



City Commission Special Meeting

Agenda

November 23, 2021 @ 2:00 pm

City Hall - Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/bpm and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
1. Call to Order
 2. Approval of Agenda
 3. Action Items Requiring Discussion
 - a. Discussion of 654 Selkirk Drive. 1 hour
 4. Adjournment



City Commission agenda item

item type Action Items Requiring Discussion	meeting date November 23, 2021
prepared by Michelle del Valle	approved by Michelle del Valle, Randy Knight
board approval Completed	
strategic objective	

subject

Discussion of 654 Selkirk Drive.

motion / recommendation

Provide direction on setback mitigation strategies.

background

The property at 654 Selkirk is owned by Mike Miller, Lukas Construction, and under contract by Jack and Monica Thorsen. The one-story custom home is designed for a multi-generational family to specifically meet their ADA needs. The home was designed with an incorrect front setback calculation provided by city staff to the builder and architect.

In regards to establishing front setbacks in the R-1A zoning district, Section 58-66(f)(5), Land Development Code provides:

(5) Front yard setbacks.

1. The front setback shall be the average of the adjacent two homes on each side of the subject property located on the same side of street. If one of the four homes is set back 50 percent greater or 50 percent less than the other three homes, then that larger or smaller setback number shall be removed from the average, and the front setback of the three remaining homes shall be used to determine the average.

The front setback calculations and measurements for the approved plan were determined by the City through the City's standard process, which relies upon the aerial views and measuring tools on the Orange County Property Appraiser's (OCPA) website in calculating existing front setbacks of the adjacent two homes on each side of the subject property. The City does not require or obtain boundary surveys of existing neighboring homes to determine front setbacks.

After construction commenced, it was brought to the attention of the Building Department that based upon the actual field conditions and more accurate measurements of neighboring homes, the home under construction at 654 Selkirk, is non-conforming to the front setback requirements under Section 58-66(5), Land Development Code. The setback established by city staff were determined to be 23" and should have been 29". After a meeting with the neighboring residents, the builder applied for a variance to be heard by the Winter Park Board of Adjustments on Tuesday, November 30th. The Board of Adjustments could approve, deny or request modifications to the property to grant a variance in order to make the existing home conforming to the front setback requirements of Section 58-66(f)(5), LDC.

At the special meeting on Tuesday, November 24, 2021, the City Commission will discuss whether to direct city staff to negotiate a potential resolution with the property owner/applicant.

Going forward, staff has added a disclaimer to setback calculations, approved by the City Attorney's office. Further, there are plans to make recommendations to the Commission on code enhancements in the Spring on 2022, with the benefit of the review of the City's new Building and Permitting Director.

[alternatives / other considerations](#)

[fiscal impact](#)

ATTACHMENTS:

[Combined files.pdf](#)

SKETCH OF BOUNDARY SURVEY

LEGAL DESCRIPTION:

Lot 7, Block C, KENILWORTH SHORES, SITE B.M. #2
according to the plat thereof SET N&D LB 7227
as recorded in Plat Book Y, ELEVATION +98.52'
Page 135 of the Public Records
of Orange County, Florida.



FND IRON
PIPE 1"
NO I.D.
AT P.C.

479.29' RECORD
479.32' MEASURED
TO P.C. @ LOT 13

SET IRON
ROD 1/2"
NO I.D.

SET IRON
ROD 5/8"
LB 7227

CERTIFIED TO:
MIKE MILLER, LLC;
LUKAS CONSTRUCTION, LLC;
FIRST AMERICAN TITLE INSURANCE COMPANY;
WESTDAHM WALL & HALILTON, P.A.
CERTIFICATIONS DATED 12/23/20.

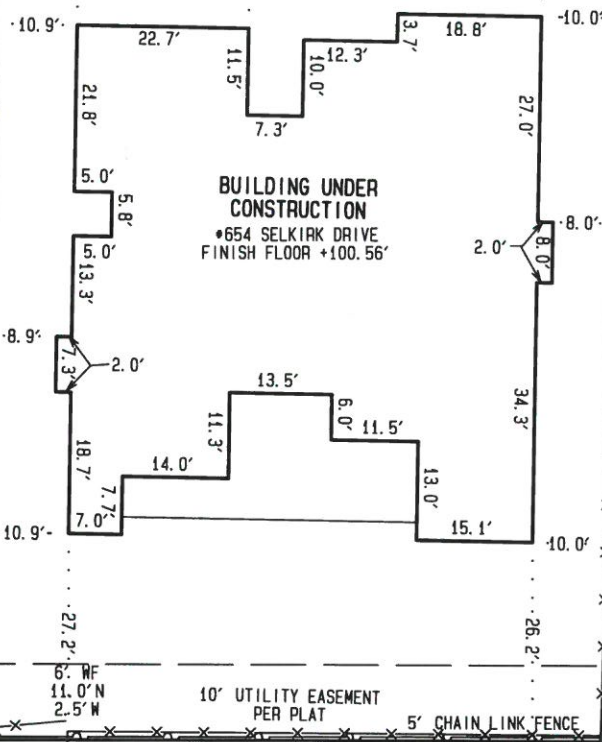
LEGEND
A = DELTA
A = ARC LENGTH
R = RADIUS
BM = BENCHMARK
BLDG = BUILDING
COV = COVERED
CONC = CONCRETE
ELEV = ELEVATION
FND = FOUND
SNET = SET NAIL & TIN
FNET = FND NAIL & TIN
N&D = NAIL & DISC
PC = POINT OF CURVATURE
PT = POINT OF TANGENCY
R&M = RECORD & MEASURED
M = MEASURED
O/S = OFFSET
CL = CENTERLINE
SF = SQUARE FEET
OCR = ORANGE COUNTY RECORDS
FCR = FLAGLER COUNTY RECORDS
SCR = SEMINOLE COUNTY RECORDS
ORB = OFFICIAL RECORDS BOOK
PG = PAGE
PB = PLAT BOOK
CLF = CHAIN LINK FENCE
WF = WIRE FENCE
MF = METAL FENCE
VF = VINYL FENCE
UE = UTILITY EASEMENT
ID = IDENTIFICATION

N89°04'25" W 119.31'

6' WF
0.8'S
63.4' W

6' WF
1.3'S
1.3' W

SET IRON
ROD 5/8"
LB 7227



BUILDING UNDER
CONSTRUCTION
• 654 SELKIRK DRIVE
FINISH FLOOR +100.56'

S89°04'25" E 118.65'

5' CLF
0.0'S
33.9' W

SET IRON
ROD 5/8"
LB 7227

5' CLF
0.3'S
0.8' W

10' UTILITY EASEMENT
PER PLAT

5' CHAIN LINK FENCE

OVERHEAD WIRES

500°00'08" W 82.01'

REMOTE BENCH MARK: ORANGE COUNTY B.M.
S1028024, SQUARE CUT IN C/L OF 5' CONC.
SIDEWALK AT 2139 WHITEHALL DRIVE, 85'
EAST OF SELKIRK DRIVE & 27' NORTH OF
WHITEHALL DRIVE, ELEV. 100.112'



Digitally signed by Jeffrey J Hitt
DN: c=US, o=Hitt Land Surveyors
Inc.,
ou=A01427E0000016896964F2A00
012B66, cn=Jeffrey J Hitt
Date: 2021.08.05 14:42:11 -04'00'

JEFFREY J. HITT PROFESSIONAL SURVEYOR & MAPPER NO. 4717 STATE OF FLORIDA

FILENAME: KS7-C

SCALE: 1" = 20'

THIS SURVEY REFLECTS ALL EASEMENTS &
RIGHTS OF WAY AS PER RECORDED PLAT &/OR
TITLE COMMITMENT IF SUPPLIED, UNLESS
OTHERWISE STATED. NO OTHER TITLE VERIFICATION
HAS BEEN PERFORMED BY THE UNDERSIGNED.
TITLE COMMITMENT #: NOT PROVIDED

NOTES:
Certification of Authorization LB 7227
Certification to date of field
work & not signature date.
Bearings shown are based on the
Centerline of Selkirk Drive @ Lot 7,
S 00°27'54" W, (Assumed Meridian).
+100.6 Indicates existing elevations.
[100.6] Indicates proposed grades.
Elevations per N.A.V.D. 1988.

FLOOD ZONE: X
BASE FLOOD ELEV: N/A
MAP #: 12095C0255 F
EFFECTIVE DATE: 09/29/2009
LOT CONTAINS: 0.224 ACRES +/-

Not valid without
the signature and the
raised seal of a
Florida licensed
surveyor and mapper.

ADD UTIL. EASEMENT/OVERHEAD WIRES	12/29/20
2107070 FOUNDATION SURVEY ON FORMS	8/05/21
REVISIONS	DATE
FOR: LUKAS CONSTRUCTION	DATE: 12/04/20
NO. 2012007	F.B. 124-38



HITT LAND SURVEYORS, INC.

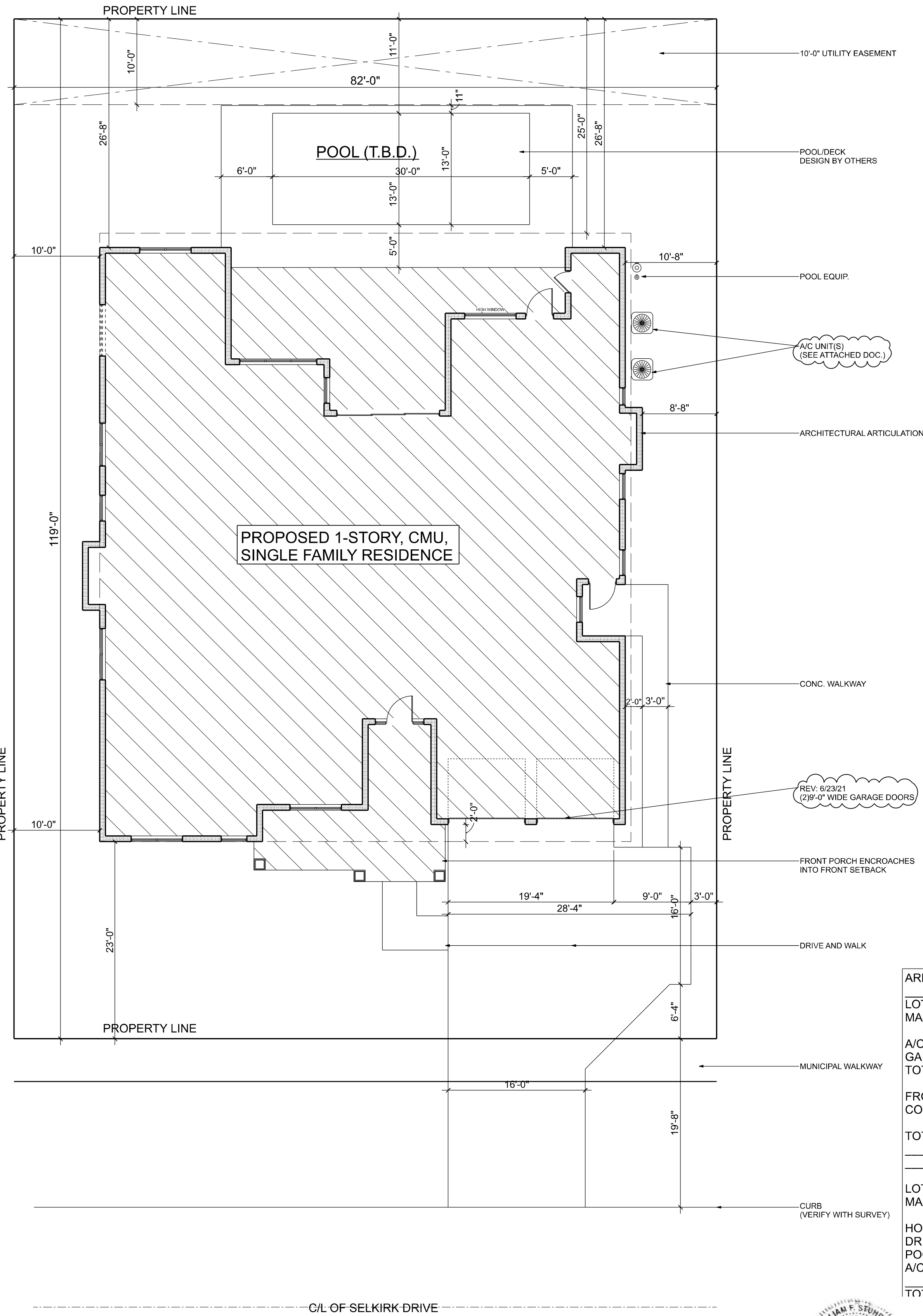
318 SWEETWATER CREEK DRIVE W., LONGWOOD, FLORIDA, 32779, 407-772-0248 FAX 407-772-0248

LAND SURVEYS ○ SUBDIVISIONS ○ CONSTRUCTION SURVEYS

Lot Area sf	9758	Lot width	82'
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	Maximum % Allowed	MAX 1 Story	MAX 2 story	Approved
IMPERVIOUS LOT COVERAGE sf	2 story - 50%		4879	
	1 story - 60%	5854.8		5543
FLOOR AREA RATIO sf	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	3708	4196	3708
BUILDING HEIGHT	30 ft. - 32 ft.	32'	32'	28.5'
FRONT YARD LANDSCAPE COVERAGE	Minimum 50% Required	943	943	1170
FRONT	Minimum Required	29'	29'	23'
SIDE SETBACK	1st Floor	10'	12'	10'
	2nd Floor	14'	16'	14'
REAR SETBACK	1st Floor	25'	25'	25'
	2nd Floor	35'	35'	35'
EXEMPT FLOOR AREA RATIO sf	FRONT PORCH	400	400	228
	REAR PORCH	500	500	400
	CONDITIONED ATTIC	200	200	

Total Available FAR 960



AREA / F.A.R. CALCS	
LOT AREA	9758 SF
MAX. F.A.R.	3708 SF
A/C SPACE	2990 SF
GARAGE	498 SF
TOTAL F.A.R.	3488 SF
FRONT PORCH	228 SF
COVERED LANAI	400 SF
TOTAL UNDER ROOF	4116 SF
LOT AREA	9758 SF
MAX I.S.R. (60%)	5854 SF
HOUSE COVERAGE	4116 SF
DRIVE/WALK	630 SF
POOL/DECK	779 SF
A/C PAD	18 SF
TOTAL I.S.R.	5543 SF



This item has been electronically signed and sealed by William F. Stuhrke on the Date/Time stamp shown using a digital signature. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

SITE PLAN
SCALE: 1/8" = 1'-0"

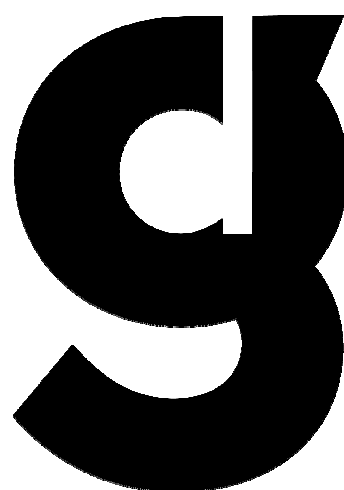
Digitally signed
by William
Stuhrke
Date:
2021.06.24
16:15:50 -04'00'

SINGLE FAMILY RESIDENCE

654 SELKIRK DRIVE
WINTER PARK, FLORIDA 32792

CREATED IN COLLABORATION WITH:

DESIGNER



gooden design

1009 summer lakes drive
orlando florida 32835
PH: 407.701.6029
goodendesign@hotmail.com

CONTRACTOR



MICHAEL MILLER 407.832.0573
lukasconstructionllc@gmail.com

ENGINEER

WILLIAM F. STUHRKE, PHD, P.E.

