



TOWN *of* WAKE FOREST

Planning Board Meeting Agenda December 12, 2023 at 6:00 PM

Notice

In accordance with the requirements of Title II of the Americans with Disability Act of 1990 (ADA), the Town of Wake Forest will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. For individuals with impaired hearing, special equipment is available for use during meetings in the Town Hall Board Chambers. Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of the Town of Wake Forest should contact the office of ADA Coordinator [Mickey Rochelle](#) at 919-435-9455 or Deputy Town Clerk [Ella Dowtin](#) at 919-435-9436 as soon as possible, but no later than 48 hours before the scheduled event.

Cable & Online Broadcast of Planning Board Meetings

All Planning Board meetings are broadcast live on [WFTV 10](#) beginning at 6:00 p.m. Meetings are also aired online on the [Public Meetings Portal](#) on the [Town of Wake Forest website](#). Archived meeting videos are also provided and available for one year after the original air date.

Meeting Agendas

[Planning Board](#) meeting agendas are typically available to be viewed and downloaded by noon on the Friday prior to the second Tuesday of each month. Citizens may also receive a copy of each month's agenda via email by enrolling in the Town's free [E-Notifier](#) subscription service.

Public Comment

Those wishing to speak must first register to speak no later than 3:00 p.m. the day of the meeting. The forms to register to speak and provide written comments are available at <https://www.wakeforestnc.gov/ph>.

At the appropriate time, the Planning Board Chair will acknowledge those persons who have registered to speak. They will be called upon in the order registered. Speakers will address the Board as a whole, from the podium at the front of the room, and begin their remarks by stating their name and address. At the end of public comment, the Chair may summarize the discussion from the public comment. While not required, the Chair may ask staff or the applicant to respond. Speakers

needing additional information or questions answered will be contacted by the Deputy Town Clerk and provided contact information for the appropriate staff person.

Unless otherwise indicated by the Chair, individual comments shall be limited to three minutes. Groups are encouraged to designate a lead speaker on their behalf, and when addressing the Board, the speaker must first identify the group they are representing and will be given no more than ten minutes to give comments. Once comments have been made, speakers cannot speak again, unless specifically called upon by the Chair. The Chair may, at his/her discretion, interrupt public comment and elect to continue it to another meeting due to, among other reasons, the lateness of the hour or to allow consideration of other items on the agenda.

When public comment sessions are continued from previous meetings, previous individuals that have spoken, either representing themselves or a group, cannot speak at a continued public comment session, unless specifically called upon by the Chair. Additionally, speakers cannot both represent themselves individually and speak on behalf of a group throughout public comment periods, even if held over multiple sessions.

1.Call to Order

2.Adoption of Agenda

3.Approval of Minutes

- 3.A. October 10, 2023
[10-10-2023 Planning Board Minutes DRAFT 1.pdf](#)
- 3.B. November 14, 2023
[11-14-2023 Planning Board Minutes.pdf](#)

4.Presentations

- 4.A. Outgoing Planning Board Member Presentation of Certificates

5.Old Business with Public Comment

6.Old Business

7.New Business with Public Comment

- 7.A. Consideration of LEGISLATIVE CASE RZ-23-08, Farm Road Townhomes, a conditional rezoning filed by Kevin Neshat on behalf of Lofts at South Main, LLC, to

rezone 3.06 acres located at 1701 Farm Ridge Road, 1702 Farm Ridge Road, 1709 Farm Ridge Road, 1710 Farm Ridge Road, 1715 Farm Ridge Road, and 128 Farm Road, being Wake County Tax PIN(s) 1840029915, 1840037051, 1840028856, 1840027902, 1840026891, and 1840120841, from General Residential 3 (GR3) to General Residential 10 Conditional District (GR10-CD) and Neighborhood Business Conditional District (NB-CD).

[RZ-23-08 Staff Report.pdf](#)

[Attachment A - Neighborhood Meeting Meeting Information.pdf](#)

[Attachment B - Application.pdf](#)

[Attachment C - Maps.pdf](#)

[Attachment D - Plan Consistency Analysis.pdf](#)

[Exhibit 1 - Proposed Farm Road Townhomes Master Plan.pdf](#)

- 7.B. Consideration of LEGISLATIVE CASE RZ-23-07, 200 Stephen Taylor Road, a rezoning filed by Marion Jordan to rezone 1.008 acres located at 200 Stephen Taylor Dr, being Franklin County Tax PIN 1842826404 from Franklin County's Residential 30 (R-30) to Wake Forest's General Residential 3 (GR3).

[RZ-23-07 Staff Report.pdf](#)

[Attachment A - Neighborhood Meeting Minutes.pdf](#)

[Attachment B - Application.pdf](#)

[Attachment C - Maps.pdf](#)

8.New Business

- 8.A. Appoint Chair and Vice-Chair for the 2024 Calendar Year

9.Staff Comments

10.Planning Board Comments

11.Adjournment



Planning Board Agenda Item Report

Agenda Item No.: 2023-346-

Submitted by: Ella Dowtin

Submitting Department: Planning

Meeting Date: December 12, 2023

SUBJECT

October 10, 2023

Recommendation:

Item Summary:

ATTACHMENTS

- [10-10-2023 Planning Board Minutes DRAFT 1.pdf](#)



Wake Forest Planning Board Minutes

The Wake Forest Planning Board met on **Tuesday, October 10, 2023**, at **6:00 p.m.** in the Board Room at Wake Forest Town Hall, 301 S Brooks Street.

Planning Board Members present: Karin Kuropas, Michael Siderio, Michael Almquist, Michael Hickey, and Sheila Bishop

Planning Board Members absent: N/A

Staff Members present: Planning Director Courtney Tanner, Assistant Planning Director Jennifer Currin, Senior Planner Patrick Reidy, and Deputy Town Clerk Ella Downtin

1. Call to Order

Chair Kuropas called the meeting to order at 6:00 p.m.

2. Adoption of Agenda

ACTION:

Mover: Michael Hickey moved to adopt the agenda as presented.

Second: Michael Almquist.

Vote: Motion carried 5-0.

3. Approval of Minutes

3.A. Approval of Minutes

ACTION:

Mover: Sheila Bishop moved to approve August 21, 2023, September 6, 2023, and September 12, 2023, minutes.

Seconder: Michael Hickey.

Vote: Motion carried 5-0.

4. Presentations

No Presentations Presented.

5. Old Business with Public Comment
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No Old Business with Public Comment Presented.

6. Old Business

No Old Business Presented.

7. New Business with Public Comment
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7.A. Presentation of LEGISLATIVE CASE RZ-23-02, Stadium Drive Mixed Use, a rezoning filed by Williams Mullen to rezone 19.30 acres located at 0 Stadium Dr, being Wake County Tax PIN 1831957846 from Rural Holding District (RD) and Special Highway Overlay (SH1-O) to Neighborhood Mixed-Use Conditional District (NMX-CD) and Special Highway Overlay (SH1-O).

Senior Planner Patrick Reidy provided the staff report for case RZ-23-02, Stadium Drive Mixed Use rezoning.

Discussion

Michael Hickey asked should the Capital Boulevard improvements occur; would the service road be removed. Patrick Reidy responded that the U-5307 service road would remain, and you would have the option to take the bridge to the other side of US 1. Mr. Siderio asked if there is a concern for more traffic in this area. Mr. Reidy responded yes; it is envisioned as a long-term service road.

Shelia Bishop asked for an explanation of walking to the shopping center. Mr. Reidy responded that there is a sidewalk connection at the south end and along the main service road.

Mr. Siderio asked, if the road is realigned, will the intersection go away. Mr. Reidy responded it could go away if they make it a hot spot interchange. Mr. Siderio asked if there was to be a hot spot interchange, would there be a light at the intersection. Mr. Reidy responded there probably would not be a light; but a four-way stop.

Michael Almquist asked if the bus stop would be moved or if it would remain in the same place. Mr. Reidy responded the idea is to move the bus stop and for it to have a shelter. Mr. Almquist asked if it would be walkable. Mr. Reidy responded yes; you have the sidewalk connection to the backside of the development. Mr. Almquist asked will there be walkability for the people coming from the other side. Mr. Reidy responded that the public transit plan has just been completed and that he doesn't know how the two different loops are going to go but there will be bus service available. Mr. Almquist asked if there is any consideration to a traffic signal being placed at the proposed intersection with the shopping center which could be an issue if there is no light there. Mr. Reidy responded DOT will not place a light at that intersection.

Ms. Bishop asked if you have to go up to the light on Capital Boulevard to cross the street to walk from Wake Forest Shopping Center to the proposed development because there will not be a light at the shopping center driveway. Mr. Reidy responded that the property is owned by the seminary, so the frontage improvements don't extend past the intersection.

Mr. Siderio asked about the requested parking space reduction of 1.8 spacing versus 1.52; has this concession been made in the past for other developments? Mr. Reidy responded that parking reductions have been approved by the Board in the past. Since this development is mixed use, being under parked is not a big concern. Mr. Siderio asked if the Unified Development Ordinance (UDO) is planning on being updated. Mr. Reidy responded yes; the UDO is going to be updated. Mr. Siderio asked what it means when the Planning Department says, "generally consistent." Mr. Reidy responded it refers to the Community Plan consistency matrix that is provided; staff evaluates how many policies the developer has achieved. Not all policies carry the same weight. Mr. Siderio asked will there be a barricade between the road and the sidewalk. Mr. Reidy responded that he didn't know about a barricade.

Mr. Hickey asked why stipulations are proposed for no balconies on the back or southwest side of the building. Mr. Reidy responded that it was at the request of the neighbors. Mr. Hickey asked why a crosswalk is proposed from the shopping center to the development. Mr. Reidy responded that the developer is okay with putting the crosswalk there however we don't know if the Department of Transportation (DOT) will approve it because it's not a stop light condition.

Ms. Bishop asked for clarity on the land that is not owned by the seminary at the corner; what size is it. Mr. Reidy responded he's not sure of the exact size but thinks it is approximately 2.5 acres.

Tom Johnson, of Williams Mullen on behalf of the developer, provided a presentation for Stadium Drive Mixed Use Conditional District.

Public Hearing Opened.

Public Comments

Elizabeth Howell 400 Kilmarnock Ct – Wake Forest NC 27587; opposed to zoning.

Melissa Alonso 715 Durham Rd – Wake Forest NC 27587; opposed to zoning.

Margaret Watkins 407 Belmellen Ct – Wake Forest NC 27587; opposed zoning.

Angela Dipaolo 929 Barnford Mill Rd – Wake Forest NC 27587; opposed zoning.

Public Hearing Closed.

Discussion

The board had an open discussion in reference to the mixed-use zoning; before making a motion to approve or deny Case RZ-23-02.

ACTION:

Mover: Michael Almquist moved to approve RZ-23-02 Stadium Drive Mixed-Use Conditional District finding this project consistent with the Community and Comprehensive Plan with the following recommendations to the developer and Board of Commissioners

1. Include more specificity to the public art committee,
2. Better define how placemaking will be provided;
3. Include green infrastructure provisions such as swales or bio-retention cells;

4. Offer a crosswalk from the project to the shopping center after consultation with DOT and

5. Provide building rendering to include first-class aesthetics.

Seconder: Michael Hickey.

Vote: Motion carried 5-0.

The Meeting Recessed at 7:50 p.m.

The Meeting Reconvened at 8:00 p.m.

7.B. Consideration of Community Plan Amendment related to the Wake Forest/Raleigh Utility Merger Agreement (CPA-23-03)

Planning Director Courtney Tanner provided the staff report for case CPA-23-03, Wake Forest/Raleigh Utility Merger Agreement.

Discussion

Michael Siderio asked for confirmation that the 500 acres are not in the Town limits or ETJ. Ms. Tanner responded yes, that is correct. Mr. Hickey asked if we are planning to bring this into the Town limits. Ms. Tanner responded no, unless a property owner requests an annexations and rezoning.

Michael Almquist asked if the conservation design is being carried over to the UDO. Ms. Tanner responded it would most likely be an option but not a zoning district; instead, specific districts would have certain options of how it is developed under the conservation subdivision requirements.

Sheila Bishop asked for clarification on the three units per acre. Ms. Tanner responded yes, that is correct it cannot exceed the maximum of three units per acre if the property was developed under the Wake Forest zoning ordinance. Ms. Bishop asked if the property would be annexed. Ms. Tanner responded that if a property owner desired they could submit an application to be annexed and rezoned in order to receive those utilities which is consistent with the merger agreement.

Mr. Siderio asked if this opens up the opportunity in the future for someone to come in and purchase a parcel and ask for it to be rezoned for a higher density. Ms. Tanner responded that they can be operated under the R-80W of Wake County. Mr. Hickey asked if the rezoning would come through Wake County. Ms. Tanner responded no, that the rezoning would come through the Town of Wake Forest; if the property owner

didn't want to connect to utilities, they could choose to develop under Wake County's regulations. They would only be required to go through annexation and rezoning in Wake Forest if they wanted water and sewer utilities.

Public Hearing Opened.

Public Comments

Peter Pascucci 1539 Monterey Bay Dr – Wake Forest NC 27587; opposed.
Dillard Keels 1629 Santa Lucia St – Wake Forest NC 27587; opposed.
Jeff Spaeder 724 Reserve Estates Dr – Wake Forest NC 27587; opposed.
David Townsend 1164 Calista Dr – Wake Forest NC 27587; opposed.
Frank Walker 1440 Santa Lucia St – Wake Forest NC 27587; opposed.
Lori Walker 1440 Santa Lucia St – Wake Forest NC 27587; opposed.
Lynn Rannels 7221 Rusted Oak Rd – Wake Forest NC 27587; opposed.
Mac Sligh 1122 Mendocino St – Wake Forest NC 27587; opposed.
Neil Sullivan 1424 Santa Lucia St – Wake Forest NC 27587; opposed.
Linda Puschauver 1460 Santa Lucia St – Wake Forest NC 27587; opposed.
Barbara Cather 1510 Santa Lucia St – Wake Forest NC 27587; opposed.
Laura Bowen 1550 Santa Lucia St – Wake Forest NC 27587; opposed.
Don Bowen 1550 Santa Lucia St – Wake Forest NC 27587; opposed.
Kate Olsen 1108 Dunn Creek Crossing – Wake Forest NC 27587; opposed.
Robb Olsen 1108 Dunn Creek Crossing – Wake Forest NC 27587; opposed.

Public hearing closed.

Discussion

Mr. Siderio asked what this exactly is about; is it changing the zoning so that there is public water. Ms. Tanner responded that this is about providing guidance should someone request municipal water and sewer. There would be guidance to staff, the planning board, and the board of commissioners on how to rezone the property.

Mr. Hickey asked if it is required for individual landowners to apply for Raleigh water. Ms. Tanner responded it is required in order to have water and/or sewer that you have to be a part of the cooperate limits; that would require them to submit an annexation and associated zoning application.

Mr. Siderio asked why doesn't our UDO have the R-80 watershed district. Ms. Tanner responded that our ordinance is different than Wake County's; and that we do have

watershed regulations that apply to all zoning districts. The town doesn't have watershed and non-watershed zoning districts; instead it has a base zoning district and a watershed overlay. Therefore, watershed regulations exist whether it is in Wake County or Wake Forest.

Mr. Siderio asked with the watershed overlay does this parcel falls within the overlay. Ms. Tanner responded that the overlay would have to be applied as part of the zoning process. It is currently not in place because it's not in the Town's ETJ or corporate limits. Mr. Siderio asked why the Town is getting involved if this is Wake County. Ms. Tanner responded that the reason for modifying the plan is so that if the property owners request to connect to water and sewer, the Town will have guidance.

Mr. Almquist asked when the UDO is revised will there be a conservation subdivision option. Ms. Tanner responded that is correct. Mr. Almquist asked what the down side would be to waiting until the UDO is updated. Ms. Tanner responded that the concern is that if a builder submitted an application staff would not have the ability to recommend denial if it was an incompatible use because the Plan wouldn't provide guidance.

Mr. Hickey asked how many lots are parceled out, and why are all of the individual lots being included. Ms. Tanner responded that they are all included only for the fact of guidance if they want to have water and sewer. Mr. Hickey asked if there is a single parcel option rather than blanketing the entire region with this or if is there a waiver for the individual request. Ms. Tanner responded that there is not a waiver process; to connect to public utilities, the property owner would have to be annexed and rezoned; it could not be annexed to the surrounding municipalities based on our annexation and merger agreements. Mr. Hickey asked if there was an easier option to grant landowners land use designations on an individual basis. Ms. Tanner responded that land use is assigned by geographic versus parcel to parcel.

Ms. Bishop asked if the property owners asking for utilities have well water and are they having problems with their well water. Ms. Tanner responded that some are having difficulties with the existing well water. Ms. Bishop asked is that something Wake County can take care of. Ms. Tanner answered no, the homeowner have to solve it. Ms. Bishop stated that because there is no ETJ member on the Planning Board she is concerned about the proposal. Ms. Tanner responded that this area is not located in the ETJ, it is located in Wake County; and there is no plan to expand the ETJ.

Mr. Almquist asked what the targeted revised UDO implementation date is. Ms. Tanner responded the target date for adoption would be the Fall 2024.

Ms. Bishop stated she was concerned that approving this Community Plan Amendment would allow a developer to request a specific zoning district in the area. Ms. Tanner responded that a developer could do that without guidance if the Community Plan wasn't amended to include this area.

ACTION:

Mover: Michael Hickey moved to deny the amendment to the Community Plan for this area based on an inappropriate land use designation; should the Board of Commissioners consider approval of CPA23-03, the Planning Board recommends the Board of Commissioners designate a land use option that is more consistent with the pattern that exists.

Second: Michael Siderio.

Vote: Motion carried 4-1.

Aye

Michael Hickey

Michael Siderio

Michael Almquist

Shelia Bishop

Nay

Karin Kuropas

8. New Business

No New Business Presented.

9. Staff Comments

9.A. 2024 Planning Board Potential Meeting Schedule Options

Ms. Tanner shared the proposed meeting date options and asked the Board to review the options and be prepared to vote on the dates at the next scheduled meeting.

The new regular and ETJ members' mandatory training will take place later this month and they will begin to serve at the November 14th meeting.

Jennifer Currin shared that the Downtown Plan Visioning Workshops will be held on Wednesday, November 8, 2023, at 11 a.m. and 6:30 p.m., located at Fire Station #1 420 Elm Ave.; they are not drop-in sessions they are programmed with activities. There is also a survey that will be emailed for you to complete.

10. Planning Board Comments

No Planning Board Comments Presented.

11. Adjournment

ACTION:

Chairperson Kuropas adjourned the meeting at 9:40 p.m.

Duly approved in open session this 12th day of December 2023.

Ella Dowtin
Deputy Town Clerk

Karin Kuropas
Planning Board Chair



Planning Board Agenda Item Report

Agenda Item No.: 2023-320-

Submitted by: Ella Dowtin

Submitting Department: Planning

Meeting Date: December 12, 2023

SUBJECT

November 14, 2023

Recommendation:

Item Summary:

ATTACHMENTS

- [11-14-2023 Planning Board Minutes.pdf](#)



Wake Forest Planning Board Minutes

The Wake Forest Planning Board met on **Tuesday, November 14, 2023**, at **6:00 p.m.** in the Board Room at Wake Forest Town Hall, 301 S Brooks Street.

