



**Planning Commission**  
**The Chambers at City Center**  
**8534 Main St., Woodstock, GA**  
**30188**  
**(Main) 770.592.6000 (Fax) 770.926.1375**  
**<http://www.woodstockga.gov>**  
**\*Hearing Assistance Available Upon Request**

## **AGENDA**

**Thursday, May 7, 2026**

**Planning Commission**  
**7:00 PM**

**ITEM 1. CALL TO ORDER**

**ITEM 2. APPROVAL OF MINUTES**

- 1. Consideration of Approval to Adopt Planning Commission Meeting Minutes – April 2, 2026** (Maria Chang)

**ITEM 3. PUBLIC HEARINGS**

- 1. Consideration of Z#170-26: 125 Lorraine Parkway (Public Hearing & Vote)** (Cameron Dunn)

Staff recommends approval with conditions of a Rezoning, Conditional Use Permit, and and concurrent Variance requests to allow for the development of a 92,000 SF warehouse use off of Olde Rope Mill Park Road and Lorraine Parkway.

- 2. Consideration of Z#168-26: Barnesdale Terrace Redevelopment (Public Hearing & Vote)** (Natalie Faustine)  
Staff recommends partial approval of Z#168-26, subject to staff conditions.

- 3. Consideration of A#131-26: Faith Community Church (Public Hearing & Vote)** (Niwana Ray)

Staff recommends City Council approve the Annexation, Rezoning, and Conditional Use Permit for the ± 5.87 acre addition to Faith Community Church, located at 291 & 295 Rope Mill Road (A#131-26).

- 4. Consideration of CUP#095-26: 9845 Main St (Public Hearing & Vote)**  
Staff recommends denial of CUP#095-26 and the concurrent variances.

- 5. Consideration of V#221-26: Paragon, 9026 Main St (Public Hearing & Vote)** (Niwana Ray)

Staff recommends City Council approval of a variance to allow angled on-street parking rather than parallel at 9026 Main Street.

**ITEM 4. PRESENTATIONS**

**ITEM 5. ANNOUNCEMENTS AND INFORMATIONAL ITEMS**

1. **Planning Commission Update** (Melissa Sigmund)

**ITEM 6. ADJOURNMENT**

# Item Cover Page

## PLANNING COMMISSION AGENDA ITEM REPORT

**DATE:** May 7, 2026

**SUBMITTED BY:** Maria Chang, Community Development

**ITEM TYPE:** Approval of Minutes

**AGENDA SECTION:** **APPROVAL OF MINUTES**

**SUBJECT:** **Consideration of Approval to Adopt Planning Commission Meeting Minutes – April 2, 2026**

**SUGGESTED ACTION:**

**ATTACHMENTS:**  
[Planning Commission Minutes.pdf](#)



**Planning Commission**

**City of Woodstock, GA**

**The Chambers at City Center - 8534 Main Street**

**770 592-6000 (Main) 770 592-6002 (City Clerk) 770 926-1375 (Fax)**

<http://www.woodstockga.gov>

**~MINUTES~**

**Thursday, April 2, 2026**

**Planning Commission ~ 7:00 PM**

**Attendees:** Commissioner Brandon Williams, Commissioner Chase Roth, Commissioner Paul Laney, Commissioner Gregg Smith, Commissioner Rob Hogan, Commissioner David Lundquist, Community Development Director Melissa Sigmund, Senior Planner Niwana Ray, Planner II Cameron Dunn, Planner I Natalie Faustine, Engineering Manager Janis Steinbrenner, Community Development Office Manager Maria Chang and Director of Economic Development Brian Stockton

**Absent:** Commissioner Ali Najafi

**ITEM 1) CALLED TO ORDER**

**ITEM 2) APPROVAL OF MINUTES**

2.1) Consideration of Approval to Adopt Planning Commission Meeting Minutes – March 5, 2026 (Maria Chang)

- Commissioner Paul Laney made a motion to approve the minutes as presented.
- Commissioner David Lundquist seconded the motion.
- Motion carried (6-0), with Commissioner Ali Najafi absent.

**ITEM 3) PUBLIC HEARINGS**

3.1) Consideration of Z#169-26: 8261 Main Street (Public Hearing & Vote) (Cameron Dunn)

Staff recommends Planning Commission table the case for one month, to be heard as a part of the May 7, 2026 agenda.

- Mr. Dunn, City staff, notified the Commission that the applicant requested a one month tabling to allow for site design changes and discussions with neighbors. Staff recommends tabling the item.

Open Public Hearing

No one signed up to speak.

Closed Public Hearing, to reopen in May.

- Commissioner David Lundquist made a motion to Table the item to May 7, 2026.
- Commissioner Chase Roth seconded the motion.
- Motion carried (6-0), with Commissioner Ali Najafi absent.