STATE OF FLORIDA PE #22150
12215 REBECCA'S RUN DRIVE
WINTER GARDEN, FLORIDA 34787
407-920-3119

INDEX OF DRAWINGS

- C - COVER / INDEX / SITE PLAN
- A1 - FLOOR PLANS
A2 - EXTERIOR ELEVATIONS
A3 - EXTERIOR ELEVATIONS
A4 - ROOF PLAN
A5 - BUILDING SECTION
- S1 - FOUNDATION PLAN
S2 - LINTEL PLAN
S3 - WALL AND STAIR SECTIONS
S4 - DETAIL SHEET
S5 - TRUSS LAYOUTS
- E1 - ELECTRICAL PLAN

GENERAL SPECIFICATIONS

This single family residential structure has been designed in accordance with the requirements of the FLORIDA BUILDING CODE 7th EDITION (2020) BUILDING, CHAPTER 16, DESIGN CRITERIA and ASCE 7-16. Wind load requirements employed in the design of this structure:

- Ultimate wind speed: Vult = 140 MPH
- Wind Borne Debris: NO
- Basic Wind Speed: Vasd = 108 MPH
- Building Category II, Enclosed
- Wind Exposure B
- Stagnation Pressure: Qz = 29.9 PSF
- Design Pressure (Worst Case Condition):
- Components and Cladding: +24.45 PSF / -34.03 PSF

---Uniformly distributed live loads employed in the design:

- Roof 20 PSF
- Living areas 40 PSF
- Stairs 60 PSF
- Balconies and decks 60 PSF

---All connections have been checked to withstand all applicable loads.

---All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere on the project, except where a different detail is shown

---All concrete blocks shall be standard weight blocks conforming to ASTM C90, Grade N1 with Fm = 1000 PSI, laid in running bond with Type S mortar.

---Where shown, cores of concrete block masonry shall be filled with pea gravel concrete with a minimum compressive strength of 3000 PSI at 28 days. Slump shall be 8 to 10 inches.

---In masonry headers extend the bottom steel reinforcement a minimum of 6 inches into pilaster or poured column and wire tie the vertical reinforcement steel

---Soil borings have not been made. Footings have been designed for a soil bearing capacity of 2500 PSI. Lesser solid bearing capacity is the responsibility of the Building Contractor. Footings shall bear on soil compacted to a density of at least 95% of the standard proctor maximum density (ASTM D1557). The soil shall be compacted to this density to a minimum of three (3) feet below the bottom of the footings.

---Fill under the floor slab shall be compacted to at least 95% of the standard proctor maximum density and treated for termites in accordance with the requirements of the FLORIDA BUILDING CODE 7th EDITION (2020) RESIDENTIAL.

---Concrete shall have an unconfined compressive strength of 2500 PSI at 28 days.

---The Building Contractor shall check architectural, mechanical and electrical drawings for openings, sleeves, anchors, hangers, slab depressions, dimensions, pitch and other related items and shall assume responsibility for their proper location, placement and continuity.

---All reinforcing steel shall be new billet steel conforming to ASTM 615 Grade 40, except reinforcing steel in all precast concrete headers, which shall be Grade 60

---All reinforcing steel shall be provided with a minimum of 3 inches of concrete cover, when installed below grade, and 2 inches of concrete cover above grade.

---All continuous vertical steel or horizontal rebar in footings, beams and other concrete shall be spliced where necessary or desirable by wiring together in contact. The length of #5 bar laps shall be a minimum of 25 inches (40 bar diameters)

---All framing shall be fabricated and installed as per AITC, TPI and National Design Specifications for Wood Construction

---All wood structural members shall be controlled stress grade lumber having a fiber stress of at least 1200 PSI

---All trusses and rafters shall be minimum #2 Southern Yellow Pine

---The door between the garage and the living areas shall be a solid core wood door, not less than 1 3/8 inches in thickness, solid or honeycomb core steel doors not less than 1 3/8" inches in thickness, or 20-minute fire rated door.

---The garage shall be separated from the residence and it's attic area by not less than 1/2 inch gypsum board applied to the garage side, and separated from habitable rooms above by not less than 5/8 inch Type X gypsum board or equivalent.

---Air-conditioning and heating ducts penetrating the walls or ceilings of the garage shall be constructed of a minimum 26 gage steel and shall have no openings in the garage

SCOPE OF WORK

PROPOSED NEW ONE-STORY, CMU, SINGLE FAMILY RESIDENCE.

CODE INFORMATION

BUILDING DESCRIPTION : RESIDENTIAL
APPLICABLE CODES :
2020 F.B.C. 7TH EDITION (BUILDING)
2020 F.B.C. 7TH EDITION (RESIDENTIAL)
2017 N.E.C. (ELECTRICAL)

WILLIAM F. STUHRKE, PHD
PROFESSIONAL ENGINEER
STATE OF FLORIDA, REGISTRATION #22150
12215 REBECCA'S RUN DRIVE
WINTER GARDEN, FLORIDA 34787

DESIGN STATEMENT
This structure has been designed to comply with Chapter 16 of the 2020 Florida Building Code 7th Edition Residential and ASCE 7-16.

Design Parameters are:

Vult	140 mph
Vasd	108 mph
Risk Category	II
Exposure	B
GCP1	+/- 0.18
Floor Live Load (psf)	10
Uninhabitable attics without storage	20
Uninhabitable attics w/ limited storage	30
Habitable attics and sleeping areas	40
All other areas	40
Roof Live Load	10
Components and Cladding	+25.5/-34.3
Garage Door	+18.3/-20.8

NO OTHER CERTIFICATIONS STATED OR IMPLIED

DATE
NOT VALID WITHOUT RAISED SEAL & SIGNED IN BLUE INK
OR A VALID DIGITAL CERTIFICATION IS PRESENT

ENGINEERING

goodendesign

MICHAEL MILLER 407.832.0573
lukasconstructionllc@gmail.com

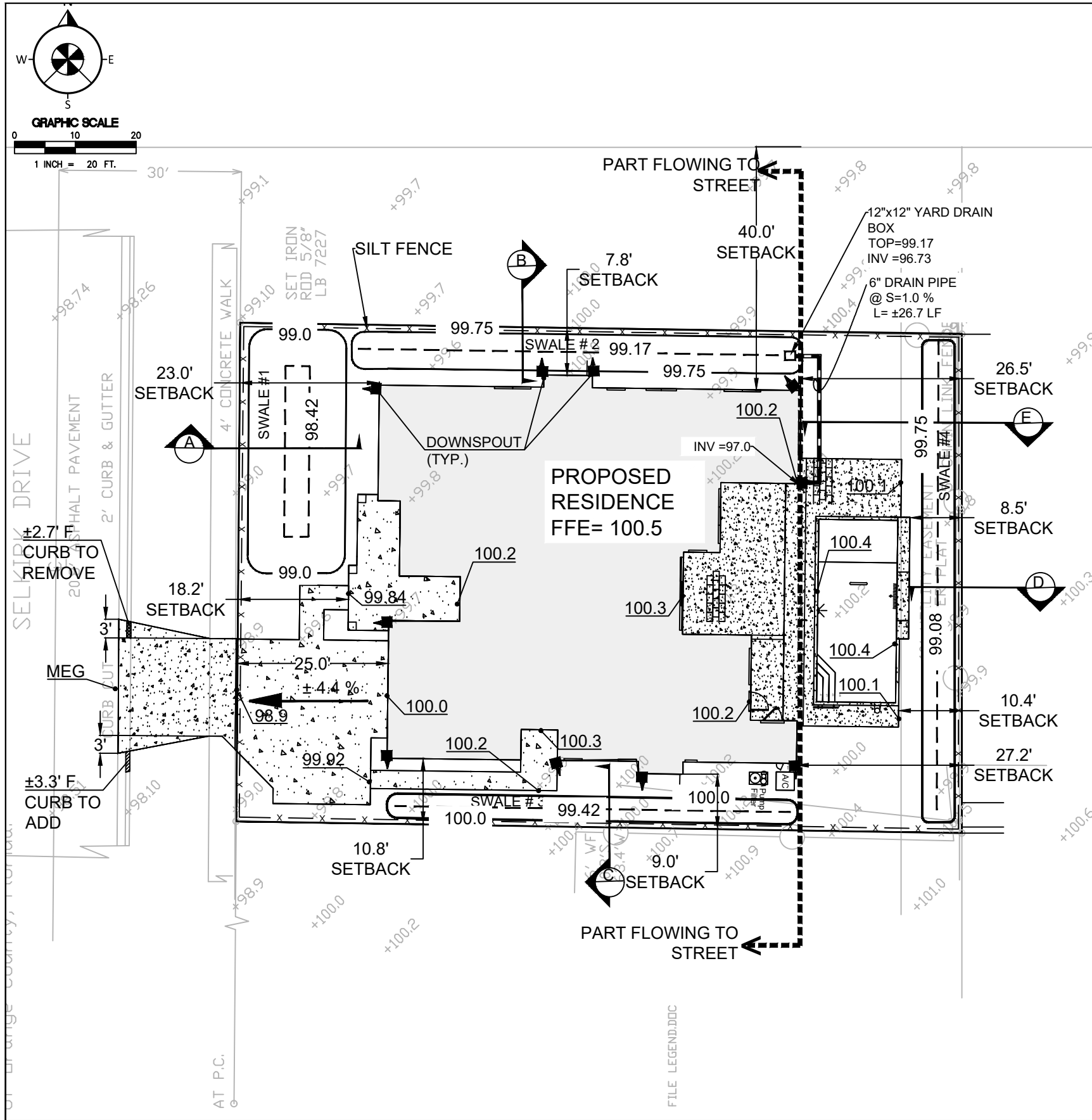
LUKAS
CONSTRUCTION

SINGLE FAMILY RESIDENCE
654 SELKIRK DRIVE
WINTER PARK, FLORIDA 32792

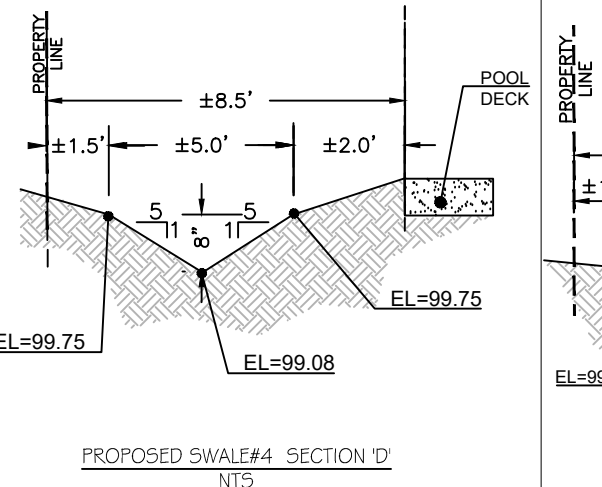
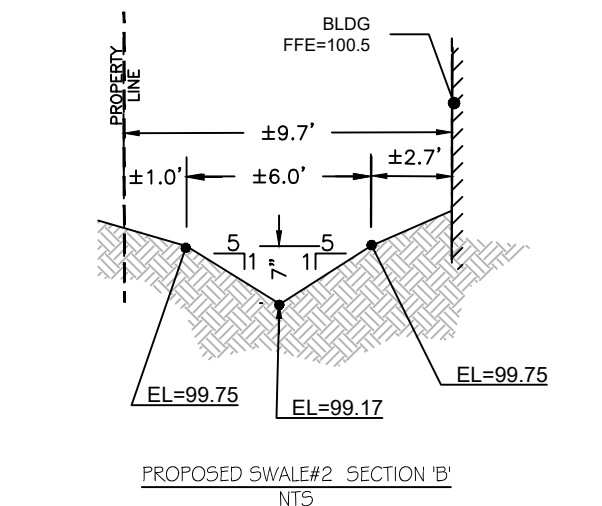
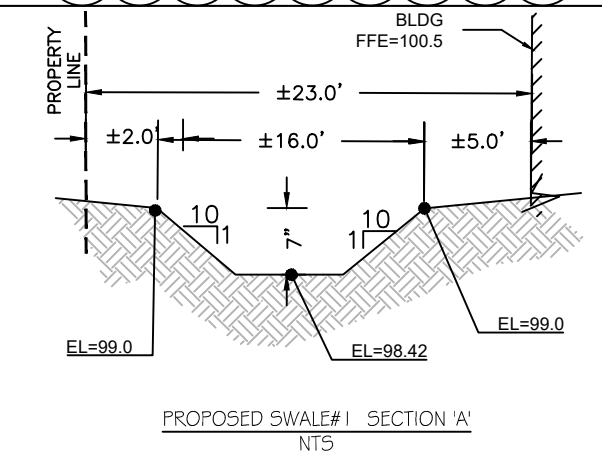
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DATE: 5/14/21

