



**CITY OF THE COLONY
CITY COUNCIL AGENDA
TUESDAY, JUNE 4, 2024
6:30 PM**

TO ALL INTERESTED PERSONS

Notice is hereby given of a **REGULAR SESSION** of the **CITY COUNCIL** of the City of The Colony, Texas to be held at **6:30 PM** on **TUESDAY, JUNE 4, 2024** at **CITY HALL, 6800 MAIN ST., THE COLONY, TX**, at which time the following items will be addressed:

1 ROUTINE ANNOUNCEMENTS, RECOGNITIONS AND PROCLAMATIONS

- 1.1 Call to Order
- 1.2 Invocation
- 1.3 Pledge of Allegiance to the United States Flag
- 1.4 Salute to the Texas Flag
- 1.5 Items of Community Interest
- 1.6 Receive presentation from Parks and Recreation regarding upcoming events and activities. (Stansell)

2 CITIZEN INPUT

This portion of the meeting is to allow up to five (5) minutes per speaker with a maximum of thirty (30) minutes for items not posted on the current agenda. The council may not discuss these items, but may respond with factual data or policy information, or place the item on a future agenda. Those wishing to speak shall submit a Request Form to the City Secretary.

3 WORK SESSION

The Work Session is for the purpose of exchanging information regarding public business or policy. No action is taken on Work Session items. Citizen input will not be heard during this portion of the agenda.

- 3.1 Receive an update from Denton Central Appraisal District. (Council)
- 3.2 Council to provide direction to staff regarding future agenda items. (Council)

4 CONSENT AGENDA

The Consent Agenda contains items which are routine in nature and will be acted upon in one motion. Items may be removed from this agenda for separate discussion by a Council member.

- 4.1 Consider approving City Council Regular Session meeting minutes from May 7, 2024. (Stewart)
- 4.2 Consider approving Council expenditures for March 2024. (Council)
- 4.3 Consider approving a resolution authorizing the Mayor to amend the authorized representatives to

Texpool. (L. Williams)

- 4.4 Consider approving an ordinance authorizing an exception to the Code of Ordinances Section, 6-192, (a) & (b) to allow fireworks at 10:45 PM on July 3rd, 2024 at Grandscape Lifestyle Center, 5752 Grandscape Blvd. (Maurina)
- 4.5 Consider approving a resolution authorizing the City Manager to issue a purchase order to Furniture Solutions Now through a TIPS Purchasing Cooperative Contract in an amount not to exceed \$100,796.60 for the purchase of furniture at the New Recreation Center for Phase 2, to be funded by the Community Development Corporation. (Lehmann)

5 REGULAR AGENDA ITEMS

- 5.1 Conduct a public hearing discuss and consider an ordinance for amendments to Planned Development 16 (PD-16) to reflect the conceptual layout and development standards for the “JPI Morningstar,” a 374-dwelling unit multi-family development located at the northwest intersection of Morningstar Drive and SH 121. (Williams)
- 5.2 Conduct a public hearing discuss and consider an ordinance for a Specific Use Permit to allow an Auto Painting or Body Rebuilding Shop with outdoor storage located at 5270 Memorial Drive. (Williams)
- 5.3 Conduct a public hearing, discuss and consider an ordinance for a Gateway Standards Waiver to allow the majority of parking for a multi-tenant commercial development within the front of the primary building located along the frontage of SH 121 and South Colony Boulevard. (Williams)
- 5.4 Discuss and consider an ordinance for the Site Plan application for “Lot 2 Block A Colony Center Addition,” a single story multi-tenant retail building located along the frontage of SH 121 and South Colony Boulevard. (Williams)

6 EXECUTIVE SESSION

- 6.1 A. Council shall convene into a closed executive session pursuant to Section 551.071 of the Texas Government Code to seek legal advice from the city attorney regarding pending or contemplated litigation or settlement offer: Paul Dattam matter.
- B. Council shall convene into a closed executive session pursuant to Sections 551.072 and 551.087 of the Texas Government Code to deliberate regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and to deliberate the offer of a financial or other incentive to a business prospect(s).

7 EXECUTIVE SESSION ACTION

- 7.1 A. Any action as a result of executive session regarding pending or contemplated litigation or settlement offer: Paul Dattam matter.

B. Any action as a result of executive session regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and the offer of a financial or other incentive to a business prospect(s).

EXECUTIVE SESSION NOTICE

Pursuant to the Texas Open Meeting Act, Government Code Chapter 551 one or more of the above items may be considered in executive session closed to the public, including but not limited to consultation with attorney pursuant to Texas Government Code Section 551.071 arising out of the attorney's ethical duty to advise the city concerning legal issues arising from an agenda item. Any decision held on such matter will be taken or conducted in open session following the conclusion of the executive session.

ADJOURNMENT

Persons with disabilities who plan to attend this meeting who may need auxiliary aids such as interpreters for persons who are deaf or hearing impaired, readers or, large print are requested to contact the City Secretary's Office, at 972-624-3105 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

CERTIFICATION

I hereby certify that above notice of meeting was posted outside the front door of City Hall by 5:00 p.m. on the ___ day of May, 2024.

Tina Stewart, TRMC, CMC, City Secretary

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Miscellaneous

Agenda Section:

Subject:

Items of Community Interest

Suggested Action:

Attachments:

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Lindsey Stansell

Submitting Department: Parks & Recreation

Item Type: Announcement

Agenda Section:

Subject:

Receive presentation from Parks and Recreation regarding upcoming events and activities. (Stansell)

Suggested Action:

Attachments:

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Miscellaneous

Agenda Section:

Subject:

Receive an update from Denton Central Appraisal District. (Council)

Suggested Action:

Attachments:

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Discussion

Agenda Section:

Subject:

Council to provide direction to staff regarding future agenda items. (Council)

Suggested Action:

Attachments:

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Minutes

Agenda Section:

Subject:

Consider approving City Council Regular Session meeting minutes from May 7, 2024. (Stewart)

Suggested Action:

Attachments:

[May 7, 2024 DRAFT Minutes.docx](#)

**MINUTES OF THE CITY COUNCIL REGULAR SESSION
HELD ON
MAY 7, 2024**

The Regular Session of the City Council of the City of The Colony, Texas, was called to order at 6:30 p.m. on the 7th day of May 2024, at City Hall, 6800 Main Street, The Colony, Texas, with the following roll call:

Richard Boyer, Mayor	Present
Judy Ensweiler, Deputy Mayor Pro Tem	Present
Robyn Holtz, Councilmember	Present
Brian Wade, Councilmember	Present
Dan Rainey, Councilmember	Present
Perry Schrag, Mayor Pro Tem	Present
Joel Marks, Councilmember	Present

And with 7 councilmembers present a quorum was established and the following items were addressed:

1.0 ROUTINE ANNOUNCEMENTS, RECOGNITIONS and PROCLAMATIONS

- 1.1 Call to Order
Mayor Boyer called the meeting to order at 6:30 p.m.

- 1.2 Invocation
Elder Terry Maley with First Baptist Church delivered the invocation.

- 1.3 Pledge of Allegiance to the United States Flag
The Pledge of Allegiance to the United States Flag was recited.

- 1.4 Salute to the Texas Flag
Salute to the Texas Flag was recited.

- 1.5 Proclamation acknowledging May 6- 10, 2024 as Economic Development Week.
Mayor acknowledged May 6 – May 10, 2024 as “Economic Development Week Week”. Economic Development Director, Keri Samford and Economic Development Specialist, Amber Downing, accepted the proclamation.

- 1.6 Proclamation acknowledging May 5 - 11, 2024 as Municipal Clerks Week.
Mayor acknowledged May 5 – May 11, 2024 as “Municipal Clerks Week”. City Secretary, Tina Stewart, accepted the proclamation.

- 1.7 Proclamation acknowledging National Bike Month.
Mayor acknowledged May 15 - 21, 2024 as "Bike to Work Week" and May 19, 2024 as "Bike to Work Day". Parks Development Manager, Calvin Lehmann, along with Citizen Don Beckel, accepted the proclamation.

¹ These items are strictly public service announcements. Expressions of thanks, congratulations or condolences; information regarding holiday schedules; honorary recognition of city officials, employees or other citizens; reminders about upcoming events sponsored by the City or other entity that are scheduled to be attended by a city official or city employee. No action will be taken and no direction will be given regarding these items.

1.8 Items of Community Interest

- 1.8.1 Receive presentation from Parks and Recreation regarding upcoming events and activities.
Recreation Administrative Manager, Lindsey Stansell, provided upcoming events and activities to the Council.

Mayor acknowledged the Community Development Corporation Meeting on Thursday, May 9, 2024 at 6:30 p.m. City Council to attend as a Joint Session to discuss proposed projects for Fiscal Year 2024-2025.

2.0 CITIZEN INPUT

None

3.0 WORK SESSION

- 3.1 Council to provide direction to staff regarding future agenda items.
Mayor announced the Senate Local Government Committee hearing would be held on May 15, 2024 to discuss squatters. City Attorney, Jeff Moore, to report on the item at a future agenda item.

Mayor requested future agenda items concerning golf carts in The Tribute, and an update from the Denton Central Appraisal District.

4.0 CONSENT AGENDA

Motion to approve all items from the Consent Agenda with the exception of Agenda Item Nos. 4.2 and 4.5 for separate consideration- Wade; second by Ensweiler, motion carried with all ayes.

- 4.1 Consider approving City Council Regular meeting minutes from April 16, 2024.
- 4.2 Consider approving a resolution authorizing the City Manager to execute a Sixth Amendment to the Commercial & Industrial and Residential Solid Waste Collection, Transport and Disposal and Residential Recycling Collection, Transport & Processing Agreement with Republic Services, updating the fee schedule per contractual agreement.
Director of Customer Services, Molly Owczar, answered questions from council on this item.

Motion to approve– Marks; second by Ensweiler, motion carried with all ayes.

RESOLUTION NO. 2024-036

- 4.3 Consider approving a resolution authorizing the City Manager to execute a Memorandum of Understanding with Texas Music Office for the export and maintenance of The Colony dataset within the Texas Music Industry Directory.

RESOLUTION NO. 2024-037

- 4.4 Consider approving a resolution authorizing the City Manager to issue a purchase order to Paradigm Traffic Systems in the amount of \$ 57,150.00 for Rectangular Rapid Flashing Beacons (RRFBs) to enhance pedestrian safety at two designated locations along Lebanon Road

RESOLUTION NO. 2024-038

- 4.5 Consider approving a resolution authorizing the City Manager to execute an Engineering Services Contract with Halff Associates, Inc. in the amount of \$60,750.00 to prepare construction plans and specifications for the Plano Parkway Storm Drain Outfall Project.

Director of Engineering, Ron Hartline, provided an overview on this item.

Motion to approve– Wade; second by Schrag, motion carried with all ayes with the exception of Ensweiler voting no.

RESOLUTION NO. 2024-039

5.0 REGULAR AGENDA ITEMS

- 5.1 Discuss and consider approving a resolution authorizing the City Manager to execute a Construction Services Contract Amendment No. 1 in the amount of \$457,386.00 with Urban Infraconstruction for the Phase 13B Concrete Street Repair Project

Director of Engineering, Ron Hartline, provided an overview on the proposed resolution.

Motion to approve– Rainey; second by Holtz, motion carried with all ayes.

RESOLUTION NO. 2024-040

Executive Session was convened at 7:01 p.m.

6.0 EXECUTIVE SESSION

- 6.1 A. Council shall convene into a closed executive session pursuant to Section 551.071 of the Texas Government Code to seek legal advice from the city attorney regarding pending or contemplated litigation or settlement offer: City of The

Colony, Texas v. Preston Tighe, Sick Realty, LLC and 3805 Overlook Court, The Colony, Texas 75056, Cause No. 24-1447-362, 362nd Judicial District Court, Denton County, Texas.

B. Council shall convene into a closed executive session pursuant to Sections 551.072 and 551.087 of the Texas Government Code to deliberate regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and to deliberate the offer of a financial or other incentive to a business prospect(s).

Regular Session was reconvened at 7:45 p.m.

7.0 EXECUTIVE SESSION ACTION

7.1 A. Any action as a result of executive session regarding pending or contemplated litigation or settlement offer: City of The Colony, Texas v. Preston Tighe, Sick Realty, LLC and 3805 Overlook Court, The Colony, Texas 75056, Cause No. 24-1447-362, 362nd Judicial District Court, Denton County, Texas.

Motion to authorize the City Attorney’s Office to propose a settlement agreement on the terms as discussed in the executive session– Wade; second by Schrag, motion carried with all ayes

B. Any action as a result of executive session regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and the offer of a financial or other incentive to a business prospect(s).

No action

ADJOURNMENT

With there being no further business to discuss the meeting adjourned at 7:48 p.m.

APPROVED:

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Tina Stewart

Submitting Department: City Secretary

Item Type: Expenditures

Agenda Section:

Subject:


Consider approving Council expenditures for March 2024. (Council)

Suggested Action:

Attachments:

[Council March Expenditures.pdf](#)

Memo

To: Members of the City Council
From: Tina Stewart, City Secretary 
Date: May 30, 2024
Re: Council Expenditures for approval

Pursuant to your policy, below are charges from the month of March 2024 for your review and approval. Report is attached.

September

City Council Training/Business Travel	\$2,156.19
Mayor's Wireless Service	\$40.22
Council Meeting/Miscellaneous Items	\$855.53
General Government – SPAN	\$3,967.04
Total	\$7,018.98

POST DATE TRAN # REFERENCE PACKET-----DESCRIPTION=====AMOUNT-----ACTUAL=====ENCUMBERED=====

623-6126 TRAVEL EXPENSE B E G I N N I N G B A L A N C E 5,095.04 5,095.04

3/14/24 4/01 B03364 Misc 031424 18119 FEB CC CHRG - B WADE 1,808.68 X 6,903.72 5,095.04
 3/14/24 4/01 B03364 Misc 031424 18119 FEB CC CHRG - R BOYER 1,237.33 X 8,141.05 5,095.04
 3/26/24 3/27 C03336 RCPT 02442251 39548 WADE -REIMBURSEMENT 889.82CR X 7,251.23 5,095.04
 =====MARCH ACTIVITY 3,046.01DB 889.82CR 2,156.19 ✓

===== ACCOUNT TOTAL DB: 3,046.01 CR: 889.82CR

623-6127 DUES & MEMBERSHIPS B E G I N N I N G B A L A N C E 0.00 0.00

623-6210 PROFESSIONAL SERVICES B E G I N N I N G B A L A N C E 0.00 0.00

623-6211 LEGAL SERVICES B E G I N N I N G B A L A N C E 0.00 0.00

623-6213 CONTRACTUAL SERVICES B E G I N N I N G B A L A N C E 0.00 0.00

623-6235 PRINTING SERVICES B E G I N N I N G B A L A N C E 402.62 402.62

623-6244 TELEPHONE SERVICE B E G I N N I N G B A L A N C E 201.07 201.07

3/22/24 4/02 A80727 CHK: 204582 15371 VERIZON WIRELESS 40.22 X 241.29 201.07
 VENDOR: 99-124840 INV: 9959848629 PO#: NOTE:
 VERIZON WIRELESS INV# 9959848629 /PO#
 =====MARCH ACTIVITY 40.22DB 0.00CR 40.22 ✓

===== ACCOUNT TOTAL DB: 40.22 CR: 0.00
 623-6275 EQUIPMENT RENTAL B E G I N N I N G B A L A N C E 0.00 0.00

POST DATE TRAN # REFERENCE PACKET=====DESCRIPTION=====AMOUNT=====BALANCE=====ENCMBERED=====BALANCE=====

623-6310 OFFICE SUPPLIES
 BEGINNING BALANCE 0.00 0.00

623-6311 COPIER SUPPLIES
 BEGINNING BALANCE 0.00 0.00

623-6312 COMPUTER SUPPLIES
 BEGINNING BALANCE 0.00 0.00

623-6320 POSTAGE
 BEGINNING BALANCE 0.00 0.00

623-6330 BOOKS & PERIODICALS
 BEGINNING BALANCE 0.00 0.00

623-6390 MISCELLANEOUS SUPPLIES
 BEGINNING BALANCE 7,976.23 7,976.23

3/14/24 4/01 B03364 Misc 031424 18119 FEB CC CHRG - TINA 855.53X
 MARCH ACTIVITY 855.53DB 0.00CR 0.00CR 855.53 ✓ 8,831.76 7,976.23

===== ACCOUNT TOTAL DB: 855.53 CR: 0.00 0.00

623-6410 BUILDING MAINTENANCE
 BEGINNING BALANCE 0.00 0.00

623-6430 MAINTENANCE - OFFICE EQUIPMENT
 BEGINNING BALANCE 0.00 0.00

623-6690 CAPT. OUTLAY - OTHER EQUIPMENT
 BEGINNING BALANCE 0.00 0.00

623-6710 ALLOCATION OUT - CITY COUNCIL
 BEGINNING BALANCE 0.00 0.00

POST	DATE	TRAN #	REFERENCE	PACKET	DESCRIPTION	AMOUNT	BALANCE	ENCUMBERED	BALANCE
623-6779			OVERHEAD - NON DEPT OTHER				0.00		0.00
			BEGINNING						

623-6845	GENERAL GOVERNMENT	BEGINNING	BALANCE						
			3,076.48						3,076.48

3/01/24 4/09 A81229 CHK: 204678 15384 SPAN 3,967.04 7,043.52 3,076.48
 VEND: 99 -3251 INV: INV002382 PO#: NOTE:
 SPAN INV# INV002382 /PO#

MARCH ACTIVITY 3,967.04DB 0.00CR 3,967.04 ✓
 ACCOUNT TOTAL DB: 3,967.04 CR: 0.00

623-6846 COVID RENT ASSIST BEGINNING BALANCE 0.00

000 ERRORS IN THIS REPORT!

** REPORT TOTALS **	DEBITS	CREDITS
BEGINNING BALANCES:	19,187.09	0.00
REPORTED ACTIVITY:	10,398.39	889.82CR
ENDING BALANCES:	29,585.48	889.82CR
TOTAL FUND ENDING BALANCE:	28,695.66	

Tina Stewart

From: Brian Wade <bwade@rlginc.com>
Sent: Thursday, March 7, 2024 3:33 PM
To: Tina Stewart
Subject: FW: Your trip confirmation (DFW - LAS)

See below.

PTO Alert: March 18th (p.m.), March 21st, March 27th, 28th & 29th



Brian R. Wade, LA, RPLS
Associate Principal /
Survey Department Manager
O 214.739.8100
12001 N. Central Expressway, Suite 300
Dallas, Texas 75243
Civil | Structural | Survey | Forensics

Texas PE Reg. #F-493 | TBPLS Reg. #100341-00 | IDFPR License No. 184.007358



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From: American Airlines <no-reply@info.email.aa.com>
Sent: Friday, February 9, 2024 6:33 PM
To: Brian Wade <bwade@rlginc.com>
Subject: Your trip confirmation (DFW - LAS)



Issued: February 10, 2024

Your trip confirmation and receipt

We charged \$1,019.20 to your card ending in 0589 for your ticket purchase.

You can check in via the American app 24 hours before your flight and get your mobile boarding pass.

Confirmation code: **DATZHD**

Saturday, May 18, 2024

DFW
Dallas/Fort Worth
8:55 PM

AA 1797

LAS
Las Vegas
9:47 PM

Seat: **2B**
Class: **Business (I)**
Meals: **Dinner**

Wednesday, May 22, 2024

LAS
Las Vegas
5:50 PM

AA 1494

DFW
Dallas/Fort Worth
10:40 PM

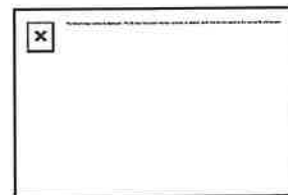
Seat: **2C**
Class: **Business (R)**
Meals: **Dinner**

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Your purchase

Brian Wade - AAdvantage® #: 64H****

New ticket (0012115056693)

\$1,019.20

[\$920.00 + Taxes & carrier-imposed fees \$99.20]

Total cost	\$1,019.20
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Your payment

MasterCard (ending 0589)	\$1,019.20
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Total paid	\$1,019.20
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Bag information

Checked Bag (Airport)

DFW - LAS

1 st bag	No charge
---------------------	-----------

2 nd bag	No charge
---------------------	-----------

DFW - LAS

Maximum dimensions: 62 inches or 158 centimeters calculated as (length + width + height)

Maximum weight: 70 pounds or 32 kilograms

For information regarding American Airlines checked baggage policies, please visit: [Bag and optional fees](#)

Bag fees apply at each Check-in location. Additional allowances and/or discounts may apply. Bag and optional fees

If your flight is operated by a partner airline, see the other airline's website for carry-on and checked bag policies.

Carry-on bags (American Airlines)

1st carry-on	Includes purse, briefcase, laptop bag, or similar item that must fit under the seat in front of you.
--------------------------------	--

2nd carry-on	Maximum dimensions not to exceed: 22" long x 14" wide x 9" tall (56 x 35 x 23 cm).
--------------------------------	--

Memo

To: Kathy Neal, Accountant/Budget Analyst (Finance Dept.)

Cc:

From: Tina Stewart, City Secretary

Date: 3/8/2024

Re: Notice of Business Travel

Councilman Brian Wade traveled to California for personal business on February 26, 2024 with travel accommodations through Lyft 1 Ride service in the amount of \$49.12. Councilman Wade will provide a personal check to cover expense. Travel Account: 100-623-6126

Thank you for your assistance,



Tina Stewart

Tina Stewart

From: tcplace3 - Brian Wade
Sent: Thursday, March 7, 2024 5:01 PM
To: Tina Stewart
Subject: Fwd: Las Vegas Receipts

Tina,
I'll have to pay the \$49.12 because it was a personal trip and it was paid with the wrong card on my app.

I'll have a check for you in the morning.

Brian R. Wade
City Councilman, Place 3
City of The Colony
6800 Main Street
The Colony, Texas 75056
972-624-3100
tcplace3@thecolonytx.gov



Begin forwarded message:

From: Tina Stewart <tstewart@thecolonytx.gov>
Date: March 6, 2024 at 5:12:52 PM CST
To: tcplace3 - Brian Wade <TCplace3@thecolonytx.gov>
Subject: Las Vegas Receipts

Hi Brian,

At your earliest convenience, please send the receipts for the following transactions.

1. Posted 02/10 – Departure DFW to LAS on American Airlines \$1,019.20
2. Posted 02/16 – Lyft Ride \$49.12

Thank you,

Tina Stewart, TRMC, CMC
City Secretary
City of The Colony
6800 Main Street
The Colony, Texas 75056
972-624-3105 (office)
thecolonytx.gov

Tina Stewart

From: Brian Wade <bwade@rlginc.com>
Sent: Friday, March 1, 2024 8:55 PM
To: Tina Stewart
Subject: FW: Your trip confirmation (DFW - BNA)

See below for flight receipt to Nashville on March 27th and returning March 29th.

PTO Alert: March 5th (afternoon), March 21st, March 27th, 28th & 29th



Brian R. Wade, LA, RPLS
Associate Principal/Survey Department Manager
O: (214) 739-8100
12001 N. Central Expressway, Suite 300
Dallas, Texas 75243
Civil | Structural | Survey | Forensics

Texas PE Reg. #F-493 | TBPELS Reg. #100341-00 | IDFPR License No. 184.007358



Awarded **Best Firm To Work For 6 years** in a row by the Zweig Group

From: American Airlines <no-reply@info.email.aa.com>
Sent: Friday, March 1, 2024 8:49 PM
To: Brian Wade <bwade@rlginc.com>
Subject: Your trip confirmation (DFW - BNA)



Issued: March 2, 2024

Your trip confirmation and receipt

We charged \$662.19 to your card ending in 0589 for your ticket purchase.

You can check in via the American app 24 hours before your flight and get your mobile boarding pass.

Confirmation code: **EMSHSA**

Wednesday, March 27, 2024



DFW

Dallas/Fort Worth
10:26 AM

AA 1365



BNA

Nashville
12:28 PM

Seat: **3B**
Class: **Business (I)**
Meals:

Friday, March 29, 2024



BNA

Nashville
10:07 AM

AA 1367



DFW

Dallas/Fort Worth
12:22 PM

Seat: **3B**
Class: **Business (I)**
Meals:

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[Learn more](#)



Your purchase

Brian Mr Wade - AAdvantage® #: 64H****

New ticket (0012120983877)

\$662.19

[\$587.90 + Taxes & carrier-imposed fees \$74.29]

Total cost **\$662.19**

Your payment

MasterCard (ending 0589) \$662.19

Total paid **\$662.19**

Bag information

Checked Bag (Airport)

1st bag No charge

2nd bag No charge

Maximum dimensions: 62 inches or 158 centimeters calculated as (length + width + height)
Maximum weight: 70 pounds or 32 kilograms

For information regarding American Airlines checked baggage policies, please visit: [Bag and optional fees](#)

Bag fees apply at each Check-in location. Additional allowances and/or discounts may apply. Bag and optional fees

If your flight is operated by a partner airline, see the other airline's website for carry-on and checked bag policies.

Carry-on bags (American Airlines)

1st carry-on Includes purse, briefcase, laptop bag, or similar item that must fit under the seat in front of you.

2nd carry-on Maximum dimensions not to exceed: 22" long x 14" wide x 9" tall (56 x 35 x 23 cm).



[Book a hotel »](#)



[Book a car »](#)



[Buy trip insurance »](#)



[AA Vacations »](#)

Tina Stewart

From: Brian Wade <bwade@rlginc.com>
Sent: Thursday, March 7, 2024 3:33 PM
To: Tina Stewart
Subject: FW: Your travel insurance plan: EUSP2396822669

See below.

PTO Alert: March 18th (p.m.), March 21st, March 27th, 28th & 29th



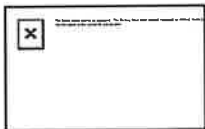
Brian R. Wade, LA, RPLS
Associate Principal /
Survey Department Manager
O 214.739.8100
12001 N. Central Expressway, Suite 300
Dallas, Texas 75243
Civil | Structural | Survey | Forensics

Texas PE Reg. #F-493 | TBPLS Reg. #100341-00 | IDFPFR License No. 184.007358



Voted **Best Firm To Work For** 6 years in a row by the Zweig Group

From: Allianz Global Assistance(Allianz Assistance USA) <donotreplypolicy@allianzassistance.com>
Sent: Friday, February 9, 2024 7:57 PM
To: Brian Wade <bwade@rlginc.com>
Subject: Your travel insurance plan: EUSP2396822669



Hi BRIAN,

Thank you for protecting your trip with us.

**Here's your
plan information**

Your insurance plan at a glance

Plan:
Domestic Travel Protector Plus

Purchase Date:
February 9, 2024

Plan Number:
EUSP2396822669

Effective Date:
February 10, 2024

Total Amount Paid:
\$78.17

Travel Date(s):
May 18, 2024 – May 22, 2024

[Read full plan details](#)

If you're not completely satisfied, you have 15 days (or more, depending on your state of residence) to request a refund, provided you haven't started your trip or initiated a claim. Premiums are non-refundable after this period.

Please save this email for future reference, and be sure to review your full plan documents using the button above. Let us know if you have additional non-refundable reservations (lodging, rental car, or activities), and would like to include these in your insurance coverage.

You can easily [make changes to your plan](#) on our website. If you have questions, [contact us online](#) or call [1-800-284-8300](#).

Sincerely,
Allianz Global Assistance



The Allianz TravelSmart™ App

TravelSmart™ with our free app to access your benefits on the go, connect with 24-hour assistance, file claims quickly, and more.



Tina Stewart

From: Richard Boyer
Sent: Tuesday, February 13, 2024 2:02 PM
To: Tina Stewart
Subject: Your trip confirmation (DFW - LAS)

Please find the attached receipt for airfare related to the ICSC Conference in May.

Thanks

Richard Boyer
Mayor

City of The Colony, TX
6800 Main Street
The Colony, TX 75056
mayor@thecolonytx.gov



American



Issued: February 13, 2024


Your trip confirmation and receipt

We charged \$591.20 to your card ending in 4564 for your ticket purchase.


You can check in via the American app 24 hours before your flight and get your mobile boarding pass.

Confirmation code: **YMPYPT**

Saturday, May 18, 2024


 **DFW**
Dallas/Fort Worth
12:44 PM

AA 777 


 **LAS**
Las Vegas
1:38 PM

Seat:
Class: **Economy (G)**
Meals: **Refreshment**

Wednesday, May 22, 2024

 **LAS**
Las Vegas
9:26 AM

AA 1890 

 **DFW**
Dallas/Fort Worth
2:12 PM

Seat:
Class: **Economy (L)**
Meals: **Refreshment**

[Manage your trip](#)

Your purchase

Richard Boyer

Join the AAdvantage® Program

New ticket (0012115953727) \$591.20

[\$521.86 + Taxes & carrier-imposed fees \$69.34]

Total cost **\$591.20**

Your payment

MasterCard (ending 4564)	\$591.20
Total paid	\$591.20

Bag information

Checked Bag (Airport)

DFW - LAS

1 st bag	\$30.00
2 nd bag	\$40.00

LAS - DFW

1 st bag	No charge
2 nd bag	No charge

Checked Bag (Online*)

DFW - LAS

1 st bag	\$30.00
2 nd bag	\$40.00

LAS - DFW

1 st bag	No charge
2 nd bag	\$40.00

DFW - LAS

Maximum dimensions: 62 inches or 158 centimeters calculated as (length + width + height)
Maximum weight: 50 pounds or 23 kilograms

LAS - DFW

Maximum dimensions: 62 inches or 158 centimeters calculated as (length + width + height)
Maximum weight: 50 pounds or 23 kilograms

Tina Stewart

From: Richard Boyer
Sent: Sunday, March 3, 2024 1:48 PM
To: Tina Stewart
Subject: Fw: Your trip confirmation (DFW - BNA)

Airfare receipt for upcoming economic development trip we are taking to visit a potential business.

Richard Boyer
Mayor

City of The Colony, TX
6800 Main Street
The Colony, TX 75056
mayor@thecolonytx.gov



From: Richard Boyer <richard_b_boyer@yahoo.com>
Sent: Sunday, March 3, 2024 1:39 PM
To: Richard Boyer <mayor@thecolonytx.gov>
Subject: Fw: Your trip confirmation (DFW - BNA)

American 

Issued: March 3, 2024

Your trip confirmation and receipt

We charged \$469.20 to your card ending in 4564 for your ticket purchase.

You can check in via the American app 24 hours before your flight and get your mobile boarding pass.

Confirmation code: **JMACML**

Wednesday, March 27, 2024

DFW
Dallas/Fort Worth
10:26 AM

AA 1365

BNA
Nashville
12:28 PM

Seat: **11F**
Class: **Economy (Q)**
Meals:

Friday, March 29, 2024

BNA
Nashville
8:00 AM

AA 2980

DFW
Dallas/Fort Worth
10:16 AM

Seat: **11A**
Class: **Economy (N)**
Meals:

Manage your trip

Earn 50,000 bonus miles
Plus great travel benefits. Terms Apply.
Learn more



Your purchase

Richard Boyer - AAdvantage® #: 23W****

New ticket (0012121319834)

\$469.20

[\$408.37 + Taxes & carrier-imposed fees \$60.83]

Total cost **\$469.20**

Your payment

MasterCard (ending 4564) \$469.20

Total paid \$469.20

Bag information

Checked Bag (Airport)

DFW - BNA

1st bag No charge

2nd bag \$45.00

DFW - BNA

Maximum dimensions: 62 inches or 158 centimeters calculated as (length + width + height)

Maximum weight: 50 pounds or 23 kilograms

For information regarding American Airlines checked baggage policies, please visit: [Bag and optional fees](#)

Bag fees apply at each Check-in location. Additional allowances and/or discounts may apply. Bag and optional fees

If your flight is operated by a partner airline, see the other airline's website for carry-on and checked bag policies.

Carry-on bags (American Airlines)

1st carry-on Includes purse, briefcase, laptop bag, or similar item that must fit under the seat in front of you.

2nd carry-on Maximum dimensions not to exceed: 22" long x 14" wide x 9" tall (56 x 35 x 23 cm).





Join Us Monday for 2 for 1
Prime Rib!
 Home of the \$6 Happy Hour!
 Cater your Event with Seven
 Doors
 More info at
www.sevendoorskitchen.com
 972-410-0406

Server: BAR A
 Check #6 Table 33
 Guest Count: 0
 Ordered: 2/16/24 11:27 AM

Diet Coke	\$3.50
3 Iced Tea	\$12.00
Tempura Calamari	\$15.25
Steak & Wedge Salad	\$23.75
2 Large Caesar Salad	\$37.90
Add Grilled Chicken	
Three grain Salad	\$13.95
Subtotal	\$106.35
Tax	\$8.77
Tip	\$21.27
Total	\$136.39

Input Type
 C (EMV Chip Read)
 MASTERCARD xxxxxxxx4564
 Time 1:13 PM

Transaction Type Sale
 Authorization Approved
 Approval Code 079886
 Payment ID wrxtk9cyCcpy
 Application ID
 A0000000041010
 Application Label
 MASTERCARD
 Terminal ID
 80b8a7d030f3eff2
 Card Reader BBPOS
 RICHARD BOYER

Thank you for dining with us!

100% of all gratuities go
 to the staff
 and are calculated on pre
 discounted

Angelina's
 4851 Main St
 The Colony, TX 75056
 972-625-5372

Server: Julian 02/14/2024
 Table 114/1 12:50 PM
 Guests: 3 4000€

Seat 1

 Fajitas Combo 11.50
 Cheese Enchilada Dinner 7.99
 Iced Tea 2.99
 Beef & Chs Ench Ranchero 8.50
 Subtotal 98
 Tax 2.56
 Total 33.54

Subtotal 30.98
 Tax 2.56
Total 33.54

Balance Due 33.54

Like us on Facebook
 Weekend Brunch 40.54

\$3 mimosas & bloody marys
 Monday \$2.00 house Ritas
 Happy Hour 11 am-6 pm
 \$2.50 Domestic Pints Wednesday

Memo

To: Kathy Neal, Accountant/Budget Analyst (Finance Dept.)

Cc:

From: Tina Stewart, City Secretary

Date: 3/20/2024

Re: Notice of Business Travel - Reimbursement

Councilman Brian Wade half the cost of business travel as follows:

1. February 10, 2024: AA trip to Las Vegas May 18, 2024 \$509.60
2. February 16, 2024: Lyft Ride \$49.12
3. March 1, 2024: AA trip to Nashville, TN Departure March 27, 2024 \$331.10
 - Please add checks to travel account 100-623-6126.

Thank you for your assistance,



Tina Stewart

BRIAN RUSSELL WADE
5541 NORRIS DR
THE COLONY, TX 75056-3761

1804
37-65/1119 3660

Date 3/15/2024

Pay to the Order of The City of The Colony \$ 509 ⁶⁰/₁₀₀
Five Hundred Nine & ⁶⁰/₁₀₀ Dollars

WELLS FARGO Wells Fargo Bank, N.A. Texas wells Fargo.com

For 1/2 AA flight to Vegas 

⑆⑆⑆⑆900659⑆ 000655⑆17⑆18⑆⑆ 0⑆1804

BRIAN RUSSELL WADE
5541 NORRIS DR
THE COLONY, TX 75056-3761

1802
37-65/1119 3660

Date 3/15/2024

Pay to the Order of The City of The Colony \$ 49 ¹²/₁₀₀
Forty Nine Dollars & ¹²/₁₀₀ Dollars

WELLS FARGO Wells Fargo Bank, N.A. Texas wells Fargo.com

For lyft (2/16/24) 

⑆⑆⑆⑆900659⑆ 000655⑆17⑆18⑆⑆ 0⑆1802


BRIAN RUSSELL WADE
5541 NORRIS DR
THE COLONY, TX 75056-3761

1803
37-65/1119 3660

Date 3/15/2024

Pay to the Order of The City of The Colony \$ 331 ¹⁰/₁₀₀
Three Hundred Thirty One & ¹⁰/₁₀₀ Dollars

WELLS FARGO Wells Fargo Bank, N.A. Texas wells Fargo.com

For 1/2 AA flight to Nashville 

⑆⑆⑆⑆900659⑆ 000655⑆17⑆18⑆⑆ 0⑆1803

23-6390

shutterfly.com/cart/?brand=INC#confirm.sfly

Summary

Order #027006582085-8000012
Estimated delivery Fri 2/16*
Total \$48.24
[Order details](#)

Track shipping by text
Enter mobile number
(972) 624-3106

You'll always receive shipping and delivery updates by email. Message and data rates may apply.


Text me with the latest deals and news
Sign up to receive exclusive offers and to stay in the know with Shutterfly.

By checking this box, you agree to receive recurring automated promotional and personalized marketing text messages (e.g. cart reminders) from Shutterfly at the cell number used when signing up. Consent is not a condition of any purchase. Reply HELP for help and STOP to cancel. Msg frequency varies. Msg & data rates may apply. View [Terms](#) & [Privacy](#).


Shipping address

6800 Main St
The Colony TX 75056-1133

* Arrival times are not guaranteed



Set of Prints (1)
Fri 2/9 - Fri 2/16*



Set of Prints (2)
Fri 2/9 - Fri 2/16*

Memo

To: Kathy Neal, Accountant/Budget Analyst (Finance Dept.)

Cc:

From: Tina Stewart, City Secretary



Date: 3/11/2024

Re: Notice of City Council Meeting Meal Order – February 20, 2024

On February 20, 2024, City Council Regular Session Meeting dinner was catered by The Great Greek Mediterranean Grill at 3750 Plano Parkway, Suite 1000, The Colony, TX 75056 in the amount of \$400.00. Miscellaneous account 623-6390.

Thank you for your assistance,

Tina Stewart

HISTORICAL

SPAN, INC.
1800 Malone St.
Denton TX 76201

INVOICE	INV002382
Type	
Date	2/29/2024
Page	1

Bill to:

City of The Colony
5151 N. Colony Blvd.
The Colony TX 75056

Ship to:

City of The Colony
5151 N. Colony Blvd.
The Colony TX 75056

Purchase Order ID		Customer ID	Salesperson ID	Shipping Method	Payment Terms ID		
		COLONY			Net 30		
Quantity	Item Number	Description	U Of M	Discount	Unit Price	Ext. Price	
196	1	Transit for February 2024	Each	\$0.00	\$20.24	\$3,967.04	

Subtotal	\$3,967.04
Misc	\$0.00
Tax	\$0.00
Freight	\$0.00
Trade Discount	\$0.00
Total	\$3,967.04

23-6390

23-6390

23-6390

Welcome to Chick-fil-A
The Colony FSU (#00774)
The Colony, TX
(972) 370-2760
Operator: Warren Leonhardi



sam's club

Roma's Italian Restaurant The Colony

6700 Main St Ste 150
The Colony, TX 75056

Opened: 02/06/2024 3:37 pm
Closed: 02/06/2024 4:03 pm
Order: 3908 Check: 1
Order Type: To Go **
Name: Quick Sale
Server: Dine

CUSTOMER COPY
2/20/2024 3:26:15 PM
PICKUP
Order Number: 8495468

Guest: Kim
Phone 9726243107
Promised Time: 2/20/2024 3:30 PM

1 Brownie Tray LG 27.00
Sub. Total: \$27.00
Tax: \$0.00
Total: \$27.00

Change \$0.00
Mastercard: \$27.00
Register:6 Tran Seq No: 8495468
Cashier:Erin

It was our pleasure serving you!
Have a wonderful day.
Need to scan the app?
One.chick-fil-a.com/forgot2scan

Feb 20 2024 3:26 pm

Card Number : *****8404
Card Type : MASTER CARD
Approval : 033600
ID : A0000000041010

Self Checkout

(469) 633 - 0026
PLANO, TX
02/06/24 11:14 0571 06255 091 9091
CITY

980261983 HAWKINS 10.98 T
990010802 HEFTY SPOON 14.98 T
SUBTOTAL 25.96

TAX 1 8.250 \$ 2.14
TOTAL 28.10
SAM'S CASH TEND 1.16

VOIDED BANKCARD TRANSACTION
MASTERCARD **** * 8404 I 1
AID A0000000041010
CAC 9686C650CF0F73C
TERMINAL # 2634059
*Signature Verified

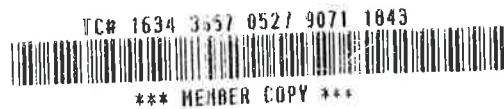
DECLINED
02/24 11:15:00
MASTERCARD **** * 8404 I 1

APPROVAL # 0869:5
AID A0000000041010
CAC A7B39F4BB150F34F
TERMINAL # 2634059
*NO SIGNATURE REQUIRED
CHARGE DUE 0.00

SAM'S CASH USED 1.16
Beg Bal Tran Amt End Bal
1.16 1.16 0.00
02/06/24 11:15:18

Visit samsclub.com to see your savings

ITEMS SOLD 2



- 4 Blueberries & Cream - Single \$11.00
 - 4 Chocolate Chunk - Single \$11.00
 - 4 Kitchen Sink - Single \$11.00
 - 4 Oatmeal Raisin - Single \$11.00
 - 4 Snickerdoodle - Single \$11.00
- Total \$55.00
Tip \$8.25
CREDIT CARD SALE \$63.25
MASTERCARD 8404

Retain this copy for statement validation

Station: Store POS
06-Feb-2024 2:30:04P
\$63.25 | Method: EMV
MASTERCARD XXXXXXXXXXXXXXX8404
TINA STEWART
Reference ID: 403700641556
Auth ID: 002868
MID: *****6886
AID: A0000000041010
AuthNtwkNm: MASTERCARD
SIGNATURE

1 TRAY LASAGNA (custom)135.00
1 TRAY CHK PARM (custom)135.00

Subtotal 270.00
Tax Exempt

Total 270.00

Mastercard 8404 (095048)270.00
Tip: 20.00
Total with Tip: 290.00

Balance Due 0.00

Carryout

Customer copy

Thank You!

<http://www.oliopatisserie.com>
Olio Patisserie
7552 MAIN ST SUITE 104
THE COLONY, TX 75056
9728977685

EFFORTLESSLY DELICIOUS



23-6390

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Tina Stewart

Submitting Department: Finance

Item Type: Resolution

Agenda Section:

Subject:

Consider approving a resolution authorizing the Mayor to amend the authorized representatives to Texpool. (L. Williams)

Suggested Action:

Attachments:

[Res. 2024-xxx TEXPOOL Authorized Representatives.pdf](#)



Resolution Amending Authorized Representatives

Please complete this form to amend or designate Authorized Representatives. *This document supersedes all prior Authorized Representative forms.*

*** Required Fields**

1. Resolution

WHEREAS,

City of The Colony

7 7 3 8 6

Participant Name*

Location Number*

("Participant") is a local government of the State of Texas and is empowered to delegate to a public funds investment pool the authority to invest funds and to act as custodian of investments purchased with local investment funds; and

WHEREAS, it is in the best interest of the Participant to invest local funds in investments that provide for the preservation and safety of principal, liquidity, and yield consistent with the Public Funds Investment Act; and

WHEREAS, the Texas Local Government Investment Pool ("TexPool / Texpool Prime"), a public funds investment pool, were created on behalf of entities whose investment objective in order of priority are preservation and safety of principal, liquidity, and yield consistent with the Public Funds Investment Act.

NOW THEREFORE, be it resolved as follows:

- A. That the individuals, whose signatures appear in this Resolution, are Authorized Representatives of the Participant and are each hereby authorized to transmit funds for investment in TexPool / TexPool Prime and are each further authorized to withdraw funds from time to time, to issue letters of instruction, and to take all other actions deemed necessary or appropriate for the investment of local funds.
- B. That an Authorized Representative of the Participant may be deleted by a written instrument signed by two remaining Authorized Representatives provided that the deleted Authorized Representative (1) is assigned job duties that no longer require access to the Participant's TexPool / TexPool Prime account or (2) is no longer employed by the Participant; and
- C. That the Participant may by Amending Resolution signed by the Participant add an Authorized Representative provided the additional Authorized Representative is an officer, employee, or agent of the Participant;

List the Authorized Representative(s) of the Participant. Any new individuals will be issued personal identification numbers to transact business with TexPool Participant Services.

1.	Latonja Williams	Finance Director
	Name	Title
	9 7 2 6 2 4 3 1 4 0	llwilliams@thecolonytx.gov
	Phone	Email
	<i>Latonja Williams</i>	
	Signature	
2.	Stacey Davis	Senior Accountant
	Name	Title
	9 7 2 6 2 4 3 1 4 3	sdavis@thecolonytx.gov
	Phone	Email
	<i>Stacey Davis</i>	
	Signature	
3.	Kathy Neal	Accounts Payable Accountant
	Name	Title
	9 7 2 6 2 4 3 1 4 1	kneal@thecolonytx.gov
	Phone	Email
	<i>Kathy Neal</i>	
	Signature	

1. Resolution (continued)

4.

Name			Title		
Phone		Fax		Email	
Signature					

List the name of the Authorized Representative listed above that will have primary responsibility for performing transactions and receiving confirmations and monthly statements under the Participation Agreement.

Latonja Williams

Name

In addition and at the option of the Participant, one additional Authorized Representative can be designated to perform only inquiry of selected information. *This limited representative cannot perform transactions.* If the Participant desires to designate a representative with inquiry rights only, complete the following information.

Name			Title		
Phone		Fax		Email	

D. That this Resolution and its authorization shall continue in full force and effect until amended or revoked by the Participant, and until TexPool Participant Services receives a copy of any such amendment or revocation. This Resolution is hereby introduced and adopted by the Participant at its regular/special meeting held on the 02 day of May, 2024.

Note: Document is to be signed by your Board President, Mayor or County Judge and attested by your Board Secretary, City Secretary or County Clerk.

