



Wendell Town Board of Commissioners

Board Room

**Town Hall, Board Room, 409 Landing View Drive, Wendell,
NC, 27591**

Regular Session Agenda

Monday, June 10, 2024 @ 7:00 PM

CALL TO ORDER

Call to Order - Mayor Virginia Gray

Pledge of Allegiance - Chief John Slaughter

Invocation - Wendell Council of Churches Representative Gaynell Gull Wendell Christian Church

1. ADJUSTMENT AND APPROVAL OF THE AGENDA

2. PUBLIC COMMENT PERIOD

The public may participate in public comment period in the following ways:

1. Signing up for public comment period the night of the meeting if attending in person. Please sign up at the podium in the Board Room lobby. Sanitation stations will be available. You will have three minutes to speak.

2. Submitting written statements via email to the Town Clerk at mhoward@townofwendellnc.gov by the Friday prior to the Board Meeting, before 5 p.m. Please include your full name and address for the record. All written public comments timely received will be read into the record for a length of three minutes and copies will be provided to the Board of Commissioners at or before the meeting.

3. CONSENT AGENDA

3.a Resolution Authorizing Sale of Surplus Property by Electronic Auction

Staff Contact: Marc Collins
Town Manager

mcollins@townofwendellnc.gov

3.b Task Service Agreement with WithersRavenel to Survey Town-Owned Property for Annexation

Staff Contact: Stephanie Smith
Assistant Town Manager

ssmith@townofwendellnc.gov

3.c Wake County Tax Report

Staff Contact: Megan Howard

Deputy Town Clerk

mhoward@townofwendellnc.gov

4. RECOGNITIONS, REPORTS, AND PRESENTATIONS

4.a Proclamation of June 2024 as LGBT+ Pride Month

Staff Contact: Marc Collins
Town Manager

mcollins@townofwendellnc.gov

5. PUBLIC HEARINGS

5.a Public Hearing to Annex (A22-11) and Rezone (CD22-02) Approximately 21.40 acres from Wake County Residential-30 (R-30) to Town of Wendell Neighborhood Center Conditional District (NC-CD) to create Old Tarboro Residential at 617 Old Tarboro Road

Staff Contact: Bryan Coates
Planning Director

bcoates@townofwendellnc.gov

5.b Public Hearing on Zoning Text Amendment (ZTA24-02)- to the Arterial and Collector Street Plan (Appendix C) in the Unified Development Ordinance

Staff Contact: Bryan Coates
Planning Director

bcoates@townofwendellnc.gov

5.c Public Hearing to Annex (A24-02) and Rezone (CD23-06) Approximately 16.51 Acres from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD) to Create a Flex Space Complex on Old Battle Bridge Road

Staff Contact: Bryan Coates
Planning Director

bcoates@townofwendellnc.gov

5.d Public Hearing to Formally Close Rights-of-Way known as the Alleys Located between E Fourth Street and Fifth Street between N Main Street and N Pine Street & N Main Street and N Cypress Street

Staff Contact: Bryan Coates
Planning Director

bcoates@townofwendellnc.gov

6. ADMINISTRATIVE ITEMS

7. OTHER BUSINESS

Update on Board Committees by Town Board Members:

Wendell Volunteer Fire Department Board of Directors - Mayor Pro Tempore Jason Joyner

8. COMMISSIONERS' REPORTS / COMMENTS

9. MAYOR'S REPORTS / COMMENTS

10. CLOSED SESSION

ADJOURN



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Jeff Polaski, Parks and Rec

ITEM TYPE: Resolutions

AGENDA SECTION: CONSENT AGENDA

SUBJECT: Resolution Authorizing Sale of Surplus Property by Electronic Auction

SPECIFIC ACTION REQUESTED: Approval of Resolution for Surplus Property to be Sold on GovDeals

ITEM SUMMARY: Staff evaluated assets to determine which items scheduled for replacement are ready to be surplussed and disposed of by electronic auction. The following equipment are identified as surplus.

Surplus Property from the Parks and Recreation Department

- 27- 6 foot X 12 inch Playground Borders with Spikes
- Power Flight M2000-3+ Floor Buffer
- Desktop Stand/Sit Desk

Surplus Property from the Police Department

- Miscellaneous Police Vehicle parts- rear seats, door panels, rear view mirrors, roof mount light bar, plastic seat, and prisoner shield
- Miscellaneous gun holsters, 2 plastic rifle cases, handcuff pouch, Stinger flashlight pouch and double mag pouch
- One 21 speed Raleigh Bicycle Company Police Bicycle with saddle bags

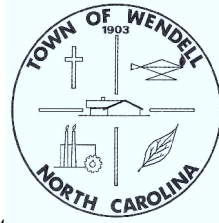
Surplus Property from the Public Works Department

- Porter Cable Air Compressor- 60 Gallon Tank
- HomeLite Pump Model 120TP3-1B
- DeWalt Drill 18V Model DCD940

The Statutory process requires adoption of a resolution (see attached) for the disposal of surplus items by electronic auction.

ATTACHMENTS:

[Item 3a Resolution_Authorizing_Sale_of_SURPLUS_Personal_Property-_June_10_2024.docx](#)



TOWN OF WENDELL

NORTH CAROLINA

**RESOLUTION AUTHORIZING SALE OF SURPLUS PERSONAL PROPERTY
BY ELECTRONIC AUCTION
R-06-2024**

WHEREAS, North Carolina General Statute 160A-270(b) and (c) allows for the Wendell Town Board of Commissioners to sell personal property by electronic auction upon adoption of a resolution authorizing the appropriate official to dispose of the property and;

WHEREAS, the below listing of personal property owned by the Town of Wendell is no longer necessary for the conduct of public business, the item or group of items has a fair market value less than \$30,000 and are hereby declared as surplus and to be sold by electronic auction:

Surplus Property from the Parks and Recreation Department

- 27- Playground Borders with Spikes (6 foot X 12 inch)
- Power Flight M2000-3+ Floor Buffer
- Desktop Stand/Sit Desk by Jinhua Xin'an Electric

Surplus Property from the Police Department

- Miscellaneous Police Vehicle parts- rear seats, door panels, rear view mirrors, roof mount light bar, plastic seat, and prisoner shield
- Miscellaneous gun holsters, 2 plastic rifle cases, handcuff pouch, Stinger flashlight pouch and double mag pouch
- One 21 speed Raleigh Bicycle Company Police Bicycle with saddle bags

Surplus Property from the Public Works Department

- Porter Cable Air Compressor- 60 Gallon Tank
- HomeLite Pump - Model 120TP3-1B
- DeWalt Drill 18V - Model DCD940

WHEREAS, public notice will be posted electronically on the Town of Wendell website at www.townofwendellnc.gov and electronic bids will be posted at www.GovDeals.com,

NOW THEREFORE BE IT RESOLVED, by the Wendell Town Board of Commissioners that the Town Manager or designee is authorized to sell by electronic auction on **Monday, June 10, 2024** the surplus property described above, through electronic advertisement at www.townofwendellnc.gov and electronic bids may be posted at www.GovDeals.com per the terms described in 160A-270. The Town Manager or designee is directed to publish at least once and not less than ten days before the date of the auction, a copy of this resolution or a notice summarizing its content as required by North Carolina General Statute 160A-270(c).

Duly resolved this 10th day of June 2024, while in regular session.

Virginia R. Gray, Mayor

ATTEST:

Megan Howard, Deputy Town Clerk



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Stephanie Smith, Administration

ITEM TYPE: Agreements/Contracts

AGENDA SECTION: CONSENT AGENDA

SUBJECT: Task Service Agreement with WithersRavenel to Survey Town-Owned Property for Annexation

SPECIFIC ACTION REQUESTED: Authorize the Town Manager to sign the Task Service Agreement for Wendell Property Annexation Boundary Survey

ITEM SUMMARY: WithersRavenel has submitted a Task Service Agreement to provide Professional Land Surveying services to perform a Boundary Survey and provide written metes and bounds descriptions for the following properties: 700 Wendell Falls Parkway, 2350 Wendell Blvd, 200 Chevrolet Way. This work is for the planned utility merger with the City of Raleigh.

The Task Order is estimated to cost \$15,400. Funding is budgeted in FY 2024 for the proposed work. The completion of surveying, annexation, and conveyance to Raleigh is planned for FY 2025.

ATTACHMENTS:

[Task Order 18_Exhibit A-Property Annex Boundary Survey - 2024.pdf](#)

May 31, 2024

Marc Collins, Town Manager
Town of Wendell
409 Landing View Drive
Wendell, North Carolina, 27591

**RE: Proposal for Task Order 18
Wendell Property Annexation Boundary Survey
Wendell, North Carolina
WR Project No. 02190728.18**

Dear Mr. Collins,

WithersRavenel is pleased to provide this Proposal for Professional Services. We look forward to working with you on this project. If you have any questions or concerns about this proposal, please do not hesitate to call me at the number listed below.

Sincerely,
WithersRavenel



Ben Dayton, PLS
Survey Group Director
bdayton@withersravenel.com

Attachment:
Proposal for Task Order 18

Town Of Wendell Task Order No. 18 Wendell Property Annexation Boundary Survey

A. Preliminary Matters

This Task Order is hereby included as an addition to and incorporated as part of the Agreement Between Owner and Engineer for Engineer Services, Task Order Edition signed November 11, 2022 between the Town of Wendell ("Owner") and WithersRavenel, Inc. ("Engineer").

B. Project Description

This fee proposal is intended to provide the scope of services and associated fees to provide consulting services per request of Town Of Wendell and formalize an agreement for the implementation and logistics for these services.

This project is to provide Professional Land Surveying services to perform a Boundary Surveys and provide written metes and bounds descriptions for each parcel survey in Word format. The following properties were identified by the Town of Wendell for Annexation:

700 Wendell Falls Parkway (PIN#1783-37-4939)

2350 Wendell Blvd (PIN#1784-06-7611)

200 Chevrolet Way (PIN#1793-28-0219)

Listed below is a summary of several key aspects of the project based on our discussions and preliminary research. Refer to the Scope of Services and Additional Services/Exclusions for further detailed information.

For the purposes of this proposal and any subsequent agreements the following references shall apply:

- b. Town Of Wendell shall be known as the "Client";
- c. WithersRavenel shall be known as the "Consultant";
- d. The property and overall project shall be known as the "Project";
- e. Wendell shall be known as "Town";
- f. Wake County shall be known as "County";
- g. North Carolina Department of Transportation shall be known as "NCDOT";
- h. US Army Corps of Engineers shall be known as "USACE";
- i. North Carolina Department of Environmental Quality shall be known as "NCDEQ";
- j. The executed proposal shall be known as the "Agreement".

C. Timeline for Services

WithersRavenel will work with the Town of Wendell on scheduling surveys with written Notice to Proceed and execution of this Task Order. WithersRavenel will deliver the boundary surveys and metes and bounds descriptions as completed. We will invoice progress invoices monthly upon delivery of the draft copy and or 100% upon final delivery.

We estimate that it will take approximately forty-five (45) total days to complete the parcel surveys. WithersRavenel will work to fit surveys into current schedule and the time estimated is total time, not consecutive days from Notice to Proceed.

D. Scope of Services

Consultant shall provide the services identified under each task below as its “Basic Services” under the Agreement.

Task 1 - Boundary Surveys with Metes and Bounds Description for Annexation

A. Boundary Survey to include:

1. WithersRavenel will perform a complete boundary survey of each parcel requested to be surveyed by the Town of Wendell. The surveys will be of now or formerly Town of Wendell owned properties consisting of the following three (3) properties identified by the Town of Wendell with property address and Wake County PIN number (#) and approximate deed acreage:
 - a. 700 Wendell Falls Parkway (PIN#1783-37-4939) 0.16 Acres
 - b. 2350 Wendell Blvd (PIN#1784-06-7611) 0.18 Acres
 - c. 200 Chevrolet Way (PIN#1793-28-0219) 0.62 Acres

All properties are located within the Town of Wendell municipal jurisdiction in Wake County, North Carolina.

2. The surveys will be performed in accordance with 21 NCAC 56.1602 Surveying Procedures per the Standard of Practice for Land Surveying in North Carolina. Mapping will be prepared to 21 NCAC 56.1606 (a)(1), (c)(1)(A) Standards of Practice for Land Surveying in North Carolina.
3. Boundary will be tied to North Carolina Grid (NAD 83/2011) horizontal control or most current North Carolina Grid Available within 2000 feet of each this site. If no NC Grid monuments are within 2000 feet of site, Global Positioning Surveys (GPS) will be used to tie property to NC Grid System.
4. Horizontal control will be based on NC State Grid NAD’83 (2011).
5. Locate existing property corners as may be found on the outside perimeter of the aggregate subject properties, and property corners on adjacent properties as may be necessary to help reestablish the boundary of the subject properties.
6. Provide name and address of current property owner, existing zoning, and land use per Wake County Tax records, deed book and page references, plat book references and tax map and parcel number or PINS of the subject property and adjoining properties within survey area. Subject property lines and adjoining property owner lines and right-of-way will be shown based actual lines surveyed and or documents of public record found in the Wake County Register of Deeds or provided by Owner/Town of Wendell.

7. Provide location of public and private easements (including blanket easements if platable) within survey area of subject property that are shown on Record Maps for subject property or provided by Owner/Town of Wendell. List reference information on boundary/annexation survey map. WR will perform its research of the subject property's records to obtain this information, however this will not be considered a certified Title Search and some easement information may not be obtained. Only a qualified Title Attorney can provide this level of research.
 8. Provide a vicinity map on survey.
 9. Gravity subsurface utilities and other above ground utilities crossing property or extending into and existing property will be shown on plat and located by visible structures or lines. No NC 811 locates will be called or coordinated by WR. No subsurface utility engineering (SUE) services will be provided with this proposal.
 10. Set missing, critical property corners with 18" long, 5/8" iron pipes where possible or other
 11. permanent markers as witness corners when property corner is inaccessible.
 12. Final Survey will be dated at time of completion of field work and bear seal and signature of North Carolina Professional Land Surveyor in responsible charge of the survey. Revisions to site or request for a new date other than the original date at time of completion of field work will require a site visit by North Carolina Professional Land Surveyor in responsible charge of survey to access if new field locations are needed.
 13. Completed survey will be delivered in digital PDF format and as a signed & certified hard copy if requested.
 14. Survey will be drawn to NC G.S. 47-30 standards for recording.
 15. Provide a written metes and bounds description for each parcel survey in Word format.
- B. Not included in Boundary Scope:
1. Time and expense for resolution of conflicts of boundary with adjacent properties such as gaps and overlaps and/or conflicts between deeds.
 2. Jurisdictional wetland locations, plats or permit drawings.
 3. Easements, right-of-way dedications, recombination/subdivision platting, recorded plat production, or exhibits
 4. Construction Staking

E. Exclusions/Additional Services

Services that are not included in the Scope of Services or are specifically excluded from this Proposal shall be considered Additional Services if those services can be performed by Consultant and its agents if requested in writing by the Client and accepted by Consultant. Additional services shall be paid by the Client in accordance with the Fee & Expense Schedule outlined in Exhibit I.

F. Expenses

The following costs shall be paid by the Client or be considered reimbursable and include but are not limited to the following: FedEx shipments, review fees, additional map copies, etc.

G. Compensation for Services

Consultant proposes to provide the Basic Services outlined in the Scope of Services on a lump sum or hourly basis with budgets as shown below plus reimbursable expenses in accordance with Exhibit I. The amounts set forth below have been determined based on the nature, scope and complexity of the Project as represented in the information provided to Consultant by Client prior to submittal of this proposal; subsequent changes thereto may result in additional fees.

Task No.	Task Name	Fee
1	Boundary Surveys	
	700 Wendell Falls Pkwy (PIN#1783-37-4939) 0.16 acres	\$2,000.00
	2350 Wendell Blvd (PIN#1784-06-7611) 0.18 acres	\$2,400.00
	200 Chevrolet Way (PIN#1793-28-0219) 0.62 acres	\$2,600.00
	Metes and Bounds Description and Annexation mapping. \$2,800 per parcel x 3 parcels	\$8,400.00
	TOTAL	\$15,400.00

- d. The above fees are based on the estimated timelines noted in the Timeline for Services. Any adjustments to those timelines may result in additional fees.
- e. Consultant may alter the distribution of compensation between individual Tasks noted herein to be consistent with services rendered but shall not exceed the total Lump Sum amount unless approved in writing by the Client.
- f. The attached Exhibit I, Fee & Expense Schedule, is based on Consultant's rates as of the date of this proposal and may be subject to change for hourly tasks and any Additional Services that occur after any adjustments to such rates go into effect.

H. Acceptance

This Task Order is valid 60 days from the date it is transmitted to the Owner. Receipt of an executed copy of this Task Order will serve as the written Agreement between WithersRavenel and the Owner of Dunn. All Exhibits identified after the signature blocks below, including the Fee & Expense Schedule (Exhibit I), are incorporated herein and are integral parts of the Task Order.

OFFERED BY:

WithersRavenel

ACCEPTED BY:

TOWN OF WENDELL

Signature Date

Name

Title

Signature Date

Name

Title

Signature Date

Name

Title

PREAUDIT STATEMENT: *This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act (NC G.S. 159-28(a)).*

Signature of Finance Officer:

Printed Name:

Date:

Attachments:

Exhibit I- Fee & Expense Schedule



EXHIBIT I

Fee & Expense Schedule

Description	Rate
Engineering & Planning	
Construction Project Professional	\$ 155
Construction Manager I	\$ 160
Construction Manager II	\$ 175
Senior Construction Manager	\$ 200
CAD Technician I	\$ 110
CAD Technician II	\$ 125
Senior CAD Technician	\$ 150
Designer I	\$ 140
Designer II	\$ 160
Senior Designer	\$ 180
Landscape Architect I	\$ 160
Landscape Architect II	\$ 185
Landscape Architect III	\$ 205
Senior Landscape Architect	\$ 225
Landscape Designer I	\$ 140
Landscape Designer II	\$ 150
Planning Technician	\$ 120
Planner I	\$ 130
Planner II	\$ 150
Planner III	\$ 175
Senior Planner	\$ 185
Project Engineer I	\$ 175
Project Engineer II	\$ 185
Project Engineer III	\$ 205
Senior Project Engineer	\$ 225
Assistant Project Manager	\$ 185
Project Manager	\$ 205
Senior Project Manager	\$ 225
Resident Project Representative I	\$ 105
Resident Project Representative II	\$ 125
Resident Project Representative III	\$ 140
Senior Resident Project Representative	\$ 150
Staff Professional I	\$ 95
Staff Professional II	\$ 150
Staff Professional III	\$ 160
Staff Professional IV	\$ 200
Senior Staff Professional	\$ 210
Senior Technical Consultant	\$ 260
Client Experience Manager	\$ 240
Director	\$ 245
Principal	\$ 270
Zoning Specialist	\$ 350
Project Coordinators	
Project Coordinator I	\$ 100
Project Coordinator II	\$ 120
Project Coordinator III	\$ 130
Senior Project Coordinator	\$ 140
Lead Project Coordinator	\$ 150

Description	Rate
Funding & Asset Management	
GIS Senior Specialist	\$ 175
GIS Specialist	\$ 155
GIS Survey Technician I	\$ 80
GIS Survey Technician II	\$ 105
GIS Survey Technician III	\$ 125
GIS Survey Lead	\$ 140
GIS Technician	\$ 100
GIS Analyst I	\$ 125
GIS Analyst II	\$ 140
GIS Project Manager	\$ 175
GIS Manager	\$ 225
F&AM Assistant Project Manager	\$ 170
Intern I	\$ 70
Intern II	\$ 90
F&AM Implementation Specialist	\$ 155
F&AM Project Consultant I	\$ 125
F&AM Project Consultant II	\$ 135
F&AM Project Consultant III	\$ 140
F&AM Project Consultant IV	\$ 145
F&AM Senior Project Consultant I	\$ 155
F&AM Senior Project Consultant II	\$ 160
F&AM Project Manager	\$ 175
F&AM Principal	\$ 270
F&AM Director	\$ 245
F&AM Staff Professional I	\$ 75
F&AM Staff Professional II	\$ 120
F&AM Staff Professional III	\$ 160
F&AM Staff Professional IV	\$ 200
F&AM Senior Project Manager	\$ 225
F&AM Senior Technical Consultant	\$ 255
Geomatics	
Geomatics CAD I	\$ 105
Geomatics CAD II	\$ 125
Geomatics CAD III	\$ 140
Geomatics Project Manager I	\$ 175
Geomatics Project Manager II	\$ 185
Geomatics Project Manager III	\$ 215
Geomatics Project Professional I	\$ 155
Geomatics Project Professional II	\$ 180
Geomatics Principal	\$ 250
Geomatics Remote Sensing Crew I	\$ 225
Geomatics Remote Sensing Crew II	\$ 315
Geomatics Survey Crew I	\$ 160
Geomatics Survey Crew II (2 Man)	\$ 195
Geomatics Survey Crew III (3 Man)	\$ 240
Geomatics Senior Manager	\$ 225
Geomatics Survey Tech I	\$ 65
Geomatics Survey Tech II	\$ 95
Geomatics Survey Tech III	\$ 125
Geomatics Survey Tech IV	\$ 135
Geomatics Sr. Technical Consultant	\$ 225
Geomatics SUE Crew 1	\$ 195
Geomatics SUE Crew 2	\$ 265

Description	Rate
Environmental	
Environmental Technician I	\$ 85
Environmental Technician II	\$ 100
Environmental Technician III	\$ 105
Senior Environmental Technician	\$ 120
Environmental Project Geologist I	\$ 155
Environmental Project Geologist II	\$ 170
Environmental Project Geologist III	\$ 195
Environmental Senior Project Geologist	\$ 215
Environmental Assistant Project Manager	\$ 170
Environmental Project Manager	\$ 195
Environmental Senior Project Manager	\$ 215
Environmental Director	\$ 245
Environmental Project Engineer I	\$ 155
Environmental Project Engineer II	\$ 170
Environmental Project Engineer III	\$ 195
Environmental Senior Project Engineer	\$ 215
Environmental Principal	\$ 270
Environmental Project Scientist I	\$ 155
Environmental Project Scientist II	\$ 170
Environmental Project Scientist III	\$ 195
Senior Environmental Project Scientist	\$ 215
Environmental Scientist I	\$ 110
Environmental Scientist II	\$ 135
Environmental Scientist III	\$ 145
Environmental Geologist I	\$ 110
Environmental Geologist II	\$ 135
Environmental Geologist III	\$ 145
Environmental Professional I	\$ 110
Environmental Professional II	\$ 135
Environmental Professional III	\$ 145
Environmental Senior Technical Consultant	\$ 240
Administrative	
Administrative Assistant	\$ 70
Administrative Assistant I	\$ 85
Administrative Assistant II	\$ 95
Administrative Assistant III	\$ 105
Marketing Administration I	\$ 95
Marketing Administration II	\$ 125
Director of Marketing	\$ 155
Office Administration	\$ 75
Office Administrator I	\$ 125
Office Administrator II	\$ 130
Office Administrator III	\$ 135
Expenses	
Bond Prints (Per Sheet)	\$ 1.75
Mylar Prints (Per Sheet)	\$ 11.00
Mileage	Per IRS
Delivery - Project Specific (Distance & Priority)	
Subcontractor Fees (Markup)	1.15
Expenses / Reprod. / Permits (Markup)	1.15
Other	
Expert Witness	\$ 400

Effective January 1, 2024 - Schedule is subject to change



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Megan Howard, Administration

ITEM TYPE: Tax Reports

AGENDA SECTION: CONSENT AGENDA

SUBJECT: Wake County Tax Report

SPECIFIC ACTION REQUESTED: Accept Wake County's Tax Report

ITEM SUMMARY: Wake County has submitted the attached Tax Report for the Wendell Board of Commissioners. No action is necessary and consent approval serves to acknowledge receipt.

ATTACHMENTS:
[Wake County Tax Report.pdf](#)



Board of Commissioners
P.O. Box 550 • Raleigh, NC 27602

TEL 919 856 6180
FAX 919 856 5699

SHINICA THOMAS, CHAIR
SUSAN EVANS, VICE-CHAIR
VICKIE ADAMSON
MATT CALABRIA
DON MIAL
CHERYL STALLINGS
TARA WATERS

June 4, 2024

Ms. Mary Beth Tew
Town Clerk
Town of Wendell
409 Landing View Drive
Wendell, NC 27591

Dear Ms. Tew:

The Wake County Board of Commissioners, in regular session on June 3, 2024, approved and accepted the enclosed tax report for the Town of Wendell.

The attached adopted actions are submitted for your review; no local board action is required.

Sincerely,

A handwritten signature in cursive script, appearing to read "Yvonne Gilyard".

Yvonne Gilyard
Clerk to the Board
Wake County Board of Commissioners

Enclosure(s)



Wake County Tax Administration

Rebate Details

04/01/2024 - 04/30/2024

DATE

05/05/2024

TIME

10:06:35 PM

PAGE

1

WENDELL

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING YEAR	BILLING FOR TYPE	OWNER
INDIVIDUAL PROPERTY ACCOUNTS											
877674	204.58	30.00	0.00	0.00	234.58	04/18/2024	0007024524	2024	2023	000000	MCPHERSON, RUTH
SUBTOTALS FOR INDIVIDUAL PROPERTY ACCOUNTS											
	204.58	30.00	0.00	0.00	234.58		1	Properties Rebated			
TOTAL REBATED FOR WENDELL											
	204.58	30.00	0.00	0.00	234.58		1	Properties Rebated for City			



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Matt Garner, Administration

ITEM TYPE: Proclamations

AGENDA SECTION: RECOGNITIONS, REPORTS, AND PRESENTATIONS

SUBJECT: Proclamation of June 2024 as LGBT+ Pride Month

SPECIFIC ACTION REQUESTED: Read the Proclamation

ITEM SUMMARY: Pride Month is celebrated nationwide in June each year to recognize the efforts and ongoing struggle of the Lesbian, Gay, Bisexual, Transgender, Queer (LGBTQ+) to recognize the full spectrum of gender identity and the importance of maintaining a community that is inclusive of all peoples. The attached Proclamation resolves that June 2024 as LGBT+ Pride Month.

The Pride Month Proclamation serves as a reminder that the Town of Wendell is committed to its Vision Statement that "The Town of Wendell is clean, safe, vibrant, and full service with a diverse population". Further, that the Board of Commissioners adopted a Resolution to Enact an Ordinance Prohibiting Discrimination in Public Accommodations and Employment of February 14, 2022.

To this end, the Town of Wendell strives to make our community a place where all people - regardless of their sexual orientation, gender identity, or gender expression - are treated equally.

ATTACHMENTS:
[Pride Month Proclamation 6-5-24.pdf](#)

TOWN OF WENDELL

Small Town. Big Charm.



Mayor Virginia Gray
Mayor Pro Tempore Jason Joyner
Manager Marvin Collins, III
Attorney James P. Cauley, III

Commissioners
Jon Lutz
Joe DeLoach
Deans Eatman
Braxton Honeycutt

Wendell Board of Commissioners Proclamation Recognizing June as Lesbian, Gay, Bisexual, and Transgender (LGBT+) Pride Month

Whereas, LGBT+ Pride Month is celebrated nationwide in June each year; and

WHEREAS, this month was chosen to commemorate and remember the victims of anti-LGBT+ violence and recognize ongoing efforts to end gender-based discrimination; and

WHEREAS, despite great progress, LGBT+ Americans still face discrimination simply for who they are; and

WHEREAS, the Town of Wendell stands with the LGBT+ Community in the struggle to ensure equal treatment for all; and

WHEREAS, Executive Order No. 24, N.C. Reg. 958-962, which was issued on October 18, 2017, established policies prohibiting discrimination, harassment, and retaliation on the basis of sexual orientation and gender identity or expression in State employment, State services, and State contacts, under the jurisdiction of the Office of the Governor; and

WHEREAS, Executive Order No. 24 directed the Secretary of the Department of Administration to create the Commission on Inclusion to identify additional policies and measures that promote diversity and inclusion; and

WHEREAS, the Town of Wendell Board of Commissioners adopted a Resolution to Enact an Ordinance Prohibiting Discrimination in Public Accommodations and Employment on February 14, 2022; and

WHEREAS, the Town of Wendell strives to make our community a place where all people – regardless of their sexual orientation, gender identity, or gender expression – are treated equally;

NOW, THEREFORE, BE IT RESOLVED THAT the Town of Wendell Board of Commissioners, does hereby proclaim the month of June 2024 as LGBT+ Pride Month and commend its observance to all citizens.

DULY PROCLAIMED this the 10th day of June 2024.

Virginia R. Gray, Mayor



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Bryan Coates, Planning

ITEM TYPE: Rezoning

AGENDA SECTION: PUBLIC HEARINGS

SUBJECT: Public Hearing to Annex (A22-11) and Rezone (CD22-02) Approximately 21.40 acres from Wake County Residential-30 (R-30) to Town of Wendell Neighborhood Center Conditional District (NC-CD) to create Old Tarboro Residential at 617 Old Tarboro Road

SPECIFIC ACTION REQUESTED: Hold a public hearing on the proposed annexation and rezoning request and consider making a motion to adopt the attached ordinance.

ITEM SUMMARY: **Current Item**
 The applicant has amended the development plans to create a 127 unit townhome community south of Old Tarboro Road.

March 11, 2024- a public hearing was held (and closed) on the proposal that, at the time contained 173 townhomes and 76 apartment units. The Board voted unanimously to conduct a new public hearing after providing feedback on June 10th, 2024.

Previous Item Summary

Applications have been received for the annexation and rezoning of a 32.61-acre portion of a parcel located off Old Tarboro Road, near the intersection of Wendell Boulevard and Eagle Rock Road from Wake County Residential-30 (R-30) to Neighborhood Center Conditional District (NC-CD). The intent is to create a townhome and multi-family apartment neighborhood. The proposal contains 173 townhome units and 76 apartments. There is an existing cemetery on the site that will remain.

Previous Planning Board Action

At their November 21, 2022 meeting, the Planning Board voted 6-1 on the motion to recommend approval of the rezoning request.

Voting in Favor: Jonathan Olson, Benjamin Griffin, Bradley Taylor, J. Harold Broadwell, Brad Jordan and Tina Cheek

Voting Against: Tevis High

Absent: Adam King and Phil Veasley,

ATTACHMENTS:

[Old_Tarboro_Townhomes_Staff_Analysis_2024.doc](#)

[Final Plans CD22-02 Old Tarboro for Town Board.pdf](#)

[Old-Tarboro_NCDOT-TIA-Review.pdf](#)

[PB Recommendation - Old Tarboro Townhomes.pdf](#)

[Report of 5.29.2024 Neighborhood Meeting--Old Tarboro Rezoning--Submitted 6.3.24\(12292831.1\).pdf](#)

[O-07-2024 Ordinance Annexation Rezoning - Old Tarboro.docx](#)



Staff Analysis

Item Title: Public Hearing to Annex (A22-11) and Rezone (CD22-02) Approximately 21.40 acres from Wake County Residential-30 (R-30) to Town of Wendell Neighborhood Center Conditional District (NC-CD) to create Old Tarboro Residential at 617 Old Tarboro Road.

Item Summary:

Applications have been amended for the annexation and rezoning of a 21.40-acre portion of a 48.76-acre parcel located off Old Tarboro Road, near the intersection of Wendell Boulevard and Eagle Rock Road from Wake County Residential-30 (R-30) to Neighborhood Center Conditional District (NC-CD). The intent is to create a townhome neighborhood. The proposal contains 127 townhome units. There is an existing cemetery on the site that will remain.

This project was on previously on the agenda at these meetings:

- February 27, 2023 – a public hearing was held (and closed) on the proposal that, at the time, contained 224 townhomes and no apartment units. The Board voted unanimously to continue the decision until March 27, 2023.
- March 27, 2023 – item appeared on consent agenda to continue the decision until May 22, 2023.
- May 22, 2023 – item appeared on consent agenda to continue the decision until June 26, 2023,
- June 26, 2023 – a concept plan was presented to the Board who provided feedback to the applicant. At that time, the Board, under the direction of the Town Attorney, and the applicant agreed to hold a new public hearing once the plan was amended and re-evaluated.
- March 11, 2024- a public hearing was held (and closed) on the proposal that, at the time contained 173 townhomes and 76 apartment units. The Board voted unanimously to conduct a new public hearing after providing feedback on June 10th, 2024.

Impacts to Town Services

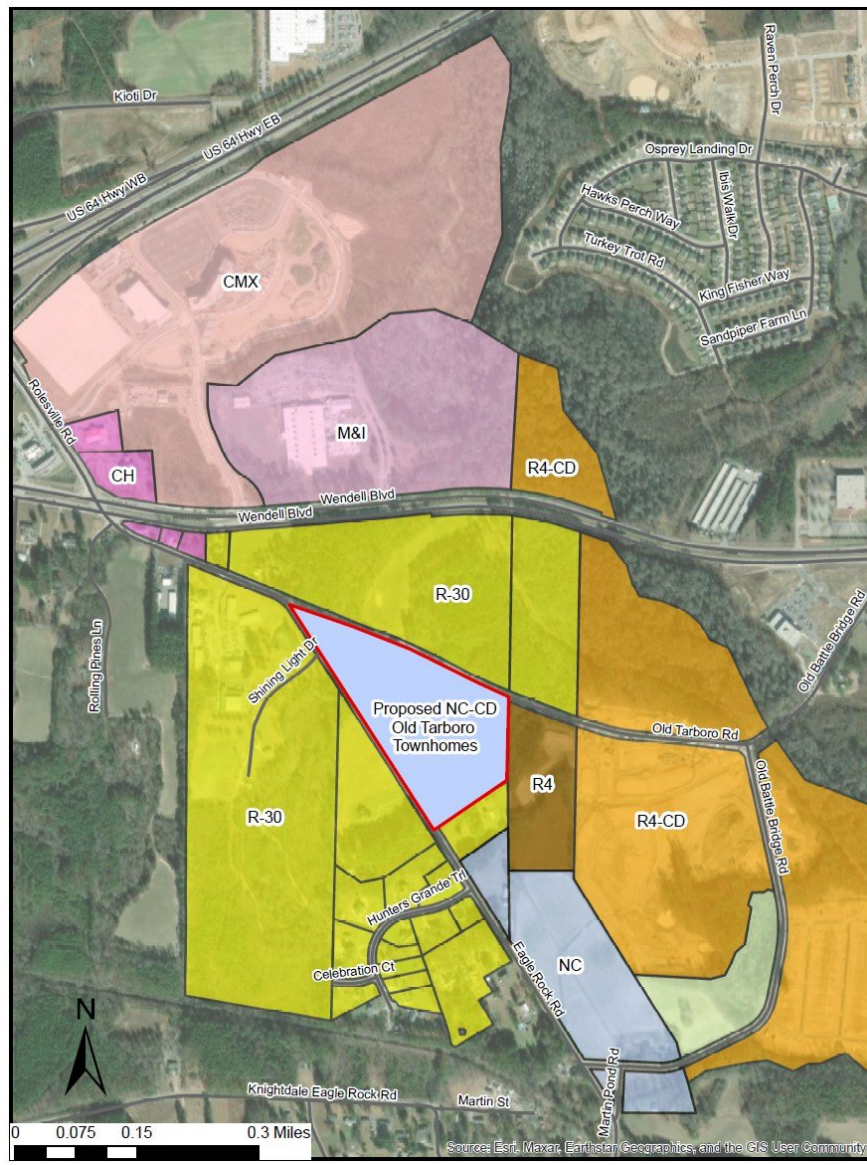
The proposed annexation area would require services from the Town's Police, Public Works, and Parks and Recreation Departments if annexed and developed. Secondary service impacts will be incurred by other Town departments that support the operational departments. The property is already served by the Wendell-Holmes Fire District. Water and sewer are readily available to the property and provided by the Wendell Service Area by the City of Raleigh

Utilities Department. Specific impacts are dependent on the use, density, and design of development and subject to approvals for utility allocations and land use.

Project Setting – Surrounding Districts and Land uses:

DIRECTION	LANDUSE	ZONING
North	Vacant	R-30
South	Residential	R-30/NC
East	Vacant/Residential	R-30/R4
West	Residential/College	R-30

Zoning Map



Zoning District

The subject property is currently located in Wake County Residential-30 zoning district. The surrounding properties are zoned Residential-30 (R-30), Residential-4 (R4), and Neighborhood Center (NC).

The request is for Neighborhood Center Conditional District (NC-CD). The Neighborhood Center District is coded to provide areas for residential and mixed-use development in close proximity to existing and planned neighborhood centers. The intent is to create higher density residential areas that complement commercial districts with physical proximity and pedestrian connectivity. Different housing types and lot styles are encouraged. Development in this district should encourage pedestrian use through connections to adjacent neighborhoods and the construction of mixed-use buildings.

The lot dimensions required by the Unified Development Ordinance and those proposed by the applicant are below:

NC UDO Required Dimensions

Lot Width: 16 feet

Front Setback: 0 feet (10 feet)*

Side Setback: 5 or 10 feet (between bldgs.)

Rear Setback: 0 feet

Proposed Dimensions by the Applicant

Lot Width: 20 feet

Front Setback: 0 feet (10 feet)*

Side Setback: 5 or 10 feet (between bldgs.)

Rear Setback: 0 feet

Setback Where Driveway Located: 20 feet

*Along designated throughfares or collector streets, the minimum front setback shall be 10 feet.

- The applicant's proposal meets all setbacks within the NC zoning district for townhomes.

Proposed Zoning Conditions

The applicant has proposed the following zoning conditions:

1. The minimum heated square footage of each townhome unit shall be 1,500 square feet.
2. Each unit of a townhouse building shall have a garage.
 - a. Garages on front-loaded townhomes will be a one-car garage of at least 16'-8" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window. Garage doors on front-loaded townhomes must contain carriage-style adornments.
 - b. Garages on rear-loaded townhomes will be a two-car garage of at least 19'-0" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window.
3. Townhouse units shall have a covered front stoop.
4. Vinyl siding is prohibited except for trim elements. At least two (2) of the following materials shall be used on each townhouse building: wood, fiber-cement, metal,

masonry brick, brick veneer, masonry stone, stone veneer, board and batten, or synthetic stone.

5. A minimum of 12" roof overhang shall be provided along the front and back of each townhouse unit. End units will have 12" roof overhang along on the sides.
6. A 10' wide supplemental screening buffer shall be maintained along the south of Old Tarboro Road as shown on Sheet C4.0 of the approved master plan. Except where existing plant material is used, the screening buffer shall consist of 12 understory trees and 48 shrubs per 100 linear feet (in addition to required street trees). Existing plant material may be used but shall be supplemented to meet the requirements of the supplemental screening buffer as defined in the master plan.
7. All townhouse end units and apartment buildings shall have at least one window per floor.
8. Townhouse buildings shall have at least (2) front facing gables.
9. To avoid monotony of exterior elevations, a 2' offset in the front façade shall be used every third townhouse unit at a minimum.
10. Townhouse buildings shall have window shutters on at least 25% of the windows on the front façade.
11. Townhouse buildings shall contain an element of each of the following siding styles: horizontal, shake or board and batten.
12. Each townhouse unit shall utilize a decorative front door with minimum 10% glazing.
13. Each townhome lot shall have a minimum width of 20 feet and a minimum depth of 80 feet.
14. Amenities shown on the Master Plan (including a pool, pickle ball courts, playground, dog park) shall be provided as shown on the Master Plan and maintained by the Property Owners Association/Home Owners Association (the "HOA"). All improved open space areas will include paved walkways, public seating, supplemental plantings, trash receptacles, and bicycle parking in accordance with Wendell UDO 7.4, A.2.a.
15. HOA shall be responsible for mowing grass within the development and caring for landscaping in commonly owned areas. The initial covenants for the HOA will provide that the HOA is responsible for maintenance of the roofs on the townhouse buildings.
16. Townhome use shall be permitted by right as part of the approved conditional uses.
17. Street 'A' shall be a local street exempt from the standards for a local street set out in section 9.4 of the UDO. Street 'A' shall comply with the following standards set out in the Master Plan:
 - a. Right-of-way width: 52 feet

- b. Pavement width: 22 feet
 - c. Curb & gutter: 2.5-feet (both sides of street)
 - d. Planting strip: 7-feet (on side of street without multi-use path), 5 feet (on side of street with multi-use path)
 - e. Multi-use path: 10 feet (one side of street)
18. Street 'F' shall be a local street exempt from the standards for a local street set out in section 9.4 of the UDO. Street 'F' shall comply with the following standards set out in the Master Plan:
- a. Right-of-way width: 36-feet
 - b. Pavement width: 22-feet (two 11-foot lanes)
 - c. Curb & gutter: 2.5-feet (both sides of street)
 - d. Planting strip: 7-feet (both sides of street)
 - i. North side of street is partially within the right-of-way and partially within a 5-foot landscape easement.
 - ii. South side of street is completely within the right-of-way.
 - e. Sidewalk: 5-feet (south side of street, within a 6-foot easement outside of the right-of-way)
19. A 10' wide multi-purpose path shall be provided on the property adjacent to the Eagle Rock Road right-of-way or within the adjacent Eagle Rock Road right-of-way between Old Tarboro Road and the property's shared boundary with 729 Eagle Rock Road (PIN: 1774456682, Estate File 11-e-2338).
20. The initial site construction plan for the property shall provide that the area labeled "12,800 sf to be reserved for potential future R.O.W." on the master plan shall be reserved and not built upon pending the realignment of Eagle Rock Road. The Town may request at or after the first development application for the property that the owner dedicate right-of-way and/or grant easements through portions of said area that the NCDOT actually has deemed reasonably necessary for the Eagle Rock Road alignment. To the extent necessary, the property owner may complete grading in the area subject to this condition prior to the recordation of any dedication or grant of easement.

Public Utilities

Development of this site will require connection to city water and sewer.

Environmental

The applicant will need to obtain stormwater and sedimentation-erosion control permits from Wake County Environmental Services before any site work can commence. The proposed

development plan will need to meet the requirements of the UDO. Wake County provides stormwater, sedimentation, and erosion control services for the Town of Wendell.

- The proposed plans show the development creating three stormwater control measures.

Buffers

UDO Section 8.6.A requires a 10-foot Type C buffer between NC and R4 based on the zoning districts alone; however, since the townhome use is more intense than an adjacent existing single-family residential use, a 20-foot Type B is required in those areas. Section 8.9 requires a 10-foot street yard where any rear yard abuts a street right-of-way.

- The proposed development plan includes a 20-foot Type B buffer along the northern and southern boundaries since these abut existing single-family residential uses. A Type B buffer requires one tree every 25 feet and one shrub every 6 feet.
- A 10-foot-wide supplemental screening buffer is provided along the eastern property line and will consist of 12 understory trees and 48 shrubs per 100 feet. A Typical 10-foot Type C buffer would be one tree every 40 feet and one shrub every 8 feet.
- The proposed development plan includes a 10-foot street yard buffer along Eagle Rock Road and Old Tarboro Road. A street yard buffer for the proposed townhome use is two canopy trees per 100 linear feet of frontage.

Open Space

UDO Section 7.5 requires 1,000 square feet of open space per townhome dwelling unit. UDO Section 7.4 requires that 75% of the required open space be passive and 25% be improved park space of which 1/3 needs to be considered active.

- The proposed development plan of 127 townhome units needs to have a minimum 127,000 square feet of Open Space. The applicant is proposing 127,432 square feet of open space. The active open space will include a pool, bathhouse, pickle ball courts, playground and dog park.

Streams and Wetlands

UDO Section 16.3 Environmental Survey requires that all streams, wetlands, floodplains, and other features be shown on preliminary plans.

- The current development plan does show the locations of streams and wetlands. No floodplain exists on site. A stream runs along the southeastern side of the site and the development plan shows the required 50' Neuse Riparian Buffer which is measured from the top of the stream bank.
- No proposed lots are within the 50' Neuse Riparian Buffer.

Transportation

UDO Section 16.11 requires a Traffic Impact Analysis (TIA) for a development plan that exceeds 100 peak hour trips per day. The applicant prepared a TIA for the proposed development.

The TIA contains the following roadways and improvements:

Eagle Rock Road at Shining Light Drive/Street B (North Site Driveway):

- Construct the North Site Driveway as a right-in/right-out driveway with one ingress lane and one egress lane.

Eagle Rock Road at Street A (Central Site Driveway):

- Construct an exclusive southbound left-turn lane on Eagle Rock Road with 50 feet of storage and appropriate tapers.
- Construct the Central Site Driveway with one ingress lane and one egress lane.

Eagle Rock Road at Minor Thoroughfare (South Site Driveway):

- Construct Minor Thoroughfare (South Site Driveway) with one ingress lane and one egress lane.

Old Tarboro Road at Street E (West Site Driveway):

- Construct the West Site Driveway as a right-in/right-out driveway with one ingress lane and one egress lane.

Old Tarboro Road at Street A (Central Site Driveway):

- Construct the Street A (Central Site Driveway) with one ingress lane and one egress lane.

Old Tarboro Road at Street D (East Site Driveway):

- Construct the East Site Driveway with one ingress lane and one egress lane.

The applicant has worked with Town Staff to reserve roughly a quarter acre of area at the intersection of Old Tarboro Road and Eagle Rock Road for future right of way if needed as the Town plans for the adjustment of Eagle Rock Road. As part of the reservation of future right of way the Street B connection to Eagle Rock Road has been eliminated. The road connectivity without the Street B connection still complies with the Town of Wendell UDO regulations and provides ample ingress and egress points for the proposed neighborhood.

Eagle Rock Road is a future four-lane divided road. A four-lane undivided roadway contains a 110-foot right-of-way that includes 12-foot travel lanes, 5-foot bike lanes, 6-foot sidewalks and street trees. In the Arterial & Collector Street Plan, the extension of Eagle Rock Road is shown to extend north from Old Tarboro to the Wake Tech Entrance at Wendell Boulevard. The Town of Wendell is undergoing an RFQ process to have the extension studied to determine the future location. As part of the study Eagle Rock Road could be extended northeast to the entrance of Micro Measurements therefore having the area reserved for future right of way at Old Tarboro Road and Eagle Rock Road is important and needed.

If the land is not needed for the future extension of Eagle Rock Road, then it will be retained as open space within the proposed community.

The plan also identifies the Minor Thoroughfare as a three-lane undivided roadway which contains a 79-foot right-of-way that includes 12-foot travel lanes, 5-foot bike lanes, 6-foot sidewalks and street trees.

- All road frontages will contain 5-foot sidewalks throughout the development except for Eagle Rock Road which will have a 10-foot multi-use path and the Minor Thoroughfare that will have 6-foot sidewalks.
- The proposed streets within the development meet the Town of Wendell local street standards and have a 52-foot ROW.
- In addition, the site plan is providing 27 off-street parking spaces at the amenity center, 15 parking spaces at the mail kiosks, and five more at the dog park. There are 24 parking spaces shown in the multi-family section that will be in addition to garages as required by zoning condition #5.

Phasing

The current plan shows one phase.

Comprehensive Plan

The Wendell Blueprint 2030 Comprehensive Plan identifies this parcel as both Medium Residential Living 2.

MEDIUM RESIDENTIAL LIVING - 2 MRL-2

Characterized by moderate-density residential development, this area is composed of predominantly single-family detached homes but may have attached single-family units such as townhomes and duplexes. The mix of housing types is intended to create intergenerational neighborhoods. The average density of these neighborhoods is between 4 and 8 dwelling units per acre. Improved open spaces in the form of greens, pocket parks, and neighborhood parks are interspersed. Greenway trails connect internally as well as provide links to trails and walkways in neighboring development.

USES + BUILDINGS

- Existing Development:**
- Single-family detached homes, up to 4 unit per acre sf/ac
 - Attached single-family: Duplex

- New Development:**
- Medium-lot single-family detached homes
 - Small-lot single-family detached homes
 - Pocket neighborhood cottages
 - Attached single-family: Duplex, Triplex, Townhome

- Both:**
- Accessory dwelling units*
 - Neighborhood centers and amenity buildings (clubhouses)
 - Off-street parking

STREET PATTERN

- Street Pattern:** Grid / Modified Grid
- Max Block Length:**
- 400'
 - 800' with mid-block pedestrian connections

- Connectivity:**
- Highly connected internally and externally (to adjacent development)

- Street Types:**
- Private
 - Local 2-lane
 - Local 2-lane divided

OPEN SPACE

- Pocket parks
- Formal and informal greens
- Neighborhood parks
- Greenway trails



The proposed project meets characteristics outlined in the descriptions of the Medium Residential Living – 2 placetype as it relates to uses, street pattern, street types, connectivity and open space.

- Moderate-density comprised of single-family or attached single-family units such as townhomes or duplexes. The section of the project that contains townhomes is coded as MRL-2.
- Density of these neighborhoods between 4 and 8 dwelling units per acre. The proposed project will have a density of 7.24 units/acre.
- Improved open spaces in the form of pocket and neighborhood parks. The proposed development has a dog park, playground, pool and pickleball courts.

Statement of Plan Consistency and Reasonableness

Any recommended change to the zoning map should be accompanied by a statement explaining how the change is/is not consistent with the comprehensive plan and is/is not reasonable in nature.

The plan is consistent with Blueprint Wendell 2030, as outlined above, and could be considered reasonable as it assists with the plan goals listed below:

- Neighborhoods & Housing NH3. Diversify housing to appeal to different groups: age, income, lifestyle preferences, family situations.
- Connectivity C2. Improve the connectivity, robustness, and resiliency of the transportation system within and near Wendell. The project is reserving 12,800 square feet for a future right-of-way to facilitate the future realignment of Eagle Rock Road.

Technical Review Committee (TRC) Comments:

The Technical Review Committee has completed their review of the applicant's Master Plan and the applicant has made corrections based on their comments. Additional review would occur upon submittal of construction drawings (final development plan for conditional districts).

Neighborhood Meeting

A neighborhood meeting was held virtually on May 29, 2024, with three people in attendance. The minutes from the meeting are included in the attachments.