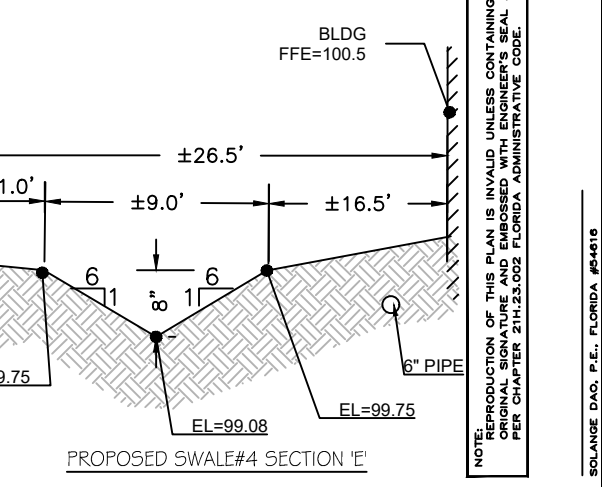
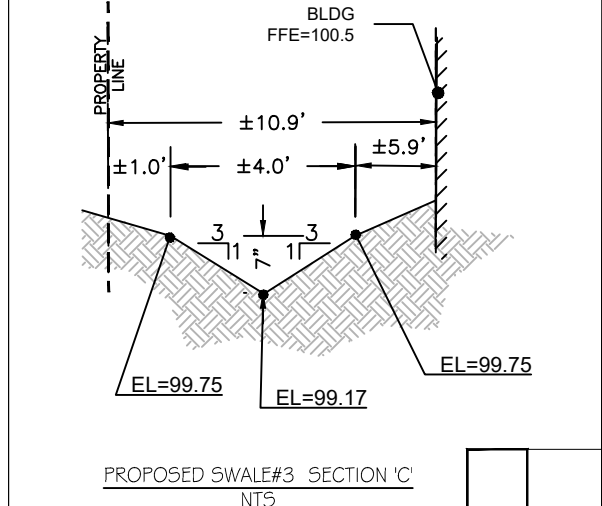
C



SITE DATA	
LOT SIZE	= 9,758.0 SF (0.22 ACRES)
ZONING	R-1A
ISR CALCULATIONS:	
HOUSE, GARAGE, FRONT PORCH	
PORCHES, DRIVEWAY/WALKWAY, PAD	
REAR PORCH	= 4898.0 SF
IMPERVIOUS FLOWING TO FRONT	= 4898.0 SF
POOL/POOL DECK	= 779.0 SF
IMPERVIOUS FLOWING TO REAR	= 779.0 SF
TOTAL IMPERVIOUS	= 5,677.0 SF
ISR (WHOLE PROPERTY)	= 5,677.0 SF/9,758 SF
ALLOWABLE IMPERVIOUS	= 58.18 %



DRAINAGE CALCULATIONS	
IMPERVIOUS AREAS THAT WILL FLOW TO STREET	
IMPERVIOUS AREAS	= 5005.0 SF
SWALE VOLUME REQUIRED :	
1IN- IMPERVIOUS AREA	
4898 SF x 1"/12=	408.17 CF <--- REQUIRED
SWALE STORAGE VOLUME PROVIDED:	
SWALE #1:	
TOP AREA	= 633.6 SF
BOTTOM AREA	= 112.3
TOTAL AREA	= (745.9)/2 = 372.95 SF
VOLUME SWALE#1	= 372.95 x 7"/12= 217.55 CF
SWALE #2	
TOP AREA	= 441.9 SF
VOLUME SWALE#2	= (414.26/2) x 7"/12= 128.9 CF
SWALE #3	
TOP AREA	= 267.53 SF
VOLUME SWALE#3	= (267.53/2) x 7"/12= 78.0 CF
VOLUME PROVIDED	= 217.55+128.9+78.0 = 424.45 CF
PROVIDED 424.45 CF	> 417.0 <--- REQUIRED
IMPERVIOUS AREAS THAT WILL FLOW TO REAR:	
IMPERVIOUS AREAS =	779.0 SF
SWALE VOLUME REQUIRED :	
2IN- IMPERVIOUS AREA	
779 SF x 2"/12=	129.83 CF <--- REQUIRED
SWALE #4 :	
TOP AREA	= 421.5 SF
VOLUME	= (421.5/2) x 8"/12 = 140.5 CF
VOLUME PROVIDED	= 140.5 CF
PROVIDED 140.5 CF	> 129.83 <--- REQUIRED



NOTE: REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 214.23,002 FLORIDA ADMINISTRATIVE CODE.

SOLANGE DAO, P.E., FLORIDA #44618

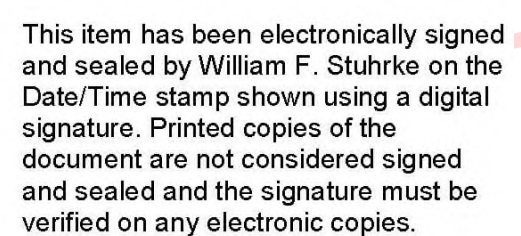
REVISIONS	
△	
△	
△	
△	
△	



DAO CONSULTANTS, INC.
CERTIFICATE OF AUTHORIZATION NO.: FL #5482
1110 EAST MARKS STREET
ORLANDO, FLORIDA 32803-4018
PHONE: (407) 898-6872
FAX: (407) 898-3778

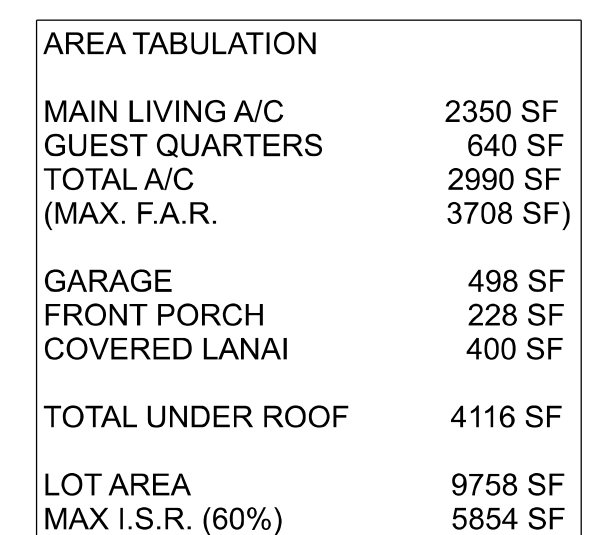
NEW RESIDENCE
654 SELKIRK DRIVE, WINTER PARK, FL 32789
SITE -DRAINAGE PLAN

DRAWN BY:	ML
CHECKED BY:	S.C.D.
APPROVED BY:	S.C.D.
ISSUE DATE:	05-03-21
PROJECT NO.	2021-32
SHEET	C-2 OF 2



FLOOR PLAN

SCALE: 1/4" = 1'-0"





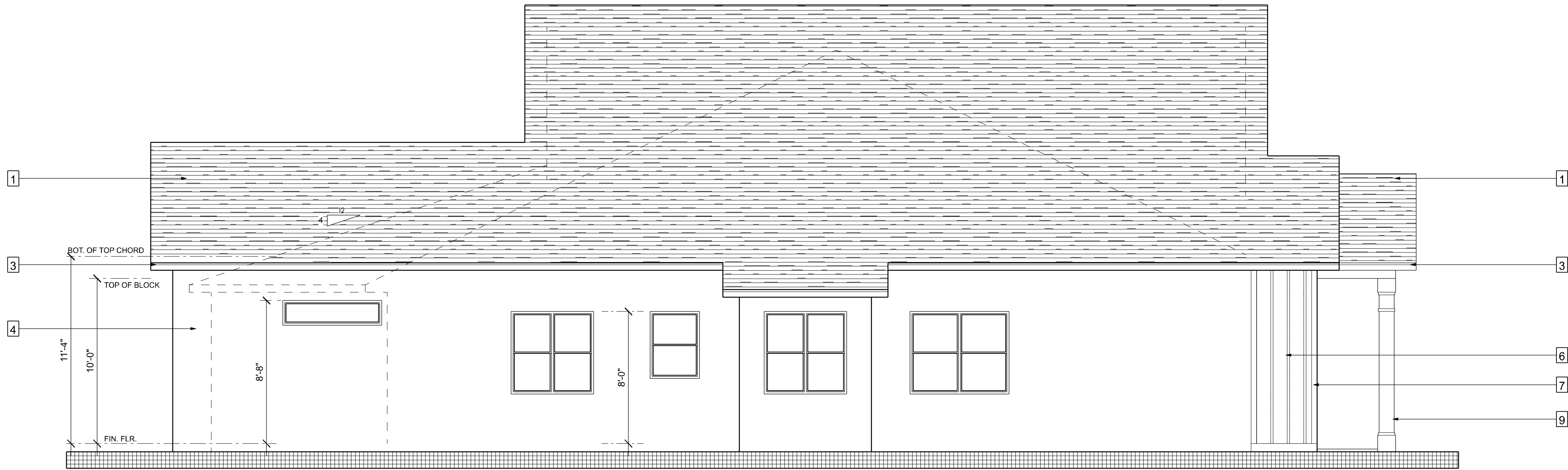
This item has been electronically signed and sealed by William F. Stuhrke on the Date/Time stamp shown using a digital signature. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed
by William
Stuhrke

Date:
2021.06.24
16:17:28 -04'00'

ELEVATION NOTES:

- 1 ARCHITECTURAL SHINGLES OVER #30 FELT ON MIN. 7/16" SHEATHING ON WOOD ROOF TRUSSES @24" OC
- 2 STANDING SEAM METAL ROOF OVER PEEL-AND-STICK OVER MIN. 7/16" SHEATHING ON WOOD ROOF TRUSSES @24" OC
- 3 GALVANIZED METAL DRIP EDGE OVER MIN 1 X 6 FASCIA
- 4 5/8" CEMENTITIOUS FINISH OVER CMU
- 5 7/8" CEMENTITIOUS FINISH OVER WIRE LATH ON #15 FELT OVER "TYVEK" HOUSE WRAP ON MIN. 7/16" SHEATHING (IN ACCORDANCE TO 2020 FBC-R703.6.3)
- 6 CEMENT FIBER SIDING (LAP OR SHAKE) OVER #15 FELT OR "TYVEK" HOUSE WRAP OVER MIN 7/16" WOOD SHEATHING OR PT WOOD BATTENS ON CMU WALLS
- 7 CEMENT FIBER TRIM BANDS
- 8 RAISED TRIM BANDS
- 9 PT POSTS WRAPPED IN CEMENT-FIBER BOARD VENEER
- 10 DECORATIVE WOOD CORBEL
- 11 DECORATIVE 12"X24" APPLIED LOUVER (FAUX VENT)
- 12 CONTROL JOINT IN STUCCO



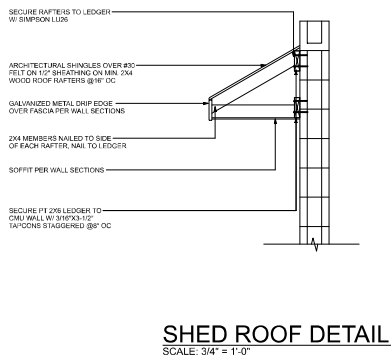
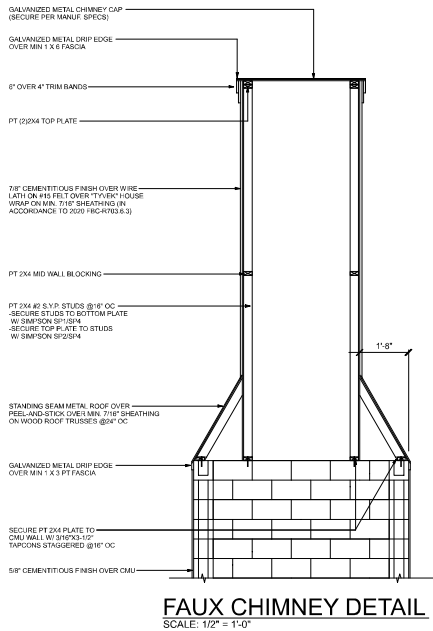
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

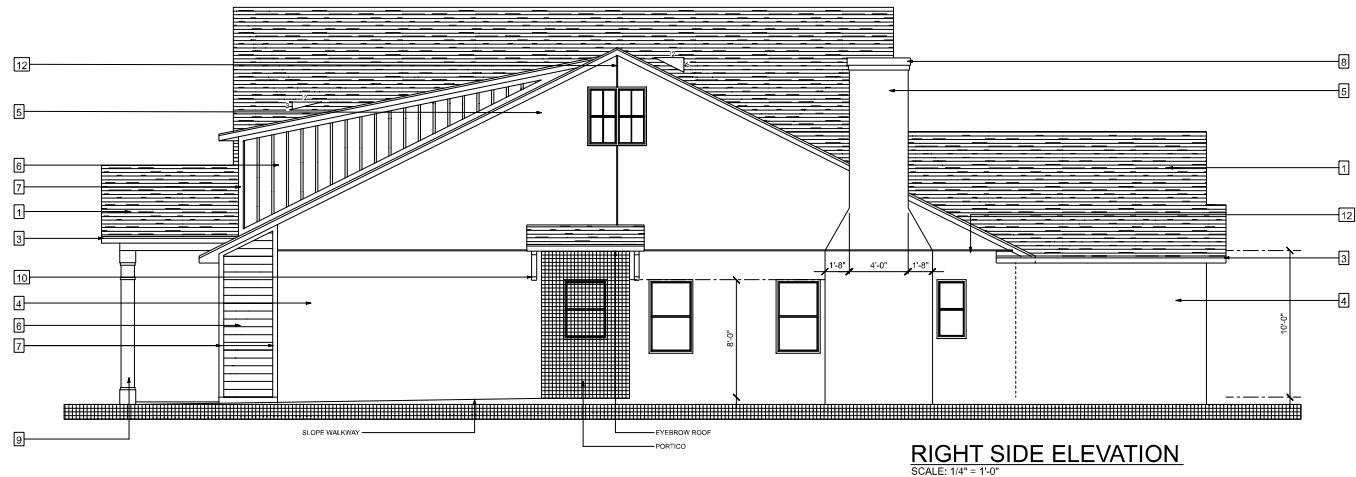
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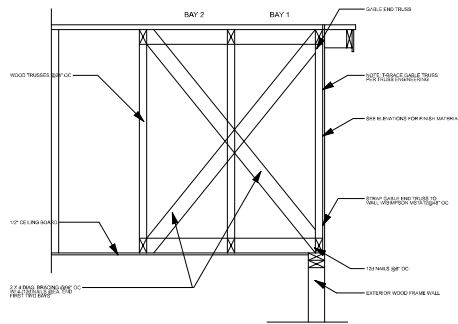