Name of Participant*

SIGNED

Signature*
Printed Name*
Title*

ATTEST

Signature*
Printed Name*
Title*

2. Delivery Instructions

Please return this document to **TexPool Participant Services:**

Email: texpool@dstsystems.com

Fax: 866-839-3291

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Tina Stewart

Submitting Department: General Admin

Item Type: Ordinance

Agenda Section:

Subject:

Consider approving an ordinance authorizing an exception to the Code of Ordinances Section, 6-192, (a) & (b) to allow fireworks at 10:45 PM on July 3rd, 2024 at Grandscape Lifestyle Center, 5752 Grandscape Blvd. (Maurina)

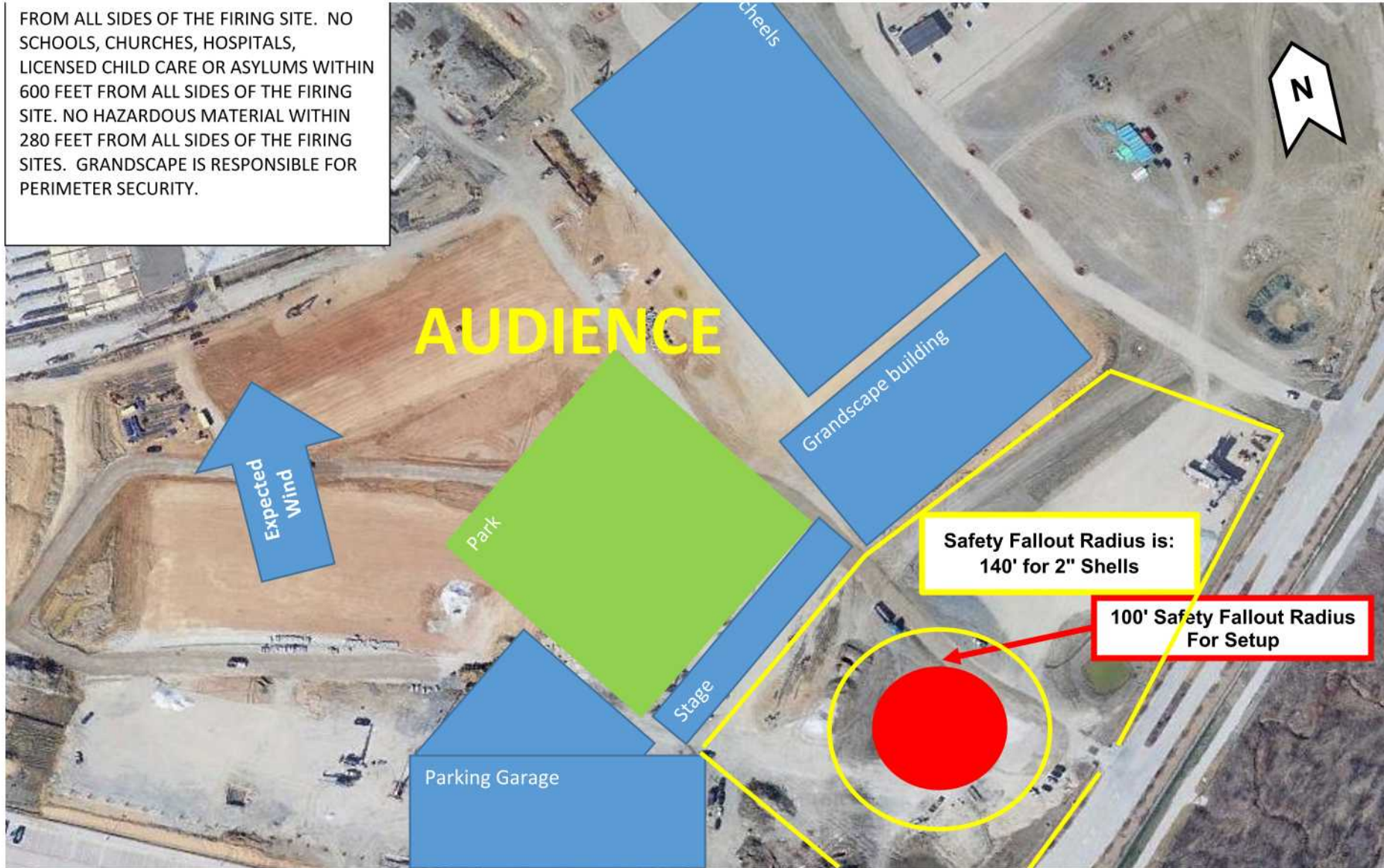
Suggested Action:

Attachments:

[SITE MAP - Grandscape - 11.19.2022.pdf](#)

[Ord. 2024-xxxx Fireworks Special Exemption.docx](#)

FROM ALL SIDES OF THE FIRING SITE. NO SCHOOLS, CHURCHES, HOSPITALS, LICENSED CHILD CARE OR ASYLUMS WITHIN 600 FEET FROM ALL SIDES OF THE FIRING SITE. NO HAZARDOUS MATERIAL WITHIN 280 FEET FROM ALL SIDES OF THE FIRING SITES. GRANDSCAPE IS RESPONSIBLE FOR PERIMETER SECURITY.



Customer: Grand Scape - LMG Ventures, LLC
 Show Date: Saturday, November 19, 2022
 Show Address: 5752 Grandscape Blvd The Colony, TX 75056
 Show Site Lat / Long: 0
 Show Time: 7:00 PM
 Rain Date: TBD

Show Name: Grandscape Texas Independence Day
 Maximum Device Size: 2
 Safety Fallout Radius: 140'
 Storage Required: No
 Diagram Created: 07/02/22
 Diagram Created By:

**CITY OF THE COLONY, TEXAS
ORDINANCE NO. 2024- _____**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, GRANTING A SPECIAL EXEMPTION FROM THE SOUND ORDINANCE PURSUANT TO SECTION 6-192 OF THE CODE OF ORDINANCES OF THE CITY OF THE COLONY, TEXAS, BY AUTHORIZING THE USE OF A FIREWORKS DISPLAY AT 10:45 P.M. ON July 3rd, 2024, AT GRANDSCAPE LIFESTYLE CENTER, LOCATED AT 5752 GRANDSCAPE BOULEVARD, THE COLONY, TEXAS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, LMG Ventures LLC, a Texas limited liability company, has requested an exemption to the City’s noise ordinance for the purpose of fireworks display at 10:45 pm on July 3rd, 2024, at Grandscape Lifestyle Center, located at 5752 Grandscape Boulevard, The Colony, Texas (hereinafter referred to as the “Event”); and

WHEREAS, Section 6-192(c)(2) of the Code of Ordinances of the City of The Colony, Texas, provides in pertinent part that “[T]he use of any loudspeaker or amplifier or musical instrument in such manner or with such volume, particularly between 10:00 p.m. and 7:00 a.m., that annoys and disturbs persons of ordinary sensibilities in the immediate vicinity thereof; provided, however, that upon application by the user of such devices, the city council may make special exemption or exception to this clause for such time as the city council feels will serve the public welfare;” and

WHEREAS, the City Council of the City of The Colony, Texas, finds and determines that it is in the public interest and welfare of the City, consistent with Section 6-192(c)(2) of the Code of Ordinances of the City of The Colony, Texas, to grant a special exemption or exception to LMG Ventures LLC, a Texas limited liability company, for the Event.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, THAT:

SECTION 1. That the foregoing recitals are hereby found to be true and correct legislative findings of the City of The Colony, Texas, and are fully incorporated into the body of this Ordinance.

SECTION 2. That the City Council of the City of The Colony, Texas, finds and determines that it is in the public interest and welfare of the City, consistent with Section 6-192(c)(2) of the Code of Ordinances of the City of The Colony, Texas, to grant LMG Ventures LLC, a Texas limited liability company, a special exemption or exception for the use the Event.

SECTION 3. If any section, article paragraph, sentence, clause, phrase or word in this Ordinance, or application thereto any persons or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining

portions of this Ordinance; and the City Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 4. That all provisions of the ordinances of the City of The Colony, Texas, in conflict with the provisions of this Ordinance be, and the same are hereby amended, repealed, and all other provisions of the ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. This Ordinance shall become effective from and after its date of passage in accordance with law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS THIS 4TH DAY OF JUNE, 2024.

/s/Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

/s/Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

/s/Jeffrey L. Moore, City Attorney

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Tina Stewart

Submitting Department: Parks & Recreation

Item Type: Resolution

Agenda Section:

Subject:

Consider approving a resolution authorizing the City Manager to issue a purchase order to Furniture Solutions Now through a TIPS Purchasing Cooperative Contract in an amount not to exceed \$100,796.60 for the purchase of furniture at the New Recreation Center for Phase 2, to be funded by the Community Development Corporation. (Lehmann)

Suggested Action:

Background: This is for the purchase, delivery, and installation of furniture from Furniture Solutions Now for the new Community Center, which is currently under construction. The new space will more than double in size, increasing from approximately 9,000 square feet to 20,000 square feet, necessitating additional furniture to meet the needs of our users. We plan to supplement some of the newer pieces at the current facility where possible when we move over to the new facility. Since the majority of our current furniture is quite dated, we are unable to find replacements for most pieces, making upgrading the best option. Lead times for the furniture range from 6 to 8 weeks, so to meet our target opening date, we must place the order as soon as possible.

Attachments:

[PHASE 2 - CITY OF THE COLONY - NEW REC CENTER FURNITURE.pdf](#)

[Res. 2024-xxx New Recreation Center Furniture Purchase.docx](#)

furniture solutions now

DATE: 05/06/24

pre-owned/new furniture + liquidation services + furniture repair/refinish

PROPOSAL: 57984

2201 Chemsearch Boulevard • Irving, TX 75062 • 214.879.0500

PROJECT # 112-375

FURNITURE SALES

CUSTOMER:	INSTALL AT:
CITY OF THE COLONY 6800 MAIN STREET THE COLONY, TX 75056	STEWART CREEK RENOVATION 4431 AUGSTA STREET THE COLONY, TX 75076

SALESPERSON
PATTI MOODY

TERMS
SEE BELOW

CALVIN LEHMAN
972-624-3956

QUOTE VALID
06/05/24

#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
			DELIVERY AND INSTALL FURNITURE FOR PHASE II - STEWART CREEK		
			PRELIMINARY PRICING ONLY		
			ANNETTE'S OFFICE		
1	1		ULTRA L-SHAPED DESK DESK - 60"W X 30"D X 29.5"H RETURN - 41"W X 24"D X 29.5"H INCLUDES (1) BBF FILING PEDESTAL	800.00	800.00
2	1	OFD - 127	ULTRA 42" ROUND TABLE - BURNT STRAND	278.00	278.00
3	1	OFD-156	ULTRA BOOKCASE - 35.4"W X 14"D X 65"H - BURNT STRAND	420.00	420.00
			ANNETTE'S SUBTOTAL		1,498.00
			MISCELLANEOUS		
4	1		LIGHT AIRGRID BLACK ECO LEATHER ADJUSTABLE FLIP ARMS, SEAT - MEMORY FOAM	406.93	406.93
			MISCELLANEOUS SUBTOTAL		406.93
			COMPUTER ROOM		
PAGE 1					

furniture solutions now

pre-owned/new furniture + liquidation services + furniture repair/refinish

2201 Chemsearch Boulevard • Irving, TX 75062 • 214.879.0500

DATE: 05/06/24

PROPOSAL: 57984

PROJECT # 112-375

FURNITURE SALES

CUSTOMER:	INSTALL AT:
CITY OF THE COLONY 6800 MAIN STREET THE COLONY, TX 75056	STEWART CREEK RENOVATION 4431 AUGSTA STREET THE COLONY, TX 75076

SALESPERSON PATTI MOODY	TERMS SEE BELOW	CALVIN LEHMAN 972-624-3956	QUOTE VALID 06/05/24
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#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
5	17	R5NPUC	REBOUND, ARMLESS, FABRIC SEAT & POLYPROPYLENE BACK, STD 4 LEGGED B ~02 GRADE 02 ~ALLA ALLANTE FREE (GLOBAL) A09F 2-AUTUMN RAIN C114 C-2" CASTER FOR CARPETED SURFACES	266.81	4,535.77
6	8	PN722429	24"D X 72"W X 29"H, TABLE, PRINCETON ~PRNB PRINCETON TOP FINISH ... Skipped Option ~PLF PRINCETON LEG FINISH ... Skipped Option	523.99	4,191.92
7	1	PN482429	24"D X 48"W X 29"H, TABLE, PRINCETON ~PRNB PRINCETON TOP FINISH ... Skipped Option ~PLF PRINCETON LEG FINISH ... Skipped Option	422.35	422.35
8	8	PEWM4	POWER/DATA-WIRE MANAGER. TRAY FLEXES TO HOLD ELECT/DATA WIRES. ATT	51.97	415.76
9	8	COV-SM-2-S-108	COVE MINI, SILVER, 2 POWER, 108" POWER CORD, TABLE POWER ECA M-SPLIT CABLES OFF FACTORY ORDER - REQUIRED (ORDER	95.87	766.96
COMPUTER ROOM SUBTOTAL					10,332.76
FITNESS ROOM					

furniture solutions now

DATE: 05/06/24

pre-owned/new furniture + liquidation services + furniture repair/refinish

PROPOSAL: 57984

2201 Chemsearch Boulevard • Irving, TX 75062 • 214.879.0500

PROJECT # 112-375

FURNITURE SALES

CUSTOMER:	INSTALL AT:
CITY OF THE COLONY 6800 MAIN STREET THE COLONY, TX 75056	STEWART CREEK RENOVATION 4431 AUGSTA STREET THE COLONY, TX 75076

SALESPERSON PATTI MOODY	TERMS SEE BELOW	CALVIN LEHMAN 972-624-3956	QUOTE VALID 06/05/24
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#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
10	4	LM2453S23NN	52.95"H X 24"W X 18"D, METAL CUBBIES W/LEVELERS, NO DOORS, 2 COLUM BG M-GANGING	568.65	2,274.60
11	2	ZUT1848	18"D X 48"W, UNIVERSAL LAMINATE TOP, NO DRILL HOLES, ZIRA ~ZTOP ZIRA TOP FINISH ... Skipped Option ~ GROMMET/ELECTRICAL/VILLA NOT REQUIRED - LEFT POSIT ~ GROMMET/ELECTRICAL/VILLA NOT REQUIRED - CENTER POS ~ GROMMET/ELECTRICAL/VILLA NOT REQUIRED - RIGHT POSI ~ GROMMET/ELECTRICAL/VILLA NOT REQUIRED - CUSTOM GRO	119.35	238.70
12	75	2075NPP	STREAM, ARMLESS, POLYPROPYLENE SEAT & BACK, STD 4 LEGGED BASE, GLI ~STM PLASTIC BACK / SEAT SELECTIONS ... Skipped Option FG P-FRAME W/ GLIDES RG C-RUBBER NON-SLIP GLIDE	161.32	12,099.00
13	4	2085	STREAM, DOLLY, ACCOMMODATES 10-15 CHAIRS DEPENDING ON THE MODEL, G FIRNESS ROOM SUBTOTAL GAME ROOM	304.15	1,216.60 15,828.90
14	4	3372LTL	SIRENA, FABRIC, 30.5"W X 29.5"D X 28.5"H, LOUNGE CHAIR & LAMINATE ~04 GRADE 04 CONTINUED...	1,270.89	5,083.56
PAGE 3					

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2201 Chemsearch Boulevard • Irving, TX 75062 • 214.879.0500

DATE: 05/06/24

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PROJECT # 112-375

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SALESPERSON	TERMS	CALVIN LEHMAN	QUOTE VALID
PATTI MOODY	SEE BELOW	972-624-3956	06/05/24

#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
			~GPM4 GRADED IN GRADE 04 ... Skipped Option		
15	4	R5BSNPP	REBOUND, BAR HEIGHT STOOL, ARMLESS, POLYPROPYLENE SEAT & BACK, STD	215.60	862.40
16	1	3880	WIND LINEAR, 54"W X 20"D X 15"H, RECTANGULAR COFFEE TABLE, STD MET ~WLTP WIND LAMINATE TOP OPTIONS ... Skipped Option	624.86	624.86
			GAME ROOM SUBTOTAL		6,570.82
			GRAND ROOM		
17	1	SCHC2239	22"D X 49"W X 41"H, HOSPITALITY CART, SPACES ~CLSPL SHELF FINISH ... Skipped Option	1,237.39	1,237.39
18	200	6621	DUET, ARMLESS, WALL SAVER, PLASTIC SEAT & BACK, STD SLED BASE, CHR ~DPLS PLASTIC BACK / SEAT SELECTIONS ... Skipped Option CH F-CHROME FRAME CHM RG M-RUBBER PAD GLIDE	113.58	22,716.00
			GRAND ROOM SUBTOTAL		23,953.39

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SALESPERSON PATTI MOODY	TERMS SEE BELOW	CALVIN LEHMAN 972-624-3956	QUOTE VALID 06/05/24
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#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
			LIBRARY		
19	4	PN484829C	48"D X 48"W X 29"H, TABLE WITH CASTERS, PRINCETON ~PRNB PRINCETON TOP FINISH ... Skipped Option ~PLF PRINCETON LEG FINISH TTU F-(STD) TUNGSTEN FINISH, OPEN FRAME TTU	565.57	2,262.28
20	12	93BC36-4	13"D X 36"W X 53.69"H, 4 HIGH METAL BOOKCASE, 3 ADJUSTABLE SHELVES ~STD METAL FILE CASE & STORAGE FRONT PAINT FINISHES (GL	199.05	2,388.60
21	6	T1372	13"D X 72"W X 1.13"H, LAMINATE TOP FOR BOOKCASES, UNIVERSAL FILING ~LAFW LAMINATE FILE TOP FINISHES ... Skipped Option	190.96	1,145.76
22	4	R5APPC	REBOUND, ARMCHAIR, POLYPROPYLENE SEAT & BACK, STD 4 LEGGED BASE, C	236.78	947.12
23	13	R5NPPC	REBOUND, ARMLESS, POLYPROPYLENE SEAT & BACK, STD 4 LEGGED BASE, CA	194.04	2,522.52
24	4	8029	DRIFT, HIGH BACK, LOUNGE CHAIR, FULLY UPHOLSTERED W/ 4 LEGGED WOOD ~04 GRADE 04 ~GPM4 GRADED IN GRADE 04 GPM4 1-GRADED IN GRADE 04 FABRICS ~04 GRADE 04 CONTINUED...	1,474.55	5,898.20
			PAGE 5		

furniture solutions now

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SALESPERSON	TERMS	CALVIN LEHMAN	QUOTE VALID
PATTI MOODY	SEE BELOW	972-624-3956	06/05/24

#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
			~GPM4 GRADED IN GRADE 04 GPM4 2-GRADED IN GRADE 04 FABRICS S18 M-18IN SEAT HEIGHT ~DL DRIFT WOOD LEG FINISH ... Skipped Option		
25	2	8041R2616WS F	DRIFT, 26"W X 16"H, ROUND TABLE, SOLID SURFACE, FLAT EDGE, WOOD BA	1,149.23	2,298.46
26	7	6624	DUET, DOLLY, GLOBAL SEATING USA PK M-(STD) RTA CODE IN PRICEBOOK PER MODEL	297.22	2,080.54
			LIBRARY SUBTOTAL		19,543.48
			LOBBY		
27	4	8027	DRIFT, MID BACK, LOUNGE CHAIR, FULLY UPHOLSTERED W/ 4 LEGGED WOOD ~04 GRADE 04 ~GPM4 GRADED IN GRADE 04 GPM4 1-GRADED IN GRADE 04 FABRICS ~04 GRADE 04 ~GPM4 GRADED IN GRADE 04 GPM4 2-GRADED IN GRADE 04 FABRICS S18 M-18IN SEAT HEIGHT ~DL DRIFT WOOD LEG FINISH ... Skipped Option	1,327.87	5,311.48
28	2	8041R2616WS F	DRIFT, 26"W X 16"H, ROUND TABLE, SOLID SURFACE, FLAT EDGE, WOOD BA	1,149.23	2,298.46

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SALESPERSON	TERMS	CALVIN LEHMAN	QUOTE VALID
PATTI MOODY	SEE BELOW	972-624-3956	06/05/24

#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
29	1	Z361836KO	18"D X 36"W X 36"H, SERVING CART, OPEN FRONT/BACK, 1 ADJ. FIXED SH ~ZTOP ZIRA TOP FINISH ... Skipped Option ~ZBSE ZIRA STORAGE BASE FINISH ... Skipped Option	787.33	787.33
			LOBBY SUBTOTAL		8,397.27
			STAFF OFFICES		
30	3	PN2448DM	24"D X 48"W X 29"H, FREESTANDING DESK, STD W/ METAL OPEN FRAME LEG ~ (STD) THERMALLY FUSED LAMINATE, HIGH PERFORMANCE (~PRNB PRINCETON TOP FINISH ... Skipped Option ~POF PRINCETON OPEN FRAME LEG FINISH TDW F-DESIGNER WHITE FINISH, OPEN FRAME TDW	414.65	1,243.95
31	3	PN59TBBFL	24"D X 24"W X 52"H, LEFT, WARDROBE W/ COAT ROD (LT), OPEN SIDE STO ~PRNB PRINCETON TOP FINISH ... Skipped Option ~PRNB PRINCETON STORAGE BODY LAMINATES ... Skipped Option ~DOOR DOOR / DRAWER FRONT FINISH FAS M-FASHIONISTA FAS	824.67	2,474.01
32	1	PN484829	48"D X 48"W X 29"H, TABLE, PRINCETON ~ (STD) THERMALLY FUSED LAMINATE, HIGH PERFORMANCE (~PRNB PRINCETON TOP FINISH CONTINUED...	552.09	552.09
			PAGE 7		

furniture solutions now

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SALESPERSON
PATTI MOODY

TERMS
SEE BELOW

CALVIN LEHMAN
972-624-3956

QUOTE VALID
06/05/24

#	QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
		...	Skipped Option		
		~PLF	PRINCETON LEG FINISH		
		TBL	F-BLACK FINISH, OPEN FRAME TBL		
			STAFF OFFICES SUBTOTAL		4,270.05
			LABOR TO RECEIVE, DELIVER, INSTALL AND REMOVE TRASH		
			CONSTRUCTION AND SUPPLY CHAIN DELAYS DO NOT EXTEND PAYMENT TERMS** **ALL SALES FINAL**		
ACCEPTED BY _____			PRODUCT		90,801.60
SIGNATURE			LABOR		9,995.00
ACCEPTED BY _____					
PLEASE PRINT NAME					
DATE ACCEPTED _____			NOT TO EXCEED		
			TOTAL		100,796.60
THIS PROPOSAL IS PROPRIETARY AND CONFIDENTIAL. TERMS: PO REQUIRED TO PROCESS ORDER			DEPOSIT:		
PAGE 8 OF 8					

Furniture Solutions Now, Ltd. Terms and Conditions

Agreement Between The Parties: This agreement constitutes the entire agreement between Furniture Solutions Now, Ltd. (FSN hereafter) and the Customer. Aside from Customer signed change orders, no other representations or statements will be binding upon those parties. If any part of this agreement is found to be invalid or unenforceable for any reason, the remaining terms and conditions of this agreement shall remain in full force and effect. **Quotation Term:** Quoted prices are good for thirty (30) calendar days from the date of the quotation.

Deposit, Invoicing, and Payment Terms: FSN typically requires a nonrefundable order deposit of 50% of proposal prior to processing / ordering product and services in client proposal. FSN to provide order deposit invoice, due upon receipt, to client at the time of proposal acceptance, interim payment invoice, due upon receipt and product shipment from manufacturer, distributor, or service provider. The remaining 10% is retainage due upon completion of product installation.

Withholding: Customer agrees not to withhold undisputed Furniture Solutions Now, Ltd.'s payment amounts beyond the agreed payment term. Withholding payment beyond the agreement terms shall void all FSN warranties or repair liability. A service charge of 1½% per month (not to exceed the maximum rate permitted by applicable law) will be added to all invoices not paid within agreed terms.

Installation Charges: Installation charges are based on regular business working hours (7:00 a.m. to 6:00 p.m.), Monday through Friday. Services provided outside of these hours are charged at an overtime premium. Installation charges are based upon available and unencumbered entry and work space that is completely clear of physical obstruction or other suppliers' employees.

Additionally Billable Events: Additionally billable events outside of the proposed Scope of Work may include, but are not limited to, Customer's failure to perform certain agreed upon tasks per schedule, incomplete installation area finish out, delay from elevator malfunction, power failure, weather delay, significant traffic delay, worksite obstruction by Customer or construction personnel, services and materials requested by Customer outside of proposed Scope of Work, debris unrelated to product installation, or additional Customer requests.

Order Cancellation or Change: Product orders may not be cancelled or changed once the product manufacturer acknowledges the order back to FSN unless agreed in writing by FSN. In the event of approved cancellation, Customer agrees to pay cancellation or applicable restocking charges. Product shipped from manufacturer stock, such as quick-ship programs, cannot be cancelled or changed.

Security Interest: FSN hereby retains, and Customer hereby grants FSN, a security interest in the quoted product equal to the unpaid balance of all moneys due until all moneys due are paid in full. Customer hereby appoints FSN as its true and lawful attorney-in-fact for purposes of executing all documentation necessary to evidence and perfect this security interest. Title to product transfers to Client upon its departure from manufacturer / distributor dock.

Plans / Drawings: FSN will provide two (2) material revisions per floor of furniture plan drawings at no extra cost to Customer. Additional revisions and copies of drawings are billable to Customer. FSN is not responsible for verifying Customer supplied drawings against actual base building dimensions or the placing of architectural core locations.

Site Access: Customer is to ensure unrestricted access to all facilities, including elevators and loading docks, required to for delivery, installation, and post product punch list activity of product. FSN is not liable for dock fees, elevator use, operator, mechanic, or elevator top/bottom car fees in any event.

Site Security, Missing Items: Customer is to provide all worksite and asset security it desires at all times. Once product has been delivered to Customer's location, Customer is solely responsible for loss or damage to the product. Customer agrees to hold FSN harmless from all liability for missing product, missing items including, but not limited to, pens, cell phones, purses or their contents, laptops, PDAs, cash, checks; either owned by the Customer or the Customer's employees.

Customer Personnel and/or Representatives: Customer agrees to assign Coordination Personnel to assist in scheduling and coordination of asset removal or product installation tasks. FSN is not responsible for any cost associated with Customer's employees, representatives, loss of market, loss of use, employee or representative vehicles, and/or equipment of any other supplier in any event.

Storage: Unless agreed in writing otherwise, FSN will begin charging Customer for storage starting fifteen (15) calendar days after FSN receives Customer's product into storage.

Manufacturer Delays and Customer Performance: FSN is a contract furniture reseller. FSN is not financially responsible for changes to previously announced manufacturers' lead times, changes to product shipment schedules, Inter & Intra-State transportation delivery delay, or Customer's failure to perform, and/or any other activities/events outside FSN's direct control. FSN is not responsible for liquidated damages, loss of use, or loss of market in any event. **Warranties:** FSN warrants its installation services for twelve months beyond product installation. All product warranties are provided by the product manufacturer.

Drop Ship Liability: Unless otherwise agreed in writing, receiving, delivery, installation, damage claims, and all other service and freight issues relative to drop ship orders are Customer's sole responsibility.

Product and Facility Damage Reporting, FSN's Right to Repair: Within five business days after FSN installs product, Customer agrees to provide FSN with a written punchlist of product or facility damage issues. Customer grants FSN the option to repair any damage that in FSN's opinion is repairable. All repairs must be completed to the Customer's satisfaction. Customer agrees that FSN will not be held responsible for damage related contractor expenses without FSN's express written consent provided prior to the contractor work taking place.

Taxes / Laws: Notwithstanding anything to the contrary, for purposes of personal property tax liability, the product is deemed to be Customer's property on December 31, regardless of its physical location. Customer is solely responsible for compliance with all applicable laws relating to the tax liability, installation, use, operation, and maintenance of the product.

Client Initial: _____ **Date :** _____

CITY OF THE COLONY, TEXAS
RESOLUTION NO. 2024 - _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, AUTHORIZING THE CITY MANAGER TO ISSUE A PURCHASE ORDER TO FURNITURE SOLUTIONS THROUGH A TIPS PURCHASING COOPERATIVE CONTRACT FUNDED BY THE COMMUNITY DEVELOPMENT CORPORATION; AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

Section 1. That the City Council of the City of The Colony, Texas hereby authorizes the City Manager to issue a purchase order in the amount of \$100,796.60 to Furniture Solutions through a TIPS purchasing cooperative contract funded by the Community Development Corporation.

Section 2. That the City Manager or his designee are authorized to issue said purchase order.

Section 3. That this resolution shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, THIS 4TH DAY OF JUNE 2024.

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

Jeffrey L. Moore, City Attorney

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Isaac Williams

Submitting Department: Planning and Development

Item Type: Ordinance

Agenda Section:

Subject:

Conduct a public hearing discuss and consider an ordinance for amendments to Planned Development 16 (PD-16) to reflect the conceptual layout and development standards for the “JPI Morningstar,” a 374-dwelling unit multi-family development located at the northwest intersection of Morningstar Drive and SH 121. (Williams)

Suggested Action:

Please see the attached staff report, drawings, maps and illustrations for detailed land use, site layout and staff recommendation

Attachments:

[PDA24-0001 CC Staff Report JPI Morningstar.doc](#)

[PDA24-001 JPI Morningstar Final Exhibits.pdf](#)

[Ord. 2024-xxxx Zoning PD Amendment - JPI Morningstar.docx](#)

CITY COUNCIL REPORT

AGENDA DATE: June 4, 2024

DEPARTMENT: Planning and Development Department

SUBJECT: PDA24-0001 – “JPI Morningstar” – Multi-family Development

Conduct a public hearing discuss and consider an ordinance for Amendments to Planned Development 16 (PD-16) to reflect the conceptual layout and development standards for the “JPI Morningstar,” a 374-dwelling unit multi-family development. The subject site contains approximately 10.86 acres and is located at the northwest intersection of Morningstar Drive and SH 121 (between South Colony Boulevard and Morningstar Drive) within Planned Development 16 (PD-16).

OWNER/APPLICANT

Owner: TMGN, LTD Dallas, TX

Applicant: Jesse Copeland Dallas, TX
Winstead, PC

EXISTING CONDITION OF PROPERTY

Planned Development 16 is an approximately 260-acre zoning district bound by SH 121 to the South, Memorial Drive to the North, Paige Road to the West and the BNSF Railroad to the East. The Planned Development is divided into Tracts A, B, C, D and E, with land uses permitted within the Business Park (BP) and General Retail (GR) zoning districts. The area is mostly developed with some vacant areas left within Tracts B, D and E.

The subject site is undeveloped and located within Tract D between South Colony Boulevard and Morningstar Drive, behind the existing commercial center referred to as the Village at 121. The Village at 121 features restaurants, retail, office and personal service establishments.

BACKGROUND

A similar request for a dense residential development was approved in 2017. A Planned Development Amendment was approved to develop a 21-unit per acre Townhome development on this portion of the tract. The Townhomes were never developed. Since that time no further development of the subject site has occurred.

In 2023, the applicant presented a request to develop this area with a mixed-use multi-family and commercial retail development. The request was denied by the Planning and Zoning Commission. The overall development was to contain approximately 14.95 acres. The applicant reconfigured the layout by decreasing the development area to 10.86 acres, removing the integrated commercial component, and reducing the overall number of units and buildings. Additionally, the applicant has revised tag name to “JPI Morningstar,” to avoid potential confusion with another multi-family development in the City. A permanent name will be selected at site plan.

PRIOR ACTION/REVIEW

On May 14, 2024 the Planning and Zoning Commission voted (7-0) to recommend approval of Amendments to Planned Development 16 (PD-16) to reflect the conceptual layout and development standards for the “JPI Morningstar,” a 374-dwelling unit multi-family development.

PROPOSED REQUEST

The proposed amendment to the Planned Development 16 Ordinance, reflects a multi-family residential development referred to as “JPI Morningstar.” The Planned Development Amendment is expressed as a Conceptual Plan and is required to establish the development intents, as the property does not currently have development standards to accommodate this land use. A subsequent site plan is required for consideration prior to development; the site plan will refine the concepts of this concept plan.

The project is reflected as a 10.86-acre single-phase development containing four (4), four-story buildings, accommodating 374 dwelling units, amenity areas and 609 surface parking spaces. The development reflects a density of approximately 34 units/ acre and 1.63 parking spaces per unit.

Three major thoroughfares bound the site as well providing access to South Colony Boulevard, Morningstar Drive and SH 121 service road. As proposed, the development will provide through access from Morningstar Drive to South Colony Boulevard, with internal drives to service the building units. Internal cross access through the development is provided to the adjacent commercial to the south and the internal commercial along South Colony Boulevard. Parking spaces provided throughout uncovered and covered including under carports.

The conceptual landscape plan reflects vegetative screening and or fencing at the property lines to express the boundaries. Separation from adjacent multi-family establishments is created by dense vegetation and fencing. The southern boundary contains mostly vegetation to delineate from the utilitarian spaces of the adjacent commercial uses. Landscape buffers along street edges consist of an arrangement of canopy trees and ornamental clusters.

The concept plan reflects:

- A mix of efficiency, and 1, 2, and 3 bedroom units with a minimum dwelling size of 600 square feet and average minimum unit size of 800 square feet. Units are provided balconies and internal corridors for access to each unit.
- 609 parking spaces including traditional surface spaces, tandem (“stacked”) and garage spaces [75 surface spaces will be covered by carport; 62 spaces are within garages].
- Multiple areas of outdoor amenities, a minimum of 12,000 square feet dedicated to open spaces [2,000 sqft dog park & 10,000 sqft pool area]. Walking paths and connectivity are imbedded within the buffers and building perimeters. Enclosed recreation areas are located within “Building II” and “Building III”.
- The conceptual elevation plan illustrates traditional multi-family design. Each building contains four-sided architecture constructed primarily of masonry with an earth tone color pallet consistent with development within the PD and Gateway Overlay District. The conceptual elevations will be further refined through the site plan process.
- Planting of large and small ornamental tree clusters establish respite areas, buffers and delineate development boundaries. Mid to low level ground covers and turf adorn building perimeters.

Land Use Analysis

The subject site is currently undeveloped and considered “infill,” within Tract D of Planned Development 16. The site is bound on the south by established commercial retail development. These commercial establishments are in a configuration of four (4) standalone multi-tenant buildings. North of the project are three (3) multi-family developments Atlantic Stonebriar, Evergreen, and Estancia Morningstar containing 294 units, 145 and 300 units respectively. Evergreen and Stonebriar are within Tract C of Planned Development 16 and are permitted “by-right”, Evergreen is within Tract D and required consideration similar to this request for approval.

The applicant suggests the subject site is appropriate for dense residential development and states...

“The community will deliver an energetic lifestyle and high-quality living environment. In this market, the average occupancy of the other multifamily communities is 95% showing the demand and desire for more quality housing in this area.”

The Comprehensive Plan recommends this area as “Commercial Destination.” Where the purpose is to provide community access to a broad range of goods and services. The proposed amendment diverges from the original intent to incorporate commercial retail, which more directly contributed to the commercial nature of the area (Tract D permits land uses consistent with Business Park (BP) and General Retail (GR) zoning districts).

However, Tract D has developed more consistently with the allowed configurations of General Retail (GR) zoning, than the structured Business Park (BP) zoning. Specifically, the commercial land uses are at or near the service road, and low to mid-level residential density is found further setback and behind the commercial.

Staff found the surrounding area (Tracts C, D and E of PD-16) between South Colony Boulevard [west], the City’s [east] limit and Memorial Drive [north], is overall developed in a horizontal mixed-use configuration and the proposed development is not detrimental to this existing development pattern.

NOTIFICATION

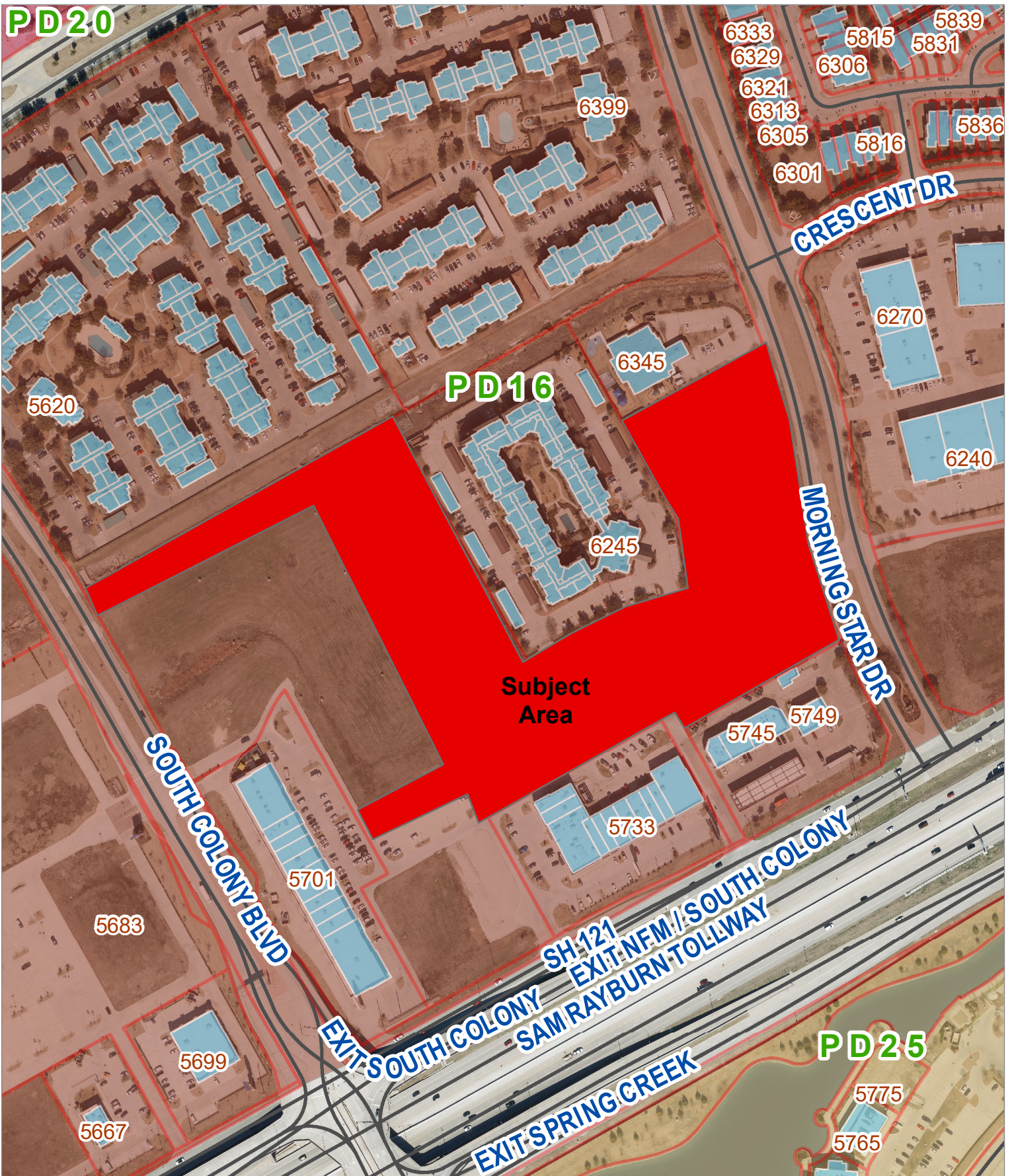
The Zoning Ordinance requires newspaper notification a minimum of fifteen (15) days prior to the City Council meeting for text amendments. Notice for this Public Hearing was published in *The Dallas Morning News* on May 17, 2024. In addition, Zoning Ordinance also requires notification of property owners located within 200 feet of the subject property a minimum of fifteen (15) days prior to the public hearing. Public Hearing notices were mailed on May 17, 2024 to adjacent property owners. No comments either for or against the Planned Development Amendment were received as of printing of this packet.

RECOMMENDATION

The Development Review Committee (DRC) has no objection to the proposed amendments to Planned Development-16.

ATTACHMENTS

1. Location Map
2. Proposed development standards (exhibits and illustrations)
3. Project Narrative



Project No: PDA24-0001 - JPI Morningstar



- Planned Development 16
- Planned Development, PD25
- Planned Development 20
- PDA24-0001

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

JPI Morningstar Submittal



The Colony, Texas

Apartment Development

PROJECT OVERVIEW

JPI Morningstar is a Class A multifamily community that will benefit future residents and neighboring businesses in The Colony. The community will be integrated within the retail development surrounding the property, allowing seamless pedestrian connectivity and walkability while still maintaining a unique identity and characteristics. The project will deliver an energetic lifestyle and high-quality physical environment living option. The project includes a system that promotes walkable street designs while also allowing for bike and automobile circulation. The master plan features open green space including a dog park, pool area, tree lined streets and various passive recreational spaces. The green network will provide visitors and residents with comfortable outdoor environments and multi-functional spaces for social gatherings and community activities. The project will offer a range of community facilities and a mix of amenities to meet the social and recreational needs of the community by creating vitality and entertainment for future residents. The community is intended to provide high-end amenities such as: a resort style pool with cabanas and lounge chairs, dog park, private yards, and a grand leasing center. Interior unit amenities will include stainless steel appliances, flooring, kitchen islands, granite countertops, glass enclosed showers, as well as full-size washer/dryers provided in every home. Building construction will satisfy the City's Gateway Overlay District design standards.

JPI MORNINGSTAR NARRATIVE

JPI Morningstar is a **Class A luxury housing community** that will consist of 4 story surface parked walkup homes featuring elevators and enclosed corridors. The community has been architecturally designed with the surrounding City of The Colony area and topography in mind. The proposed rental homes will be of the **upmost standard with best in class finishes** to attract high quality renters, desirous of a true **live, work and play environment**.

Design

- Architecture has been intentionally designed with durable exteriors featuring brick, stucco and fiber cement siding.
- Exteriors designed to receive four architectural expressions: full height brick with a tall parapet, a three-story brick base with one story of fiber cement siding above, a single-story brick base with three stories of fiber cement panel above, and a single-story brick base with three stories of fiber cement siding above.
- Massing of building corners of higher importance such as the amenity areas along the shared drive and corners near the site entrances are designed to receive the full-height brick treatment.
- The four expressions are blended on each building to create a hierarchy of varied facades while keeping an expressive rhythm around the exterior.
- The expressions also vary in depth to create more shadows and visual interest along the building perimeters.
- Large windows and double doors at balconies will ensure dwelling units receive plentiful daylight.
- Residents will enjoy top of the line amenities including a fitness center, pool area with grilling stations and cabanas, dog park, stainless steel appliances, stone countertops, minimum 10' ceilings, and more.
- The walkable development is further enhanced with an interconnected landscape trail providing for convenient access to the neighboring retail.
- Landscaping is designed to shield headlights from shining into resident homes and to provide for an enjoyable walking experience. A specific example of this is the robust landscaping to be located between the retail and the most southern residential buildings.

Architectural Features & Materials:

- Utilizes a mix of masonry veneer, varying fiber cement panel expressions, prefinished metal canopies, and painted metal railings on all elevations.
- Through the use of various unit and balcony depths, the design uses building projections and recesses to further articulate every façade.
- At the main ceremonial corners, the design calls for full height masonry elements that provide a monumental accent to the building.
- These full-height masonry elements are further articulated by architectural details, such as brick accent courses and projections at the level 4 floor line and the articulated roof cornice line.
- Given the long roof line of this building, the design includes multiple parapet conditions along each elevation that are used to break up the continuous roof eave and provide architectural interest.
- The windows will be a mix of storefront at amenity spaces and residential flanged windows at the residential units.

Amenities:

- Purposefully designed to feature high-end finishes including granite countertops, stainless steel appliances, resort style amenities, minimum 10-foot ceilings, and other finishes typically found in single-family homes. JPI prides itself on providing the highest level of finish outs in the market.
- In-unit washer/dryers provided.
- Other community amenities include a dog park, fitness center, over 8,000 square feet of interior amenity space and a green space plaza for residents to enjoy.

Consultant Review:

- The selected design consultants have a wealth of experience in designing luxury multifamily communities.
- Lord Aeck Sargent is serving as the architect for JPI Morningstar.
- Kimley Horn will serve as the Civil Engineer as well as Landscape Architect.
- Their respective experience will ensure quality elevations, site layout, and overall design.
- We have performed a 3rd party market study which reveals fundamental factors of housing demand outweighing supply in the submarket and an overall occupancy of 94.1% of total stock.

Property Naming Convention:

- To remedy any naming convention concerns, we will present a new property name at final site plan approval.
- JPI hires a branding/visioning team during design to facilitate in creating a name/brand that best fits the surrounding community.

Projected Unit Mix:

Efficiency: 21 units: 5.6% of units

1 BR: 231 units: 61.8% of units

2 BR: 106 units: 28.4% of units

3 BR: 16 units: 4.2% of units

Total Projected Units: 374 Units

The unit mix will fluctuate some as the more detailed design process occurs. The above represents where our plans stand today and where we anticipate being close to at the end of the day. In the PD we are stating maximum percentages for the different unit sizes. For example, the community can be comprised of no more than 7% three-bedroom units. Below is the PD language which speaks to the Unit Mix maximum allowances by unit type:

- i. Maximum studio/efficiency units: 7%.
- ii. Maximum one-bedroom units: 65%.
- iii. Maximum two-bedroom units: 32%.
- iv. Maximum three-bedroom units: 7%.

- Based on the existing surrounding developments, the site was designed for fully developed conditions and a fire flow test has been performed as well.
- In no event will the total unit count exceed 374 units.

Parking:

- The development will provide residents three different parking options: private tuck under garages, surface parking spaces and tandem parking.
- JPI is exploring the use of using parking gate arms in certain locations.
- Tandem parking dimensions will be 9x36 minimum.
- ITE published *Parking Generation 5th Edition*, a compendium of parking demand research at sites across the country. The ITE tracks suburban, dense, multi-use, and central business district differences. The suburban multifamily demand is the category best fitted for this project. Below is the ITE chart indicating projected parking demand.

ITE Land Use	ITE Code	Average Parking Demand per Dwelling Unit	Average Parking Demand per Bedroom
Multifamily Housing (Low-Rise) Suburban, Weekday	220	1.21	0.66
Multifamily Housing (Low-Rise) Suburban, Saturday	220	1.31	0.80

- In addition to required parking provided on-site, a shared parking area directly to the south and west of the site may be utilized by both retail patrons and residents. This shared parking arrangement enhances connectivity by avoiding displaced fencing in the parking lot.
- Visible signage and painted paving will identify spots designated for residents.
- A unique property sticker/toll tag system is utilized so security can easily control who is parking in the resident parking spaces.

Projected (dedicated) Parking:

- 483 Surface Spaces (of which 75 will be carport)
- 64 Tandem Spaces
- 62 Garage Spaces
- **Subtotal Parking Spaces: 609 Spaces (1.63/Unit)**
 - Per the PD, parking will not be lower than 1.4/Unit.
- **Subtotal Covered (Carport & Garage) Spaces: 137 Spaces (23% of Spaces)**
 - **A minimum of 23% of the dedicated spaces are required to be covered.**

Who do we attract?

- The community will attract a wide range of residents from young professionals, both single and married, who work in the surrounding areas as well as empty nesters who are looking for a more convenient lifestyle with modern amenities.
- The community will also provide a housing option for residents who work at Grandscape, Lewisville ISD employees, nurses, police officers, firemen, and service workers who work in The City of The Colony.

Why this makes sense here:

- The horizontal mixed-use project will be integrated within the surrounding retail development allowing **seamless pedestrian connectivity** and **walkability** while still maintaining its own identity and characteristics.
- The community will deliver an energetic lifestyle and high-quality living environment.
- In this market, the average occupancy of the other multifamily communities is 95%, showing the demand and desire for more quality housing in this area.

- We look forward to partnering with The City of The Colony and working together towards creating an urban mixed-use development, enhancing pedestrian connectivity within the overall project.

