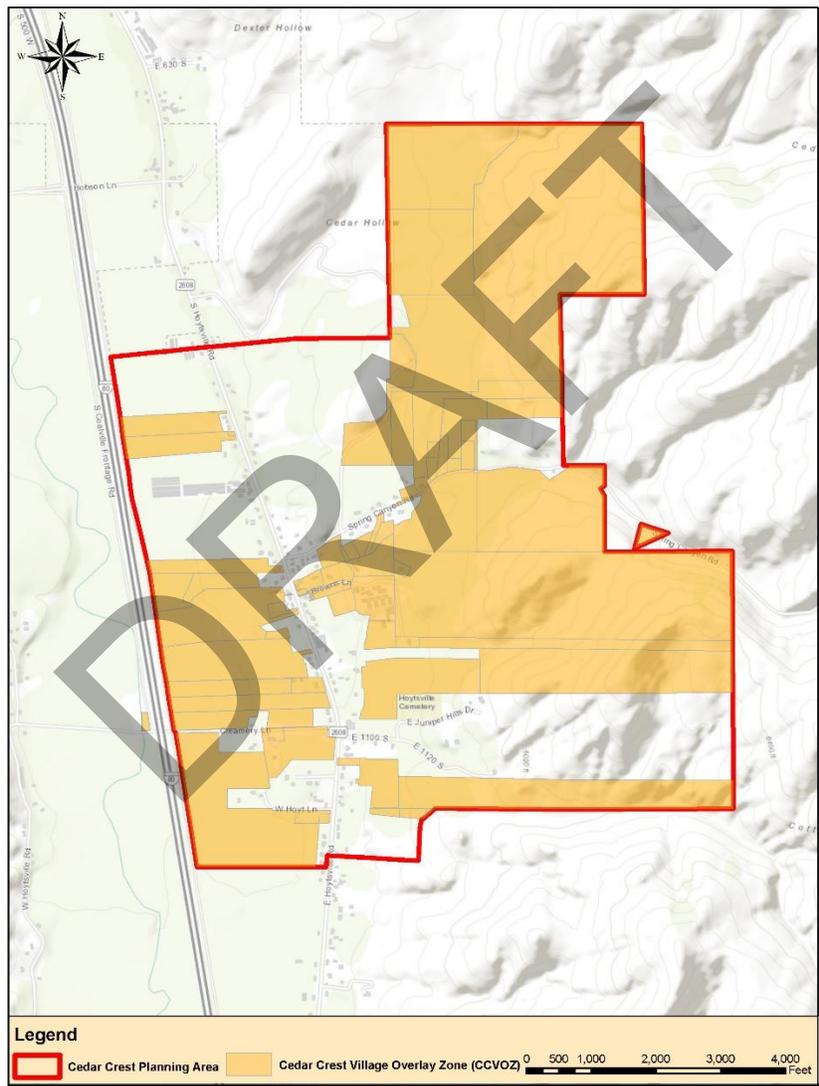
1. Enabling Ordinance – Land Use and Density
2. Development Standards (tables)
3. Land Use Maps
4. Infrastructure Plan

DRAFT

I. ENABLING ORDINANCE FOR DEVELOPMENT WITHIN CEDAR CREST VILLAGE ZONE¹

11-3-___ ENABLING ORDINANCE FOR CEDAR CREST VILLAGE ZONE

A. Intent and Purpose: In 2018, the Summit County Council established the Village Overlay zoning district for purposes of reestablishing and revitalizing existing, non-incorporated communities in Eastern Summit County. Pursuant to Eastern Summit County Development Code § 11-3-8 (B), property owners near Hoytsville created the Cedar Crest study area (CCSA), depicted below:



¹ NTD: It is contemplated that at the same meeting the following will be approved by the county council: (i) text amendment adopting this ordinance, (ii) map amendment applying the CCVZ to the CCSA, and (iii) amendment to general plan referencing the key land plans.

The purpose of the Cedar Crest Village Zone (CCVZ) is to allow flexibility of land use, densities, site layout, and project design. Summit County may use the CCVZ process to approve development within qualifying CCSA areas.

The CCVZ is established to promote the following:

1. Guiding the transition of a portion of a rural mountain river valley community from rural to small town while not losing the essence of the place including farming/ranching.
2. Establishing an orderly land use system with a unified plan that organizes the efforts of many landowners including a continuity of street networks, open space, and critical infrastructure.
3. Delivering housing types that accommodate a full range of resident life cycle, lifestyles, and price points.
4. Delivering services, uses, and amenities to serve the local needs of the residents – and promote and evolve the rural economy.
5. Enhance quality of life through thoughtful, incremental growth by delivering improved access to outdoor amenities.
6. Promoting alternative modes of transportation, such as transit, pedestrian, and bike options including access to Interstate 80.

The boundaries of the CCSA may change as property owners in the ESCGPA make application pursuant to Eastern Summit County Development Code § 11-3-8 (B) to have additional properties included within the CCSA. Initially, the CCVZ applies to the CCSA within the ESCGPA, as may be later expanded to include all of the ESCGPA upon application of individual owners within the ESCGPA. This CCVZ satisfies the requirements under Section 11-3-8(B)(4) requiring a review of each project under subsections 11-4-12E and F of this title and each requirement under the foregoing subsections will be deemed satisfied and addressed upon approval of a project land plan and development agreement for each named project.

B. Defined Terms: In addition to the terms defined elsewhere in this title and for purposes of this section, the following terms are defined as follows:

1. Agricultural Development means the development of property within the CCVZ that complies with all requirements of the Agriculture-5 (AG-5) zone.
2. County Council means the Summit County Council.
3. Cedar Crest Study Area (CCSA) means the Cedar Crest study area which is depicted in the map in Subsection A above.
4. Cedar Crest Village Zone (CCVZ) means a Cedar Crest Village Zone district applied to the ESCGPA, or portions thereof, by the adoption of a zoning map amendment by the county council.

5. Community Structure Plan means the plan designating development patterns and configurations for the ESCGPA that is included within the general plan, as may be amended from time to time. The community structure plan may be amended by the county council, but only after the county council accounts for development existing at the time of amendment, including development planned in approved project land plans.
6. Design Book means a book prepared by an applicant to guide the design and development of uses for a named project that must be submitted to and approved by the development review committee.
7. Development Agreement means an agreement between the County and a developer that governs the development of a named project and meets the requirements set forth in Section F below.
8. Development Review Committee means a committee of three individuals appointed and governed by the first development agreement approved within the ESCGPA and established to review and approve subdivision plats and all other development applications within the CCVZ in advance of final land use approval by the County.
9. Eastern Summit County General Plan Area (ESCGPA) means an area of approximately 1,672 acres that has been planned for land uses, transportation, open space, trail corridors and existing constraints, as depicted in Appendix B.
10. Land Use Application means an application submitted by an applicant that is required by the County to subdivide, develop, or construct improvements on land within the CCVZ.
11. Lot Type means the product type to be constructed on a lot within the named project and includes single family, multi-family, community use, mixed use, small commercial, large commercial, and light industrial.
12. Named Project means an area within the ESCGPA identified as a development project with an approved development agreement and project land plan.
13. Net Average Residential Density means the number of residential dwelling units per acre of land after rights-of-way, streets, wetlands (as determined by federal law), and public open space are deducted from such acreage.
14. Project Land Plan means an individual development plan for a named project as further defined in Subsection E(1), below.
15. Qualifying Open Space means open space that: (i) is located within the boundaries of the CCSA; (ii) is identified on a project land plan, and (iii) has been restricted to open space use.
16. Sub-District means an area within a named project that is depicted on a project land plan, and is generally consistent with the community structure plan, as more particularly described in Subsection E(2), below.

C. Cedar Crest Village Zone.

The purpose of the CCVZ is to allow flexibility of land use, densities, site layout, and project design. Summit County hereby approves the creation of the CCVZ and the application of the CCVZ to all lands within the CCSA. Summit County may apply the CCVZ to other specific parcels within the ESCGPA upon receipt of an application to have areas not within the CCSA, but included within the ESCGPA, added to the CCSA upon application in accordance with Section 11-3-8. Once the CCVZ is applied to parcels within the ESCGPA property owners may continue to own, use and develop land in accordance with existing zoning as provided in Subsection D below, or may, under Subsection E below, apply to obtain a development agreement, consistent with this section, to govern development in accordance with the CCVZ. If a property owner within the ESCGPA elects to develop their property in accordance with the CCVZ, then notwithstanding any other provision in the Eastern Summit County Development Code, this section shall govern all requirements concerning the use and density for the development. Except as set forth in Subsection D below, any development according to the CCVZ within the ESCGPA shall be conditioned on the county's approval of a:

1. development agreement meeting the requirements of Subsection F; and
2. project land plan meeting the requirements of Subsection E(1) as described below.

D. Existing Uses and Future Agricultural Development.

1. Existing Uses. A property owner whose property was rezoned from Agricultural-5 (AG-5) to the CCVZ pursuant to this ordinance may continue all legal non-conforming uses, as defined in Utah Code 17-27a-103(46), that were deemed permitted uses under the Agricultural-5 (AG-5) zone and such uses shall be considered a permitted use for the owner's property.

2. Future Agricultural Development. Notwithstanding Subsection C, a development agreement and project land plan is not required for a property owner to develop future agricultural development on a conforming parcel. Building permit applications for future agricultural development on a conforming parcel shall be processed by the county pursuant to chapter 4 of this title. All development within the CCVZ except for future agricultural development on a conforming parcel must comply with the requirements of this section.

E. CCVZ Development Requirements. Development of property according to CCVZ may occur only if an applicant satisfies the below requirements.

1. Project Land Plan. Applicants must submit a project land plan consistent with the community structure plan conceptually depicting the general configurations, placetypes, planned densities and uses, open space locations, and street connections for the subject area, and show consistency with the uses, configurations and densities of the community structure plan. Each project land plan shall include the following elements:

- a. Name of the planned community;
- b. Names, addresses and phone numbers of applicant and owners;

- c. Plan location, acreage, boundary, scale and north arrow;
- d. Locations of placetype designations (neighborhood, village, open space, boundaries and acreage); a table showing the number of dwelling units, open space acreage, and acreage of the various nonresidential land uses;
- e. A master circulation system plan, including a street network, pedestrian circulation, bicycle and trail system plans, identification of street alignments and right-of-way widths, illustrative cross sections which accommodate and specify vehicular, pedestrian and bicycle use in the right-of-way. Pedestrian and bicycle trail systems shall connect neighborhoods, villages, schools and open space areas and provide linkages to other trail systems in existing or future areas of the CCVZ and the County;
 - (i) Street types
 - (ii) Connectors
 - (iii) Highways
 - (iv) Lanes
 - (v) Paths
 - (vi) Gravel Roads
 - (vii) Parking
- f. Existing and proposed waterways and water bodies, major utilities and easements, flood boundary, and flood control facilities;
- g. Adjacent parcels, owners and uses;
- h. Topography and significant features on or adjacent to the property;
- i. Documentation of existing and proposed secondary water rights, shares and usage;
- j. Open space plan that provides general description and locations of major open space; and
- k. General description and locations of existing and proposed major infrastructure

2. **Sub-Districts.** Included within the project land plan shall be a depiction of the approved placetypes. These objectives are achieved by organizing development into a community of transportation and open space systems that are sensitive to their riverside, freeway, meadow, farm, ranch, hillside, or existing development context. Each placetype is built with a range of uses, building types, densities and other architectural characteristics, street types, open space, and parks. Centers of varying density and intensity are distributed throughout the plan to promote opportunities for social interaction, promote transportation choice and walkability, and local services. The ESCGPA, as depicted in the community structure plan, is organized into various placetypes as follows:

- a. **Village Center:** Aggregates the most intense commercial and residential land uses to promote the success of businesses and social interaction. Such uses include multi-family housing, office, professional services, general retail uses, such as grocery stores, and for full-service restaurants, retail shops, employment opportunities, service commercial, community amenities, such as schools, churches, parks, trails, recreation opportunities, public plazas and gathering spaces, and other support uses. This placetype may accommodate a maximum net average residential density of twenty-five (25) units per acre.

b. **Neighborhood Centers:** Small distributed clusters of commercial and civic uses and services, such as churches, schools, and neighborhood commercial uses surrounded by a blend of housing types of varying densities. This placetype may accommodate a maximum net average residential density of fifteen (15) units per acre.

c. **Neighborhoods:** Blend of multi-family and single-family housing organized around parks and open space. This placetype may accommodate a maximum net average residential density of six (6) units per acre.

d. **Hillside Clusters:** Neighborhoods or Neighborhood Centers are located at the top of slopes and adjacent to the tree line that introduce trails and parks to the hillside. This is a specific neighborhood type designed to establish the limit of development, mediate the wildlands interface, and accommodate an increased change in slope. This placetype may accommodate a maximum net average residential density of three and one tenth (3.1) units per acre.

e. **Meadow Clusters:** Neighborhoods or Neighborhood Centers are located between the freeway and the bench; this placetype softens the transition of development from meadow and agricultural land that allows open space to transition to the higher intensity neighborhoods. The clusters provide access to open space and stream edges that become passive community outdoor amenities, such as stream, trails, parks, and constructed wetlands. This placetype may accommodate a maximum net average residential density of three and two tenths (3.25) units per acre.

f. **Parks and Open Space:** Natural or structured placetype creating for formal or informal spaces that can include active or passive uses. Specific open spaces include the following:

- (i) Riparian/Stream/Wetland
- (ii) Meadow
- (iii) Native Hillside
- (iv) Nature Corridor
- (v) Agriculture
- (vi) Rail-to-Trail Corridor
- (vii) Parkways
- (viii) Trailhead
- (ix) Paseo
- (x) Community Garden
- (xi) Neighborhood Parks
- (xii) Pocket Parks

3. **Hoytsville Road Corridor:** The community structure plan identifies an area known as the “Hoytsville Road Corridor” that is not a placetype but may be developed. The project land plan for development of all or part of the Hoytsville Road Corridor must identify the planned density, uses, open space locations, and location of driveways leading to Hoytsville Road. The approved, limited,

conditional, or restricted uses within the Hoytsville Road Corridor are the same as those of the Village Center placetype, as identified in the use table in Subsection F(3).

4. Design Book. Applicants must submit a design book to the development review committee. Design book elements must be consistent with the community structure plan as determined by the development review committee and include design requirements for the development of the communities within the CCVZ.

5. Infrastructure Agreement. Applicants must annex areas to be subject to the CCVZ into the service area of the applicable service district, improvement district, or other service provider providing culinary, sewer, and/or other services to the area proposed by included within the CCVZ and pay, or arrange for satisfactory payment terms, for the extension of infrastructure to and through the subject area. An applicant may petition the County to create a Public Infrastructure District pursuant to Utah Code § 17D-4-101 *et seq* or other similar financing mechanism or district entity(ies) to facilitate the financing, construction, and operation of some or all of the culinary, sewer, transportation and/or other services to the area included within the CCVZ

6. Development Agreement. A development agreement is required for all development within the CCVZ. Each project's development agreement shall require that development occur in accordance with the project land plan. Each project's development agreement shall also include provisions on the subjects described in Subsection F below. Provided that a proposed development agreement and project land plan complies with this chapter and does not require an exception thereto, the community development director shall approve the same as an administrative act pursuant to Utah Code § 17-27a-528(b). If the development agreement or project land plan requires legislative action, then the proposed development agreement and/or project land plan, as applicable shall be presented first to the planning commission for a recommendation, and then to the county council for approval. Upon approval of a development agreement, project land plan, and other requirements of this section a project shall be referred to as an "Named Project". An approved development agreement may be amended to include additional property if: (i) the additional party and all current parties to the development consent to the amendment; (ii) the proposed amendment to the development agreement complies with this chapter with respect to the additional party's property; and (iii) the amendment is reviewed and approved by the county as an administrative act or legislative act, as set forth herein.

F. Additional Provisions for Development Agreement: Each development agreement for a named project shall also include provisions requiring the following:

1. Design Review Process.

a. Design Book. Every design book for a named project shall be evaluated and approved by the development review committee.

b. **Subdivision Plats and Other Development Applications.** All applications for a subdivision plat, conditional use permit, site plan, or other land use application, shall first be submitted to the development review committee, for review and recommendation, before being submitted to the planning department for further review and action by the applicable land use authority. Elements within a proposed subdivision plat or other land use application shall conform to the principles and requirements described in the named project's project land plan and comply with the appropriate concurrency management provisions of this title, including Section 11-2-3. All subdivision plats must contain a plat note in compliance with Section 11-1-2 regarding rural agriculture protection.

c. **Additional Processes.** A development agreement may also include other procedural provisions to describe the land authority and processes for different types of land use applications, but each process must require that the development review committee first review and recommend an application in advance of further action by the County.

2. **Development Standards.** A development agreement shall include development standards based on each of the following:

a. **Lot Requirements:**

- (i) Lot Dimensions
- (ii) Lot Coverage
- (iii) Building Setbacks
- (iv) Building Materials
- (v) Garage, Parking Lot and Access Placement Standards
- (vi) Entry Locations and Treatments

b. **Parks and Open Space:**

- (i) Principles
- (ii) Landscaping
- (iii) Fencing
- (iv) Lighting
- (v) Outdoor Furniture
- (vi) Trails
- (vii) Drainage

c. **Circulation:** Circulation standards will be established for each street type and trail type with connections established in the overall framework plan:

- (i) Principles
- (ii) Landscaping
- (iii) Fencing
- (iv) Lighting
- (v) Outdoor Furniture
- (vi) Signage
- (vii) Drainage

3. Approved and Restricted Uses. Only the uses described in this Subsection F(3) may be included within the CCVZ. The use table for each placetype is below. Any use not designated as A–Allowed, L–Limited Use (Administrative CUP) or C–Conditional Use in the use table below is prohibited within the CCVZ unless the proposed use is described in a development agreement and approved legislatively. The development agreement shall identify, by placetype, the uses allowed for each placetype within a named project.

a. Definitions: In addition to the definitions found elsewhere in this title, the following definitions apply to the use table below.

(i) Accessory Dwelling Unit (ADU): an attached or detached dwelling unit that is: 1) less than 1,000 square feet; and 2) accessory to but located on the same lot as the primary dwelling unit, one-family or dwelling unit, single-family attached. An ADU must contain a living space separate from the primary dwelling that includes a separate entrance, kitchen, and bathroom.

(ii) Detached Garage: A garage with or without an ancillary residence above parking that is not connected to the primary structure with a conditioned wing.

(iii) Dwelling Unit, Multifamily: A dwelling unit in a structure with four or more dwellings in which units are stacked vertically.

(iv) Mixed Use: Development that includes a variety of uses that are permitted in the zone, and may include multi-family dwelling units over retail, office over retail, or dwelling units over office.

(v) Short-Term Rental: The rental of a dwelling unit or any portion thereof for overnight use for less than thirty (30) days.

(vi) Out Building: A detached structure that is ancillary to the primary structure on a lot but may not be used as a garage.

(vii) Semi-Detached Garage: A garage with or without an ancillary residence above the garage that is connected to the primary structure with a conditioned single-story wing that separates the roof forms.

(viii) Temporary Sales/Leasing Trailer: The placement of a trailer on a temporary basis to support the sale of dwelling units to prospective purchasers.

