



TOWN *of* WAKE FOREST

Planning Board Meeting Agenda February 14, 2023 at 6:00 PM

Notice

In accordance with the requirements of Title II of the Americans with Disability Act of 1990 (ADA), the Town of Wake Forest will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. For individuals with impaired hearing, special equipment is available for use during meetings in the Town Hall Board Chambers. Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of the Town of Wake Forest should contact the office of ADA Coordinator [Mickey Rochelle](#) at 919-435-9455 or Deputy Town Clerk [Ella Dowtin](#) at 919-435-9436 as soon as possible, but no later than 48 hours before the scheduled event.

Cable & Online Broadcast of Planning Board Meetings

All Planning Board meetings are broadcast live on [WFTV 10](#) beginning at 6:00 p.m. Meetings are also aired online on the [Public Meetings Portal](#) on the [Town of Wake Forest website](#). Archived meeting videos are also provided and available for one year after the original air date.

Meeting Agendas

[Planning Board](#) meeting agendas are typically available to be viewed and downloaded by noon on the Friday prior to the second Tuesday of each month. Citizens may also receive a copy of each month's agenda via email by enrolling in the Town's free [E-Notifier](#) subscription service.

Public Comment

Those wishing to speak must first register to speak no later than 3:00 p.m. the day of the meeting. The forms to register to speak and provide written comments are available at <https://www.wakeforestnc.gov/ph>.

At the appropriate time, the Planning Board Chair will acknowledge those persons who have registered to speak. They will be called upon in the order registered. Speakers will address the Board as a whole, from the podium at the front of the room, and begin their remarks by stating their name and address. At the end of public comment, the Chair may summarize the discussion from the public comment. While not required, the Chair may ask staff or the applicant to respond. Speakers

needing additional information or questions answered will be contacted by the Deputy Town Clerk and provided contact information for the appropriate staff person.

Unless otherwise indicated by the Chair, individual comments shall be limited to three minutes. Groups are encouraged to designate a lead speaker on their behalf, and when addressing the Board, the speaker must first identify the group they are representing and will be given no more than ten minutes to give comments. Once comments have been made, speakers cannot speak again, unless specifically called upon by the Chair. The Chair may, at his/her discretion, interrupt public comment and elect to continue it to another meeting due to, among other reasons, the lateness of the hour or to allow consideration of other items on the agenda.

When public comment sessions are continued from previous meetings, previous individuals that have spoken, either representing themselves or a group, cannot speak at a continued public comment session, unless specifically called upon by the Chair. Additionally, speakers cannot both represent themselves individually and speak on behalf of a group throughout public comment periods, even if held over multiple sessions.

1.Call to Order

2.Adoption of Agenda

3.Approval of Minutes

- 3.A. Draft Planning Board Minutes December 13, 2022
[12-13-2022 Planning Board Minutes .docx](#)

4.Presentations

5.Old Business with Public Comment

6.Old Business

7.New Business with Public Comment

- 7.A. Consideration of LEGISLATIVE CASE RZ-21, Forestville Road, a rezoning filed by Carolina Land Design, PLLC to rezone 7.7± acres located at 1109 and 1129 Forestville Road, being Wake County Tax PINs 1749672831 and 1749670589 from Wake County's Residential-30 (R-30) to Residential Mixed-Use Conditional District (RMX-CD).
[RZ-21-11 Staff Report](#)
[Attachment A - Neighborhood Meeting Information.pdf](#)
[Attachment B - Application.pdf](#)

[Attachment C - Maps.pdf](#)

[Attachment D - Plan Consistency Analysis.pdf](#)

[Exhibit 1 - Proposed Conditional District Plan.pdf](#)

8.New Business

9.Staff Comments

10.Planning Board Comments

11.Adjournment



Planning Board Agenda Item Report

Agenda Item No.: 2023-25-

Submitted by: Ella Dowtin

Submitting Department: Administration

Meeting Date: February 14, 2023

SUBJECT

Draft Planning Board Minutes December 13, 2022

Recommendation:

Item Summary:

ATTACHMENTS

- [12-13-2022 Planning Board Minutes .docx](#)



Wake Forest Planning Board Minutes

The Wake Forest Planning Board met on Tuesday, December 13, 2022, at 6:00 p.m. in the Board Room at Wake Forest Town Hall, 301 S Brooks Street.

Planning Board Members present: Joseph Kimray, Karin Kuropas, Thomas Ballman, Christopher Joyner, Michael Siderio, and Sheila Bishop

Planning Board Members absent: Michael Hickey

Staff Members present: Planning Director Courtney Tanner, Assistant Planning Director Jennifer Currin, Town Attorney Hassan Kingsberry, Paralegal Shiekell Richardson, Senior Planner Patrick Reidy, Senior Planner Kari Grace, Planner I Emma Linn, Deputy Town Clerk Ella Downtin and Town Clerk Theresa Savary

1. Call to Order

Chair Kimray called the meeting to order at 6:03 p.m.

2. Adoption of Agenda

ACTION:

Mover: Karin Kuropas moved to adopt the agenda as presented.

Seconder: Sheila Bishop.

Vote: Motion carried 6-0.

3. Approval of Minutes

ACTION:

Mover: Karin Kuropas moved to approve the October 3, 2022, October 4, 2022, and October 11, 2022; minutes as presented.

Seconded: Christopher Joyner.
Vote: Motion carried 6-0.

4. Presentations

No Presentations presented.

5. Old Business with Public Comment

No Old Business with Public Comment presented.

6. New Business with Public Comment

6.A. LEGISLATIVE CASE RZ-21-12 Averette Woods Subdivision; Consideration of a rezoning filed by Gail Moody and PNB Homes LLC to rezone 31.23± acres located at 0, 2228, 2300, 2312 Averette Road; 0, 1900, 1905, 1908, 1909 Capricorn Drive; and 1909 Moody Drive, being Wake County Tax PINs 1861-02-0421, 1851-93-9056, 1861-02-6148, 1861-02-2044, 1861-02-6046, 1861-01-4639, 1861-01-0635, 1861-01-4836, 1861-01-0709, & 1851-91-9904, from Wake County R-30 to General Residential 5 Conditional District (GR5 CD).

Senior Planner Kari Grace provided staff report for Case RZ-21-12, Averette Woods Subdivision. Ms. Grace shared the aerial site map, zoning map, overlay map, existing condition plan, site master plan, and landscape plan.

Ms. Grace provided the following proposed conditions as shown below:

1. The subject property shall be developed generally in accordance with the associated subdivision master plan. Amendments to the subdivision master plan shall require a rezoning amendment unless the Administrator finds the modification to be minor and in keeping with the spirit and intent of the adopted subdivision master plan.
2. The total number of residential lots on the subject property shall not exceed 66 residential lots.
3. At least 13 acres of the subject property shall be preserved as open space.
4. The following architectural elements shall be present on homes in the community:

[Type here]

- a) Exterior building walls of homes shall be primarily brick, stone, masonry material imitating brick or stone, fiber cement siding or a combination thereof. A minimum of two materials shall be utilized on each home. Vinyl shall only be permitted for windows, doors or elements such as trim, soffits, and the like.
 - b) At least 15% of the area of each front façade that faces a street lot line must be windows or entrance doors, as measured from the finished floor elevation to the eave.
 - c) At least 10% of the area of each side façade that faces a street lot line must be windows or entrance doors, as measured from the finished floor elevation to the eave.
 - d) Garage door width shall not exceed 50% of the total front building façade width.
 - e) All homes shall have garages with at least two (2) of the following features: (i) windows in the garages; (ii) two single garage doors; (iii) decorative brackets over the garage; (iv) an extended eave line at least twelve inches (12”) in depth over the garage; (v) garage doors painted or stained with an accent color; or (vi) the garage is setback at least four feet (4’) from the primary plane of the house.
 - f) All homes shall have porches on the front and/or side of the building. Porches shall be at least six feet (6’) in average depth and shall have a minimum width/length of 10 feet (10’). Except for homes designed for occupation by elderly persons or persons with disabilities, porches shall be at least three and a half inches (3.5”) above the sidewalk.
5. At least five (5) exterior facade color palettes shall be present in the community to avoid monotony in the appearance of the homes.

Chair Kimray asked if the applicants present a plan prior to comments from the Board.

Discussion

Elizabeth Trahos with Nelson Mullins of 301 Hillsborough St. is representing the applicant to request, along with an annexation, rezoning the parcels General Residential 5 Conditional District with a master plan.

Michael Siderio asked what the threshold for the Traffic Impact Analysis (TIA) is to be performed.

Ms. Grace stated it's 100 dwelling units.

Mr. Siderio asked about the acreage of the property located to the east-zoned R30.

Ms. Grace stated she doesn't have that information off hand and will have to look it up.

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Mr. Siderio asked why it's not required to do traffic analysis.

Courtney Tanner stated it is how the Unified Development Ordinance (UDO) is written, we can modify the threshold in the UDO update.

Mr. Siderio asked if there was a traffic light scheduled to be at that intersection. Ms. Grace stated no, NCDOT has been involved with the reviews so if there isn't anything to date but if there are any requirements, they will take another look once the construction has started.

Mr. Siderio asked if the road off Oak Grove Church Road lines up with the road across the street.

Ms. Grace stated no.

Mr. Siderio stated he thought that was a requirement.

Ms. Grace stated with their frontage it would not allow lining up across the street.

Christopher Joyner stated he has no questions and likes the layout of the project. Mr. Joyner asked are there 10 mobile homes and are any vacant at the present time.

Ms. Grace said that some of the homes have been removed so there aren't ten homes anymore. There are some manufactured homes that still exist and there are ten parcels in total.

Mr. Joyner asked about the timeline of the project.

Ms. Trahos stated they will abide by the existing leases.

Karin Kuropas asked if the water at Mill Pond is going in or out.

Ms. Grace relinquished to the engineer.

Beth Blackman with Timmons Group- 113 Largo Ln., Garner NC, stated the stream is going south into Mill Pond.

Sheila Bishop asked will there be a greenway around the subdivision.

Ms. Blackman stated there is a multi-use path along the new subdivision and all the streets will have sidewalks on both sides but no private trails. The multi-use path met the town greenway requirements.

Ms. Grace stated that the Town Greenway plan is a part of the Town's Comprehensive Transportation Plan and doesn't include a town greenway on this portion.

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Public Comments

Margaret Watkins – 407 Belmellen Ct. Wake Forest NC – stated she wants to be in support of the plan but only under the following two conditions: the mobile home tenants are taken care of and David and Larry Moody are memorialized in some way.

Public comment session closed by Chair Kimray.

Discussion

Christopher Joyner likes the plan.

Sheila Bishop agreed to liking the plan and suggested a memorial be placed in recognition of the Moody brothers.

ACTION:

Mover: Sheila Bishop moved to approve CASE RZ-21-12 Averette Woods Subdivision; Consideration of a rezoning filed by Gail Moody and PNB Homes LLC to rezone with the listed conditions in the staff report.

Seconder: Christopher Joyner.

Vote: Motion carried 6-0.

ACTION:

Mover: Sheila Bishop moved to amend her motion to approve CASE RZ-21-12 Averette Woods Subdivision; with the consistency statement and the proposed conditions as shown below:

1. The subject property shall be developed generally in accordance with the associated subdivision master plan. Amendments to the subdivision master plan shall require a rezoning amendment unless the Administrator finds the modification to be minor and in keeping with the spirit and intent of the adopted subdivision master plan.
2. The total number of residential lots on the subject property shall not exceed 66 residential lots.
3. At least 13 acres of the subject property shall be preserved as open space.
4. The following architectural elements shall be present on homes in the community:
 - b) Exterior building walls of homes shall be primarily brick, stone, masonry material imitating brick or stone, fiber cement siding, or a combination thereof. A minimum of two materials shall be utilized on each home.

[Type here]

Vinyl shall only be permitted for windows, doors, or elements such as trim, soffits, and the like.

- g) At least 15% of the area of each front façade that faces a street lot line must be windows or entrance doors, as measured from the finished floor elevation to the eave.
 - h) At least 10% of the area of each side façade that faces a street lot line must be windows or entrance doors, as measured from the finished floor elevation to the eave.
 - i) Garage door width shall not exceed 50% of the total front building façade width.
 - j) All homes shall have garages with at least two (2) of the following features: (i) windows in the garages; (ii) two single garage doors; (iii) decorative brackets over the garage; (iv) an extended eave line at least twelve inches (12”) in depth over the garage; (v) garage doors painted or stained with an accent color; or (vi) the garage is setback at least four feet (4’) from the primary plane of the house.
 - k) All homes shall have porches on the front and/or side of the building. Porches shall be at least six feet (6’) in average depth and shall have a minimum width/length of 10 feet (10’). Except for homes designed for occupation by elderly persons or persons with disabilities, porches shall be at least three and a half inches (3.5”) above the sidewalk.
5. At least five (5) exterior facade color palettes shall be present in the community to avoid monotony in the appearance of the homes.

Seconder: Christopher Joyner.

Vote: Motion carried 6-0.

6.B. LEGISLATIVE CASE RZ-22-05; Reserve at Dunn Creek; Consideration of a rezoning

filed by Abode Communities, LLC to rezone 76.37± acres located at 0 Friendship Chapel Road and 0 NC 98 Bypass, being Wake County Tax PINs 1840660542, 1840761824, 1840657710, and 1840676254 from Conditional Use Residential Mixed-Use (CU RMX), Residential Mixed-Use (RMX), Conditional Use General Residential 3 (CU GR3), Conditional Use Highway Business (CU HB), and Traditional Neighborhood Development Overlay (TND) to Residential Mixed-Use Conditional District (RMX-CD), Urban Residential Conditional District (UR-CD), and Open Space Conditional District (OS-CD).

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Senior Planner Patrick Reidy provided a staff report for Case RZ-22-05, Reserve at Dunn Creek. Mr. Reidy shared the aerial site map, zoning map, overlay map, existing condition plan, site master plan, and landscape plan.

Michael Birch provided a presentation on the current zoning conditions on behalf of the applicant.

John Myers of JPM South Development provided a presentation on the zoning conditions on behalf of the applicant.

Michael Siderio questioned if the \$25k is strictly for the artwork.

Mr. Myers stated that the \$25k will be to purchase the artwork.

Mr. Siderio questioned if the artwork is more than \$25k who pays for the artwork.

Ms. Tanner stated it could be grants from the town, but the Public Art Commission would have to approve whatever type of art it will be.

Rynal Stephenson to provide answers for the TIA and Friendship Chapel Road traffic. Joseph Kimray asked was there no recommendation for a stacking lane onto Heritage Lake Rd.

Rynal Stephenson stated queues were contained with the storage so it wasn't necessary to have it. TIA didn't evaluate how much traffic would be pulled off the 98 Bypass onto Friendship Chapel Road as that would be a massive undertaking outside the scope of this project.

Thomas Ballman asked if there are any more challenges other than road connection.

Mr. Myers stated, no there are no more challenges other than getting into the site.

Mr. Ballman asked what about the topography.

Mr. Myers stated the topography is nothing that they are not used to dealing with; everything should be fine.

Sheila Bishop asked if there are roundabouts or four-way stops.

Patrick Reidy stated they are four-way stops.

Public Comment

Margaret Watkins – 407 Belmellen Ct. Wake Forest NC- spoke in support of the project.

Public session closed.

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Discussion

Chair Kimray stated that adding this connection is going to be valuable to the community.

Sheila Bishop stated she likes the buffering of keeping the trees.

ACTION:

Mover: Karin Kuropas moved to approve CASE RZ-22-05 with the consistency statements and, including the conditions in the staff report and the following considerations: including additional conditions of the active space for the two largest parcels and the three-way stops and clarifying the applicant's name. (See Attached conditions)

Seconder: Sheila Bishop.

Vote: Motion carried 5-1

Aye

Karin Kuropas
Sheila Bishop
Joe Kimray
Christopher Joyner
Michael Siderio

Nay

Thomas Ballman

10-minute recess at 7:41pm

Reconvened at 7:51pm

6.C. LEGISLATIVE CASE RZ-22-06, Harris Road Subdivision; Consideration of a rezoning filed by Church Street Company to rezone 68.28± acres located at 0 Harris Road, being Wake County Tax PIN 1841392412, from Rural Holding District (RD) to Highway Business Conditional District (HB CD), Neighborhood Business Conditional District (NB CD), and General Residential 10 Conditional District (GR10 CD).

Assistant Planning Director Jennifer Currin provided staff report RZ-22-06.

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Michael Birch with Long Leaf Law Partners representing the applicant; George Deloache – Church Street Partners, applicant Ben Williams and, Tommy Craven – Craven & Associates and Rynal Stephenson with Ramey Kemp & Associates.

Ben Williams and Rynal Stephenson provided clarification of NCDOT U-5307 project option two.

Christopher Joyner asked will the change in the highway only change if the subdivision is developed.

Jennifer Currin said no these are the two options, whether developed or not.

Joseph Kimray asked is there a projected traffic count on the service road.

Mr. Stephenson stated, no direct service count from NCDOT; however, there is about 2k traveled in the area a day or more.

Public Comments

Angela DiPaolo – 929 Barnford Mill Rd., Wake Forest NC 27587; has a petition to oppose the project.

John-Henry Praught – 1125 Wendy Court, Wake Forest NC 27587; has a concern with the four-way stop being too much for the area roads.

Dennis Calabrese - 444 Retreat Ln., Wake Forest NC 27587; has a concern about the traffic congestion.

Jeremy Wrenn - 829 Wallridge Dr. Wake Forest NC 27587; not in favor of the project and would like to keep the trees.

ACTION:

Mover: Michael Siderio moved to deny CASE RZ-22-06, Harris Road Subdivision; Consideration of a rezoning filed by Church Street Company to rezone 68.28± acres located at 0 Harris Road.

Secunder: Christopher Joyner.

Vote: Motion carried 6-0

7. New Business

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7.A. Appoint Chair and Vice-Chair for the 2023 Calendar Year

ACTION:

Mover: Joseph Kimray moved to appoint Karin Kuropas as Chair for the 2023 Calendar Year.

Second: Sheila Bishop.

Vote: Motion carried 6-0.

Mover: Christopher Joyner moved to appoint Michael Hickey as Vice-Chair for the 2023 Calendar Year.

Second: Thomas Ballman.

Vote: Motion carried 6-0.

7.B. Approval of 2023 Planning Board Meeting Schedule

ACTION:

Mover: Karin Kuropas moved to approve 2023 Planning Board Meeting Schedule.

Second: Christopher Joyner.

Vote: Motion carried 6-0.

8. Staff Comments

8.A. Planning Board Member Recognition

Planning Director Tanner presented certificates to the two outgoing Board members Joe Kimray and Thomas Ballman.

February 2, 2023 – open house at the Alston Massenburg Center at 1pm and 6pm for the Public Transit Plan.

Public Transit survey please take and share with others to take.

February 20, 2023 – 2023 State of the Town Address & Dinner.

9. Planning Board Comments

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Chair Kimray asked if there are any comments; Thomas Ballman wished everyone good luck. Chair Kimray expressed his thoughts as his tenure has come to an end.

10. Adjournment

ACTION:

Mover: Thomas Ballman moved to adjourn at 9:41 p.m.

Secunder: Christopher Joyner.

Vote: Motion carried 6-0.