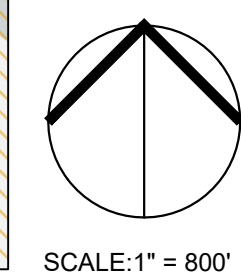
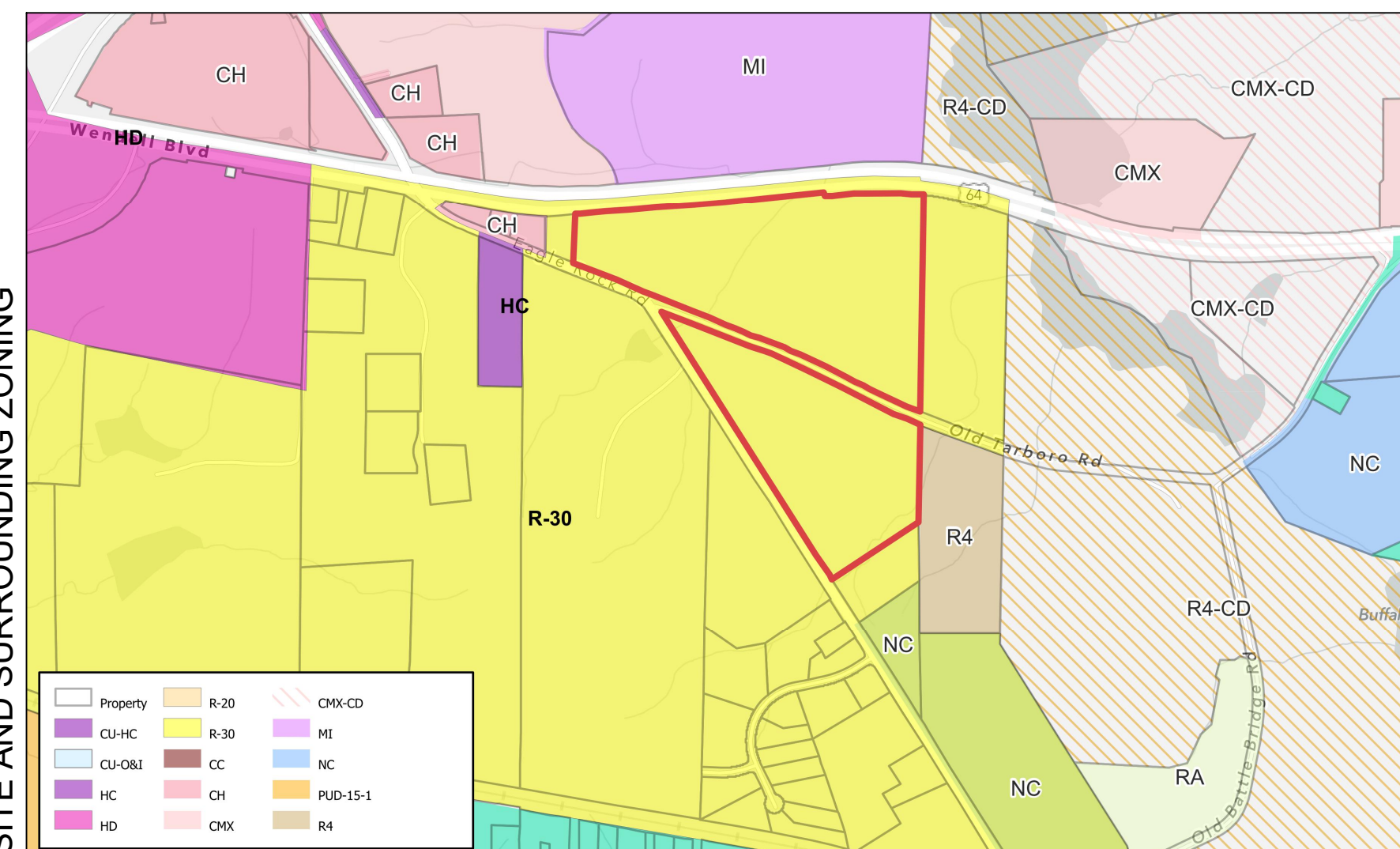
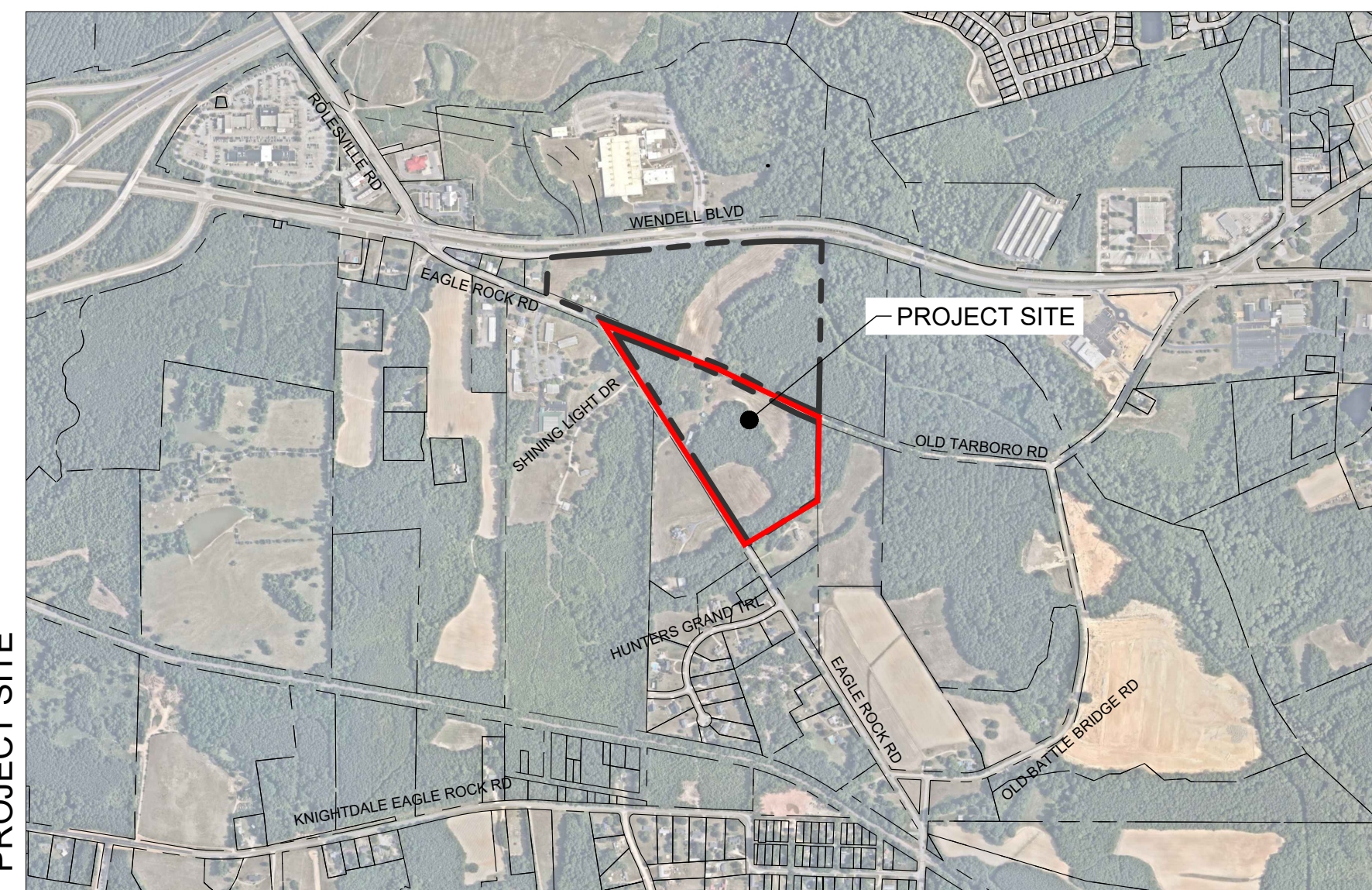
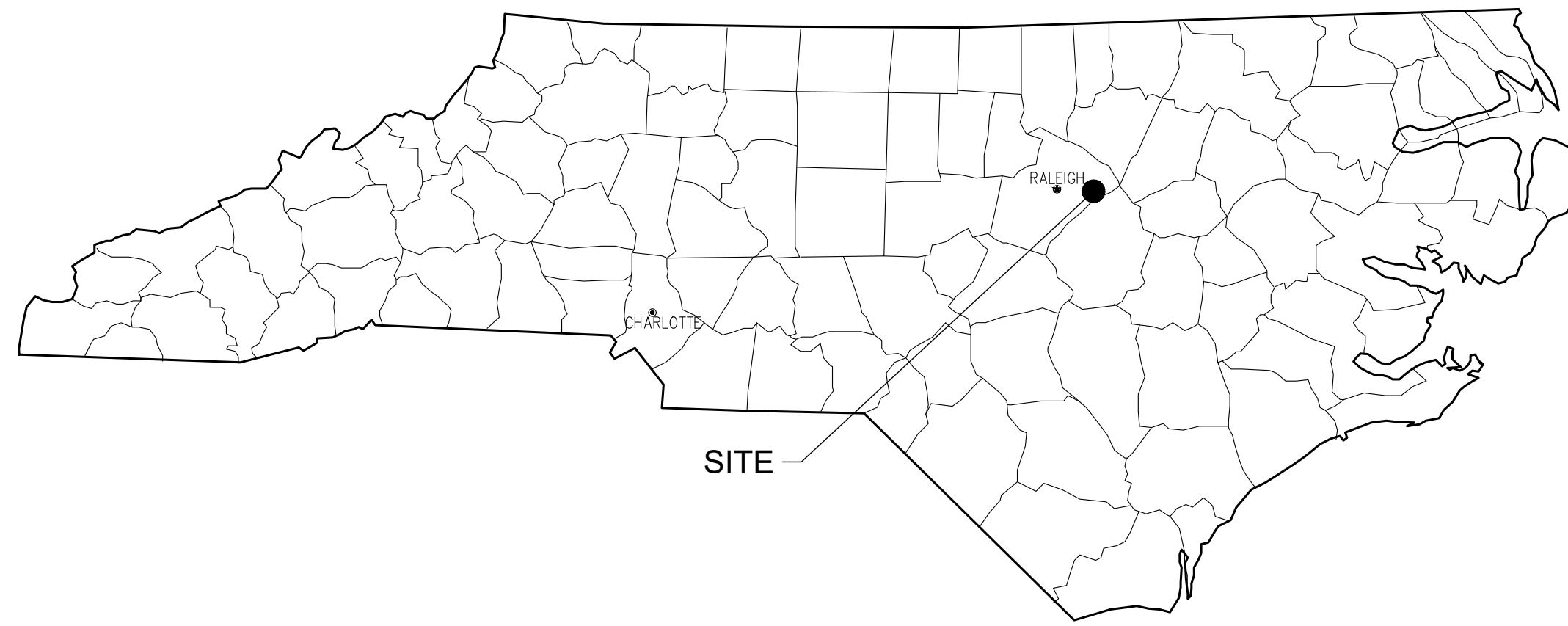
Staff Comments:

The proposed development is consistent with the Wendell Comprehensive Plan – Blueprint Wendell 2030 and could be considered reasonable since it fulfills the goals of the comprehensive plan noted above and therefore staff recommends approval.

MASTER PLAN DOCUMENT

OLD TARBORO ROAD RESIDENTIAL

617 OLD TARBORO ROAD
WENDELL, WAKE COUNTY, NORTH CAROLINA, 27591
TOWN OF WENDELL CASE NUMBER CD22-02



SHEET LIST TABLE	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C2.00	PROPOSED SITE PLAN
C2.10	ROAD CENTERLINE GEOMETRY
C2.20	LOT DIMENSION TABLE
C3.00	UTILITY PLAN
C4.00	LANDSCAPE PLAN
C5.00	SUPPORTING DETAILS
C5.10	SUPPORTING DETAILS

SITE DATA TABLE	
PIN	1774471144 (PARTIAL)
REAL ESTATE ID	0046749 (PARTIAL)
DEVELOPMENT NAME	OLD TARBORO ROAD RESIDENTIAL
PROPERTY OWNER(S)	NANCY GARDNER, JANICE MEDLIN JONES 3715 SWIFT DR, RALEIGH NC 27806-2543
DEVELOPER	HAILEY DEVELOPMENT, L.C. 3905 NATIONAL DRIVE, SUITE 105, BURTONSVILLE, MD 20866
EXISTING LAND USE	SINGLE FAMILY, AGRICULTURE
EXISTING ZONING	R-30
GROSS SITE AREA	19.12 ACRES
RIGHT-OF-WAY DEDICATION (OLD TARBORO RD, EAGLE ROCK RD, ASTRONEDA AVE)	2.14 ACRES
NET SITE AREA (DEVELOPABLE AREA)	16.98 ACRES
PROPOSED RIGHT-OF-WAY (STREETS A, B, C, & F)	4.54 ACRES
PROPOSED LAND USE	TOWNHOMES
PROPOSED ZONING	NEIGHBORHOOD CENTER CONDITIONAL DISTRICT (NC-CD)
TOTAL LOTS AND HOUSING UNITS	127 TOWNHOME LOTS (127 UNITS; 20' MIN. LOT WIDTH; 80' MIN. LOT DEPTH) 127 HOUSING UNITS
LOT SETBACKS	FRONT: 0' (10' ALONG DESIGNATED THOROUGHFARES & COLLECTOR STREETS) REAR: 0' DRIVEWAY: 20' (ON WHICHEVER SIDE OF THE LOT CONTAINS A DRIVEWAY) SIDE & CORNER: 5' (10' BETWEEN BUILDINGS)
BEDROOMS PER UNIT	3 BEDROOMS (ALL 127 UNITS)
GROSS DENSITY PER ACRE PROVIDED	7.24 LOTS PER ACRE
LINEAR FEET OF STREETS	36' LOCAL STREET RW: 812 LF 52' LOCAL STREET RW: 2,542 LF 79' 3 LANE UNDIVIDED RW: 508 LF 110' 4 LANE DIVIDED RW: 1,652 LF ALLEY: 1,109 LF
OPEN SPACE REQUIRED	127 TOWNHOME UNITS * 1,000 SF = 127,000 SF (1,000 SF PER UNIT) 127,000 SF TOTAL OPEN SPACE REQUIRED
OPEN SPACE PROVIDED	127,432 SF
FEMA DATA	FIRM PANEL 3720177400J, DATED 5/2/2006

OPEN SPACE (UDO CHAPTER 7)	
TOTAL OPEN SPACE	REQUIRED: 127 TH LOTS X 1,000 SF = 127,000 SF PROVIDED: 127,432 SF
IMPROVED OPEN SPACE	REQUIRED: 127,000 SF X 25% = 31,750 SF PROVIDED: POOL - 10,000 SF PICKLEBALL COURTS - 6,500 SF PLAYGROUND - 3,500 SF DOG PARK - 10,000 SF OS-D - 4,505 SF OS-I - 6,036 SF TOTAL - 40,541 SF
ACTIVE OPEN SPACE	REQUIRED: 31,750 SF X 33% = 10,478 SF PROVIDED: POOL - 10,000 SF PICKLEBALL COURTS - 6,500 SF PLAYGROUND - 3,500 SF DOG PARK - 10,000 SF TOTAL - 30,000 SF
PASSIVE OPEN SPACE	MAXIMUM: 127,000 SF X 75% = 95,250 SF PROVIDED: OS-A - 12,699 SF OS-B - 5,826 SF OS-C - 19,411 SF OS-E - 1,741 SF OS-F - 42,845 SF OS-G - 3,227 SF OS-H - 2,142 SF TOTAL - 86,891 (68.4%) 34,629 SF WITHIN ENVIRONMENTAL AREAS

GENERAL NOTES

- BOUNDARY INFORMATION HAS BEEN FIELD MAPPED AND PROVIDED BY SURVEY AND MAPPING DATED 01/11/2022.
- ALL POTENTIAL JURISDICTIONAL STREAMS AND WETLANDS HAVE BEEN PRELIMINARILY MAPPED BY KIMLEY-HORN & ASSOCIATES AND WILL NEED TO BE VERIFIED PRIOR TO DESIGN DEVELOPMENT.
- FIELD TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
- THESE PLANS ARE FOR REZONING, ANNEXATION AND MASTER PLANNING PURPOSES ONLY AND ARE NOT RELEASED FOR CONSTRUCTION. CONSTRUCTION DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE SUBMITTAL PACKAGE AND PROCESS.
- ALL UTILITIES ARE TO BE LOCATED UNDERGROUND AND SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL PARKING HAS BEEN ANTICIPATED TO BE LOCATED ON STREET AS ALLOWED IN THE LOCAL STREET STREET SECTIONS.
- SIGN PERMITS SHALL BE REQUIRED FOR ANY SIGNAGE IN THE TOWN OF WENDELL. PERMITS WILL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGN PERMITTING IS A SEPARATE SUBMITTAL AND REVIEW AND APPROVAL PROCESS.
- AN EROSION CONTROL PERMIT IS REQUIRED FROM WAKE COUNTY ENVIRONMENTAL SERVICES PRIOR TO ANY GRADING ON THIS SITE. GRADING CONTRACTOR SHALL CONTACT WAKE COUNTY FOR FINAL VERIFICATION OF ON-SITE EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.
- NO REVISIONS MAY BE MADE WITHOUT PERMISSION FROM THE PERMIT ISSUING AUTHORITY.
- ALL LANDSCAPING SHOULD BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF WENDELL'S STANDARDS.
- DO NOT SCALE DRAWINGS. DIGITAL INFORMATION SHALL BE PROVIDED FOR CONSTRUCTION.
- LOT RECOMBINATION SHALL BE DONE TO DIVIDE THE EXISTING PROPERTY INTO TWO DIFFERENT PARCELS.
- ACTIVE AND PASSIVE OPEN SPACE AREAS AND AMENITY FACILITIES ARE TO BE OWNED AND MAINTAINED BY PROPERTY OWNERS ASSOCIATION.
- AT TIME OF SIGNAGE AND MARKING PLANS, PLANS SHALL ENSURE THAT ALL AREAS WHERE ON STREET PARKING IS PROHIBITED ARE CLEARLY MARKED.
- THE AMENITY AREA HAS BEEN SHOWN FOR REFERENCE ONLY WITHIN THIS DRAWING PACKAGE. THE AMENITY PACKAGE WILL BE SUBMITTED UNDER A SEPARATE PACKAGE AND WILL FOLLOW A SEPARATE PROCESS PRIOR TO CONSTRUCTION.

PROPOSED NC-CD ZONING CONDITIONS

- THE MINIMUM HEATED SQUARE FOOTAGE OF EACH TOWNHOME UNIT SHALL BE 1,500 SQUARE FEET.
- EACH UNIT OF A TOWNHOUSE BUILDING SHALL HAVE A GARAGE.
 - GARAGES ON FRONT-LOADED TOWNHOMES WILL BE A ONE CAR GARAGE OF AT LEAST 16'-0" x 19'-0" IN SIZE IN ORDER TO ACCOMMODATE REFUSE CONTAINERS AND HAVE A GARAGE DOOR WITH A WINDOW. GARAGE DOORS ON FRONT-LOADED TOWNHOMES MUST CONTAIN CARRIAGE-STYLE ADORNMENTS.
 - GARAGES ON REAR-LOADED TOWNHOMES WILL BE A TWO CAR GARAGE OF AT LEAST 19'-0" x 19'-0" IN SIZE IN ORDER TO ACCOMMODATE REFUSE CONTAINERS AND HAVE A GARAGE DOOR WITH A WINDOW.
- TOWNHOUSE UNITS SHALL HAVE A COVERED FRONT STOOP.
- VINYL SIDING IS PROHIBITED EXCEPT FOR TRIM ELEMENTS. AT LEAST TWO (2) OF THE FOLLOWING MATERIALS SHALL BE USED ON EACH TOWNHOUSE BUILDING: WOOD, FIBER-CEMENT, METAL, MASONRY BRICK, BRICK VENEER, MASONRY STONE, STONE VENEER, BOARD AND BATTEN, OR SYNTHETIC STONE.
- A MINIMUM OF 12" ROOF OVERHANG SHALL BE PROVIDED ALONG THE FRONT AND BACK OF EACH TOWNHOUSE UNIT. END UNITS WILL HAVE 12" ROOF OVERHAND ALONG ON THE SIDES.
- A 10' WIDE SUPPLEMENTAL SCREENING BUFFER SHALL BE MAINTAINED ALONG THE SOUTH OF OLD TARBORO ROAD AS SHOWN ON SHEET C4.0 OF THE APPROVED MASTER PLAN. EXCEPT WHERE EXISTING PLANT MATERIAL IS USED, THE SCREENING BUFFER SHALL CONSIST OF 12 UNDERSTORY TREES AND 48 SHRUBS PER 100 LINEAR FEET (IN ADDITION TO REQUIRED STREET TREES). EXISTING PLANT MATERIAL MAY BE USED, BUT SHALL BE SUPPLEMENTED TO MEET THE REQUIREMENTS OF THE SUPPLEMENTAL SCREENING BUFFER AS DEFINED IN THE MASTER PLAN.
- ALL TOWNHOUSE END UNITS SHALL HAVE AT LEAST ONE WINDOW PER FLOOR.
- TOWNHOUSE BUILDINGS SHALL HAVE AT LEAST (2) FRONT FACING GABLES.
- TO AVOID MONOTONY OF EXTERIOR ELEVATIONS, A 2' OFFSET IN THE FRONT FAÇADE SHALL BE USED EVERY THIRD TOWNHOUSE UNIT AT A MINIMUM.
- TOWNHOUSE BUILDINGS SHALL HAVE WINDOW SHUTTERS ON AT LEAST 25% OF THE WINDOWS ON THE FRONT FAÇADE.
- TOWNHOUSE BUILDINGS SHALL CONTAIN AT LEAST TWO ELEMENTS OF THE FOLLOWING SIDING STYLES: HORIZONTAL, SHAKE AND BOARD AND BATTEN.
- EACH TOWNHOUSE UNIT SHALL UTILIZE A DECORATIVE FRONT DOOR WITH MINIMUM 10% GLAZING.
- EACH TOWNHOUSE LOT SHALL HAVE A MINIMUM WIDTH OF 20 FEET AND A MINIMUM DEPTH OF 80 FEET.
- AMENITIES SHOWN ON THE MASTER PLAN (INCLUDING A POOL, PICKLE BALL COURT, PLAYGROUND, DOG PARK) SHALL BE PROVIDED AS SHOWN ON THE MASTER PLAN AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION/HOME OWNERS ASSOCIATION (THE "HOA"). ALL IMPROVED OPEN SPACE AREAS WILL INCLUDE PAVED WALKWAYS, PUBLIC SEATING, SUPPLEMENTAL PLANTINGS, TRASH RECEPTACLES, AND BICYCLE PARKING IN ACCORDANCE WITH WENDELL UDO 7.4.1.2.A.
- HOA SHALL BE RESPONSIBLE FOR MOWING GRASS WITHIN THE DEVELOPMENT AND CARING FOR LANDSCAPING IN COMMONLY-OWNED AREAS. THE INITIAL COVENANTS FOR THE HOA WILL PROVIDE THAT THE HOA IS RESPONSIBLE FOR MAINTENANCE OF THE ROOFS ON THE TOWNHOUSE BUILDINGS.
- TOWNHOUSE USES SHALL BE PERMITTED BY RIGHT AS PART OF THE APPROVED CONDITIONAL USES.
- STREET 'A' SHALL BE A LOCAL STREET EXEMPT FROM THE STANDARDS FOR A LOCAL STREET SET OUT IN SECTION 9.4 OF THE UDO. STREET 'A' SHALL COMPLY WITH THE FOLLOWING STANDARDS SET OUT IN THE MASTER PLAN:
 - RIGHT-OF-WAY WIDTH: 52 FEET
 - PAVEMENT WIDTH: 22 FEET
 - CURB & GUTTER: 2.5 FEET (BOTH SIDES OF STREET)
 - PLANTING STRIP: 7 FEET (ON SIDE OF STREET WITHOUT MULTI-USE PATH), 5 FEET (ON SIDE OF STREET WITH MULTI-USE PATH)
 - MULTI-USE PATH: 10 FEET (ONE SIDE OF STREET)
- STREET 'F' SHALL BE A LOCAL STREET EXEMPT FROM THE STANDARDS FOR A LOCAL STREET SET OUT IN SECTION 9.4 OF THE UDO. STREET 'F' SHALL COMPLY WITH THE FOLLOWING STANDARDS SET OUT IN THE MASTER PLAN:
 - RIGHT-OF-WAY WIDTH: 36 FEET
 - PAVEMENT WIDTH: 22 FEET (TWO 11-FOOT LANES)
 - CURB & GUTTER: 2.5 FEET (BOTH SIDES OF STREET)
 - PLANTING STRIP: 7 FEET (BOTH SIDES OF STREET)
 - NORTH SIDE OF STREET IS PARTIALLY WITHIN THE RIGHT-OF-WAY AND PARTIALLY WITHIN A 5-FOOT LANDSCAPE EASEMENT.
 - SOUTH SIDE OF STREET IS COMPLETELY WITHIN THE RIGHT-OF-WAY.
 - SIDEWALK: 5 FEET (SOUTH SIDE OF STREET, WITHIN A 5-FOOT EASEMENT OUTSIDE OF THE RIGHT-OF-WAY)
- A 10' WIDE MULTI-USE PATH SHALL BE PROVIDED ON THE PROPERTY ADJACENT TO THE EAGLE ROCK ROAD RIGHT-OF-WAY OR WITHIN THE ADJACENT EAGLE ROCK ROAD RIGHT-OF-WAY BETWEEN OLD TARBORO ROAD AND THE PROPERTY'S SHARED BOUNDARY WITH 729 EAGLE ROCK ROAD (PIN 1774456682, ESTATE FILE 11-E-2338).
- THE INITIAL SITE CONSTRUCTION PLAN FOR THE PROPERTY SHALL PROVIDE THAT THE AREA LABELED "12,800 SF TO BE RESERVED FOR POTENTIAL FUTURE R.O.W." ON THE MASTER PLAN SHALL BE RESERVED AND NOT BUILT UPON PENDING THE REALIGNMENT OF EAGLE ROCK ROAD. THE TOWN MAY REQUEST AT OR AFTER THE FIRST DEVELOPMENT APPLICATION FOR THE PROPERTY THAT THE OWNER DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENTS THROUGH PORTIONS OF SAID AREA THAT THE NCDOT ACTUALLY HAS DEEMED REASONABLY NECESSARY FOR THE EAGLE ROCK ROAD REALIGNMENT. TO THE EXTENT NECESSARY, THE PROPERTY OWNER MAY COMPLETE GRADING IN THE AREA SUBJECT TO THIS CONDITION PRIOR TO RECORDATION OF ANY DEDICATION OR GRANT OF EASEMENT.

City of Raleigh Public Utilities Department

Preliminary approval only. Does not constitute construction approval for any proposed water or sewer main extensions. Valid only with signature of a City of Raleigh Review Officer. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

GOVERNING AGENCY CONTACTS:

PLANNING DEPARTMENT:
 409 LANDING VIEW DRIVE
 WENDELL, NC 27591
 (919)365-4448

UTILITIES:
 WATER AND SEWER - CITY OF RALEIGH
 (919)996-3245

STORMWATER & EROSION CONTROL:
 WENDELL PUBLIC WORKS
 (919)365-4822

PROJECT DESIGN TEAM:

DEVELOPER
 HAILEY DEVELOPMENT, L.C.
 3905 NATIONAL DRIVE, SUITE 105
 BURTONSVILLE, MD 20866

SURVEYOR
 SAM
 2641-116 SUMNER BLVD.
 RALEIGH, NC 27616

CIVIL ENGINEER
ENVIRONMENTAL
LANDSCAPE ARCHITECT

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600
 RALEIGH, NC 27601



APPROVAL SET	MRG	DATE
10	05/22/2024	
9	05/03/2024	
8	02/13/2024	
7	01/26/2024	
6	12/22/2023	
5	11/20/2023	
4	9/30/2022	

REVISIONS DUE TO COUNCIL FEEDBACK	MRG	DATE
10	05/22/2024	
9	05/03/2024	
8	02/13/2024	
7	01/26/2024	
6	12/22/2023	
5	11/20/2023	
4	9/30/2022	

COVER SHEET

OLD TARBORO ROAD
 RESIDENTIAL
 PREPARED FOR
 HAILEY DEVELOPMENT, LLC
 TOWN OF WENDELL
 NORTH CAROLINA

SHEET NUMBER
C0.00



- SITE PLAN NOTES:**
- SEE PLAN FOR MAIL KIOSK AND AMENITY PARKING LOCATIONS.
 - EAGLE ROCK ROAD SECTION SHALL ULTIMATELY FOLLOW THE TOWN OF WENDELL STANDARD 110' STREET SECTION. DEVELOPER WILL ONLY PROVIDE 27' DEDICATED R.O.W. 5' BIKE LANE AT EXISTING PAVEMENT EDGE, AND 10' MULTI-USE PATH ALONG PROPERTY BOUNDARY.
 - OLD TARBORO ROAD SECTION SHALL ULTIMATELY FOLLOW THE TOWN OF WENDELL STANDARD 52' STREET SECTION. THE EXISTING RIGHT-OF-WAY WIDTH IS 60'. THEREFORE THE PUBLIC UTILITY EASEMENT WILL BE REDUCED TO 5'. DEVELOPER WILL PROVIDE ONE TRAVEL LANE, ONE PLANTING STRIP, AND ONE SIDEWALK ON THE SOUTH SIDE OF THE OLD TARBORO ROAD CENTERLINE.
 - 5' BIKE LANE ON EAGLE ROCK ROAD SHALL NOT BE STRIPPED IN ACCORDANCE WITH NCDOT POLICY.
 - SEE SHEET 2.10 FOR ROAD CENTERLINE GEOMETRY.
 - SEE SHEET 2.20 FOR LOT DIMENSION INFORMATION.
 - AMENITY HAS BEEN PROVIDED FOR REFERENCE ONLY. REFER TO CONDITIONS FOR AMENITY COMMITMENTS.
 - ADA PARKING SPACES LOCATED AT MAIL KIOSK SHALL HAVE EITHER A FLUSH CURB CONDITION OR ADA ACCESSIBLE RAMP.

SITE DATA TABLE	
PIN	1774471144 (PARTIAL)
REAL ESTATE ID	0046749 (PARTIAL)
DEVELOPMENT NAME	OLD TARBORO ROAD RESIDENTIAL
PROPERTY OWNER(S)	NANCY GARDNER, JANICE MEDLIN JONES 3715 SWIFT DR. RALEIGH NC 27606-2543
DEVELOPER	HAILEY DEVELOPMENT, L.C. 3905 NATIONAL DRIVE, SUITE 105, BURTONSVILLE, MD 20866
EXISTING LAND USE	SINGLE FAMILY, AGRICULTURE
EXISTING ZONING	R-30
GROSS SITE AREA	19.12 ACRES
RIGHT-OF-WAY DEDICATION (OLD TARBORO RD, EAGLE ROCK RD, ASTROMEDA AVE)	2.14 ACRES
NET SITE AREA (DEVELOPABLE AREA)	16.98 ACRES
PROPOSED RIGHT-OF-WAY (STREETS A, B, C, & F)	4.54 ACRES
PROPOSED LAND USE	TOWNHOMES
PROPOSED ZONING	NEIGHBORHOOD CENTER CONDITIONAL DISTRICT (NC-CD)
TOTAL LOTS AND HOUSING UNITS	127 TOWNHOME LOTS (127 UNITS; 20' MIN. LOT WIDTH; 80' MIN. LOT DEPTH) 127 HOUSING UNITS
LOT SETBACKS	FRONT: 0' (10' ALONG DESIGNATED THROUGHFARES & COLLECTOR STREETS) REAR: 0' DRIVEWAY: 20' (ON WHICHEVER SIDE OF THE LOT CONTAINS A DRIVEWAY) SIDE & CORNER: 5' (10' BETWEEN BUILDINGS)
BEDROOMS PER UNIT	3 BEDROOMS (ALL 127 UNITS)
GROSS DENSITY PER ACRE PROVIDED	7.24 LOTS PER ACRE
LINEAR FEET OF STREETS	36' LOCAL STREET RW: 812 LF 52' LOCAL STREET RW: 2,542 LF 79' 3 LANE UNDIVIDED RW: 508 LF 110' 4 LANE DIVIDED RW: 1,652 LF ALLEY: 1,109 LF
OPEN SPACE REQUIRED	127 TOWNHOME UNITS * 1,000 SF = 127,000 SF (1,000 SF PER UNIT) 127,000 SF TOTAL OPEN SPACE REQUIRED
OPEN SPACE PROVIDED	127,432 SF
FEMA DATA:	FIRM PANEL 3720177400; DATED 5/22/2006

LEGEND

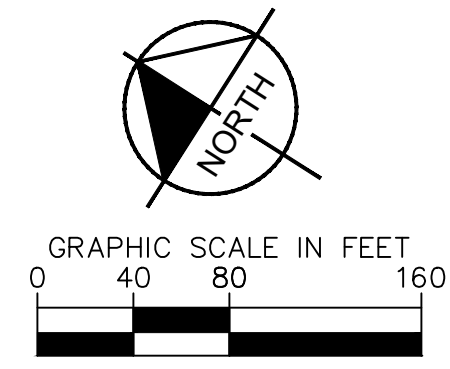
- PROPOSED PROPERTY LINE
- PROPOSED LOT LINE
- ACCESS EASEMENT
- PROPOSED CURB AND GUTTER
- 10' THROUGHFARE SETBACK
- FRONT / SIDE / REAR SETBACK
- LANDSCAPE BUFFER
- STREAM CENTERLINE
- NEUSE RIVER BUFFER
- EXISTING SANITARY SEWER
- EXISTING MANHOLE
- FEMA 100-YR FLOODPLAIN
- POTENTIAL WETLANDS
- APPROXIMATE MILL AND OVERLAY LOCATION
- PERMANENT ACCESS EASEMENT
- 20' WIDTH LOTS (64 LOTS & UNITS)
- 22' WIDTH LOTS (63 LOTS & UNITS)

RESIDENTIAL PARKING (UDO CHAPTER 19)	
REQUIRED:	2 SPACES PER LOT 127 LOTS x 2 = 254 SPACES REQUIRED
PROVIDED:	GARAGES - 127 SPACES DRIVEWAYS - 127 SPACES ON-STREET* - 63 SPACES TOTAL - 317 SPACES

*ON-STREET PARKING ASSUMES 20' PARKING SPACE LENGTH AND 8' PARKING SPACE WIDTH. ON-STREET PARKING LOCATIONS WILL NOT INCLUDE AREAS WITHIN SIGHT DISTANCE TRIANGLES OR AREAS IN FRONT OF PROPOSED DRIVEWAYS. ON-STREET PARKING WILL BE LIMITED TO ONE SIDE OF ANY STREET.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF WENDELL/CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT/WAKE COUNTY AND/OR NCDOT.

SURVEY NOTE:
EXISTING CONDITIONS TAKEN FROM BOUNDARY SURVEY PROVIDED BY SURVEY AND MAPPING NC (2641-116 SUMMER BLVD., RALEIGH, NC 27616) DATED 01/11/2022. EXISTING CONTOURS SHOWN TAKEN FROM PUBLICLY AVAILABLE GIS DATA. EXISTING WATER UTILITY TAKEN FROM GIS INFORMATION PROVIDED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.



OPEN SPACE DESCRIPTIONS	
OS-A	PASSIVE OPEN SPACE: 12,899 SF (803 SF IN ENVIRONMENTAL AREAS)
OS-B	PASSIVE OPEN SPACE: 5,826 SF
AMENITY AREA	IMPROVED OPEN SPACE: 28,000 SF (20,000 SF ACTIVE IMPROVED OPEN SPACE)
OS-C	PASSIVE OPEN SPACE: 18,411 SF (18,411 SF IN ENVIRONMENTAL AREAS)
OS-D	IMPROVED OPEN SPACE: 4,505 SF
OS-E	PASSIVE OPEN SPACE: 1,741 SF
DOG PARK	IMPROVED OPEN SPACE: 10,000 SF (10,000 SF ACTIVE IMPROVED OPEN SPACE)
OS-F	PASSIVE OPEN SPACE: 42,845 SF (15,415 SF IN ENVIRONMENTAL AREAS)
OS-G	PASSIVE OPEN SPACE: 3,227 SF
OS-H	PASSIVE OPEN SPACE: 2,142 SF
OS-I	IMPROVED OPEN SPACE: 6,036 SF

OPEN SPACE (UDO CHAPTER 7)	
TOTAL OPEN SPACE	REQUIRED: 127 TH LOTS X 1,000 SF = 127,000 SF PROVIDED: 127,432 SF
IMPROVED OPEN SPACE	REQUIRED: 127,000 SF X 25% = 31,750 SF PROVIDED: POOL - 10,000 SF PICKLEBALL COURTS - 6,500 SF PLAYGROUND - 3,500 SF DOG PARK - 10,000 SF OS-D - 4,505 SF OS-I - 6,036 SF TOTAL - 40,541 SF
ACTIVE OPEN SPACE	REQUIRED: 31,750 SF X 33% = 10,478 SF PROVIDED: POOL - 10,000 SF PICKLEBALL COURTS - 6,500 SF PLAYGROUND - 3,500 SF DOG PARK - 10,000 SF TOTAL - 30,000 SF
PASSIVE OPEN SPACE	MAXIMUM: 127,000 SF X 75% = 95,250 SF PROVIDED: OS-A - 12,899 SF OS-B - 5,826 SF OS-C - 18,411 SF OS-E - 1,741 SF OS-F - 42,845 SF OS-G - 3,227 SF OS-H - 2,142 SF TOTAL - 86,891 (68.4%) 34,629 SF WITHIN ENVIRONMENTAL AREAS

*PER TOWN OF WENDELL UDO CHAPTER 7, IMPROVED OPEN SPACE AREAS OS-D, OS-I, AND THE DOG PARK SHALL INCLUDE PUBLIC SEATING, SUPPLEMENTAL PLANTINGS, TRASH RECEPTACLES, BICYCLE PARKING, AND PAVED WALKWAYS.

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000
WWW.KIMLEY-HORN.COM
NC LICENSE #F-0102

APPROVAL SET

NO.	REVISIONS	DATE
9	REVISIONS DUE TO COUNCIL FEEDBACK	05/22/2024
8	APPROVAL SET	05/03/2024
7	RESPONSE TO TOWN COMMENTS	02/13/2024
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5	RESPONSE DUE TO COUNCIL FEEDBACK	12/22/2023
4	RESPONSE TO TOWN COMMENTS	11/20/2023
		09/02/2023

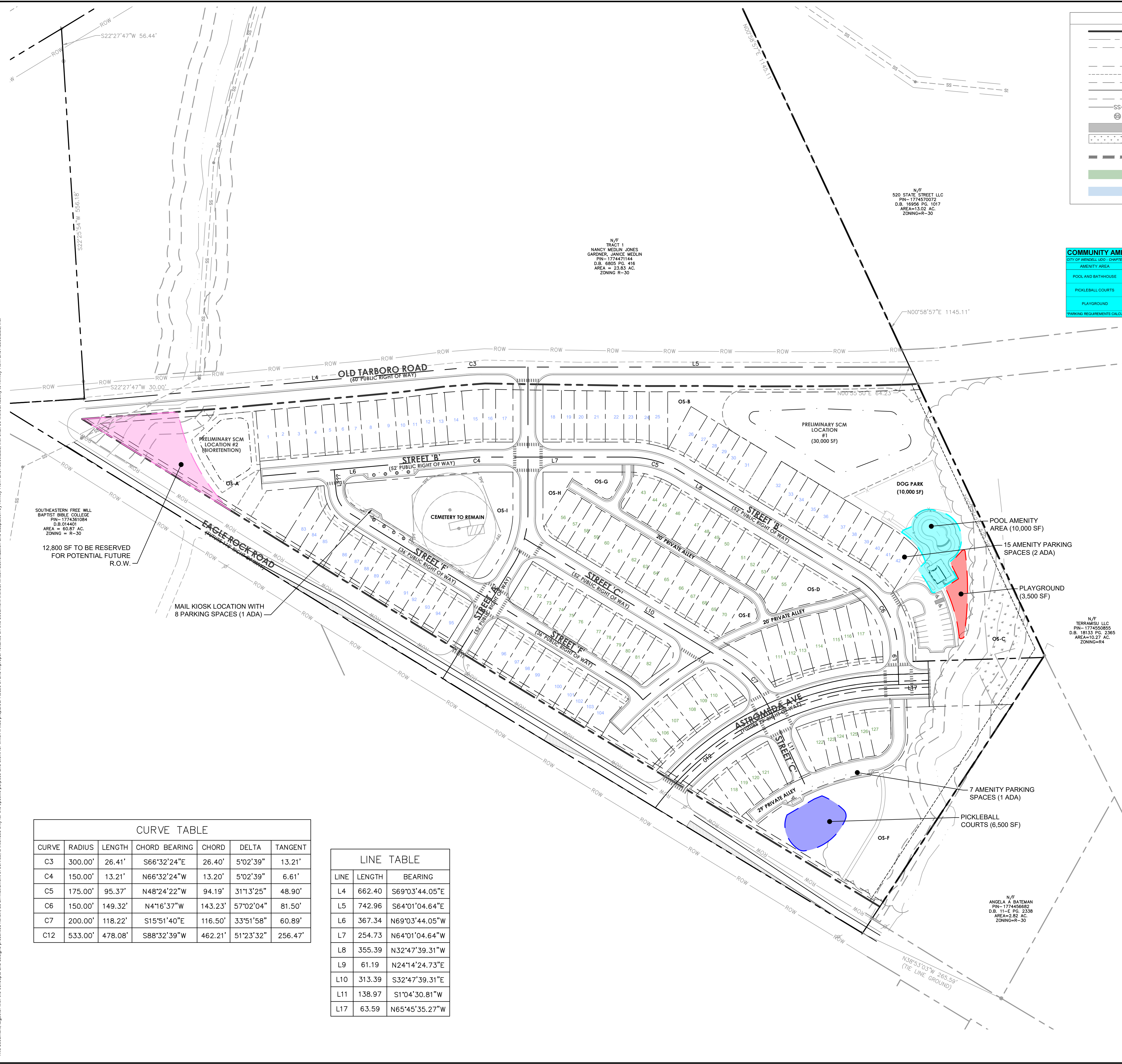
OVERALL SITE PLAN

OLD TARBORO ROAD RESIDENTIAL PREPARED FOR HAILEY DEVELOPMENT, LLC TOWN OF WENDELL NORTH CAROLINA

SHEET NUMBER **C2.00**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Plotted By: Fuller Co., Addm. Sheet, Set: Old Tarboro Road Residential Layout C2.10 PHASING & ROAD CENTERLINE GEOMETRY - MDY. 22, 2024. 04:59:59pm. K:\RAL\LD\EA\14341000-016-Tarboro Road TH Planning Phase\PHD_CAD_Files\02_Plan_Sheets\C2.10 PHASING & ROAD CENTERLINE GEOMETRY.dwg
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LEGEND

[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	ACCESS EASEMENT
[Symbol]	PROPOSED CURB AND GUTTER
[Symbol]	10' THOROUGHFARE SETBACK
[Symbol]	FRONT / SIDE / REAR SETBACK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	STREAM CENTERLINE
[Symbol]	NEUSE RIVER BUFFER
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING MANHOLE
[Symbol]	FEMA 100-YR FLOODPLAIN
[Symbol]	POTENTIAL WETLANDS
[Symbol]	PERMANENT ACCESS EASEMENT
[Symbol]	20' WIDTH LOTS (64 LOTS & UNITS)
[Symbol]	22' WIDTH LOTS (83 LOTS & UNITS)

OPEN SPACE (UDO CHAPTER 7)

TOTAL OPEN SPACE	REQUIRED: 127 TH LOTS X 1,000 SF = 127,000 SF PROVIDED: 127,432 SF
IMPROVED OPEN SPACE	REQUIRED: 127,000 SF X 25% = 31,750 SF PROVIDED: POOL - 10,000 SF PICKLEBALL COURTS - 6,500 SF PLAYGROUND - 3,500 SF DOG PARK - 10,000 SF OS-D - 4,500 SF OS-I - 6,036 SF TOTAL - 40,541 SF
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COMMUNITY AMENITY AREA PARKING REQUIREMENTS
CITY OF WENDELL UDD - CHAPTER 10

AMENITY AREA	CODE REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
POOL AND BATHHOUSE	12 PARKING SPACES PER 1,000 SF OF RECREATIONAL SPACE	10,000 SF OF AMENITY SPACE / 1,000 SF = 10 x 1 = 10 PARKING SPACES	22 PROPOSED PARKING SPACES (3 ADA ACCESSIBLE SPACES)	TABLE 10.4
PLAYGROUND	3,500 SF OF PLAYGROUND SPACE / 1,000 SF = 3.5 x 1 = 4 PARKING SPACES	3,500 SF OF PLAYGROUND SPACE / 1,000 SF = 3.5 x 1 = 4 PARKING SPACES		

PARKING REQUIREMENTS CALCULATED FOR RECREATIONAL USE REQUIREMENTS FROM CH 10.4 TABLE OF CITY OF WENDELL UDD.

RESIDENTIAL PARKING (UDO CHAPTER 10)

TOWNHOMES	REQUIRED: 2 SPACES PER LOT 127 LOTS X 2 = 254 SPACES REQUIRED	PROVIDED: GARAGES - 127 SPACES DRIVEWAYS - 127 SPACES ON-STREET* - 43 SPACES TOTAL - 317 SPACES
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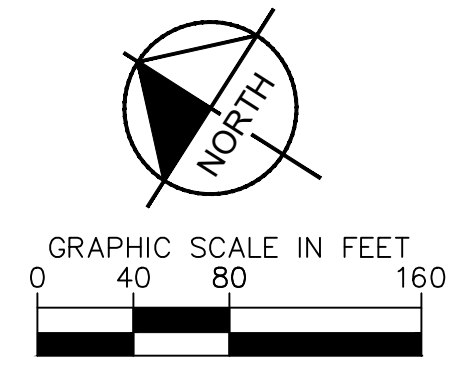
*ON-STREET PARKING ASSUMES 20' PARKING SPACE LENGTH AND 8' PARKING SPACE WIDTH. ON-STREET PARKING LOCATIONS WILL NOT INCLUDE AREAS WITHIN SIGHT DISTANCE TRIANGLES OR AREAS IN FRONT OF PROPOSED DRIVEWAYS. ON-STREET PARKING WILL BE LIMITED TO ONE SIDE OF ANY STREET.

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C3	300.00'	26.41'	S66°32'24"E	26.40'	5°02'39"	13.21'
C4	150.00'	13.21'	N66°32'24"W	13.20'	5°02'39"	6.61'
C5	175.00'	95.37'	N48°24'22"W	94.19'	31°13'25"	48.90'
C6	150.00'	149.32'	N4°16'37"W	143.23'	57°02'04"	81.50'
C7	200.00'	118.22'	S15°51'40"E	116.50'	33°51'58"	60.89'
C12	533.00'	478.08'	S88°32'39"W	462.21'	51°23'32"	256.47'

LINE TABLE

LINE	LENGTH	BEARING
L4	662.40	S69°03'44.05"E
L5	742.96	S64°01'04.64"E
L6	367.34	N69°03'44.05"W
L7	254.73	N64°01'04.64"W
L8	355.39	N32°47'39.31"W
L9	61.19	N24°14'24.73"E
L10	313.39	S32°47'39.31"E
L11	138.97	S1°04'30.81"W
L17	63.59	N65°45'35.27"W



NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF WENDELL/CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT/WAKE COUNTY AND/OR NCDOT.
SURVEY NOTE:
EXISTING CONDITIONS TAKEN FROM BOUNDARY SURVEY PROVIDED BY SURVEY AND MAPPING INC (2041-116 SUMMER BLVD., RALEIGH, NC 27616) DATED 01/11/2022. EXISTING CONTOURS SHOWN TAKEN FROM PUBLICLY AVAILABLE GIS DATA. EXISTING WATER UTILITY TAKEN FROM GIS INFORMATION PROVIDED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

Kimley-Horn
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WWW.KIMLEY-HORN.COM
NC LICENSE #F-0102

ROAD CENTERLINE GEOMETRY

OLD TARBORO ROAD RESIDENTIAL
PREPARED FOR
HAILEY DEVELOPMENT, LLC
NORTH CAROLINA
TOWN OF WENDELL

APPROVAL SET

MRG	DATE	BY
05/22/2024		
05/03/2024		
02/13/2024		
01/26/2024		
11/22/2023		
11/20/2023		
09/30/2022		

REVISIONS

No.	REVISIONS	DATE
10	REVISIONS DUE TO COUNCIL FEEDBACK	
9	APPROVAL SET	
8	RESPONSE TO TOWN COMMENTS	
7	RESPONSE TO TOWN COMMENTS	
6	RESPONSE TO TOWN COMMENTS	
5	REVISIONS DUE TO COUNCIL FEEDBACK	
4	RESPONSE TO TOWN COMMENTS	

KHA PROJECT 014341000
DATE 02/04/2022
SCALE AS SHOWN
DESIGNED BY MRG
DRAWN BY AWF
CHECKED BY MRG

SHEET NUMBER
C2.10

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Plotted By: Fullerton, Adam Sheet Set: Old Tarboro Road Residential Layout: LOT DIMENSION TABLE May 22, 2024 05:05:11pm K:\REAL\DEVA\014341000-Old Tarboro Road TR Planning Phase\F10_CAD_Files_V2_Plan_Sheets\C2_20_LOT_DIMENSION_TABLE.dwg
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LOT DIMENSION TABLE																	
Lot Number	Required		Required		Lot Area (SF)	Lot Number	Required		Required		Lot Area (SF)	Lot Number	Required		Required		Lot Area (SF)
	Lot Width (LF)(MIN.)	Actual Lot Width (LF)	Lot Depth (LF)	Actual Lot Depth (LF)			Lot Width (LF)	Actual Lot Width (LF)	Lot Depth (LF)	Actual Lot Depth (LF)			Lot Width (LF)(MIN.)	Actual Lot Width (LF)	Lot Depth (LF)	Actual Lot Depth (LF)	
1	20	32	80	87.4	2796.8	47	20	30	80	82	2460	93	20	22	80	84	1848
2	20	22	80	87.4	1922.8	48	20	20	80	82	1640	94	20	22	80	84	1848
3	20	30	80	87.4	2622	49	20	20	80	82	1640	95	20	30	80	84	2520
4	20	30	80	87.4	2622	50	20	30	80	82	2460	96	20	32	80	83.5	2672
5	20	22	80	87.4	1922.8	51	20	30	80	82	2460	97	20	22	80	83.5	1837
6	20	22	80	87.4	1922.8	52	20	20	80	82	1640	98	20	22	80	83.5	1837
7	20	22	80	87.4	1922.8	53	20	20	80	80.5	1640	99	20	32	80	83.5	2672
8	20	30	80	87.4	2622	54	20	20	80	80.5	1701	100	20	32	80	83.5	2672
9	20	30	80	87.9	2637	55	20	30	80	86.7	2930	101	20	22	80	83	1826
10	20	22	80	87.3	1920.6	56	20	30	80	84.5	2509	102	20	22	80	83	1826
11	20	22	80	89.1	1960.2	57	20	20	80	86	1720	103	20	22	80	82.5	1815
12	20	22	80	89.9	1977.8	58	20	20	80	86	1720	104	20	30	80	82.5	2475
13	20	22	80	90.7	1995.4	59	20	20	80	86	1720	105	20	30	80	84	2520
14	20	30	80	90.4	2712	60	20	30	80	86	2580	106	20	20	80	84	2000
15	20	30	80	90.4	3039.1	61	20	30	80	86	2580	107	20	30	80	84	3000
16	20	22	80	91.3	2008.6	62	20	20	80	86	1720	108	20	30	80	84	3000
17	20	30	80	90.8	2724	63	20	20	80	86	1720	109	20	20	80	84	2000
18	20	32	80	90	2880	64	20	20	80	86	1720	110	20	30	80	84	2576
19	20	22	80	89.4	1966.8	65	20	30	80	86	2580	111	20	30	80	100	2500
20	20	22	80	89	1958	66	20	30	80	86	2580	112	20	20	80	100	2000
21	20	32	80	89	2848	67	20	20	80	86	1720	113	20	20	80	100	2000
22	20	32	80	89	2848	68	20	20	80	86	1720	114	20	30	80	100	3000
23	20	22	80	87.6	1927.2	69	20	20	80	86	1720	115	20	30	80	100	3433.5
24	20	32	80	88.6	2866.2	70	20	30	80	86	2566	116	20	20	80	105.5	2110
25	20	32	80	90.5	3051	71	20	30	80	80	2404	117	20	30	80	104.5	2945.9
26	20	33	80	82.7	2570	72	20	20	80	80	1600	118	20	30	80	81.6	2448
27	20	22.1	80	80.1	1766	73	20	20	80	80	1600	119	20	20	80	80	1600
28	20	22	80	80	1760	74	20	20	80	80	1600	120	20	20	80	80	1600
29	20	22	80	80	1760	75	20	20	80	80	1600	121	20	30	80	80	2983
30	20	22	80	80	1760	76	20	30	80	80	2400	122	20	25.3	80	81.7	2564
31	20	32	80	80	2560	77	20	30	80	80	2400	123	20	20	80	81	1640
32	20	32	80	80	2560	78	20	20	80	80	1600	124	20	20	80	81	1640
33	20	22	80	80	1760	79	20	20	80	80	1600	125	20	20	80	81	1640
34	20	22	80	80	1760	80	20	20	80	80	1600	126	20	20	80	81	1642
35	20	22	80	80	1760	81	20	20	80	80	2265	127	20	39.8	80	81.5	3243.7
36	20	32	80	80	2559	82	20	30	80	80	2440						
37	20	32	80	80	2559	83	20	30	80	98.1	3340						
38	20	22	80	80	1760	84	20	22	80	80.7	2018						
39	20	22	80	80	1760	85	20	30	80	84	2540						
40	20	22	80	80.1	1760	86	20	30	80	84	2520						
41	20	22.2	80	81.1	1770	87	20	22	80	84	1848						
42	20	33.4	80	84.3	2640	88	20	22	80	84	1848						
43	20	30	80	80	2311	89	20	22	80	84	1848						
44	20	20	80	82	1628	90	20	30	80	84	2520						
45	20	20	80	82	1640	91	20	30	80	84	2520						
46	20	30	80	82	2460	92	20	22	80	84	1848						

NOTE:
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SURVEY NOTE:
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KHA PROJECT
014341000

DATE
02/04/2022

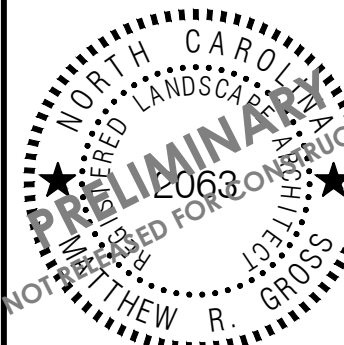
SCALE
AS SHOWN

DESIGNED BY
MRG

DRAWN BY
AWF

CHECKED BY
MRG

LOT DIMENSION TABLE



OLD TARBORO ROAD
RESIDENTIAL
PREPARED FOR
HAILEY DEVELOPMENT, LLC

TOWN OF WENDELL
NORTH CAROLINA

SHEET NUMBER
C2.20

APPROVAL SET
9 REVISIONS DUE TO COUNCIL FEEDBACK
8 APPROVAL SET
7 RESPONSE TO TOWN COMMENTS
6 RESPONSE TO TOWN COMMENTS
5 REVISIONS DUE TO COUNCIL FEEDBACK
4 RESPONSE TO TOWN COMMENTS

05/22/2024 MRG

05/03/2024 MRG

02/13/2024 MRG

01/26/2024 MRG

12/22/2023 MRG

11/20/2023 MRG

06/06/2022 MRG

APPROVAL SET

REVISIONS DUE TO COUNCIL FEEDBACK

APPROVAL SET

RESPONSE TO TOWN COMMENTS

RESPONSE TO TOWN COMMENTS

REVISIONS DUE TO COUNCIL FEEDBACK

RESPONSE TO TOWN COMMENTS

10

9

8

7

6

5

4

No.