Planning Board Members present: Karin Kuropas, Michael Siderio, Michael Almquist, Michael Hickey, Sheila Bishop, Adam Redler, and Anna Shope

Planning Board Members absent: N/A

Staff Members present: Planning Director Courtney Tanner and Deputy Town Clerk Ella Downtin

1. Call to Order

Chair Kuropas called the meeting to order at 6:00 p.m.

2. Adoption of Agenda

ACTION:

Mover: Michael Siderio moved to adopt the agenda as presented.

Second: Michael Hickey.

Vote: Motion carried 7-0.

3. Approval of Minutes

4. Presentations

No Presentations Presented.

5. Old Business with Public Comment

No Old Business with Public Comment Presented.

6. Old Business

6.A. Consideration of 2024 Planning Board Meeting Schedule

Mover: Sheila Bishop moved to keep work sessions on the second Tuesday.

Second: Michael Almquist.

Vote: Motion carried 7-0.

7. New Business with Public Comment
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8. New Business

No New Business Presented.

9. Staff Comments

Planning Director Courtney Tanner announced that at the next meeting, the Board members will be voting for the new Chairperson and Vice-Chairperson. Members are allowed to discuss who they would like to choose, however, you cannot have a discussion in a group of five board members or more. Sending individual emails are allowed.

10. Planning Board Comments

No Planning Board Comments Presented.

11. Adjournment

ACTION:

Mover: Sheila Bishop moved to adjourn at 6:17 p.m.

Second: Michael Almquist.

Vote: Motion carried 7-0.

Duly approved in open session this 12th day of December 2023.

Ella Dowtin
Deputy Town Clerk

Karin Kuropas
Planning Board Chair



Planning Board Agenda Item Report

Agenda Item No.: 2023-333-
Submitted by: Courtney Tanner
Submitting Department: Planning
Meeting Date: December 12, 2023

SUBJECT

Outgoing Planning Board Member Presentation of Certificates

Recommendation:

Item Summary:

ATTACHMENTS

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Planning Board Agenda Item Report

Agenda Item No.: 2023-323-

Submitted by: Tim Richards

Submitting Department: Planning

Meeting Date: December 12, 2023

SUBJECT

Consideration of LEGISLATIVE CASE RZ-23-08, Farm Road Townhomes, a conditional rezoning filed by Kevin Neshat on behalf of Lofts at South Main, LLC, to rezone 3.06 acres located at 1701 Farm Ridge Road, 1702 Farm Ridge Road, 1709 Farm Ridge Road, 1710 Farm Ridge Road, 1715 Farm Ridge Road, and 128 Farm Road, being Wake County Tax PIN(s) 1840029915, 1840037051, 1840028856, 1840027902, 1840026891, and 1840120841, from General Residential 3 (GR3) to General Residential 10 Conditional District (GR10-CD) and Neighborhood Business Conditional District (NB-CD).

Recommendation:

Item Summary:

ATTACHMENTS

- [RZ-23-08 Staff Report.pdf](#)
- [Attachment A - Neighborhood Meeting Meeting Information.pdf](#)
- [Attachment B - Application.pdf](#)
- [Attachment C - Maps.pdf](#)
- [Attachment D - Plan Consistency Analysis.pdf](#)
- [Exhibit 1 - Proposed Farm Road Townhomes Master Plan.pdf](#)



Staff Report

Case RZ-23-08: Farm Road Townhomes

Meeting Date	December 12, 2023
Requested Actions	Consideration of the following items related to the Conditional Zoning request for 1701 Farm Ridge Road, 1702 Farm Ridge Road, 1709 Farm Ridge Road, 1710 Farm Ridge Road, 1715 Farm Ridge Road, and 128 Farm Road: 1. Act on Plan Consistency Statement 2. Rezone 3.06 acres on the Town of Wake Forest Zoning Map from General Residential 3 (GR3) to General Residential 10 Conditional District (GR10-CD) and Neighborhood Business Conditional District (NB-CD).
Case Manager	Tim Richards, Senior Planner - Development Services

PUBLIC MEETINGS

Neighborhood Meeting	Public Comment Session	Public Hearing (tentative)
3/22/2023 (See Attachment A)	12/12/2023	1/16/2024

CASE INFORMATION

Applicant/Developer/ Property Owner	Kevin Neshat Lofts at South Main, LLC 300 Carpathian Way Raleigh, NC 27615
Location	Fronting on Farm Road and Farm Ridge Road, just East of Farm Road's intersection with South Main Street
Addresses	1701 Farm Ridge Road, 1702 Farm Ridge Road, 1709 Farm Ridge Road, 1710 Farm Ridge Road, 1715 Farm Ridge Road, and 128 Farm Road
Wake County Tax PIN(s)	1840029915, 1840037051, 1840028856, 1840027902, 1840026891, and 1840120841
Acreage	3.06

Zoning	Existing: General Residential 3 (GR3) Proposed: General Residential 10 Conditional District (GR10-CD) and Neighborhood Business Conditional District (NB-CD)
Land Use	Existing: Residential (single-family detached) Proposed: Residential (townhome)
Corporate Limits	This application is located in the Town's corporate limits.

See Attachment B for a copy of the application and Attachment C for Aerial, Zoning, and Land Use Maps.

SURROUNDING LAND USES AND ZONING

	Land Use	Zoning
North	Residential (single-family detached) Personal services (hair salon)	General Residential 3 (GR3), Neighborhood Business Conditional (NB-CD)
South	Utilities – Class 1 (overhead electricity transmission line)	General Residential 3 (GR3)
East	Residential (single-family detached)	General Residential 3 (GR3)
West	Medical clinics (dental) Personal services (spa) Professional services (accountant)	Neighborhood Business (NB), Conditional Use Neighborhood Business (CU-NB)
The proposed land use is generally compatible with surrounding land uses. The proposed zoning is generally compatible with surrounding zoning. See Attachment C for associated maps.		

MASTER PLAN ANALYSIS – GR10-CD AREA

Open Space	Required: 0.29 acres (10%)
	Proposed: 0.66 acres (22.8%)
	Summary: The proposed Master Plan complies with the minimum open space percentage requirement in the UDO.

Park Space	Required: 0.0725 acres (2.5%) Proposed: 0.16 acres (5.5%) <i>Summary: The proposed Master Plan complies with the minimum park space percentage requirement in the UDO. The proposed park space amenities are outlined in Attachment B, Condition #12.</i>
Parking	Required: 45 spaces (1.8 per unit x 25 units) 6 bicycle spaces (104/40 x 2) Proposed: 104 spaces (including 4 guest parking spaces) 10 bicycle spaces (5 inverted U racks) <i>Summary: The proposed Master Plan complies with the minimum parking requirements in the UDO.</i>
Public Utilities	Required: Per UDO Section 6.3.1, the developer must connect to the municipal water and sewer systems. Proposed: A water line extension serving the development is proposed to connect to an existing 6" line on Farm Road. A sanitary sewer line extension serving the development is proposed to connect to an existing 8" line on Farm Road. <i>Summary: The proposed Master Plan complies with the public utility requirements in the UDO.</i>

Roads	Required: Per UDO Section 6.6, development fronting existing streets that are not in compliance with Comprehensive Transportation Plan (CTP) recommended cross sections must provide improvements to increase consistency. In this case, both Farm Road and Farm Ridge Road do not comply with the CTP recommended cross section, which is the 2A cross section consisting of two, 12' travel lanes and frontages on both sides of the street consisting of curb and gutter, 6' verges, 6' sidewalks, and a 1' strip behind the sidewalk. Per UDO Section 6.11, a Transportation Impact Analysis (TIA) is not required for the proposed development because it includes fewer than 100 residential units. Proposed: The proposed development includes the dedication of additional right-of way on Farm Road, as well as the installation of curb and gutter, verge with street trees, and sidewalk, consistent with the 2A cross section. Farm Ridge Road is proposed to have a minor shift in its alignment, and to be improved to comply with the 2A cross section. The developer's intent is to seek abandonment of the current Farm Ridge Road right-of-way and subsequently dedicate the shifted, enlarged right-of-way during the subdivision process. Farm Ridge Road will be platted to the property line in the event a future connection becomes desirable and feasible. Such a connection is not currently included in the CTP roadway recommendations. Summary: The proposed Master Plan complies with the minimum roadway infrastructure requirements in the UDO.
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PROPOSED MODIFICATIONS OF UDO STANDARDS

Table 2.2.5, Table of Rural and Suburban District Development Standards:

Proposed: 6' side setback from adjacent lot (applies to townhome end units only)

Required: 8' side setback from adjacent lot

Table 2.3.3, Use Table:

Proposed:

- Townhomes (GR10-CD area)
- Parking, as accessory to medical clinic use (NB-CD area)

Required: See Table 2.3.3, Use Table, in the Unified Development Ordinance for a list of uses permitted as of right in the General Residential 10 (GR10) District.

Chapter 5, Building Design Standards:

Proposed: Conditions 3 through 9 establish building design standards for the townhomes (see Attachment B: Application). Those conditions address façade materials and design, colors, raised entries, and roof pitch.

Required: Per UDO Section 5.5.1, townhomes are generally exempt from building design standards, except those regulating driveways on narrow lots. Notwithstanding this exemption, which is required by statute, the UDO does include a number of standards for roofs and eaves, building entrances, garages, façade design, and materials, that would otherwise apply to townhomes. The proposed conditions (see Attachment B) apply some, but not all of these standards. For example, raising front entrances by 1.5 feet above adjacent sidewalk grade is proposed, consistent with UDO Section 5.5.3.B, but building wall materials standards proposed do not include a minimum 50% masonry requirement for street-facing faces, as UDO Section 5.5.6.A would require, if applicable.

Section 8.4, Buffers and Screening:

Proposed: Condition 13 addresses the buffer between the proposed GR10-CD and NB-CD areas. The Master Plan proposes a 6' tall opaque fence along the boundary between the two areas, lined with 36 shrubs on the GR10-CD side. Additional screening is proposed to be provided by four canopy trees along the GR10-CD side of the fence line.

Required: UDO Section 8.5 requires a Type B buffer between office/service uses and townhomes. An Option 2 Type B buffer is a minimum of 15' wide and includes a minimum 4' tall opaque fence and two evergreen trees, two canopy trees, three understory trees, and 12 shrubs per 100 linear feet of buffer length. The portion of the boundary of the GR10-CD and NB-CD areas not occupied by alley/driveway is approximately 180' long, so four evergreen trees, four canopy trees, six understory trees, and 22 shrubs would be required.

COMPREHENSIVE PLAN CONSISTENCY

Community Plan (2022)	The proposed zoning map amendment is generally consistent with the adopted 2022 Community Plan. The main Plan policies supporting this conclusion are: • Land Use Plan (page 36): Conventional Residential areas feature a mix of housing types, including townhomes, as primary uses. • TOD & Activity Center Areas (page 48): Activity centers are unique focal points of the community that should comprise a wide variety of uses in a pedestrian-scale environment that enhance the quality of life, create a distinct sense of place, and provide a living experience unique to Wake Forest. Townhomes are identified as a desired residential use in Activity Centers and are particularly appropriate for this site, given its Conventional Residential designation. The proposed sidewalks within and abutting the development will serve to increase the walkability of the neighborhood. • Residential Character (page 64): Through thoughtful design and attention to massing, rhythm, scale, setback, and building materials, new residential development can provide greater housing choice and equity while still complementing the charm of Wake Forest's established neighborhoods. Higher density infill and redevelopment within established neighborhoods should be promoted. The proposed redevelopment increases residential density considerably on the site, from six units to 25 units. The proposed configuration shows townhomes fronting Farm Road, mirroring the building orientation on the North frontage of Farm Road. That is
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	different from the current configuration where the buildings front on Farm Ridge Road and their sides face Farm Road. That change, together with the architectural standards proposed, such as raised entries, and the streetscape improvements will serve to enhance the residential character of the neighborhood.
Housing Affordability Plan (2022)	The Housing Affordability Plan is not applicable to the zoning map amendment request.
Historic Preservation Plan (2022)	The Historic Preservation Plan is not applicable to the zoning map amendment request.
Northeast Community Plan (2021)	The Northeast Community Plan is not applicable to the zoning map amendment request.
Comprehensive Transportation Plan (2019)	The proposed zoning map amendment is generally consistent with the Comprehensive Transportation Plan (see roads discussion under Master Plan Analysis above).
Renaissance Plan (2017)	The Renaissance Plan is not applicable to the zoning map amendment request.
Park, Recreation, and Cultural Resources Master Plan (2015)	The Parks, Recreation, and Cultural Recourses Master Plan is not applicable to the zoning map amendment request.
Public Art Vision Plan (2009)	The Public Art Vision Plan is not applicable to the zoning map amendment request.
<i>See Attachment D for detailed Plan Consistency Analysis. Note that Comprehensive Transportation Plan consistency is addressed in the Master Plan Analysis above and not in Attachment D.</i>	

STAFF RECOMMENDATION

The zoning map amendment request is generally **Consistent** with the relevant policies in the Comprehensive Plan, and **Approval** of the zoning map amendment request is reasonable and in the public interest.

ATTACHMENTS

- Attachment A: Neighborhood Meeting Information
- Attachment B: Application
- Attachment C: Maps
- Attachment D: Plan Consistency Analysis

EXHIBITS

- Exhibit 1: Proposed Farm Road Townhomes Master Plan

March 8, 2023

**Reference: Farm Rd Townhomes – Rezoning and Master Plans
Neighborhood Meeting Notification**

Dear Neighbor:

We are writing to notify you of a neighborhood meeting to present and discuss the proposed rezoning and master plans for the Farm Rd Townhomes.

The proposed subdivision is comprised of several properties along Farm Road in Wake Forest (shown on the map below). The properties are being requested for rezoning to allow for a townhome community. The proposed site plan is on the reverse side for your reference.

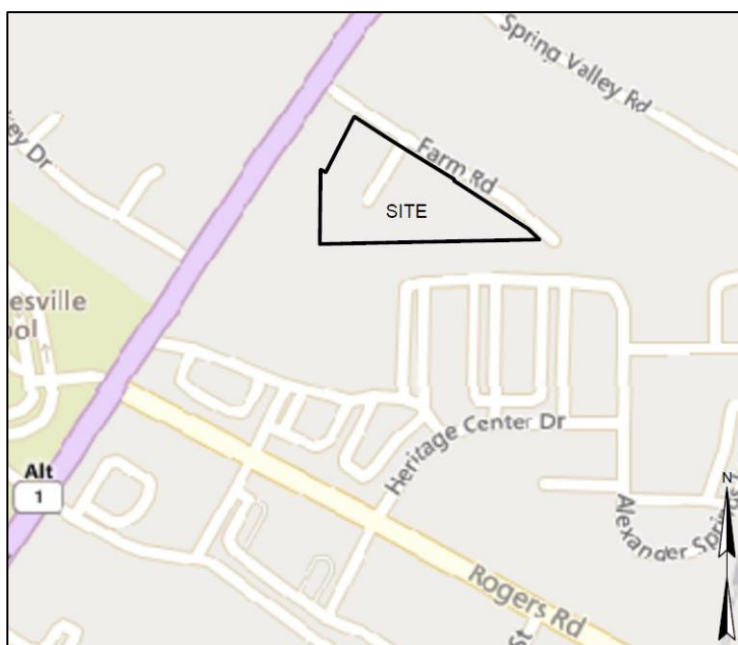
The neighborhood meeting will be held on Wednesday, March 22, 2023, at 6:00 PM in the Maple Room of the Forks Cafeteria, which is located at 339 Brooks Street in Wake Forest.

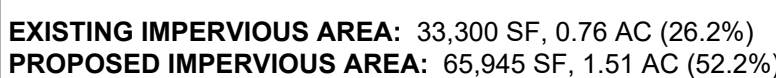
We look forward to seeing you there.

Sincerely,

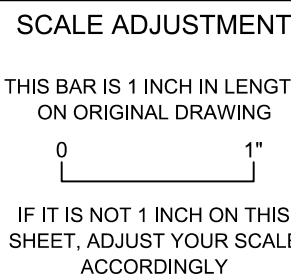


Jon D. Frazier, PE, LEED AP
Principal
919.610.1051
jfrazier@flmengineering.com



DATE _____

ORIGINAL PLAN SIZE: 24" X 36'