### 3.2) Consideration of Z#168-26: Barnesdale Terrace Redevelopment (Public Hearing & Vote) (Natalie Faustine)

Staff recommends Planning Commission table the case for one month, to be heard as part of the May 7, 2026, agenda.

- Ms. Faustine, City staff, notified the Commission that the applicant requested to Table for one month while the applicant works with Staff to put together a development agreement. Staff recommended tabling.

#### Open Public Hearing

- Courtney Morgan - 214 Napa Dr - A gentleman spoke for Courtney.
- Karin Welte – 302 Chardonnay Way – Signed up but did not speak.

#### Closed Public Hearing

- Commissioner Gregg Smith made a motion to Table the item to May 7, 2026.
- Commissioner Rob Hogan seconded the motion.
- Motion carried (6-0), with Commissioner Ali Najafi absent.

### 3.3) Consideration of V#219-25: 702 Ravenwood Drive -WITHDRAWN (Cameron Dunn)

The Applicant has withdrawn this application for Variance at 702 Ravenwood Drive. No public hearing on the item is required.

- No action taken.

### 3.4) Consideration of CUP#093-25: 706 Robin Court (Public Hearing & Vote) (Cameron Dunn)

Staff recommends approval with conditions of a Conditional Use Permit to allow for a development within the Downtown District on less than five acres with concurrent site Variances, subject to the staff-recommended conditions of approval.

This case was remanded back to the Planning Commission by City Council at their March 23 meeting to allow for analysis of an updated site plan provided by the Applicant.

- Mr. Dunn, City staff, presented the case to the Commission.
- Conditional Use Permit for residential development on less than five acres and concurrent varies (sidewalk supplemental zone and waiver of sidewalk along Robin Court frontage). Updated design reduced units from five to four, with one front-loaded off Robin Court and three rear-loaded off Brownlee Road. Staff changed recommendation from denial to approval with conditions, citing improved compatibility with Cardinal Woods neighborhood. Development Process Committee recommended approval 5-1 with conditions.
- Staff presented analysis, including small area plan condition for Brownlee Road edge properties.
- Applicant presented updated site plan, addressing prior concerns on intensity, setbacks, and neighborhood character. Requested minor revision to Condition 5 (front setback maximum, side setback per code).

#### Open Public Hearing

##### In Favor

- Matthew McCabe – 413 Falcon Ct
- Mike Daniel – 309 Cardinal Dr.
- Chris Rogers – 707 Robin Court

#### Closed Public Hearing

- Commissioner David Lundquist made a motion to approve the item with staff recommendations and to include the revised wording of Condition 5 at the applicant's request.

- Commissioner Gregg Smith seconded the motion.
- Motion carried (5-1), with Commissioner Brandon Williams in opposition and Commissioner Ali Najafi absent.

### 3.5) Consideration of V#220-25: 704 Robin Court (Public Hearing & Vote) (Cameron Dunn)

Staff recommends approval with conditions of a Conditional Use Permit (CUP) to allow for a development within the Downtown District on less than five acres with concurrent site Variances, subject to the staff recommended conditions of approval.

This case was remanded back to the Planning Commission by City Council at their March 23 meeting to allow for analysis of an updated site plan provided by the Applicant.

- Mr. Dunn, City staff, presented the case to the Commission.
- Conditional Use Permit for residential development on less than five acres, lot line adjustments (conservation easement on northern portion), and concurrent variances (increased supplemental zone and waiver of sidewalk along Robin Court). Updated design shifts lot lines for better stream buffer compliance and natural area preservation.
- Staff presented technical zoning details.
- Development Process Committee recommended approval with condition. Staff recommended approval of the Conditional Use Permit and concurrent Variances, subject to the staff-recommended conditions. With conditions (identical suite to prior case, with Condition 5 revision (front setback maximum, side setback per code).
- Applicant presented the case to the Commission.

#### Open Public Hearing

##### In Favor

- Robert Hattersley – 610 Ravenwood Dr

#### Closed Public Hearing

- Commissioner Gregg Smith made a motion to approve the item with staff recommendations and to include the revised wording of Condition 5 at the applicant's request.
- Commissioner David Lundquist seconded the motion.
- Motion carried (6-0), with Commissioner Ali Najafi absent.

### 3.6) Consideration of Z#167-26 & CUP#94-26, Reagan & Ridgewalk - The Pitch (Public Hearing & Vote) (Melissa Sigmund)

Staff recommends approval of a Rezoning, Conditional Use Permit, and associated Variances for a ± 12.81 acre project located at the southeast corner of Reagan Street and Ridgewalk Parkway (Z#166-25, CUP#094-26). The application seeks to rezone the property from NC to GC-VMU and requests a Conditional Use Permit to allow multifamily rental units and to allow the residential units to be located on the ground floor of buildings within the development. Associated Variances are requested to the development standards of the LDO for the amounts and locations of provided parking.