REVISIONS

DATE

BY

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PHONE: 919-677-2000
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NC LICENSE #F-0102

UTILITY LEGEND

	WATER LINE
	SEWER LINE
	EXISTING SANITARY SEWER MAIN
	PIPE BENDS/TEE/CROSS
	PROPOSED BLOW OFF ASSEMBLY
	PROPOSED BACKFLOW PREVENTER
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT

50' ZONE 2
STREAM BUFFER
30' ZONE 1
STREAM BUFFER
STREAM
CENTERLINE

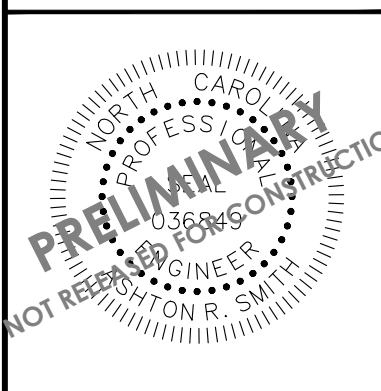
STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGH.NC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.NC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FEE FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

NO.	REVISIONS	DATE
10	APPROVAL SET	05/22/2024
9	REVISIONS DUE TO COUNCIL FEEDBACK	05/03/2024
8	APPROVAL SET	02/13/2024
7	RESPONSE TO TOWN COMMENTS	01/26/2024
6	RESPONSE TO TOWN COMMENTS	11/22/2023
5	REVISIONS DUE TO COUNCIL FEEDBACK	11/20/2023
4	RESPONSE TO TOWN COMMENTS	09/02/2023
	NO.	

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000
WWW.KIMLEY-HORN.COM
NC LICENSE #F-1012



KHA PROJECT	014341000
DATE	5/22/2024
SCALE	AS SHOWN
DESIGNED BY	JAJ
DRAWN BY	QAS
CHECKED BY	MRC

UTILITY PLAN

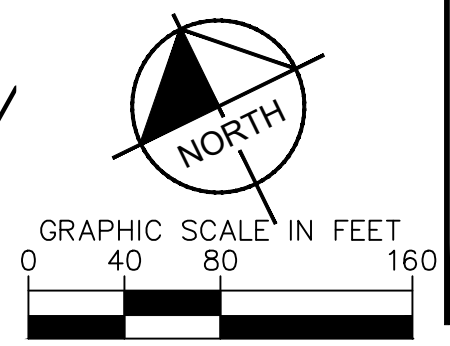
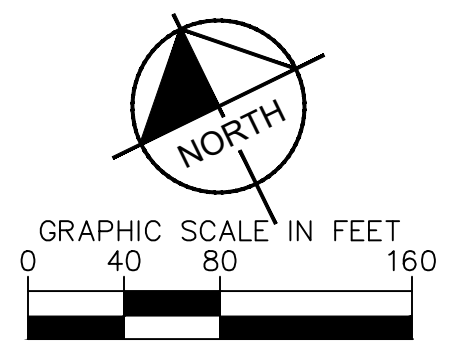


Know what's below.
Call before you dig.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF WENDELL/CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT/WAKE COUNTY AND/OR NCDOT.

SURVEY NOTE:
EXISTING CONDITIONS TAKEN FROM BOUNDARY SURVEY PROVIDED BY SURVEY AND MAPPING NC (2041-116 SUMMER BLVD., RALEIGH, NC 27616) DATED 01/11/2022. EXISTING CONTOURS SHOWN TAKEN FROM PUBLICLY AVAILABLE GIS DATA. EXISTING WATER UTILITY TAKEN FROM GIS INFORMATION PROVIDED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

- CONDITIONS OF APPROVAL**
- PLAT MUST BE RECORDED WITH WAKE COUNTY FOR ALL UTILITY EASEMENT DEDICATIONS.
 - CONSTRUCTION DRAWINGS MUST BE APPROVED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER AND SEWER EXTENSIONS
 - DEED MUST BE RECORDED PRIOR TO CONSTRUCTION DRAWINGS FOR ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS
 - PETITION FOR ANNEXATION INTO CITY LIMITS SHALL BE SUBMITTED PRIOR TO RECORDED MAP FOR EXTENSION OF PUBLIC WATER AND SEWER.
 - A DOWNSTREAM SEWER CAPACITY ANALYSIS MAY BE REQUIRED. EXISTING CAPACITY UNDER FURTHER REVIEW.



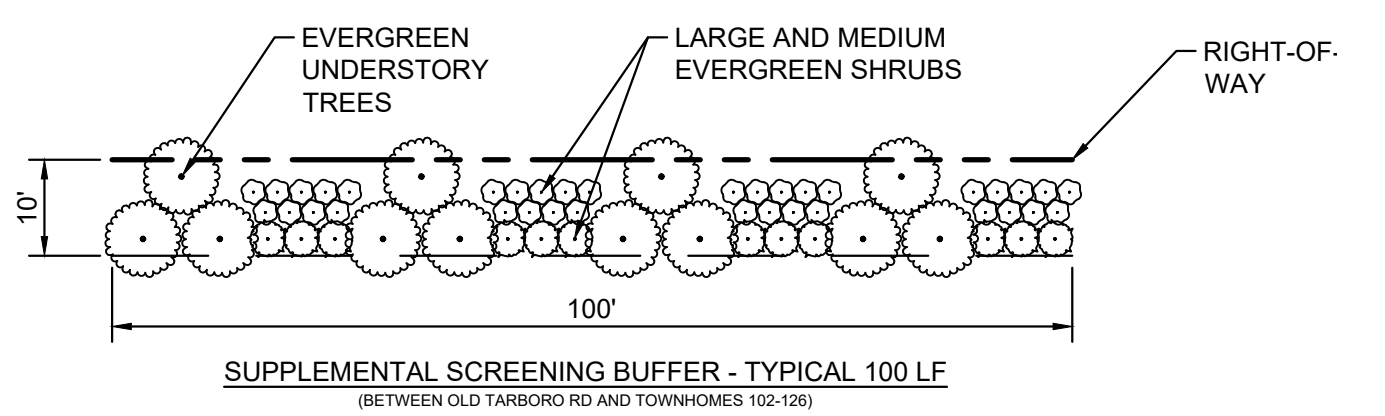
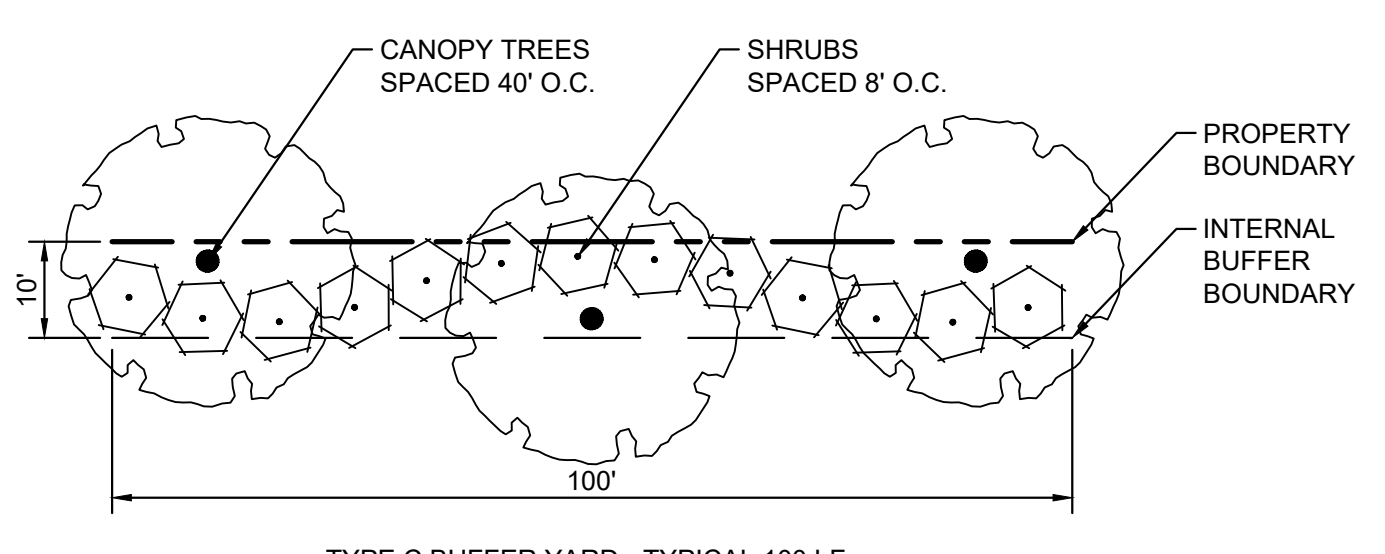
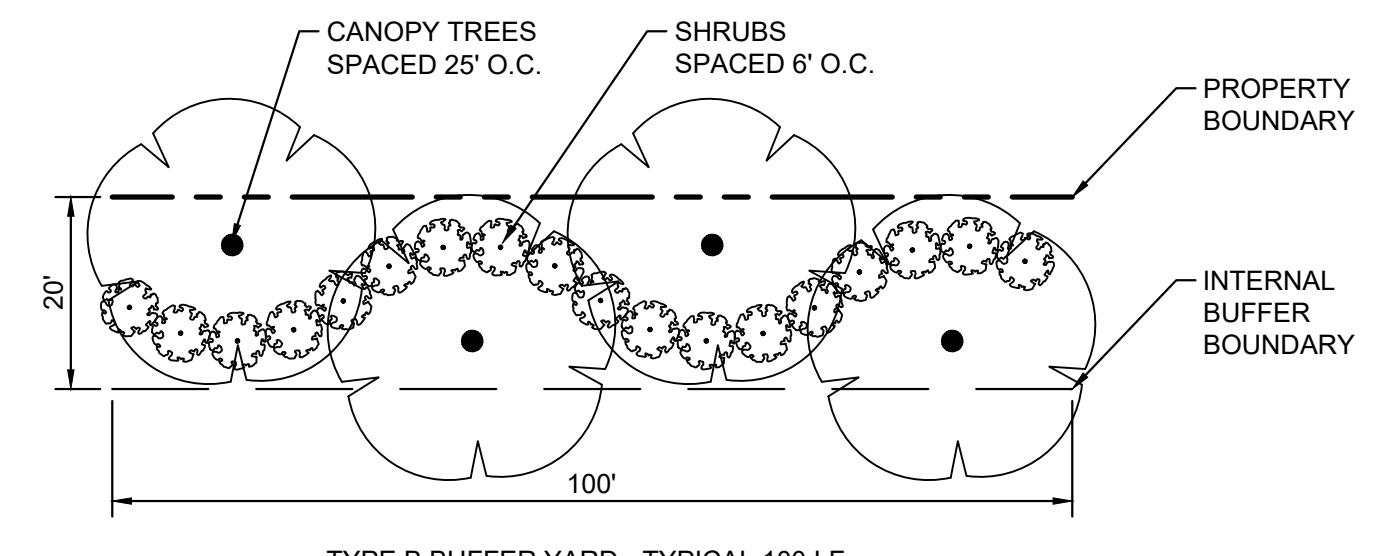
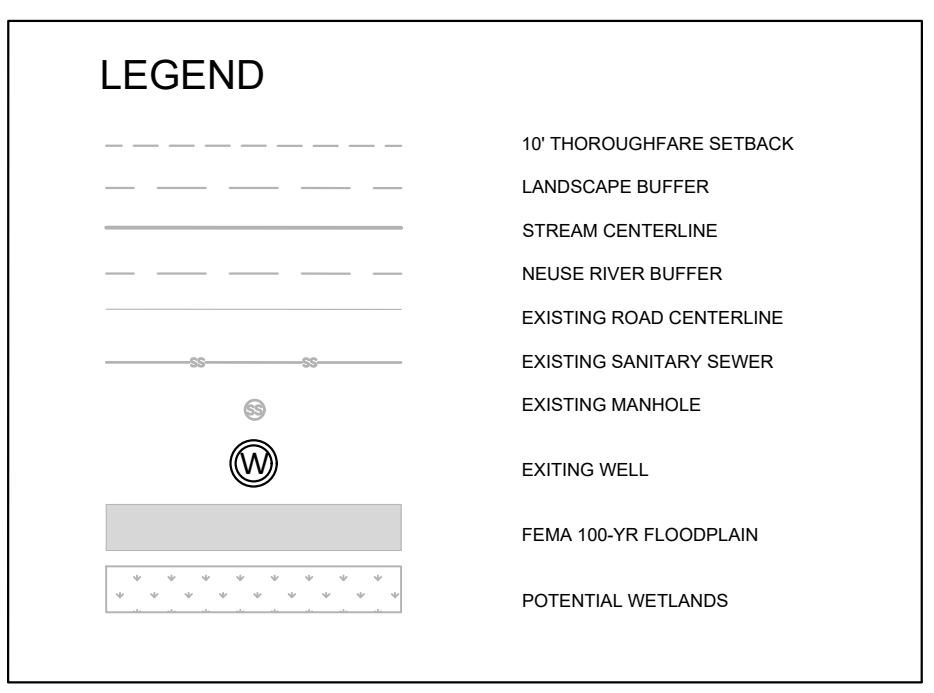
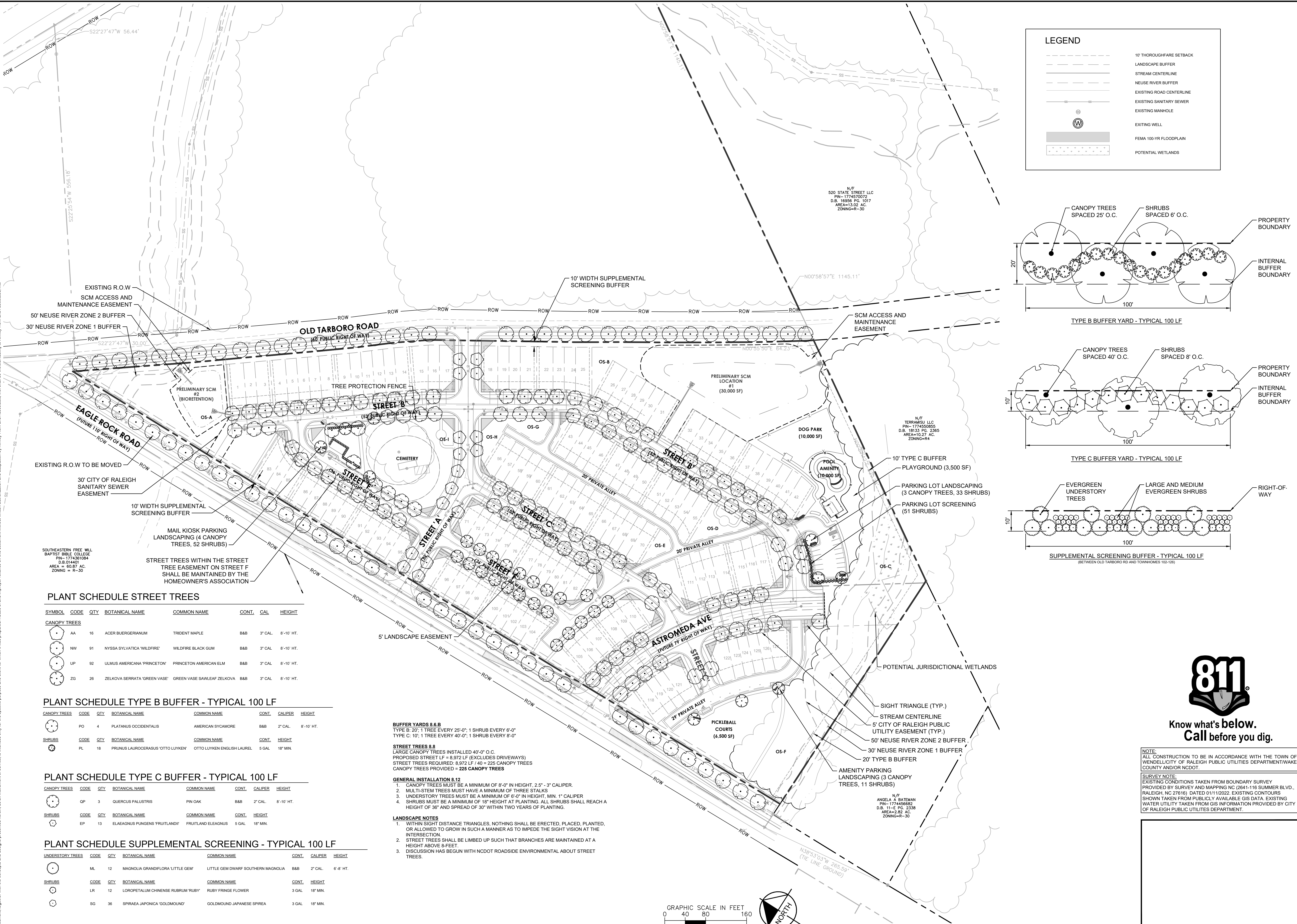
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

OLD TARBORO ROAD
RESIDENTIAL
PREPARED FOR
HAILEY DEVELOPMENT, LLC
TOWN OF WENDELL
NORTH CAROLINA

SHEET NUMBER
C3.00

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Plotted By: Fuller Co., Addm. Sheet, Set: Old Tarboro Road Residential Landscape Plan, May 22, 2024, 05:00:55pm, K:\ALL\LEVA\014341000-Old Tarboro Road\TH\Planning Phase\FID_CAD_Files\02_Sheet\Sheet_C4_00_LANDSCAPE_PLAN.dwg
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PLANT SCHEDULE STREET TREES

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT
	AA	16	ACER BURGERIANUM	TRIDENT MAPLE	B&B	3" CAL.	8'-10' HT.
	NW	91	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	B&B	3" CAL.	8'-10' HT.
	UP	92	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	B&B	3" CAL.	8'-10' HT.
	ZG	26	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE SAWLEAF ZELKOVA	B&B	3" CAL.	8'-10' HT.

PLANT SCHEDULE TYPE B BUFFER - TYPICAL 100 LF

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	HEIGHT
	PO	4	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B&B	2" CAL.	8'-10' HT.

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
	PL	18	PRUNUS LAUROCEARUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	5 GAL.	18" MIN.

PLANT SCHEDULE TYPE C BUFFER - TYPICAL 100 LF

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	HEIGHT
	OP	3	QUERCUS PALUSTRIS	PIN OAK	B&B	2" CAL.	8'-10' HT.

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
	EP	13	ELAEAGNUS PUNGENS 'FRUITLANDI'	FRUITLAND ELEAGNUS	5 GAL.	18" MIN.

PLANT SCHEDULE SUPPLEMENTAL SCREENING - TYPICAL 100 LF

UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	HEIGHT
	ML	12	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	B&B	2" CAL.	6'-8' HT.

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
	LR	12	LOROPETALUM CHINENSE 'RUBY'	RUBY FRINGE FLOWER	3 GAL.	18" MIN.
	SG	36	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND JAPANESE SPIREA	3 GAL.	18" MIN.

BUFFER YARDS 8.6.B
 TYPE B: 20'; 1 TREE EVERY 25'-0"; 1 SHRUB EVERY 6'-0"
 TYPE C: 10'; 1 TREE EVERY 40'-0"; 1 SHRUB EVERY 8'-0"

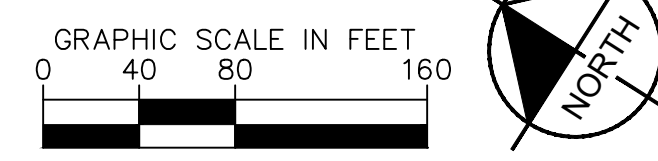
STREET TREES 8.8
 LARGE CANOPY TREES INSTALLED 40'-0" O.C.
 PROPOSED STREET LF = 8,972 LF (EXCLUDES DRIVEWAYS)
 STREET TREES REQUIRED: 8,972 LF / 48" = 225 CANOPY TREES
 CANOPY TREES PROVIDED = 225 CANOPY TREES

GENERAL INSTALLATION 8.12

- CANOPY TREES MUST BE A MINIMUM OF 8'-0" IN HEIGHT, 2.5" - 3" CALIPER.
- MULTI-STEM TREES MUST HAVE A MINIMUM OF THREE STALKS
- UNDERSTORY TREES MUST BE A MINIMUM OF 6'-0" IN HEIGHT, MIN. 1" CALIPER
- SHRUBS MUST BE A MINIMUM OF 18" HEIGHT AT PLANTING; ALL SHRUBS SHALL REACH A HEIGHT OF 36" AND SPREAD OF 30" WITHIN TWO YEARS OF PLANTING.

LANDSCAPE NOTES

- WITHIN SIGHT DISTANCE TRIANGLES, NOTHING SHALL BE ERRECTED, PLACED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO IMPEDE THE SIGHT VISION AT THE INTERSECTION.
- STREET TREES SHALL BE LIMBED UP SUCH THAT BRANCHES ARE MAINTAINED AT A HEIGHT ABOVE 8-FEET.
- DISCUSSION HAS BEGUN WITH NCDOT ROADSIDE ENVIRONMENTAL ABOUT STREET TREES.



APPROVAL SET	MRG	DATE
REVISIONS DUE TO COUNCIL FEEDBACK	05/03/2024	MRG
APPROVAL SET	02/13/2024	MRG
RESPONSE TO TOWN COMMENTS	01/26/2024	MRG
RESPONSE TO TOWN COMMENTS	12/22/2023	MRG
REVISIONS DUE TO COUNCIL FEEDBACK	11/20/2023	MRG
RESPONSE TO TOWN COMMENTS	06/06/2022	MRG

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
014341000	02/04/2022	AS SHOWN	MRG	AMF	MRG

LANDSCAPE PLAN



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OLD TARBORO ROAD
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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20' REAR LOAD WITH 2 CAR GARAGE
40' BUILDING HEIGHT



22' REAR LOAD WITH 2 CAR GARAGE
40' BUILDING HEIGHT



22' REAR LOAD WITH 2 CAR GARAGE
40' BUILDING HEIGHT



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**SUPPORTING
DETAILS**

OLD TARBORO ROAD
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PREPARED FOR
HAILEY DEVELOPMENT, LLC
TOWN OF WENDELL NORTH CAROLINA

SHEET NUMBER
C5.00



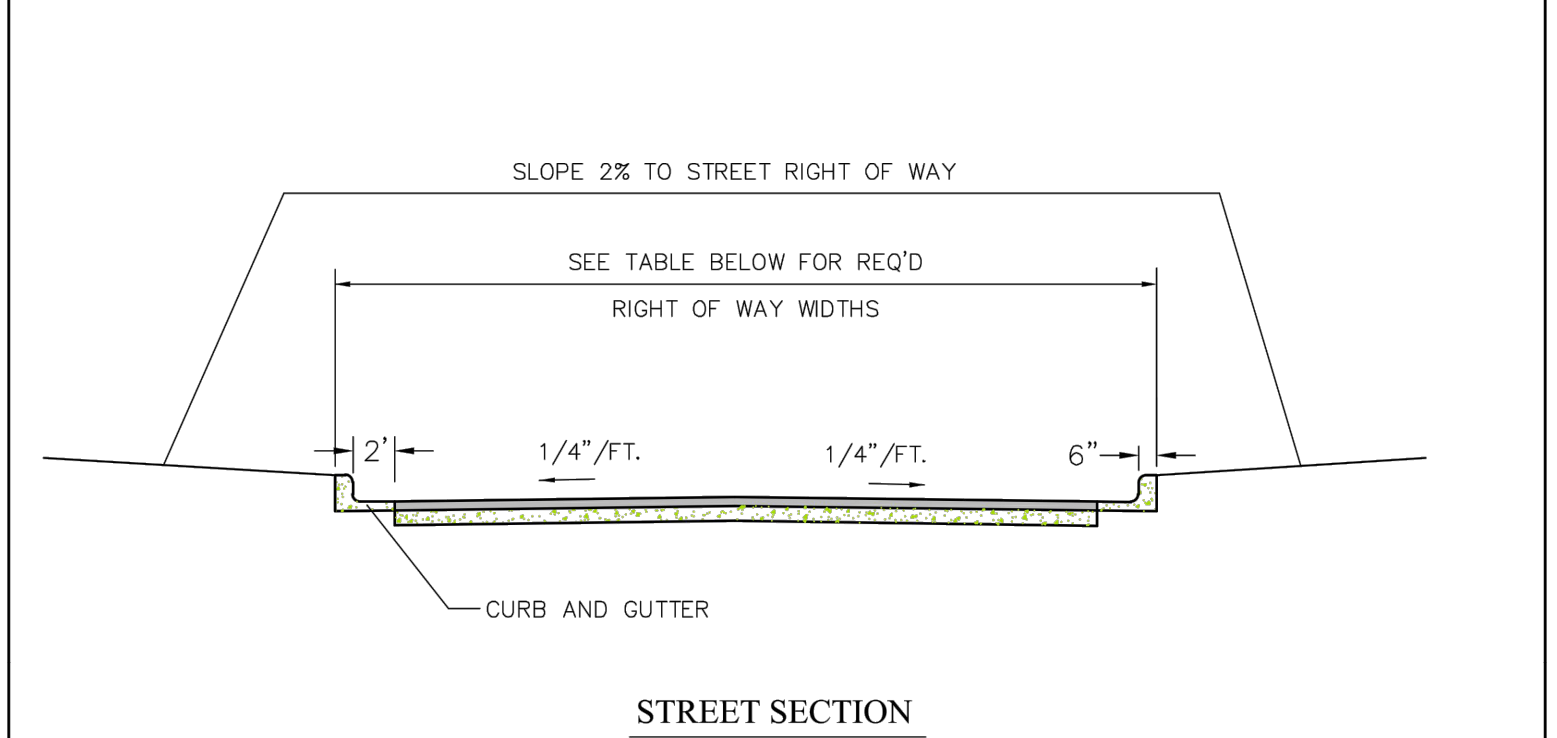
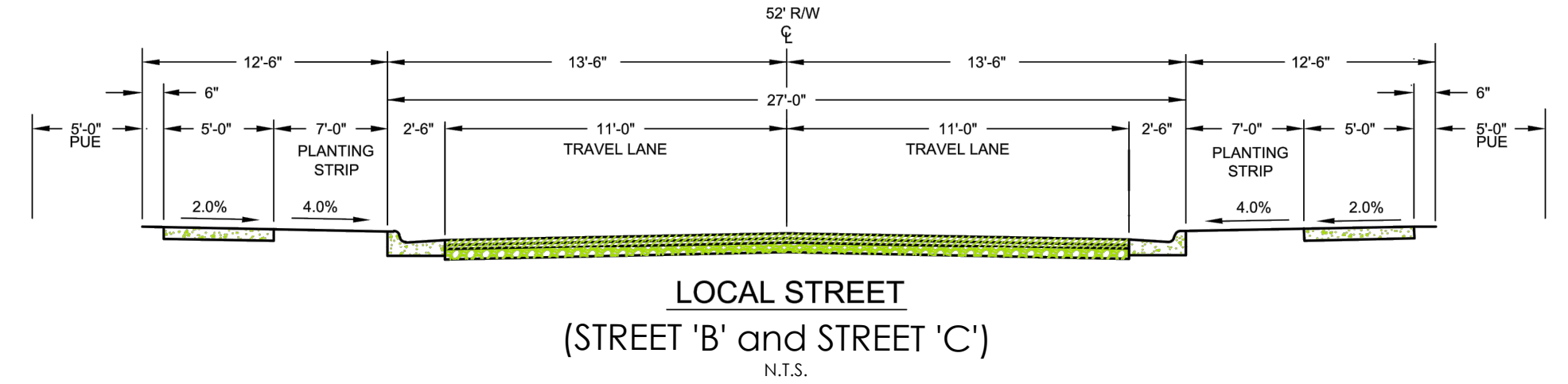
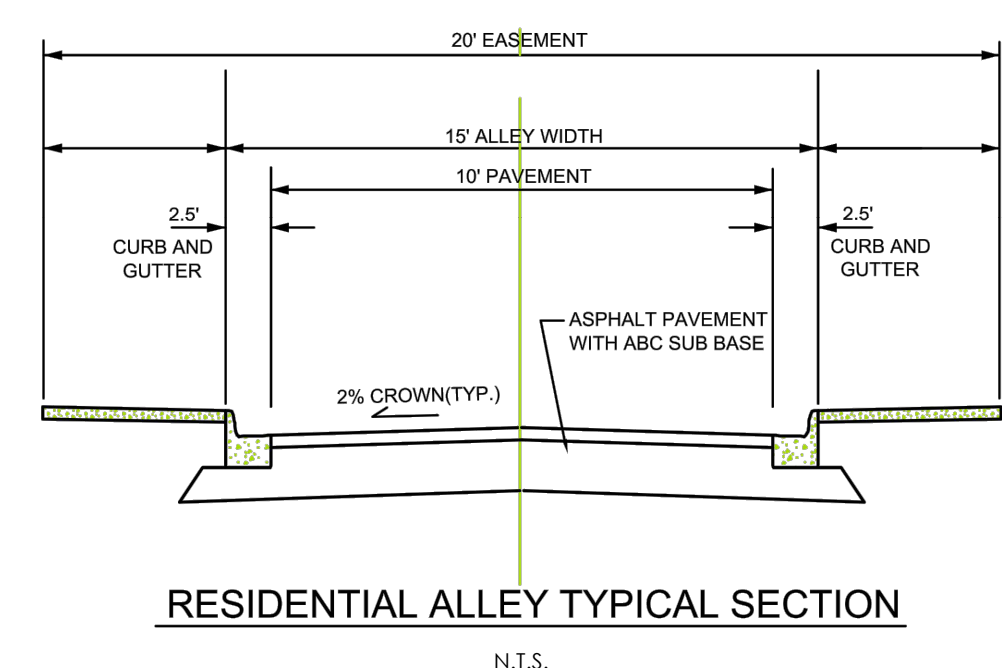
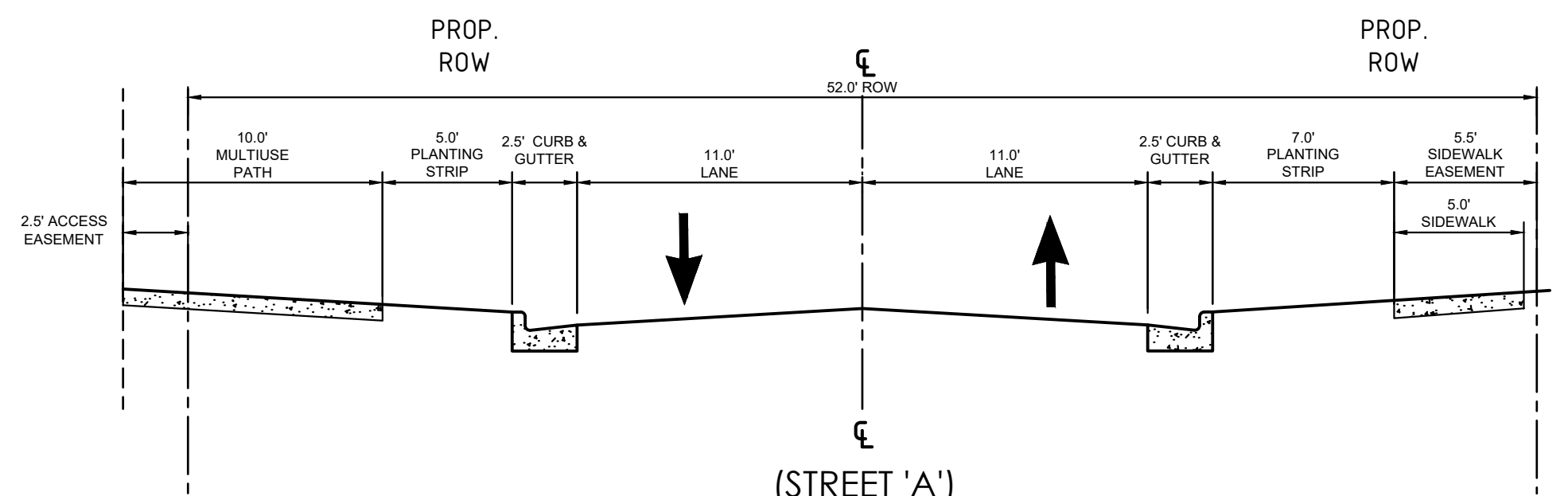
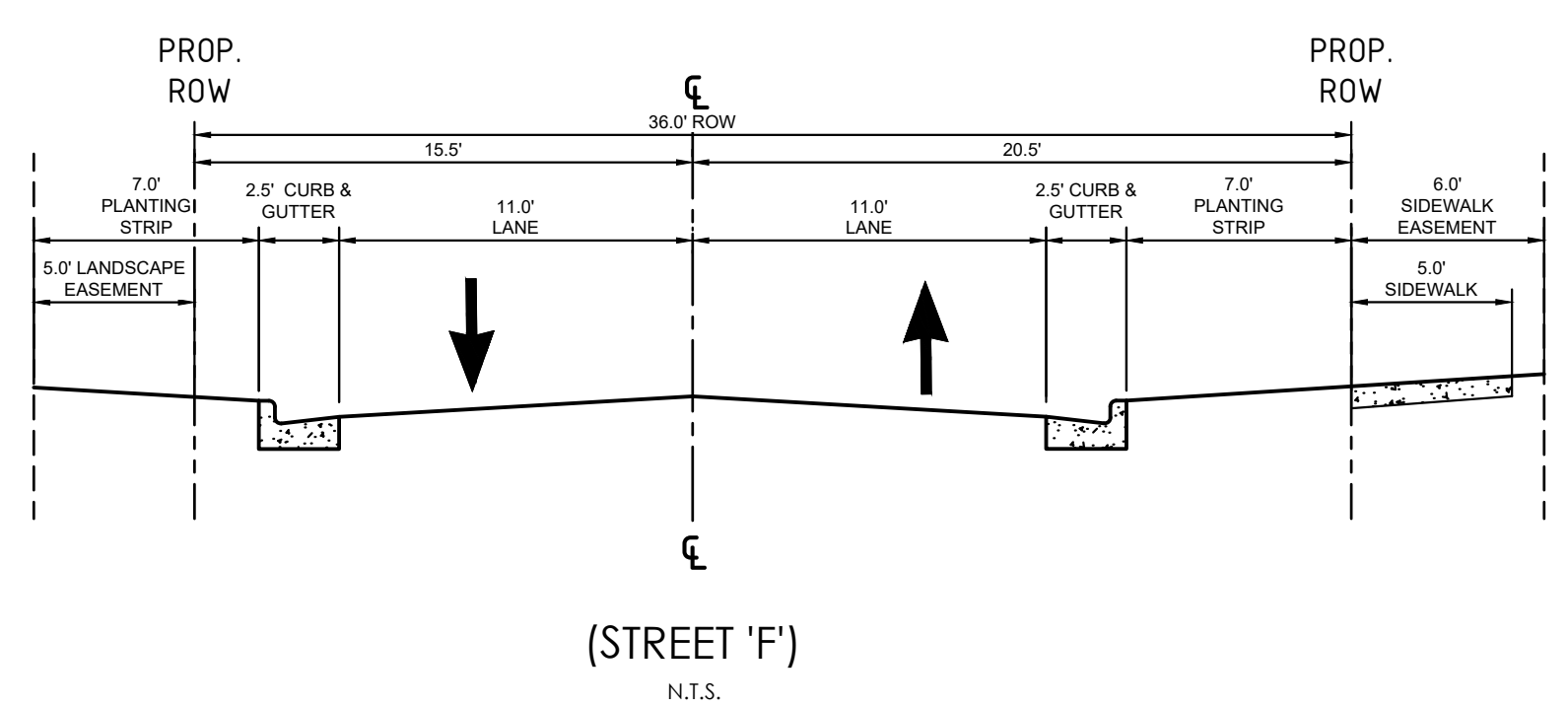
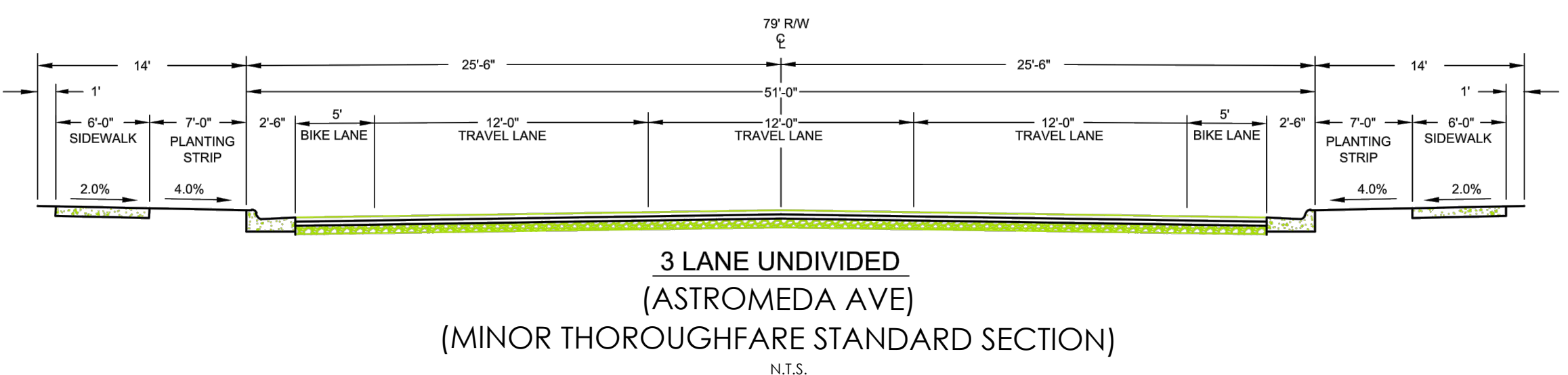
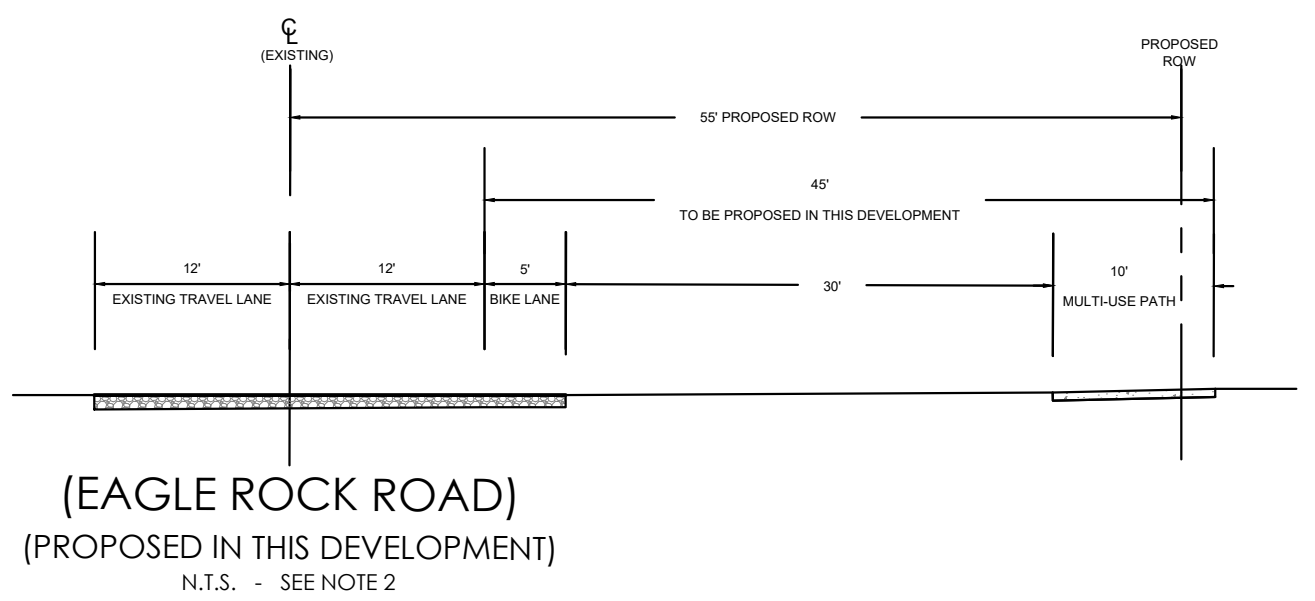
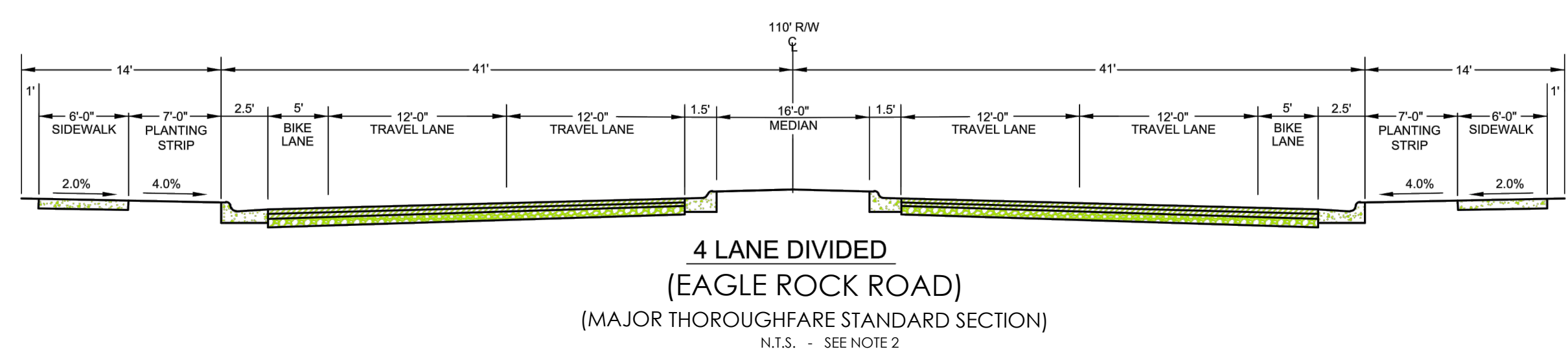
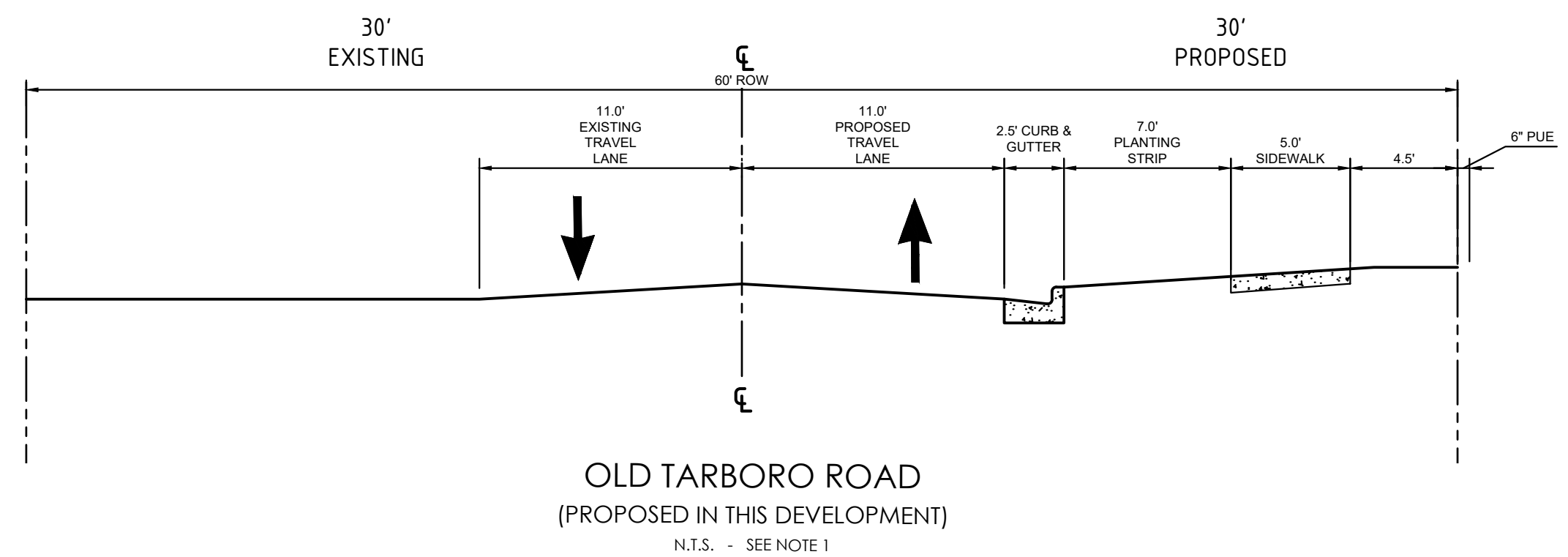
KHA PROJECT	014341000
DATE	02/04/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

Kimley-Horn
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000
WWW.KIMLEY-HORN.COM
NC LICENSE #F-0102

No.	REVISIONS	DATE
10	APPROVAL SET	
9	REVISIONS DUE TO COUNCIL FEEDBACK	05/22/2024 MRG
8	APPROVAL SET	05/03/2024 MRG
7	RESPONSE TO TOWN COMMENTS	02/13/2024 MRG
6	RESPONSE TO TOWN COMMENTS	01/26/2024 MRG
5	REVISIONS DUE TO COUNCIL FEEDBACK	12/22/2023 MRG
4	RESPONSE TO TOWN COMMENTS	11/20/2023 MRG
	REVISIONS	9/30/2022 MRG

TYPICAL STREET SECTION NOTES:

1. OLD TARBORO ROAD SECTION SHALL ULTIMATELY MATCH THE TOWN OF WENDELL STANDARD 52' STREET SECTION. THE EXISTING R.O.W. WIDTH IS 60', THEREFORE THE PUBLIC UTILITY EASEMENT WILL BE REDUCED TO 6'. DEVELOPER WILL PROVIDE ONE TRAVEL LANE, ONE PLANTING STRIP, AND ONE SIDEWALK ON THE SOUTH SIDE OF THE OLD TARBORO ROAD CENTERLINE.
2. EAGLE ROCK ROAD SECTION SHALL ULTIMATELY FOLLOW THE TOWN OF WENDELL STANDARD 110' STREET SECTION. DEVELOPER WILL ONLY PROVIDE 27' DEDICATED R.O.W., 5' BIKE LANE AT EXISTING PAVEMENT EDGE, AND 10' MULTI-USE PATH ALONG PROPERTY BOUNDARY. EAGLE ROCK ROAD SHALL USE NCDOT PAVEMENT SECTION.
3. 5' BIKE LANE ON EAGLE ROCK ROAD SHALL NOT BE STRIPED IN ACCORDANCE WITH NCDOT POLICY.

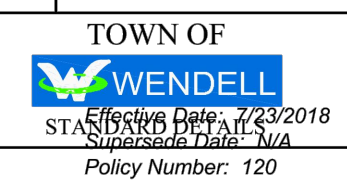


- NOTES:**
1. ALL STREETS SHALL HAVE CURB & GUTTER.
 2. NORMAL CROWN SHALL BE 1/4" PER FOOT UNLESS OTHERWISE DIRECTED BY TOWN ENGINEER.
 3. GRADES SHALL NOT EXCEED 10%.

STREET CLASSIFICATION	MINIMUM R/W WIDTH	MIN. PAVEMENT WIDTH (B TO B)	PAVEMENT REQUIRED
MAJOR THOROUGHFARE, 6-LANE DIVIDED	134 FT	(2) 45 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MAJOR THOROUGHFARE, 4-LANE DIVIDED	110 FT	(2) 33 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MINOR THOROUGHFARE, 4-LANE DIVIDED	110 FT	(2) 33 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MINOR THOROUGHFARE, 3-LANE UNDIVIDED	79 FT	51 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MAJOR COLLECTOR, 3-LANE UNDIVIDED	79 FT	51 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
MAJOR COLLECTOR, 2-LANE DIVIDED	86 FT	(2) 21 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
MINOR COLLECTOR, 2-LANE UNDIVIDED	67 FT	39 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
INDUSTRIAL ROAD	69 FT	41 FT	10" ABC, 3" I-19.0B, 2" S-9.5B
MAIN STREET	75 FT	45 FT	6" ABC, 3" I-19.0B, 2" S-9.5B
RESIDENTIAL STREET	67 FT	43 FT	6" ABC, 3" I-19.0B, 2" S-9.5B
RURAL ROAD	60 FT	20 FT (E-E)	6" ABC, 3" I-19.0B, 2" S-9.5B
LOCAL STREET	52 FT	27 FT	6" ABC, 3" I-19.0B, 2" S-9.5B
COMMERCIAL ALLEY	24 FT	24 FT	6" ABC, 3" I-19.0B, 2" S-9.5B
RESIDENTIAL ALLEY	20 FT	15 FT	6" ABC, 3" I-19.0B, 2" S-9.5B

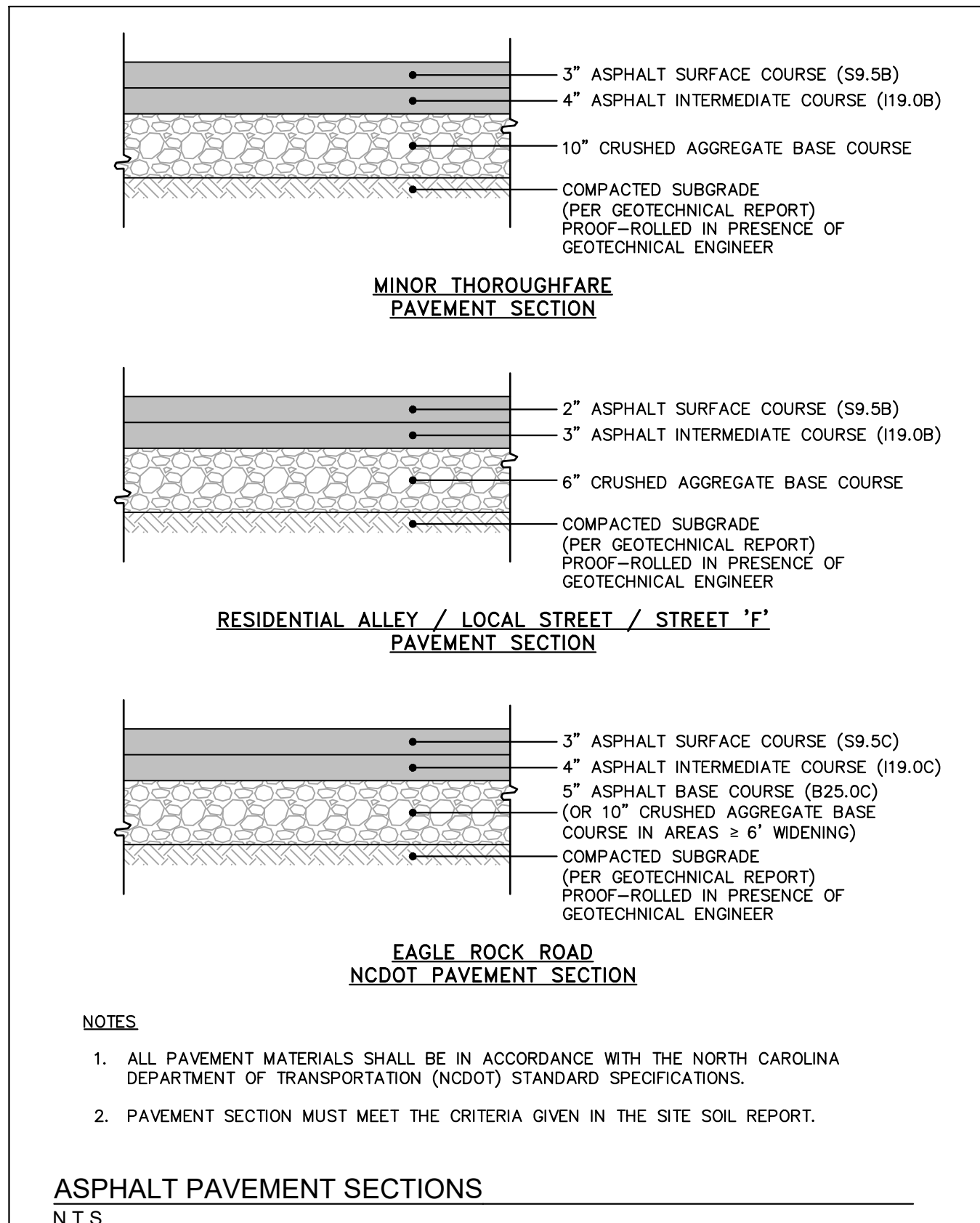
REVISIONS

DATE	DESCRIPTION



TYPICAL STREET SECTION

12



NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF WENDELL/CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT/WAKE COUNTY AND/OR NCDOT.