FARM RD
WAKE FOREST, NC

SITE PLAN

C-3

SHEET 3 OF 7

FARM RD TOWNHOMES - NEIGHBOR NOTIFICATION LIST					
REID	PIN_NUM	OWNER	ADDR1	ADDR2	ADDR3
95250	1840035083	1711 S MAIN LLC	K KEVIN NESHAT	300 CARPATHIAN WAY	RALEIGH NC 27615-1615
411328	1840126106	1747 ALEXANDER HERITAGE LLC	2020 PONCE DE LEON BLVD STE 1005A	CORAL GABLES FL 33134-4480	
103517	1840124833	AIKENS, MILLARD	161 FARM RD	WAKE FOREST NC 27587-7399	AGOURA HILLS CA 91301-2148
203051	1840022801	AMH 2015-2 BORROWER LLC	AMERICAN HOMES 4 RENT	30601 AGOURA RD STE 200	
404172	1840029466	AMJ HOLDINGS LLC	1788 HERITAGE CENTER DR STE 204	WAKE FOREST NC 27587-3972	
410079	1840029466	AN ADAPTING LLC	5952 AMBER RIDGE RD	HAYMARKET VA 20169-2621	
463215	1840029466	AN ADAPTING LLC	5952 AMBER RIDGE RD	HAYMARKET VA 20169-2621	
455513	1840029466	ASCENSION PROPERTIES LLC	719 SUFFIELD WAY	CARY NC 27519-6996	
485359	1840029466	ASCOT STREET LLC	1030 KENNICOTT AVE	CARY NC 27513-8450	
463207	1840029466	BAM PROPERTIES OF NC LLC	285 SHIPWASH DR STE 101	GARNER NC 27529-6896	
141604	1840130067	BENNEKIN, NORMA S BENNEKIN, TOMM F	137 FARM RD	WAKE FOREST NC 27587-7399	
463216	1840029466	BONAVITA, FRANK J JR	312 DUNWOODY DR	RALEIGH NC 27615-1441	
27697	1840039445	BROADWAY, JIMMY F BROADWAY, BETH HEMPHILL	1605 S MAIN ST	WAKE FOREST NC 27587-9286	
488384	1840029466	CDM VENTURES LLC	6332 MOUNTAIN GROVE LN	WAKE FOREST NC 27587-9582	
485352	1840029466	CEDAR OAKS PROPERTY LLC	1748 HERITAGE CENTER DR STE 104	WAKE FOREST NC 27587-9855	
485353	1840029466	CEDAR OAKS PROPERTY LLC	1748 HERITAGE CENTER DR STE 104	WAKE FOREST NC 27587-9855	
488386	1840029466	CHAPRIDE LLC	15 GOLETA AVE	SAN FRANCISCO CA 94132-1304	
168202	1840034236	CJN INVESTMENTS LLC	1711 S MAIN ST	WAKE FOREST NC 27587-9287	
87632	1840039182	CLAPPER, TIMOTHY JAY	30435 PGA DR	SORRENTO FL 32776-7113	
422022	1840029466	CONSOLIDATED SYSTEMS AND RESEARCH LLC	1329 DUPLIN RD BLDG A	RALEIGH NC 27607-3720	
488394	1840029466	CRESTONE PEAK, LLC	207 HUNTER HILL RD	CHAPEL HILL NC 27516-1108	
427256	1840029466	DAVIS, RAYMOND C III	4108 WORLEY DR	RALEIGH NC 27613-1559	
449378	1840029466	DELTA COMMERCIAL PROPERTIES, LLC	6300 WESTGATE RD STE A	RALEIGH NC 27617-4754	
449379	1840029466	DKY HOLDINGS, LLC	1772 HERITAGE CENTER DR STE 202	WAKE FOREST NC 27587-9263	
488388	1840029466	ENTEX INC	423 FARINTOSH VALLEY LN	DURHAM NC 27703-8116	
427254	1840029466	ESC PROPERTIES OF WAKE COUNTY LLC	4101 BASHFORD BLUFFS LN	RALEIGH NC 27603-8744	
483155	1840029466	GGG ENTERPRISE LLC	1752 HERITAGE CENTER DR STE 101	WAKE FOREST NC 27587-8790	
410076	1840029466	GLADWELL PROPERTIES, LLC	2424 ROGERS CIR STE 200	WAKE FOREST NC 27587-6368	
203056	1840031067	HAMMOND, JAMES E HAMMOND, NANCY	1735 TILGATE CT	WAKE FOREST NC 27587-4904	
404168	1840029466	HANIGAN PROPERTIES LLC	7133 HIGH POINT LN	CEDAR RAPIDS IA 52411-8165	
404169	1840029466	HANIGAN PROPERTIES, LLC	7133 HIGH POINT LN	CEDAR RAPIDS IA 52411-8165	
488390	1840029466	HERITAGE 18 LLC	176 MINE LAKE CT STE 100	RALEIGH NC 27615-6417	
488391	1840029466	HERITAGE 18 LLC	176 MINE LAKE CT STE 100	RALEIGH NC 27615-6417	
366374	1840029466	HERITAGE OFFICE CENTER CONDO HOA	11010 RAVEN RIDGE RD	RALEIGH NC 27614-8837	
427253	1840029466	HOLMES, JAMES A III	152 MINE LAKE CT STE 100	RALEIGH NC 27615-6417	
44130	1840134085	HOWARD, ERIC GLENN	160 SPRING VALLEY RD	WAKE FOREST NC 27587-9765	
44137	1840130332	HOYLE, MARGARET W	804 QUAIL AVE	WAKE FOREST NC 27587-7627	
366376	1840025273	JACOB FAMILY CAROLINA PARTNERS, LLC	8315 BEVERLY BLVD STE 100	LOS ANGELES CA 90048-2669	
44164	1840038320	KAL EIDOSCOPE INVESTMENTS LLC	PO BOX 688	WAKE FOREST NC 27588-0688	
488389	1840029466	KARTHI PROPERTIES LLC	1740 HERITAGE CENTER DR STE 204	WAKE FOREST NC 27587-9849	
53756	1840023670	KHAN, MOHAMMAD A DR KHAN, NASRIN A	5312 POMFRET PT	RALEIGH NC 27612-3683	
177622	1840023497	KHAN, MOHAMMAD A DR KHAN, NASRIN A	5312 POMFRET PT	RALEIGH NC 27612-3683	
77907	1840024618	KHAN, MOHAMMAD A DR KHAN, NASRIN A	5312 POMFRET PT	RALEIGH NC 27612-3683	
203055	1840032010	LAWRENCE, WILLIAM R LAWRENCE, THELMA	1739 TILGATE CT	WAKE FOREST NC 27587-4904	
14706	1840132201	LLERENA, ARIANA	6509 TEALBRIAR DR	RALEIGH NC 27615-7425	
104803	1840120841	LOFTS AT SOUTH MAIN LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
100035	1840036162	LOFTS AT SOUTH MAIN LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
44182	1840029915	LOFTS AT SOUTH MAIN LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
135859	1840028856	LOFTS AT SOUTH MAIN LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
37449	1840028891	LOFTS AT SOUTH MAIN, LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
120782	1840027902	LOFTS OF SOUTH MAIN LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
188743	1840037051	LOFTS OF SOUTH MAIN, LLC	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
1207	1840039106	LUKASH, LIQUDMILA LUKASH, BOGDAN SHEVCHUK	9213 DANSFORESHIRE WAY	WAKE FOREST NC 27587-3402	
463206	1840029466	MANCINI, RAYMOND J TRUSTEE FENEQUITO, LINA J TRUSTEE	7657 RIVER RANCH WAY	SACRAMENTO CA 95831-4410	
31530	1840035482	MARLOWE CAPITAL VENTURES LLC	3700 COMPUTER DR	RALEIGH NC 27609-6505	
44134	1840135050	MARTIN, ALBERT R	168 SPRING VALLEY RD	WAKE FOREST NC 27587-9765	
455510	1840029466	MATEO PROPERTIES LLC	1768 CERTIAGE CENTER DR STE 101	WAKE FOREST NC 27587	
33569	1840132194	MCGHEE, DOROTHY B	144 SPRING VALLEY RD	WAKE FOREST NC 27587-9765	
488392	1840029466	MHV MESSIAH, LLC	1744 103 HERITAGE CENTER DR	WAKE FOREST NC 27587-9853	
427255	1840029466	MICHELLE DATTADA LCSW PLLC	1404 LAGERFIELD WAY	WAKE FOREST NC 27587	
404167	1840029466	MILLER, RODERIC J MILLER, CORINNE M	11408 HORSEMAN TRL	RALEIGH NC 27613-6804	
488358	1840029466	MILLER, RODERIC J MILLER, CORINNE M	11408 HORSEMAN TRL	RALEIGH NC 27613-6804	
366375	1840023313	MOORE & SONS REALTY I LLC MOORE, SYLVIA A TRUSTEE	WALGREENS CO	PO BOX 1159	DEERFIELD IL 60015-6002
404171	1840029466	MOORE, HAROLD GAYLAND MOORE, RHINA SLOAN	6016 SPRING VALLEY DR	RALEIGH NC 27616-5439	
203052	1840021827	MORALES, NICOLE B	108 ELSEY DR	WAKE FOREST NC 27587-4908	
410077	1840029466	MORAN PROPERTY HOLDINGS LLC	8612 ONEAL RD	RALEIGH NC 27613-4211	
6705	1840025828	NESHAT, KHASHAYER K NESHAT, CAROL M	300 CARPATHIAN WAY	RALEIGH NC 27615-1615	
44146	1840038388	NORTON, DENNIS JAMES NORTON, DENISE RILEY	1615 S MAIN ST	WAKE FOREST NC 27587-9286	
6706	1840024776	NRD LLP	7713 WAKEBROOK DR	RALEIGH NC 27616-9673	
28751	1840037253	OSAGE STATION LLC	1633 S MAIN ST	WAKE FOREST NC 27587-9286	
422027	1840029466	PARKER, LARRY J JR PARKER, NATALIE J	1780 HERITAGE CENTER DR STE 204	WAKE FOREST NC 27587-9234	
203054	1840022944	PARKS, DANIEL BROYHILL JR PARKS, JACLYN HERMAN	1743 TILGATE CT	WAKE FOREST NC 27587-4904	
463214	1840029466	PEZZA PRICE HOLDINGS LLC	8313 SIX FORKS RD STE 109	RALEIGH NC 27615-5099	
488393	1840029466	PEZZA PRICE HOLDINGS LLC	1744 104 HERITAGE CENTER DR	WAKE FOREST NC 27587-9853	
463208	1840029466	PHINA, LLC	1772 HERITAGE CENTER DR STE 204	WAKE FOREST NC 27587-9263	
449380	1840029466	PHINA, LLC	1772 HERITAGE CENTER DR STE 203	WAKE FOREST NC 27587-9263	
449381	1840029466	PHINA, LLC	1772 HERITAGE CENTER DR STE 203	WAKE FOREST NC 27587-9263	
410078	1840029466	RIVERA, MARIA R RIVERA, ROGER A	1333 HERITAGE HILLS WAY	WAKE FOREST NC 27587-4467	
455512	1840029466	RIVERA, ROGER A RIVERA, MARIA R	1333 HERITAGE HILLS WAY	WAKE FOREST NC 27587-4467	
455515	1840029466	RIVERA, ROGER A RIVERA, MARIA R	1333 HERITAGE HILLS WAY	WAKE FOREST NC 27587-4467	
485360	1840029466	RIVERA, ROGER A RIVERA, MARIA R	1333 HERITAGE HILLS WAY	WAKE FOREST NC 27587-4467	
422023	1840029466	RIVERA, ROGER A RIVERA, MARIA R	1333 HERITAGE HILLS WAY	WAKE FOREST NC 27587-4467	
483157	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483158	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483159	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483160	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483534	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483535	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483536	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483537	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401A	RALEIGH NC 27615-2126	
483563	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401	RALEIGH NC 27615-2126	
483561	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401	RALEIGH NC 27615-2126	
483562	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401	RALEIGH NC 27615-2126	
483564	1840029466	RON SCHWARTZ COMMERCIAL LLC	8601 CYPRESS LAKES DR UNIT 401	RALEIGH NC 27615-2126	
87531	1840131060	RS RENTAL LLC	31 HUDSON YARDS	NEW YORK NY 10001-2170	
7741	1840133089	SANDERFORD, JOHN B SANDERFORD, MARTHA	152 SPRING VALLEY RD	WAKE FOREST NC 27587-9765	
463212	1840029466	SKY TOP VACATION RENTALS LLC	1333 MARSHALL FARM ST	WAKE FOREST NC 27587-4342	
463213	1840029466	SKY TOP VACATION RENTALS LLC	1333 MARSHALL FARM ST	WAKE FOREST NC 27587-4342	
422024	1840029466	SPM HOLDINGS LLC	1004 CREEDS HILL CT	WAKE FOREST NC 27587-4571	
422025	1840029466	SPM HOLDINGS LLC	1004 CREEDS HILL CT	WAKE FOREST NC 27587-4571	
455514	1840029466	STOKES, JANE M	PO BOX 19364	RALEIGH NC 27619-9364	
488385	1840029466	STOKES, RICHARD H	PO BOX 19364	RALEIGH NC 27619-9364	
463211	1840029466	STUART LAMM PROPERTIES LLC	12809 RAVEN RIDGE RD	RALEIGH NC 27614-9349	
463209	1840029466	STUART LAMM PROPERTIES LLC	12809 RAVEN RIDGE RD	RALEIGH NC 27614-9349	
463210	1840029466	STUART LAMM PROPERTIES LLC	12809 RAVEN RIDGE RD	RALEIGH NC 27614-9349	
24217	1840131217	SUCCESS AMERICA LLC	15330 BYPASS RDG	SAN ANTONIO TX 78253-4785	
427257	1840029466	TAYGRA LLC	1776 HERITAGE CENTER DR STE 202	WAKE FOREST NC 27587-3977	
427258	1840029466	TAYGRA LLC	1776 HERITAGE CENTER DR STE 202	WAKE FOREST NC 27587-3977	
410080	1840029466	TAYGRA LLC	1784 HERITAGE CENTER DR STE 202	WAKE FOREST NC 27587-3988	
410081	1840029466	TAYGRA, LLC	1784 204 HERITAGE CENTER DR	WAKE FOREST NC 27587-3923	
422021	1840029466	THE PILLAR CHURCH PLANTING NETWORK	1780 101 HERITAGE CENTER DR	WAKE FOREST NC 27587-9234	
455511	1840029466	TVI PROPERTY LLC	508 BRUMBER CIR	WAKE FOREST NC 27587-5576	
404170	1840029466	TORTORICI MASSAGE AND BODYWORK LLC	3321 DONNER TRL	WAKE FOREST NC 27587-8842	
203053	1840021990	TRIANGLE REAL ESTATE NETWORK INC	199 SUITT RD	FRANKLINTON NC 27525-8831	
463217	1840029466	TRIBUNE PROPERTIES LLC	4012 PINEY GAP DR	CARY NC 27519-7507	
422026	1840029466	VICK, JAMES L TR VICK, PAMELA K TR	3535 VENABLE RD	KENTS STORE VA 23084-2416	
126403	1840123780	WAKE ELECTRIC MEMBERSHIP CORP	PO BOX 1229	WAKE FOREST NC 27588-1229	
449377	1840029466	WATSON REALTY LLC	PO BOX 51205	DURHAM NC 27717-1205	
449376	1840029466	WATSON REALTY LLC	PO BOX 51205	DURHAM NC 27717-1205	
168201	1840033131	WEATHERS, MARVIN RUPERT WEATHERS, RUBY C	1712 S MAIN ST	WAKE FOREST NC 27587-9317	
488387	1840029466	WILLOW TREE PROPERTIES, LLC	1740 201 HERITAGE CENTER DR	WAKE FOREST NC 27587-9849	
104804	1840122984	ZUNDEL, JORDAN JAMES ZUNDEL, TAYLOR DIXON	151 FARM RD	WAKE FOREST NC 27587-7399	

Farm Rd Townhomes Neighborhood Meeting Summary

On Wednesday, March 22, 2023, a neighborhood meeting was held to inform neighbors of the proposed rezoning and master plans for the Farm Rd Townhomes project and to gain their feedback for consideration in development of the zoning conditions and master plans. The notification sent to the neighbors is attached along with the list of neighbors notified. The neighbors that attended the meeting are shown on the attached sign-in sheet. The attendees that represented the development team included Jon Frazier, FLM Engineering, and Kevin Neshat, Lofts at South Main, LLC (owner/developer). Below is a summarized list of the questions raised at the meeting along with answers provided by the development team.

Q1: What will be the sale price of the townhomes?

A: The sale price is unknown, but we anticipate at least \$300,000 to \$500,000.

Q2: Do you have examples of other townhomes you've developed?

A: No, we do not have examples because we are developing for the first time.

Q3: Traffic is a major concern for the neighbors.

A: We have engaged a traffic engineer who is looking at the traffic for us. When their report is available, we will share it with the neighbors.

Q4: Will there be another road connection for Farm Road other than South Main Street?

A: We do not anticipate another connection because we do not own the land behind these properties for connection, and we also understand that any road that could connect behind these properties would have to cross a large, shallow gas line.

Q5: Will the sewer main in Farm Road be replaced?

A: At this time we are unaware of any issues with the sewer main that would require replacement, but we will look into that as part of the construction plan phase of the project.

Q6: What is the timing of this development?

A: We would anticipate that the earliest we would have permits in hand would likely be about a year from (early 2024); infrastructure construction would take another six months after that; and then the townhome construction would likely take another six months after completion of infrastructure. Given that, we'd expect at least two years before the units would be occupied.

Q7: Will there be road improvements to Farm Road?

A: Yes, Farm Road will be widened along the project frontage to meet the town's required cross-section, which will include pavement widening, curb and gutter, and sidewalk.

Q8: Will tree removed be replaced?

A: Yes, we will be required to provide a minimum canopy coverage on the site and to replace any removed specimen trees at a value of four trees or \$1,000 to every specimen tree removed.

Q: There is a significant amount of stormwater runoff that enters the ditch that runs through the property.

A: The runoff on the project side of the road will be collected in a conveyance network, and we will look at appropriately handling the ditch runoff as part of the construction plan phase.

Q: Will there be a retention pond onsite?

A: Yes, we will have a stormwater control measure onsite that will meet the town's requirements for stormwater management.

Q: Will the units be rented or sold?

A: We do not yet know.

Q: Will there be improvements on South Main Street as part of this project?

A: We do not anticipate any improvements on South Main Street as part of this project.

Q: Will cars be parked in front of the units along Farm Road?

A: While parking is allowed on public streets, we are hopeful that visitors will use the townhome driveways for parking as each unit will have a two-car garage and two-car driveway.

Q: Will there be separate visitor spaces?

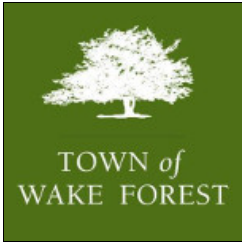
A: Visitor parking is anticipated to be provided in the townhome driveways or along the new proposed public road onsite.

Q: Will there be a dog park?

A: There are two planned park spaces where there will be some amenities. However, those amenities are not known at this time.

Sign-in Sheet
Farm Rd Townhomes Neighborhood Meeting

Name	Address	Phone Number	E-mail Address
Brian Aikers	161 Farm Rd	919 261 4122	Bcaikers88@gmail.com
Danielle Selak	2321 Rainy Lake St WF	919-309-5771	
Adriana Pendergrass	5257 Patuxent Drive / Raleigh	919-819-2006	
Kenn Nesbit	1728 S. Main St. WF	919-270-4270	
Manijeh Nesbit	1725 S. Main St. WF	(919) 846-6662	
Jimmy & Beth Broadway	1605 S. MAIN ST WF	252-425-4224	
Taylor Zundel	151 Farm Rd.	919-451-3050	taylor.zundel@exp Realty.com
Loudmiller Lukash	121 Farm Rd	919-414-3706	loudmiller919@yahoo.com
T Bennett	137 Farm Rd	—	TBENNETT@YAHOO.COM
Kristin Kiddick	1633 S. Main St.	919-757-5741	ellebecsalon@gmail.com
Craig Johnson	111 Abercrombie Rd	919 426 1646	craigjohnsonmus@gmail.com
Olivia Holland	1747 Alexander Springs	919 203 1113	oholland@arlingtonproperties.net
bethbway@nc.rr.com	Jimway@nc.rr.com		



Conditional District Rezoning Application

(Conditional District Rezoning Workflow)

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

Project Overview

#925310

Project Title: Farm Road Townhomes Conditional District Rezoning

Jurisdiction: Town of Wake Forest (Wake County)

Application Type: Conditional District Rezoning

State: NC

Workflow: Conditional District Rezoning

County: Wake

Submittal Requirements

A submittal checklist is available to view additional documents which are required to be submitted with this application. After answering the application questions, you will be asked to upload the required documents.

[VIEW CONDITIONAL DISTRICT REZONING
SUBMITTAL CHECKLIST](#)

Missing items will result in the application being declined and returned to the applicant to resubmit. A revised and complete application including all missing items must be received or the application will be not be deemed complete and routed for review.

Please confirm you have reviewed the associated submitted checklist for this permit and confirm you will submit all documents required on the submittal checklist: Yes

Pre-Application Meeting

Has a pre-application conference been held?: Yes

*Note: This type of project requires a pre-application conference be completed prior to official submittal. If this has not been completed, please return to the home screen and select **Pre-Application Conference** from the application type drop down list in order to schedule your required meeting.*

Pre-Application Conference Date: 05/23/2022

Staff Member Met With: Tim Richards

Pre-application Conference Project Number: N/A

Address & Basic Site Information

Please Note:

In some cases, a parcel address may not verify. In the event that our system is unable to verify the address you enter, please submit the project as an *Unverified Parcel* and provide zoning and land use information as requested below. For verified addresses, the zoning and land use information will be added to the application automatically (you do not need to provide it below).