ABOUT JPI

Developer JPI is a private local housing developer with over 35 years of experience in DFW. JPI's founding members sought to create a company that led, first and foremost, with a commitment to culture and values — guided by the belief that "quality attracts quality" and bolstered by dedication and accountability. JPI's associates plan, develop, build, and invest in our communities. The JPI team is knowledgeable, intentional, and local. Today, JPI has sixteen communities in various stages of construction and lease-up spanning across the metroplex.

DEVELOPMENT STANDARDS FOR PLANNED DEVELOPMENT

These PD Development Standards apply to the approximate cumulative 10.86-acre tract described in the legal description (Exhibit _) (the "Property") and shown on the revised PD Concept Plan (the "Concept Plan") (Exhibit _) attached hereto and made a part hereof for all purposes. Unless otherwise provided herein, development shall be in accordance with The Colony Comprehensive Zoning Ordinance (the "CZO"). In the event of conflict between the CZO and these development standards, these development standards apply. Development of the Property shall comply with the Concept Plan and Conceptual Landscape Plan (Exhibit _). In the event of conflict between the Concept Plan or the Conceptual Landscape Plan and these development standards, these development standards apply.

DEVELOPMENT STANDARDS

- A. Land Uses. The land uses allowed on the Property shall be those uses allowed in the Multiple-Family—3 (MF-3) Zoning District as described in the CZO.

- B. Yards: Yards shall be provided as specified below and as shown on the Concept Plan. For the purpose of these development standards, yards adjacent to Morning Star Drive and South Colony Boulevard shall be considered front yards and all other yards shall be considered side yards.
 - 1. Minimum Front Yard: 20 feet.
 - 2. Minimum Side Yard: 5 feet.
 - 3. Tract 2 Side Yard along Main Drive: None.

- C. Area Regulations. Development of the Property shall be subject to the area regulations applicable to the MF-3 District except as provided herein.
 - 1. Maximum unit count: 374 units.
 - 2. Minimum dwelling unit size: 600 square feet.
 - 3. Minimum average dwelling unit size: 800 square feet.
 - 4. Building Height: Maximum four (4) stories.
 - 5. Unit Mix. The total unit mix shall not exceed 100% of the maximum allowances below. In no event will the total unit count for the Property exceed 374 units.
 - i. Maximum studio/efficiency units: 7%.
 - ii. Maximum one-bedroom units: 65%.
 - iii. Maximum two-bedroom units: 32%.
 - iv. Maximum three-bedroom units: 7%.

D. Parking Regulations. Parking shall be provided in accordance with the CZO except as provided herein. In the event of a conflict between the Concept Plan and these development standards, these development standards apply.

1. Required parking for multifamily uses:

i. Ratio: Minimum 1.4 spaces per dwelling unit.

ii. Tandem:

1. For the purpose of this section, "tandem" shall mean a group of two adjoining 9' x 18' parking spaces with a minimum total size of 9' x 36' that utilize the same area to maneuver onto a driveway.

2. Maximum 15% of required spaces may be tandem.

iii. Covered parking. For the purpose of this section, "covered parking" shall include surface spaces with carports and garage spaces. A minimum of 20% of the required spaces must be covered parking spaces.

1. Garages: A minimum of 10% of the required spaces must be garage spaces.

2. Carports: A minimum of 10% of the required spaces must have carports.

iv. Screening of surface parking areas. A wall, a berm, evergreen shrubs, or a combination of any of these three (3) screening methods shall be used to screen surface parking lots from adjacent public street right-of-way. The minimum screening height at installation is twenty-four inches (24") with a minimum growth height of thirty-six inches (36"). Berms shall have a maximum slope of 3:1. Live screening materials may be included in determining compliance with other landscaping requirements of this section, such as requirement for a minimum landscape area, the landscape buffer requirements, and the parking lot landscaping requirements.

v. Shared spaces. Shared parking spaces in the area shown on the Concept Plan may be utilized for parking spaces in excess of the minimum parking requirement. The shared parking spaces shall not be utilized to satisfy the minimum parking requirement.

1. Shared parking with the surrounding commercial uses allows greater parking flexibility between the multifamily and commercial uses.

2. Shared parking spaces may be adequately marked with parking lot signage.

3. Parking spaces restricted for only multifamily uses will be adequately marked with parking lot signage and striping.
 2. All required parking for the Property shall be constructed concurrently with the construction of the Property.
- E. Landscaping Regulations. Landscaping shall be provided as specified herein and, generally, in accordance with the Conceptual Landscape Plan. In the event of a conflict between the Conceptual Landscape Plan and these development standards, these development standards apply.
1. Landscape Buffers. Landscape buffers shall be provided as shown below and, generally, as shown on the Conceptual Landscape Plan.
 - i. Morningstar Drive.
 1. Minimum Landscape Buffer: 20 feet.
 - ii. South Colony Boulevard.
 1. Minimum Landscape Buffer: 20 feet.
 - iii. Perimeter. In this section, "Perimeter" refers to the portion of the Property adjacent to Existing Senior Living and Existing Daycare, as shown on the Conceptual Landscape Plan.
 1. Minimum Landscape Buffer: 5 feet.
 - iv. Retail Adjacency. In this section, "Retail Adjacency" refers to the portion of the Property adjacent to existing retail south of Building II and Building III, as shown on the Conceptual Landscape Plan.
 1. The landscape buffer shall be provided generally as shown on the Conceptual Landscape Plan.
 - v. Building IV Adjacency. In this section, "Building IV Adjacency" refers to the portion of the Property along the western property line, adjacent to Building IV, as shown on the Conceptual Landscape Plan.
 1. The landscape buffer shall be provided generally as shown on the Conceptual Landscape Plan.
 2. Landscape Elements. The following minimum landscape elements shall be provided within the corresponding landscape buffer, as shown on the Conceptual Landscape Plan.
 - i. Morningstar Drive.
 1. One (1) canopy tree every 40 linear feet of adjacency.

2. Two (2) ornamental trees every 50 linear feet of adjacency.
- ii. Perimeter.
 1. One (1) ornamental tree every 40 linear feet of adjacency.
 - iii. Retail Adjacency.
 1. One (1) ornamental tree every 40 linear feet of adjacency.
 2. A minimum six (6) foot screening wall or fence shall be provided, as shown on the Conceptual Landscape Plan.
 - iv. Building IV Adjacency.
 1. One (1) canopy tree every 40 linear feet of adjacency.
 2. Two (2) ornamental trees for every canopy tree provided.
 3. Continuous low to mid-level shrubs or ground covers.

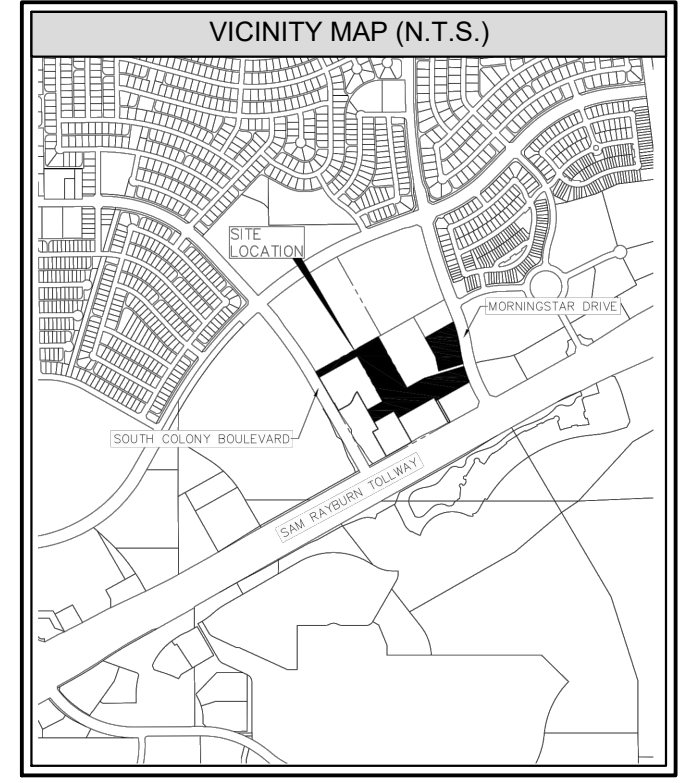
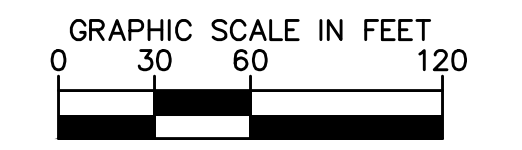
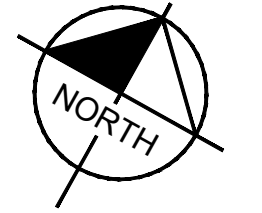
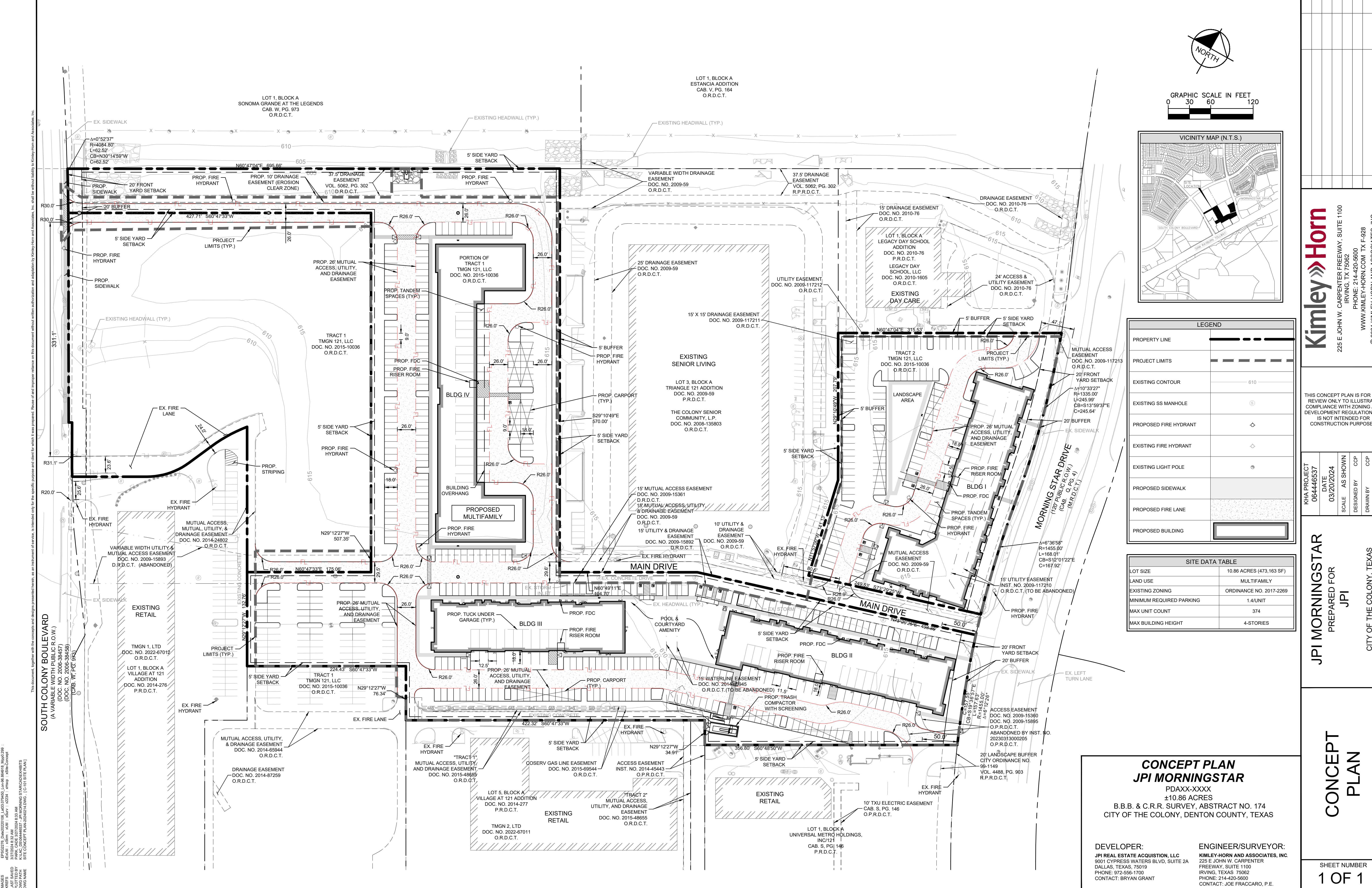
F. Open Space/Amenities.

1. Dog park: Minimum 2,000 square feet.
2. Pool area: Minimum 10,000 square feet.
3. Open Space.
 - i. Open space shall be provided in accordance with the Conceptual Landscape Plan.
 - ii. Dog parks and pool areas are included in the open space calculation.
4. Amenity Space.
 - i. Clubhouse: Minimum 7,500 square feet.

G. Building Design Standards. Unless otherwise provided in this section, building design shall be in accordance with the CZO and consistent with the Gateway Overlay District regulations.

1. All exterior walls of buildings and structures shall be a combined minimum 75% of the following materials: kiln fired brick, brick veneer, natural and manufactured stone, granite, marble, architectural concrete block, three-step stucco process, and fiber cement panel.
2. Maximum uninterrupted horizontal length of a building façade is 55 feet. Windows qualify as an interruption in the horizontal length of the building façade.

3. Primary building entrances on a building façade may be oriented toward internal driveways in the areas shown on the Concept Plan.
4. Columns are not required for canopies.



LEGEND	
PROPERTY LINE	---
PROJECT LIMITS	- - - - -
EXISTING CONTOUR	610
EXISTING SS MANHOLE	⊙
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊖
EXISTING LIGHT POLE	⊙
PROPOSED SIDEWALK	---
PROPOSED FIRE LANE	---
PROPOSED BUILDING	▭

SITE DATA TABLE	
LOT SIZE	10.86 ACRES (473,163 SF)
LAND USE	MULTIFAMILY
EXISTING ZONING	ORDINANCE NO. 2017-2269
MINIMUM REQUIRED PARKING	1.4/UNIT
MAX UNIT COUNT	374
MAX BUILDING HEIGHT	4-STORIES

CONCEPT PLAN
JPI MORNINGSTAR
 PDAXX-XXXX
 ±10.86 ACRES
 B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 174
 CITY OF THE COLONY, DENTON COUNTY, TEXAS

DEVELOPER:
 JPI REAL ESTATE ACQUISITION, LLC
 9001 CYPRESS WATERS BLVD, SUITE 2A
 DALLAS, TEXAS, 75019
 PHONE: 972-556-1700
 CONTACT: BRYAN GRANT

ENGINEER/SURVEYOR:
 KIMLEY-HORN AND ASSOCIATES, INC.
 225 E JOHN W. CARPENTER
 FREEWAY, SUITE 1100
 IRVING, TEXAS 75062
 CONTACT: JOE FRACCARO, P.E.

NO.	REVISIONS	DATE	BY

225 E JOHN W. CARPENTER FREEWAY, SUITE 1100
 IRVING, TX 75062
 PHONE: 214-420-5600
 WWW.KIMLEY-HORN.COM TX F-928
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THIS CONCEPT PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

KHA PROJECT	064446537
DATE	09/20/2024
SCALE	AS SHOWN
DESIGNED BY	CCP
DRAWN BY	CCP
CHECKED BY	JAE

JPI MORNINGSTAR
 PREPARED FOR
JPI
 CITY OF THE COLONY, TEXAS

CONCEPT PLAN
 SHEET NUMBER
1 OF 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS ISSUED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

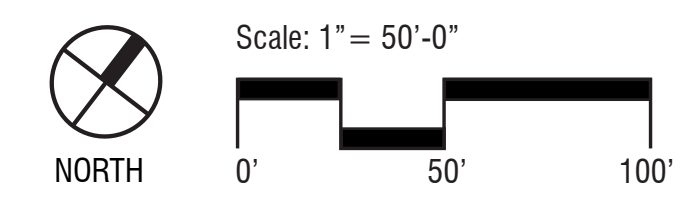
PREPARED BY: BRYAN GRANT, L.S. 15895, L.S. 15896, L.S. 15897, L.S. 15898, L.S. 15899, L.S. 15900, L.S. 15901, L.S. 15902, L.S. 15903, L.S. 15904, L.S. 15905, L.S. 15906, L.S. 15907, L.S. 15908, L.S. 15909, L.S. 15910, L.S. 15911, L.S. 15912, L.S. 15913, L.S. 15914, L.S. 15915, L.S. 15916, L.S. 15917, L.S. 15918, L.S. 15919, L.S. 15920, L.S. 15921, L.S. 15922, L.S. 15923, L.S. 15924, L.S. 15925, L.S. 15926, L.S. 15927, L.S. 15928, L.S. 15929, L.S. 15930, L.S. 15931, L.S. 15932, L.S. 15933, L.S. 15934, L.S. 15935, L.S. 15936, L.S. 15937, L.S. 15938, L.S. 15939, L.S. 15940, L.S. 15941, L.S. 15942, L.S. 15943, L.S. 15944, L.S. 15945, L.S. 15946, L.S. 15947, L.S. 15948, L.S. 15949, L.S. 15950, L.S. 15951, L.S. 15952, L.S. 15953, L.S. 15954, L.S. 15955, L.S. 15956, L.S. 15957, L.S. 15958, L.S. 15959, L.S. 15960, L.S. 15961, L.S. 15962, L.S. 15963, L.S. 15964, L.S. 15965, L.S. 15966, L.S. 15967, L.S. 15968, L.S. 15969, L.S. 15970, L.S. 15971, L.S. 15972, L.S. 15973, L.S. 15974, L.S. 15975, 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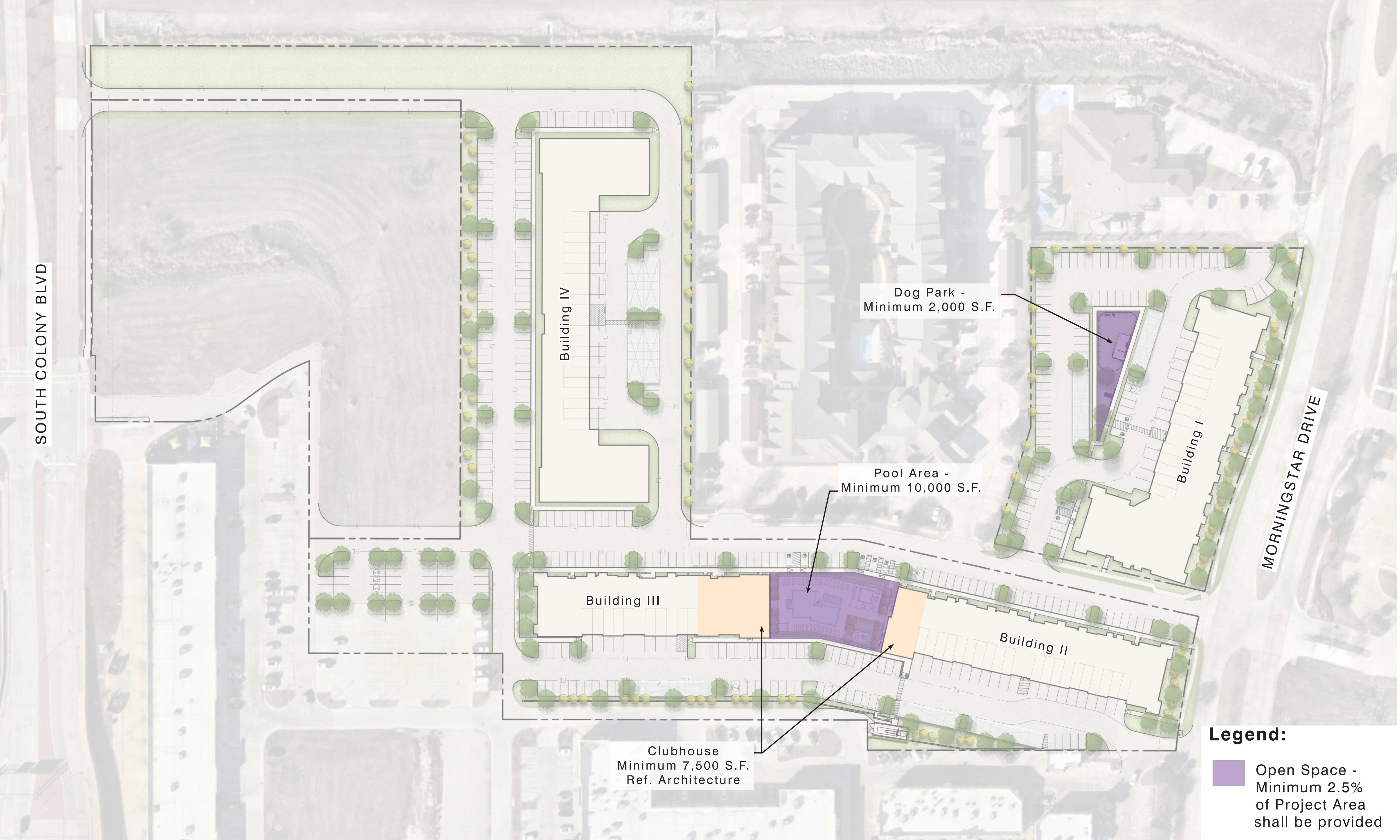


Conceptual Landscape Plan

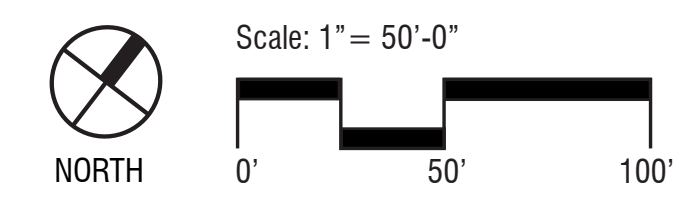


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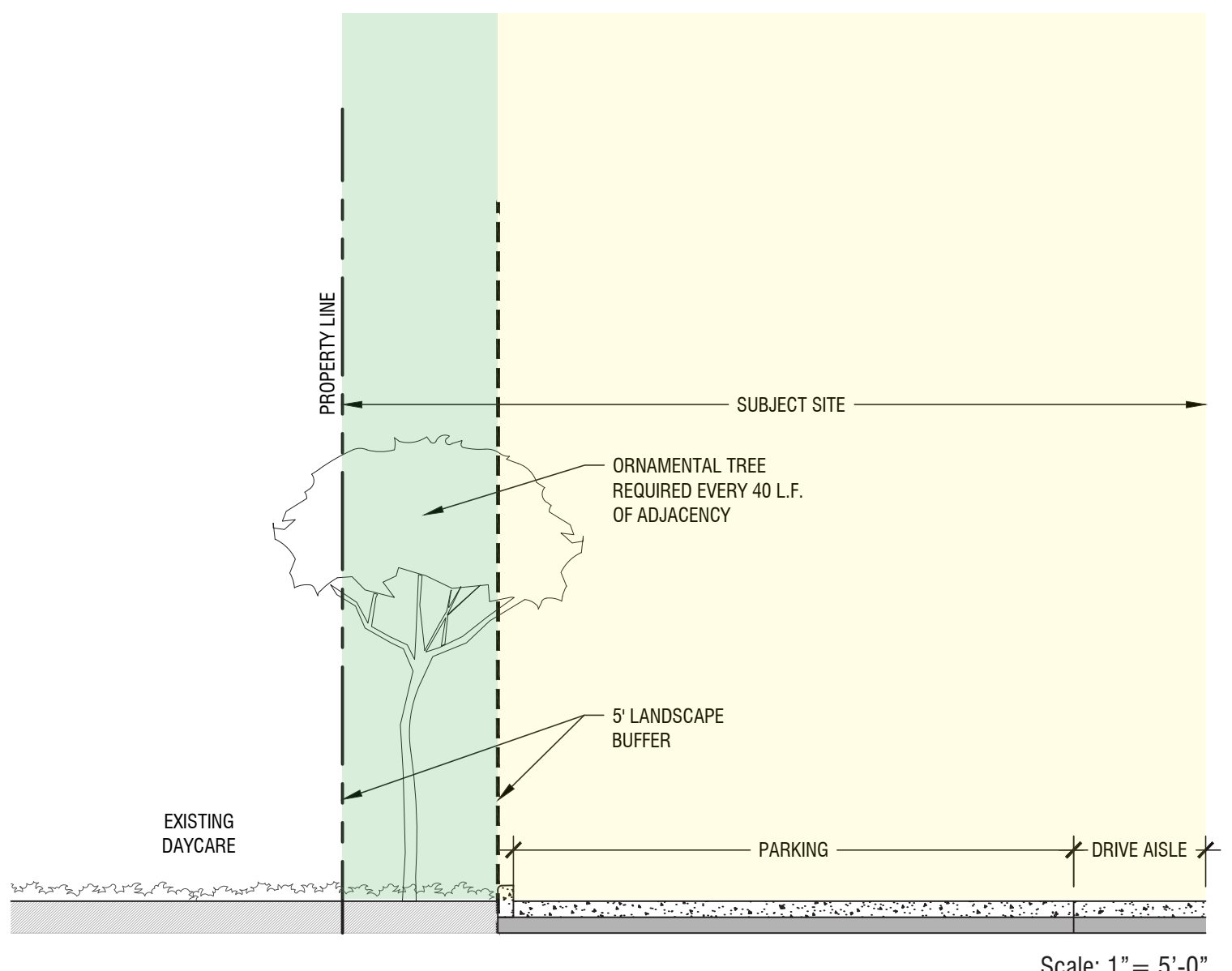
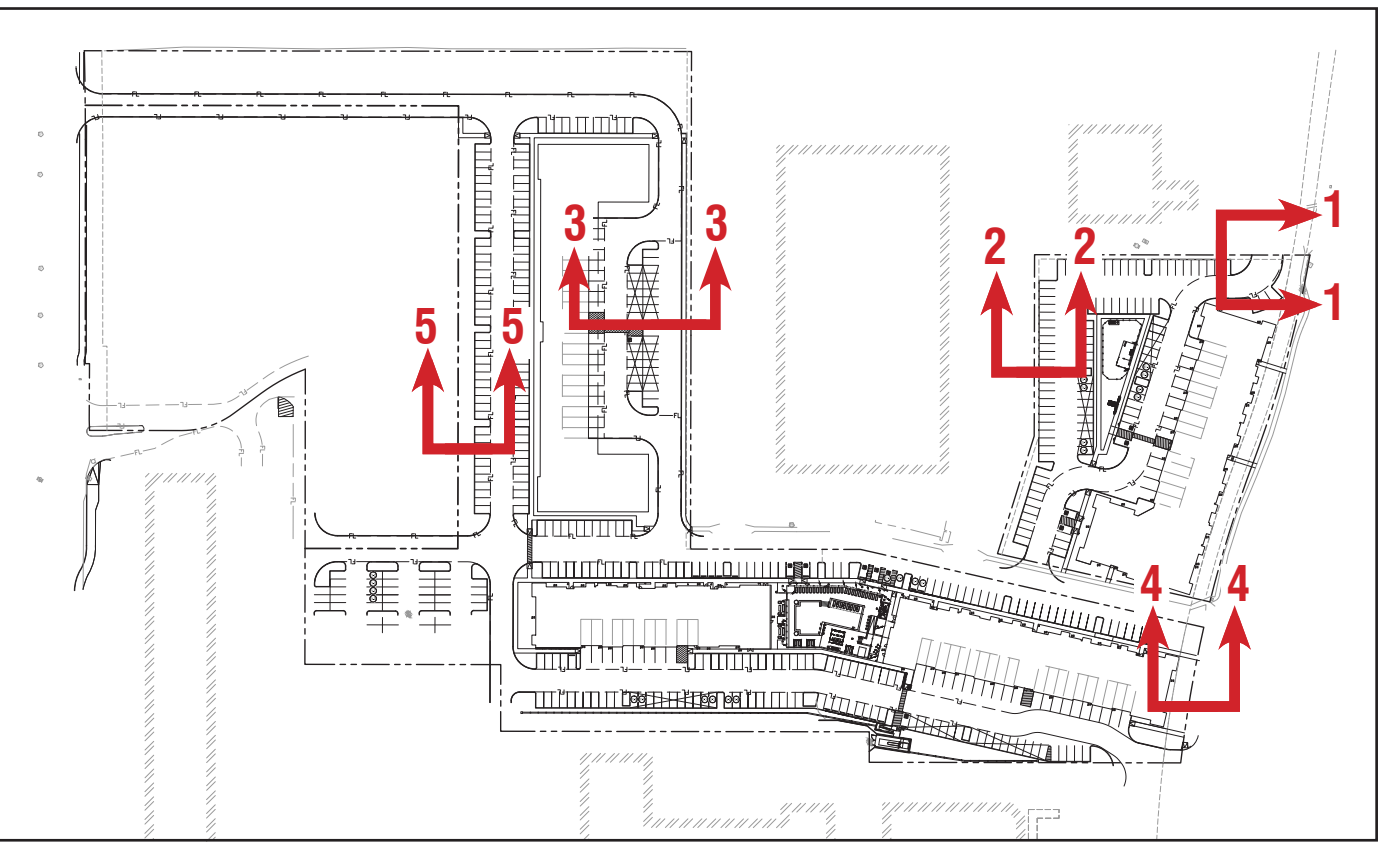


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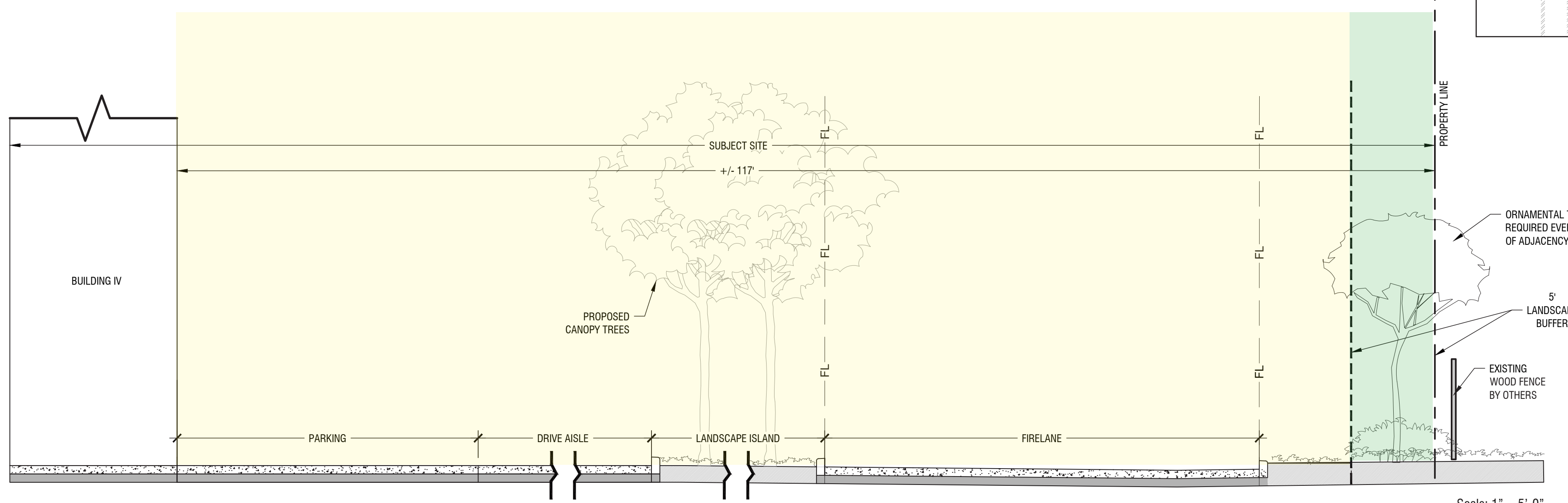


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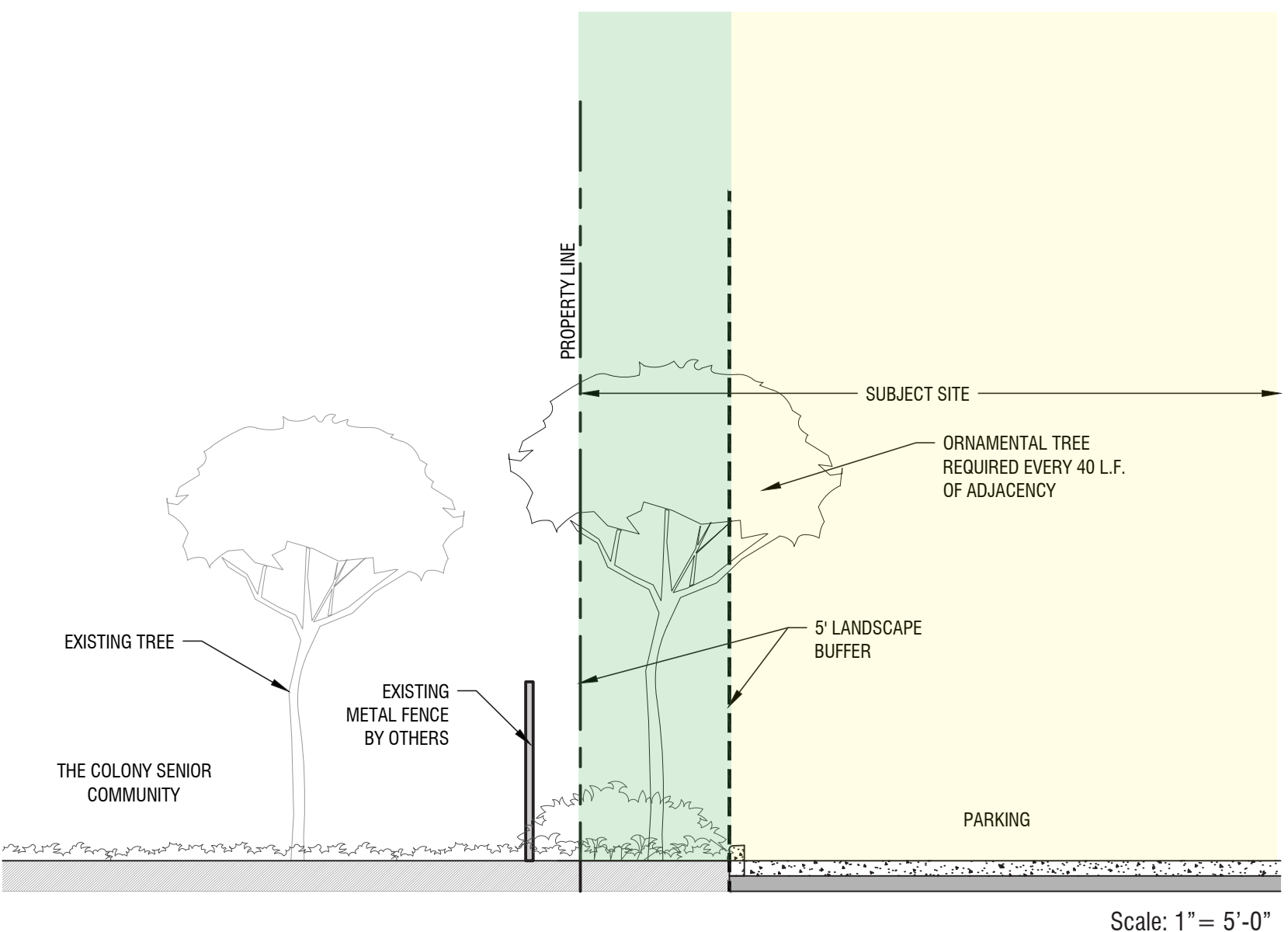
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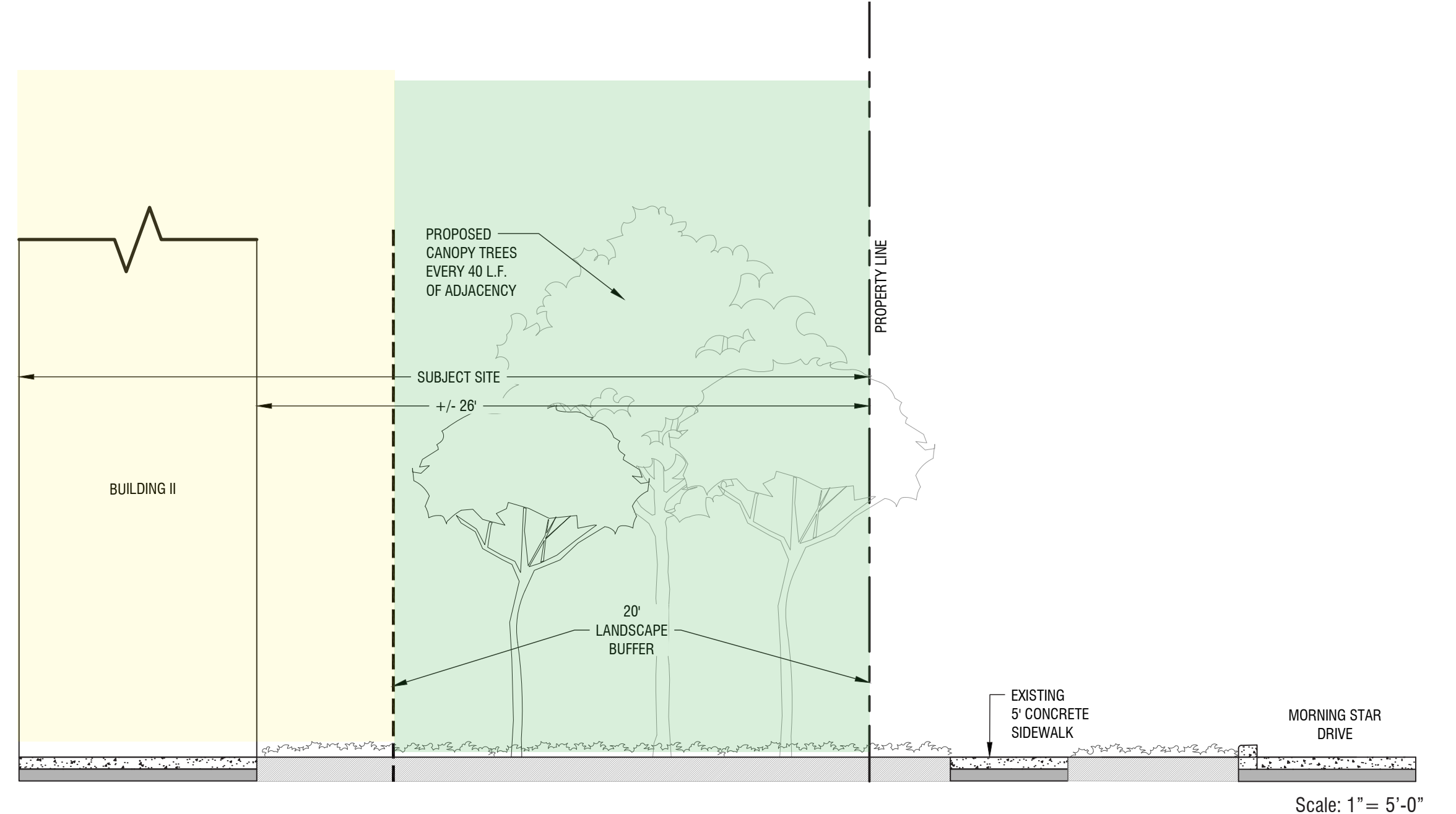
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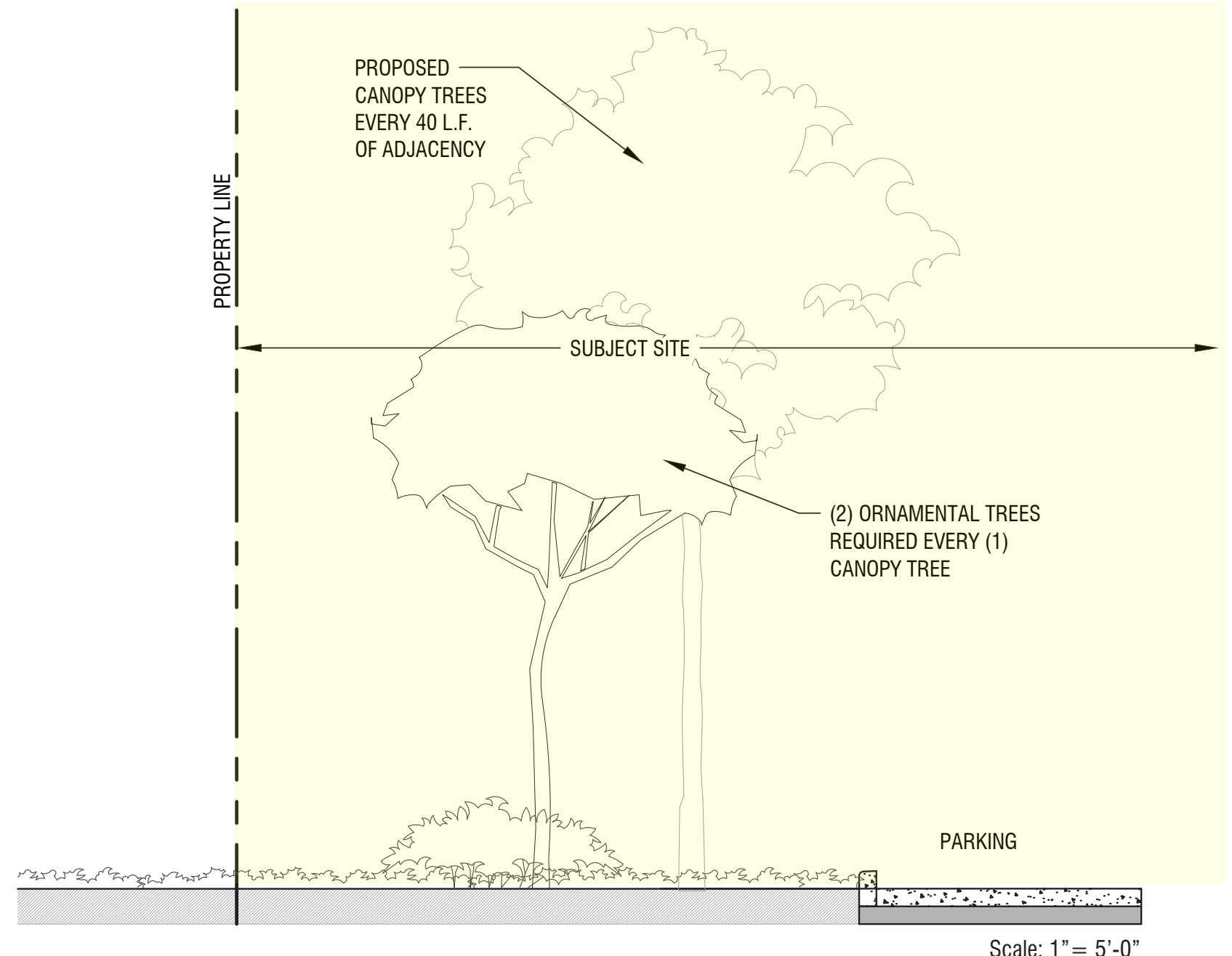
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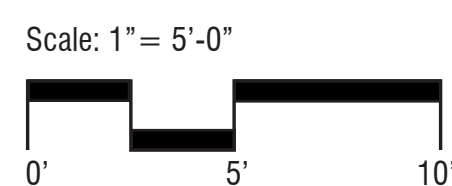


Buffer Section 4



Buffer Section 5

Buffer Sections





MATERIAL KEYNOTES

MATERIAL TAG	MANUFACTURER	COLOR	FINISH / TYPE	LOCATION & NOTES
BRICK AND STONE				
BK-01	ACME	TAN	VELOUR CUT	
FIBER CEMENT				
FC-01	JAMES HARDIE	WHITE	PANEL, SMOOTH FINISH	
FC-02	JAMES HARDIE	WOODTONE	CASCADE SLATE LAP SIDING	
FC-03	JAMES HARDIE	DARK GRAY	PANEL, SMOOTH FINISH	TRIM @ BALCONY/ROOF FASCIAS
FC-04	JAMES HARDIE	WOODTONE	BROWN LAP SIDING	
ARCHITECTURAL METAL FINISH				
MT-01	PAINTED MISC. METAL	CHARCOAL	MATTE FINISH	CANOPIES, RAILINGS, MISC TRIM
DOOR AND WINDOW FRAMES				
WN-01	TBD	CLAY	VINYL WINDOW	
DR-01	TBD	CLAY	FIBERGLASS PATIO DOOR	
DR-02	TBD	CLAY	OVERHEAD GARAGE DOOR	
SF-01	TBD	DARK BRONZE	STOREFRONT SYSTEM	
ROOF				
RF-01	TBD	DARK GRAY	ARCHITECTURAL SHINGLES	SLOPED ROOF

LORD AECK SARGENT

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SHEET TITLE: **COLORLED ELEVATIONS - BLDG 1**

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 The Colony, TX

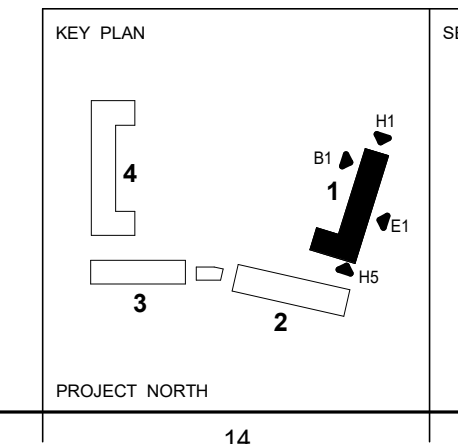
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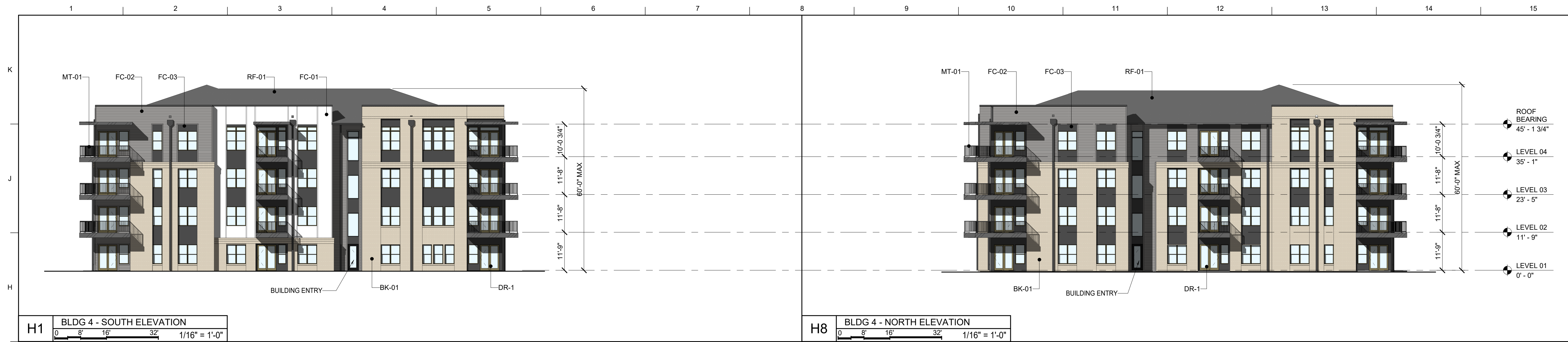
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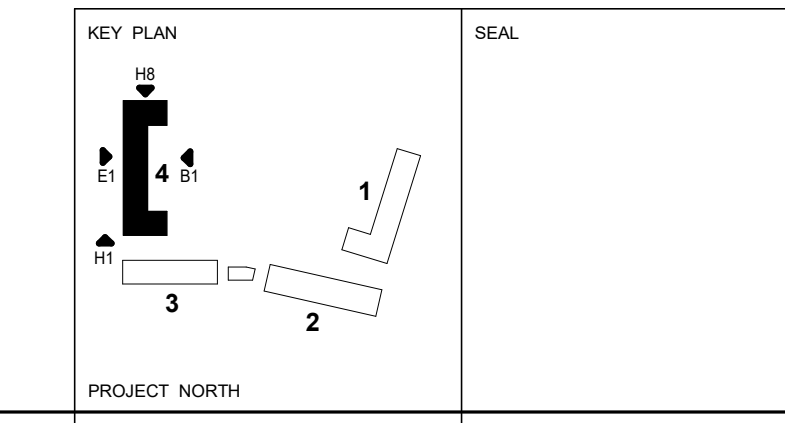
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MATERIAL KEYNOTES

