



TOWN *of* WAKE FOREST

Planning Board Meeting Agenda April 09, 2024 at 6:00 PM

Notice

In accordance with the requirements of Title II of the Americans with Disability Act of 1990 (ADA), the Town of Wake Forest will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. For individuals with impaired hearing, special equipment is available for use during meetings in the Town Hall Board Chambers. Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of the Town of Wake Forest should contact the office of ADA Coordinator [Mickey Rochelle](#) at 919-435-9455 or Deputy Town Clerk [Ella Dowtin](#) at 919-435-9436 as soon as possible, but no later than 48 hours before the scheduled event.

Cable & Online Broadcast of Planning Board Meetings

All Planning Board meetings are broadcast live on [WFTV 10](#) beginning at 6:00 p.m. Meetings are also aired online on the [Public Meetings Portal](#) on the [Town of Wake Forest website](#). Archived meeting videos are also provided and available for one year after the original air date.

Meeting Agendas

[Planning Board](#) meeting agendas are typically available to be viewed and downloaded by noon on the Friday prior to the second Tuesday of each month. Citizens may also receive a copy of each month's agenda via email by enrolling in the Town's free [E-Notifier](#) subscription service.

Public Comment

Those wishing to speak must first register to speak no later than 3:00 p.m. the day of the meeting. The forms to register to speak and provide written comments are available at <https://www.wakeforestnc.gov/ph>.

At the appropriate time, the Planning Board Chair will acknowledge those persons who have registered to speak. They will be called upon in the order registered. Speakers will address the Board as a whole, from the podium at the front of the room, and begin their remarks by stating their name and address. At the end of public comment, the Chair may summarize the discussion from the public comment. While not required, the Chair may ask staff or the applicant to respond. Speakers

needing additional information or questions answered will be contacted by the Deputy Town Clerk and provided contact information for the appropriate staff person.

Unless otherwise indicated by the Chair, individual comments shall be limited to three minutes. Groups are encouraged to designate a lead speaker on their behalf, and when addressing the Board, the speaker must first identify the group they are representing and will be given no more than ten minutes to give comments. Once comments have been made, speakers cannot speak again, unless specifically called upon by the Chair. The Chair may, at his/her discretion, interrupt public comment and elect to continue it to another meeting due to, among other reasons, the lateness of the hour or to allow consideration of other items on the agenda.

When public comment sessions are continued from previous meetings, previous individuals that have spoken, either representing themselves or a group, cannot speak at a continued public comment session, unless specifically called upon by the Chair. Additionally, speakers cannot both represent themselves individually and speak on behalf of a group throughout public comment periods, even if held over multiple sessions.

1.Call to Order

2.Adoption of Agenda

3.Approval of Minutes

- 3.A. February 13, 2024 Minutes
[2-13-2024 Planning Board Minutes .pdf](#)

4.Presentations

5.Old Business with Public Comment

6.Old Business

7.New Business with Public Comment

- 7.A. Consideration of LEGISLATIVE CASE RZ-23-03, White Street Mixed Use, a conditional district rezoning filed by Chase Massey on behalf of Thales Academy, Inc., to rezone 3.93 acres located at 0 North White Street, being Wake County Tax PIN 1841966020, from Neighborhood Business (NB) to Neighborhood Mixed-Use Conditional District (NMX-CD).
[RZ-23-03 Staff Report.pdf](#)
[Attachment A - Neighborhood Meeting.pdf](#)
[Attachment B - Application.pdf](#)

[Attachment C - Maps.pdf](#)

[Attachment D - Plan Consistency Analysis.pdf](#)

[Exhibit 1 - Proposed White Street Mixed Use Master Plan.pdf](#)

8.New Business

9.Staff Comments

10.Planning Board Comments

11.Adjournment



Planning Board Agenda Item Report

Agenda Item No.: 2024-136-

Submitted by: Ella Dowtin

Submitting Department: Administration

Meeting Date: April 9, 2024

SUBJECT

February 13, 2024 Minutes

Recommendation:

Item Summary:

ATTACHMENTS

- [2-13-2024 Planning Board Minutes .pdf](#)



Wake Forest Planning Board Minutes

The Wake Forest Planning Board met on **Tuesday, February 13, 2024**, at **6:00 p.m.** in the Board Room at Wake Forest Town Hall, 301 S Brooks Street.

Planning Board Members present: Karin Kuropas, Michael Almquist, Sheila Bishop, Elaine Sheppard, Matt Davis, Adam Redler, and Anna Shope

Planning Board Members absent: N/A

Staff Members present: Planning Director Courtney Tanner, Assistant Planning Director Jennifer Currin, Senior Planner Patrick Reidy, Senior Planner Kari Grace, Senior Planner Michelle Michael, Town Attorney Hassan Kingsberry, and Deputy Town Clerk Ella Dowtin

1. Call to Order

Chair Kuropas called the meeting to order at 6:00 p.m.

2. Adoption of Agenda

ACTION:

Mover: Sheila Bishop moved to adopt the agenda as presented.

Second: Matt Davis.

Vote: Motion carried 7-0.

3. Approval of Minutes

3.A. Approval of Minutes

ACTION:

Mover: Adam Redler moved to approve the December 12, 2023; minutes as presented.
Second: Michael Almquist.
Vote: Motion carried 7-0.

4. Presentations

4.A. Unified Development Ordinance Comprehensive Update Work Session #5

Senior Planner Kari Grace provided a high-level overview of preliminary Unified Development Ordinance (UDO) Comprehensive updates to Chapters two, five, and seven, and to discuss if this proposed language is appropriate for Wake Forest.

Related to PUDs, Mr. Redler asked what is a good example that would fall under the proposed language. Ms. Grace responded the example would be architectural standards such as the types of material, glazing, etc., projects like shipping container food court projects or projects addressing evolving and emerging trends that the UDO doesn't address.

Mr. Davis asked about the PUD acreage requirement being five acres, does that mean if the PUD is over five acres, would we require a variety of dwelling and commercial uses all mixed together? And if it's under five acres it would include a mixture of residential or commercial uses. Ms. Grace responded that's correct.

Mr. Redler asked if the staff or consultant considered tying in environmental sustainability goals, like LEED or a program like that, to the PUD ordinance. Ms. Grace responded that this is one of the thoughts that came out of the recommendation to help give more concrete examples.

Ms. Kuropas asked if the housing is at an affordable rate. Ms. Grace responded that they have looked at the surrounding areas to see what is recommended for affordable housing and that more information is required from the development community to determine if it is even feasible.

Mr. Almquist asked about the PUD prohibited use "any use listed as not permitted in any zoning district". Ms. Grace responded that in the regular use table, some uses aren't allowed anywhere, for example, internet sweepstakes and landfills, and wouldn't be permitted in PUDs.

Mr. Redler asked about a presentation at the Board of Commissioners on an alternate development type; is that what the proposed language about Cottage Home Courts not being required to have minimum frontage on a public street right-of-way is trying to address? Ms. Grace responded she wasn't present for that presentation before the Board, but yes, it is similar to Cottage Home Courts, and they typically don't have frontage streets for each individual lot.

Mr. Almquist asked if this would take the place of the older standard where it said that no lot shall have less than 20 feet of frontage on a public road. Ms. Grace responded yes; this would also include flag lots which would not be permitted.

Mr. Redler asked are there any cul-de-sac developments that wouldn't meet the standards now. Ms. Grace responded they would have to look and see. Ms. Tanner responded that it would be a legal nonconformity and may only be problematic if they wanted to subdivide.

Mr. Almquist asked if the proposed Conservation Design is a zoning district. Ms. Grace responded no; it would be an option of how one could develop in a zoning district. The zoning district wouldn't change; but instead of going through the typical subdivision process, it would go through this alternative process where there is more flexibility for the dimensional standards.

Mr. Redler asked how would you measure the 400 square feet of open space. Ms. Grace responded that it would be measured by the minimum width.

Mr. Redler asked if the current downtown buildings meet the community space requirements. Ms. Grace responded it would be harder because of the size of the lots.

Ms. Grace will present the next UDO chapter updates at a future Planning Board meeting.

5. Old Business with Public Comment
--

No Old Business with Public Comment Presented.

6. Old Business

No Old Business Presented.

7. New Business with Public Comment

7.A. Consideration of LEGISLATIVE CASE RZ-23-06, Star Road Tech Center, a rezoning filed by St. John Properties to rezone 30.35 acres located at 0 Star Road, being Wake County Tax PINs 1739-65-3709, 1739-55-8441, and 1739-65-4232 from Highway Business (HB) and Special Highway Overlay (SH1-O) to Highway Business Conditional District (HB-CD) and Special Highway Overlay (SH1-O).

Senior Planner Patrick Reidy provided the staff report for case RZ-23-06, Star Road Tech Center.

Mr. Almquist asked about the North Carolina Department of Transportation (NCDOT) letter indicating that redesign of Star Road was needed and if the redesign was still needed. Mr. Reidy responded yes, we haven't heard any updates from NCDOT or the applicant.

Ms. Sheppard asked will there be a signal added onto Capital Blvd. with this project. Mr. Reidy responded there would be a left turn signal at the existing turn around on Capital Blvd. Ms. Sheppard asked what the distance is from the traffic signal to the next traffic signal on either side. Mr. Reidy responded that he didn't know the exact distance.

Mr. Almquist asked about the developer's perspective on the Eastern Rd. and the buffer. Dustin Atkielski with St. John's Property responded that this portion has been dedicated as part of the Eastern Site for future development, no other roads are being developed. There will be optional drive-thru lanes for future tenants' businesses, which are speculative at this point.

Mr. Almquist asked with the parking located behind the buildings fronting Star Rd. how would it negatively impact the project. Mr. Atkielski responded that as part of the traditional buildings parking is put in front of the buildings allowing the buildings to be placed further back.

Ms. Bishop asked what art is being considered. Mr. Atkielski responded that he would like to wait for the tenants and get their opinions and ideas before adding artwork. Ms. Bishop asked about the mix of uses of childcare facilities and light industrial. Mr. Atkielski responded that there are a lot of elevation challenges, and it will be an expensive

site to develop; they are light industrial buildings but are trying to accommodate those light industry uses and smaller start ups.

Mr. Redler asked about NCDOT's directive to stay consistent with the neighboring property for the setbacks. Mr. Atkielski responded that the objective for Star Rd. improvements was to align with the proposed and approved developments to the North and the South. Mr. Redler asked if the developer had that directive documented. Mr. Atkielski responded that he has an email he could share

Ms. Sheppard asked for clarity about the decision to put a stub instead of a connection to Via Fortunata Plaza. Mr. Atkielski responded that the stub is in place because they did not want to connect to the road because of its current state of construction.

Public Comments

Margaret Watkins – 407 Belmellen Ct. Wake Forest NC 27587 – opposed.

Discussion

The board had an open discussion about the consideration of Legislative Case RZ-23-06, Star Road Tech Center, surrounding parking location, commercial buildings matching up, commitment to the outside seating & artwork, 100 ft setback issues, backage road, how will it look from Capital Blvd., how would it affect the existing community, topography, and too many inconsistencies that don't apply with the Town's plan.

ACTION:

Mover: Adam Redler moved to deny Case RZ-23-06, Star Road Tech Center, and finds the development generally inconsistent with the Comprehensive Plan.

Seconder: Michael Almquist.

Vote: Motion carried 7-0.

8. New Business

No New Business Presented.

9. Staff Comments

Planning Director Courtney Tanner informed the Planning Board that there will be a special called meeting on March 20, 2024.

Senior Planner Kari Grace will send an email invite for the UDO open house scheduled for June 19th and June 20th.

The Planning Board will receive a meeting poll invite to reschedule the August 13, 2024, meeting; the voting days to select from are for the week of August 5th, 7th, and 8th.

10. Planning Board Comments

No Planning Board Comments Presented.

11. Adjournment

ACTION:

Mover: Sheila Bishop moved to adjourn the meeting at 7:46 pm.

Secunder: Adam Redler.

Vote: Motion carried 7-0.

Duly approved in open session this 9th day of April 2024.

Ella Dowtin
Deputy Town Clerk

Karin Kuropas
Planning Board Chair



Planning Board Agenda Item Report

Agenda Item No.: 2024-110-
Submitted by: Tim Richards
Submitting Department: Planning
Meeting Date: April 9, 2024

SUBJECT

Consideration of LEGISLATIVE CASE RZ-23-03, White Street Mixed Use, a conditional district rezoning filed by Chase Massey on behalf of Thales Academy, Inc., to rezone 3.93 acres located at 0 North White Street, being Wake County Tax PIN 1841966020, from Neighborhood Business (NB) to Neighborhood Mixed-Use Conditional District (NMX-CD).

Recommendation:

Item Summary:

ATTACHMENTS

- [RZ-23-03 Staff Report.pdf](#)
- [Attachment A - Neighborhood Meeting.pdf](#)
- [Attachment B - Application.pdf](#)
- [Attachment C - Maps.pdf](#)
- [Attachment D - Plan Consistency Analysis.pdf](#)
- [Exhibit 1 - Proposed White Street Mixed Use Master Plan.pdf](#)



Staff Report

Case RZ-23-03: White Street Mixed Use

Meeting Date	April 9, 2024
Requested Actions	Consideration of the following items related to the Conditional Zoning request for 0 North White Street: 1. Act on Plan Consistency Statement 2. Rezone 3.93 acres on the Town of Wake Forest Zoning Map from Neighborhood Business (NB) to Neighborhood Mixed-Use Conditional District (NMX-CD).
Case Manager	Tim Richards, Senior Planner - Development Services

PUBLIC MEETINGS

Neighborhood Meeting	Public Comment Session	Public Hearing (tentative)
3/8/2023 (See Attachment A)	4/9/2024	5/21/2024

CASE INFORMATION

Applicant	Chase Massey FLM Engineering, Inc. PO Box 91727 Raleigh, NC 27675
Developer	David Phillips Tall Pines Custom Homes, LLC 8652 Valley Brook Drive Raleigh, NC 27613
Property Owner	Thales Academy, Inc. 4641 Paragon Park Road Raleigh, NC 27616
Location	Southeast corner of the intersection of North White Street and Royal Mill Avenue
Addresses	0 North White Street
Wake County Tax PIN	1841966020
Acreage	3.93

Zoning	Existing: Neighborhood Business (NB) Proposed: Neighborhood Mixed-Use Conditional District (NMX-CD)
Land Use	Existing: Undeveloped/Vacant Proposed: Mix of general commercial, restaurant, and multi-family
Corporate Limits	This application is located in the Town's corporate limits.