SURVEY NOTE:
EXISTING CONDITIONS TAKEN FROM BOUNDARY SURVEY PROVIDED BY SURVEY AND MAPPING INC (2041-116 SUMMER BLVD., RALEIGH, NC 27616) DATED 01/11/2022. EXISTING CONTOURS SHOWN TAKEN FROM PUBLICLY AVAILABLE GIS DATA. EXISTING WATER UTILITY TAKEN FROM GIS INFORMATION PROVIDED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.



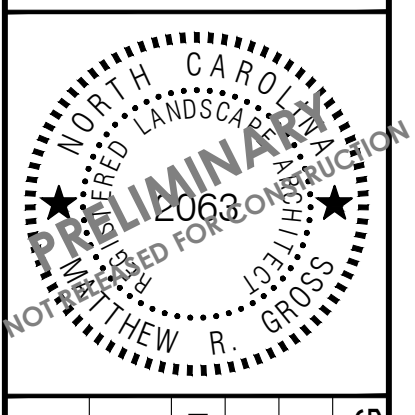
Know what's below.
Call before you dig.

APPROVAL SET

MRG	DATE	BY
05/22/2024	05/03/2024	02/13/2024
REVISIONS DUE TO COUNCIL FEEDBACK	APPROVAL SET	RESPONSE TO TOWN COMMENTS
9	8	7
REVISIONS DUE TO TOWN COMMENTS	REVISIONS DUE TO COUNCIL FEEDBACK	REVISIONS DUE TO TOWN COMMENTS
6	5	4
12/22/2023	11/20/2023	9/30/2022
MRG	MRG	MRG

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PHONE: 919-677-2000
WWW.KIMLEY-HORN.COM
NC LICENSE #F-0102



KHA PROJECT
014341000

DATE
02/04/2022

SCALE
AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

MRG

SUPPORTING DETAILS

OLD TARBORO ROAD RESIDENTIAL
PREPARED FOR
HAILEY DEVELOPMENT, LLC
NORTH CAROLINA

TOWN OF WENDELL

SHEET NUMBER
C5.10



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

June 16, 2022

Old Tarboro Road Townhomes
Traffic Impact Analysis Review Report
Congestion Management Section

TIA Project: SC-2022-028R1
Division: 5
County: Wake



Doumit Y. Ishak, Regional Engineer
Clarence B. Bunting, IV, P.E. Project Engineer
Braden M. Walker, P.E. Project Design Engineer

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
TRANSPORTATION MOBILITY & SAFETY DIVISION
1561 MAIL SERVICE CENTER
RALEIGH, NC 27699-1561

Telephone: (919) 814-5000
Fax: (919) 771-2745
Customer Service: 1-877-368-4968

Location:
750 N. GREENFIELD PARKWAY
GARNER, NC 27529

Website: www.ncdot.gov

Old Tarboro Road Townhomes

SC-2022-028R1	Wendell	Wake County
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Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data for background conditions presented in the Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	05/19/22	Date of Site Plan	02/04/22
Date of Complete Information	05/19/22	Date of Sealed TIA	05/17/22

Proposed Development

The TIA assumes the development is to be completed by 2023 and consist of the following:

Land Use	Land Use Code	Size
Multifamily Housing (Low-Rise)	220	250 d.u.

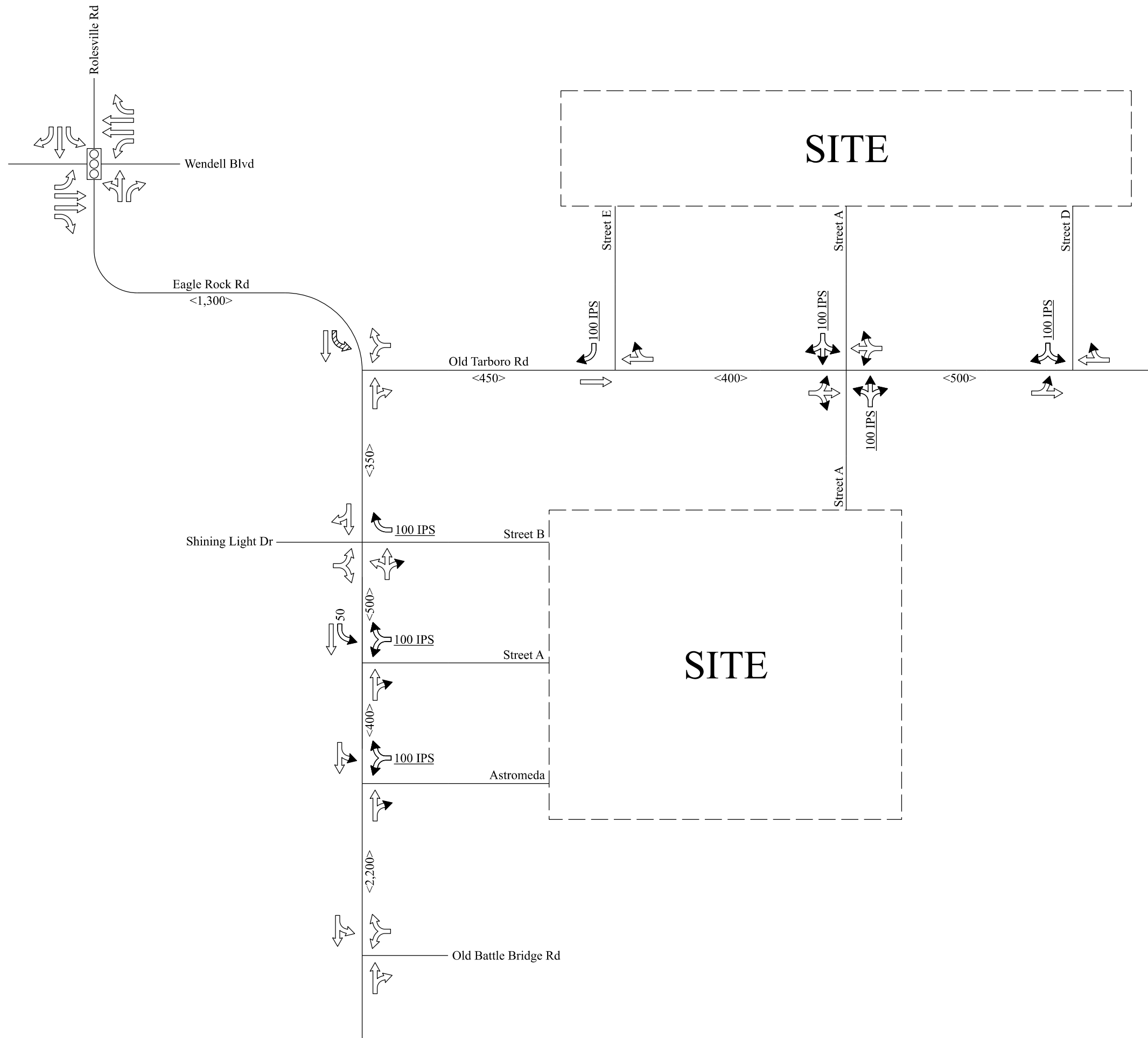
Trip Generation - Unadjusted Volumes During a Typical Weekday

	IN	OUT	TOTAL
AM Peak Hour	26	88	114
PM Peak Hour	84	49	133
Daily Trips			1,850

General Reference

For reference to various documents applicable to this review please reference the following link: <https://connect.ncdot.gov/resources/safety/Pages/Congestion-Management.aspx>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section.



**Old Tarboro Road Townhomes
Wenell, Wake County
SC-2022-028R1**

- Existing Laneage
- Recommended Laneage
- Laneage Built By Others
- NCDOT Recommendation
- Existing Signal
- Signal Proposed By Others
- Developer Proposed Signal
- Monitor for Signal
- XXX Storage
- XXX NCDOT Recommended Storage
- <XXX> Distance Between Intersections
- IPS Internal Protected Stem
- All Distances in Feet
- Drawing Not to Scale





Wendell Planning Board Recommendation to the Wendell Board of Commissioners

CD22-02:

Request to rezone approximately 29.38 acres from Wake County Residential-30 (R-30) to Neighborhood Center Conditional District (NC-CD) to create Old Tarboro Road Townhomes.

Case Description:

- The applicant is requesting to rezone a 29.38-acre portion of a parcel located off Old Tarboro Road, near the intersection of Wendell Boulevard and Eagle Rock Road from Wake County Residential-30 (R-30) to Neighborhood Center Conditional District (NC-CD). The intent is to create a residential townhome neighborhood. The applicant’s proposal features 224 townhomes.

Project Profile	
Location	Off Old Tarboro Rd, near the intersection of Wendell Blvd and Eagle Rock Rd. Address: 617 Old Tarboro Road PIN: 1774471144
Current Zoning	Wake County Residential-30 (R-30)
Requested Zoning	Neighborhood Center Conditional District- (NC-CD)
Area of Request	29.38 acres of the 48.76 acre parcel
Corporate Limits	Wake County Jurisdiction
Current Land Use	Agriculture
Proposed Land Use	Townhomes
Property Owners	Nancy Medlin Gardner, Janice Medlin Jones, Susie Medlin Flanagan & Kenneth Owen Medlin
Applicant	Kimley-Horn & Associates

Proposed Conditional District Conditions:

The applicant has proposed the following zoning conditions:

1. The Apartment building type is prohibited.
2. The minimum heated square footage of each townhome unit shall be 1,500 square feet.
3. Each unit of a townhouse building shall have a garage.
 - a. Garages on front-loaded townhomes will be a one-car garage of at least 16'-8" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window. Garage doors on front-loaded townhomes must contain carriage-style adornments.
 - b. Garages on rear-loaded townhomes will be a two-car garage of at least 19'-0" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window.
4. Townhouse units shall have a covered front stoop.
5. Vinyl siding is prohibited except for trim elements. At least two (2) of the following materials shall be used on each townhouse building: wood, fiber-cement, metal, masonry brick, brick veneer, masonry stone, stone veneer, board and batten, or synthetic stone.
6. A minimum of 12" roof overhang shall be provided along the front and back of each townhouse unit. End units will have 12" roof overhand along on the sides.
7. A 20' wide buffer shall be maintained along the property boundary to the north and northwest. Existing plant material may be used but shall be supplemented to meet the requirements of the 20' type B buffer yard as defined in the Town's UDO.
8. All townhouse end units shall have at least one window per floor.
9. Townhouse buildings shall have at least (2) front facing gables.
10. To avoid monotony of exterior elevations, a 2' offset in the front façade shall be used every third unit at a minimum.
11. Townhouse buildings shall have window shutters on at least 25% of the windows on the front façade.
12. Townhouse buildings shall contain an element of each of the following siding styles: horizontal, shake and board and batten.
13. Each unit shall utilize a decorative front door with minimum 10% glazing.
14. Each townhome lot shall have a minimum width of 20 feet and a minimum depth of 80 feet.

15. Garage doors on front-loaded townhomes must contain carriage-style adornments and windows.
16. Amenities shown on the Master Plan (including a pool, bathhouse, pickle ball courts, playground) shall be provided as shown on the Master Plan and maintained by the Property Owners Association/Home Owners Association (the "HOA"). All improved open space areas will include paved walkways, public seating, supplemental plantings, trash receptacles, and bicycle parking in accordance with Wendell UDO 7.4.1.2.a.
17. HOA shall be responsible for mowing grass within the development and caring for landscaping in commonly owned areas. The initial covenants for the HOA will provide that the HOA is responsible for maintenance of the roofs on the townhouse buildings.
18. Townhome uses shall be permitted by right as part of the approved conditional uses.
19. Street 'F' shall be a local street exempt from the standards for a local street set out in section 9.4 of the UDO. Street 'F' shall comply with the following standards set out in the Master Plan:
 - a. Right-of-way width: 36-feet
 - b. Pavement width: 22-feet (two 11-foot lanes)
 - c. Curb & gutter: 2.5-feet (both sides of street)
 - d. Planting strip: 7-feet (both sides of street)
 - i. North side of street is partially within the right-of-way and partially within a 5-foot landscape easement.
 - ii. South side of street is completely within the Right-of-Way.
20. Sidewalk: 5-feet (south side of street, within a 6-foot easement outside of the right-of-way)
21. A 10' wide multi-purpose path shall be provided on the property adjacent to the Eagle Rock Road right-of-way or within the adjacent Eagle Rock Road right-of-way between Old Tarboro Road and the property's shared boundary with 729 Eagle Rock Road (PIN: 1774456682, Estate File 11-e-2338).

Planning Board Action:

At their November 21, 2022 meeting, the Planning Board voted 6-1 on the motion to recommend approval of the rezoning request.

Voting in Favor: Jonathan Olson, Benjamin Griffin, Bradley Taylor, J. Harold Broadwell, Brad Jordan and Tina Cheek

Voting Against: Tevis High

Absent: Phil Veasley and Adam King

Statement of Plan Consistency and Reasonableness:

A portion of the proposed project falls under the Innovation District placetype. While the Innovation District allows for multi-family residential (condominiums and apartments), townhomes are not mentioned and therefore the 10.27 acres within the project is inconsistent with this placetype. If the development is approved, this portion of the project will need to be coded as Medium-Residential 2 placetype to be consistent with the rest of the development. Roughly 19.38 acres would be remaining of the parcel and classified as Innovation District along Wendell Boulevard.

The plan is partially consistent with Blueprint Wendell 2030, and could be considered reasonable as it assists with the plan goals listed below:

- Neighborhoods & Housing NH3. *Diversify housing to appeal to different groups: age, income, lifestyle preferences, family situations.*
- Connectivity C2. *Improve the connectivity, robustness, and resiliency of the transportation system within and near Wendell.* The project is reserving 12,800 square feet for future right-of-way to facilitate the future realignment of Eagle Rock Road.

Signed by the Planning Board Chairperson



Planning Board Chairperson

20 Nov 2022
Date

**SUMMARY OF NEIGHBORHOOD MEETING
OLD TARBORO TOWNHOMES REZONING
CASE NO. CD22-02**

A second neighborhood meeting regarding the proposed Old Tarboro Townhomes Rezoning (Case No. CD22-02) was held via Microsoft Teams on May 29, 2024. A copy of the meeting notice letter is attached as Exhibit 1. The list of the property owners that were mailed the meeting notice is attached as Exhibit 2. Four members of the public attended the meeting. Attached as Exhibit 3 is a list of those persons who attended the meeting.

At the meeting, representatives of the Petitioner Hailey Development, LLC gave a presentation on the proposed rezoning. None of the members of the public asked questions or made any comments.

EXHIBIT 1
Neighborhood Meeting Notice Letter

SMITH, ANDERSON, BLOUNT,
DORSETT, MITCHELL & JERNIGAN, L.L.P.

LAWYERS

OFFICES
Wells Fargo Capitol Center
150 Fayetteville Street, Suite 2300
Raleigh, North Carolina 27601

TOBY R. COLEMAN
DIRECT DIAL: (919) 821-6778
E-Mail: tcoleman@smithlaw.com

May 17, 2024

MAILING ADDRESS
P.O. Box 2611
Raleigh, North Carolina
27602-2611

TELEPHONE: (919) 821-1220
FACSIMILE: (919) 821-6800

CORRECTED NEIGHBORHOOD MEETING NOTICE

Re: Notice of neighborhood meeting to discuss proposed rezoning CD22-02 for land located at 617 Old Tarboro Road, Wendell, NC 27591 (PIN: 17774471144) (the "Property")

Dear Neighboring Property Owners:

On behalf of Hailey Development, I would like to invite you to participate in a virtual neighborhood information meeting concerning the proposed development of Old Tarboro Road Townhomes on a portion of the Property.

THE MEETING WILL BE HELD ON MAY 29, 2024 AT 6 P.M. This meeting will be virtual only and no in-person meeting will be held. You can access the meeting via either of the following links:

events.teams.microsoft.com/event/05febec3-0c62-4f69-8035-51a9ec402f10@b8845713-37fd-4ad6-bf7e-fbd2e1e95555

OR

<https://rb.gy/w5flx3>

When you open either of these links, you will be asked for your name and address. Once you provide that information, you will be provided with a personal link to join the online virtual meeting.

Per Town of Wendell ordinance requirements, we are notifying you of this meeting because your property is located within the written notification area for public hearings. While this meeting is not a public hearing, it is an opportunity for you to meet with the owners and/or applicants to hear about their intention to rezone and/or develop the land. You are encouraged to ask questions so that we may help you more fully understand the proposed project.

Hailey Development has requested a rezoning of a 19.12-acre portion of the Property from Wake County Residential-30 (R-30) to Neighborhood Center-Condition District (NC-CD) to allow for the development of a new neighborhood containing approximately 127 townhomes. Maps showing the area to be rezoned and the overall site plan are enclosed.

As you may recall, this is a revision to the prior plan for this project. The number of townhomes proposed have been reduced significantly and the area proposed to be developed has been reduced.

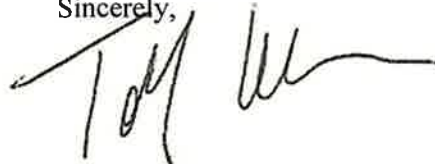
If you encounter any technical difficulties, please contact Rob Baker at (919) 838-2010 or via email at rbaker@smithlaw.com.

In addition to the printed handouts included with this mailed notice, you may also view electronic PDF versions of the proposed development master plans here: <https://smithlaw.sharefile.com/public/share/web-s118efb9c72154ed3af28880b410a0811>

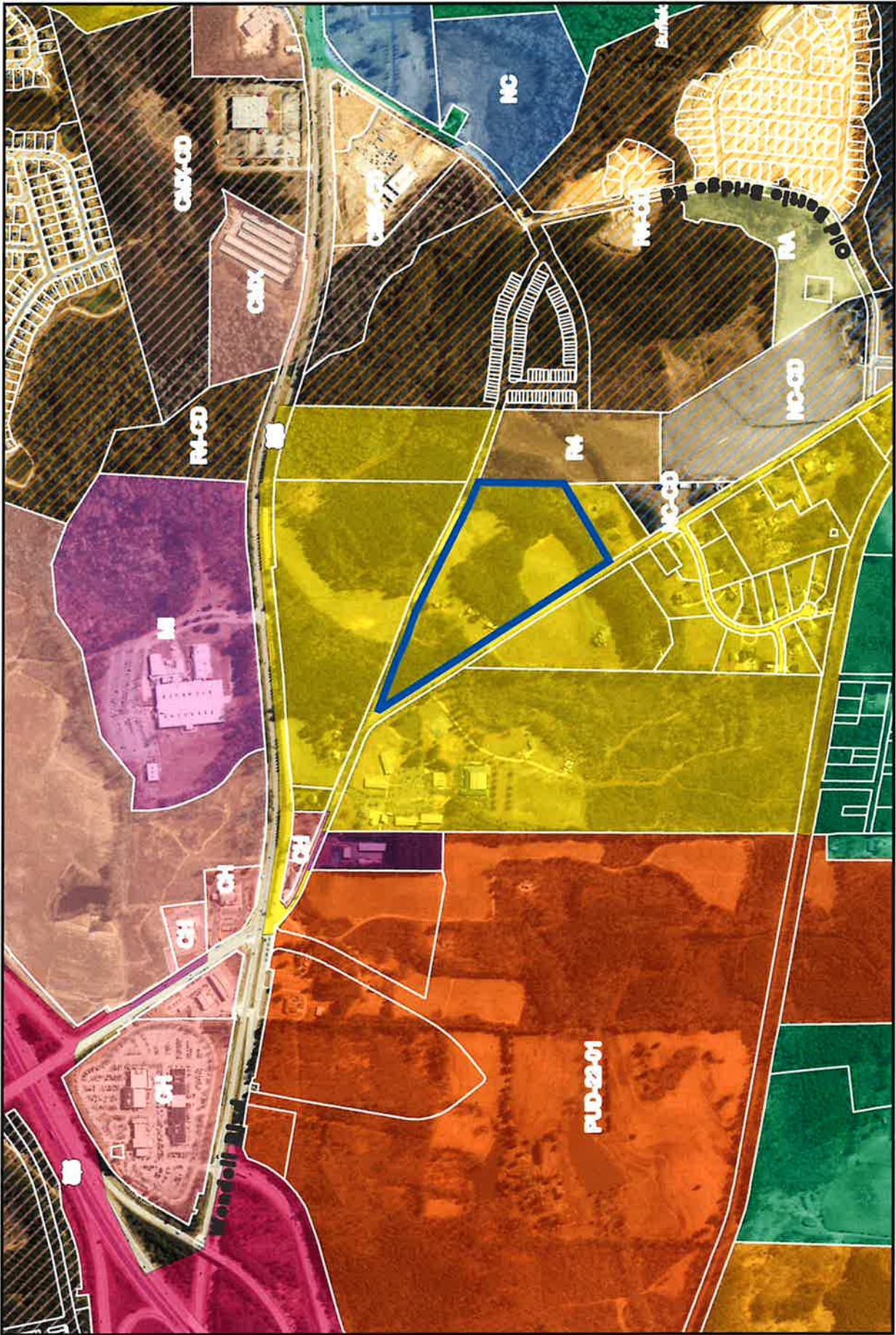
Town Planning staff will not attend this meeting. Property owners within the notification area will receive a separate notice from Town Planning staff when a public hearing is scheduled before the Town Board. If you have any questions about this neighborhood information meeting, or if you are unable to attend and would like to leave comments for our consideration, please feel free to contact me at (919) 821-6778 or via email at tcoleman@smithlaw.com. You may also contact the Wendell Planning Department at (919) 365-4448.

We look forward to seeing you at the meeting.

Sincerely,

A handwritten signature in black ink, appearing to read 'Toby R. Coleman', written over a horizontal line.

Toby R. Coleman



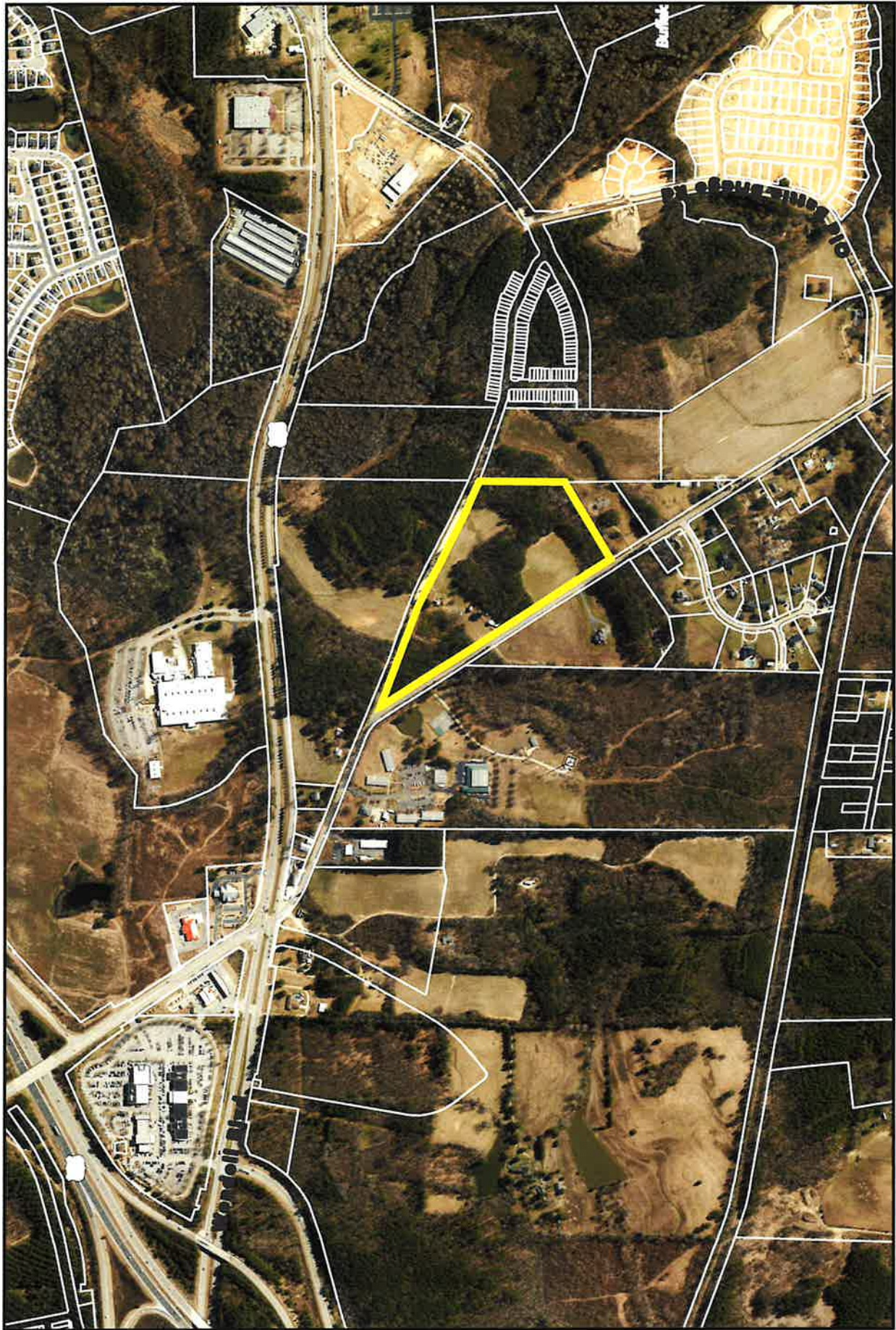


EXHIBIT 2
Mailing List

Mailing List for Second Neighborhood Meeting
Old Tarboro Townhomes Rezoning (CD22-02)

Address	Owner	PIN	Mailing Address 1	Mailing Address 2
951 WENDELL BLVD	VISHAY MEASUREMENTS GROUP INC	1774389363	PO BOX 27777	RALEIGH NC 27611-7777
532 EAGLE ROCK RD	SOUTHEASTERN FREE WILL BAPTIST BIBLE COLLEGE	1774361084	PO BOX 1067	WENDELL NC 27591-1067
6400 SHINING LIGHT DR LH	PIKE, JOHNNY	1774361084	291 PA NOBLES STORE RD	DEEP RUN NC 28525-9641
617 OLD TARBORO RD	GARDNER, NANCY MEDLIN JONES, JANICE MEDLIN	1774471144	3715 SWIFT DR	RALEIGH NC 27606-2543
1115 HUNTERS GRANDE TRL	TRINH, CAMHUONG	1774451267	1115 HUNTERS GRANDE TRL	WENDELL NC 27591-6805
520 EAGLE ROCK RD	SOUTHERN BELL TELEPHONE	1774276021	1155 PEACHTREE ST NE # 15H08	ATLANTA GA 30309-7629
605 WENDELL BLVD	STATE EMPLOYEES CREDIT UNION	1774273903	PO BOX 26807	RALEIGH NC 27611-6807
736 EAGLE ROCK RD	WILLARD, GRACE	1774453391	PO BOX 392	WENDELL NC 27591-0392
525 EAGLE ROCK RD	BAYENS, AUBREY SIDNEY BAYNES, ANN KNOTT	1774277496	PO BOX 968	WENDELL NC 27591-0968
729 EAGLE ROCK RD	BATEMAN, ANGELA A	1774456682	729 EAGLE ROCK RD	WENDELL NC 27591-9600
513 EAGLE ROCK RD	BAYNES, AUBREY SIDNEY BAYNES, ANN KNOTT	1774276531	PO BOX 968	WENDELL NC 27591-0968
1119 HUNTERS GRANDE TRL	BARRERA, CESAR	1774453280	5091 MARGARITA LN	KNIGHTDALE NC 27545
505 EAGLE ROCK RD	YOUSEF, RAMZI ALI AL MASRI, MAYSA MAHMOUD	1774274566	505 EAGLE ROCK RD	WENDELL NC 27591-9073
808 EAGLE ROCK RD	MURPHREY, HARVEY H	1774359775	808 EAGLE ROCK RD	WENDELL NC 27591-9696
813 EAGLE ROCK RD	ANDERSON, ASHLEY L ANDERSON, MELISSA	1774457283	813 EAGLE ROCK RD	WENDELL NC 27591-9697
5403 ROLESVILLE RD	THE TRUSTEES OF WAKE TECHNICAL COMMUNITY COLLEGE	1774393255	9101 FAYETTEVILLE RD	RALEIGH NC 27603-5655
0 US 64 HWY	WS-O SRE WCC LLC	1774058949	400 WATER ST STE 200	EXCELSIOR MN 55331-3001
0 US 64 HWY	WS-O SRE WCC LLC	1774272025	400 WATER ST STE 200	EXCELSIOR MN 55331-3001
529 EAGLE ROCK RD	GARDNER, LENNIE T SR GARDNER, JESSIE Y	1774279454	1508 HALL BLVD	GARNER NC 27529-4305
0 WENDELL BLVD	D R HORTON, INC	1774581132	2000 AERIAL CENTER PKWY STE 110	MORRISVILLE NC 27560-9294
750 OLD TARBORO RD	DR HORTON INC	1774550855	2000 AERIAL CENTER PKWY STE 110	MORRISVILLE NC 27560-9294
0 EAGLE ROCK RD	520 STATE STREET LLC	1774570072	2912 HIGHWOODS BLVD STE 100	RALEIGH NC 27604-1095
313 OLD BATTLE BRIDGE RD	BUNN FAMILY IRREVOCABLE TRUST	1774544526	313 OLD BATTLE BRIDGE RD	WENDELL NC 27591-9077
1116 HUNTERS GRANDE TRL	LEWIS, NICHOLAS EXUM	1774443967	1116 HUNTERS GRANDE TRL	WENDELL NC 27591-6804
1111 HUNTERS GRANDE TRL	OSBORNE, DANIEL S OSBORNE, HEATHER R	1774358164	1111 HUNTERS GRANDE TRL	WENDELL NC 27591-6805
1120 HUNTERS GRANDE TRL	WALL, JAMES A JR	1774455066	1120 HUNTERS GRANDE TRL	WENDELL NC 27591-6800

EXHIBIT 3
May 29, 2024 Neighborhood Meeting Sign-In Sheet

OLD TARBORO TOWNHOMES REZONING (CD22-02)

MAY 29, 2024

Attendee List

Registration First Name	Registration Last Name	Address	City	State
Aubrey Sidney	Baynes	PO Box 968	Wendell	NC
William	Flanagan	3405 Bennyfield Ct	Fuquay-Varina	North Carolina
Harvey	Murphrey	808 Eagle Rock Road	Wendell	NC
kenneth	medlin	3715 swift drive	raleigh	nc

Return Address: Bryan Coates, Planning Director
Town of Wendell
409 Landing View Drive
Wendell, NC 27591

ANNEXATION PETITION: A22-11

REZONING PETITION: CD22-02

PIN: 1774471144

Owners: Nancy Medlin Gardner, Janice Medlin Jones, Susie Medlin Flanagan and Kenneth Owen Medlin
Non-Contiguous; 21.40 +/- acres

ORDINANCE NO. O-07-2024
AN ORDINANCE TO EXTEND THE CORPORATE LIMITS
AND AMEND THE ZONING ORDINANCE AND ZONING MAP
OF THE TOWN OF WENDELL, NORTH CAROLINA

WHEREAS, the Town of Wendell has been petitioned under G.S. 160A-58.1 to annex the area described below; and

WHEREAS, a petition has been filed with the Board of Commissioners of the Town of Wendell requesting an amendment to the Zoning Ordinance and Zoning Map of the Town of Wendell to include in the Neighborhood Center Conditional District (NC-CD22-02) zone the property described below, said property formerly being zoned Wake County Residential-30 (R-30); and

WHEREAS, said property is owned by Nancy Medlin Gardner, Janice Medlin Jones, Susie Medlin Flanagan and Kenneth Owen Medlin and bears the PIN set forth above; and

WHEREAS, the Planning Board of the Town of Wendell has reviewed the proposed zoning change(s) and made a recommendation thereupon; and

WHEREAS, the Town of Wendell has by resolution directed the Town Clerk to investigate the sufficiency of the annexation petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the annexation petition; and

WHEREAS, notice of a public hearing to consider the annexation petition was duly published in The Wake Weekly, a local newspaper of general circulation, as required by Section 160A-58.2 of the North Carolina General Statutes; and

WHEREAS, notice of a public hearing to consider the proposed zoning change was duly published in The Wake Weekly, a local newspaper, as required by the Wendell Unified Development Ordinance and by Section 160D-601 of the North Carolina General Statutes; and

WHEREAS, a notice of the proposed zoning classification action was mailed to the owner(s) of the parcel(s) of land involved, as shown on the County Tax Listings, and to the owners of all parcels of land abutting that (those) parcel(s) of land as shown on the County Tax Listings, by depositing a copy of the same in the United States Mail, first class postage paid, as required by the Zoning Ordinance of the Town of Wendell and by Section 160D-602 of the General Statutes; and

WHEREAS, the said public hearing on the question of the annexation petition and the proposed zoning change was actually conducted at 7:00 p.m. on June 10, 2024 wherein a reasonable opportunity was given to all those in attendance to speak either in favor or against the said change or to make relevant comments; and

WHEREAS, the Town of Wendell finds that the annexation petition meets the requirements of G.S. 160A-58.1(b) to wit:

- a. The nearest point on the proposed satellite corporate limits is not more than three miles from the corporate limits of the Town;
- b. No point on the proposed satellite corporate limits is closer to another municipality than to the Town;
- c. The area described is so situated that the Town will be able to provide the same services within the proposed satellite corporate limits that it provides within the primary corporate limits;
- d. No subdivision, as defined in G.S. 160D-802, will be fragmented by this proposed annexation; and

NOW, THEREFORE, BE IT ORDAINED by the Board of Commissioners of the Town of Wendell, North Carolina that:

Section 1: Extending the Corporate Limits of the Town of Wendell, North Carolina.

Part 1. By virtue of the authority granted by G.S. 160A-58.2, the following described territory is hereby annexed and made part of the Town of Wendell as of June 10, 2024:

The property identified by PIN 1774471144 and also shown as the 21.40-acre tract located at 617 Old Tarboro Road on the below identified survey plat is hereby annexed and made part of the Town of Wendell, North Carolina, as of the date of adoption of this Ordinance on June 10, 2024. The survey plat that describes the annexed territory is that certain survey plat entitled "Annexation Plat, Satellite Extension of Corporate Limits of the Town of Wendell" and recorded in Book of Maps Book Number _____, Page Number _____, Wake County Registry.

Part 2. Upon and after June 10, 2024, the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the Town of Wendell and shall be entitled to the same privileges and benefits as other parts of the Town of Wendell. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Part 3. The Mayor of the Town of Wendell shall cause to be recorded in the office of the Register of Deeds of Wake County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the County Board of Elections, as required by G.S. 163-288.1.

Section 2: Amending the Zoning Ordinance and Zoning Map of the Town of Wendell, North Carolina.

Part 1. That the Unified Development Ordinance of the Town of Wendell is hereby amended to include in the Neighborhood Center Conditional District (NC-CD22-02) zone the following described property:

General Description:

Property is located at: 617 Old Tarboro Road

Specific Description:

Parcel Identification Number: 1774471144

Part 2. That the official Town of Wendell Zoning Map is hereby amended to include in the Neighborhood Center Conditional District (NC-CD22-02) zoning district 21.40 acres of land located at 617 Old Tarboro Road (PIN: 1774471144).

Part 3. The requested zoning map amendment for the parcel within the rezoning area identified as CD22-02 from Wake County Residential-30 (R-30) to NC-CD22-02 is found to be consistent with the Blueprint Wendell 2030 Comprehensive Plan placetype designation of Medium Residential Living – 2 as it relates to uses, street pattern, street types, connectivity and open space. The requested map amendment can be considered reasonable since it supports the following goals:

- Neighborhoods & Housing NH3. Diversify housing to appeal to different groups: age, income, lifestyle preferences, family situations;
- Connectivity C2. Improve the connectivity, robustness, and resiliency of the transportation system within and near Wendell. The project is reserving 12,800 square feet for future right-of-way to facilitate the future realignment of Eagle Rock Road.

Part 4. That the application is approved with the following zoning/site plan conditions:

1. The minimum heated square footage of each townhome unit shall be 1,500 square feet.
2. Each unit of a townhouse building shall have a garage.
 - a. Garages on front-loaded townhomes will be a one-car garage of at least 16'-8" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window. Garage doors on front-loaded townhomes must contain carriage-style adornments.
 - b. Garages on rear-loaded townhomes will be a two-car garage of at least 19'-0" x 19'-0" in size in order to accommodate refuse containers and have a garage door with window.
3. Townhouse units shall have a covered front stoop.
4. Vinyl siding is prohibited except for trim elements. At least two (2) of the following materials shall be used on each townhouse building: wood, fiber-cement, metal, masonry brick, brick veneer, masonry stone, stone veneer, board and batten, or synthetic stone.
5. A minimum of 12" roof overhang shall be provided along the front, back, and sides of each townhouse building.
6. A 10' wide supplemental screening buffer shall be maintained along the south of Old Tarboro Road as shown on Sheet C4.0 of the approved master plan. Except where existing plant material is used, the screening buffer shall consist of 12 understory trees and 48 shrubs per 100 linear feet (in addition to required street trees). Existing plant material may be used but shall be supplemented to meet the requirements of the supplemental screening buffer as defined in the master plan.
7. All townhouse end units shall have at least one window per floor.
8. Townhouse buildings shall have at least (2) front facing gables.
9. To avoid monotony of exterior elevations, a 2' offset in the front façade shall be used every third townhouse unit at a minimum.
10. Townhouse buildings shall have window shutters on at least 25% of the windows on the front façade.
11. Townhouse buildings shall contain at least two elements of the following siding styles: horizontal, shake and board and batten.
12. Each townhouse unit shall utilize a decorative front door with minimum 10% glazing.
13. Each townhome lot shall have a minimum width of 20 feet and a minimum depth of 80 feet.
14. Amenities shown on the Master Plan (including a pool, pickle ball court, playground, dog park) shall be provided as shown on the Master Plan and maintained by the Property Owners Association/Home Owners

- Association (the "HOA"). All improved open space areas will include paved walkways, public seating, supplemental plantings, trash receptacles, and bicycle parking in accordance with Wendell UDO 7.4, A.2.a.
15. HOA shall be responsible for mowing grass within the development and caring for landscaping in commonly-owned areas. The initial covenants for the HOA will provide that the HOA is responsible for maintenance of the roofs on the townhouse buildings.
 16. The Townhome use shall be permitted by right as part of the approved conditional uses.
 17. Street 'A' shall be a local street exempt from the standards for a local street set out in section 9.4 of the UDO. Street 'A' shall comply with the following standards set out in the Master Plan:
 - a. Right-of-way width: 52 feet
 - b. Pavement width: 22 feet
 - c. Curb & gutter: 2.5-feet (both sides of street)
 - d. Planting strip: 7-feet (on side of street without multi-use path), 5 feet (on side of street with multi-use path)
 - e. Multi-use path: 10 feet (one side of street)
 18. Street 'F' shall be a local street exempt from the standards for a local street set out in section 9.4 of the UDO. Street 'F' shall comply with the following standards set out in the Master Plan:
 - a. Right-of-way width: 36-feet
 - b. Pavement width: 22-feet (two 11-foot lanes)
 - c. Curb & gutter: 2.5-feet (both sides of street)
 - d. Planting strip: 7-feet (both sides of street)
 - i. North side of street is partially within the right-of-way and partially within a 5-foot landscape easement.
 - ii. South side of street is completely within the right-of-way.
 - e. Sidewalk: 5-feet (south side of street, within a 6-foot easement outside of the right-of-way)
 19. A 10' wide multi-use path shall be provided on the property adjacent to the Eagle Rock Road right-of-way or within the adjacent Eagle Rock Road right-of-way between Old Tarboro Road and the property's shared boundary with 729 Eagle Rock Road (PIN: 1774456682, Estate File 11-E-2338).
 20. The initial site construction plan for the property shall provide that the area labeled "12,800 sf to be reserved for potential future R.O.W." on the Master Plan shall be reserved and not built upon pending the realignment of Eagle Rock Road. The Town may request at or after the first development application for the property that the owner dedicate right-of-way and/or grant easements through portions of said area that the NCDOT actually has deemed reasonably necessary for the Eagle Rock Road alignment. To the extent necessary, the property owner may complete grading in the area subject to this condition prior to the recordation of any dedication or grant of easement.

Part 5. That if any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

Part 6. That this ordinance shall become effective immediately upon its adoption.

DULY ADOPTED by the Board of Commissioners of the Town of Wendell this 10th day of June 2024 while in regular session.

(Town Seal)

Virginia R. Gray, Mayor

ATTEST:

APPROVED AS TO FORM:

Megan Howard, Deputy Town Clerk

James P. Cauley III, Town Attorney

Page 2

STATE OF NORTH CAROLINA
COUNTY OF WAKE

CLERK'S CERTIFICATION

I, MEGAN HOWARD, Deputy Town Clerk of the Town of Wendell, North Carolina, do hereby certify that the attached is original ordinance #O-07-2024, as adopted by the Wendell Board of Commissioners on the 10th day of June 2024 for property owned by Nancy Medlin Gardner, Janice Medlin Jones, Susie Medlin Flanagan and Kenneth Owen Medlin and is approved for recording in the Wake County Register of Deeds.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official Seal of the Town of Wendell, North Carolina this ____ day of _____, 2024.

[TOWN SEAL]

Megan Howard, Deputy Town Clerk



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Bryan Coates, Planning

ITEM TYPE: Text Amendment (Code of Ordinances)

AGENDA SECTION: PUBLIC HEARINGS

SUBJECT: Public Hearing on Zoning Text Amendment (ZTA24-02)- to the Arterial and Collector Street Plan (Appendix C) in the Unified Development Ordinance

SPECIFIC ACTION REQUESTED: Make a Motion to amendment to the Arterial and Collector Street Plan, Appendix C in the UDO.

ITEM SUMMARY:

In September 2015, the Town adopted the Arterial and Collector Street Plan. The adoption of this plan provided standards for design and articulated the Town’s vision of future roadway connections. When the plan was created, staff and the consultants aimed to make future connections that made sense at the time. Many of those connections were shown as “new facilities” and did not have the right-of-way to construct the new roads shown on the map.

Due to community feedback in 2019, the Town amended the Arterial and Collector Street Plan and infrastructure improvement requirements to reduce the financial burden on developers seeking to build along arterial or collector roads. At that time, the Transportation Plan Map was not impacted.

Other key factors to consider when constructing infrastructure are environmental and topographical challenges.

Several of the proposed roads in the Transportation Plan Map would need to overcome these challenges. One of those proposed roads is between Old Battle Bridge and Liles Dean Road. This segment is proposed to be a Major Collector (three-lane undivided within a 79-foot right-of-way).

Town of Wendell Planning Staff has submitted a Text Amendment application for the following:

To delete the proposed Major Collector (three-lane undivided road) shown crossing Buffalo Creek between Old Battle Bride and Liles Dean Road from the Transportation Plan map, Appendix C of the UDO.

The intent of this road is to connect Old Battle Bridge Road to Liles Dean Road and would run southeast parallel to Wendell Boulevard. This would require traversing the Buffalo Creek floodplain, three blue line streams and would have to cross and impact the preserved Bailey Farm along Liles Dean Road. Wake County Government recently purchased the development rights on 125 acres of the 129-acre Bailey Farm. The land is preserved for farm use, open space, and wildlife habitat.

Blueprint Wendell 2030 classifies the Bailey Farm and other parcels nearby as Low-Density Estate and classifies Buffalo Creek as the future Wendell Central Park. Land south of the Bailey Farm, owned by Wake County and the Town of Wendell, is classified as Conservation and Recreation for future use. The Town of Wendell is currently designing the Buffalo Creek Greenway along the corridor.

Planning Board Action:

At their May 20, 2024 meeting, the Planning Board voted 5-0 on the motion to recommend approval of the text amendment.

Voting in Favor: Benjamin Griffin, Tina Cheek, J. Harold Broadwell, Bradley Taylor, and Matthew Meinig

Voting Against: none

Absent: Adam King, Brad Jordan, Phil Veasley and Tevis High

ATTACHMENTS:

ZTA 24-02 Staff Analysis.doc

ZTA 24-02 Map 1.pdf

ZTA 24-02 Map 2- Flood Prone Soils.pdf

ZTA 24-02 Map 3- Contours.pdf

Arterial & Collector Plan Current Map- Text Amendment Version.pdf

Arterial & Collector Plan Current Map.pdf

O-08-2024 Ordinance to Update ACS Map.pdf

PB Recommendation ZTA24-03 ACS Plan.pdf



Staff Analysis

Item Title:

ZTA24-02 Text Amendment to the Arterial and Collector Street Plan in the Unified Development Ordinance.

Item Summary:

In September 2015, the Town adopted the Arterial and Collector Street Plan. The adoption of this plan provided standards for design and articulated the Town's vision of future roadway connections. When the plan was created, staff and the consultants aimed to make future connections that made sense at the time. Many of those connections were shown as "new facilities" and did not have the right-of-way to construct the new roads shown on the map.

Due to community feedback in 2019, the Town amended the Arterial and Collector Street Plan and infrastructure improvement requirements to reduce the financial burden on developers seeking to build along arterial or collector roads. At that time, the Transportation Plan Map was not impacted.

Other key factors to consider when constructing infrastructure are environmental and topographical challenges.

Several of the proposed roads in the Transportation Plan Map would need to overcome these challenges. One of those proposed roads is between Old Battle Bridge and Liles Dean Road. This segment is proposed to be a Major Collector (three-lane undivided within a 79-foot right-of-way).

Town of Wendell Planning Staff has submitted a Text Amendment application for the following:

To delete the proposed Major Collector (three-lane undivided road) shown crossing Buffalo Creek between Old Battle Bride and Liles Dean Road from the Transportation Plan map, Appendix C of the UDO.

This road is not shown as a future connection in CAMPO's 2050 long-range transportation plans.

The intent of this road is to connect Old Battle Bridge Road to Liles Dean Road and would run southeast parallel to Wendell Boulevard. This would require traversing the Buffalo Creek floodplain, three blue line streams and would have to cross and impact the preserved Bailey Farm along Liles Dean Road. Wake County Government recently purchased the development

rights on 125 acres of the 129-acre Bailey Farm. The land is preserved for farm use, open space, and wildlife habitat. (See Attachment C).

Not being able to cross the Bailey Farm and connect with Liles Dean Road does not allow the future roadway to make the planned connections.

Blueprint Wendell 2030 classifies the Bailey Farm and other parcels nearby as Low-Density Estate and classifies Buffalo Creek as the future Wendell Central Park. Land south of the Bailey Farm, owned by Wake County and the Town of Wendell, is classified as Conservation and Recreation for future use. The Town of Wendell is currently designing the Buffalo Creek Greenway along the corridor.

Both Old Battle Bridge Road and Liles Dean Road would be three-lane Minor Thoroughfare roadways at buildout. Both roadways are currently maintained by NCDOT and could be signalized in the future. NCDOT recommends 1,200 feet between signalized intersections, therefore the current location of the roadway could be challenging in the future and moving it closer to Wendell Boulevard would not comply with NCDOT recommendations.

Minor thoroughfares are intended to connect smaller activity centers, allow greater access, and as such, permit lower traveling speeds. Large residential areas are envisioned to be connected by minor thoroughfares.

Statement of Plan Consistency and Reasonableness:

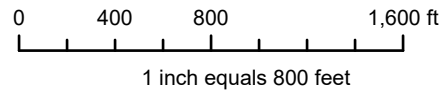
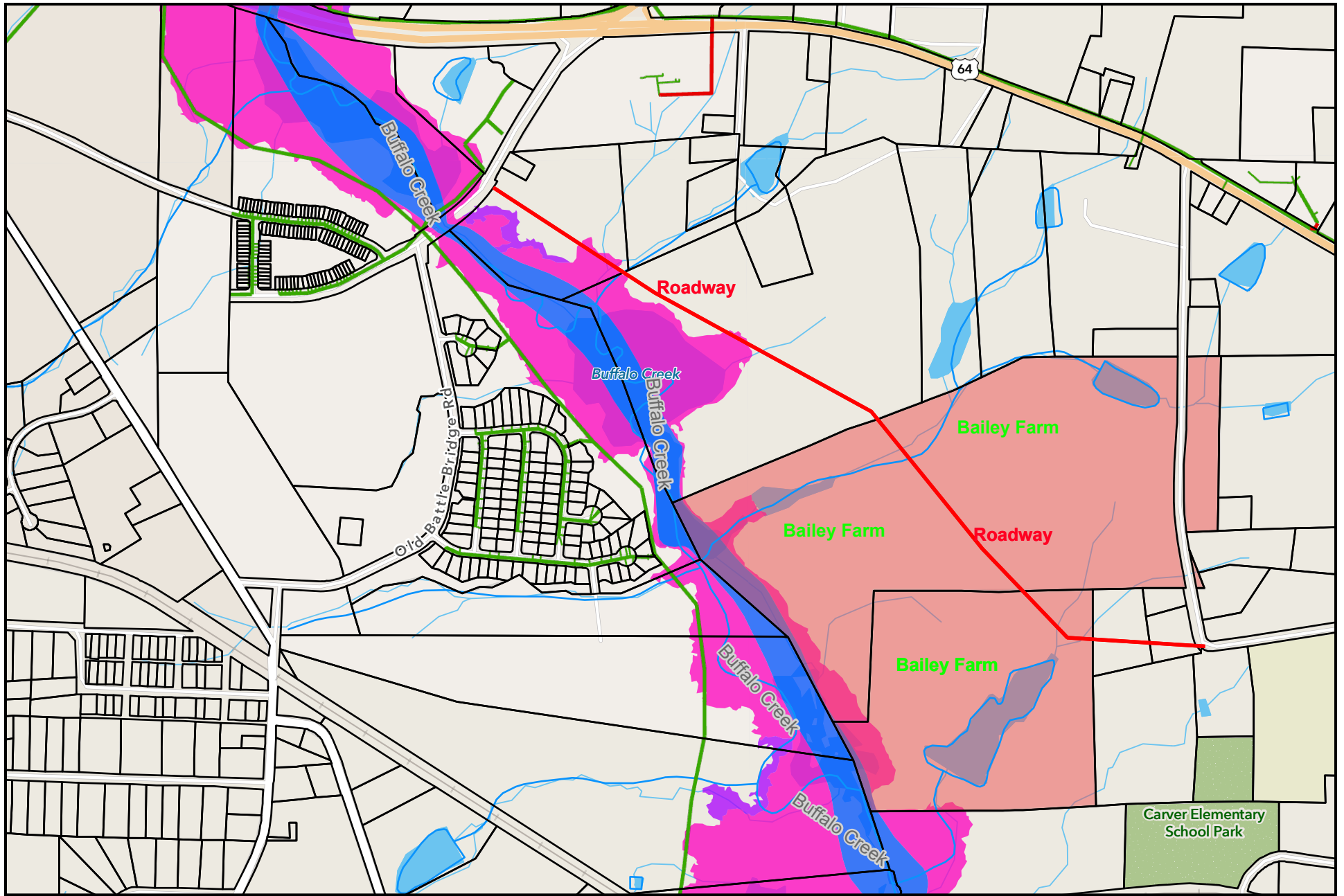
The proposed amendment could be found to be consistent with the following principles of the comprehensive plan and deemed reasonable and desirable in order to ensure that the Town acknowledges sustainable development practices:

GM3.1- Update Adopted Plans. The Town’s plans and regulations should work in concert to provide a clear path forward and advance the community toward its vision for the future. To that end, the Town should allocate resources to review and revise, as needed, the various adopted plans of the Town, including transportation plans, small area plans, utility development, and strategic or economic plans. Examine each through the lens of Blueprint Wendell 2030 and amend each one accordingly.