Duly approved in open session this 14th day of February 2023.

Ella Dowtin
Deputy Town Clerk

Karin Kuropas
Planning Board Chair

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Planning Board Agenda Item Report

Agenda Item No.: 2023-19-
Submitted by: Patrick Reidy
Submitting Department: Planning
Meeting Date: February 14, 2023

SUBJECT

Consideration of LEGISLATIVE CASE RZ-21, Forestville Road, a rezoning filed by Carolina Land Design, PLLC to rezone 7.7± acres located at 1109 and 1129 Forestville Road, being Wake County Tax PINs 1749672831 and 1749670589 from Wake County's Residential-30 (R-30) to Residential Mixed-Use Conditional District (RMX-CD).

Recommendation:

Item Summary:

ATTACHMENTS

- [RZ-21-11 Staff Report](#)
- [Attachment A - Neighborhood Meeting Information.pdf](#)
- [Attachment B - Application.pdf](#)
- [Attachment C - Maps.pdf](#)
- [Attachment D - Plan Consistency Analysis.pdf](#)
- [Exhibit 1 - Proposed Conditional District Plan.pdf](#)



Staff Report

Case RZ-21-11: Forestville Road Townhomes Conditional District

Meeting Date	February 14, 2023
Requested Actions	Consideration of the following items related to the Conditional Zoning Map Amendment request for 1109 and 1129 Forestville Road: 1. Act on Plan Consistency Statement 2. Rezone 7.7 acres on the Town of Wake Forest Zoning Map from Wake County's Residential-30 (R-30) to Residential Mixed-Use Conditional District (RMX-CD).
Case Manager	Patrick Reidy, Senior Planner – Development Services

PUBLIC MEETINGS

Neighborhood Meeting	Public Comment Session	Public Hearing (tentative)
December 15, 2022 <i>(See Attachment A)</i>	February 14, 2023	March 21, 2023

CASE INFORMATION

Applicant	Carolina Land Design, PLLC C/O William Huyler 3915 Beryl Road, Suite 130 Raleigh, NC 27607
Developer	Optimal Equity Group, LLC C/O Robert Shaar 924 Evening Snow Street Wake Forest, NC 27587
Property Owners	Optimal Equity Group, LLC C/O Robert Shaar 924 Evening Snow Street Wake Forest, NC 27587
Location	Frontage along Forestville Road, in between the intersections of Forestville Road/Rogers Branch Road and Forestville Road/Woodstaff Avenue
Addresses	1109 and 1129 Forestville Road
Wake County Tax PIN(s)	1749672831 and 1749670589

Acreage	7.7 acres
Zoning	Existing: Wake County's Residential-30 (R-30) Proposed: Residential Mixed-Use Conditional District (RMX-CD)
Land Use	Existing: Single Family Proposed: Dwelling – Townhome (61 lots)
Community Plan (2009)	Growth Strategies: General Urban Zone Neighborhood Planning Areas: 39
Corporate Limits	This application is currently in the Town's short range urban service area and is not in the Town's corporate limits or extraterritorial planning jurisdiction (ETJ). An annexation petition is filed for consideration.

See Attachment B for a copy of the application and Attachment C for Aerial, Zoning, and Community Plan Maps. See pages 35-123 and 269 for descriptions of Town Areas and General Urban Zone in the [2009 Community Plan](#).

SURROUNDING LAND USES AND ZONING

	Land Use	Zoning
North	General Commercial and Open Space (Bridgeport)	Neighborhood Business Conditional District (NB CD) and Residential Mixed-Use Conditional District (RMX CD)
South	Dwelling – Single Family and Open Space (Bridgeport)	General Residential 5 Conditional District (GR5 CD)
East	Dwelling – Single Family (Bridgeport)	Residential Mixed-Use Conditional District (RMX CD)
West	Secondary School (Heritage High School) and Forestville Road ROW	General Residential 3 (GR3)
The proposed land use is generally compatible with surrounding land uses. The proposed zoning is generally compatible with surrounding zoning. <i>See Attachment C for associated maps.</i>		

MASTER PLAN ANALYSIS

Open Space	Required: 5% or 0.39 acres Proposed: 14% or 1.08 acres Summary: The proposed Master Plan complies with the minimum open space percentage requirement in the UDO.
Park Space	Required: 2% or 0.15 acres Proposed: 2.5% or 0.19 acres Summary: The proposed Master Plan complies with the minimum park space percentage requirement in the UDO.
Active Recreation	Required: 25% of park space or 0.05 acres Proposed: 68.4% of park space or 0.13 acres Summary: The proposed active recreation use is proposed as a playground as outlined in Attachment B, Condition #13. The proposed Master Plan complies with the minimum park space percentage requirement in the UDO.
Public Utilities	Required: The UDO requires that public water and sewer mains are extended to serve the site. Proposed: This property is served by a 12" water line located along Forestville Road and an 8" waterline located along Remnick Avenue. It is also served by an 8" sewer line located through the Bridgeport open space south of the project that will be extended through the project. Summary: The proposed Master Plan complies with the public utility requirements in the UDO.
Parking	Required: Per UDO Chapter 9.4, the parking requirement for Dwelling - Townhome is 1.8 spaces per unit or 110 parking spaces. The bike parking requirement for Dwelling – Townhome is 2 per 40 auto spaces or 7 bike spaces. Proposed: The applicant is proposing to provide 128 parking spaces through off-street parking spaces. The developer will provide at least 7 bike parking spaces, in addition to park space bike parking requirements. The final locations will be determined at the time of Construction Plan review. Summary: The proposed Master Plan complies with the minimum parking requirements in the UDO.

Roads	Required: The Comprehensive Transportation Plan requires a 4A road cross-section for Forestville Road. Based on the number of lots proposed (fewer than 100), the UDO did not require a Transportation Impact Analysis (TIA). Proposed: The proposed Master Plan (Exhibit 1, Sheet 1) complies with the 4A cross section for Forestville Road, which requires right-of-way dedication and installation of a 12' travel lane and curb and gutter. The CTP requires a multiuse path on the east side of Forestville Road. See Map 4-5, Future Pedestrian Network. The UDO requires that stubbed streets be extended through the development, which is being provided with the extension of Remnick Avenue. The proposed number of dwelling units does not meet the required threshold to require a Transportation Impact Analysis (TIA) per Section 6.11.1 of the UDO. Summary: The proposed Master Plan complies with the minimum roadway infrastructure requirements in the UDO.
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PROPOSED MODIFICATIONS OF BASE RESIDENTIAL MIXED-USE ZONING DISTRICT STANDARDS

Article 2.2.3.D Principal Building

Required:	Front Setback – 18' max Street Side/Secondary Front Setback – 5' min Side Setback – 0' min Rear Setback – 5' min
Proposed:	Front Setback – 10' max Street Side/Secondary Front Setback – 5' min-10' max Side Setback – 0' min Building Separation for Interior End Units – 10' min Rear Setback – 5' min-20' max

Article 8.5.2.B Street Yard Buffers

Required:	20' Type B Buffer – Option 1 along Forestville Road
Proposed:	16' Type B Buffer – Option 1 along Forestville Road

See Attachment B for proposed zoning conditions.

COMPREHENSIVE PLAN CONSISTENCY

Community Plan (2009)	The proposed zoning map amendment request is generally consistent with the 2009 Community Plan.
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Comprehensive Transportation Plan (2019)	The proposed zoning map amendment request is generally consistent with the Comprehensive Transportation Plan.
Historic Preservation Plan (2012)	The Historic Preservation Plan is not applicable to the zoning map amendment request.
Northeast Neighborhood Plan (2007)	The Northeast Neighborhood Plan is not applicable to the zoning map amendment request.
Park, Recreation, and Cultural Resources Master Plan (2015)	The Parks, Recreation, and Cultural Resources Master Plan is not applicable to the zoning map amendment request.
Public Art Vision Plan (2009)	The Public Art Vision Plan is not applicable to the zoning map amendment request.
Renaissance Plan (2017)	The Renaissance Plan is not applicable to the zoning map amendment request.

See Attachment D for detailed Plan Consistency Analysis. The Comprehensive Transportation Plan is not included in the Consistency Analysis since cross-sections are the only applicable element of the Plan.

STAFF RECOMMENDATION

The zoning map amendment request is generally **Consistent** with the relevant policies in the Comprehensive Plan, and **Approval** of the zoning map amendment request is reasonable and in the public interest.

ATTACHMENTS

Attachment A: Neighborhood Meeting Information
Attachment B: Application
Attachment C: Maps
Attachment D: Plan Consistency Analysis

EXHIBITS

Exhibit 1: Proposed Conditional District Plan

December 5th 2021

Dear Wake Forest Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Wake Forest for a land use change or development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Wake Forest regulations, a Neighborhood Meeting will be held to provide information to area residents about the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: December 15, 2021 Meeting Time: 6:00 PM

Meeting Location: Optimal Sante, 1021 Forestville Road, Wake Forest

Type of Application: Master Plan for zoning change for residential mixed use

Project/proposal property address: 1109-1129 Forestville Road

Description of project/proposal: 61-unit townhome subdivision with public roads connecting Remnick Avenue to Forestville Road.

Upcoming public meetings for this application (Planning Board and/or Town Council): To Be Determined

At a minimum, the following will be available for your inspection at the Neighborhood Meeting:

1. A copy of the project application.
2. A schedule of all upcoming public meetings for the application.
3. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
4. A map, drawing, or other depiction of the proposed land use change or development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for land use change and/or development proposal.

If you have any questions prior to or after this meeting, you may contact us at **760 791-2204**.

You may also contact the Planning Department at 919-435-9510.

Sincerely,

William Huyler *William Huyler*
CLD

Cc: Town of Clayton Planning Department

Wake Forest Forestville Road – 1109-1129 Forestville Road
Neighborhood Meeting Minutes 12/15/2021

1. Concerns regarding the buffer width at the back of the property, they are requesting we do not do rear entry along the homes sites at the back of the property the entire street, the buffer will be much better and cars won't be putting headlights in their living space

Speaking with Patrick Reidy, the city will not budge on this issue. -Will Huyler
2. Request to add a fence, I discussed making sure the tree lines were high enough they seem happy with that.

Now that the homeowners know there will be a green screen protecting, they are okay with this. -Will Huyler
3. Concern the trees won't hide the new homes, especially for current owners on the east, we will plant enough trees to ensure the buffer is good to go.
4. Request to conduct a traffic study, I mentioned I did not think it would be a requirement with the unit count being as low as it is.
4. Request to keep the existing trees, we plan on doing just that.

We plan on keeping some trees per the landscape plan. -Will Huyler
5. There are current traffic jams due to drivers cutting through the neighborhood, concern traffic will be worse, I mentioned a speed bump would help.

Patrick Reidy said the city does not allow speed bumps. -Will Huyler
6. Request to add a speed bump or a traffic circle

Patrick Reidy said the city does not allow speed bumps. -Will Huyler
7. Request to move the second exit road to prevent more cars on the inner road.
The city will not allow the removal of the 2nd exit road. -Will Huyler
8. Request to add a playground and dog park so new owners won't use current owner's amenities
This can be proposed and implemented during final constructed documents or as a condition of approval. -Will Huyler
10. Will the road be public or private? Public.
11. Request to receive the final plan. We can give them the final plans. I believe they would be made available. -Will Huyler
12. What will be the work time during the day? How much noise will it create and how will the works/trucks come in and out? I mentioned expectations 8 to 5 or 6 Monday to Friday

13. Who will check for contamination, we already did a phase one report and no issues, they asked about when we take out any existing underground septic etc, I also mentioned we are very regulated and won't be able to build without inspection after the fact
14. How will the pond be filled and using what, we discussed compact clean soil.
15. Who will be the builder? Not known as of yet.
16. If you don't develop, who will? What will you guarantee (the 5 points) and how will you enforce it?
17. In what direction will the water flow? Southern just as the existing condition. -Will Huyler
18. Request to change to front entrance they homeowners are asking we not stub up in their neighborhood, I mentioned I would ask if we could have 2 entries onto rogers rd but did not think we had enough space.

The city wants the waterline connection into their public road. Only 1 entrance from Forestville Road is presumably allowed. -Will Huyler

WAKE COUNTY BOARD OF EDUCATION
RE SERVICES DIRECTOR
1551 ROCK QUARRY RD
RALEIGH NC 27610-4145

STROUD - WAKE FOREST LP
160 MINE LAKE CT STE 200
RALEIGH NC 27615-6417

BEAZER HOMES LLC
801 CORPORATE CENTER DR STE 330
RALEIGH NC 27607-5486

WILLIAMS, JHAIR WILLIAMS, SHAKEIA
109 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

BURKE, DONNELL JAMAL BURKE, SHARON CRAIG
117 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

SHERIAN, CURTIS LEE SHERIAN, BESSIE
121 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

GURLEY, DAVID GURLEY, MELISSA
125 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

GLENN, KIMBERLY M GLENN, JAMES MICHAEL
129 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

AMO, ALEXANDER AMO, LADY VANNESA
133 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

SHELLOW, CLEMENTINE
137 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

WASEM, VICTORIA AMY
6656 PENFIELD ST
WAKE FOREST NC 27587-3468

IYADURAI, SAM FERNIX DAVID JOSEPH, MAGDALINE GEETHA
6652 PENFIELD ST
WAKE FOREST NC 27587-3468

NASERI, MOHAMMAD BASIR NASERI, MUHAJIRAH
6648 PENFIELD ST
WAKE FOREST NC 27587-3468

CLAVIJO, LEONOR CABALLERO, VICTOR HUGO SANDOVAL
6644 PENFIELD ST
WAKE FOREST NC 27587-3468

KANG, DONGCHEUL PARK, YOUNGMI
6640 PENFIELD ST
WAKE FOREST NC 27587-3468

GROVES, HEATHER L GROVES, JEREMY C
6636 PENFIELD ST
WAKE FOREST NC 27587-3468

BRICENO, OSCAR J ROZO PERDOMO, FRANCYS SAAVEDRA
6632 PENFIELD ST
WAKE FOREST NC 27587-3468

ANDERSON, DOREEN
6628 PENFIELD ST
WAKE FOREST NC 27587-3468

STROUD - WAKE FOREST LP
160 MINE LAKE CT STE 200
RALEIGH NC 27615-6417

CHAVEZ, DARWIN CHAVEZ, ALMA ANGELA
120 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

ARNOLD, LAUREN ANAIS PACE, ELTON CORDELL
124 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

JOYNER, TARSHA Y JOYNER, KOBIE K
128 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

ALIMILLI, LAKSHMI SRICHARAN KURITI, SOWMYA NAIDU
136 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

BUSH, ROBERT A BUSH, GABRIELLA
140 WOODSTAFF AVE
WAKE FOREST NC 27587-9801

SANCHEZ, CAROL YORK SANCHEZ, MICHAEL
200 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

VELEZ, FLOR A ROSANO, RAUL AARON
208 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

SHOPE, ANNA L JAVOR, KEVIN P
212 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

JARAMILLO, MARIA DEL PILAR TORRES, JOSE ARTURO ARAMBULA
216 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

MEMON, GHAYASUDDIN MEMON, SANA
220 WOODSTAFF AVE
WAKE FOREST NC 27587-980

DELAINE, CINDY DELAINE, LENNICE
205 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

PALAZZO, JEFFREY PALAZZO, JENNIFER L
209 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

LA, DUYTHONG NGUYEN, NGOC HIEN THI
213 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

DAVIS, TONY DAVIS, MELISSA
217 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