See Attachment B for a copy of the application and Attachment C for Aerial, Zoning, and Land Use Maps.

SURROUNDING LAND USES AND ZONING

	Land Use	Zoning
North	Public park (J.B. Flaherty Park) Residential (single-family detached) Undeveloped/Vacant	Open Space (OS), Light Industrial (LI)
South	Public Park (J.B. Flaherty Park) Undeveloped/Vacant Residential (single-family detached)	Open Space (OS), Neighborhood Business (NB), General Residential 5 (GR5)
East	Public Park (J.B. Flaherty Park)	Open Space (OS)
West	Undeveloped/Vacant	Neighborhood Business (NB), Light Industrial (LI)
The proposed land use is generally compatible with surrounding land uses. The proposed zoning is generally compatible with surrounding zoning. See Attachment C for associated maps.		

MASTER PLAN ANALYSIS

Open Space	Required: None (project less than five acres) Proposed: None Summary: The proposed Master Plan complies with the minimum open space percentage requirement in the UDO.
-------------------	--

Park Space	Required: None (project less than five acres) Proposed: None Summary: <i>The proposed Master Plan complies with the minimum park space percentage requirement in the UDO.</i>
Roads	Required: The Town's Comprehensive Transportation Plan (CTP) categorizes North White Street as a Minor Thoroughfare with a 3A cross section and a multi-use path along the site's frontage. The CTP categorizes Royal Mill Avenue as a Major Thoroughfare with a 3A cross section and a multi-use path along the site's frontage. The CTP's 3A cross section includes a 12' center turning lane, two 12' travel lanes, and on this site's frontage, a 2.5' curb and gutter, and 6' verge with street trees, a 10' multi-use path, and a 1' strip behind the multi-use path. New development is required to dedicate additional right-of-way and make frontage improvements necessary to accommodate the recommended cross section and bring the frontage into conformity with the cross section (see UDO Sections 6.6 and 6.8). A Transportation Impact Analysis (TIA) was completed for the proposed development and recommended the following modifications to the existing transportation system: • A 50' left turn lane extending from the North White Street driveway to the northeast on North White Street. Full movement driveways on both North White Street and Royal Mill Avenue.
	Proposed: The proposed development includes the dedication of additional right-of way on North White Street, as well as the installation of curb and gutter, verge with street trees, and multi-use paths on both North White Street and Royal Mill Avenue frontages, consistent with the 3A cross section. A left turn lane is proposed on North White Street and full movement driveways are proposed on both North White Street and Royal Mill Avenue, as recommended in the TIA.
	Summary: The proposed Master Plan complies with the minimum roadway infrastructure requirements in the UDO.

Parking	Required: 258 spaces (117 multifamily: 1.8 x 65 units; 91 general commercial: 32,000/350 sf; 50 restaurant: 10,000/200 sf) 12 bicycle spaces (10 multifamily & general commercial: 208/40 x 2; 2 restaurant: 50/50 x 2) Proposed: 238 spaces (proposed condition 1.5 spaces per multifamily unit) 12 bicycle spaces (6 inverted U racks, covered and weather resistant) Summary: <i>The proposed Master Plan does not comply with the minimum automobile parking requirements in the UDO. The proposed Master Plan complies with the minimum bicycle parking requirements in the UDO</i>
Public Utilities	Required: Per UDO Section 6.3.1, the developer must connect to the municipal water and sewer systems. Proposed: A water line connection to the existing water main on North White Street is proposed to serve the development. A new 8" sanitary sewer main serving the development is proposed to connect to the existing sanitary sewer main on Groveton Trail, across Royal Mill Avenue and two intervening parcels. Summary: <i>The proposed Master Plan complies with the public utility requirements in the UDO.</i>

PROPOSED MODIFICATIONS OF UDO STANDARDS

More Stringent: Table 2.2.3, Table of Urban District Development Standards <i>Proposed:</i> 4 stories maximum building height (condition #1) <i>Required:</i> 6 stories maximum building height
Less Stringent: Table 2.2.3, Table of Urban District Development Standards <i>Proposed:</i> Maximum front setbacks to be measured from the edge of existing utility easements along North White Street and Royal Mill Avenue (condition #5) <i>Required:</i> Maximum front setbacks to measured from front lot lines (i.e., right-of-way)
Less Stringent: Section 17.4, Definitions <i>Proposed:</i> Principal front lot line to be along North White Street, a Minor Thoroughfare (condition #4) <i>Required:</i> Principal front lot line abuts the street with higher classification, in this case Royall Mill Avenue, a Major Thoroughfare

More Stringent: Table 2.3.3, Use Table:

Proposed: The following uses are not allowed (condition #3):

- Pawnshop
- Gas/Fueling Station
- Vehicle Services – Minor Maintenance/Repair
- Small Equipment Repair/Rental
- Drive-Thru/Drive-In Facility
- Vape Shop
- Funeral Home/Crematorium

Allowed: All listed uses are allowed, either by-right or as a special use, in the NMX district (vape shop is classified under the use General Commercial)

Less Stringent: Section 9.4, Parking Requirements

Proposed: Automobile parking provided at a rate of 1.5 spaces per multifamily unit (condition #6)

Required: Off-street automobile parking at a rate of 1.8 spaces per multifamily unit

Less Stringent: Section 9.8.1.D, Driveway Channelization

Proposed: 97' channelization length on Royal Mill Avenue driveway (condition #9)

Required: 100' driveway channelization length for high-density mixed-use development

More Stringent: Section 6.8.1, Sidewalks

Proposed: Direct pedestrian access to be provided from the multi-use path on North White Street to individual business entrances along the North White Street building frontage (condition #11)

Required: Sidewalks required within commercial areas and places with high pedestrian volumes to meet anticipated pedestrian activity

Less Stringent: Section 6.3, Required Improvements for All Development

Proposed: Electric power lines along both street frontages to remain above ground (conditions #7 and #8)

Required: Burial of existing above-ground powerlines required when the lines are located on the property under development

COMPREHENSIVE PLAN CONSISTENCY

Community Plan (2022)	The proposed zoning map amendment is generally consistent with the adopted 2022 Community Plan. The main Plan policies supporting this conclusion are: • Land Use Plan (page 40): Neighborhood Commercial areas are local commercial nodes that provide surrounding residents with convenient access to day-to-day goods and services. New Neighborhood Commercial uses should include vertical mixed use buildings with
------------------------------	---

	ground-floor commercial and upper-story residential or office. High levels of pedestrian and bicycle access to residential areas should be emphasized, with well-connected sidewalks, trails, and bicycle routes ensuring residents can easily access Neighborhood Commercial nodes without having to drive. • Commercial & Industrial Areas Plan – Area #2 (page 54): Neighborhood-serving retail and services should serve as a buffer between the railroad and the residential areas to the east while providing the residential areas with access to a variety of food and drink establishments, shops, personal services, and other local businesses. Parking lots should be located to the rear. Continuous sidewalks should support high pedestrian connectivity between businesses. A multi-use path along North White Street should further improve pedestrian access and connectivity. • Setbacks and Parking Lots (page 68): New businesses should be situated at or near the property line to improve walkability. Off-street parking should be located to the side or rear of the primary building, and pedestrian walkways in parking lots should be provided to enhance connectivity and safety. • Sidewalks and Multi-Use Paths (page 78): Multi-use paths should be encouraged along the main road in new developments. Multifamily and commercial developments should include strong pedestrian networks within and between their sites. • Gateways (page 88): Improve roadway infrastructure along key gateway routes to enhance their character and multimodal connectivity.
Housing Affordability Plan (2022)	The Housing Affordability Plan is not applicable to the zoning map amendment request.
Historic Preservation Plan (2022)	The Historic Preservation Plan is not applicable to the zoning map amendment request.
Northeast Community Plan (2021)	The Northeast Community Plan is not applicable to the zoning map amendment request.
Comprehensive Transportation Plan (2019)	The proposed zoning map amendment is generally consistent with the Comprehensive Transportation Plan (see roads discussion under Master Plan Analysis above).
Renaissance Plan (2017)	The Renaissance Plan is not applicable to the zoning map amendment request.
Park, Recreation, and Cultural Resources Master Plan (2015)	The Parks, Recreation, and Cultural Resources Master Plan is not applicable to the zoning map amendment request.

Public Art Vision Plan (2009)	The Public Art Vision Plan is not applicable to the zoning map amendment request.
<i>See Attachment D for detailed Plan Consistency Analysis. Note that Comprehensive Transportation Plan consistency is addressed in the Master Plan Analysis above and not in Attachment D.</i>	

STAFF RECOMMENDATION

The zoning map amendment request is generally **Consistent** with the relevant policies in the Comprehensive Plan, and **Approval** of the zoning map amendment request is reasonable and in the public interest.

ATTACHMENTS

Attachment A: Neighborhood Meeting
Attachment B: Application
Attachment C: Maps
Attachment D: Plan Consistency Analysis

EXHIBITS

Exhibit 1: Proposed White Street Mixed Use Master Plan



Randy Herman
PO Box 90426
Raleigh, NC 27676
(o) 919.825.1250
(f) 919.882.8297
rherman@bafolk.com

February 13, 2023

Re: 0 White Street

Dear Neighbor:

You are invited to attend a neighborhood meeting on Wednesday March 8 from 5:00pm to 6:00pm. The meeting will be held at Wake Forest Town Hall.

The purpose of this meeting is to discuss a rezoning of a 3.93-acre parcel of real property located at the intersection of White Street and Royal Mill Ave. This site is current zoned Neighborhood Business (NB). The proposed zoning designation is Neighborhood Mixed Use with Conditions (NMX-CU). A sample of the proposed site plan is attached.

The Town of Wake Forest requires that a neighborhood meeting be held involving the property owners within 500 feet of the area requested for rezoning. At the neighborhood meeting, the proposed site plan and zoning conditions will be discussed in detail. After the meeting a report will be submitted to the Wake Forest Planning Department. Any other person attending the meeting can submit written comments about the meeting or the request in general.

If you have any concerns or questions I can be reached using the contact information above.

Information about the rezoning process is available online; visit <https://www.wakeforestnc.gov/planning/zoning>. If you have further questions about the rezoning process, or would like to submit written comments after the meeting please contact the Town of Wake Forest at (919) 435-9400.

Thank you,

Randy H. Herman

Draft Site Plan



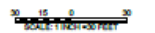
POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.813.1351
FIRM NO LICENSE NUMBER C-6222

[illegible]

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY
PLANS

DO NOT USE FOR CONSTRUCTION



SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING

8 17

IF THIS PAGE IS HIGH ON THE

**BRIEF ADJUST YOUR SCALE
ACCORDINGLY**

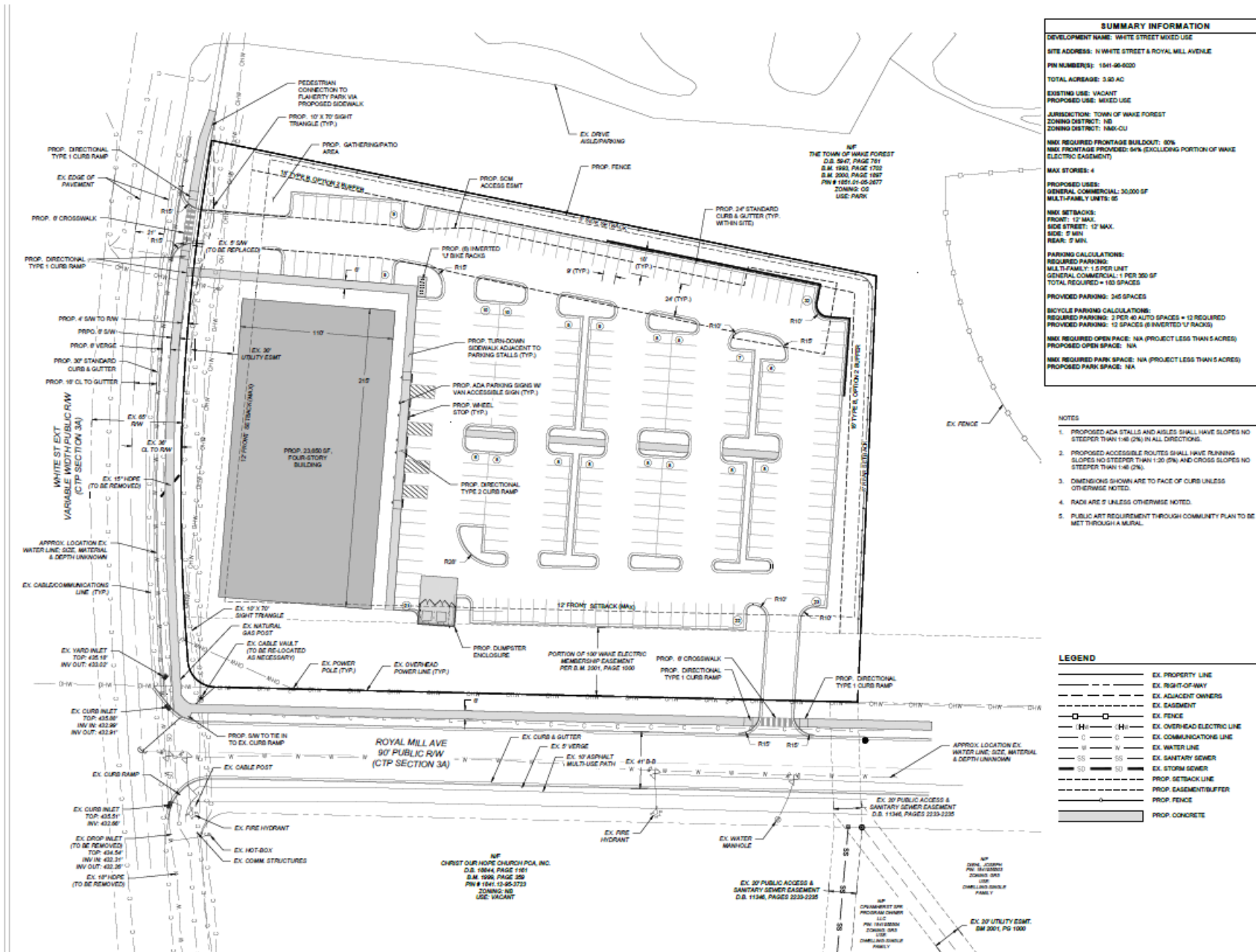
WHITE STREET MIXED USE
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22046

SITE PLAN

C-3

SHEET 3 OF 7



© 2003 THE DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FILM ENGINEERING, INC.