Project Address or PIN:

- 1702 FARM RIDGE RD (1840037051)

Tax PIN:

- 1840037051

- 1710 FARM RIDGE RD (1840027902)
- 1715 FARM RIDGE RD (1840026891)
- 1709 FARM RIDGE RD (1840028856)
- 1701 FARM RIDGE RD (1840029915)
- 128 FARM RD (1840120841)
- 1840027902
- 1840026891
- 1840028856
- 1840029915
- 1840120841

Acreage: 2.90

Name of Existing Development/Subdivision (if applicable--for reference only): Farm Rd Townhomes

For unverified addresses/parcels only, please provide below 1) the current use of the parcel, 2) the zoning district(s) it is in, and 3) any overlay districts that apply. Reference the [zoning map](#) and the [overlay districts map](#) on the town's website.

Current Use & Zoning (required only if address/parcel is unverified):

*Note: Projects falling outside the limits of the Town or ETJ will be required to submit an annexation petition in conjunction with their project submittal. In this case, please return to the home screen and select **Annexation Petition** from the application type drop down.*

GIS Site Information (Automatically Generated - Not Available for Unverified Addresses)

Parcel Area: GIS Acreage

- 1702 FARM RIDGE RD: 0.29
- 1710 FARM RIDGE RD: 0.31
- 1715 FARM RIDGE RD: 0.74
- 1709 FARM RIDGE RD: 0.35
- 1701 FARM RIDGE RD: 0.33
- 128 FARM RD: 0.78

Current Use: Land Use Development

- 1702 FARM RIDGE RD: Residential
- 1710 FARM RIDGE RD: Residential
- 1715 FARM RIDGE RD: Residential
- 1709 FARM RIDGE RD: Residential
- 1701 FARM RIDGE RD: Residential
- 128 FARM RD: Residential

Wake Forest (WF):

Base District: Zoning

- 1702 FARM RIDGE RD: NB
- 1710 FARM RIDGE RD: GR3
- 1715 FARM RIDGE RD: GR3
- 1709 FARM RIDGE RD: GR3
- 1701 FARM RIDGE RD: GR3
- 128 FARM RD: GR3

Planning and Zoning:

In SH1-O Overlay:

In SH2-O Overlay:

In TND Overlay:

In HL-O Overlay:

In National Register of Historic Places:

In Water Supply Watershed Protection Overlay:

In SF Overlay:

In MVCP-O Overlay:

In Flood Hazard Area:

Additional Zoning Information

Currently a Conditional District?: No

Currently a Conditional Use?: No

Is there an existing Special Use Permit for the Property?: No **Case Number of related site plan (if applicable):**

Case Numbers of other related approvals (if applicable):

SP-23-15

Project Contacts

Please enter all project contacts related to your application.

This is an important step to ensure all members of the applicant team receive email notifications associated with the project which may include comments, requested revisions, scheduled meetings or hearings, and final decisions. This also informs Town staff of the team

members assigned role with the project.

Project Contact - Applicant

Kevin Neshat

300 Carpathian Way
Raleigh, NC 27615
P:9192704270
KNESHAT@BLUESTONEDM.COM

Project Contact - Developer

Kevin Neshat

300 Carpathian Way
Raleigh, NC 27615
P:9192704270
KNESHAT@BLUESTONEDM.COM

Project Contact - Property Owner

Kevin Neshat

300 Carpathian Way
Raleigh, NC 27615
P:9192704270
KNESHAT@BLUESTONEDM.COM

Project Contact - Engineer

Jon Frazier
FLM Engineering, Inc
PO Box 91727
Raleigh, NC 27675
P:9196101051
jfrazier@flmengineering.com

Transportation Impact Analysis

As per Section 6.11.1 of the UDO is the project required to provide a Traffic Impact Analysis (TIA)? No

Project Number:

Was the TIA reviewed in a separate permit prior to this application?:

For projects requiring a TIA, a separate TIA application must be submitted in conjunction with this application. Please review the [TIA submittal checklist](#) and submit a ***Transportation Impact Analysis Review*** application in IDT.

- i** If the request is to a Conditional District (CD), this application should be accompanied by a master plan that includes land use, existing conditions, buildings, lots, etc. per Chapter 15 of the UDO. In addition, please provide a narrative of the proposed use and list any proposed conditions.

Proposed Conditional Zoning District: GR10-CD, General Residential 10,NB-CD, Neighborhood Business

Proposed Number of Lots: 25

Number of Single-Family Lots: 0

Number of Multi-Family Units: 0

Square Footage of All Buildings (non-residential): 0

Proposed Land Use:

Development of 25 townhomes and associated infrastructure

Number of Buildings: 5

Number of Townhome Lots: 25

Number of Stories: 3

Plan Information - Conditional Rezoning

Description of Request:

Development of 25 townhome units and associated infrastructure

Initial Proposed Conditions Offered by Applicant:

See attached list

Justification of Consistency with Comprehensive Plan:

The Town of Wake Forest Community Plan calls for conventional residential, which includes townhomes

Kevin Neshat
Lofts at South Main LLC

Tim Richards, AICP, CZO
Senior Planner - Development Services
Town of Wake Forest
301 S Brooks Street
Wake Forest, NC 27587

**Reference: Farm Road Townhomes (RZ-23-08)
Proposed Zoning Conditions**

Dear Mr. Richards:

The proposed zoning conditions for the Farm Road Townhomes project, Town of Wake Forest Case No. RZ-23-08, are listed below:

1. The subdivision master plan is a condition of the rezoning request. Amendments of the master plan shall require a rezoning amendment unless the Administrator finds the modification to be minor and in keeping with the spirit and intent of the approved subdivision master plan.
2. The following setbacks shall apply:
 - Minimum principal front setback: 15'
 - Minimum street side/secondary front setback: 10'
 - Minimum side setback: 6' (applies to townhome end units only)
 - Minimum rear setback: 20'
3. An exterior wall that fronts on a right-of-way including a secondary street side shall contain at least two decorative elements such as, but not limited to, the following elements:

• Bay window • Recessed window • Wrap around porch or side porch • Two or more building materials • Decorative brick or stone • Decorative trim • Decorative shake	• Air vents on gable shall have trim to match elevation style • Decorative gable • Decorative cornice • Column • Portico • Balcony • Dormer
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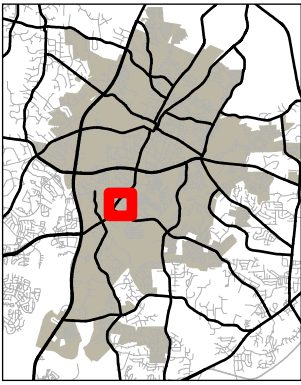
4. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color. Where varied siding and trim, shutter, and accent colors are not provided on an individual dwelling, a minimum of three varied materials shall be provided.
5. All elevations of the units that front on a right-of-way including a secondary street side shall have trim around the windows.
6. Raised Entries: All residential entrances within 18 feet of the sidewalk paralleling the front property line shall be raised above the average finished grade of the sidewalk a minimum of 1½ feet.
7. Roofs: Main roofs on residential buildings shall have a minimum pitch of 6:12, and decorative/elevation elements shall have a minimum pitch of 3:12.
8. Vinyl siding shall not be permitted.
9. For townhome dwellings, at least 15% of the area of each façade that faces a street lot line must be windows or main entrance doors, as measured from the finished floor elevation to the eave.
10. The Architectural and Review Guidelines for the community shall include the following language regarding parking:
 - Homeowners are expected to park vehicles in their garage or driveway, not on the street.
 - Street parking is only for short-term situations (e.g. guest parking overflow or maintenance vehicles), should allow for safe and efficient movement of traffic, and not block or hinder a neighbor's access to their driveway.
 - Street parking within 25' of a stop sign or within 15' of a fire hydrant is prohibited.
 - Parking of commercial vehicles or vehicles in disrepair is not permitted except within an enclosed garage.
 - Parking is prohibited on the grass or the medians.
 - Garage doors should be kept in the closed position unless they are in use.
11. All off-street parking, loading areas, and service areas adjacent to and/or visible from a public right-of-way and adjacent properties shall be screened from view by use of one or more of the following:
 - A. A building or buildings;
 - B. A change in topography;
 - C. A planting area a minimum of 5 feet wide planted with evergreen shrubbery placed a maximum of 5 feet on center. All shrubs shall achieve a height of 4 feet within 3 years.
 - D. Fencing, walls, or berms.
12. Park space amenities shall include a minimum of two (2) of the following options: playground, permanent cornhole courts, permanent gaming tables, permanent horseshoe pits, fire pit, community garden, and gazebo.

13. The Type B buffer required between the office and townhome uses along the proposed NB CD and GR10 CD zoning line/parcel line is being modified to include a minimum 8' planting area, split between both parcels, with a 6' opaque fence as shown on the master plan.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'K' followed by a long, horizontal, slightly wavy line.

Kevin Neshat
Lofts at South Main LLC



Annotated Aerial Photograph



TOWN of
WAKE FOREST

RZ-23-08

Farm Road Townhomes Conditional District Rezoning

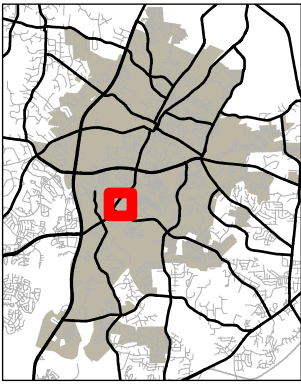
11/20/2023



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000
Feet





Existing Zoning

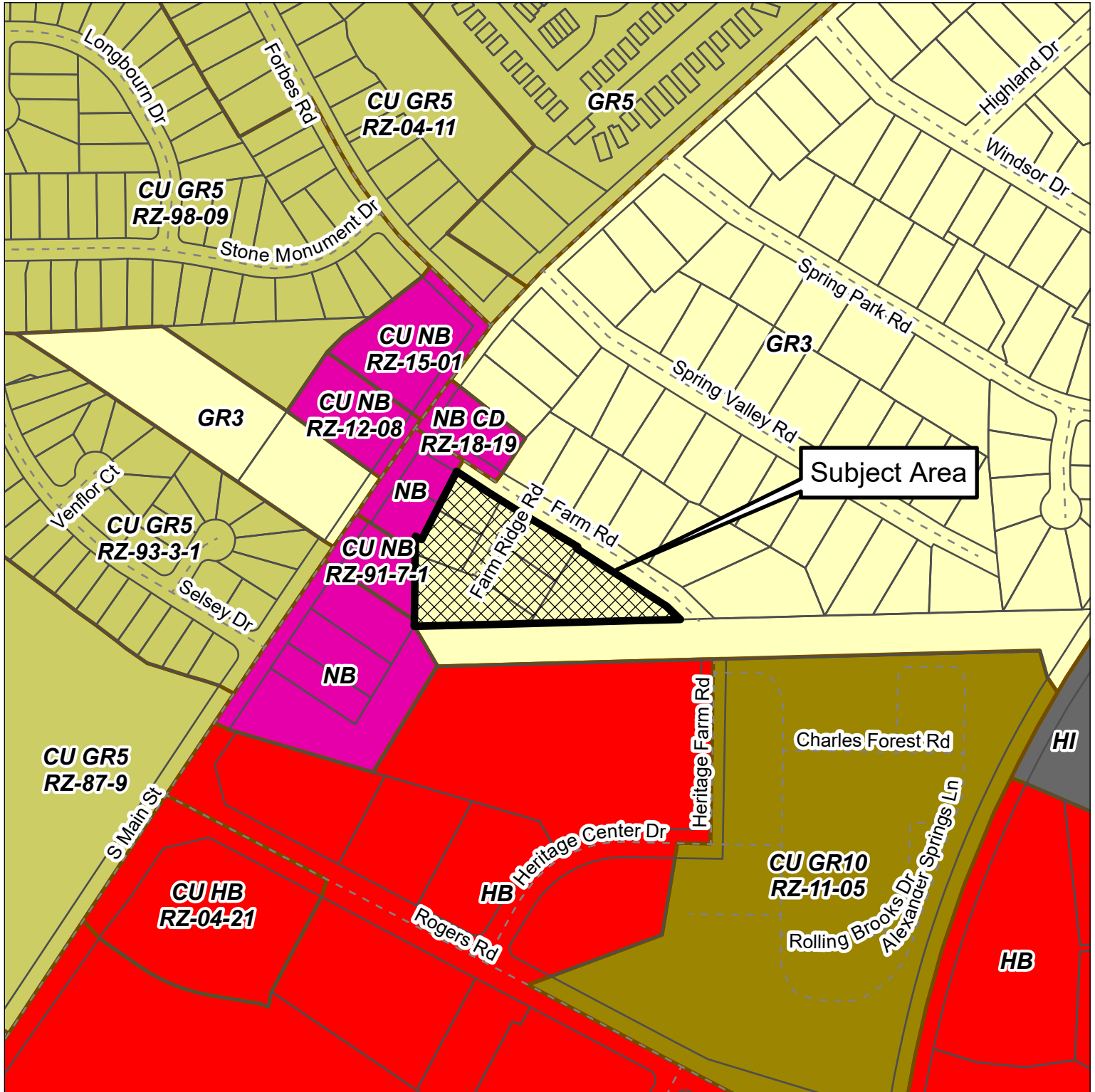


TOWN of
WAKE FOREST

RZ-23-08

Farm Road Townhomes Conditional District Rezoning

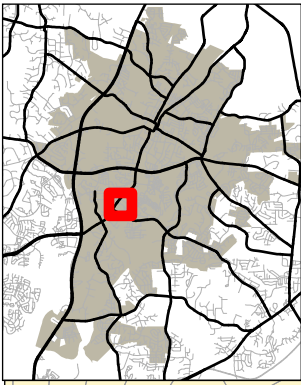
11/20/2023



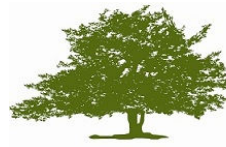
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0 500 1,000 Feet





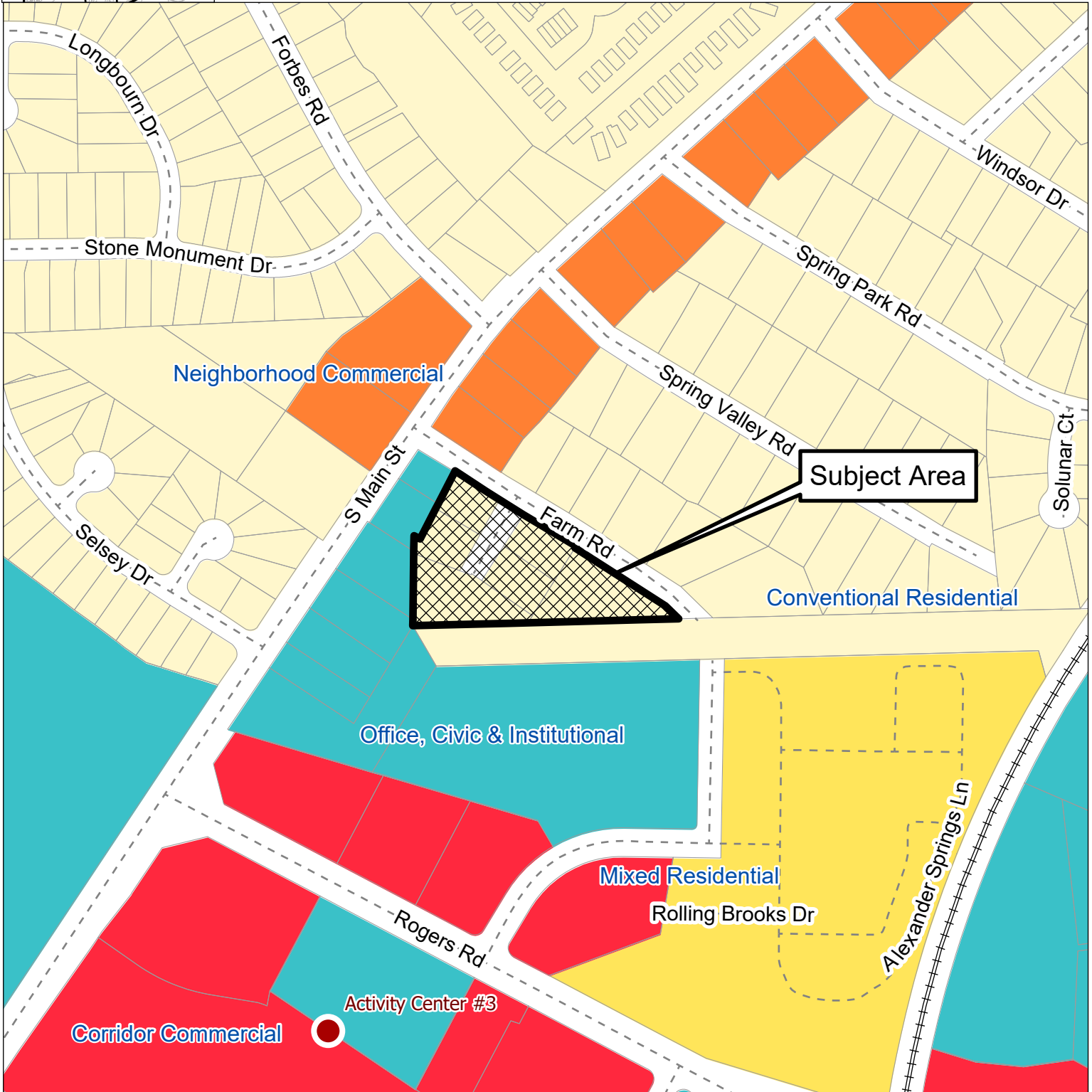
Land Use Plan



TOWN of
WAKE FOREST

RZ-23-08 Farm Road Townhomes Conditional District Rezoning

11/20/2023



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000
US Feet



Community Plan Consistency Analysis: RZ-23-08				
POLICIES FOR AFFORDABLE HOUSING		YES	NO	NA
AH-1	Implement Affordable Housing Plan			
POLICIES FOR RESIDENTIAL CHARACTER		YES	NO	NA
RC-1	Encourage single-family attached and multifamily development to incorporate varied building frontages and rooflines, front porches, front yards, and balconies to provide visual interest and complement the scale and character of surrounding single-family neighborhoods			
RC-2	Setbacks of infill development should match the existing context as much as possible as uniform setbacks can help foster a pedestrian-friendly environment			
RC-3	Promote higher density infill and redevelopment within older established neighborhoods to provide greater housing choices while matching the scale and character of existing properties			
RC-4	Promote higher density housing along key corridors and surrounding activity centers. This includes near areas designated in the Land Use Plan as Commercial Corridor; Neighborhood Commercial; Light Industrial; and Office, Civic, and Institutional			
RC-5	For larger scale planned subdivisions that provide a mix of housing types, work with private developers to locate lower density housing near existing single-family detached neighborhoods to create appropriate transitions and preserve the character of established neighborhoods			
RC-6	Consider requiring a minimum percentage of housing types in new neighborhood developments to increase housing diversity and affordability (e.g. at least 20% duplexes/townhomes)			
RC-7	Review and update the UDO to align with residential character recommendations within this Community Plan			
POLICIES FOR SENIOR HOUSING		YES	NO	NA
SH-1	Promote senior housing within a quarter mile of transit stops, Downtown, shopping areas, parks, and recreational facilities			
SH-2	Encourage smaller lot, single-story housing types for seniors that are ADA accessible			
SH-3	Encourage age-targeted cooperative housing types for community-oriented senior living, such as co-housing and cottage home courts			
SH-4	Promote the development of continuing care retirement communities (CCRC), or life plan communities, which offer distinct types of housing and care levels based on a senior's needs			
SH-5	Encourage developers of age-targeted housing to include amenities attractive to seniors, such as front porches, back patios, walking paths, and outdoor sports facilities, and activated gathering spaces			
POLICIES FOR COMMERCIAL DEVELOPMENT		YES	NO	NA
CD-1	Enhance established commercial areas by incentivizing redevelopment and/or renovation of existing businesses.			
CD-2	Support small, local businesses within commercial centers to support unique shopping options within Wake Forest			
CD-3	Establish architectural design standards for commercial building facades that promote quality design while allowing for flexibility that encourages creative design			
CD-4	Promote multi-story structures within Commercial Corridor and Neighborhood Commercial areas at appropriate scales that offer residential or office above ground-floor commercial			
CD-5	Encourage pedestrian-oriented shopping environments with sidewalks, attractive storefronts, and buildings facing each other to create a sense of enclosure			
CD-6	Encourage the incorporation of pedestrian/bicyclist/transit-oriented areas in large-scale shopping centers that provide outdoor seating and gathering areas, bicycle parking stations, and access to transit services			
CD-7	Promote cross-access and pedestrian pathways between adjacent parking lots and leading to buildings to promote well-connected, cohesive shopping areas			