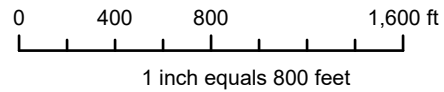
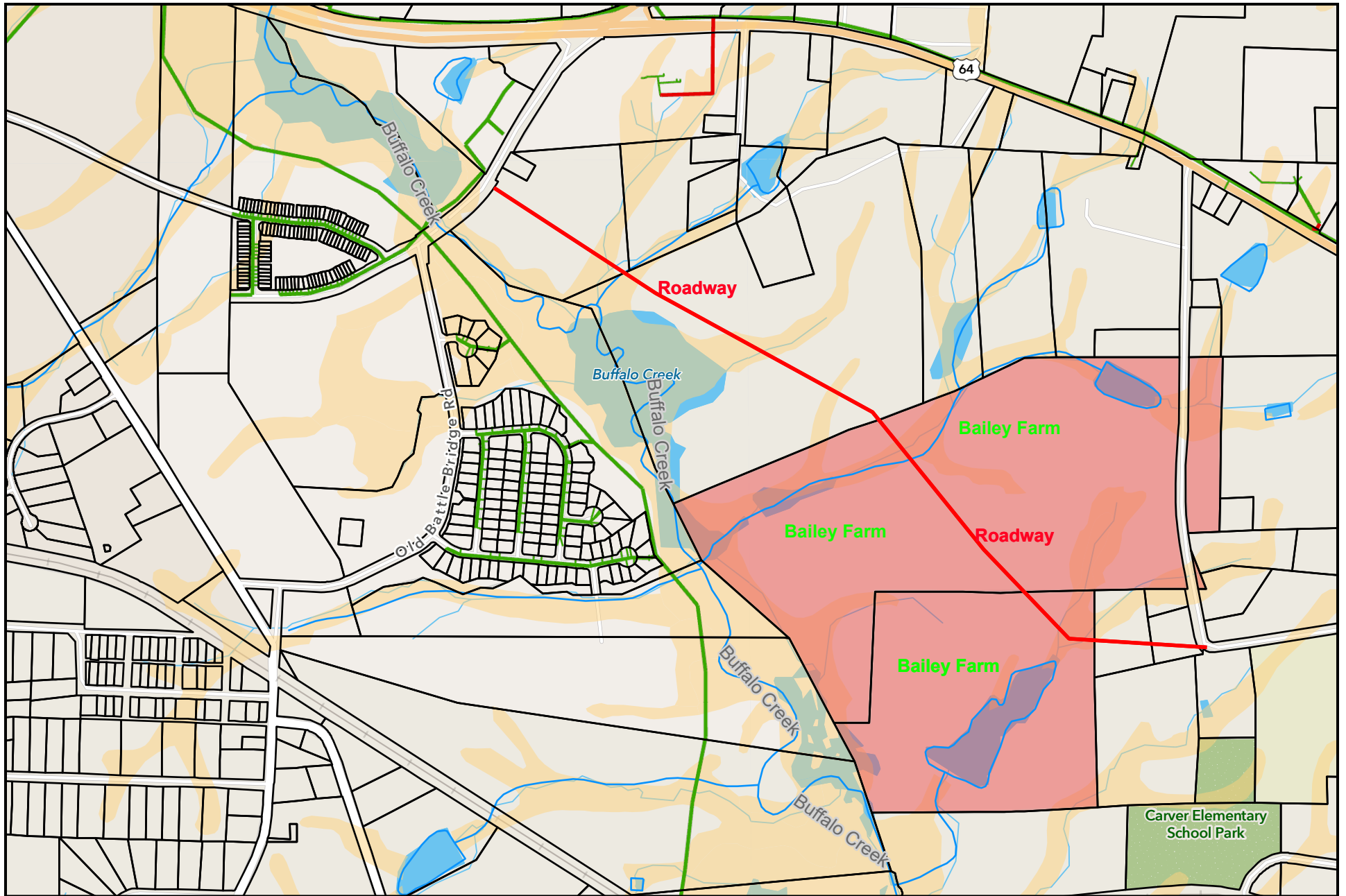
The land use classifications along the future corridor are low density with recreation and conservation nearby. Blueprint Wendell 2030 designations for Buffalo Creek and nearby lands do not support the three-lane undivided roadway.

Staff Recommendation:

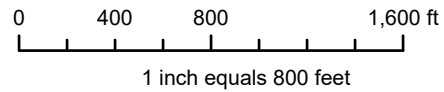
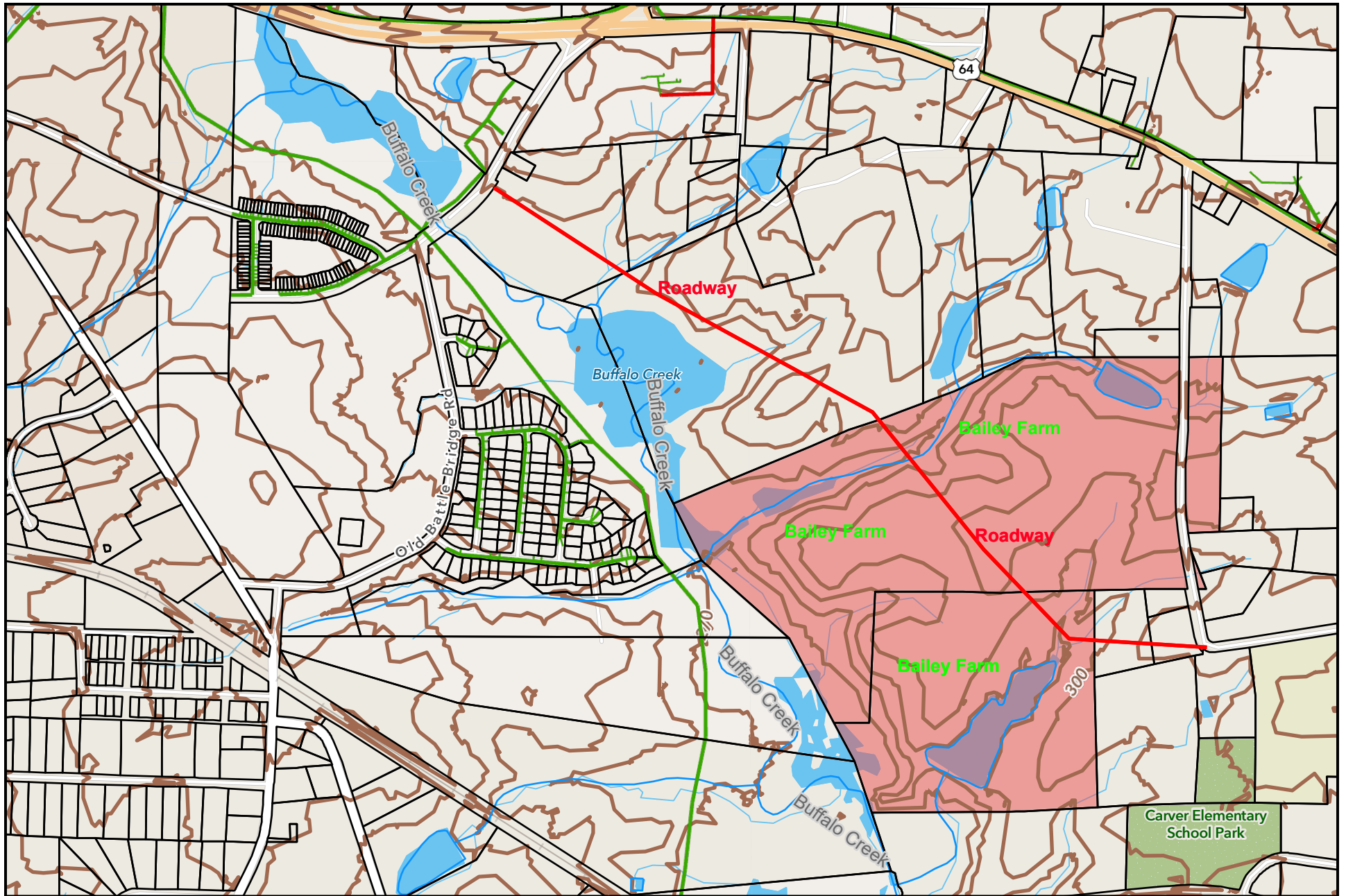
Staff recommends approval of the proposed change to the Arterial and Street Collector Plan and more specifically, the deletion of the proposed Major Collector from the Transportation Plan Map (Appendix C to the UDO).



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EXHIBIT 1

Arterial and Collector Street Map

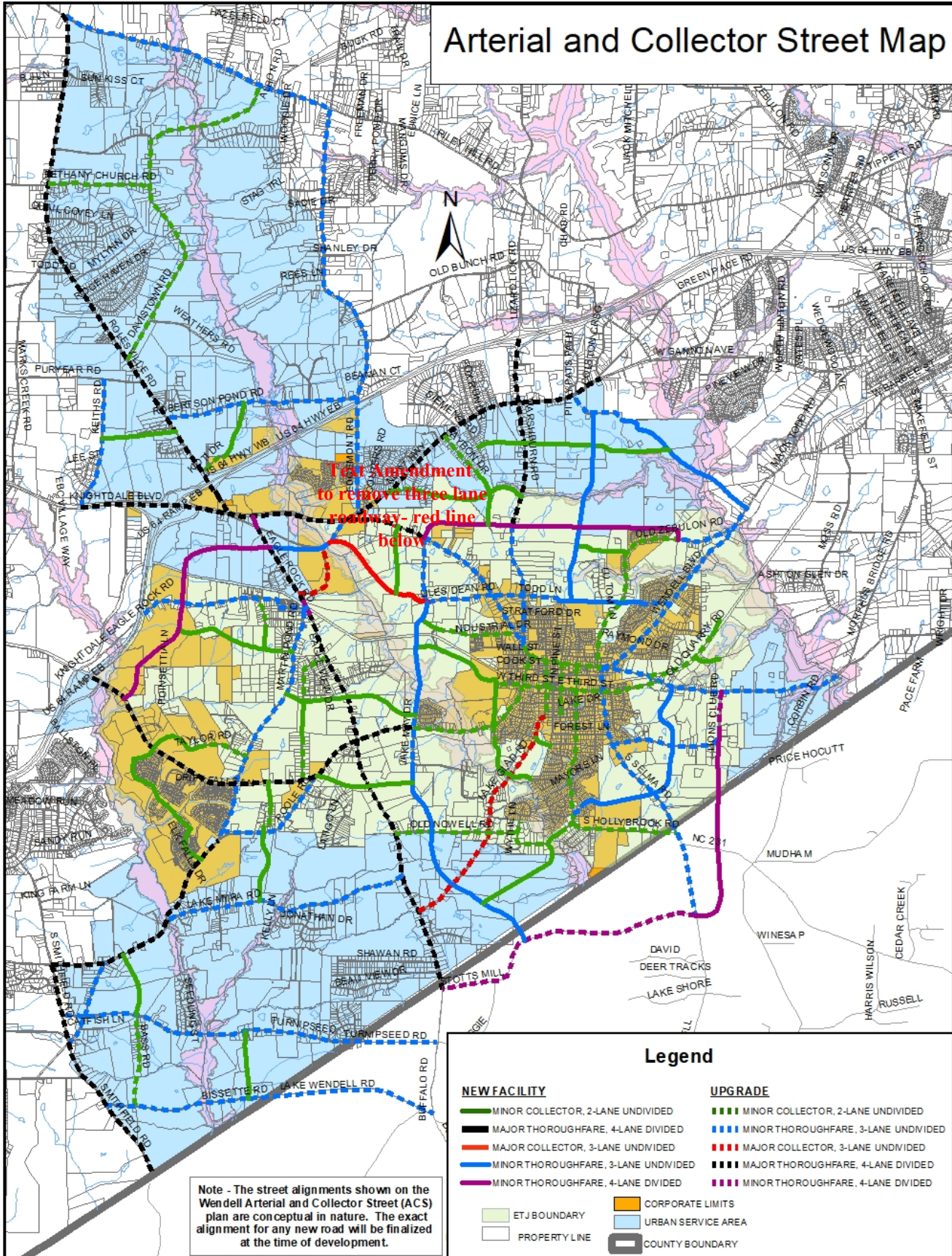
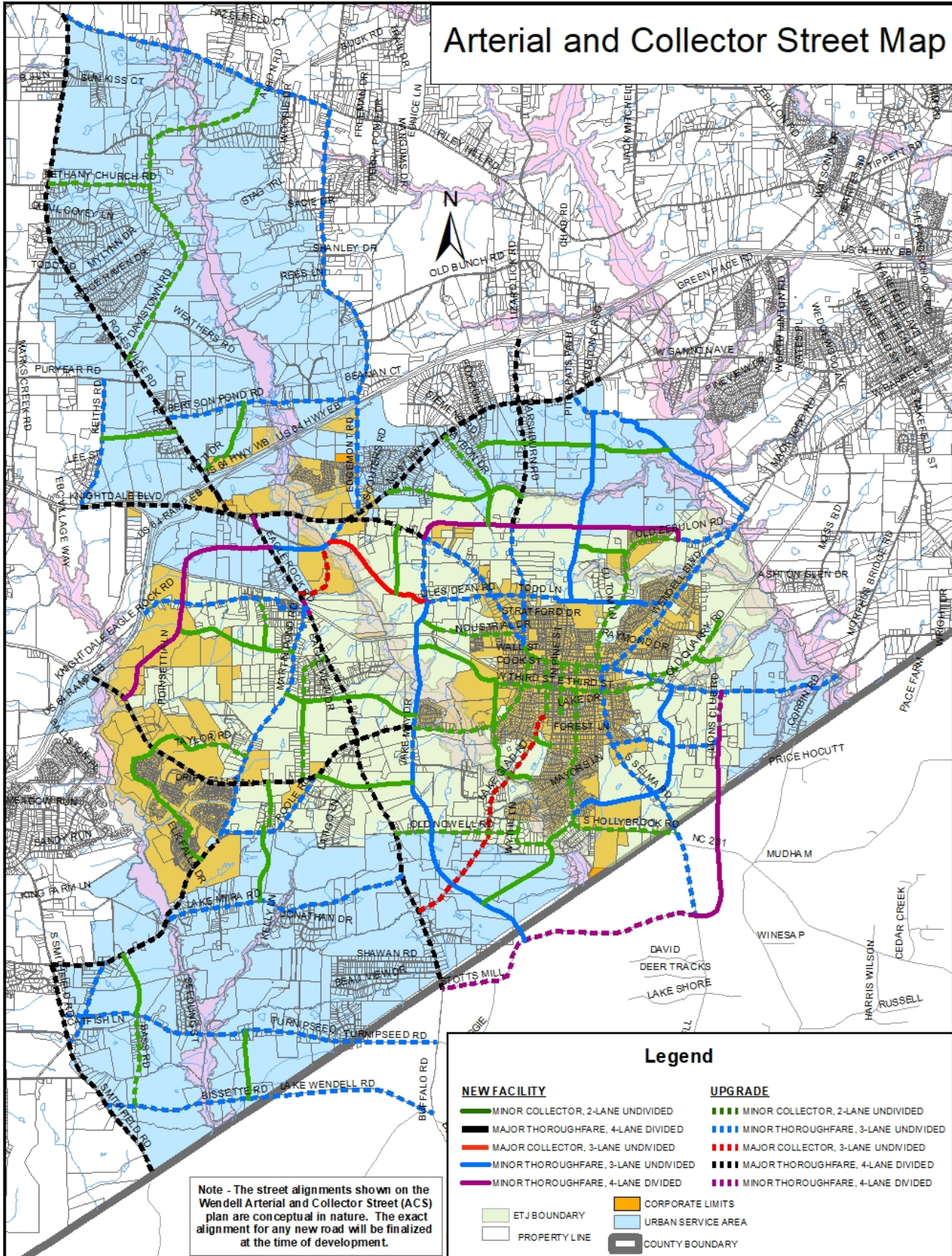


EXHIBIT 1

Arterial and Collector Street Map



0 0.25 0.5 1 1.5 2 Miles

ACS Map Amended 2-22-21

ORD # O-08-2024
**AN ORDINANCE TO AMEND APPENDIX C – ARTERIAL AND COLLECTOR STREET PLAN
OF THE TOWN OF WENDELL UNIFIED DEVELOPMENT ORDINANCE**

WHEREAS, Appendix C- Arterial and Collector Street Plan of the Town of Wendell Unified Development Ordinance contains a map of the Town’s vision of future roadway connections; and

WHEREAS, the Town of Wendell Unified Development Ordinance Section 15.11 establishes uniform procedures for amending the text of the Ordinance;

NOW, THEREFORE BE IT ORDAINED by the Town Board of the Town of Wendell, North Carolina:

SECTION 1. That Appendix C- Arterial and Collector Street Plan of the Town of Wendell Unified Development Ordinance be amended as follows:

- Delete the proposed Major Collector (three-lane undivided road) shown crossing Buffalo Creek between Old Battle Bride and Liles Dean Road from the Transportation Plan map, Appendix C of the UDO.

SECTION 2. That all laws and clauses of law in conflict herewith are hereby repealed to the extent of said conflict.

SECTION 3. That if this ordinance or application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions of this ordinance which can be given separate effect and to the end the provisions of this ordinance are declared to be severable.

SECTION 4. That the proposed text amendment to Appendix C- Arterial and Collector Street Plan of the Town of Wendell Unified Development Ordinance is found to be consistent with the Wendell comprehensive plan Blueprint Wendell 2030 since it supports the following recommendations:

- Growth Management – Goal GM3.1 Update Adopted Plans. The Town’s plans and regulations should work in concert to provide a clear path forward and advance the community toward its vision for the future. To that end, the Town should allocate resources to review and revise, as needed, the various adopted plans of the Town, including transportation plans, small area plans, utility development, and strategic or economic plans. Examine each through the lens of Blueprint Wendell 2030 and amend each one accordingly.

SECTION 5. That Exhibit 1 of Appendix C – Arterial and Collector Street Plan of the Town of Wendell Unified Development Ordinance be replaced with the attached Exhibit 1 amendment date 6-10-2024.

SECTION 6. That this ordinance has been adopted following a duly advertised public hearing of the Town Board and following recommendation by the Planning Board.

SECTION 7. That this ordinance shall be enforced as provided in G.S. 160A-175 or as provided for in the Wendell Town Code.

SECTION 8. That this ordinance shall become effective upon its adoption by the Wendell Board of Commissioners.

DULY ADOPTED the 10th day of June 2024.

(Town Seal)

Virginia R. Gray, Mayor

ATTEST:

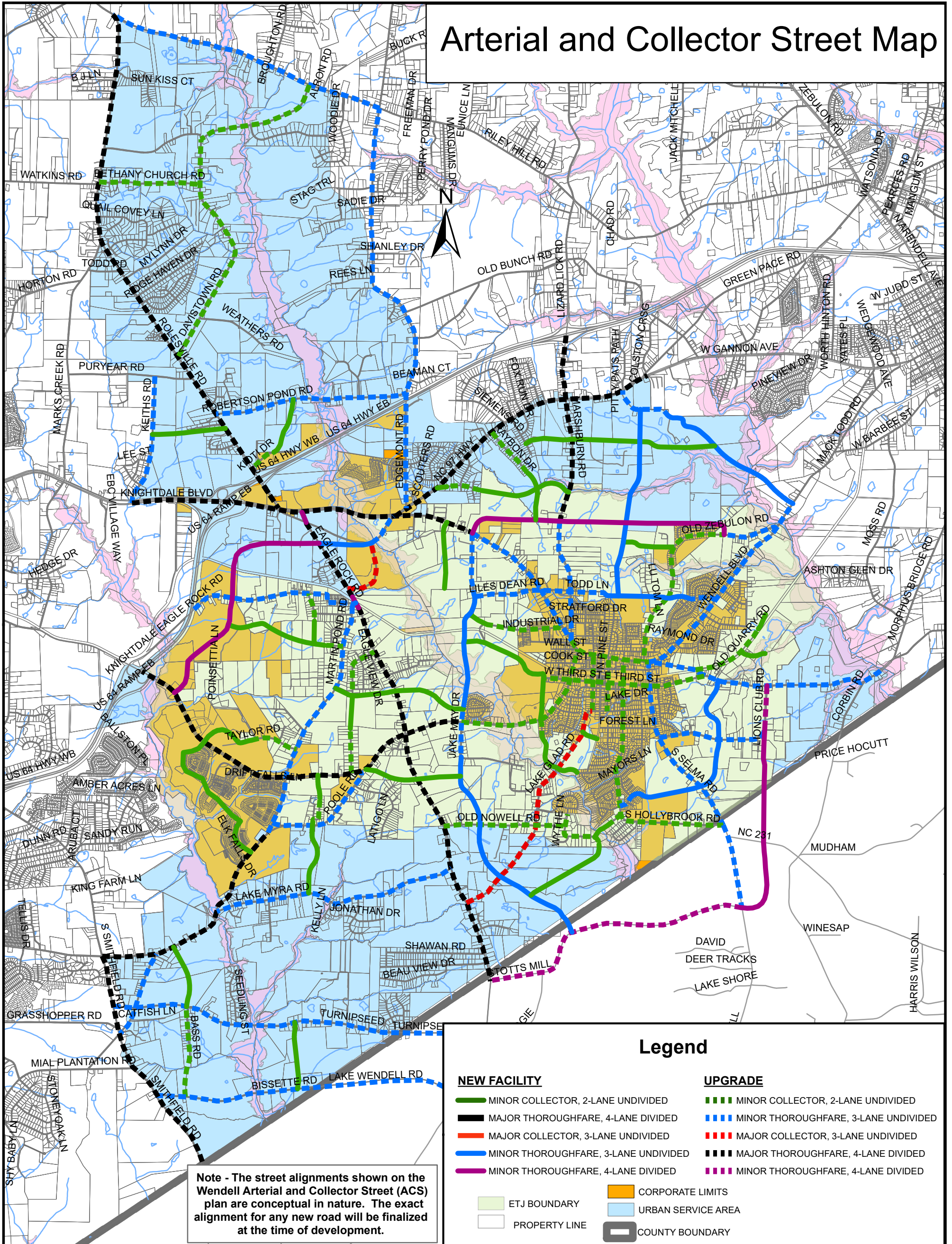
APPROVED AS TO FORM:

Megan Howard, Deputy Town Clerk

James P. Cauley III, Town Attorney

EXHIBIT 1

Arterial and Collector Street Map



0 0.25 0.5 1 1.5 2 Miles

ACS Map Amended 6-10-2024



Wendell Planning Board Recommendation to the Wendell Board of Commissioners

ZTA24-02:

Text Amendment to the Arterial and Collector Street Plan in the Unified Development Ordinance

Case Description:

Amendment Summary:

- In September 2015, the Town adopted the Arterial and Collector Street Plan. The adoption of this plan provided standards for design and articulated the Town's vision of future roadway connections. When the plan was created, staff and the consultants aimed to make future connections that made sense at the time. Many of those connections were shown as "new facilities" and did not have the right-of-way to construct the new roads shown on the map.
- Town of Wendell Planning Staff has submitted a Text Amendment application for the following:
 - **To delete the proposed Major Collector (three-lane undivided road) shown crossing Buffalo Creek between Old Battle Bride and Liles Dean Road from the Transportation Plan map, Appendix C of the UDO.**
 - This road is not shown as a future connection in CAMPO's 2050 long-range transportation plans.
 - The intent of this road is to connect Old Battle Bridge Road to Liles Dean Road and would run southeast parallel to Wendell Boulevard. This would require traversing the Buffalo Creek floodplain, three blue line streams and would have to cross and impact the preserved Bailey Farm along Liles Dean Road. Wake County Government recently purchased the development rights on 125 acres of the 129-acre Bailey Farm. The land is preserved for farm use, open space, and wildlife habitat.
 - Not being able to cross the Bailey Farm and connect with Liles Dean Road does not allow the future roadway to make the planned connections.

- Blueprint Wendell 2030 classifies the Bailey Farm and other parcels nearby as Low-Density Estate and classifies Buffalo Creek as the future Wendell Central Park. Land south of the Bailey Farm, owned by Wake County and the Town of Wendell, is classified as Conservation and Recreation for future use. The Town of Wendell is currently designing the Buffalo Creek Greenway along the corridor.
- Both Old Battle Bridge Road and Liles Dean Road would be three-lane Minor Thoroughfare roadways at buildout. Both roadways are currently maintained by NCDOT and could be signalized in the future. NCDOT recommends 1,200 feet between signalized intersections, therefore the current location of the roadway could be challenging in the future and moving it closer to Wendell Boulevard would not comply with NCDOT recommendations.
- Minor thoroughfares are intended to connect smaller activity centers, allow greater access, and as such, permit lower traveling speeds. Large residential areas are envisioned to be connected by minor thoroughfares.

Planning Board Action:

At their May 20, 2024 meeting, the Planning Board voted 5-0 on the motion to recommend approval of the text amendment.

Voting in Favor: Benjamin Griffin, Tina Cheek, J. Harold Broadwell, Bradley Taylor, and Matthew Meinig

Voting Against: none

Absent: Adam King, Brad Jordan, Phil Veasley and Tevis High

Statement of Plan Consistency:

The proposed amendment could be found to be consistent with the following principles of the comprehensive plan and deemed reasonable and desirable in order to ensure that the Town acknowledges sustainable development practices:

GM3.1- Update Adopted Plans. The Town’s plans and regulations should work in concert to provide a clear path forward and advance the community toward its vision for the future. To that end, the Town should allocate resources to review and revise, as needed, the various adopted plans of the Town, including transportation plans, small area plans, utility development, and strategic or economic plans. Examine each through the lens of Blueprint Wendell 2030 and amend each one accordingly.

The land use classifications along the future corridor are low density with recreation and conservation nearby. Blueprint Wendell 2030 designations for Buffalo Creek and nearby lands do not support the three-lane undivided roadway.

Approved by the Planning Board Chairman



Planning Board Chairman

4 JUN 2024
Date



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Bryan Coates, Planning

ITEM TYPE: Rezoning

AGENDA SECTION: PUBLIC HEARINGS

SUBJECT: Public Hearing to Annex (A24-02) and Rezone (CD23-06) Approximately 16.51 Acres from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD) to Create a Flex Space Complex on Old Battle Bridge Road

SPECIFIC ACTION REQUESTED: Hold a public hearing on the proposed annexation and rezoning request and consider making a motion to adopt the attached ordinance.

ITEM SUMMARY: Applications have been received for the annexation and rezoning of approximately 16.51 acres located off Old Battle Bridge Road from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD). The intent is to create a multi-tenant commercial business park with flexible uses within two buildings totaling 82,000 square feet.

The property, located at 716 Old Battle Bridge Road, can also be identified as PIN 1774761247.

Planning Board Action:

At their May 20, 2024 meeting, the Planning Board voted 5-0 on the motion to recommend approval of the rezoning.

Voting in Favor: Benjamin Griffin, Tina Cheek, J. Harold Broadwell, Bradley Taylor, and Matthew Meinig

Voting Against: none

Absent: Adam King, Brad Jordan, Phil Veasley and Tevis High

ATTACHMENTS:

[Staff Analysis - Old Battle Bridge Flex.doc](#)

[Old Battle Bridge Flex Master Plan.pdf](#)

[Neighborhood Mtg Minutes Old-Battle-Bridge-Flex 2-6-24.pdf](#)

[Old Battle Bridge Road Business Park Final Letter.pdf](#)

[2024-04-11 Old Battle Bridge Widening.pdf](#)

[Application.pdf](#)

[05. A-200 Building Elevations 716 Old Battle Bridge Elevations 8-4-23.pdf](#)

[O-09-2024 - Ordinance Annexation Rezoning - Old Battle Bridge Flex.docx](#)

[PB Recommendation CD23-06 Old Battle Bridge Flex.pdf](#)



Staff Analysis

Item Title: Public Hearing to Annex (A24-02) and Rezone (CD23-06) Approximately 16.51 Acres from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD) to Create a Flex Space Complex on Old Battle Bridge Road

Item Summary

Applications have been received for the annexation and rezoning of approximately 16.51 acres located off Old Battle Bridge Road from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD). The intent is to create a multi-tenant commercial business park with flexible uses within two buildings totaling 82,000 square feet.

The property, located at 716 Old Battle Bridge Road, can also be identified as PIN 1774761247.

Impacts to Town Services

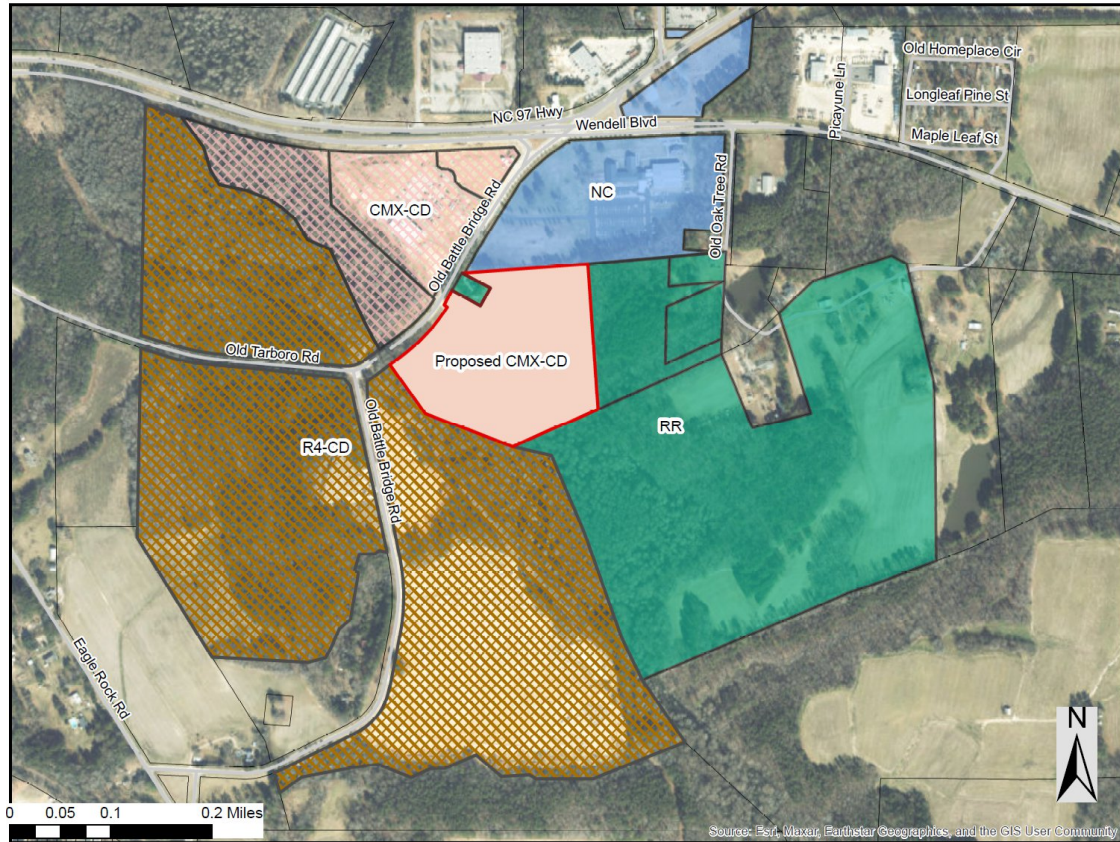
The proposed annexation area would require services from the Town's Police, Public Works, and Parks and Recreation Departments if annexed and developed. Secondary service impacts will be incurred by other Town departments that support the operational departments. The property is already served by the Wendell-Holmes Fire District. Water and sewer are readily available to the property and would be provided by the City of Raleigh Public Utilities Department. Specific impacts are dependent on the use, density, and design of development and subject to approvals for utility allocations and land use.

Project Setting – Surrounding Districts and Land uses:

DIRECTION	LANDUSE	ZONING
North	Church	NC
South	Residential/Agricultural	R4-CD/RR
East	Vacant	RR
West	Commercial/Residential	CMX-CD/R4-CD

Hephzibah Baptist Church borders the property to the north. To the south and across Buffalo Creek is Anderson Farm subdivision and a 65-acre farm with a single-family residence. To the east is a vacant property and to the northwest is SPC Mechanical and its commercial outparcels.

Zoning Map



Zoning District

The subject property is within the Town of Wendell's ETJ. The request is for CMX-CD zoning.

The Corridor Mixed-Use District is coded to provide pedestrian-scaled higher density residential and neighborhood-serving commercial activities along existing mixed-use corridors. Developments in this district should encourage pedestrian use through connections to adjacent neighborhoods and the construction of mixed-use buildings. Depending on the presence of on-street parking, buildings may be set close to the street and may be larger in form.

The lot dimensions required by the Unified Development Ordinance and those proposed by the applicant are below:

Commercial CMX UDO Requirement

Lot Width: 32 feet
Lot Depth: NA
Front Setback (Min): 0 feet/10 feet*
Front Setback (Max): 100 feet

Side Setback: 0 feet/5 feet
Rear Setback: 0

Proposed Dimensions by the Applicant

Lot Width: 499 feet
Lot Depth: NA
Front Setback (Min): 250 feet
Front Setback (Max): 250 feet for Bldg. 1
and 500 feet for Bldg. 2 (See Condition #7)
Side Setback: 72 feet
Rear Setback: 56 feet

*Along designated throughfares or collector streets, the minimum front setback shall be 10 feet.

- The applicant's proposal meets all setbacks for the CMX zoning district except for the Maximum Front Setback which has been addressed in Condition #7.

Proposed Zoning Conditions

The applicant has proposed the following zoning conditions:

1. Following Uses to be allowed without a Special Use Permit:
 - a. Research and Development
 - b. Event Venue, Outdoor
 - c. Shooting Range, Indoor
 - d. Theater, Live performance, Outdoor
2. Buffers along property lines shared with Property, PIN: #1774760519 (Ayscue Property)
 - 2.1 A 30-foot Type B buffer provided along the south side of the property, with 25 additional shrubs.
 - 2.2 Plant 23 large, evergreen trees in lieu of 18 required shrubs along east side of the property. Trees to have full foliage to the base, with a minimum planted height of 4 feet.
 - 2.3 Provide a 25-foot Type B buffer along the north side of the property and plant 16 additional shrubs.
3. Buffer along the shared property line with PIN: #1774778135 (Hephzibah Baptist Church)

Provide a 20-foot Type C buffer with 64 additional large, evergreen trees to be planted with a minimum height of 4 ft tall.
4. Buffers along shared property line with PIN: #1774768411 (Liles Property):
 - 4.1 Along the northern 215 linear feet of shared property line, a 20-foot Type B buffer will be provided, with 27 large evergreen trees planted in lieu of 36 required shrubs. Evergreen trees to have full foliage to the base with a minimum planted height of 4 feet.
 - 4.2 Along the southern 545 linear feet of shared property line, a 20-foot Type B buffer to be provided within the 115-foot-wide undisturbed buffer. In addition, 36 large evergreen trees, with full foliage to base and a minimum planted height of 4 feet, will be planted adjacent to parking lot.
5. Along the property line shared with PIN: 1774855578 (Jeffreys Property)

A 20-foot Type-B buffer will be provided along the interior 20 feet within a 200-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.

6. Along the property line shared with PIN: 1774752274 (D R Horton Property)
A 20-foot Type-B buffer will be provided within the 220-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.
7. Maximum building setback to be increased from 100 ft to 250 ft for Building 1 and from 100 ft to 500 ft for Building 2.
8. +/-0.09-acre encroachment into the 500-Year Flood Plain to be permitted for parking and utilities.

Buffers

UDO Section 8.6 requires a Type C Buffer along the northern property line shared with Hephzibah Baptist Church which is zoned NC. A 20-foot Type B buffer is required along the remaining property lines that abut Rural Residential and R4 Conditional District zoning districts. The applicant has proposed the following conditions that have incorporated additional plantings and/or wider buffer widths than required.

- Condition #2: Buffers along property lines shared with Property, PIN: #1774760519 (Ayscue Property)
 - 2.1 A 30-foot Type B buffer provided along the south side of the property, with 25 additional shrubs.
 - 2.2 Plant 23 large, evergreen trees in lieu of 18 required shrubs along east side of the property. Trees to have full foliage to the base, with a minimum planted height of 4 feet.
 - 2.3 Provide a 25-foot Type B buffer along the north side of the property and plant 16 additional shrubs.
- Condition #3: Buffer along the shared property line with PIN: #1774778135 (Hephzibah Baptist Church)
Provide a 20-foot Type C buffer with 64 additional large, evergreen trees to be planted with a minimum height of 4 ft tall.
- Condition #4: Buffers along shared property line with PIN: #1774768411 (Liles Property):
 - 4.1 Along the northern 215 linear feet of shared property line, a 20-foot Type B buffer will be provided, with 27 large evergreen trees planted in lieu of 36 required shrubs. Evergreen trees to have full foliage to the base with a minimum planted height of 4 feet.
 - 4.2 Along the southern 545 linear feet of shared property line, a 20-foot Type B buffer to be provided within the 115-foot-wide undisturbed buffer. In addition, 36 large evergreen trees, with full foliage to base and a minimum planted height of 4 feet, will be planted adjacent to parking lot.
- Condition #5: Along the property line shared with PIN: 1774855578 (Jeffreys Property)

A 20-foot Type-B buffer will be provided along the interior 20 feet within a 200-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.

- Condition #6: Along the property line shared with PIN: 1774752274 (D R Horton Property)

A 20-foot Type-B buffer will be provided within the 220-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.

Environmental

The applicant will need to obtain stormwater and sedimentation-erosion control permits from Wake County Environmental Services before any site work can commence. The proposed development plan will need to meet the requirements of the UDO. Wake County provides stormwater, sedimentation, and erosion control services for the Town of Wendell.

Streams and Wetlands

UDO Section 16.3 Environmental Survey requires that all streams, wetlands, floodplains, and other features be shown on preliminary plans.

- The Buffalo Creek Floodway cuts through the southwestern portion of this site. The development plan shows the required Buffalo Creek Floodway Buffer and the AE zone (1% annual chance of flooding) and X zone (0.2% annual chance of flooding or 500-Year Flood Plain).
- Roughly 6.25 acres of the site is in the floodplain.
- Condition #8 would allow a +/-0.09-acre encroachment into the 500-Year Flood Plain to be permitted for parking and utilities.

Transportation

UDO Section 16.11 requires a Traffic Impact Analysis (TIA) for a development plan that exceeds 100 peak hour trips per day. The UDO allows the Planning Director to require a TIA for projects that generate between 75-100 peak hour trips. The proposed project generated a peak hour trip generation of 114 trips in the AM peak hour and 122 trips in the PM Peak Hour. The applicant prepared a TIA for the proposed business park.

The TIA contains the following roadways and improvements:

Old Battle Bridge Road at Site Drive: Southbound left turn lane into the site with 100 feet of storage.

- The applicant submitted a plan to show the recommended turn lane with 100 feet of storage.

The applicant will also be constructing improvements along the property frontage along Old Battle Bridge Road. The buildout of Old Battle Bridge is a 79-foot right of way with three travel lanes, sidewalks and bike lanes. The current right of way in places exceeds 90-feet. A small portion of the frontage additional right of way will need to be dedicated. The applicant will construct the required improvements and has shown them on the plans.

Parking

Since the site is proposed as a flex space, the exact uses are unknown. The estimated uses and parking minimums proposed are the following:

45%	36,900 sf Manufacturing/Storage: 0.25/1,000 sf	9 spaces
25%	20,500 sf Office/Service uses: 3/1,000 sf	62 spaces
10%	8,200 sf Retail: 3.33/1,000 sf	27 spaces
10%	8,200 sf Entertainment/Recreation: 2/1,000 sf	16 spaces
10%	8,200 sf Civic/Institutional: 2/1,000 sf	16 spaces
	Total:	131 spaces
	Proposed parking provided:	183 spaces

As tenants come in, they will submit a Commercial Zoning Compliance for their use which will require a specific number of parking spaces. That number will be subtracted from the number of spaces available for subsequent tenants.

Town Plans

The Town of Wendell has adopted a Water Allocation Policy, Economic Development Strategic Plan, and Blueprint Wendell 2030 that all set priorities for the community related to tax base, job creation, and land use patterns. Implementing the policies and plans are directly related to the proposed conditional district rezoning.

The Town of Wendell has adopted a water allocation policy that contains a goal of achieving a tax base of 60 percent residential and 40 percent commercial/industrial. Wendell’s historical development pattern has been predominately residential, leading to a current tax base of approximately 80 percent residential and 20 percent commercial/industrial.

The Town of Wendell’s Economic Development Strategic Plan identifies a variety of priorities related to creating jobs and employment within the Town of Wendell. The following goals are listed below.

Strategic Plan Goal 2.1- Work to grow and locate companies in Wendell to create jobs.

- Identify future mixed use/business park locations suitable for attracting companies.
- Create a site readiness matrix to help prepare sites for development.

- Create a program of site/building identification and development to be “prospect ready.”

The following Blueprint Wendell 2030 goals are directly related to the requested rezoning.

Economy/Market/Economic Development Goals

E1 - Support development of key nodes (big and small) where commercial uses can offer the most benefit.

E3 - Diversify the local economy and increase employment opportunities in Wendell.

E3.3 - Create space (land and buildings) to meet varied demands.

E3.4 - Focus on job creation

E3.7 - Reduce retail leakage and increase spending on businesses here.

E3.9 - Provide more options to live and work in Wendell.

Comprehensive Plan

Blueprint Wendell 2030 classifies this site as Activity Center 2 placetype.

ACTIVITY CENTER 2

AC-2

This area encourages the blending of complementary commercial, office and a mix of residential housing types. These areas typically offer a horizontal mix of uses where changes in use occur between adjacent buildings. Buildings are typically one and two stories. Designed to facilitate access via walking and biking, mixed-use areas should be located where access via the road network, sidewalks, greenways, and/or local shuttle/circulator service is feasible.

USES + BUILDINGS

- Grocery stores
- Pharmacies
- Retail
- Restaurants
- Gyms, Fitness studios
- Personal services (branch banks, dry cleaners, tailors, hair and nail salons)
- Small to medium-sized offices
- Medical (office, urgent care)
- Attached single-family (Townhome)
- Multi-family (Condominiums, apartments)
- Event spaces such as greens or amphitheaters

STREET PATTERN

- Street Pattern:** Grid, Modified Grid
Max Block Length: 500'
Connectivity:
- Moderately connected externally (to adjacent development and roadways)
 - High internal connectivity with many pedestrian amenities
- Street Types:**
- Private
 - Local 2-lane with on-street parking
 - Collector

OPEN SPACE

- Walking and biking paths and trails
- Courtyards and gathering spaces
- Stormwater as an amenity (to include trails, green space, recreation)



The proposed project meets characteristics outlined in the descriptions of the Activity Center 2 placetype as it relates to uses and buildings.

- Most of the uses listed for the placetype could be potential tenants of the proposed flex space.
- The proposed buildings are one story.

Statement of Plan Consistency and Reasonableness

Any recommended change to the zoning map should be accompanied by a statement explaining how the change is/is not consistent with the comprehensive plan and is/is not reasonable in nature.

The Activity Center 2 placetype description lists Pharmacies, Retail, Restaurants, Gyms, Personal Services and Offices as recommended uses in 1 to 2 story buildings and the proposed flex space will allow all of these uses in 1 story buildings.

The plan is consistent with Blueprint Wendell 2030, and it could be considered reasonable as it assists with the plan goal listed below:

Centers of Activity

CA1. Support development of key nodes (large and small).

CA2. Amend zoning to accommodate mixed-use development in key nodes.

Economy/Market/Economic Development

E1. Support development of key nodes where commercial uses can offer the most benefit.

E3. Diversify the local economy and increase employment opportunities in Wendell.

E3.3 Create space (land and buildings) to meet varied demands.

Neighborhood Meeting

The applicant held a neighborhood meeting on February 6, 2024. Meeting minutes have been included as an attachment.

Technical Review Committee (TRC) Comments:

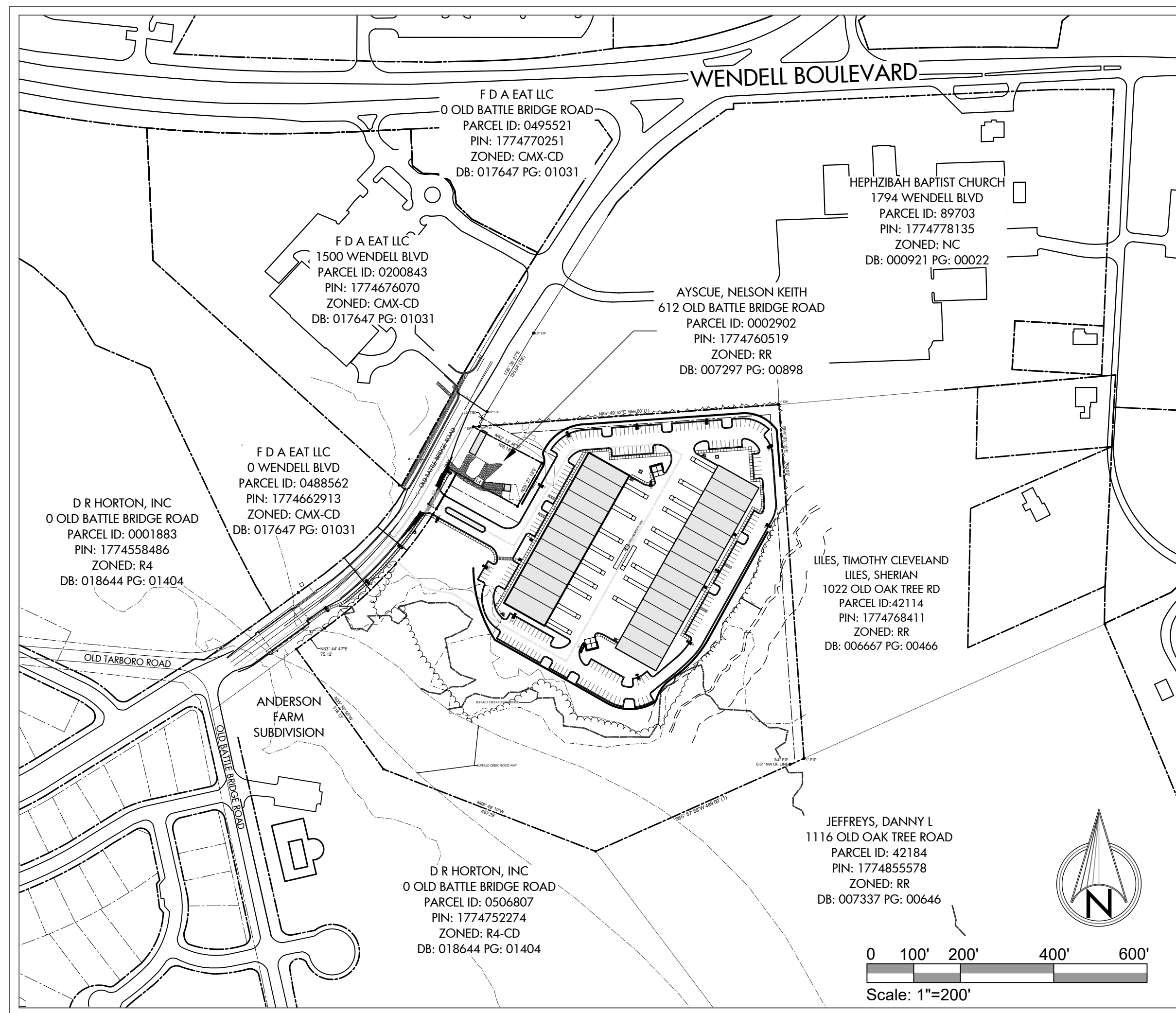
The Technical Review Committee has completed their review of the applicant's Master Plan and the applicant has made corrections based on their comments. Additional review would occur upon submittal of construction drawings (final development plan for conditional districts).

Staff Comments:

The Old Battle Bridge Flex project provides commercial/flex space that does not exist currently in the Town of Wendell. Having this space is key to attracting a mix of businesses and to provide space for local businesses that may need to expand.

The proposed development is consistent with the Wendell Comprehensive Plan – Blueprint Wendell 2030 & Economic Development Strategic Plan and could be considered reasonable since it fulfills the goals of the comprehensive plan noted above and therefore staff recommends approval.

SITE DATA:			
DEVELOPMENT NAME:	MASTERPLAN 716 OLD BATTLE BRIDGE RD. ADAM MATTHEW FITCH 6924 WHEATFIELD LN. SIMS, NC 27880-9278		
APPLICANT:	WHIT BROWN WIGEON CAPITAL 629 OBERLIN RD RALEIGH, NC 27605 828-6609 (919) 828-6609		
DESIGN TEAM CONTACT:	SHARRON SCROGGIN HAGERSMITH DESIGN 300 S DAWSON ST RALEIGH, NC 27601 (919) 821-5547		
ADDRESS:	716 OLD BATTLE BRIDGE RD.		
DEED BOOK:	BOOK: 016920 PAGE: 02264		
BOOK OF MAPS:	BoM: 1997 PAGE: 02068		
CURRENT ZONING:	NC		
REQUESTED ZONING:	CMX-CD		
PARCEL ID NUMBER:	1774-76-1247		
RIVER BASIN:	NEUSE RIVER		
WATERSHED:	N/A		
RIPARIAN BUFFER:	NEUSE BUFFER AREA		
SITE ACREAGE:	16.49 ACRES		
EXISTING USE:	VACANT		
PROPOSED USE:	FLEX/WAREHOUSE/SERVICE (SEE CONDITIONS) BUSINESS INCUBATOR SPACE		
REQUIRED CMX SETBACKS:			
ZONING:	MIN: 0' MAX: 100' (SEE CONDITIONS)		
SIDE:	MIN: 0'		
REAR:	MIN: 0'		
BUILDING SUMMARY:			
EXISTING BLDGS:	0 SF		
PROPOSED BLDGS:	BUILDING 1 - 45,000 SF BUILDING 2 - 37,000 SF		
TOTAL BUILDINGS:	82,000 SF		
FLOOR AREA RATIO: 82,000 BLDG SF / 16.49 AC (718,304 SF) = 0.11 (11%)			
PARKING SUMMARY (UDO 10.4.A):			
AUTO PARKING SPACES:			
45%	36,900 SF MANUFACTURING/STORAGE:	0.25 SPACES/1,000 SF	9 SPACES
25%	20,500 SF OFFICE/SERVICE USES:	3/1,000 SF	62 SPACES
10%	8,200 SF RETAIL SPACE:	3.33 SPACES/1,000 SF	27 SPACES
10%	8,200 SF ENTERTAINMENT/ RECREATION USES:	2 SPACES/1,000 SF	16 SPACES
10%	8,200 SF CIVIC/ INSTITUTIONAL:	2 SPACES/1,000 SF	16 SPACES
			TOTAL 131 SPACES
EXISTING PARKING:	0 SPACES		
REQUIRED PARKING:	131 PARKING SPACES REQUIRED		
PROPOSED PARKING:	183 PARKING SPACES (NET ADD) = 140% REQUIRED PARKING		
ACC. REQ./PROPOSED:	7 ACC. SPACES (2 VAN SPACES)		
BICYCLE PARKING SPACES:			
MANUFACTURING/STORAGE:	1 BIKE/50 AUTO SPACES	9/50	0.18 SPACES
OFFICE/SERVICE USES:	1 BIKE/20 AUTO SPACES	62/20	3.10 SPACES
RETAIL SPACE:	1 BIKE/20 AUTO SPACES	27/20	1.35 SPACES
ENTERTAINMENT/RECREATION USES:	1 BIKE/20 AUTO SPACES	16/20	0.80 SPACES
CIVIC/INSTITUTIONAL:	1 BIKE/20 AUTO SPACES	16/20	0.80 SPACES
			TOTAL 6.23 SPACES
REQUIRED BIKE PARKING:	7 SPACES		
PROVIDED BIKE PARKING:	8 SPACES, 4 BIKE RACKS		
IMPERVIOUS SUMMARY:			
EXISTING IMPERVIOUS:	0 SF (0.00 AC)		
PROPOSED IMPERVIOUS:	277,913 SF (6.38 AC) 39%		



NCDOT DRIVEWAY PERMIT, 16.1B ENCROACHMENT (FOR THE ROADWORK), AND UTILITY ENCROACHMENTS TO BE PROVIDED FOR THIS DEVELOPMENT.

ZONING CONDITIONS:

1. FOLLOWING USES TO BE ALLOWED WITHOUT A SPECIAL USE PERMIT:
 - a. RESEARCH AND DEVELOPMENT
 - b. EVENT VENUE, OUTDOOR
 - c. SHOOTING RANGE, INDOOR
 - d. THEATER, LIVE PERFORMANCE, OUTDOOR
2. BUFFERS ALONG PROPERTY LINES SHARED WITH PROPERTY, PIN: #1774760519 (AYSUCUE PROPERTY)
 - 2.1 A 30-FOOT TYPE B BUFFER PROVIDED ALONG THE SOUTH SIDE OF THE PROPERTY, WITH 25 ADDITIONAL SHRUBS.
 - 2.2 PLANT 23 LARGE, EVERGREEN TREES IN LIEU OF 18 REQUIRED SHRUBS ALONG EAST SIDE OF THE PROPERTY. TREES TO HAVE FULL FOLIAGE TO THE BASE, WITH A MINIMUM PLANTED HEIGHT OF 4 FEET.
 - 2.3 PROVIDE A 25-FOOT TYPE B BUFFER ALONG THE NORTH SIDE OF THE PROPERTY AND PLANT 16 ADDITIONAL SHRUBS.
3. BUFFER ALONG THE SHARED PROPERTY LINE WITH PIN: #1774778135 (HEPHZIBAH BAPTIST CHURCH) PROVIDE A 20-FOOT TYPE C BUFFER WITH 64 ADDITIONAL LARGE, EVERGREEN TREES TO BE PLANTED WITH A MINIMUM HEIGHT OF 4 FT TALL.
4. BUFFERS ALONG SHARED PROPERTY LINE WITH PIN: #1774768411 (LILES PROPERTY):
 - 4.1 ALONG THE NORTHERN 215 LINEAR FEET OF SHARED PROPERTY LINE, A 20-FOOT TYPE B BUFFER WILL BE PROVIDED, WITH 27 LARGE EVERGREEN TREES PLANTED IN LIEU OF 36 REQUIRED SHRUBS. EVERGREEN TREES TO HAVE FULL FOLIAGE TO THE BASE WITH A MINIMUM PLANTED HEIGHT OF 4 FEET.
 - 4.2 ALONG THE SOUTHERN 545 LINEAR FEET OF SHARED PROPERTY LINE, A 20-FOOT TYPE B BUFFER TO BE PROVIDED WITHIN THE 115-FOOT-WIDE UNDISTURBED BUFFER. IN ADDITION, 36 LARGE EVERGREEN TREES, WITH FULL FOLIAGE TO BASE AND A MINIMUM PLANTED HEIGHT OF 4 FEET, WILL BE PLANTED ADJACENT TO PARKING LOT.
5. ALONG THE PROPERTY LINE SHARED WITH PIN: #1774855578 (JEFFREYS PROPERTY) A 20-FOOT TYPE-B BUFFER WILL BE PROVIDED ALONG THE INTERIOR 20 FEET WITHIN A 200-FOOT WIDE UNDISTURBED BUFFER. EXISTING PLANTINGS WILL BE USED TO THE MAXIMUM EXTENT POSSIBLE BUT WILL BE SUPPLEMENTED IN THIS 20-FOOT AREA TO MEET THE TYPE B BUFFER REQUIREMENTS. SHRUB LAYER TO BE PLANTED.
6. ALONG THE PROPERTY LINE SHARED WITH PIN: #1774752274 (D R HORTON PROPERTY) A 20-FOOT TYPE-B BUFFER WILL BE PROVIDED WITHIN THE 220-FOOT WIDE UNDISTURBED BUFFER. EXISTING PLANTINGS WILL BE USED TO THE MAXIMUM EXTENT POSSIBLE BUT WILL BE SUPPLEMENTED IN THIS 20-FOOT AREA TO MEET THE TYPE B BUFFER REQUIREMENTS. SHRUB LAYER TO BE PLANTED.
7. MAXIMUM BUILDING SETBACK TO BE INCREASED FROM 100 FT TO 250 FT FOR BUILDING 1 AND FROM 100 FT TO 500 FT FOR BUILDING 2.
8. +/- 0.09 ACRE ENCROACHMENT INTO THE 500-YEAR FLOOD PLAIN TO BE PERMITTED FOR PARKING AND UTILITIES.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department at (919) 996-4540** at least **twenty four hours** prior to beginning any of their construction.
Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

City of Raleigh Public Utilities Department

Preliminary approval only. Does not constitute construction approval for a proposed water or sewer main extensions. Valid only for signature of a City of Raleigh Review Officer. This electronic approval may not be edited once issued. Any modification to the approval once issued will invalidate this approval.



ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING
 INTERIOR DESIGN

PO BOX 1308
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 RALEIGH, NC 27602
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N|V|5

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 WIGEON CAPITAL, LLC
 629 OBERLIN ROAD
 RALEIGH, NC 27605
 WHIT@WIGEONCP.COM
 (919)332-3887

CD23-06
 MASTER PLAN
716
 OLD BATTLE BRIDGE RD.
 WENDELL, NC

DRAWING INDEX:

01. L-80	COVER
02. L-90	SURVEY EXISTING CONDITIONS
03. L-100	SITE LAYOUT
04. L-300	LANDSCAPE PLAN
05. C-100	UTILITY PLAN
06. L-500	SITE DETAILS
07. A-200	BUILDING ELEVATIONS

Drawing Title: **COVER**

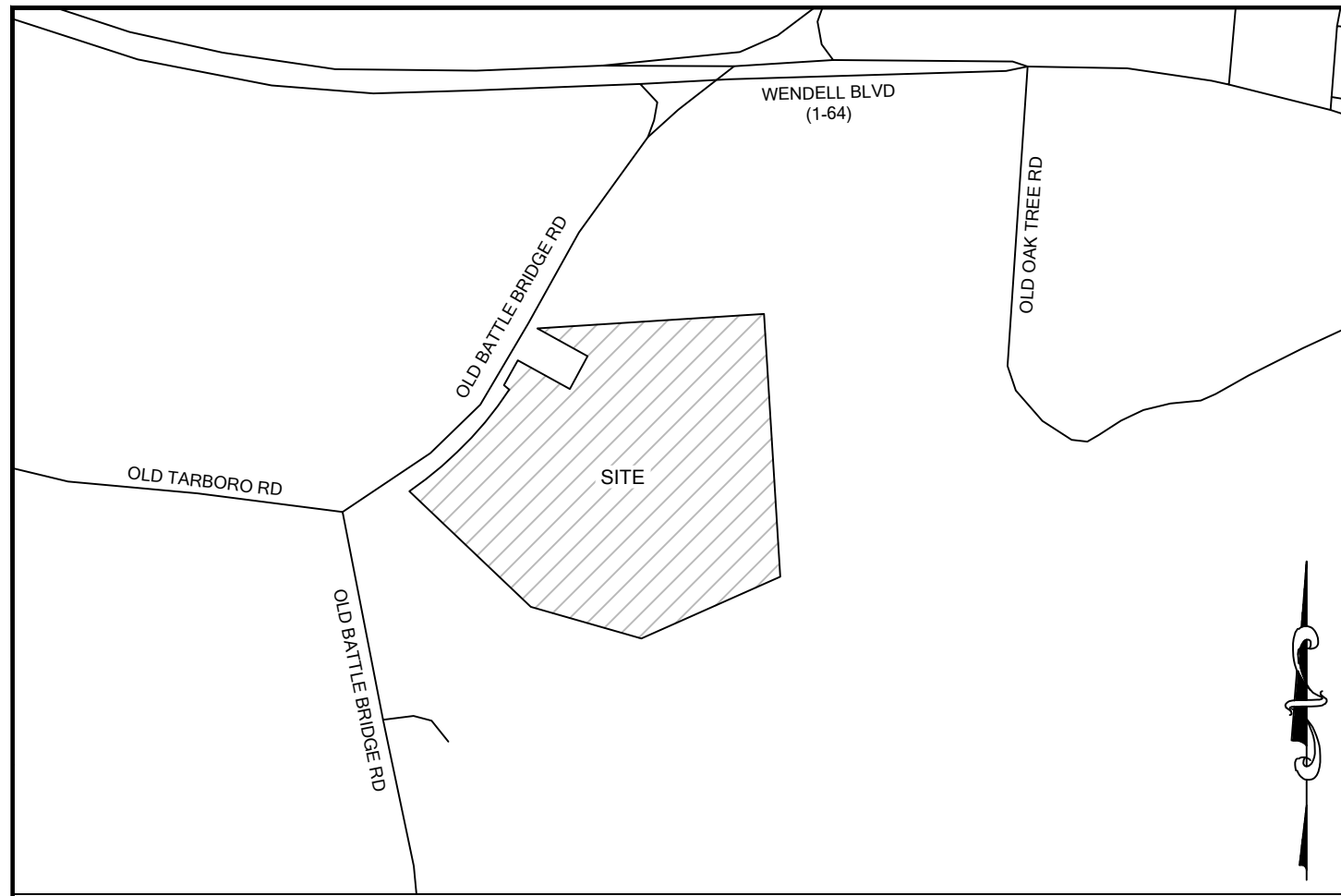
Revisions	Number	Description	Date
	9-6-23	comments ADD Survey	11-17-23
	12-11-23	Review Comments	1-3-24
	1-24-23	Review Comments	2-8-24
	5-15-24	Planning Board	5-15-24

Drawn By: SCS, CT, SJC
 Checked By: SCS, JSI
 Date Issued: AUGUST 4, 2023

L-80
 of

CURVE TABLE				
CURVE#	LENGTH	RADIUS	BEARING	CHORD
C1	352.65'	900.00'	N43° 07' 09"E	350.40'

LINE TABLE		
LINE#	DIRECTION	LENGTH
L1	N57° 30' 30"W	19.37'
L2	N30° 05' 59"E	45.55'
L3	N28° 19' 26"E	41.85'
L4	S61° 14' 05"E	168.19'
L5	N27° 39' 19"E	35.51'



VICINITY MAP
NOT TO SCALE

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.07
TYPE OF GPS FIELD PROCEDURE: NC REAL TIME NETWORK
DATES OF SURVEY: SEPTEMBER 2023
DATUM/EPOCH: NAD83/NSRS2011
GEOID MODEL: 18
COMBINED GRID FACTOR(S): 0.999924854
UNITS: US SURVEY FEET

NOTES

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF JOSHUA R DAVIDSON, PLS.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON GPS OBSERVATIONS, NAD83 / NSRS 2011 / SPC, UNLESS OTHERWISE SHOWN.
- PROPERTIES LIE IN ZONES "X", "X SHADED", "AE" AND "AE FLOODWAY" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAP #3720177400K, DATED 7/19/2022.
- SUBJECT PROPERTIES ZONED "NC" FOR THE TOWN OF WENDELL PER WAKE COUNTY GIS.
- AREAS COMPUTED BY COORDINATE METHOD.
- THIS MAP HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- BUILDINGS AND STRUCTURES WERE OBSERVED AS SHOWN AS A RESULT OF THIS SURVEY.
- NO CEMETERIES WERE OBSERVED AS A RESULT OF THIS SURVEY.
- WETLANDS AND STREAM BUFFERS SHOWN PER WETLAND SKETCH MAP BY SOIL & ENVIRONMENTAL CONSULTANTS, PA, DATED 06/05/2023.
- THE SUBJECT PARCEL HAS DIRECT ACCESS TO OLD BATTLE BRIDGE ROAD, A PUBLIC RIGHT OF WAY.
- SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE OR SALES

LEGEND

- SURVEYED BOUNDARY LINE
- ADJOINING BOUNDARY LINE (NOT SURVEYED)
- RIGHT OF WAY LINE (NOT SURVEYED)
- EASEMENT LINE
- EXISTING BOUNDARY CORNER FOUND
- BOUNDARY CORNER SET (3/4" IPS UNLESS OTHERWISE NOTED)
- COMPUTED POINT
- CONCRETE MONUMENT FOUND
- CLEAN OUT
- TRANSFORMER / ELECTRIC BOX
- LIGHT POLE
- UTILITY POLE
- WATER METER
- FIRE HYDRANT
- UTILITY VALVE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CATCH BASIN
- DROP INLET
- UTILITY MANHOLE
- WELL
- UTILITY HAND HOLE
- AIR CONDITIONING UNIT
- SIGN
- UNDERGROUND FIBER
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- STORM DRAIN
- OVERHEAD UTILITY
- GUY WIRE
- BURIED UTILITY MARKER
- EXISTING IRON PIPE
- EXISTING IRON REBAR
- IRON PIPE SET
- PK NAIL SET
- EXISTING PK NAIL
- SSMH
- SANITARY SEWER MANHOLE
- N NORTH
- E EAST
- S SOUTH
- W WEST
- NE NORTHEAST
- SE SOUTHEAST
- SW SOUTHWEST
- NW NORTHWEST
- DB DEED BOOK
- PG PAGE
- BM BOOK OF MAPS
- R/W RIGHT OF WAY
- POB POINT OF BEGINNING
- (T) TOTAL
- NF NOW OR FORMERLY
- CONCRETE
- GRAVEL
- ASPHALT
- TIE (INDICATES 2 PARTS OF THE SAME PARCEL)

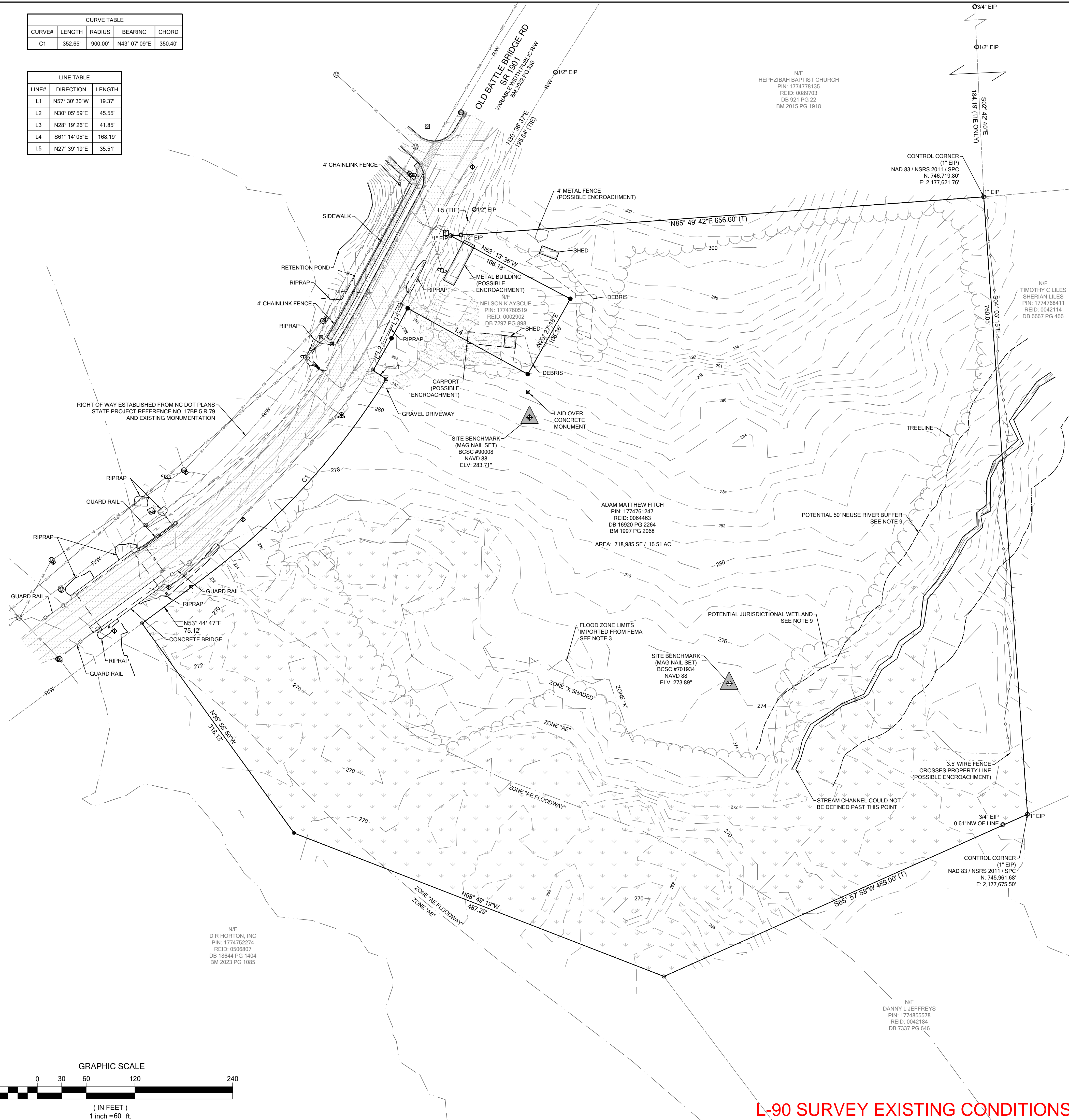
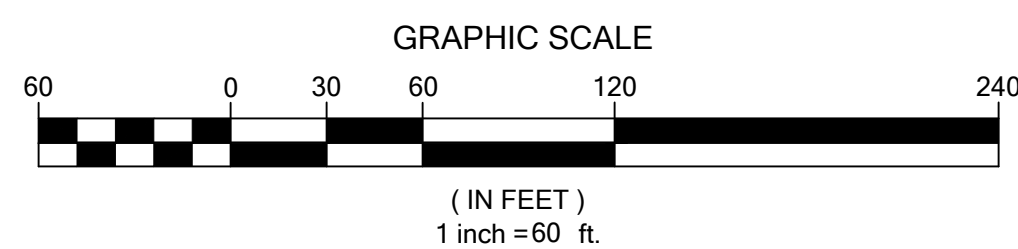
ZONING REQUIREMENTS
ZONING REPORT NOT PROVIDED

JOSHUA R. DAVIDSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 16920 PAGE 2264); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND AS SHOWN HERE ON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000 +; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 11TH DAY OF SEPTEMBER, A.D., 2023.

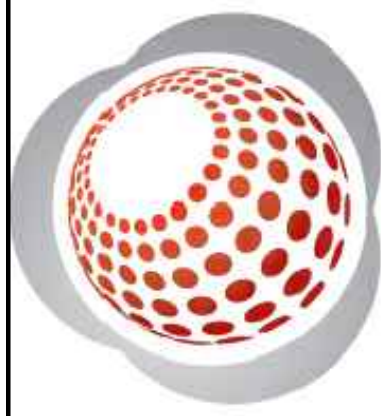
I, FURTHER THAT IN ACCORDANCE WITH G.S. 47-30-F-11-C-1, CERTIFY THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL" OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGLE, LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

JOSHUA R. DAVIDSON, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS TOPOGRAPHIC SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS C STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 10/18/2023; THAT THE SURVEY WAS COMPLETED ON 10/26/2023; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD 83 AND REALIZATION NSRS 2011 AND ALL ELEVATIONS ARE BASED ON NAVD 88.

JOSHUA R. DAVIDSON, PLS
NC LICENSE NO. 5350



BATEMAN CIVIL SURVEY COMPANY
ENGINEERS • SURVEYORS • PLANNERS
2524 RELIANCE AVENUE, APEX, NC 27539
PHONE: (919) 577-1080 FAX: (919) 577-1081
INFO@BATEMANCIVILSURVEY.COM
NCBELS FIRM# C-2378



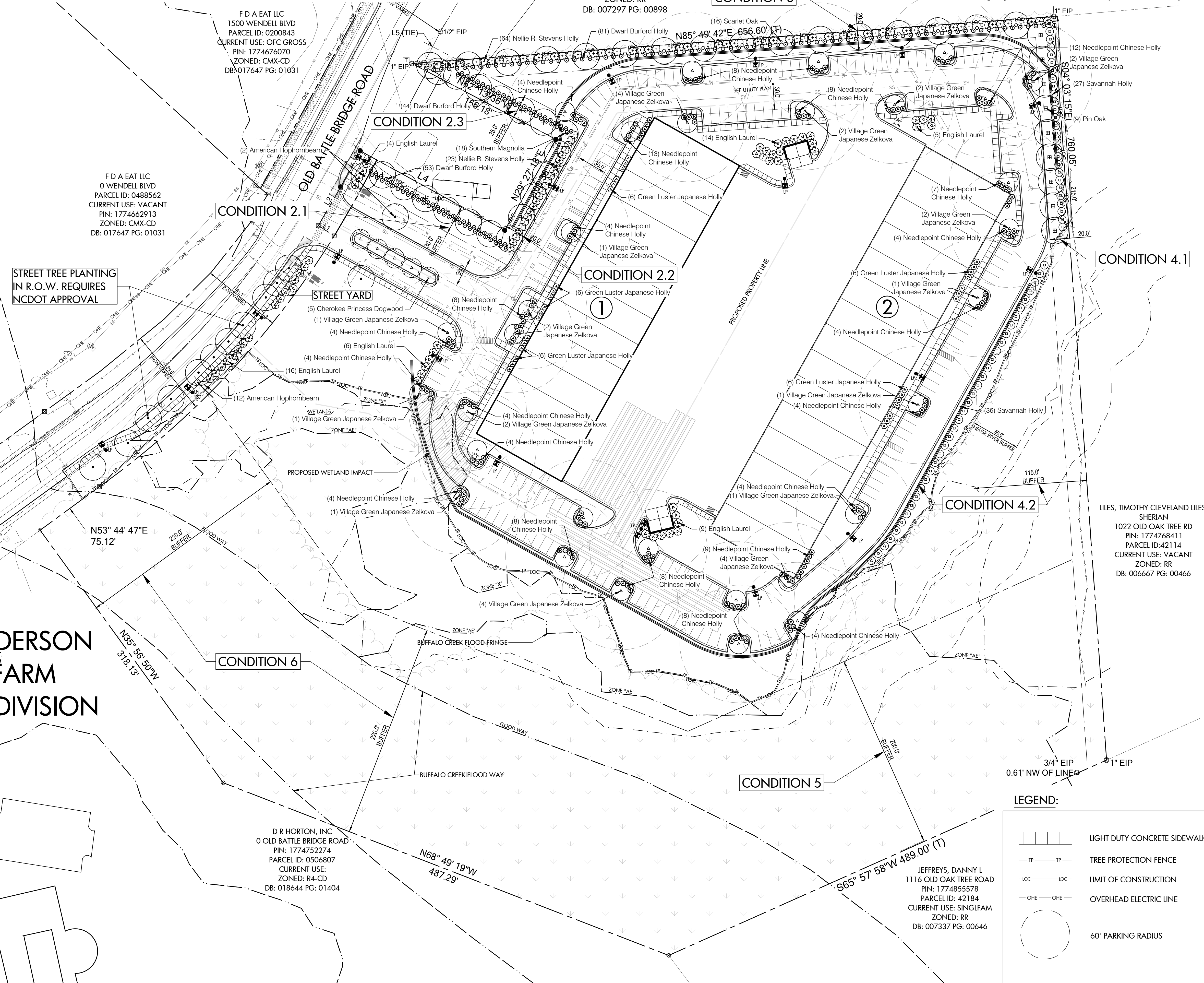
ALTA / NSPS LAND TITLE SURVEY
WIGON CAPITAL
PIN: 1774761247, REID: 0064463
DB 16920 PG 2264, BM 1997 PG 2068
716 OLD BATTLE BRIDGE RD, WENDELL
MARK'S CREEK TWP • WAKE COUNTY • NORTH CAROLINA

REVISIONS
1.
2.
3.
4.
5.
6.

DESIGNED BY: N/A
DRAWN BY: ELS
CHECKED BY: JRD
SCALE: 1" = 60'
DATE: 11/06/2023
JOB NUMBER: 230499
SHEET 1 OF 1

L-90 SURVEY EXISTING CONDITIONS

QTY	COMMON NAME	BOTANICAL NAME	INSTALL SIZE	ROOT	EVER/DECID.	REQUIREMENTS	MAT. HT.
TREES							
14	AMERICAN HOPHORNBEAM	Ostrya virginiana	8 FT. MIN. HT., 2" MIN. CAL.	B&B	DECIDUOUS	ST. TREES	20 FEET
5	CHEROKEE PRINCESS DOGWOOD	Cornus florida	6 FT. MIN. HT., 1" MIN. CAL.	B&B	DECIDUOUS	ST. TREES	15 FEET
9	PIN OAK	Quercus palustris	8 FT. MIN. HT., 2" MIN. CAL.	B&B	DECIDUOUS	SPECIMEN	40 FEET
16	SCARLET OAK	Quercus coccinea	8 FT. MIN. HT., 2" MIN. CAL.	B&B	DECIDUOUS	SPECIMEN	40 FEET
18	SOUTHERN MAGNOLIA	Magnolia grandiflora	8 FT. MIN. HT., 2" MIN. CAL.	B&B	EVERGREEN	SHRUB	30 FEET
31	VILLAGE GREEN JAPANESE ZELKOVA	Zelkova serrata	6 FT. MIN. HT., 2" MIN. CAL.	B&B	DECIDUOUS	PARKING LOT	40 FEET
SHRUBS							
178	DWARF BURFORD HOLLY	Ilex cornuta	18 IN. MIN. HT.	B&B	EVERGREEN	SHRUB	6 FEET
154	ENGLISH LAUREL	Prunus laurocerasus	3.5 FT. MIN. HT.	B&B	EVERGREEN	ST. YARD & SCREEN	6 FEET
30	GREEN LUSTER JAPANESE HOLLY	Ilex crenata	18 IN. MIN. HT.	B&B	EVERGREEN	SHRUB	6 FEET
137	NEEDLEPOINT CHINESE HOLLY	Ilex cornuta	18 IN. MIN. HT.	B&B	EVERGREEN	PARKING LOT	10 FEET
87	NELLIE R. STEVENS HOLLY	Ilex x nellie r. stevens	18 IN. MIN. HT.	B&B	EVERGREEN	SHRUB	10 FEET
63	SAVANNAH HOLLY	Ilex x attenuata	6 FT. MIN. HT.	B&B	EVERGREEN	SHRUB	20 FEET



LANDSCAPE REQUIREMENTS:

STREET TREE PLANTINGS (UDO 8.8.E.1):
 1 CANOPY TREE AN AVERAGE DISTANCE OF 40' ON CENTER
 OLD BATTLE BRIDGE ROAD - 504 FEET
 504 LINEAR FEET / 40 LINEAR FEET = 12.6 ROUND TO 13
 CANOPY TREES: 13 REQUIRED / 13 PROVIDED

STREET YARD (UDO 8.9.):
 2 CANOPY TREES, 8 SHRUBS PER 100 LINEAR FEET
 406 LINEAR FEET / 100 LINEAR FEET = 4.06 = 4
 2 CANOPY TREES * 4 = 8 REQUIRED / 5 PROPOSED (CREDIT EX. CANOPY TREES)
 8 SHRUBS * 4 = 32 REQUIRED / 16 PROPOSED (CREDIT EX. SHRUBS)

CONDITION 2: BUFFERS ALONG PROPERTY LINES SHARED WITH PROPERTY PIN #1774760519 (UDO 8.6.B.2.c.)
 MIN 20' TYPE B BUFFER - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 440.73 LINEAR FEET (SOUTH, EAST, NORTH)
 440.73 TOTAL LINEAR FEET / 25 LINEAR FEET = 17.6 ROUND TO 18
 TREES: 18 REQUIRED / 18 PROVIDED
 440.73 TOTAL LINEAR FEET / 6 LINEAR FEET = 73.45 ROUND TO 74
 SHRUBS: 74 REQUIRED / 97 PROVIDED
 SMALL EVERGREEN TREES: 0 REQUIRED / 23 PROVIDED

CONDITION 2.1:
 30' TYPE B BUFFER - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 168.19 FEET OF 44.84 FEET
 168.19 TOTAL LINEAR FEET / 25 LINEAR FEET = 6.7 ROUND TO 7
 TREES: 7 REQUIRED / 7 PROVIDED
 168.19 TOTAL LINEAR FEET / 6 LINEAR FEET = 28.03 ROUND TO 28
 SHRUBS: 28 REQUIRED / 53 PROVIDED (25 ADD.)
 *10 ADDITIONAL FEET OF BUFFER FOR 30 TOTAL FEET, AND 25 ADDITIONAL SHRUBS PROVIDED

CONDITION 2.2:
 20' TYPE B BUFFER - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 106.36 FEET OF 44.84 FEET
 LARGE EVERGREEN SHRUBS PLANTED AT 4 FT MIN. HT. TO REACH 12 FT. MATURE HT.
 106.36 TOTAL LINEAR FEET / 25 LINEAR FEET = 4.25 ROUND TO 4
 TREES: 4 REQUIRED / 4 PROVIDED
 106.36 TOTAL LINEAR FEET / 6 LINEAR FEET = 17.73 ROUND TO 18
 SHRUBS: 18 REQUIRED / 23 LARGE EVERGRN TREES PROVIDED
 *SUBSTITUTE 23 LARGE EVERGREEN TREES FOR 18 REQUIRED SHRUBS **

CONDITION 2.3:
 25' TYPE B BUFFER - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 170.29 FEET OF 44.84 FEET
 170.29 TOTAL LINEAR FEET / 25 LINEAR FEET = 6.81 ROUND TO 7
 TREES: 7 REQUIRED / 7 PROVIDED
 170.29 TOTAL LINEAR FEET / 6 LINEAR FEET = 28.38 ROUND TO 28
 SHRUBS: 28 REQUIRED / 44 PROVIDED (16 ADD.)
 *5 ADDITIONAL FEET OF BUFFER FOR 25 TOTAL FEET, AND 16 ADDITIONAL SHRUBS PROVIDED

CONDITION 3: BUFFER ALONG SHARED PROPERTY LINE WITH PROPERTY PIN #1774778135 (UDO 8.6.B.3.c.)
 MIN 10' TYPE C BUFFER - 1 TREE EVERY 40 FEET, 1 SHRUB EVERY 8 FEET
 643.75 FEET
 LARGE EVERGREEN SHRUBS PLANTED AT 4 FT MIN. HT. TO REACH 12 FT. MATURE HT.
 643.75 TOTAL LINEAR FEET / 40 LINEAR FEET = 16.1 ROUND TO 16
 TREES: 16 REQUIRED / 16 PROVIDED
 643.75 TOTAL LINEAR FEET / 8 LINEAR FEET = 80.47 ROUND TO 81
 SHRUBS: 81 REQUIRED / 145 PROVIDED (64 ADD.)
 *10 ADDITIONAL FEET OF BUFFER FOR 20 TOTAL FEET, AND 64 ADDITIONAL EVERGRN TREES PROVIDED

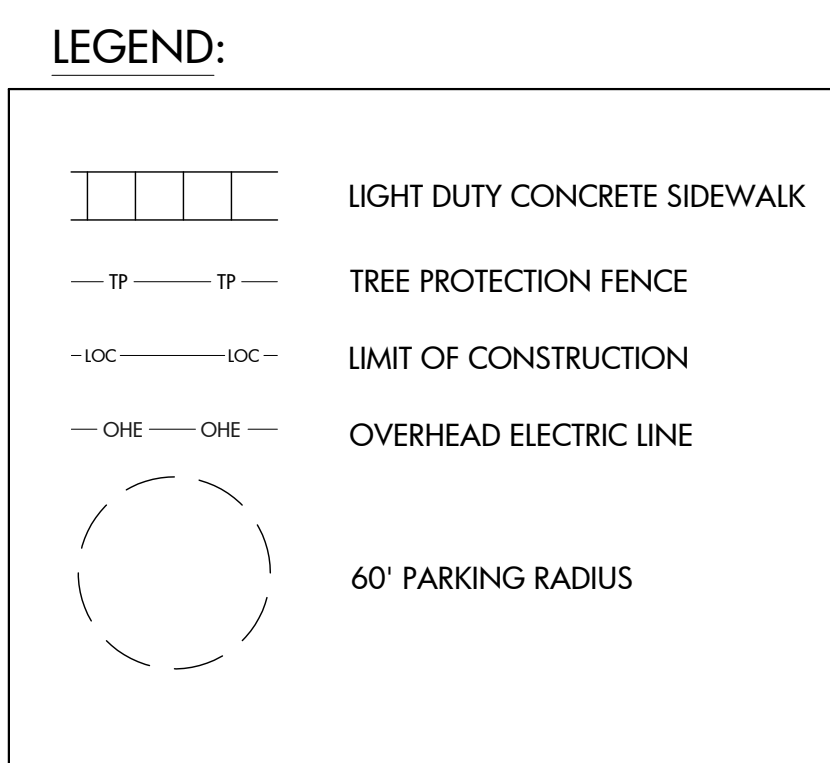
CONDITION 4: BUFFERS ALONG SHARED PROPERTY LINE WITH PROPERTY PIN #1774768411
CONDITION 4.1:
 MIN 20' TYPE B BUFFER (UDO 8.6.B.2.c.) - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 215.00 FEET OF 760.00 TOTAL LINEAR FEET
 215.00 LINEAR FEET / 25 LINEAR FEET = 8.6 ROUND TO 9
 TREES: 9 REQUIRED / 9 PROVIDED
 LARGE EVERGREEN SHRUBS PLANTED AT 4 FT MIN. HT. TO REACH 12 FT. MATURE HT.
 215.00 LINEAR FEET / 6 LINEAR FEET = 35.8 ROUND TO 36
 SHRUBS: 36 REQUIRED / 27 LARGE EVERGRN TREES PROVIDED
 SUBSTITUTE 27 LARGE EVERGREEN TREES FOR 36 REQUIRED SHRUBS

CONDITION 4.2:
 20' - 200' (115' AVG) TYPE B BUFFER - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 545.00 FEET OF 760.00 TOTAL LINEAR FEET
 545.00 TOTAL LINEAR FEET / 25 LINEAR FEET = 21.8 ROUND TO 22
 TREES: 22 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 545.00 TOTAL LINEAR FEET / 6 LINEAR FEET = 90.83 ROUND TO 91
 SHRUBS: 91 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 *INCREASE BUFFER WIDTH TO AVERAGE 115 FT. PRESERVED VEGETATION, AND 36 LARGE EVERGREEN TREES PROVIDED ADJACENT TO PARKING LOT**

CONDITION 5: BUFFER ALONG SHARED PROPERTY LINE WITH PROPERTY PIN #1774855578
 20' TYPE B BUFFER (UDO 8.6.B.2.c.) - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 489 FEET
 489.00 TOTAL LINEAR FEET / 25 LINEAR FEET = 19.56 ROUND TO 20
 TREES: 20 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 489.00 TOTAL LINEAR FEET / 6 LINEAR FEET = 81.5 ROUND TO 82
 SHRUBS: 82 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 *20 FOOT TYPE B BUFFER PROVIDED WITHIN 200 FOOT UNDISTURBED BUFFER**

CONDITION 6: BUFFER ALONG SHARED PROPERTY LINE WITH PROPERTY PIN #1774752274
 20' TYPE B BUFFER (UDO 8.6.B.2.c.) - 1 TREE EVERY 25 FEET, 1 SHRUB EVERY 6 FEET
 841.05 FEET
 841.05 TOTAL LINEAR FEET / 25 LINEAR FEET = 33.64 ROUND TO 34
 TREES: 34 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 841.05 TOTAL LINEAR FEET / 6 LINEAR FEET = 140.18 ROUND TO 140
 SHRUBS: 140 REQUIRED / 0 PROVIDED (CREDIT EXISTING)**
 *20 FOOT TYPE B BUFFER PROVIDED WITHIN 220 FOOT UNDISTURBED BUFFER**

PARKING LOT LANDSCAPING (UDO 8.11):
 EACH PARKING LOT ISLAND IS TO CONTAIN 1 CANOPY TREE AND 4 SHRUBS PER 12 PARKING SPACES.
 NO PARKING SPACE SHALL BE MORE THAN 60 FEET FROM THE BASE OF A CANOPY TREE.



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CD23-06
 MASTER PLAN
716
 OLD BATTLE BRIDGE RD.
 WENDELL, NC

DRAWING INDEX:

01. L-80	COVER
02. L-90	SURVEY EXISTING CONDITIONS
03. L-100	SITE LAYOUT
04. L-300	LANDSCAPE PLAN
05. C-100	UTILITY PLAN
06. L-500	SITE DETAILS
07. A-200	BUILDING ELEVATIONS

LANDSCAPE PLAN

Revisions	Number	Description	Date
	9-6-23	comments ADD Survey	11-17-23
	12-11-23	Review Comments	1-3-24
	1-24-23	Review Comments	2-8-24

Drawn By SCS, CT, SJC
 Checked By SCS, JSJ
 Date Issued AUGUST 4, 2023

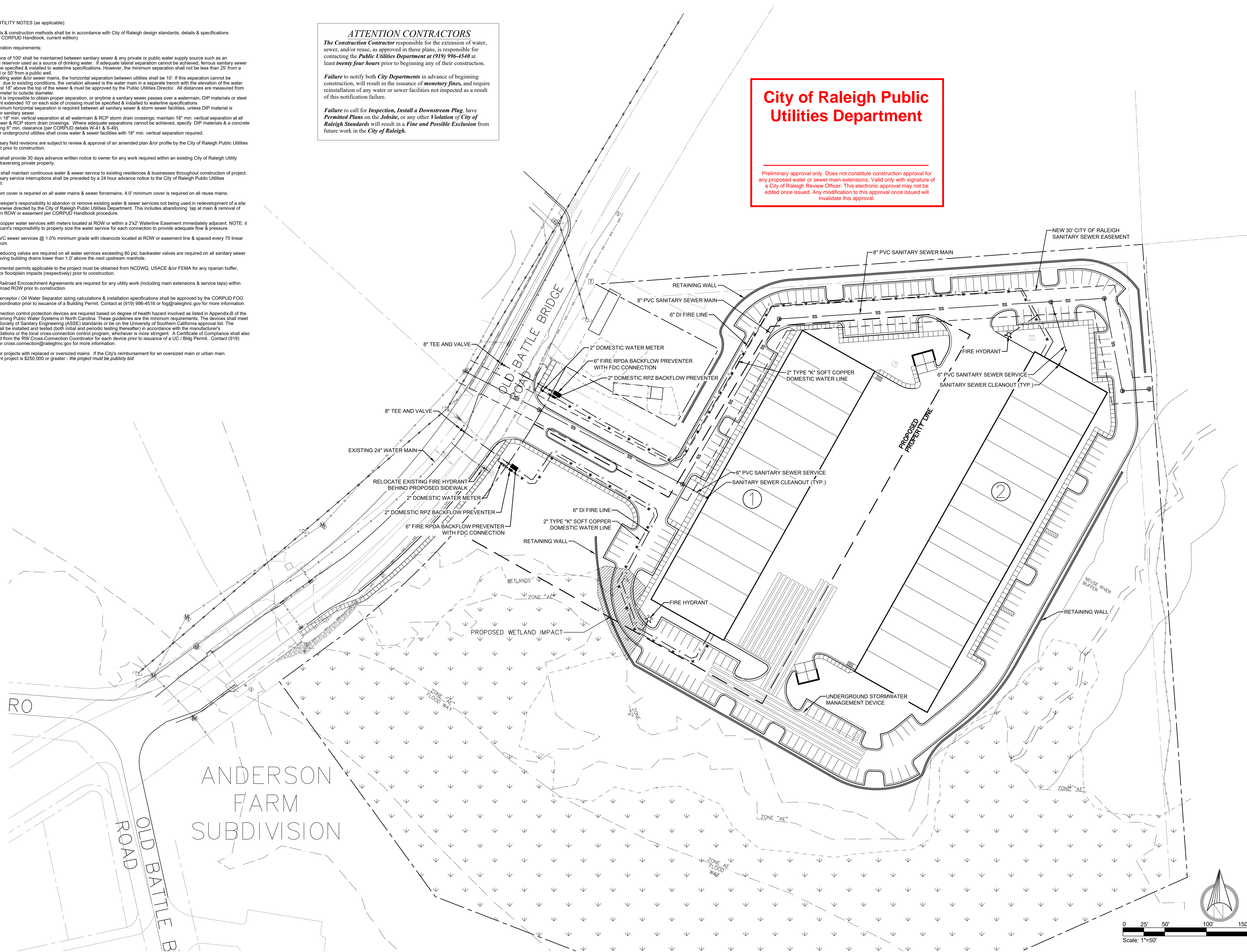
L-300
 of

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning lap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 5/8" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NC DOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service laps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact at (919) 996-4516 or fog@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross-Connection Coordinator for each device prior to issuance of a UC / Bldg Permit. Contact (919) 996-5923 or crossconnection@raleighnc.gov for more information.
- NOTICE for projects with replaced or oversized mains: If the City's reimbursement for an oversized main or urban main replacement project is \$250,000 or greater - the project must be publicly bid.

ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department at (919) 996-4540** at least **twenty four hours** prior to beginning any of their construction.
 Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for **Inspection. Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

City of Raleigh Public Utilities Department
 Preliminary approval only. Does not constitute construction approval for any proposed water or sewer main extensions. Valid only with signature of a City of Raleigh Review Officer. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.



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Seals

Project
 CD23-06
 MASTER PLAN

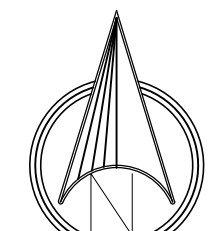
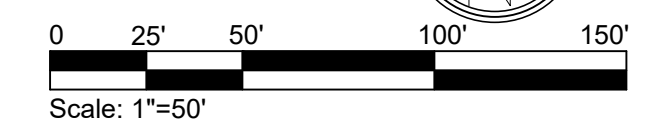
716
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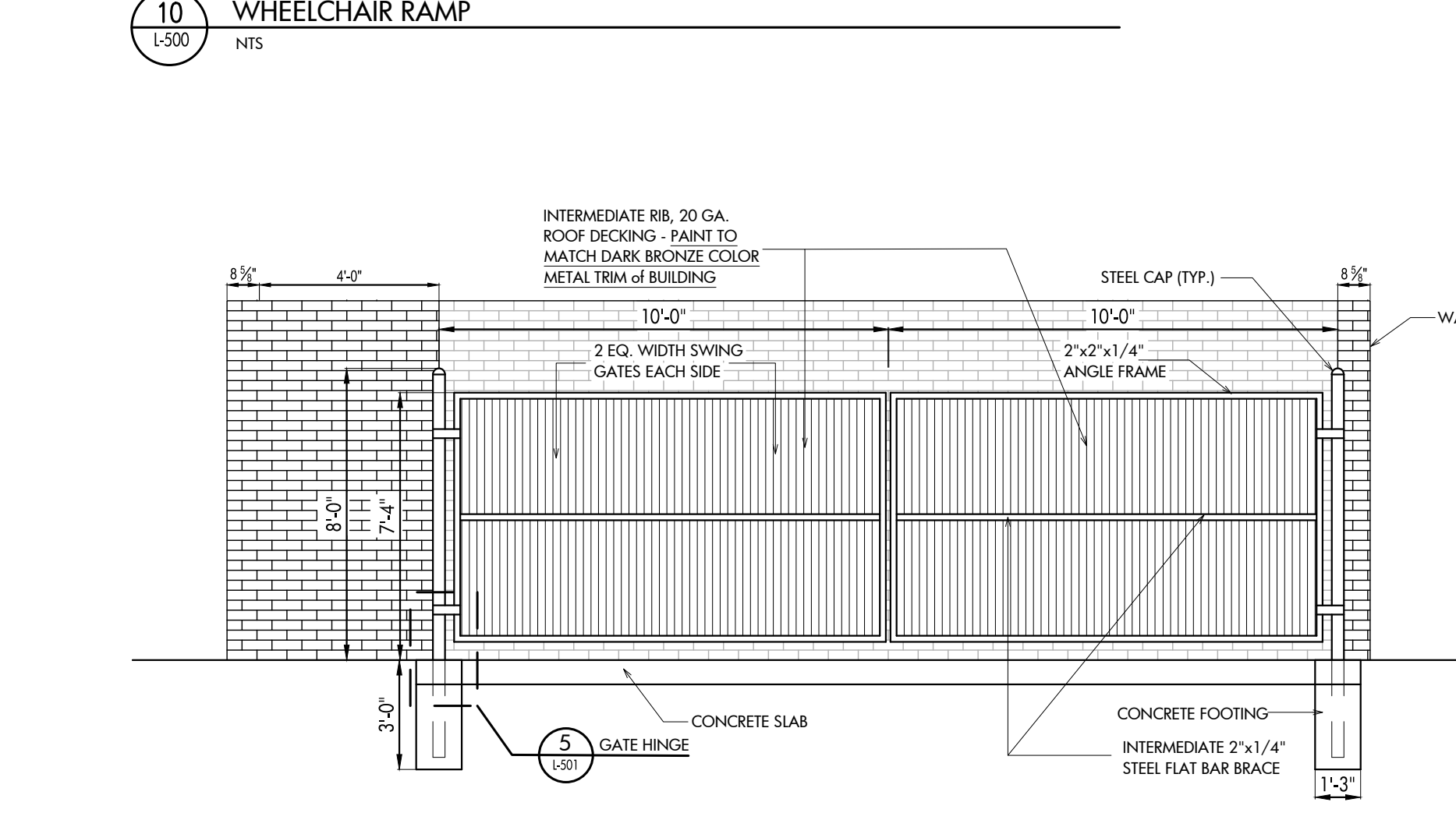
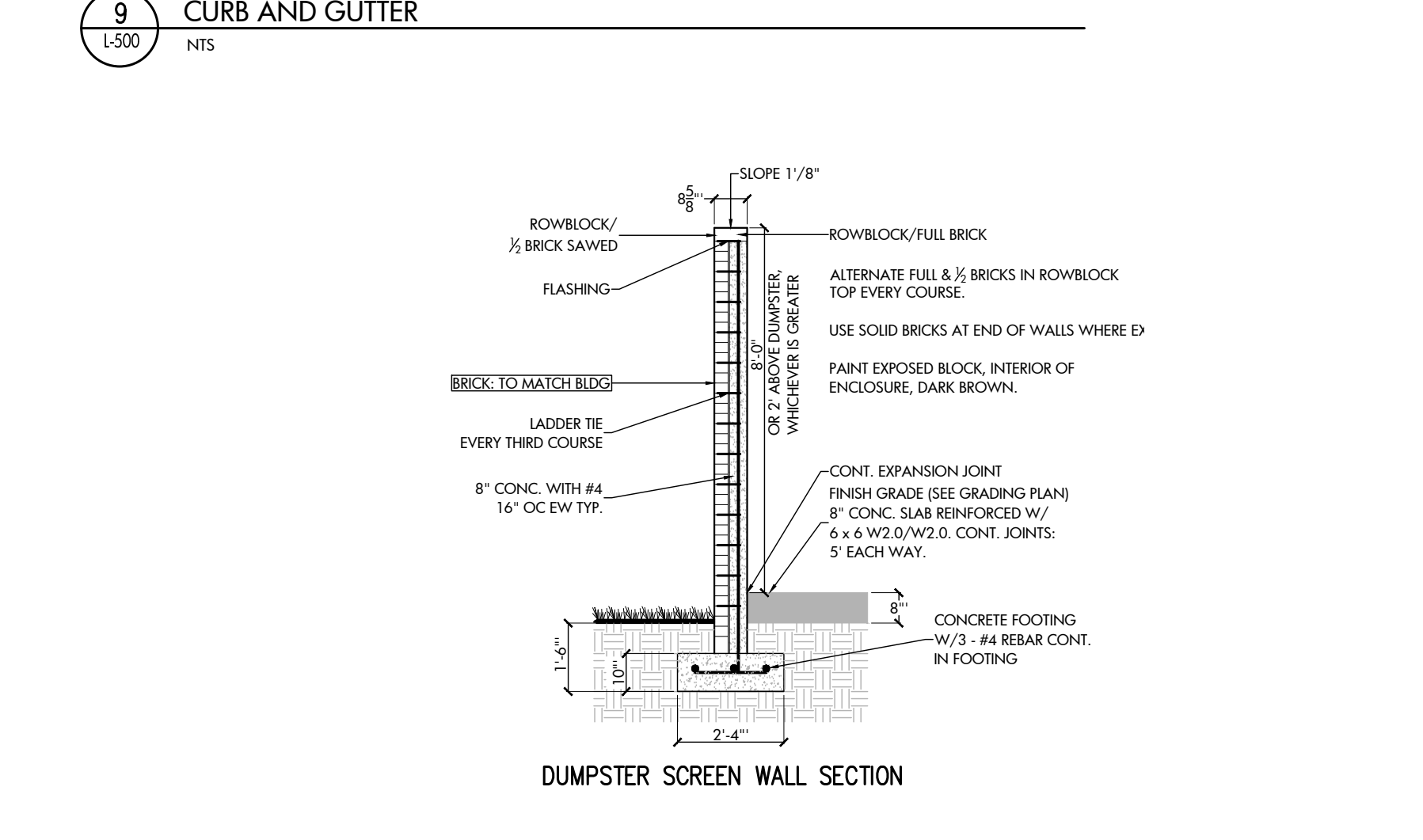
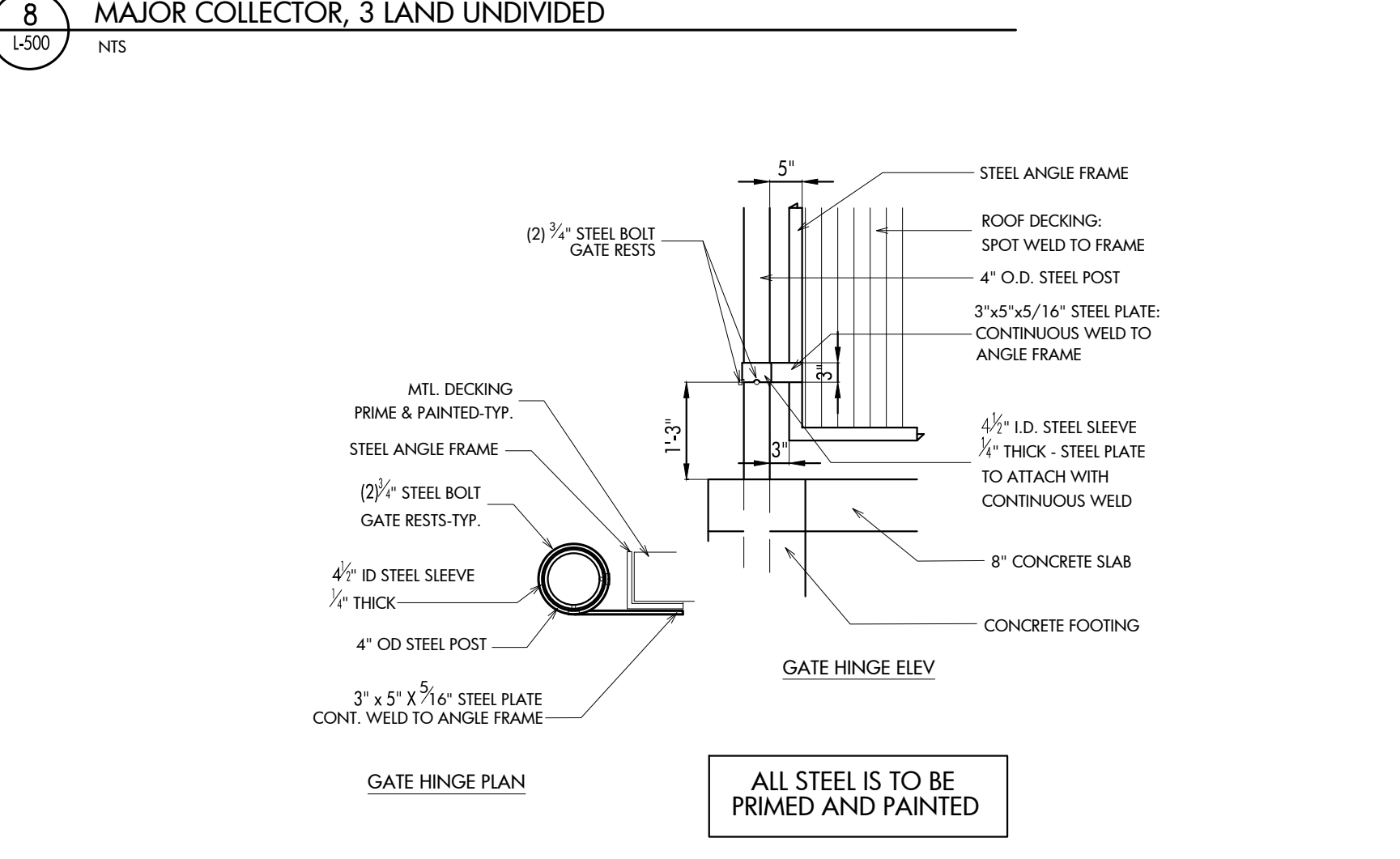
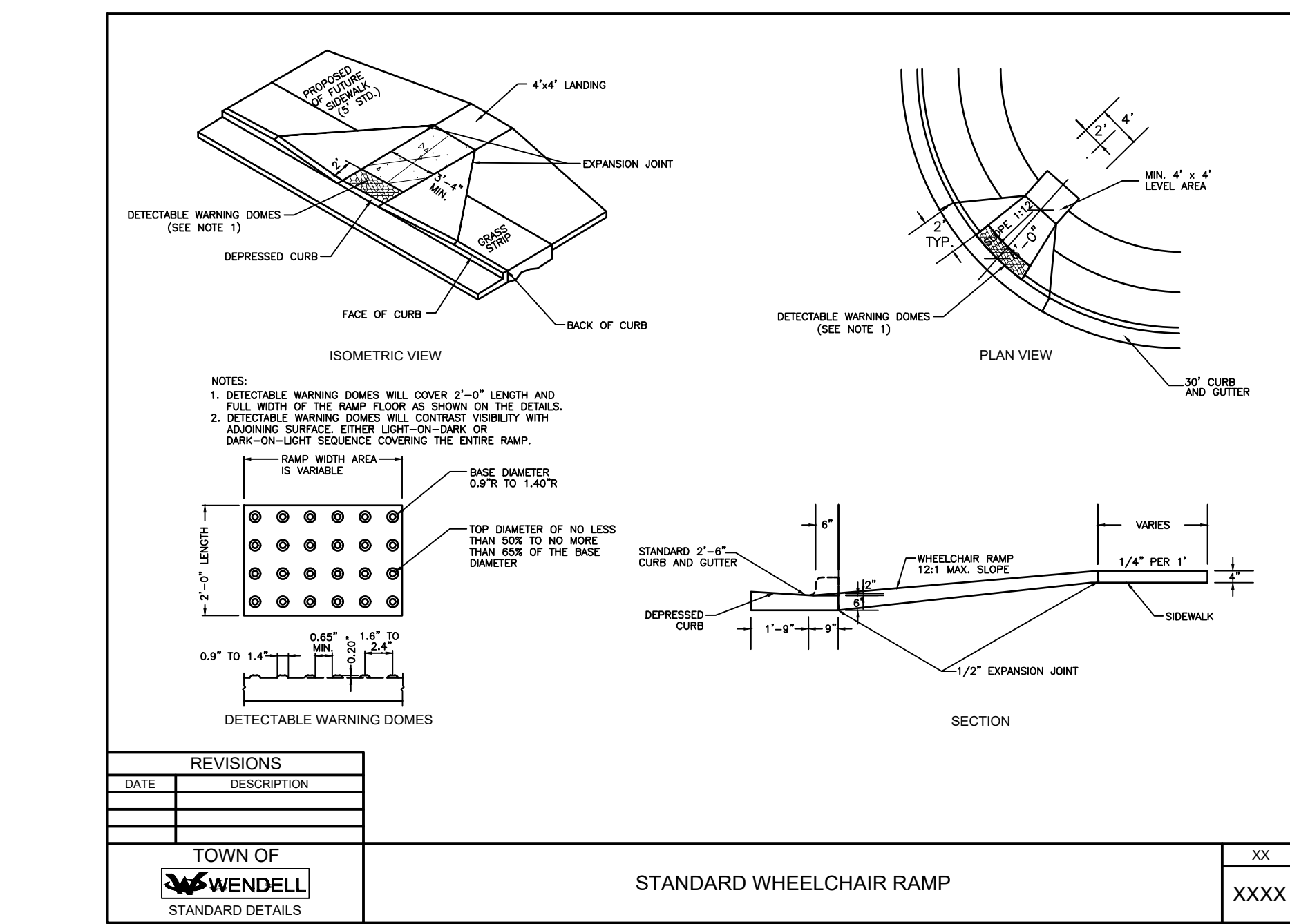
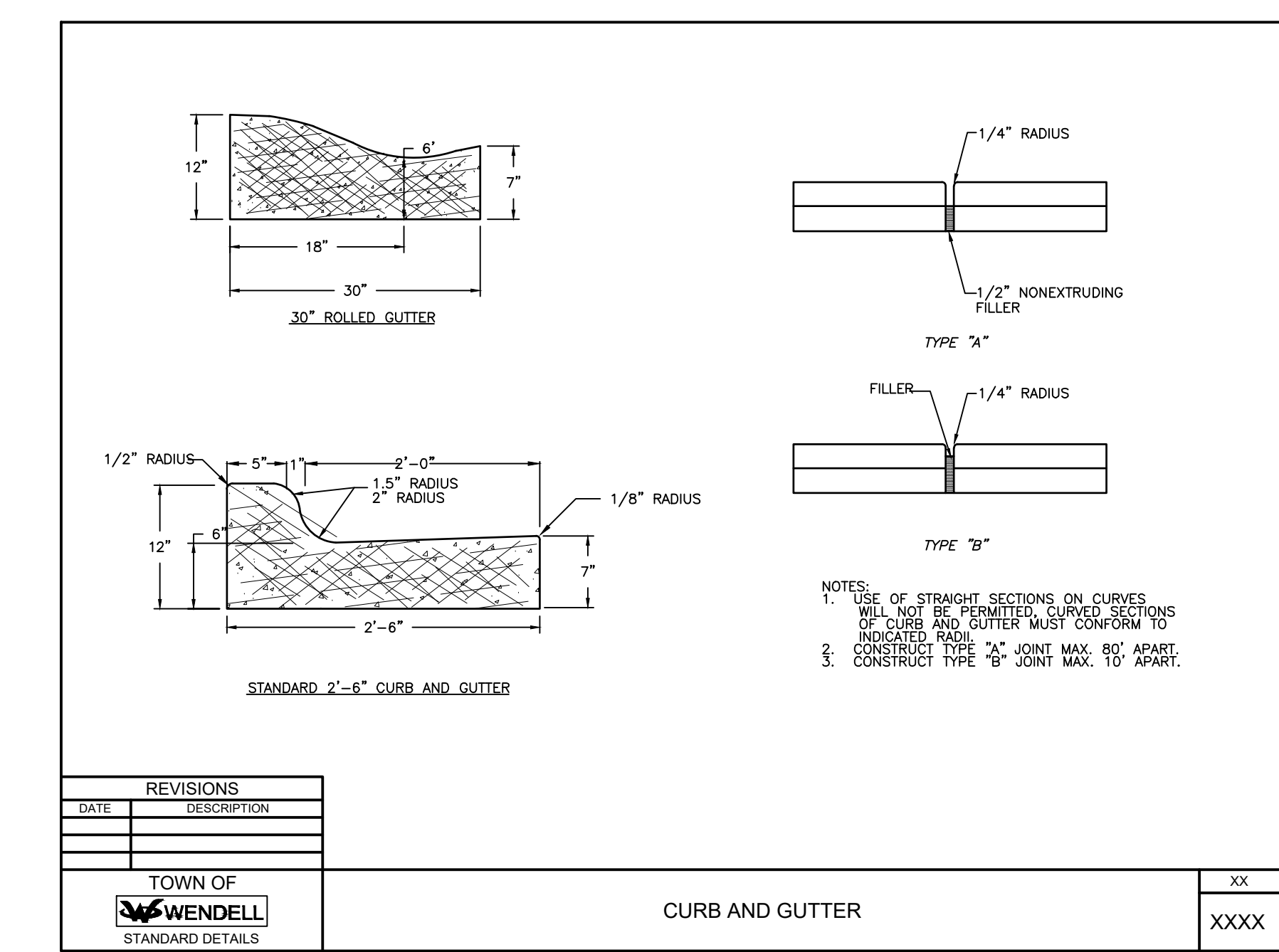
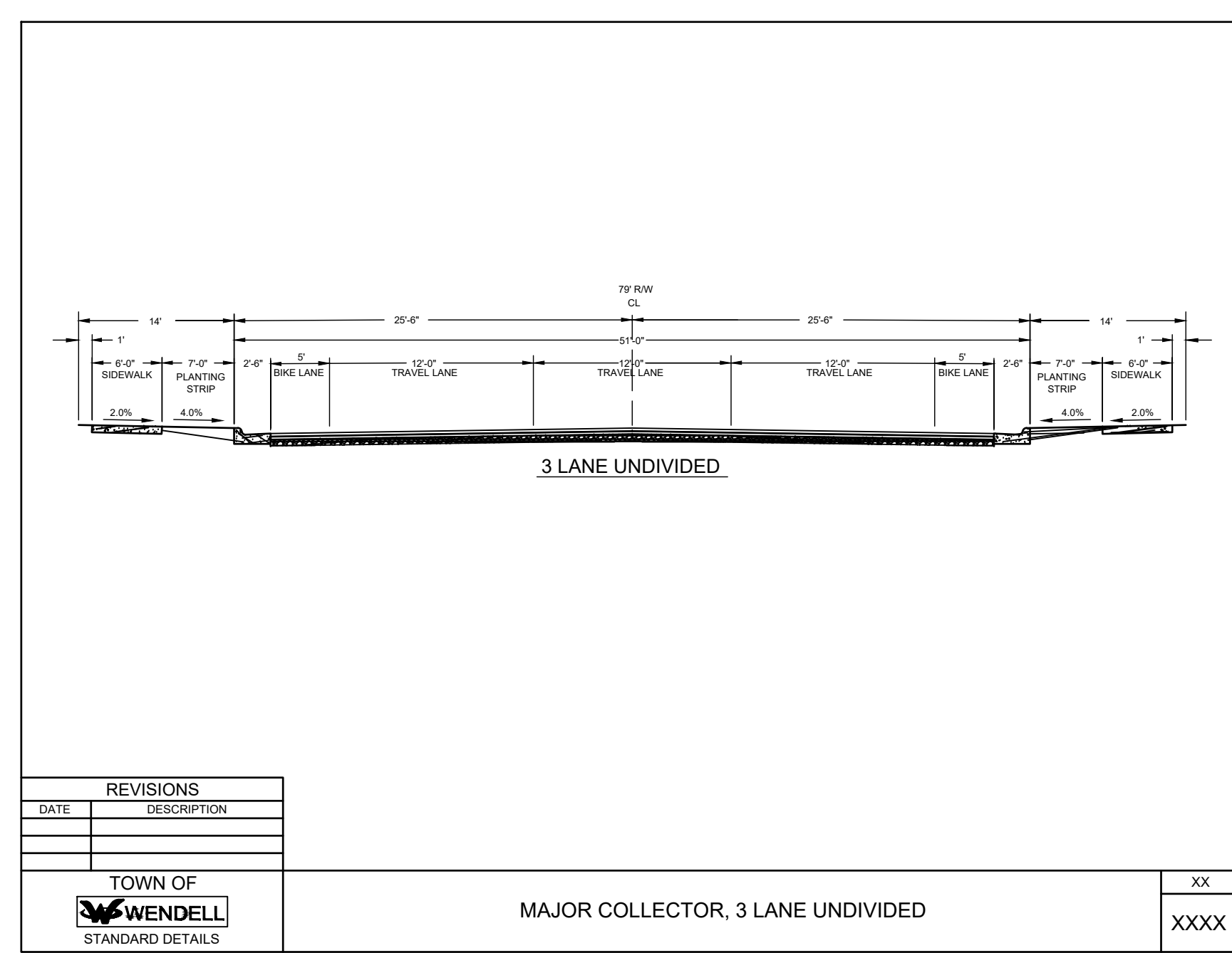
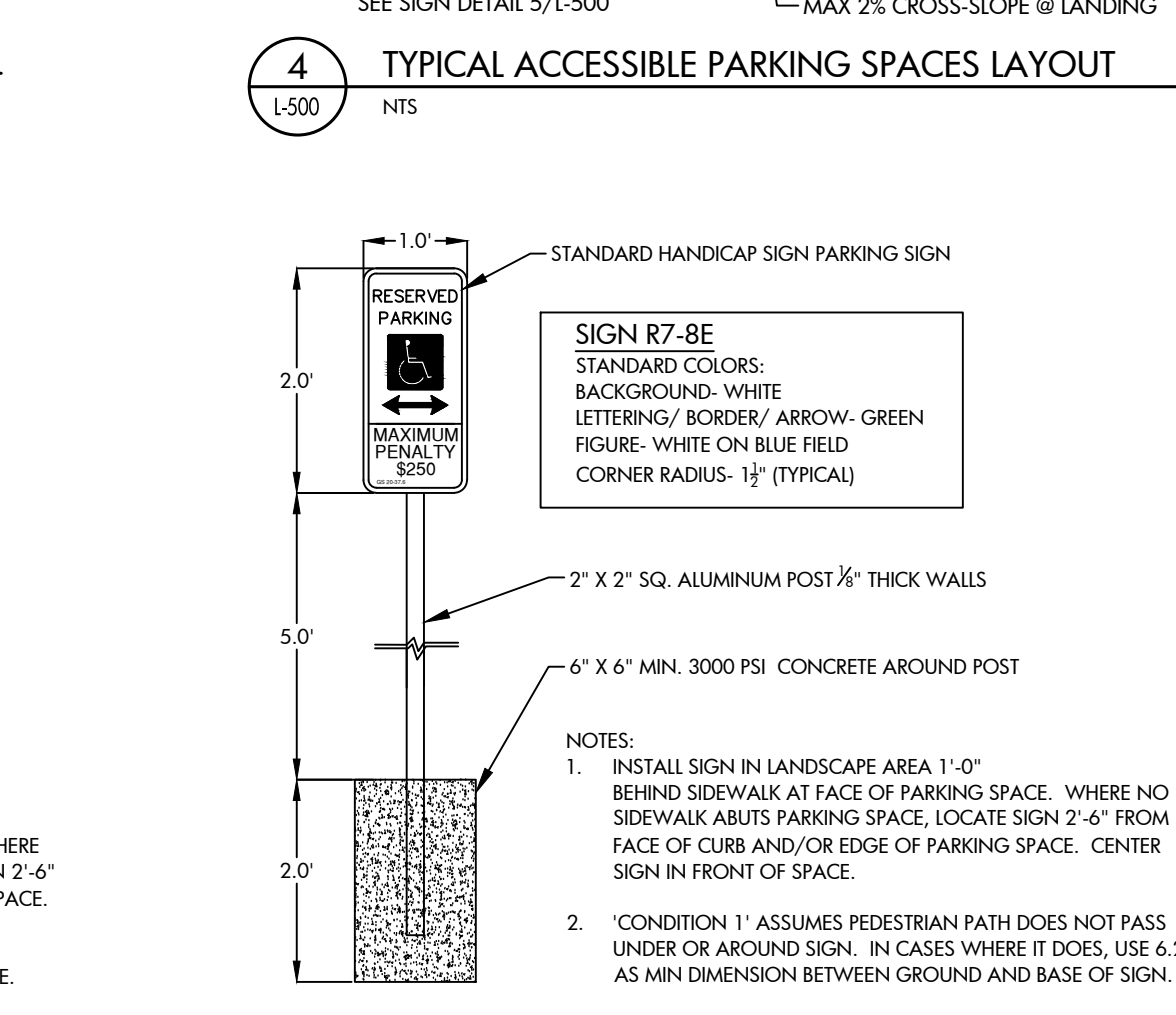
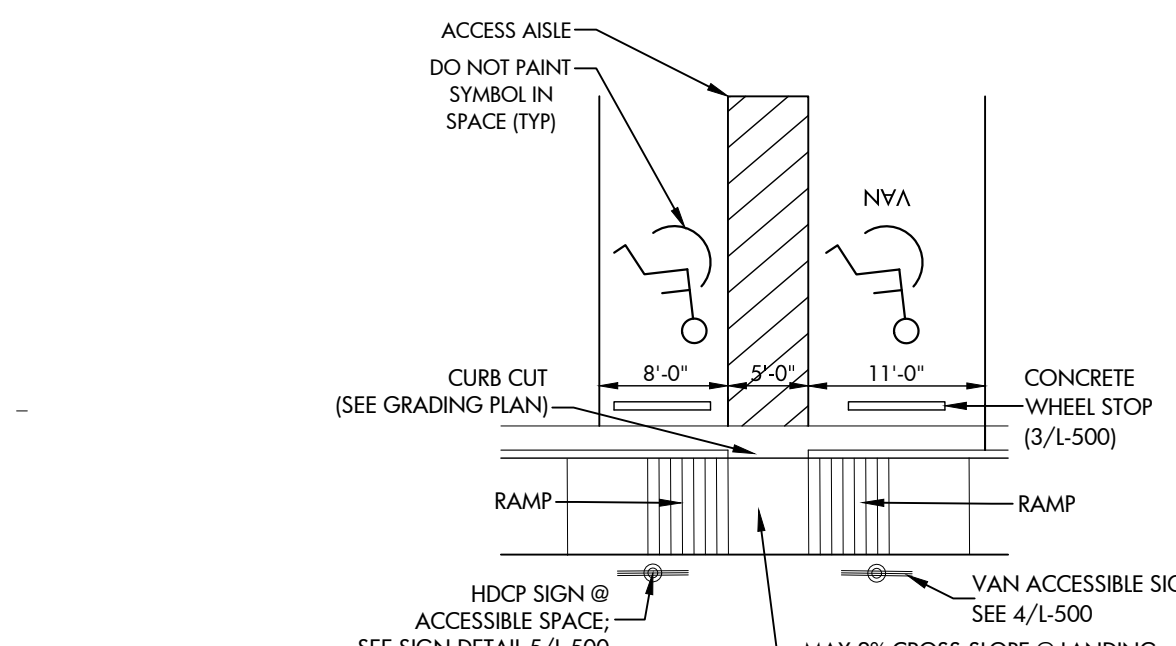
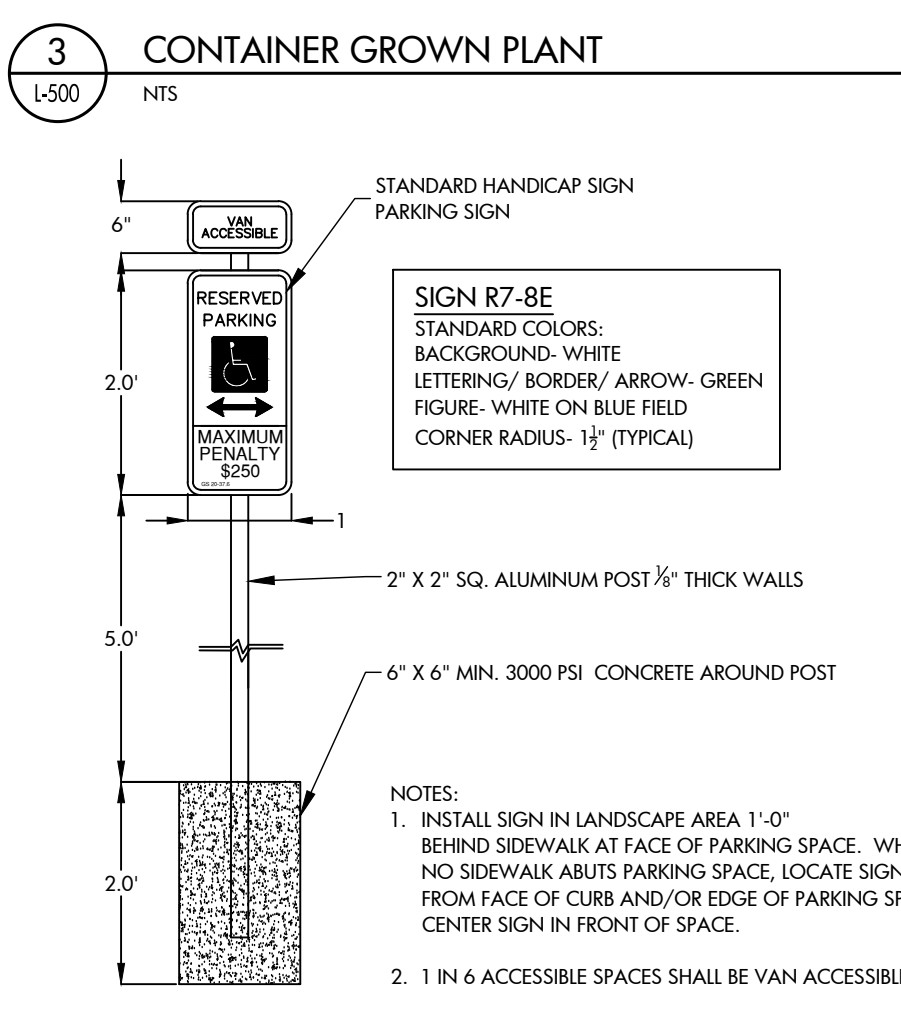
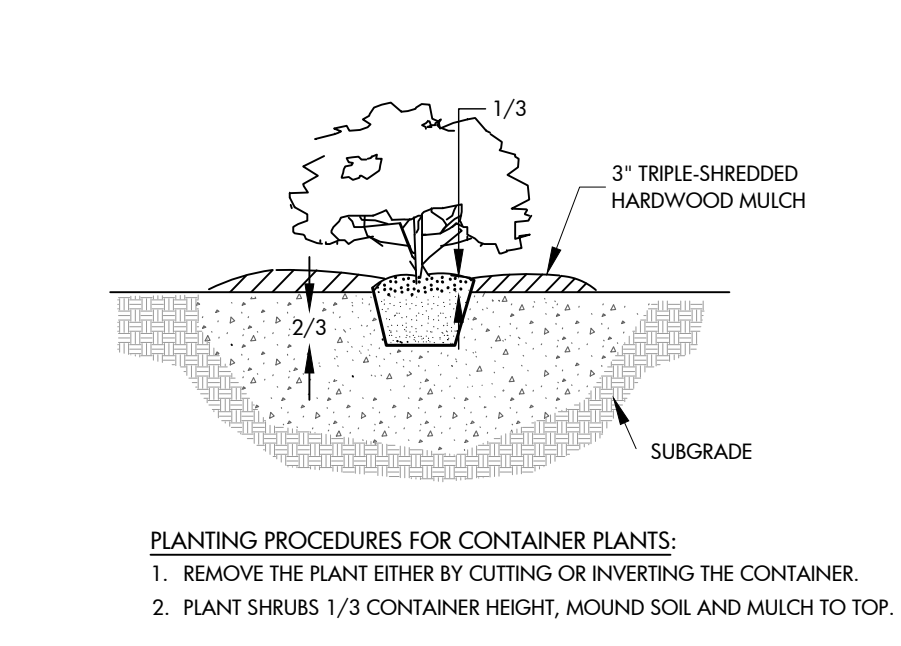
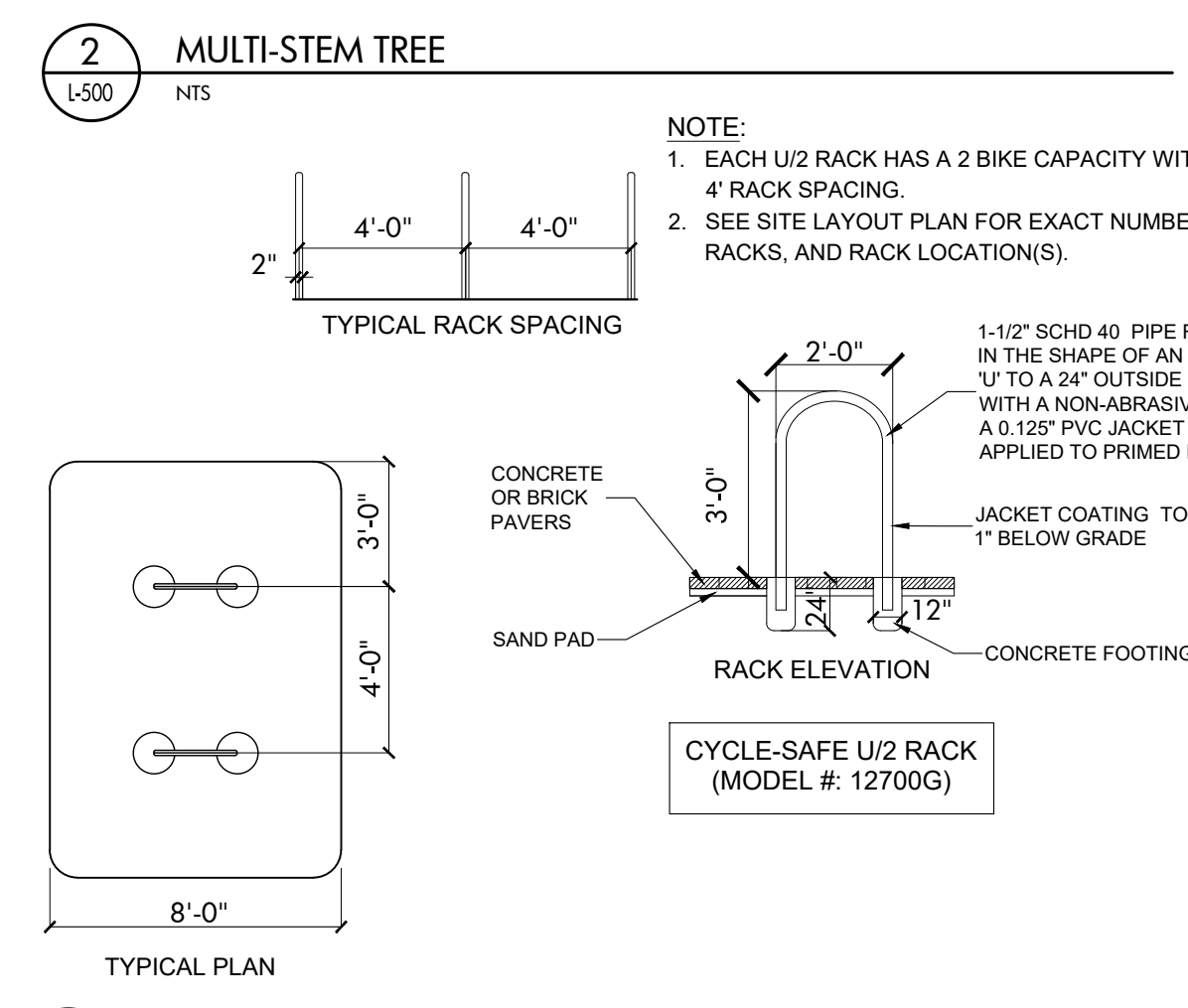
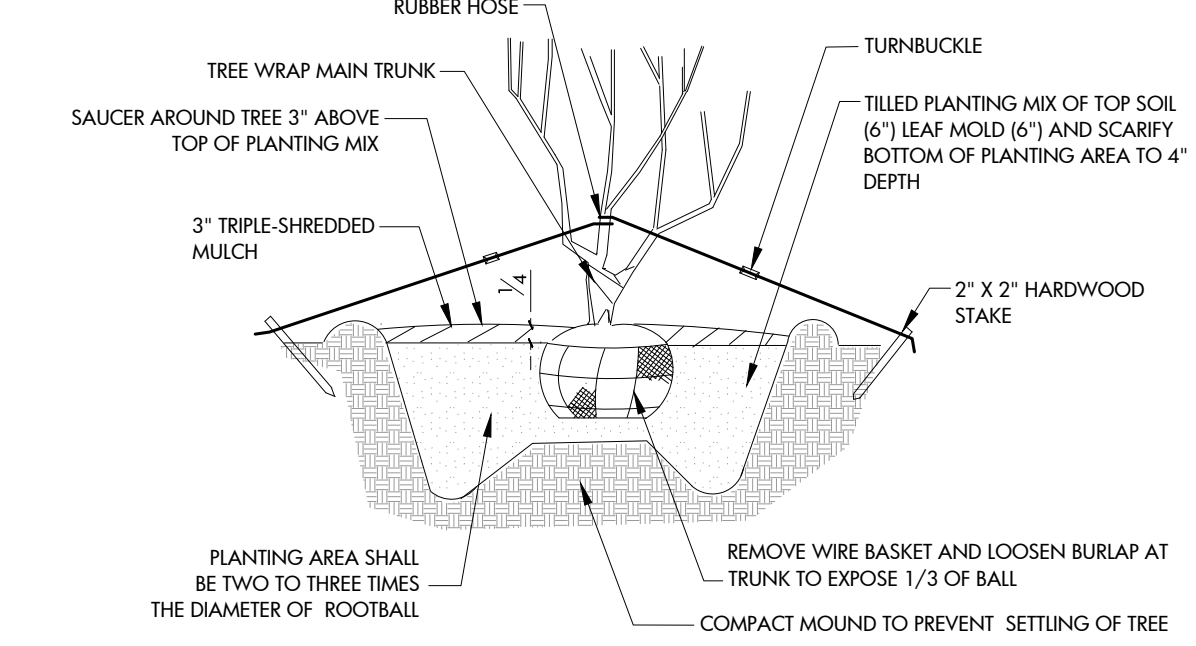
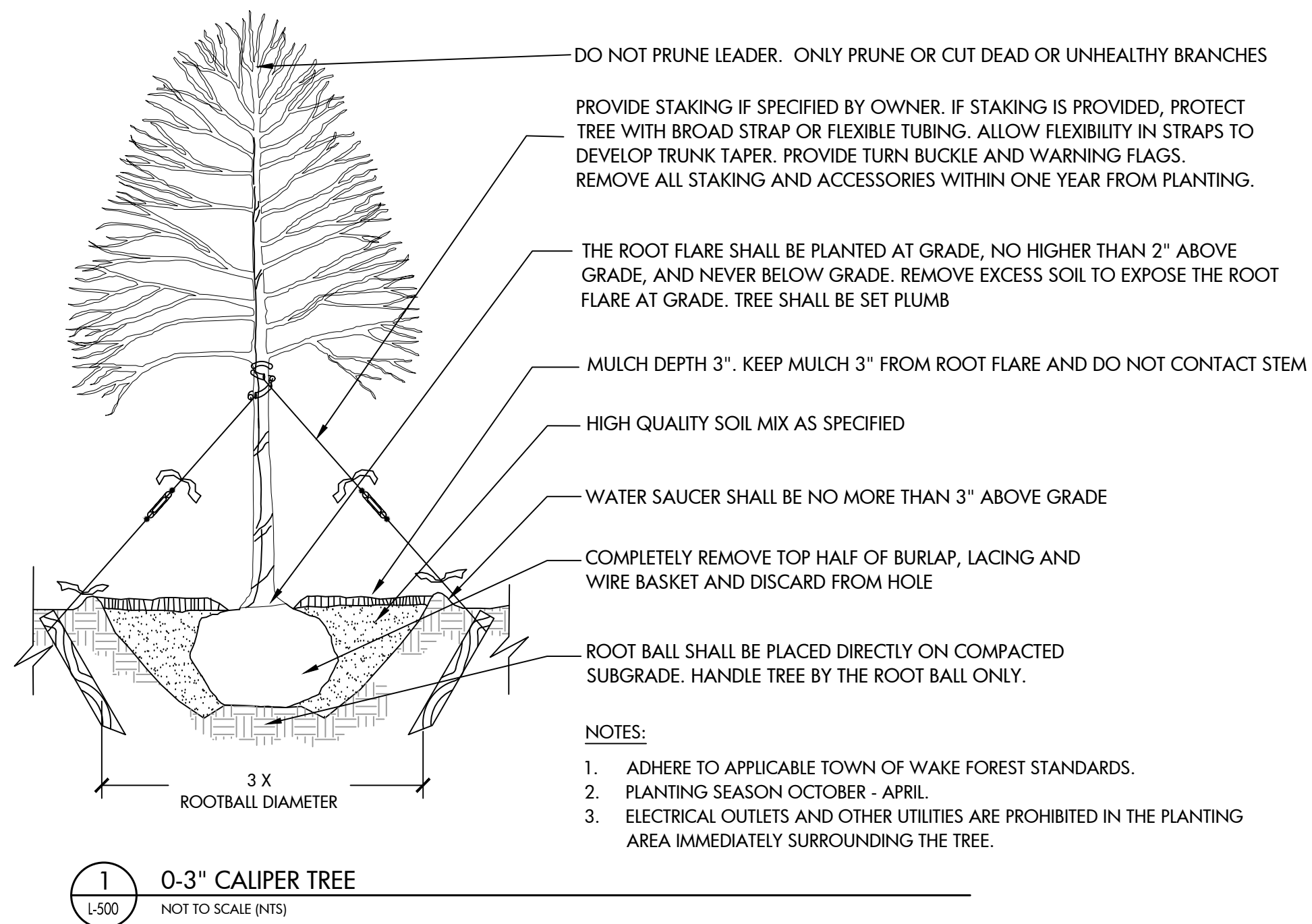
Client

Drawing Title
 UTILITY PLAN

Number	Description	Date
9-6-23	comments	11/17/23
12-11-23	comments	12/20/23
1-24-23	Review Comments	2-7-24
5-15-24	Planning Board	5-15-24

Drawn By AS
 Checked By JAA C-100
 Date Issued AUGUST 4, 2023





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(919)332-3887

CD23-06
MASTER PLAN
716
OLD BATTLE BRIDGE RD.
WENDELL, NC

DRAWING INDEX:

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01. L-80	COVER	
02. L-90	SURVEY EXISTING CONDITIONS	
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06. L-500	SITE DETAILS	
07. A-200	BUILDING ELEVATIONS	

SITE DETAILS

Revisions

Number	Description	Date
9-6-23	comments ADD Survey	11-17-23
5-15-24	Planning Board	5-15-24

Drawn By SCS, CT, SJC
Checked By SCS, JSI
Date Issued AUGUST 4, 2023

L-500
of

Neighborhood Meeting Sign In Sheet Old Battle Bridge Flex Master Plan 6:00 PM FEB-6-2024

1	Sharron C. Scroggin Consultant: HagerSmith Design	scroggin@hagersmith.com 300 S. Dawson St	(919) 280-8321 Raleigh , NC 27601
2	Katie Rascoe Owner's Representative	Krascoe@wigeoncp.com	(919) 828-6609
3	SHERIAN LILES Single Family Home	saliles@nc.rr.com 1024 Old Oak Tree Rd.	WENDELL NC 27591-7275
4	TIMOTHY LILES Single Family Home	saliles@nc.rr.com 1024 Old Oak Tree Rd.	WENDELL NC 27591-7275
5	John Wilson HEPHZIBAH BAPTIST CHURCH	John@HBCWendell.com 1794 WENDELL BLVD	(919) 365-7847 WENDELL NC 27591-7292

Minutes of the Meeting:

General description of the developers desire for flex use and thoughts regarding minimal retail component based on location and lower parking ratio.

Questions re:

Responses:

- | | | |
|---|---|--|
| 1 | What are allowed uses? | All uses allowed in CMX zoning are possible. |
| 2 | How is trash being handled? | Pointed out dumpster locations and enclosure. |
| 3 | Light levels and hours of operation? | Standard Duke Energy Lighting with shields to be provided. Consultant will follow up on cost of dimming options for after 10:00 PM. |
| 4 | Will fence be provided at top of retaining wall for safety? | Chain link fence to be provided at top of walls over 30" height. Color likely gray. |
| 5 | Where are transformers located? | Pointed out transformer locations on the plans. |
| 6 | Is an outdoor entertainment venue proposed at this time? | No. If the site plan was changed for outdoor entertainment, the plans would need to be resubmitted to staff for review for details, including hours of operation |



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

March 14, 2024

Old Battle Bridge Road Business Park

Traffic Impact Analysis Review Report

Congestion Management Section

TIA Project: SC-2024-046
Division: 5
County: Wake



Clarence B. Bunting, P.E. Regional Engineer
Trevor S. Darnell, Project Design Engineer

Old Battle Bridge Road Business Park

SC-2024-046

Wendell

Wake County

Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data for background conditions presented in the Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	02/15/24	Date of Site Plan	02/08/24
Date of Complete Information	02/15/24	Date of Sealed TIA	02/12/24

Proposed Development

The TIA assumes the development is completed by 2026 and consists of the following:

Land Use	Land Use Code	Size
Business Park	770	82,000 sq.ft.

Trip Generation - Unadjusted Volumes During a Typical Weekday

	IN	OUT	TOTAL
AM Peak Hour	97	17	114
PM Peak Hour	32	90	122
Daily Trips			1,586

General Reference

For reference to various documents applicable to this review please reference the following link: <https://connect.ncdot.gov/resources/safety/Pages/Congestion-Management.aspx>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section.

Driveway Spacing

The proposed site driveway is located in close proximity to an existing commercial driveway. Spacing between the two driveways should be taken into consideration. If operational issues develop, access at this location should be restricted.

Trip Generation

The Trip Generation for this project utilizes the Business Park Land Use. Of similar land uses, this land use may generate less peak hour trips. Additional analysis may be needed if this proposal does not represent the final construction of the site.

Peak Hour Factors









Peak Hour Factors greater than 0.90 were utilized within the analysis.

Improvements By Others

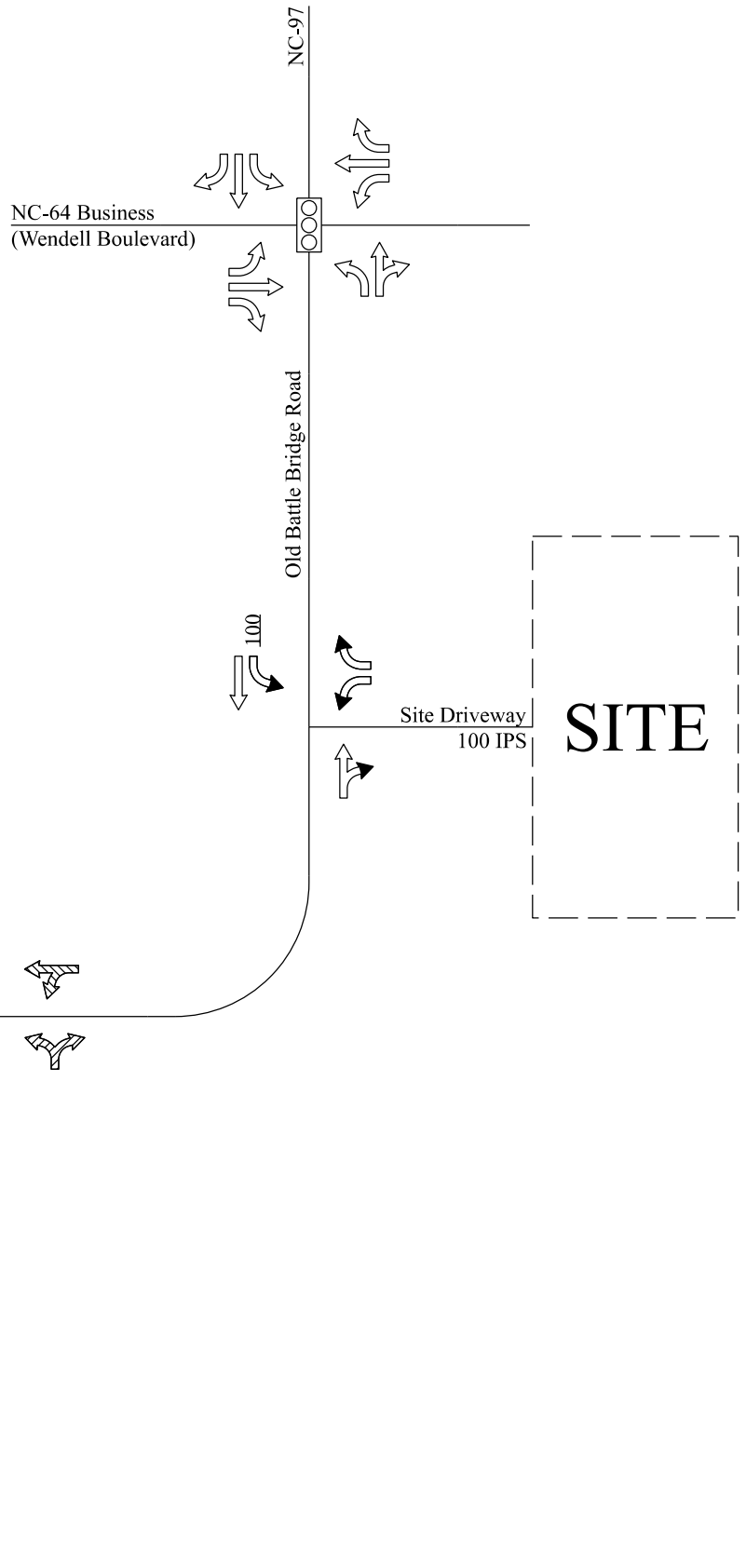
The analysis includes background improvements by others. If these improvements are not in place at the time of construction, the site developer should provide these improvements or analysis demonstrating mitigation is not necessary.

**Old Battle Bridge Road
Business Park
SC-2024-046**



-  Existing Laneage
-  Recommended Laneage
-  Laneage Built By Others
-  NCDOT Recommendation
-  Existing Signal
-  Signal Proposed By Others
-  Developer Proposed Signal
-  Monitor for Signal
- XXX Storage
- XXX NCDOT Recommended Storage
- <XXX> Distance Between Intersections
- IPS Internal Protected Stem
- All Distances in Feet
- Drawing Not to Scale

District Note:
All improvements shall be installed prior to the first CO (for commercial / industrial properties) or Plat (for single family properties) associated with that phase of development. - mjn





**TOWN OF WENDELL
ZONING MAP
AMENDMENT PACKET**



Town of Wendell Planning Department
15 E. Fourth St.
Wendell, NC 27591

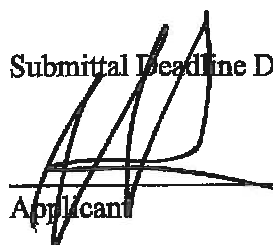
Phone: 919.365.4448
Fax: 919.366.1462
www.townofwendell.com

**ACKNOWLEDGEMENT OF ZONING MAP AMENDMENT
INFORMATION**

I, Whit Brown, acknowledge the receipt of the following items pertaining to the rezoning of the property located at 716 Old Battle Bridge Rd. Wendell, NC.

- Application for Traditional Zoning Map Amendment
- Submittal Schedule
- Future Land Use Map
- District Use Regulations Table
- Amendment Procedures

Submittal Deadline Date: August 4, 2023


Applicant

8/4/23
Date

PETITION TO AMEND THE ZONING MAP

To be reviewed by both the Planning Board and the Town Board of Commissioners Form last updated on 12/06

Date: **8-4-2023**

PETITION # **ZM-**

Applicant's Name: **Whit Brown**

Phone: **(919) 332-3887**

Fax:

Mailing Address: **629 Oberlin Rd. Raleigh, NC 27605**

Owner's Name: **Adam Matthew Fitch**

Phone:

Fax:

Mailing Address: **6924 Wheatfield Ln. Sims, NC 27880-9278**

NOTE: If several properties are involved in this request, please attach a sheet listing each property, property owner, mailing address, telephone, and fax number.

1. Relationship of Applicant to Property: Owner Lessee Optionee Other _____

2. Location of Property: **716 Old Battle Bridge Rd. Wendell, NC**

PIN #: **1774-76-1247**

3. Current Zoning: **NC**

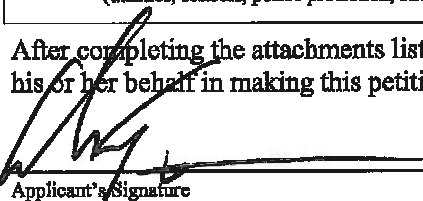
4. Requested Zoning: **CMX-CD**

5. Legal Description of Property: *(Please Label As ATTACHMENT A)* Include on a sheet of paper the property survey, Wake County Tax Map PIN Number, block or lot numbers with metes and bounds description of the area, or any other legal information available.

6. Adjacent Property Owners: *(Please Label As ATTACHMENT B)* Include on a sheet of paper the names and addresses of the owners whose property abuts and is adjacent to the property in question.

7. Why Property Should Be Rezoned: *(Please Label As ATTACHMENT C)* Include on a sheet of a paper an explanation in detail of why you feel the property should be rezoned. The explanation should include if the rezoning coincides with the Comprehensive Land Use Plan and if the impact of the proposed rezoning effects adjacent or surrounding properties. Also within this attachment should be the impact on governmental services (utilities, schools, police protection, streets, etc.), that the uses permitted within the requested district would create.

After completing the attachments listed above, I certify that I am the owner or have the consent of the owner and act on his or her behalf in making this petition for an amendment to the zoning map.


Applicant's Signature

8/4/23
Date

OFFICE USE ONLY

Fee Paid: _____ Date Paid: _____

PLANNING BOARD

Date Petition Was Reviewed: _____

Recommendation: Approval Denial

The decision of the Planning Board was based on the following considerations: _____

The decision was consistent with the Comprehensive Plan: Yes No

Conditions of Approval: _____

TOWN BOARD OF COMMISSIONERS

Date Public Hearing Scheduled: _____ Date Sign Erected: _____

Dates Public Hearing Advertised: (#1): _____ in _____ AND (#2): _____ in _____

Town Board Recommendation: Approval Denial

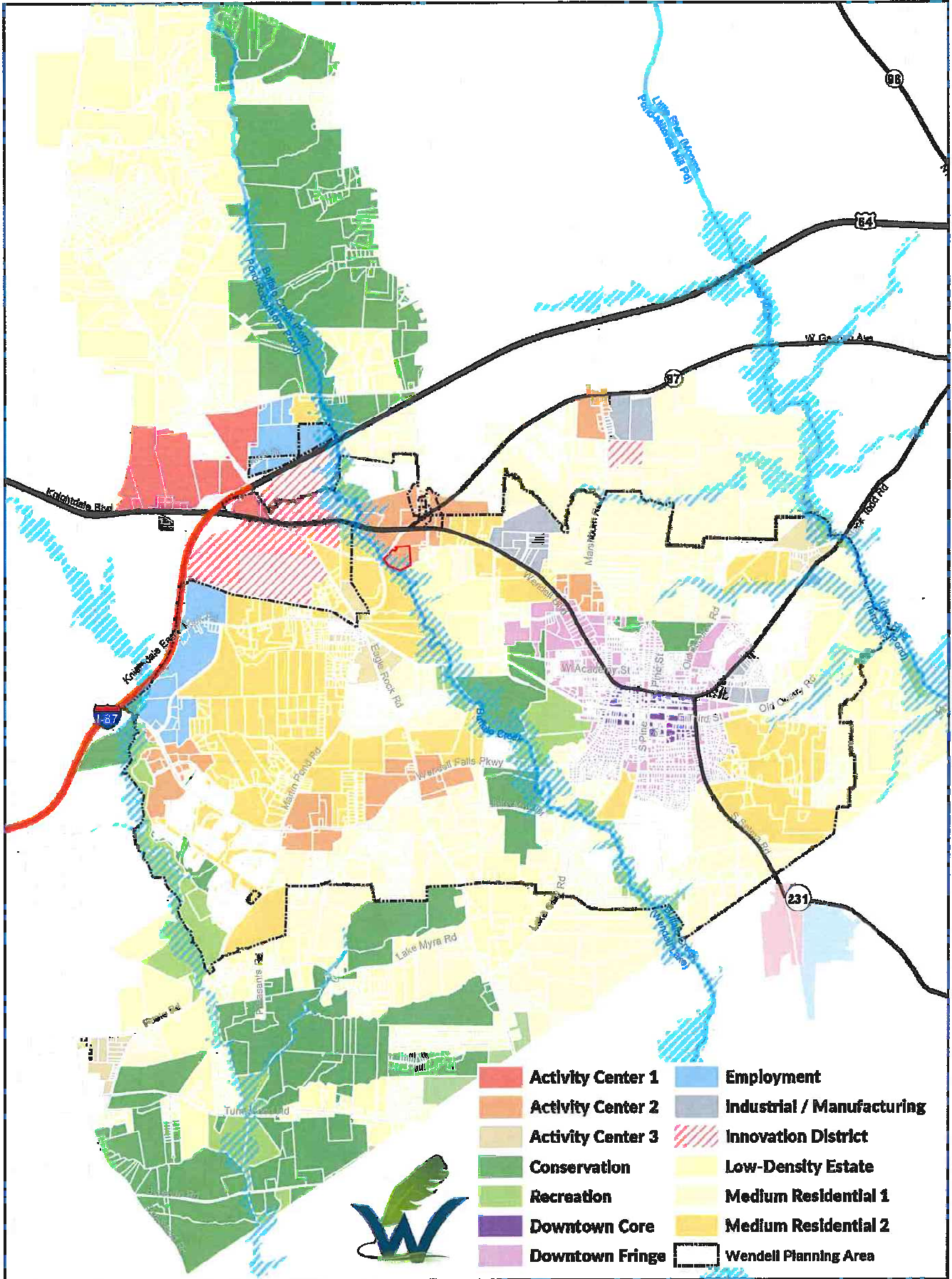
Conditions of Approval: _____

Town Clerk's Signature

Date

Mayor's Signature

Date



DISTRICT PROVISIONS

2

C. Use Matrices

BASE DISTRICT	OSC	FUD	RA	RR	RZ	R3	R4	R7	NC	CMX	CC	DMX	MH	CH	M&I	TND
Residential																
Dwelling-Single Family	P	P*	P	P	P	P	P	P	P	P	P	P	P	P	-	P
Dwelling-Multifamily	-	P*	-	-	-	-	-	SUP	SUP	SUP	SUP	SUP	-	SUP	-	SUP
Dwelling-Secondary	PS	P*	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	-	PS	-	PS
Family Care Home (6 or fewer residents)	PS	P*	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	-	PS
Home Occupation	-	P*	PS	PS	PS	PS	PS	PS	P	P	P	P	-	P	-	PS
Housing Service for the Elderly	-	P*	-	-	-	PS	PS	P	P	P	P	P	-	P	-	P
Live-Work Units	-	P*	-	-	-	-	-	-	PS	PS	PS	PS	-	PS	-	PS
Manufactured Housing	-	P*	PS	PS	-	PS	-	-	-	-	-	-	PS	-	-	-
Lodging																
Bed and Breakfast Inns	P	P*	P	P	P	P	P	P	P	P	P	P	-	P	-	P
Hotels/Motels/Inns	-	P*	-	-	-	-	-	-	-	P	P	P	-	P	-	P
Rooming or Boarding House	-	P*	-	-	-	-	-	PS	PS	PS	PS	PS	-	-	-	PS
Office/Service																
Animal Services	-	P*	PS	PS	PS	PS	PS	-	-	PS	PS	PS	-	PS	PS	-
ATM	-	P*	-	-	-	-	-	-	PS	P	P	P	-	P	P	P
Animal Services-Boarding as Primary Services	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Banks, Credit Unions, Financial Services	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Business Support Services	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Child/Adult Day Care Home (8 or less persons)	-	P*	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	-	PS	-	PS
Child/Adult Day Care Center (More than 8 persons)	-	P*	-	-	-	-	-	-	SUP	PS	PS	PS	-	PS	PS	PS
Community Services Organization	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Continuing Care Retirement Community	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Drive Thru Service	-	P*	-	-	-	-	-	-	PS	PS	PS	SUP	-	PS	-	SUP
Equipment Rental	-	P*	-	-	-	-	-	-	-	P	-	-	-	P	P	-
Funeral Homes	-	P*	-	-	-	-	-	-	-	P	P	P	-	P	-	P
Group Care Facility (More than 6 residents)	-	P*	PS	PS	-	-	SUP	SUP	PS	PS	PS	PS	-	PS	-	PS
Government Services	SUP	P*	P	P	P	P	P	P	P	P	P	P	-	P	P	P
Laundry Services	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Medical Services - Clinic, Urgent Care Center	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Medical Services - Doctor office	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P

P Permitted
 PS Permitted subject to Additional Standards in Chapter 3
 SUP Special Use Permit Required (See Chapter 3 and Chapter 15)
 P** Permitted uses for PUD Zones will be determined in accordance with 2.19
 - Not permitted

UNIFIED DEVELOPMENT ORDINANCE

TOWN OF WENDELL, NC

AMENDED 9.23.19

2

DISTRICT PROVISIONS

BASE DISTRICT	OSC	PUD	RA	R1R	R2	R3	R4	R7	NC	CMX	CC	DMX	MH	CH	M&I	TND
Office/Service (cont)																
Outdoor Kennels/Equine Facilities	-	P*	PS	-	-	-	-	-	-	-	-	-	-	PS	PS	-
Post Office	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	P	P
Personal Services	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	P	P
Professional Services	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	P	P
Residential Treatment Facility	-	P*	-	-	-	-	-	-	SUP	SUP	SUP	-	-	SUP	-	-
Studio - Art, Music	-	P*	-	-	-	-	-	-	P	P	P	PS	-	P	P	P
Studio - Dance, Martial Arts	-	P*	-	-	-	-	-	-	P	P	P	SUP	-	P	P	P
Tattoo Parlor	-	P*	-	-	-	-	-	-	P	P	P	-	-	PS	-	-
Vehicle Services - Minor Maintenance/Repair	-	P*	-	-	-	-	-	-	-	PS	PS	PS	-	PS	PS	-
Vehicle Services - Major Repair/Body Work	-	P*	-	-	-	-	-	-	-	PS	-	PS	-	PS	PS	-
Retail/Restaurants																
Alcoholic Beverage Sales Store	-	P*	-	-	-	-	-	-	SUP	PS	PS	PS	-	PS	-	PS
Auto Parts Sales	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	-
Bar/Tavern/Night Club	-	P*	-	-	-	-	-	-	SUP	SUP	SUP	SUP	-	SUP	-	SUP
Car Wash - Stand Alone, Self Service	-	P*	-	-	-	-	-	-	-	PS	PS	-	-	PS	-	PS
Drive-Thru Retail/Restaurants	-	P*	-	-	-	-	-	-	-	PS	-	-	-	PS	-	-
Gas Station	-	P*	-	-	-	-	-	-	-	PS	PS	SUP	-	PS	-	PS
General Retail - 10,000 sf or less	-	P*	-	-	-	-	-	-	PS	P	P	P	-	P	P	P
General Retail - 10,001 - 50,000 sf	-	P*	-	-	-	-	-	-	SUP	P	P	P	-	P	-	P
General Retail - Greater than 50,000 sf	-	P*	-	-	-	-	-	-	-	PS	PS	PS	-	PS	-	PS
Restaurant	-	P*	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Shopping Center - Neighborhood Center	-	P*	-	-	-	-	-	-	SUP	P	P	-	-	P	-	P
Shopping Center - Community Center	-	P*	-	-	-	-	-	-	-	P	P	-	-	P	-	P
Vehicle Sales	-	P*	-	-	-	-	-	-	-	PS	PS	PS	-	PS	PS	-
Heavy Equipment/RV Sales/Farm Equipment Sales (Mobile Home Sales)	-	P*	-	-	-	-	-	-	-	-	PS	-	-	PS	PS	-
Entertainment/Recreation																
Adult Establishment	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	PS	-
Amusements, Indoor	-	P*	-	-	-	-	-	-	-	PS	PS	PS	-	PS	-	-
Amusements, Outdoor	-	P*	PS	PS	-	-	-	-	-	PS	-	-	-	PS	-	-
Cultural or Community Facility	PS	P*	PS	PS	PS	PS	PS	PS	P	P	P	SUP	P	P	P	P
Event Venue, Outdoor	-	P*	SUP	-	-	-	-	-	SUP	SUP	SUP	SUP	-	SUP	SUP	SUP
Farmers Markets	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Meeting Facility/Indoor Event Venue	PS	PS	PS	PS	PS	PS	PS	PS	PS	P	P	SUP	PS	P	P	P
Recreation Facilities, Indoor	PS	PS	PS	PS	PS	PS	PS	PS	P	P	P	SUP	P	P	P	P
Recreation Facilities, Outdoor	PS	PS	PS	PS	PS	PS	PS	PS	P	P	P	SUP	P	P	P	P