MATERIAL TAG	MANUFACTURER	COLOR	FINISH / TYPE	LOCATION & NOTES
BRICK AND STONE				
BK-01	ACME	TAN	VELOUR CUT	
FIBER CEMENT				
FC-01	JAMES HARDIE	WHITE	PANEL, SMOOTH FINISH	
FC-02	JAMES HARDIE	WOODTONE	CASCADE SLATE LAP SIDING	
FC-03	JAMES HARDIE	DARK GRAY	PANEL, SMOOTH FINISH	TRIM @ BALCONY/ROOF FASCIAS
FC-04	JAMES HARDIE	WOODTONE	BROWN LAP SIDING	
ARCHITECTURAL METAL FINISH				
MT-01	PAINTED MISC. METAL	CHARCOAL	MATTE FINISH	CANOPIES, RAILINGS, MISC TRIM
DOOR AND WINDOW FRAMES				
WN-01	TBD	CLAY	VINYL WINDOW	
DR-01	TBD	CLAY	FIBERGLASS PATIO DOOR	
DR-02	TBD	CLAY	OVERHEAD GARAGE DOOR	
SF-01	TBD	DARK BRONZE	STOREFRONT SYSTEM	
ROOF				
RF-01	TBD	DARK GRAY	ARCHITECTURAL SHINGLES	SLOPED ROOF



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REVISION:

SHEET TITLE: **COLORED ELEVATIONS - BLDG 4**

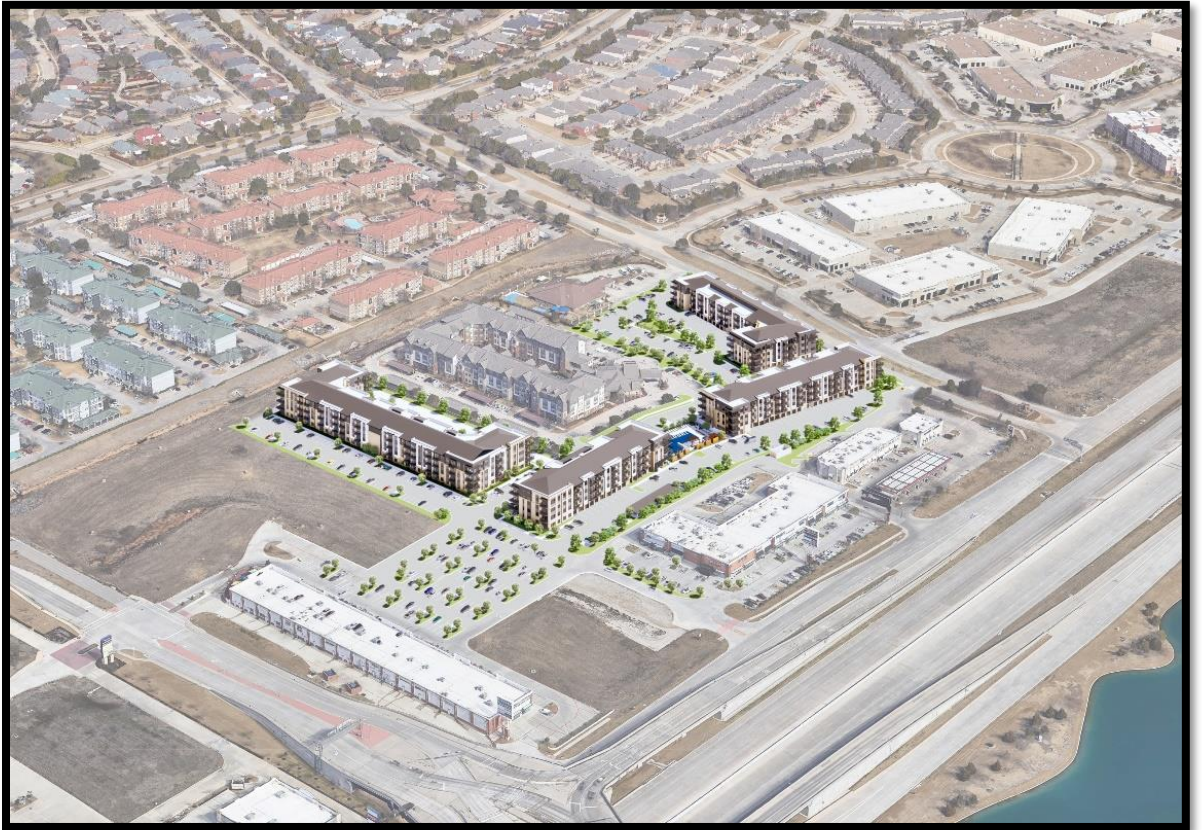
JPI Companies
 JPI MORNINGSTAR
 The Colony, TX

ISSUE DATE: **03/18/2024**
 JOB NO: **11836-05**
 DWG. NO: **A204.c**

NOT FOR CONSTRUCTION

Autodesk Docs://11836-05 - JPI Morningstar11836-05_MORNINGSTAR_v23.rvt
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CITY OF THE COLONY, TEXAS

ORDINANCE NO. 2024 - _____

(THE JPI MORNINGSTAR)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, AMENDING PLANNED DEVELOPMENT 16 (PD-16) TO REFLECT THE CONCEPTUAL LAYOUT AND DEVELOPMENT STANDARDS FOR THE “JPI MORNINGSTAR,” AN APPROXIMATELY 374-DWELLING UNIT MULTI-FAMILY DEVELOPMENT CONTAINING APPROXIMATELY 10.86 ACRES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the property reflected on *Exhibit A* is currently zoned planned development 16 (PD-16); and

WHEREAS, the City Council approved the Planned Development zoning for PD-16 on July 26, 1999 by adopting Ordinance No. 99-1129, and has adopted several subsequent amendments to that Ordinance; and

WHEREAS, the applicant has made a request to amend the development standards and development plan as reflected on *Exhibit B* for the approximately 10.86-acre tract of land described on the attached *Exhibit A* and known as JPI Morningstar; and

WHEREAS, Appendix A, Section 24-101(d) of the Code of Ordinances of the City of The Colony, Texas, provides the following: “[a] public hearing shall be held by city council before adopting any proposed amendment, supplement or change. Notice of such hearing shall be given per the publication policy of the city, stating the time and place of such hearing, and shall be published a minimum of 15 days prior to the date of the public hearing;” and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of The Colony, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of The Colony, Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of The Colony, Texas, is of the opinion and finds that said changes should be granted, and that the Code of Ordinances should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

SECTION 1. That the findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2. That PD-16 is hereby amended for the Property described on *Exhibit A* of this Ordinance, which is attached hereto and is incorporated herein for all purposes, to change the development standards as shown on *Exhibit B* and which shall also serve as the Concept plan for the property described on *Exhibit A*, which exhibits are attached hereto and incorporated herein for all purposes.

SECTION 3. That this Planned Development shall be developed and used only in accordance with the Comprehensive Zoning Ordinance and Ordinance No. 99-1129, PD-16, as amended.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase, or section of this Ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be unconstitutional, illegal, or invalid, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. That the Zoning Ordinance of the City of The Colony, Texas, as amended, and all ordinances establishing and amended PD-16, shall remain in full force and effect, save and except as amended by this Ordinance.

SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the City of The Colony, Texas, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. That this Ordinance shall take effect immediately from and after its passage and the publication of its caption, as the law and charter in such cases provide.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS THIS 4TH DAY OF JUNE, 2024.

APPROVED:

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

Jeffrey L. Moore, City Attorney

Exhibit A

[Property Description of 14.95 Acre Tract of Land]

Exhibit B

[Development Standards]

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Isaac Williams

Submitting Department: Planning and Development

Item Type: Ordinance

Agenda Section:

Subject:

Conduct a public hearing discuss and consider an ordinance for a Specific Use Permit to allow an Auto Painting or Body Rebuilding Shop with outdoor storage located at 5270 Memorial Drive. (Williams)

Suggested Action:

Please see the attached staff report, drawings, maps and illustrations for detailed land use, site layout and staff recommendation

Attachments:

[SUP24-0001 CC Staff Report Crash Champions.doc](#)

[Existing Site Plan -crash champions.pdf](#)

[Site visit-crash champions.pdf](#)

[Ord. 2024-xxxx Service King Specific Use Permit.docx](#)

CITY COUNCIL REPORT

AGENDA DATE: June 4, 2024

DEPARTMENT: Planning and Development Department

SUBJECT: *SUP24-0001 – 5270 Memorial – Crash Champions*

Conduct a public hearing discuss and consider an ordinance for a Specific Use Permit to allow an Auto Painting or Body Rebuilding Shop with outdoor storage located at 5270 Memorial Drive. The site contains 106,711 sq. ft., (2.45 acres) and located within the Business Park (BP) Zoning District and Gateway Overlay District.

OWNER/APPLICANT

Owner:	NNN REIT LP	Orlando, FL
Applicant:	Jackson Walker LLP	Dallas, TX

EXISTING CONDITION OF PROPERTY

The property is an existing Auto Painting and Body Shop business.

ADJACENT ZONING

North - Business Park (BP) - Staybridge Suites
South - Business Park (BP) - Firestone Complete Auto Care
East- Business Park (BP) - Budget Suites America
West- Business Park (BP) - TRU by Hilton

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) recommends approval of subject Specific Use Permit consistent with the conditions as stated in the staff report.

PRIOR ACTION/REVIEW

On May 14, 2024 the Planning and Zoning Commission voted (7-0) to recommend approval of the Specific Use Permit to allow an Auto Painting or Body Rebuilding Shop with outdoor storage located at 5270 Memorial Drive.

BACKGROUND

The City conducted a certificate of occupancy review for a proposed name change for the subject 5270 Memorial Drive property. Within a request for a certificate of occupancy, a review of Specific Use Permit (SUP) conditions revealed a misapplied land use for Auto Repair Garage issued with the 2015 Specific Use Permit (SUP). The previous 5270 Memorial occupant, Service King, operated as an Auto painting and Body Shop Business specializing in collision repair and includes a paint booth. The new operator Crash Champions also specializes in collision repair and intends to continue operations without amendment. The proposed Specific Use Permit for an Auto Painting and Body Shop would, from a land use perspective, match existing operations to a permitted by Specific Use Permit allowance.

EXISTING SITE CONDITIONS

No changes to the existing development are proposed. The existing development includes a 22,461 square foot Auto Painting and Body Shop Business, on approximately 2.45 acres with outdoor storage of vehicles in screened areas.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. SUP Exhibits
4. Site Photographs

ATTACHMENT 1

Staff Analysis

LAND USE ANALYSIS

The subject site is an existing business performing auto collision repairs and painting services with outdoor storage of vehicles. The proposed Specific Use Permit will not expand the site's operations or uses, but corrects a misapplication of land use in the issued Specific Use Permit. A review of nearby existing uses in Business Park (BP) Zoning District was found to include a mix of retail, auto services, multifamily and hotel uses. A reissued Specific Use Permit for auto collision repairs and painting services with outside storage use will not be inconsistent with found uses as long as the outside storage is well maintained within a screened enclosure.

SPECIFIC USE PERMIT (SUP) CRITERIA

In accordance with Section 10-905 (Special Use Permits - Approval Criteria) of the Zoning Ordinance, the Planning and Zoning Commission and City Council shall review and evaluate a Specific Use Permit application using the following criteria:

- 1. Conformance with the City of The Colony's Comprehensive Plan;**
The Future Land Use Vision Map identifies this area as "Commercial Destinations." The existing Auto Painting and Body Shop use is consistent with the storage and production allowances suggested for Commercial Destinations.
- 2. Conformance with applicable regulations and standards established by the zoning regulations;**
With the approval of the SUP and conditions thereof, the existing business will be in conformance with the Zoning Ordinance.
- 3. Compatibility with existing or permitted uses on abutting sites, in terms of building height, build and scale, setbacks on open spaces, landscaping and site development, access and circulation features, architectural compatibility;**
The existing single-story, 22,461 square foot Auto Painting and Body Shop use is compatible with the existing Auto Repair (Firestone) use directly to the south. Site signage indicates that dropping off vehicles for collision repair must be coordinated with the office and wrecked vehicles may not be dropped off after hours. Most storage operations are not visibly apparent due to the screen walls and tree plantings except for entrance gates to restricted areas. A limited number of vehicles in a state of disrepair are observable though non-screened gates. Staff notes a more complete screening at gates would limit a passing observation of vehicles in various states of repair. The suggested

Specific Use Permit would still not permit for repair work to occur outside. Landscaped buffers provide a planted and natural screening of site operations aside from the noted access gate areas.

- 4. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area, existing zoning and land uses in the area;**
The site layout for the subject site has been reviewed and has been previously approved by the City, which meets traffic circulation and associated requirements.
- 5. Protection of persons and property from erosion, flood, or water damage, fire, noise, glare, air quality, generation of dust and odors, and similar hazards and impacts;**
The subject site was developed in accordance with the applicable regulations at the time of construction. Expansion would require reevaluation of the site and permits.
- 6. Location, lighting and type of signs; the relation of signs to traffic control and adverse effect of signs on adjacent properties;**
All existing lighting will remain as previously approved. New building signage for the name change will be subject to view and permits.
- 7. Adequacy and convenience of off-street parking and loading facilities;**
The subject site meets the Zoning Ordinance requirements for off-street parking.
- 8. Determination that the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing or permitted uses in the vicinity;**
The proposed Specific Use Permit does not expand uses or operations on the site. Hours of operation are Monday thru Friday from 8:00 am thru 5:00 pm, and Saturday 9:00 am thru 12:00 pm, closed Sunday.
- 9. Determination that any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses in the same district and surrounding area**
The applicant is not requesting any conditions that produce additional impacts.
- 10. Determination that the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare of materially injurious to properties or improvements in the vicinity.**
There is no anticipation of detrimental effects to the public health, safety or welfare.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Notification

The Zoning Ordinance requires newspaper notification a minimum of fifteen (15) days prior to the City Council meeting. Notice for this SUP Public Hearing was published in *The Dallas Morning News* on May 17, 2024. In addition, the Zoning Ordinance requires notification of property owners located within 200 feet of the subject property a minimum of fifteen (15) days

prior to the public hearing. Public Hearing notices were mailed on May 17, 2024 to property owners within 200 feet. No comments either for or against the SUP were received as of printing of this packet.

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) has no objections to the proposed Specific Use Permit consistent with conditions as stated in the staff report.

North



North - interior



Southeast - interior



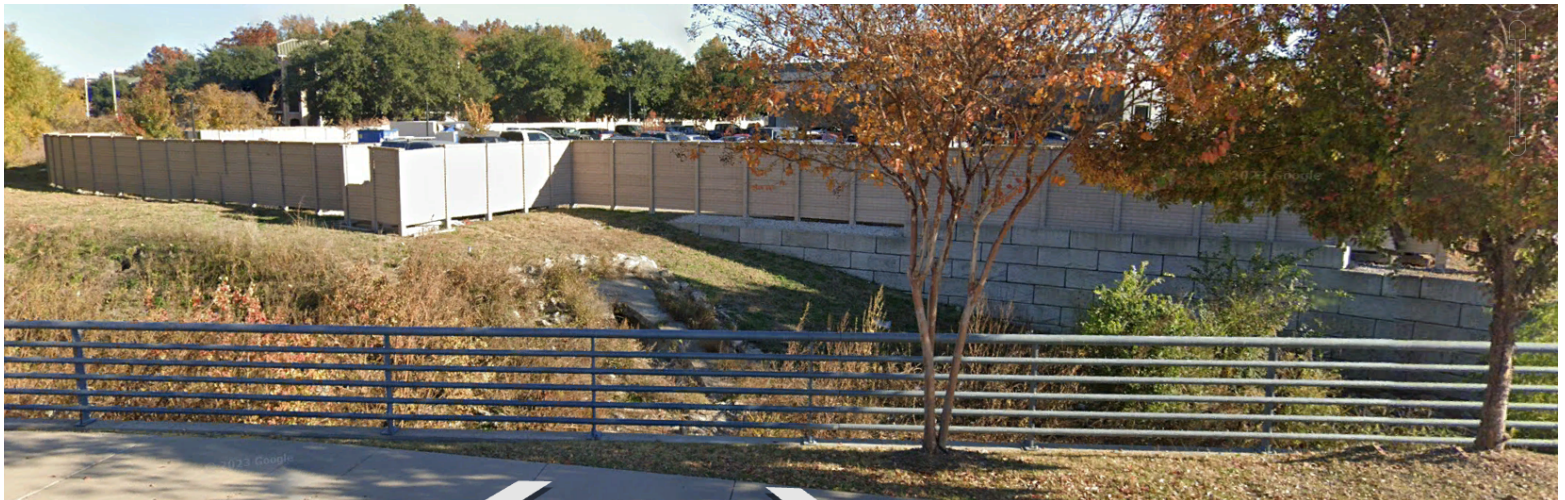
West



East



North



CITY OF THE COLONY, TEXAS

ORDINANCE NO. 2024 - _____

SPECIFIC USE PERMIT

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, APPROVING A SPECIFIC USE PERMIT ALLOWING AUTO PAINTING OR BODY REBUILDING SHOP (INSIDE) WITH OUTDOOR STORAGE (SCREENED) USE ON LOT 1, BLOCK A OF THE EAST OAK WOOD VILLAGE SUBDIVISION, AN ADDITION TO THE CITY OF THE COLONY, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AND/OR DEPICTED IN EXHIBIT “A” WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; REPEALING ORDINANCE NO. 2015-2135 IN ITS ENTIRETY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Planning and Zoning Commission and the governing body of the City of The Colony, Texas, in compliance with the laws of the State of Texas and pursuant to the Comprehensive Zoning Ordinance of the City of The Colony, have given requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to all persons interested and situated in the affected area and in the vicinity thereof, the said governing body is of the opinion that Specific Use Permit (SUP) to allow Auto painting or body rebuilding shop (inside) with outdoor storage (screened) use on Lot 1, Block A of the East Oak Wood Village subdivision, an addition to the City of The Colony, Denton County, Texas, and generally located at 5270 Memorial Drive, The Colony, Texas, should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

SECTION 1. That the findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2. That the City Council of the City of The Colony, Texas, does hereby approve the Specific Use Permit to allow an Auto painting or body rebuilding shop (inside) with outdoor storage (screened) use on Lot 1, Block A of the East Oak Wood Village subdivision, an addition to the City of The Colony, Denton County, Texas, and generally located at 5270 Memorial Drive, The Colony, Texas, and being more particularly described and/or depicted in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes.

SECTION 3. That the City Council of the City of The Colony, Texas, finds and determines that Ordinance No. 2015-2135, approved on April 21, 2015, should be repealed in its entirety.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided

to be unconstitutional, illegal or invalid, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. That any provision of any prior ordinance of the City whether codified or uncodified, which are in conflict with any provision of this Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncodified, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

SECTION 6. That this Ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS THIS 4TH DAY OF JUNE, 2024.

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

Jeffrey L. Moore, City Attorney

Exhibit A

[Legal Description and/or Depiction of the Property]

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Isaac Williams

Submitting Department: Planning and Development

Item Type: Ordinance

Agenda Section:

Subject:

Conduct a public hearing, discuss and consider an ordinance for a Gateway Standards Waiver to allow the majority of parking for a multi-tenant commercial development within the front of the primary building located along the frontage of SH 121 and South Colony Boulevard. (Williams)

Suggested Action:

Please see the attached staff report, drawings, maps and illustrations for detailed land use, site layout and staff recommendation

Attachments:

[GSW24-0001 CC Staff Report Colony Center Addition Parking Location GSW - DRAFT.doc](#)

[GSW24-0001 - Lot 1 Blk A Colony Center -final Exhibits.pdf](#)

[Ord. 2024-xxxx Gateway Standards Waiver 1 Lot 1 Block A Parking.docx](#)

CITY COUNCIL REPORT

AGENDA DATE: June 4, 2024

DEPARTMENT: Planning and Development Department

SUBJECT: *GSW24-0001 – Lot 2 Block A Colony Center Addition – Gateway Standards Waiver- Parking Location*

Conduct a public hearing discuss and consider an ordinance for a Gateway Standards Waiver from Section 10A-600 (e) to allow the majority of the parking for a multi-tenant commercial development within the front of the primary building, where the majority of the parking is to be located to the side or rear of the primary building. The subject site contains approximately 1.46 acres and is located along the frontage of SH 121 and South Colony Blvd within Planned Development 16 (PD-16) zoning district and the Gateway Overlay District.

OWNER/APPLICANT

Owner: LunaCrossing LTD Dallas, TX

Applicant: Lynn Kadleck Plano, TX
LK Planning, LLC

EXISTING CONDITION OF PROPERTY

The subject site is undeveloped.

ADJACENT ZONING AND LAND USES

North Planned Development 16 – Mixed commercial (shopping center)
South State Highway 121
East Planned Development 16 – Mixed commercial (shopping center)
West Planned Development 16 – Mixed commercial (shopping center)

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

Staff has no objection to the proposed Gateway Standards Waivers and staff does not anticipate either an incompatibility between the proposed development and the surrounding land uses nor an impact on the adjacent property owners due to the site layout.

PRIOR ACTION/REVIEW

On May 14, 2024 the Planning and Zoning Commission voted (7-0) to recommend approval of the Gateway Standards Waiver from Section 10A-600 (e) to allow the majority of the parking for a multi-tenant commercial development within the front of the primary building, where the majority of the parking is to be located to the side or rear of the primary building.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. GSW Proposed Development Plan

ATTACHMENT 1

Staff Analysis

Land Use Analysis

In accordance with Section 10A-500 of the Gateway Overlay District, the Planning and Zoning Commission and City Council shall review and evaluate a Gateway Standards Waiver application using the following criteria:

1. **The impact on adjacent property owners**
2. **The existence of a hardship that is not a result of the property owner's action.**
3. **The appropriateness of the request in terms of location, density and height of the structure or use; and,**
4. **The compatibility with the existing uses on the lot and surrounding land uses**

The applicant intends to develop the site with a standalone multi-tenant building on an established pad site within the established commercial center. The development will utilize the existing property boundaries and a majority of the existing surrounding flatwork including adjacent cross access drive aisles that allow for shared access and circulation. The applicant's request is intended to reflect the most optimal building configuration for the proposed uses in consideration of existing lot layout, cross access, lot dimension, and Gateway requirements.

The applicant requests approval of a Gateway Standards Waiver (GSW) to allow the majority of the required site parking be located in the front of the primary building. This Gateway Overlay District parking requirement is primarily intended to reduce the appearance of large expanses of parking in front of buildings. It may also encourage greater attention to aesthetics as buildings would be generally pushed closer to walkways and corridors, creating a street edge or closer pedestrian proximity between parking and building entrances. Significant street edges are more often present in urban areas or areas where adjacent streets have lower speeds. The SH 121 service road is not developed in an urban configuration and is not conducive to pedestrian activity. A site visit confirms that the majority of development along SH 121 has a parking configuration similar to this request. As reflected on the site plan, the configuration contributes to connectivity and demands fewer access points from the thoroughfare. Further, the nature of the proposed retail and restaurant operations rely on traditional front entry configurations to limit walking distances for their patrons.

The subject site will otherwise be developed in compliance with the heightened design requirements of the Gateway Overlay District. The development plans reflect building aesthetics and landscape design consistent with newer development in the Gateway. Landscape shall be provided in accordance with the Gateway Overlay District as reflected in Section 17A.

It is not anticipated that granting of the Gateway Standards Waiver will create a material detriment to the public welfare or injury to the use, enjoyment or value of property in the vicinity.

Notification

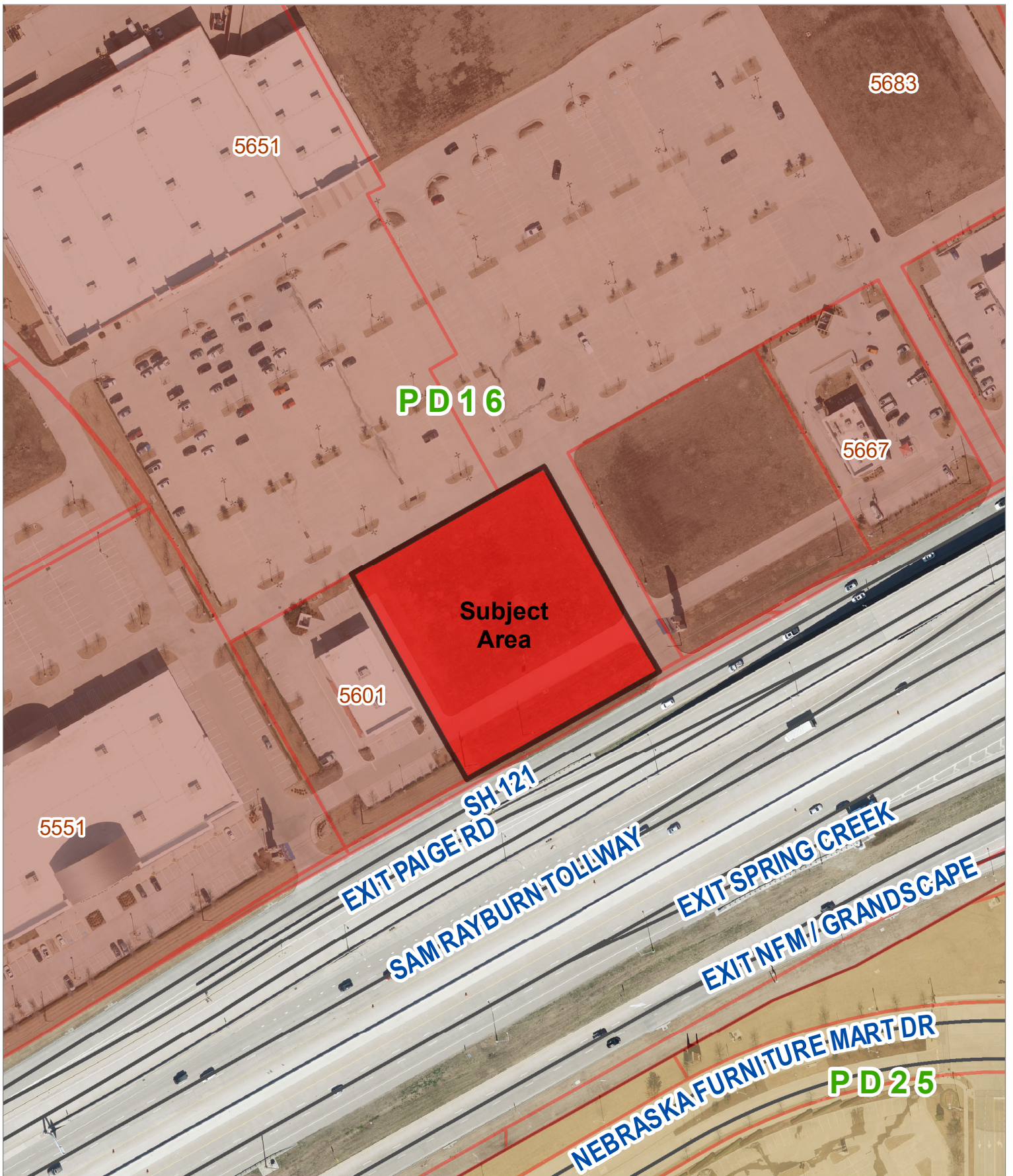
The Zoning Ordinance requires newspaper notification a minimum of fifteen (15) days prior to the City Council meeting. Notice for this Public Hearing was published in The Dallas Morning News on May 17, 2024. The Zoning Ordinance requires notification of property owners located

within 200 feet of the subject property a minimum of fifteen (15) days prior to the public hearing. Notices were sent on May 17, 2024.

No comments either for or against the Gateway Standards Waiver (GSW) were received as of printing of this packet.

Development Review Committee Review

Staff has no objection to the proposed Gateway Standards Waivers and staff does not anticipate either an incompatibility between the proposed development and the surrounding land uses nor an impact on the adjacent property owners due to the site layout.



Project No: GSW24-0001 - Colony Center Addition Lot 2 Block A



GSW24-0001



Planned Development, PD25



Planned Development 16

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

PROJECT NARRATIVE – GATEWAY STANDARDS WAIVER

SUBJECT PROPERTY:

1.464 ACRES, BEING LOT 2, BLOCK A, COLONY CENTER ADDITION

CURRENT ZONING:

PD-16 PER ORDINANCE 99-1129, AMENDED BY ORDINANCE NO. 2022-2474

PROPOSED USE:

A SINGLE STORY BUILDING WITH RETAIL USES INCLUDING RESTAURANTS.

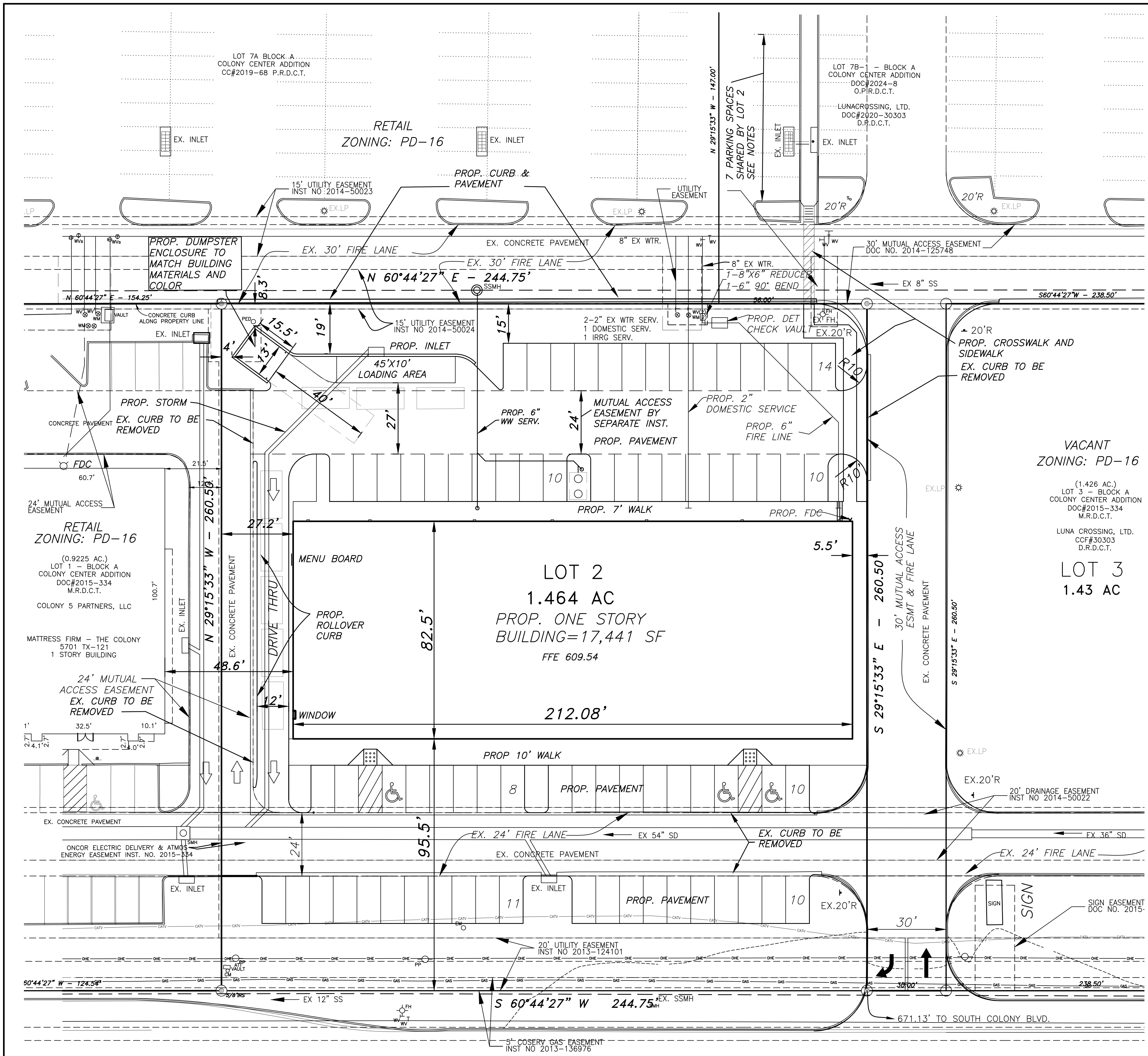
WAIVER REQUESTED:

PER GATEWAY OVERLAY ORDINANCE, THE MAJORITY OF PARKING MUST BE LOCATED ON THE SIDE OR REAR OF THE BUILDING. ATTEMPTS WERE MADE TO SHAPE AND POSITION THE BUILDING ON THE EXISTING SITE, BUT THE SPACE IS LIMITING THE ABILITY TO OBTAIN FRONTAGE AND ACCOMPLISH THE INTENT OF THE REQUIREMENT.

THIS REQUEST IS FOR A WAIVER TO THE REQUIREMENT. THIS SITE IS A PROPOSED RETAIL BUILDING WITH MULTIPLE TENANTS. WITH THE TYPE OF RETAIL USES PROPOSED, THE TENANTS PREFER AND DEMAND HAVING STREET FRONTAGE TO PROVIDE VISIBILITY TO THEIR BUSINESS FOR THE CUSTOMERS. TYPICALLY, THERE ARE TWO CLASIFICATIONS OF CUSTOMERS FOR THE TYPES OF RETAIL BEING PROPOSED. THERE IS THE DESIGNATION CUSTOMER THAT ALREADY KNOWS WHERE THEY WISH TO GO. THERE IS ALSO THE IMPULSE CUSTOMER (DRIVING PAST THE BUSINESS) THAT DECIDES TO STOP AT A RETAIL FACILITY WHEN THEY SEE THE PARTICULAR RETAIL BUSINESS. FOR THESE RETAIL USES, THE BUILDING FRONTAGE IS VERY IMPORTANT AND THE BUILDING DEPTH IS SOMEWHAT LIMITED BY THE PARTICUALR USERS, WHICH LEADS TO A SHALLOWER AND WIDER BUILDING.

THE PARKING PROVIDED AT THE FRONT OF THE BUILDING IS TYPICAL OF A SMALL RETAIL STRIP BUILDING BEING ONLY A ROW OF PARKING SPACES ON EACH SIDE OF A SINGLE DRIVE AISLE THAT IS ALSO THE REQUIRED FIRE LANE.

IN ADDITION, MOST CUSTOMERS DESIRE TO PARK AT THE FRONT OF THE BUILDING VERSUS AT THE SIDE OR BACK.

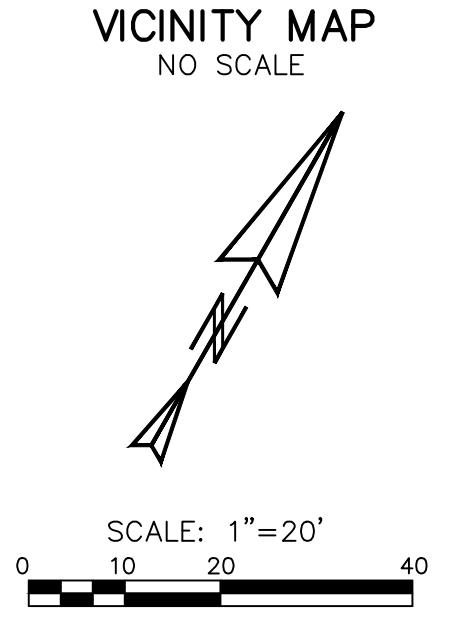
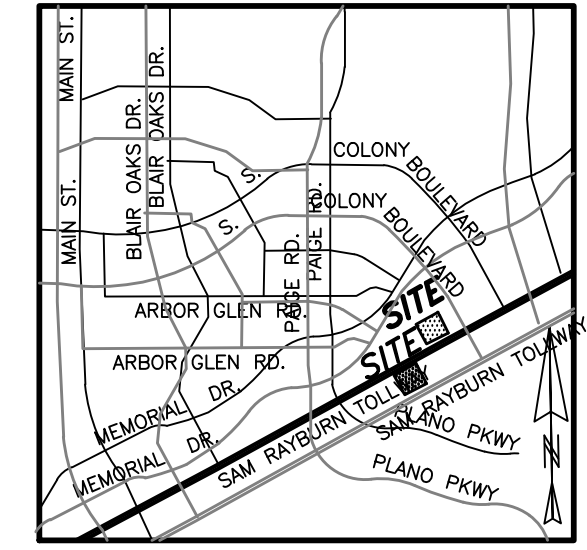


PAVING LEGEND

- HEAVY DUTY PAVEMENT – FIRELANE
 - 6" 3600 PSI REINF. CONC. W/ No. 4 BARS @ 24" O.C.E.W. OVER 6"-6% LIME TREATED SUBGRADE OR ALTERNATE-7" 4000 PSI CONC. W/ No. 4 BARS @ 24" O.C.E.W. ON COMPACTED SUBGRADE. SEE NOTE HEREON.
- Concrete Sidewalk Pavement – Private
 - 4" 3000 PSI REINF. CONC. W/ No. 3 BARS @ 18" O.C.E.W. SEE NOTE HEREON.
- Concrete Sidewalk Pavement – Public
 - 5" 4000 PSI REINF. CONC. W/ No. 3 BARS @ 14" O.C.E.W. SEE NOTE HEREON.
- DUMPSTER PAVEMENT
 - 8" 4000 PSI REINF. CONC. W/ No. 4 BARS @ 18" O.C.E.W. ON COMPACTED SUBGRADE. SEE NOTE HEREON.

LEGEND

- FH FIRE HYDRANT
- CHISELED "X" SET
- CHISELED "X" FOUND
- IRF IRON ROD FOUND (SIZE AS NOTED)
- IRS IRON ROD SET (SIZE AS NOTED)
- PP OVERHEAD UTILITY POLE W/ GUY
- SSMH SANITARY SEWER MANHOLE
- SSMH STORM SEWER MANHOLE
- WV WATER VALVE
- SW SAN. SWR. CLEAN OUT
- WV GAS VALVE
- WV WATER VALVE
- WM WATER METER
- B BOLLARD
- SP SIGNAL POLE
- SB SIGNAL BOX
- SV SIGNAL VAULT
- EB ELECTRIC BOX
- EV ELECTRIC VAULT
- SS STREET SIGN
- CM CABLE MARKER
- CB CABLE BOX
- OS SIGN
- OAS AUTO SPRINKLER
- TFD TRANSFORMER PAD
- LP LIGHT POLE
- TREE



NOTES:

- BUILDING LINES PER APPROVED SITE PLAN.
- EXISTING SHARED PARKING AGREEMENT FOR SHARING OF SPACES OVER SUBJECT PROPERTY AND LOT 3 AND 7B-1. THE OFFSITE SHARED PARKING SPACES SHALL NOT BE USED FOR RESTAURANT PARKING.

CONCEPTUAL PLAN FOR LOT 2
SITE DATA

LOT AREA: 63,757 SF
 BUILDING: 17,441 SF
 COVERAGE: 27.35%
 FAR: 0.274:1
 IMPERVIOUS AREA: 57,428 SF

REQUIRED PARKING: 120 SPACES
 RETAIL: 1/250SF (3641F/250)=14.6
 RESTUARANT: 1/100SF (6000SF/100)=60
 DRIVE THRU RESTUARANT: 1/150F (1800/150)=12
 HEALTH CLUB: 5.5/1000SF (6 X 5.5)=33
 WITH 33.33% REDUCTION -40 SPACES
 TOTAL REQUIRED 80 SPACES

PROVIDED PARKING:
 ONSITE 73 SPACES*
 OFFSITE – AGREEMENT 7 SPACES**
 TOTAL PROVIDED: 80 SPACES

* INCLUDES 3 ACCESSIBLE SPACES
 ** 7 SPACES ON LOT 7B-1 PER SHARED PARKING AGREEMENT

Approved by the Planning & Zoning Commission/City Council on the _____ day of _____, 2024

 Planning Director

CITY PROJECT NO. SP24-0002

REVISIONS		
REV NO.	DATE	DESCRIPTION

SITE PLAN
RETAIL CENTER 2
LOT 2, BLOCK A, COLONY CENTER ADDITION
THE COLONY, DENTON COUNTY, TEXAS

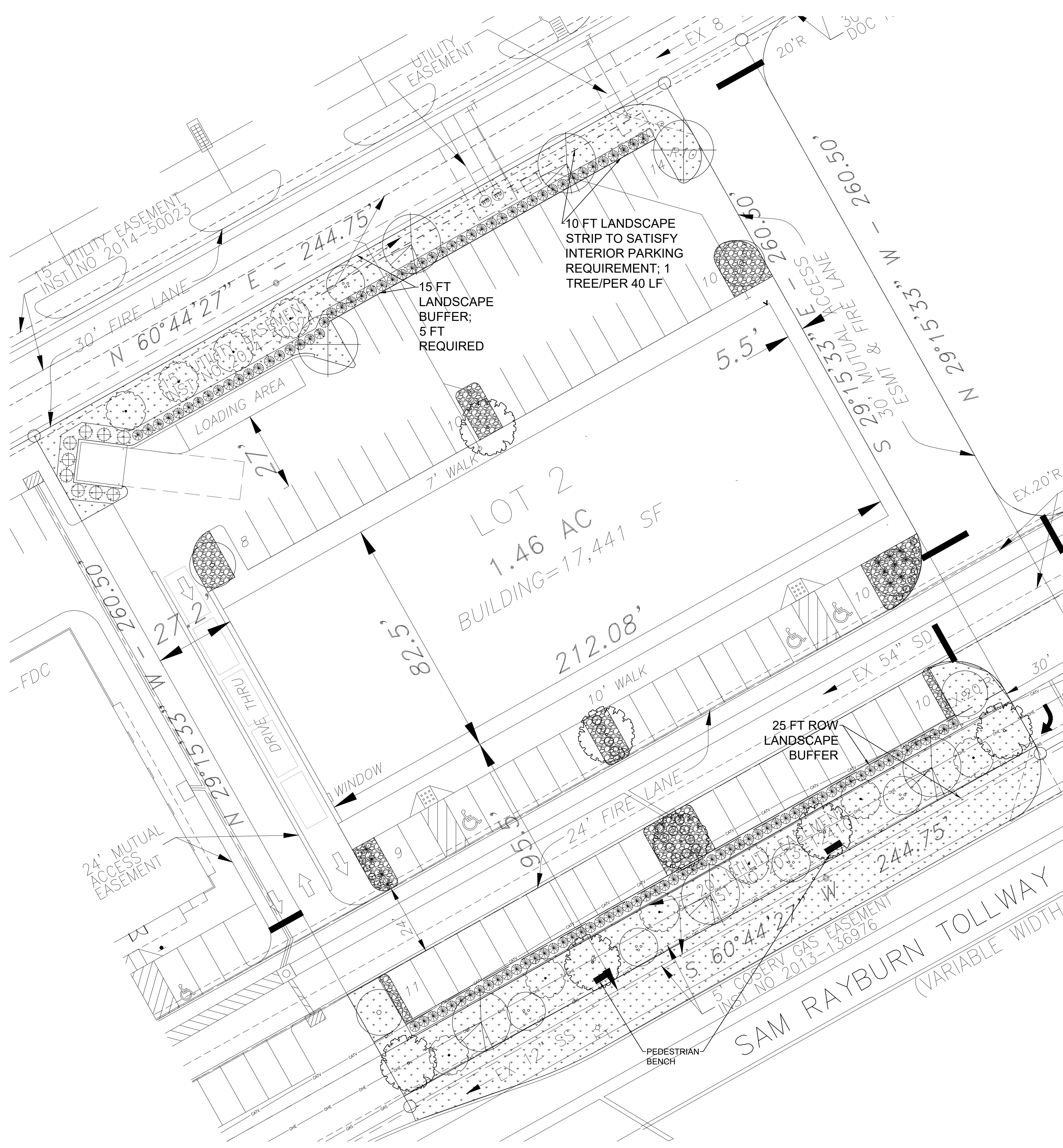
DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET NO.
LKP	LKP	APR '24	1" = 20'		SP1

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF L. Lynn Kadleck, P.E. 47258
 Date: April 3, 2024
 NOT FOR CONSTRUCTION

OWNER:
 LUNA CROSSING, LTD.
 P. O. Box 795743
 Dallas, Texas 75379
 Attn: Ron Avneri
 214-690-9397
 yoramavneri@yahoo.com

LK PLANNING, LLC
 3516 CALECHE COURT
 PLANO, TEXAS 75023
 972-979-0426
 Lynn@lkplanningllc.com
 FIRM NO. F-23830

SAM RAYBURN TOLLWAY (STATE HIGHWAY NO. 121)



1

LANDSCAPE PLAN

SCALE: 1" = 20'-0"



SITE INFORMATION

SITE AREA: 1.46 ACRES; 43,560 SF

GATEWAY LANDSCAPE REQUIREMENTS

SAM RAYBURN STREETSCAPE BUFFER
 REQUIRED WIDTH: 25'
 PROVIDED WIDTH: 25'
 LARGE CANOPY TREES REQUIRED: 7
 (1/40 LF OF FRONTAGE; 244.75 LF)
 LARGE CANOPY TREES PROVIDED: 7
 ORNAMENTAL TREES REQUIRED: 10
 (2/50 LF OF FRONTAGE; 244.75 LF)
 ORNAMENTAL TREES PROVIDED: 10

PERIMETER LANDSCAPE BUFFER (REAR PL)
 REQUIRED WIDTH: 10'
 PROVIDED WIDTH: 15'
 ORNAMENTAL TREES REQUIRED: 5
 (1/40 LF OF FRONTAGE; 244.75 LF)
 ORNAMENTAL TREES PROVIDED: 5
 LARGE CANOPY TREES REQUIRED: 2
 (2 PER EVERY 5 ORNAMENTAL TREES REQUIRED)
 LARGE CANOPY TREES PROVIDED: 2

SITE TREES
 LARGE CANOPY TREES REQUIRED: 16
 (10/10,000 SF + 1/2,500 ADDITIONAL SF)
 LARGE CANOPY TREES PROVIDED: 19

INTERIOR LANDSCAPE REQUIREMENTS
 LANDSCAPE AREA REQUIRED: 3367 SF
 (MIN 10% OF TOTAL PARKING AREA TO BE LANDSCAPED)
 LANDSCAPE AREA PROVIDED: 4813 SF

LARGE CANOPY TREES REQUIRED: 9
 (1 PER 400 SF OF REQUIRED LANDSCAPE AREA)
LARGE CANOPY TREES PROVIDED: 10

LANDSCAPE POINTS
 REQUIRED: 15
 PROVIDED: 15

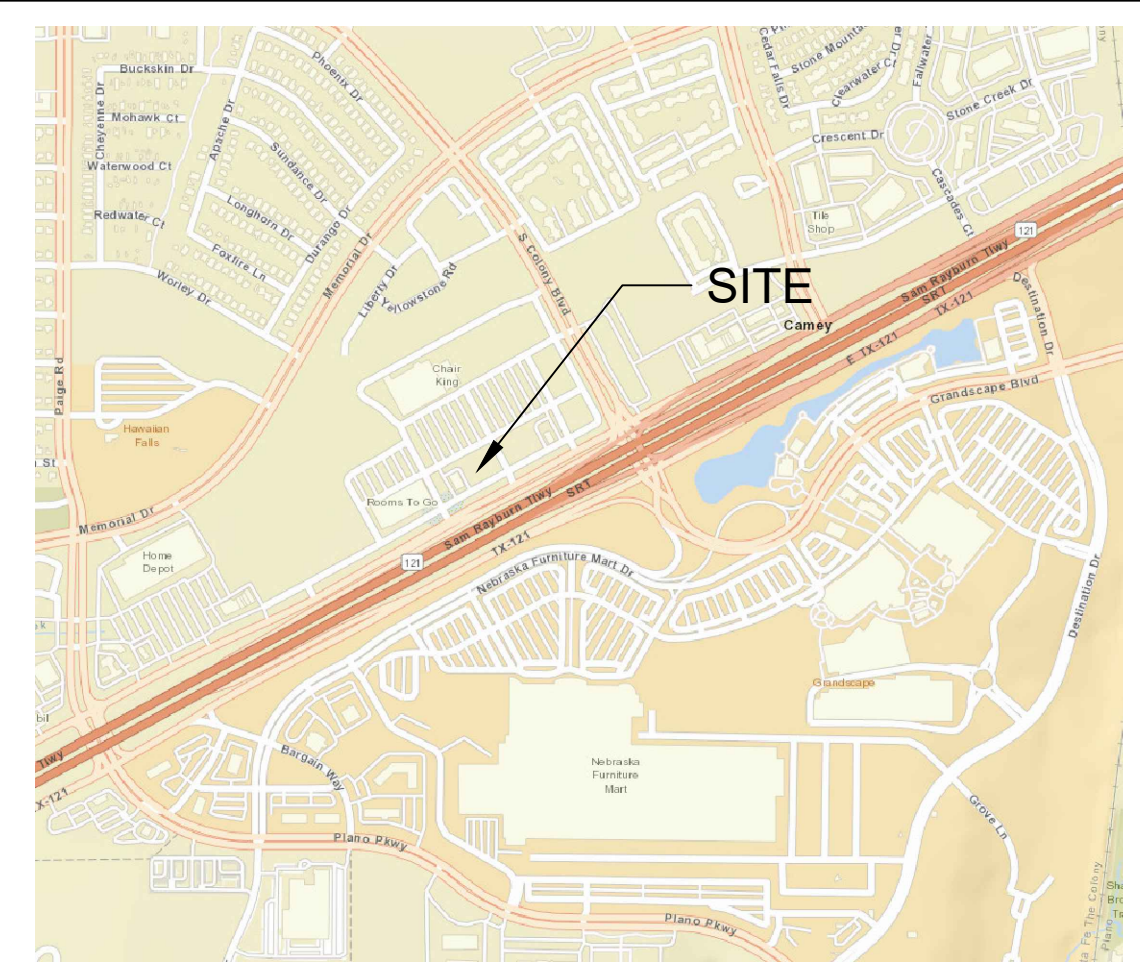
- Open space provision greater than what is required (5 POINTS)
- Enhanced streetscape element - benches (5 POINTS)
- Enhanced buffers (providing a landscape buffer 5 feet more than what is required adjacent to perimeter (5 POINTS))

NOTES

- "All landscaping is to be irrigated in accordance with City standards."
- "All irrigation systems are to be fitted with rain and freeze gauges in accordance with City standards."
- "Water and Sewer Lines: All water and sewer lines and their sizes shall be shown on the Landscape Plan, including Fire Department connections."
-

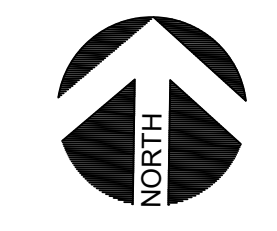
PLANT MATERIAL LIST SUMMARY CHART

QNTY	COMMON NAME	BOTANICAL NAME	SIZE
TREES			
7	SHADEMASTER HONEYLOCUST	<i>Gleditsia triacanthos</i>	3" CAL; 60 GAL; 8 FT MIN HGT
4	DD BLANCHARD MAGNOLIA	<i>Magnolia grandiflora</i>	3" CAL; 60 GAL; 8 FT MIN HGT
4	LIVE OAK	<i>Quercus virginiana</i>	3" CAL; 60 GAL; 8 FT MIN HGT
5	LACEBARK ELM	<i>Ulmus parvifolia</i>	3" CAL; 60 GAL; 8 FT MIN HGT
2	NATCHEZ CRAPE MYRTLE	<i>Lagerstroemia indica</i>	2" CAL; 15 GAL; SINGLE TRUNK
2	VITEX	<i>Vitex agnus castus</i>	2" CAL; 15 GAL
9	NELLIE R STEVENS HOLLY	<i>Ilex x 'Nellie R Stevens'</i>	2" CAL; 15 GAL
SHRUBS			
70	TEXAS SAGE	<i>Leucophyllum frutescens</i>	3 GAL MIN; 18 IN MIN HGT
14	LITTLE JOHN BOTTLE BUSH	<i>Callistemon 'Little John'</i>	1 GAL MIN
12	MEXICAN BUSH SAGE	<i>Salvia leucantha</i>	1 GAL MIN
12	BLONDE AMBITION BLUE GRAMA	<i>Bouteloua gracilis</i>	1 GAL MIN
HARDSCAPE ELEMENTS			
SY	DECOMPOSED GRANITE, MIN 2 INCH DEPTH COMPACTED		



VICINITY MAP

NTS



(17A-600) Maintenance requirements.