Community Plan Consistency Analysis: RZ-23-08				
CD-8	Encourage the consolidation of commercial driveways onto major streets to reduce traffic conflicts			
CD-9	Require “360 degree architecture” (high quality architecture on all sides of the building as opposed to just the front-facing façade), including well-designed or screened service areas			
CD-10	Encourage businesses to replace existing, non-conforming signage with attractive signage that meets Town standards			
CD-11	Promote outparcel development to improve the character along primary roadways and break up views of large parking lots			
CD-12	Review and update the UDO, including the US 1 Special Highway Overlay (SH1-O) and Dr Calvin Jones Highway Overlay (SH2-O) districts, to align with commercial development recommendations within this Community Plan			
CD-13	Support accessory commercial units (ACUs) that allow the ground floor of residential properties or an accessory structure facing the street to contain a commercial use beneficial to the surrounding neighborhood			
CD-14	Establish block standards for commercial areas to break up large tracts into more human scale pieces with streets or street-like features within the development			
POLICIES FOR MINORITY & WOMEN-OWNED BUSINESSES		YES	NO	NA
MWOB-1	Work with organizations, such as the Chamber and the Black Business Alliance, to expand diversity, equity, and inclusion programs that are supported with grassroots community engagement			
MWOB-2	Explore successful programs for supporting minority and women-owned businesses in surrounding communities to implement in Wake Forest			
MWOB-3	Explore regional, state, and federal grants available for minority and women businesses, such as grants from the National Institute of Economic Development and Carolina Community Impact			
MWOB-4	Support informational sessions and/or provide educational resources to employers on how they can establish equitable work environments and policies within their businesses			
POLICIES FOR SETBACKS		YES	NO	NA
SB-1	Incentivize businesses to situate new buildings at or near the property line to improve walkability, such as by requiring more landscaping if parking lots are located in front of buildings rather than to the rear/side			
SB-2	Promote consistency in setbacks within commercial and residential areas to form desirable continuity in the streetwall, or the facades of buildings facing the street			
SB-3	Encourage outparcel development with 360 architecture to “hold the corner” of commercial corridor development			
SB-4	Ensure adequate setbacks of industrial or other high intensity uses to reduce potential sound or visual impacts on adjacent lower intensity uses			
SB-5	Allow for flexibly in setbacks in Downtown where existing conditions prevent a consistent streetwall, while maintaining a close interface with the street (e.g., utility, landscaping, and/or topography challenges)			
POLICIES FOR PARKING LOTS		YES	NO	NA
PL-1	For existing front-loaded surface parking lots, encourage property owners to improve their character with perimeter and interior landscaping, and/or decorative walls and fencing			
PL-2	Require off-street parking to be located to the side or rear of the primary building			
PL-3	Encourage shared parking agreements where neighboring uses with different peak parking demand times can use the same parking lot, reducing the need for additional parking lots			
PL-4	Reevaluate minimum parking standards and consider implementing maximum parking standards to reduce excessive requirements			
PL-5	Monitor parking supply and strategically encourage structured or underground parking in higher density areas if needed, such as in Downtown, TOD, and activity center areas, to reduce the amount of land dedicated to surface parking			

Community Plan Consistency Analysis: RZ-23-08				
PL-6	Consider offering incentives for structured parking, such as density bonuses, allowable lot coverage increases, and height limit increases.			
PL-7	Encourage the integration of structured parking into multifamily buildings to minimize surface parking lots			
PL-8	Encourage North Carolina Department of Environmental Quality's (NCDEQ) Stormwater Nitrogen and Phosphorus (SNAP) nutrient-reducing practices, such as permeable surfaces, that allow water infiltration in parking lots to improve stormwater drainage and water quality			
PL-9	Encourage the provision of pedestrian walkways in parking lots to enhance connectivity and safety to businesses			
POLICIES FOR SCREENING & BUFFERING		YES	NO	NA
SB-1	Ensure sufficient screening and buffering of industrial and commercial uses next to residential uses to minimize potential adverse impacts, such as in the Unicon Drive area			
SB-2	Encourage new development to preserve existing wooded areas along the perimeter of sites to provide natural buffering			
SB-3	Encourage screening of utility, loading, outdoor storage, and trash disposal areas that are visible from the right-of-way and adjacent development			
SB-4	Promote the use of setbacks for walls and fences that allow for plantings between the property line and the right-of-way and adjacent development			
POLICIES FOR COMMUNITY CHARACTER		YES	NO	NA
CC-1	Preserve vistas and view corridors that contribute to the economic and aesthetic value of Wake Forest, such as the church steeple at Southeastern Baptist Theological Seminary, S White Street in Downtown, and N Main Street in the Wake Forest Local Historic District			
CC-2	Curate public outdoor spaces for important monuments and artworks to showcase them as anchors and entry points to neighborhoods			
CC-3	Leverage historic structures, events, and people to create a sense of place through placemaking and branding			
CC-4	Ensure new development is contextual to the existing character of the area in terms of scale, massing, setback, fenestration, and design features (porches, storefronts, etc.)			
CC-5	Encourage developers to incorporate landscaping to beautify neighborhoods and commercial areas, such as landscaped medians and roundabouts.			
CC-6	Incorporate landscaping and gateway features into public rights-of-way, such as landscaped streetscapes, green infrastructure, and public promenades			
CC-7	Emphasize quality development along highly visible thoroughfares in the Town to reinforce its positive image			
CC-8	In accordance with the Land Use Plan, ensure incompatible, high intensity uses are directed away from low intensity residential areas			
CC-9	Continue to provide quality municipal services for the maintenance and upkeep of neighborhoods, such as street cleaning, snow removal, and trash disposal services			
CC-10	Work with NCDOT to identify areas for roadway enhancements			
CC-11	Refer to the Public Art Vision Plan for guidance when public art is being proposed in private development			
CC-12	Work with developers to improve the character of retaining walls, such as by incorporating public art or tiering the walls to reduce their visual impact			
POLICIES FOR UTILITY LINES		YES	NO	NA

Community Plan Consistency Analysis: RZ-23-08				
UL-1	Create a master plan for burying utility lines with community involvement to identify priority areas for conversion			
UL-2	Ensure major Town entrances and gateway corridors and highly visible, pedestrian-oriented areas are prioritized for conversion			
UL-3	Consider trenching utilities as capital improvements are made in the right-of-way for all areas of the Town			
UL-4	Investigate partnering with private developers to install conduit for fiber and/or burying utility lines in priority conversion areas			
UL-5	Explore partnerships with private developers for boring and burying additional conduit along main roadways			
UL-6	Consider and install conduit with greenway project construction.			
POLICIES FOR HISTORIC PRESERVATION		YES	NO	NA
HP-1	Work with the Historic Preservation Commission (HPC) and the Planning Department to continue to implement the 2019 Historic Property Handbook and Design Standards and continue to preserve existing and new historic landmarks			
HP-2	Continue to enforce the Historic Preservation Ordinance for the Wake Forest Local Historic District and local historic landmarks			
HP-3	Promote State and Federal Tax Incentives for qualified rehabilitation projects for properties listed individually or as contributing historic properties in the National Register of Historic Places			
HP-4	Ensure development surrounding and within historic districts is sensitive to the historic context of the neighborhood			
HP-5	Encourage adaptive reuse, restoration, and repurposing of historic structures to preserve Wake Forest's history			
HP-6	Continue to enforce the Demolition of Historic Structures Ordinance for the protection of all historic properties in Wake Forest			
HP-7	Investigate the adoption of new local historic districts or character historic overlay districts to preserve Wake Forest's historic character			
POLICIES FOR COMMUNITY FACILITIES		YES	NO	NA
CF-1	Expand Town facilities concurrently with new growth			
CF-2	Annually review the Town's Work Management Plan, Staffing, and Budget section to reflect current needs and priorities			
CF-3	Work with the Wake Forest Parks, Recreation, and Cultural Resources Department to identify strategies to close gaps in park service areas, such as west of Capital Boulevard and the southern and eastern portion of Town			
CF-4	Work with the Wake Forest Parks, Recreation, and Cultural Resources Department to expand equity in the quality of public park facilities and programming			
CF-5	Explore green infrastructure options that also beautify spaces, like bioswales and planters			
CF-6	Continue to work with regional educational entities to provide support as they seek new facility locations or expansion with growth			
CF-7	Coordinate with regional educational entities to ensure increased equity in educational facilities across the community			
CF-8	Coordinate with the Police and Fire Departments to ensure response times are sufficient for all areas of town with growth			

Community Plan Consistency Analysis: RZ-23-08				
CF-9	Consider emerging best practices for community safety, such as mental health crisis response teams			
CF-10	Promote and incorporate sustainable building practices into community facilities, setting a precedent for private developers to implement			
CF-11	Coordinate with regional healthcare providers to explore opportunities to locate a full service hospital or regional medical facilities in the Town			
CF-12	Evaluate existing streets and explore UDO updates to address traffic congestion, traffic speed, reduce collisions, and improve safety conditions for all modes of transportation			
CF-13	Regularly update the Town Pavement Management System program			
POLICIES FOR PUBLIC TRANSIT		YES	NO	NA
PT-1	Continue to work with transit partners to consider more frequent service and route network expansions to key locations to improve rider experience and attract more usage of mass transit			
PT-2	Coordinate with property owners, private developers, and transit partners to set aside land for transit stops at appropriate locations. The Town should obtain a transit easement for these locations and construct and maintain quality bus shelter infrastructure			
PT-3	Work with GoRaleigh and GoTriangle to construct smart bus shelters, or sustainable shelters that incorporate elements like interactive screens with live timetables, smart lighting, solar panels, and bike lock stations			
PT-4	Explore incorporating public art into bus shelters			
PT-5	Continue to evaluate and coordinate Park and Ride locations with transit partners			
PT-6	Explore best long term transit options such as fixed or microtransit			
POLICIES FOR CAPITAL BOULEVARD		YES	NO	NA
CB-1	Continue to work closely with NCDOT to implement the project and promote commercial growth in accordance with the Land Use Plan			
CB-2	Continue advocating for improvements along the corridor to assist in improving the quality of life for Wake Forest residents, businesses, and property owners			
POLICIES FOR STREET CONNECTIVITY		YES	NO	NA
SC-1	Promote short blocks of less than 600 linear feet between intersections of local roads to improve walkability			
SC-2	Avoid dead-ends, cul-de-sacs, and T-intersections in places where four-way intersections can be aligned			
SC-3	Study the appropriateness of traffic circles at four-way intersections to ease congestion and improve safety			
POLICIES FOR SIDEWALKS & MULTI-USE PATHS		YES	NO	NA
SP-1	Update the CTP to include an inventory of sidewalks in addition to multi-use paths and establish project priorities, private-public funding, and time frames for closing gaps in the network			
SP-2	Update the CTP to identify priority areas for high visibility crosswalks, bulb outs, refuge islands, rectangular rapid flashing beacons, and other pedestrian improvements			
SP-3	Work with Public Works to identify crosswalk ramps that are not ADA compliant and prioritize upgrades			

Community Plan Consistency Analysis: RZ-23-08				
SP-4	In coordination with roadway improvements, upgrade aging sidewalks or install new sidewalks if none exist			
SP-5	Promote sidewalk, multi-use path, or trail connectivity between residential subdivisions and nonresidential development to improve pedestrian and bicycle connectivity			
SP-6	Continue to ensure all new residential development provides sidewalks on both sides of the street			
SP-7	Encourage multi-use paths to be provided along the main road in developments			
SP-8	Ensure multifamily and commercial developments include strong pedestrian networks within and between their sites			
POLICIES FOR BIKEWAYS, GREENWAYS & TRAILS		YES	NO	NA
BGT-1	Identify trail head locations as the greenway and trail network continues to expand			
BGT-2	Explore opportunities along greenways to add amenities (i.e. water fountains, seating /rest areas, pocket parks, public art, and fix it stations) and programming with the Parks, Recreation, and Cultural Resources Department or other organizations like StoryWalks			
BGT-3	Encourage development along greenways to incorporate greenway access into the site, particularly for uses attractive to trail users (i.e. restaurant, cafes, and bars)			
POLICIES FOR LOCAL FOOD SYSTEMS		YES	NO	NA
LFS-1	Continue to support the Northern Community Food Security Team and together explore other locations for community food hubs within the Town			
LFS-2	Partner with local food cooperatives and regional food networks, such as the Capital Area Food Network, to address food insecurity in the community			
LFS-3	Encourage regenerative practices, such as use of organic fertilizers, crop rotation, and crop variation for healthy soil			
LFS-4	Conduct a meal gap survey to better assess the immediate and long term needs in the community			
LFS-5	Evaluate the economic impact of local food systems in the community to encourage localized marketplaces for food producers			
LFS-6	Explore updates to the UDO that would promote urban agriculture and repurposing of vacant or underutilized lots for such uses			
POLICIES FOR CONSERVATION DESIGN		YES	NO	NA
CD-1	Encourage conservation design in the UDO's subdivision development regulations, particularly for areas within watershed protection areas			
CD-2	Explore incentives for promoting conservation design, such as density bonuses to allow for comparable number of housing units but greater preserved green space within the site			
CD-3	Encourage developers to enhance preserved green spaces as accessible amenities for residents, such as trails and outdoor seating			
POLICIES FOR GREEN SPACE PRESERVATION		YES	NO	NA
GSP-1	Prioritize higher density redevelopment and infill development within already developed areas to avoid premature development in long term growth areas and reduce greenfield development			

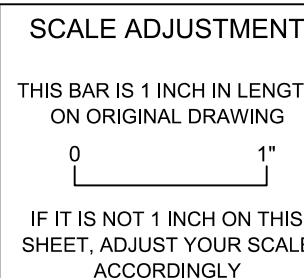
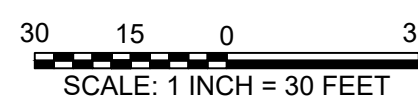
Community Plan Consistency Analysis: RZ-23-08				
GSP-2	Work with private developers to preserve significant natural assets within sites, such as streams, steep slopes, unique geological formations, wetlands, and mature stands of trees, which can be incorporated as development amenities			
GSP-3	Continue to identify and strategically acquire environmentally sensitive land to preserve as dedicated conservation areas and publicly accessible open space			
GSP-4	Explore incentives to promote conservation design in future development, such as density bonuses, to promote clusters of taller structures that preserve natural areas of the site			
GSP-5	Explore strategies to further promote green space preservation within the updated UDO, such as increasing set aside requirements, and evaluate what is credited as open space			
GSP-6	Explore strategies to further protect wildlife and environmentally sensitive areas in the UDO			
POLICIES FOR TREE CANOPY		YES	NO	NA
TC-1	Continue to support the Town in administering the Urban Forestry Program and planting, preserving, and maintaining trees on public properties and rights-of-way			
TC-2	Explore updates to the UDO that could further promote tree preservation and replacement in new developments			
TC-3	Review existing incentives and consider additional incentives for private developers to promote tree preservation above what is required by the UDO			
TC-4	Explore ways to increase the number of trees required in parking lots during the update to the UDO, such as requiring an island every 20 parking spaces or decreasing the minimum distance a parking space can be from a tree			
TC-5	Ensure public and private tree plantings and xeriscaping are made up of native plant species that are adapted to local environmental conditions and require less irrigation			
TC-6	Coordinate efforts to influence State regulations related to the expansion of tree preservation standards			
POLICIES FOR SUSTAINABLE DEVELOPMENT		YES	NO	NA
SD-1	Encourage private developers to incorporate green building, LID, and green infrastructure practices in future developments			
SD-2	Incorporate green infrastructure into public streetscapes, prioritizing pedestrian-oriented areas like Downtown, TOD, and Neighborhood Commercial areas			
SD-3	Continue to incorporate sustainable design best practices into Town-owned infrastructure and community facilities, striving to incorporate LEED practices into future facilities			
SD-4	Use the Environmental Protection Agency's (EPA) "Revising Local Codes to Facilitate Low Impact Development" guide to help identify regulations within the UDO that discourage LID practices			
SD-5	Evaluate potential rainwater collection programs and composting programs			
SD-6	Explore an incentive program to encourage development to provide stormwater when lots are exempt from stormwater requirements			
SD-7	Update the Manual of Specifications, Standards and Design to reference green infrastructure design			
SD-8	Explore decommissioned rights-of-way as potential stormwater routes			
SD-9	Support the use of attractive, safe, and sustainable street furniture and infrastructure, such as solar streetlights, and LED traffic lights			

Community Plan Consistency Analysis: RZ-23-08				
SD-10	Expand the electric vehicle (EV) charging network by requiring the installation of charging stations, or the infrastructure needed to accommodate future charging stations, in all new parking lots, especially parking lots of multifamily and large scale developments, and increasing supply of public charging stations			
SD-11	Promote adaptive reuse over redevelopment for structures that are structurally sound, feature desirable built form, and/or are historically significant. This includes creating an online inventory of buildings available for adaptive reuse			
SD-12	Investigate developing a solar energy ordinance and enrolling in the SolSmart program, a national designation program funded by the US Department of Energy charged with making solar power faster, easier, and more affordable			
SD-13	Explore ways to incentivize renewable energy and passive solar design in the Town's development standards. SolSmart's Solar Energy Toolkit can be used as resource for better promoting solar panels within the code			
SD-14	Continue partnership with Raleigh to encourage homeowners to incorporate practices for water conservation			
POLICIES FOR TOURISM		YES	NO	NA
T-1	Grow the Town's art community and reputation as a regional arts destination with a Downtown focus			
T-2	Explore the potential of constructing a recreational destination facility with a regional draw			
T-3	Develop annual Tourism Economic Impact Reports to help quantify progress made in Wake Forest's tourism sector and identify trends, issues, and opportunities that can help Town staff prioritize future investments			
T-4	Support the Wake Forest Area Chamber to create and market a local visitor's center as a public resource hub for the Town's attractions, events, and businesses for visitors			
T-5	Leverage Wake County's Room Occupancy Tax to build, finance, and create new establishments or run events related to tourism, allowing the Town to capitalize on its success in drawing hotel occupants			
T-6	Create a community-wide wayfinding plan to improve sense of place and signage that directs visitors and residents to Town destinations			
T-7	Continue to support Wake Forest Downtown Inc. (a Main Street America accredited program) in meeting the National Accreditation Standards of Performance as outlined by the National Main Street Center			
T-8	Continue to participate in the NC Main to Main Trail program, a network that connects the State's Main Street America communities, and leverage this designation in the Town's marketing strategy			
T-9	Investigate hiring consultants to provide a comprehensive evaluation of Town events and provide recommendations for improved programs			
T-10	Explore the creation of a social district, where customers can carry and consume food and drinks purchased from businesses outside in a designated zone			
POLICIES FOR GATEWAYS		YES	NO	NA
GW-1	Create a Gateway Plan to identify and prioritize sites for gateway features and establish design standards. Ensure the Plan works in synergy with the Town's Wayfinding Plan.			
GW-2	Improve roadway infrastructure along key gateway routes to enhance their character and multimodal connectivity.			
POLICIES FOR DOWNTOWN WAKE FOREST		YES	NO	NA