REID	PIN_NUM	OWNER	ADDR1	ADDR2	ADDR3
305826	1841953420	BARBOUR, ELMON A JR BARBOUR, SHERRY H	501 GROVETON TRL	WAKE FOREST NC 27587-2189	
305829	1841951681	BOYKIN, ROSA MILLER	409 GROVETON TRL	WAKE FOREST NC 27587-2191	
306080	1841958202	SCOTT, JAMES O SCOTT, FRANCINE	521 ROOKWOOD CT	WAKE FOREST NC 27587-2293	
306082	1841957313	FOLEY, KRISTIN	513 ROOKWOOD CT	WAKE FOREST NC 27587-2293	
306090	1841955255	HORNE, RICHARD LANCE HORNE, NATALIE J	516 ROOKWOOD CT	WAKE FOREST NC 27587-2292	
306091	1841956109	ICKLAN, JOHN ICKLAN, SHERRILL E	520 ROOKWOOD CT	WAKE FOREST NC 27587-2292	
22557	1841863145	PRESIDENTIAL INVESTORS INC	818 S WHITE ST	WAKE FOREST NC 27587-2961	
305824	1841954226	AMH 2015-1 BORROWER LLC	30601 AGOURA RD STE 200	AGOURA HILLS CA 91301-2148	
306088	1841954430	FORSTER, ROBERT R FORSTER, PATRICIA	628 ELIZABETH AVE	WAKE FOREST NC 27587-2122	
242148	1841953723	CHRIST OUR HOPE CHURCH PCA INC	203 CAPCOM AVE STE 107	WAKE FOREST NC 27587-6514	
305828	1841952523	OROZCO, THOMAS I	3370 NE 190TH ST APT 1202	MIAMI FL 33180-2408	
306085	1841956503	DIEHL, JOSEPH	501 ROOKWOOD CT	WAKE FOREST NC 27587-2293	
268096	1841961654	SALTER, JAMES CHRISTOPHER	1024 WINTER BLOOM CT	WAKE FOREST NC 27587-5171	
186776	1841968602	W-H ROCKY MOUNT LLC	PO BOX 1885	WAKE FOREST NC 27588-1885	
79786	1841967446	WRENN, ROBERT LEE	1701 NEW HILL OLIVE CHAPEL RD	APEX NC 27502-6707	
200699	1851052677	WAKE FOREST TOWN OF	301 BROOKS ST	WAKE FOREST NC 27587-2901	
200700	1851066469	WAKE FOREST TOWN OF	301 BROOKS ST	WAKE FOREST NC 27587-2901	
305830	1841951639	W KEITH REAL ESTATE LLC	604 E JONES AVE	WAKE FOREST NC 27587-2710	
22569	1841964371	GRANITE PROPERTIES & MANAGEMENT LLC	PO BOX 400	ROLESVILLE NC 27571-0400	
191005	1841967917	PEARCE, DAVID PEARCE, JENNIFER	1104 KULLANA LN	WAKE FOREST NC 27587-7198	
306084	1841956435	NELSON, JENNIFER N. MEURER, KEVIN M.	505 ROOKWOOD CT	WAKE FOREST NC 27587-2293	
305825	1841953372	AMH 2014-3 BORROWER LLC	AMERICAN HOMES 4 RENT	30601 AGOURA RD STE 200	AGOURA HILLS CA 91301-2148
299721	1841964652	RESTA, RICCARDO P RESTA, JULIA F	344 AMARYLLIS WAY	WAKE FOREST NC 27587-4005	
299722	1841963623	MAUNEY, SAMUEL D MAUNEY, LEANNA D	340 AMARYLLIS WAY	WAKE FOREST NC 27587-4005	
306083	1841956379	HOLMBERG, KURT L	11308 TIMBERGROVE LN	RALEIGH NC 27614-7529	
306089	1841955302	BRADLEY, DAVID S HEIRS BRADLEY, MARK S TRUSTEE	3409 GREENVILLE LOOP RD	WAKE FOREST NC 27587-8884	
305827	1841952477	LY, SOPHIA A TRUSTEE 417 GROVETON TRAIL TRUST	406 ALL SAINTS PL	CARY NC 27513-6196	
299723	1841962773	BABAJIDE, BABATOPE BABAJIDE, UGOCHI	336 AMARYLLIS WAY	WAKE FOREST NC 27587-4005	
305823	1841954179	IVA HOLDINGS LLC	3607 FALLS RIVER AVE STE 115	RALEIGH NC 27614-7365	
299719	1841965870	WAGNER, MARIA WOLF, JOSEPH	1100 KULLANA LN	WAKE FOREST NC 27587-7198	
186777	1851060814	WRIGHT PARTNERS LLC	PO BOX 1885	WAKE FOREST NC 27588-1885	
306087	1841954428	PEREZ, DAMARIS I	504 ROOKWOOD CT	WAKE FOREST NC 27587-2292	
278480	1841966020	THALES ACADEMY INC	4641 PARAGON PARK RD	RALEIGH NC 27616-3406	
268097	1841960652	EDWARDS, HELEN S	1020 WINTER BLOOM CT	WAKE FOREST NC 27587-5171	
306086	1841955504	CPI/AMHERST SFR PROGRAM OWNER LLC	5001 PLAZA ONTHE LAKE	SUITE 200	AUSTIN TX 78746
306081	1841957258	LOMBARDI, GABRIEL VOHRYZEK	517 ROOKWOOD CT	WAKE FOREST NC 27587-2293	
12471	1841966422	W-H ROCKY MOUNT LLC	1225 N WHITE ST	WAKE FOREST NC 27587-7120	
299720	1841965721	SARACENO, SAMANTHA SAFFIE, KYLE	348 AMARYLLIS WAY	WAKE FOREST NC 27587-4005	
305832	1841950606	TUNELL, LISABETH P TUNELL, BRADFORD G	400 GROVETON TRL	WAKE FOREST NC 27587-2190	
305831	1841950761	LOZANO, ADRIANA TERESA	401 GROVETON TRL	WAKE FOREST NC 27587-2191	

MEETING MINUTES

March 8, 2023

A neighborhood meeting was held March 8, 2023 to discuss rezoning of property located at 0 White Street. Meeting notices were properly mailed per guidance from the Town of Wake Forest. The meeting was held at Wake Forest Town Hall in Meeting Room B from 5:00 to 6:00.

The following were present on behalf of the developer:

Randy Herman, BA Folk
Chase Massey, FLM Engineering

The following residents were present:

Gabe Sylvia, 924 Federal House Ave
Sherry Barbour, 501 Groveton Trl
Kim Bowers, 500 Groveton Trl
Rosa Miller-Boykin, 409 Groveton Trl
Lawson Williams, 1504 Samuel Wait Ln
Natasha Wells, 404 Groveton Trl
Mike Coler, 412 Moultonboro Ave
Bryan Diehl, 501 Rookwood Ct

Mr. Herman presented information regarding the site plan, proposed zoning district and proposed conditions.

Neighbors suggested adding the following to the list of forbidden uses: gun shop, mattress store, mortuary, ABC store, vape shop, medical/dental office and bar without food service

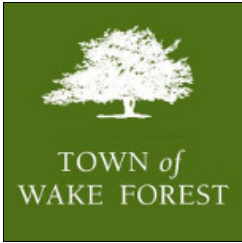
Several neighbors suggested that a desirable commercial tenant would be a grocery store since there is currently no grocery store on the north side of town

One neighbor objected to the proposal for a 4-story building, suggesting that 3 stories would be more in keeping with the area

Several neighbors expressed concerns about the impact on infrastructure, including roads and sewer lines

Several people mentioned the possibility of a Royal Oak extension with an overpass over the railroad tracks. Neighbors expressed a preference for this connect to be made quickly.

The meeting ended around 5:50.



Conditional District Rezoning Application

(Conditional District Rezoning Workflow)

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

Project Overview

#942579

Project Title: White Street Mixed Use Rezoning

Jurisdiction: Town of Wake Forest (Wake County)

Application Type: Conditional District Rezoning

State: NC

Workflow: Conditional District Rezoning

County: Wake

Submittal Requirements

A submittal checklist is available to view additional documents which are required to submitted with this application. After answering the application questions, you will be asked to upload the required documents.

[VIEW CONDITIONAL DISTRICT REZONING
SUBMITTAL CHECKLIST](#)

Missing items will result in the application being declined and returned to the applicant to resubmit. A revised and complete application including all missing items must be received or the application will be not be deemed complete and routed for review.

Please confirm that you have reviewed the associated submittal checklist for this permit and that you will submit all documents required on the submittal checklist: Yes

Pre-Application Meeting

Has a pre-application conference been held?: Yes

*Note: This type of project requires a pre-application conference be completed prior to official submittal. If this has not been completed, please return to the home screen and select **Pre-Application Conference** from the application type drop down list in order to schedule your required meeting.*

Pre-Application Conference Date: 11/14/2022

Staff Member Met With: Patrick Reidy

Pre-application Conference Project Number: Call set up
through Emma Linn, 11/14/22

Address & Basic Site Information

Please Note:

In some cases, a parcel address may not verify. In the event that our system is unable to verify the address you enter, please submit the project as an *Unverified Parcel* and provide zoning and land use information as requested below. For verified addresses, the zoning and land use information will be added to the application automatically (you do not need to provide it below).

Project Address or PIN:

Tax PIN: 1841966020 (Unverified)

- 1841966020 (Unverified)

- 1841966020 (Unverified)

Acreage: 3.93

Name of Existing Development/Subdivision (if applicable--for reference only): White Street Mixed Use

For unverified addresses/parcels only, please provide below 1) the current use of the parcel, 2) the zoning district(s) it is in, and 3) any overlay districts that apply. Reference the [zoning map](#) and the [overlay districts map](#) on the town's website.

Current Use & Zoning (required only if address/parcel is unverified):

Vacant; NB

*Note: Projects falling outside the limits of the Town or ETJ will be required to submit an annexation petition in conjunction with their project submittal. In this case, please return to the home screen and select **Annexation Petition** from the application type drop down.*

GIS Site Information (Automatically Generated - Not Available for Unverified Addresses)

Parcel Area:

Wake Forest (WF):

Base District:

In SH2-O Overlay:

In TND Overlay:

In HL-O Overlay:

In National Register of Historic Places:

Current Use:

Planning and Zoning:

In SH1-O Overlay:

In Water Supply Watershed Protection Overlay:

In SF Overlay:

In MVCP-O Overlay:

In Flood Hazard Area:

Additional Zoning Information

Currently a Conditional District?: No

Currently a Conditional Use?: No

Is there an existing Special Use Permit for the Property?: No **Case Number of related site plan (if applicable):**

Case Numbers of other related approvals (if applicable):

Project Contacts

Please enter all project contacts related to your application.

This is an important step to ensure all members of the applicant team receive email notifications associated with the project which may include comments, requested revisions, scheduled meetings or hearings, and final decisions. This also informs Town staff of the team members assigned role with the project.

Project Contact - Applicant

Chase Massey
FLM Engineering, Inc.
PO Box 91727, Raleigh
Raleigh, NC 27675
P:9196101051
cmassey@flmengineering.com

Project Contact - Developer

David Phillips

8652 Valley Brook Drive
Raleigh, NC 27613
P:919-625-6763
david.phillips1358@gmail.com

Project Contact - Property Owner

Robert Luddy
Thales Academy
4641 Paragon Park Road
Raleigh, NC 27616
P:919.882.2410
bob@captiveaire.com

Project Contact - Engineer

Chase Massey
FLM Engineering, Inc.
PO Box 91727, Raleigh
Raleigh, NC 27675
P:9196101051
cmassey@flmengineering.com

Transportation Impact Analysis

As per Section 6.11.1 of the UDO is the project required to provide a Traffic Impact Analysis (TIA)? Yes

Was the TIA reviewed in a separate permit prior to this application?: Yes

Project Number:

For projects requiring a TIA, a separate TIA application must be submitted in conjunction with this application. Please review the [TIA submittal checklist](#) and submit a ***Transportation Impact Analysis Review*** application in IDT.

-  If the request is to a Conditional District (CD), this application should be accompanied by a master plan that includes land use, existing conditions, buildings, lots, etc. per Chapter 15 of the UDO. In addition, please provide a narrative of the proposed use and list any proposed conditions.