- Ms. Sigmund, City staff, presented the case to the Commission.
- Rezoning from NC (Neighborhood Commercial) to GC-VMU (General Commercial-Mixed Use) with Ridgewalk Overlay District.
- Conditional Use Permit for multifamily rental and ground-floor residential, plus variances (rows of parking and off-site church parking).
- Proposed mixed-use development: 236 apartments, ~27,000 SF commercial/retail, soccer stadium (initial 1,200 seat, ultimate build-out considered). ~12.81 acres, Community Village Center.
- Staff recommended approval with extensive conditions, including development agreement with DDA and Georgia Impact Soccer Club within one year. Development Process Committee recommended approval 5-0.
- Staff presented a zoning comparison, comprehensive plan consistency analysis, housing policy ratios (including institutional ownership projected ~22% if approved), and recommended conditions.
- Applicant presented the case to the Commission.

- Presented the project vision as a family-friendly mixed-use “mini Battery” with soccer, retail, and multifamily.
- Traffic engineer Amy Turner (CROY) summarized the traffic study. City staff, Janis Steinbrenner, Engineering Manager confirmed review and coordination with GDOT on the diverging diamond interchange.

Open Public Hearing

In Opposition

- Christy Young – 714 Rising Moon Dr
- Stephen Sperry – 300 Carriage
- Patty Hudgins – 225 Floral Valley

Closed Public Hearing

- Commissioner Rob Hogan made a motion to approve the request with staff recommendations, including a modified Condition 13 (privacy fence) and a requirement that executed parking and pedestrian agreements with Woodstock City Church be completed prior to site plan approval.
- Commissioner Gregg Smith seconded the motion.
- Motion carried (4-2), with Commissioner Brandon Williams and Commissioner Chase Roth in opposition and Commissioner Ali Najafi absent.

3.7) Consideration of ZTA#020-26: Downtown/ Lot of Record – LDO Amendment (Public Hearing/Vote) (Melissa Sigmund)

Recommend City Council approval of a Zone Text Amendment that amends Chapter VII (Performance Zoning Standards) of the Land Development Ordinance to update Article III – General Information, Article IV – Zone District Performance Standards, Article V – Use Districts and Regulations, and Article VII – Downtown District Standards.

- Ms. Sigmund, City staff, presented the comprehensive updates to the Land Development Ordinance for downtown standards, including clarifications on lot of record exemptions for single-family homes, street classifications, subdivision requirements in existing neighborhoods, architectural standards, housing mix and material requirements to the Commission.
- The changes aim to simplify processes for individual homes while providing oversight for larger redevelopments.

Open Public Hearing

No one signed up to speak.

Closed Public Hearing

- Commissioner Chase Roth made a motion to approve.
- Commissioner Paul Laney seconded the motion.
- Motion carried (6-0), with Commissioner Ali Najafi absent.

**ITEM 4) PRESENTATIONS**

**ITEM 5) ANNOUNCEMENTS AND INFORMATIONAL ITEMS**

5.1) Planning Commission Update (Melissa Sigmund)

- Ms. Sigmund, City staff, provided updates on recent City Council actions, including waivers and approvals of other cases.

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**ITEM 6) ADJOURNMENT**

- Commissioner Brandon Williams adjourned the meeting at 9:28 p.m.

As approved this day, May 7, 2026.

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Maria Chang, Community Development, Office Manager

# Item Cover Page

**PLANNING COMMISSION AGENDA ITEM REPORT**

**DATE:** May 7, 2026

**SUBMITTED BY:** Cameron Dunn, Community Development

**ITEM TYPE:** Presentation and Discussion Items

**AGENDA SECTION:** **PUBLIC HEARINGS**

**SUBJECT:** **Consideration of Z#170-26: 125 Lorraine Parkway (Public Hearing & Vote)**

**SUGGESTED ACTION:** Staff recommends approval with conditions of a Rezoning, Conditional Use Permit, and and concurrent Variance requests to allow for the development of a 92,000 SF warehouse use off of Olde Rope Mill Park Road and Lorraine Parkway.

- ATTACHMENTS:**
- [PCSR Z#170-26.pdf](#)
  - [Attachment A.pdf](#)
  - [Attachment B.pdf](#)
  - [Attachment C.pdf](#)
  - [Attachment D.pdf](#)
  - [Attachment E.pdf](#)
  - [Attachment F.pdf](#)
  - [Attachment G.pdf](#)