GREEN, MICHAEL LAWSON GREEN, CANADAY HUBBARD
221 WOODSTAFF AVE
WAKE FOREST NC 27587-9802

ELMS, SHERRI M ELMS, JEFFREY W
6633 PENFIELD ST
WAKE FOREST NC 27587-3468

BOURQUE, MICHAEL JAMES BOURQUE, KRYSTAL
6637 PENFIELD ST
WAKE FOREST NC 27587-3468

BASSIGNANA, RAYMOND J BASSIGNANA, MISTY
6641 PENFIELD ST
WAKE FOREST NC 27587-3468

HAWKES, DEIRDRA C HAWKES, AUDWIN M
6645 PENFIELD ST
WAKE FOREST NC 27587-3468

ROCHINO, RANDOLPH N ROCHINO, ASHLEY
6649 PENFIELD ST
WAKE FOREST NC 27587-3468

BAGNULO, ELSA Q BAGNULO, JOSEPH P
6653 PENFIELD ST
WAKE FOREST NC 27587-3468

WYATT, LEONARD BURNETT WYATT, PATRICIA ANN
6624 VESTAL ST
WAKE FOREST NC 27587-9804

NOONAN, JOSHUA WESTLAKE ALMEKINDERS, ANNA E
6628 VESTAL ST
WAKE FOREST NC 27587-9804

KINANE, PATRICK JOSEPH KINANE, JILL NORTH
6632 VESTAL ST
WAKE FOREST NC 27587-9804

ZHENG, LI CHAO ZHENG, SHI FANG
6636 VESTAL ST
WAKE FOREST NC 27587-9804

LEE, VINCENT CHAU, ERICA Y
6640 VESTAL ST
WAKE FOREST NC 27587-9804

SHARMA, JATIN KUMAR, LEVINA
6625 VESTAL ST
WAKE FOREST NC 27587-9804

SHARMA, JATIN KUMAR, LEVINA
6625 VESTAL ST
WAKE FOREST NC 27587-9804

JACOBSEN, JUSTIN JACOBSEN, LOUISE
6600 PENFIELD ST
WAKE FOREST NC 27587-3468

BOLLA, MANINDER
209 FORBES RD
WAKE FOREST NC 27587-9295

KIM, IGOR KIM, GALINA
6608 PENFIELD ST
WAKE FOREST NC 27587-3468

CHOI, JAE Y CHOI, MI J
6612 PENFIELD ST
WAKE FOREST NC 27587-3468

KRISHNAMANENI, RAGHAVENDRA RAO CHINTAPATLA, DIVYA
6620 PENFIELD ST
WAKE FOREST NC 27587-3468

HOLMES, JOSEPH KING JR HOLMES, EBONIE
6616 PENFIELD ST
WAKE FOREST NC 27587-3468

JOHNSON, MATHEW JOHNSON, NICOLE TURNER
6601 PENFIELD ST
WAKE FOREST NC 27587-3468

HAAS, ANNIE M HAAS, FREDERICK P
6609 PENFIELD ST
WAKE FOREST NC 27587-3468

POTHURI, PRABHU KUMAR POTHURI, DIVYA JYOTHI
6613 PENFIELD ST
WAKE FOREST NC 27587-3468

EITZEN, RACHEL WELLS ARMSTRONG, RICHARD JAMES
6617 PENFIELD ST
WAKE FOREST NC 27587-3468

TYREE, MESHA
6621 PENFIELD ST
WAKE FOREST NC 27587-3468

CHAE, SUNG HYUN KIM, EUNICE
6625 PENFIELD ST
WAKE FOREST NC 27587-3468

BUTLER, ANTOINE DUANE BUTLER, DIONNE
6629 PENFIELD ST
WAKE FOREST NC 27587-3468

HAIDET, MELISSA
6600 VESTAL ST
WAKE FOREST NC 27587-9804

CHEN, CHAO HUI LIEW, CHIN POOH
6604 VESTAL ST
WAKE FOREST NC 27587-9804

AGUILAR, DAVID J MULERO, ANGELA A
6608 VESTAL ST
WAKE FOREST NC 27587-9804

TERRY, MARY CHAUVIN
6612 VESTAL ST
WAKE FOREST NC 27587-9804

LEWELLEN, WILLY TALI, VESA
6616 VESTAL ST
WAKE FOREST NC 27587-9804

PRICE, CHRISTINA PRICE, BRIAN
6620 VESTAL ST
WAKE FOREST NC 27587-9804

RUIZ, LEANNE RUIZ, ALBERTO
224 SIMWOOD AVE
WAKE FOREST NC 27587-3474

MERINO, AMAURY PUPO GOMEZ, AUDRY FERNANDEZ
217 SIMWOOD AVE
WAKE FOREST NC 27587-3474

CEESAY, PA SAMBA CEESAY, MAGET N
213 SIMWOOD AVE
WAKE FOREST NC 27587-3474

WOODWARD, BRANDON WILLIAM LEEPER, REBECCA LAUREN
209 SIMWOOD AVE
WAKE FOREST NC 27587-3474

SEIKALI, ELIAS QUISPE, YOISA PENALOZA
205 SIMWOOD AVE
WAKE FOREST NC 27587-3474

SASSOM LLC
10121 CAPITAL BLVD STE 105
WAKE FOREST NC 27587-7745

FANOUS, FADY MORCOS, JACKLEEN
6537 PENFIELD ST
WAKE FOREST NC 27587-3476

COLLINS, JENNIFER LYNN COLLINS, DAVID SHAWN
6533 PENFIELD ST
WAKE FOREST NC 27587-3476

YELTI, NIKHIL REDDY ALLURI, RICHA REDDY
6525 PENFIELD ST
WAKE FOREST NC 27587-3476

WILLIAMS, DANIEL TALI-WILLIAMS, DIELLA
6521 PENFIELD ST
WAKE FOREST NC 27587-3476

BURRIS, STACEY D
6517 PENFIELD ST
WAKE FOREST NC 27587-3476

ERRICO, SUZANNE ROSE
6513 PENFIELD ST
WAKE FOREST NC 27587-3476

LEE, ROBERT S LEE, CHRISTY H
6536 PENFIELD ST
WAKE FOREST NC 27587-3476

CHILKEPALLI, ANKITH BRYAN, ALLISON NICOLE
6532 PENFIELD ST
WAKE FOREST NC 27587-3476

NI, ZHOU XIN YAN, LING
6528 PENFIELD ST
WAKE FOREST NC 27587-3476

JOHNSON, LA KESHA W. JOHNSON, DAVID E
6524 PENFIELD ST
WAKE FOREST NC 27587-3476

CHEUNG, KWAN HO TAKO WU, ELSA
6520 PENFIELD ST
WAKE FOREST NC 27587-3476

CARVAJAL, CARLOS CARVAJAL, EMILY
6516 PENFIELD ST
WAKE FOREST NC 27587-3476

OROZCO, CARLOS ALBERTO REBOL LOPEZ, SAVY ZACIL SANCH
6512 PENFIELD ST
WAKE FOREST NC 27587-3476

EL, BADAoui SOUAD BADAoui, MADEH
6508 PENFIELD ST
WAKE FOREST NC 27587-3476

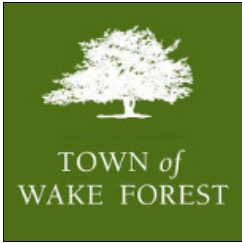
DUONG, ANNA NGUYEN, OANH THI
6504 PENFIELD ST
WAKE FOREST NC 27587-3476

ADJACENT PROPERTY OWNERS LIST

Project Name: Forestville Road Townhomes

The following are all the persons, firms, or corporations owning property within 500 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

PARCEL NUMBER	NAME	ADDRESS
	Victoria Wasem	6656 Penfield St
	Heather Groves	6636 Penfield St
	Direen Anderson	6628 Penfield Street
	Joseph Bagnolo	6653 Penfield St
	Dave + Elaine Sheppard	341 Simwood
	Igor Kim	6608 Penfield St
	KENNETH CHRISTIE	1111 GOLDEN POPPY CT
	ELLEN CHRISTIE	1111 GOLDEN POPPY CT
	JATIN SHARMA	6625 VESTAL STREET
	Victor & LEONOR ^{Solido}	6644 PENFIELD ST
	Rajhu Krishnamoorti	6620 Penfield St
	Sam Fernix Iyadurai	6652 Penfield St
	Cheralyn Baker	309 Simwood Ave
	Joseph Holmes	6616 Penfield



Conditional District Rezoning Application

(Conditional District Rezoning Workflow)

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

Project Overview

#640097

Project Title: Forestville Road Townhomes Conditional District Rezoning

Jurisdiction: Town of Wake Forest (Wake County)

Application Type: Conditional District Rezoning

State: NC

Workflow: Conditional District Rezoning

County: Wake

Submittal Requirements

A submittal checklist is available to view additional documents which are required to be submitted with this application. After answering the application questions, you will be asked to upload the required documents.

[VIEW CONDITIONAL DISTRICT REZONING
SUBMITTAL CHECKLIST](#)

Missing items will result in the application being declined and returned to the applicant to resubmit. A revised and complete application including all missing items must be received or the application will be not be deemed complete and routed for review.

Please confirm you have reviewed the associated submitted checklist for this permit and confirm you will submit all documents required on the submittal checklist: Yes

Pre-Application Meeting

Has a pre-application conference been held?: Yes

This type of project requires a pre-application conference be completed prior to official submittal. Please return to the home screen and select **Pre-Application Conference** from the application type drop down list in order to schedule your required meeting.

Pre-Application Conference Date: 10/06/2021

Staff Member Met With: Patrick Reidy

Project ID: RZ-21-11

Project Information

Development/Subdivision (optional - for reference only):

Forestville Road Townhomes

Project Address or PIN:

- 1109 FORESTVILLE RD (1749672831)
- 1129 FORESTVILLE RD (1749670589)

Tax PIN:

- 1749672831
- 1749670589

Zoning: Zoning

- 1109 FORESTVILLE RD: RMX CD
- 1129 FORESTVILLE RD: RMX CD

Current Zoning Overlay: NA, Not Applicable to this Project

Town Limits: In ETJ

Projects falling outside the limits of the Town or ETJ will be required to submit an annexation petition in conjunction with their project submittal. Please return to the home screen and select **Annexation Petition** from the application type drop down.

Land Use: Land Use Development

Acreage: 8.197

- 1109 FORESTVILLE RD: Residential
- 1129 FORESTVILLE RD: Residential

GIS Acreage: GIS Acreage

- 1109 FORESTVILLE RD: 2.99
- 1129 FORESTVILLE RD: 4.71

Zoning Information

Currently a Conditional District?: No

Currently a Conditional Use?: No

Is there an existing Special Use Permit for the Property?: No **Related Town of Wake Forest Case Numbers:** RZ-21-11

Project Contacts

Please enter all project contacts related to your application.

This is an important step to ensure all members of the applicant team receive email notifications associated with the project which may include comments, requested revisions, scheduled meetings or hearings, and final decisions. This also informs Town staff of the team members assigned role with the project.

Project Contact - Applicant

William Huyler
Carolina Land Design, PLLC
3915 Beryl Road, Suite 130
Raleigh , NC 27607
P: 760 790-2204
will@carolinalanddesign.com

Project Contact - Developer

Robert Shaar
Optimal Equity Group, LLC
924 Evening Snow St.
Wake Forest, NC 27587
P: 610 295 3699
shaar@myoptimalequity.com

Project Contact - Other

William Huyler
Carolina Land Design, PLLC
3915 Beryl Road, Suite 130
Raleigh , NC 27607
P: 760 790-2204
will@carolinalanddesign.com

Project Contact - Property Owner

Robert Shaar
Optimal Equity Group, LLC
924 Evening Snow St.
Wake Forest, NC 27587
P: 610 295 3699
shaar@myoptimalequity.com

Project Contact - Engineer

William Huyler
Carolina Land Design, PLLC
3915 Beryl Road, Suite 130
Raleigh , NC 27607
P: 760 790-2204
will@carolinalanddesign.com

Traffic Impact Analysis

As per Section 6.11.1 of the UDO is the project required to provide a Traffic Impact Analysis (TIA)?: No

Was the TIA reviewed in a separate permit prior to this application?:

Project Number:

The applicant is required to upload the TIA document, including appendix, approved MOU and any synchro files.

i If the request is to a Conditional District (CD), this application should be accompanied by a master plan that includes land use, existing conditions, buildings, lots, etc. per Chapter 15 of the UDO. In addition, please provide a narrative of the proposed use and list any proposed conditions.

Proposed Conditional Zoning District: RMX-CD, Residential Mixed-Use

Proposed Number of Lots: 63

Number of Single-Family Lots: 0

Number of Multi-Family Units: 0

Square Footage of All Buildings (non-residential): 0

Proposed Land Use:

The proposed use will consist of a townhome community that has 61 lots with homes mostly on the exterior of the property. The interior will have a square area for common activities and openspace. There are proposed public roads going through the property.

Number of Buildings: 63

Number of Townhome Lots: 63

Number of Stories: 2

Plan Information - Conditional Rezoning

Description of Request:

The property is currently in wake county as R-30 and needs to be rezoned as RMX in order to to subdivide the lots and build townhomes.

Initial Proposed Conditions Offered by Applicant:

1. Units 1-15 shall be permitted to front on common open space.
2. All elevations of the units facing public rights-of-way shall have trim around the windows.
3. Exterior walls on the front of the Townhouse unit facing public rights-of-way, shall contain at least three of the following elements, and exterior side walls that can be seen from the public right-of-way shall contain at least two of the following elements:
Bay Window
Decorative Window
Decorative Trim
Recessed Window
Decorative Shake
Porch or Stoop
4. Eaves, front, and rear shall project at least 12 inches from the wall of the structure. Side eaves shall be a minimum of 4-inches. Eaves will be allowed to encroach setbacks as allowed in the UDO.
5. A varied color palette shall be utilized on buildings throughout the development. Each building to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
6. Poured concrete foundations, monolithic slabs, concrete block foundations, or smooth-faced concrete masonry unit foundations shall be covered by decks, stoops, or be clad in face brick, stone, or some other masonry material imitating these materials facing/parallel to the public right-of-way.
7. Roof lines to match architectural building style. Townhouse rooflines cannot be a single

mass; it must be broken up horizontally and/or vertically. The maximum number of continuous units within a building without a break is two. The main roofline will provide a minimum 6:12 pitch and a maximum of 12:12.

8. Front stoops, if provided, shall be a minimum of 4' in depth.

9. Site Master Plan (SD-21-15) is a condition of the rezoning request. Amendments of the master plan shall require a rezoning amendment unless the Administrator finds the modification to be minor and in keeping with the spirit and intent of the adopted master plan.

10. The front of all Units shall provide a minimum of 15% glazing.

11. Raised foundation of 18" for privacy from the sidewalk into the homes.

12. Each town-home group shall implement a varied front elevation styles that provide different horizontal and vertical features so that no more that two town-homes are identical.

No two town-homes shall be the same that are adjacent to each other.

13. Active open space will be satisfied with a playground from 8AM to 8PM.

14. A type A, option 3 buffer shall be provided along the eastern and southern property lines. A type B, option 2 buffer shall be provided along the northern property line. These buffers shall be installed prior to the final plat being recorded.

15. The townhouse lot widths range are 22'-26' Lengths will be 85'.

The following dimensional requirements shall apply:

Front setback: 10' max

Street sideyard: 5' min - 10' max

Sidyard: 0'

Building Separation for Interior End Units: 10'

Rear setback at garage: 5' min - 20' max

16. A type A, option 3 buffer shall be provided along the eastern and southern property lines. A type B, option 2 buffer shall be provided along the northern property line. These buffers shall be installed prior to the final plat being recorded.

17. The existing pond shall be siphoned to the greatest extent in order to reduce the amount of time needed for pumping. After siphoning, pumps may be used.

18. The proposed wood fence in the landscape buffer shall be a wood composite to prevent future maintenance issues.

1. Construction hours of operation shall be limited from 8am to 6pm Monday through Friday.

Justification of Consistency with Comprehensive Plan:

The site is surrounded by the town of Wake Forest jurisdiction.

The sites surrounding the lots are an RMX subdivision to the south and east, and commercial buildings to the north. Townhome development would be consistent with the surrounding area.



February 8, 2023

Forestville Road Townhomes Rezoning Conditions

1. Units 1-15 shall be permitted to front on common open space.
2. All elevations of the units visible to public rights-of-way shall have trim around the windows.
3. Townhouse units visible to public rights-of-way, shall contain at least three of the following:

Bay Window
Decorative Window
Porch or Stoop

Recessed Window
Decorative Shake

4. Eaves, front, and rear shall project at least 12 inches from the wall of the structure. Side eaves shall be a minimum of 4-inches. Eaves will be allowed to encroach setbacks as allowed in the UDO.
5. A varied color palette shall be utilized on buildings throughout the development. Each building to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
6. Poured concrete foundations, monolithic slabs, concrete block foundations, or smooth-faced concrete masonry unit foundations shall be covered by decks, stoops, or be clad in face brick, stone, or some other masonry material imitating these materials visible from the public right-of-way.
7. Roof lines to match architectural building style. Townhouse rooflines cannot be a single mass; it must be broken up horizontally and vertically. The maximum number of continuous units within a building without a break is two. The main roofline will provide a minimum 6:12 pitch and a maximum of 12:12.
8. Front stoops or porches, if provided, shall be a minimum of 4' in depth.



9. Site Master Plan (SD-21-15) is a condition of the rezoning request. Amendments of the master plan shall require a rezoning amendment unless the Administrator finds the modification to be minor and in keeping with the spirit and intent of the adopted master plan.
10. The front of all Units shall provide a minimum of 15% glazing.
The rear of lots 1-15 shall also provide a minimum of 15% glazing.
11. Raised foundation of 18" for privacy from the sidewalk into the homes.
12. Each townhome group shall implement varied front elevation styles that provide different horizontal and vertical features so that no more than two townhomes are identical. No two townhomes shall be the same that are adjacent to each other. Examples include different porch styles, varied dormers, varied window placement, etc.
13. Active open space will be satisfied with a playground.
14. A type A, option 3 buffer shall be provided along the eastern and southern property lines. A type B, option 2 buffer shall be provided along the northern property line. These buffers shall be installed prior to the final plat being recorded.
15. The following dimensional requirements shall apply:
 - Front setback: 10' max
 - Street sideyard: 5' min- 10' max
 - Sideyard: 0'
 - Building Separation for Interior End Units: 10'
 - Rear setback 5' min – 20' max
16. The existing pond shall be siphoned to the greatest extent in order to reduce the amount of time needed for pumping. After siphoning, pumps may be used.
17. All fences within landscape buffer shall be wood composite or similar material and be brown, tan, gray, or black color.
18. The streetyard buffer along Forestville Road shall be 16' in width. Sidewalks and/or stairs leading from the front doors of lots 1-15 to the multi-use path may encroach within the streetyard buffer.



300 S. Main Street, Suite 212 • Holly Springs, NC 27540

Phone (760) 791-2204 • will@carolinalanddesign.com

Carolina Land Design Firm No. P-2390

Sincerely,

CAROLINA LAND DESIGN, PLLC.

William Huyler,

William Huyler

Agent Signature

William L Huyler II

Printed Name

Principal Engineer

Title

February 8th 2023

Date

TOWN OF WAKE FOREST

AGENT AUTHORIZATION FORM:

Application #: RZ-21-11

Submittal Date: 02/08/2023

Optimal Equity, LLC

is the owner of the property for which the attached application is being submitted:

- ☒ General Use Rezoning or Conditional District Rezoning
☐ Site Master Plan
☐ Subdivision Master Plan
☐ Construction Drawings
☐ Variance
☐ Major Architectural Review

The property is located at: 1109 and 1129 Forestville rd

The agent for this project is: Will Huyler

☐ I am the owner of the property and will be acting as my own agent.

Name: Will Huyler

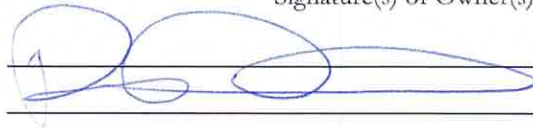
Address: 300 S. Main Street, Suite 212 Holly Springs, NC 27540

Telephone Number: 760) 791 - 2204

Fax: _____

Email Address: will@carolinalanddesign.com

Signature(s) of Owner(s):



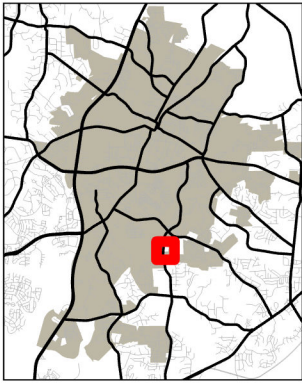
Print or type name(s):

Robert Shaar

Attach additional sheets if there are additional owners.

***Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

Last update: August 2018



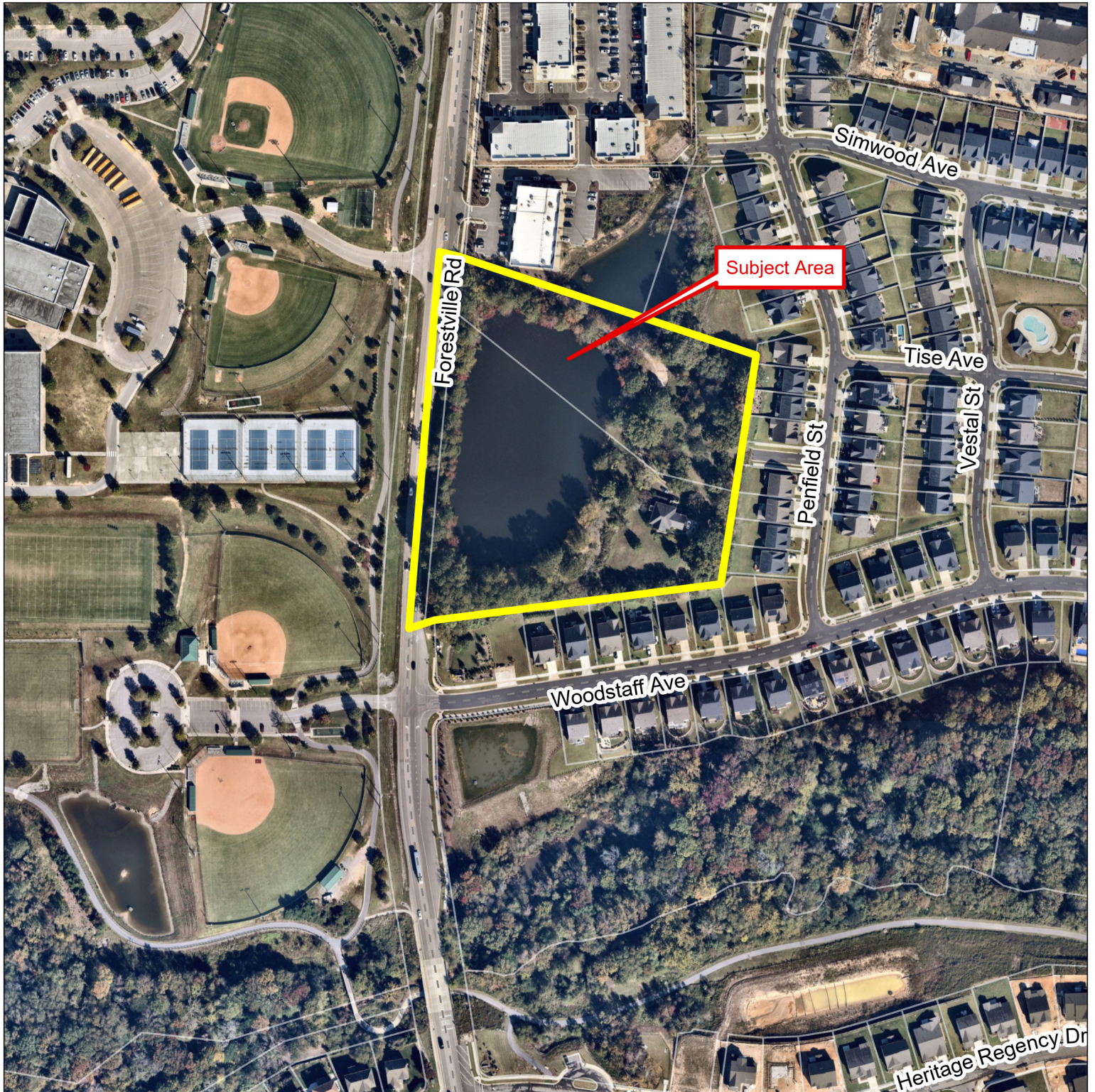
1/26/2023



TOWN of
WAKE FOREST

RZ-21-11

Forestville Road Townhomes **Pin#s 1749672831 & 1749670589**



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

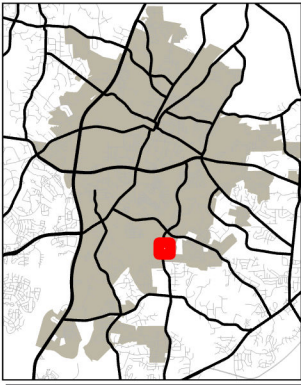
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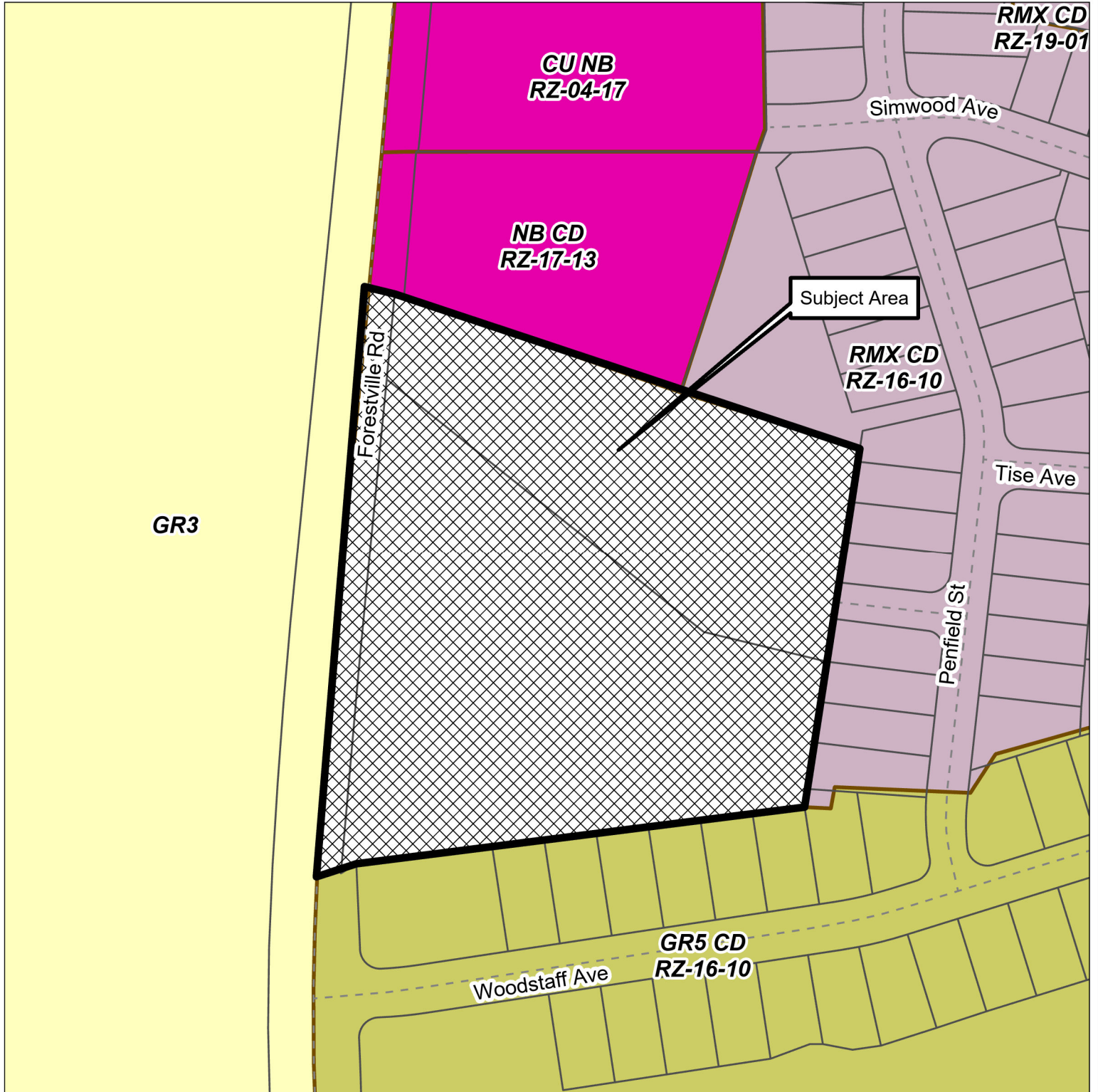


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1/26/2023

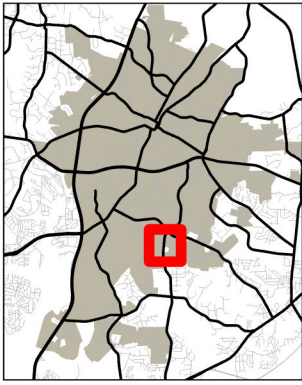


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Community Plan Zones

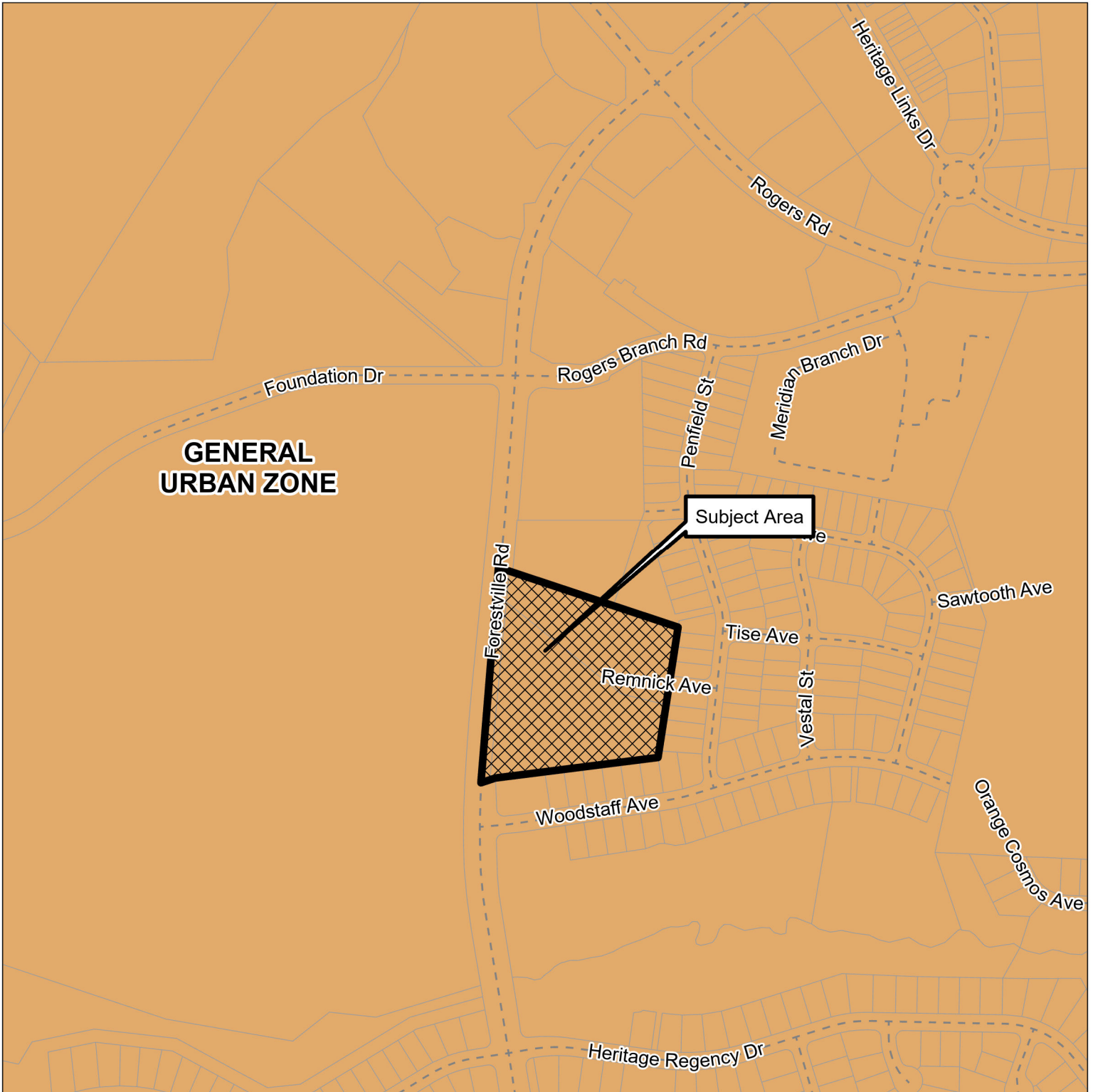


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Forestville Road Townhomes
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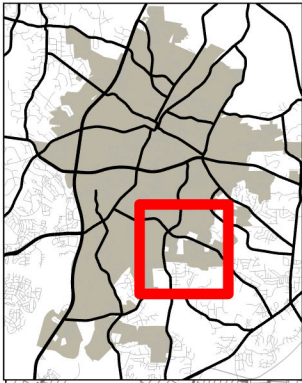
1/26/2023



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Miles





Neighborhood Planning Areas

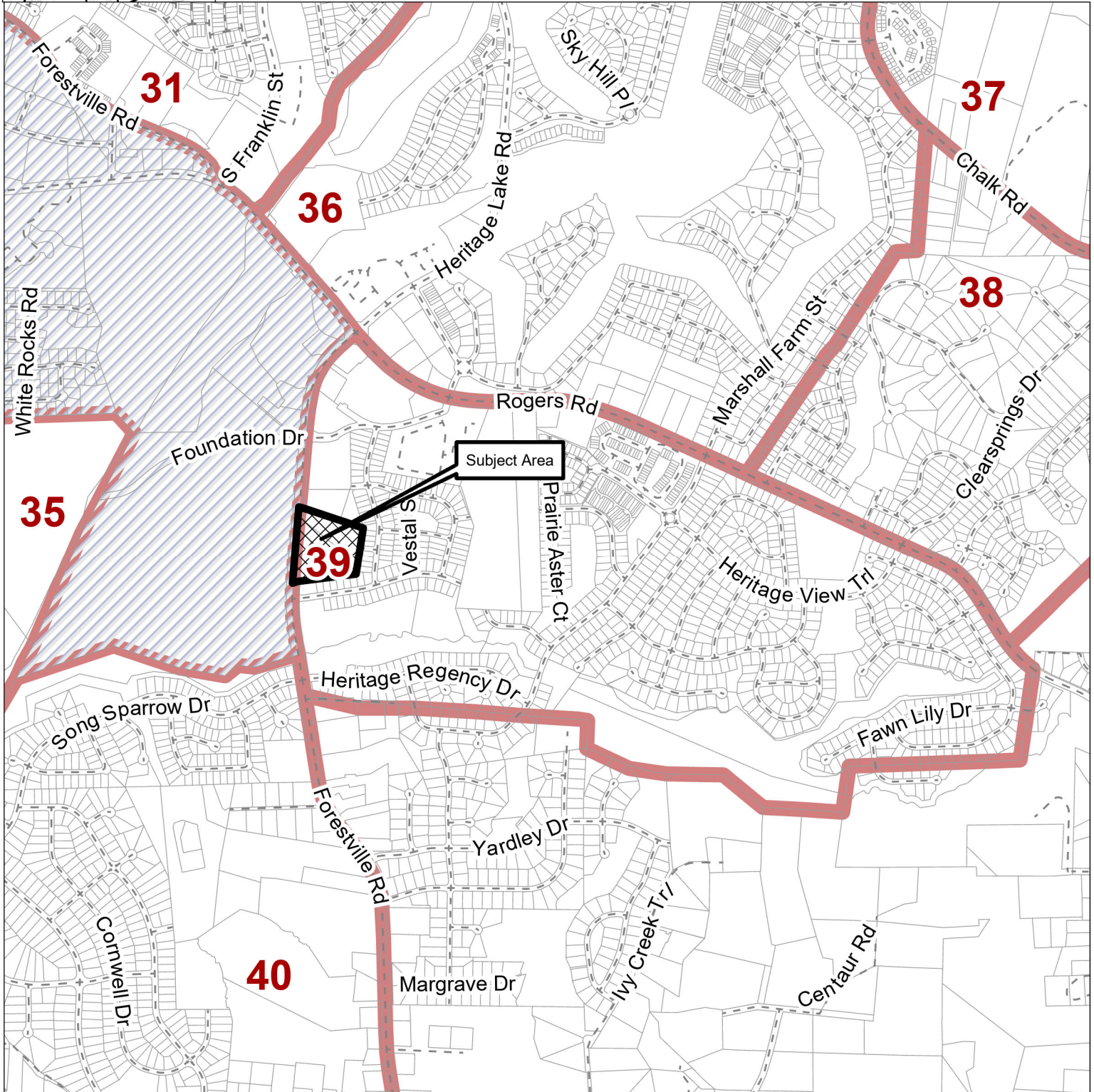


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0 0.25 0.5 0.75 Miles



Community Plan Consistency Grid				
GENERAL POLICY RECOMMENDATIONS		YES	NO	NA
GPR-1	Develop complete neighborhoods built around gathering spaces with a mix of housing types, lot sizes, and integrated commercial uses versus monolithic subdivisions			
GPR-2	Appropriately transition large-scale commercial, institutional, and industrial uses into surrounding neighborhoods			
GPR-3	Integrate alternative modes of transportation, such as transit and biking, into development			
GPR-4	Carefully configure street patterns to allow for multiple outlets from neighborhoods, and to continue the policy of providing for connections between neighborhoods, without encouraging through traffic			
GPR-5	Require sidewalks, bikeways and greenways as part of the necessary infrastructure for new development			
GPR-6	Require regularly spaced street trees, selected and planted in accordance with a street tree master plan, in new developments, whether commercial, office or residential			
GPR-7	Place new public and private buildings of architectural significance in locations of prominence and visual importance			
GPR-8	Ensure neighborhoods have adequate open space areas designed into the development			
GPR-9	Ensure residential architecture respects the value of the street upon which it faces with houses pulled up to the street, porches in the front, garages to the rear or setback from the rest of the home's front facade, and front walkways to the sidewalk			
POLICIES FOR OLDER NEIGHBORHOODS		YES	NO	NA
ON-1	Concentrate police protection, preferably in the form of foot and bicycle patrols, as part of a comprehensive strategy for neighborhood revitalization and crime prevention			
ON-2	Encourage pedestrian-level streetlights and appropriately designed private property lights , particularly in the town's older walkable neighborhoods			
ON-3	Implement housing programs, code enforcement activities, and public improvements in partnership with residents in targeted neighborhood areas and include restoration and rehabilitation activities			
ON-4	Ensure new infill development is architecturally compatible with existing structures, site layout and the streetscape within its vicinity			
ON-5	Continually reinvest in the infrastructure of older urban neighborhoods, including but not limited to: park improvements, sidewalks, street paving and maintenance, street trees, street lights, water and sewer lines, and drainage			
ON-6	Encourage pedestrian-oriented, designed and scaled stores and services providing basic necessities to residents of the town's older neighborhoods			
ON-7	Facilitate mass transit services through recognition of planned transit routes, development mix and density, and accommodation for future transit stop locations in redevelopment and infill projects in older neighborhoods			
POLICIES FOR NEWER NEIGHBORHOODS		YES	NO	NA
NN-1	Encourage architecturally compatible accessory housing on developed lots within existing neighborhood areas, especially for the elderly			
NN-2	Working in cooperation with neighborhood residents, support the provision of greenways, bikeways and walkways within existing neighborhoods			
NN-3	Architecturally compatible, residentially scaled office and institutional development may be permitted along major streets forming a boundary of a neighborhood planning area			
NN-4	Existing, less intensive development (i.e. residential or office uses) located at the intersection of two or more major streets may be allowed to undergo an orderly transition to appropriate commercial use, provided that original use is no longer viable and that careful site design will allow for compatibility with adjoining areas			

Community Plan Consistency Grid				
POLICIES FOR FUTURE NEIGHBORHOODS		YES	NO	NA
FN-1	Promote a walkable community to minimize sprawl, as most new neighborhoods should be compact in form			
FN-2	Ensure new neighborhood streets are no wider than necessary to serve their intended purpose			
FN-3	Consider future transit service corridors and reinforce these corridors with development mixtures and densities appropriate for transit services			
FN-4	Include at least one neighborhood center or focal point in neighborhood planning areas			
FN-5	Encourage neighborhood serving businesses in neighborhood design			
FN-6	Encourage centrally located amenity centers and discourage them on the periphery of neighborhoods			
FN-7	Encourage a mixture of housing types, sizes, and prices for each neighborhood planning area			
FN-8	Encourage higher density housing that is served by transit and located close to adjoining work and shopping areas			
FN-9	Ensure new neighborhoods are connected to other neighborhoods, shopping, and work areas within the neighborhood planning area			
FN-10	Ensure street design gives equal priority to pedestrians and automobiles			
FN-11	Recognize bike routes and greenways in neighborhoods at the time of development			
POLICIES FOR EXISTING COMMERCIAL AREAS		YES	NO	NA
EC-1	Encourage appropriate landscaping and reconfiguration of large, existing unlandscaped parking areas.			
EC-2	Encourage the provision of convenience clusters for pedestrians, bicyclists and future transit services at strategic locations in existing commercial areas			
EC-3	Encourage the consolidation of commercial driveways onto major streets and the connection of adjacent parking lots			
EC-4	Encourage businesses to replace existing, non-conforming signage with more attractive, conforming signage.			
EC-5	Encourage new infill development across the front street face of existing, over-designed parking lots			
EC-6	Continue to prohibit billboards within the planning jurisdiction of Wake Forest			
EC-7	Ensure bicycle and pedestrian access to existing commercial areas			
POLICIES FOR FUTURE LARGE-SCALE COMMERCIAL AREAS		YES	NO	NA
LSC-1	Encourage large-scale commercial developments where appropriate, to contain a diverse mixture of retail, office, restaurant and service uses			
LSC-2	Locate large-scale commercial uses on the corners of neighborhood planning areas, that is, at the intersection of two or more major streets			
LSC-3	Allow planned mixed-use developments which allow for a compatible mixture of residential and non-residential uses with a pedestrian scale and design should be encouraged			
LSC-4	In planning for a new large scale development, buffer large-scale uses from adjacent residential areas by smaller scale buildings or by buffer strips			
LSC-5	Except for limited access highways, pull up new commercial buildings to the street; parking should be placed to the rear or side of the structure			
LSC-6	When appropriate, require the use of all around architecture (high quality facades on all sides of a building)			
LSC-7	Plan ahead for new large-scale commercial development in regards to future public transit stops and convenience clusters			
LSC-8	Limit driveway access for new large-scale commercial development to major thoroughfares and connect all adjacent parking lots			
LSC-9	Cluster together auto dealerships, large equipment sales and other businesses primarily dependent upon expansive outdoor sales lots for both functional and economic reasons			
LSC-10	Strongly discourage the abandonment of "big box" retail stores, for the purpose of relocating to another "bigger box" location in the community			