Use	Village Center	Neighborhood Center	Neighborhood	Hillside Cluster	Meadow Cluster
Accessory Dwelling Unit (ADU)	A	A	A	A	A
Adaptive reuse of a historically significant structure	A	A	A	A	A
Agricultural employee dwelling unit					
Agricultural employee facility for the purpose of providing shelter for more than 1 family	L	L	L	L	L
Agriculture buildings and uses customarily associated with traditional "agriculture" operations	A	A	A	A	A
Auto impoundment yard and towing services					
Auto repair, service and detailing	L	L			
Auto wrecking yard					

Automotive sales	L	L			
Banks and financial services	A	A	A	A	A
Bars, taverns, private clubs	C	C			
Bed and breakfast inn	L	L	L	L	L
Building integrated solar energy system	A	A	A	A	A
Butcher, retail					
Car wash	A	L			
Cemetery	A	A	A	A	A
Childcare, commercial	A	A	A	A	A
Childcare, in home (4 children or less)	A	A	A	A	A
Childcare, family (with 5 - 8 children)	A	A	A	A	A
Childcare, family (with 9 - 16 children)	A	A	A	A	A
Commercial kennels					
Commercial riding arenas	A	A	A	A	A
Commercial stables	A	A	A	A	A
Contractor's office	A				
Contractor's yard					
Detached Garage	A	A	A	A	A
Distillery/microbrewery	C	C			
Dwelling unit, multifamily	A	A	A	A	A
Dwelling unit, one-family	A	A	A	A	A
Dwelling unit, single-family attached	A	A	A	A	A
Equipment rental, heavy					
Equipment rental, light					
Event center	A	A			
Food processing, commercial					
Funeral services	A	A			
Gas and fuel, storage and wholesale					
Gasoline service station with or without convenience store	A	A			
Ground mounted solar energy system					
Ground mounted solar energy system, large scale					
Guest ranches or lodge intended to attract visitors/patrons on a daily basis or an extended stay					
Hazardous liquids or materials transmission pipelines	C	C	C	C	C
Home occupation	A	A	A	A	A
Hospitals	A	A	A	A	A
Hotel, motel	A	A			
Houses of worship including churches and other religious institutions	A	A	A	A	A
Indoor entertainment such as bowling alleys, skating rinks, movie theater, performing arts center	A	A			
Industrial uses and operations including storage and processing	A	A			
Institutional uses including fire stations, private schools and public or quasi-public buildings	A	A	A	A	A
Logging camp					
Manufacturing, custom					
Manufacturing, heavy					

Manufacturing, light	A				
Mixed-Use	A	A	A		
Mobile home park					
Mobile home with foundation (see definition of "prefabricated home")					
Mobile home without foundation that is occupied for more than 180 days					
Municipal landfill					
Nursery/greenhouse	A	A	A		
Oil wells, natural gas wells and steam wells					
Open space, recreational (motorized)	A	A			
Open space, recreational (nonmotorized)	A	A			
Out Buildings	A	A	A	A	A
Petroleum refineries					
Professional offices	A	A	C		
Railroad industrial uses including shipping and distribution					
Recreation and athletic facilities	A	A	A		
Recycling facility, Class I					
Recycling facility, Class II					
Rehearsal or teaching studio for creative, performing and/or martial arts with no public performances	A	A			
Residential care facilities	A	A	A	A	A
Restaurant	A	A			
Restaurant with drive-through	A	A			
Retail commercial establishments	A	A			
Rock quarries, gravel pits, and associated surface mining uses, including, but not limited to, filtering, sifting, and processing of soil					
Roof mounted solar energy system	A	A	A	A	A
Sawmill					
Seasonal plant and agricultural product sales					
Semi-Detached Garage	A	A	A	A	A
Sexually oriented businesses					
Shooting ranges, indoor					
Shooting ranges, outdoor					
Short-Term Rental	A	A	A	A	A
Telecommunication facilities - nonstealth					
Telecommunication facilities over 45 feet in height					
Telecommunications facilities - stealth (up to 45 feet in height)	C	C			
Temporary Sales/Leasing Trailer	A	A	A	A	A
Underground transmission lines exceeding 6 inches in diameter that are not considered hazardous liquids or materials transmission pipelines					
Underground transmission lines exceeding 12 inches diameter (including but not limited to gas, oil and water)					
Utility structures and related facilities	C	C	C	C	C
Utility towers and associated transmission					

and distribution lines 45 feet in height or less					
Utility towers and associated transmission and distribution lines greater than 45 feet in height					
Veterinarian clinic	A	A	A	A	A
Warehousing and commercial storage	A				
Water and wastewater treatment plant	A				
Welding shop, commercial					
Wind power generation facilities 45 feet in height and less					
Wind power generation facilities greater than 45 feet in height					

4. **Lot Types.** The lot types permitted in each placetype are identified below and the lot types in each named project shall be identified in each development agreement.

a. **Village Center**

- (i) Single Family – A. Attached
- (ii) Single Family – B. Court
- (iii) Single Family – C. Small Lot
- (iv) Single Family – D. Medium Lot
- (v) Multi-Family – A. Garden
- (vi) Multi-Family – B. Tuck-Under
- (vii) Community Use
- (viii) Mixed Use
- (ix) Small Commercial
- (x) Large Commercial
- (xi) Light Industrial

b. **Neighborhood Centers**

- (i) Single Family – A. Attached
- (ii) Single Family – B. Court
- (iii) Single Family – C. Small Lot
- (iv) Single Family – D. Medium Lot
- (v) Multi-Family – A. Garden
- (vi) Multi-Family – B. Tuck-Under
- (vii) Community Use
- (viii) Mixed Use
- (ix) Small Commercial
- (x) Large Commercial
- (xi) Light Industrial

c. **Neighborhoods**

- (i) Single Family – A. Attached
- (ii) Single Family – B. Court
- (iii) Single Family – C. Small Lot
- (iv) Single Family – D. Medium Lot
- (v) Single Family – E. Large Lot

- (vi) Single Family – F. Estate Lot
- (vii) Multi-Family – A. Garden
- (viii) Multi-Family – B. Tuck-Under
- (ix) Community Use
- (x) Mixed Use
- (xi) Small Commercial

d. Hillside Clusters

- (i) Single Family – A. Attached
- (ii) Single Family – B. Court
- (iii) Single Family – C. Small Lot
- (iv) Single Family – D. Medium Lot
- (v) Single Family – E. Large Lot
- (vi) Single Family – F. Estate Lot
- (vii) Multi-Family – A. Garden
- (viii) Multi-Family – B. Tuck-Under
- (ix) Community Use

e. Meadow Clusters

- (i) Single Family – A. Attached
- (ii) Single Family – B. Court
- (iii) Single Family – C. Small Lot
- (iv) Single Family – D. Medium Lot
- (v) Single Family – E. Large Lot
- (vi) Single Family – F. Estate Lot
- (vii) Multi-Family – A. Garden
- (viii) Multi-Family – B. Tuck-Under
- (ix) Community Use

G. Base Density/Transfer of Density:

1. The following definitions apply to this Subsection (G):

a. Development Right means the right to construct a residential dwelling unit on land, determined by calculating the number of acres by the base density set forth in Subsection G(2) herein.

b. Maximum Sub-District Density means the maximum number of residential dwelling units that can be constructed in a placetype, which number is calculated by multiplying the number of acres within each placetype by the maximum net average residential density for the applicable placetype. By way of example only, if the Village Center was comprised of 10 acres, then the maximum placetype development rights for the Village Center would be 250 units.

c. Receiving Sub-District means an area within a project land plan designated as a Village Center, Neighborhood Center, Neighborhood, or Hoytsville Road whose minimum density is more than base density described in Subsection G(2) below, thus necessitating a transfer of development right to achieve the minimum density for development.

d. Sending Area means an area within the ESCGPA where the base density is calculated and transferred to a receiving placetype upon confirmation of the transfer in accordance with Subsection G(5) below.

2. Base Density. The overall base density in the ESCGPA is 4 residential dwelling units per acre, exclusive of any ADUs.

3. Non-Residential Density. The range of anticipated nonresidential density shall be confirmed and described in each development agreement for a named project.

4. Maximum Density. The maximum net average residential density is determined by each placetype as contemplated in Subsection E(2) above.

5. Minimum Density. Unless otherwise set forth in an approved Project Land Plan The minimum density for any development within the following placetypes must be within thirty percent (30%) of the maximum net average residential density for such placetype: Village Center, Neighborhood Center, and Neighborhood. Projects within the placetypes described in the preceding sentence must meet the minimum density described herein through the transfer of development right as set forth below.

6. Transfer of Development Right. Greater densities can be achieved through a development right transfer from areas within the ESCGPA to a particular parcel within a placetype identified in a project land plan. Pursuant to Utah Code Ann. § 17-27a-509.7, each placetype within the ESCGPA is hereby designated as a receiving zone and is referred to herein as "receiving placetype", as applicable. All area within the ESCGPA is designated as a sending zone and is referred to as a "sending area", as applicable. To effect a transfer of a development right to a placetype a notice must be delivered to the community development director together with a description of the area to receive the development right, and a proposed form or restrictive covenant, plat restriction or deed restriction to be recorded against the parcel or area that is operating as the sending area. Upon approval of the form of deed, plat or covenant restriction for the sending area, and confirmation by the community development director that the calculation is correct for the receiving placetype, the transfer of a development right shall be effected through the recording of a notice of transfer and reference to the deed, plat or covenant restriction for the sending area, and a similar recorded notice confirming the transfer of the development right to the receiving placetype. A transfer of a development right to any receiving placetype may not exceed the maximum placetype density exclusive of any ADUs. The County planning department shall retain records of every transfer of a development right within the ESCGPA, which must in each instance relate to a notice recorded with the Summit County Recorder. No placetype may act as a receiving placetype until a project land plan is approved for the receiving placetype.

H. Application Review Procedures; Amendments.

1. Land Use Application Review: After the approval of a development agreement for a named project, all land use applications within the CCVZ, for the named project, shall be submitted and reviewed as follows:

a. A land use application must be submitted to the development review committee for preliminary review. Upon receipt of a complete land use application, the development review committee shall review the land use application and make a recommendation to the community development director whether to approve or deny the land use application. The development review committee shall forward the land use application to the community development director with its recommendation.

b. Upon receiving a recommendation and land use application from the development review committee, the community development director or their designee shall review the land use application and shall: (a) approve the land use application (with or without conditions); (b) deny the land use application; or (c) refer the land use application to the planning commission for review and decision. If the community development director refers a land use application to the planning commission, then the community development director shall forward a copy of the land use application to the planning commission and county council together and make a recommendation to the planning commission whether to approve or deny the land use application.

c. Upon receipt of a referred land use application, the planning commission shall, in its capacity as a land use authority, review and either approve (with or without conditions) or deny the land use application. Notwithstanding the foregoing sentence, if within fifteen (15) days of the county council receiving a copy of a land use application referred to the planning commission, the county council elects to act as the land use authority on a land use application, the county council may, to the extent it is permitted by state law, call up a land use application for county council review and decision. If the county council timely calls up a land use application from the planning commission, then the county council acting as the land use authority shall review the land use application and either approve (with or without conditions) or deny the land use application.

2. Development Agreement and Land Plan Amendments. As used in this Subsection H(2), "Minor Amendment" means any amendment to a development agreement or project land plan for a named project that: (i) does not increase the total net average density described in the placetypes depicted in the project land plan for a particular named project; (ii) is necessitated by the topography of or engineering requirements associated with the subject property; or (iii) does not adjust the boundaries of a placetype as depicted in a project land plan so as to increase the size of a placetype by more than thirty percent (30%); or (iv) exchanges the location of one placetype for another placetype provided that the size of each exchanged placetype is not increased or decreased by more than fifteen percent (15%). A "Major Amendment" means an amendment that is not a minor amendment. Any proposed minor amendment to a development agreement

or project land plan shall be submitted to the community development director for review, and the community development director shall make a determination as to any minor amendment. A minor amendment is an administrative amendment to the development agreement. Any major amendment to a development agreement or project land plan shall be submitted to the county council for review, and the county council shall make a determination as to any major amendment, after receiving any required recommendation from the planning commission, as a legislative amendment.

3. Design Book Amendments. All proposed amendments to an approved design book must be approved by a majority of the members of the development review committee.

I. Mandatory Land Use Planning Principles: The following land use planning principles shall be considered in preparing a project land plan for a named project:

- Dedication and preservation of viewshed/environmental features
- Consistency with the desired neighborhood character

1. Dedication and Preservation of Viewshed/Environmental Features Of The Area: Preservation of viewsheds should, when practicable, include the retention of major portions of meadow and hillside viewsheds, ridgelines, and significant environmental features such as waterways and jurisdictional wetlands, wildlife habitat, wildfire hazard areas, historic and cultural artifacts, and geologic features. This is to be accomplished by, among other things, minimizing the removal of vegetation from the site and the amount of over lot grading required to fit the project into the natural landscape. These important features of the predevelopment landscape shall be as identified on the applicable land use plan map or by field inspection at the time of a development application.

2. Consistency with Desired Neighborhood Character: Development should be compatible with the desired neighborhood development patterns and policies identified in the community structure plan.

3. Open Space Requirements for Project: At least 25% of the area identified in a project land plan must be designated as qualifying open space.

J. Relocation of Restrictions on Open Space:

Open Space that is currently restricted may be relocated within the CCVZ, as approved by the county council.

K. Appeals and Interpretations.

1. Appeal Authority. Notwithstanding anything in Section 11-7-16 to the contrary, all appeals from the decision of any land use authority under this section shall be heard by a hearing officer appointed to be an appeal authority by the county council, or to the board of adjustments.

2. Code Interpretations. A person who has submitted a land use application may request that the community development director provide an official

interpretation of this title. Any final decision of the community development director with regard to the interpretation of this title may be appealed to an appeal authority under Subsection K(1) above, or the board of adjustment. The appeal shall be in writing no later than ten (10) days of the date of the decision. The appeal shall state the basis of the appeal in detail. The appeal shall be heard by the designated appeal authority at a regularly scheduled meeting as soon thereafter as may be practicable.

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Development Standards

(Attached)

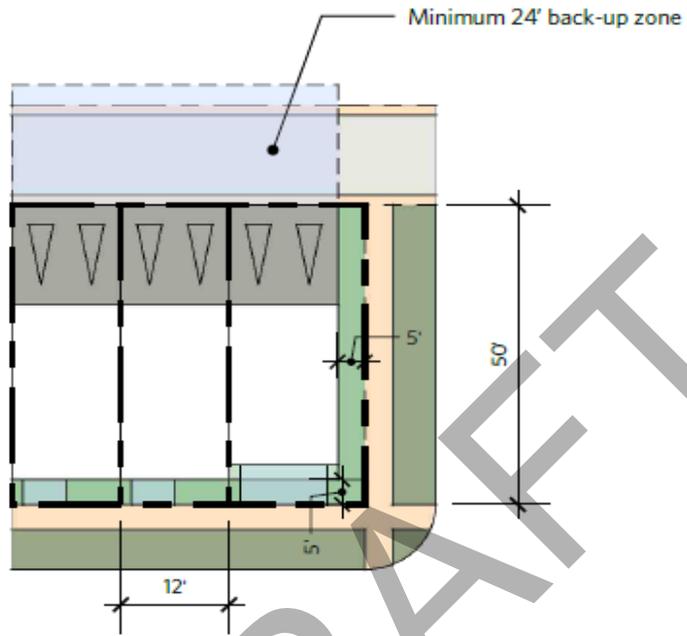
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A. ATTACHED

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	90% max.	12 foot min.	50 foot min.	5 foot min.	0 ft min.	0 foot min.	5 ft. min.
Building Criteria	Building Height			Separation Between Building on Same Lot			
	Up to 4 stories of livable space allowed. 12 foot maximum story height.			Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.			
Encroachments	Porches, balconies and bays may encroach beyond front and side street setback lines.						
	Porches and terraces may encroach beyond rear setback line.						
Building Materials	Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.						
	Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.						
	Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.						
	No reflective or dark glass						
	Materials not listed here shall be subject to review by the DRC.						
Parking	Each unit requires one (1) off-street parking space. One (1) additional parking space required with an ADU.						
	Parking spaces may must be lane-accessed.						
	Min. 0' garage setback from alley						
	Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.						
Entry Location	Front door shall be located on street or green.						
ADU	Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.						
	Lane access ADUs must provide one (1) additional off-street parking space.						
	Side-drive ADUs may park on the street.						
	Front-street ADUs must park off-street and on the lot.						

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



A. Attached (SF)

Not to scale

B. COURT

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	75% max. 90% max. for attached	30 foot min. 15 foot min. for attached	50 foot min.	5 foot min.	3 foot min.	4 foot min.	5 ft. min.

Building Criteria	Building Height	Separation Between Building on Same Lot
	Up to 3.5 stories of livable space allowed. 12 foot maximum story height.	Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.

Encroachments
Porches, balconies and bays may encroach beyond front and side street setback lines.
Porches and terraces may encroach beyond rear setback line.

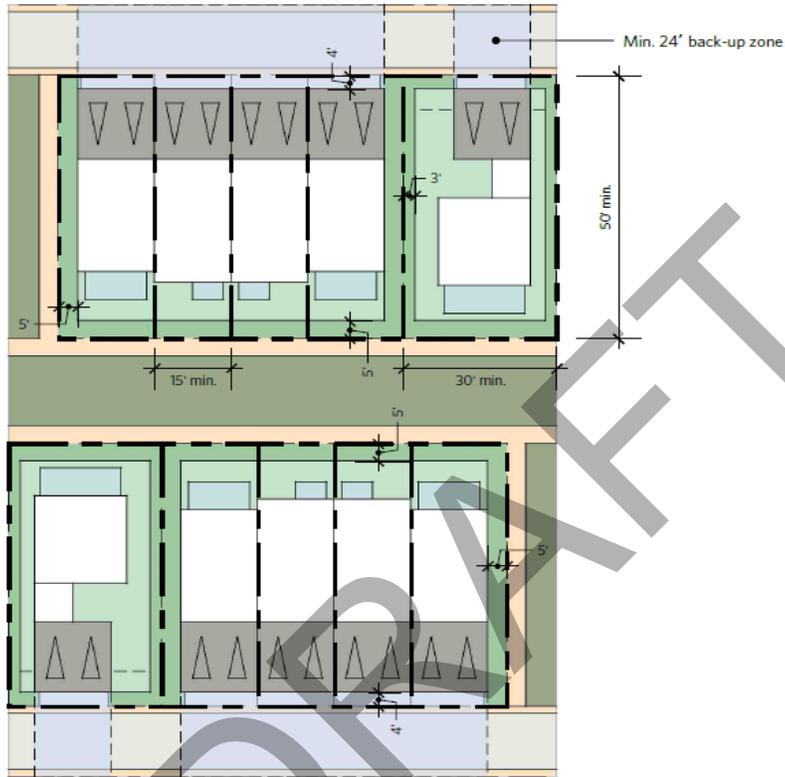
Building Materials
Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
No reflective or dark glass
Materials not listed here shall be subject to review by the DRC.

Parking
Each unit requires one (1) off-street parking spaces. One (1) additional parking space required with an ADU.
Parking spaces may be accessed by lane or common drive.
Min. 4' garage setback from alley if garage door opens directly or perpendicular to alley. Min. 0' setback is permissible when garage door opens parallel to alley
Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.

Entry Location
Front door shall be located on street or green.

ADU
Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.
Lane access ADUs must provide one (1) additional off-street parking space.
Side-drive ADUs may park on the street.
Front-street ADUs must park off-street and on the lot.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



B. Court (SF)

C. SMALL LOT

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	70% max.	20 ft. min.	50 foot min.	10 foot min.	3 foot min.	10 foot min.	6 ft. min.

Building Criteria	Building Height	Separation Between Building on Same Lot
	Up to 3.5 stories of livable space except when building is placed on slope in which case the basement or garage may be fully exposed on one side. 12 foot maximum story height.	Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.

Encroachments
Porches, balconies and bays may encroach beyond front and side street setback lines.
Porches and terraces may encroach 10' beyond rear setback line.

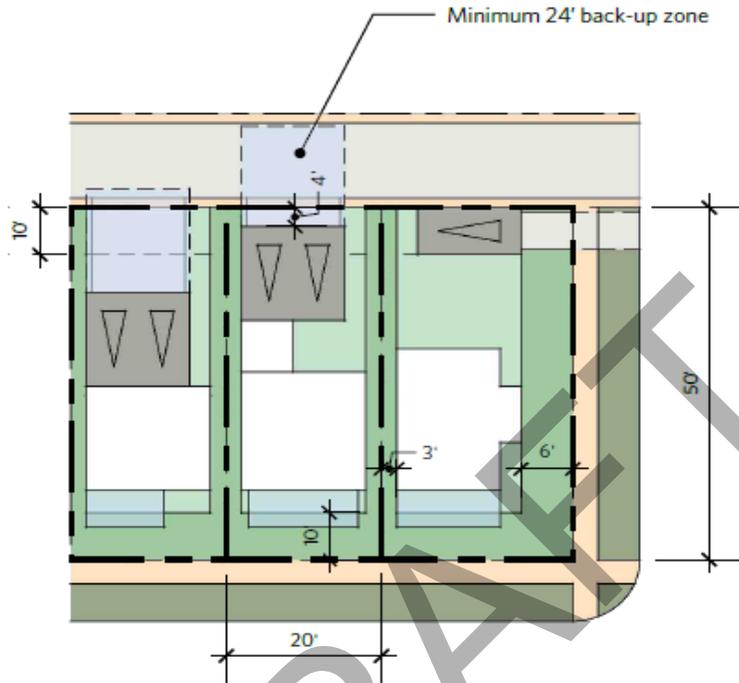
Building Materials
Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
No reflective or dark glass
Materials not listed here shall be subject to review by the DRC.