A. The property owner shall maintain all trees, landscaped areas, and plant materials in a vigorous and healthy condition, free from disease, pests, weeds, and litter. This maintenance shall include but is not limited to: weeding, watering, fertilizing, pruning, mowing, edging, mulching and other needed maintenance, in accordance with generally accepted horticultural practices. No landscape material shall be allowed to exceed three (3) feet in height above curb level, and all overhanging foliage shall be kept trimmed more than nine (9) feet above curb level. In addition, all landscape structures (walls, fences, etc.) shall be kept in a structurally sound and aesthetic condition.

B. If the property owner fails to perform the maintenance required by this section, the city may issue a written notice to the owner requiring the owner to perform the required maintenance or to replace any trees or plant materials or other items originally approved on the property's landscape plan.

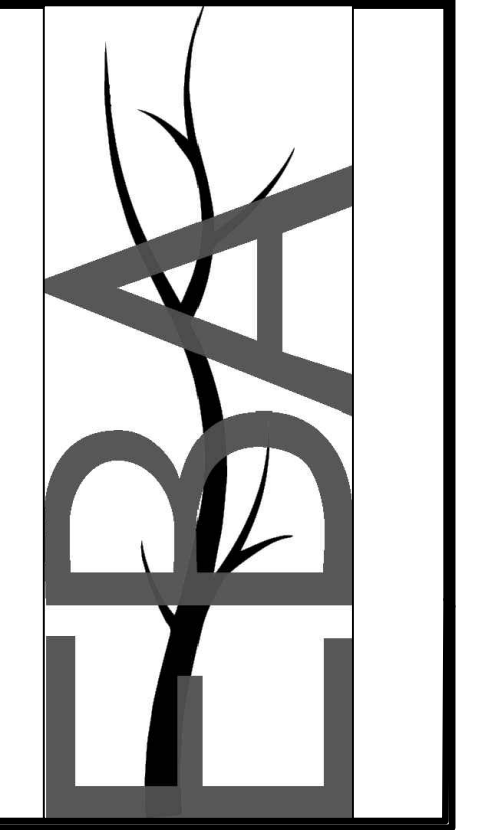
C. The owner shall have seven (7) days from the date of the notice to comply, unless replacement of plant materials or trees is required, in which case thirty (30) days are allowed. The city may grant an extension of time where seasonal or adverse weather conditions make maintenance or replacement impractical.

D. Replacement plants must be at least the same size and species as shown on the approved landscape plan or must be equivalent in terms of quality and size. Such replacement will not be considered an amendment to the approved plan.

E. Landscaping and structures placed in right-of-ways or easements must be maintained by the owner even if damage is caused by utility companies or governmental entities.

04/17/2024

E. BROOKE ASSOCIATES
 8624 Ferguson Rd #670527
 Dallas, Texas 75357
 817-219-2665
 erin@ebrooke.com



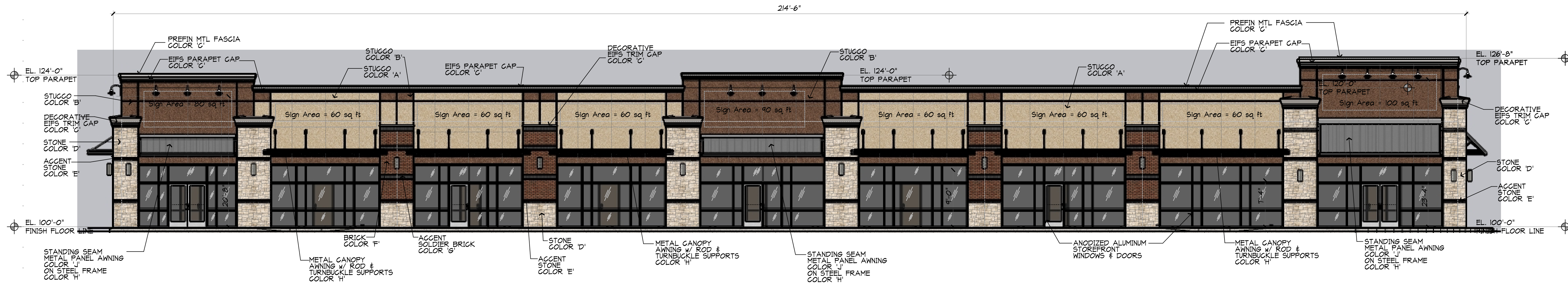
THE COLONY RETAIL - LOT 2 BLOCK A
 CITY OF THE COLONY, TEXAS



04/17/2024

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

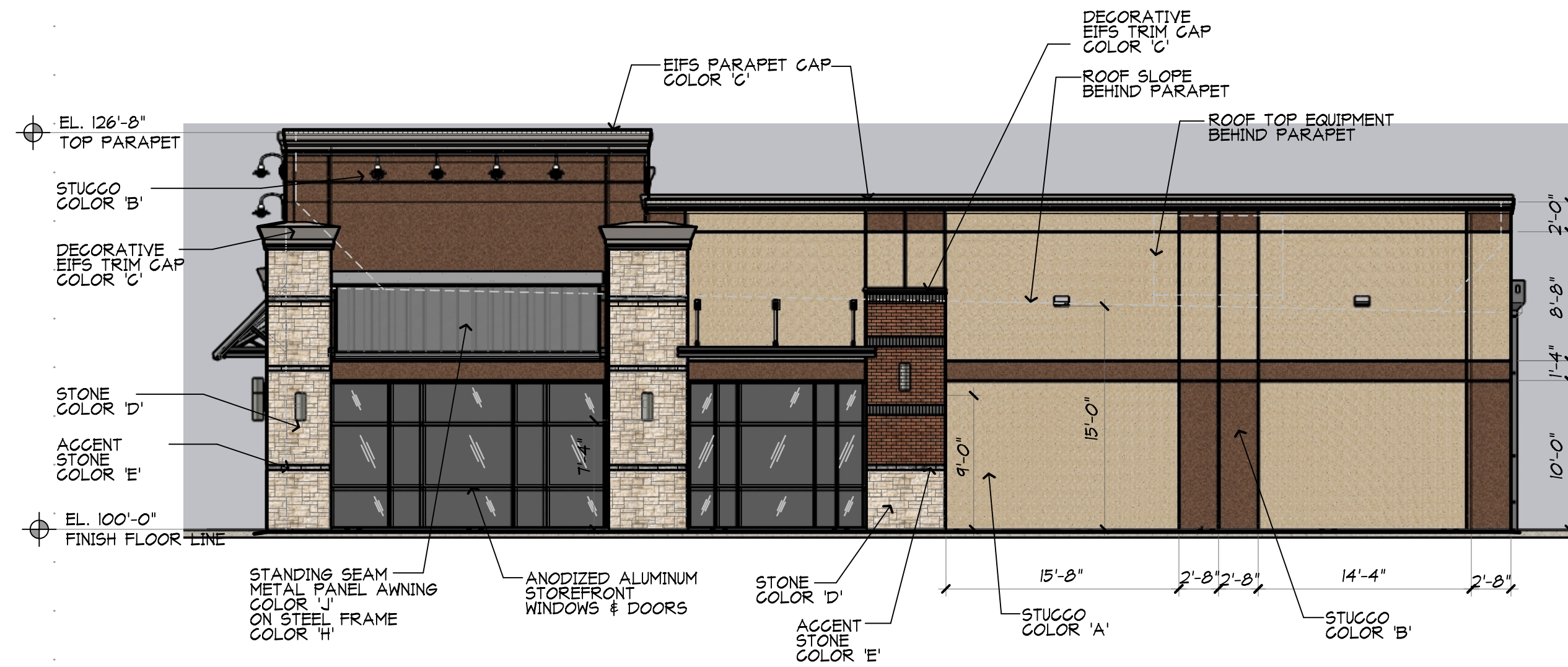
CITY PROJECT NO. SP-0002



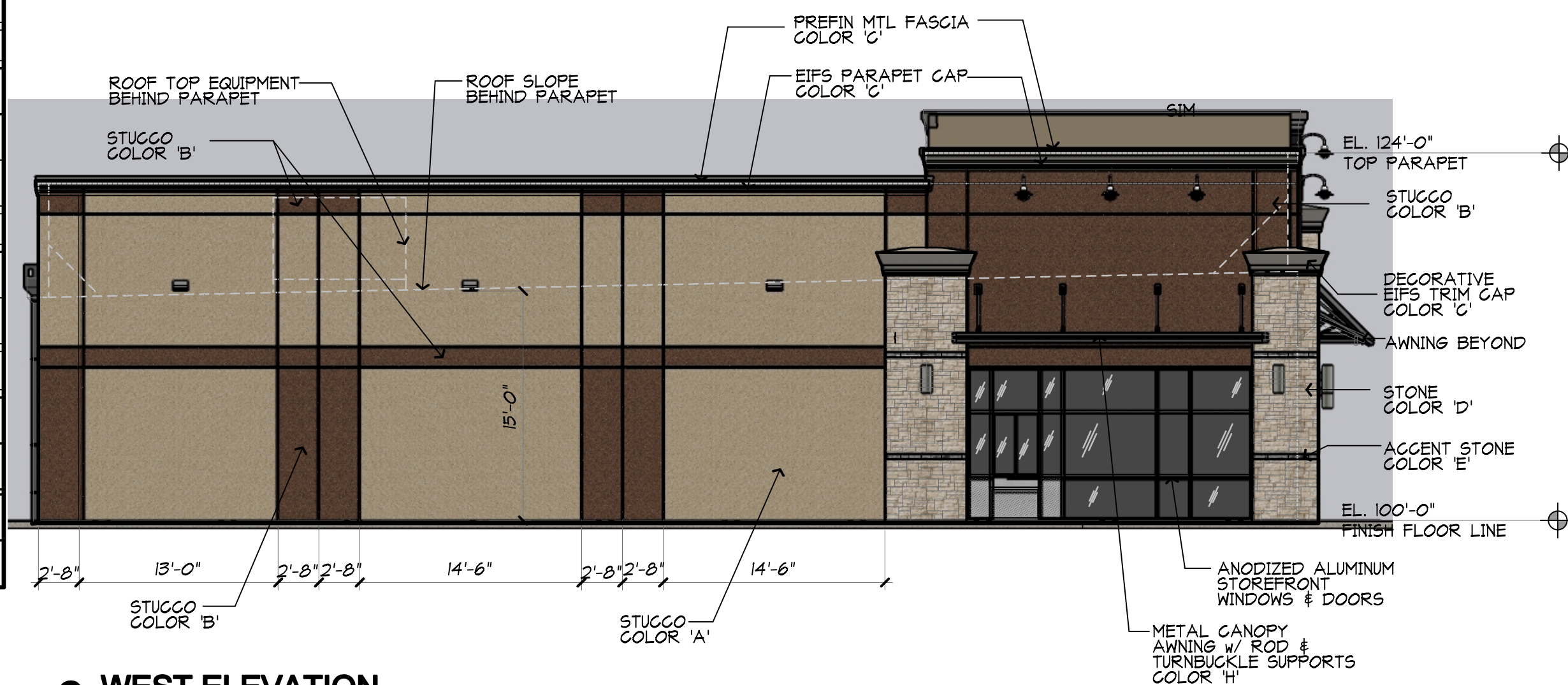
1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL TABULATIONS:

	NORTH	SOUTH	EAST	WEST
STUCCO COLOR 'A'	3474 sf = 71%	1175 sf = 36%	804 sf = 43%	458 sf = 55%
STUCCO COLOR 'B'	835 sf = 18%	1042 sf = 32%	486 sf = 24%	447 sf = 24%
TOTAL STUCCO	4309 sf = 45%	2217 sf = 68%	1290 sf = 77%	1455 sf = 84%
EIFS TRIM COLOR 'C'	204 sf = 5%	274 sf = 7%	117 sf = 6%	114 sf = 6%
STONE COLOR 'D'	N/A	554 sf = 17%	196 sf = 12%	150 sf = 13%
ACCENT STONE COLOR 'E'	N/A	24 sf = 1%	12 sf = 1%	6 sf = 1%
TOTAL STONE	-----	583 sf = 18%	208 sf = 13%	156 sf = 10%
BRICK COLOR 'F'	N/A	203 sf = 6%	51 sf = 3%	N/A
ACCENT BRICK COLOR 'G'	N/A	43 sf = 1%	11 sf = 1%	N/A
TOTAL BRICK	-----	246 sf = 7%	62 sf = 4%	-----
TOTAL MASONRY	4309 sf = 45%	3046 sf = 93%	1560 sf = 94%	1611 sf = 94%
TOTALS (EXCLUDING WINDOWS/DOORS)	4513 sf = 100%	3325 sf = 100%	1671 sf = 100%	1730 sf = 100%
WINDOWS / DOORS	210 sf (DOORS)	1642 sf (STOREFRONT)	301 sf (STOREFRONT)	181 sf (STOREFRONT)
TOTALS (INCLUDING WINDOWS/DOORS)	4723 sf	4967 sf	1984 sf	1917 sf



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

THE COLONY RETAIL - LOT 2

OWNER NAME / TITLE
Colony Center Addition - Lot 2 Block A
The Colony, Texas ZIPcode

JOB NO. A2402
DATE: 4/18/2024

SHEET NO.
A-401c
OF

CITY OF THE COLONY, TEXAS

ORDINANCE NO. 2024 - _____

**COLONY CENTER ADDITION LOT 1, BLOCK A
PARKING LOCATION
GATEWAY STANDARDS WAIVER (GSW)**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, APPROVING A GATEWAY STANDARDS WAIVER PURSUANT TO SECTION 10A-900(c)(5)(F) OF THE CODE OF ORDINANCES, TO PERMIT A CANOPY OF EIGHTEEN (18) FEET AND ONE (1) INCH, WHERE SIXTEEN (16) FEET IS PERMITTED FOR A COMMERCIAL DEVELOPMENT ON AN APPROXIMATELY 1.15 ACRE TRACT OF LAND LOCATED SOUTHWEST OF THE INTERSECTION OF EAST LAKE HIGHLANDS DRIVE AND ELM STREET WITHIN THE PLANNED DEVELOPMENT 16 (PD-16) DISTRICT AND THE GATEWAY OVERLAY DISTRICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council of the City of The Colony, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of The Colony, Texas, have given any requisite notices by publication and otherwise, and have held due public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and is of the opinion and finds that Gateway Standards Waiver No. GSW23-0003 should be approved authorizing a Gateway Standards Waiver pursuant to section 10A-900 (c)(5)(F) to permit a canopy of eighteen (18) feet and one (1) inch where sixteen (16) feet is permitted on an approximately 1.15 acre tract of land located southwest of the intersection of East Lake Highlands Drive and Elm Street, within the General Retail (GR) District and the Gateway Overlay District.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

SECTION 1. That the findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2. That the City Council of the City of The Colony, Texas, does hereby approve the Gateway Standards Waiver pursuant to section 10A-900(c)(5)(F) of the Code of Ordinances to permit a canopy of eighteen (18) feet and one (1) inch, as reflected on and attached hereto as *Exhibit A* of this Ordinance.

SECTION 3. That it is hereby declared to be the intention of the City Council of the City of The Colony, Texas, that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent

jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 4. That any provision of any prior ordinance of the City whether codified or uncodified, which are in conflict with any provision of this Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncodified, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

SECTION 5. That this Ordinance shall become effective immediately upon its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS THIS 4TH DAY OF JUNE, 2024.

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

Jeffrey L. Moore, City Attorney

Exhibit A

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Isaac Williams

Submitting Department: Planning and Development

Item Type: Ordinance

Agenda Section:

Subject:

Discuss and consider an ordinance for the Site Plan application for “Lot 2 Block A Colony Center Addition,” a single story multi-tenant retail building located along the frontage of SH 121 and South Colony Boulevard.
(Williams)

Suggested Action:

Please see the attached staff report, drawings, maps and illustrations for detailed land use, site layout and staff recommendation

Attachments:

[SP24-0002 CC Staff Report Lot 2 Blk A Colony Center Add.doc](#)

[SP24-0002 - Lot 2 Blk A Colony Center-Final Exhibits.pdf](#)

[05-23-24 Letter Addressing P-Z Conditions for Lot 2 Site Plan.pdf](#)

[Google - Front of Lot 2 - Utility Poles-Lines.jpg](#)

[Proposed Landscape Plan- Post PZ conditional approval.pdf](#)

[Ord. 2024-xxxx Site Plan Lot 2 Block A Colony Center.docx](#)

CITY COUNCIL REPORT

AGENDA DATE: June 4, 2024

DEPARTMENT: Planning and Development Department

SUBJECT: SP24-0002 – Lot 2 Block A Colony Center Addition – Site Plan

Discuss and consider making an ordinance regarding the Site Plan application for “Lot 2 Block A Colony Center Addition,” a single story multi-tenant retail building approximately 17,441 sq.ft. The subject site contains approximately 1.46 acres and is located along the frontage of SH 121 and South Colony Blvd within Planned Development 16 (PD-16) Zoning District and the Gateway Overlay District.

APPLICANT/OWNER

Owner:	Luna Crossing LTD	Dallas, TX
Applicant:	Lynn Kadleck LK Planning, LLC	Plano, TX

EXISTING CONDITION OF PROPERTY

The subject site is undeveloped.

PROPOSED DEVELOPMENT

The applicant intends to develop the site with a stand-alone multi-tenant building on an established pad site within the established commercial center. The single story multi-tenant retail building is approximately 17,441 sq. ft. The subject site contains approximately 1.46 acres and is located along the frontage of SH 121 and South Colony Blvd. The development will utilize the existing property boundaries and a majority of the existing surrounding flatwork including adjacent cross access drive aisles to allow for shared access and circulation.

ADJACENT ZONING AND LAND USES

North	Planned Development 16 – Mixed commercial (shopping center)
South	State Highway 121
East	Planned Development 16 – Mixed commercial (shopping center)
West	Planned Development 16 – Mixed commercial (shopping center)

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds that the proposed Site Plan is consistent with Planned Development 16 (PD-16) Zoning District, the Comprehensive Zoning Ordinance and the Gateway Overlay District where applicable. The DRC recommends approval.

PRIOR ACTION

The City of The Colony’s Planning and Zoning Commission at its meeting on May 14, 2024 approved the request with the following conditions (7-0):

- Provide an access path to the public benches
- Move the large trees out from under the overhead utility lines

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Project Narrative
4. Proposed Development Plans

ATTACHMENT 1

Staff Analysis

Land Use Analysis

The subject site is currently undeveloped, and located along the frontage of SH 121 and west of South Colony Blvd. The proposed retail building is located in the Planned Development 16 (PD-16) Zoning District and the Gateway Overlay District.

Circulation and Parking

Site access will be served by the existing driveways from State Highway 121 Frontage Road and through mutual access drives from South Colony Blvd. The development will have eighty (80) parking spaces dedicated to the occupants. Planned Development 16 contains a condition which reduces the parking requirement by 33 percent per Ordinance No. 2022-2474.

The applicant has indicated an intent to build to specifically accommodate, retail, restaurant uses and health club uses. Accordingly the eighty (80) spaces are dedicated as follows:

- 1.0 per 250 SF of GFA for retail use;
- 1.0 per 100 SF of GFA for restaurant use;
- 1.0 per 150 SF of GFA for drive thru restaurant use; and
- 5.5 per 1,000 SF of GFA for health club use.

Seventy-three (73) spaces will be provided on Lot 2 and seven (7) spaces will be provided in the adjacent property through a shared parking agreement. Three (3) handicap accessible spaces will be located adjacent to the front entrances. Any use permitted uses shall be in accordance with the applicable conditions of PD-16 and the parking schedule of Section 13.

Landscaping and Buffering

The Landscape Plan reflects the planting of various canopy trees, small ornamental trees, shrubs, and ground cover consistent with development within the Gateway Overlay District. The site will provide buffers along the SH 121 frontage and along the northern property boundary.

All landscaping will be irrigated in compliance with City standards. The Landscape Plan also provides the minimum landscape buffer distances, planting counts, and required screening to comply with the Gateway Overlay District.

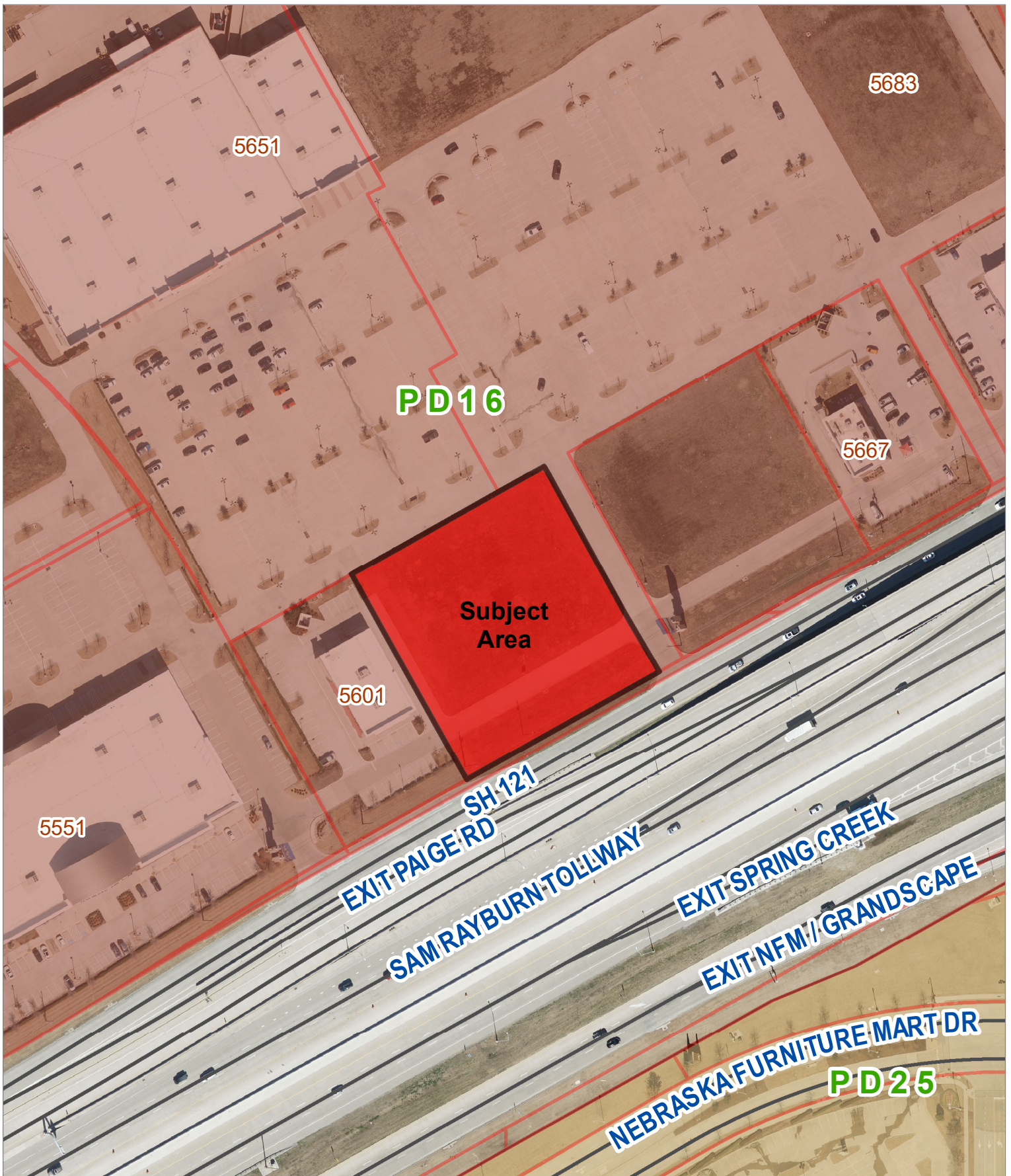
The Planning and Zoning Commission on 5/14 advised that although the site met the technical requirements of the Gateway, the application of the regulations did not meet the intent of the Gateway. A condition was placed on the recommendation for approval, which directed the applicant to consider alternative site configurations regarding the location of the benches and trees within the buffer. The applicant has provided an alternative site plan for City Council consideration. The benches have been located closer to the building instead of along the service road. The trees under the utilities are located at a location considered optimal for the site.

Building Elevations

The Elevation Plan reflects architectural emphasis on the south facing façade. The plan reflects the use of horizontal and vertical articulations for depth, and a mix of architectural elements such as awnings, glazing and material changes for visual interest. Each elevation reflects the usage of masonry material including the use of stucco, stone and brick. As reflected, the elevations are consistent with the intent of the Gateway Overlay District.


Development Review Committee Review

The Development Review Committee (DRC) finds that the proposed Site Plan is consistent with Planned Development 16 (PD-16) Zoning District, the Comprehensive Zoning Ordinance and the Gateway Overlay District where applicable. The DRC recommends approval.



Project No: SP24-0002 - Colony Center Addition Lot 2 Block A



 SP24-0002

 Planned Development, PD25

 Planned Development 16

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

PROJECT NARRATIVE – SITE PLAN

SUBJECT PROPERTY:

1.464 ACRES, BEING LOT 2, BLOCK A, COLONY CENTER ADDITION

CURRENT ZONING:

PD-16 PER ORDINANCE 99-1129, AMENDED BY ORDINANCE NO. 2022-2474

PROPOSED USE:

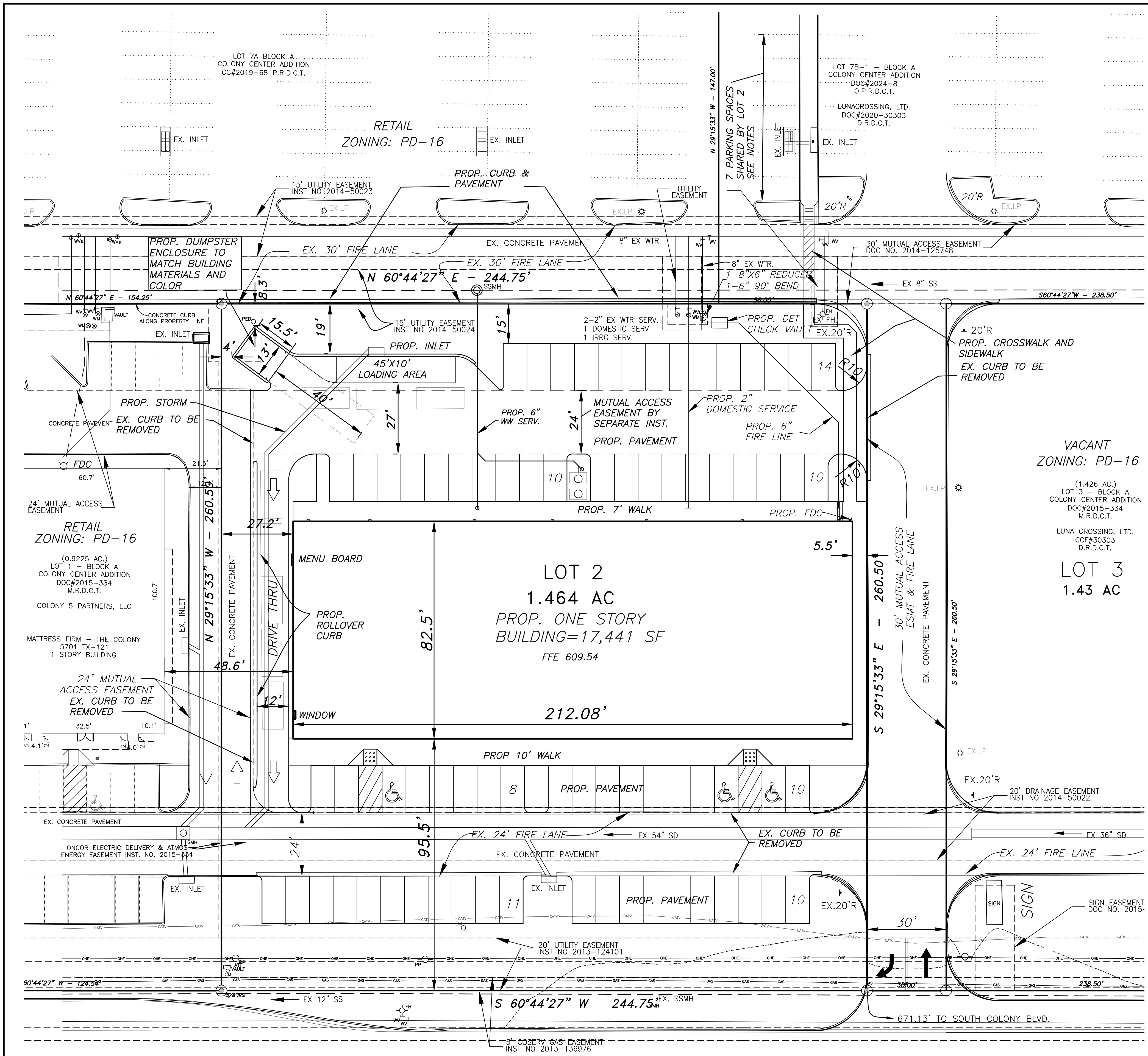
A SINGLE STORY BUILDING WITH RETAIL USES INCLUDING RESTAURANTS AND A DRIVE THROUGH.

PROPOSED SITE IMPROVEMENTS:

AS THE SITE PLAN INDICATES, THE SUBJECT PROPERTY IS PROPOSED TO HAVE A SINGLE STORY BUILDING WITH A TOTAL OF 17,441 SQUARE FEET. THE USES PROPOSED ARE AS FOLLOWS – 6,000 SF RESTAURANT (SIT DOWN) WITH SMOKING ROOM, 6,000 SF WELLNESS FACILITY WITH RETAIL SALES, 1,800 SF RESTAURANT WITH DRIVE THROUGH, AND 3,641 SF OF RETAIL.

THE SITE IMPROVEMENTS SHALL CONSISTS OF THE BUILDING, CONCRETE PAVED FIRE LANES AND ASSOCIATED PARKING, WATER AND WASTEWATER SERVICES AND FIRE LINE, AND DRAINAGE AS REQUIRED.

THE PROPOSED USES REQUIRE A TOTAL OF 120 PARKING SPACES REDUCED TO 80 SPACES BY THE 33% PARKING REDUCTION ALLOWED PER ORDINANCE NO.2022-2474. THE SITE PROPOSES 73 SPACES WITHIN THE PROPERTY BOUNDARIES AND 7 SPACES LOCATED ON THE ADJOINING PROPERTY TO THE NORTH (LOT 7B-1) PER THE PARKING ARGEEMENT RECORDED IN INSTRUMENT NO. 24308. THE OFFSITE SHARED PARKING SPACES SHALL NOT BE USED FOR RESTAURANT PARKING.

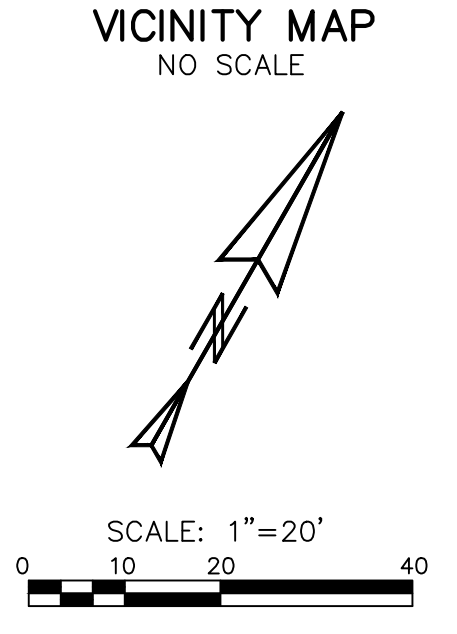
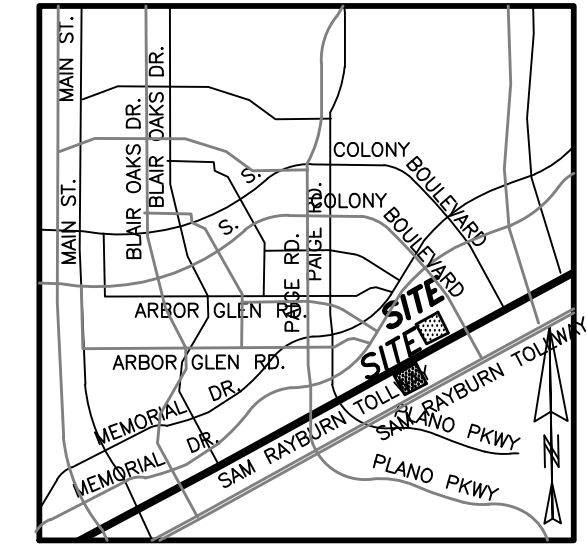


PAVING LEGEND

- HEAVY DUTY PAVEMENT – FIRELANE
 - 6" 3600 PSI REINF. CONC. W/ No. 4 BARS @ 24" O.C.E.W. OVER 6"-6% LIME TREATED SUBGRADE OR ALTERNATE-7" 4000 PSI CONC. W/ No. 4 BARS @ 24" O.C.E.W. ON COMPACTED SUBGRADE. SEE NOTE HEREON.
- DRIVE AISLES (NOT IN FIRELANE)
 - 6" CLASS C 3600 PSI REINF. CONC. W/ No. 3 BARS @ 24" O.C.E.W. ON COMPACTED SUBGRADE. SEE NOTE HEREON.
- Concrete Sidewalk Pavement – Private
 - 4" 3000 PSI REINF. CONC. W/ No. 3 BARS @ 18" O.C.E.W. SEE NOTE HEREON.
- Concrete Sidewalk Pavement – Public
 - 5" 4000 PSI REINF. CONC. W/ No. 3 BARS @ 14" O.C.E.W. SEE NOTE HEREON.
- DUMPSTER PAVEMENT
 - 8" 4000 PSI REINF. CONC. W/ No. 4 BARS @ 18" O.C.E.W. ON COMPACTED SUBGRADE. SEE NOTE HEREON.

LEGEND

- FH FIRE HYDRANT
- CHISELED "X" SET
- CHISELED "X" FOUND
- IRF IRON ROD FOUND (SIZE AS NOTED)
- IRS IRON ROD SET (SIZE AS NOTED)
- PP OVERHEAD UTILITY POLE W/ GUY
- SSMH SANITARY SEWER MANHOLE
- SSMH STORM SEWER MANHOLE
- WV WATER VALVE
- SW SAN. SWR. CLEAN OUT
- WV GAS VALVE
- WV WATER VALVE
- WM WATER METER
- B BOLLARD
- SP SIGNAL POLE
- SB SIGNAL BOX
- SV SIGNAL VAULT
- EB ELECTRIC BOX
- EV ELECTRIC VAULT
- SS STREET SIGN
- CM CABLE MARKER
- CB CABLE BOX
- OS SIGN
- OAS AUTO SPRINKLER
- TFD TRANSFORMER PAD
- LP LIGHT POLE
- TREE



NOTES:

- BUILDING LINES PER APPROVED SITE PLAN.
- EXISTING SHARED PARKING AGREEMENT FOR SHARING OF SPACES OVER SUBJECT PROPERTY AND LOT 3 AND 7B-1. THE OFFSITE SHARED PARKING SPACES SHALL NOT BE USED FOR RESTAURANT PARKING.

CONCEPTUAL PLAN FOR LOT 2 SITE DATA

LOT AREA: 63,757 SF
 BUILDING: 17,441 SF
 COVERAGE: 27.35%
 FAR: 0.274:1
 IMPERVIOUS AREA: 57,428 SF

REQUIRED PARKING: 120 SPACES
 RETAIL: 1/250SF (3641F/250)=14.6
 RESTUARANT: 1/100SF (6000SF/100)=60
 DRIVE THRU RESTUARANT: 1/150F (1800/150)=12
 HEALTH CLUB: 5.5/1000SF (6 X 5.5)=33
 WITH 33.33% REDUCTION -40 SPACES
 TOTAL REQUIRED 80 SPACES

PROVIDED PARKING:
 ONSITE 73 SPACES*
 OFFSITE – AGREEMENT 7 SPACES**
 TOTAL PROVIDED: 80 SPACES

* INCLUDES 3 ACCESSIBLE SPACES
 ** 7 SPACES ON LOT 7B-1 PER SHARED PARKING AGREEMENT

Approved by the Planning & Zoning Commission/City Council on the _____ day of _____, 2024

 Planning Director

CITY PROJECT NO. SP24-0002

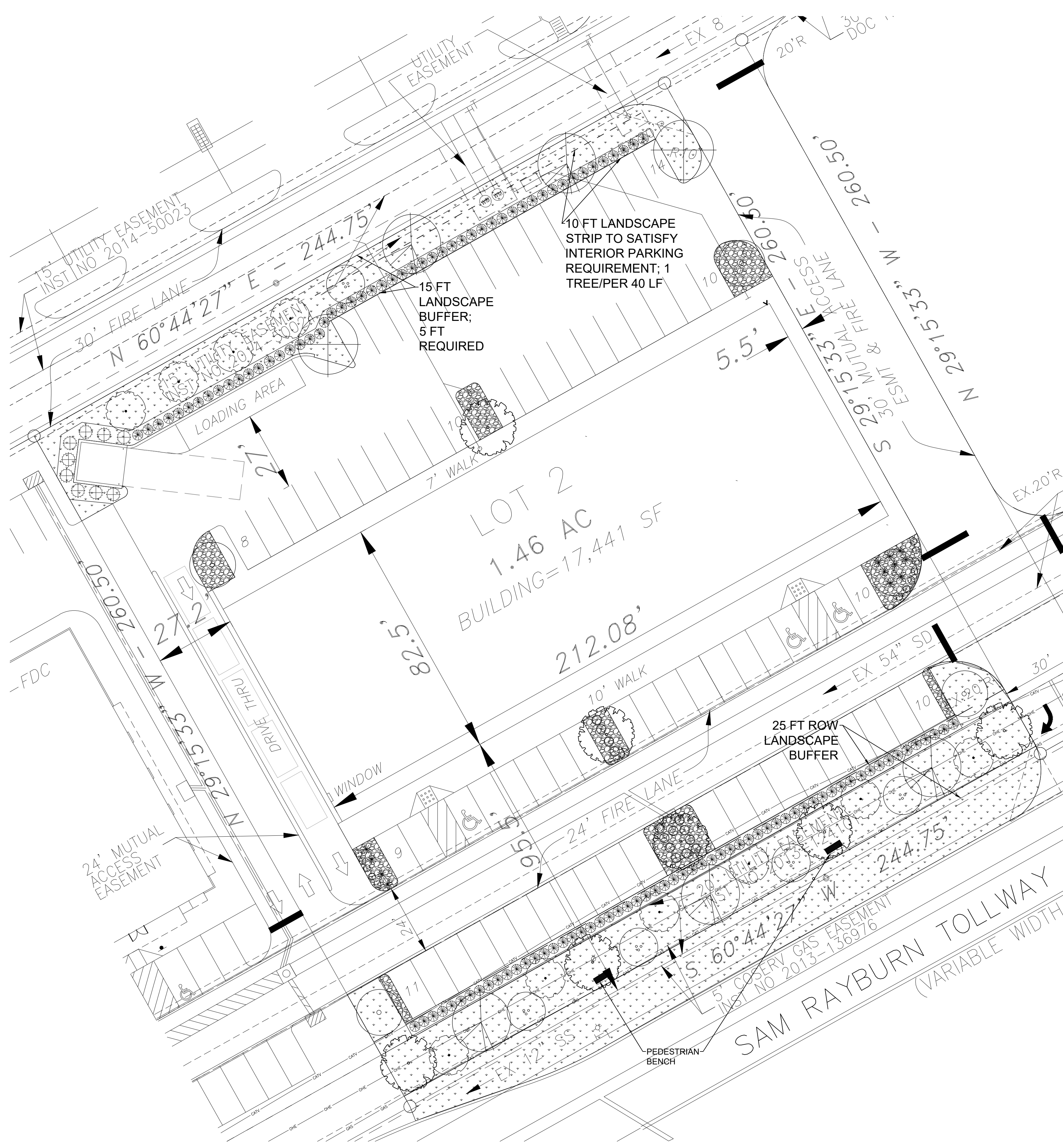
REVISIONS					
REV NO.	DATE	DESCRIPTION			
SITE PLAN					
RETAIL CENTER 2					
LOT 2, BLOCK A, COLONY CENTER ADDITION					
THE COLONY, DENTON COUNTY, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET NO.
LKP	LKP	APR '24	1" = 20'		SP1

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF L. Lynn Kadleck, P.E. 47258
 Date: April 3, 2024
 NOT FOR CONSTRUCTION

OWNER:
 LUNA CROSSING, LTD.
 P. O. Box 795743
 Dallas, Texas 75379
 Attn: Ron Avneri
 214-690-9397
 yoramavneri@yahoo.com

LK PLANNING, LLC
 3516 CALECHE COURT
 PLANO, TEXAS 75023
 972-979-0426
 Lynn@lkplanningllc.com
 FIRM NO. F-23830

SAM RAYBURN TOLLWAY (STATE HIGHWAY NO. 121)



1

LANDSCAPE PLAN

SCALE: 1" = 20'-0"



SITE INFORMATION

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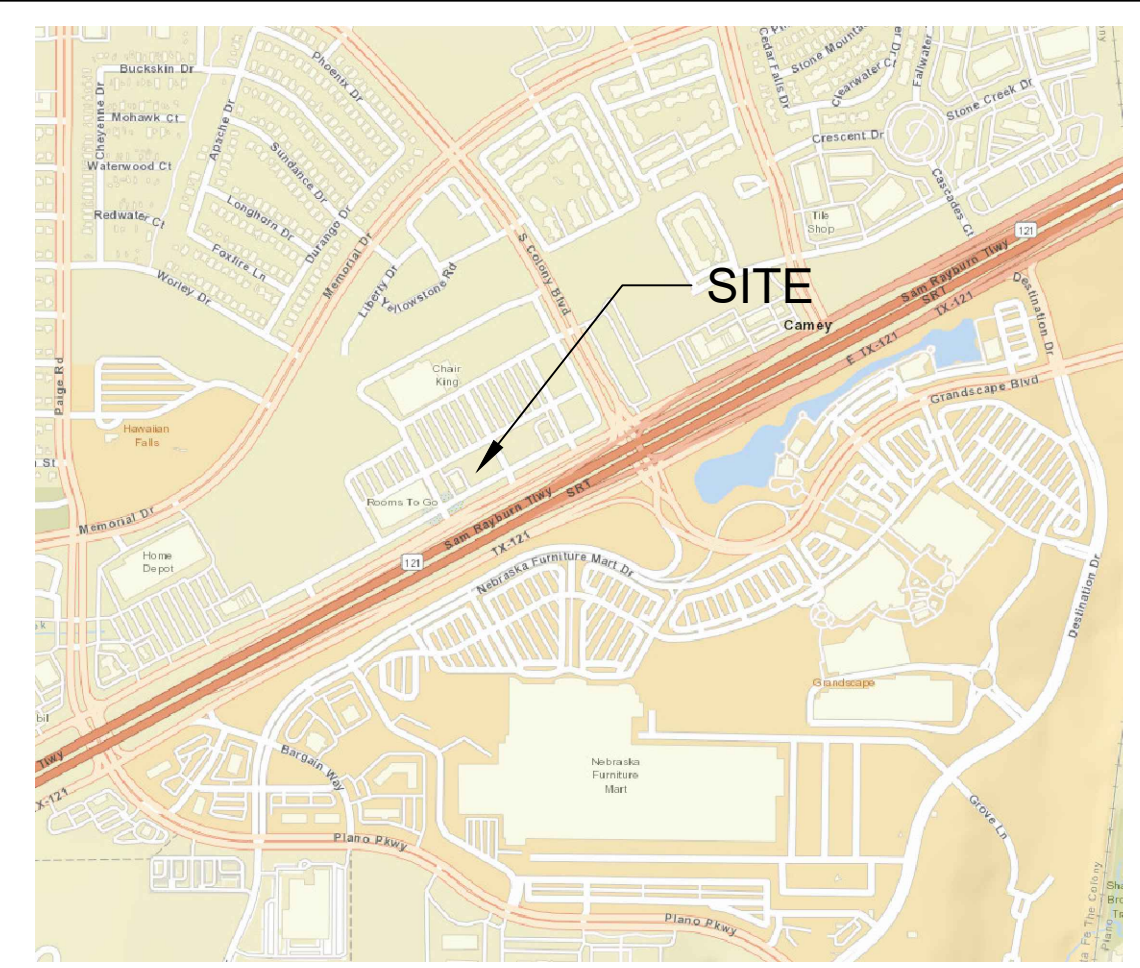
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- Enhanced buffers (providing a landscape buffer 5 feet more than what is required adjacent to perimeter (5 POINTS))

NOTES

1. "All landscaping is to be irrigated in accordance with City standards."
2. "All irrigation systems are to be fitted with rain and freeze gauges in accordance with City standards."
3. "Water and Sewer Lines: All water and sewer lines and their sizes shall be shown on the Landscape Plan, including Fire Department connections."
- 4.