Digitally signed
 by William
 Stuhke
 Date:
 2021.05.18
 17:06:54 -04'00'

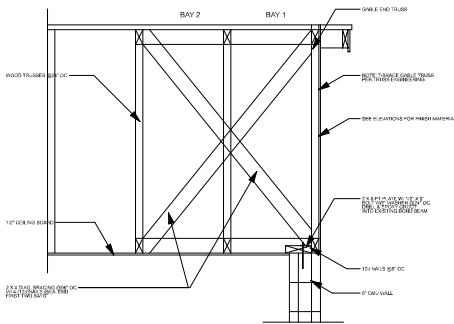
This item has been electronically signed
 and sealed by William F. Stuhke on the
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 - 12 CONTROL JOINT IN STUCCO





GABLE END BRACING-FRAME
SCALE: 1" = 1'-0"



GABLE END BRACING-BLOCK
SCALE: 1" = 1'-0"

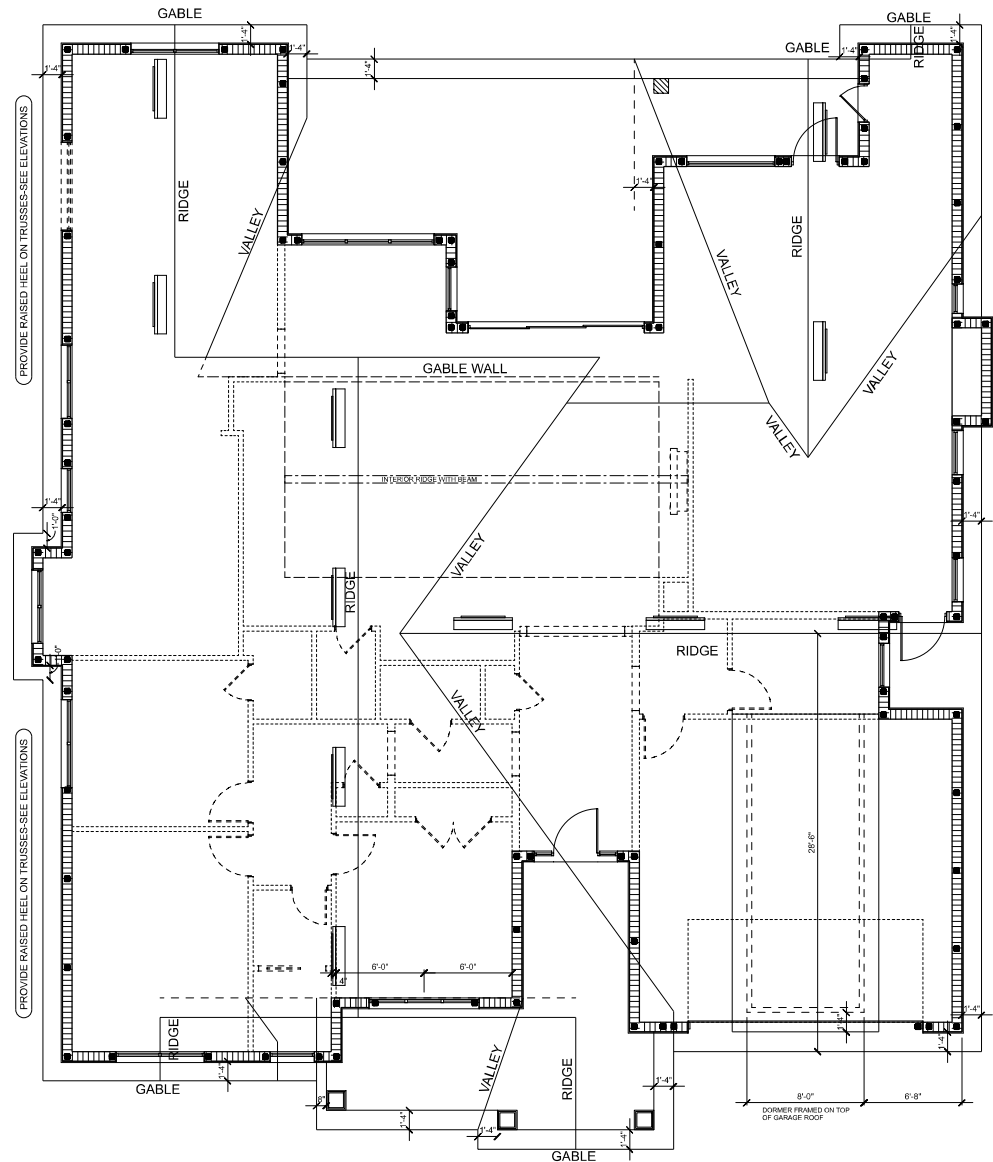


Digitally signed
by William
Stuhke
Date:

2021.05.18
17:07:19 -04'00'

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	VENTED ROOF AREA	1/150 REQ.	INTAKE	EXHAUST
SQUARE FEET	4116	27.44	1.875	13.72
SQUARE INCHES	592,794	3,952	1.875	1,976
PROPOSED VENT			CONT. 2" SOFFIT VENT	(11) OFF-RIDGE VENTS



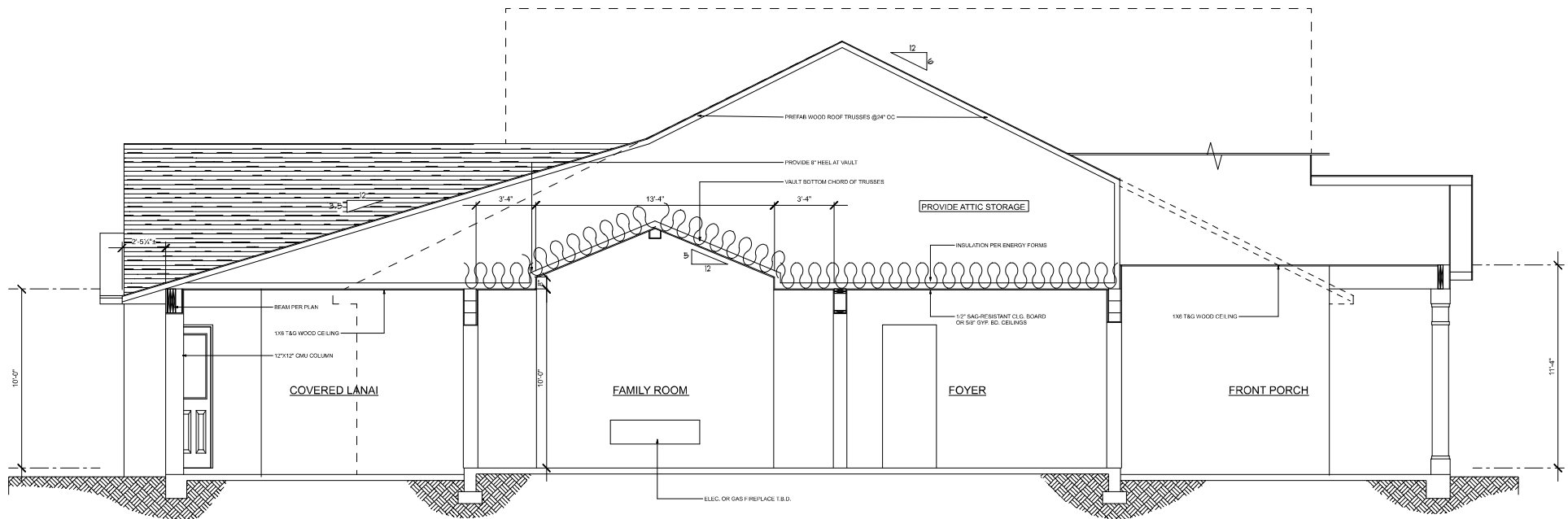
ATTIC ROOF VENT CALCULATIONS
2020FBCR PART III R806.2
MINIMUM NET FREE VENTILATING AREA SHALL
BE 1/300 OF THE AREA OF THE VENTED SPACE W/
40%-50% OF VENTING IN UPPER PORTION OF ROOF

ROOF PLAN
SCALE: 1/4" = 1'-0"



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Date: 2021.05.18 17:07:45 -04'00'

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BUILDING SECTION - A
SCALE: 3/8" = 1'-0"