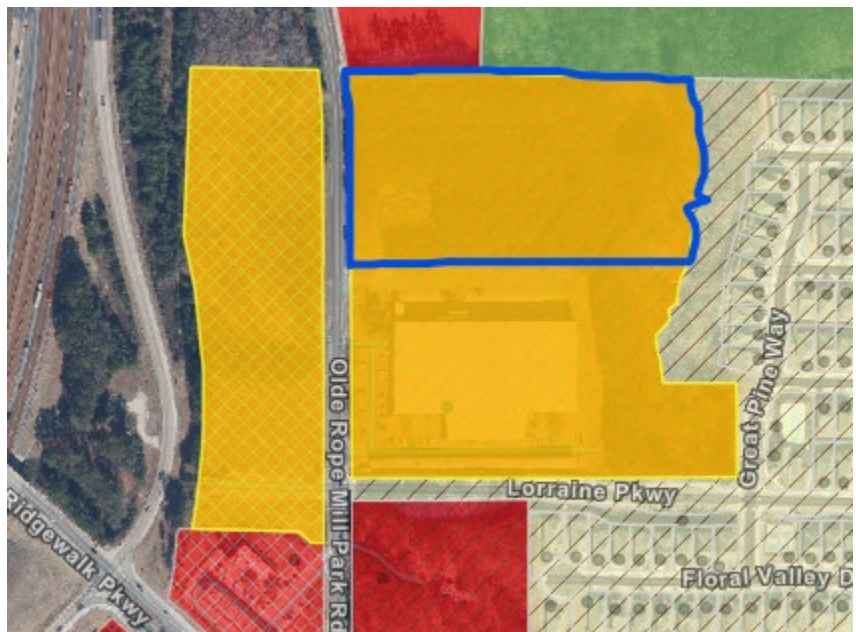
**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Cameron Dunn, MPA, Planner II  
**SUBJECT: 125 Lorraine Parkway  
Project No. Z#170-26**

**RECOMMENDATION**

Staff recommends approval with conditions of a Rezoning, Conditional Use Permit, and concurrent Variance requests to allow for the development of a 92,000 SF warehouse use off of Olde Rope Mill Park Road and Lorraine Parkway.

**EXECUTIVE SUMMARY**

The Applicant, Parks Huff on behalf of Hickory Real Estate Partners, LLC, is requesting a Rezoning, Conditional Use Permit, and a concurrent Variance request to allow for an industrial warehouse development. The site, which includes tracts of land on both sides of Olde Rope Mill Park Road, totals 23.43 acres. The project development site, which is one tract on the northeastern corner of the parcel, is approximately 8.12 acres, outlined in blue on the image on the right.



## **BACKGROUND**

Table 1 provides general information for the site.

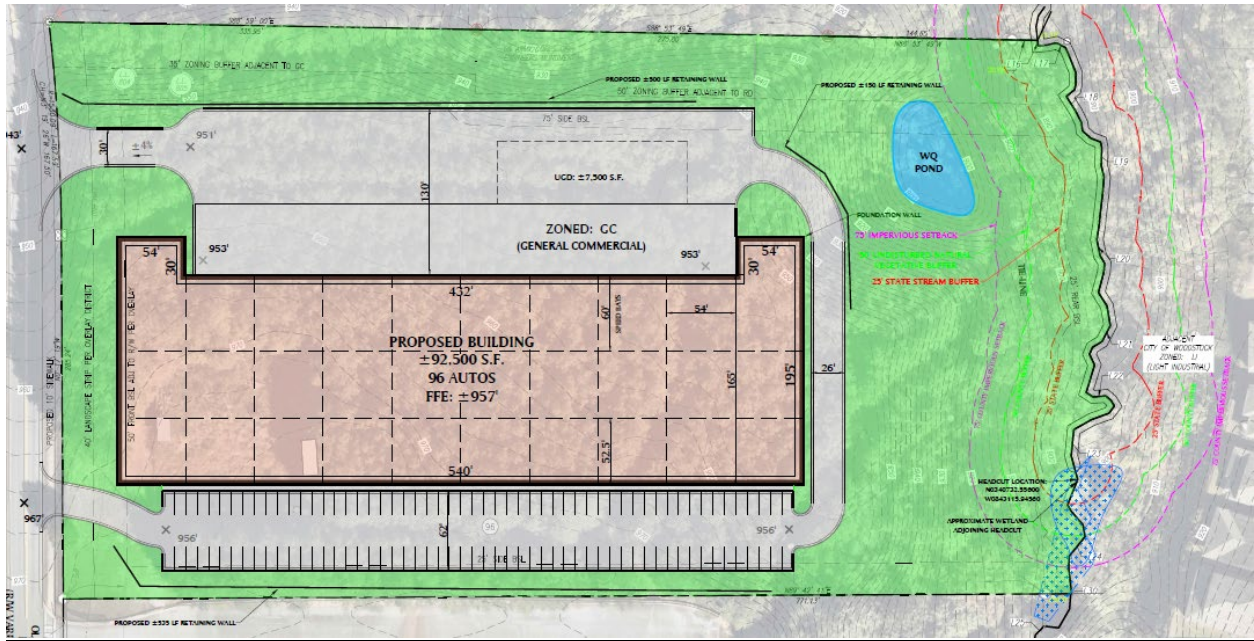
<b>Table 1: General Property and Surrounding Land Use Information</b>	
Address	125 Lorraine Parkway
Council Ward	1 (Johnson)
Tax ID #	15N10015
Site Acreage	23.43 ac (parcel), 8.12 ac (project site)
Future Development Map	Workplace Center
Current Zoning	GC (General Commercial) with Ridgewalk and Technology Park Overlay
Current Development	Undeveloped (western and northern portions) and Industrial building (southern portion)
Streets Information:	Olde Rope Mill Park Drive and Lorraine Parkway are managed by the City of Woodstock
Surrounding Neighborhood: North	GC: KIA dealership
South	GC with Tech Park Overlay: Cell Tower
East	LI with Tech Park Overlay: Glenhaven subdivision
West	Interstate 575

Additional information regarding the proposed project can be found in the public hearing application, provided as Attachment A.