Parking
Each unit requires one (1) off-street parking space. One (1) additional parking space required with an ADU.
Parking spaces may be accessed by lane, or side drive.
Min. 4' garage setback from alley if garage door opens directly or perpendicular to alley. Min. 0' setback is permissible when garage door opens parallel to alley
Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.

Entry Location
Front door shall be located on street or green.

ADU
Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.
Lane access ADUs must provide one (1) additional off-street parking space.
Side-drive ADUs may park on the street.
Front-street ADUs must park off-street and on the lot.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



C. Small Lot (SF)

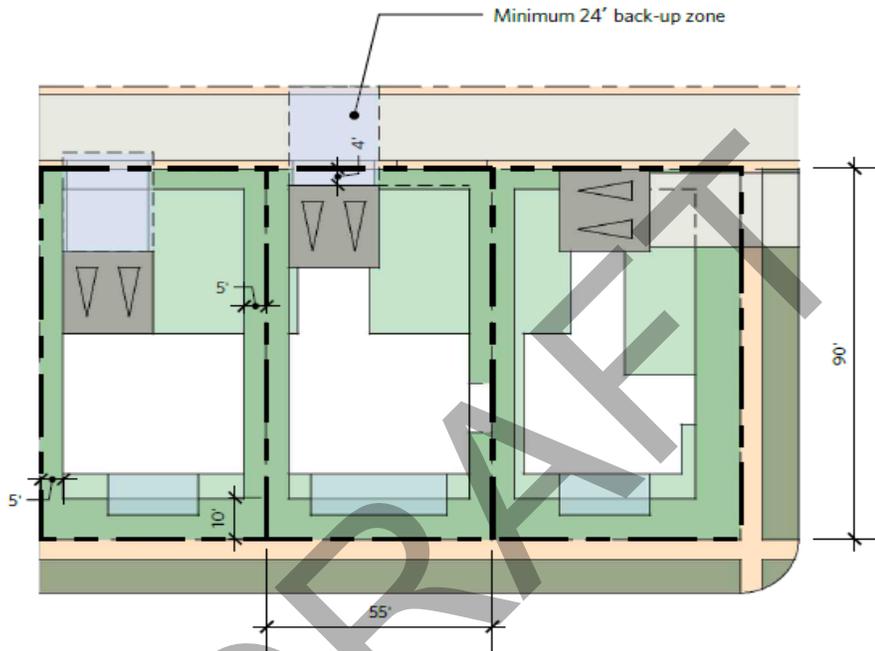
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D. MEDIUM LOT

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	55% max.	55 ft. min.	90 foot min.	10 foot min.	5 foot min.	5 foot min.	10 ft. min.
Building Criteria	Building Height			Separation Between Building on Same Lot			
	Up to 2.5 stories of livable space except when building is placed on slope in which case the basement or garage may be fully exposed on one side. 12 foot maximum story height.			Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.			
Encroachments	Porches, balconies, and bays may encroach beyond front and side street setback lines.						
	Porches and terraces may encroach 10' beyond rear setback line.						
Building Materials	Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.						
	Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.						
	Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.						
	No reflective or dark glass						
Materials not listed here shall be subject to review by the DRC.							
Parking	Each unit requires two (2) off-street parking spaces. One (1) additional parking space required with an ADU.						
	Parking spaces may be accessed by lane or side drive.						
	Front-loaded garages may be max. 40% of primary façade and must be recessed at least 5' behind the primary façade.						
	Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.						
Entry Location	Front door shall be located on street or green.						
ADU	Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.						
	Lane access ADUs must provide one (1) additional off-street parking space.						
	Side-drive ADUs may park on the street.						
	Front-street ADUs must park off-street and on the lot.						

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



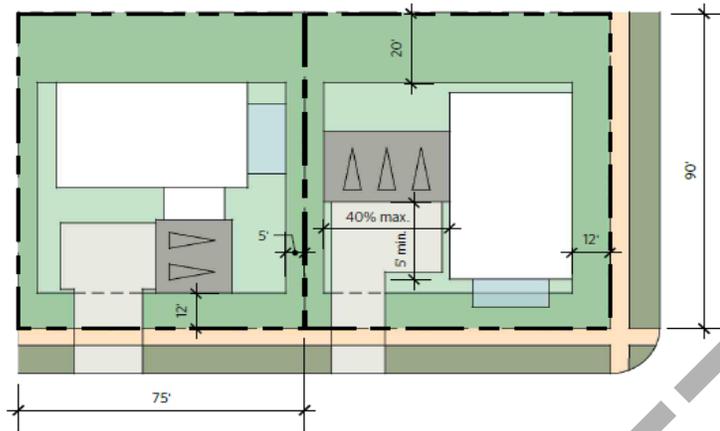
D. Medium Lot (SF)

E. LARGE LOT

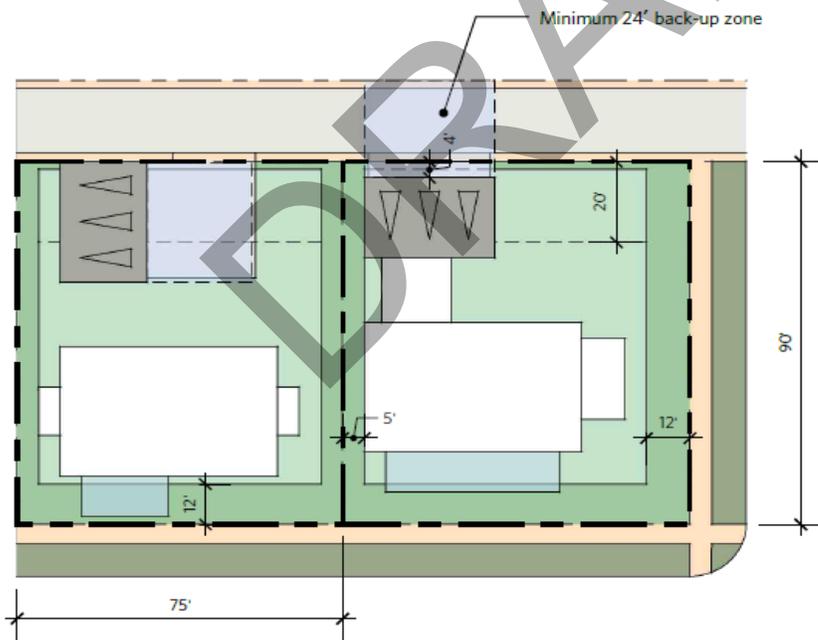
CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	45% max.	75 ft. min.	90 foot min.	12 foot min.	5 foot min.	20 foot min.	12 ft. min.
Building Criteria	Building Height			Separation Between Building on Same Lot			
	Up to 2.5 stories of livable space except when building is placed on slope in which case the basement or garage may be fully exposed on one side. 12 foot maximum story height.			Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.			
Encroachments	Porches, balconies, and bays may encroach beyond front and side street setback lines.						
	Porches and terraces may encroach 10' beyond rear setback line.						
Building Materials	Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.						
	Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.						
	Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.						
	No reflective or dark glass						
	Materials not listed here shall be subject to review by the DRC.						
Parking	Each unit requires two (2) off-street parking spaces. One (1) additional parking space required with an ADU.						
	Parking spaces may be accessed by lane or side drive.						
	Front-loaded garages may be max. 40% of primary façade and must be recessed at least 5' behind the primary façade.						
	Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.						
Entry Location	Front door shall be located on street or green.						
ADU	Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.						
	Lane access ADUs must provide one (1) additional off-street parking space.						
	Side-drive ADUs may park on the street.						
	Front-street ADUs must park off-street and on the lot.						

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



E. Large Lot (SF) | Street-loaded



E. Large Lot (SF) | Lane-loaded

F. ESTATE LOT

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	40% max.	90 foot min.	100 foot min.	15 foot min.	8 foot min.	30 foot min.	15 ft. min.

Building Criteria	Building Height	Separation Between Building on Same Lot
	Up to 2.5 stories of livable space except when building is placed on slope in which case the basement or garage may be fully exposed on one side. 12 foot maximum story height.	Min. setbacks for out building or detached garage: 5' front, 0' each side, 0' rear; Out Buildings, Semi-detached or detached garages must be 5' from nearest building, or attached to another out building or detached garage on another lot.

Encroachments
Porches, balconies, and bays may encroach beyond front and side street setback lines.
Porches and terraces may encroach 10' beyond rear setback line.

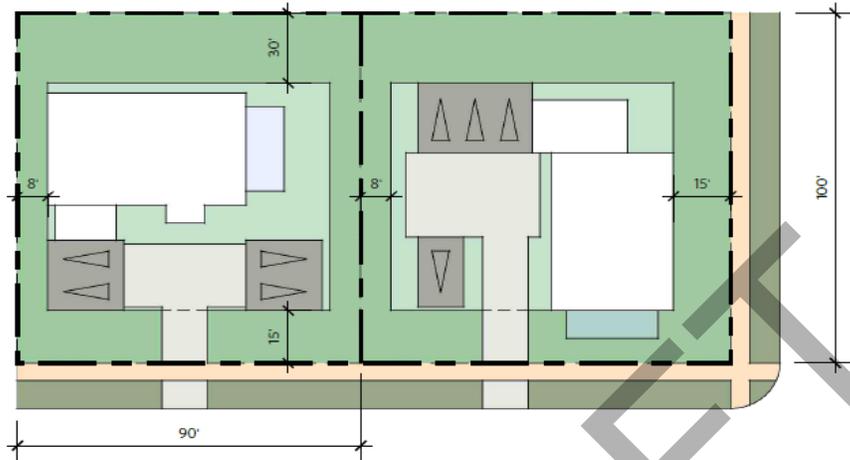
Building Materials
Siding: Brick, stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
No reflective or dark glass
Materials not listed here shall be subject to review by the DRC.

Parking
Each unit requires two (2) off-street parking spaces. One (1) additional parking space required with an ADU.
Parking spaces may be accessed by lane or side drive.
Front-loaded garages may be max. 40% of primary façade and must be recessed at least 5' behind the primary façade.
Minimum of 24' of backup space must be demonstrated in lanes. Distance may include opposing drive apron.

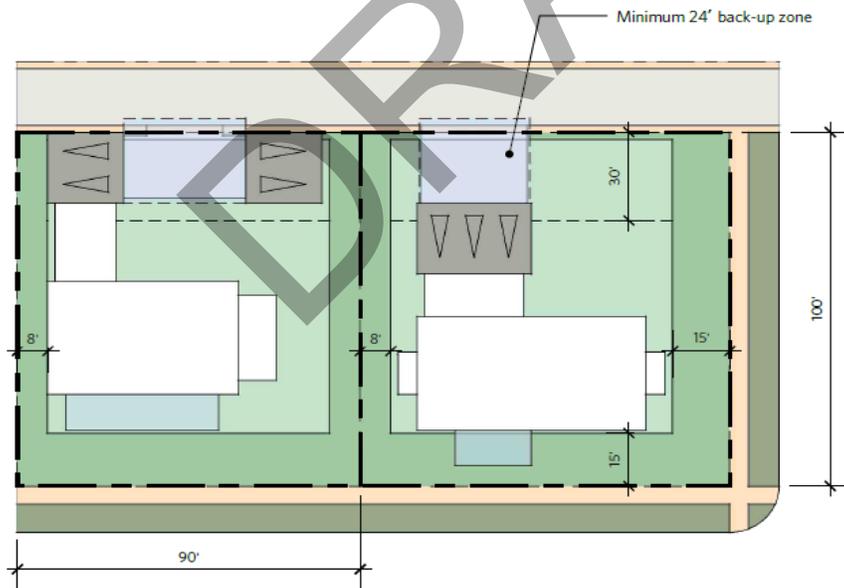
Entry Location
Front door shall be located on street or green.

ADU
Accessory Dwelling Unit (ADU) access may occur on street, park, or lane.
Lane access ADUs must provide one (1) additional off-street parking space.
Side-drive ADUs may park on the street.
Front-street ADUs must park off-street and on the lot.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



F. Estate Lot (SF) | Street-loaded



F. Estate Lot (SF) | Lane-loaded

A. GARDEN

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	60% min.	90 foot min.	10,000 sqft. min.	10 foot min.	10 foot min.	4 foot min. / 15 foot min. when there is no alley	Corner lots are considered to have two front sides

Building Criteria	Building Height	Separation Between Building on Same Lot
	Heights shall not be greater than 3 stories. 16 foot maximum story height.	Min. 20' setback between detached buildings on the same parcel. Min. 15' setback from surface parking areas.

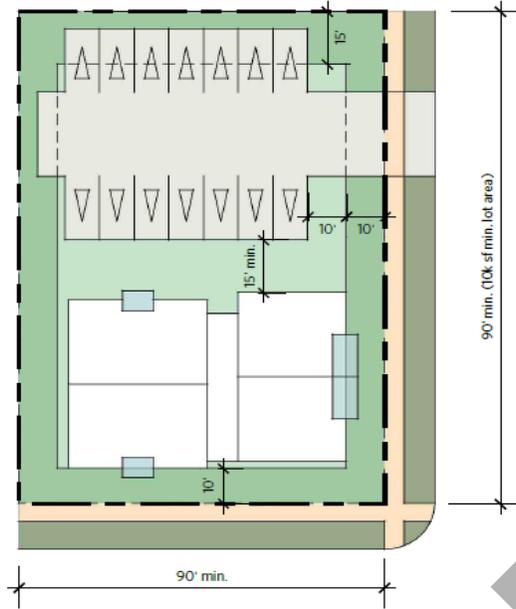
Encroachments
Porches, balconies and bays may encroach beyond front and side street setback lines. Porches and terraces may encroach beyond rear setback line.
50% of lot frontage must have building within 10' of min. setback

Building Materials
Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front t. Architectural CMU is allowed as an accent. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
No reflective or dark glass
Materials not listed here shall be subject to review by the DRC.

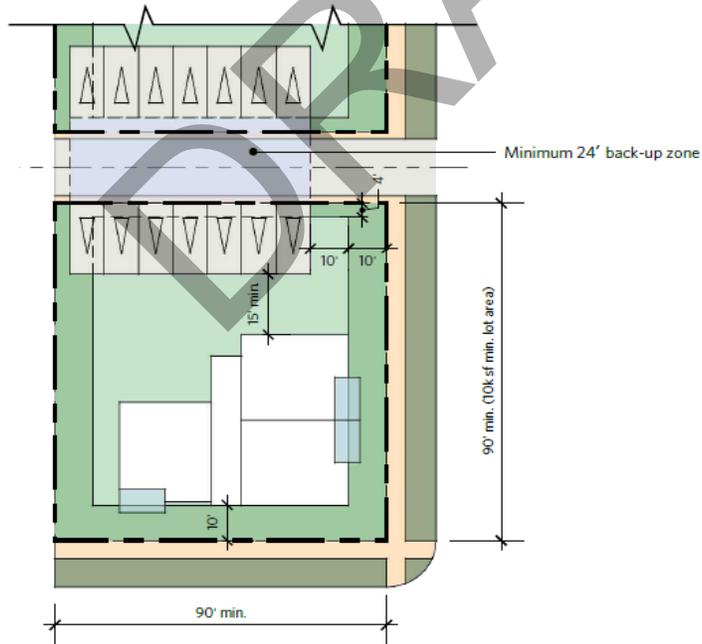
Parking
Each unit requires 1.5 parking spaces. Parking ratio may be decreased to 1 space/3 units plus 1 space per employee for senior housing, or 1 space/unit if the building is within 1/4 mile of a built or planned transit stop.
Parking areas may be accessed from street or lane.
Parking areas shall not be located between buildings and the street.
Side area parking lots must exceed the building setback by at least 10'. Side area parking shall never be located on a block corner.
Shared parking is allowed.

Entry Location
Front door shall be located on street or green.
Ground floor units shall have direct unit access.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



A. Garden (MF) | Street-loaded



A. Garden (MF) | Lane-loaded

B. TUCK-UNDER

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	80% max.	50 foot min.	6,000 sqft. min.	10 foot min.	10 foot min.	4 foot min. / 15 foot min. when there is no alley	Corner lots are considered to have two front sides

Building Criteria	Building Height	Separation Between Building on Same Lot
	Heights shall not be greater than 4 stories. 16 foot maximum story height.	Min. 20' setback between detached buildings on the same parcel. Min. 10' setback from surface parking areas.

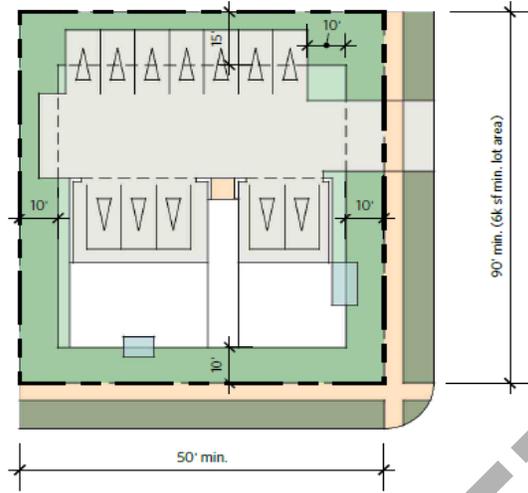
Encroachments
Porches, balconies and bays may encroach beyond front and side street setback lines. Porches and terraces may encroach beyond rear setback line.
50% of lot frontage must have building within 10' of min. setback

Building Materials
Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front. Architectural CMU is allowed as an accent. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
No reflective or dark glass
Materials not listed here shall be subject to review.

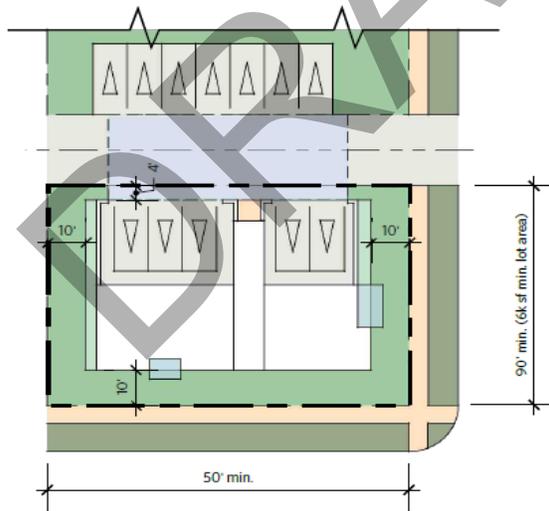
Parking
Each unit requires 1.5 parking spaces. Parking ratio may be decreased to 1 space/3 units plus 1 space per employee for senior housing, or 1 space/unit if the building is within 1/4 mile of a built or planned transit stop.
Parking areas may be accessed from street or lane.
Parking areas shall not be located between buildings and the street.
Side area parking lots must exceed the building setback by at least 10'. Side area parking shall never be located on a block corner.
Shared parking is allowed.

Entry Location
Front door shall be located on street or green.
Ground floor units shall have direct unit access.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.