Community Plan Consistency Analysis: RZ-23-08				
DWF-1	Evaluate existing zoning regulations around density in appropriate locations to balance Downtown's development potential with preserving its historic character			
DWF-2	Identify strategies to fill vacant buildings Downtown that promote an entrepreneurial and small-business culture			
DWF-3	Identify strategies to attract families and younger populations to Downtown with inviting public spaces, entertainment, and destinations for all ages			
DWF-4	Provide guidelines for how buildings should be orientated to support pedestrian-friendly environments			
DWF-5	Reassess parking demand and supply with consideration for a new parking garage(s) to minimize surface parking lots			
DWF-6	Identify strategies to create an "experience-based" Downtown retail environment with unique local businesses and a pedestrian-oriented environment			
DWF-7	Reassess strategies to improve gateways and wayfinding to and within Downtown to better direct people and create a distinct sense of place			
DWF-8	Identify opportunities for Downtown events and public gathering spaces to bring the community together, such as live outdoor events and festivals			

SHEET 1 OF 7

ORIGINAL PLAN SIZE: 24" X 36'



FARM RD TOWNHOMES
SITE MASTER PLAN
RZ-23-08

FARM RD
WAKE FOREST, NC

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET 2 OF 7

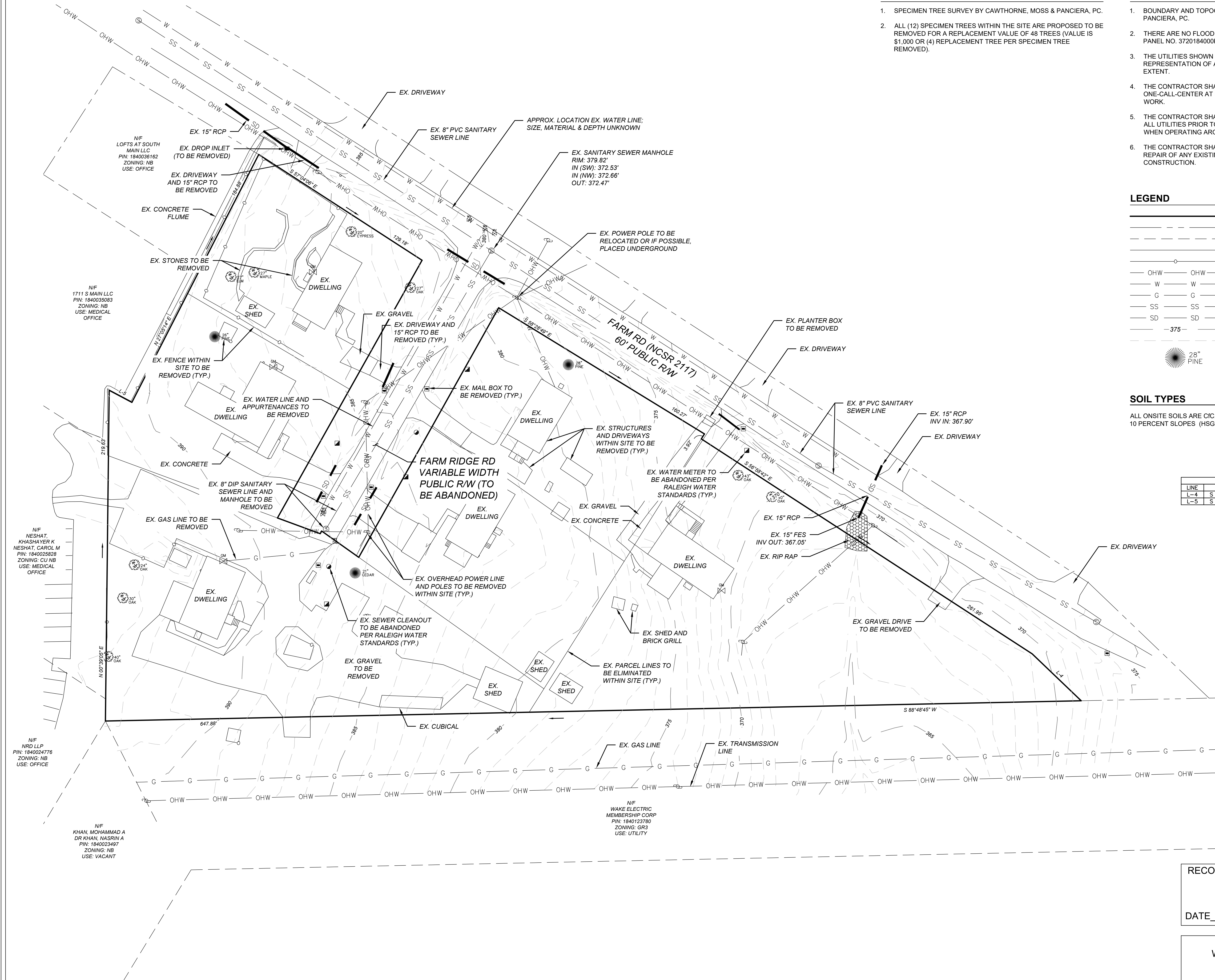
1. SPECIMEN TREE SURVEY BY CAWTHORNE, MOSS & PANCIERA, PC
2. ALL (12) SPECIMEN TREES WITHIN THE SITE ARE PROPOSED TO BE REMOVED FOR A REPLACEMENT VALUE OF 48 TREES (VALUE IS \$1,000 OR (4) REPLACEMENT TREE PER SPECIMEN TREE REMOVED).

1. BOUNDARY AND TOPOGRAPHIC SURVEY BY CAWTHORNE, MOSS & PANCIERA, PC.
2. THERE ARE NO FLOOD PRONE AREAS PRESENT PER FEMA FIRM PANEL NO. 372018400K, EFFECTIVE JULY 19, 2022.
3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
	EX. SUBDIVISION LINE
	EX. CHAIN LINK FENCE
	EX. OVERHEAD ELECTRIC LINE
	EX. WATER LINE
	EX. GAS LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. MAJOR CONTOUR (5')
	EX. MINOR CONTOUR (1')
	EX. SPECIMENT TREE

ALL ONSITE SOILS ARE CfC, CECIL-URBAN LAND COMPLEX, 2 TO 10 PERCENT SLOPES (HSG A).

LINE TABLE		
LINE	BEARING	DISTANCE
L-4	S 46°13'42" E	45.04'
L-5	S 61°59'50" E	17.10'



RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING BOARD

DATE _____

APPROVAL BY THE
WAKE FOREST BOARD OF
COMMISSIONERS

DATE _____



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWF COMMENTS	3/6/2023	FLM
2	TOWF COMMENTS	8/8/2023	FLM
3	TOWF COMMENTS	10/4/2023	FLM
4	TOWF COMMENTS	11/13/2023	FLM

ORIGINAL PLAN SIZE: 24" X 36"

30 15 0 30
SCALE: 1 INCH = 30 FEET



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE
ACCORDINGLY

FARM RD TOWNHOMES
SITE MASTER PLAN
RZ-23-08

FARM RD
WAKE FOREST, NC

DATE:	09-26-2021
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22031

SITE PLAN

C-3

SHEET 3 OF 7

SUMMARY INFORMATION

DEVELOPMENT NAME: FARM RD TOWNHOMES

SITE ADDRESS: FARM RD, WAKE FOREST, NC

PIN NUMBER(S): 1840-03-7051, 1840-02-7902, 1840-02-6891, 1840-02-8856, 1840-02-9915, AND 1840-12-0841

TOTAL AREA: 3.06 AC

EXISTING USE: DWELLING - SINGLE FAMILY
PROPOSED USE: DWELLING - TOWNHOME

JURISDICTION: TOWN OF WAKE FOREST
CURRENT ZONING DISTRICT: GR3
PROPOSED ZONING DISTRICT: GR10 CD AND NB CD

COMMUNITY PLAN DESIGNATION: CONVENTIONAL RESIDENTIAL

GR10 CD ZONING

GR10 CD AREA: 2.90 AC

PROPOSED UNITS: 25
GR10 MAX. DENSITY: 10 UNITS/ACRE
PROPOSED DENSITY: 8.62 UNITS/ACRE

PROPOSED MIN. TOWNHOME LOT AREA: 1,958 SQ.FT
PROPOSED MIN. TOWNHOME LOT WIDTH: 22'

BUILDING SETBACKS:
FRONT REQUIRED: 20'; FRONT PROPOSED: 15'
SIDE STREET REQUIRED: 20'; SIDE STREET PROPOSED: 10'
SIDE REQUIRED: 8'; SIDE PROPOSED: 6'
REAR REQUIRED: 25'; REAR PROPOSED: 20'

GR10 BUILDING HEIGHT (MAX.): 3 STORIES
PROPOSED BUILDING HEIGHT (MAX.): 3 STORIES

PARKING CALCULATIONS:
REQUIRED PARKING: 1.8 PER UNIT = 1.8 X 25 UNITS = 45 SPACES
PROVIDED PARKING: 4 SPACES PER UNIT (DOUBLE-CAR GARAGE AND DOUBLE-CAR DRIVEWAY) + 4 GUEST PARKING SPACES = 104 SPACES

BICYCLE PARKING CALCULATIONS:
REQUIRED PARKING: 2 PER 40 AUTO SPACES = 104 / 40 X 2 = 6 SPACES
PROVIDED PARKING: 10 SPACES (5 INVERTED 'U' RACKS)

CLUSTER MAILBOX UNIT PARKING CALCULATIONS:
REQUIRED PARKING: 2 PER LOCATION, 1 ADA
PROVIDED PARKING: 2 SPACES, 1 ADA

GR10 REQUIRED OPEN PACE: 0.29 AC (10%)
PROPOSED OPEN SPACE: 0.66 AC (22.8%)

GR10 REQUIRED PARK SPACE: 0.0725 AC (2.5%)
PROPOSED PARK SPACE: 0.16 AC (5.5%)

EXISTING IMPERVIOUS AREA: 33,300 SF, 0.76 AC (26.2%)
PROPOSED IMPERVIOUS AREA: 66,750 SF, 1.53 AC (52.8%)

NB CD ZONING

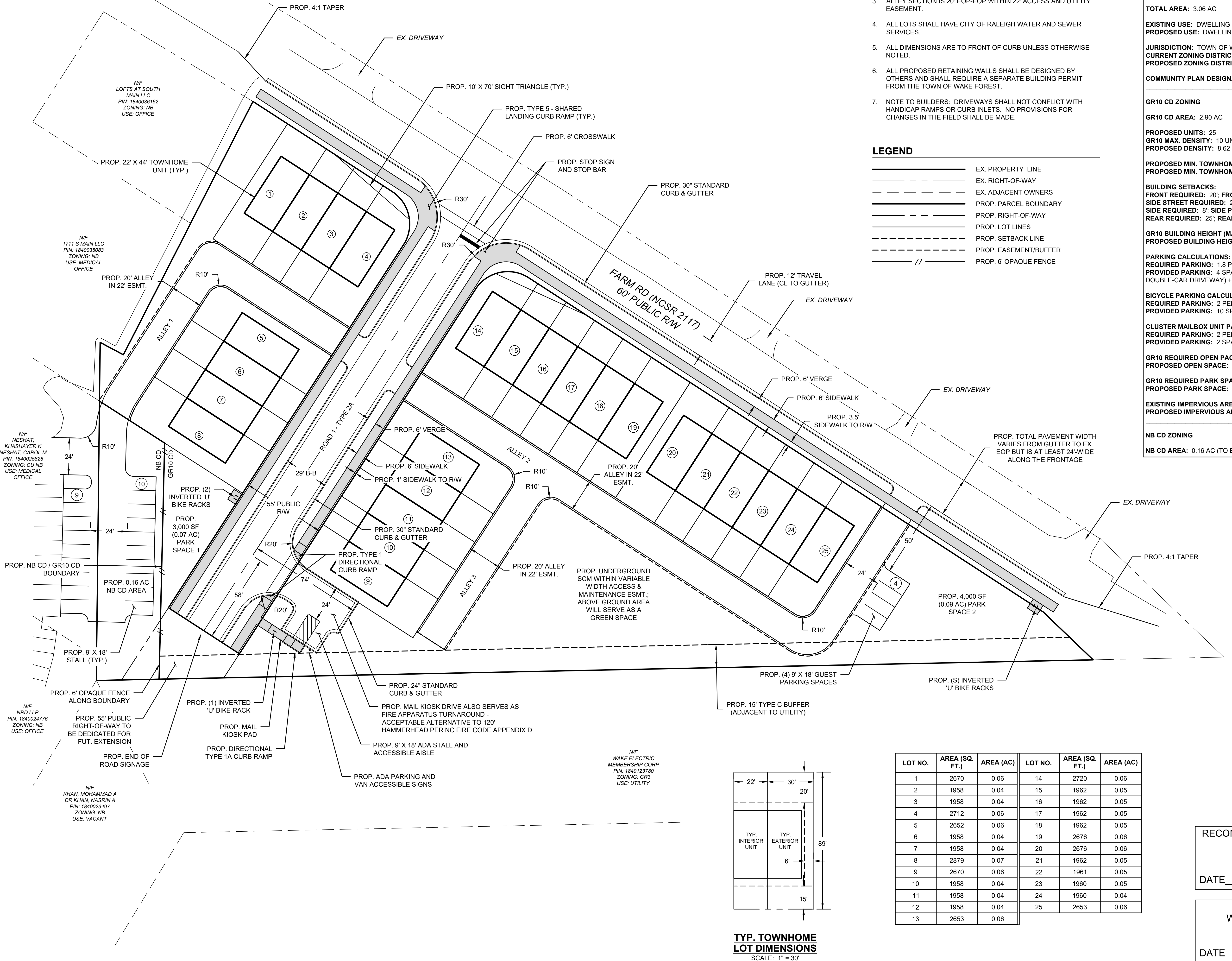
NB CD AREA: 0.16 AC (TO BE COMBINED WITH ADJACENT NB PARCEL)

NOTES

- ALL ROADWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF WAKE FOREST STANDARDS AND SPECIFICATIONS.
- ALL TOWNHOME UNITS SHALL HAVE DOUBLE-CAR GARAGE AND DOUBLE-CAR DRIVEWAY WITH ALLEY ACCESS.
- ALLEY SECTION IS 20' EOP-EOP WITHIN 22' ACCESS AND UTILITY EASEMENT.
- ALL LOTS SHALL HAVE CITY OF RALEIGH WATER AND SEWER SERVICES.
- ALL DIMENSIONS ARE TO FRONT OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS AND SHALL REQUIRE A SEPARATE BUILDING PERMIT FROM THE TOWN OF WAKE FOREST.
- NOTE TO BUILDERS: DRIVEWAYS SHALL NOT CONFLICT WITH HANDICAP RAMPS OR CURB INLETS. NO PROVISIONS FOR CHANGES IN THE FIELD SHALL BE MADE.

LEGEND

—————	EX. PROPERTY LINE
- - - - -	EX. RIGHT-OF-WAY
- - - - -	EX. ADJACENT OWNERS
—————	PROP. PARCEL BOUNDARY
- - - - -	PROP. RIGHT-OF-WAY
—————	PROP. LOT LINES
- - - - -	PROP. SETBACK LINE
- - - - -	PROP. EASEMENT/BUFFER
———//———	PROP. 6' OPAQUE FENCE



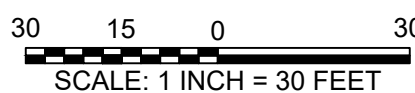


- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
- A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR OR OTHER WATER SOURCE. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL, OR 50' FROM A PUBLIC WELL.
- B) INSTALLING WATER & R/O SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE ELEVATION OF THE SEWER MAIN. THE HORIZONTAL SEPARATION BETWEEN THE DIRECTOR, ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SEWER OR SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & R/O STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SEPARATION 18" MIN.
- E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-4.1 & S-4.9)
- F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE NOTICED 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
8. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET EXCEEDING 80'
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80' PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & R/O FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
12. NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES & REGULATIONS OF THE NORTH CAROLINA DEPARTMENT OF HEALTH. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
15. CONTACT JONIANE HARTLEY AT (919) 996-5922 OR JONIANE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

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RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

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ORIGINAL PLAN SIZE: 24" X 36"



SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH
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IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE
ACCORDINGLY

FARM RD TOWNHOMES
SITE MASTER PLAN
RZ-23-08

FARM RD
WAKE FOREST, NC

DATE:	09-26-2021
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22031

UTILITY PLAN

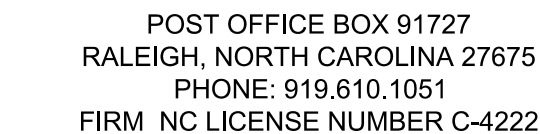
SHEET 4 OF 7

RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING BOARD

DATE _____

APPROVAL BY THE
WAKE FOREST BOARD OF
COMMISSIONERS

DATE _____

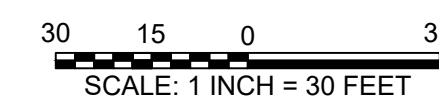


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SITE MASTER PLAN
RZ-23-08

FARM RD
WAKE FOREST, NC

DATE:	09-26-2021
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GRADING & DRAINAGE PLAN