Community Plan Consistency Grid				
POLICIES FOR SMALL SCALE NEIGHBORHOOD BUSINESSES		YES	NO	NA
SSB-1	Encourage small scale, pedestrian-oriented shopping and work places in the design of new neighborhoods			
SSB-2	Locate neighborhood businesses at center of planning area rather than major thoroughfares			
SSB-3	Ensure neighborhood businesses are designed at a residential scale and character			
SSB-4	Coordinate the location of neighborhood serving businesses with bikeways and, where appropriate, future transit stops			
SSB-5	Employ on-street parking in coordination with a limited amount of off-street parking for neighborhood serving businesses			
SSB-6	Ensure neighborhood businesses have residential scale signage and lighting			
SSB-7	Ensure neighborhood businesses encouraged as upfront infrastructure cost of new development			
SSB-8	Ensure neighborhood businesses locate near public amenities if opportunity allows			
SSB-9	Encourage living quarters over small retail shops and offices			
POLICIES FOR FIRST GENERATION BUSINESS AND INDUSTRIAL AREAS		YES	NO	NA
FGI-1	Actively participate, facilitate and partner in the adaptive reuse and conversion of former production, warehousing and manufacturing buildings into uses compatible with their design and location			
FGI-2	If the demolition of an old industrial building or complex becomes necessary, any new structure(s) and site redevelopment should be compatible with the neighborhood context; such redevelopment should serve to improve the quality, character and livability of the surrounding area			
POLICIES FOR SECOND GENERATION BUSINESS AND INDUSTRIAL AREAS		YES	NO	NA
SGI-1	Encourage and support the rehabilitation, improvement, and re-occupancy of viable business and industrial properties that have become vacant.			
SGI-2	The Town of Wake Forest acknowledges and supports the work of state and federal agencies, as well as its own town building inspectors, concerning the enforcement of environmental regulations and building standards, particularly concerning the redevelopment or adaptive reuse of manufacturing sites and buildings			
POLICIES FOR THIRD GENERATION BUSINESS AND INDUSTRIAL AREAS		YES	NO	NA
TGI-1	Periodically examine zoning ordinance and other development regulations to maintain or update appropriate standards and locations for manufacturing, warehouse and distribution opportunities within the Town's planning jurisdiction			
TGI-2	Employ industrial development performance standards to promote the establishment or expansion of industries that are compatible with the public health, safety, and welfare of area residents, and that are supportive of the long term economic prosperity and environmental quality of the community			
TGI-3	Provide and maintain adequate screening and buffering between residential areas and newly developed industrial sites			
TGI-4	Ensure industrial and warehouse sites located within view of a public right-of-way or nearby property provide landscaping that enhances the property and is consistent with a quality image			

Community Plan Consistency Grid				
POLICIES FOR DOWNTOWN		YES	NO	NA
D-1	Encourage a compatible, diverse mixture of retail, office, institutional, residential, dining, services, entertainment, and public open space in the downtown area			
D-2	Recognize the advantages of clustering similar activities and development forms in appropriate parts of the downtown			
D-3	Expand pedestrian oriented streetscape improvements, including wider sidewalks, street trees, decorative street lights, street furniture, and landscaping			
D-4	Direct new and expanding businesses to compatible buildings and sites in or near the downtown area			
D-5	Reserve ground floor space for retail uses with office and other uses on upper floors			
D-6	Maintain a tangible presence and commitment to the downtown through the location of the Town's major municipal offices there and encourage other local, state and federal government agencies to maintain similar commitments to the downtown			
D-7	Continue to support the Wake Forest farmers market at the municipal parking lot in downtown Wake Forest			
D-8	Continue to utilize the Renaissance Area Urban Code to ensure that development and redevelopment will be supportive of the architectural and historic context that is vital to the economic success of downtown Wake Forest			
D-9	Encourage efforts to restore missing or underutilized street frontages, particularly on lots where previous buildings have been demolished and replaced with (oftentimes) surface parking			
D-10	Locate parking lots to the side or behind buildings or in the interior of the block with off-street parking spaces for multi-family buildings being in the rear yard			
POLICIES FOR PARKS, OPEN SPACE AND RECREATION		YES	NO	NA
PR-1	In cooperation with private sector interests, develop a system of open space, greenways and walking trails to connect to residential areas with, especially, schools and park facilities			
PR-2	Include mini-parks in existing and proposed developments to meet the needs of small children and the elderly, and to encourage social interaction and mutual support among area families			
PR-3	Locate parks in full view of residential/non-residential activity for security			
PR-4	Provide funding to help demand for open space and recreation created by development			
PR-5	Co-locate parks & recreation facilities with schools, utility companies, and federal, state and local government agencies			
PR-6	Continue to seek efficiencies, cost savings, and quality services for park maintenance as the Town grows			
PR-7	Continue to explore new opportunities for providing recreation programs with all available partners			
POLICIES FOR MAJOR STREETS		YES	NO	NA
S-1	Space major streets no more than 1 mile apart			
S-2	Ensure access to undeveloped sections of major streets are from intersecting minor streets, rather than private driveways			
S-3	Ensure minor streets intersect major streets regularly at approximately every 400 to 600 feet			
S-4	Incorporate central medians into the design of new or improved major streets			
S-5	Plant landscaping, and where possible, street trees in central medians of major streets			
S-6	Plant and retain streetyard vegetation along major streets to soften and unify the streetscape			
S-7	Ensure contrasting streetyards along major streets for change in visual character			
S-8	Preserve and enhance natural, cultural and historic features along major streets			
S-9	Ensure parking areas are screened from view within major street corridors			
S-10	Employ special roadway overlay zoning to help implement corridor plans			
S-11	Ensure road widenings and/or one-way pairs are avoided for streets where the original design intent and relationship to adjoining land uses was otherwise			

Community Plan Consistency Grid				
POLICIES FOR MINOR STREETS		YES	NO	NA
S-12	Encourage street patterns that respond to site topography, accentuate focal points and interesting vistas, create interesting public spaces and intersections, and that are coordinated with the placement of significant structures or open spaces			
S-13	Consider incorporation of medians in neighborhood axial streets			
S-14	Create short blocks of 300-500 feet in length to allow for many alternative routes for walking and biking, as well as a beneficial network of local streets			
S-15	Design street widths to fit the intended use of the street, corresponding to the traffic load and planned development types			
S-16	Employ a fully-connected honeycomb of streets to promote convenient circulation within the neighborhood and provide for multiple, alternative outlets from the area to adjoining neighborhoods and major streets			
S-17	Encourage on-street parking in compact neighborhoods			
S-18	Utilize grass swales to capture runoff in conservation subdivisions			
S-19	Ensure turning radius of corners at intersections are as small as possible to shorten the street crossing distance for pedestrians at intersections			
S-20	Install traffic calming methods as necessary to enhance livability			
POLICIES FOR SIDEWALKS		YES	NO	NA
SW-1	Where no sidewalks are present, provide sidewalks in existing developed areas to connect residential areas to walkable pedestrian destinations			
SW-2	Ensure sidewalks are required on both sides of the street in new developments when along thoroughfares and collectors, in multi-family developments, in "front porch" developments, and along local streets within walking distance of a major pedestrian trip attractor			
SW-3	Ensure sidewalk widths correspond with anticipated pedestrian traffic volumes, adjoining land uses, and sidewalk activities with minimum sidewalk widths at 5 feet, or 6 feet if along the verge of a street			
SW-4	Continue curb stamp installation and retrofit curb ramps in existing sidewalks			
SW-5	Ensure crosswalks are plainly marked and well lit, especially where significant pedestrian activity is observed or expected			
POLICIES FOR BIKEWAYS		YES	NO	NA
B-1	The bicycle facility selection guide, as used by the Federal Highway Administration, shall be employed for determining the most suitable type of bicycle facility for any new or upgraded roads in Wake Forest			
B-2	Facilitate bicycle and pedestrian way connections between neighborhoods, either by street or connecting path, to enable the effective use of local, minor streets for pedestrian and bicycle travel			
B-3	Install striped bicycle lanes and appropriate signage along existing streets where called for in the Bicycle Plan			
B-4	Install striped bicycle lanes and appropriate signage along new collector streets			
B-5	Install bicycle-responsive signals at intersections where appropriate			
B-6	Ensure all new public and private developments have bike parking and bicycle access			
B-7	Examine all future road construction and improvements for bikeway feasibility and conformity with the Town of Wake Forest Bicycle Plan			
B-8	Examine all future developments and site plans for bicycle compatibility and conformity with the town Bicycle Plan			
B-9	Include bicycle facilities and their impacts in traffic impact analyses for new private developments			
B-10	Establish and implement pedestrian and bicycle friendly schools zones around all schools			
B-11	Ensure bicycle-related improvements are an integral component of the Town's annual budget for public infrastructure investment			

Community Plan Consistency Grid				
POLICIES FOR GREENWAY TRAILS		YES	NO	NA
GT-1	Continue to pursue a greenway trails system that connects residential areas with schools and park facilities			
GT-2	Develop greenway trails in accordance with the environmental conditions of its corridor, its intended use for travel versus recreation, and the anticipated traffic volume of pedestrians and bicyclists			
GT-3	Ensure greenway construction is treated as a normal element of infrastructure necessary to support new development			
GT-4	Ensure greenway maintenance and safety in Town control after transfer from private control			
POLICIES FOR PUBLIC TRANSPORTATION		YES	NO	NA
PT-1	Support the successful operation and expansion of transit with compact, transit-compatible development patterns			
PT-2	Require site planning that incorporates transit stops and convenience clusters			
POLICIES FOR STREET TREES		YES	NO	NA
ST-1	Prepare and maintain an official Street Tree Planting Master Plan			
ST-2	Ensure consistent street tree species occur along certain sections of streets			
ST-3	Ensure a diversity of street tree species Town wide with no single species comprising more than 10-15% of total trees			
ST-4	Install regularly spaced street trees in central medians and frontage street medians			
ST-5	Continue to require The planting or preservation of street trees of appropriate size and species			
ST-6	Maximize available budget dollars for street tree master plan implementation			
POLICIES FOR STREETLIGHTS		YES	NO	NA
SL-1	Ensure streetlights are installed according to the design speed and/or intended use of the street or area they serve			
SL-2	Periodically evaluate emerging lighting technologies for best color, brightness and energy efficiency			
SL-3	Continue to develop and implement joint policies and standards for street light selection, installation, operation and maintenance in cooperation with Wake Electric and Duke/Progress Energy			
SL-4	Ensure streetlights are installed on both sides of streets unless a newly approved street is planned from the outset to have a sidewalk on only one side			
POLICIES FOR UTILITY POLES AND WIRES		YES	NO	NA
UPW-1	Maintain a master plan for the undergrounding of utilities, with priority given to pre-determined areas			
UPW-2	Ensure major town entrances and gateway corridors receive first priority for the undergrounding of overhead utilities			
UPW-3	Ensure high visibility, pedestrian-oriented areas receive second priority for the undergrounding of overhead utilities			
UPW-4	Ensure overhead utilities in other priority areas are placed underground or relocated as opportunities arise			
POLICIES FOR WIRELESS TELECOMMUNICATION FACILITIES		YES	NO	NA
WTF-1	Facilitate the development of wireless service technology as an economic development asset and significant benefit to the town and its residents			
WTF-2	Ensure the impacts of wireless telecommunication facilities should not be permitted to compromise the health, safety and public welfare of area residents; nor should such facilities be allowed to diminish the character of the community and visual quality of its environment			
WTF-3	Ensure that in residential areas, historic districts and the Renaissance districts, cell towers are only considered when there is no alternative for serving those areas and no other alternative wireless telecommunication structure can be utilized			
WTF-4	Initiate updates to standards for wireless telecommunication facilities as new technologies and structural requirements for wireless capabilities emerge over time			

Community Plan Consistency Grid				
POLICIES FOR TOWN AND SPECIAL AREA ENTRANCES		YES	NO	NA
TSE-1	Employ noticeable streetscape improvements to clearly announce a town entrance and to enhance gateway corridors			
TSE-2	Extend streetscape improvements as the Town limits expand			
TSE-3	Employ special "gateway" treatment where where a bridge, underpass, overpass or other roadway feature is located at an entry point to the town or some portion of it			
POLICIES FOR COMMUNITY CHARACTER		YES	NO	NA
CC-1	Employ architectural standards consistent with Wake Forest's architectural character for new, expanding, or improved businesses			
CC-2	Exceptional locations, views and vistas in the town should receive exceptional treatment and/or protection in design and development			
CC-3	Place noteworthy buildings, important outdoor spaces, objects of historic merit, important monuments, and significant works of art in positions of visibility and prominence			
CC-4	Incorporate significant natural and existing man-made elements into the thematic design of new developments			
CC-5	Save large trees, ponds, creeks, or other natural features of the landscape when locating new streets, buildings, parking lots, etc			
CC-6	Support community character by ensuring development is compatible with surrounding area			
CC-7	Ensure exterior lighting is attractive, functional and safety conscious, while also avoiding negative impacts on the night sky visibility of Wake Forest			
POLICIES FOR REGIONAL TRANSPORTATION		YES	NO	NA
RT-1	Continue to anticipate and plan for the impacts of new high speed rail service as it passes through Wake Forest en route to major urban centers north and south along the east coast			
RT-2	Continue to anticipate and plan for the transformation of US 1 Capital Blvd into a limited access freeway and multi-modal transportation corridor as per the plans of the US 1 Corridor Study			
RT-3	Support the express bus service between downtown Wake Forest and downtown Raleigh			
POLICIES FOR WATER AND SEWER		YES	NO	NA
WS-1	Work proactively with other local governments, utility service providers, and the State of North Carolina on regional, long term solutions for water supplies and sewage treatment			
WS-2	Place water and sewer utilities in areas where growth is desired			
WS-3	Avoid placing sewer utilities in environmentally sensitive areas or in areas where open space is desired			
WS-4	Encourage the development of sewer services that employ water reuse technologies			
POLICIES FOR WATER CONSERVATION		YES	NO	NA
WC-1	Conserve, to the fullest extent possible, potable water and waste water treatment capacity			
WC-2	Employ other types of non-municipal water supplies such as wells, rainwater catching systems, rain barrels and in-ground cisterns			
WC-3	Eliminate or reduce usage of the municipal water supply for outside irrigation			
WC-4	Encourage new development to plant drought tolerant grasses on lawns			
WC-5	Encourage construction of new rainwater retainage systems			
WC-6	Encourage new development to include traditional plants native to the area			
WC-7	Encourage the installation of water saving devices in new and existing development			

Community Plan Consistency Grid				
POLICIES FOR COMMUNITY ORIENTED SCHOOLS		YES	NO	NA
S-1	Plan for new school locations in advance through joint collaboration between the Town and School Board — with emphasis on steering facilities to desirable growth areas and avoiding sprawl			
S-2	Encourage offering land for new school facilities, particularly in conjunction with related neighborhood development			
S-3	Design safe campuses with pedestrian access to adjoining neighborhoods			
S-4	Prioritize traffic management and safety in the vicinity of public schools			
S-5	Co-locate school facilities with other community facilities and services			
S-6	Ensure costs for new schools should be borne largely by new growth and development creating the demand			
S-7	Foster diversity in community-oriented public schools by encouraging diversity in nearby neighborhoods feeding each school			
POLICIES FOR PAYING FOR GROWTH		YES	NO	NA
PFG-1	Ensure the costs of infrastructure, facilities and services related to new growth and development should be borne primarily by those creating the demand			
PFG-2	Continually seek to balance residential and non-residential development to foster a favorable service-cost to revenue-generated tax base			
PFG-3	Fees charged by the Town for development reviews and inspections should approximate the actual costs to the Town of conducting such work			
PFG-4	Explore cost recovery fees for new "greenfield" development			
PFG-5	Undertake annual planning and budgeting for capital facilities			
POLICIES FOR A HEALTHY SUSTAINABLE ENVIRONMENT		YES	NO	NA
HSE-1	Ensure development policies work to make Wake Forest more walkable and pedestrian-friendly, and less dependent on the single-occupant automobile			
HSE-2	Encourage compact, transit-oriented, mixed-use developments to facilitate walking, biking and transit options			
HSE-3	Locate new higher density residential development within walking distance of jobs and services and design it to be transit compatible with current and future transit services			
HSE-4	Recognize and facilitate low impact development			
HSE-5	Ensure runoff and drainage from development is of a quality and quantity as near to natural conditions as possible			
HSE-6	Require vegetative riparian buffers along all creeks, rivers, lakes and other water bodies in Wake Forest			
HSE-7	Encourage conservation subdivisions where site conditions call for minimizing environmental disturbance and protecting adjoining natural resources			
HSE-8	Ensure large parking lots have landscaped planting islands and perimeter buffer strips and may use other design technologies to intercept and absorb runoff			
HSE-9	Carefully control development activities in the special flood hazard areas			
HSE-10	Encourage the construction of energy efficient structures, including the use of "green" building design			
HSE-11	Ensure site plans for new development work sympathetically with the natural features of the land, including existing topography and significant existing vegetation			
HSE-12	Explore a combination of incentives and disincentives to protect existing trees and/or require the replacement of trees removed for development			
HSE-13	Encourage green infrastructure (grassed swales, rain gardens, bio-retention strips, cisterns, rain barrels, permeable pavements, etc.)			
HSE-14	Offer a variety of solid waste reduction strategies and services including educational programs on waste prevention, recycling and reuse			
HSE-15	Facilitate proper disposal of household hazardous waste materials			
HSE-16	Encourage on-site residential composting			
HSE-17	Continue off-site mulching and redistribution of landscape yard waste			
HSE-18	Continue to support education and activities that reduce litter and illegal dumping			
HSE-19	Continue to plan in advance for area requirements concerning solid waste collection and disposal			