B. Tuck-Under (MF) | Street-loaded



B. Tuck-Under (MF) | Lane-loaded

III. COMMUNITY USE

CEDAR CREST - DESIGN STANDARDS

Amenity buildings, religious & civic structures, pavilions, gateways and other structures

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	N/A	N/A	N/A	0 ft. min.	0 ft. min.	0 ft. min.	0 ft. min.
Building Criteria	Building Height			Separation Between Building on Same Lot			
	Heights shall not be more than 3 stories . 20 foot maximum story height.			N/A			
Encroachments							
Building Materials	Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front are preferred. Architectural CMU is allowed as an accent. Plywood is not allowed.						
	Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile.						
	Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.						
	No reflective or dark glass						
Materials not listed here shall be subject to review by the DRC.							
Parking	Unless fully below grade, parking areas shall not be located between buildings and primary streets.						
	Side area parking lots on secondary streets must not project in front of the building façade. Side area parking shall never be located on a block corner.						
	The ground floor of street-facing parking structures must be screened by inhabited space.						
	Street parking may be used in lieu of onsite parking.						
	Shared parking is allowed.						
Entry Location	Front door shall be located on street or green.						
	Ground floor units shall have direct street access.						
<p>* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.</p>							

IV. MIXED-USE

CEDAR CREST - DESIGN STANDARDS

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	N/A	N/A	N/A	0 foot min.	0 foot min.	10 foot min.	Corner lots are considered to have two front sides

Building Criteria	Building Height	Separation Between Building on Same Lot
	Heights shall not be more than 4 stories. 20 foot maximum story height.	N/A

Encroachments
Upper-story balconies and bays may encroach beyond front setback lines.
60% of lot frontage must have building within 5' of min. setback

Building Materials
Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front. Architectural CMU is allowed as an accent. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
Glazing: No reflective glass for residential uses. Minimum 75% visible transmittance (VT) for the ground floor, 50% for upper floor non-residential uses.
Materials not listed here shall be subject to review by the DRC.

Parking
Min. parking ratio: 3 spaces/1000 sq ft.
Unless fully below grade, parking areas shall not be located between buildings and primary streets.
Side area parking lots on secondary streets must not project in front of the building façade. Side area parking shall never be located on a block corner.
The ground floor of street-facing parking structures must be screened by inhabited space.
Shared parking is allowed.

Entry Location
Front door shall be located on street or green.
Ground floor units shall have direct street access.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.

V. SMALL COMMERCIAL

CEDAR CREST - DESIGN STANDARDS

Non-residential buildings, not including industrial or warehouse uses, that are less than 20,000 sq. ft. Typical types include small retail, service or office buildings

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	N/A	N/A	N/A	0 foot min.	0 foot min.	10 foot min.	Corner lots are considered to have two front sides
Building Criteria	Building Height			Separation Between Building on Same Lot			
	Heights shall not be more than 3 stories . 20 foot maximum story height.			N/A			
Encroachments	Upper-story balconies and bays may encroach beyond front setback lines.						
	60% of lot frontage must have building within 5' of min. setback						
Building Materials	<p>Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front. Architectural CMU is allowed as an accent. Plywood is not allowed.</p> <p>Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.</p> <p>Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.</p> <p>Glazing: Minimum 75% VT ground floor, 50% upper floors</p> <p>Materials not listed here shall be subject to review by the DRC.</p>						
Parking	Min. parking ratio: 3 spaces/1000 sq ft.						
	Unless fully below grade, parking areas shall not be located between buildings and primary streets, or 1/2 of secondary streets.						
	Side area parking lots on secondary streets must not project in front of the building façade. Side area parking shall never be located on a block corner.						
	The ground floor of street-facing parking structures must be screened by inhabited space.						
	Shared parking is allowed.						
Entry Location	Front door shall be located on street or green.						
	Ground floor units shall have direct street access.						
<p>* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.</p>							

VI. LARGE COMMERCIAL

CEDAR CREST - DESIGN STANDARDS

Non-residential buildings, not including industrial or warehouse uses, that are greater than 20,000 sq. ft. Typical types include single story retail, or multiple story institutional, or office buildings. "Big Box" retail is included in this category.

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	N/A	0.5 acre lot size	0.5 acre lot size	0 feet min.	10 feet min. 30 ft. min. adjacent to residential	20 feet min. 30 ft. min. adjacent to residential	20 ft. min.

Building Criteria	Building Height	Separation Between Building on Same Lot
	Heights shall not be more than 2 stories . 20 foot maximum story height.	N/A

Encroachments
For non-retail buildings, 60% of lot frontage must have building within 20' of min. setback. For retail buildings, there is no frontage requirement.

Building Materials
Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front. Architectural CMU is allowed as an accent. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
Glazing: Minimum 75% VT ground floor, 50% upper floors
Materials not listed here shall be subject to review by the DRC.

Parking
Min. parking ratio: 2 spaces/1000 sq ft.
1 space/1000 sq ft. reduction for development within a 1/4 mile of transit stops.
Shared parking is allowed.

Entry Location
Front door shall be located on parking, street or green.
Ground floor units shall shall have direct street access.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.

VII. LIGHT INDUSTRIAL

CEDAR CREST - DESIGN STANDARDS

Industrial/ R&D buildings are a non-residential building type housing research and development, light production, warehousing and distribution uses, fabrication, lab, and related activities.

Lot Criteria	Lot Coverage	Lot Frontage	Lot Depth	Front Setback	Side Setback	Rear Setback	Corner Setback
	50% max.	0.5 acre min.	0.5 acre min.	20 feet min.	0 feet min.	0 feet min.	Corner lots are considered to have two front sides

Building Criteria	Building Height	Separation Between Building on Same Lot
	Heights shall not be more than 2 stories. 20 foot maximum story height.	N/A

Encroachments

Building Materials
Siding: Brick, cut stone, stucco, painted or stained clear wood boards/siding, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards, Concrete, GFRC, Terra Cotta, glass curtainwall or store front. Architectural CMU is allowed as an accent. Plywood is not allowed.
Roofing: Built-up roofing with parapet, architectural shingles, metal shingles, standing seam metal or cement, wood shingles, clay or slate tile are preferred.
Roofs shall use flat (with or without parapet), gable, gambrel, hip, shed, or mansard forms.
Glazing: Minimum 75% VT ground floor, 50% upper floors
Materials not listed here shall be subject to review by the DRC.

Parking
Min. parking ratio: 2 spaces/1000 sq ft. (based on building occupancy).

Entry Location
Front door shall be located on street or green.
Ground floor units shall shall have direct street access.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.

A. VILLAGE & NEIGHBORHOOD CENTER STREETS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	The public domain of neighborhood and village center streets is characterized by urban hardscape qualities and bounded by ground floor uses that are typically commercial - either retail or office. Trees are generally planted in tree grates in sidewalks and shrubs, flower, and other plants are located in planting containers such as pots, boxes or raised seating planters. Parking is encouraged on both sides of village and neighborhood center streets and may be angled, reverse angled, parallel, or perpendicular.
Landscaping	Street tree spacing along neighborhood and village center streets shall be consistent within individual blocks.
	Street trees shall be located in tree grates and integrated into the village center sidewalk systems.
	Shrubs, hedges, and grasses in street planters within 10 feet of the back of street curb shall not exceed 30 inches in height in order to preserve visual connections from sidewalk to street.
Fencing	All service areas shall be screened from the public domain with opaque fences or walls.
	Fences and walls shall match associated architecture in materials and style.
	Sidewalk dining fences shall be visually nonobtrusive and shall not exceed 3 feet in height.
	Fencing used as screens may be as tall as necessary to perform their function.
Lighting	Lighting standards to meet Eastern Summit County standards.
	Light levels shall be conducive to pedestrian comfort and safety.
Outdoor Furniture	Transit stops shall reflect the community architectural character and be the same throughout the entire community in order to establish their identity and legibility.
	Outdoor furniture shall reflect community character in materials, style, and color.
Drainage	

B. HOYTSVILLE ROAD

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Hoytsville Road is intended to be a thoroughfare suitable for higher intensities related to and supportive of commerce. Parallel and/or angled parking can be used along with narrow lanes appropriate for a commercial environment. Hoytsville Road will encourage less frequent curb cuts and clustering of units and other uses to concentrate access points along the road corridor.
Landscaping	Street tree spacing along Hoytsville Road shall be consistent within individual blocks.
	Street trees shall be located in tree grates and integrated into the village center sidewalk systems.
	Shrubs, hedges, and grasses in street planters within 10 feet of the back of street curb shall not exceed 30 inches in height in order to preserve visual connections from sidewalk to street.
Fencing	All service areas shall be screened from the public domain with opaque fences or walls.
	Fences and walls shall match associated architecture in materials and style.
	Sidewalk dining fences shall be visually nonobtrusive and shall not exceed 3 feet in height.
	Fencing used as screens may be as tall as necessary to perform their function.
Lighting	Lighting standards to meet Eastern Summit County standards.
	Light levels shall be conducive to pedestrian comfort and safety.
Outdoor Furniture	Transit stops shall reflect the community architectural character and be the same throughout the entire community in order to establish their identity and legibility.
	Outdoor furniture shall reflect community character in materials, style, and color.
Drainage	

C. SPRING CANYON ROAD

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Spring Canyon Road is intended to be a local, slow-movement thoroughfare suitable for low density environments. Spring Canyon Road is rural in character, at times without curbs or striping. In instances where Spring Canyon Road abuts an identified place type it will be required to take on the design characteristics of said place type.
Landscaping	Permanent landscaping should include low water and drought tolerant materials which will blend with the natural surroundings.
	Irrigation is not required.
	In instances where Spring Canyon Road abuts an identified place type it will be required to take on the design characteristics of said place type.
Fencing	In instances where Spring Canyon Road abuts an identified place type it will be required to take on the design characteristics of said place type.
Lighting	Lighting standards to meet Eastern Summit County standards.
	Only low level lighting for pedestrian safety is allowed along permanent gravel roads and lanes.
Outdoor Furniture	In instances where Spring Canyon Road abuts an identified place type it will be required to take on the design characteristics of said place type.
Drainage	

D. CREAMERY LANE

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Creamery Road is intended to be a local, slow-movement thoroughfare suitable for low to moderate density environments. Creamery Road is more rural in character, and flexible in the types of public frontages it will support. In instances where Creamery Road abuts an identified place type it will be required to take on the design characteristics of said place type.
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Landscaping	In instances where Creamery Road abuts an identified place type it will be required to take on the design characteristics of said place type.

Fencing	In instances where Creamery Road abuts an identified place type it will be required to take on the design characteristics of said place type.

Lighting	Lighting standards to meet Eastern Summit County standards.
	Light levels shall be conducive to pedestrian comfort and safety.

Outdoor Furniture	In instances where Creamery Road abuts an identified Place Type it will be required to take on the design characteristics of said place type.

Drainage	

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E. BOULEVARDS

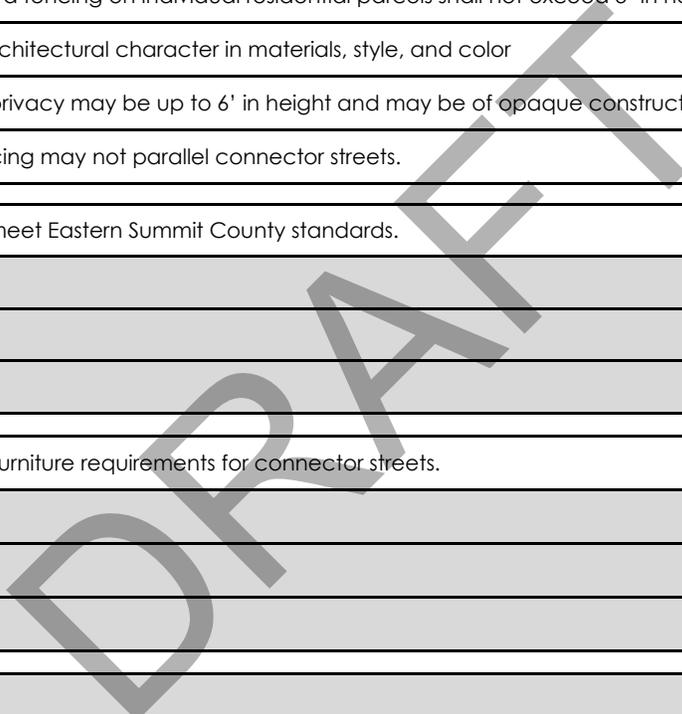
CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Boulevards are community streets that incorporate the use of planted or programmed medians to separate traffic flow direction and provide a pleasant driving experience and reduce crossing distances for pedestrians and other forms of non-automobile mobility. Medians on boulevards may be 20' or more in width. Parking is encouraged on both sides of boulevards and may be angled, reverse angled, parallel, or perpendicular.
Landscaping	Medians shall be primarily planted with native/drought tolerant vegetation.
	Active recreation areas may be located in boulevard medians and may be planted with irrigated drought tolerant grasses and ornamental species.
	Boulevards may be planted with tall tree species that can act as windbreaks.
	Street tree spacing along boulevards shall be consistent within individual blocks.
	Tree lawns between sidewalk and street edge shall be drought tolerant grasses, or low, durable groundcovers. Tree lawn landscape treatments shall be consistent within individual blocks and across streets.
	Constructed wetlands, including open water areas, are allowed in boulevard medians for the treatment and retention or detention of storm water.
Fencing	Constructed wetlands, including open water areas, are allowed in boulevard medians for the treatment of stormwater
	Fencing shall reflect architectural character in materials, style, and color.
	Fencing for rear yard privacy may be up to 6 feet in height and may be of opaque construction.
	Rear yard privacy fencing that parallels boulevards shall be of consistent materials, color, height, and style.
	Since architecture fronts on boulevards, there are no sound walls and/or development walls.
	No fencing in boulevards is allowed other than service screening and safety fencing.
Lighting	Lighting standards to meet Eastern Summit County standards.
	Only low level lighting for pedestrians safety is allowed along pathway and trail alignments within boulevard medians.
Outdoor Furniture	Outdoor furniture shall reflect community character in materials, style, and color.
	Transit stops shall reflect the community architectural character and be the same throughout the entire community in order to establish their identity and legibility.
Drainage	Central medians may be used for flood conveyance or biofiltration purposes, trails, and other forms of recreation.

F. CONNECTOR STREETS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Connector Streets carry the primary through-traffic loads and function as collector streets in the plan. Traffic and parking lanes are a few feet wider so weave movements are not necessary when parking on both sides of this street type. Parking is encouraged on both side sides of connector streets.
Landscaping	<p>Street tree spacing along local streets shall be consistent within individual blocks.</p> <p>Tree lawns between sidewalk and street edge shall be drought tolerant grasses, or low, durable groundcovers. Tree lawn landscape treatments shall be consistent within individual blocks and across streets.</p> <p>Trees must be drip irrigated.</p>
Fencing	<p>Front yard and side yard fencing on individual residential parcels shall not exceed 3' in height</p> <p>Fencing shall reflect architectural character in materials, style, and color</p> <p>Fencing for rear yard privacy may be up to 6' in height and may be of opaque construction.</p> <p>Rear yard privacy fencing may not parallel connector streets.</p>
Lighting	<p>Lighting standards to meet Eastern Summit County standards.</p>
Outdoor Furniture	<p>There are no outdoor furniture requirements for connector streets.</p>
Drainage	



G. LOCAL STREETS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Local streets form the primary vehicular and pedestrian system within neighborhoods. Local streets shall be planted with street trees. On-street parking is encouraged on local streets.
Landscaping	Street tree spacing along local streets shall be consistent within individual blocks.
	Tree lawns between sidewalk and street edge shall be drought tolerant grasses, or low, durable groundcovers. Tree lawn landscape treatments shall be consistent within individual blocks and across streets.
	Trees must be drip irrigated.
Fencing	Front yard and side yard fencing on individual residential parcels shall not exceed 3' in height
	Fencing shall reflect architectural character in materials, style, and color
	Fencing for rear yard privacy may be up to 6' in height and may be of opaque construction.
	Rear yard privacy fencing may not parallel connector streets.
Lighting	Lighting standards to meet Eastern Summit County standards.
Outdoor Furniture	There are no outdoor furniture requirements for connector streets.
Drainage	Right-of-way from curb to crown may be used to flow stormwater. Curbside rain gardens are permissible.

H. REAR LANES or ALLEYS

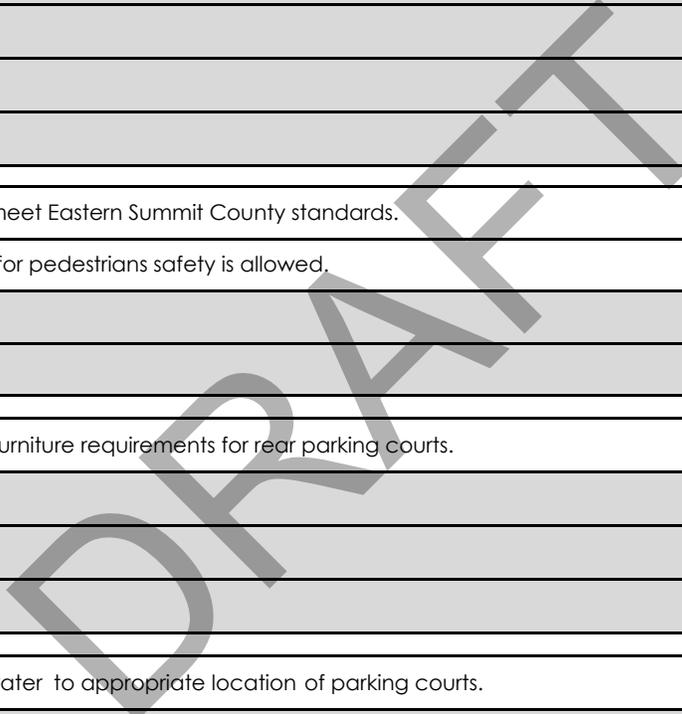
CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Rear lanes or alleys are public rights-of-way or courtyards that are narrower than local streets and allow vehicular access to rear yards and garages and accommodate city services such as garbage collection and emergency response. Lane adjacent parking may only occur outside of public rights-of-way within parking courts if available or on 20' driveways and garages. The standard lane right-of-way is 20' wide with 16' of concrete pavement. Lanes, needing to accommodate public safety access, must be 20' of concrete pavement in a 24' right-of-way and are only necessary when block depths exceed 300' from right-of-way to right of way.
Landscaping	Landscape plantings may be used to give visual relief to alleys.
	Planting area must be at least four (4') in depth to accommodate the placement of shoveled snow.
	Planting areas must be drip irrigated.
Fencing	Fencing shall reflect architectural character in materials, style, and color.
	Fencing for rear yard privacy may be up to 6' in height and may be of opaque construction.
	All service areas shall be screened from the public domain with opaque fences or walls.
	Fencing used to screen service areas may be as tall as necessary to perform their function.
Lighting	Lighting standards to meet Eastern Summit County standards.
Outdoor Furniture	There are no outdoor furniture requirements for rear lanes or alleys.
Drainage	Right-of-way design with inverted crown to flow stormwater to drain or street curb.

I. REAR PARKING COURTS

CEDAR CREST OVERLAY - DESIGN STANDARDS

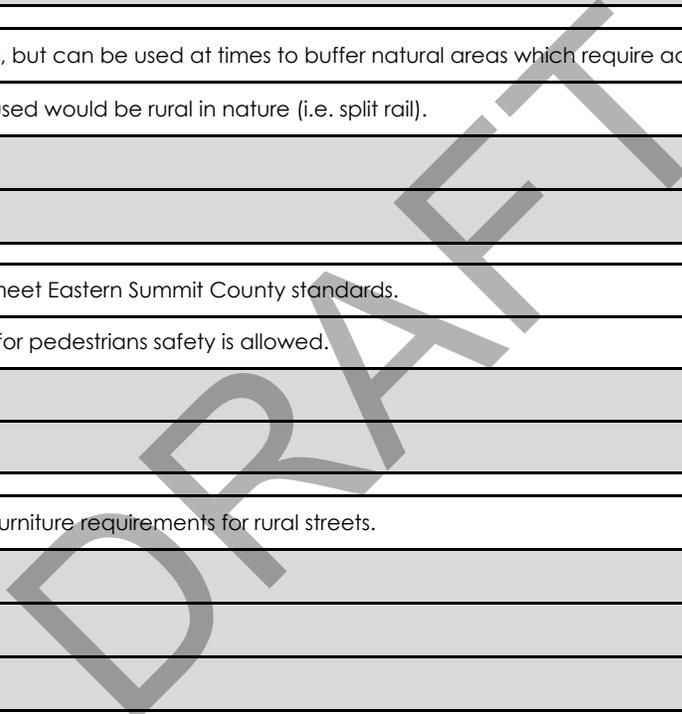
Description	Rear parking courts are the beginning and end point for automobiles within the circulation system. These areas are for providing parking, internal to blocks, where the parking court is shielded from public view by buildings. Rear parking courts can be found utilizing lot types that allow for building walls between the street and the parking court.
Landscaping	Landscaping primarily will consist of foundation plantings which are native/drought tolerant vegetation.
	Foundation plantings must be drip irrigated.
Fencing	
Lighting	Lighting standards to meet Eastern Summit County standards.
	Only low level lighting for pedestrians safety is allowed.
Outdoor Furniture	There are no outdoor furniture requirements for rear parking courts.
Drainage	Design will flow stormwater to appropriate location of parking courts.