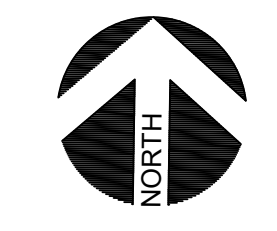
PLANT MATERIAL LIST SUMMARY CHART

QNTY	COMMON NAME	BOTANICAL NAME	SIZE
TREES			
7	SHADEMASTER HONEYLOCUST	<i>Gleditsia triacanthos</i>	3" CAL; 60 GAL; 8 FT MIN HGT
4	DD BLANCHARD MAGNOLIA	<i>Magnolia grandiflora</i>	3" CAL; 60 GAL; 8 FT MIN HGT
4	LIVE OAK	<i>Quercus virginiana</i>	3" CAL; 60 GAL; 8 FT MIN HGT
5	LACEBARK ELM	<i>Ulmus parvifolia</i>	3" CAL; 60 GAL; 8 FT MIN HGT
2	NATCHEZ CRAPE MYRTLE	<i>Lagerstroemia indica</i>	2" CAL; 15 GAL; SINGLE TRUNK
2	VITEX	<i>Vitex agnus castus</i>	2" CAL; 15 GAL
9	NELLIE R STEVENS HOLLY	<i>Ilex x 'Nellie R Stevens'</i>	2" CAL; 15 GAL
SHRUBS			
70	TEXAS SAGE	<i>Leucophyllum frutescens</i>	3 GAL MIN; 18 IN MIN HGT
14	LITTLE JOHN BOTTLE BUSH	<i>Callistemon 'Little John'</i>	1 GAL MIN
12	MEXICAN BUSH SAGE	<i>Salvia leucantha</i>	1 GAL MIN
12	BLONDE AMBITION BLUE GRAMA	<i>Bouteloua gracilis</i>	1 GAL MIN
HARDSCAPE ELEMENTS			
SY	DECOMPOSED GRANITE, MIN 2 INCH DEPTH COMPACTED		



VICINITY MAP

NTS



(17A-600) Maintenance requirements.

A. The property owner shall maintain all trees, landscaped areas, and plant materials in a vigorous and healthy condition, free from disease, pests, weeds, and litter. This maintenance shall include but is not limited to: weeding, watering, fertilizing, pruning, mowing, edging, mulching and other needed maintenance, in accordance with generally accepted horticultural practices. No landscape material shall be allowed to exceed three (3) feet in height above curb level, and all overhanging foliage shall be kept trimmed more than nine (9) feet above curb level. In addition, all landscape structures (walls, fences, etc.) shall be kept in a structurally sound and aesthetic condition.

B. If the property owner fails to perform the maintenance required by this section, the city may issue a written notice to the owner requiring the owner to perform the required maintenance or to replace any trees or plant materials or other items originally approved on the property's landscape plan.

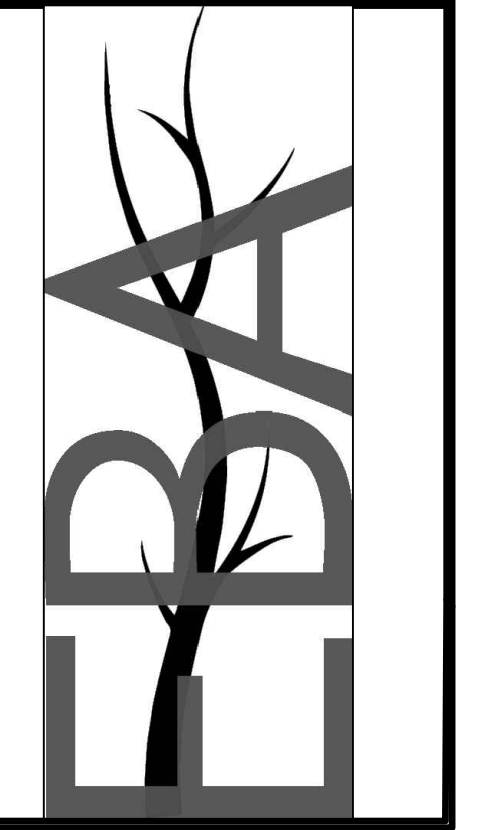
C. The owner shall have seven (7) days from the date of the notice to comply, unless replacement of plant materials or trees is required, in which case thirty (30) days are allowed. The city may grant an extension of time where seasonal or adverse weather conditions make maintenance or replacement impractical.

D. Replacement plants must be at least the same size and species as shown on the approved landscape plan or must be equivalent in terms of quality and size. Such replacement will not be considered an amendment to the approved plan.

E. Landscaping and structures placed in right-of-ways or easements must be maintained by the owner even if damage is caused by utility companies or governmental entities.

04/17/2024

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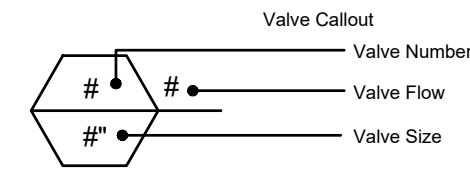
THE COLONY RETAIL - LOT 2 BLOCK A
 CITY OF THE COLONY, TEXAS



04/17/2024

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD R-VAN14 1806-SAM-P45
	RAIN BIRD R-VAN18 1806-SAM-P45
SYMBOL	MANUFACTURER/MODEL
	HUNTER PGP-ADJ 01
	HUNTER PGP-ADJ 04
	HUNTER PGP-ADJ 05
SYMBOL	MANUFACTURER/MODEL
	HUNTER ICZ-101-40-LF
	HUNTER RZWS-SLEEVE-36-CV
	RAIN BIRD XBT-6 05
SYMBOL	MANUFACTURER/MODEL
	HUNTER ICV-G
	HUNTER ICV-G 1"
	FEBCO 825Y 1"
	HUNTER A2C-75D-M
	HUNTER PSR-22
	HUNTER SOLAR-SYNC
	RAIN BIRD CLP05VBASC1
	WATER METER 1"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	HUNTER ICV-G	1"	TURF ROTARY	3.02	47.4	61.7	0.76 in/h
2	HUNTER ICV-G	1"	TURF ROTARY	10.19	48.5	64.7	0.67 in/h
3	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	10	19.1	35.3	1.93 in/h
4	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	4.41	24.9	39.3	6.43 in/h
5	HUNTER ICV-G	1"	TURF ROTARY	8.98	48.5	64.3	0.54 in/h
6	HUNTER ICV-G	1"	TURF ROTARY	8.7	48.5	64.2	0.52 in/h
7	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	6	16.0	30.8	1.91 in/h
8	HUNTER ICV-G	1"	TURF ROTARY	9.39	49.5	65.7	0.77 in/h
9	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	13	21.1	37.5	1.92 in/h
10	HUNTER ICV-G	1"	TURF ROTOR	11.6	44.4	60.9	0.3 in/h
11	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	7.14	26.9	42.4	6.43 in/h
12	HUNTER ICV-G	1"	TURF ROTOR	11.6	44.1	60.6	0.31 in/h
13	HUNTER ICZ-101-40-LF	1"	DRIP EMITTER	11	19.6	36.2	1.91 in/h

CRITICAL ANALYSIS

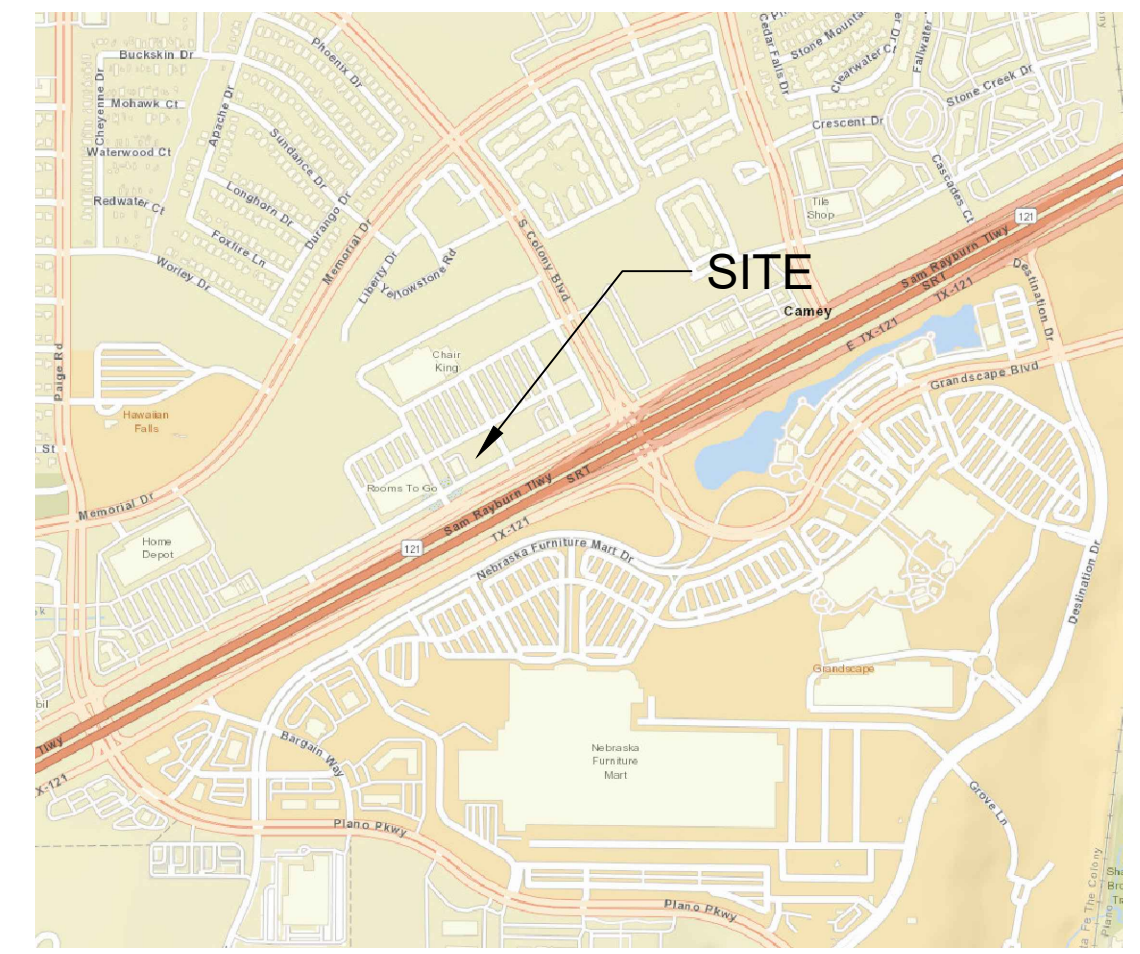
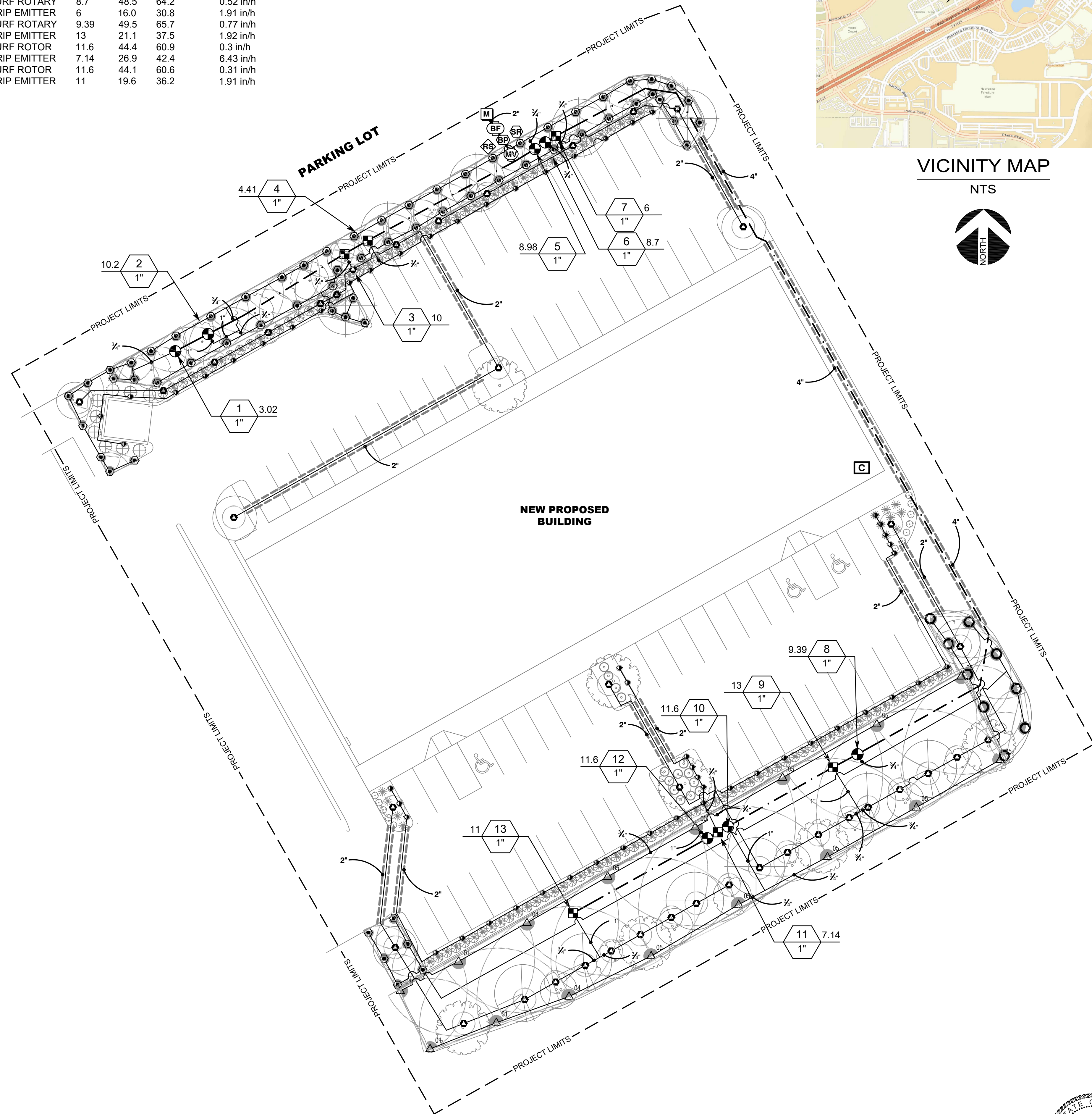
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 65 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Booster Pump pressure provided: 30 PSI
Pressure Available: 93 PSI

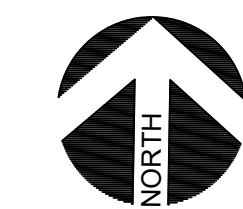
DESIGN ANALYSIS
Maximum Station Flow: 13 GPM
Flow Available at POC: 37.5 GPM
Residual Flow Available: 24.5 GPM

Critical Station: 8
Design Pressure: 45 PSI
Friction Loss: 1.39 PSI
Fittings Loss: 0.14 PSI
Elevation Loss: 0 PSI
Loss through Valve: 2.94 PSI
Pressure Req. at Critical Station: 49.5 PSI
Loss for Fittings: 0.03 PSI
Loss for Main Line: 0.31 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12.3 PSI
Loss for Master Valve: 2.94 PSI
Loss for Water Meter: 0.64 PSI
Critical Station Pressure at POC: 65.7 PSI
Pressure Available: 93 PSI
Residual Pressure Available: 27.3 PSI



VICINITY MAP

NTS



NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL USE EXTREME PRECAUTION WHEN USING HEAVY MACHINERY; ALL VEHICLES ARE PROHIBITED WITHIN TREE DRIP-LINES. REFER TO TREE PROTECTION NOTES.

CONTRACTOR TO PROVIDE AND INSTALL ALL ITEMS LISTED IN THE IRRIGATION SCHEDULE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL FIELD VERIFY PRESSURE PRIOR TO INITIATION OF CONSTRUCTION BY INSTALLING A FLOW METER AND A PRESSURE GAUGE ON THE DOWNSTREAM SIDE OF THE WATER METER. THIS INFORMATION SHALL BE PROVIDED TO THE IRRIGATION DESIGNER IN WRITING FOR APPROVAL, PRIOR TO PROCEEDING.

CONTRACTOR SHALL REQUEST THE INSTALLATION WITH A SERVICE LINE THE SAME SIZE OR LARGER AS INDICATED IN THE CRITICAL ANALYSIS CALCULATIONS.

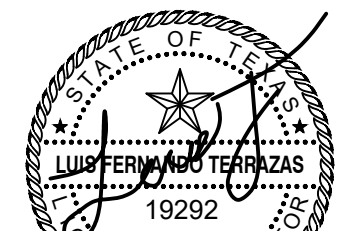
ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL BE OF THE BRANDS AND TYPES AS SPECIFIED HEREIN, OR APPROVED AS EQUAL.



1/1

IRRIGATION PLAN

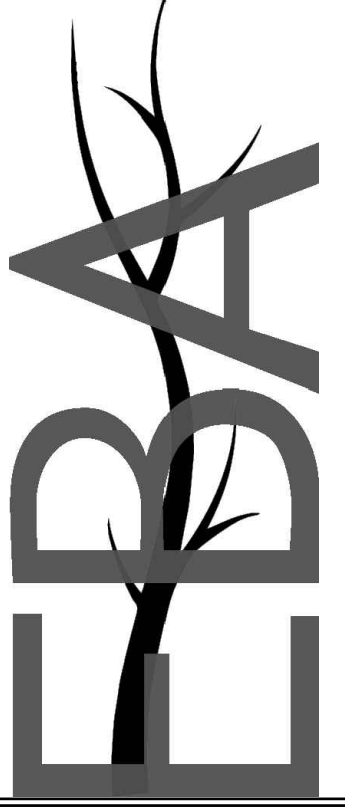
SCALE: 1" = 20'-0"



04-02-24

04/02/2024

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erin@ebrooke.com



THE COLONY RETAIL - LOT 2 BLOCK A
CITY OF THE COLONY, TEXAS

IRRIGATION NOTES

1. THIS IS A POTABLE IRRIGATION SYSTEM, ANTICIPATED AT 65 PSI AT THE POINT OF CONNECTION. A NEW BACKFLOW WILL BE REQUIRED IF CURRENT BACKFLOW DOES NOT MEET CURRENT CODE. CONTRACTOR SHALL PROVIDE AND INSTALL AS SHOWN ON DETAIL A/LI-501, AT NO ADDITIONAL COST TO THE OWNER.
2. LICENSED IRRIGATOR OR TECHNICIAN IN GOOD STANDING IN THE STATE OF TEXAS REQUIRED ON JOB SITE AT ALL TIME. CONTRACTOR SHALL FIELD VERIFY PRESSURE PRIOR TO INITIATION OF CONSTRUCTION BY INSTALLING A FLOW METER AND A PRESSURE GAUGE ON THE DOWNSTREAM SIDE OF THE WATER METER. THIS INFORMATION SHALL BE PROVIDED TO THE IRRIGATION DESIGNER IN WRITING FOR APPROVAL, PRIOR TO PROCEEDING.
3. ANY EXPOSED IRRIGATION PIPE SHOULD BE PROTECTED FROM FREEZE AND UV DAMAGED WITH INSULATED TAPE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL SITE ELEMENTS & AREAS TO REMAIN. CONTRACTOR SHALL REPLACE IN KIND, ALL ITEMS DAMAGED DURING THE COURSE OF WORK, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
7. THIS DESIGN IS DIAGRAMMATIC AND FOR GRAPHIC CLARITY. ALL EQUIPMENT SHOWN IN PAVED AREA IS FOR DESIGN CLARITY ONLY AND CONSTRUCTED ELEMENTS AND OBSTRUCTIONS WHETHER NOTED ON THE PLANS OR NOT SHALL BE AVOIDED TO MINIMIZE SLEEVING. EQUIPMENT IS TO BE INSTALLED WITHIN PLANTING AREAS.
8. INSTALL EMITTERS ON THE TOP SIDE OF PLANTS ROOTBALL.
9. ROTOR SPRAY AND WATERING ON HARDSCAPE (WALKWAYS, CONCRETE PADS, STREETS, ETC.) IS STRICTLY PROHIBITED. CONTRACTOR SHALL REPLACE AND AMEND ROTORS AS NECESSARY TO AVOID OVERSPRAY. WHERE NEW HARDSCAPE FEATURES ARE INSTALLED, THE CONTRACTOR SHALL MOVE ROTORS OF CLOSE PROXIMITY TO THE EDGE OF THE HARD SURFACE (6-INCHES) AND REDIRECT SPRAY ARCS AWAY FROM THE HARDSCAPE.
10. CONTRACTOR SHALL ABIDE BY CITY OF THE COLONY REQUIREMENTS AND TCEQ IRRIGATION REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS AND IRRIGATION DESIGN, CONTRACTOR SHALL NOTIFY THE LICENSED IRRIGATION DESIGNER IN WRITING. THE CONTRACTOR SHALL NOT PROCEED WITH INSTALLATION OF CONFLICTING IRRIGATION COMPONENTS UNTIL HE RECEIVES CLARIFICATION IN WRITING FROM THE CONSULTANT.
11. ALL PIPE CUTS SHALL BE MITERED TO 90 DEGREES & ALL BURRS SHALL BE REMOVED PRIOR TO GLUING. PIPE THREE INCHES OR LARGER MUST HAVE FILED BEVELED EDGE A MINIMUM OF ONE FOURTH (1/4) THE WIDTH OF PIPE WALL TO ASSURE A PROPER SOLVENT WELD.
12. PIPE SOLVENT WELDING PROCEDURES ON ALL JOINTS SHALL BE SPECIFIED AS FOLLOWS: FIRST USE IPS WELD-ON CLEANER, NEXT USE IPS WELD-ON PURPLE PRIMER P68 OR P70, THEN USE IPS WELD-ON GRAY GLUE #711 HEAVY DUTY. LASTLY, WIPE OFF ALL EXCESS CEMENT AND LET SET AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SET TIMES SHALL BE AS FOLLOWS: MIN. OF 5 MINUTES FOR 1/2" TO 1 1/4", 8 MINUTES FOR 1 1/2" TO 2" PIPE AND 2 HRS. FOR 2 1/2" TO 6" PIPE. CURE TIMES SHALL BE AS FOLLOWS: MIN. OF 20 MINUTES FOR 1/2" TO 1 1/4" PIPE, 30 MINUTES FOR 1 1/2" TO 2" PIPE, 4 HRS. FOR 2 1/2" TO 6" PIPE. WHEN HUMIDITY EXCEEDS 60%, INCREASE CURE TIME BY 50%. ONCE WELD IS SET, PIPE SHALL NOT BE MOVED FOR ANY REASON UNTIL SET TIMES HAVE BEEN ACHIEVED, WATER SHALL NOT BE TURNED ON UNTIL ALL CURE TIMES HAVE BEEN ACHIEVED.
13. SLEEVING PIPE SHALL BE TWICE THE SIZE OF IRRIGATION PIPE BEING CARRIED. PIPE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. DURING CONSTRUCTION SLEEVES SHALL BE EXTENDED 24" BEYOND EDGE OF HARD SURFACES, WRAP ENDS WITH FOUR MIL PLASTIC AND TAPE WITH GOOD QUALITY PLASTIC TAPE, GRAY DUCT TAPE IS NOT ACCEPTABLE.
14. FIELD WIRING SHALL BE IN A SEPARATE TRENCH & EXPANSION LOOPS SHALL BE PROVIDED EVERY 200 FEET, WIRE SHALL NOT BE STRETCHED TIGHT. VALVE WIRE SHALL BE STANDARD COLORS RED (HOT) AND WHITE (COMMON) & LABELED AT CONTROLLER AND IN VALVE BOX. CONNECTIONS AT VALVES MUST BE MADE WITH DRI-SPLICE CONNECTORS. CONNECTORS MUST BE READY FILLED FROM FACTORY WITH SILICONE.
15. IRRIGATION RUN TIME SCHEDULE FOR FIRST 3 YEARS: 3 TIMES PER WEEK FOR SUMMER MONTHS (MAY-SEPTEMBER). IN THE WINTER MONTHS (OCTOBER-APRIL), RUN TIME SHALL STAY THE SAME, BUT SHALL BE REDUCED TO 1 TIME PER WEEK. FOR SUBSEQUENT YEARS, SCHEDULE SHALL BE FURTHER REDUCED.
16. IRRIGATION CONTROLLER PLACEMENT IS BASED ON THE BEST AVAILABLE INFORMATION HOWEVER THE CONTRACTOR SHALL COORDINATE, VERIFY, AND DETERMINE EXACT LOCATION WITH THE OWNER REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE SUCH ITEMS EARLY IN CONSTRUCTION. CHANGES IN CONTROLLER PLACEMENT SHALL COME AT NO ADDITIONAL COST TO THE OWNER.
17. CONCRETE THRUST BLOCKS SHALL BE PROVIDED WHERE NECESSARY TO RESIST SYSTEM PRESSURE. THRUST BLOCKS SHALL BE CONSTRUCTED AT ALL CHANGES OF DIRECTION, SIZE CHANGES, VALVES AND TERMINATIONS, OR AT ANY OTHER POINTS OF THE SYSTEM THAT WILL RESULT IN AN UNBALANCED THRUST LINE FOR EQUIPMENT 2 (TWO) INCHES AND LARGER. DO NOT OBSTRUCT THE OUTLETS OF FITTINGS WHICH ARE INTENDED FOR FUTURE CONNECTIONS. THRUSH BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH AND IN ACCORDANCE WITH THE PLANS OR STANDARD DETAILS.

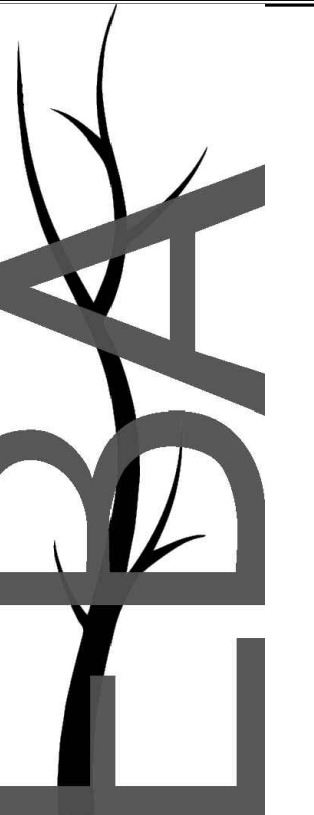
IRRIGATION NOTES

18. UPON PROJECT'S FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL PROVIDE OWNER'S REPRESENTATIVE THE PERTINENT INFORMATION, SUCH AS THE METER NO., ACCOUNT NO., LOCATION, ETC.
19. UPON COMPLETION OF IRRIGATION INSTALLATION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A BACKFLOW TEST BY A CERTIFIED BACKFLOW INSPECTOR AND SUBMIT WRITTEN RESULTS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A YEARLY BACKFLOW TEST AND PROVIDE RESULTS TO OWNER REPRESENTATIVE WITHIN TEN MONTHS OF THE PROJECTS FINAL ACCEPTANCE.
20. IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, PO BOX 13087 AUSTIN, TX 78711.
22. UPON PROJECT'S NOTICE TO PROCEED THE CONTRACTOR SHALL BEGIN THE WATER METER APPLICATION AND PROCESS TO EXPEDITE THE SERVICE CONNECTION AND AVOID DELAYS.
23. THE CONTRACTOR SHALL PROPERLY COMPACT ALL IRRIGATION TRENCHES TO NOT CAUSE OR ALLOW FUTURE UNEVEN SURFACING. TRENCHING WITHIN THE STREET PAVEMENT SHALL FOLLOW THE SAME PROCEDURE AS PER CITY OF THE COLONY STREETS AND MAINTENANCE, AND STREET SURFACES SHALL BE RESTORED IN OBSERVANCE OF ADJACENT GRADES.
24. CONTRACTOR SHALL INSTALL A LOCKED ALUMINUM INSULATED ENCLOSURE WITH AN R-25 MINIMUM INSULATION. THE ENCLOSURE DOES NOT REQUIRE A HEATING DEVICE. CONTRACTOR SHALL PROVIDE THE KEY FOR THE ENCLOSURE TO THE OWNER PRIOR TO THE FINAL COMPLETION OF THE PROJECT.
25. BACKFLOW PREVENTION DEVICE SHALL BE COVERED WITH AN INSULATED POUCH WITH A MINIMUM R-VALUE OF 30.
26. MAINLINE FROM WATER METER TO BACKFLOW SHALL BE EITHER COPPER OR PEX.
27. PRESSURE REGULATING VALVE SHALL BE INSTALLED ON IRRIGATION SYSTEM AFTER THE BACKFLOW PREVENTER DEVICE IF THE EXISTING PRESSURE EXCEEDS 70 PSI.
28. ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER-BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

04/02/2024

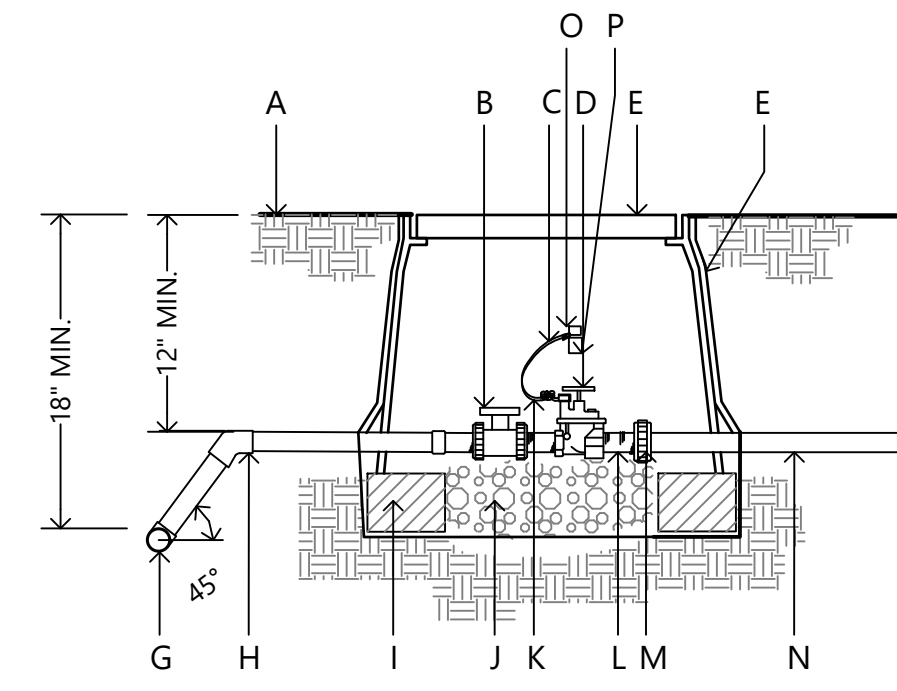
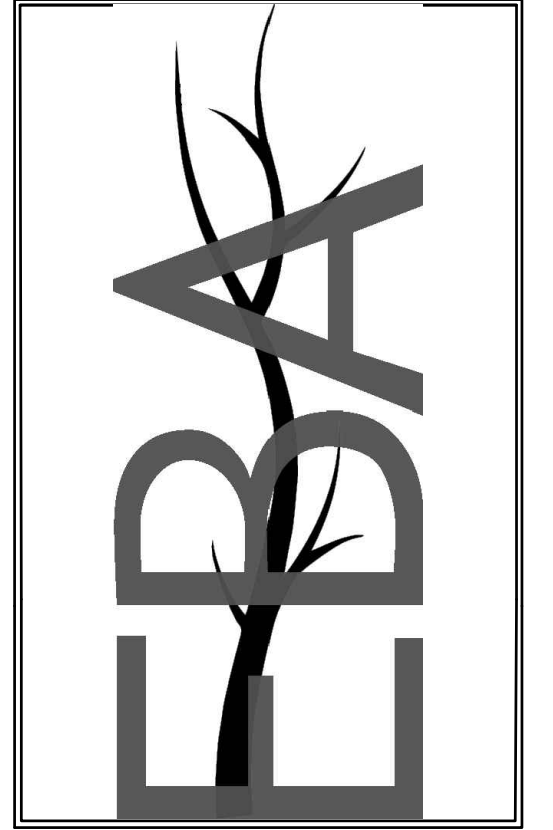
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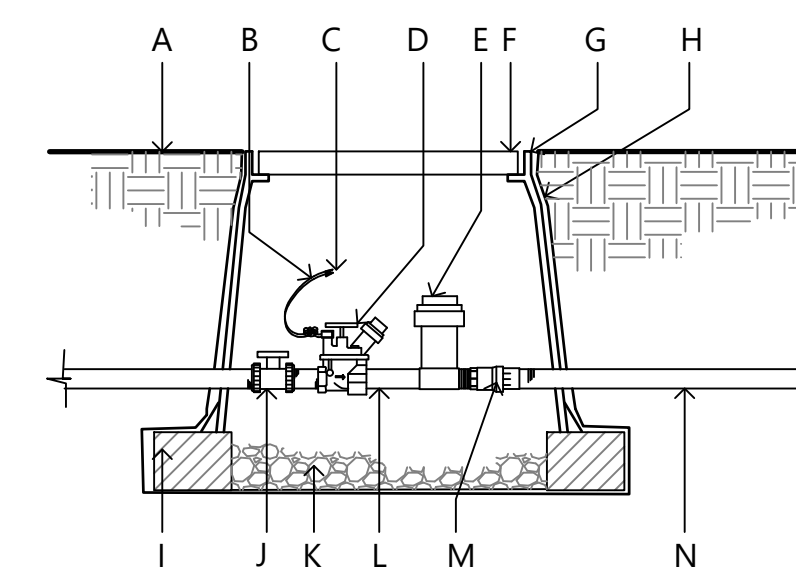




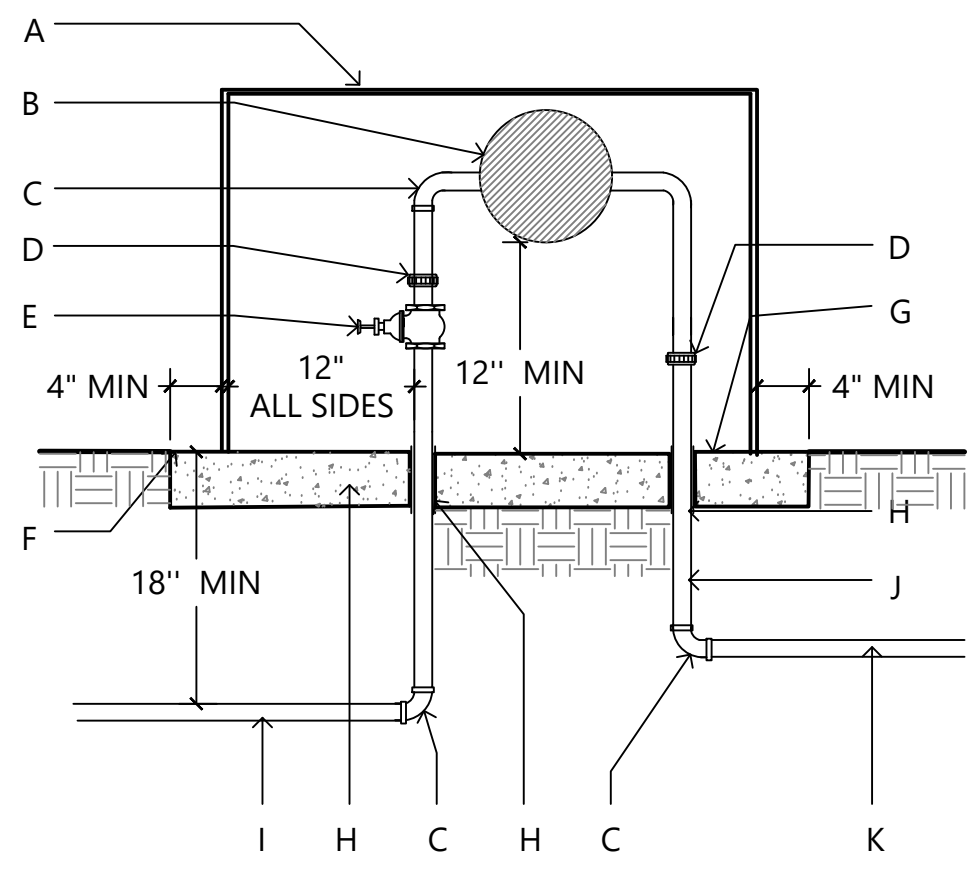
NOTE: PVC PIPE TO BE CLEAR OF VALVE BOX AND SOLID CMU BLOCK.

- A. FINISH GRADE.
- B. BALL VALVE.
- C. DRY SPLICE CONNECTOR OR EQUAL.
- D. ELECTRIC VALVE - SEE IRRIGATION LEGEND.
- E. CARSON PRODUCTS INC. 1419-18(ABS) VALVE BOX WITH BOLT DOWN FLAT LID COVER TO MATCH COLOR OF FINISHED MATERIAL AND 8" EXTENSIONS AS NECESSARY.
- F. PROVIDE DEWITT PRO 5 WEED CLOTH ALONG SIDES AND BASE OF VALVE BOX INSTALLATION. TAPE TO ALL INLET AND OUTLET PIPE AND VALVE BOX WITH HEAVY DUTY PLASTIC 3M TAPE.
- G. PVC MAINLINE-SEE IRRIGATION LEGEND.
- H. SCH 80-45 DEGREE FITTING.
- I. 8"X8"X16" SOLID CMU BLOCK @ EACH CORNER.
- J. 4" DEPTH 3/8" DIAMETER PEA GRAVEL.
- K. 24" WIRE EXPANSION COIL, EXTEND WIRE 12" ABOVE VALVE BOX FOR SERVICE.
- L. SCHEDULE 80 PVC CLOSE NIPPLE.
- M. FLANGE (3" AND ABOVE) AND UNION (BELOW 3" PIPE SIZE)
- N. LATERAL LINE.
- O. VALVE DECODER.
- P. IVM SOLENOID

D DRIP VALVE/BASKET FILTER KIT NOT TO SCALE



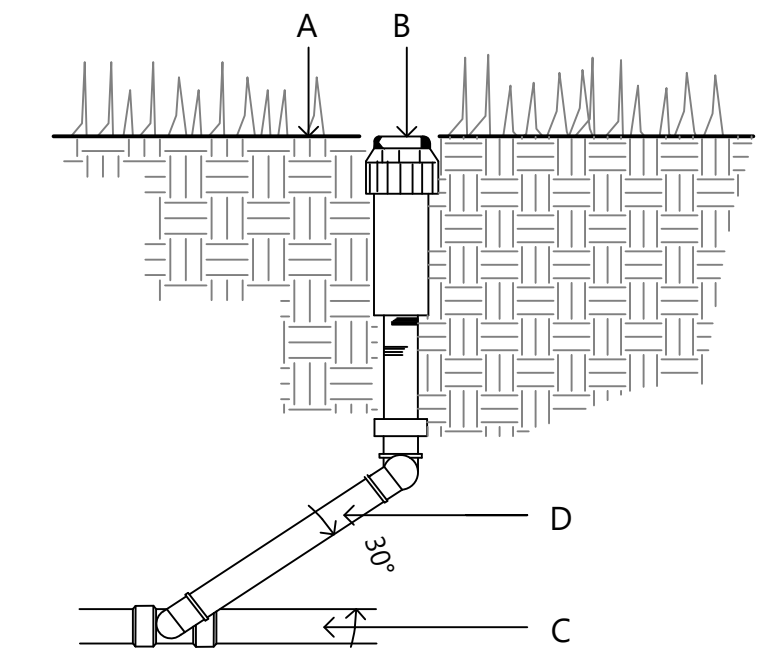
- A. FINISH GRADE.
- B. 24" WIRE LOOP.
- C. DRY SPLICE CONNECTOR OR EQUAL.
- D. AUTOMATIC VALVE INCLUDED IN CONTROL ZONE KIT. SEE IRRIGATION LEGEND.
- E. BASKET FILTER STRAINER INCLUDED IN CONTROL ZONE KIT SHALL BE INSTALLED TO PROVIDE ACCESS FOR MAINTENANCE AND REPLACEMENT. SEE IRRIGATION LEGEND.
- F. LOCKING VALVE BOX COVER, COLOR TO MATCH MULCH.
- G. CARSON PRODUCTS INC (JUMBO) 1220 (ABS) VALVE BOX WITH EXTENSIONS AS NECESSARY.
- H. PROVIDE DEWITT PRO 5 WEED CLOTH ALONG SIDES AND BASE OF VALVE BOX, TAPE TO ALL INLET & OUTLET PIPE.
- I. 8" X 8" X 16" CMU SOLID CONCRETE BLOCK.
- J. BALL VALVE, INCLUDED IN CONTROL ZONE KIT, SEE IRRIGATION LEGEND.
- K. 4" LAYER OF 3/8" PEA GRAVEL.
- L. SCH 80 NIPPLE
- M. INLINE PRESSURE REGULATOR INCLUDED IN CONTROL ZONE KIT, SEE IRRIGATION LEGEND.
- N. LATERAL LINE.



NOTE: REDUCED PRESSURE BACKFLOW PREVENTER MUST BE INSTALLED A MIN. 12" ABOVE HIGHEST IRRIGATION OUTLET.