Community Plan Consistency Grid				
POLICIES FOR ECONOMIC DEVELOPMENT		YES	NO	NA
ED-1	Encourage new and expanding industries and businesses that are compatible with the long-term quality of the area's natural and cultural resources, match up well with the area's infrastructure and services, employ and develop the skills of area workers, and diversify the local economy			
ED-2	Retain quality businesses and to attract new ones continue to invest in infrastructure and services that sustain and enhance the area's already high quality of life, image and cultural identity			
ED-3	Pursue economic and business development partnerships between the Town, other local jurisdictions, other economic development organizations, and private companies			
ED-4	Strive for a financial and regulatory environment that supports the establishment and growth of small business			
ED-5	Develop real estate "product" suitable for business placement that focuses on the identification, enhancement and certification of buildings and sites readily available for construction and/or occupancy			
POLICIES FOR ARTS CULTURE AND HISTORIC PRESERVATION		YES	NO	NA
ACH-1	Encourage efforts and actively participate in the provision of indoor and outdoor public and private spaces to showcase the work of visual and performing artists in Wake Forest			
ACH-2	Encourage new private sector developments to include art as an integral element of privately owned common areas and semi-public spaces			
ACH-3	Ensure budgets for new construction and renovations of town buildings include a line item for the purchase and display of art			
ACH-4	Continue to have cultural arts be enhanced as a permanent function of the Town's recreation program offerings			
ACH-5	Employ design standards that ensure development and redevelopment is consistent with the architectural context, community character, economic attractiveness and livability of Wake Forest			
ACH-6	Encourage the identification, restoration, and active use of structures, buildings, monuments, landmarks, sites and neighborhoods of historic or architectural significance			
ACH-7	Strongly discourage the destruction of architectural, historic, and archeological resources of Wake Forest			
POLICIES FOR PUBLIC SAFETY		YES	NO	NA
PS-1	Employ community education, school, and public involvement programs to enhance community awareness of public safety issues			
PS-2	Periodically review the need for additional paid personnel, capital improvements and equipment needs to meet or exceed public safety standards, insurance ratings and other measures of public safety	y		
PS-3	Strategically locate additional public safety substations, provided that sufficient resources can be made available to properly staff and equip them			
PS-4	Proactively support legislative efforts to strengthen local law enforcement tools			
PS-5	Employ a holistic approach to public safety involving residents, businesses, and institutions in the preparation of neighborhood improvement plans, with priority given to public safety concerns			
PS-6	Encourage excellence in law enforcement, fire protection, and emergency services through on-going education, training and participation in national accreditation programs			
PS-7	Support the establishment of an east-west through street (or loop road) on the north side of town to improve emergency access to locations in that area			
POLICIES FOR LEADERSHIP AND COMMUNITY INVOLVEMENT		YES	NO	NA
LCI-1	Continue to emphasize the importance of advisory boards & committees in conducting the Town's business			
LCI-2	Ensure boards and committees of the Town are representative of the population and geography of the planning area or subject matter being addressed			
LCI-3	Encourage public involvement in decisions on land use and development by making the public aware of proposed developments at the earliest lawful opportunity, as well as fostering communication between developers and the general public			
LCI-4	Encourage neighborhood and special area planning			
LCI-5	Continue to ensure maintenance and enhancements to the Town's internet and multi-media news dissemination capabilities			
LCI-6	Participate proactively in the cooperation of efforts among civic and volunteer organizations for maximum impact in the community			

FORESTVILLE ROAD TOWNHOMES

MASTER SUBDIVISION PLAN

SD-21-15, RZ-21-11

WAKE FOREST,
NORTH CAROLINA

PROJECT STATISTICS

PROPERTY DEVELOPER: OPTIMA EQUITY GROUP, LLC

SITE INFORMATION	
JURISDICTION	WAKE COUNTY
EXISTING ZONE	R-30 WAKE COUNTY
EXISTING USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONE	RMX
PROPOSED USE	TOWNHOMES
MAXIMUM OVERALL DENSITY	7.9 DU/AC
PINS	1749672831, 1749670589
SITE AREA	7.7 AC
EXISTING USE	RESIDENTIAL
RIVER BASIN	NEUSE
WATERSHED	NEUSE
FEMA FLOOD PANEL	3720174900J
SPECIAL FLOOD HAZARD	NO

LOT & PARKING INFORMATION	
PROPOSED NUMBER OF LOTS	61
MINIMUM LOT SIZE	1870 S.F.
MAXIMUM LOT SIZE	2550
PARKING REQUIREMENT	1.8 PARKING SPACES PER UNIT NEEDED 110 PARKING SPACES REQUIRED 128 SPACES PROPOSED
BIKE SPACES	2 BIKE SPACES PER 40 AUTO SPACES NEEDED. 6.4 ARE REQUIRED. 7 PROPOSED

DIMENSIONAL CRITERIA	
MINIMUM LOT AREA	1870 S.F.
PERIMETER BUFFER	SOUTH AND EAST LINES REQUIRE TYPE C
FRONT SETBACK	10' MAX
STREET SIDE YARD	5' MINIMUM - 10' MAX
SIDE YARD SETBACK	NONE
REAR SETBACK AT GARAGE	5' MIN - 20' MAX
MAXIMUM BUILDING HEIGHT	40'
NUMBER OF STORIES PER UNIT	2 STORIES
MINIMUM BUILDING SEPARATION FOR ATTACHED	0'
BUILDING SEPARATION FOR INTERIOR END UNITS	10'

AREA CALCULATIONS	
EXISTING GROSS SITE AREA	8.197 AC
EXISTING NET SITE AREA	7.701 AC
DEDICATION TO FORESTVILLE ROAD	32,930.87 - 0.756 AC
PROPOSED NET SITE AREA	324,119.79 - 7.441 AC
INTERNAL PUBLIC RIGHT OF WAYS	79,093.5 SF - 1.816 AC
PRIVATE EASEMENTS FOR DRIVEWAYS AND PARKING	33,226.45 - 0.751 AC
TOWNHOUSE LOTS	122,319.60 SF - 2.808 AC
OPEN SPACE (LANDSCAPING)	47,210.84 SF - 1.084 AC
LANDSCAPING BUFFER	34,658.97 SF - 0.796 AC
PARK SPACE	8,103 SF - 0.186 AC

OPEN SPACE REQUIREMENTS	
OPEN SPACE REQUIRED	5% OF NET PROPOSED SITE = 324,119.79 SF X 0.05 = 16,206 SF (0.372 AC)
OPEN SPACE PROVIDED	47,210.84 SF = 1.084 AC
PARK SPACE REQUIRED	2% OF NET SITE = 6,482 SF - 0.149 AC
PARK SPACE PROVIDED	8,103 SF - 0.186 AC
ACTIVE OPEN SPACE REQUIRED	25% OF PROVIDED PARK SPACE REQ. = 8,103 SF X 25% = 2,025 SF - 0.046 AC
ACTIVE OPEN SPACE PROVIDED	5,809 SF - 0.133 AC

IMPERVIOUS AREA CALCULATIONS	
NET SITE AREA	7.701 AC
MAXIMUM ALLOWED IMPERVIOUS SURFACE	%70 OF 7.701 AC = 5.39 (234,788 SF)
AC PAVEMENT	69,922.98 SF - 1.605 AC
TOWNHOMES AT 90% IMPERVIOUS	110,087.6 - 2.527 AC
CONCRETE & FLATWORK	14,000 - 0.321 AC
TOTAL IMPERVIOUS	194,010.6 SF - 4.454 AC
IMPERVIOUS PERCENTAGE	194,234/335,455 = 57.8% IMPERVIOUS

RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST PLANNING
AND ZONING BOARD

DATE: _____

APPROVAL BY THE WAKE FOREST
BOARD OF COMMISSIONERS

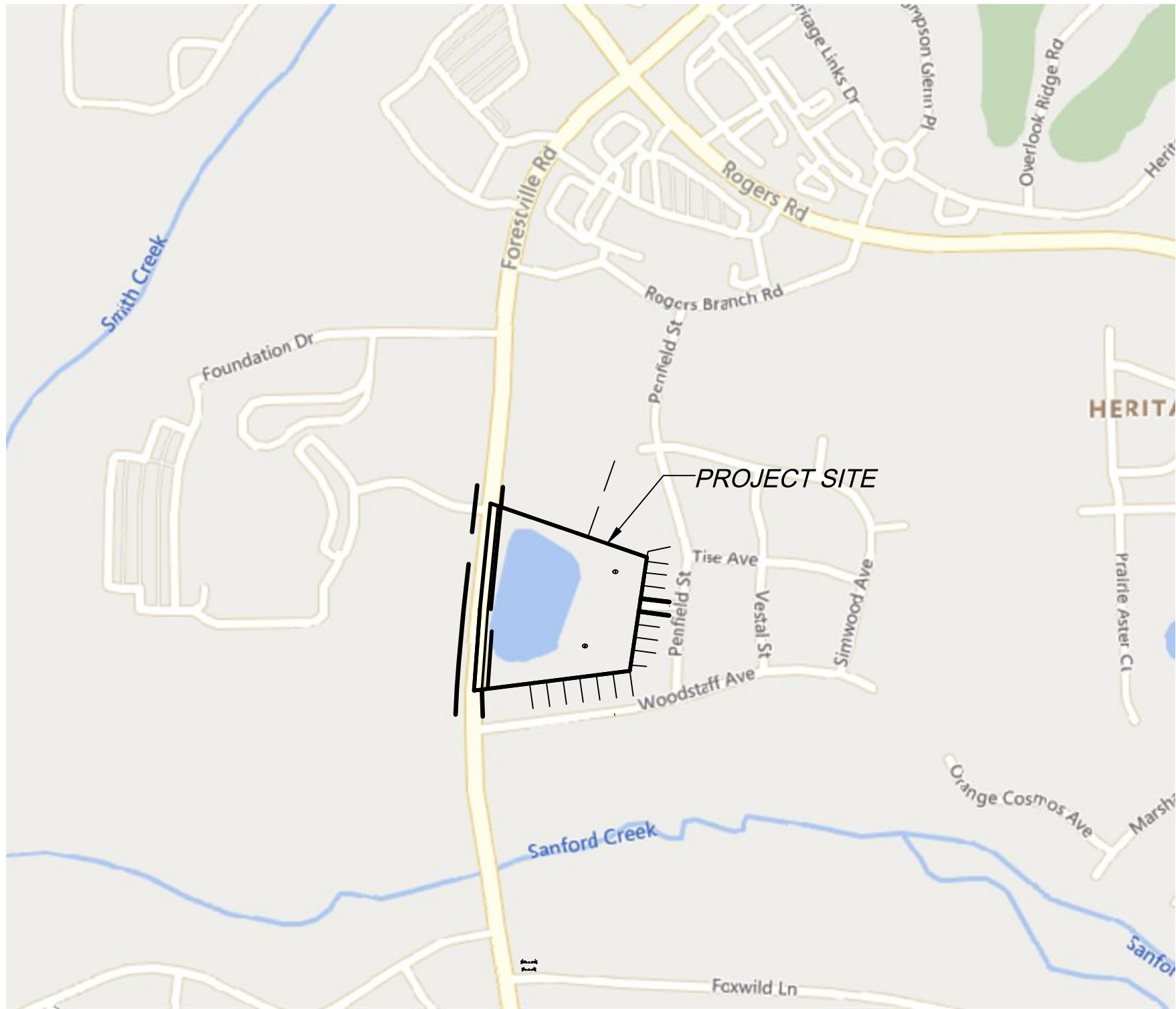
DATE: _____

SHEET INDEX

PROPERTY DEVELOPER

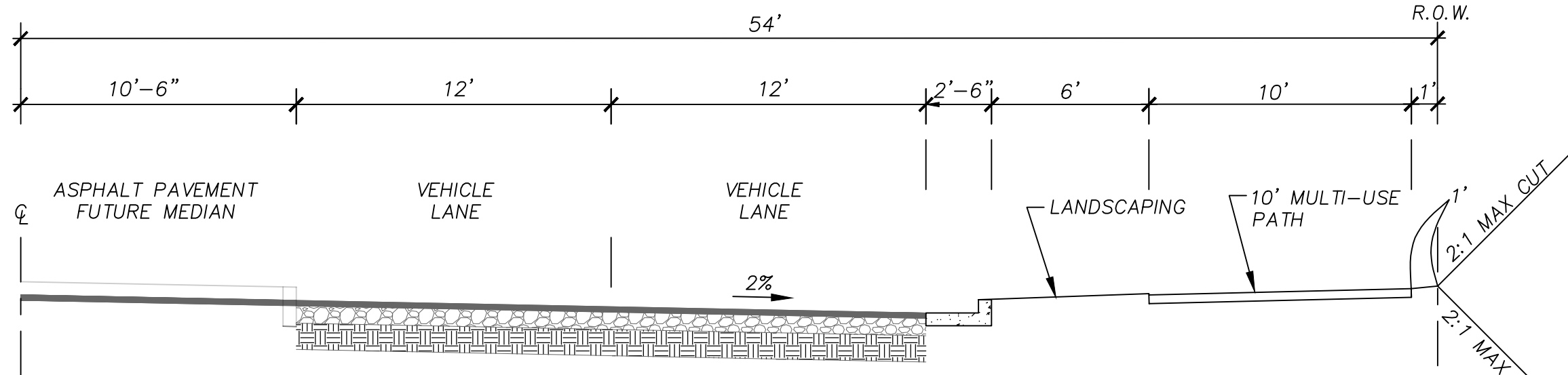
SHEET #	TOWN OF WAKE FOREST
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	SUBDIVISION MASTER PLAN
C-4	PRELIMINARY GRADING AND DRAINAGE
C-5	UTILITIES
C-6	EROSION CONTROL PLAN
C-7	LANDSCAPE PLANS

ESTIMATED IMPROVEMENT QUANTITIES	
55' RIGHT-OF-WAY	80,781.86
20' AC ALLEYWAY	32,733 SF
CONCRETE SIDEWALKS	16,471.79 SF
CURB AND GUTTER	2,556 LF



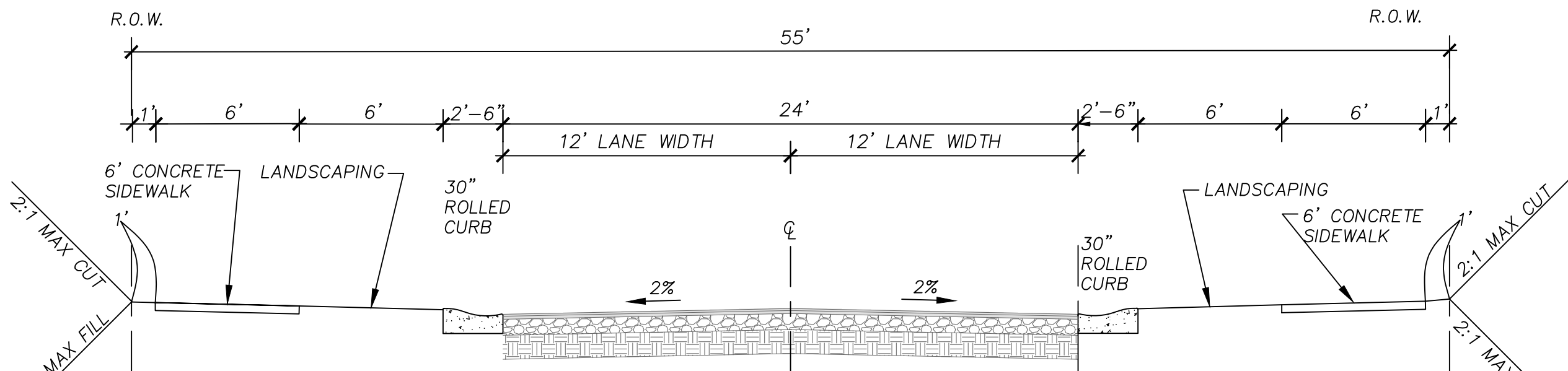
VICINITY MAP

SCALE: 1"=500'



FORESTVILLE ROAD 4A SECTION

SCALE: 1"=5'



(TYPICAL INTERNAL STREET SECTION)

SCALE: 1"=5'

- GENERAL NOTES:
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY DONE BY CMP PROFESSIONAL LAND SURVEYORS.
 - SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM WAKE COUNTY GIS DATA.
 - SITE TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF SITE ARE TAKEN FROM WAKE COUNTY GIS DATA.
 - 100 YEAR FLOOD LOCATION IS APPROXIMATE FROM FEMA FLOOD PANEL 3720174900J. EFFECTIVE DATE OF MAY 2, 2006.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAKE FOREST OR CITY OF RALEIGH AND NCDOT SPECIFICATIONS.
 - THERE WILL BE NO CONSTRUCTION PRIOR TO CONSTRUCTION PLAN APPROVAL AND PERMIT ISSUANCE BY APPROPRIATE JURISDICTION.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
 - AREA IN WATERSHED BASED ON WAKE COUNTY GIS DATA.
 - THIS DOCUMENT IS BEING PROVIDED TO DEFINE THE MINIMUM COMPLIANCE WITH THE TOWN OF WAKE FOREST PUD ZONING DISTRICT COMPLIANCE.
 - A LIGHTING PLAN SHALL BE REQUIRED FOR ALL PHASES DURING CONSTRUCTION PLAN REVIEW. A MINIMUM OF 25 FEET OF SEPARATION SHALL BE REQUIRED BETWEEN LIGHT POLES, STREET TREES, AND SIGNAGE.

DEVELOPER:

OPTIMA EQUITY GROUP, LLC
924 EVENING SNOW ST
WAKE FOREST, NC 27587

PLANS PREPARED BY:

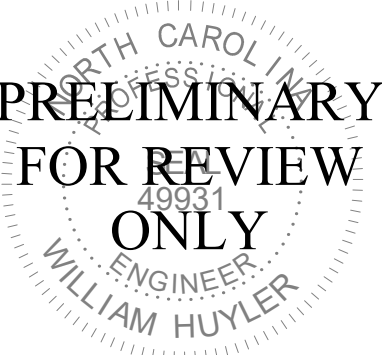
CAROLINA LAND DESIGN, PLLC
300 S. MAIN STREET SUITE 212
HOLLY SPRINGS, NC 27540

OWNERS CERTIFICATE
OWNER HEREBY CERTIFIES AND AGREES TO TAKE SUCH ACTION AS MAY BE REQUIRED BY THE TOWN OF WAKE FOREST TO CORRECT ANY ERRORS, OMISSIONS OR NON-COMPLIANCE WITH TOWN STANDARDS, AND/OR CONDITIONS DESCRIBED IN THE CONSTRUCTION PLAT, INCLUDING RESUBMISSION OR RE-EXECUTION OF THIS PLAN WITH THE APPROPRIATE CORRECTIONS AND/OR REVISIONS.