J. RURAL STREET

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Rural streets are intended to be utilized as the upgrade opportunity for gravel roads which need to accommodate growing traffic volumes, and conditions where stormwater management can include directly adjacent natural areas. Rural streets have an inverted asphalt surface with a concrete edge that will allow for sheet flow into adjacent natural areas allowing for light imprint solution to storm water management. No curb and gutter is required. Rural street cross section can be combined with other thoroughfare types when natural areas exist on one side only.
Landscaping	Landscaping will account for transition from street edge to the natural areas utilizing native/drought tolerant vegetation.
	Irrigation is not required.
Fencing	Fencing is not required, but can be used at times to buffer natural areas which require added protection.
	Fencing that may be used would be rural in nature (i.e. split rail).
Lighting	Lighting standards to meet Eastern Summit County standards.
	Only low level lighting for pedestrians safety is allowed.
Outdoor Furniture	There are no outdoor furniture requirements for rural streets.
Drainage	Storm water to flow from street to natural areas.



K. GRAVEL ROADS and LANES

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Gravel roads and lanes are utilized to maintain the rural characteristics of areas that will maintain their current state. They may also be utilized for purposes of providing light imprint infrastructure for areas of development which will deliver a low intensity pattern. Gravel roads may also be used as part of an incremental strategy for providing secondary access to developing cluster and neighborhood place types. Permanent development shall not directly abut gravel roads and lanes.
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Landscaping	Landscaping shall only be required in situations where gravel roads and lanes are being delivered as light imprint infrastructure. Any temporary or incremental use does not require permanent landscaping.
	Permanent landscaping should include low water and drought tolerant materials which will blend with the natural surroundings.
	Irrigation is not required.

Fencing	Vinyl and chain link fencing are prohibited.

Lighting	Lighting standards to meet Eastern Summit County standards.
	Only low level lighting for pedestrian safety is allowed along permanent gravel roads and lanes.

Outdoor Furniture	There are no outdoor furniture requirements for rural streets.

Drainage	Light imprint swales shall be utilized for stormwater collection.

 	
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L. TRAILS, WALKS, and BIKEWAYS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	The multi or single use trail, walk and bikeway system flow through all of the landscape or place types in the community. Trails and their associated furnishing shall meet the landscaping, fencing, lighting, and outdoor furniture requirements for each landscape or place type.
Landscaping	Bikeways located on streets shall meet <u>NACTO Standards</u> at time of construction
	Tree plantings along bikeway alignments in open space areas must be set back from pavement edge a minimum of 4'.
	Trails and bikeways may be a combination of hard paving and soft paving to appeal to a diverse group of trail users such as road and mountain bike users as well as runners.
	Separate trail systems are allowed in open spaces and parks for incompatible uses such as hiking, horseback riding, and cycling.
	Walk trails in natural areas may be as narrow as 4' and have a soft surface such as pea gravel, sand, crusher fines or bark mulch.
Fencing	Fencing near trails shall be offset at least 4' from edge of trail surface.
	Fencing style shall match the requirements for the landscape or place type where the trail is located.
	Vinyl and chain link fencing are prohibited.
Lighting	Lighting, if provided shall match the style requirements for the landscape or place type where the trail is located and meet the Eastern Summit County standards.
Outdoor Furniture	Furniture style shall match requirements for the landscape or place type where the trail is located.
	Bench seating shall be located along walking trails and at civic nodes.
Drainage	Soft trails shall be constructed to divert water and prevent erosion.

M. PARKING and ACCESS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Parking areas within the community shall be screened with landscaping, fencing, or both. Landscape treatments for parking areas should be compatible with the surrounding landscape type in order to fit as seamlessly as possible into the community structure. The intent of landscape and screening efforts is to minimize the visual presence of asphalt and cars and to reduce heat islands in the community.
Landscaping	Tree planting shall be planted in a grid pattern to maximize shade, enhance the parking experience, and reduce the visual impact of the parking area.
	In areas where parking abuts a street, a minimum landscape buffer zone of 10' is required between the parking area and the parking area side of the street sidewalk
	Buffer planting area planting shall match the surrounding landscape types.
	Small parking areas may be allowed for access to public trails and parks.
	On-street angled, reverse angled, perpendicular, and or parallel parking is allowed on Village and Neighborhood center boulevards, connector streets and local streets.
	Parallel parking is allowed on neighborhood streets, but not allowed on rear lanes.
Fencing	Fencing used to screen parking shall reflect the surrounding landscape type in materials, style, and color
	Fencing or walls shall be used when landscaping does not provide year round screening.
	Vinyl and chain link fencing are prohibited.
Lighting	Lighting standards to meet Eastern Summit County standards.
Outdoor Furniture	
Drainage	Bio-swales may be used between parking rows where possible and planted with grasses and shrubs suited to storm water treatment.

N. TRAFFIC CALMING

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	A variety of traffic calming and control devices may be employed in the community to slow traffic, increase pedestrian safety, and increase traffic flow efficiency. Traffic calming devices include traffic circles, bulb-outs, and raised intersections. Traffic control mechanisms may include roundabouts, couplets, signals, and signs.
Landscaping	Bulb-outs at intersections and pedestrian crossings shall be planted with street trees. Trees shall be pruned to ensure driver visibility consistent with sight triangle guidelines.
	Plantings in traffic calming areas may be native or drought tolerant plants or irrigated ornamental plants. Planting types should reflect the surrounding placetypes.
	Shrub and grass plantings in traffic calming areas shall not obstruct views within a range of 3-8' high
Fencing	No fencing shall be allowed in traffic calming areas.
Lighting	Lighting standards to meet Eastern Summit County standards.
	Accent lighting may be used at traffic calming areas to ensure pedestrian safety.
Outdoor Furniture	Outdoor furniture shall reflect community character in materials, style, and color.
Drainage	Constructed wetlands for the treatment and retention or detention of storm water are allowed in traffic calming areas.

A. RIPARIAN / STREAM

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	The riparian / stream zone is located along the natural drainage areas. The zone will be characterized by stream beds and basins that will flow and fill during storm events and will be enhanced with drought tolerant grasses and shrubs. Existing riparian/stream areas may be enhanced and/or restored to increase biodiversity and create wildlife habitat. Areas outside the immediate drainage corridor may be used as irrigated park lands. The corridor will be used for low impact human recreation and relaxation. The corridor may also accommodate wildlife movement and provide habitat for small mammals and birds.
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Landscaping	Riparian vegetation shall predominate near the constructed stream beds if it can be supported by existing groundwater or nuisance runoff conditions.
	Native or drought-tolerant vegetation that is conducive to creating diverse wildlife habitat shall be used when revegetating disturbed areas within this zone.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
	Areas outside of the direct stream bed may be used as irrigated parkland.
	Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.
Native and drought-tolerant plants may require temporary irrigation to become established.	

Fencing	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
	Fencing within the corridor should not impede the movement of wildlife through it.
	Fencing shall reflect the landscape character of this zone in materials, style, and color. Fencing should recede into the landscape and not be visually dominant.

Lighting	Lighting may occur only along trails/pathways for safety purposes and shall meet Eastern Summit County Standards
	Only low-level lighting with cutoffs is allowed in the riparian/stream zone. Cut-offs protect adjacent uses from light source spillage and protect the night sky from light pollution.

Outdoor Furniture	Outdoor furniture shall reflect the landscape character of this zone in materials, style, and color. Outdoor furniture in irrigated parkland areas should match neighborhood park furniture.
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Drainage	Areas may be used to both convey and store storm water runoff.
	Any modification to native slopes shall be graded to reflect natural drainage patterns and be built to enhance visual character of slopes and withstand erosion.

 	
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B. MEADOW

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Meadows are natural areas which are meant for reservation of public access with protections in place in order to preserve the natural habitat for existing plant and animal inhabitants.
Landscaping	Landscaping applications are intended to restore disturbance along edges of development while finding opportunities to enhance existing native conditions where appropriate.
	Light imprint, low impact plant materials. Tree clusters can also be appropriate.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
Fencing	Fencing may be used to assist in defining the edge of where human engagement is deemed appropriate.
	Primary materials for any fencing associated with a meadow must consist of natural materials. Man-made materials may be considered of supportive uses.
	Vinyl and chain link fencing are prohibited.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
Lighting	No lighting in meadows.
Outdoor Furniture	No outdoor furniture requirements.
Drainage	Any modification to native slopes shall be graded to reflect natural drainage patterns and be built to enhance visual character of slopes and withstand erosion.

C. NATIVE HILLSIDES

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Nature corridors are linear space defined by place type boundaries. The space serves as connections for wildlife, horses, pedestrians, bicycles, etc. It can also serve as an extension of pedestrian and bicycle networks contained within place types. Nature corridors may be enhanced and/or restored to increase biodiversity and create wildlife habitat. Nature corridors are informal space in design and engagement that also serves in creating a buffer between natural area and areas of development.
Landscaping	Existing native grasses and shrubs shall predominate in the native hillside zones. Manicured areas may line gravel hiking and mountain biking trails as well as asphalt or concrete multi-purpose trails in these areas.
	Tree species adapted to local environmental conditions and slope aspects may be used on native hillsides for wildlife habitat, visual screening, and landscape variety.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the native hillsides .
	Irrigated, ornamental landscape treatments are allowed where this zone meets community entry streets and should reflect the landscape character of the adjacent communities. Constructed water features, including open water areas, are allowed at these entry points.
	Native or drought-tolerant plants may require temporary irrigation in order to become established.
Fencing	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
	Fencing should not impede the movement of wildlife amongst the hillsides.
	Fencing shall reflect the landscape character of this zone in materials, style, and color. Fencing should recede into the landscape and not be visually dominant.
Lighting	Lighting may occur only along trails or pathways for safety purposes.
	Only low-level lighting with cut-offs is allowed in these visually sensitive hillside zones. Cut-offs protect adjacent uses from light source spillage and protect the night sky from light pollution.
Outdoor Furniture	Outdoor furniture shall reflect the open space character in materials, style, and color.
Drainage	Any modification to native slopes shall be graded to reflect natural drainage patterns and be built to enhance visual character of slopes and withstand erosion.

D. NATURE CORRIDOR

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Nature corridors are linear space defined by place type boundaries. The space serves as connections for wildlife, horses, pedestrians, bicycles, etc. It can also serve as an extension of pedestrian and bicycle networks contained within place types. Nature corridors may be enhanced and/or restored to increase biodiversity and create wildlife habitat. Nature corridors are informal space in design and engagement that also serves in creating a buffer between natural area and areas of development.
Landscaping	<p>Landscaping applications are intended to restore disturbance along edges of development while finding opportunities to enhance existing native conditions where appropriate.</p> <p>Light imprint, low impact plant materials. Tree clusters can also be appropriate.</p> <p>If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.</p>
Fencing	<p>Fencing may be used to assist in defining the edge of where human engagement is deemed appropriate.</p> <p>Primary materials for any fencing associated with a nature corridor must consist of natural materials. Man-made materials may be considered of supportive uses.</p> <p>Vinyl and chain link fencing are prohibited.</p> <p>Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.</p>
Lighting	<p>No lighting in nature corridor .</p>
Outdoor Furniture	<p>No outdoor furniture requirements.</p>
Drainage	<p>Any modification to native slopes shall be graded to reflect natural drainage patterns and be built to enhance visual character of slopes and withstand erosion.</p>

E. AGRICULTURE

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Agricultural open space is intended to utilize existing or dedicated open spaces to maintain existing functional agricultural operations. This open space type provides a desired public benefit. If agriculture use is no longer desired or viable, the land must transition to another open space type.
Landscaping	Agricultural crops rather than native or ornamental plant materials.
	Agricultural irrigation techniques will be used.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
Fencing	Fencing must account for deterring animals, while also being appropriate to the nature of any adjacent place types.
	Vinyl and chain link fencing are prohibited.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
Lighting	No lighting requirements.
Outdoor Furniture	No outdoor furniture requirements.
Drainage	This area may also be used for storm water treatment and/or retention. Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.

F. RAIL-TO-TRAIL CORRIDOR

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	The rail to trail corridor is defined by the current rail-to-trail alignment. The corridor shall be predominantly planted with native or drought-tolerant plant species. Irrigated, ornamental plantings are allowed at entries to the community and along regional trail connections and trailheads. Plantings are intended to enhance aesthetics and to buffer surrounding uses from the highway.
Landscaping	Native, drought and salt tolerant vegetation shall predominate along the transportation corridor. Tree species adapted to local environmental conditions and slope aspects may be used for small game wildlife habitat, visual screening and landscape variety.
	Irrigated, ornamental landscape treatments are allowed at entries and intersections and should reflect the landscape character of the adjacent communities.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
	Native or drought-tolerant plants may require temporary irrigation in order to become established.
Fencing	Fencing shall reflect adjacent architectural character in materials, style and color including R.O.W. fencing and safety fencing.
	Vinyl and chain link fencing are prohibited.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
Lighting	Lighting style shall meet Eastern Summit County standards.
	Highway lighting should employ cutoffs to minimize light pollution and focus light on the highway.
Outdoor Furniture	Outdoor furniture shall reflect community character in materials, style, and color.
Drainage	This area may also be used for storm water treatment and/or retention
	Any modification to native slopes shall be graded to reflect natural drainage patterns and be built to enhance visual character of slopes and withstand erosion.

G. PARKWAYS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Parkways are wide open space corridors that are bounded by community streets. Parkways will be planted primarily with native or drought-tolerant plants. Irrigated, manicured active recreation areas and parks are allowed and encouraged. Parkways accommodate small game wildlife movement by linking habitat areas and enhance storm water management by retaining and detaining surface runoff in constructed wetlands. The community trail system utilizes parkways to link major open space components to key place types such as neighborhood and village centers.
Landscaping	Parkways may be used as vegetative windbreak spines. Vegetative windbreaks reduce wind velocities at ground level.
	Active recreation areas located within parkways may include irrigated turf grass play areas and ornamental plantings.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
	Shrubs and hedges in street side planters shall not exceed 30" high.
	Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.
	Native or drought-tolerant plants may require temporary irrigation in order to become established.
Fencing	No fencing in parkways is allowed other than service screening and safety fencing.
	Vinyl and chain link fencing are prohibited.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
Lighting	Lighting standards shall meet Eastern Summit County standards.
	Only low level lighting with cutoffs to ensure pedestrian safety is allowed along internal pathways and trails.
	Highway lighting should employ cutoffs to minimize light pollution and focus light on the highway.
Outdoor Furniture	Outdoor furniture shall reflect community character in materials, style, and color.
	Bench seating shall be located at convenient locations along trails and at civic nodes.
Drainage	This area may also be used for storm water treatment and/or retention

H. TRAILHEAD

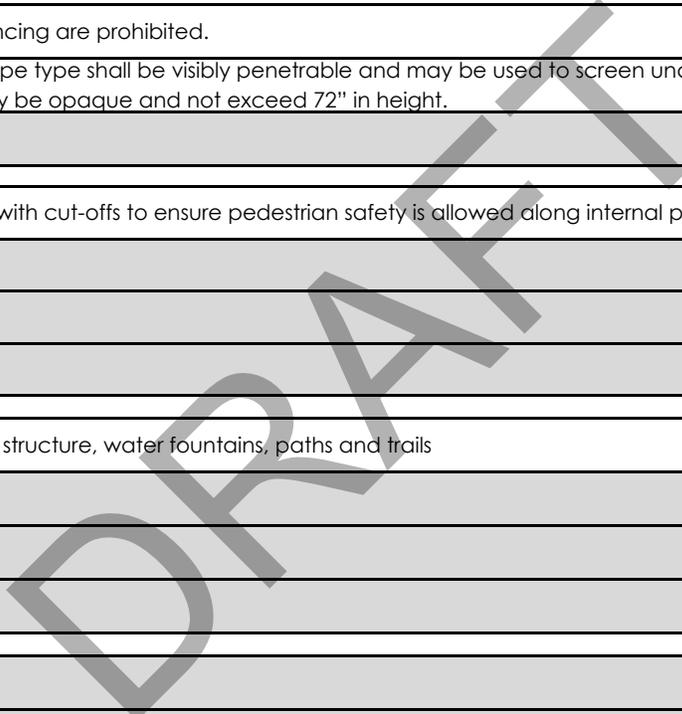
CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	<p>A trailhead is a designated public access point to a trail, often—but not always—located at its terminus points. The trailhead is typically a place where users begin or end their journeys and where they get oriented to the trail or trail network. Trailheads can act as the interface between trails and their adjacent communities. A trailhead tends to be a developed site, purposefully designed to provide amenities to trail users. Small area parking should be considered.</p>
Landscaping	<p>Trailhead landscaping can be more formalized since it serves as a transitional point between connector and nature trails.</p>
	<p>Light imprint, low impact plant materials. Tree clusters can also be appropriate.</p>
	<p>If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.</p>
Fencing	<p>Vinyl and chain link fencing are prohibited.</p>
	<p>Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.</p>
Lighting	<p>Only low level lighting with cut-offs to ensure pedestrian safety is allowed along internal pathways and trails.</p>
Outdoor Furniture	<p>Signage, benches, garbage receptacles, bathrooms, drinking fountains, picnic pavilions are all possible applications.</p>
Drainage	

I. PASEO

CEDAR CREST OVERLAY - DESIGN STANDARDS

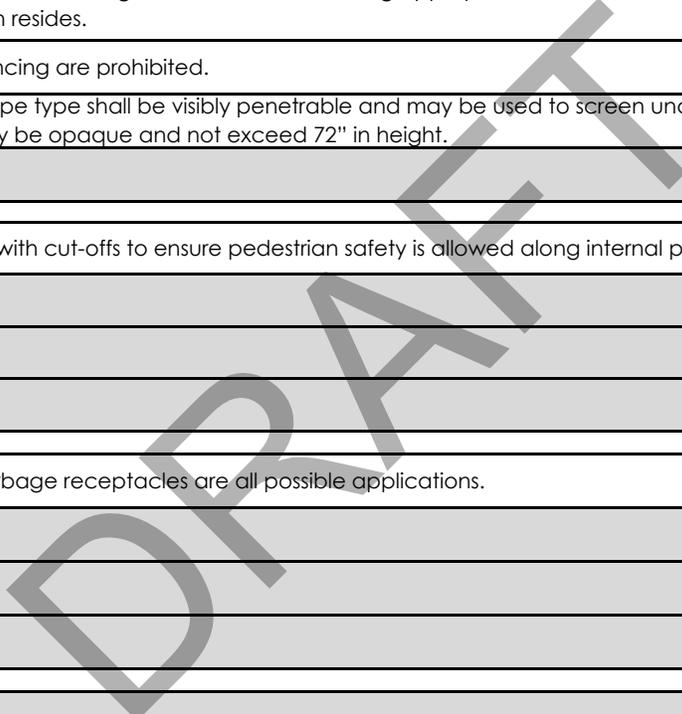
Description	Paseos are linear pedestrian corridors that are defined by homes fronting the space. Often includes passive activities as well as tot lots, community gardens, and neighborhood games.
Landscaping	Formal landscaping reflecting the character of the adjacent residential properties.
	Limited turf, shade trees, ornamental plantings.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
	Low flow and drip irrigation. Sprinkler heads when turf is used.
Fencing	Fencing along paseos may occur on private lots in the form of picket fencing.
	Vinyl and chain link fencing are prohibited.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.
Lighting	Only low level lighting with cut-offs to ensure pedestrian safety is allowed along internal pathways and trails.
Outdoor Furniture	Recreation, accessory structure, water fountains, paths and trails
Drainage	



J. COMMUNITY GARDEN

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Community gardens are spaces programmed specifically for gardening. Located in the center of a neighborhood to provide convenient and safe access, they can also be included in pocket parks or neighborhood parks.
Landscaping	<p>Landscaping applications are intended to frame the space between fencing and pedestrian paths. Inside fencing consists of aggregate pathways and raised planter boxes.</p> <p>Ornamental plantings.</p> <p>If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.</p>
Fencing	<p>Fencing must account for deterring animals, while also being appropriate to the nature of the place type in which the community garden resides.</p> <p>Vinyl and chain link fencing are prohibited.</p> <p>Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.</p>
Lighting	<p>Only low level lighting with cut-offs to ensure pedestrian safety is allowed along internal pathways and trails.</p>
Outdoor Furniture	<p>Signage, benches, garbage receptacles are all possible applications.</p>
Drainage	



L. POCKET PARKS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	<p>Pocket parks are generally no larger than 1/3 to 1/2 acre parks located throughout the neighborhoods and centers. These parks may also integrate into the other park and open space types. Pocket parks are organized around one or two distinct land uses and provide relaxation and recreation opportunities for community residents. Pocket parks may be mostly urban with hard paving and trees in tree grates or may be irrigated gardens. Commercial uses such as vending, retail kiosks, and food trucks are allowed in and around pocket parks subject to reasonable regulation by the Master Owners Association. This park type should have a public or private street along at least one edge and may not be located next to rear property lines.</p>
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Landscaping	<p>Pocket parks may include irrigated turf grasses and ornamental plantings.</p>
	<p>Landscape character should match scale and character of the neighborhood.</p>
	<p>If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.</p>

Fencing	<p>All service areas shall be screened with opaque fences or walls.</p>
	<p>Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.</p>
	<p>Fences and walls shall match associated architecture in materials and style.</p>
	<p>Privacy fencing may not abut parks</p>

Lighting	<p>Low-level pedestrian-scaled lighting along pathways/trails and at public facilities.</p>

Outdoor Furniture	<p>Outdoor furniture shall reflect community character in materials, style and color.</p>

Drainage	<p>May also be used for storm water treatment and/or retention. Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.</p>

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K. NEIGHBORHOOD PARKS

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Neighborhood parks are 1-2 acre parks located throughout the community in neighborhoods and centers. Neighborhood parks may share parking, open space, and other common amenities with neighborhood schools and churches. Commercial uses such as vending and retail kiosks and food trucks are allowed in neighborhood parks or adjacent neighborhood streets. This park type should have a public or private street along at least one edge and may not be located next to rear property lines.
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Landscaping	Neighborhood parks may include active or passive recreation areas of irrigated turf grasses and ornamental plantings.
	Landscape character should match scale and character of the neighborhood.
	If groundwater conditions allow, riparian trees may be planted to enhance or restore the riparian character of the existing stream corridor.
	Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.