Proposed Conditional Zoning District: NMX-CD,
Neighborhood Mixed-Use

Proposed Land Use:
Commercial & Residential

Proposed Number of Lots: 1

Number of Buildings: 1

Number of Single-Family Lots: 0

Number of Townhome Lots: 0

Number of Multi-Family Units: 65

Number of Stories: 4

Square Footage of All Buildings (non-residential): 94600

Plan Information - Conditional Rezoning

Description of Request:

Rezoning to Neighborhood Mixed-Use Conditional District - (NMX-CD)

Initial Proposed Conditions Offered by Applicant:

Please see signed letter included with this submittal.

Justification of Consistency with Comprehensive Plan:

Project is consistent with comprehensive plan.

FLMENGINEERING

March 15, 2024

Tim Richards, AICP, CZO
Senior Planner - Development Services
Town of Wake Forest
301 S Brooks Street
Wake Forest, NC 27587

**Reference: White Street Mixed Use (RZ-23-03)
Proposed Zoning Conditions**

Dear Mr. Richards:

The proposed zoning conditions for the White Street mixed use project, Town of Wake Forest Case No. RZ-23-03, are listed below:

1. Building height shall not exceed four stories.
2. Gathering space shall be provided as a convenient, usable, active area, and shall have a public art component.
3. Allowable uses shall not include pawn shop, gas/fueling station, vehicle services – minor maintenance/repair, small equipment repair/rental, drive-thru/drive-in facility, vape shop, or funeral home/crematorium.
4. The lot line abutting North White Street shall be considered the principal front lot line.
5. Maximum front setbacks to be measured from the edge of existing utility easements along Royal Mill Avenue and North White Street.
6. Multi-family parking rate: 1.5 spaces per unit. This slight reduction in parking will allow for increased density while preserving gathering/pervious areas and help to provide a more walkable development pattern. The pedestrian connectivity to the adjacent park and nearby single-family and multi-family developments, including multi-use paths on both sides of Royal Mill Avenue, meet the Town's connectivity and walkability goals. Additionally, while the final unit size is still being determined, it is anticipated that the majority of the multi-family units will be 1 and 2-bedroom units, which would support a reduced parking rate of 1.5 spaces per unit.
7. Existing Wake Electric transmission line along Royal Mill Avenue to remain and not be buried.
8. Existing Wake Electric overhead distribution line along North White Street to remain and not be buried.
9. Proposed Royal Mill Avenue minimum driveway channelization to be 97'.

10. Developer shall complete all improvements recommended in the approved Transportation Impact Analysis.

11. Direct pedestrian access from the multi-use path on North White Street shall be provided to individual business entrances along the North White Street building frontage.

Sincerely,

DocuSigned by:
Bob Luddy

2024-Apr-03 | 05:42 PDT

Robert Luddy on behalf of Thales Academy, Inc.

TOWN OF WAKE FOREST

AGENT AUTHORIZATION FORM:

Application #: RZ-23-03

Submittal Date: _____

Thales Academy Inc _____ is the owner of the property for which the attached application is being submitted:

- ☒ General Use Rezoning or Conditional District Rezoning
☐ Site Master Plan
☐ Subdivision Master Plan
☐ Construction Drawings
☐ Variance
☐ Major Architectural Review

The property is located at: 0 White Street

The agent for this project is: Chase Massey

☐ I am the owner of the property and will be acting as my own agent.

Name: Robert L. Luddy

Address: 4641 Paragon Park Rd, Raleigh, NC 27616

Telephone Number: 919-882-2410 Fax: 919-882-5204

Email Address: bob@captiveaire.com

Signature(s) of Owner(s):

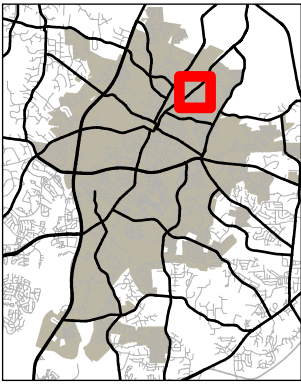
Robert L. Luddy

Print or type name(s):

ROBERT L. LUDDY

Attach additional sheets if there are additional owners.

***Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**



Aerials



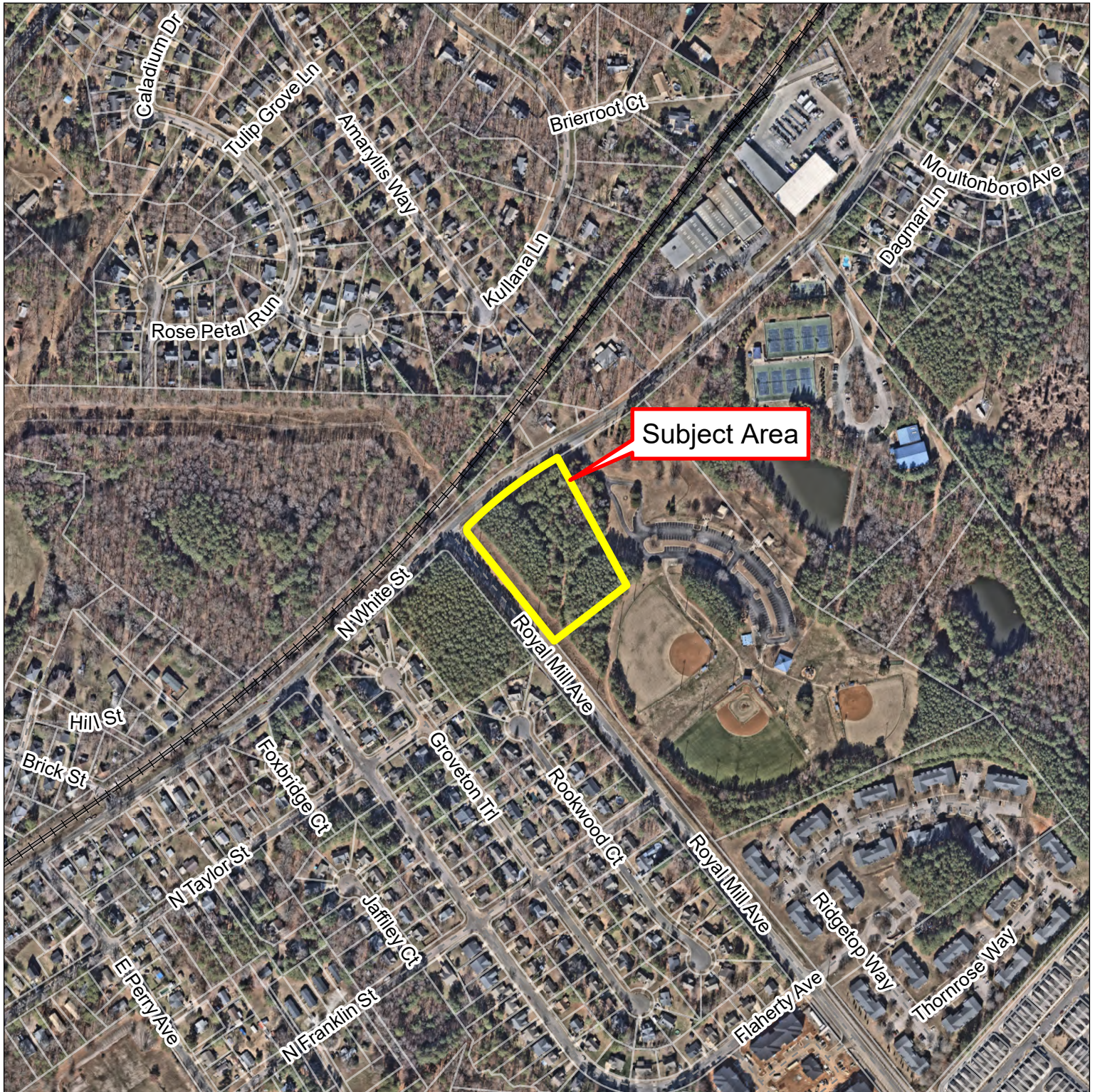
TOWN of
WAKE FOREST

RZ-23-03

White Street Mixed Use Rezoning

PIN: 1841966020

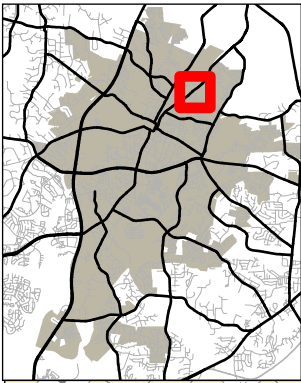
3/12/2024



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000 1,500
US Feet





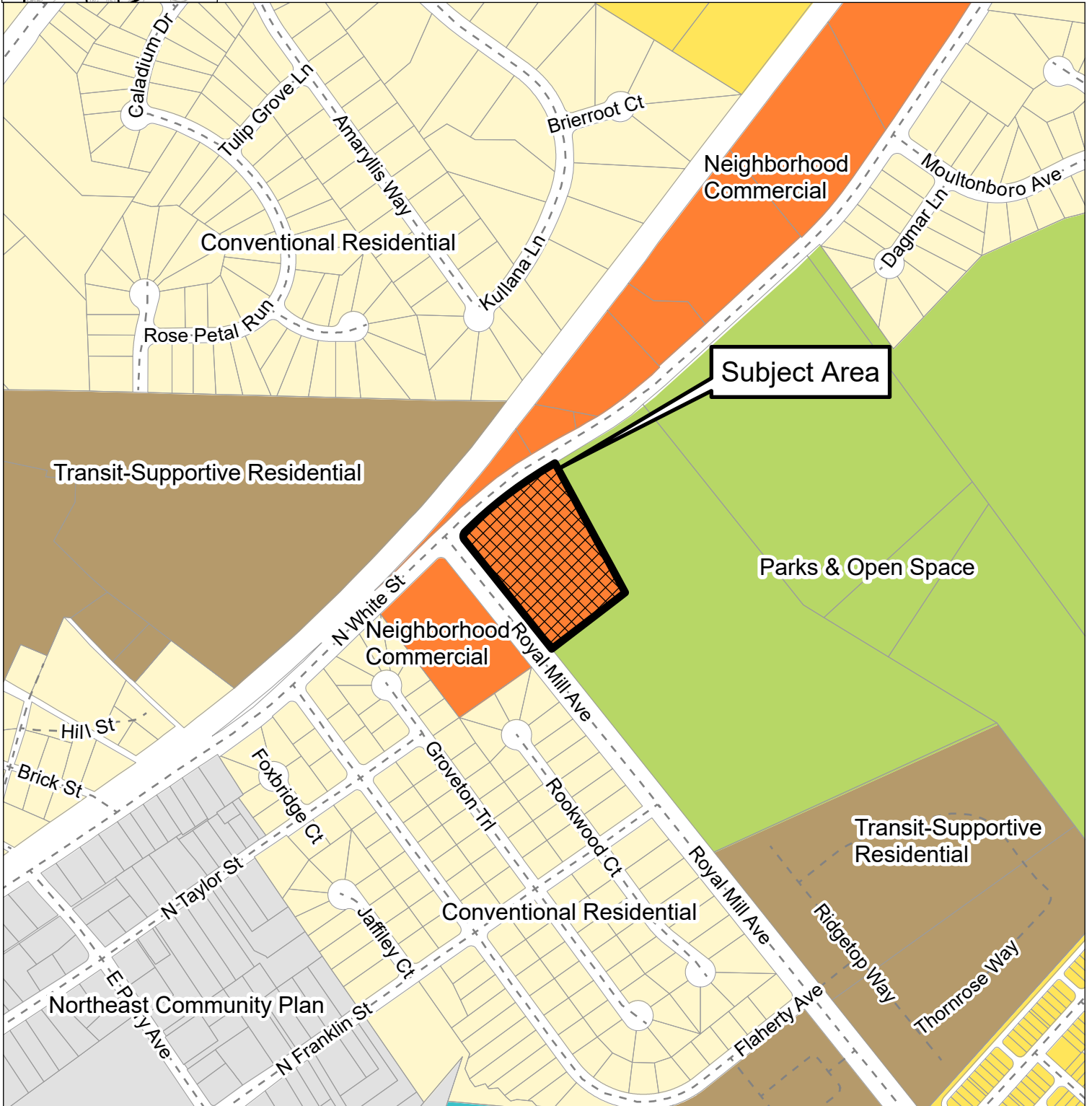
Land Use Plan



TOWN of
WAKE FOREST

RZ-23-03 White Street Mixed Use Rezoning PIN: 1841966020

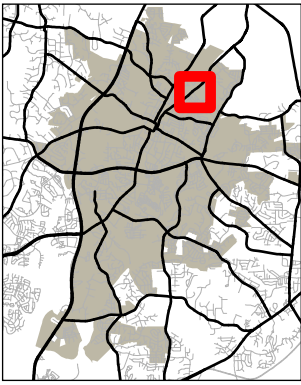
3/12/2024



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000 1,500 Feet





Current Zoning



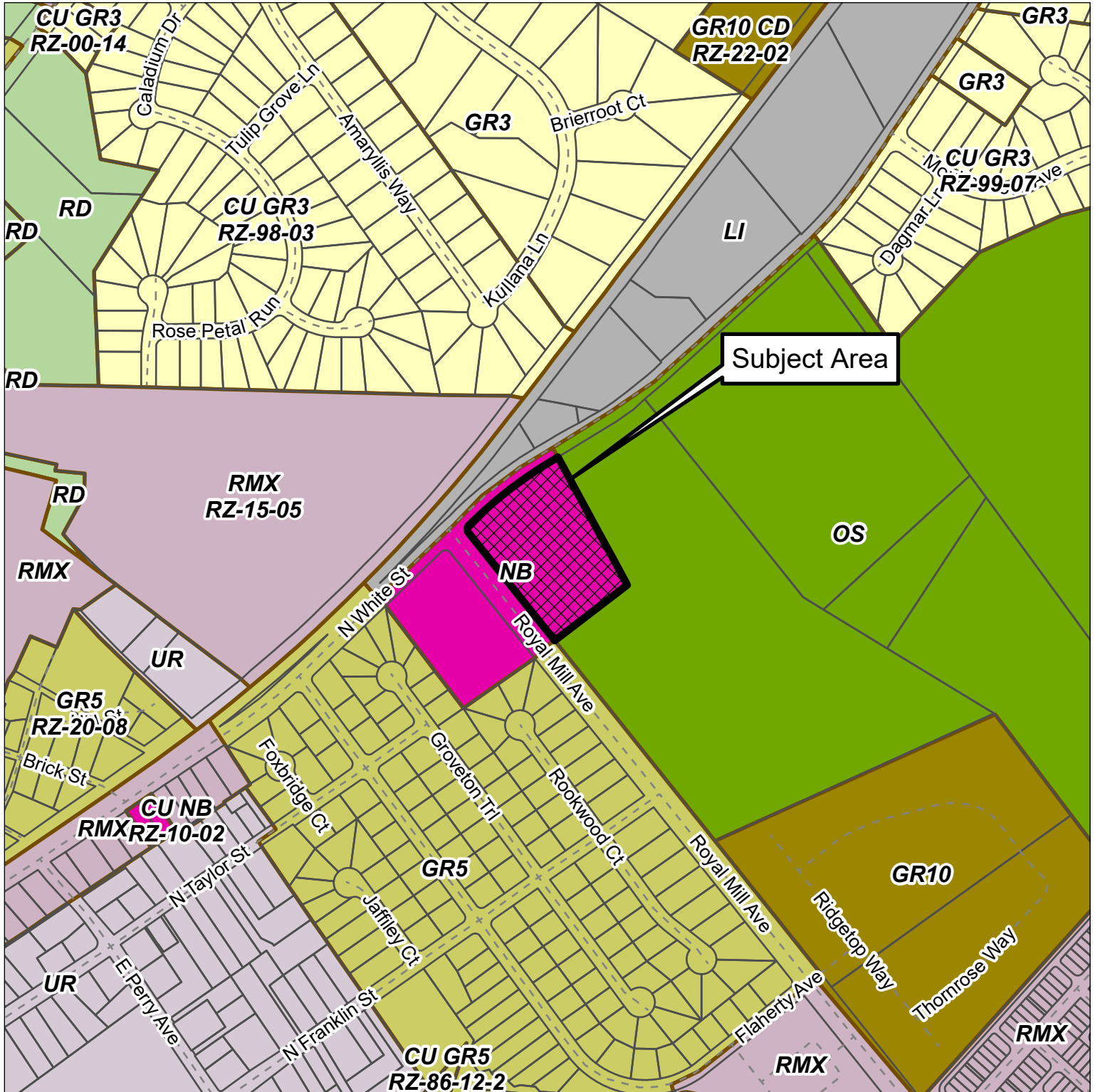
TOWN of
WAKE FOREST

RZ-23-03

White Street Mixed Use Rezoning

PIN: 1841966020

3/12/2024



Please note that this map is intended for illustrative purposes only.
For specific inquiries regarding zoning boundaries, contact the
Town Wake Forest Planning Department at 919-435-9510.

0 500 1,000 1,500 Feet



Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR AFFORDABLE HOUSING		YES	NO	NA
AH-1	Implement Affordable Housing Plan			
POLICIES FOR RESIDENTIAL CHARACTER		YES	NO	NA
RC-1	Encourage single-family attached and multifamily development to incorporate varied building frontages and rooflines, front porches, front yards, and balconies to provide visual interest and complement the scale and character of surrounding single-family neighborhoods			
RC-2	Setbacks of infill development should match the existing context as much as possible as uniform setbacks can help foster a pedestrian-friendly environment			
RC-3	Promote higher density infill and redevelopment within older established neighborhoods to provide greater housing choices while matching the scale and character of existing properties			
RC-4	Promote higher density housing along key corridors and surrounding activity centers. This includes near areas designated in the Land Use Plan as Commercial Corridor; Neighborhood Commercial; Light Industrial; and Office, Civic, and Institutional			
RC-5	For larger scale planned subdivisions that provide a mix of housing types, work with private developers to locate lower density housing near existing single-family detached neighborhoods to create appropriate transitions and preserve the character of established neighborhoods			
RC-6	Consider requiring a minimum percentage of housing types in new neighborhood developments to increase housing diversity and affordability (e.g. at least 20% duplexes/townhomes)			
RC-7	Review and update the UDO to align with residential character recommendations within this Community Plan			
POLICIES FOR SENIOR HOUSING		YES	NO	NA
SH-1	Promote senior housing within a quarter mile of transit stops, Downtown, shopping areas, parks, and recreational facilities			
SH-2	Encourage smaller lot, single-story housing types for seniors that are ADA accessible			
SH-3	Encourage age-targeted cooperative housing types for community-oriented senior living, such as co-housing and cottage home courts			
SH-4	Promote the development of continuing care retirement communities (CCRC), or life plan communities, which offer distinct types of housing and care levels based on a senior's needs			
SH-5	Encourage developers of age-targeted housing to include amenities attractive to seniors, such as front porches, back patios, walking paths, and outdoor sports facilities, and activated gathering spaces			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR COMMERCIAL DEVELOPMENT		YES	NO	NA
CD-1	Enhance established commercial areas by incentivizing redevelopment and/or renovation of existing businesses.			
CD-2	Support small, local businesses within commercial centers to support unique shopping options within Wake Forest			
CD-3	Establish architectural design standards for commercial building facades that promote quality design while allowing for flexibility that encourages creative design			
CD-4	Promote multi-story structures within Commercial Corridor and Neighborhood Commercial areas at appropriate scales that offer residential or office above ground-floor commercial			
CD-5	Encourage pedestrian-oriented shopping environments with sidewalks, attractive storefronts, and buildings facing each other to create a sense of enclosure			
CD-6	Encourage the incorporation of pedestrian/bicyclist/transit-oriented areas in large-scale shopping centers that provide outdoor seating and gathering areas, bicycle parking stations, and access to transit services			
CD-7	Promote cross-access and pedestrian pathways between adjacent parking lots and leading to buildings to promote well-connected, cohesive shopping areas			
CD-8	Encourage the consolidation of commercial driveways onto major streets to reduce traffic conflicts			
CD-9	Require "360 degree architecture" (high quality architecture on all sides of the building as opposed to just the front-facing façade), including well-designed or screened service areas			
CD-10	Encourage businesses to replace existing, non-conforming signage with attractive signage that meets Town standards			
CD-11	Promote outparcel development to improve the character along primary roadways and break up views of large parking lots			
CD-12	Review and update the UDO, including the US 1 Special Highway Overlay (SH1-O) and Dr Calvin Jones Highway Overlay (SH2-O) districts, to align with commercial development recommendations within this Community Plan			
CD-13	Support accessory commercial units (ACUs) that allow the ground floor of residential properties or an accessory structure facing the street to contain a commercial use beneficial to the surrounding neighborhood			
CD-14	Establish block standards for commercial areas to break up large tracts into more human scale pieces with streets or street-like features within the development			
POLICIES FOR MINORITY & WOMEN-OWNED BUSINESSES		YES	NO	NA
MWOB-1	Work with organizations, such as the Chamber and the Black Business Alliance, to expand diversity, equity, and inclusion programs that are supported with grassroots community engagement			
MWOB-2	Explore successful programs for supporting minority and women-owned businesses in surrounding communities to implement in Wake Forest			
MWOB-3	Explore regional, state, and federal grants available for minority and women businesses, such as grants from the National Institute of Economic Development and Carolina Community Impact			
MWOB-4	Support informational sessions and/or provide educational resources to employers on how they can establish equitable work environments and policies within their businesses			
POLICIES FOR SETBACKS		YES	NO	NA
SB-1	Incentivize businesses to situate new buildings at or near the property line to improve walkability, such as by requiring more landscaping if parking lots are located in front of buildings rather than to the rear/side			
SB-2	Promote consistency in setbacks within commercial and residential areas to form desirable continuity in the streetwall, or the facades of buildings facing the street			
SB-3	Encourage outparcel development with 360 architecture to "hold the corner" of commercial corridor development			
SB-4	Ensure adequate setbacks of industrial or other high intensity uses to reduce potential sound or visual impacts on adjacent lower intensity uses			

Community Plan Consistency Grid: RZ 23-03				
SB-5	Allow for flexibly in setbacks in Downtown where existing conditions prevent a consistent streetwall, while maintaining a close interface with the street (e.g., utility, landscaping, and/or topography challenges)			
POLICIES FOR PARKING LOTS		YES	NO	NA
PL-1	For existing front-loaded surface parking lots, encourage property owners to improve their character with perimeter and interior landscaping, and/or decorative walls and fencing			
PL-2	Require off-street parking to be located to the side or rear of the primary building			
PL-3	Encourage shared parking agreements where neighboring uses with different peak parking demand times can use the same parking lot, reducing the need for additional parking lots			
PL-4	Reevaluate minimum parking standards and consider implementing maximum parking standards to reduce excessive requirements			
PL-5	Monitor parking supply and strategically encourage structured or underground parking in higher density areas if needed, such as in Downtown, TOD, and activity center areas, to reduce the amount of land dedicated to surface parking			
PL-6	Consider offering incentives for structured parking, such as density bonuses, allowable lot coverage increases, and height limit increases.			
PL-7	Encourage the integration of structured parking into multifamily buildings to minimize surface parking lots			
PL-8	Encourage North Carolina Department of Environmental Quality's (NCDEQ) Stormwater Nitrogen and Phosphorus (SNAP) nutrient-reducing practices, such as permeable surfaces, that allow water infiltration in parking lots to improve stormwater drainage and water quality			
PL-9	Encourage the provision of pedestrian walkways in parking lots to enhance connectivity and safety to businesses			
POLICIES FOR SCREENING & BUFFERING		YES	NO	NA
SB-1	Ensure sufficient screening and buffering of industrial and commercial uses next to residential uses to minimize potential adverse impacts, such as in the Unicon Drive area			
SB-2	Encourage new development to preserve existing wooded areas along the perimeter of sites to provide natural buffering			
SB-3	Encourage screening of utility, loading, outdoor storage, and trash disposal areas that are visible from the right-of-way and adjacent development			
SB-4	Promote the use of setbacks for walls and fences that allow for plantings between the property line and the right-of-way and adjacent development			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR COMMUNITY CHARACTER		YES	NO	NA
CC-1	Preserve vistas and view corridors that contribute to the economic and aesthetic value of Wake Forest, such as the church steeple at Southeastern Baptist Theological Seminary, S White Street in Downtown, and N Main Street in the Wake Forest Local Historic District			
CC-2	Curate public outdoor spaces for important monuments and artworks to showcase them as anchors and entry points to neighborhoods			
CC-3	Leverage historic structures, events, and people to create a sense of place through placemaking and branding			
CC-4	Ensure new development is contextual to the existing character of the area in terms of scale, massing, setback, fenestration, and design features (porches, storefronts, etc.)			
CC-5	Encourage developers to incorporate landscaping to beautify neighborhoods and commercial areas, such as landscaped medians and roundabouts.			
CC-6	Incorporate landscaping and gateway features into public rights-of-way, such as landscaped streetscapes, green infrastructure, and public promenades			
CC-7	Emphasize quality development along highly visible thoroughfares in the Town to reinforce its positive image			
CC-8	In accordance with the Land Use Plan, ensure incompatible, high intensity uses are directed away from low intensity residential areas			
CC-9	Continue to provide quality municipal services for the maintenance and upkeep of neighborhoods, such as street cleaning, snow removal, and trash disposal services			
CC-10	Work with NCDOT to identify areas for roadway enhancements			
CC-11	Refer to the Public Art Vision Plan for guidance when public art is being proposed in private development			
CC-12	Work with developers to improve the character of retaining walls, such as by incorporating public art or tiering the walls to reduce their visual impact			
POLICIES FOR UTILITY LINES		YES	NO	NA
UL-1	Create a master plan for burying utility lines with community involvement to identify priority areas for conversion			
UL-2	Ensure major Town entrances and gateway corridors and highly visible, pedestrian-oriented areas are prioritized for conversion			
UL-3	Consider trenching utilities as capital improvements are made in the right-of-way for all areas of the Town			
UL-4	Investigate partnering with private developers to install conduit for fiber and/or burying utility lines in priority conversion areas			
UL-5	Explore partnerships with private developers for boring and burying additional conduit along main roadways			
UL-6	Consider and install conduit with greenway project construction.			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR HISTORIC PRESERVATION		YES	NO	NA
HP-1	Work with the Historic Preservation Commission (HPC) and the Planning Department to continue to implement the 2019 Historic Property Handbook and Design Standards and continue to preserve existing and new historic landmarks			
HP-2	Continue to enforce the Historic Preservation Ordinance for the Wake Forest Local Historic District and local historic landmarks			
HP-3	Promote State and Federal Tax Incentives for qualified rehabilitation projects for properties listed individually or as contributing historic properties in the National Register of Historic Places			
HP-4	Ensure development surrounding and within historic districts is sensitive to the historic context of the neighborhood			
HP-5	Encourage adaptive reuse, restoration, and repurposing of historic structures to preserve Wake Forest's history			
HP-6	Continue to enforce the Demolition of Historic Structures Ordinance for the protection of all historic properties in Wake Forest			
HP-7	Investigate the adoption of new local historic districts or character historic overlay districts to preserve Wake Forest's historic character			
POLICIES FOR COMMUNITY FACILITIES		YES	NO	NA
CF-1	Expand Town facilities concurrently with new growth			
CF-2	Annually review the Town's Work Management Plan, Staffing, and Budget section to reflect current needs and priorities			
CF-3	Work with the Wake Forest Parks, Recreation, and Cultural Resources Department to identify strategies to close gaps in park service areas, such as west of Capital Boulevard and the southern and eastern portion of Town			
CF-4	Work with the Wake Forest Parks, Recreation, and Cultural Resources Department to expand equity in the quality of public park facilities and programming			
CF-5	Explore green infrastructure options that also beautify spaces, like bioswales and planters			
CF-6	Continue to work with regional educational entities to provide support as they seek new facility locations or expansion with growth			
CF-7	Coordinate with regional educational entities to ensure increased equity in educational facilities across the community			
CF-8	Coordinate with the Police and Fire Departments to ensure response times are sufficient for all areas of town with growth			
CF-9	Consider emerging best practices for community safety, such as mental health crisis response teams			
CF-10	Promote and incorporate sustainable building practices into community facilities, setting a precedent for private developers to implement			
CF-11	Coordinate with regional healthcare providers to explore opportunities to locate a full service hospital or regional medical facilities in the Town			
CF-12	Evaluate existing streets and explore UDO updates to address traffic congestion, traffic speed, reduce collisions, and improve safety conditions for all modes of transportation			
CF-13	Regularly update the Town Pavement Management System program			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR PUBLIC TRANSIT		YES	NO	NA
PT-1	Continue to work with transit partners to consider more frequent service and route network expansions to key locations to improve rider experience and attract more usage of mass transit			
PT-2	Coordinate with property owners, private developers, and transit partners to set aside land for transit stops at appropriate locations. The Town should obtain a transit easement for these locations and construct and maintain quality bus shelter infrastructure			
PT-3	Work with GoRaleigh and GoTriangle to construct smart bus shelters, or sustainable shelters that incorporate elements like interactive screens with live timetables, smart lighting, solar panels, and bike lock stations			
PT-4	Explore incorporating public art into bus shelters			
PT-5	Continue to evaluate and coordinate Park and Ride locations with transit partners			
PT-6	Explore best long term transit options such as fixed or microtransit			
POLICIES FOR CAPITAL BOULEVARD		YES	NO	NA
CB-1	Continue to work closely with NCDOT to implement the project and promote commercial growth in accordance with the Land Use Plan			
CB-2	Continue advocating for improvements along the corridor to assist in improving the quality of life for Wake Forest residents, businesses, and property owners			
POLICIES FOR STREET CONNECTIVITY		YES	NO	NA
SC-1	Promote short blocks of less than 600 linear feet between intersections of local roads to improve walkability			
SC-2	Avoid dead-ends, cul-de-sacs, and T-intersections in places where four-way intersections can be aligned			
SC-3	Study the appropriateness of traffic circles at four-way intersections to ease congestion and improve safety			
POLICIES FOR SIDEWALKS & MULTI-USE PATHS		YES	NO	NA
SP-1	Update the CTP to include an inventory of sidewalks in addition to multi-use paths and establish project priorities, private-public funding, and time frames for closing gaps in the network			
SP-2	Update the CTP to identify priority areas for high visibility crosswalks, bulb outs, refuge islands, rectangular rapid flashing beacons, and other pedestrian improvements			
SP-3	Work with Public Works to identify crosswalk ramps that are not ADA compliant and prioritize upgrades			
SP-4	In coordination with roadway improvements, upgrade aging sidewalks or install new sidewalks if none exist			
SP-5	Promote sidewalk, multi-use path, or trail connectivity between residential subdivisions and nonresidential development to improve pedestrian and bicycle connectivity			
SP-6	Continue to ensure all new residential development provides sidewalks on both sides of the street			
SP-7	Encourage multi-use paths to be provided along the main road in developments			
SP-8	Ensure multifamily and commercial developments include strong pedestrian networks within and between their sites			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR BIKEWAYS, GREENWAYS & TRAILS		YES	NO	NA
BGT-1	Identify trail head locations as the greenway and trail network continues to expand			
BGT-2	Explore opportunities along greenways to add amenities (i.e. water fountains, seating /rest areas, pocket parks, public art, and fix it stations) and programming with the Parks, Recreation, and Cultural Resources Department or other organizations like StoryWalks			
BGT-3	Encourage development along greenways to incorporate greenway access into the site, particularly for uses attractive to trail users (i.e. restaurant, cafes, and bars)			
POLICIES FOR LOCAL FOOD SYSTEMS		YES	NO	NA
LFS-1	Continue to support the Northern Community Food Security Team and together explore other locations for community food hubs within the Town			
LFS-2	Partner with local food cooperatives and regional food networks, such as the Capital Area Food Network, to address food insecurity in the community			
LFS-3	Encourage regenerative practices, such as use of organic fertilizers, crop rotation, and crop variation for healthy soil			
LFS-4	Conduct a meal gap survey to better assess the immediate and long term needs in the community			
LFS-5	Evaluate the economic impact of local food systems in the community to encourage localized marketplaces for food producers			
LFS-6	Explore updates to the UDO that would promote urban agriculture and repurposing of vacant or underutilized lots for such uses			
POLICIES FOR CONSERVATION DESIGN		YES	NO	NA
CD-1	Encourage conservation design in the UDO's subdivision development regulations, particularly for areas within watershed protection areas			
CD-2	Explore incentives for promoting conservation design, such as density bonuses to allow for comparable number of housing units but greater preserved green space within the site			
CD-3	Encourage developers to enhance preserved green spaces as accessible amenities for residents, such as trails and outdoor seating			
POLICIES FOR GREEN SPACE PRESERVATION		YES	NO	NA
GSP-1	Prioritize higher density redevelopment and infill development within already developed areas to avoid premature development in long term growth areas and reduce greenfield development			
GSP-2	Work with private developers to preserve significant natural assets within sites, such as streams, steep slopes, unique geological formations, wetlands, and mature stands of trees, which can be incorporated as development amenities			
GSP-3	Continue to identify and strategically acquire environmentally sensitive land to preserve as dedicated conservation areas and publicly accessible open space			
GSP-4	Explore incentives to promote conservation design in future development, such as density bonuses, to promote clusters of taller structures that preserve natural areas of the site			
GSP-5	Explore strategies to further promote green space preservation within the updated UDO, such as increasing set aside requirements, and evaluate what is credited as open space			
GSP-6	Explore strategies to further protect wildlife and environmentally sensitive areas in the UDO			

Community Plan Consistency Grid: RZ 23-03				
POLICIES FOR TREE CANOPY		YES	NO	NA
TC-1	Continue to support the Town in administering the Urban Forestry Program and planting, preserving, and maintaining trees on public properties and rights-of-way			
TC-2	Explore updates to the UDO that could further promote tree preservation and replacement in new developments			
TC-3	Review existing incentives and consider additional incentives for private developers to promote tree preservation above what is required by the UDO			
TC-4	Explore ways to increase the number of trees required in parking lots during the update to the UDO, such as requiring an island every 20 parking spaces or decreasing the minimum distance a parking space can be from a tree			
TC-5	Ensure public and private tree plantings and xeriscaping are made up of native plant species that are adapted to local environmental conditions and require less irrigation			
TC-6	Coordinate efforts to influence State regulations related to the expansion of tree preservation standards			
POLICIES FOR SUSTAINABLE DEVELOPMENT		YES	NO	NA
SD-1	Encourage private developers to incorporate green building, LID, and green infrastructure practices in future developments			
SD-2	Incorporate green infrastructure into public streetscapes, prioritizing pedestrian-oriented areas like Downtown, TOD, and Neighborhood Commercial areas			
SD-3	Continue to incorporate sustainable design best practices into Town-owned infrastructure and community facilities, striving to incorporate LEED practices into future facilities			
SD-4	Use the Environmental Protection Agency's (EPA) "Revising Local Codes to Facilitate Low Impact Development" guide to help identify regulations within the UDO that discourage LID practices			
SD-5	Evaluate potential rainwater collection programs and composting programs			
SD-6	Explore an incentive program to encourage development to provide stormwater when lots are exempt from stormwater requirements			
SD-7	Update the Manual of Specifications, Standards and Design to reference green infrastructure design			
SD-8	Explore decommissioned rights-of-way as potential stormwater routes			
SD-9	Support the use of attractive, safe, and sustainable street furniture and infrastructure, such as solar streetlights, and LED traffic lights			
SD-10	Expand the electric vehicle (EV) charging network by requiring the installation of charging stations, or the infrastructure needed to accommodate future charging stations, in all new parking lots, especially parking lots of multifamily and large scale developments, and increasing supply of public charging stations			
SD-11	Promote adaptive reuse over redevelopment for structures that are structurally sound, feature desirable built form, and/or are historically significant. This includes creating an online inventory of buildings available for adaptive reuse			
SD-12	Investigate developing a solar energy ordinance and enrolling in the SolSmart program, a national designation program funded by the US Department of Energy charged with making solar power faster, easier, and more affordable			
SD-13	Explore ways to incentivize renewable energy and passive solar design in the Town's development standards. SolSmart's Solar Energy Toolkit can be used as resource for better promoting solar panels within the code			

Community Plan Consistency Grid: RZ 23-03				
SD-14	Continue partnership with Raleigh to encourage homeowners to incorporate practices for water conservation			
POLICIES FOR TOURISM		YES	NO	NA
T-1	Grow the Town's art community and reputation as a regional arts destination with a Downtown focus			
T-2	Explore the potential of constructing a recreational destination facility with a regional draw			
T-3	Develop annual Tourism Economic Impact Reports to help quantify progress made in Wake Forest's tourism sector and identify trends, issues, and opportunities that can help Town staff prioritize future investments			
T-4	Support the Wake Forest Area Chamber to create and market a local visitor's center as a public resource hub for the Town's attractions, events, and businesses for visitors			
T-5	Leverage Wake County's Room Occupancy Tax to build, finance, and create new establishments or run events related to tourism, allowing the Town to capitalize on its success in drawing hotel occupants			
T-6	Create a community-wide wayfinding plan to improve sense of place and signage that directs visitors and residents to Town destinations			
T-7	Continue to support Wake Forest Downtown Inc. (a Main Street America accredited program) in meeting the National Accreditation Standards of Performance as outlined by the National Main Street Center			
T-8	Continue to participate in the NC Main to Main Trail program, a network that connects the State's Main Street America communities, and leverage this designation in the Town's marketing strategy			
T-9	Investigate hiring consultants to provide a comprehensive evaluation of Town events and provide recommendations for improved programs			
T-10	Explore the creation of a social district, where customers can carry and consume food and drinks purchased from businesses outside in a designated zone			
POLICIES FOR GATEWAYS		YES	NO	NA
GW-1	Create a Gateway Plan to identify and prioritize sites for gateway features and establish design standards. Ensure the Plan works in synergy with the Town's Wayfinding Plan.			
GW-2	Improve roadway infrastructure along key gateway routes to enhance their character and multimodal connectivity.			
POLICIES FOR DOWNTOWN WAKE FOREST		YES	NO	NA
DWF-1	Evaluate existing zoning regulations around density in appropriate locations to balance Downtown's development potential with preserving its historic character			
DWF-2	Identify strategies to fill vacant buildings Downtown that promote an entrepreneurial and small-business culture			
DWF-3	Identify strategies to attract families and younger populations to Downtown with inviting public spaces, entertainment, and destinations for all ages			
DWF-4	Provide guidelines for how buildings should be orientated to support pedestrian-friendly environments			
DWF-5	Reassess parking demand and supply with consideration for a new parking garage(s) to minimize surface parking lots			

Community Plan Consistency Grid: RZ 23-03				
DWF-6	Identify strategies to create an “experience-based” Downtown retail environment with unique local businesses and a pedestrian-oriented environment			
DWF-7	Reassess strategies to improve gateways and wayfinding to and within Downtown to better direct people and create a distinct sense of place			
DWF-8	Identify opportunities for Downtown events and public gathering spaces to bring the community together, such as live outdoor events and festivals			

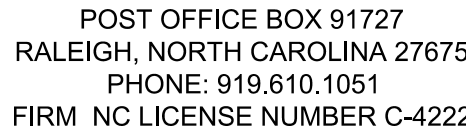


N WHITE ST & ROYAL MILL AVENUE
WAKE FOREST, NC
PINS: 1841-96-6020

FLM ENGINEERING, INC
CONTACT: CHASE MASSEY, PE
PO BOX 91727
RALEIGH, NC 27675
919.423.8975
CMASSEY@FLMENGINEERING.COM

3. BUILDING HEIGHT SHALL NOT EXCEED FOUR STORIES.
2. GATHERING SPACE SHALL BE PROVIDED AS A CONVENIENT, USABLE, ACTIVE AREA, AND SHALL HAVE A PUBLIC ART COMPONENT.
3. ALLOWABLE USES SHALL NOT INCLUDE PAWN SHOP, GAS/FUELING STATION, VEHICLE SERVICES - MINOR MAINTENANCE/REPAIR, SMALL EQUIPMENT REPAIR/RENTAL, DRIVE-THRU/DRIVE-IN FACILITY, VAPE SHOP, OR FUNERAL HOME/CREMATORIUM.
4. THE LOT LINE ABUTTING NORTH WHITE STREET SHALL BE CONSIDERED THE PRINCIPAL FRONT LOT LINE.
5. MAXIMUM FRONT SETBACKS TO BE MEASURED FROM THE EDGE OF EXISTING UTILITY EASEMENTS ALONG ROYAL MILL AVENUE AND NORTH WHITE STREET.
6. MULTI-FAMILY PARKING RATE: 1.5 SPACES PER UNIT. THIS SLIGHT REDUCTION IN PARKING WILL ALLOW FOR INCREASED DENSITY WHILE PRESERVING GATHERING/PERVIOUS AREAS AND HELP TO PROVIDE A MORE WALKABLE DEVELOPMENT PATTERN. THE PEDESTRIAN CONNECTIVITY TO THE ADJACENT PARK AND NEARBY SINGLE-FAMILY AND MULTI-FAMILY DEVELOPMENTS, INCLUDING MULTI-USE PATHS ON BOTH SIDES OF ROYAL MILL AVENUE, MEET THE TOWN'S CONNECTIVITY AND WALKABILITY GOALS. ADDITIONALLY, WHILE THE FINAL UNIT SIZE IS STILL BEING DETERMINED, IT IS ANTICIPATED THAT THE MAJORITY OF THE MULTI-FAMILY UNITS WILL BE 1 AND 2-BEDROOM UNITS, WHICH WOULD SUPPORT A REDUCED PARKING RATE OF 1.5 SPACES PER UNIT.
7. EXISTING WAKE ELECTRIC TRANSMISSION LINE ALONG ROYAL MILL AVENUE TO REMAIN AND NOT BE BURIED.
8. EXISTING WAKE ELECTRIC OVERHEAD DISTRIBUTION LINE ALONG NORTH WHITE STREET TO REMAIN AND NOT BE BURIED.
9. PROPOSED ROYAL MILL AVENUE MINIMUM DRIVEWAY CHANNELIZATION TO BE 9'.
10. DEVELOPER SHALL COMPLETE ALL IMPROVEMENTS RECOMMENDED IN THE APPROVED TRANSPORTATION IMPACT ANALYSIS.
11. DIRECT PEDESTRIAN ACCESS FROM THE MULTI-USE PATH ON NORTH WHITE STREET SHALL BE PROVIDED TO INDIVIDUAL BUSINESS ENTRANCES ALONG THE NORTH WHITE STREET BUILDING FRONTAGE.

SHEET	TITLE
C-1	COVER
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3 - C-4	SITE PLAN
C-5 - C-6	UTILITY PLAN
C-7	GRADING & DRAINAGE PLAN
C-8	LANDSCAPE PLAN
C-9	LIGHTING PLAN

[illegible]

ORIGINAL PLAN SIZE: 24" X 36'

DO NOT USE FOR CONSTRUCTION

IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

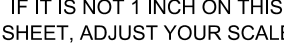
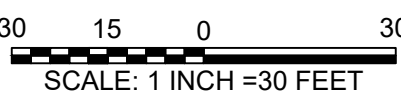
WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

COVER

SHEET 1 OF 9

DO NOT USE FOR CONSTRUCTION



WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

SHEET 2 OF 9

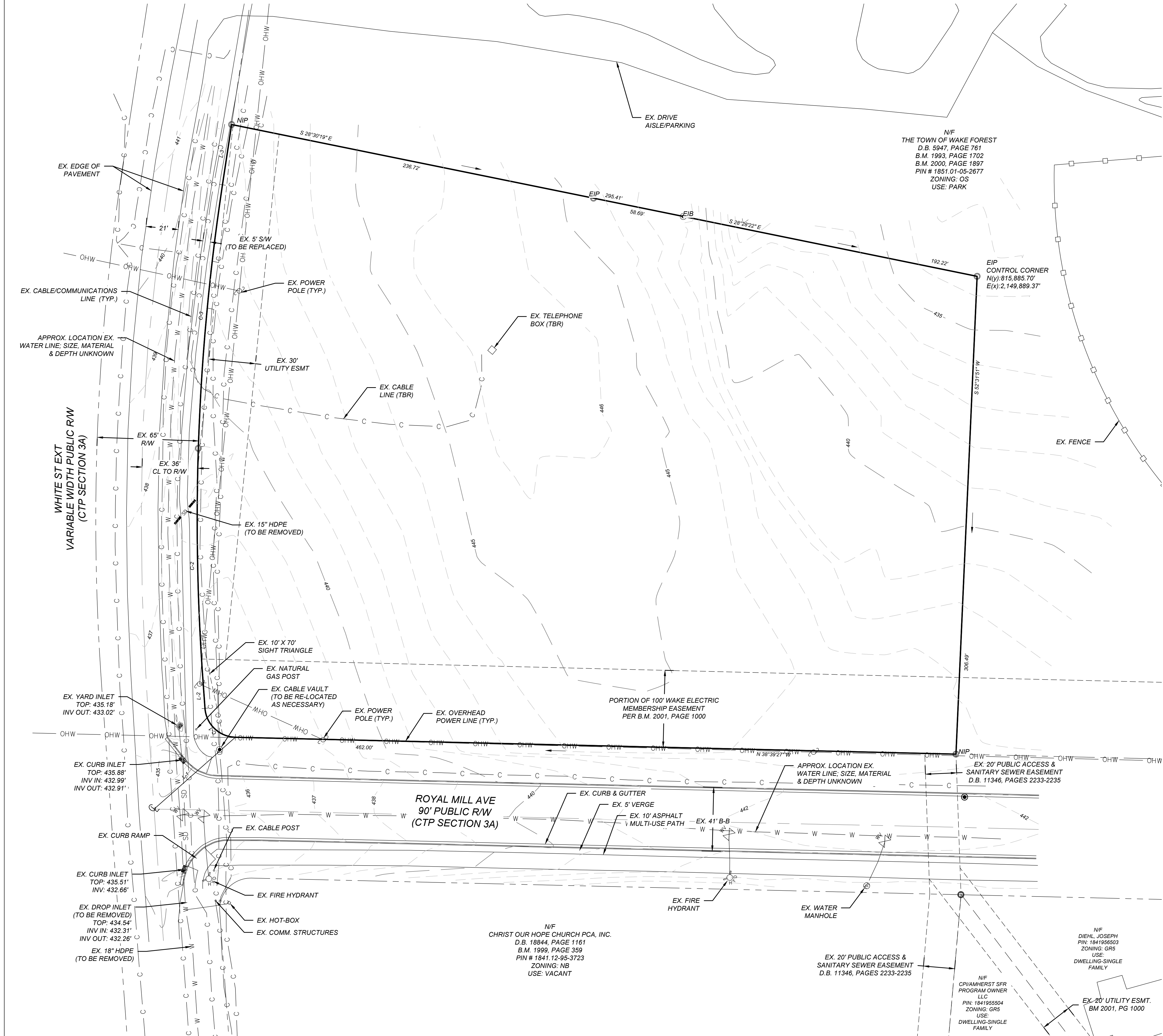
1. BOUNDARY AND TOPOGRAPHIC SURVEY BY CMP PROFESSIONAL LAND SURVEYORS.
2. THERE ARE NO FLOOD PRONE AREAS PRESENT PER FEMA FIRM PANEL NO. 3720184100K, EFFECTIVE 07/19/92.
3. THERE ARE NO TREES THAT QUALIFY AS TOWN OF WAKE FOREST SPECIMEN TREES ONSITE.
4. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
5. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
6. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
7. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
8. THERE IS NO CEMETERY ON THE PROPERTY.
9. UNDER NCGS 70-29 DISCOVERY OF REMAINS AND NOTIFICATION OF AUTOCITIES: ANY INADVERTENT DISCOVERY OF MARKED OR UNMARKED GRAVES OR HUMAN REMAINS REQUIRES THAT WORK IMMEDIATELY STOP AND THE PROCESS OUTLINED IN NCGS 70-29 BE FOLLOWED.

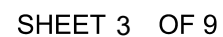
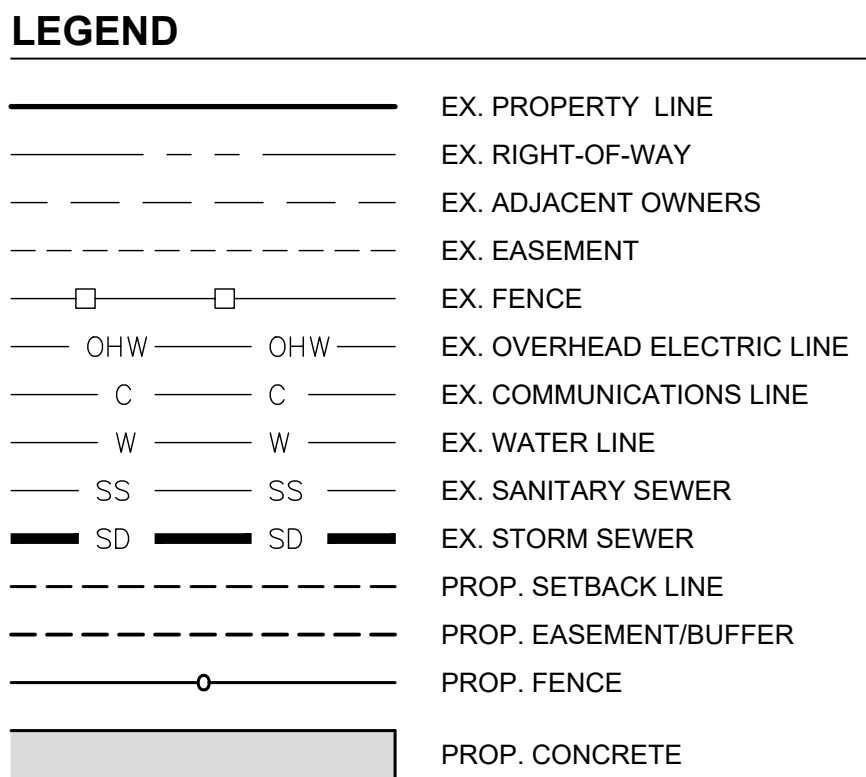
CeB CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
	EX. EASEMENT
	EX. FENCE
	EX. OVERHEAD ELECTRIC LINE
	EX. COMMUNICATIONS LINE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. MAJOR CONTOUR (5')
	EX. MINOR CONTOUR (1')

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 81°27'29" E	69.54'
L-2	N 45°48'41" E	16.23'
L-3	N 58°37'58" E	39.06'

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	29.48'	20.00'	26.89'	N 03°34'41" E
C-2	150.50'	1431.00'	150.43'	N 48°49'27" E
C-3	169.72'	1431.00'	169.63'	N 55°14'06" E





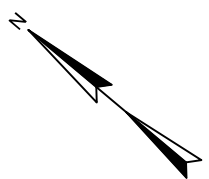
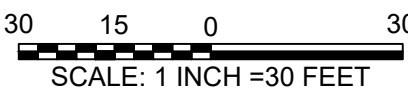


POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY
1	TOWN COMMENTS	8/10/2023	FLM
2	TOWN COMMENTS	1/26/2024	FLM
3	REV. CONDITIONS	2/26/2024	FLM
4	REV. CONDITIONS	3/15/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY
PLANS
DO NOT USE FOR CONSTRUCTION



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE
ACCORDINGLY

WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

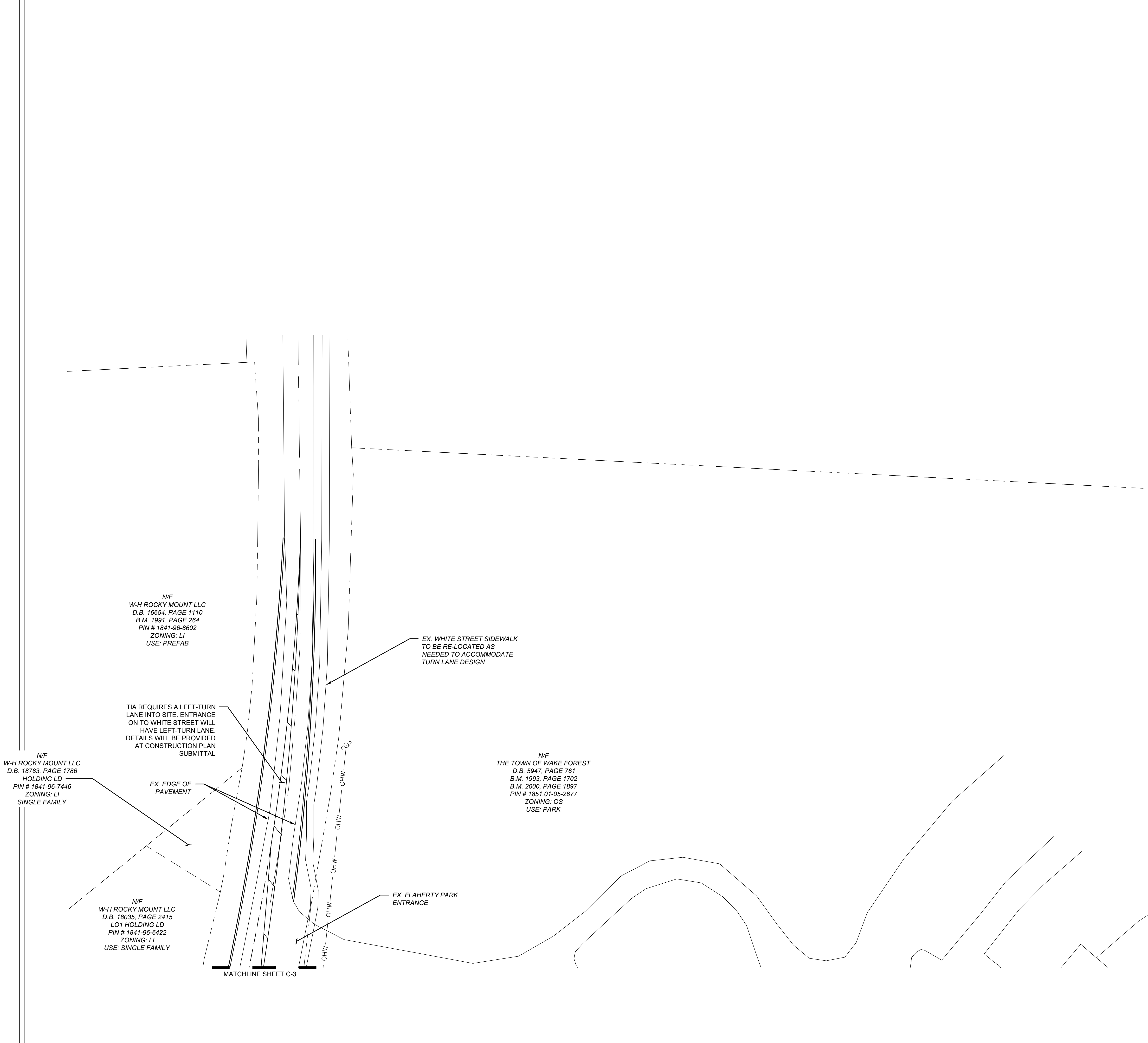
SITE PLAN

C-4

SHEET 4 OF 9

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. EASEMENT
- EX. FENCE
- EX. OVERHEAD ELECTRIC LINE
- EX. COMMUNICATIONS LINE
- EX. WATER LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. FENCE
- PROP. CONCRETE



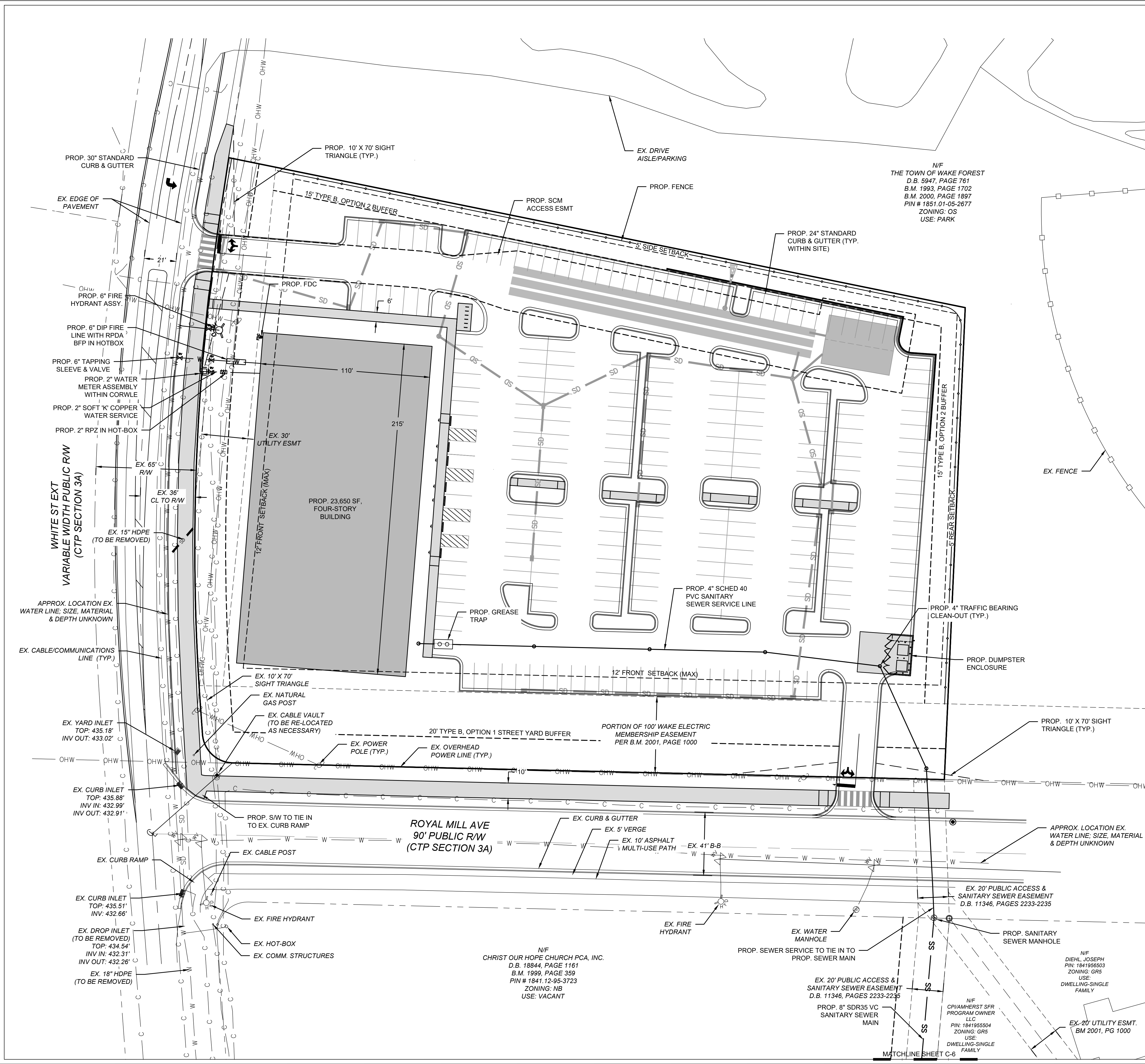
N/F
W-H ROCKY MOUNT LLC
D.B. 16654, PAGE 1110
B.M. 1991, PAGE 264
PIN # 1841-96-8602
ZONING: LI
USE: PREFAB

N/F
W-H ROCKY MOUNT LLC
D.B. 18783, PAGE 1786
HOLDING LD
PIN # 1841-96-7446
ZONING: LI
SINGLE FAMILY

EX. EDGE OF
PAVEMENT

N/F
THE TOWN OF WAKE FOREST
D.B. 5947, PAGE 761
B.M. 1993, PAGE 1702
B.M. 2000, PAGE 1897
PIN # 1851.01-05-2677
ZONING: OS
USE: PARK

N/F
W-H ROCKY MOUNT LLC
D.B. 18035, PAGE 2415
LO1 HOLDING LD
PIN # 1841-96-6422
ZONING: LI
USE: SINGLE FAMILY



CITY OF RALEIGH STANDARD UTILITY NOTES
(AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN COMMENTS	8/10/2023	FLM
2	TOWN COMMENTS	1/26/2024	FLM
3	REV. CONDITIONS	2/26/2024	FLM
4	REV. CONDITIONS	3/15/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY
PLANS
DO NOT USE FOR CONSTRUCTION

30 15 0 30
SCALE: 1 INCH = 30 FEET

SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE
ACCORDINGLY

WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

UTILITY PLAN

C-5
SHEET 5 OF 9

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. EASEMENT
- EX. FENCE
- OHW OHW
- EX. OVERHEAD ELECTRIC LINE
- C C
- EX. COMMUNICATIONS LINE
- W W
- EX. WATER LINE
- SS SS
- EX. SANITARY SEWER
- SD SD
- EX. STORM SEWER
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. FENCE
- PROP. CONCRETE
- W W
- PROP. WATER LINE
- SD SD
- PROP. SANITARY SEWER
- SD SD
- PROP. STORM SEWER

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A) IF DISUSE OF A UTILITY IS DETERMINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE PROTECTION CAN BE PROVIDED, THE ADEQUATE PROTECTION SHALL BE EITHER A PIPE SHIELD OR SPECIFIED & INSTALLED IN PLACE OF THE UTILITY. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING UTILITIES IN THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS 10' FROM THE MAIN IN THE HORIZONTAL PLANE. THE MINIMUM SEPARATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) IF THE UTILITY IS IMPROVED, THE UTILITY SHALL BE AT ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS USED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE PROTECTION CANNOT BE PROVIDED. PROVIDE A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-4 & S-49)
 - F) AT ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED

[illegible]

DO NOT USE FOR CONSTRUCTION



THIS BAR IS 1 INCH IN LENGTH

IF IT IS NOT 1 INCH ON THIS

ACCORDINGLY

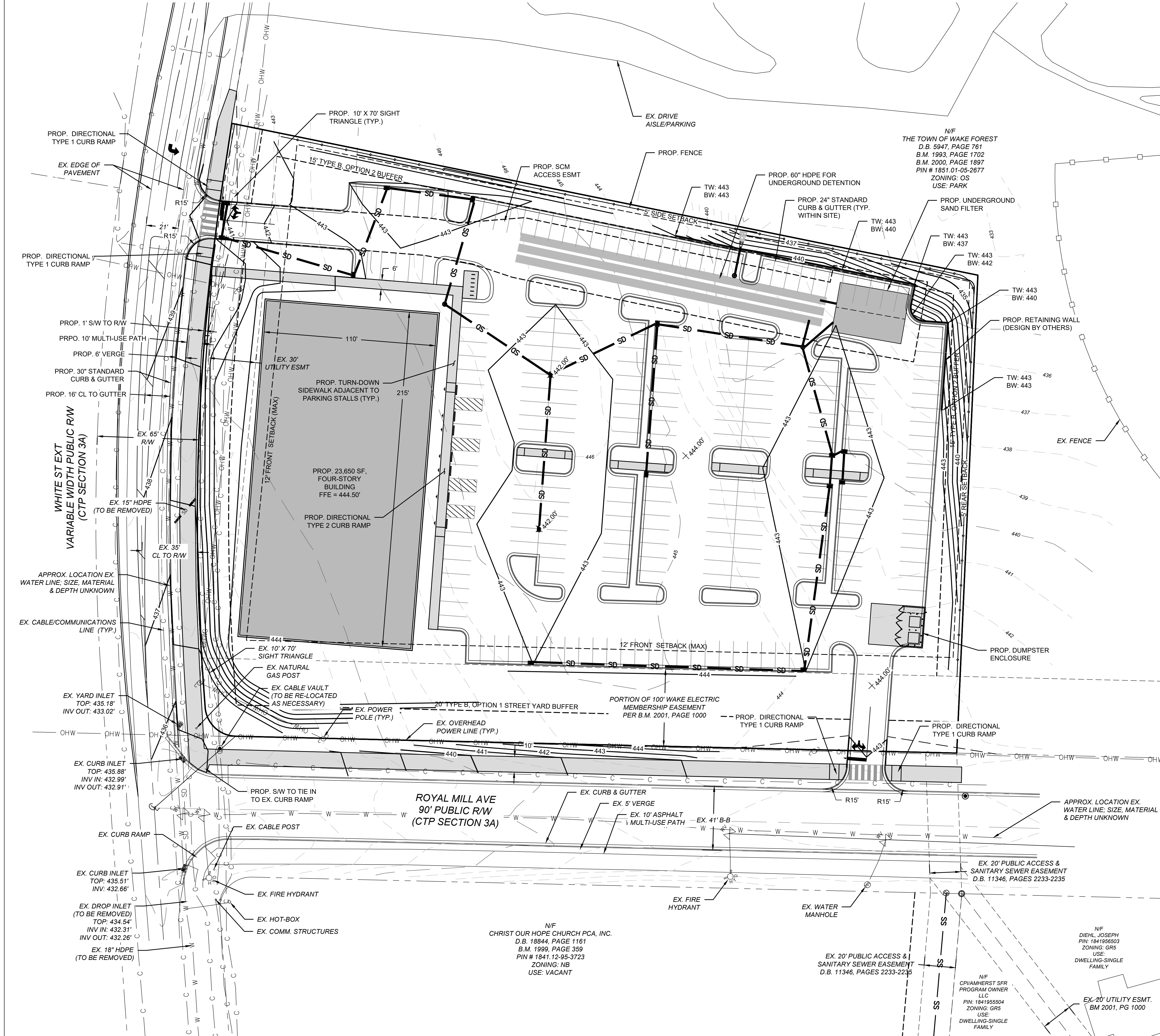
DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

SHEET 6 OF 9



1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
3. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
4. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
5. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
	EX. EASEMENT
	EX. FENCE
	EX. OVERHEAD ELECTRIC LINE
	EX. COMMUNICATIONS LINE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROP. SETBACK LINE
	PROP. EASEMENT/BUFFER
	PROP. FENCE
	PROP. CONCRETE
	PROP. WATER LINE
	PROP. SANITARY SEWER
	PROP. STORM SEWER



- NOTES**
- GRADES SHOWN REPRESENT FINISHED GRADES.
 - CUT/FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
 - STORMWATER CONTROL MEASURE (SCM) AND ALL STORMWATER INFRASTRUCTURE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY MAINTAINED.
 - THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
 - THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
 - THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. EASEMENT
---	EX. FENCE
---	EX. OVERHEAD ELECTRIC LINE
---	EX. COMMUNICATIONS LINE
---	EX. WATER LINE
---	EX. SANITARY SEWER
---	EX. STORM SEWER
---	EX. MAJOR CONTOUR (5')
---	EX. MINOR CONTOUR (1')
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. FENCE
---	PROP. CONCRETE
---	PROP. WATER LINE
---	PROP. SANITARY SEWER
---	PROP. STORM SEWER
---	PROP. MAJOR CONTOUR (5')
---	PROP. MINOR CONTOUR (1')



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN COMMENTS	8/10/2023	FLM
2	TOWN COMMENTS	1/26/2024	FLM
3	REV. CONDITIONS	2/26/2024	FLM
4	REV. CONDITIONS	3/15/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION

30 15 0 30
SCALE: 1 INCH = 30 FEET

SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

**WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC**

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

GRADING & DRAINAGE PLAN

C-7

SHEET 7 OF 9



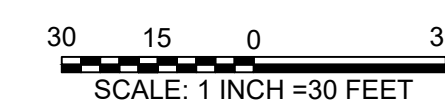
POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

[illegible]

ORIGINAL PLAN SIZE: 24" X 36'

PRELIMINARY PLANS

DO NOT USE FOR CONSTRUCTION



SCALE: 1 INCH = 30 FEET

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH

ON ORIGINAL DRAWING	
0	1*

IF IT IS NOT 4 INCH OR THICK

SHEET, ADJUST YOUR SCALE
ACCORDINGLY

WHITE STREET MIXED USE
SITE MASTER PLAN
N WHITE ST & ROYAL MILL AVE
WAKE FOREST, NC

DATE:	01-19-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	22045

LIGHTING PLAN

C-9

SHEET 9 OF 9

NOTES

1. LIGHTING DESIGN SHALL BE IN ACCORDANCE WITH SECTION 10 OF THE WAKE FOREST UDO.

LEGEND

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
	EX. EASEMENT
	EX. FENCE
	EX. OVERHEAD ELECTRIC LINE
	EX. COMMUNICATIONS LINE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROP. SETBACK LINE
	PROP. EASEMENT/BUFFER
	PROP. FENCE
	PROP. CONCRETE
	PROP. WATER LINE
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. CANOPY TREE
	PROP. EVERGREEN TREE
	PROP. UNDERSTORY TREE
	PROP. EVERGREEN SHRUB
	PROP. LIGHT POLE WITH 15' RADIUS FROM TREE