OWNER _____ DATE _____

CONTRACTORS SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF ANY EXCAVATION EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF WAKE FOREST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



FORESTVILLE ROAD SUBDIVISION
1109-1129 FORESTVILLE ROAD
WAKE FOREST, NC

SCALE:	1"=40'
DATE:	1/19/2023
PROJECT NUMBER:	SD-21-15, RZ-21-11
CLIENT:	ROBERT SHAAR
PLAN TYPE:	MASTER SITE PLAN

TITLE SHEET

REVISIONS	



300 S. MAIN STREET SUITE 212, HOLLY SPRINGS NC, 27540
PH. (760) 791-2204 WILL@CAROLINALANDDESIGN.COM FIRM# P-2390

FORESTVILLE ROAD TOWNHOMES

Sheet	1	OF	7
SHEETS		SHEETS	

CASE NUMBER RZ-21-11

PROPOSED LEGEND

AREA OF POND TO BE FILLED IN
EXISTING TREE TO BE REMOVED
EXISTING TREE TO REMAIN

EXISTING TREE DISPOSITION LIST

ID	COMMON NAME	DBH (IN)	DISPOSITION
1	OAK	20	REMOVE
2	CEDAR	13	REMOVE
3	PINE	23	KEEP
4-7	CEDAR	9,11,12,12	REMOVE
8-11	CEDAR	10,10,13,18	REMOVE
12	CEDAR	24	REMOVE
13-17	CEDAR	10,14,13,14,15	REMOVE
18-22	CEDAR	12,9,12,22,12	REMOVE
23	PINE	29	REMOVE
24	MAPLE	19	KEEP
25	CEDAR	9	KEEP
26	PINE	26	REMOVE
27	MAPLE	20	REMOVE
28-32	PINE	19,25,24,19,21	REMOVE
33	MAPLE	19	KEEP
34-35	PINE	24,22	REMOVE
36	CEDAR	8	REMOVE
37	OAK	24	REMOVE
38-40	PINE	24,21,19	REMOVE
41	PINE	25	REMOVE
42	OAK	19	REMOVE
43	CEDAR	8	REMOVE
44-48	PINE	21,26,21,21,19	REMOVE
49-53	PINE	21,18,20,25,25	REMOVE
54	CEAR	16	REMOVE
55	PINE	21	REMOVE

ID	COMMON NAME	DBH (IN)	DISPOSITION
56	HACKBERRY	27	REMOVE
57	CEDAR	10	KEEP
58	TSUGA CAROLINIANA	9	REMOVE
59	TSUGA CAROLINIANA	9	REMOVE
60	HICKORY	24	REMOVE
61	OAK	38	REMOVE
62	MAPLE	24	REMOVE
63	MAPLE	19	REMOVE
64	OAK	19	REMOVE
65	WALNUT	20	REMOVE
66	OAK	24	REMOVE
67	OAK	31	REMOVE
68	OAK	51	REMOVE
69	OAK	19	REMOVE
70	OAK	36	REMOVE
71	OAK	35	REMOVE
72-73	OAK	24,25	REMOVE
74	OAK	22	REMOVE
75	BRADFORD PEAR	18	REMOVE
76	TSUGA CAROLINIANA	9	KEEP
77	OAK	47	REMOVE
78	MAPLE	20	REMOVE
79	CEDAR	20	REMOVE
80	OAK	19	REMOVE
81	CEDAR	29	REMOVE
82	PINE	26,19	REMOVE
83	PINE	19	REMOVE

LIST OF ADJACENT PROPERTY OWNERS

ID	PIN	REAL ID	OWNER	BOOK	PAGE	ACRES	SITE ADDRESS	LAND CLASS	ZONING
1	1749477456	266710	WAKE COUNTY BOARD OF EDUCATION	13625	1724	93.84	1150 FORESTVILLE RD	EXEMPT	GR3
2	1749579226	459280	STROUD-WAKE FOREST LP	16902	1059	0.53	101 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
3	1749670248	459231	BEAZER HOMES LLC	17194	0644	0.19	109 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
4	1749671209	459235	BEAZER HOMES LLC	17194	0649	0.19	113 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
5	1749671279	459236	BEAZER HOMES LLC	18393	366	0.19	117 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
6	1749672330	459237	SHERIAN, CURTIS LEE SHERIAN, BESSIE	17542	1015	0.19	121 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
7	1749673301	459238	GURLEY, DAVID GURLEY, MELISSA	17394	1864	0.18	125 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
8	1749673362	459239	GLENN, KIMBERLY GLENN, JAMES MICHAEL	17923	1314	0.18	129 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
9	1749674334	459240	AMO, ALEXANDER AMO, LADY VANNESA	17703	1781	0.21	133 WOODSTAFF AVE	HOA	GR5 CD RZ 16-10
10	1749674463	459259	WASEM, VICTORIA AMY	18103	2139	0.18	6656 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
11	1749674478	459260	AYADURAL, SAM FERNIX DAVID JOSEPH AND MAGDALENE GEETHA	18265	1034	0.17	6652 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
12	1749674583	459261	NASERI, MOHAMMAD BASIR NASERI, MUHAJIRAH	18017	857	0.16	6648 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
13	1749674598	459262	CLAVIO, LEONOR CABALLERO, VICTOR HUGO SANDOVAL	18214	2467	0.17	6644 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
14	1749675608	459263	KANG, DONGCHEUL PARK, YOUNGMI	17799	187	0.15	6640 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
15	1749675713	459264	GROVES, HEATHER L GROVES, JEREMY C	17819	136	0.15	6636 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
16	1749675718	459265	BRICENO, OSCAR J ROZO PERMODA, FRANCYS SAAVEDRA	17974	1595	0.15	6632 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
17	1749675834	459266	ANDERSON, DOREEN	17842	1015	0.17	6628 PENFIELD ST	RES < 10 AC	RMX CD RZ 16-10
18	1749673958	466684	STROUD - WAKE FOREST LP	16902	1059	1.09	0 SIMWOOD AVE	HOA	RMX CD RZ 16-10
19	1749680097	135865	OPTIMAL EQUITY GROUP LLC	17673	02089	2.13	1021 FORESTVILLE RD	COMMERCIAL	NB CD RZ-17-13

* TREE SURVEY CONDUCTED ON JULY 28TH 2021 BY CAWTHORNE MOSS & PANCIERA

EXISTING TOPOGRAPHY

EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM 2017 WAKE COUNTY TOPO MAPS. THE BOUNDARY AND STRUCTURE SURVEY WAS CONDUCTED BY CAWTHORN, MOSS AND PANCIERA DATED: 7/30/2021

FORESTVILLE ROAD SUBDIVISION
1109-1129 FORESTVILLE ROAD
WAKE FOREST, NC

SCALE:	1"=40'
DATE:	10/12/2021
PROJECT NUMBER:	SD-21-15, RZ-21-11
CLIENT:	ROBERT SHAAR
PLAN TYPE:	MASTER SITE PLAN

EXISTING CONDITIONS

REVISIONS

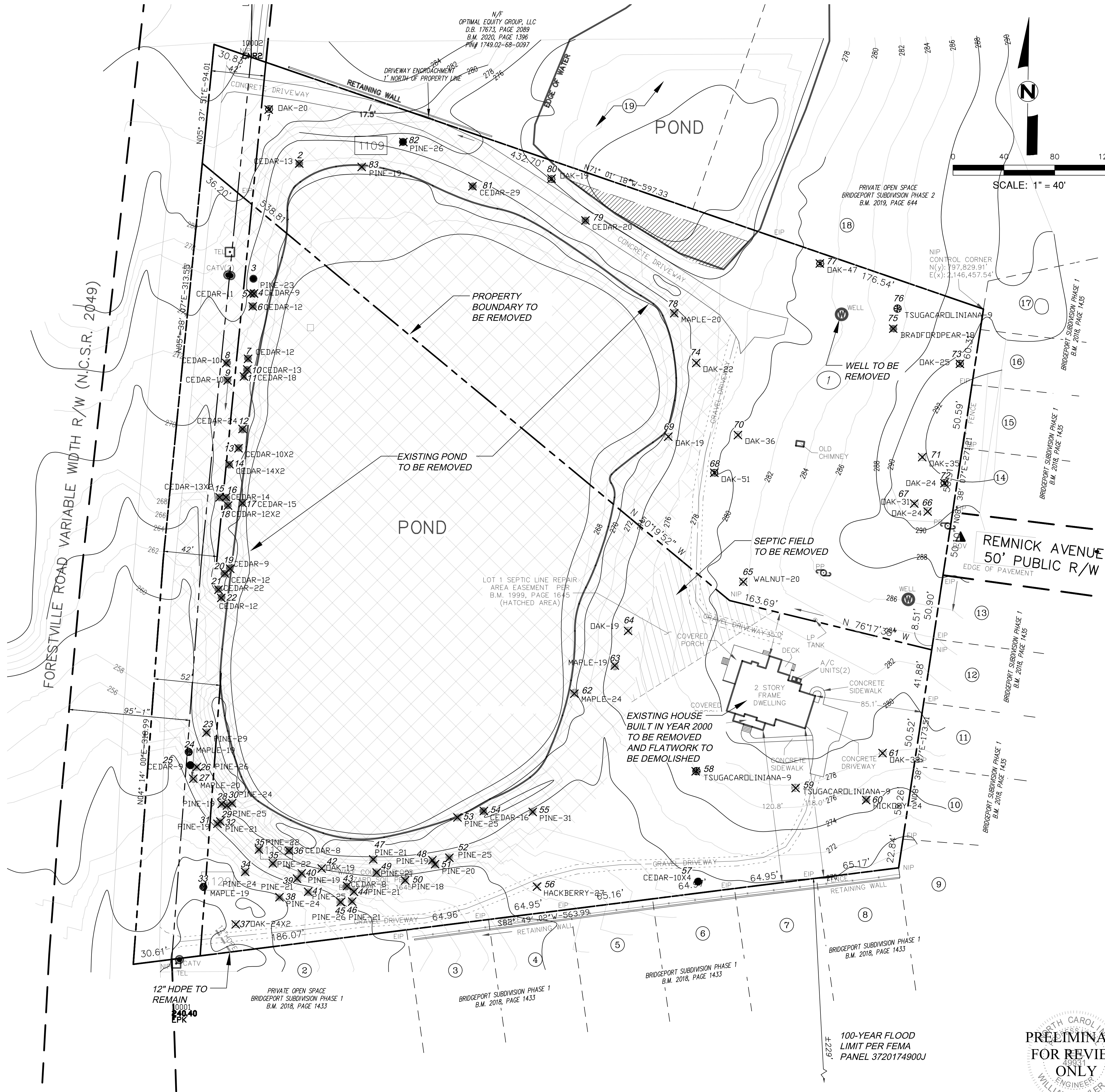


300 S. MAIN STREET SUITE 212, HOLLY SPRINGS NC, 27540
PH. (760) 791-2204 WILL@CAROLINALANDDESIGN.COM FIRM# P-2390

FORESTVILLE ROAD TOWNHOMES

Sheet 2 OF 7
SHEETS

CASE NUMBER XXXXXX



PROPOSED LEGEND

SETBACK LINE
CURB AND GUTTER
SIDEWALK

AREAS
OPEN SPACE

LANDSCAPING

POND BUFFER AND POND TO BE REMOVED

AC PAVEMENT

STORMWATER BASIN

WATER & SEWER

PROPOSED SEWER
PROPOSED WATER
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
SEWER MANHOLE
SEWER CLEANOUT
WATER SERVICE
SEWER LATERAL

DRAINAGE

PROPOSED SWALE
STORMDRAIN INLET
STORMDRAIN LINE

LOT AREAS		
LOT #	AREA (S.F.)	IMPERVIOUS AREA MAX S.F.
1	2295.00	90% (TYPICAL)
2	1870.00	
3	1870.00	
4	1870.00	
5	2295.00	
6	2295.00	
7	1870.00	
8	1870.00	
9	1870.00	
10	1870.00	
11	1870.00	
12	1870.00	
13	1870.00	
14	1870.00	
15	2292.83	
16	1870.00	
17	1870.00	
18	1870.00	
19	1868.56	
20	1870.00	

LOT AREAS		
LOT #	AREA (S.F.)	IMPERVIOUS AREA MAX S.F.
21	1870.00	
22	1870.00	
23	1870.00	
24	1870.00	
25	1870.00	
26	1870.00	
27	1870.00	
28	2170.83	
29	2295.00	
30	1870.00	
31	1870.00	
32	1870.00	
33	1870.00	
34	1870.00	
35	1870.00	
36	1870.00	
37	2295.00	
38	1870.15	
39	1861.65	
40	1852.90	

LOT AREAS		
LOT #	AREA (S.F.)	IMPERVIOUS AREA MAX S.F.
41	1852.76	
42	1874.24	
43	1870.00	
44	1870.00	
45	1870.00	
46	1870.00	
47	1870.00	
48	1870.00	
49	1870.00	
50	1870.00	
51	1870.00	
52	2290.14	
53	2295.13	
54	1870.11	
55	1870.11	
56	1870.11	
57	1870.11	
58	1870.11	
59	1870.11	
60	2295.00	

LOT AREAS		
LOT #	AREA (S.F.)	IMPERVIOUS AREA MAX S.F.
61	1870.00	
62	1870.00	
63	2295.00	

MID LOT SIDE LOT

20'-27'-29'

22'-24'-22'-24'

5' MINIMUM

TYPICAL LOT LAYOUT

AREA CALCULATIONS	
EXISTING GROSS SITE AREA	8.197 AC
EXISTING NET SITE AREA	7.701 AC
DEDICATION TO FORESTVILLE ROAD	32,930.87 - 0.756 AC
PROPOSED NET SITE AREA	324,119.79 - 7.441 AC
INTERNAL PUBLIC RIGHT OF WAYS	79,093.5 SF - 1.816 AC
PRIVATE EASEMENTS FOR DRIVEWAYS AND PARKING	33,226.45 - 0.751 AC
TOWNHOUSE LOTS	122,319.60 SF - 2.808 AC
OPEN SPACE (LANDSCAPING)	47,210.84 SF - 1.084 AC
LANDSCAPING BUFFER	34,658.97 SF - 0.796 AC
PARK SPACE	8,103 SF - 0.186 AC

The subdivision master plan illustrates a residential development with 63 total units. The lots are arranged in a grid-like fashion, with some units grouped together (e.g., 15 units in one block, 11 units in another, 9 units in another, 10 units in another, and 3 units in another). The plan includes streets such as Forestville Road, Remnick Avenue, and Street A, B, and C. It also shows infrastructure like a stormwater control area, a pond, and various easements. The plan is detailed with dimensions, bearings, and area calculations. A north arrow and a scale of 1" = 40' are provided. The plan is labeled 'SUBDIVISION MASTER PLAN' and 'FORESTVILLE ROAD TOWNHOMES'.

FORESTVILLE ROAD SUBDIVISION
1109-1129 FORESTVILLE ROAD
WAKE FOREST, NC

SCALE: 1"=40'

DATE: 1/19/2023

PROJECT NUMBER: SD-21-15, RZ-21-11

CLIENT: ROBERT SHAAR

PLAN TYPE: MASTER SITE PLAN

SUBDIVISION MASTER PLAN

REVISIONS

CAROLINA LAND DESIGN

CIVIL ENGINEERING • PLANNING & CONSULTING

300 S. MAIN STREET SUITE 212, HOLLY SPRINGS NC, 27540

PH. (760) 791-2204 WILL@CAROLINALANDDESIGN.COM FIRM# P-2390

FORESTVILLE ROAD TOWNHOMES

Sheet 3 OF 7 Sheets

CASE NUMBER RZ-21-11

PRELIMINARY
FOR REVIEW
ONLY
WILLIAM HUYLER

PROPOSED LEGEND

SETBACK LINE
CURB AND GUTTER
SIDEWALK

AREAS

OPEN SPACE
LANDSCAPING
POND BUFFER AND POND TO BE REMOVED
AC PAVEMENT
STORMWATER BASIN

WATER & SEWER

PROPOSED SEWER
PROPOSED WATER
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
SEWER MANHOLE
SEWER CLEANOUT
WATER SERVICE
SEWER LATERAL

DRAINAGE

PROPOSED SWALE
STORMDRAIN INLET
STORMDRAIN LINE
DRAINAGE BASIN BOUNDARY
DRAINAGE DIRECTION

PROJECT STORMWATER REQUIREMENTS

1. DETENTION OF THE 1-YEAR AND 10-YEAR STORM TO PREDEVELOPMENT RELEASE RATES.
2. REMOVAL OF 85% TOTAL SUSPENDED SOLIDS.

GENERAL NOTE:

THE PLANS AND REPORTS AFFILIATED WITH THIS PROJECT ARE PRELIMINARY AND ARE SUBJECT TO CHANGE. THIS INCLUDES ALL PIPE SIZES, LENGTHS AND DETAILS. THE FINAL CONSTRUCTION PHASE SHALL COMPLY WITH ALL LOCAL, FEDERAL AND STATE REGULATIONS.

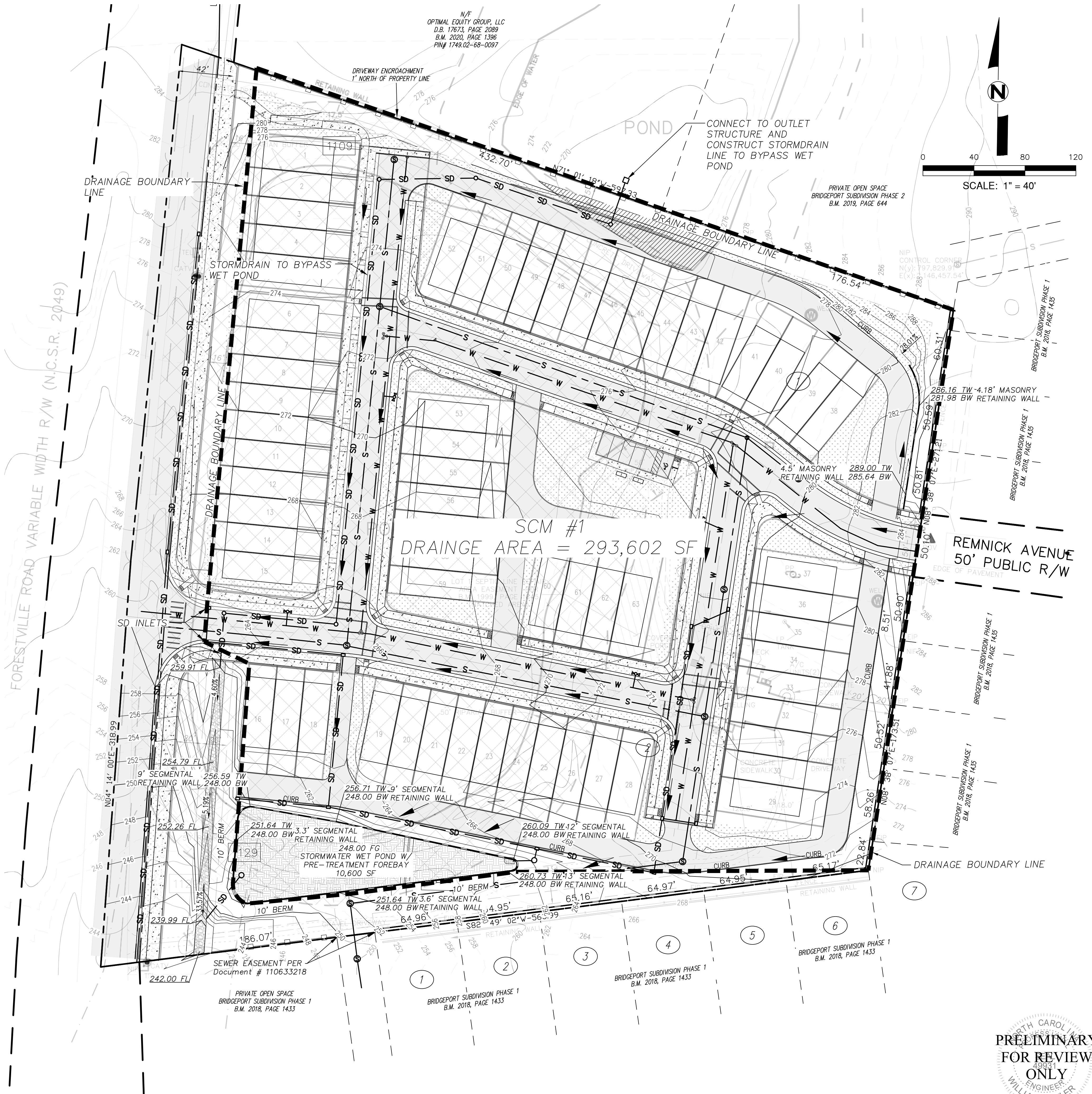
STORMWATER MANAGEMENT NOTE:

THE FINAL CONSTRUCTION PHASE DESIGN PROVIDE THE DETAILS FOR STORMWATER CONTROL DEVICES. THE TOWN OF WAKE FOREST AND THE NC DIVISION OF WATER RESOURCE STANDARDS WILL REGULATE THE DESIGN OF THE STORMATER DEVICES AND THESE PLANS SHALL COMPLY.