Fencing	All service areas shall be screened with opaque fences or walls.
	Fencing used as screens may be as tall as necessary to perform their function.
	Fences and walls shall match associated architecture in materials and style.
	No chain link fencing allowed around schoolyards . Chain link fencing only allowed at active recreation ball fields for spectator safety.
	Fencing in this landscape type shall be visibly penetrable and may be used to screen undesirable views or adjacent land uses. Fencing may be opaque and not exceed 72" in height.

Lighting	Low-level pedestrian-scaled lighting along pathways/trails and at public facilities.

Outdoor Furniture	Outdoor furniture shall reflect community character in materials, style, and color.
	Bench seating shall be located at convenient locations along trails and at civic nodes.

Drainage	May also be used for storm water treatment and/or retention. Constructed wetlands, including open water areas, are allowed for the treatment and retention or detention of storm water.

* Regulation of items such as design character, building materials, architectural features, massing, etc. shall be governed by an architectural pattern book for the Cedar Crest Overlay.

M. SPECIAL USE

CEDAR CREST OVERLAY - DESIGN STANDARDS

Description	Covers a broad range of parks and recreation facilities oriented toward single purpose use. Special uses generally fall into three categories: Historic/Cultural/Social Sites (ex: historic downtown areas, performing arts parks, arboretums, ornamental gardens, indoor theaters, churches, public buildings and amphitheaters). Recreation facilities (i.e. either specialized or single-purpose facilities) fall into this category; for example, community centers, senior centers, hockey arenas, marinas, golf courses and aquatic parks. Frequently community buildings and recreational facilities are located within neighborhood parks and community parks.
Landscaping	
Fencing	
Lighting	
Outdoor Furniture	
Drainage	

DRAFT

Infrastructure Plan

(Attached)

DRAFT

UTILITY INFRASTRUCTURE SUMMARY

Cedar Crest Village Overlay

Prepared For Ivory Homes & Larry H. Miller Real Estate
September 2023



Utility Infrastructure Summary

Assumptions

This report is a summary of the backbone utility infrastructure needed for the 793 acres controlled by the IMG Hoytsville team (Controlled Land). It is assumed that the project will be developed to a gross density of 4 units per acre, or 3,172 units. This area is depicted on the Land use Map dated May 16, 2023, prepared by Hodges Design.

The backbone infrastructure will be planned to follow the Major Street Network also dated May 16, 2023, prepared by Hodges Design.

Sanitary Sewer

Collection

The new sanitary sewer system can be separated into two primary categories, collection, and treatment. An assessment of the proposed collection system is beyond the scope of this summary. It is expected that the Controlled Land will be separated into collection zones based on the Major Street Network and existing topography. Based on these constraints, it will be possible to identify flow paths and collection flows from the development areas to the Cedar Crest Water Reclamation Facility (WRF). At this point, it has been assumed that the available density has been evenly distributed across the Controlled Land. This will be updated as future land planning is defined.

Water Reclamation Facility

It is understood that buildout of the Controlled Land will occur over several decades with an approximate absorption of 100 units per year. With that understanding, it is proposed that the WRF used to treat sanitary sewer flows be constructed in phases. Current planning includes one WRF location. Exact phasing of the WRF will occur as the design of the system develops. The current plan for the system is to expand the capacity in increments that match 25% of the total buildout. While the treatment trains of the WRF will be phased, there are some facilities that will be sized to account for full buildout with phase 1. A primary goal of the WRF will be to reuse the effluent to the extent possible. It is understood that seasonal effluent will be discharged to the Weber River. This item is discussed further in the secondary water section of this report.

Alternative Treatment Option

As an alternative to the WRF a sewer trunk line to Coalville City is being explored. It is anticipated that this trunk line would follow the Rail Trail corridor from the location of the proposed WRF mentioned above north to Coalville City's existing WRF. Preliminary information indicates that the Coalville WRF has a current capacity of approximately 1,000 ERCs and the ability to be expanded to provide an additional 1,000 ERCs. It is unclear whether the Coalville WRF can be expanded beyond this 2,000 ERC capacity, but preliminary discussions are that it will be difficult. This difficulty combined with the large trunk line and pump station make this a backup option.

Drinking Water

Water Rights

Based on an analysis of the existing water rights and water shares we have identified a deficit of approximately 1,226 acre-feet of water for the project at build out under the current plan. As the land plan evolves and is finalized this number will continue to change. Currently, additional research is being completed to identify additional paper water associated with the project. In addition to properly accounting for the water, some reductions in required paper water could be expected if the project is successful in working with regulatory agencies to identify the correct water demand.

Water System Sizing

The Utah Division of Drinking Water (UDDW) defines minimum requirements for sizing water system infrastructure. These standards govern the following:

- Source facilities are required to serve for peak day demands (800 gpd/ERU) and annual water right demands (0.448 ac-ft/ERU)
- Storage facilities are required to serve average day demand (400 gallons/ERU) and fire flow.
 - Fire flow is governed by the International Fire Code (IFC). Fire flow will be required. It is anticipated that the fire flow demand will be higher in Zone 1. We propose to include 240,000 gallons of fire storage in each tank. This will allow the lower zone access to the fire storage in both tanks. This additional fire storage will be required for larger commercial and institutional uses. Fire flow storage requirements to be reevaluated as development plan progresses.
- Line Sizing: Line Sizing is based on system pressures for Peak Day, Peak Instantaneous, and Peak Day + Fire Flow.

Zone 1 has been designed to match the existing pressures provided by the Hoytsville Pipe Water Company (HPWC) system. This was done for two reasons:

- Analysis of the required system identified an upper zone service elevation of 5,960 ft. The bottom elevation (5,820 ft) of this zone matches well with the top elevation of the current HPWC zone.
- Matching these two zones allows for potential initial use of the HPWC system for the first year or two, and it will facilitate selling of water from one entity to the other.

Based on the elevations of the developable areas within the Controlled Land, the new water system will require two pressure zones. A rough approximation estimates that 2/3 of the drinking water usage will be in Zone 1 with the remaining 1/3 in Zone 2.

It is assumed that development can begin with temporary connections to HPWC, and limited new infrastructure is required for the first year. However, it should be noted that the existing HPWC system does not currently provide fire flow. A tank will be needed immediately if fire flow is expected. Further, HPWC has identified a list of deficiencies in their system that need to be corrected to provide service to additional connections. To provide continued development for the future, the following drinking water infrastructure items will be required:

- Source: There are two options for providing source water. The water system will either need to be supplied by groundwater wells or treated surface water. Adequate water rights will be required for either option. The current plan is to serve the Cedar Crest Water System with groundwater wells. It is anticipated that 3-4 12"-diameter wells will be needed to meet the source demand required by the current state minimum sizing standard. One of those fully equipped wells will be required in year 2.
- Treatment: If the source wells are shallow ground water wells it is likely that the water will need to be treated. As the investigation of the groundwater sources continues this determination will be made.
- Storage: Zone 1 Tank - Approximate Volume - 1.1 MG
- Transmission: An adequately sized transmission water line will be required to deliver water from the Zone 1 Tank to Meadow Village. The line will be sized for full buildout of Zone 1.

At buildout, the following drinking water system infrastructure will be required:

- Source: Remaining wells with well pump stations. One Zone 1 - Zone 2 booster pump station.
- Storage: Zone 2 tank - Approximate volume - 0.65 MG
- Transmission: Tank to usage transmission will be required from east to west and from north to south. The north to south transmission is primarily needed for Zone 2.

Secondary Water

System Description and Assumptions

One of the primary goals of the sanitary sewer WRF is to produce reuse water for the secondary system. Based on regulatory approvals, it should be possible to reuse the WRF effluent for irrigation. It will likely not be feasible to reuse all the WRF effluent. The secondary system will use water for approximately six months per year while the WRF will treat water year-round. It is anticipated that outdoor demands over and above flows met by the treated WRF effluent can be supplemented by the North Summit Pressurized Irrigation Company (NSPIC).

Another key goal of the secondary water system will be to conserve irrigation water to the extent possible. Waterwise landscaping, efficient irrigation design, native open space areas will all be key to protecting the water resource. As part of the design process, the development team will need to work with the Utah Division of Water Rights to clearly define actual annual water demands based on conservation.

It is anticipated that the secondary water system can be initially fed with connection(s) to the existing NSPIC system. Available pressures should be sufficient for lower areas within Zone 1. This temporary supply plan will need to be coordinated with NSPIC as the development plan progresses.

The required infrastructure will be similar to the drinking water system. To supply the secondary water system the following will be required:

- Source: Anticipated that source will be provided by treated WRF effluent (booster pump station required) and supplemented by a connection to the NSPIC. Additionally, a third booster pump station from Zone 1 - Zone 2 will be required.
- Storage: Zone 1 and Zone 2 Ponds - The minimum volume of each pond is ~ 0.6 MG. There may be operational value in oversizing the ponds to provide additional storage for the system. Of note, there is an existing pond located on the former Melvin Brown parcel (Parcel Number NS-495). This pond appears to be at adequate elevation to serve Zone 1.
- Transmission: An adequately sized transmission system will be required to convey secondary water from the storage ponds to the distribution systems in each zone.

Storm Drain

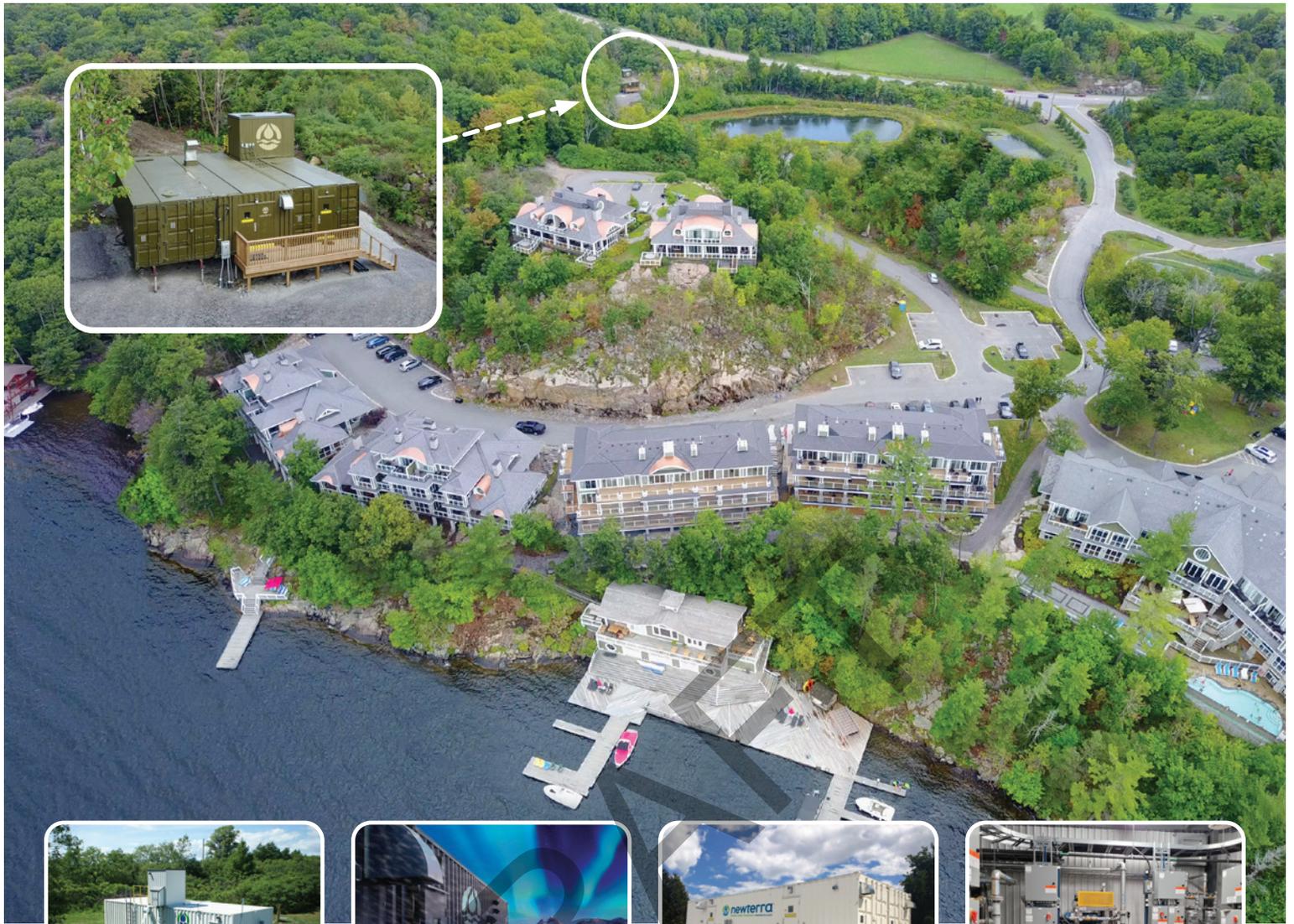
Large regional storm water management facilities are not anticipated. Rather, it is anticipated that each development area will provide state required retention and county required detention with releases to existing drainages that cross I-80. These release rates should match predevelopment release rates from each site. Open space corridors should be provided along the existing major drainages. This will allow for the existing offsite flows to continue to pass through the project. Outfall upgrades and enhancements to existing storm water outfall locations are expected. Site specific water quality BMPs are also anticipated.

Roadway Infrastructure

Initially, offsite roads are not anticipated to be needed to support the development. Utility corridors may be required, but fully developed offsite roads are not anticipated for the first few years. There are areas throughout the Cedar Crest overlay zone that are disconnected from other overlay zone parcels. It is not clear how connectivity will be provided across nonparticipating parcels. Roads across unowned parcels are not included in this summary. It is anticipated that this issue will be further developed as the planning phase continues. The largest backbone infrastructure cost associated with roadway infrastructure is the location of a new I-80 interchange.

Appendix A - Master Plan

DRAFT



Clear³ Modular Decentralized Wastewater Systems

Scalable, cost-effective solutions for new development projects and existing wastewater treatment plant retrofits



Newterra Pre-Fabricated Modular Systems

Newterra is leading the way with decentralized wastewater solutions that help reduce project costs with a sustainable treatment approach.



The Right Solution for a Wide Range of Projects

Newterra's Clear³ innovative wastewater treatment systems are ideally suited to many types of projects, including:

- Greenfield & Retrofit Projects
- Existing Infrastructure Tie-ins
- Municipal WWTPs
- New Residential Developments
- Hotels, Resorts & Restaurants
- Campgrounds & Trailer Parks
- Mobile Home Communities
- Off-Grid & Remote Municipal Plants
- New Commercial Developments
- Service Area Expansions
- LEED® Certified & Green Buildings
- Schools & Hospitals
- Golf Courses
- Sports & Recreational Facilities
- Highway Rest Areas

Self-Contained and Enclosed Systems

Clear³ modular self-contained units can be clad with a variety of materials to blend in with surrounding structures, or integrated into new or existing treatment structures. They are built in our **MET-certified manufacturing facility**.

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Developers and small communities across North America are now choosing decentralized wastewater treatment systems; a practical, affordable – and simple alternative to the traditional "bricks & mortar" municipal wastewater systems.



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Pre-tested and shipped ready for easy and quick on-site commissioning



Skid-Mounted Systems

Pre-made components can be added to new or existing structures



Custom Systems & Structure

Skidded components are designed and pre-fabricated for on-site assembly



Designed To Grow As Your Development Grows

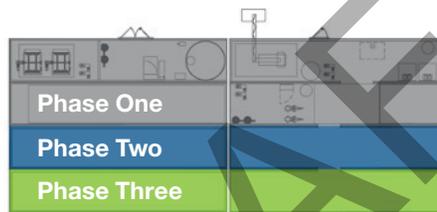
Add Infrastructure with Each Phase of a Project

Our modular membrane bioreactor (MBR) systems are scalable – allowing treatment infrastructure to be added in stages as capacity requirements grow.

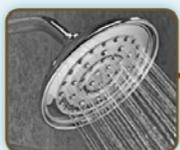
Clear³ systems offer many unique features such as:

- Resiliency to flow and loading fluctuations
- Extremely space efficient – reducing land requirements and providing more options of where the plant can be located
- Can be loose-shipped or pre-manufactured
- Options of renting or leasing to minimize initial capital expenditures
- Technology is well-suited for retrofitting conventional BNR and ENR plants to comply with higher regulatory standards or expand capacity
- MBR modules can be easily incorporated into existing clarification tanks – more than tripling plant capacity within the current footprint

“Modular systems offer small communities cost-effective treatment infrastructure”



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UV Disinfection (if required)



Or Direct Discharge



Compact, Operator-Friendly & Sustainable

Clear³ – Designed & Built for Extremes & Minimal Maintenance

Newterra Clear³ MBR systems are **field-proven** in some of the most extreme conditions on the planet. Currently Newterra systems are **operating in extreme temperatures** ranging from -40°F to +104°F (40°C to +40°C) and operate in **high altitudes** of 13,125 ft. (4,000 m) on all continents.