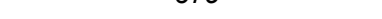
C-5

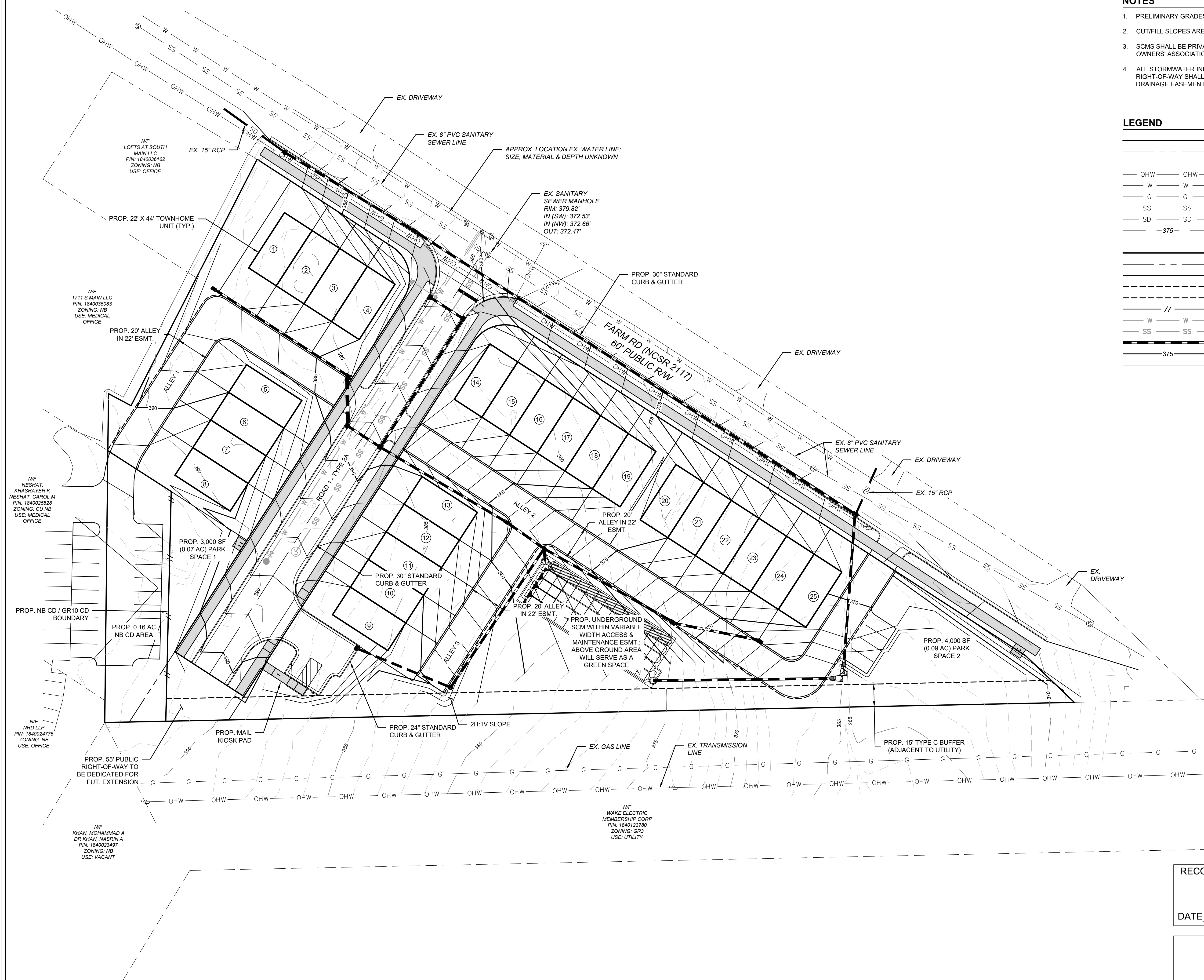
SHEET 5 OF 7

NOTES

1. PRELIMINARY GRADES SHOWN REPRESENT FINISHED GRADES.
2. CUT/FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
3. SCMS SHALL BE PRIVATE AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION.
4. ALL STORMWATER INFRASTRUCTURE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY MAINTAINED WITHIN PRIVATE DRAINAGE EASEMENTS.

LEGEND

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
 OHW OHW	EX. OVERHEAD ELECTRIC LINE
 W W	EX. WATER LINE
 G G	EX. GAS LINE
 SS SS	EX. SANITARY SEWER
 SD SD	EX. STORM SEWER
 — 375 —	EX. MAJOR CONTOUR (5')
	EX. MINOR CONTOUR (1')
	PROP. PARCEL BOUNDARY
	PROP. RIGHT-OF-WAY
	PROP. LOT LINES
	PROP. SETBACK LINE
	PROP. EASEMENT/BUFFER
 //	PROP. 6" OPAQUE FENCE
 W W	PROP. WATER LINE
 SS SS	PROP. SANITARY SEWER
	PROP. STORM SEWER
 — 375 —	PROP. MAJOR CONTOUR (5')
	PROP. MINOR CONTOUR (1')

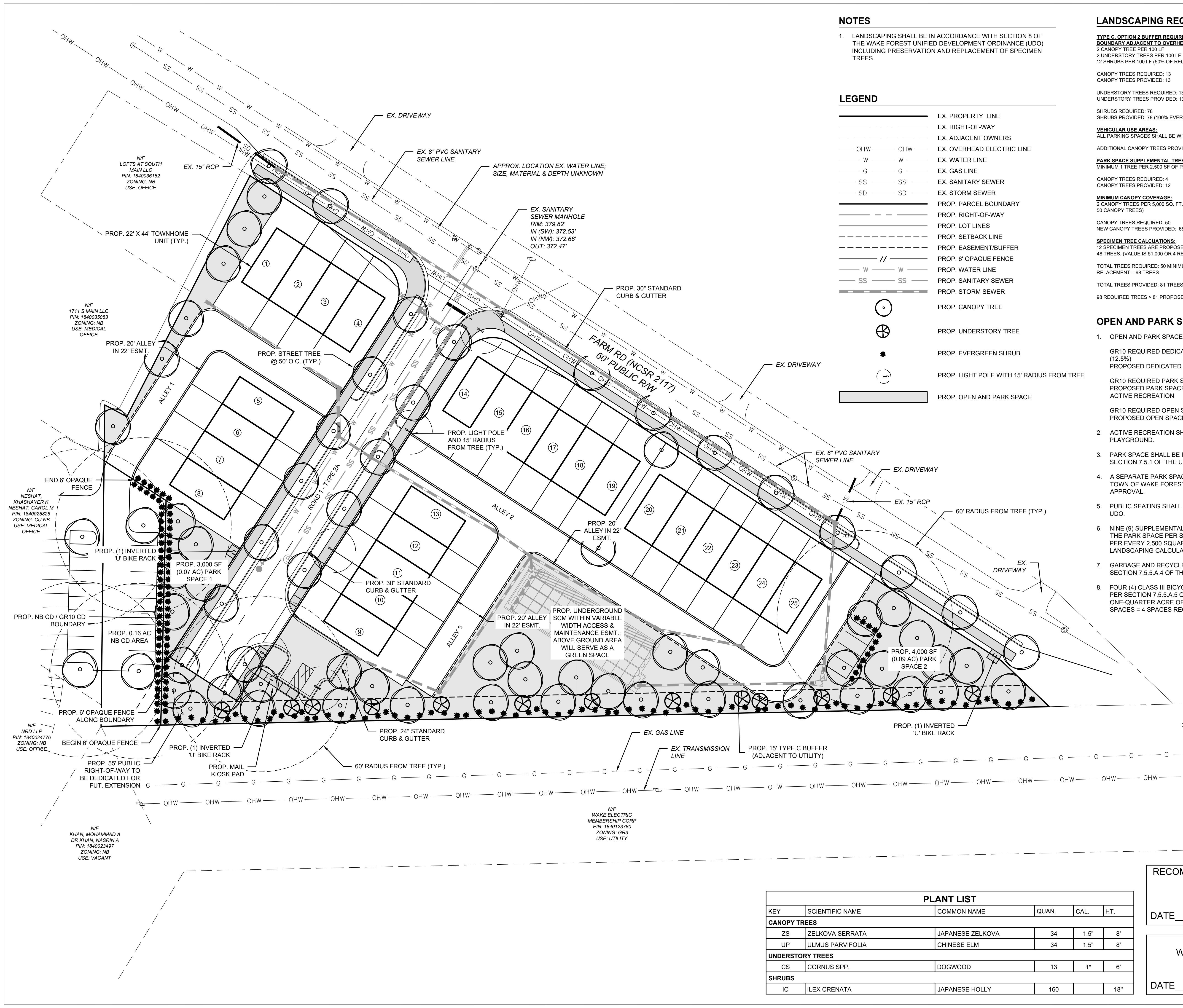


RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING BOARD

DATE _____

APPROVAL BY THE
WAKE FOREST BOARD OF
COMMISSIONERS

DATE _____



NOTES

1. LANDSCAPING SHALL BE IN ACCORDANCE WITH SECTION 8 OF THE WAKE FOREST UNIFIED DEVELOPMENT ORDINANCE (UDO) INCLUDING PRESERVATION AND REPLACEMENT OF SPECIMEN TREES.

LEGEND

---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. OVERHEAD ELECTRIC LINE
---	EX. WATER LINE
---	EX. GAS LINE
---	EX. SANITARY SEWER
---	EX. STORM SEWER
---	PROP. PARCEL BOUNDARY
---	PROP. RIGHT-OF-WAY
---	PROP. LOT LINES
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. 6' OPAQUE FENCE
---	PROP. WATER LINE
---	PROP. SANITARY SEWER
---	PROP. STORM SEWER
---	PROP. CANOPY TREE
---	PROP. UNDERSTORY TREE
---	PROP. EVERGREEN SHRUB
---	PROP. LIGHT POLE WITH 15' RADIUS FROM TREE
---	PROP. OPEN AND PARK SPACE

LANDSCAPING REQUIREMENTS

TYPE C, OPTION 2 BUFFER REQUIREMENTS (APPROX. 648 LF ALONG SOUTHERN BOUNDARY ADJACENT TO OVERHEAD TRANSMISSION UTILITY):
2 CANOPY TREE PER 100 LF
2 UNDERSTORY TREES PER 100 LF
12 SHRUBS PER 100 LF (50% OF REQUIRED SHRUBS MUST BE EVERGREEN SPECIES)

CANOPY TREES REQUIRED: 13
CANOPY TREES PROVIDED: 13

UNDERSTORY TREES REQUIRED: 13
UNDERSTORY TREES PROVIDED: 13

SHRUBS REQUIRED: 78
SHRUBS PROVIDED: 78 (100% EVERGREEN)

VEHICULAR USE AREAS:
ALL PARKING SPACES SHALL BE WITHIN 60 FEET OF A PLANTED CANOPY TREE TRUNK.

ADDITIONAL CANOPY TREES PROVIDED: 2

PARK SPACE SUPPLEMENTAL TREE PLANTING:
MINIMUM 1 TREE PER 2,500 SF OF PARK SPACE (11,000 SF / 2,500 SF = 4 TREES)

CANOPY TREES REQUIRED: 4
CANOPY TREES PROVIDED: 12

MINIMUM CANOPY COVERAGE:
2 CANOPY TREES PER 5,000 SQ. FT. OF PARCEL AREA (126,137 SQ. FT. / 5,000 SQ. FT. X 2 = 50 CANOPY TREES)

CANOPY TREES REQUIRED: 50
NEW CANOPY TREES PROVIDED: 68

SPECIMEN TREE CALCULATIONS:
12 SPECIMEN TREES ARE PROPOSED TO BE REMOVED FOR A REPLACEMENT VALUE OF 48 TREES. (VALUE IS \$1,000 OR 4 REPLACEMENT TREES PER SPECIMEN TREE REMOVED.)

TOTAL TREES REQUIRED: 50 MINIMUM CANOPY COVERAGE + 48 SPECIMEN TREE REPLACEMENT = 98 TREES

TOTAL TREES PROVIDED: 81 TREES FROM PLANT LIST = 81 TREES

98 REQUIRED TREES > 81 PROPOSED TREES, THUS \$4,250 (17/4) REQUIRED

OPEN AND PARK SPACE NOTES

1. OPEN AND PARK SPACE AREAS:
- GR10 REQUIRED DEDICATED OPEN AND PARK SPACE: 0.3625 AC (12.5%)
PROPOSED DEDICATED OPEN AND PARK SPACE: 0.82 AC (28.3%)
- GR10 REQUIRED PARK SPACE: 0.0725 AC (2.5%)
PROPOSED PARK SPACE: 0.16 AC (5.5%); 0.04 AC (25%) SHALL BE ACTIVE RECREATION
- GR10 REQUIRED OPEN SPACE: 0.29 AC (10%)
PROPOSED OPEN SPACE: 0.66 AC (22.8%)
2. ACTIVE RECREATION SHALL BE MET THROUGH INSTALLATION OF A PLAYGROUND.
3. PARK SPACE SHALL BE PARK, GREEN, OR PLAYGROUND PER SECTION 7.5.1 OF THE UDO.
4. A SEPARATE PARK SPACE SITE PLAN SHALL BE PROVIDED FOR TOWN OF WAKE FOREST APPROVAL PRIOR TO FINAL PLAT APPROVAL.
5. PUBLIC SEATING SHALL BE PROVIDED PER SECTION 7.5.5.A.2 OF THE UDO.
6. NINE (9) SUPPLEMENTAL TREE PLANTINGS ARE PROPOSED WITHIN THE PARK SPACE PER SECTION 7.5.5.A.3 OF THE UDO (ONE (1) TREE PER EVERY 2,500 SQUARE FEET OF REQUIRED PARK SPACE). SEE LANDSCAPING CALCULATIONS, THIS SHEET.
7. GARBAGE AND RECYCLE RECEPTACLES SHALL BE PROVIDED PER SECTION 7.5.5.A.4 OF THE UDO.
8. FOUR (4) CLASS III BICYCLE PARKING SPACES SHALL BE PROVIDED PER SECTION 7.5.5.A.5 OF THE UDO (FOUR (4) SPACES PER EVERY ONE-QUARTER ACRE OF PARK SPACE = 0.25 AC / 0.25 AC X 4 BICYCLE SPACES = 4 SPACES REQUIRED).



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWF COMMENTS	3/6/2023	FLM
2	TOWF COMMENTS	8/8/2023	FLM
3	TOWF COMMENTS	10/4/2023	FLM
4	TOWF COMMENTS	11/13/2023	FLM

ORIGINAL PLAN SIZE: 24" X 36"

30 15 0 30
SCALE: 1 INCH = 30 FEET



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

FARM RD TOWNHOMES
SITE MASTER PLAN
RZ-23-08

FARM RD
WAKE FOREST, NC

DATE:	09-26-2021
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22031

LANDSCAPING PLAN

C-6

SHEET 6 OF 7

RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING BOARD

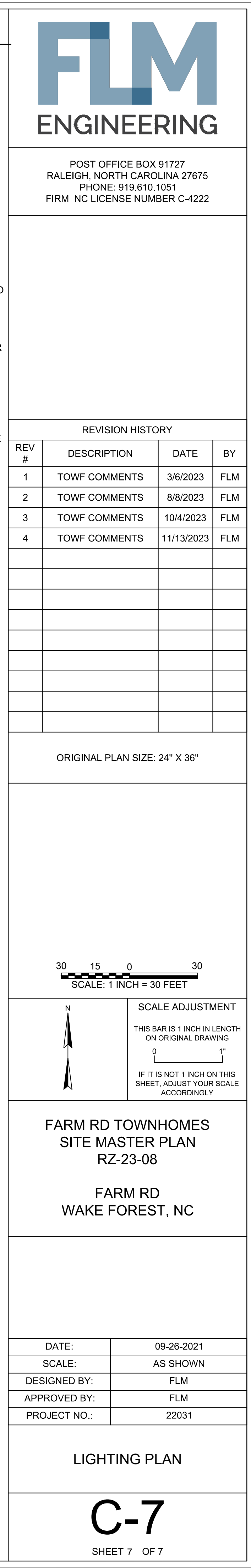
DATE

APPROVAL BY THE
WAKE FOREST BOARD OF
COMMISSIONERS

DATE

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.
CANOPY TREES					
ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	34	1.5"	8'
UP	ULMUS PARVIFOLIA	CHINESE ELM	34	1.5"	8'
UNDERSTORY TREES					
CS	CORNUS SPP.	DOGWOOD	13	1"	6'
SHRUBS					
IC	ILEX CRENATA	JAPANESE HOLLY	160		18"





Planning Board Agenda Item Report

Agenda Item No.: 2023-325-
Submitted by: Patrick Reidy
Submitting Department: Planning
Meeting Date: December 12, 2023

SUBJECT

Consideration of LEGISLATIVE CASE RZ-23-07, 200 Stephen Taylor Road, a rezoning filed by Marion Jordan to rezone 1.008 acres located at 200 Stephen Taylor Dr, being Franklin County Tax PIN 1842826404 from Franklin County's Residential 30 (R-30) to Wake Forest's General Residential 3 (GR3).

Recommendation:

Item Summary:

ATTACHMENTS

- [RZ-23-07 Staff Report.pdf](#)
- [Attachment A - Neighborhood Meeting Minutes.pdf](#)
- [Attachment B - Application.pdf](#)
- [Attachment C - Maps.pdf](#)



Staff Report

Case RZ-23-07: 200 Stephen Taylor Rezoning

Meeting Date	December 12, 2023
Requested Actions	Consideration of the following items related to the Zoning Map Amendment request for 200 Stephen Taylor Road: 1. Act on Plan Consistency Statement 2. Rezone 1.008 acres on the Town of Wake Forest Zoning Map from Franklin County's Residential 30 (R-30) to Wake Forest's General Residential 3 (GR3).
Case Manager	Patrick Reidy, Senior Planner - Development Services

PUBLIC MEETINGS

Neighborhood Meeting	Public Comment Session	Public Hearing (tentative)
August 19, 2023 (See Attachment A)	December 12, 2023	January 16 2024

CASE INFORMATION

Applicant	Marion Jordan 302 Porter Hill Drive Youngsville, NC 27596
Property Owners	Louise and Edward Smith 15 Cannady Way Franklinton, NC 27525
Location	Intersection of Stephen Taylor Road and Haltwhistle Street
Addresses	200 Stephen Taylor Road
Franklin County Tax PINs	1842-82-6404 (parent PIN for areas west and east of Stephen Taylor Rd) 1842-82-7362 (secondary PIN for area east of Stephen Taylor Rd)
Acreage	1.008

Zoning	Existing: Franklin County's Residential 30 (R-30) Proposed: General Residential 3 (GR3)
Land Use	Existing: Dwelling - Single-Family on west side of Stephen Taylor Rd Vacant on east side of Stephen Taylor Rd Proposed: Dwelling - Single-Family on both sides of Stephen Taylor Rd
Corporate Limits	This application is outside the Town's corporate limits and within the Town's Merger Agreement Area with Youngsville. An annexation petition has been filed.
Community Plan Designation	Conventional Residential

See Attachment B for a copy of the application and Attachment C for Aerial, Zoning, and Land Use Maps. See Community Plan [page 37](#) for a description of Conventional Residential.

SURROUNDING LAND USES AND ZONING

	Land Use	Zoning
North	Dwelling – Single-Family (Everly Subdivision) and Vacant	Wake Forest: GR10 CD Youngsville: SFR-3
South	Dwelling – Single-Family (non-subdivision parcels)	Franklin County: R-30
East	Vacant	Youngsville: SFR-3
West	Dwelling – Single-Family (Everly Subdivision)	Wake Forest: GR10 CD

The proposed land use is generally **compatible** with surrounding land uses.

The proposed zoning is generally **compatible** with surrounding zoning.

See Attachment C for associated maps.

COMPREHENSIVE PLAN CONSISTENCY

Community Plan (2022)	The proposed zoning map amendment request is generally consistent with the adopted 2022 Community Plan.
Comprehensive Transportation Plan (2021)	The Comprehensive Transportation Plan is not applicable to the proposed zoning map amendment request.