P Permitted
 PS Permitted subject to Additional Standards in Chapter 3
 SUP Special Use Permit Required (See Chapter 3 and Chapter 15)
 P* Permitted uses for PUD Zones will be determined in accordance with 2.19
 - Not permitted

UNIFIED DEVELOPMENT ORDINANCE TOWN OF WENDELL, NC

DISTRICT PROVISIONS 2

BASE DISTRICT	OSC	PUD	RA	RR	R2	R3	R4	R7	NC	CMX	CC	DMX	MH	CH	M&I	TND
Entertainment/Recreation (cont)																
Shooting Ranges, Indoor	-	P*	-	-	-	-	-	-	-	SUP	SUP	-	-	SUP	SUP	-
Sports Training/Fitness Complex	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	SUP	-
Sweeps/Estates Center	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	-	P
Theater, Live Performance, Indoor	-	P*	-	-	-	-	-	-	-	SUP	SUP	-	-	SUP	SUP	-
Theater, Live Performance, Outdoor	-	P*	-	-	-	-	-	-	-	P	P	-	-	P	-	-
Theater, Merit	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Manufacturing/Wholesale/Storage																
Agriculture	P	P*	P	P	-	-	-	-	-	-	-	-	-	-	P	-
Commissary Kitchen	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-
Laundry, dry cleaning plant	-	P*	-	-	-	-	-	-	-	-	-	-	-	P	P	-
Manufacturing - Light	-	P*	-	-	-	-	-	-	-	PS	-	SUP	-	PS	P	-
Manufacturing, Neighborhood	-	P*	-	-	-	-	-	-	PS	PS	PS	SUP	-	PS	P	PS
Manufacturing, Heavy	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	P	-
Media production	-	P*	-	-	-	-	-	-	-	P	P	-	-	P	P	-
Metal products fabrication, machine or welding shop	-	P*	-	-	-	-	-	-	-	P	-	SUP	-	P	P	-
Micro-Distillery/Micro-Brewery/Micro-Winery	-	P*	-	-	-	-	-	-	PS	PS	PS	PS	-	PS	PS	PS
Mint/Warehouses	-	P*	-	-	-	-	-	-	-	PS	-	-	-	PS	PS	-
Research and development	-	P*	-	-	-	-	-	-	-	SUP	SUP	SUP	-	PS	P	P
Storage - Outdoor as a primary use	-	P*	P	-	-	-	-	-	-	-	-	-	-	P	P	-
Storage - Warehouse, indoor storage	-	P*	-	-	-	-	-	-	-	PS	-	PS	-	-	P	-
Wholesale Distribution	-	P*	-	-	-	-	-	-	-	-	-	-	-	P	P	-
Civic/Institutional																
Campground	P	P*	PS	-	-	-	-	-	-	-	-	-	-	-	-	-
Cemetery	P	P*	PS	-	PS	-	-	-	-	PS	PS	-	PS	PS	PS	-
Colleges/Universities	-	P*	-	-	-	-	-	-	SUP	SUP	SUP	SUP	-	SUP	SUP	-
Hospital	-	P*	-	-	-	-	-	-	SUP	SUP	SUP	SUP	-	-	-	-
Public Safety Station	-	P*	SUP	SUP	SUP	SUP	SUP	SUP	P	P	P	P	-	P	P	P
Religious Institutions	-	P*	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	-	SUP	SUP	SUP	SUP
Schools - Elementary & Secondary	-	P*	P	P	P	P	P	P	P	P	P	-	-	-	-	P
Schools - Vocational/Technical	-	P*	-	-	-	-	-	-	P	P	P	P	-	P	P	P
Infrastructure																
Airport	-	P*	SUP	-	-	-	-	-	-	-	-	-	-	-	SUP	-
Transit Station - Passenger	-	P*	-	-	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS
Wireless Telecommunication Facility-Satellite	SUP	P*	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP

P Permitted

PS Permitted subject to Additional Standards in Chapter 3

SUP Special Use Permit Required (See Chapter 3 and Chapter 15)

PS Permitted subject to Additional Standards in Chapter 3

PS Permitted subject to Additional Standards in Chapter 3

PS Permitted subject to Additional Standards in Chapter 3

PS Permitted subject to Additional Standards in Chapter 3

PS Permitted subject to Additional Standards in Chapter 3

PS Permitted subject to Additional Standards in Chapter 3

— Not permitted

UNIFIED DEVELOPMENT ORDINANCE

TOWN OF WENDELL, NC

AMENDED 9.23.19

DISTRICT PROVISIONS

BASE DISTRICT	OSC	PUD	RA	RR	R2	R3	R4	R7	NC	CMX	CC	DMX	MH	CH	M&I	TND
Infrastructure																
Wireless Telecommunication Facility-Tower	SUP	P*	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP
Utilities-Class 1	PS	P*	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS
Utilities-Class 2	PS	P*	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS
Utilities-Class 3	-	P*	PS	PS	-	-	-	-	-	-	-	-	-	PS	PS	-
Parking Lot (Primary Use)	-	P*	-	-	-	-	-	-	-	-	P	P	-	-	-	P
Parking Structure (primary use)	-	P*	-	-	-	-	-	-	-	PS	PS	PS	-	-	-	PS

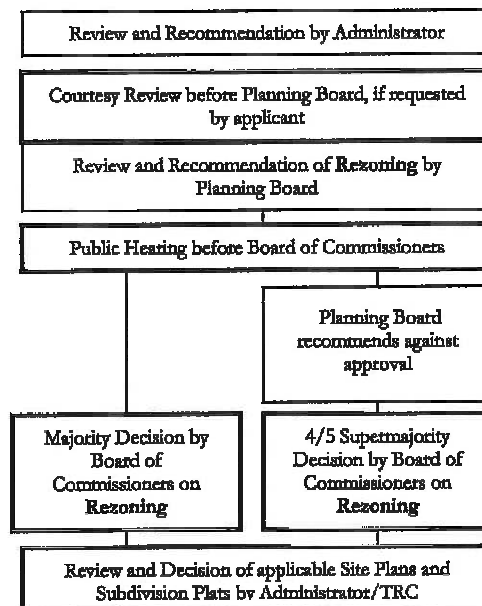
P Permitted
 PS Permitted subject to Additional Standards in Chapter 3
 SUP Special Use Permit Required (See Chapter 3 and Chapter 15)
 P* Permitted uses for PUD Zones will be determined in accordance with 2.1
 - Not permitted

15.12 Map Amendments (Rezoning)

- A. Purpose:** The purpose of this Section is to establish uniform procedures for amending the zoning classification of land as shown on the Zoning Map.
- B. Application Required:** An amendment to the Zoning Map may be initiated by the Board of Commissioners, the Planning Board, the Administrator, or any private citizen by filing an application with the Administrator.
- C. Procedure:**

APPLICATION	REVIEWING AUTHORITY	ACTION TO BE TAKEN	APPEAL AUTHORITY
Map Amendments (Rezoning): The Administrator must receive petitions 30 calendar days prior to the next regularly scheduled meeting of the Town Planning Board to be considered at that meeting. The petition shall state the nature of the proposed amendment, and if applicable, a description of the property involved, names and address of the owners of the property, and a statement why the proposed amendment is necessary to promote public health, safety, and general welfare.	Administrator	Review submittal procedures and requirements Review for completeness & code compliance. Issue Staff Report	n/a
	Planning Board	Courtesy review, if requested by applicant	n/a
	Planning Board	Review and recommendation of Rezoning application	n/a
	Board of Commissioners	Public hearing*	n/a
	Board of Commissioners	Grant Rezoning – or - Denial and Request for Rehearing	Superior Court

* Applicant can request that the Board of Commissioners adopt the Amendment at the same meeting as the public hearing. Otherwise, decision to adopt will be made no sooner than the next Board meeting.



15.19 Legislative Procedures – General Provisions

Purpose: The purpose of this Section is to establish uniform procedures for processing matters requiring a legislative approval process.

Required Compliance with Comprehensive Plans:

1. Text and Zoning Map amendments shall be made in accordance with the *Town Plan of Wendell* or other adopted comprehensive or related plan. Prior to adopting or rejecting any zoning amendment, the Board of Commissioners shall adopt a statement describing whether its action is consistent with the adopted comprehensive plan and explaining why the Board of Commissioners considers the action taken to be reasonable and in the public interest. That statement is not subject to judicial review.
2. The Planning Board shall advise and comment on whether the proposed amendment is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The Planning Board shall provide, within 30 calendar days of its decision, a written recommendation to the governing board that addresses plan consistency and other matters as deemed appropriate by the Planning Board.
3. A comment by the Planning Board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the Board of Commissioners. However, a four-fifths majority vote by the Board of Commissioners shall be required to amend this Ordinance when the Planning Board recommends against such amendments. A simple majority of the Board shall be required to amend the Ordinance when recommendation by the Planning Board is favorable.

Notice Requirements

1. **Hearing with Published Notice.** - Before adopting, amending, or repealing any ordinance or development regulation authorized by this Chapter, the Board of Commissioners shall hold a legislative hearing. A notice of the hearing shall be given once a week for two successive calendar weeks in a newspaper having general circulation in the area. The notice shall be published the first time not less than 10 days nor more than 25 days before the date scheduled for the hearing. In computing such period, the day of publication is not to be included but the day of the hearing shall be included.

Town Board Decision: Once the public hearing has been conducted the Town Board shall render a decision on the petition. All decisions shall be by simple majority vote unless the Planning Board has recommended against the proposed amendment.

1. A decision concerning a petition for rezoning shall be as follows:
 - a. Grant the rezoning as requested; or,
 - b. Grant the rezoning with a reduction in the area requested; or,
 - c. Grant the rezoning to a more restrictive general zoning district; or,
 - d. Grant the rezoning with a combination of b and c above; or,
 - e. Deny the application.
2. A decision concerning the petition to amend the text of this Ordinance shall be as follows:
 - a. Adoption of the amendment as written; or,
 - b. Adoption of the amendment as revised; or,
 - c. Rejection of the amendment.

Rehearing

1. An application for a rehearing shall be made in the same manner as provided for an original hearing within a period of 15 calendar days after the date of the Board of Commissioners decision.
2. Specific information to enable the Board of Commissioners to determine whether or not there has been a substantial change in facts, evidence, or conditions in the case, shall be presented in writing or graphically.
3. A rehearing shall be denied by the Board of Commissioners, if, in its judgment, such change in facts, evidence or conditions have not been proven.

4. A public hearing shall not be required to be held by the Board of Commissioners to consider holding such a rehearing. Approval of said consideration shall, however, require an affirmative vote of at least four voting members. In the event that the Board of Commissioners finds that a rehearing is warranted, it shall then proceed as in the original hearing except that the application fee shall be waived.
5. Upon the denial of an original application, or upon the denial of an application from which a rehearing has been conducted, a similar application may not be filed for a period of one year after the date of denial of the original application.

Appeals: Every legislative decision of the Board of Commissioners shall be subject to review by the Superior Court Division of the General Courts of Justice of the State of North Carolina by proceedings in the nature of certiorari. Any petition for review by the Superior Court shall be duly verified and filed with the Clerk of Superior Court within 30 calendar days after the decision of the Board is filed in the office of the Town Clerk, or after a written copy is delivered to every aggrieved party who has filed a written request for such copy with the Administrator at the time of the hearing of the case by the Board of Commissioners, whichever is later.

Application Withdrawal

1. The petitioner may withdraw his application before submission of the public notice to the newspaper announcing the public hearing.
2. After submission of such notice, an application may be withdrawn at the discretion of the Planning Board or Board of Commissioners at the public hearing.
3. No more than two withdrawals may occur on the same parcel or portion of land within a one year period.
4. No application shall be filed on the same parcel or portion of land within a one year period after the date of the second withdrawal.

From the **POINT OF BEGINNING** Having North Carolina State Plane Coordinates NAD 83 E=2,178,033.64' and- N=747,706.38'; Thence, S 02° 41' 44" E for a distance of 647.75 feet to a Point of Beginning; Thence, S 04° 05' 43" E for a distance of 760.00 feet to a point ; thence S 65° 55' 30" W a distance of 489.00 feet to a point; thence N 68° 51' 47" W a distance of 487.29 feet to a point; thence N 35° 59' 01" W a distance of 354.05 feet to a point; thence N 53° 46' 28" E a distance of 164.05 feet to a point; thence along Said curve turning to the left through 25° 29' 09", having a radius of 673.52 feet, and whose long chord bears N 41° 01' 43" E for a distance of 297.19 feet to a point; thence N 28° 16' 45" E a distance of 41.85 feet to a point; thence S 61° 16' 33" E a distance of 168.19 feet to a point; thence N 29° 24' 50" E a distance of 106.36 feet to a point; thence N 62° 04' 29" w a distance of 170.29 feet to a point; thence N 85° 50' 28" w a distance of 656.59 feet to a point: **POINT OF BEGINNING**; containing 16.49 Acres.

List of Adjacent Property Owners:

Last revised: 8-4-2023

1500 WENDELL BLVD.

SPC MECHANICAL HEADQUARTERS

(3) parcels with same Owner:

F D A EAT LLC
8358 SIX FORKS RD STE 104
RALEIGH NC 27615-5093

1. PARCEL ID: 0200843
CURRENT USE: OFC GROSS
PIN: 1774676070
ZONED: CMX-CD
DB: 017647 PG: 01031
2. PARCEL ID: 0495521
PIN: 1774770251
ZONED: CMX-CD
DB: 017647 PG: 01031
3. PARCEL ID: 0488562
PIN: 1774662913
ZONED: CMX-CD
DB: 017647 PG: 01031

612 OLD BATTLE BRIDGE ROAD

Owner:

AYSCUE, NELSON KEITH
1 WESTRIDGE CT
GREENSBORO NC 27410-2980

PARCEL ID: 2902
PIN: 1774760519
CURRENT USE: RESIDENTIAL
ZONED: RR
DB: 007297 PG: 00898

1794 WENDELL BLVD

Owner:

HEPHZIBAH BAPTIST CHURCH
1794 WENDELL BLVD
WENDELL NC 27591-7292

PARCEL ID: 89703
PIN: 1774778135
CURRENT USE: CHURCH
ZONED: NC
DB: 000921 PG: 00022

1016 OLD OAK TREE RD

Owner:

HENDRICKS, JAMES D
1016 OLD OAK TREE RD
WENDELL NC 27591-7275

PARCEL ID: 30061
PIN: 1774862807
ZONED: NC
DB: 002034 PG: 0023

1020, 1022 and 1024 OLD OAK TREE RD

(3) parcels with same Owner:

LILES, TIMOTHY C LILES, SHERIAN A
1024 OLD OAK TREE RD
WENDELL NC 27591-7275

1. 1020 OLD OAK TREE RD
PARCEL ID: 0214309
PIN: 1774861790
ZONED: RR
DB: 008184 PG: 01667
2. 1022 OLD OAK TREE RD
PARCEL ID: 0042114
PIN: 1774768411
ZONED: RR
DB: 006667 PG: 00466
3. 1024 OLD OAK TREE RD
PARCEL ID: 0104062
PIN: 1774861483
ZONED: RR
DB: 002662 PG: 00213

1116 OLD OAK TREE RD

Owner:

JEFFREYS, DANNY L
PO BOX 724
WENDELL NC 27591-0724

PARCEL ID: 42184
PIN: 1774855578
ZONED: RR
DB: 007337 PG: 00646

ANDERSON FARM SUBDIVISION

Owner:

D R HORTON, INC
2000 AERIAL CENTER PKWY STE 110
MORRISVILLE NC 27560-9294

1. PARCEL ID: 0506807
PIN: 1774752274
ZONED: R4-CD
DB: 018644 PG: 01404

2. PARCEL ID: 1883
PIN: 1774558486
ZONED: R4-CD
DB: 018644 PG: 01404



ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PO BOX 1308
300 SOUTH DAWSON ST
RALEIGH, NC 27602
919.821.5547
WWW.HAGERSMITH.COM

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N|V|5

NV5 ENGINEERS AND CONSULTANTS, INC.
6750 TRYON ROAD
CARY, NC 27518
P: 919.851.1912
www.NV5.com
NC License # F-1333
formerly CALYX Engineers + Consultants

Seals

Client

WIGEON
CAPITAL

WHIT BROWN/AL GOODRICH
WIGEON CAPITAL, LLC
629 OBERLIN ROAD
RALEIGH, NC 27605
WHIT@WIGEONCP.COM
(919)332-3887

Project

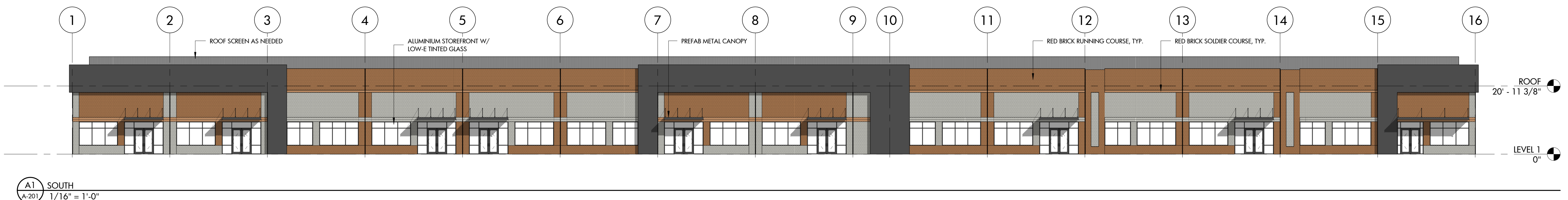
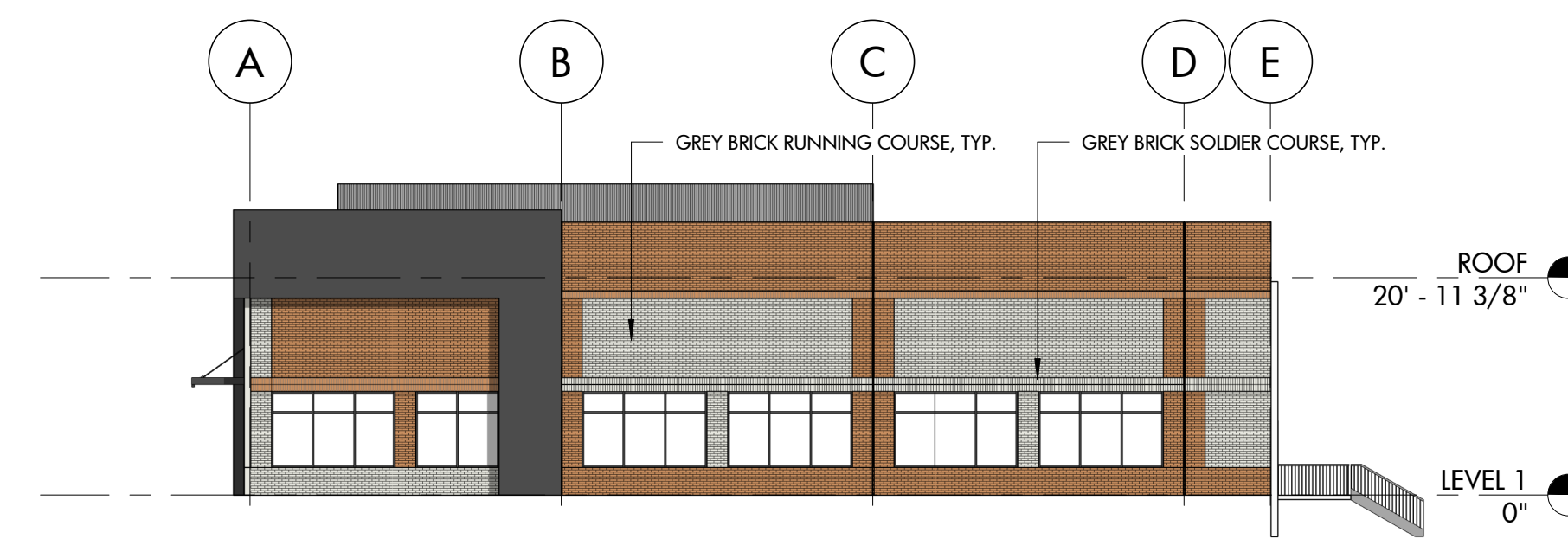
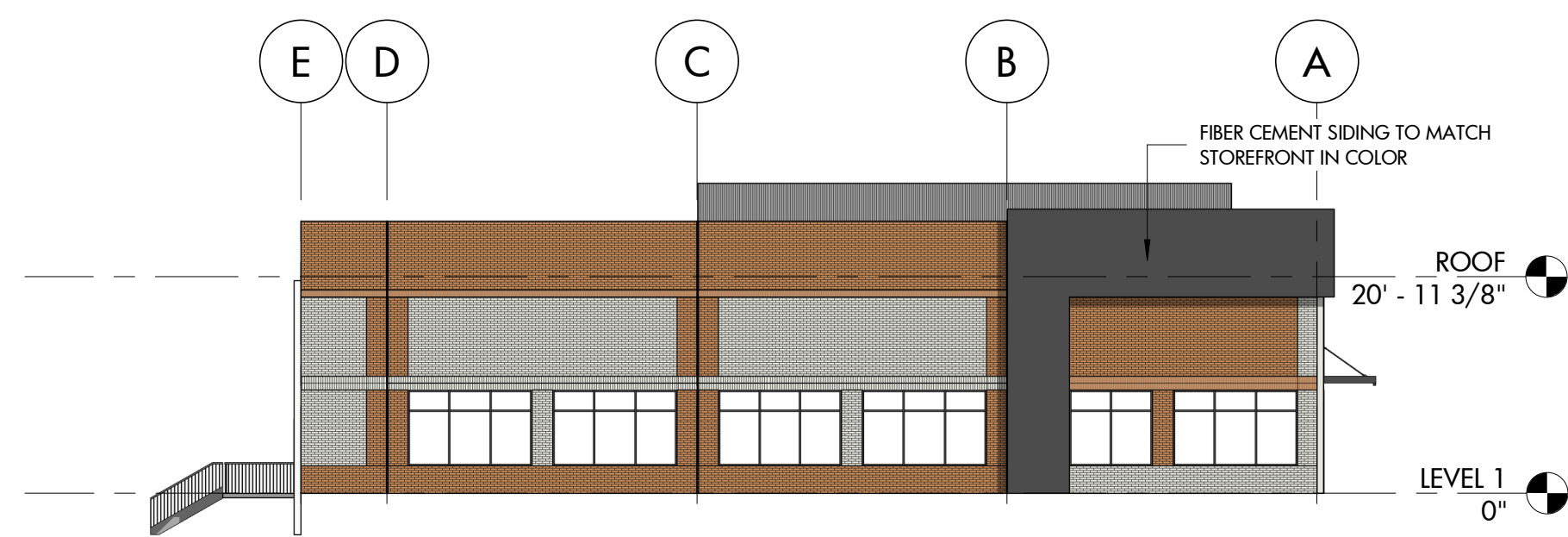
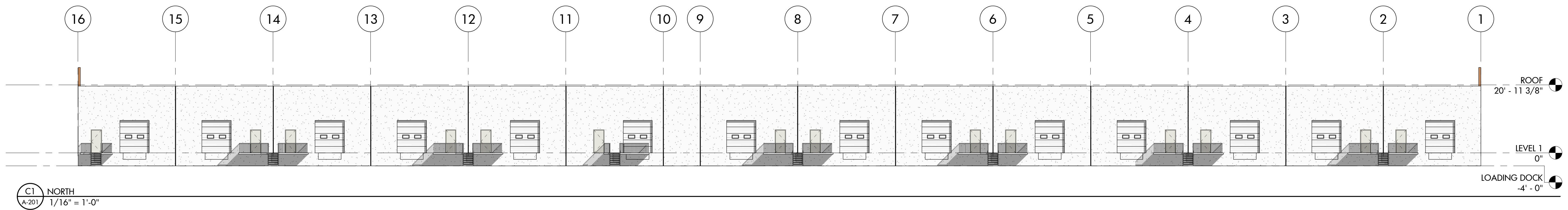
716
OLD BATTLE BRIDGE RD.
WENDELL, NC

Drawing Title

ELEVATIONS

Revisions		
Number	Description	Date

Drawn By _____
Checked By _____
Date Issued **AUGUST 4, 2023** of _____



Return Address: Bryan Coates, Planning Director
Town of Wendell
409 Landing View Drive
Wendell, NC 27591

ANNEXATION PETITION: A24-02
REZONING PETITION: CD23-06
PIN: 1774761247
Owner: Adam Matthew Fitch
Non-Contiguous: 16.51 +/- acres

ORDINANCE NO. O-09-2024
AN ORDINANCE TO EXTEND THE CORPORATE LIMITS
AND AMEND THE ZONING ORDINANCE AND ZONING MAP
OF THE TOWN OF WENDELL, NORTH CAROLINA

WHEREAS, the Town of Wendell has been petitioned under G.S. 160A-58.1 to annex the area described below; and

WHEREAS, a petition has been filed with the Board of Commissioners of the Town of Wendell requesting an amendment to the Zoning Ordinance and Zoning Map of the Town of Wendell to include in the Corridor Mixed-Use Conditional District (CMX-CD23-06) zone the property described below, said property formerly being zoned Neighborhood Center (NC); and

WHEREAS, said property is owned by Adam Matthew Fitch and bears the PIN set forth above; and

WHEREAS, the Planning Board of the Town of Wendell has reviewed the proposed zoning change(s) and made a recommendation thereupon; and

WHEREAS, the Town of Wendell has by resolution directed the Town Clerk to investigate the sufficiency of the annexation petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the annexation petition; and

WHEREAS, notice of a public hearing to consider the annexation petition was duly published in The Wake Weekly, a local newspaper of general circulation, as required by Section 160A-58.2 of the North Carolina General Statutes; and

WHEREAS, notice of a public hearing to consider the proposed zoning change was duly published in The Wake Weekly, a local newspaper, as required by the Wendell Unified Development Ordinance and by Section 160D-601 of the North Carolina General Statutes; and

WHEREAS, a notice of the proposed zoning classification action was mailed to the owner(s) of the parcel(s) of land involved, as shown on the County Tax Listings, and to the owners of all parcels of land abutting that (those) parcel(s) of land as shown on the County Tax Listings, by depositing a copy of the same in the United States Mail, first class postage paid, as required by the Zoning Ordinance of the Town of Wendell and by Section 160D-602 of the General Statutes; and

WHEREAS, the said public hearing on the questions of the annexation petition and the proposed zoning change was actually conducted at 7:00 p.m. on June 10, 2024 wherein a reasonable opportunity was given to all those in attendance to speak either in favor or against the said change or to make relevant comments; and

WHEREAS, the Town of Wendell finds that the annexation petition meets the requirements of G.S. 160A-58.1(b) to wit:

- a. The nearest point on the proposed satellite corporate limits is not more than three miles from the corporate limits of the Town;
- b. No point on the proposed satellite corporate limits is closer to another municipality than to the Town;
- c. The area described is so situated that the Town will be able to provide the same services within the proposed satellite corporate limits that it provides within the primary corporate limits;
- d. No subdivision, as defined in G.S. 160D-802, will be fragmented by this proposed annexation; and

NOW, THEREFORE, BE IT ORDAINED by the Board of Commissioners of the Town of Wendell, North Carolina that:

Section 1: Extending the Corporate Limits of the Town of Wendell, North Carolina.

Part 1. By virtue of the authority granted by G.S. 160A-58.2, the following described territory is hereby annexed and made part of the Town of Wendell as of June 10, 2024:

The property identified by PIN 1774761247 and also shown as the 16.51-acre tract located at 716 Old Battle Bridge Road on the below identified survey plat is hereby annexed and made part of the Town of Wendell, North Carolina, as of the date of adoption of this Ordinance on June 10, 2024. The survey plat that describes the annexed territory is that certain survey plat entitled "Annexation Plat, Satellite Extension of Corporate Limits of the Town of Wendell" and recorded in Book of Maps Book Number _____, Page Number _____, Wake County Registry.

Part 2. Upon and after June 10, 2024, the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the Town of Wendell and shall be entitled to the same privileges and benefits as other parts of the Town of Wendell. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Part 3. The Mayor of the Town of Wendell shall cause to be recorded in the office of the Register of Deeds of Wake County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the County Board of Elections, as required by G.S. 163-288.1.

Section 2: Amending the Zoning Ordinance and Zoning Map of the Town of Wendell, North Carolina.

Part 1. That the Unified Development Ordinance of the Town of Wendell is hereby amended to include in the Corridor Mixed-Use Conditional District (CMX-CD23-06) zone the following described property:

General Description:

Property is located at: 716 Old Battle Bridge Road

Specific Description:

Parcel Identification Number: 1774761247

Part 2. That the official Town of Wendell Zoning Map is hereby amended to include in the Corridor Mixed-Use Conditional District (CMX-CD23-06) zoning district 16.51 acres of land located at 716 Old Battle Bridge Road (PIN: 1774761247).

Part 3. The requested zoning map amendment for the parcel within the rezoning area identified as CD23-06 from Neighborhood Center (NC) to CMX-CD23-06 is found to be consistent with the Blueprint Wendell 2030 Comprehensive Plan placetype designation of Activity Center-2 (AC-2) since the uses listed for the placetype could be potential tenants of the proposed flex space and the proposed buildings are one story. The requested map amendment can be considered reasonable since it supports the following goals:

1. Centers of Activity CA1. Support development of key nodes (large and small)
2. Centers of Activity CA2. Amend zoning to accommodate mixed-use development in key nodes.
3. Economy/Market/Economic Development E1. Support development of key nodes where commercial uses can offer the most benefit.
4. Economy/Market/Economic Development E3. Diversify the local economy and increase employment opportunities in Wendell.
5. Economy/Market/Economic Development E3.3 Create space (land and buildings) to meet varied demands.

Part 4. That the application is approved with the following zoning/site plan conditions:

1. Following Uses to be allowed without a Special Use Permit:
 - a. Research and Development
 - b. Event Venue, Outdoor
 - c. Shooting Range, Indoor
 - d. Theater, Live performance, Outdoor
2. Buffers along property lines shared with Property, PIN: #1774760519 (Ayscue Property)
 - 2.1 A 30-foot Type B buffer provided along the south side of the property, with 25 additional shrubs.
 - 2.2 Plant 23 large, evergreen trees in lieu of 18 required shrubs along east side of the property. Trees to have full foliage to the base, with a minimum planted height of 4 feet.
 - 2.3 Provide a 25-foot Type B buffer along the north side of the property and plant 16 additional shrubs.
3. Buffer along the shared property line with PIN: #1774778135 (Hephzibah Baptist Church)
Provide a 20-foot Type C buffer with 64 additional large, evergreen trees to be planted with a minimum height of 4 ft tall.
4. Buffers along shared property line with PIN: #1774768411 (Liles Property):
 - 4.1 Along the northern 215 linear feet of shared property line, a 20-foot Type B buffer will be provided, with 27 large evergreen trees planted in lieu of 36 required shrubs. Evergreen trees to have full foliage to the base with a minimum planted height of 4 feet.
 - 4.2 Along the southern 545 linear feet of shared property line, a 20-foot Type B buffer to be provided within the 115-foot-wide undisturbed buffer. In addition, 36 large evergreen trees, with full foliage to base and a minimum planted height of 4 feet, will be planted adjacent to parking lot.
5. Along the property line shared with PIN: 1774855578 (Jeffreys Property)

A 20-foot Type-B buffer will be provided along the interior 20 feet within a 200-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.

6. Along the property line shared with PIN: 1774752274 (D R Horton Property)
A 20-foot Type-B buffer will be provided within the 220-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.
7. Maximum building setback to be increased from 100 ft to 250 ft for Building 1 and from 100 ft to 500 ft for Building 2.
8. +/-0.09-acre encroachment into the 500-Year Flood Plain to be permitted for parking and utilities.

Part 5. That if any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

Part 6. That this ordinance shall become effective immediately upon its adoption.

DULY ADOPTED by the Board of Commissioners of the Town of Wendell this 10th day of June 2024 while in regular session.

(Town Seal)

Virginia R. Gray, Mayor

ATTEST:

APPROVED AS TO FORM:

Megan Howard, Deputy Town Clerk

James P. Cauley III, Town Attorney

STATE OF NORTH CAROLINA
COUNTY OF WAKE

CLERK'S CERTIFICATION

I, MEGAN HOWARD, Deputy Town Clerk of the Town of Wendell, North Carolina, do hereby certify that the attached is original ordinance #O-09-2024, as adopted by the Wendell Board of Commissioners on the 10th day of June 2024 for property owned by Adam Matthew Fitch and is approved for recording in the Wake County Register of Deeds.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official Seal of the Town of Wendell, North Carolina this ____ day of _____, 2024.

[TOWN SEAL]

Megan Howard, Deputy Town Clerk



Wendell Planning Board Recommendation to the Wendell Board of Commissioners

CD23-06:

Request to Rezone Approximately 16.49 acres from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD) to Create a Flex Space Complex on Old Battle Bridge Road

Case Description:

- The applicant is requesting to rezone 16.49 acres located off Old Battle Bridge Road from Neighborhood Center (NC) to Corridor Mixed-Use Conditional District (CMX-CD). The intent is to create a multi-tenant commercial business park with flexible uses within two buildings totaling 82,000 square feet.
- The property, located at 716 Old Battle Bridge Road, can also be identified as PIN 1774761247.

Proposed Zoning Conditions:

The applicant has proposed the following zoning conditions:

1. Following Uses to be allowed without a Special Use Permit:
 - a. Research and Development
 - b. Event Venue, Outdoor
 - c. Shooting Range, Indoor
 - d. Theater, Live performance, Outdoor
2. Buffers along property lines shared with Property, PIN: #1774760519 (Ayscue Property)
 - 2.1 A 30-foot Type B buffer provided along the south side of the property, with 25 additional shrubs.

- 2.2 Plant 23 large, evergreen trees in lieu of 18 required shrubs along east side of the property. Trees to have full foliage to the base, with a minimum planted height of 4 feet.
- 2.3 Provide a 25-foot Type B buffer along the north side of the property and plant 16 additional shrubs.
3. Buffer along the shared property line with PIN: #1774778135 (Hephzibah Baptist Church)
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A 20-foot Type-B buffer will be provided within the 220-foot-wide undisturbed buffer. Existing plantings will be used to the maximum extent possible but will be supplemented in this 20-foot area to meet the Type B buffer requirements. Shrub layer to be planted.
7. Maximum building setback to be increased from 100 ft to 250 ft for Building 1 and from 100 ft to 500 ft for Building 2.
8. +/-0.09-acre encroachment into the 500-Year Flood Plain to be permitted for parking and utilities.

Planning Board Action:

At their May 20, 2024 meeting, the Planning Board voted 5-0 on the motion to recommend approval of the rezoning.

Voting in Favor: Benjamin Griffin, Tina Cheek, J. Harold Broadwell, Bradley Taylor, and Matthew Meinig

Voting Against: none

Absent: Adam King, Brad Jordan, Phil Veasley and Tevis High

Statement of Plan Consistency and Reasonableness:

The Activity Center 2 placetype description lists Pharmacies, Retail, Restaurants, Gyms, Personal Services and Offices as recommended uses in 1 to 2 story buildings and the proposed flex space will allow all of these uses in 1 story buildings.

The plan is consistent with Blueprint Wendell 2030, and it could be considered reasonable as it assists with the plan goal listed below:

Centers of Activity

CA1. Support development of key nodes (large and small).

CA2. Amend zoning to accommodate mixed-use development in key nodes.

Economy/Market/Economic Development

E1. Support development of key nodes where commercial uses can offer the most benefit.

E3. Diversify the local economy and increase employment opportunities in Wendell.

E3.3 Create space (land and buildings) to meet varied demands.

Signed by the Planning Board Chairman



Planning Board Chairman

4 JUN 2024
Date



Item Cover Page

TOWN BOARD OF COMMISSIONERS AGENDA ITEM REPORT

DATE: June 10, 2024

SUBMITTED BY: Bryan Coates, Planning

ITEM TYPE: Street Closure

AGENDA SECTION: PUBLIC HEARINGS

SUBJECT: Public Hearing to Formally Close Rights-of-Way known as the Alleys Located between E Fourth Street and Fifth Street between N Main Street and N Pine Street & N Main Street and N Cypress Street

SPECIFIC ACTION REQUESTED: Make a motion to adopt Ordinance #O-10-2024 contingent on the following two provisions for the respective alleys:

1. Unimproved Alley between East Fourth Street and Fifth Street and between Main Street and North Cypress - Provided that adjoining property owners agree to the described division of land from the abandoned alley as described in the Ordinance and G.S. 160A-299(c). In the event that all property owners do not agree, the alley shall be abandoned consistent with G.S. 160A-299 without alteration and splitting the alley equally to adjoining properties.
2. Unimproved Alley between East Fourth Street and Fifth Street and North Main Street and North Pine Street - Provided that adjoining property owners agree to the described division of land from the abandoned alley as described in the Ordinance and G.S. 160A-299(c). In the event that all property owners do not agree to the altered division of land in the ordinance, the alley shall remain open and retained as a public alley to ensure access to all properties.

ITEM SUMMARY: According to §160A-299 (Attachment C), for a road or alley to be formally closed, the municipality’s Town Board must first adopt a resolution declaring its intent to close the street or alley and calling a public hearing on the question (Attachment D). This resolution must be published in the newspaper for four successive weeks, and notices must be mailed to adjoining property owners and posted on the

property.

The two alleys are no longer needed or maintained by the Town. The property in the alleys would revert to the adjoining properties as proposed and become taxable private property. The final decision on the abandonment of the public alleys would occur following the advertised public hearing.

The ordinance provides for the alley properties to be combined with properties owned by single ownership (Universal Chevrolet). The motion provides for two contingencies. For the alley across from the dealership (between Main and Cypress), the motion allows for the Town to pursue the altered arrangement. However, if the property owners fail to agree, the Town will abandon the right-of-way as provided for by Statute giving an equal split of the alley property to adjoining owners on each side. For the alley behind the dealership (between Main and Pine), the altered arrangement is necessary to prevent a loss of access by the dealership to access the rear if the property that would occur if a portion of the alley was abandoned and conveyed to adjoiners. In this instance, if the adjoiners fail to agree to the altered arrangement, the alley will be retained by the Town to ensure the access remains and no part of that alley will be abandoned.

The adjoining owners have not been notified of the proposal at this time. Town staff will pursue necessary agreements following approval of the proposed motion. If the motion fails, no further action will be taken. The ordinance will not be recorded at the Register of Deeds until such time the agreements are signed by the adjoining owners or Statutory compliance is achieved to do so.

ATTACHMENTS:

[Attachment C - GS_160A-299](#)

[Alley Closures Map](#)

[Item 5d - R-13-2024_Resolution_Intent_to_Close.doc](#)

[Item 5d - Order_Closing_Alley_4th_-_5th_Downtown_Alleys.docx](#)

§ 160A-299. Procedure for permanently closing streets and alleys.

(a) When a city proposes to permanently close any street or public alley, the council shall first adopt a resolution declaring its intent to close the street or alley and calling a public hearing on the question. The resolution shall be published once a week for four successive weeks prior to the hearing, a copy thereof shall be sent by registered or certified mail to all owners of property adjoining the street or alley as shown on the county tax records, and a notice of the closing and public hearing shall be prominently posted in at least two places along the street or alley. If the street or alley is under the authority and control of the Department of Transportation, a copy of the resolution shall be mailed to the Department of Transportation. At the hearing, any person may be heard on the question of whether or not the closing would be detrimental to the public interest, or the property rights of any individual. If it appears to the satisfaction of the council after the hearing that closing the street or alley is not contrary to the public interest, and that no individual owning property in the vicinity of the street or alley or in the subdivision in which it is located would thereby be deprived of reasonable means of ingress and egress to his property, the council may adopt an order closing the street or alley. A certified copy of the order (or judgment of the court) shall be filed in the office of the register of deeds of the county in which the street, or any portion thereof, is located.

(b) Any person aggrieved by the closing of any street or alley including the Department of Transportation if the street or alley is under its authority and control, may appeal the council's order to the General Court of Justice within 30 days after its adoption. In appeals of streets closed under this section, all facts and issues shall be heard and decided by a judge sitting without a jury. In addition to determining whether procedural requirements were complied with, the court shall determine whether, on the record as presented to the city council, the council's decision to close the street was in accordance with the statutory standards of subsection (a) of this section and any other applicable requirements of local law or ordinance.

No cause of action or defense founded upon the invalidity of any proceedings taken in closing any street or alley may be asserted, nor shall the validity of the order be open to question in any court upon any ground whatever, except in an action or proceeding begun within 30 days after the order is adopted. The failure to send notice by registered or certified mail shall not invalidate any ordinance adopted prior to January 1, 1989.

(c) Upon the closing of a street or alley in accordance with this section, subject to the provisions of subsection (f) of this section, all right, title, and interest in the right-of-way shall be conclusively presumed to be vested in those persons owning lots or parcels of land adjacent to the street or alley, and the title of such adjoining landowners, for the width of the abutting land owned by them, shall extend to the centerline of the street or alley.

The provisions of this subsection regarding division of right-of-way in street or alley closings may be altered as to a particular street or alley closing by the assent of all property owners taking title to a closed street or alley by the filing of a plat which shows the street or alley closing and the portion of the closed street or alley to be taken by each such owner. The plat shall be signed by each property owner who, under this section, has an ownership right in the closed street or alley.

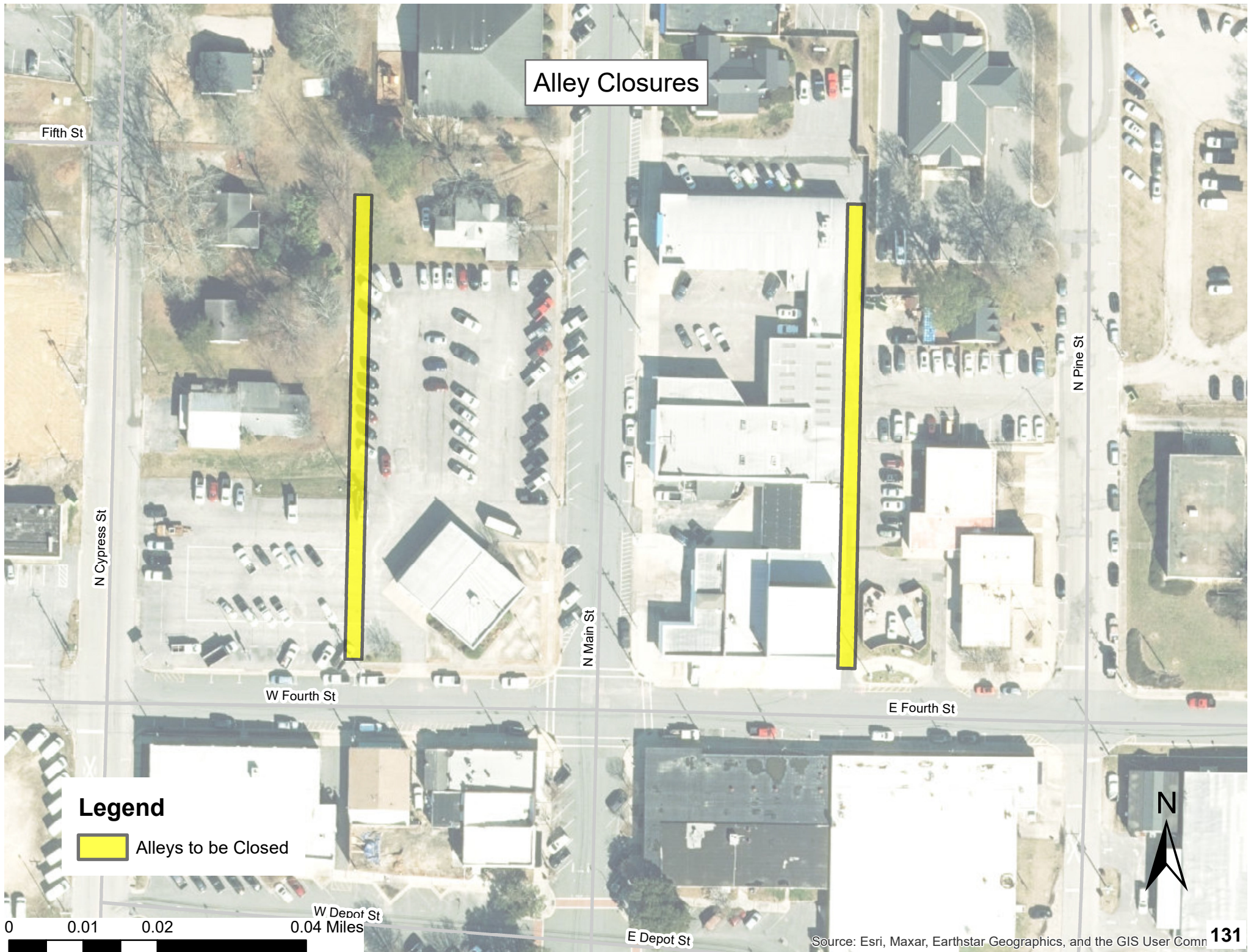
(d) This section shall apply to any street or public alley within a city or its extraterritorial jurisdiction that has been irrevocably dedicated to the public, without regard to whether it has actually been opened. This section also applies to unopened streets or public alleys that are shown on plats but that have not been accepted or maintained by the city, provided that this section shall not abrogate the rights of a dedicator, or those claiming under a dedicator, pursuant to G.S. 136-96.

(e) No street or alley under the control of the Department of Transportation may be closed unless the Department of Transportation consents thereto.

(f) A city may reserve a right, title, and interest in any improvements or easements within a street closed pursuant to this section. An easement under this subsection shall include utility, drainage, pedestrian, landscaping, conservation, or other easements considered by the city to be in the public interest. The reservation of an easement under this subsection shall be stated in the order of closing. The reservation also extends to utility improvements or easements owned by private utilities which at the time of the street closing have a utility agreement or franchise with the city.

(g) The city may retain utility easements, both public and private, in cases of streets withdrawn under G.S. 136-96. To retain such easements, the city council shall, after public hearing, approve a "declaration of retention of utility easements" specifically describing such easements. Notice by certified or registered mail shall be provided to the party withdrawing the street from dedication under G.S. 136-96 at least five days prior to the hearing. The declaration must be passed prior to filing of any plat or map or declaration of withdrawal with the register of deeds. Any property owner filing such plats, maps, or declarations shall include the city declaration with the declaration of withdrawal and shall show the utilities retained on any map or plat showing the withdrawal. (1971, c. 698, s. 1; 1973, c. 426, s. 47; c. 507, s. 5; 1977, c. 464, s. 34, 1981, c. 401; c. 402, ss. 1, 2; 1989, c. 254; 1993, c. 149, s. 1; 2015-103, s. 1.)

Alley Closures



Fifth St

N Cypress St

N Main St

N Pine St


W Fourth St

E Fourth St

W Depot St

E Depot St

Legend

 Alleys to be Closed

0 0.01 0.02 0.04 Miles





TOWN OF WENDELL

NORTH CAROLINA

RESOLUTION DECLARING INTENT TO CLOSE ROAD RIGHT-OF-WAY

RESOLUTION NO.: R-13-2024

BE IT RESOLVED that, the Town of Wendell does hereby declare its intent to close the alleys located between East Fourth Street and Fifth Street and North Main Street and North Cypress Street right-of-way and between East Fourth Street and Fifth Street and North Main Street and North Pine Street right-of-way, being approximately 3,516 square feet and 3,960 square feet located in downtown Wendell in the town limits, bordering the lots identified by PINs 1784608601, 1784607594, 1784606563, 1784606569, 1784608617, 1784606676, 1784608713, 1784606774, 1784606466 and 1784701706, 1784701660, 1784701663, 1784700426, 1784700528, 1784700720, 1784701666, 1784701560, 1784701833.

BE IT FURTHER RESOLVED that the Board of Commissioners hereby orders that a public hearing on this matter be held on Monday, June 10, 2024, at 7:00 p.m. in the Wendell Town Hall, following the public notice of intent as required by §160A-299.

Duly resolved this 13th day of May 2024, while in regular session.

ATTEST:

Virginia R. Gray
Mayor

Mary Beth Tew
Deputy Town Clerk

Return Address: Marvin Collins, Town Manager
Town of Wendell
409 Landing View Drive
Wendell, NC 27591

STATE OF NORTH CAROLINA
COUNTY OF WAKE

-SEAL-

CLERK'S CERTIFICATION

I, **Megan Howard**, Deputy Town Clerk of the Town of Wendell, North Carolina, do hereby certify that the attached is original ordinance **#O-10-2024**, as adopted by the Wendell Board of Commissioners on the 10th day of June 2024 at a regular meeting and is approved for recording in the Wake County Register of Deeds.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official Seal of the Town of Wendell, North Carolina this 10th day of June 2024.

Megan Howard Deputy Town Clerk

ORDER CLOSING AN UNIMPROVED ROAD RIGHT-OF-WAY

WHEREAS, a request to close two unimproved alleys between East Fourth Street and Fifth Street and North Main Street and North Cypress Street right-of-way and between East Fourth Street and Fifth Street and North Main Street and North Pine Street right-of-way located in the Town of Wendell was received by the Wendell Board of Commissioners; and

WHEREAS, the Wendell Board of Commissioners did on May 13, 2024 adopt a resolution declaring its intent to close the two unimproved road rights-of-way identified as approximately 3,516 square feet of alley located between East Fourth Street and Fifth Street and

North Main Street and North Cypress Street right-of-way in the Town of Wendell, adjacent to the lots identified by PINs 1784608601, 1784607594, 1784606563, 1784606569, 1784608617, 1784606676, 1784608713, 1784606774, 1784606466 and approximately 3,960 square feet of alley located between East Fourth Street and Fifth Street and North Main Street and North Pine Street right-of-way in the Town of Wendell, adjacent to the lots identified by PINs 1784701706, 1784701660, 1784701663, 1784700426, 1784700528, 1784700720, 1784701666, 1784701560, 1784701833; and

WHEREAS, a public hearing regarding the question of closing the road rights-of-way was held in conformance with §160A-299 on June 10, 2024 in the Wendell Boardroom; and

WHEREAS, in recognition of the facts presented at the public hearing held on the matter of closing the road rights-of-way, it was determined that closing the unimproved rights-of-way as hereinafter described is not contrary to the public interests and that no individual owning property in the vicinity of the unimproved road rights-of-way hereinafter described would thereby be deprived of reasonable means of ingress and egress to his property;

IT IS NOW ORDERED, subject to the reservation of easements to the Town of Wendell for utility purposes, that the following described unimproved road rights-of-way be closed pursuant to the provisions of §160A-299:

That certain unimproved road right-of-way (alley between East Fourth Street and Fifth Street and North Main Street and North Cypress Street) being approximately 12 feet wide on the northern and southern boundaries, 330 feet wide on the eastern and western boundaries, containing a strip of land running between East Fourth Street and Fifth Street shown on the recorded plat BM 1995 PG 1414; adjacent to the lots identified by PINs 1784608601, 1784607594, 1784606563, 1784606569, 1784608617, 1784606676, 1784608713, 1784606774 and 1784606466.

That certain unimproved road right-of-way (alley between East Fourth Street and Fifth Street and North Main Street and North Pine Street) being approximately 12 feet wide on the northern and southern boundaries, 330 feet wide on the eastern and western boundaries, containing a strip of land running between East Fourth Street and Fifth Street shown on the recorded plat BM 1885 PG 61; adjacent to the lots identified by PINs 1784701706, 1784701660, 1784701663, 1784700426, 1784700528, 1784700720, 1784701666, 1784701560 and 1784701833.

IT IS FURTHER ORDERED by the Wendell Board of Commissioners that the above-described unimproved road rights-of-way are permanently closed and abandoned pursuant to the provisions of §160A-299 and all right, title and interest in the unimproved road rights-of-way so closed shall be presumed to be vested in those persons owning lots or parcels of land adjacent to the unimproved road rights-of-way and the title of such adjoining landowners for the

width of the abutting land owned by them shall extend to the centerline of the unimproved road rights-of-way pursuant to §160A-299(c).

Adopted the 10th day of June, 2024 while in regular session.

TOWN OF WENDELL

Deputy Town Clerk

Virginia Gray, Mayor

Attest: _____
Megan Howard Deputy Town Clerk