ENGINEERING

goodendesign

MICHAEL MILLER 407.832.0573
businessconstruction@gmail.com

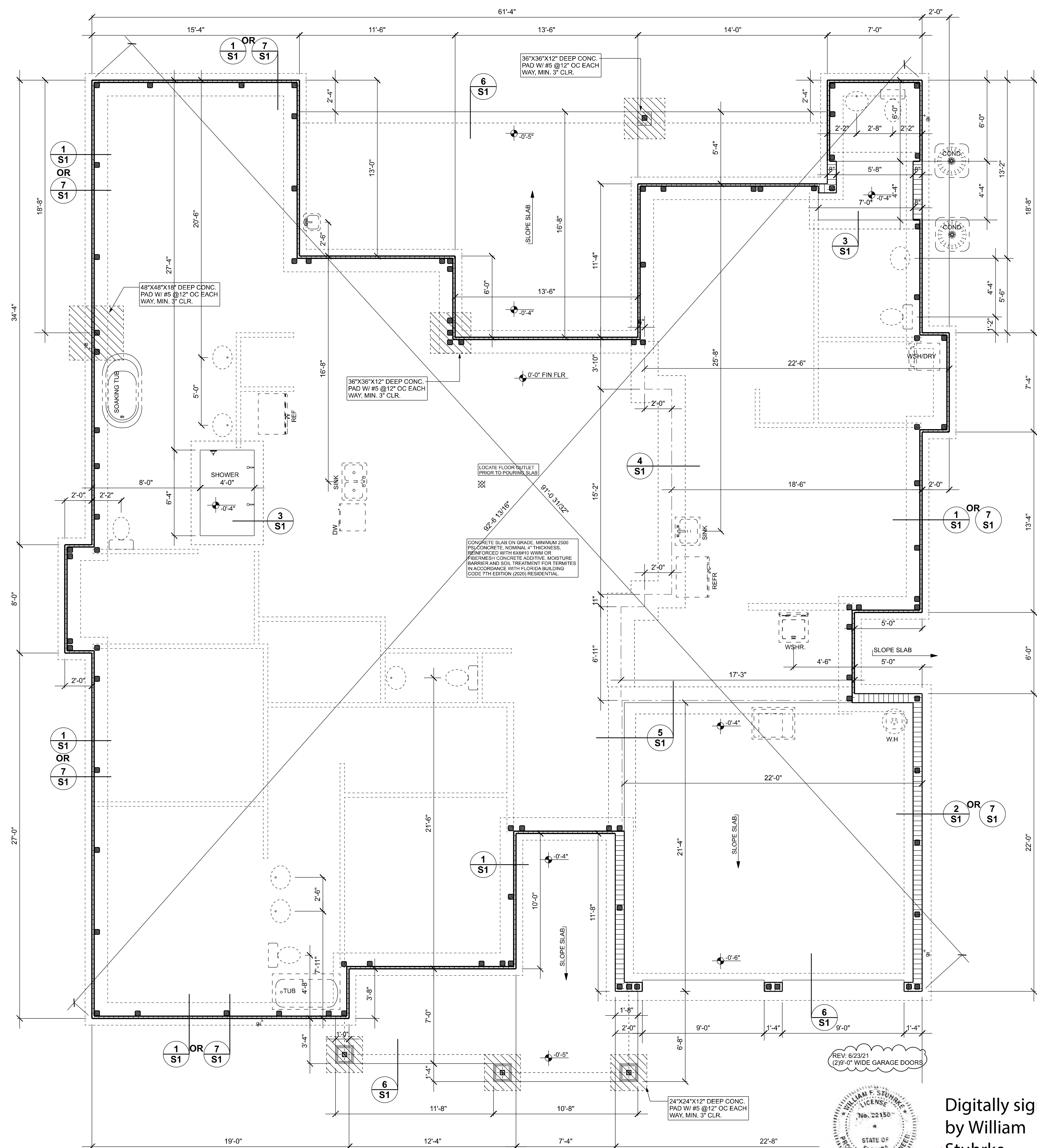
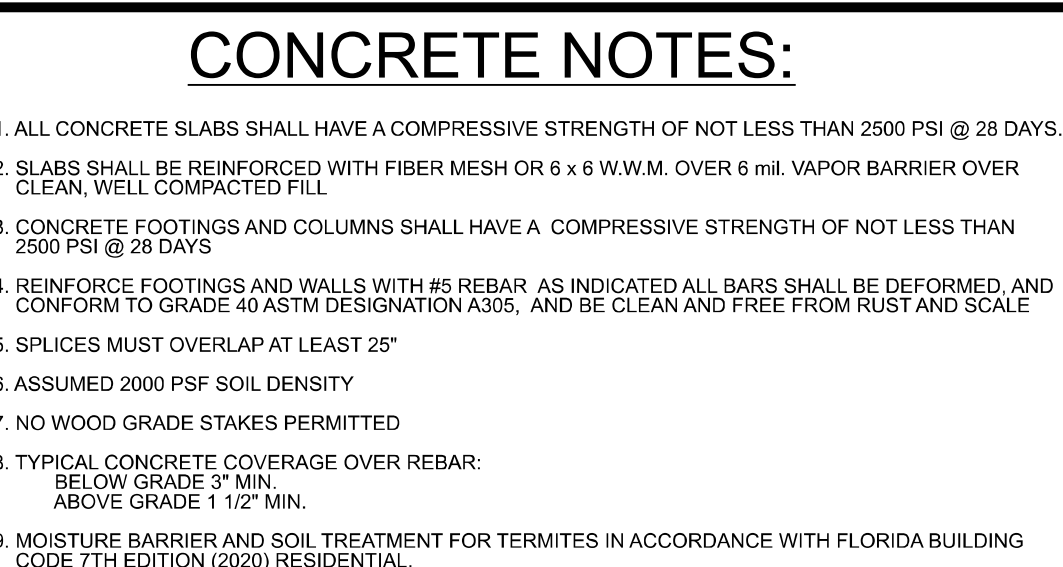
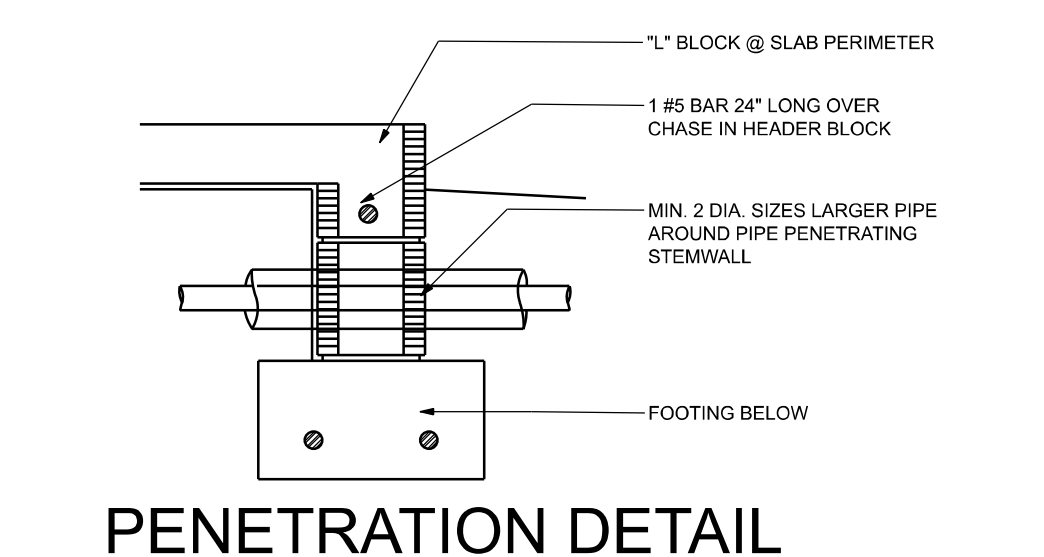
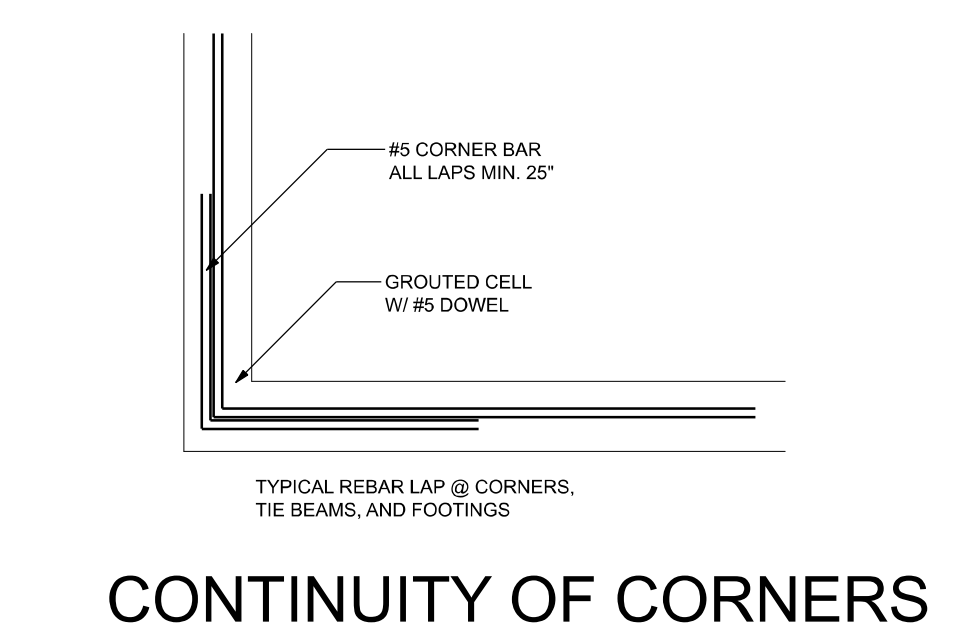
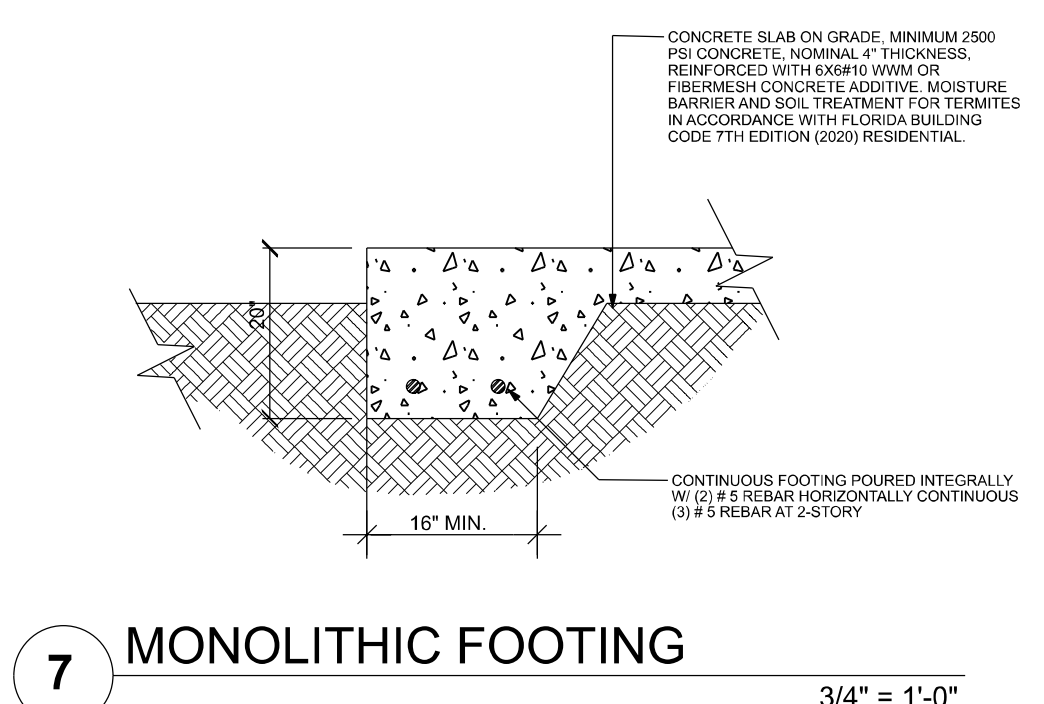