## **PROJECT DESCRIPTION**

The Applicant is requesting a rezoning, Conditional Use Permit, and concurrent Variance in order to develop an approximately 92,500 SF multi-tenant warehouse use on a roughly 8.12 acre tract of a larger, GC zoned parcel. The parcel has area on both sides of Olde Rope Mill Park Drive. Portions east of the roadway are zoned GC with Technology Park Overlay, and portions to the west of the roadway are zoned GC with Ridgewalk Overlay. The site would have two full-movement driveways onto Olde Rope Mill Park Drive, approximately 250 feet apart. The northern portion of the project site would host a truck bay with 20 stalls. The southern portion would host vehicular parking with 96 spaces. The building footprint is rectangular with dimensions of 496' by 165'. The Applicant-proposed elevations indicate that the exterior of the building will be tilt-up concrete panel construction. The site would be served by a combination of underground and ponded stormwater on the northern and northeastern portions of the site, respectively. The tract's eastern property line is defined by the center-line of a stream. The Applicant has set the building footprint back from the 75' stream buffer approximately 130', totaling an

approximate 200' building setback from the western property line. The site plan is provided as Attachment B and is imbedded below.



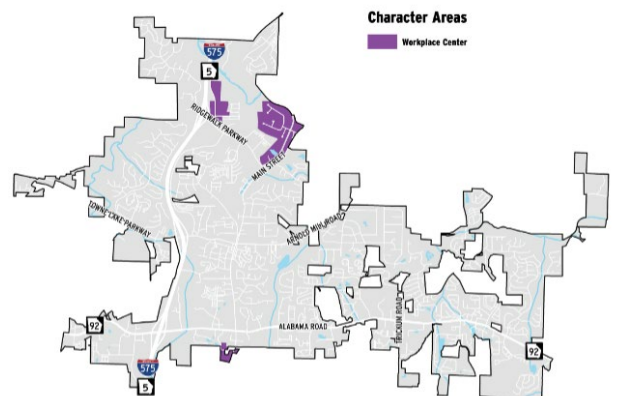
To accommodate the proposed project, the following entitlements are requested:

- 1) Rezoning from General Commercial with Technology Park and Ridgewalk Overlay to Light Industrial with Technology Park and Ridgewalk Overlay
- 2) Conditional Use Permit to allow Warehouse- Distribution Use in the LI zone.
- 3) Variance to LDO Section 7.890.5 to allow for an exterior material other than brick within the Technology Park Overlay.

## **ANALYSIS**

### **Consistency with the 2023 Comprehensive Plan**

The site is located within the Workplace Center Character Area. This area is meant to house mostly industrial uses, hosting primary land uses of large employment centers, warehousing and whole, manufacturing, or research facilities. The warehouse use proposed is consistent with the intensity and use expected of this Area within the Comprehensive Plan. Secondly, the Plan speaks about design characteristics that should accompany these types of uses when located adjacent to residential uses, prescribing adequate buffering between residential and nonresidential uses in order to mitigate noise



or light. On top of the natural buffer offered by the stream on site, the Applicant has further separated the proposed use from the rear property line, creating a buffer of around 200' between the building footprint and the adjacent residential uses within surrounding subdivisions.

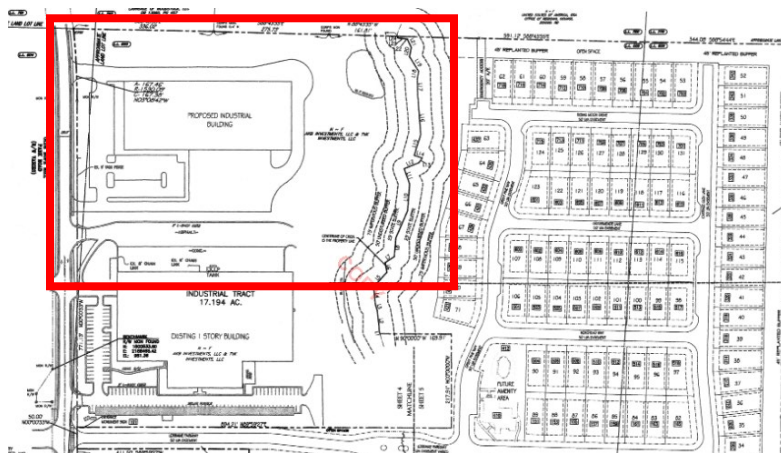
The proposed plan is in alignment with the tenets of the 2023 Comprehensive Plan in both land use and urban design.

### **Consistency with the Land Development Ordinance**

#### **Rezoning**

The Applicant is requesting to rezone the subject property from General Commercial zoning to Light Industrial zoning to accommodate the proposed Warehouse use. As noted previously, the Comprehensive Plan supports this style of development in this location. Secondly, there are surrounding land uses that make the property both an ideal candidate for rezoning and an ideal location for a Warehouse use. Olde Rope Mill Park Drive extends southward to the Ridgewalk Parkway corridor, and is the most proximal public right of way to the Interstate 575 corridor, allowing for quick access for shipping and freight trucks without heavily impacting public roadways further down the Ridgewalk Corridor towards the Main Street intersection. The property is currently zoned General Commercial, which offers a wider array of nonresidential uses than Light Industrial, but also typically comes with more traffic trips than light industrial uses that would burden the existing street network. While the current zoning would allow for more uses, the site is less suitable for retail commercial uses given the site's lack of visibility from the I-575 and Ridgewalk street corridors.

The parcel's underlying Technology Park zoning overlay designation is not proposed to change post-rezoning. The Technology Park Overlay calls for a combination of light industrial, technology oriented commercial, and a mixture of low, medium, and high-density residential uses. The LDO specifies that the Overlay District should target long-term clientele with particular emphasis on corporate campuses like the use proposed.



While the subject property is adjacent to residential uses, the Overlay district that is shared between the subject property and the adjacent residential subdivision explicitly allows for this style of use blending. This mixture of uses was also anticipated on previous platting documents, indicating that the subject tract was intended for an industrial

use when the land currently occupied by the Glenhaven subdivision was parceled off in 2021 for development.

**Intensity of Use**

When an industrial use is proposed adjacent to residential uses, considerations must be made regarding the impact that the proposed use might have on the surrounding area. The applicant has provided multiple exhibits

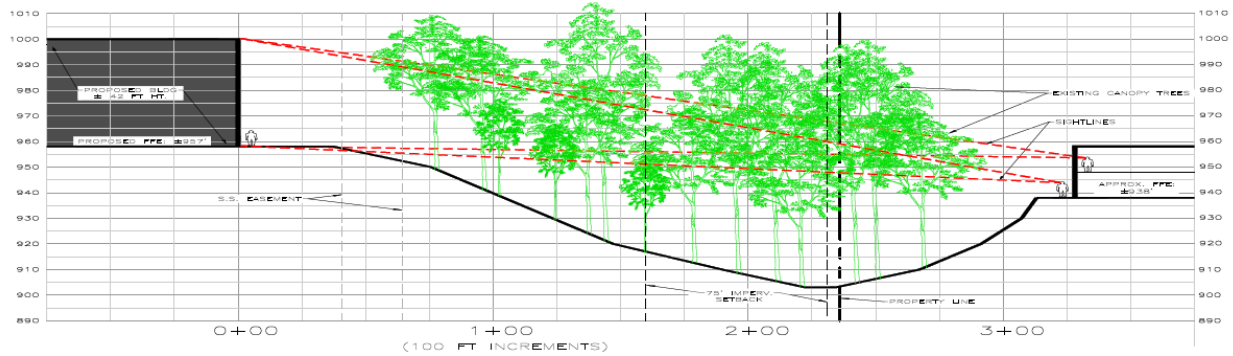
Table 5: Assessment for Turn Lanes 24-Hour Daily Volumes		
	Site Driveway A	Site Driveway B
	Right-Turn	
Projected Number of Turning Movements	154	12
Minimum Required for Turn Lane	200	200
Turn Lane Warranted?	No	No
	Left-Turn	
Projected Number of Turning Movements	0	0
Minimum Required for Turn Lane	300	300
Turn Lane Warranted?	No	No

that indicate the relatively small impact of the proposed use on adjacent properties. The first of which is a traffic trip generation report, prepared by Kimley-Horn and Associates and provided as Attachment C. The report operates on the assumption that all truck traffic would use the northern driveway, and all other vehicular traffic would utilize the southern driveway. The firm anticipates that over a 24-hour span, approximately 166 gross trips will be generated by the site, with 154 being expected on the southern (vehicular) driveway and 12 being expected on the northern (truck) driveway. For a roadway of this type, GDOT’s Regulations for Driveway and Encroachment Control Manual states that any volume of under 200 trips per 24 hour period does not warrant a designated right-hand turn lane.

Table 6: Project Trip Generation Summary								
Land Use	Density	ITE Code	Daily Traffic		AM Peak Hour		PM Peak Hour	
			Enter	Exit	Enter	Exit	Enter	Exit
Light Industrial	92,000 SF	110	166	166	38	6	11	34
Hotel	220 rooms	310	642	642	46	43	67	65
Medical-Dental Office Building	85,000 SF	720	1,688	1,688	161	45	93	216
Shopping Plaza (40-150k) with Supermarket	66,122 SF	821	3,170	3,170	138	92	270	281

Additionally, the report concludes that the trip generation potential for the proposed light industrial use is much less when compared to other uses allowed within the General Commercial District, such as a hotel, medical office, or shopping center by multiple orders of magnitude.

The Applicant has also provided a sight line exhibit that visualizes the impact to the adjacent residential subdivision, provided as Attachment D. This exhibit indicates two main points: that the buffer between the proposed use and the existing residences is adequate to block most of the building from visibility, and that the topography as one approaches the stream along the property line decreases to further limit visibility.



Preliminary photometric plans have also been submitted by the Applicant that limit light trespass across the property line to the east. This has been provided as Attachment E.

### Architecture

The Applicant has requested a Variance to allow for a different architectural expression than the one articulated within the LDO. The Technology Park Overlay calls for an articulation of brick or masonry frontages on newly constructed buildings. The Applicant has requested to utilize tilt-up concrete paneling instead of the brick proposed, citing adjacent nonresidential uses as justification for their request. The nonresidential buildings that are close to the subject property are the Kirk Rudy building to the south (zoned GC with Technology Park Overlay) and the KIA dealership to the north (zoned GC). The Kirk Rudy building was developed in 2002, prior to the establishment of the Technology Park Overlay. The KIA dealership is not subject to the requirements of the Overlay. Both of these buildings have architectural styles defined by mixtures of paneling and glasswork, and present a more modern style than the Overlay intends. The proposed renderings presented by the Applicant mimic the look of these buildings, articulating the concrete in such a way to mimic panels and providing façade breaks that create a less monolithic look for the proposed building. Proposed renderings, along with a materials exhibit, are provided as Attachment F. Given that development has occurred in the surrounding environs without the style intended by the Overlay, staff believes that mimicking the existing architectural style of the road corridor is acceptable.



## **PUBLIC INPUT**

Public input for the public hearing has been provided in accordance with State and local law. On or around March 17, 2026, public notices were mailed to property owners within 800' of the project site. The notice informed them of the public input meeting, Planning Commission public hearing, and the City Council public hearing. Additionally, a public notice was published in the Cherokee Tribune on April 16, 2026.

On March 31, 2026, the Applicant hosted a public input meeting at the Chambers at City Center, located at 8534 Main Street, beginning at 7:00PM. This meeting is intended to give the Applicant an opportunity to explain the proposal and answer any questions the public might have about the project or public hearing process. The meeting was attended by residents of nearby residential subdivisions, and most of the conversation comprised of how the proposed development would impact the residents of the neighborhood. The Public Input Report, along with input received via email, are provided as Attachment G.

## **DEVELOPMENT PROCESS COMMITTEE RECOMMENDATION**

The Development Process Committee met on April 8, 2026 to consider and vote on the proposed project. At this meeting, the DPC discussed how the property is ideally situated for an industrial use given its surrounding development and proximity to the interstate, but noted that conditions needed to be created to better curtail expected uses and impact on the residential subdivision. Ultimately, the DPC voted to recommend approval of the request, subject to conditions of approval. The proposed recommendation is as follows:

- 1) Approval of rezoning of parcel 15N10015 from General Commercial with Ridgewalk and Technology Park Overlay to Light Industrial with Ridgewalk and Technology Park Overlay.
- 2) Granting of a Conditional Use Permit to allow for a Warehouse-Distribution use in the Light Industrial zone.
- 3) Approval of a Variance to LDO Section 7.890.5 to allow for an exterior material other than brick within the Technology Park Overlay.

Subject to the following Conditions of Approval (COAs).

- 1) Prior to submittal of site plan application, the Applicant shall submit a subdivision plat with the City of Woodstock to parcel off the tract of land intended for development. This shall be recorded with Cherokee County Clerk of Court prior to LDP issuance.
- 2) Prior to submittal of site plan application, the applicant shall submit a full traffic impact study to the City for review and approval by the Development Process Committee. If traffic counts along Olde Rope Mill Park Road anticipate that infrastructure improvements are needed to accommodate the proposed use, then they will be reflected on any site planning documents submitted to the City.