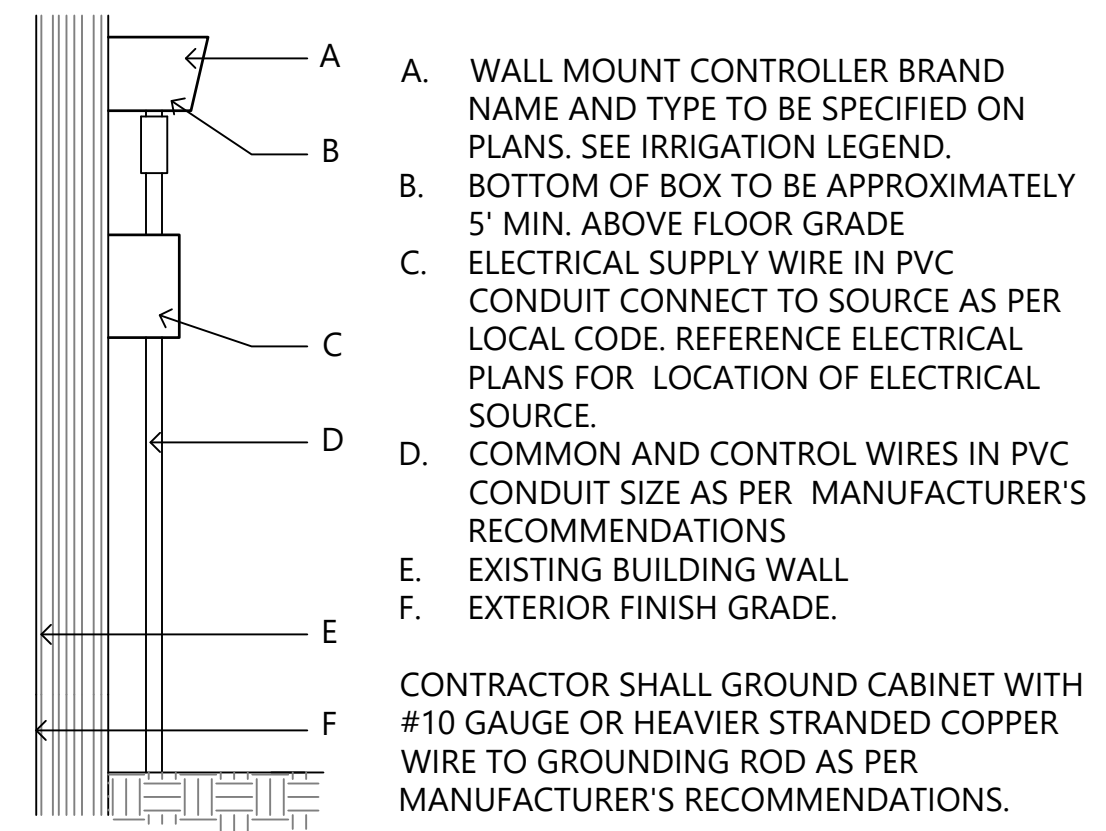
- A. STAINLESS STEEL HOT BOX ENCLOSURE (SEE IRRIGATION LEGEND). INSULATE (R-25 MIN.) FROM FREEZING MUST COMPLY WITH ASSE 1060. INSTALL WITH HEAT DEVICE AS PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO PROVIDE POWER.
- B. REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER (SEE IRRIGATION LEGEND).
- C. TYPE K HARD DRAWN COPPER FITTINGS.
- D. UNION, 4" ABOVE GRADE, MIN.
- E. BRASS BALL VALVE.
- F. FINISH GRADE.
- G. 4000 PSI CONCRETE PAD WITH MINIMUM 2'x3' DIMENSIONS, 4" DEPTH & SLOPED 1% TO DRAIN.
- H. PIPE SHALL BE SLEEVED THROUGH CONCRETE PAD WITH SCH 40 PVC.
- I. SERVICE LINE.
- J. TYPE K COPPER PIPING.
- K. MAIN LINE.

A REDUCED PRESSURE BACKFLOW PREVENTER NOT TO SCALE



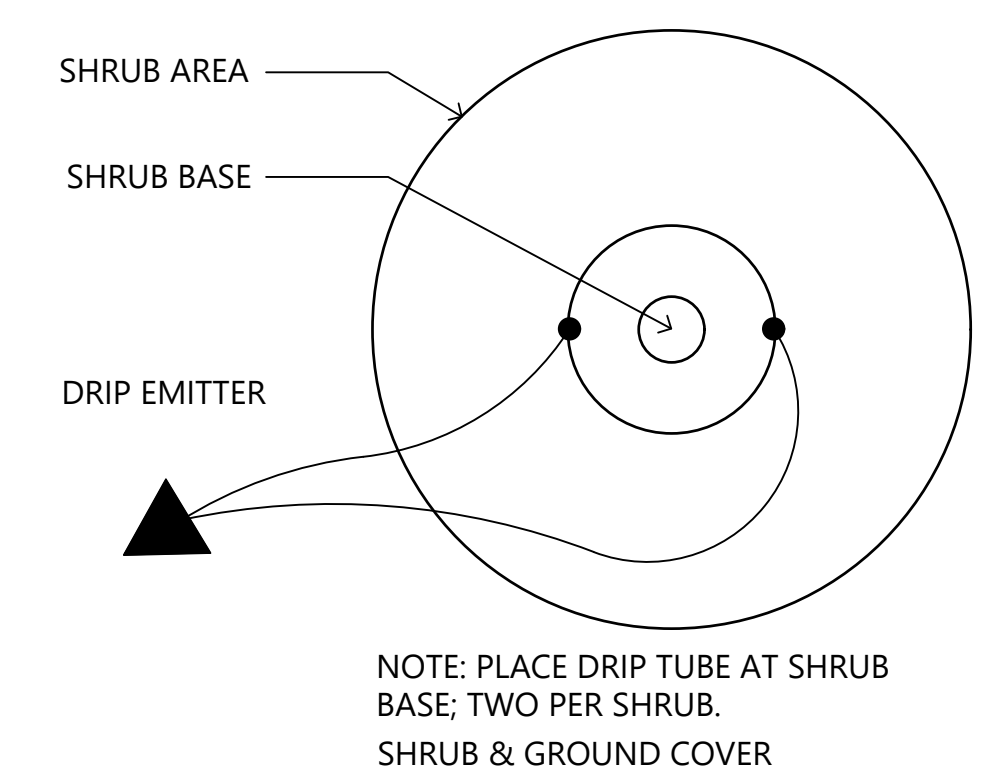
- A. FINISH GRADE.
 - B. SPRINKLER HEAD (SEE PLAN).
 - C. LATERAL LINE (SEE PLAN).
 - D. LASCO PRE-ASSEMBLED SWING JOINT.
- THIS DETAIL SHALL BE USED FOR POP-UP SHRUB SPRAY, POP-UP LAWN SPRAY, GEAR DRIVEN AND ROTARY SPRINKLER HEADS. TOP OF SPRINKLER HEAD SHALL BE SET FLUSH WITH FINISH GRADE. SWING JOINT INSTALLATION TO COMPLY WITH MANUFACTURER'S RECOMMENDATION.

B IRRIGATION SPRINKLER HEAD NOT TO SCALE



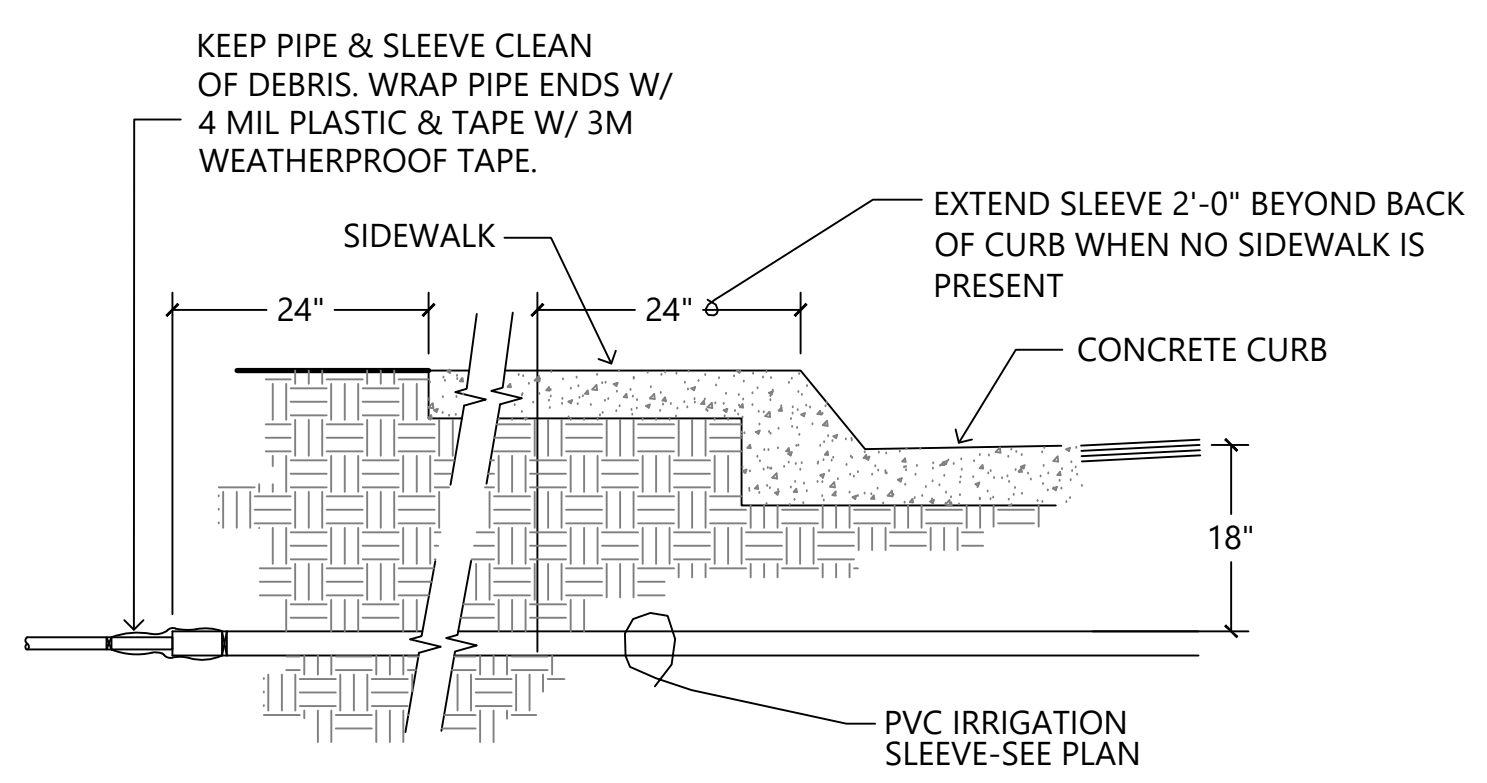
- A. WALL MOUNT CONTROLLER BRAND NAME AND TYPE TO BE SPECIFIED ON PLANS. SEE IRRIGATION LEGEND.
 - B. BOTTOM OF BOX TO BE APPROXIMATELY 5' MIN. ABOVE FLOOR GRADE
 - C. ELECTRICAL SUPPLY WIRE IN PVC CONDUIT CONNECT TO SOURCE AS PER LOCAL CODE. REFERENCE ELECTRICAL PLANS FOR LOCATION OF ELECTRICAL SOURCE.
 - D. COMMON AND CONTROL WIRES IN PVC CONDUIT SIZE AS PER MANUFACTURER'S RECOMMENDATIONS
 - E. EXISTING BUILDING WALL
 - F. EXTERIOR FINISH GRADE.
- CONTRACTOR SHALL GROUND CABINET WITH #10 GAUGE OR HEAVIER STRANDED COPPER WIRE TO GROUNDING ROD AS PER MANUFACTURER'S RECOMMENDATIONS.

E WALL MOUNT CONTROLLER NOT TO SCALE



NOTE: PLACE DRIP TUBE AT SHRUB BASE; TWO PER SHRUB. SHRUB & GROUND COVER

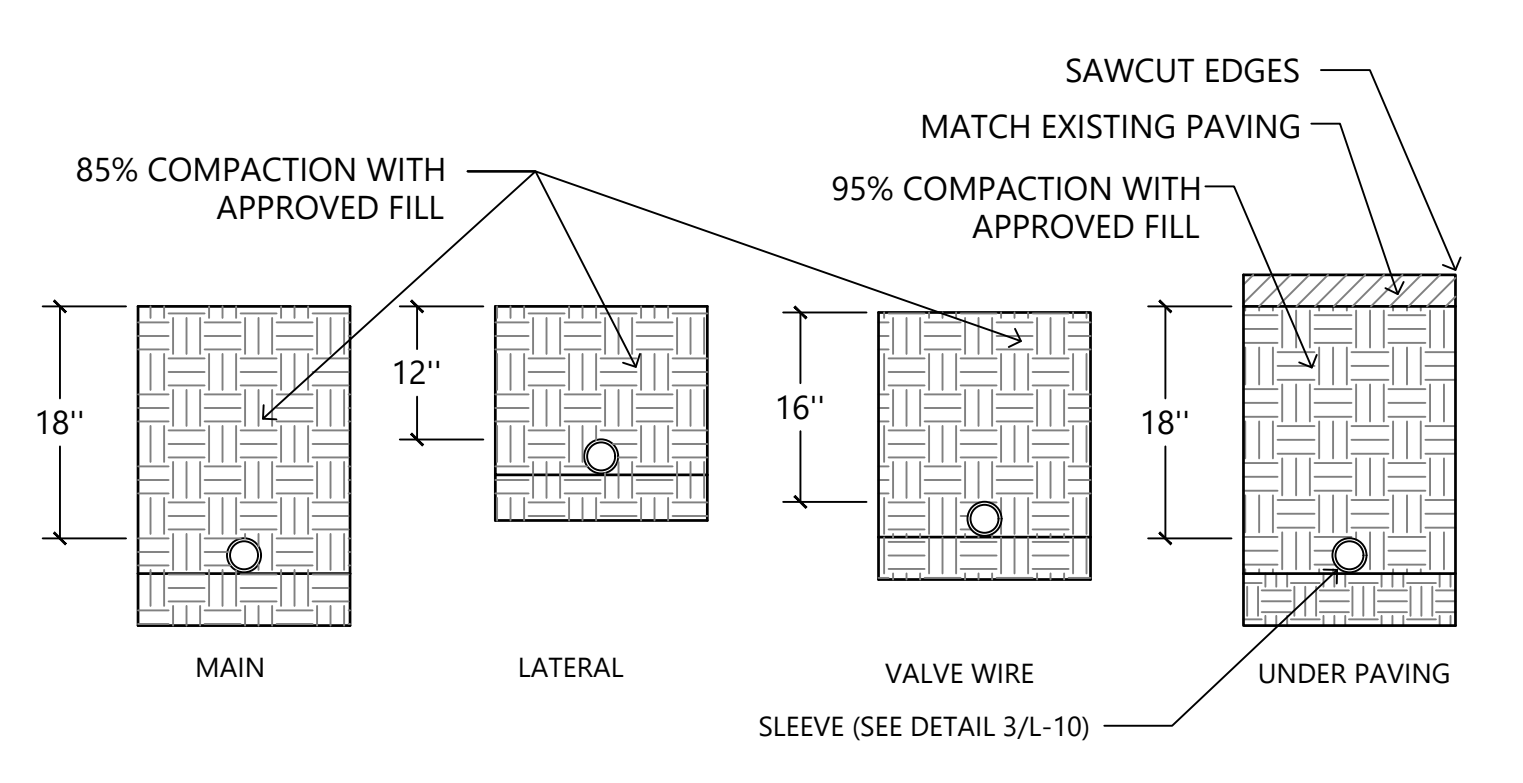
F DRIP EMITTER DETAIL NOT TO SCALE



KEEP PIPE & SLEEVE CLEAN OF DEBRIS. WRAP PIPE ENDS W/ 4 MIL PLASTIC & TAPE W/ 3M WEATHERPROOF TAPE.

EXTEND SLEEVE 2'-0" BEYOND BACK OF CURB WHEN NO SIDEWALK IS PRESENT

G SLEEVING NOT TO SCALE



85% COMPACTION WITH APPROVED FILL

95% COMPACTION WITH APPROVED FILL

SAWCUT EDGES

MATCH EXISTING PAVING

MAIN

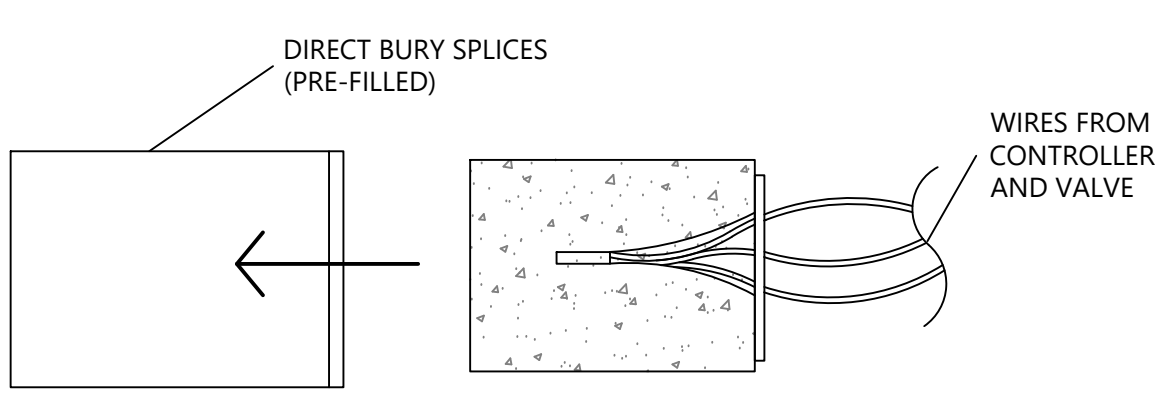
LATERAL

VALVE WIRE

UNDER PAVING

SLEEVE (SEE DETAIL 3/L-10)

H TRENCHING DETAIL NOT TO SCALE



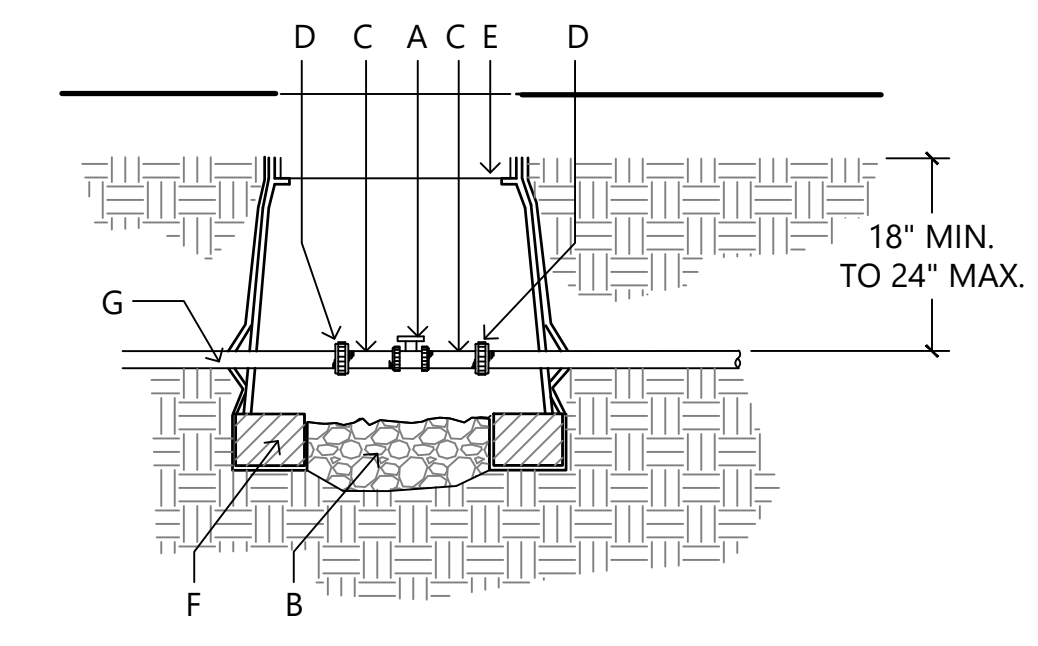
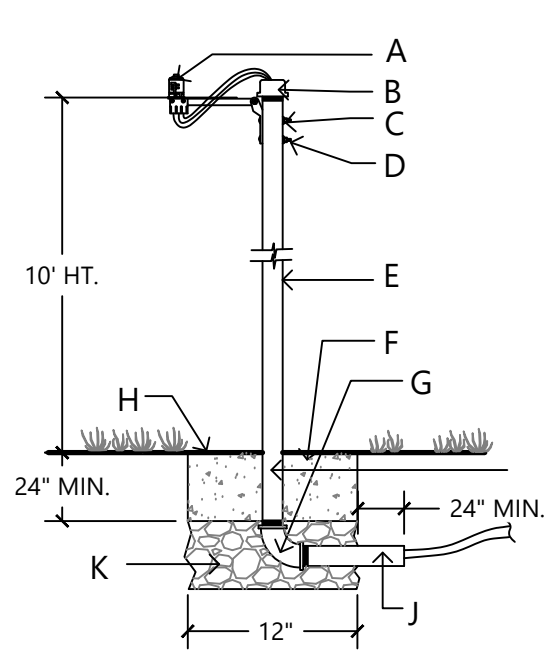
NOTE:
 -THREE STEP OPERATION DBR/Y-6 CONNECTORS ONLY.
 -WIRE NOT PROVIDED WITH KIT.
 -TWIST WIRES TOGETHER PRIOR INSERTION.

I WIRE SPlicing DEAL NOT TO SCALE

- A. RAIN BIRD RSD-BEX RAIN SENSOR.
- B. 2 1/2" PIPE CAP WITH HOLE FOR WIRES AND SEAL WITH EXTERIOR GRADE SILICONE SEALANT.
- C. DRILL TWO 3/16 HOLES IN PIPE FOR SENSOR BRACKET.
- D. (2) NO. 8-32 MACHINE SCREWS WITH WASHER, LOCK WASHER AND NUT.
- E. 2 1/2" SCH 40 GALVANIZED PIPE- 10 FT. HT.
- F. 12"X12" CONCRETE BASE, MIN. 24" DEEP.
- G. PIPE ELBOW.
- H. FINISH GRADE
- I. PIPE TO BE SEALED AFTER CABLE IS RUN, USE 4 MIL. PLASTIC AND TAPED NIPPLE AND THE CABLE WITH HIGH GRADE 3M WEATHER PROOF PLASTIC TAPE.
- J. NIPPLE, GALVANIZED PIPE IN CONCRETE FOOTING TO BE WRAPPED WITH WEATHER PROOF TAPE TO PROTECT FROM CORROSION.
- K. 3/8" PEA GRAVEL.

NOTE: RAIN SENSOR SHALL BE PROGRAMMED FOR IRRIGATION SHUT-DOWN AFTER 1/2" OF RAINFALL.

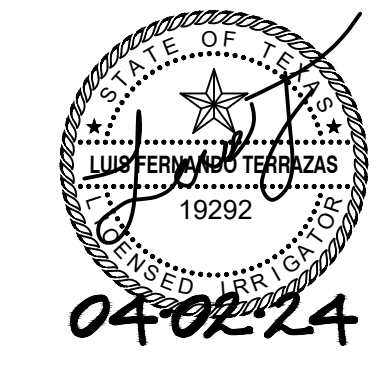
J WEATHER SENSOR DETAIL NOT TO SCALE

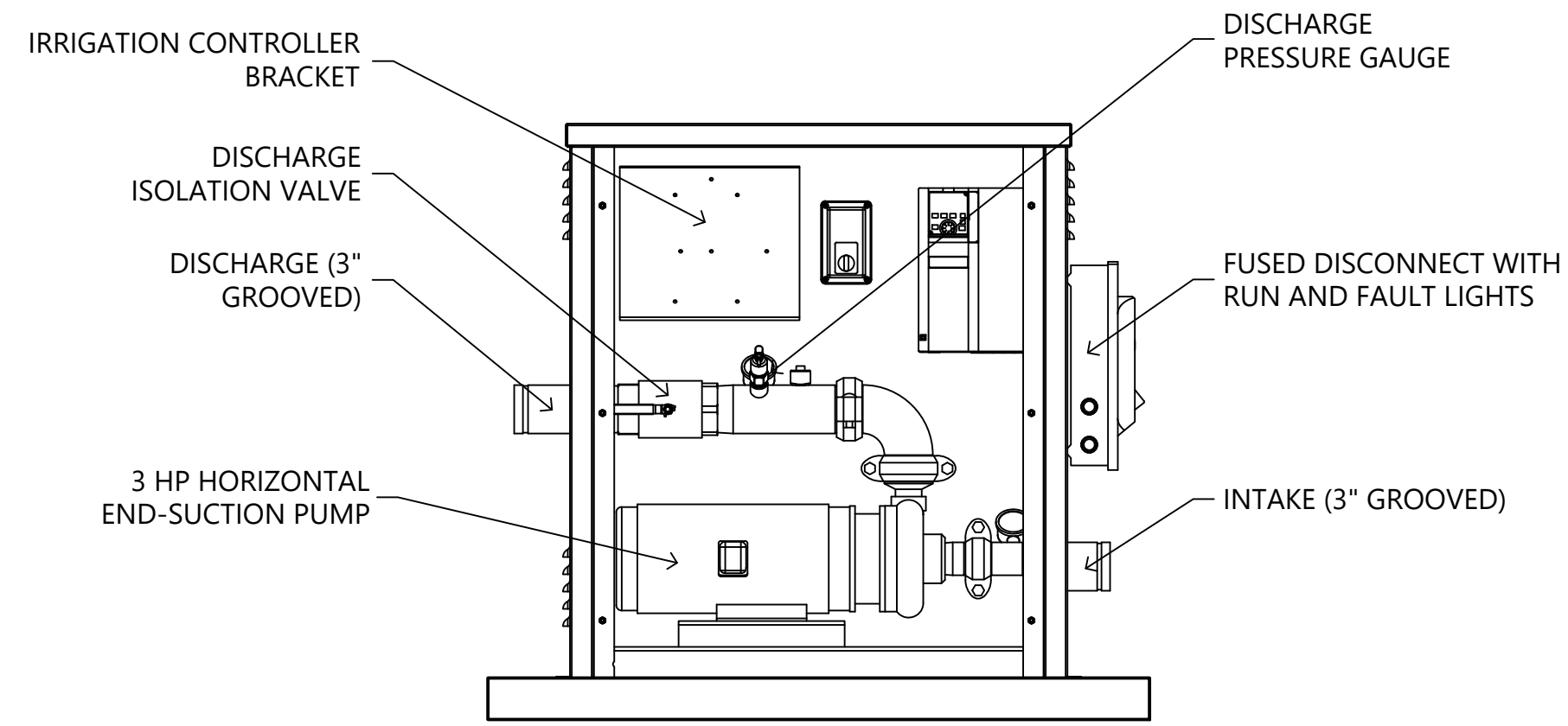


- CONSTRUCTION NOTES:
- A. ISOLATION VALVE
 - B. 2 CU. FT. 1" DIAMETER WASHED ROCK
 - C. SCH. 80 PVC NIPPLE
 - D. SHC. 80 PVC UNION
 - E. *CARSON PRODUCTS INC. 1419 OR 1730 PB-18 BODY (ABS) VALVE BOX WITH 1419 OR 1730 BOLT DOWN COVER (ABS) AND (1) 8 INCH EXTENSION.
 - F. 8" X 8" X 16" SOLID CMU BLOCK
 - G. MAINLINE

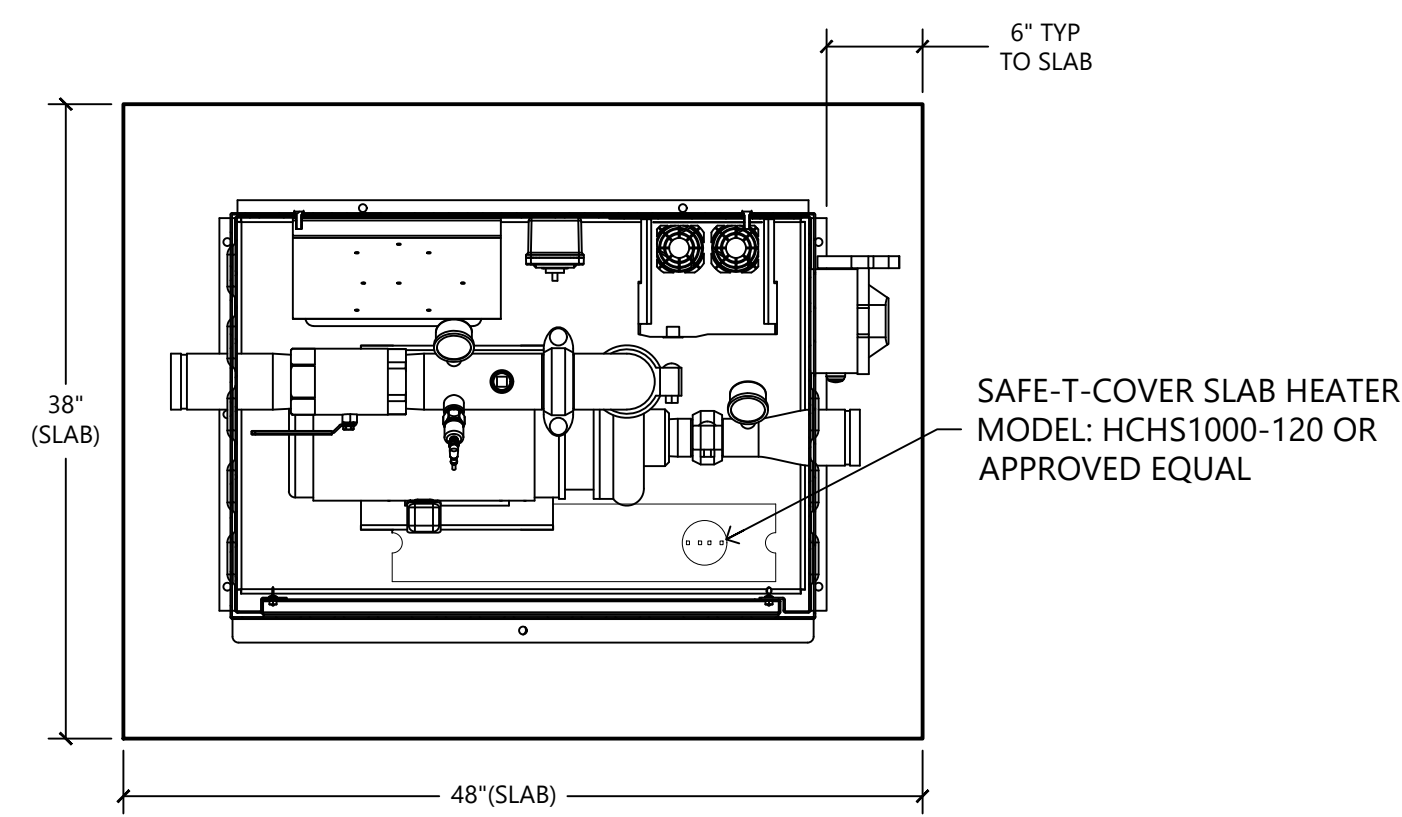
K POINT OF CONNECTION DETAIL NOT TO SCALE

3B IRRIGATION DETAILS

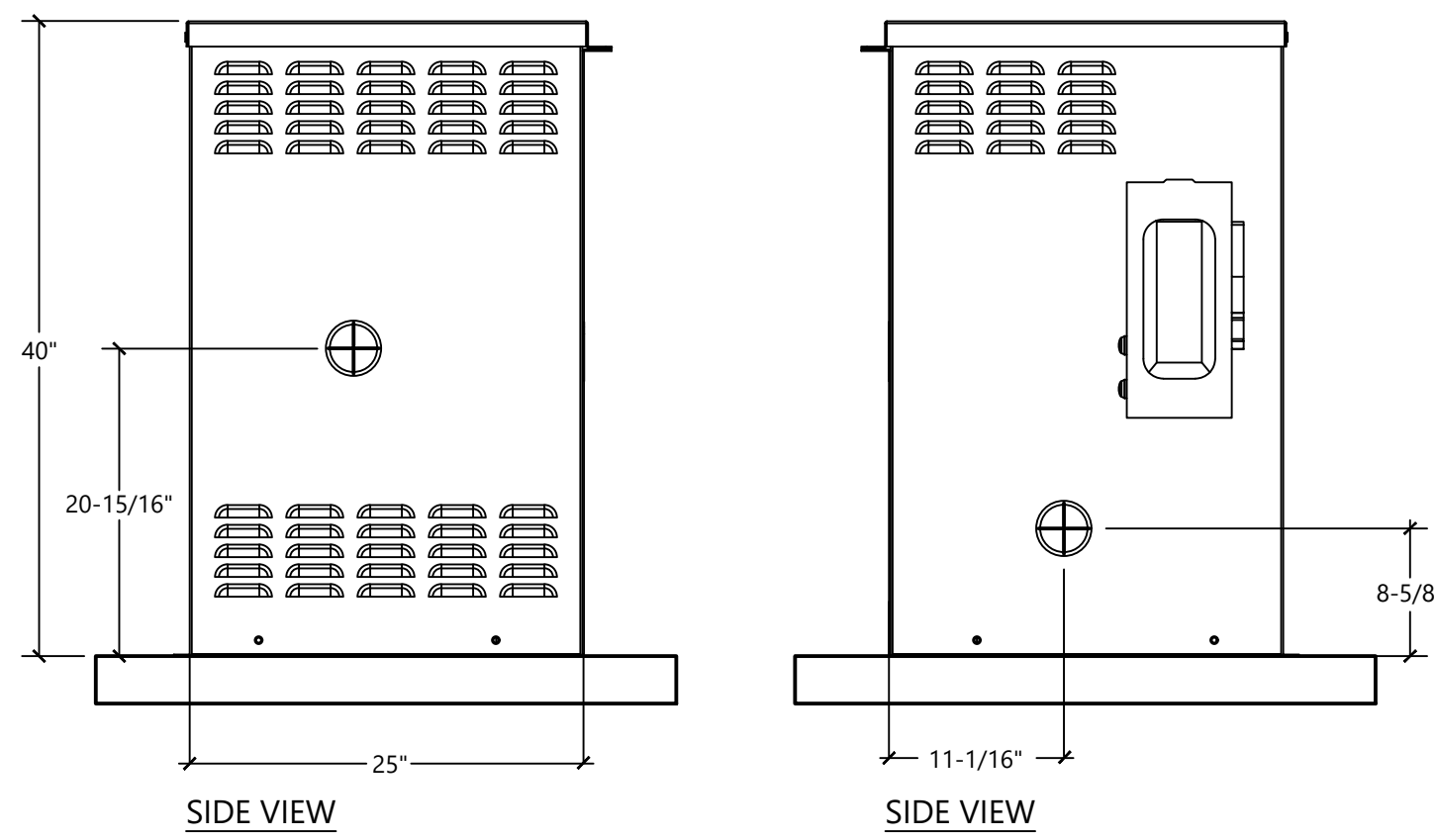




PROFILE VIEW



PLAN VIEW



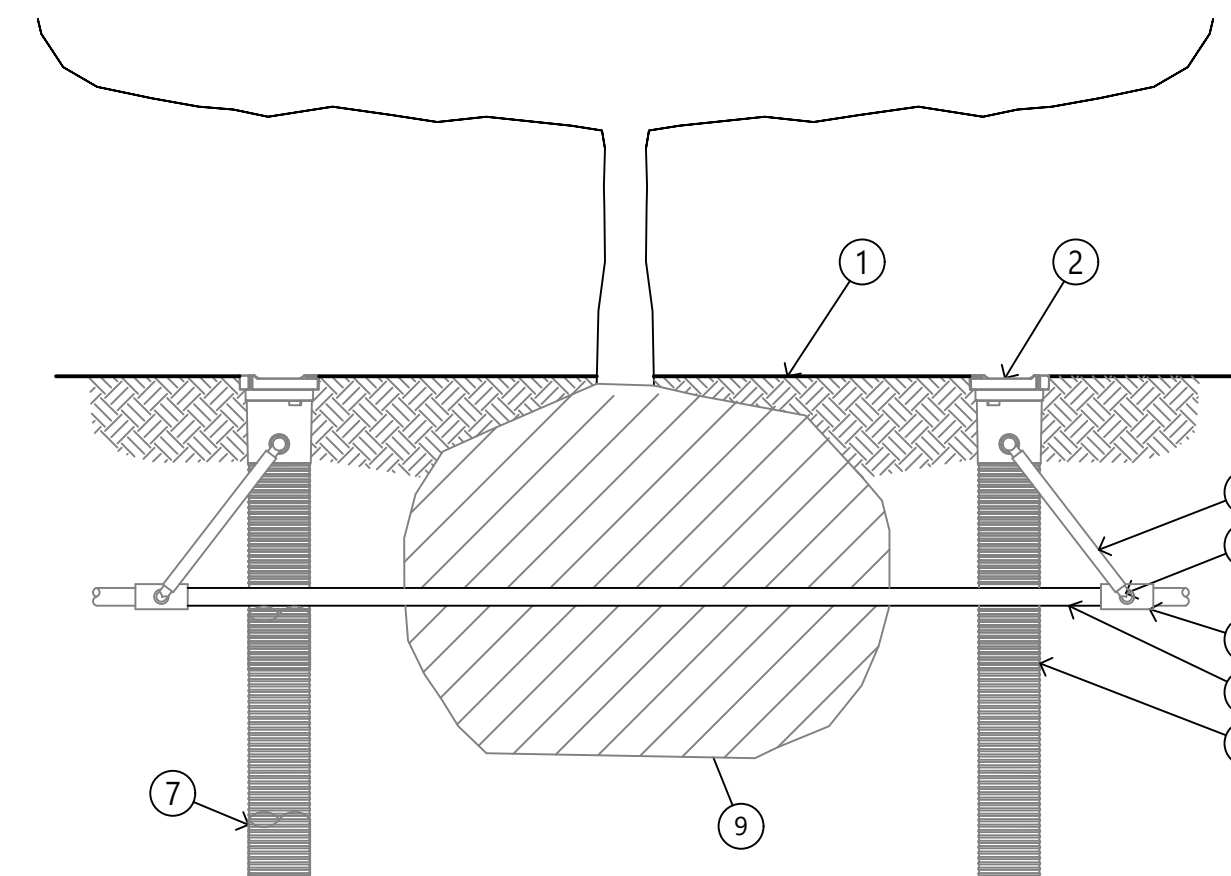
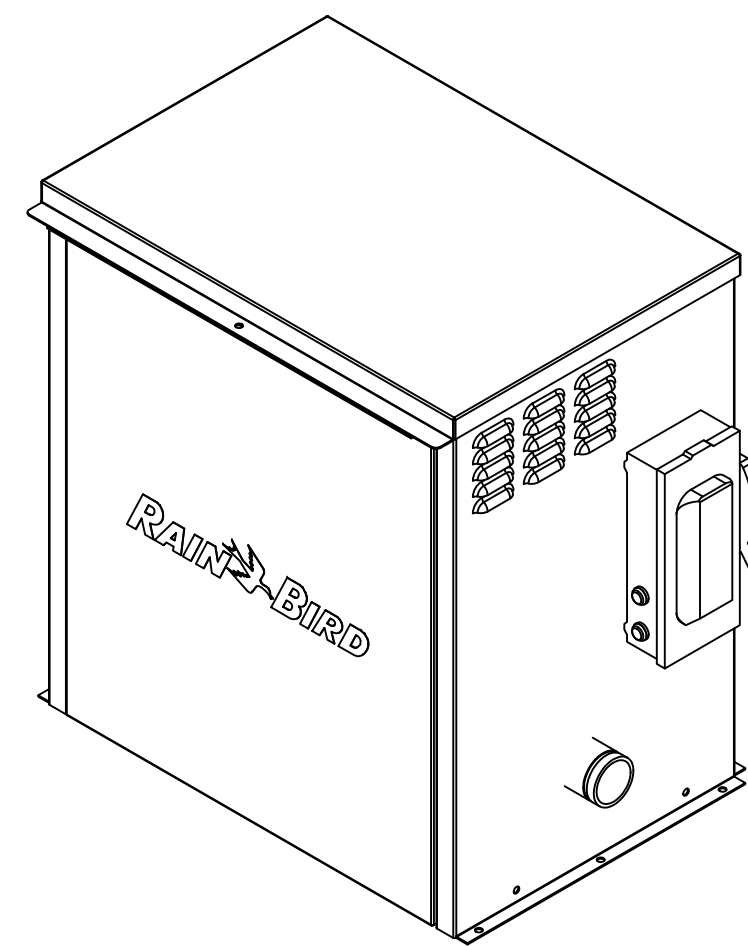
NOTES:

1. SLAB DETAIL IS PROVIDED FOR ILLUSTRATION ONLY. THE ARCHITECT OR PROJECT ENGINEER SHOULD BE CONSULTED FOR CONSTRUCTION DETAIL. DIMENSIONS AREA FOR REFERENCE ONLY. EXTERNAL PLUMBING TO BE FIELD FIT.
2. STATION WEIGHS ~ 250 LBS.
3. ENCLOSURE MUST INCLUDE HEATER AND INSULATION/SOUND DAMPENING.

BOOSTER PUMP STATION

NOTE: SHOWN FOR REFERENCE ONLY, CONTRACTOR SHALL INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

NOT TO SCALE



- 1 FINISH GRADE/TOP OF MULCH
- 2 ROOT WATERING SYSTEM: HUNTER SWING ASSEMBLY
- 3 1/2" (1,3 CM) MALE NPT INLET
- 4 PVC SCH 40 TEE OR EL
- 5 PVC OR POLYETHYLENE LATERAL PIPE
- 6 SOCK (RWS-SOCK) FOR SANDY SOILS
- 7 4" (10,2 CM) WIDE X 36" (91,4 CM) LONG RIGID BASKET WEAVE CANISTER
- 8 PLANT ROOT BALL
- 9

NOTES:

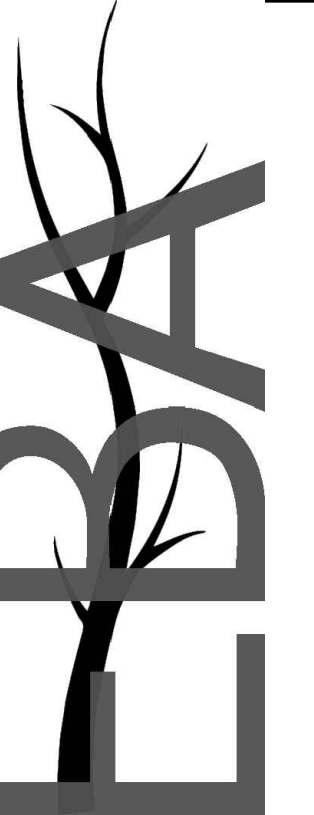
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
3. INSTALL RWS-B-C-1401: 0.25 GPM (0,95 L/M) WITH CHECK VALVE, 2 FOR EACH TREE.
4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1,9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
6. RWS-SOCK FOR USE IN SANDY SOILS.