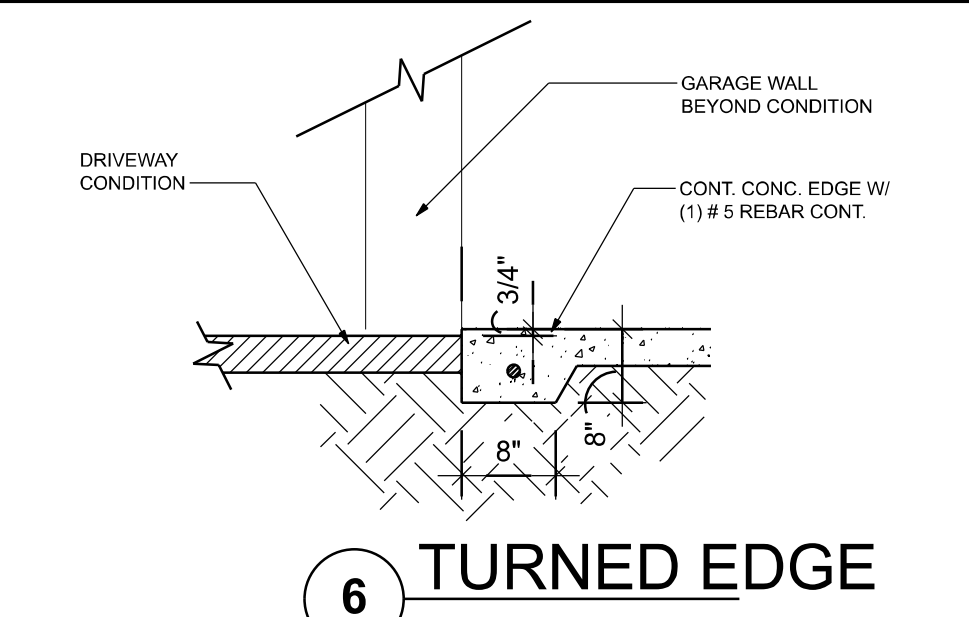
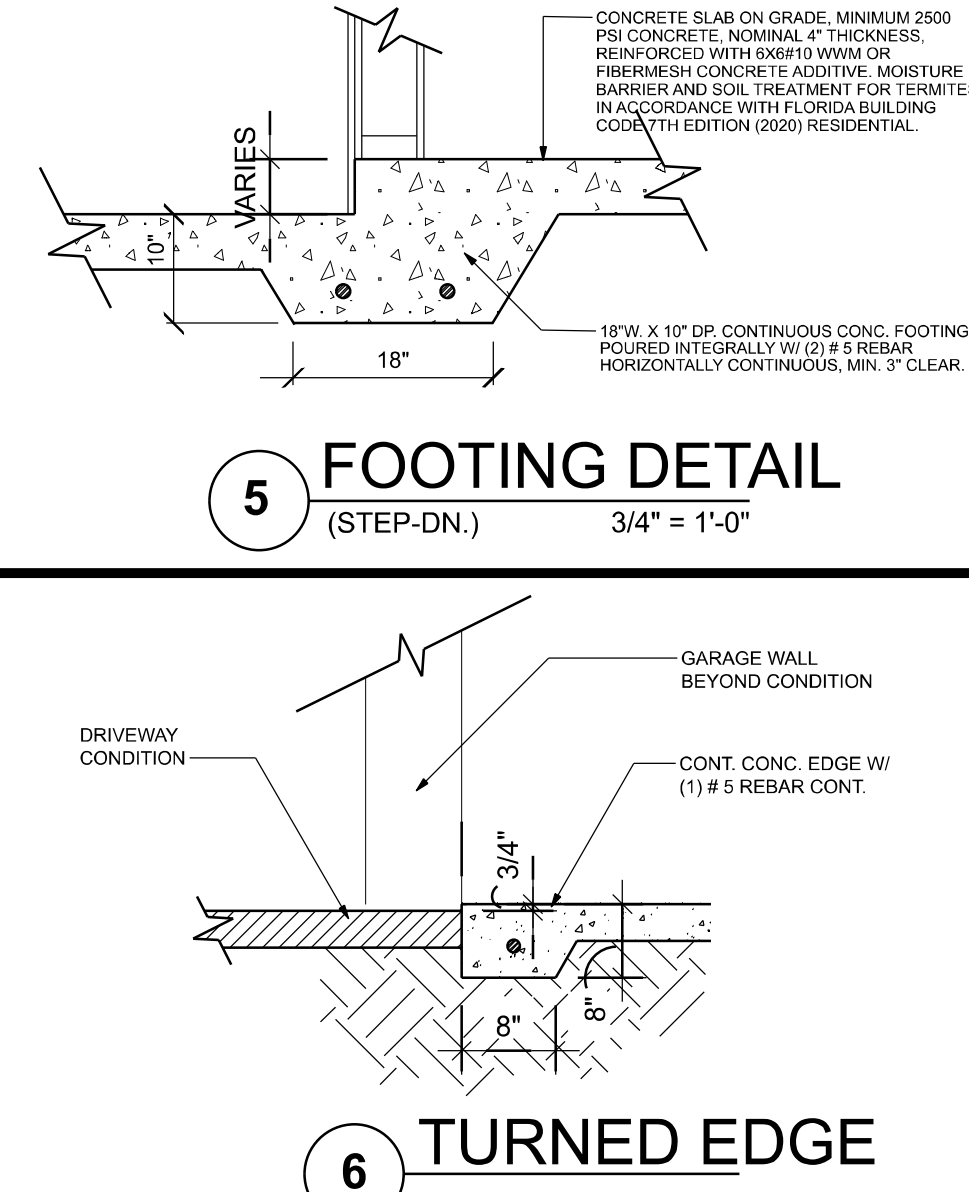
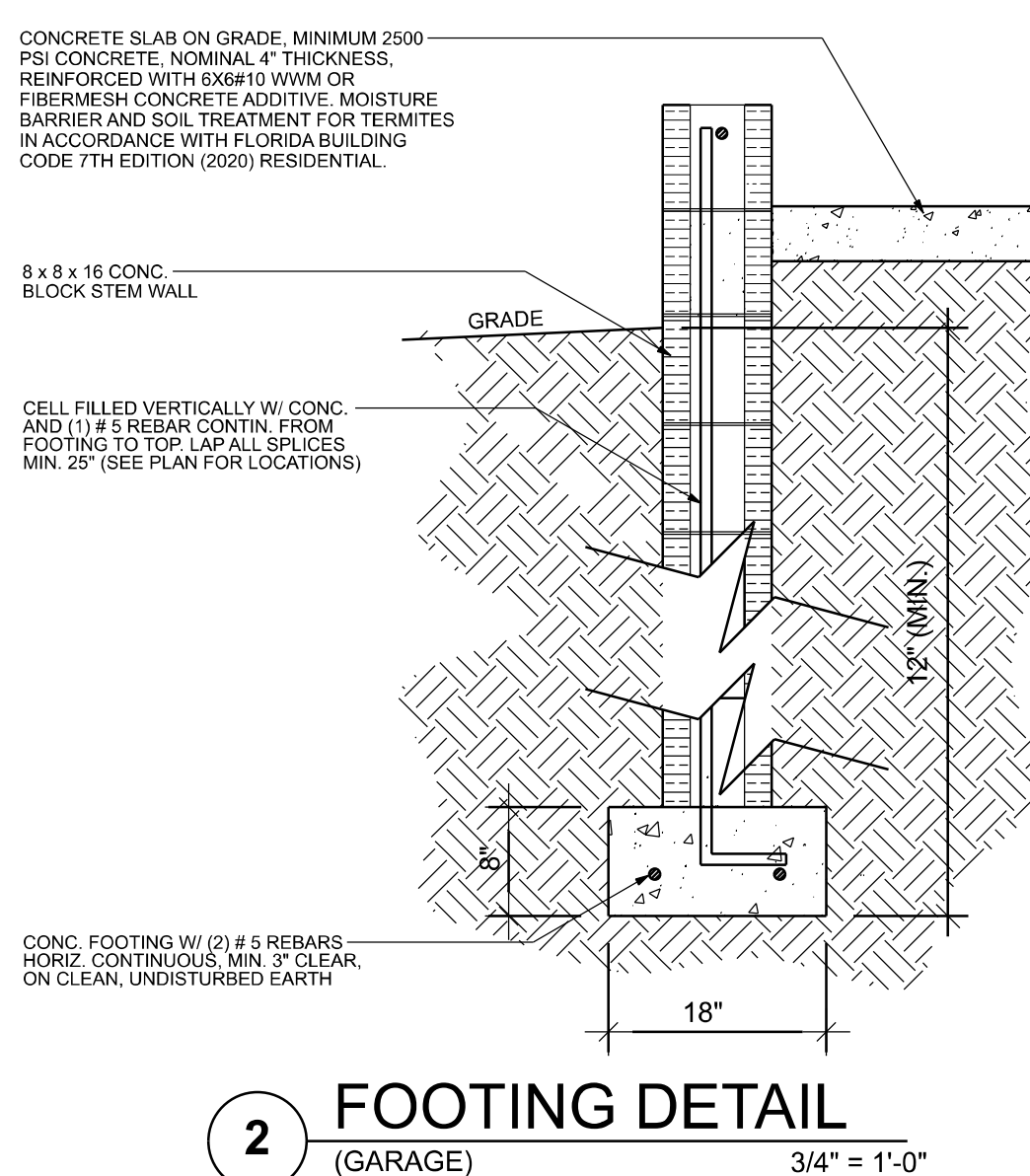
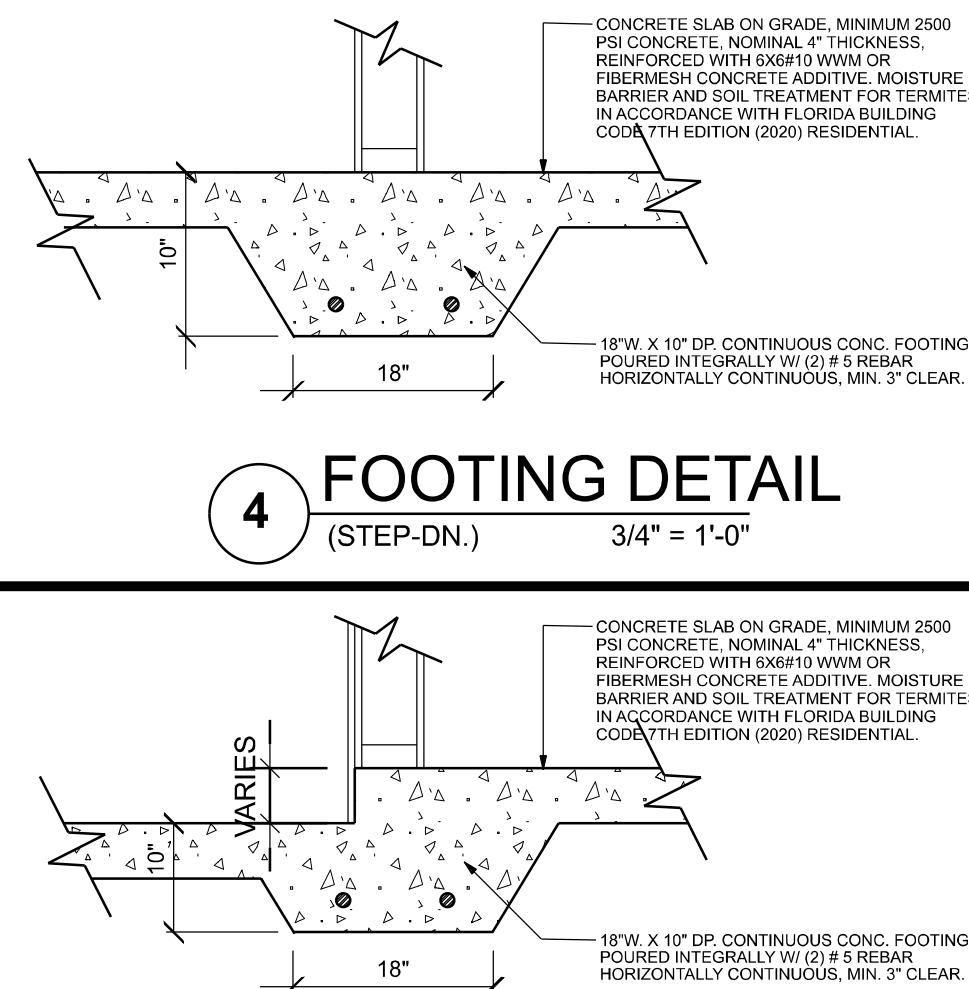
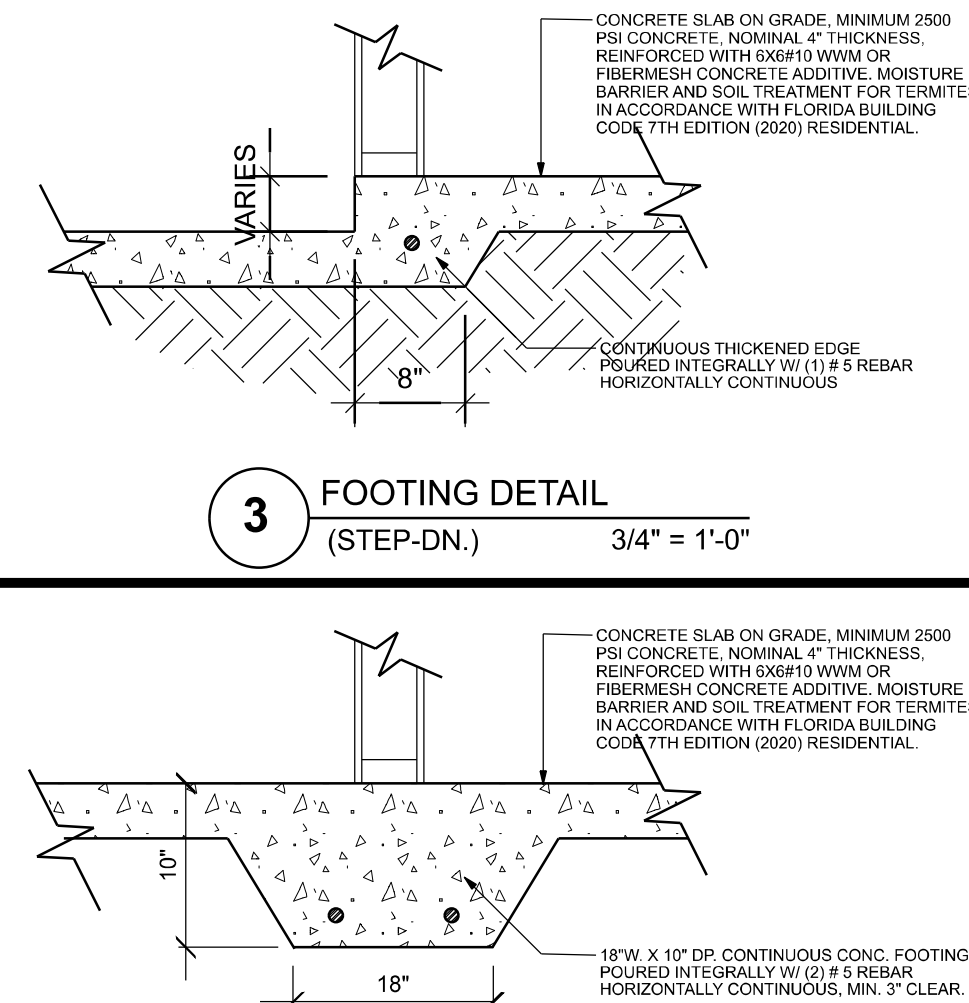
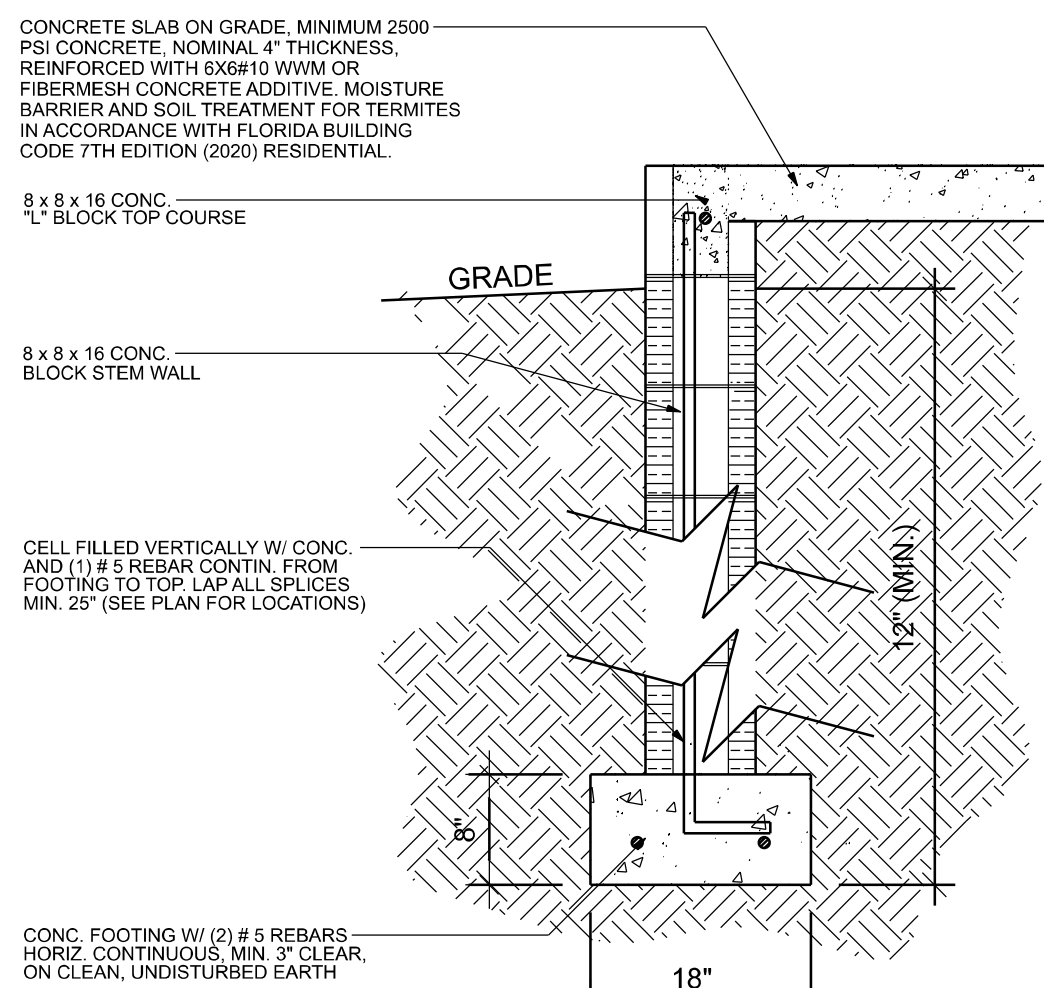
LUKAS
CONSTRUCTION

SINGLE FAMILY RESIDENCE
664 SELKIRK DRIVE
WINTER PARK, FLORIDA 32792

DRAWN: CMG

DATE: 04/21

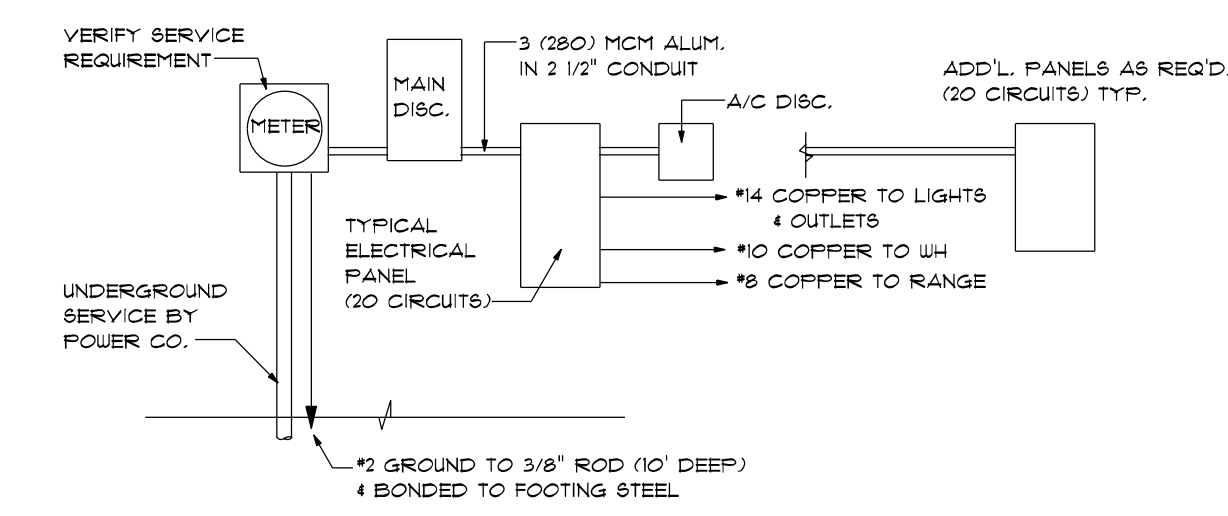
A5



FOUNDATION PLAN

REV: 6/23/21
(2)9'-0" WIDE GARAGE DOOR

WILLIAM F. STURKE
LICENSE
No. 22150
STATE OF
FLORIDA
PROFESSIONAL ENGINEER



ELECTRICAL RISER DIAGRAM

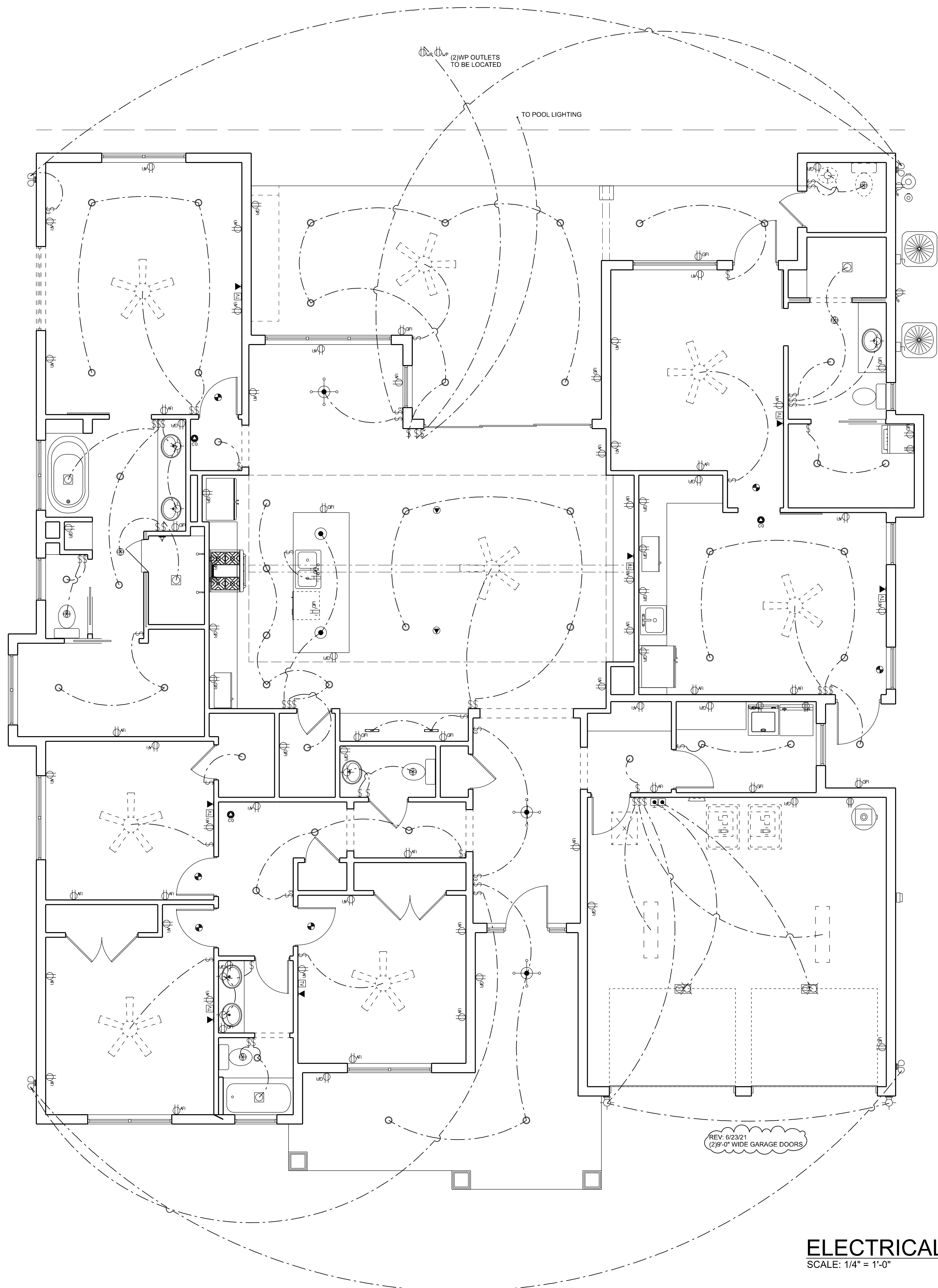
- 1. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS.
 - 2. ALL RECEPTACLES IN SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED.
 - 3. PROVIDE DIMMER SWITCHES FOR ALL RECESSED LIGHTING
 - 4. PROVIDE LIGHT (PULL-CHAIN OR SWITCH ACTIVATED) IN ATTIC SPACES.
 - 5. IF AHU OR OTHER EQUIPMENT IS INSTALLED IN ATTIC SPACE PROVIDE AND INSTALL SERVICE OUTLET WITHIN 10 FEET OF EQUIPMENT
 - 6. FINAL LOCATION OF OUTLETS, LIGHTS AND SWITCHES TO BE VERIFIED WITH OWNER AND CONTRACTOR PRIOR TO THE INSTALLATION OF DRYWALL
- THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. THE ENGINEER WILL BEAR NO RESPONSIBILITY FOR ACCURACY. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE BUILDING CODE REQUIREMENTS AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED. ELECTRICAL CONTRACTOR SHALL PULL PERMIT AS REQUIRED BY LOCAL BUILDING CODES.

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
PREWIRE CEILING FAN	8	
CABINET LIGHTING	2	
CAN LIGHT	46	
PENDANT LIGHTING	2	
FLOODLIGHT AS SELECTED	4	
ELECTRICAL METER	1	
ELECTRICAL PANEL	1	
DATA OUTLET	7	
CABLE TV OUTLET	7	
CO/SMOKE ALARM	3	
EXHAUST FAN	6	
LIGHT	7	
OUTLET 220V	5	
OUTLET AFI	45	
OUTLET GFI	38	
OUTLET WP	6	
SMOKE ALARM	6	
SWITCH	50	
SWITCH 3-WAY	6	
DISCONNECT	2	
FLUORESCENT LIGHT	2	
GARAGE DOOR OPENER	1	
EXTERIOR WALL LIGHT	3	
FLOOR OUTLET AFI	2	
DECORATIVE FIXTURE	3	
PUSH BUTTON	1	
VAPOR PROOF CAN LIGHT	4	



Digitally signed by William Stuhrke
Date: 2021.06.24 16:17:53 -04'00'

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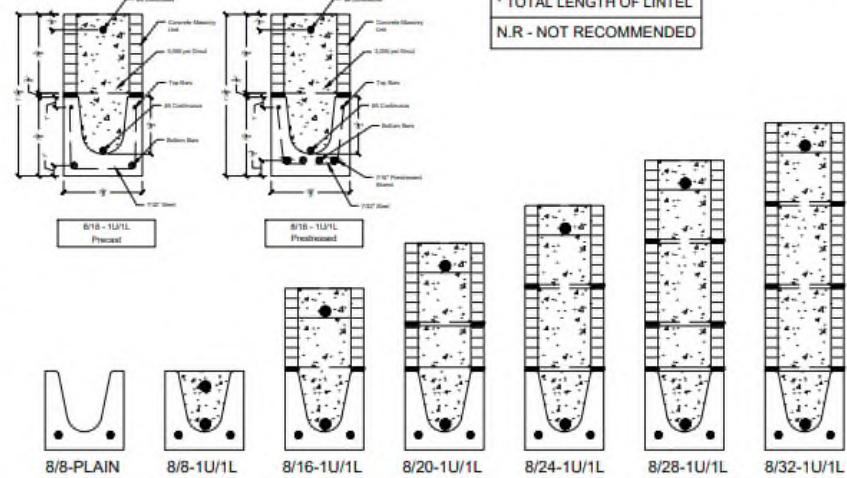


ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



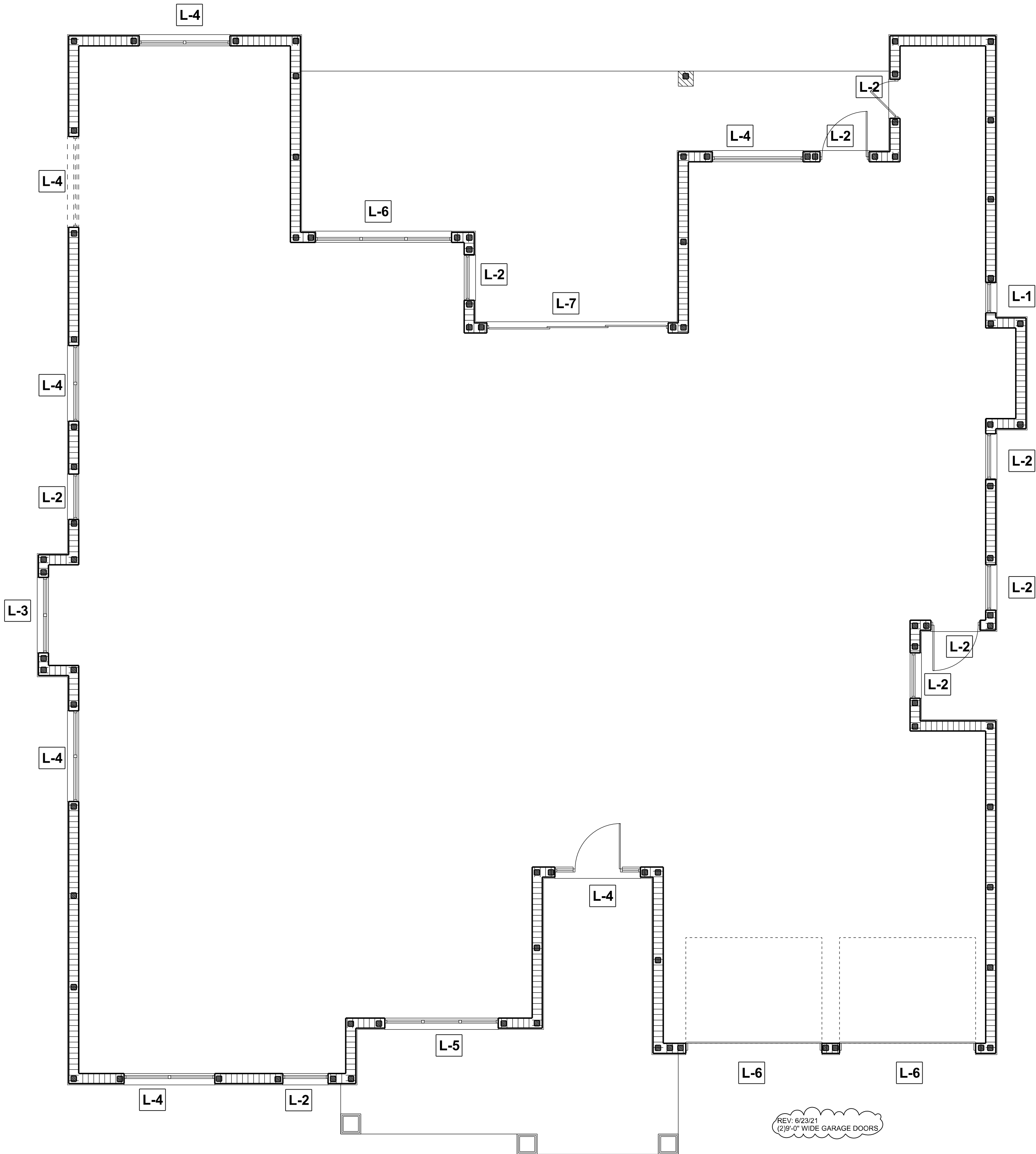
LOTT'S CONCRETE - 8 INCH UNTEL GRAVITY SAFE WORKING LOADS (PLF)										
LENGTH*	TYPE	8/8-PLAIN	8/8-1U/L	8/8-1U/L	8/14-1U/L	8/14-1U/L	8/18-1U/L	8/20-1U/L	8/24-1U/L	8/32-1U/L
		8/8-PLAIN	8/8-1U/L	8/8-1U/L	8/14-1U/L	8/14-1U/L	8/18-1U/L	8/20-1U/L	8/24-1U/L	8/32-1U/L
2'-10"	PRECAST	2820	3057	3057	10000	10000	10000	10000	10000	10000
3'-4"	PRECAST	1192	1261	1261	4000	4000	4000	4000	4000	4000
4'-0"	PRECAST	1726	1834	1834	6000	6000	6000	6000	6000	6000
4'-6"	PRECAST	2260	2405	2405	8000	8000	8000	8000	8000	8000
4'-8"	PRECAST	252	266	266	2432	2432	2432	2432	2432	2432
5'-4"	PRECAST	1063	1136	1136	4310	4310	4310	4310	4310	4310
5'-10"	PRECAST	1599	1707	1707	6289	6289	6289	6289	6289	6289
6'-4"	PRECAST	2385	2535	2535	9210	9210	9210	9210	9210	9210
6'-6"	PRECAST	265	283	283	1110	1110	1110	1110	1110	1110
6'-8"	PRECAST	292	314	314	1243	1243	1243	1243	1243	1243
7'-8"	PRECAST	441	473	473	1734	1734	1734	1734	1734	1734
7'-8"	PRECAST	527	563	563	2070	2070	2070	2070	2070	2070
8'-4"	PRECAST	665	707	707	2592	2592	2592	2592	2592	2592
8'-4"	PRECAST	761	807	807	2970	2970	2970	2970	2970	2970
9'-4"	PRECAST	909	961	961	3510	3510	3510	3510	3510	3510
10'-4"	PRECAST	1057	1119	1119	4050	4050	4050	4050	4050	4050
11'-4"	PRECAST	1205	1277	1277	4590	4590	4590	4590	4590	4590
12'-4"	PRECAST	1353	1435	1435	5130	5130	5130	5130	5130	5130
12'-4"	PRECAST	1501	1593	1593	5670	5670	5670	5670	5670	5670
13'-4"	PRECAST	1649	1751	1751	6210	6210	6210	6210	6210	6210
14'-0"	PRECAST	1797	1909	1909	6750	6750	6750	6750	6750	6750
14'-0"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
15'-4"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
17'-4"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
19'-4"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
20'-0"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
21'-4"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
22'-0"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
24'-0"	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.