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- Historical data analysis
- Accessible operation & maintenance manuals
- Informative how-to instructional videos in HD
- Troubleshooting guides & how-to videos
- Searchable system parts list
- Access to Newterra Service & Parts Teams
- Warranty statement, spare parts list, and service requests

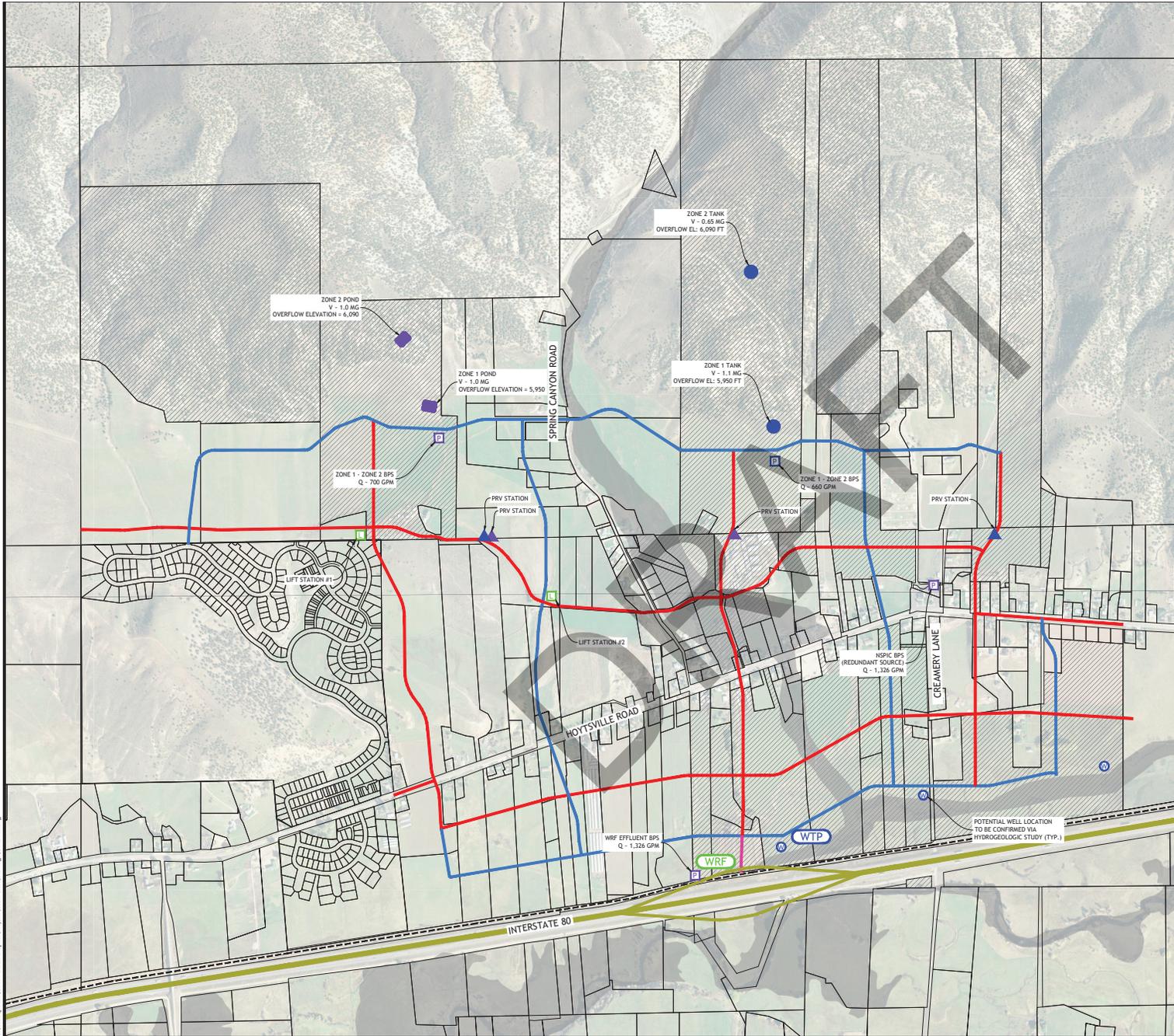
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- WATER RECLAMATION FACILITY
- PROPOSED TANK
- PROPOSED WELL
- PROPOSED BOOSTER PUMP STATION
- PROPOSED PRV
- WATER RECLAMATION FACILITY
- PROPOSED POND
- PROPOSED BOOSTER PUMP STATION
- PROPOSED PRV
- INTERSTATE FREEWAY
- FREEWAY APPROACH
- MAJOR CONNECTOR
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- NOTES:**
- "DEVELOPABLE" LAND IS CONSIDERED TO COINCIDE WITH CURRENTLY CULTIVATED LAND.
 - INFRASTRUCTURE SIZING BASED ON SERVICING IWC CONTROLLED CEDAR CREST LANDS, ONLY.

DISCLAIMER:
ARTIST RENDERING ONLY. PLAN MAY BE ALTERED, OR CHANGED AT ANY TIME. IT IS FURNISHED MERELY AS A CONVENIENCE TO AID YOU IN LOCATING THE LAND INDICATED HEREON WITH REFERENCES TO STREETS AND OTHER LAND. NO LIABILITY IS ASSUMED BY REASON OF ANY RELIANCE HEREON.

INFORMATION SHOWN ON THIS PLAN IS CREATED FROM GIS DATA PROVIDED BY UTAH AGRC. IT IS NOT CREATED FROM LAND SURVEY INFORMATION AND IS USED TO IDENTIFY THE GENERAL LOCATION OF THE FEATURES SHOWN.

Cedar Crest

Utility Infrastructure Summary

PROJECT:	
DRAWN BY:	NMM
REVIEWED BY:	PMI
REVISIONS:	
No. DATE	REMARKS

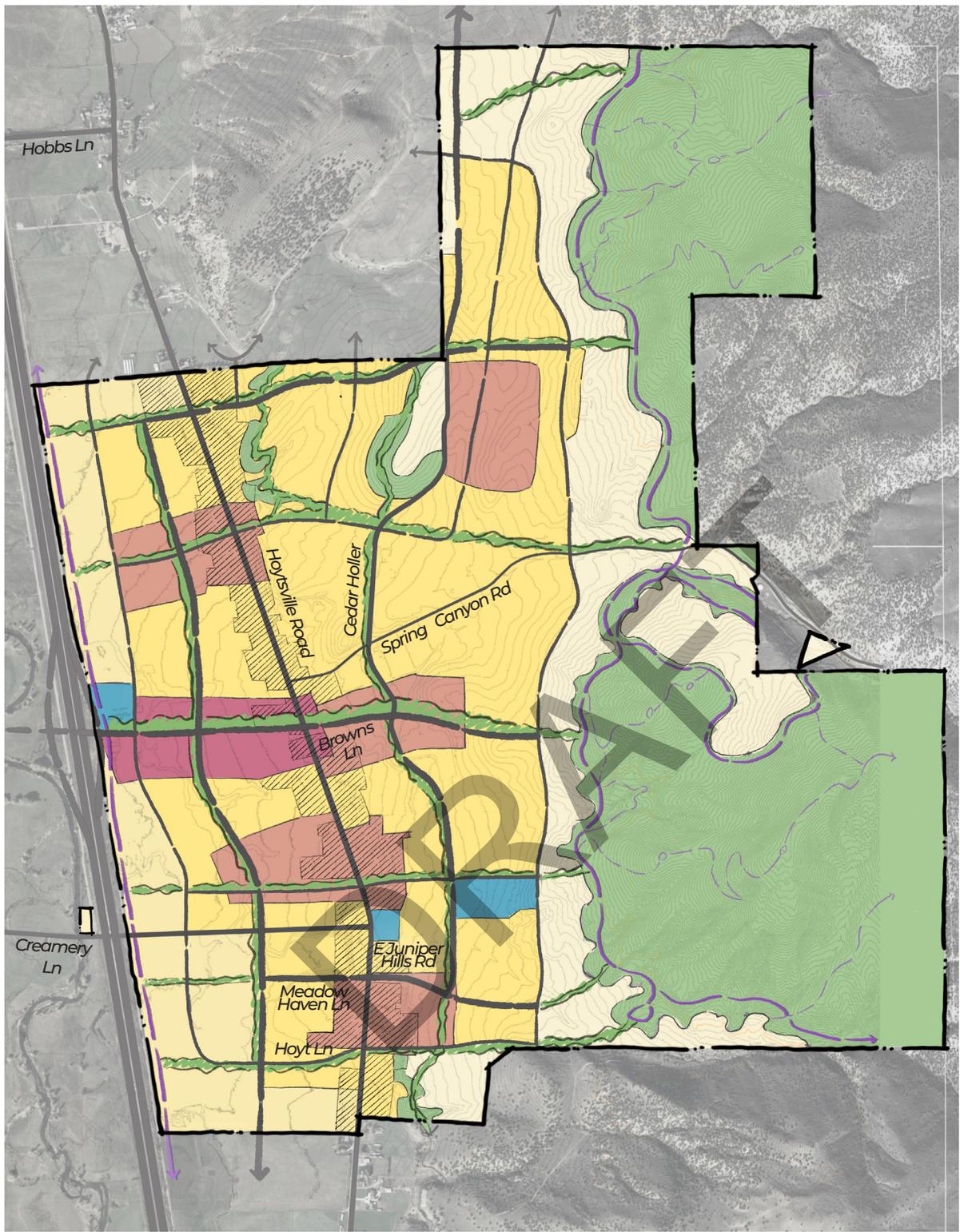
DATE: September 1, 2023

SHEET NUMBER: **MP-5**

Land Use Maps

(Attached)

DRAFT



LEGEND

- Village Center
- Neighborhood Center
- Neighborhood
- Meadow Clusters
- Hillside Clusters
- Civic
- Steep Slopes
- Existing and Proposed Roads



0 800' 1,600'

Community Structure Plan

30 August 2023

Cedar Crest Village - Frequently Asked Questions (FAQ's)

Questions	Responses
<p>How will the project maintain the small-town feel?</p>	<p>Hoytsville could be described as a one street farming settlement. In recent decades, small road spurs have been extended into the landscape as housing has replaced pasture land. A network of street connections that build off of the spurs will begin to organize the growth pattern into blocks that reflect the orderliness of Utah's original settlements and small rural Utah towns such as neighboring Coalville. Such blocks will be shaped by the edges of farms, the Little Weber, existing and familiar road experiences, and hillsides. As the community continues to add houses, the place will be identifiable a sister town of Coalville rather than a suburb.</p> <p>Our approach to rural town design integrates open fields of alfalfa or the smell of cattle or mink in the area, while learning from and incorporating the site planning and architecture of the original pioneer buildings. Agricultural uses can continue to operate until such time as landowners decide that they want to sell or develop their properties. The edges of neighborhoods are loose and are clustered toward the center so that the character of existing streets does not change. The open space is laced through the plan so that previously private meadow lands can be enjoyed by the community as parks and trails, and provide other forms of access and recreation. In this sense the plan is a roadmap for rural Utah town growth, places that are no longer anchored with productive farming. The plan sets up the introduction of amenities and services such as medical, elder care, food markets and eating establishments that don't currently exist.</p> <p>Most of the key design elements take their cues from the historic pioneer heritage in the cluster</p>

	<p>layout of buildings, the architectural design and the use of some street sections that include softer shoulders than the more suburban curb and gutter.</p>
<p>What is the timing/phasing of the project?</p>	<p>The project will be phased in a way to not exceed the capacities of sewer, water, and transportation infrastructure. One scenario is the development pattern illustrated in a presentation given to the planning commission in December 2022. Please see presentation on the project website https://www.cedarcresthoytsville.com/press-and-videos The project will develop over an extended period of time as dictated by infrastructure and market conditions. Full buildout of the project could take over 20 years.</p>
<p>What is the maximum number of potential houses based on the current zoning?</p>	<p>The current zoning is a mix of Light Industrial (LI), AG-5, and AG-10. The number of units that could be built in the area would be 334 units with a potential of 359 with the density bonus as calculated under Appendix B of the Eastern Summit County Development Code. If developed under current zoning, these few homes would be sprawling large-lot development at very high prices, very different from the planning outcomes desired by the original property owners that created the Cedar Crest Village Overlay in 2018.</p>
<p>What is the maximum number of potential houses based on the proposed density?</p>	<p>The ordinance contemplates 4 units per gross acre which if every area was built out at the maximum place type densities would result in 6,688 units. This calculation does not account for any natural land constraints or market conditions. Specific development plans will further refine the total number of units and a development agreement specific to the land and based on the guiding principles and design standards in the Cedar Crest Village Ordinance. These constraints will result in far fewer developed homes. The 4 units per acre in the current ordinance is down 20% from the original 5 units per acre as approved by the Cedar Crest Subcommittee.</p>

<p>How will the proposed density compare to nearby municipalities (Coalville, Henefer, Kamas, Francis, Oakley, etc.)</p>	<p>The Census Bureau¹ provides the following population estimates for 2022: Park City – 8,374 Coalville – 1,524 Kamas – 2,185 Francis – 1,722 Oakley – 1,599</p> <p>Mountainland Association of Governments (MAG) tracks the current population and predicts future population growth in Summit County cities and the county itself. Projections can be found at https://mountainland.org/mag-population-projections/. Unincorporated Summit County accounts for over 60% of the total population of county.</p>
<p>Have discussions be held with other entities (North Summit School District, Utah Department of Transportation, and the North Summit Fire District)?</p>	<ul style="list-style-type: none"> • The Cedar Crest Committee introduced the project to the North Summit School District Board in a board meeting on September 11, 2019. Further discussion was held with Superintendent Holmes in November 2023 and the North Summit School Board in January 2024. These helpful discussions will be ongoing to coordinate school needs and planning, and potential for technical education opportunities in construction trades, which could both educate tradesmen/women and facilitate affordable housing. • Representatives of Cedar Crest met with UDOT Director Carlos Braceras in July 2023 and MAG MPO Director LaNiece Davenport in September 2023. The Hoytsville interchange was added to Utah’s Unified Transportation Plan 2023-2050 as a future project under a Phase 3 Need. There are ongoing discussions to begin an Environmental Impact Study (EIS) for the interchange. The Cedar Crest team welcomes opportunities to work with Summit County and Utah leaders to seek to

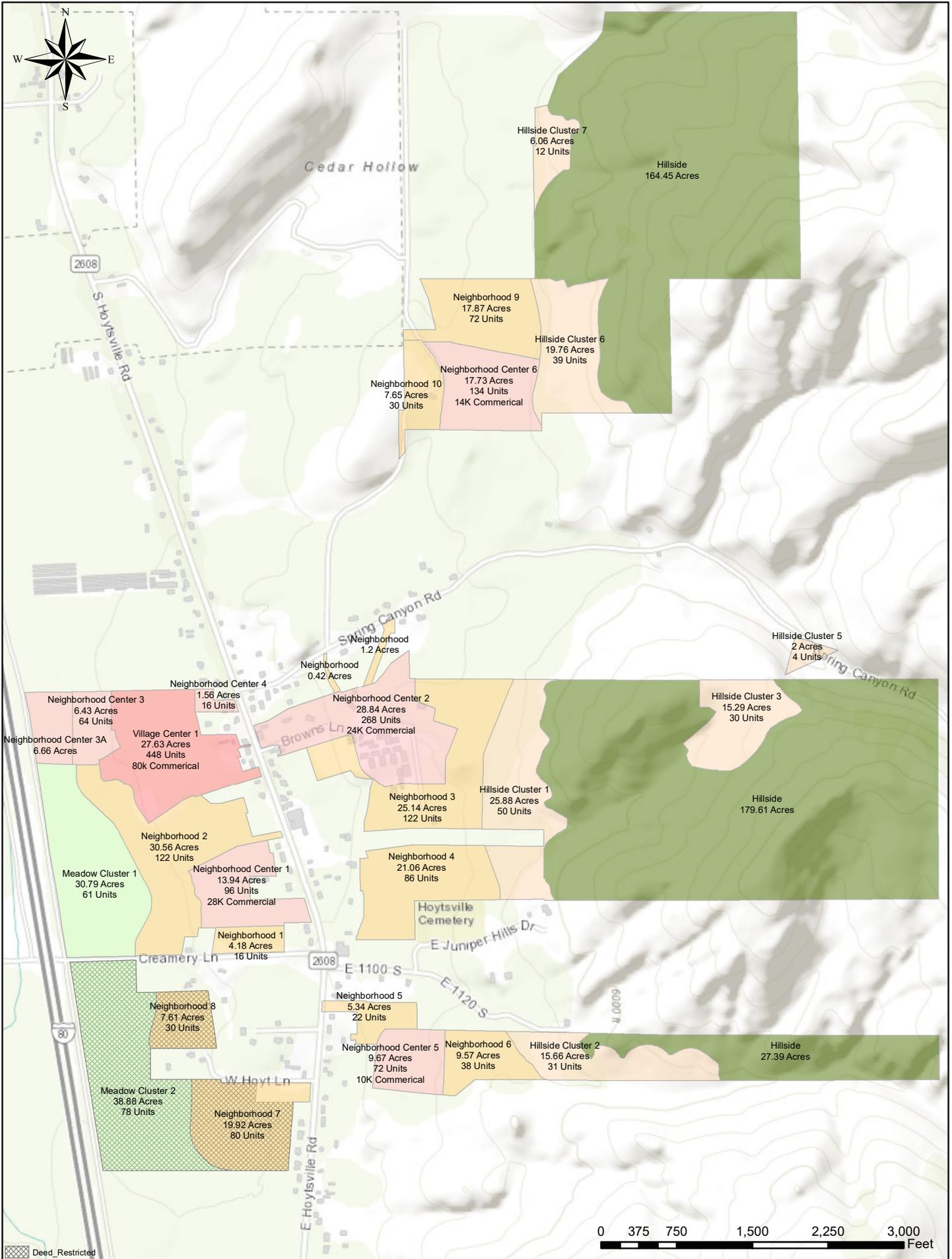
¹ Annual Estimates of the Resident Population for Incorporated Places in Utah: April 1, 2020 to July 1, 2022 (SUB-IP-EST2022-POP-49)
Source: U.S. Census Bureau, Population Division
Release Date: May 2023

	<p>accelerate this future needed interchange. For more details on the interchange and traffic needs, see the below question.</p> <ul style="list-style-type: none"> • The Cedar Crest team met with North Summit County Fire District Chief Ben Nielson, Deputy Chief Nick Jarvis, and Administrative Battalion Chief Tyler Rowser in November 2023. Discussed coordinating potential future fire service needs.
<p>Is there cap on density until the interchange is completed?</p>	<p>Traffic engineering uses standard practices from the Institute of Transportation Engineers (ITE) to model traffic patterns along existing roadways, and at intersections and provide mitigating recommendations to maintain established levels of service. Based on a full traffic impact study for the Cedar Crest project, incremental improvements would be made until an interchange would be needed. The current study suggests that a full interchange would likely be needed at around 5,000 units. Other measures include widening Hoytsville Road with turn pockets and a turn lanes through the Cedar Crest area.</p>
<p>What is the impact on other communities and how will it be mitigated?</p>	<p>With change, there are impacts to other nearby communities that bring both benefits and challenges. The project access is generally through Wanship and Coalville and traffic will flow through each of those communities until the interchange is completed. Mitigating measures are spelled out in the traffic impact report including expanding turn lanes and adding a signal at Coalville Main Street when volumes reach almost 900 units. As the county has designated this as an area where growth should occur, the project allows other areas of the county to be preserved. There are economic benefits to Coalville that is currently studying how to revitalize Main Street as more homes are added leading to more employment opportunities, nearby services, and retail sales tax to support the community. As with any project, collaboration is needed to solve regional issues.</p>

<p>How much attainable/affordable housing is proposed and at what price points and how will it be kept attainable/affordable long-term? How will it be kept for community residents rather than bringing in people from other communities?</p>	<p>Affordable housing requires a multifaceted approach and public-private cooperation and partnerships. While inclusionary zoning has been prohibited by the state, the team of Ivory Homes and Larry H. Miller Real Estate continue to discuss options with county staff, Habitat for Humanity and Mountainlands Community Trust. The variety of housing types as contemplated in the Cedar Crest plan creates greater housing opportunities and price points to meet a broad spectrum of home buyers and renters.</p>
<p>How will natural resources, such as water, be protected?</p>	<p>The project will follow all codes and legal requirements for the use of natural resources. This means wells and water diversions will not impair existing rights. Sewer and storm water impacts will be designed and operated to meet all clean water requirements, including taking into account the location of the project in a valley with the important and perennial Weber River. Beyond the legal requirements that will be met, the Project will locate development so that improvements will be set apart from water natural resources, including waterways and wetlands. To protect other natural resources, development will prioritize both active and passive open space, and the creation of open space acreage requirements in connection with each subdivision plat. These open space areas will create corridors that will be important to preserve areas for recreational enjoyment, wildlife, and preservation. Hillside slopes will be preserved or have cluster development to protect hillside views and open space.</p> <p>The state manages water quality and storm run-off, and each development prepares Storm Water Management (SWPPP) with Best Management Practices (BMP's) to manage storm water. Water rights are managed by the water rights policy for Area 35 – Weber and Ogden Rivers.</p>
<p>How will wildlife and wildlife corridors be protected?</p>	<p>The Division of Wildlife resources (DWR) has mapped wildlife corridors based on low, medium, and high use. The Cedar Crest area corridors are designated as low use areas. Much of the property will remain native allowing for movement of wildlife. The formation of greenspace corridors will allow the movement of wildlife through the project.</p>

<p>How will trespassing be addressed in the plan?</p>	<p>Trespassing can be reported to the Summit County Sheriff's office. Landowners per Utah Criminal Code – Section 206 Criminal trespass. The state code requires the following steps be taken to address trespassing:</p> <ul style="list-style-type: none"> (i) personal communication to the actor by the owner or someone with apparent authority to act for the owner; (ii) fencing or other enclosure obviously designed to exclude intruders; or (iii) posting of signs likely to come to the attention of intruders <p>Furthermore, the project will distinguish the use of public and private spaces and provide appropriate fencing and signage as the development plan progresses. The trails and open scape contemplated in the plan will provide public trails for recreation through the area rather than on private property.</p>
<p>How will the existing deed restricted land impact the TDR potential?</p>	<p>Prior to the designation of the Hoytsville area as an area eligible for development under the Village Overlay process, certain parcels developed under the then current code and were able to build additional units on smaller lots in exchange for deed restricting land for only agricultural use. These restrictions are by recorded deed and an agreement between the County Council and the landowner. The County Council, at its discretion, may remove or relocate the deed-restricted lands, which would be by separate application</p>

Cedar Crest



Deed_Restricted



Outline of Applicable Code Tables

CODE SECTION	PAGE
Standards from Village Overlay (11-3-8) Table 1	Page 2
Standards from Master Planned Development (MPD) Requirements (11-4-12(E)) Table 2	Page 3-8
Standards from 11-5-3(B) Amendment To Zone District Map (Rezoning) Table 3	Page 9
Standards from Infrastructure Standards (11-6-8) Table 4	Page 10
Standards from Development Evaluation Standards (11-2) Table 5	Page 11-15

Standards from [Village Overlay \(11-3-8\)](#):

The Village Overlay Committee shall develop a plan and proposed zoning districts that address the following:

Table 1

CODE STANDARD	ANALYSIS
VO Standard 1 – Land Uses: A mix of residential uses may be considered, including detached single-family, attached single-family, and multi-family. Mixed-use land-uses may also be considered, including residential, commercial, service commercial, and light industrial.	
VO Standard 2 – Density: A proposed zoning district densities shall be based upon sufficient access, circulation, connectivity, water, and wastewater infrastructure.	
VO Standard 3 – Development Standards: Requirements for development, including but not limited to minimum lot sizes, building height, setbacks, parking, streets and circulation, community/civic space, and infrastructure.	
VO Standard 4 – Infrastructure: Infrastructure implementation including financing and phasing.	

Standards from [Master Planned Development \(MPD\) Requirements \(11-4-12\(E\)\)](#):

Table 2

CODE STANDARD	ANALYSIS
<p>1. Density: The maximum density permitted on the project site will be determined as a result of a site analysis. The maximum density shall not exceed that set forth in the proposed or existing zone, except as otherwise provided in this section. In cases where a project site contains more than one (1) zone, the County Council may permit the clustering of density irrespective of zone boundaries so long as the relocation results in the project advancing the goals set forth in the General Plan.</p>	
<p>2. Density Bonus: A density bonus may be permitted in accordance with appendix B of this title.</p>	
<p>3. Setbacks: The minimum setback around the exterior boundary of an MPD shall match the setbacks of the more restrictive/larger abutting zone setback. In some cases, that setback may be increased to create an adequate buffer to adjacent uses. The County Council may reduce or increase setbacks within the project from those otherwise required provided the project meets minimum Building Code and Fire Code requirements and can demonstrate that such change:</p> <ul style="list-style-type: none"> a. Maximizes agricultural land or open space; and/or b. Avoids important natural features of the site. 	
<p>4. Building Height: The maximum building height for all structures within a master planned development shall not exceed the zone standard. The County Council may grant additional building height beyond the maximum zone standard up to forty five feet (45') based</p>	

<p>on demonstrated good cause related, but not limited to, structured parking, affordable housing, deed restricted open space, community outdoor common area improvements or superior architectural design.</p>	
<p>5. Reduction Of Minimum Lot Size Requirements: The County Council may reduce the minimum lot size specified in a zone if it finds the proposed decrease in minimum lot size improves the site design, clustering of buildings, and/or preservation of agricultural land or open space.</p>	
<p>6. Open Space: Master planned developments shall provide for open space of at least ten percent (10%) of the site area.</p>	
<p>7. Off-Street Parking: Master planned developments shall meet the following off-street parking standards:</p> <ul style="list-style-type: none"> a. Residential uses: <ul style="list-style-type: none"> 1) Single family dwelling unit Minimum 2 spaces/unit 2) Duplex dwelling unit Minimum 2 spaces/unit (total of 4/building) 3) Accessory dwelling unit Minimum 1 space/unit 4) Guest house Minimum 1 space/unit 5) Multi-unit (3 or more units) Minimum 1 space/unit b. Non-residential uses: <ul style="list-style-type: none"> 1) Commercial/retail 3 spaces/1,000 sq. ft. of net leasable floor area 2) Commercial/restaurant-café 3 spaces/1,000 sq. ft. of net leasable floor area 3) Hotel/lodging 1 space/guest room or suite; 2 spaces/1,000 sq. ft. support commercial 4) Offices 	

<p>2.5 spaces/1,000 sq. ft. net leasable area</p> <p>The off-street parking requirements for any other uses not listed above shall be determined by the County Council based on a project-specific parking study. The County Council may reduce or increase the overall parking requirement for a master planned development based upon the applicant demonstrating reasonable justifications for the increase/decrease in parking spaces.</p> <p>The County Council may grant additional exterior/surface parking provided such parking is designed to include permeable surfaces, additional landscaping and buffering.</p>	
<p>8. Designing With The Topography: Master planned developments shall be designed to fit into the topography of the site. The County Council may consider flexibility in the siting of development so as to best fit into the natural terrain, minimize excessive site grading and mitigate impacts on the natural environment and resources of the surrounding area. The project design shall demonstrate the preservation of watercourses, drainage areas, wooded areas, rough terrain and similar natural features and areas.</p>	
<p>9. Designing With Adjacent Uses: The master planned development plan shall take adjacent land uses into consideration. Development along the project perimeter shall adequately mitigate any potentially adverse effects, including but not limited to flooding, erosion, subsidence, sloping of the soil or other dangers and nuisances.</p>	
<p>10. Access: All master planned developments shall have vehicular access from a public road. All projects shall have a secondary point of access/emergency access unless otherwise mitigated to the</p>	

<p>satisfaction of the County Engineer and/or Fire Marshal. All roads/streets shall follow the natural contours of the site wherever possible to minimize the amount of grading.</p>	
<p>11. Utilities: Existing or proposed utilities, including private and public services for master planned developments will be adequate to support the proposed project at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources. Unless otherwise permitted by this chapter, all master planned developments shall comply with all requisite infrastructure standards found in chapter 6 of this title.</p>	
<p>12. Building Locations: All buildings shall be located to avoid, to the extent practicable, wetlands, riparian areas, steep slopes and ridgelines. Building locations and associated lot configurations should be oriented to encourage active and passive solar design principles wherever practicable.</p>	
<p>13. Connectivity: Internal and external vehicular/pedestrian/bicycle circulation should be demonstrated at the time of application as deemed necessary by the County Council. Pedestrian/equestrian/bicycle circulation should be separated from vehicular circulation wherever reasonable.</p>	
<p>14. Snow Storage: Master planned developments shall include adequate areas for snow removal and snow storage. An appropriate form of landscaping plan shall allow for snow storage areas. Structures shall be set back from any hard surfaces so as to provide adequate areas to remove and store snow. The assumption is that snow should be able to be stored on site and not removed to an off-site location.</p>	

<p>15. Outdoor Lighting: All outdoor lighting shall be down directed and fully shielded. All outdoor lighting shall be designed and installed to prevent light trespass on adjacent properties. Lighting of the United States flag is exempt from this provision.</p>	
<p>16. Compliance With Development Evaluation Standards: Unless otherwise permitted by this chapter, all master planned developments shall comply with all requisite development evaluation standards found in chapter 2 of this title.</p>	<p>See Table 5 Below</p>
<p>17. Site Design Narrative: An application for a master planned development shall include a written explanation.</p>	
<p>a. Neighborhood Connectivity: How does the proposed development interconnect and the surrounding properties, neighborhood, and area? Including but not limited to:</p> <ol style="list-style-type: none"> 1) Where will vehicles enter and exit the site? 2) Where will new streets be developed? 3) Is there a need for pedestrian and bicycle routes (including trails and sidewalks) through the project area? If so, how are such needs addressed? 	
<p>b. Availability Of Neighborhood Facilities And Services: Is the location of the proposed development within reasonable proximity (including walking and biking) to community facilities such as schools, retail centers, parks, etc.?</p>	
<p>c. Meeting Housing Needs: How does the proposed development advance the community need for a mix of housing types and affordability?</p>	
<p>d. Character: What are the architectural design character objectives of the proposed development? How do these design objectives address the local</p>	

context, climate, and/or community needs	
e. Site Design: How is the proposed development designed to take advantage of the existing topography, landscape features, trees, wildlife corridors, existing structures, minimize site grading, etc.?	
f. Complete Street Design: How is the proposed development street/circulation system designed to accommodate a variety of transportation modes (where appropriate), easy route finding, and safe speeds?	
g. Parking Areas: How does the proposed development balance the need for parking with the need to design parking areas in a manner that minimize visibility, site grading, and exterior lighting?	
h. Public And Private Outdoor Spaces: What are the proposed development's need(s) for outdoor space, open space, habitat/wildlife areas, parks, or outdoor amenity areas? How does the proposed development address these needs?	
i. External Storage: How does the proposed project address needs for garbage collection, equipment storage, etc.?	

Standards from [11-5-3\(B\) Amendment To Zone District Map \(Rezoning\)](#)

Approval of an amendment to the zone district map shall not be granted until both the planning commission and county council have reviewed the specific development proposal and determined:

Table 3

CODE STANDARD	ANALYSIS
(1) The amendment is generally consistent with the goals of the general plan;	
(2) The amendment is compatible with adjacent land uses and will not be overly burdensome on the local community;	
(3) The specific development plan is in compliance with all applicable standards and criteria for approval as described in chapter 4 of this title;	
(4) The amendment does not adversely affect the public health, safety and general welfare.	

Standards from [Infrastructure Standards \(11-6-8\)](#)

The MPD review requires compliance with the Infrastructure Standards outlined in Chapter 6 of the Development Code.

Table 4

CODE STANDARD	ANALYSIS
A. Fire Protection Standards	
B. Road Standards	
C. Road Grades	
D. Intersections	
E. Turnaround/Cul-De-Sacs	
F. Bridges and Culverts	
G. Driveway Access	
H. Irrigation Ditch Easements	
I. Revised Standards Applicable	
J. Appeals	

Standards from [Development Evaluation Standards \(11-2\)](#)

The MPD review requires compliance with the Development Evaluation Standards in Chapter 2 of the Development Code. However, many of those standards have been addressed in previous tables above. The remaining standards for development are addressed below.

Table 5

STANDARD	ANALYSIS
11-2-2 Agriculture	
<p>A. Plat Notes and Memorandums: Nonagricultural development shall not be approved without appropriate plat notes and memorandums of understanding, as described in this title, that educate new residents of the presence of agriculture operations in Eastern Summit County and protect the rights of farmers and ranchers to actively conduct normal operations associated with the farm or ranch.</p>	
<p>B. Minimization Of Complaints: Nonagricultural development shall not be approved in an agricultural area without appropriate efforts from the developer to minimize potential complaints from future residents of the development regarding noise, odor, length of work hours, and the normal characteristics of the agricultural operation</p>	
<p>C. Livestock Fencing: New, nonagricultural development immediately adjacent to an existing agricultural operation (defined by this title as "agriculture") shall not be approved unless the developer and/or subsequent owners of property within the development assume the responsibility for fencing or paying one-half ($\frac{1}{2}$) of the cost thereof for fencing out livestock in accordance with Utah Code.</p>	
<p>D. Preservation Of Agricultural Land: New nonagricultural development within Eastern Summit County shall preserve productive agricultural land to the extent possible and practical.</p>	

<p>E. Irrigation Patterns And Systems: Nonagricultural development shall preserve the integrity of existing irrigation patterns and systems. Surface irrigation ditches shall be mapped and easements of record created.</p>	
<p>11-2-3 Water and Sewage</p>	
<p>A. Order Of State Engineer Required: New residential, commercial and industrial development shall not be approved in accordance with the provisions of chapter 4 of this title, nor shall a building permit be issued on a previously platted lot, without evidence of a memorandum of decision from the State Engineer demonstrating that water rights of adequate quantity are available on the site and that water pursuant to such water rights can be used on the site by the applicant to serve the proposed uses/lots, or a commitment from a municipality or private service company to provide water of adequate quantity and quality to serve the proposed use/lot. However, lots within all subdivisions consisting of three (3) or less lots shall not be required to have a memorandum of decision from the State Engineer nor commitment from a municipality or private service company for each lot. The applicant shall submit documentation indicating what type of water system shall be utilized within the subdivision consisting of three (3) or less lots, i.e., private wells, municipality or private service company.</p>	
<p>B. Capacity And Capability: No new development or building permit for a previously platted lot, for which water and/or sewer service will be provided by a private service provider, will be approved until the service provider has submitted documentation demonstrating that it has the capacity and capability to serve the development/lot and that it is committed to providing the service.</p>	
<p>C. Sewage Collection: New residential, commercial and industrial development shall not be approved in the vicinity of existing well and spring protection zones, which are used for domestic consumption purposes, without a contained sewage collection and disposal system. The impact on protection zones shall be determined based on distance, soil conditions, slope and drainage patterns, or in</p>	

compliance with State law. Individual septic disposal systems will not be allowed when these zones can be impacted.	
D. Sewage Treatment: No development shall be approved without suitable sewage treatment capacity point of discharge, and dependability for the specific use proposed.	
E. Adequate Water: No building permit, low impact use, conditional use or commercial or industrial development shall be approved without adequate water quantity, quality, pressure and dependability to support the use intended and to provide for protection from fire.	
11-2-4 Natural Resources	
A. Undevelopable Lands: Development is prohibited on land which is found, on the basis of engineering and/or geologic data, to be within a geological hazard area.	
B. Erosion: Care shall be taken to ensure that development shall not contribute to the acceleration of the erosion of soil and rock and stream sedimentation or cause other significant environmental concerns.	
C. Hillside Development: Development shall minimize the highly visible placement of homes and other structures on hillsides. Whenever possible, development shall be sensitively sited in order to encourage effective open space and the conservation of the natural appearance and aesthetic beauty of the mountains. When hillside development is permitted, it shall be integrated into the site, using topography, vegetation and other reasonable techniques, in a manner that causes it to blend into the hillside. Development near the toe of the hill, including the transitional area between the hillside and flat meadow areas, is appropriate.	
D. Floodplain: Development shall be strongly discouraged in a 100-year floodplain or in areas where there is a high water table.	
E. Wetlands: Development is prohibited in wetlands unless appropriate mitigation is approved by the Army Corps of Engineers.	
F. Natural Grade Slopes (Prohibition): Development is prohibited on natural grade slopes in excess of thirty percent (30%).	
G. Natural Grade Slopes (Exception): In the event a conforming parcel has no locations (or insufficient area) for otherwise permissible	

<p>development without violating subsection F of this section, or in the event access to a suitable development area on a conforming parcel requires the crossing of an area of thirty percent (30%) slope, the Community Development Director may approve development as a low impact permit subject to the findings in section 11-4-8 of this title and the additional findings outlined in 11-2-4(G).</p>	
<p>H. Wildlife, Range Areas, Migration Corridors: Care shall be taken to ensure that development shall not significantly affect in a negative fashion wildlife birthing areas, critical winter range areas and migration corridors.</p>	
<p>I. Ridgeline Development (Prohibition): Ridgeline development shall not be placed on any hillside or ridgeline in a manner that causes any portion of a structure to extend into the skyline as viewed from a public road when:</p> <ol style="list-style-type: none"> 1. The public road is located below the ground elevation of the structure; and 2. The public road is more than one-half ($\frac{1}{2}$) linear miles from the structure, measured from the proposed building location; and 3. The public road is less than one and one-half ($1\frac{1}{2}$) linear miles from the structure, measured from the proposed building location. 	
<p>J. Ridgeline Development (Exception): Where it is not possible to build on a conforming parcel without violating the prohibition in subsection I of this section, the Community Development Director may approve ridgeline development as a low impact permit subject to the findings in section 11-4-8 of this title and all of the additional criteria outlined in 11-2-4(J).</p>	
<p>K. Drainage: Development activity shall not cause run-off characteristics of a parcel to be more disruptive to perennial, intermittent and ephemeral streams, land uses or drainage systems, than existed prior to the development activity. The</p>	

<p>integrity of existing and natural drainage patterns shall be preserved so that:</p> <ol style="list-style-type: none"> 1. The aggregate of development activities will not cause storm drainage and floodwater patterns to exceed the capacity of natural or constructed drainages; 2. Other areas are not subjected to increased potential for damage by flood, erosion or sedimentation; and 3. Perennial, intermittent, and ephemeral streams are not contaminated with pollutants in violation of State and/or Federal standards. 	
<p>L. Air Quality: Development shall not contribute significantly to the degradation of air quality in the County, including violation of any applicable State and/or Federal pollution control laws.</p>	
<p>M. Noise Limits: Non-agriculture development activity shall not generate noise:</p> <ol style="list-style-type: none"> 1. Equal to or exceeding sixty (60) decibels, as measured at the property line of the parcel generating the noise; and 2. Which would result in materially adverse impacts relating to the use of the parcel generating the noise, or to adjacent parcels and/or its occupants. 	

Exhibit I – Compiled List of Comments and Concerns to Be Addressed:

Please note: This is not a comprehensive list and will be adjusted and modified throughout the process. Some of these questions may not be answered at this meeting but will be addressed at future meetings. We will continue to develop a compiled list of such comments and concerns to be addressed as we move forward. This will serve as a checklist of elements to be reviewed and resolved prior to action.

- 1) Density
 - a) What is the maximum number of potential houses based on current zoning?
 - b) What is the maximum number of potential houses based on the proposed density?
 - c) How would proposed density compare to nearby municipalities (Coalville, Henefer, Kamas, Francis, Oakley, etc.)?
- 2) Discussions with other entities
 - a) North Summit School District
 - b) Utah Department of Transportation (UDOT)
 - c) North Summit Fire District
- 3) Timing/Phasing
 - a) The Commission would like to see a visual of the potential phasing of the project. What would it look like in one year, five years, ten years, twenty years, etc.?
 - b) Consider a cap on density until the freeway interchange is completed.
- 4) Impact on other communities
 - a) What are the benefits to surrounding communities?
 - b) What are potential impacts to surrounding communities and what is the strategy to mitigate?
- 5) Attainable/Affordable Housing
 - a) How much attainable/affordable housing is proposed and at what price points?
 - b) How will it be kept attainable/affordable long-term?
 - c) How will it be kept for community residents rather than bringing in people from other communities?
- 6) Natural Resources/Wildlife Protection
 - a) How will natural resources, such as water, be protected?
 - b) How will wildlife and wildlife corridors be protected?
- 7) Trespassing
 - a) How will trespassing be addressed in the proposed plan?
- 8) Transfer of Development Rights (TDR)
 - a) How will the existing deed restricted land impact the TDR potential?
- 9) Small Town Feel
 - a) How will the proposed project maintain the small town feel?