SCM #	DRAINAGE AREA	ESTIMATED IMPERVIOUS AREA	DEVICE TYPE	REQUIRED SURFACE AREA	WATER QUALITY VOLUME (1")	DETENTION VOLUME (1-YEAR)	PROVIDED SURFACE AREA	POND DEPTH
1	293602	65.70%	WET POND	5,801	17,404 CF	TBD	10,600	3'

HYDROLOGIC SOIL TYPES: (PER WEB SOIL SURVEY)

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
RgC	Rawlings-Rion complex, 6 to 10 percent slopes	C	0.3	3.7%
RgD	Rawlings-Rion complex, 10 to 15 percent slopes	C	3.2	40.1%
W	Water		3.4	43.4%
WaC	Wake-Rolesville complex, 6 to 10 percent slopes, very rocky	D	0.0	0.2%
WaE	Wake-Rolesville complex, 15 to 25 percent slopes, very rocky	D	0.2	2.8%
WtB	Wedowee-Saw complex, 2 to 6 percent slopes	D	0.8	9.8%
Totals for Area of Interest			7.9	100.0%



FORESTVILLE ROAD SUBDIVISION
1109-1129 FORESTVILLE ROAD
WAKE FOREST, NC

SCALE: 1"=40'
DATE: 10/12/2021
PROJECT NUMBER: SD-21-15, RZ-21-11
CLIENT: ROBERT SHAAR
PLAN TYPE: MASTER SITE PLAN

GRADING AND DRAINAGE PLAN

REVISIONS

CAROLINA LAND DESIGN
CIVIL ENGINEERING - PLANNING & CONSULTING

300 S. MAIN STREET SUITE 212, HOLLY SPRINGS NC, 27540
PH. (760) 791-2204 WILL@CAROLINALANDDESIGN.COM FIRM# P-2390

FORESTVILLE ROAD TOWNHOMES

Sheet 4 OF 7
SHEETS

CASE NUMBER XXXXXX

PRELIMINARY
FOR REVIEW
ONLY
WILLIAM HUYLER

PROPOSED LEGEND

BOUNDARY LINE
SETBACK LINE
CURB AND GUTTER
RETAINING WALL
SIDEWALK

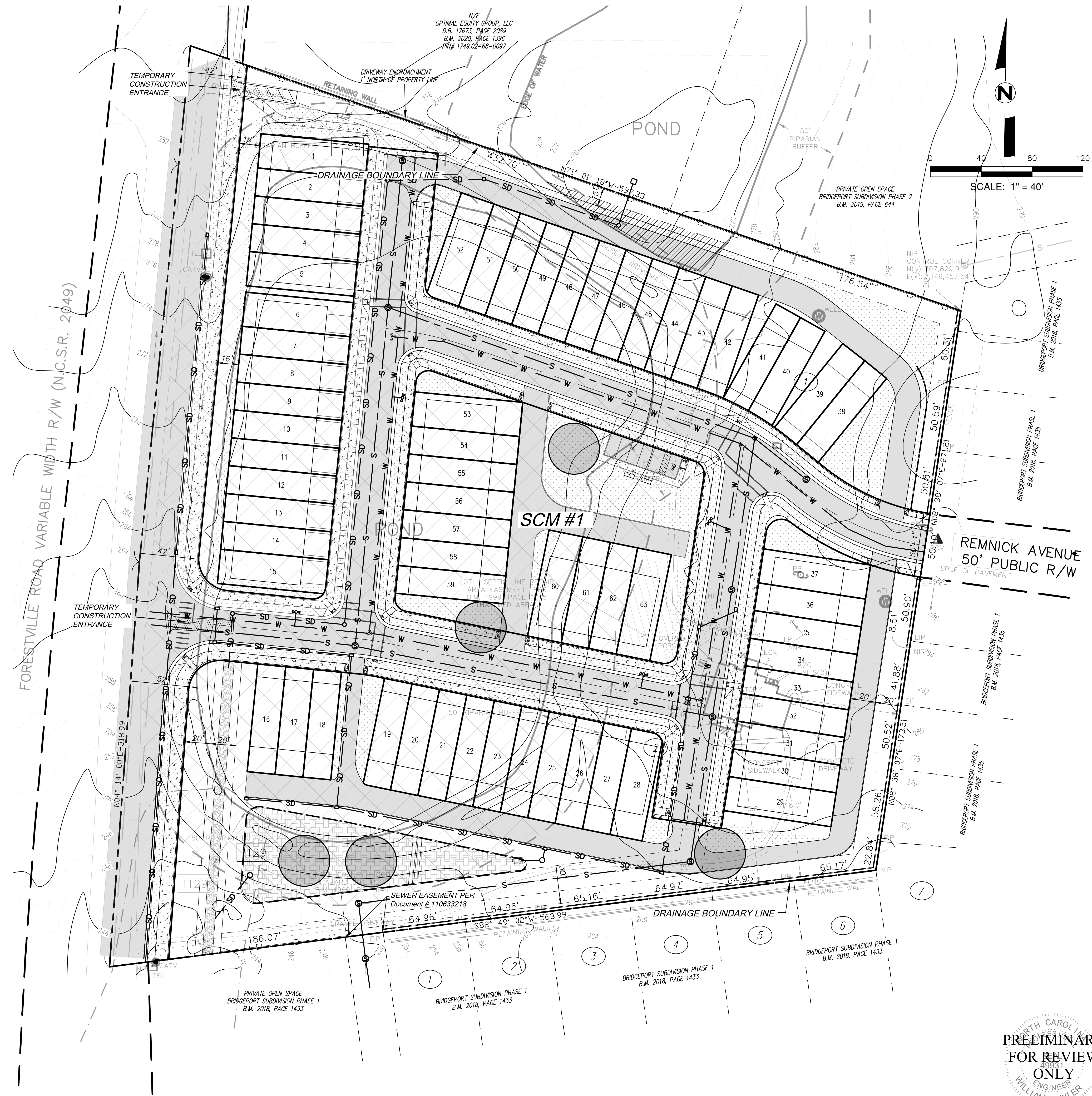
AREAS
TREE PERSERVATION
OPEN SPACE
RECREATION OPEN SPACE/LANDSCAPING
POND BUFFER AND POND TO BE REMOVED
AC PAVEMENT

WATER & SEWER

PROPOSED SEWER
PROPOSED WATER
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
SEWER MANHOLE
SEWER CLEANOUT
WATER SERVICE
SEWER LATERAL

DRAINAGE
PROPOSED SWALE
STORMDRAIN INLET
STORMDRAIN LINE
DRAINAGE BASIN BOUNDARY
TEMPORARY CONSTRUCTION ENTRANCE
TEMPORARY SEDIMENT BASIN

STORMWATER MANAGEMENT NOTE:
THE FINAL CONSTRUCTION PHASE DESIGN PROVIDE THE DETAILS FOR STORMWATER CONTROL DEVICES. THE TOWN OF WAKE FOREST AND THE NC DIVISION OF WATER RESOURCE STANDARDS WILL REGULATE THE DESIGN OF THE STORMATER DEVICES AND THESE PLANS SHALL COMPLY.



EROSION CONTROL PLAN

REVISIONS	

PROPOSED LEGEND

SETBACK LINE
CURB AND GUTTER
SIDEWALK
EXISTING TREES TO REMAIN

AREAS

OPEN SPACE/ LANDSCAPE BUFFER	57,205 SF
LANDSCAPING (PRIVATE)	42,063.68 SF
ACTIVE OPEN SPACE & PARK SPACE	8,103 SF
AC PAVEMENT	67,613.05 SF
STORMWATER BASIN	10,717.73 SF
AREA OF POND TO BE FILLED IN	
CANOPY TREE PER 8.3.1, 8.6.1	86 LS
STREET LIGHTING PER 10.3.7, .3 & .8 FOOT CANDLES REQUIRED,	36
EXISTING CANOPY TREE TO REMAIN	

*STREET LIGHTING ASSUMED TO BE 2000 LUMENS PER STREET LIGHT
2000 LUMENS SHALL HAVE 80 FT DISTANCE OR LESS PER 10.3.7 DUE TO

RESIDENTIAL STREET IS .3 FOOT CANDLES = 2000 LUMENS/DISTANCE² = 81 FEET OR LESS

FORESTVILLE ROAD IS .8 FOOT CANDLES = 2000 LUMENS/DISTANCE² = 50 FEET OR LESS

MINIMUM CANOPY COVERAGE REQUIREMENT

RMX DISTRICT SHALL HAVE 1 CANOPY TREE PER 10,000 SQ. FT. OF PARCEL AREA.
PROPERTY SHALL HAVE A MINIMUM OF 33 CANOPY TREES PER 8.3.1
SPECIMEN TREES TO BE REMOVED REQUIRE AN ADDITIONAL 4 CREDITS PER TREE REMOVED

THEREFORE, 33+(40 SPECIMENS X 4) - TREE PRESERVATION CREDIT (25) = 168 CANOPY TREES REQUIRED

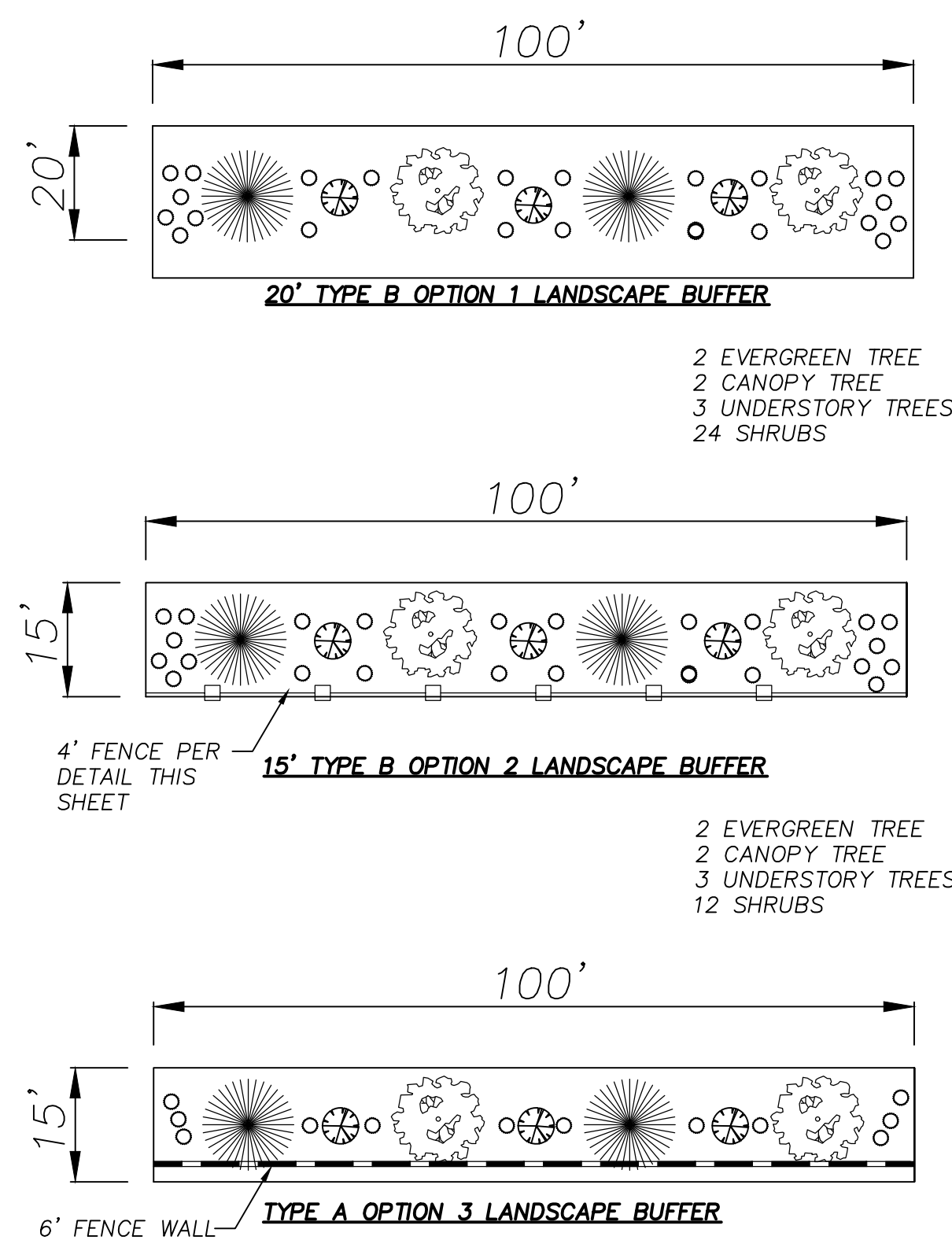
CANOPY CREDIT MINIMUM = 168

PROPOSED CANOPY TREES

46 STREET CANOPY TREES PROPOSED
41 LANDSCAPE BUFFER CANOPY TREES PROPOSED
35 OPEN SPACE TREES PROPOSED
NUMBER OF PROPOSED CANOPY TREES = 94 CANOPY TREES

TREE PRESERVATION CREDIT (25) + PROPOSED CANOPY TREES (146) = 171 CREDITS

PROPOSED TREE CREDIT = 171 CREDITS WHICH EXCEEDS MINIMUM



SPECIMEN TREES TO BE REMOVED

TYPE	QUANTITY	ADDITIONAL CREDIT NEEDED
DBH BETWEEN 20" & 30"	35	140
DBH BETWEEN 31" & 41	3	12
DBH GREATER THAN 42"	2	8
SUM	40	160

TREE PRESERVATION CREDIT

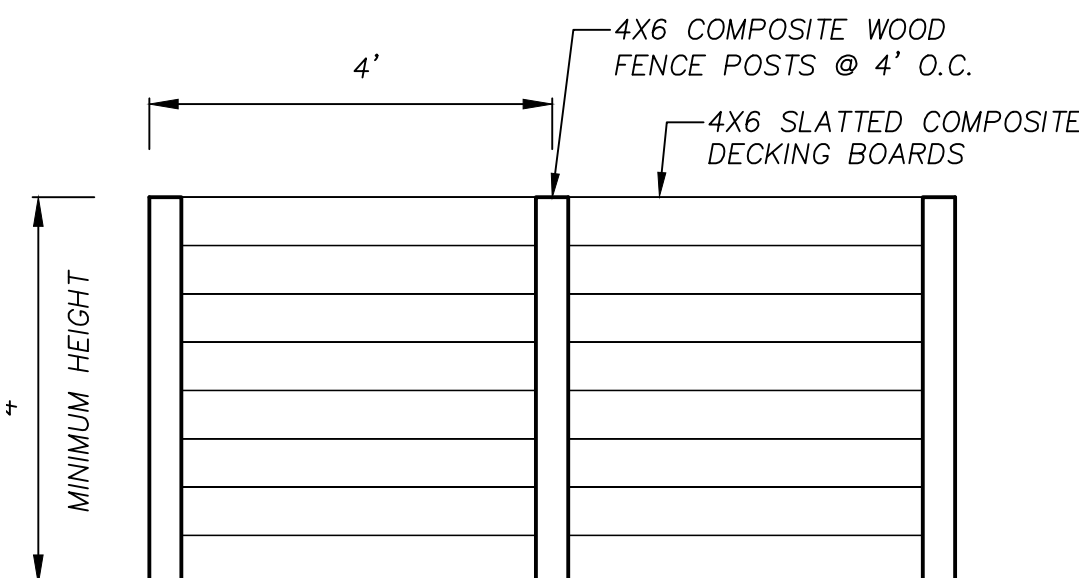
TYPE	QUANTITY	CREDIT
8"+ UNDERSTORY	5	10
DBH BETWEEN 20" & 30"	2	15
DBH BETWEEN 31" & 41	0	0
DBH GREATER THAN 42"	0	0
TOTAL CREDIT		25

PROPOSED CANOPY TREES

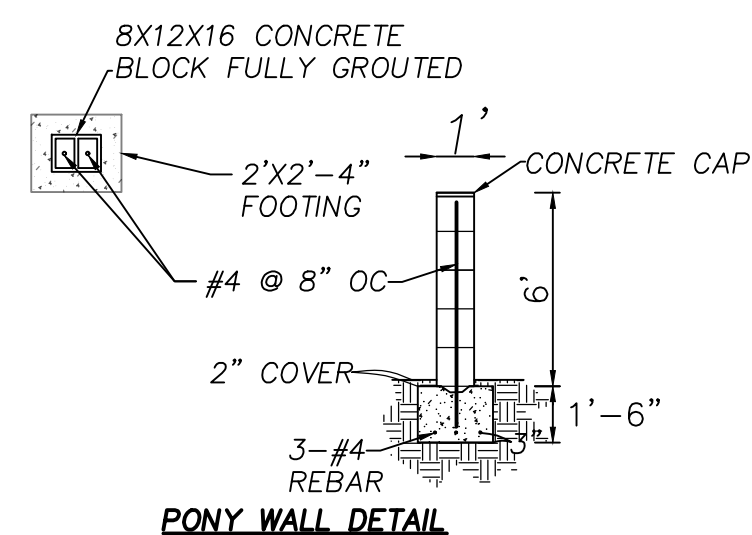
TYPE	LENGTH (LF)	REQUIRED PER 100 FEET	AMOUNT REQUIRED	TOTAL PROPOSED
TYPE A OPTION 3 CANOPY	769	1	8	16
TYPE B OPTION 2 CANOPY	675	1	7	13
TYPE B OPTION 1 CANOPY	631	2	12	12
STREET CANOPY TREES				67
OPEN SPACE CANOPY TREES				38
TOTAL CANOPY TREES				146

BUFFER VEGETATION

TYPE	LENGTH (LF)	REQUIRED PER 100 FEET	AMOUNT REQUIRED	AMOUNT PROPOSED
EVERGREEN	2075	2	42	43
UNDERSTORY	2075	3	62	62
SHRUB - TYPE A OPTION 3	769	18	138	138
SHRUB - TYPE B OPTION 2	675	12	81	81
SHRUB - TYPE B OPTION 1	631	24	151	151



4' FENCE DETAIL



PONY WALL DETAIL