Historic Preservation Plan (2022)	The Historic Preservation Plan is not applicable to the zoning map amendment request.
Northeast Neighborhood Plan (2021)	The Northeast Neighborhood Plan is not applicable to the zoning map amendment request.
Park, Recreation, and Cultural Resources Master Plan (2015)	The Parks, Recreation, and Cultural Recourses Master Plan is not applicable to the zoning map amendment request.
Public Art Vision Plan (2009)	The Public Art Vision Plan is not applicable to the zoning map amendment request.
Renaissance Plan (2017)	The Renaissance Plan is not applicable to the zoning map amendment request.

There is no detailed Plan Consistency Analysis since the Land Use Map is the only applicable section of the Community Plan.

STAFF RECOMMENDATION

The zoning map amendment request is generally **Consistent** with the relevant policies in the Comprehensive Plan, and **Approval** of the zoning map amendment request is reasonable and in the public interest.

ATTACHMENTS

Attachment A: Neighborhood Meeting Information
Attachment B: Application
Attachment C: Maps

Minutes of Rezoning and Annexation Meeting

August 19, 2023

200 Steven Taylor Road Wake Forest NC 27587

Time: 1:00 pm to 2:00 pm

The meeting was called to order by Mr. Edward B. Smith

Explained why a meeting was held by stating a proposal to subdivide the acre and connect to the existing water and sewer lines next to the 200 Stephen Taylor Road Property. A reading of the Town of Wake Forest Unified Development Ordinance 15.3 Public Notification.

1. A question was asked by Mr. Andrew Asewick, why a meeting needed to be held. Answer: Explained to him that we were trying to connect to the current water and sewer lines that run next to our property and that it was required in the Town Ordinance 15.3.
2. Mr. Paul Hicks and Susan Ritnenhacker asked how would this affect them and their property? Answer: It doesn't. We are trying to connect to the town's water and sewer, which will not affect your current well water supply.

Those that attended or responded to letters mailed out had no objections and no concerns.

Number in attendance: (7)

Number of letters mailed out first class (44)

Date mailed out: August 2, 2023

Approval was given from those that attended and those that returned letters. Meeting adjourned.

See sign up sheet attached and copy of letter mailed out.

Edward B. Smith & Louise T Smith

Edward B Smith & Louise T Smith (Owners)
Marion S Jordan
15 Cannady Way
Franklinton NC 27525

July 30, 2023

RE: Neighborhood Meeting Notice

To whom it may concern:

We, the property owners of 200 Stephen Taylor Road, Wake Forest NC 27587, are holding an annexation and rezoning meeting to discuss rezoning and annexation of our property. Wake Forest Town Ordinance states that property owners within 500 ft of the above property must be notified of the request to be reannexed and rezoned. Your property is within 500 ft of our property found at 200 Stephen Taylor Road Wake Forest NC 27587.

We are petitioning for rezoning and annexation of our property so that we may connect to the city water and sewer lines that are found near our property through The Town of Wake Forest. We would also like to subdivide our property found at 200 Stephen Taylor Road Wake Forest NC 27587 into two parcels.

Meeting Date: August 19th, 2023

Meeting Time: 1pm – 2pm

Meeting Location: 200 Stephen Taylor Road Wake Forest NC 27587

Project Name: Rezoning and Annexation of 200 Stephen Taylor Road Wake Forest NC 27587

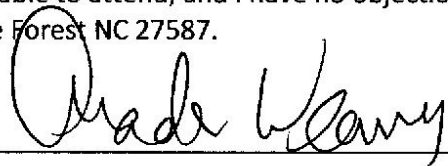
Application Type: Map Amendment (Rezoning & Annexation)

Size of Property: 1.24

If there is no objection and you will not be able to attend the scheduled meeting, you may sign your name and address below and scan and email or place in the enclosed self-address envelope and mail back.

I will be unable to attend, and I have no objection to the annexation or rezoning of 200 Stephen Taylor Road Wake Forest NC 27587.

Signature:



Address:

421 Sunny Fields Drive Wake Forest, NC 27587

Time 1:00 P.M.
PRE 20WE DATE 8-19-23

TOWN OF WAKE FOREST
N.C.

NAME:

DATE

Andrew Asewicz

Paul Hicks

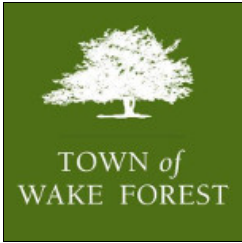
Susan Ritzenthaler

Annette Bullock

Charlton Bull -Shahnb@gmail.com

James Ivey

Wayne Tabron



Map Amendment (Rezoning) Application

(Map Amendment (Rezoning) Workflow)

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

Project Overview

#1049738

Project Title: 200 Stephen Taylor Road Rezoning

Jurisdiction: Town of Wake Forest (Wake County)

Application Type: Map Amendment (Rezoning)

State: NC

Workflow: Map Amendment (Rezoning)

County: Wake

Checklist - Map Amendment (Rezoning)

A submittal checklist is available to view additional documents which are required to submitted with this application. After answering the application questions, you will be asked to upload the required documents.

[VIEW MAP AMENDMENT \(REZONING\)
SUBMITTAL CHECKLIST](#)

Missing items will result in the application being declined and returned to the applicant to resubmit. A revised and complete application including all missing items must be received or the application will be not be deemed complete and routed for review.

Please confirm you have reviewed the associated submitted checklist for this permit and confirm you will submit all documents required on the submittal checklist: Yes

Pre-Application Meeting

Has a pre-application conference been held?: No

*Note: This type of project requires a pre-application conference be completed prior to official submittal. If this has not been completed, please return to the home screen and select **Pre-Application Conference** from the application type drop down list in order to schedule your required meeting.*

Pre-Application Conference Date:

Staff Member Met With:

Pre-application Conference Project Number:

Address & Basic Site Information

Please Note:

In some cases, a parcel address may not verify. In the event that our system is unable to verify the address you enter, please submit the project as an *Unverified Parcel* and provide zoning and land use information as requested below. For verified addresses, the zoning and land use information will be added to the application automatically (you do not need to provide it below).

Project Address or PIN:

- 1842826404 (Unverified)
- FC 1842-82-6404 (Unverified)

Tax PIN:

- 1842826404 (Unverified)
- FC 1842-82-6404 (Unverified)

Acreage: 1.008

**Name of Existing Development/Subdivision (if applicable--
for reference only):** 200 Steven Taylor RD

For unverified addresses/parcels only, please provide below 1) the current use of the parcel, 2) the zoning district(s) it is in, and 3) any overlay districts that apply. Reference the [zoning map](#) and the [overlay districts map](#) on the town's website.

Current Use & Zoning (required only if address/parcel is unverified):

Franklin County R-30

Single Family and Vacant

Subdivision of acres to connect to city water and sewer lines.

*Note: Projects falling outside the limits of the Town or ETJ will be required to submit an annexation petition in conjunction with their project submittal. In this case, please return to the home screen and select **Annexation Petition** from the application type drop down.*

GIS Site Information (Automatically Generated - Not Available for Unverified Addresses)

Parcel Area:

Wake Forest (WF):

Base District:

In SH2-O Overlay:

In TND Overlay:

In HL-O Overlay:

In National Register of Historic Places:

Current Use:

Planning and Zoning:

In SH1-O Overlay:

In Water Supply Watershed Protection Overlay:

In SF Overlay:

In MVCP-O Overlay:

In Flood Hazard Area:

Additional Zoning Information

Currently a Conditional District?: No

Currently a Conditional Use?: No

Is there an existing Special Use Permit for the Property?: No **Case Number of related site plan (if applicable):**

Case Numbers of other related approvals (if applicable):

Project Contacts

Please enter all project contacts related to your application.

This is an important step to ensure all members of the applicant team receive email notifications associated with the project which may include comments, requested revisions, scheduled meetings or hearings, and final decisions. This also informs Town staff of the team members assigned role with the project.

Project Contact - Applicant

Marion Jordan

302 Porter Hill Drive
Youngsville, NC 27596

P:19196966489

marionasmith44@yahoo.com

Project Contact - Property Owner

Louise Smith

15 Cannady Way
Franklinton, NC 27525

P:(919) 696-6489

marionasmith44@yahoo.com

Map Amendment: Rezoning

Proposed Zoning: GR3, General Residential 3

Description of Request:

Subdivide acres to connect to city water and sewer in order to build a single family home.

Justification of Consistency with Comprehensive Plan:
Subdivide acres to connect to city water and sewer in order to build a single family home.

Agent Authorization Form

The Wake Forest Unified Development Ordinance (UDO) states that applications for development approvals may only be made by the landowner, a lessee or person holding an option or contract to purchase or lease the land, or an authorized agent of the landowner (see _____). This agent authorization form must be signed by the landowner and included with any application not submitted by the landowner or lessee as specified above. If more than one landowner is involved, a separate agent authorization form must be submitted by each landowner.

Address(es) and Tax PIN(s) for

which authorization is granted: 200 Steven Taylor Road Wake Forest NC 27587
Pin # 1842-82-6404

Landowner's name*: Louise T Smith & Edward B. Smith

Application(s) for which
authorization is granted (e.g.,
Rezoning, Special Use Permit):

Rezoning & Annexation

Person authorized to submit
application(s) as landowner's
agent (must be the same
person listed as the applicant
on the application form):

Marion S. Jordan

Landowner's Signature:

Louise T. Smith & Edward B. Smith

Date:

7/25/23

Please provide below the name, address, and other information
of the person signing this form.

Name: Louise T Smith & Edward B Smith

Address: 15 Connady Way Franklinton NC 27521

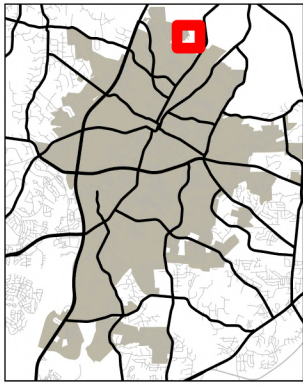
Telephone number: (919) 494-7799

Email address:

marionasmith44@yahoo.com

If signing for a corporation or other entity, please
specify title and/or relationship to the corporation
or other entity (e.g., Member, Executive Officer): _____

*Owner of record as shown on the latest equalized assessment rolls of Wake County, or, if ownership has recently been transferred, the grantee shown on the recorded deed (a copy of the deed must accompany this form).

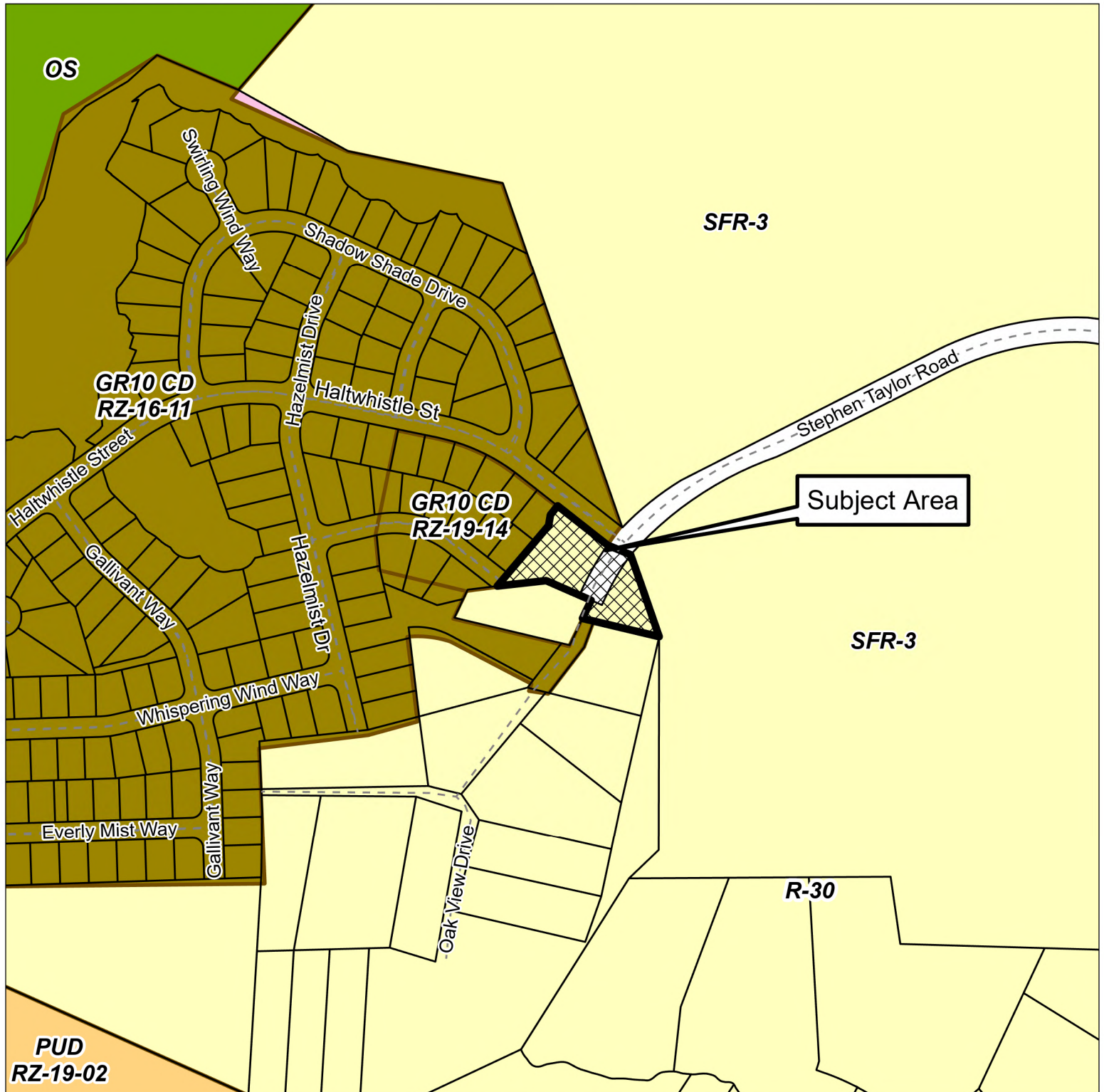


TOWN of
WAKE FOREST

RZ-23-07

200 Stephen Taylor Road Rezoning Franklin County PIN: 1842-82-6404

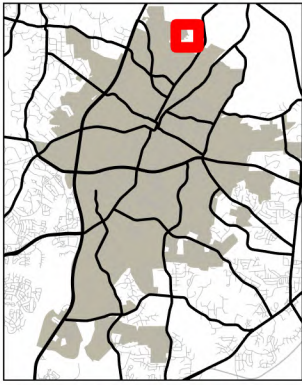
12/6/2023



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

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Feet





11/22/2023



TOWN of
WAKE FOREST

RZ-23-07

200 Stephen Taylor Road Rezoning

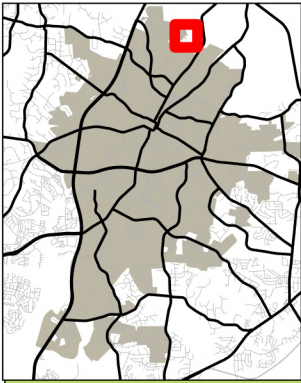
PINS: 1842-82-6404



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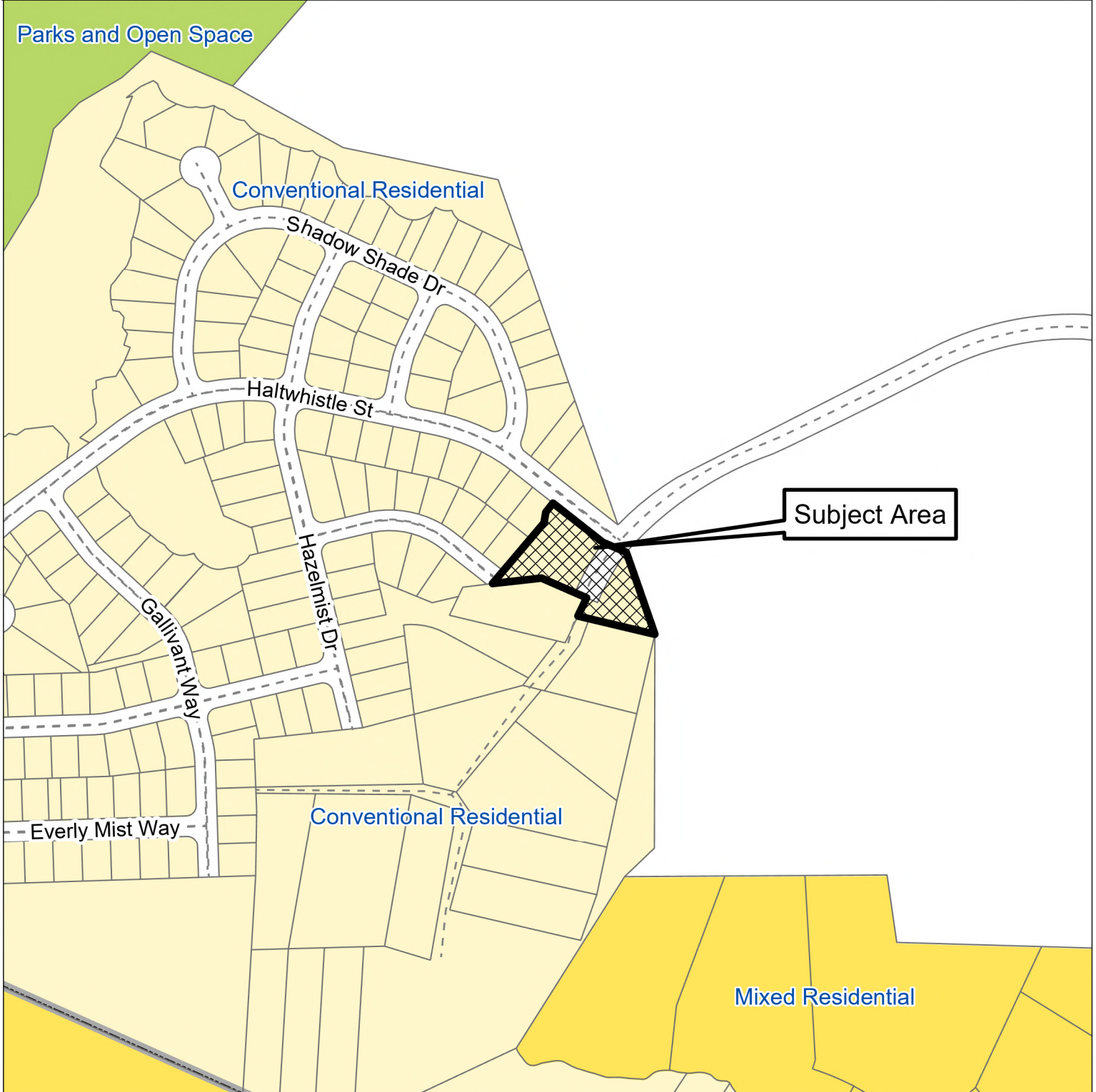
Land Use Plan



TOWN of
WAKE FOREST

RZ-23-07 200 Stephen Taylor Road Rezoning PINS: 1842-82-6404

11/22/2023



Please note that this map is intended for illustrative purposes only.
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Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000
Feet





Planning Board Agenda Item Report

Agenda Item No.: 2023-330-
Submitted by: Courtney Tanner
Submitting Department: Planning
Meeting Date: December 12, 2023

SUBJECT

Appoint Chair and Vice-Chair for the 2024 Calendar Year

Recommendation:

Item Summary:

ATTACHMENTS

-