LOTT'S CONCRETE - UNTEL SCHEDULE			
UNTEL NO.	CLEAR SPAN	TYPE	DESIGNATION
L-1	2'-8"	PRECAST	8/16-1U-1L
L-2	3'-4"	PRECAST	8/16-1U-1L
L-3	4'-8"	PRECAST	8/16-1U-1L
L-4	6'-0"	PRECAST	8/16-1U-1L
L-5	8'-0"	PRECAST	8/16-1U-1L
L-6	10'-0"	PRECAST	8/16-1U-1L
L-7	12'-0"	PRECAST	8/16-1U-1L
L-8	13'-4"	PRECAST	8/16-1U-1L
L-9	16'-0"	PRESTRESSED	8/16-1U-1L
L-10	18'-0"	PRESTRESSED	8/16-1U-1L
L-11	20'-0"	PRESTRESSED	8/16-1U-1L
L-12	22'-8"	PRESTRESSED	8/16-1U-1L

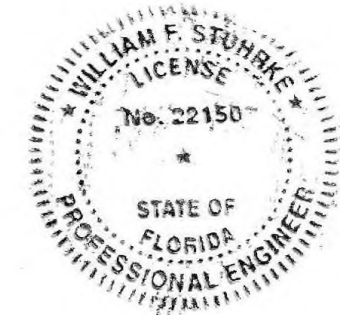


THIS UNTEL SCHEDULE WAS DEVELOPED FOR PRECAST UNTEL BEAMS USING THE FOLLOWING LOAD RATING OF 8/16 IN CAST-IN-PLACE CONCRETE WITH LOTT'S PRECAST UNTELS

General Notes:
1. Cast-in-Place Concrete: 4,000 psi
2. Reinforcement: 60,000 psi
3. Formwork: 1/2" thick plywood
4. Ties: 1/4" diameter steel
5. Spacing: 12" on center
6. Lap Splice: 1.33 times development length
7. Bar Bends: 45 degrees
8. Bar Cuts: 90 degrees
9. Bar Hooks: 180 degrees
10. Bar Laps: 1.33 times development length
11. Bar Cuts: 90 degrees
12. Bar Hooks: 180 degrees
13. Bar Laps: 1.33 times development length
14. Bar Cuts: 90 degrees
15. Bar Hooks: 180 degrees
16. Bar Laps: 1.33 times development length
17. Bar Cuts: 90 degrees
18. Bar Hooks: 180 degrees
19. Bar Laps: 1.33 times development length
20. Bar Cuts: 90 degrees
21. Bar Hooks: 180 degrees
22. Bar Laps: 1.33 times development length
23. Bar Cuts: 90 degrees
24. Bar Hooks: 180 degrees
25. Bar Laps: 1.33 times development length
26. Bar Cuts: 90 degrees
27. Bar Hooks: 180 degrees
28. Bar Laps: 1.33 times development length
29. Bar Cuts: 90 degrees
30. Bar Hooks: 180 degrees
31. Bar Laps: 1.33 times development length
32. Bar Cuts: 90 degrees
33. Bar Hooks: 180 degrees
34. Bar Laps: 1.33 times development length
35. Bar Cuts: 90 degrees
36. Bar Hooks: 180 degrees
37. Bar Laps: 1.33 times development length
38. Bar Cuts: 90 degrees
39. Bar Hooks: 180 degrees
40. Bar Laps: 1.33 times development length
41. Bar Cuts: 90 degrees
42. Bar Hooks: 180 degrees
43. Bar Laps: 1.33 times development length
44. Bar Cuts: 90 degrees
45. Bar Hooks: 180 degrees
46. Bar Laps: 1.33 times development length
47. Bar Cuts: 90 degrees
48. Bar Hooks: 180 degrees
49. Bar Laps: 1.33 times development length
50. Bar Cuts: 90 degrees
51. Bar Hooks: 180 degrees
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53. Bar Cuts: 90 degrees
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80. Bar Cuts: 90 degrees
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90. Bar Hooks: 180 degrees
91. Bar Laps: 1.33 times development length
92. Bar Cuts: 90 degrees
93. Bar Hooks: 180 degrees
94. Bar Laps: 1.33 times development length
95. Bar Cuts: 90 degrees
96. Bar Hooks: 180 degrees
97. Bar Laps: 1.33 times development length
98. Bar Cuts: 90 degrees
99. Bar Hooks: 180 degrees
100. Bar Laps: 1.33 times development length



LINTEL PLAN
SCALE: 1/4" = 1'-0"



Digitally signed
by William
Stuhke
Date:
2021.06.24
16:18:46 -04'00'

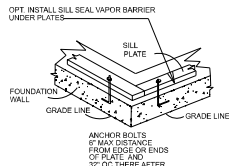
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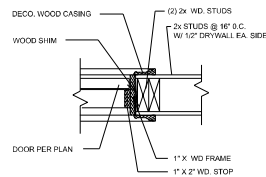
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17:10:05
-04'00'

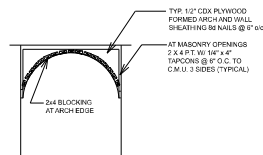




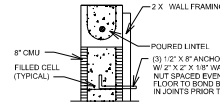
BOTTOM PLATE ATTACHMENTS



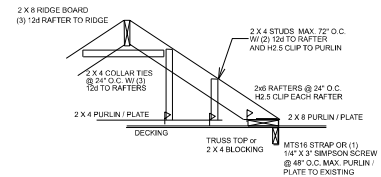
INTERIOR DOOR JAMB DETAIL



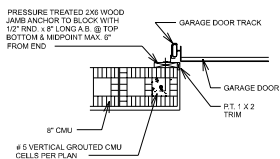
ARCH FRAME DETAIL



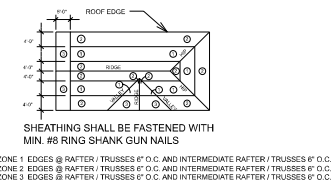
**EXTER. FRAME WALL TO
BLOCK WALL CONNECTION**
(WOOD FRAME BEARING WALL TO CMU)



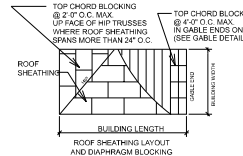
**CONVENTIONAL FRAME
LARGE VALLEY DETAIL**



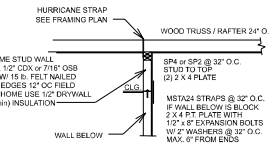
GARAGE DOOR JAMB 8\"



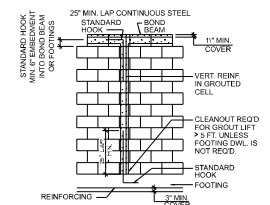
ROOF NAILING CHART



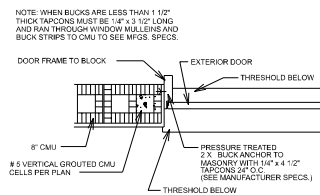
SHEATHING PLACEMENT



KNEE WALL DETAIL



TYPICAL FILLED CELL DETAIL



JAMB AT EXTERIOR DOOR



Digitally
signed by
William
Stuhke
Date:
2021.05.18
17:10:49 -04'00'

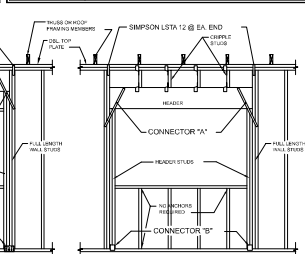
WALL SHEATHING
1/2\"/>

FLOOR SHEATHING
3/4\"/>

STUDS	MAXIMUM HEADER SPAN (F.T.)			
	3'	6'	9'	12'
UNSUPPORTED WALL HEIGHT				
10' OR LESS	1	2	2	2
GREATER THAN 10'	1	2	3	3

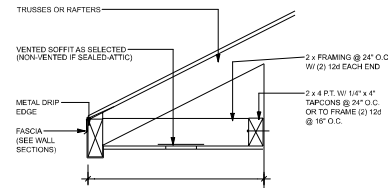
CONNECTORS	MAXIMUM HEADER SPAN (F.T.)			
	3'	6'	9'	12'
A	(1) LSTA 12 (1) RT 26	(2) LSTA 12 (2) RT 20	(2) LSTA 16 (2) RT 22	(3) LSTA 16 (2) RT 22
B	(2) BPT OR (2) HS (1) HCLP	(3) BPT OR (3) HS (2) HCLP	(4) BPT OR (4) HS (4) HCLP	(4) BPT OR (4) HS (4) HCLP

STUD NOTE: HEADER & FULL LENGTH STUDS TO BE TIED TO EACH OTHER W/ 12x @ 12\"/>

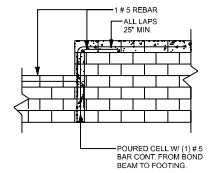


HEADER AND STUD DETAIL

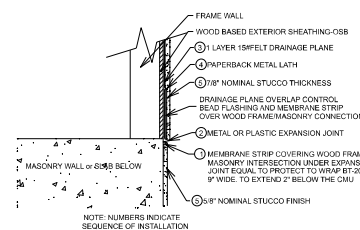
MAX. SPAN	HEADER SIZE	SPACER	JACKS
3'-0"	2-2x6	1 1/2" PLYWOOD	1
6'-0"	2-2x6	1 1/2" PLYWOOD	2
9'-0"	2-2x10	1 1/2" PLYWOOD	3
12'-0"	2-2x12	1 1/2" PLYWOOD	3
OVER 12'-0"	PER PLAN		



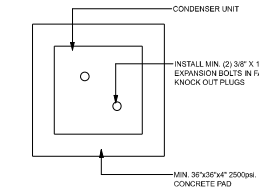
SOFFIT ATTACHMENT DETAIL



STEP DOWN TIE BEAM



**STUCCO FLASHING DETAIL
@ CMU/FRAME INTERFACE**

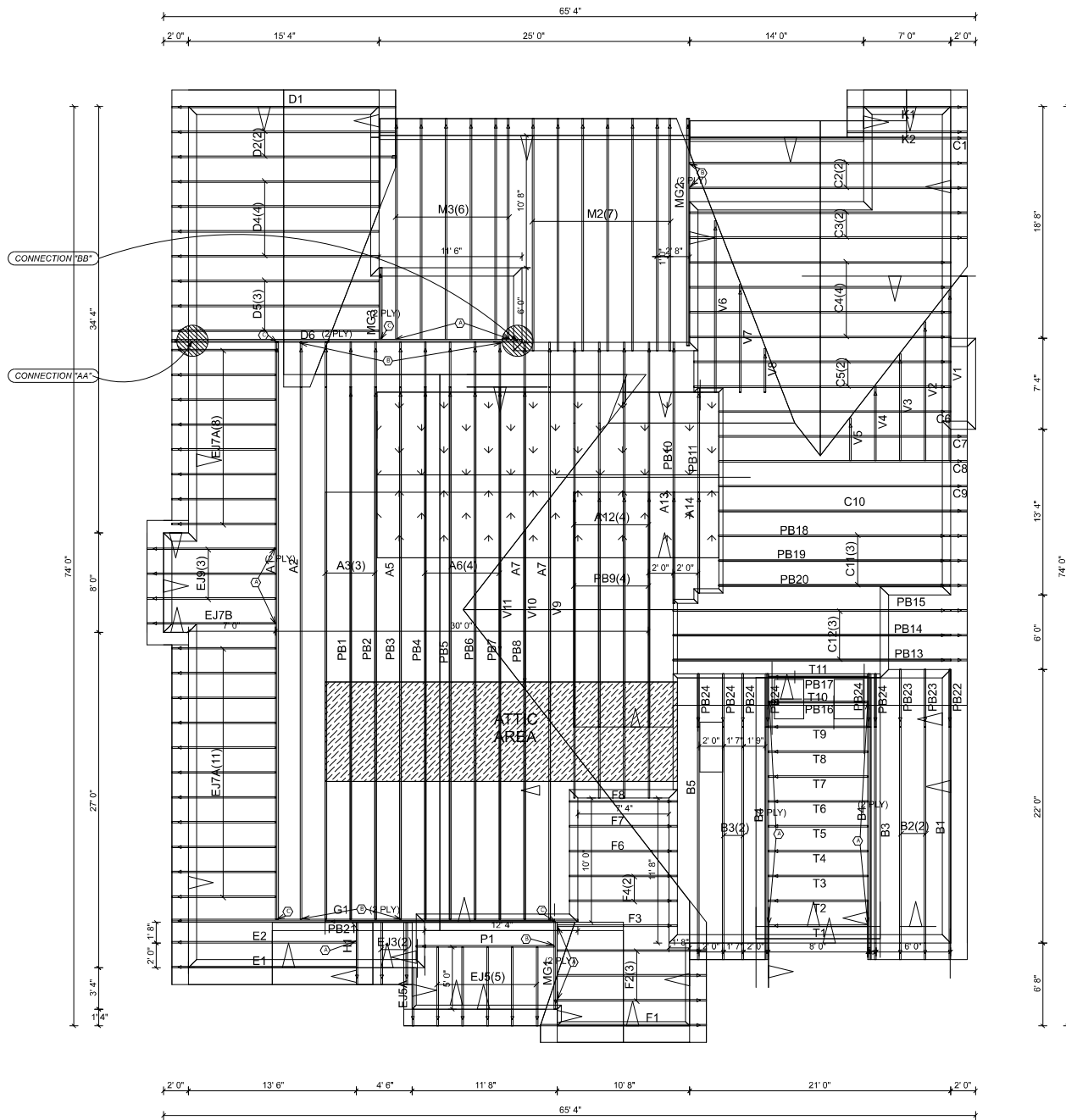


CONDENSER ANCHORING DETAIL



Digitally
signed by
William
Stuhrke
Date:
2021.05.18
17:11:40
-04'00'

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and sealed and the signatures must be
verified on any electronic copies.



TRUSS CONNECTORS-UNLESS NOTED OTHERWISE	
TRUSSES TO MASONRY	SIMPSON HETA16 (1810 LBS)
TRUSSES TO WOOD	SIMPSON MTS12 (990 LBS)
CONNECTION "AA"	(2)SIMPSON HETA16 (3620 LBS)
CONNECTION "BB"	(1)SIMPSON FGTR18 w/ 1/4"x3" SDS & (2)1/2"x5" TITEN HD (CAPACITY 4725 LBS)

TRUSS LAYOUT
SCALE: 1/4" = 1'-0"