ROOT WATERING SYSTEM

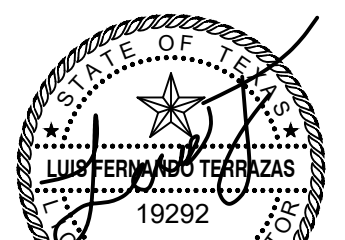
NOT TO SCALE

04/02/2024

E. BROOKE ASSOCIATES
8624 Ferguson Rd #570527
Dallas, Texas 75357
817-219-2665
erin@ebrooke.com



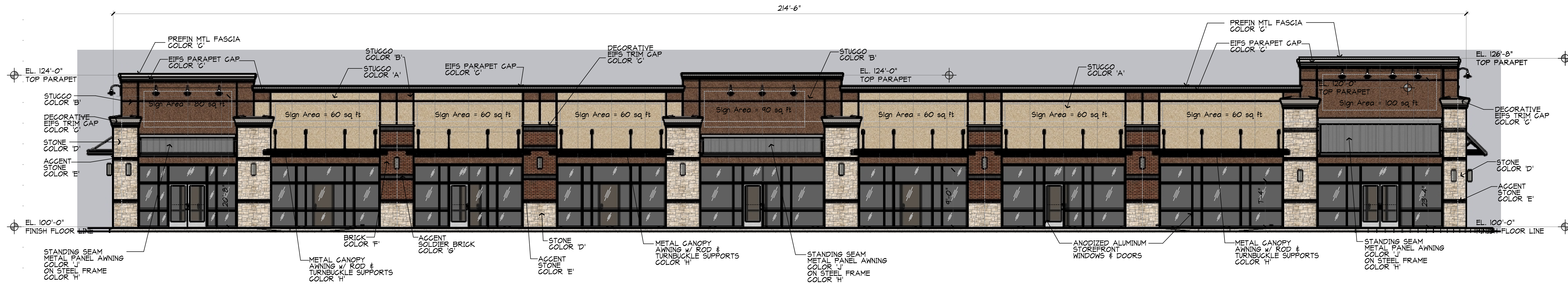
THE COLONY RETAIL - LOT 2 BLOCK A
CITY OF THE COLONY, TEXAS



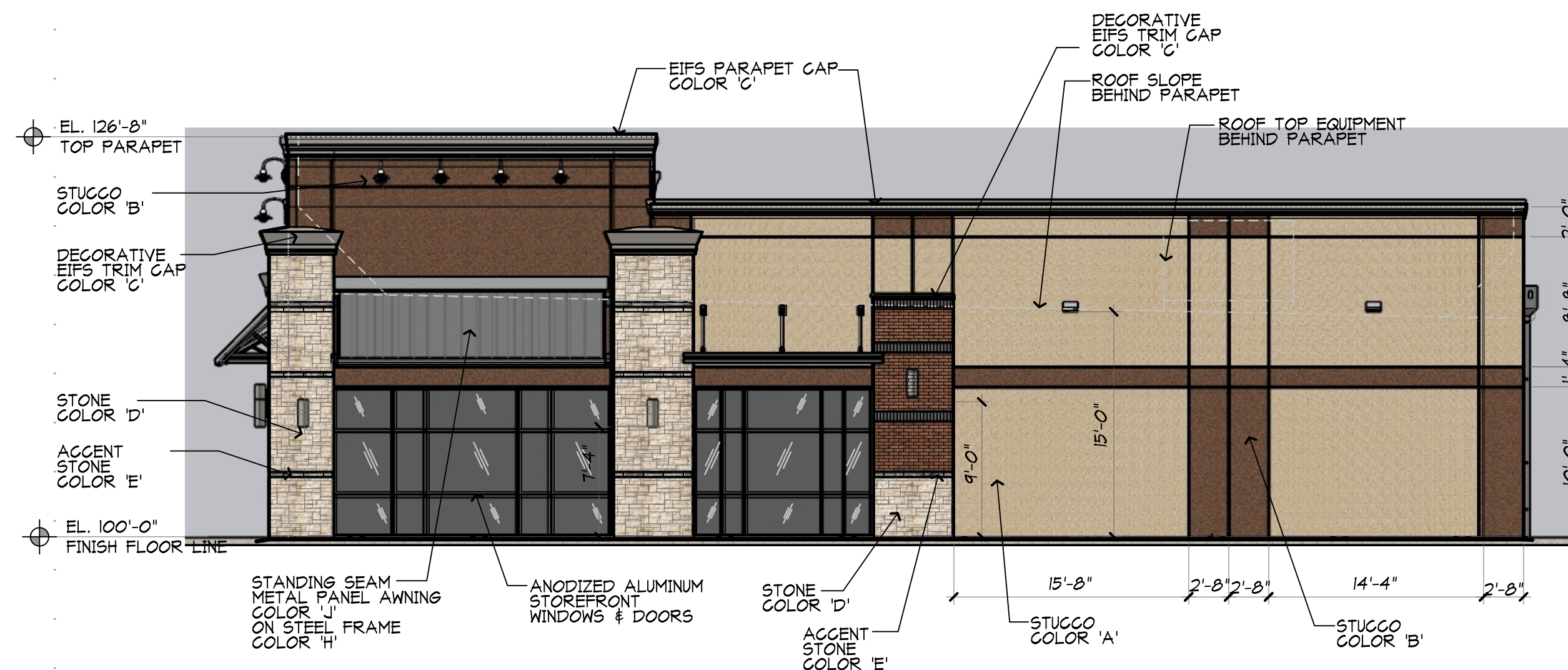
04-02-24

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

CITY PROJECT NO. SP-0002

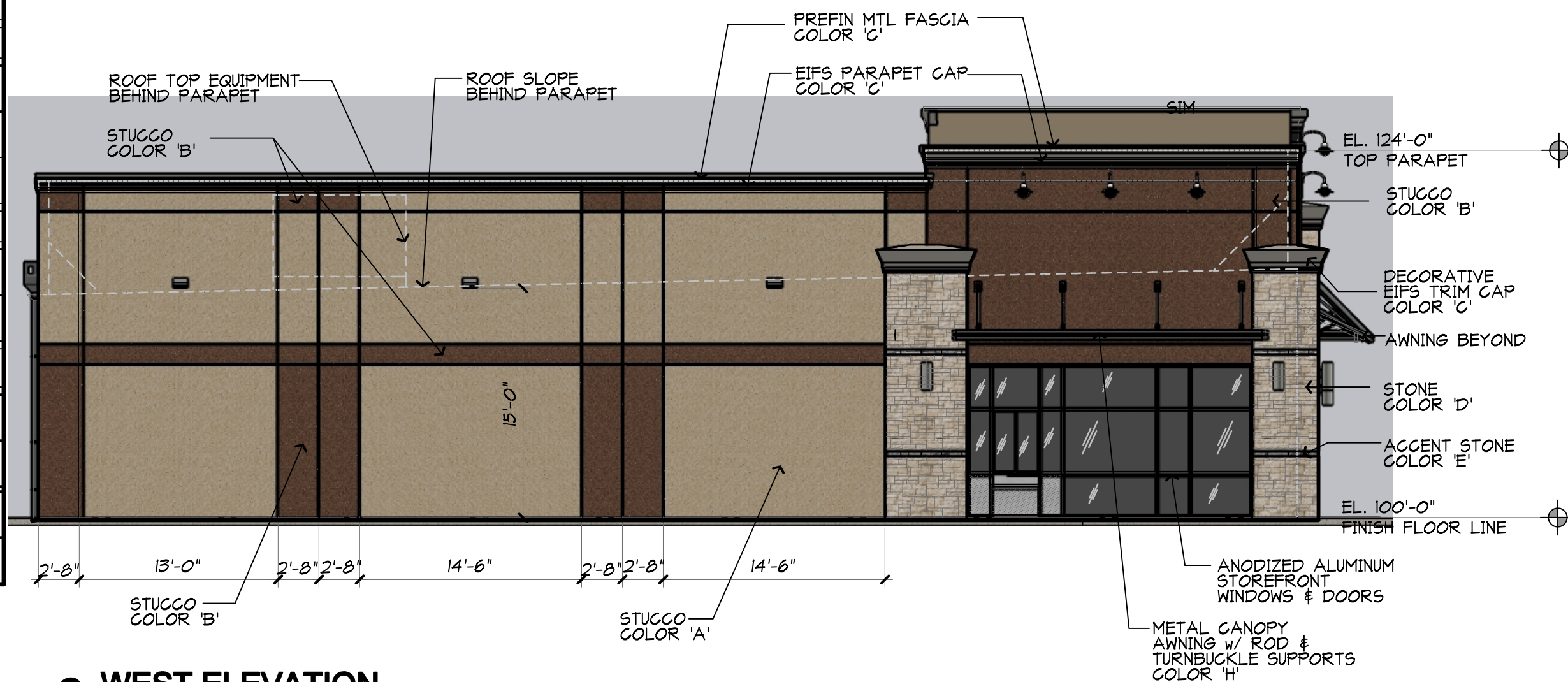


1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL TABULATIONS:				
	NORTH	SOUTH	EAST	WEST
STUCCO COLOR 'A'	3474 sf = 77%	1175 sf = 36%	804 sf = 43%	458 sf = 55%
STUCCO COLOR 'B'	835 sf = 18%	1042 sf = 32%	486 sf = 24%	447 sf = 24%
TOTAL STUCCO	4309 sf = 45%	2217 sf = 68%	1290 sf = 77%	1455 sf = 84%
EIFS TRIM COLOR 'C'	204 sf = 5%	274 sf = 7%	117 sf = 6%	114 sf = 6%
STONE COLOR 'D'	N/A	554 sf = 17%	196 sf = 12%	150 sf = 9%
ACCENT STONE COLOR 'E'	N/A	24 sf = 1%	12 sf = 1%	6 sf = 1%
TOTAL STONE	-----	583 sf = 18%	208 sf = 13%	156 sf = 10%
BRICK COLOR 'F'	N/A	203 sf = 6%	51 sf = 3%	N/A
ACCENT BRICK COLOR 'G'	N/A	43 sf = 1%	11 sf = 1%	N/A
TOTAL BRICK	-----	246 sf = 7%	62 sf = 4%	-----
TOTAL MASONRY	4309 sf = 45%	3046 sf = 93%	1560 sf = 94%	1611 sf = 94%
TOTALS (EXCLUDING WINDOWS/DOORS)	4513 sf = 100%	3325 sf = 100%	1671 sf = 100%	1730 sf = 100%
WINDOWS / DOORS	210 sf (DOORS)	1642 sf (STOREFRONT)	307 sf (STOREFRONT)	187 sf (STOREFRONT)
TOTALS (INCLUDING WINDOWS/DOORS)	4723 sf	4967 sf	1984 sf	1917 sf



3 WEST ELEVATION
SCALE: 1/8"=1'-0"



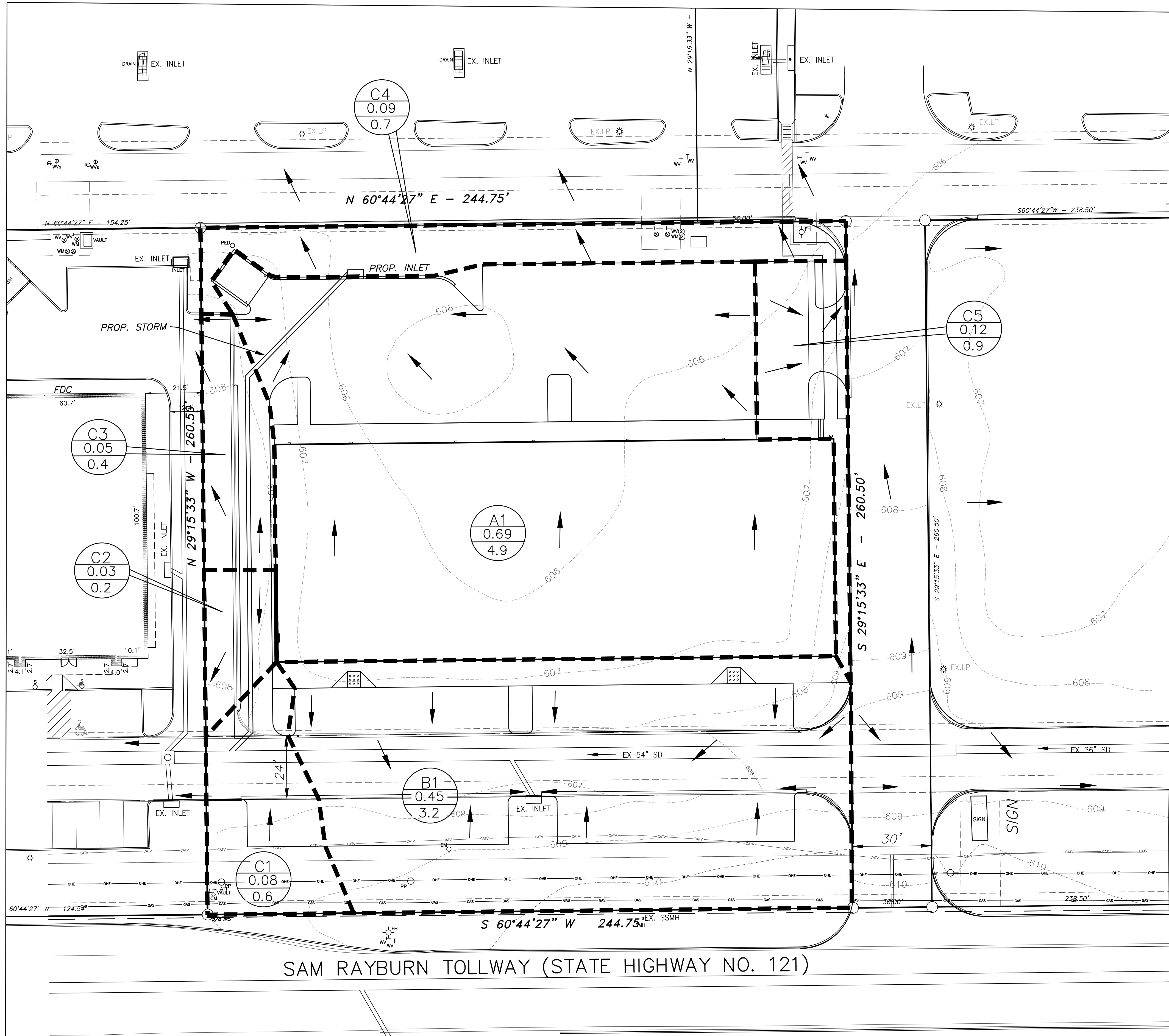
4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

THE COLONY RETAIL - LOT 2

OWNER NAME / TITLE
Colony Center Addition - Lot 2 Block A
The Colony, Texas ZIPcode

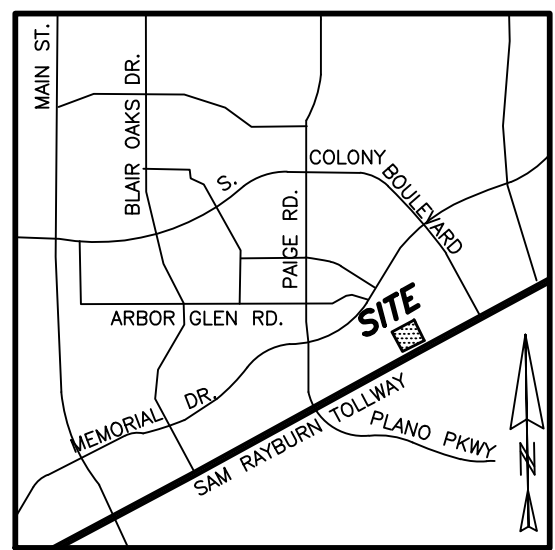
JOB NO. A2402
DATE: 4/18/2024

SHEET NO.
A-401c
OF

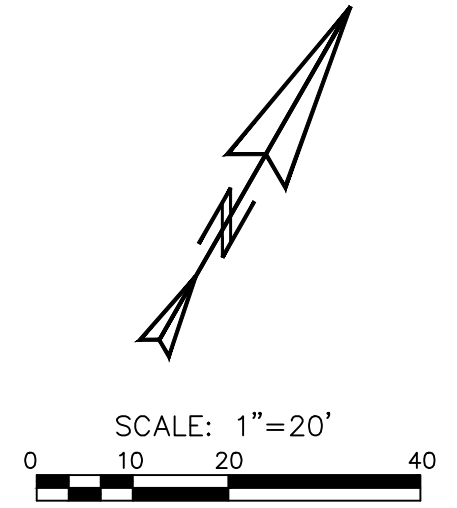


LEGEND

- 609 --- EXISTING CONTOUR
- - - 609 - - - PROPOSED CONTOUR
- (B1) DRAINAGE AREA NO. AREA (ACRES) Q₁₀₀ (CFS)
- EXIST. STORM
- DIRECTION OF FLOW



VICINITY MAP
NO SCALE



DRAINAGE AREA TABLE

DRAINAGE AREA	AREA (acres)	C	T _c (min)	i ₁₀ (in/hr)	Q ₁₀ (cfs)	i ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)
A1	0.69	0.90	10	7.83	4.86	11.59	7.20
B1	0.45	0.90	10	7.83	3.17	11.59	4.69
C1	0.08	0.90	10	7.83	0.56	11.59	0.83
C2	0.03	0.90	10	7.83	0.21	11.59	0.31
C3	0.05	0.90	15	7.83	0.37	11.59	0.55
C4	0.09	0.90	10	7.83	0.65	11.59	0.97
C5	0.12	0.90	10	7.83	0.85	11.59	1.25
TOTAL	1.52				10.68		15.81

SEE CITY OF THE COLONY AND TXDOT STANDARD CONSTRUCTION DETAILS FOR WORK IN PUBLIC RIGHT OF WAY OR EASEMENT.

ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY AND EASEMENT SHALL CONFORM TO CITY OF THE COLONY STANDARD CONSTRUCTION DETAILS (SEE GENERAL NOTES).

REVISIONS

REV NO.	DATE	DESCRIPTION

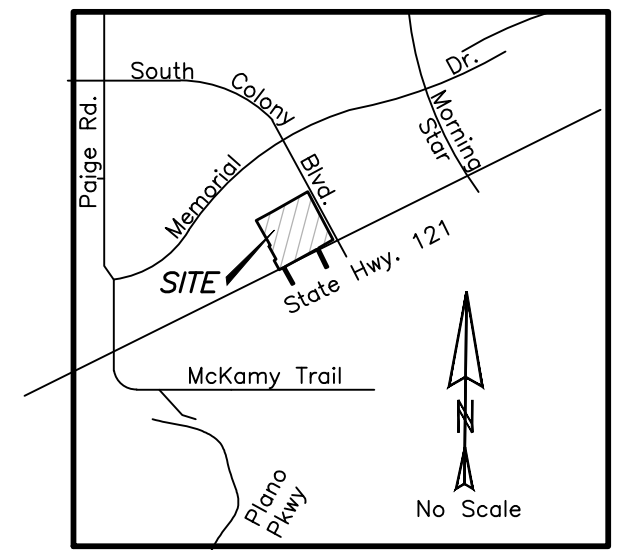
PRELIMINARY DRAINAGE AREA MAP
RETAIL CENTER 2
LOT 2, BLOCK A, COLONY CENTER ADDITION
THE COLONY, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET NO.
LKP	LKP	APR '24	1"= 20'		C09.01

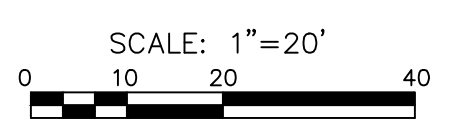
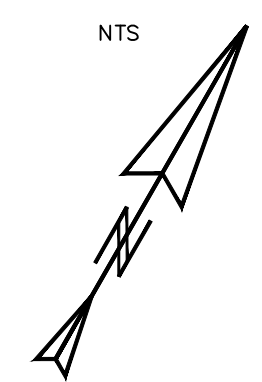
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF L. Lynn Kadleck, P.E. 47258 Date: April 3, 2024 NOT FOR CONSTRUCTION

OWNER:
LUNA CROSSING, LTD.
P. O. Box 795743
Dallas, Texas 75379
Attn: Ron Avneri
214-690-9397
yoramavneri@yahoo.com

LK PLANNING, LLC
3516 CALECHE COURT
PLANO, TEXAS 75023
972-979-0426
Lynn@lkplanningllc.com
FIRM NO. F-23830



VICINITY MAP



LEGEND

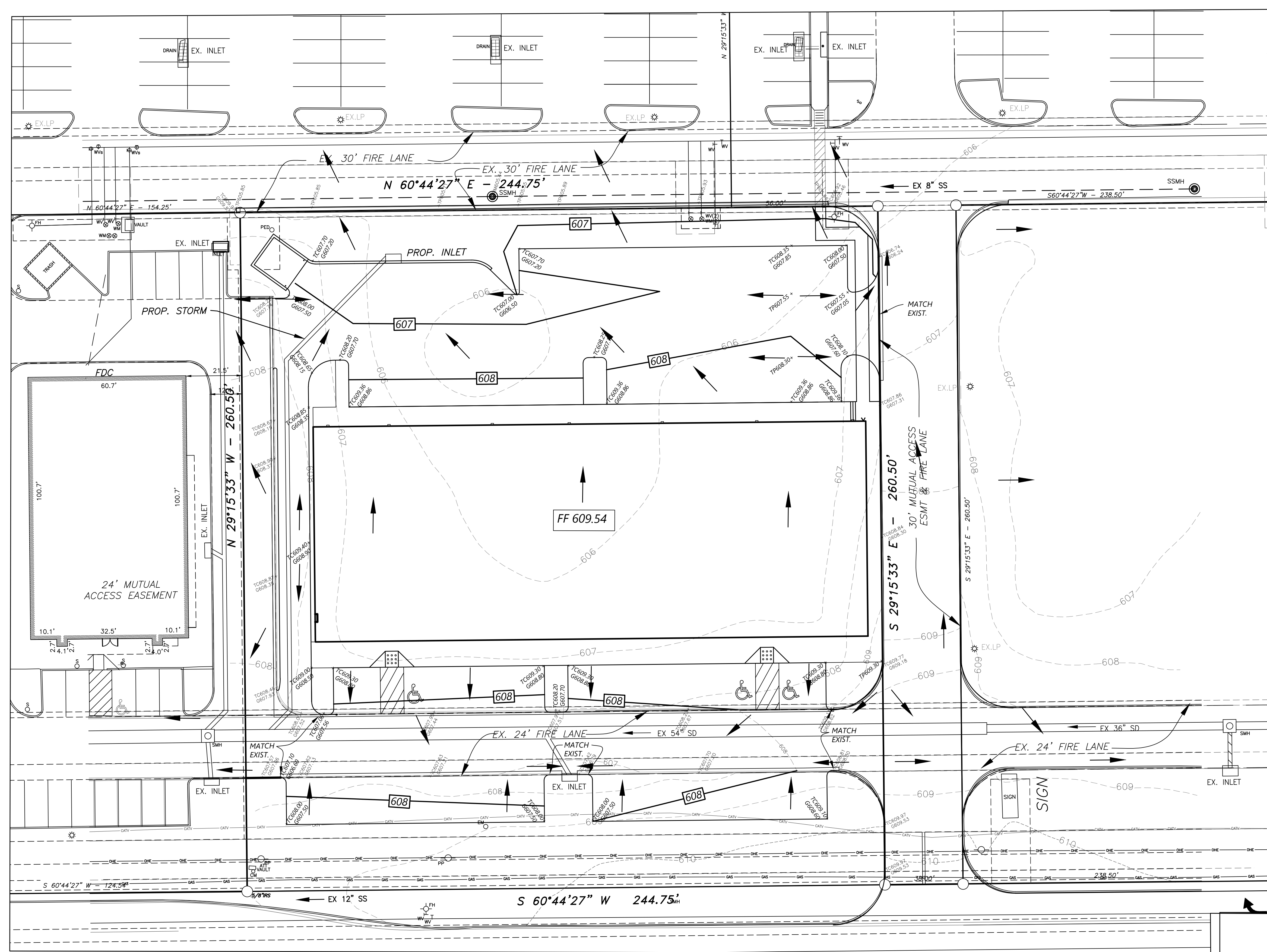
- 609 --- EXISTING CONTOUR
- 609 --- PROPOSED CONTOUR
- EXIST. STORM
- DIRECTION OF FLOW
- EXISTING ELEVATION
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- G GUTTER
- FL FLOW LINE
- SAWCUT, BREAKOUT & REMOVE EXISTING CONCRETE PAVEMENT

GENERAL NOTES - GRADING

- All materials and workmanship shall be performed in accordance with the current City of The Colony Standard Specifications and Details and the Standard Specifications for Public Works Construction for North Central Texas (NCTCOG), latest edition and any special provisions as approved by the City of The Colony.
- Site preparation and grading of areas within public right of way shall be in accordance with the City of The Colony or NCTCOG Specifications.
- Site preparation outside public rights of way shall be in accordance with the soils report prepared for the property by the Owner, which at a minimum shall be scarified to a depth of 6 inches and re-compacted to a minimum of 92 percent and a maximum of 98 percent of the maximum density, as determined by ASTM D 698, "Standard Proctor", with a moisture content range of +1 to +5 percentage points above optimum. The top six inches of areas under pavement shall be compacted to a minimum 95% of Standard Proctor at or above optimum moisture.
- The soil strippings removed at the start of construction shall be stockpiled and then spread over non-paved areas for topsoil in areas adjacent to the property to be designated by the Owner after grading work is complete. See report for more details.
- Fill material for use in filling the property is stockpiled on the immediate adjacent property.
- Fill material placement outside the public right of ways shall be in accordance with the above said report.
- Contractor shall seed or sod all unpaved disturbed areas within the public rights of way and easements, unless specified differently on the Landscape Plans. The seed or sod shall be bermuda or buffalo grass between March 15 and September 15 and water and mow until established (20 plants per sq. Ft.). During other months seed with winter rye and reseed with bermuda or buffalo grass between the next May 15 and September 15 and maintain until there is coverage.

ADDITIONAL GENERAL NOTES - SIDEWALKS

The Contractor shall ensure all sidewalks in pedestrian and access ways and adjacent to buildings shall comply with the requirements of the American Disabilities Act (ADA). If the Contractor determines there is a discrepancy between information shown on the plans and the requirements of ADA, he shall notify the owner and engineer immediately.



NOTE: PAVEMENT SUBGRADE PREPARATION -
 1) WITHIN PUBLIC ROW SHALL BE IN ACCORDANCE WITH THE CITY OF THE COLONY AND/OR TXDOT SPECIFICATIONS.
 2) ON PRIVATE PROPERTY SHALL BE IN ACCORDANCE WITH THE GEOTECH REPORT WHICH AT A MINIMUM STATES THE TOP SIX INCHES BE COMPACTED AT A MINIMUM OF 95% OF STANDARD PROCTOR AT OR ABOVE OPTIMUM MOISTURE.
 3) SEE GENERAL NOTES AND GEOTECH REPORT.

SEE CITY OF THE COLONY AND TXDOT STANDARD CONSTRUCTION DETAILS FOR WORK IN PUBLIC RIGHT OF WAY OR EASEMENT. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS. SEE FINAL PLAT FOR PROPERTY AND EASEMENT DIMENSIONS. SEE SHEET C05.01 FOR DIMENSIONS. SEE SHEET C04.01 GENERAL NOTES.

ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY AND EASEMENT SHALL CONFORM TO CITY OF THE COLONY STANDARD CONSTRUCTION DETAILS (SEE GENERAL NOTES).

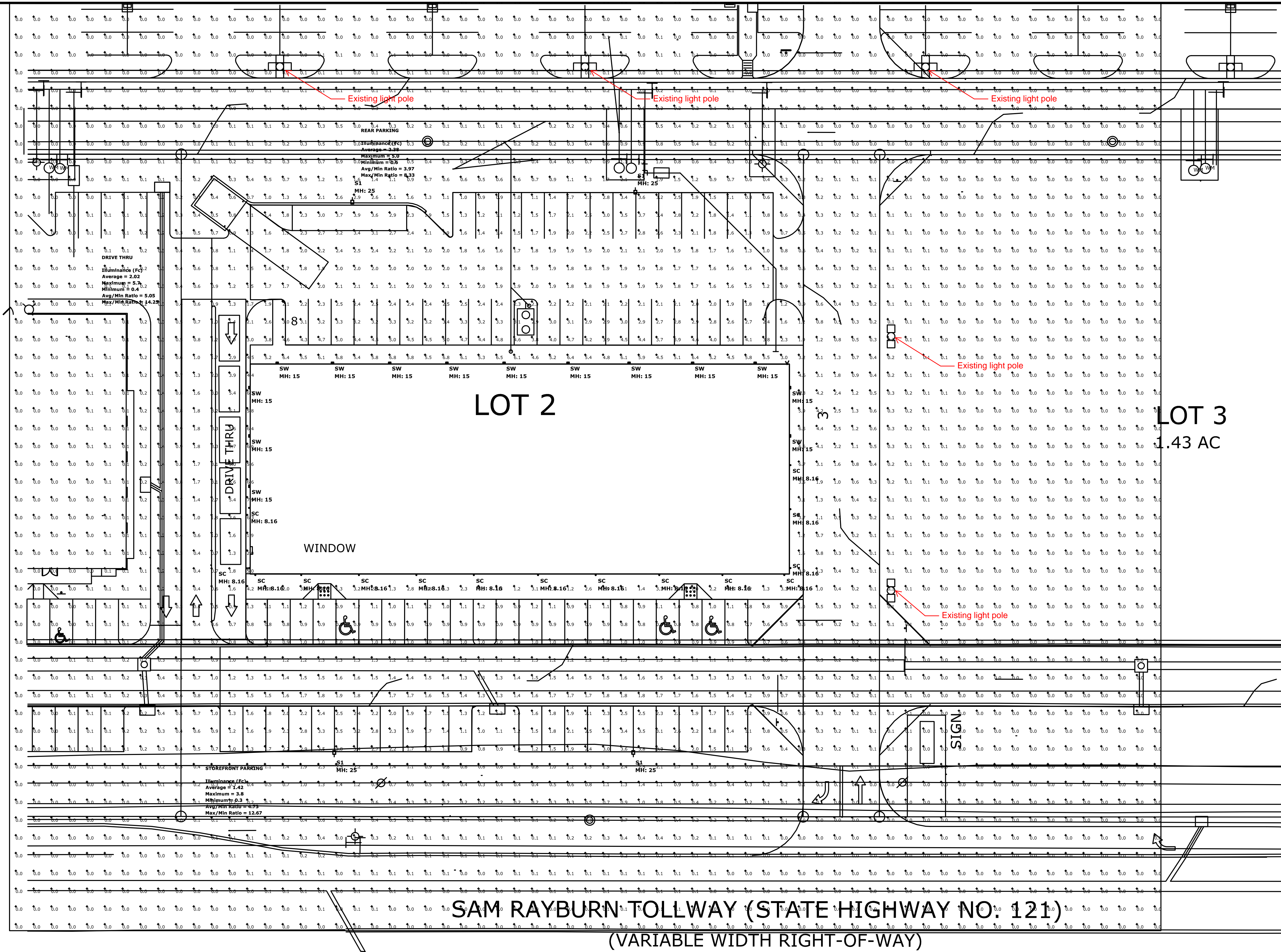
CAUTION!!
 UNDERGROUND UTILITIES IN AREA TO BE FIELD VERIFY PRIOR TO CONSTRUCTION

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF L. Lynn Kadleck, P.E. 47258 Date: April 3, 2024 NOT FOR CONSTRUCTION

OWNER:
 LUNA CROSSING, LTD.
 P. O. Box 795743
 Dallas, Texas 75379
 Attn: Ron Aimeri
 214-690-9397
 yoramavneri@yahoo.com

LK PLANNING, LLC
 3516 CALECHE COURT
 PLANO, TEXAS 75023
 972-979-0426
 Lynn@lkplanningllc.com
 FIRM NO. F-23830

REVISIONS					
REV NO.	DATE	DESCRIPTION			
PRELIMINARY GRADING PLAN					
RETAIL CENTER 2					
LOT 2, BLOCK A, COLONY CENTER ADDITION					
THE COLONY, DENTON COUNTY, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET NO.
LKP	LKP	APR '24	1" = 20'		C07.01



Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	User Defined Factor
S1		4	LITHONIA RSX1 LED P4 40K R3 [VOLT] [MOUNTING] [CONTROL] [FINISH] / DM19AS@ 25FT	16359	133.14	1.000
⊕	SC	15	KUZCO EW19414-[FINISH]	3107	28	0.612
⊕	SW	14	LITHONIA WDGE2 LED P3 40K 80CRI VF MVOLT [MOUNTING] [EM] [CONTROL] [FINISH]	3133	22.55	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.60	7.9	0.0	N.A.
DRIVE THRU		Fc	2.02	5.7	0.4	5.05
REAR PARKING		Fc	2.38	5.0	0.6	3.97
STOREFRONT PARKING		Fc	1.42	3.8	0.3	4.73

1 SITE PHOTOMETRIC PLAN
SCALE: 1/4"=1'-0"

RES Root Engineering Services
Mechanical, Electrical & Plumbing Systems Consultant
10411 CORPORATE DR. PLEASANT PRAIRIE, WI 53156
PHONE: 847-589-0396 FAX: 847-775-1503
PHONE: 940-375-1503 FAX: 940-375-1503
TEXAS PROFESSIONAL ENGINEERING DESIGN FIRM #12016

NOT FOR REGULATORY APPROVAL, PERMITTING, PRICING OR CONSTRUCTION

ARCHITECT
WRIGHT GROUP ARCHITECTS
1430 S BROADWAY ST
CARROLLTON, TX
972-242-1015

PROJECT
THE COLONY RETAIL
COLONY CENTER ADDITION
THE COLONY, TX

DRAWING ISSUE / REVISION		
Rev. No.	Description	Date
-	FOR REVIEW	03/18/2024

The Professional seal affixed to this sheet indicates that the named professional has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.
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Drawing Title
SITE PHOTOMETRIC PLANS

Drawing No.
PM1
Scale:
Dwg By: BB Check By: AH
Cont'd Job No. 230208

LK PLANNING, LLC
CIVIL ENGINEERING - PLANNING
3516 CALECHE COURT
PLANO, TEXAS 75023
972-979-0426
TBPELS FIRM NO. F-23380

May 23, 2024

Isaac Williams
Planning Department
6800 Main Street
The Colony, Texas 75056

Re: Lot 2 Retail, The Colony

Dear Isaac,

As you recall, there were two conditions presented by one P&Z commission member with the forwarding of the Site Plan to City Council. The two items pertained to the following:

1. The proposed benches need to have sidewalk access.
2. The proposed required frontage trees to be shifted from being directly under the power lines.

In order to comply with the conditions, the Landscape Plan was revised as follows:

1. The benches along the property frontage were eliminated and outdoor decorative seating was provided at the front of the building, so it is accessible by the sidewalk along the front of the building.
2. The trees in the front landscape buffer were changed to less aggressive growing trees that have a shorter mature height than the oaks and they were shifted as close to the parking as possible so not to be directly under the power lines. The power lines are located at the top of the poles which is about 35-40 feet tall. There are some apparent communication and/or data lines below the power lines at about 20-25 feet high. Attached is a photo of the poles and lines.

Attached is the revised Landscape Plan for the presentation to council.

Please advise if anything else is needed for addressing the conditions. Contact me with any questions.

Sincerely,

Lynn Kadleck

Lynn Kadleck
LK Planning, LLC

Copy: Ron Avneri

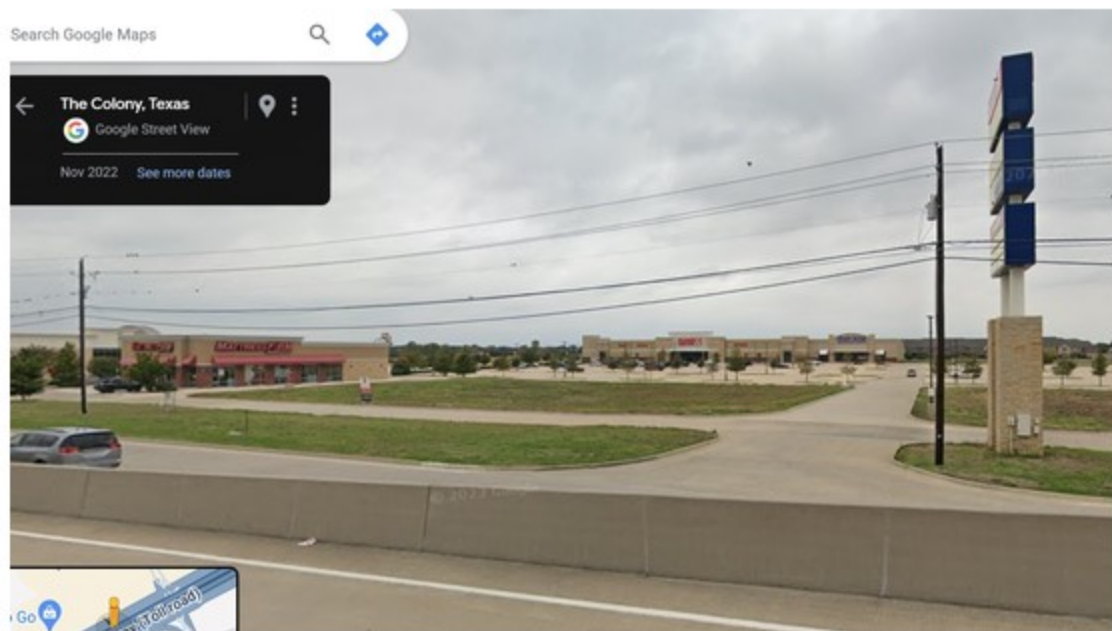
Search Google Maps

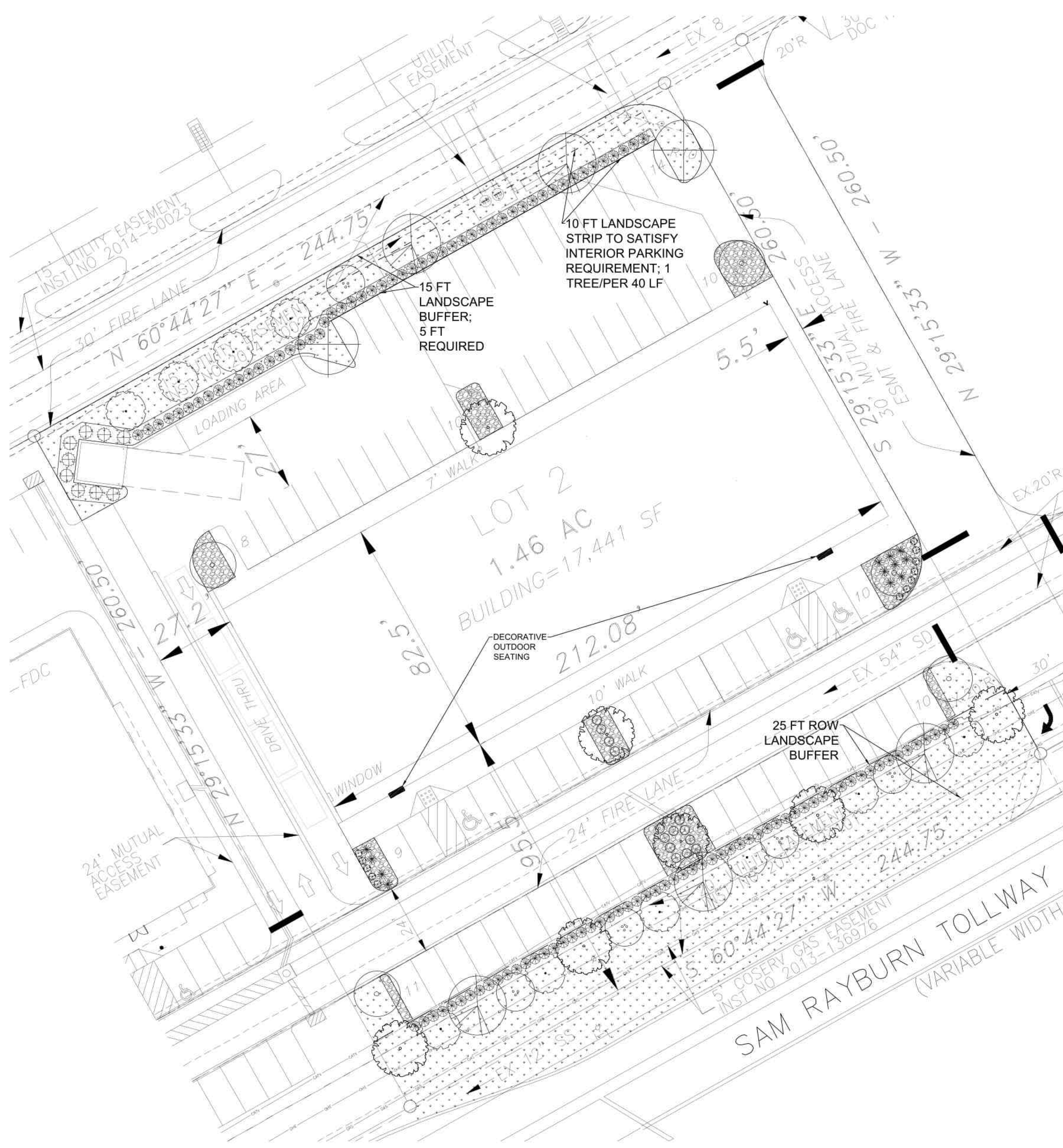


← The Colony, Texas

Google Street View

Nov 2022 See more dates

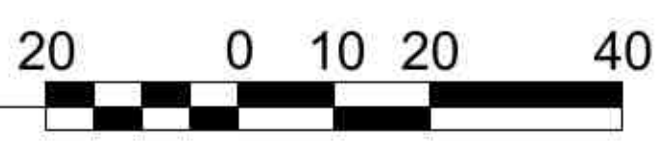




1

LANDSCAPE PLAN

SCALE: 1" = 20'-0"



SITE INFORMATION

SITE AREA: 1.46 ACRES; 43,560 SF

GATEWAY LANDSCAPE REQUIREMENTS

SAM RAYBURN STREETSCAPE BUFFER
 REQUIRED WIDTH: 25'
 PROVIDED WIDTH: 25'
 LARGE CANOPY TREES REQUIRED: 7
 (1/40 LF OF FRONTAGE; 244.75 LF)
 LARGE CANOPY TREES PROVIDED: 7
 ORNAMENTAL TREES REQUIRED: 10
 (2/50 LF OF FRONTAGE; 244.75 LF)
 ORNAMENTAL TREES PROVIDED: 10

PERIMETER LANDSCAPE BUFFER (REAR PL)
 REQUIRED WIDTH: 10'
 PROVIDED WIDTH: 15'
 ORNAMENTAL TREES REQUIRED: 5
 (1/40 LF OF FRONTAGE; 244.75 LF)
 ORNAMENTAL TREES PROVIDED: 5
 LARGE CANOPY TREES REQUIRED: 2
 (2 PER EVERY 5 ORNAMENTAL TREES REQUIRED)
 LARGE CANOPY TREES PROVIDED: 2

SITE TREES
 LARGE CANOPY TREES REQUIRED: 16
 (10/10,000 SF + 1/2,500 ADDITIONAL SF)
 LARGE CANOPY TREES PROVIDED: 19

INTERIOR LANDSCAPE REQUIREMENTS
 LANDSCAPE AREA REQUIRED: 3367 SF
 (MIN 10% OF TOTAL PARKING AREA TO BE LANDSCAPED)
 LANDSCAPE AREA PROVIDED: 4813 SF

LARGE CANOPY TREES REQUIRED: 9
 (1 PER 400 SF OF REQUIRED LANDSCAPE AREA)
LARGE CANOPY TREES PROVIDED: 10

LANDSCAPE POINTS
 REQUIRED: 15
 PROVIDED: 15

- Open space provision greater than what is required (5 POINTS)
- Decorative outdoor seating - benches (5 POINTS)
- Enhanced buffers (providing a landscape buffer 5 feet more than what is required adjacent to perimeter (5 POINTS))

NOTES

1. "All landscaping is to be irrigated in accordance with City standards."
2. "All irrigation systems are to be fitted with rain and freeze gauges in accordance with City standards."
3. "Water and Sewer Lines: All water and sewer lines and their sizes shall be shown on the Landscape Plan, including Fire Department connections."
- 4.

PLANT MATERIAL LIST SUMMARY CHART

QNTY	COMMON NAME	BOTANICAL NAME	SIZE
TREES			
7	JAPANESE BLACK PINE	<i>Sophora affinis</i>	3" CAL; 60 GAL; 8 FT MIN HGT
5	BURR OAK	<i>Prunus mexicana</i>	3" CAL; 60 GAL; 8 FT MIN HGT
2	LIVE OAK	<i>Quercus virginiana</i>	3" CAL; 60 GAL; 8 FT MIN HGT
5	CHINESE PISTACHE	<i>Lagerstroemia indica</i>	3" CAL; 60 GAL; 8 FT MIN HGT
10	TEDDY BEAR MAGNOLIA	<i>Magnolia grandiflora 'Southern Charm'</i>	2" CAL; 15 GAL; SINGLE TRUNK
5	VITEX	<i>Vitex agnus castus</i>	2" CAL; 15 GAL
9	NELLIE R STEVENS HOLLY	<i>Ilex x 'Nellie R Stevens'</i>	2" CAL; 15 GAL
SHRUBS			
70	TEXAS SAGE	<i>Leucophyllum frutescens</i>	3 GAL MIN; 18 IN MIN HGT
14	LITTLE JOHN BOTTLE BUSH	<i>Callistemon 'Little John'</i>	1 GAL MIN
12	MEXICAN BUSH SAGE	<i>Salvia leucantha</i>	1 GAL MIN
12	BLONDE AMBITION BLUE GRAMA	<i>Bouteloua gracilis</i>	1 GAL MIN
HARDSCAPE ELEMENTS			
SY	DECOMPOSED GRANITE; MIN 2 INCH DEPTH COMPACTED		



VICINITY MAP

NTS

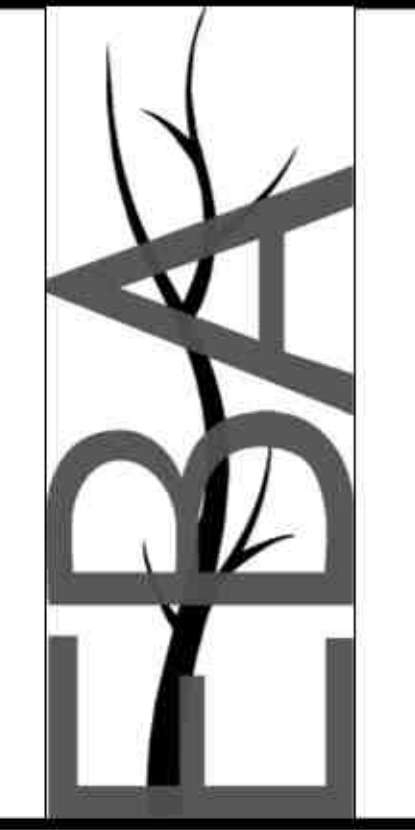


(17A-600) Maintenance requirements.

- A. The property owner shall maintain all trees, landscaped areas, and plant materials in a vigorous and healthy condition, free from disease, pests, weeds, and litter. This maintenance shall include but is not limited to: weeding, watering, fertilizing, pruning, mowing, edging, mulching and other needed maintenance, in accordance with generally accepted horticultural practices. No landscape material shall be allowed to exceed three (3) feet in height above curb level, and all overhanging foliage shall be kept trimmed more than nine (9) feet above curb level. In addition, all landscape structures (walls, fences, etc.) shall be kept in a structurally sound and aesthetic condition.
- B. If the property owner fails to perform the maintenance required by this section, the city may issue a written notice to the owner requiring the owner to perform the required maintenance or to replace any trees or plant materials or other items originally approved on the property's landscape plan.
- C. The owner shall have seven (7) days from the date of the notice to comply, unless replacement of plant materials or trees is required, in which case thirty (30) days are allowed. The city may grant an extension of time where seasonal or adverse weather conditions make maintenance or replacement impractical.
- D. Replacement plants must be at least the same size and species as shown on the approved landscape plan or must be equivalent in terms of quality and size. Such replacement will not be considered an amendment to the approved plan.
- E. Landscaping and structures placed in right-of-ways or easements must be maintained by the owner even if damage is caused by utility companies or governmental entities.

05/16/2024

E. BROOKE ASSOCIATES
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 Dallas, Texas 75357
 817-219-2665
 erin@ebrooke.com



THE COLONY RETAIL - LOT 2 BLOCK A
 CITY OF THE COLONY, TEXAS



CITY OF THE COLONY, TEXAS

ORDINANCE NO. 2024 - _____

SITE PLAN – LOT 2, BLOCK A COLONY CENTER ADDITION

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, APPROVING A SITE PLAN APPLICATION FOR “LOT 2 BLOCK A COLONY CENTER ADDITION,” AN APPROXIMATELY 17,441 SQUARE FOOT SINGLE STORY MULTI-TENANT RETAIL BUILDING LOCATED ON AN APPROXIMATELY 1.46 ACRES OF LAND AND IS LOCATED ALONG THE FRONTAGE OF SH 121 AND SOUTH COLONY BLVD WITHIN PLANNED DEVELOPMENT 16 (PD-16) ZONING DISTRICT AND THE GATEWAY OVERLAY DISTRICT. PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council of the City of The Colony, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of The Colony, Texas, have given requisite notices and consideration of the site plan application and related plans, and the City Council of the City of The Colony, Texas, is of the opinion and finds that Site Plan Application No. SP24-0002 for “Lot 2, Block A Colony Center Addition,” a single story multi-tenant retail building of approximately 17,441 square feet. The subject site contains approximately 1.46 acres and is located along the frontage of S.H. 121 and South Colony Boulevard within Planned Development 16 (PD-16) zoning district and the Gateway Overlay District should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

SECTION 1. That the findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2. That the City Council of the City of The Colony, Texas, does hereby approve the Site Plan, Landscape Plan, building elevations and photometric plan applicable to the subject area, copies of which are attached hereto as *Exhibit A* of this Ordinance.

SECTION 3. That it is hereby declared to be the intention of the City Council of the City of The Colony, Texas, that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 4. That any provision of any prior ordinance of the City whether codified or

uncodified, which are in conflict with any provision of this Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncodified, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

SECTION 5. That this Ordinance shall become effective immediately upon its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS THIS 4TH DAY OF JUNE, 2024.

Richard Boyer, Mayor
City of The Colony, Texas

ATTEST:

Tina Stewart, TRMC, CMC, City Secretary

APPROVED AS TO FORM:

Jeffrey L. Moore, City Attorney

Exhibit A

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Discussion

Agenda Section:

Subject:

A. Council shall convene into a closed executive session pursuant to Section 551.071 of the Texas Government Code to seek legal advice from the city attorney regarding pending or contemplated litigation or settlement offer: Paul Dattam matter.

B. Council shall convene into a closed executive session pursuant to Sections 551.072 and 551.087 of the Texas Government Code to deliberate regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and to deliberate the offer of a financial or other incentive to a business prospect(s).

Suggested Action:

Attachments:

CITY COUNCIL Agenda Item Report

Meeting Date: June 4, 2024

Submitted by: Kimberly Thompson

Submitting Department: City Secretary

Item Type: Discussion

Agenda Section:

Subject:

A. Any action as a result of executive session regarding pending or contemplated litigation or settlement offer: Paul Dattam matter.

B. Any action as a result of executive session regarding purchase, exchange, lease or value of real property and commercial or financial information the city has received from a business prospect(s), and the offer of a financial or other incentive to a business prospect(s).

Suggested Action:

Attachments: