



## PLANNING COMMISSION MEETING

**DATE:** Tuesday, June 4, 2024, 6:00 p.m.

**LOCATION:** City Hall, John Fuller Auditorium  
451 Third Street NW  
Winter Haven, FL 33881

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**1. Call to Order**

**2. Roll Call**

**3. Invocation and Pledge of Allegiance**

**4. Approval of Minutes**

**4.A May 7, 2024 Meeting Minutes**

*Staff Contact:* Jordan Warren, Planning Assistant, [jwarren@mywinterhaven.com](mailto:jwarren@mywinterhaven.com)

May 7, 2024 Meeting Minutes

**5. Explanation of Hearings by Chair**

**6. Hearings - Old Business**

**6.A P-24-22 - Request by Landmark Investments, Inc. to amend Planned Unit Development Ordinance O-89-04. General Location: 800 Havendale Boulevard. The area covered by this request is 13.58± acres.**

*Staff Contact:* Heather Reuter, Senior Planner, [hreuter@mywinterhaven.com](mailto:hreuter@mywinterhaven.com)

Summary - Case Number P-24-22

**7. Hearings - New Business**

**7.A P-24-06-S - Request by JSK Consulting for Special Use Approval for personal storage in the Commercial- Highway (C-3) zoning district. General Location: A portion of a parcel located at the southwest corner of the intersection of Eloise Loop Road, Thompson Nursery Road, West Lake Ruby Drive, and Coon Lake Road. The area covered by this request is 7.00± acres.**

*Staff Contact:* Heather Retu, Senior Planner, [hreuter@mywinterhaven.com](mailto:hreuter@mywinterhaven.com)

Summary - Case Number P-24-06-S

**7.B P-24-07-S - Request by Rivercard, LLC for Special Use Approval for a banquet hall located in the Planned Unit Development (PUD) zoning district subject to PUD Ordinance O-24-01. General Location: 1977 and 1983 21st Street, NW. The area covered by this request is 0.05± acres.**

**Staff Contact:** Heather Reuter, Senior Planner, hreuter@mywinterhaven.com

Summary - Case Number P-24-07-S

- 7.C P-24-08-S - Request by Bond Clinic, P.A. for Special Use Approval for an accessory pharmacy in a medical clinic in the Mixed Use (MX) zoning district. General Location: 500 East Central Avenue. The area covered by this request is 2.56± acres.**

**Staff Contact:** Heather Reuter, Senior Planner, hreuter@mywinterhaven.com

Summary - Case Number P-24-08-S

- 7.D P-24-09-S - Request by Wellie Liao for Special Use Approval for a large scale drinking establishment in the Commercial- Downtown (C-1) zoning district. General Location: 254 West Central Avenue. The area covered by this request is 0.05± acres.**

**Staff Contact:** Heather Reuter, Senior Planner, hreuter@mywinterhaven.com

Summary - Case Number P-24-09-S

## **8. Other Business**

**8.A Comments from Staff**

**8.B Comments from Planning Commissioners**

**8.C Comments from the Public**

## **9. Adjournment**

If a person decides to appeal any decision made by the Commission with respect to any matter considered at such meeting or hearing, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceeding is made which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105). In accordance with the Americans with Disabilities Act and Florida Statutes, Section 286.26, persons with disabilities needing special accommodations to participate in this proceeding, should contact the City Clerk's Office, 451 Third Street, NW, Winter Haven, Florida 33881, in writing, not later than 48 hours prior to the proceeding; if not in writing, then not later than four (4) days prior to the proceeding at (863) 291-5600. Vision or hearing impaired please call (800) 955-8771 for assistance.

CITY OF WINTER HAVEN  
PLANNING COMMISSION MEETING MINUTES  
May 7, 2024

1. CALL TO ORDER

Chair Wells called the meeting to order at 6:00 p.m.

2. ROLL CALL

Commissioners Present: Chair Colin Wells, David Lane, Tina Summerlin, Craig Fuller, and Ed Smith

Commissioners Absent: Vice-Chair Wendy Venters, Mario Manago, Jennifer Fasking, and Elizabeth Davis

Mrs. Warren confirmed a quorum.

Staff Present:

Eric Labbe, Economic Opportunity & Community Investment Director; Sean Byers, Planning Manager; Heather Reuter, Senior Planner; Chris Young, Senior Planner; Jordan Warren, Planning Assistant; Clifton Dollison, City Commission Liaison

3. INVOCATION AND PLEDGE OF ALLEGIANCE

Invocation and Pledge of Allegiance led by Chair Wells.

4. APPROVAL OF MINUTES

Chair Wells asked for a motion to approve the April 2, 2024 Planning Commission Meeting Minutes. Motion was made by Commissioner Lane for approval of the April 2, 2024 Planning Commission Meeting Minutes; Commissioner Smith seconded the motion. Motion carried by a unanimous voice vote. (5:0)

5. EXPLANATION OF HEARINGS

Chair Wells provided the explanation of hearings.

6. HEARINGS – OLD BUSINESS – None

7. HEARINGS – NEW BUSINESS

- A. Case Number P-24-22: Request by Landmark Investments, Inc. to amend Planned Unit Development Ordinance O-89-04. General Location: 800 Havendale Boulevard. The area covered by this request is 13.58± acres.

Mrs. Reuter recommended this case be continued to the June 4, 2024 Planning Commission meeting.

Chair Wells sought a motion for the case. Motion was made by Chair Wells to continue Case Number P-24-22 to June 4, 2024 Planning Commission meeting. Commissioner Fuller seconded the motion. Motion carried by a unanimous voice vote. (5:0)

- B. Case Number P-24-05-S: Request by Menard Childcare LLC for Special Use Approval for a childcare facility located in the Mixed Use (MX) zoning district. General Location: 124 Avenue G, SE. The area covered by this request is 0.32± acres.

Mrs. Reuter gave an overview of the request via a slideshow presentation. Mrs. Reuter recommended approval of the request with conditions.

Chair Wells asked the Commissioners if there were any questions for staff. Seeing and hearing none, Chair Wells closed the regular meeting and opened the public hearing, asking anyone wishing to speak for or against this request to come to the podium, and if they have not yet done so, state their name and address for the record. Hearing and seeing none, Chair Wells closed the public hearing and reopened the regular meeting.

Chair Wells asked if there were any other questions for commissioners. Hearing and seeing none, Chair Wells sought a motion for the case. Motion was made by Commissioner Summerlin to approve Case Number P-24-05-S in accordance with the fact sheet and condition stated. Commissioner Smith seconded the motion. Motion carried by a unanimous voice vote. (5:0)

## 8. Other Business

### A. Comments from Staff

- Mr. Byers gave an update on past items
- Mr. Byers stated July Planning Commission meeting will be held July 2, 2024. Due to the nearby Independence Day holiday, if this date looks to be a concern, action for a meeting date change will need to happen at the June meeting.
- Mrs. Reuter stated the City has advertised for the Planning Commission vacancy.
- Mrs. Reuter stated reappointment letters will be going out to the Commissioners who are up for reappointment.

### B. Comments from Commissioners

- Commissioner Lane questioned if case P-24-22 will be renoticed due to being continued to the next meeting. Ms. Reuter responded re-notification was not necessary as this meeting was properly noticed and the Planning Commission took formal action at this meeting to continue the request to the June 4, 2024 meeting. Commissioner Lane stated there was confusion and errors in the notice found by residents (specific errors were not addressed) and he thinks we should re-notice this request due to the confusion. Mr. Labbe indicated staff will look into the notifications, and will act appropriately.

### C. Comments from the Public – NONE

## 9. Adjournment – 6:11 p.m.

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Chair

ATTEST:

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Planning Commission Clerk

DRAFT

DATE: April 8, 2024

TO: Winter Haven Planning Commissioners

VIA: Eric Labbe, Economic Opportunity and Community Investment Director  
Sean Byers, Planning Manager

FROM: Heather Reuter, Senior Planner

SUBJECT: Case Number P-24-22: Request by Landmark Investments, Inc. to amend a portion of Planned Unit Development Ordinance O-89-04. General Location: 800 Havendale Boulevard. The area covered by this request is 13.58± acres.

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## BACKGROUND

Landmark Investments, Inc., petitioner, requests the City amend a portion of Planned Unit Development Ordinance O-89-04. The area subject to this request is the southern portion of a parcel located at 800 Havendale Boulevard. The subject property contains approximately 13.58± acres developed with a commercial shopping center and associated parking. The northern portion of the parcel is designated as Commercial- Highway (C-3) zoning district. Access to the shopping center is from Havendale Boulevard and US Highway 17 (Eighth Street, NW).

The petitioner proposes to develop a vacant portion of the property, designated in the current PUD as Phase III of the commercial development, with 100 multi-family residential units. The current PUD does not allow multi-family residential; however, based on the adopted Floor Area Ratio (FAR) for Primary Mixed Use Hub, the subject property could be developed with a total of 1,774,632 square feet (13.58 acres x 43,560 square feet x 3.0 FAR) of commercial space. This would be an approximate increase of 1,695,583 square feet over the current 79,049 square feet developed on the site.

The proposed area for multi-family development is approximately 3.1± acres. When specifically examining this area, it alone could be developed with up to 405,108 square feet (3.1 acres x 43,560 square feet x 3.0 FAR) of commercial space under the current PUD.

The current PUD Ordinance is 35-years-old, contains references to obsolete zoning districts pertaining to permitted uses, and does not provide development standards. Staff proposes to provide updated permitted uses and development standards for the existing developed commercial portion to align with current standards and zoning districts.

## SURROUNDING USES

Uses surrounding the subject property include the remainder of the Spring Lake Plaza to the north; vacant land designated for multi-family development to the west; multi-family residential to the east across U.S. Highway 17; and Spring Lake to the south.

INFRASTRUCTURE

The request decreases the overall permitted development intensity of the subject property. The table below illustrates the anticipated changes in demands from the current PUD and the proposed PUD amendment for the 3.1± acre area proposed for multi-family development.

Infrastructure	Current Maximum Potential Demands		Proposed Maximum Potential Demands		Difference
	405,108 SF Commercial		100 Multi-Family Residential Units		
Potable Water	89,124 gpd		25,200 gpd		-63,924 gpd
Sanitary Sewer	78,124 gpd		22,050 gpd		-56,074 gpd
Transportation	2,034 trips		100 trips		-1,934 trips
Schools	Elementary	0 seats	20 seats		+20 seats
	Middle	0 seats	5 seats		+5 seats
	High	0 seats	7 seats		+7 seats

The table below illustrates the potential overall demands on supporting infrastructure should the property be developed with 100 multi-family residential units under the proposed PUD amendment.

Potable Water				
Current Available Capacity (April 30, 2024)		Current Vested Demands	Potential Demands	Remaining Capacity
2,780,000 gpd		1,772,300 gpd	25,200 gpd	982,500 gpd
Sanitary Sewer (WWTP 3)				
Current Available Capacity (April 30, 2024)		Current Vested Demands	Potential Demands	Remaining Capacity
2,920,000 gpd		994,100 gpd	22,050 gpd	1,903,850 gpd
Transportation (Traffic Count Data from Polk Transportation Planning Organization)				
Current Available Capacity (PM Peak Hour)		Current Vested Demands	Potential Demands	Remaining Capacity
U.S. Highway 17- Assumes 50 percent of projected new trips				
Northbound	655 trips	33 trips	16 trips	606 trips
Southbound	694 trips	32 trips	15 trips	647 trips
Havendale Boulevard- Assumes 50 percent of projected new trips				
Eastbound	2,170 trips	48 trips	15 trips	2,107 trips
Westbound	2,215 trips	50 trips	16 trips	2,149 trips

The petitioner’s request results in a decrease in public infrastructure demands over the current maximum development potential. At this time, sufficient potable water, wastewater, and roadway capacity is available to support the development of 100 multi-family residential units requested by the PUD amendment.

Public school availability is highly variable due to frequent changes in school enrollments over the course of a year; therefore, available capacity is determined by the Polk County Public Schools at the time of final platting for subdivisions or upon final site plan approval for multi-family developments. Availability can be met by having capacity at the zoned schools or an adjacent zoned school as permitted under State Statute. Based on the development of 100 multi-family residential units, up to 20 elementary, 5 middle, and 7 high school seats may be required.

As with all developments in the City, a final concurrency determination for all supporting public infrastructure will be made prior to final site development approval.

## COMPREHENSIVE PLAN

The current adopted Future Land Use on the property is Primary Mixed Use Hub. The requested PUD amendment is consistent with the Primary Mixed Use Hub Future Land Use designation.

## NOTIFICATION

All public notification requirements for this request were met.

## CONCLUSION

Staff's review of the petitioner's request yields the following conclusions:

- The requested multi-family development within this PUD is consistent with development in the area and the PUD designation to the west;
- The staff proposed changes will address obsolete language within a 35-year-old PUD for the existing commercial;
- The requested PUD amendment is consistent with the Primary Mixed Use Hub Future Land Use assigned to the property;
- This request will result in a decrease in water, sewer, and transportation infrastructure demands over the maximum development potential in the current PUD; and
- This portion of the Spring Lake Square shopping center has remained undeveloped for 35 years under the current zoning. Development of multi-family uses in this space will create a true mixed use hub, and will potentially lead to further redevelopment of the aging Spring Lake Square shopping center.

## RECOMMENDATION

Staff recommends the Planning Commission recommend approval of this request and its forwarding to the City Commission for final action subject to the following PUD conditions:

A. Permitted Uses.

1. Uses within the commercial portion of the development, as designated in the attached conceptual plan, shall be limited to uses permitted in the Commercial- Highway (C-3) zoning district, or its successor zoning district, except the following uses shall be prohibited: sales, repairs, and/or servicing of automobiles, boats, watercraft, and/or recreational vehicles; nursery; cemetery; and stand-alone parking lot. In addition to uses requiring Special Use Approval in the C-3 zoning district, or its successor zoning district, the following uses shall also require Special Use Approval from the Planning Commission: drive-through facilities.
2. Uses within the residential portion of the development, as designated in the attached conceptual plan, shall be limited to 100 multi-family residential units.
3. Overnight parking of truck tractors, semitrailers, or other heavy commercial equipment not related to permitted on-site construction activities shall be prohibited.

B. Development Standards.

1. Uses within the commercial portion of the development, as designated in the attached conceptual plan, shall follow the development standards and intensities for the Commercial-Highway (C-3) zoning district, or its successor zoning district.
2. Uses within the residential portion of the development, as designated in the attached conceptual plan, shall follow the development standards of the Multi-Family Residential- Low Density (R-3) zoning district, or its successor zoning district.

C. All development shall be in general accordance with the attached conceptual plan; however; deviation from the conceptual site plan, including changes which may impact specific building configuration to address safety, design, technical, wetland, or permitting issues identified during formal site plan review may be permitted. The shown layout of buildings and infrastructure is for illustrative purposes.

D. All other code requirements not specifically addressed shall apply.

ATTACHMENTS

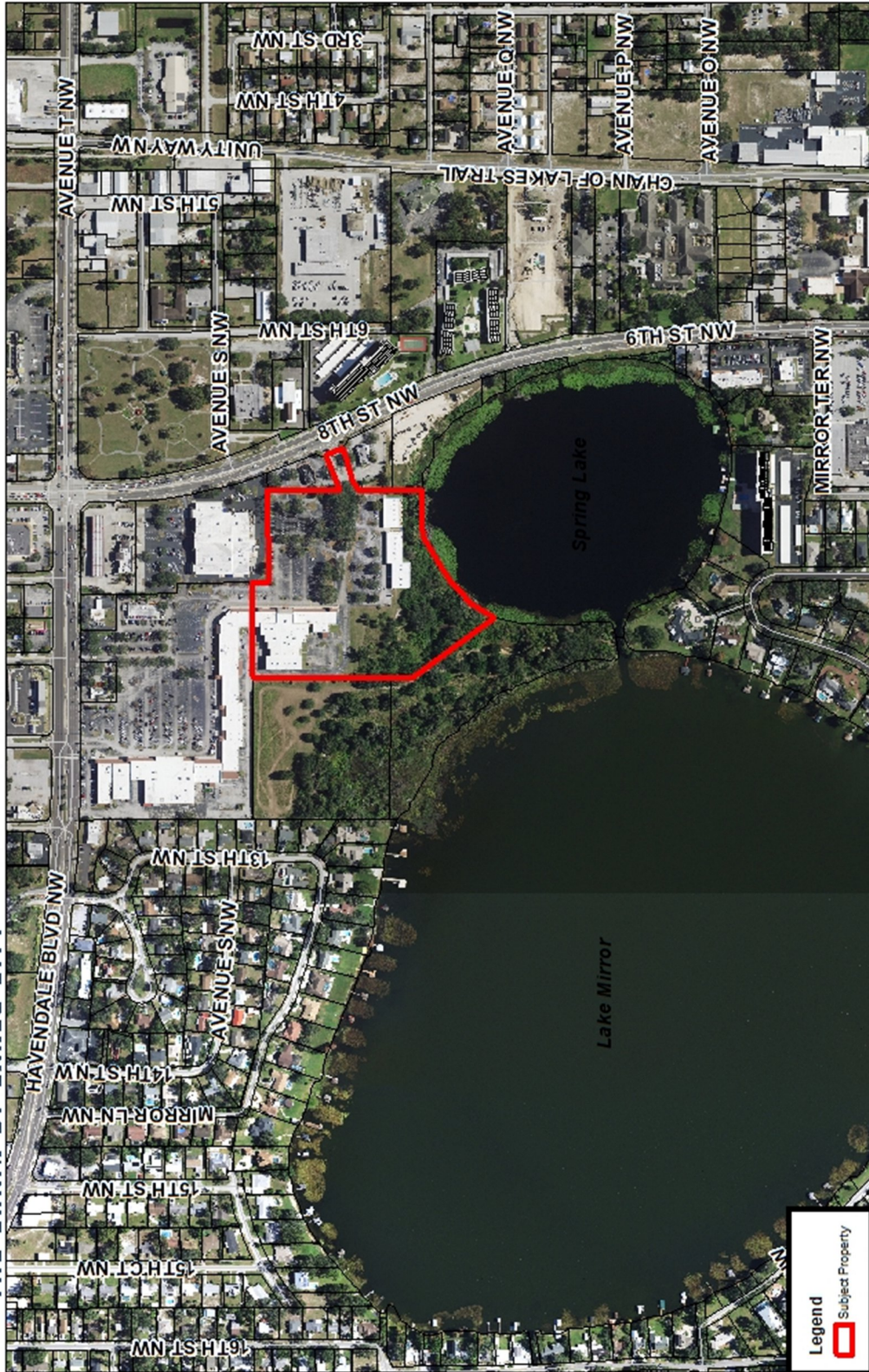
- Future Land Use Map
- Zoning Map
- Aerial Map
- Conceptual Plan





O-24-22  
Aerial Map

**WINTER HAVEN**  
THE CHAIN OF LAKES CITY



**Legend**  
 Subject Property

The map is created from a subset of data from the City of Winter Haven Geographic Information System (GIS) database. The City of Winter Haven makes no claims, no representations, and no warranties, express or implied, concerning the validity (express or implied), the reliability or the accuracy of the GIS data and GIS data products furnished by the City, including the implied validity of any uses of such data.



DATE: May 6, 2024

TO: Winter Haven Planning Commissioners

VIA: Eric Labbe, Economic Opportunity and Community Investment Director  
Sean Byers, Planning Manager

FROM: Heather Reuter, Senior Planner

SUBJECT: Case Number P-24-06-S: Request by JSK Consulting for Special Use Approval for personal storage in the Commercial- Highway (C-3) zoning district. General Location: A portion of a parcel located at the southwest corner of the intersection of Eloise Loop Road, Thompson Nursery Road, West Lake Ruby Drive, and Coon Lake Road. The area covered by this request is 7.00± acres.

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## BACKGROUND

JSK Consulting, petitioner, requests the Planning Commission grant Special Use Approval for personal storage in the Commercial- Highway (C-3) zoning district. The subject property, totaling 7.00± acres, is a portion of a parcel generally located at the southwest corner of the intersection of Eloise Loop Road, Thompson Nursery Road, West Lake Ruby Drive, and Coon Lake Road. The petitioner proposes to develop the property with personal storage. Personal storage is permitted by Special Use Approval in the C-3 zoning district.

Based on the non-intensive nature of the proposed use, minimal impacts on supporting infrastructure are expected. Additionally, the use of property for personal storage represents a significant reduction in public infrastructure demands from the maximum potential commercial permitted by the C-3 zoning district. As this is a new development, a site plan review will be required and concurrency for water, sewer, and transportation will be determined at that time.

## SURROUNDING USES

The subject property is surrounded by a church to the west; Winter Haven Fire Station No. 3 and a Dollar General store to the north across Eloise Loop Road; a retention pond and the Verandahs townhomes subdivision to the east across unimproved Coon Lake Road; and the Savanna Pointe single-family subdivision to the south.

## NOTIFICATION

All notification requirements for this request were met.

## CONCLUSION

Upon review of this request, the following conclusions have been reached:

- The development of the subject property for personal storage instead of other more intense uses permitted in the C-3 zoning district will decrease the demands on public infrastructure;
- Additionally, the proposed personal storage will be developed on the southern portion of the parcel, which will provide a buffer between the single-family residential to the south and the more intense C-3 uses which will be developed on the northern portion of the parcel; and
- The addition of personal storage on the subject property will support the developed or proposed residential units located within a short distance of the site, potentially reducing the number and length of vehicle trips onto the supporting roadway network.

## RECOMMENDATION

Staff recommends the Planning Commission approve this request subject to the following conditions:

### A. Design Standards.

1. Any covered canopy outdoor storage structures fronting Eloise Loop Road and/or Coon Lake Road shall have a solid façade along the frontage of the roadway as to appear similar to an enclosed storage building from the frontage.
2. The façade of the elevations of the enclosed buildings or covered canopy outdoor storage structures fronting Eloise Loop Road and/or Coon Lake Road, or located adjacent to the Savanna Pointe subdivision shall be designed in such a way as to appear to have alcoves, projections, and/or windows. Elevations for these buildings shall be submitted for approval to the Planning Division as part of the site plan review process. Where building projections are utilized, an encroachment into the building setback up to 3 feet shall be permitted.
3. The exterior façade of all enclosed buildings and covered canopy outdoor storage structures fronting Eloise Loop Road and/or Coon Lake Road, or located adjacent to the Savanna Pointe subdivision shall consist of either concrete, stucco, split-face masonry, brick, or vinyl/masonry siding mimicking wood siding. Interior facades may be of any material subject to compliance with Building Codes in effect at the time of permitting.
4. All pole-mounted lighting fixtures shall utilize full cut-off luminaires and utilize LED or equivalent energy efficient lighting technologies, positioned to shine onto the property, and meet illumination requirements contained in Section 21-144(I) of the Winter Haven Code of

Ordinances. All building-mounted light fixtures shall be shielded to prevent glare onto adjoining properties.

5. Outdoor uncovered storage shall not be permitted without the areas being screened by a building and a 6-foot opaque wall/fence. The use of chain-link fencing with screening material or inserted slats shall not be permitted.

B. Landscaping.

1. A minimum 10-foot landscape buffer shall be installed along the boundary with Eloise Loop Road and Coon Lake Road. The buffer shall contain, at a minimum, the following elements:

Type	Requirement
Understory Tree	Minimum 7 per 100 linear feet
Large Shrubs	Minimum 15 per 100 linear feet
Optional Fence/Wall	Maximum 6 feet in height, with column up to 7 feet in height

- a. Required shrubs may be planted in clusters within the buffer.
- b. If a fence shall be installed, the use of chain-link fencing shall not be permitted.

2. A minimum 10-foot landscape buffer shall be installed along the western and southern boundaries. The buffer shall contain, at a minimum, the following elements:

Type	Requirement
Overstory Tree	Minimum 3 per 100 linear feet
Understory Tree	Minimum 7 per 100 linear feet
Large Shrubs	Minimum 15 per 100 linear feet
Opaque Fence/Wall	Minimum 6 feet in height, Maximum 8 feet in height

- a. Required shrubs may be planted in clusters within the buffer.
- b. The use of chain-link fencing with screening material or inserted slats shall not be permitted.
- c. Live oaks are not permitted as part of the overstory tree requirement.

3. The use of Florida Friendly plantings shall be required.

C. Signage.

1. Ground Signs.
  - a. The development shall be limited to one (1) ground sign on the Eloise Loop Road frontage. The ground sign shall be a monument sign structure to not exceed eight (8) feet in height nor 80 square feet in area. Maximum sign copy shall not exceed 60 square feet. An electronic message center sign may be included with the sign provided that it does not exceed 33 percent of the sign copy area of the sign. Operation of the electronic message center shall only occur between the hours of 6:30 a.m. and 11:00 p.m. with changes between messages occurring no more frequently than once per ten (10) seconds. The sign shall be setback a minimum of three (3) feet from the property lines.
  - b. The development shall be limited to one (1) ground sign on the Coon Lake Road frontage. The ground sign shall be a monument sign structure to not exceed five (5) feet in height nor 25 square feet in area. Maximum sign copy shall not exceed 15 square feet. An electronic message center sign is prohibited as a part of this sign. The sign shall be setback a minimum of three (3) feet from the property lines. This sign shall not be permitted until such time as Coon Lake Road is improved to the point of access from the subject property.
2. Wall Signs. The development shall be limited to 1.5 square feet of sign copy per linear foot of building frontage on Eloise Loop Road, up to a maximum of 65 square feet. Only northern facing wall signage shall be permitted.

D. Transportation.

1. A 6-foot sidewalk shall be installed along the development's frontage with Eloise Loop Road and a 5-foot sidewalk shall be installed along the development's frontage with Coon Lake Road unless precluded by an outside entity. Should the installation be precluded by an outside entity, the developer shall pay a fee in lieu of to be used for construction of sidewalks within the City of Winter Haven. The fee shall be the average cost for the required sidewalk width along the development's frontage as determined by the developer and the City at the time of site plan approval.
2. The developer shall dedicate sufficient right-of-way along Eloise Loop Road as determined by Polk County.
3. The developer shall dedicate sufficient right-of-way along Coon Lake Road to allow for 30 feet to centerline of the right-of-way.
4. Access to the subject property shall be limited to Eloise Loop Road until such time as Coon Lake Road is improved to the point of access from the subject property.

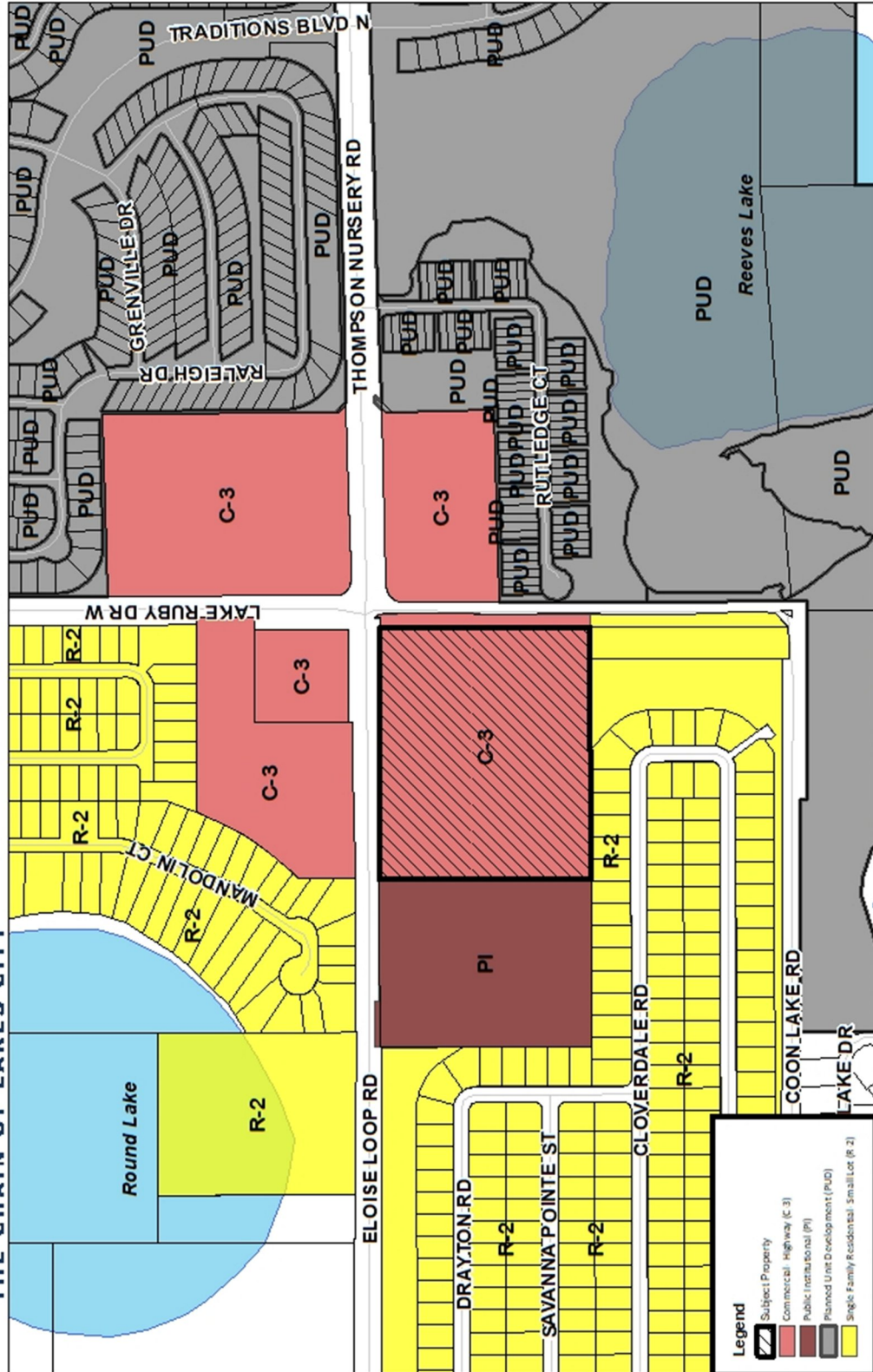
- E. All development shall be in general accordance with the attached conceptual plan; however; deviation from the conceptual site plan, including changes which may impact specific building configuration to address safety, design, technical, wetland, or permitting issues identified during formal site plan review may be permitted. The shown layout of buildings and infrastructure is for illustrative purposes.
  
- F. All other code requirements not specifically addressed by this Special Use Approval shall apply.

#### ATTACHMENTS

- Zoning Map
- Aerial Map
- Conceptual Plan

**WINTER HAVEN**  
THE CHAIN OF LAKES CITY

P-24-06-S  
Zoning Map



**Legend**

- Subject Property
- Commercial Highway (C-3)
- Public Institutional (PI)
- Planned Unit Development (PUD)
- Single Family Residential - Small Lot (R-2)

The map is created from a subset of data from the City of Winter Haven Geographic Information System (GIS) database. The City of Winter Haven makes no claims, no representations, and no warranties, express or implied, concerning the validity (express or implied), the reliability or the accuracy of the GIS data and GIS data products furnished by the City, including the implied validity of any uses of such data.

P-24-06-S  
Aerial Map

**WINTER HAVEN**  
THE CHAIN OF LAKES CITY



**Legend**  
 Subject Property

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DATE: May 10, 2024

TO: Winter Haven Planning Commissioners

VIA: Eric Labbe, Economic Opportunity and Community Investment Director  
Sean Byers, Planning Manager

FROM: Heather Reuter, Senior Planner

SUBJECT: Case Number P-24-07-S: Request by Rivercard, LLC for Special Use Approval for a banquet hall located in the Planned Unit Development (PUD) zoning district subject to PUD Ordinance O-24-01. General Location: 1977 and 1983 21st Street, NW. The area covered by this request is 0.05± acres.

**BACKGROUND**

Rivercard, LLC, petitioner, requests Special Use Approval for a banquet hall located in the Planned Unit Development (PUD) zoning district subject to PUD Ordinance O-24-01. The property subject to this request is located at 1977 and 1983 21<sup>st</sup> Street, NW in the Idylwild Plaza. The applicant’s tenant proposes to operate a banquet hall called Majestic Canvas Events in the approximately 2,400-square foot leased space.

Separations from the nearest church and school facilities are provided in the table below.

Nearest Facility	Required Separation	Actual Separation
Garner Academy 2500 Havendale Boulevard	400 feet from door to nearest property line by way of pedestrian travel	2,459± feet to the southwest
Abiding Savior Lutheran Church 1910 Havendale Boulevard	400 feet from door to door by way of pedestrian travel	1,184± feet to the southeast

The proposed floor plan for Majestic Canvas Events is open space to be set up specifically for each event. Hours of operation will vary based on booked events. Per Section 21-96, the applicant has developed a security plan that has been approved by the Chief of Police. A banquet hall with 2,400-square feet of gross floor area would require 34 parking spaces. There is adequate parking in the shared parking lot of the Idylwild Plaza to support this request.

**SURROUNDING USES**

The subject property is located in the Idylwild Plaza which includes multi-tenant commercial buildings. Immediate uses adjacent to the subject property within in the plaza are a nail supply store to the east and a vacant unit to the west. Surrounding uses to the plaza include the EverGreen on Lake Idylwild multi-family community to the north and west; single-family residential and a convenience store with

gas across 21<sup>st</sup> Street, NW to the east; and a truck rental business and vacant commercial across Havendale Boulevard to the south.

#### NOTIFICATION

All public notification requirements for this request were met.

#### CONCLUSION

The location of Majestic Canvas Events in the Idylwild Plaza is consistent with the Neighborhood Mixed Use Hub Future Land Use established at the intersection of Havendale Boulevard and 21<sup>st</sup> Street, NW. Minimal off-site impacts are expected as a result of this request. Additionally, the required security plan has been approved by the Chief of Police.

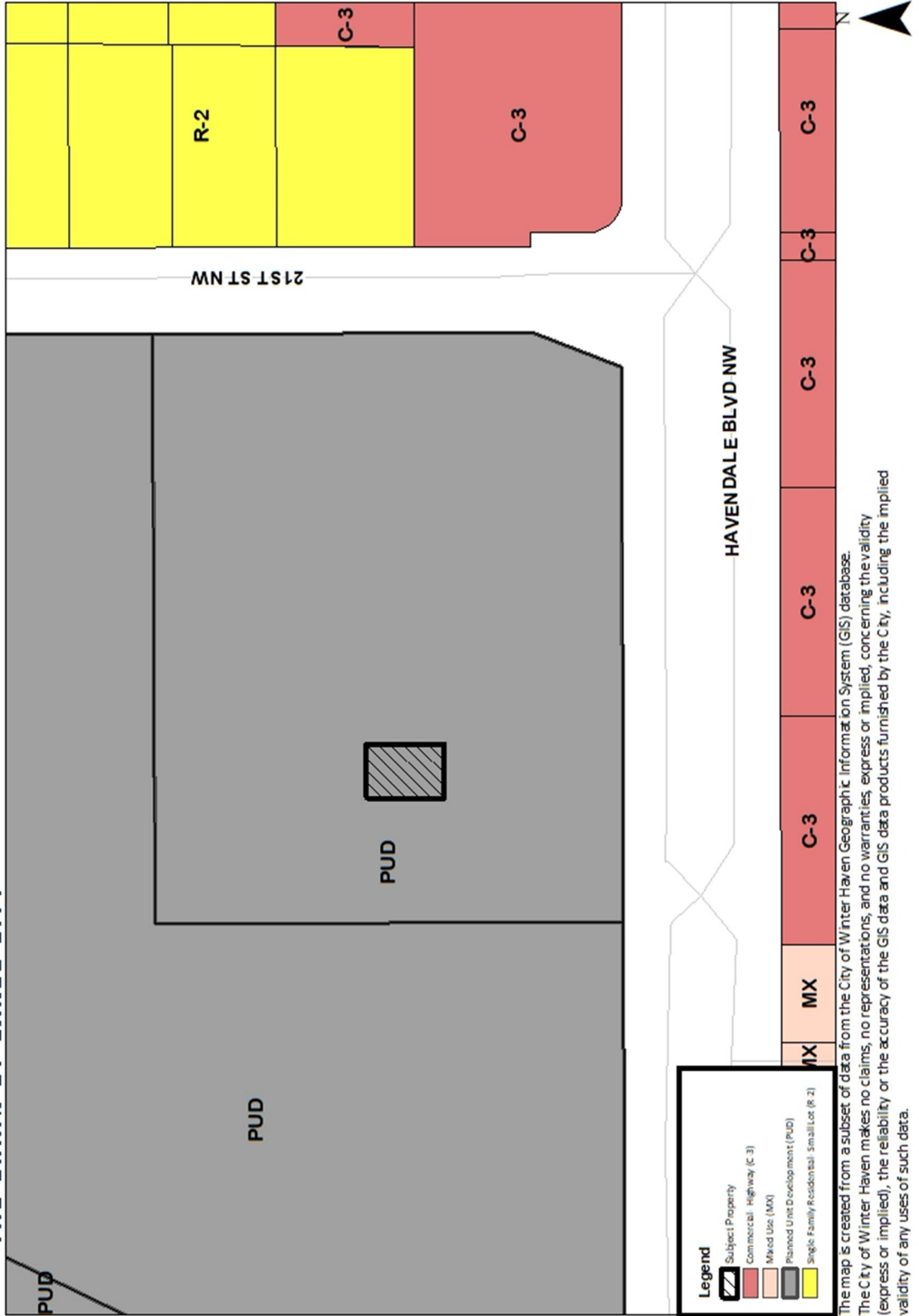
#### RECOMMENDATION

Staff recommends the Planning Commission approve this request.

#### ATTACHMENTS

- Zoning Map
- Aerial Map
- Floor Plan

P-24-07-S  
Zoning Map



**Legend**

- Subject Property
- Commercial - Highway (C-3)
- Mixed Use (MX)
- Planned Unit Development (PUD)
- Single Family Residential - Small Lot (R-2)

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P-24-07-S  
Aerial Map

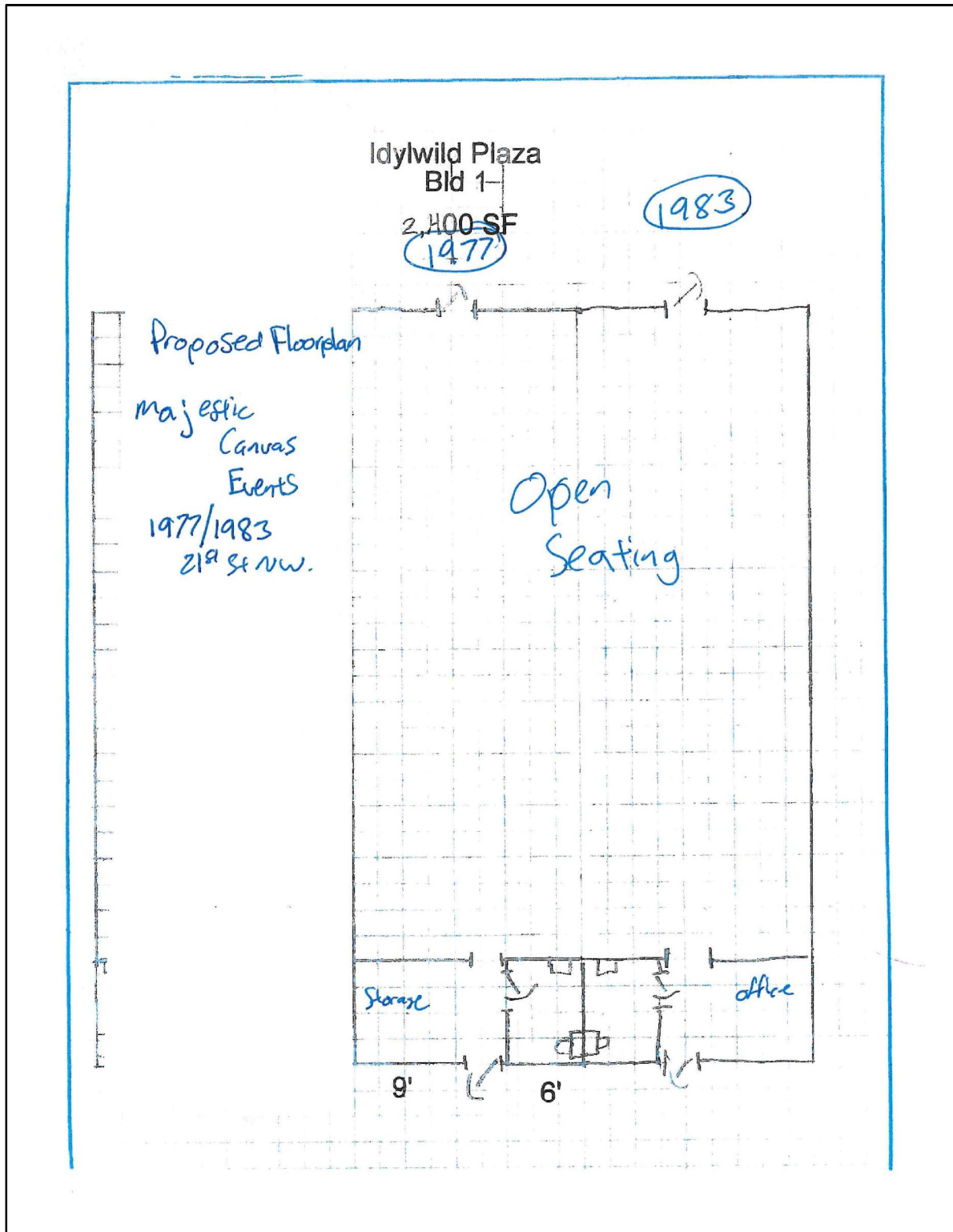
**WINTER HAVEN**  
THE CHAIN OF LAKES CITY



**Legend**  
 Subject Property

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Floor Plan



DATE: May 9, 2024

TO: Winter Haven Planning Commissioners

VIA: Eric Labbe, Economic Opportunity and Community Investment Director  
Sean Byers, Planning Manager

FROM: Heather Reuter, Senior Planner

SUBJECT: Case Number P-24-08-S: Request by Bond Clinic, P.A. for Special Use Approval for an accessory pharmacy in a medical clinic in the Mixed Use (MX) zoning district. General Location: 500 East Central Avenue. The area covered by this request is 2.56± acres.

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## BACKGROUND

Bond Clinic, P.A., petitioner, requests Special Use Approval for an accessory pharmacy in a medical clinic located in the Mixed Use (MX) zoning district. The subject property, totaling 2.56± acres, is located at 500 East Central Avenue, and contains an approximate 93,920-square foot medical clinic.

The petitioner proposes to operate a 2,004-square foot retail pharmacy embedded inside the medical clinic for patients of Bond Clinic. The proposed hours of operation are from Monday through Friday from 8 a.m. to 5 p.m. As the customers of the pharmacy will be patients of the medical clinic, minimal impacts to public infrastructure are expected.

## SURROUNDING USES

The subject property is surrounded by a mixture of offices located across Central Avenue to the north; an overflow parking lot across Sixth Street, SE to the east; associated parking for the medical clinic to the south; and a medical office across Fifth Street, SE to the west.

## NOTIFICATION

All public notification requirements for this request were met.

## CONCLUSION

Staff's review of this request yields the following conclusions:

- Bond Clinic meets the definition of a medical clinic as defined by the Winter Haven Code of Ordinances;

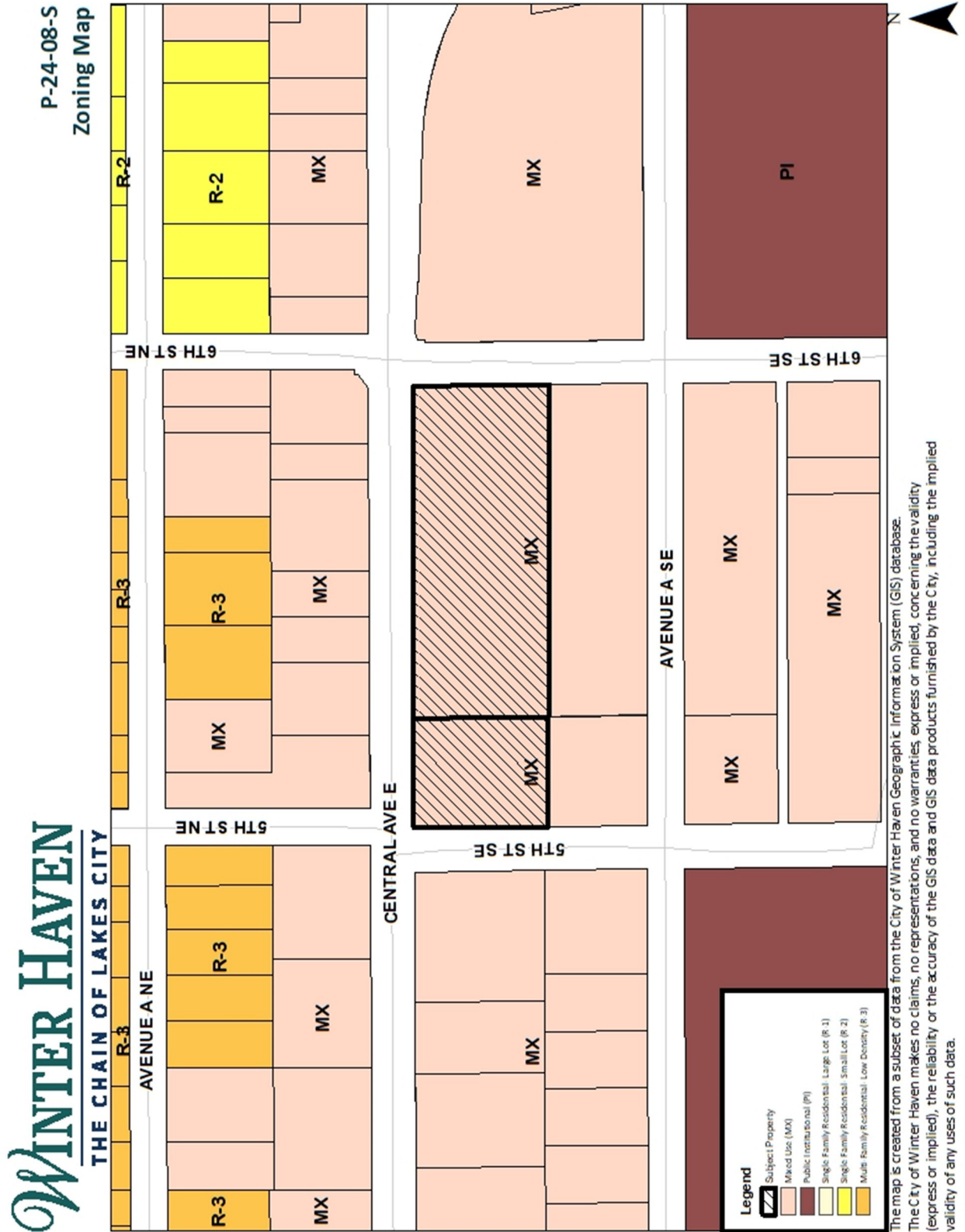
- Based on the size of the medical clinic, available on-site parking, and internal location of the accessory pharmacy, minimal impacts are expected; and
- Additionally, as the customers of the accessory pharmacy will be existing patients of Bond Clinic, an increase of trips is not expected with this added use.

#### RECOMMENDATION

Staff recommends the Planning Commission approve this request.

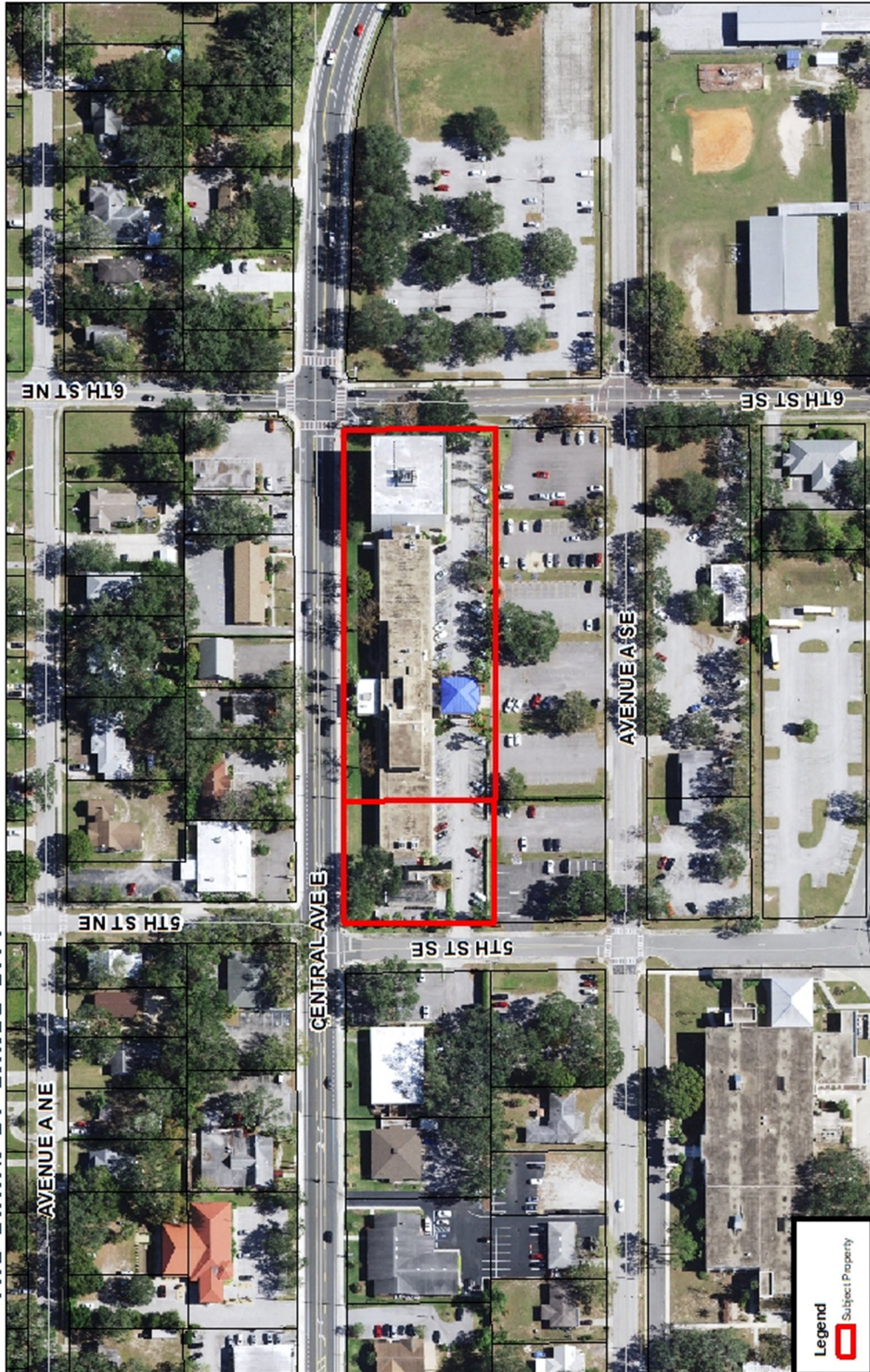
#### ATTACHMENTS

- Zoning Map
- Aerial Map
- Site Plan



P-24-08-S  
Aerial Map

**WINTER HAVEN**  
THE CHAIN OF LAKES CITY



**Legend**  
 Subject Property

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Site Plan



K:\Users\Aaron\Bond Clinic Interior\240321 locationMap DC AJ0.dwg

<p><b>LOCATION MAP</b></p> <p>WHITEHEAD CONSTRUCTION HUMANA BOND CLINIC SECTION 2B, TWP 26S, RGE: 26E</p>	<p>SOURCE: AERIAL: MICROSOFT</p>	<p><b>CARTER KAYE</b> ENGINEERING</p> <p>137 5th Street N.W. • Winter Haven, FL 33881 T: (863) 294-6965 • Web: www.carterkaye.com</p>
	<p>PROJECT No.: HUMNA24001</p>	
	<p>Plot Date: Mar 21, 2024 - 2:51pm</p>	

DATE: May 14, 2024

TO: Winter Haven Planning Commissioners

VIA: Eric Labbe, Economic Opportunity and Community Investment Director  
Sean Byers, Planning Manager

FROM: Heather Reuter, Senior Planner

SUBJECT: Case Number P-24-09-S: Request by Wellie Liao for Special Use Approval for a large-scale drinking establishment located in the Commercial- Downtown (C-1) zoning district. General Location: 254 West Central Avenue. The area covered by this request is 0.05± acres.

**BACKGROUND**

Wellie Liao, petitioner, requests Special Use Approval for a large-scale drinking establishment located in the Commercial- Downtown (C-1) zoning district. The property subject to this request is located at 254 West Central Avenue. The applicant proposes to operate a drinking establishment called Obscure Bottle Shop in the approximately 2,100-square foot leased space.

While the C-1 zoning district allows for residential uses, the nearest residential zoning district is located approximately 1,700 feet to the west. Separations from the nearest church and school facilities are provided in the table below.

Nearest Facility	Required Separation	Actual Separation
Cypress Junction Montessori 220 Fifth Street, SW	400 feet from door to nearest property line by way of pedestrian travel	1,260± feet to the southwest
City Victorious 99 Third Street, NW	400 feet from door to door by way of pedestrian travel	514± feet to the northwest

The proposed floor plan for Obscure Bottle Shop contains four (4) tables and a bar without seating. The proposed hours of operation are from 11 a.m. to 8 p.m. Per Section 21-96, the applicant has developed a security plan that has been approved by the Chief of Police. A large-scale drinking establishment with approximately 2,100-square feet of gross floor area would require 30 parking spaces. Since the property is located in the C-1 zoning district, there are no on-site parking requirements; however, within the downtown corridor there are approximately 700 public parking spaces either on-street, in a parking lot, or in the downtown parking garage.

**SURROUNDING USES**

The subject parcel is located in downtown and is surrounded by a mixture of office, retail, restaurant, service, and residential uses. Notable uses in close proximity to the subject parcel include office uses to the east and west; a salon to the south; and Central Avenue to the north.

## NOTIFICATION

All public notification requirements for this request were met.

## CONCLUSION

The location of Obscure Bottle Shop in the City's downtown is consistent with long-term goals to grow the social, cultural, and business core of the City. Minimal off-site impacts are expected as a result of this request. Additionally, the required security plan has been approved by the Chief of Police.

## RECOMMENDATION

Staff recommends the Planning Commission approve this request subject to the following conditions:

1. If the establishment plans to have an advertised or promoted entertainment event by an external organizer, they shall be required to hire a minimum of two off-duty officers to work outside the establishment for the duration of the event. If the establishment requests the off-duty officers, but the detail request cannot be fulfilled by any law enforcement agency, then a minimum of two additional licensed private security officers shall be hired to work outside the establishment for the duration of the event. If off-duty officers or additional licensed private security officers are unable to be secured, the entertainment event cannot occur.
2. If the establishment is at maximum occupancy, no more than 30% over the maximum occupancy as determined by the Winter Haven Fire Marshal or a maximum of 10 persons, whichever is less, may wait directly outside of the establishment for admittance. Additionally, if the establishment is not at maximum capacity, then there shall be no loitering, gathering, and/or waiting directly outside the establishment other than those actively moving through a security line to enter the establishment.
3. This Special Use Approval shall apply to the leased unit space as shown in the attached floor plan, the adjacent breezeway area of the arcade building, and to any approved sidewalk café area subject to Section 21-104 of the Unified Land Development Code.
4. In addition to grounds for revocation stated in Section 21-96(i) of the Unified Land Development Code, failure to comply with the above conditions shall be deemed grounds for revocation.

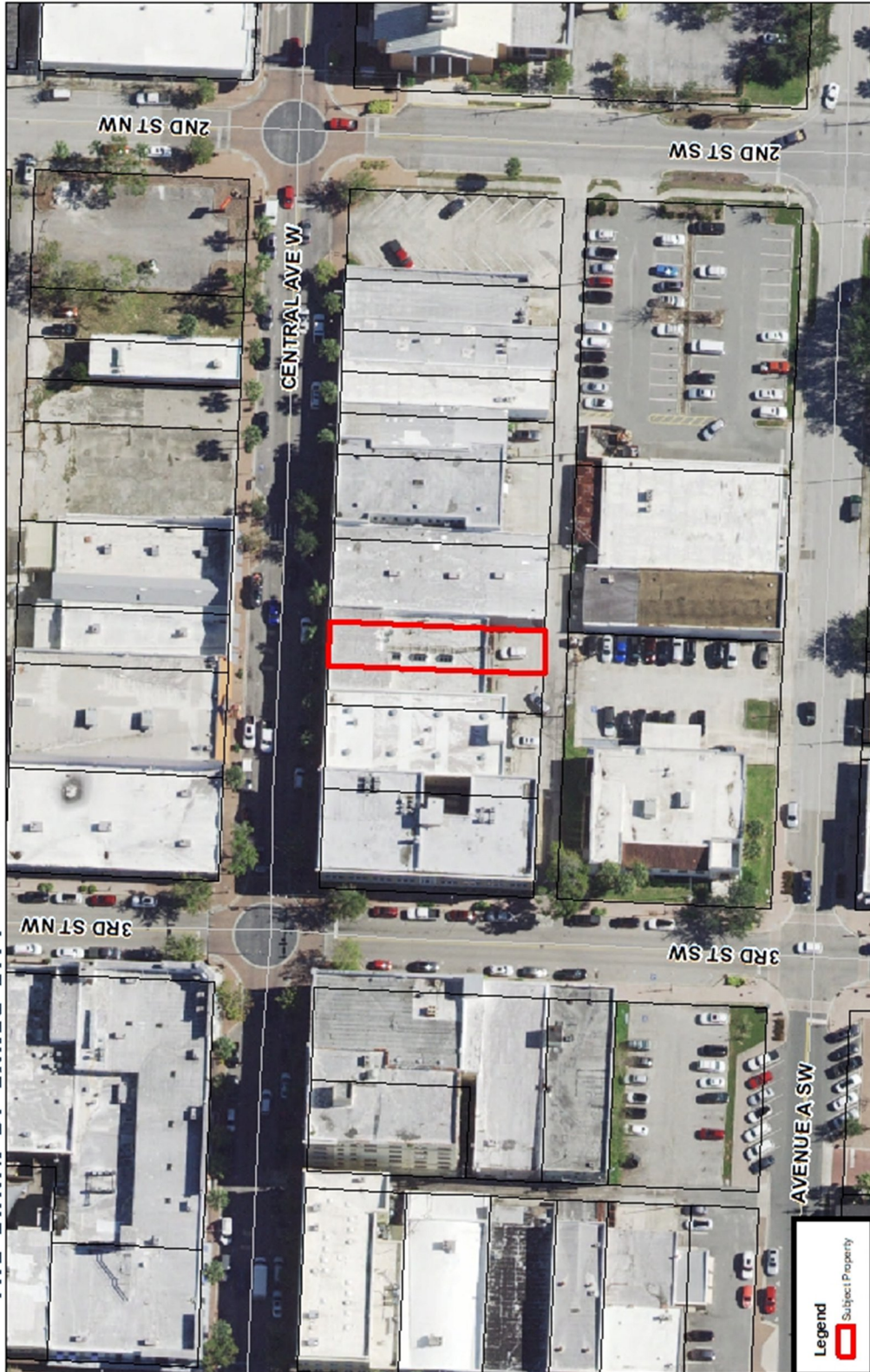
## ATTACHMENTS

- Zoning Map
- Aerial Map
- Floor Plan



P-24-09-S  
Aerial Map

**WINTER HAVEN**  
THE CHAIN OF LAKES CITY



**Legend**  
 Subject Property

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