- 3) Dumpsters shall not be located in any front yard or streetscape area and shall be screened if visible from the public right-of-way or property zoned for residential use.
- 4) Trash pickup shall be prohibited at the Project between the hours of 7:00 PM and 7:00 AM.
- 5) The Applicant shall install a ten-foot (10') wide multi-use path and landscaping consistent with the existing multi-use path and landscaping on the east side of Olde Rope Mill Park Road and north of the property. The new multi-use path shall be located within the right-of-way, adjacent to the 8.2-acre parcel where the Project is proposed.
- 6) Exterior lighting, constructed as part of the project, shall emit 0.0 footcandles of light, beginning at a point seventy-five (75') from the Eastern boundary line of the property, and less than 0.5 footcandles of light at all other boundary lines of the property.
- 7) Lighting located in the parking areas shall be LED full cut off fixtures and shall not exceed thirty feet (30') in height. Any decorative lighting fixtures shall complement the architectural design of the structure.
- 8) All pole-mounted outdoor lighting adjacent to adjacent residential property shall utilize scheduled dimmers and motion detectors to minimize light usage after regular business hours.
- 9) Seventy-five feet (75') of existing tree canopy shall remain as an undisturbed buffer on the eastern boundary line (the "Eastern Buffer"). If any of the Eastern Buffer has to be disturbed to accommodate construction, it shall be replanted in accordance with the City of Woodstock buffer requirements to establish a consistent visual screen at time of maturity.
- 10) The building shall be placed a minimum of two-hundred feet (200') from the eastern property line.
- 11) The Applicant shall install a forty-five (45') landscape strip in the front yard of the project. This landscape strip shall include willow oak plantings 40' on center, spaced to match the spacing of the KIA dealership to the north. The landscape strip shall begin at the back of the curb of Olde Rope Mill Park Road.
- 12) Owner shall erect and maintain in a conspicuous location at the driveway where trucks exit the Property to access the public right of way, an oversized traffic safety sign providing that no trucks exiting the Property may turn right to proceed north on Olde Rope Mill Park Road. The sign shall be MUTCD compliant. The final traffic safety verbiage shall be approved by the City of Woodstock City Engineer prior to erection and shall be installed prior to any certificate of occupancy being issued. This required signage shall not count toward the available allowance of signage authorized by the City of Woodstock sign code and/or the Land Development Code. The location of the signage shall be confirmed at site plan review.

- 13) Owner shall erect and maintain in a conspicuous location at the corner of Olde Rope Mill Park Road and Lorraine Parkway, an oversized traffic safety sign providing that no trucks exiting the Property may proceed east on Lorraine Parkway. The sign shall be MUTCD compliant. The final traffic safety verbiage shall be approved by the City of Woodstock City Engineer. prior to erection and shall be installed prior to any certificate of occupancy being issued. This required signage shall not count toward the available allowance of signage authorized by the City of Woodstock sign code and/or the Land Development Code. The location of the signage shall be confirmed at site plan review.
- 14) Truck traffic will not be permitted through the southern entrance to the Project, or the fire/life safety access road on the east side of the proposed building. This condition will be enforced with clear and conspicuous signage at the southern entrance to the property and both entrances to the fire/ life safety road. The fire access/life safety road shall be signed at both entrances to disallow parking or loading.
- 15) The following uses shall not be permitted as a part of the project:
- Adult Video/Novelty Shop
  - Agricultural Business-Cooperation
  - Amusement Park
  - Assembly Hall, Auditorium, Civic Center
  - Automotive Repair Facility - Major
  - Automotive Repair Facility - Minor
  - Automotive/Truck - Sales, Service, Parts, Rental
  - Automotive/Truck - Salvage, Scrap Parts
  - Bank, Financial Institution
  - Bar/Tavern
  - Billiard Parlor
  - Bed and Breakfast Inn
  - Boat Sales/Service/Repair
  - Bodywork Therapy
  - Bottled Gas/Storage/Distribution Center
  - Bottling Plant
  - Broadcast Station - With antenna
  - Car Wash
  - CBD & Tobacco Specialty Store
  - Cemetery
  - Cesspool Builder - Service
  - Check Cashing/Title Pawn/Bail Bond
  - Child/Day Care Center
  - Church, Place of Worship
  - Communication, Cellular, Microwave Tower
  - Concrete/Paving - Batch Plant
  - Consumer Fireworks Retail Sales Facility - Permanent
  - Consumer Fireworks Retail Stands - Temporary

- Contractor  
Equipment/Material  
Storage
- Cryptocurrency Mining  
Operation
- Curio/Souvenir Shop
- Drive-In Theater
- Data Center
- Electric Substation
- Family Care Facility
- Funeral Home to include  
crematory use
- Gas/Fuel Station
- Go-Cart/Motorbike Track
- Golf Facility – Public or  
Private
- Gravel, Mineral Excavation  
and Processing
- Group Care Facility
- Hotel
- Innovator Space
- Instructional Studios
- Junk, Salvage Yard
- Kennel – Commercial
- Liquor, Package Store
- Meat Processing Facility
- Mobile Home Sales
- Museum
- Pawn Shop/Precious  
Metal, Gem Dealer
- Petroleum Products –  
Storage
- Produce Stand
- Recreational Vehicle –  
Sales, Service, Parts,  
Rental
- Restaurant – Fast  
Casual/Full Service
- Restaurant – With Drive-  
Thru
- Retail Store
- Sawmill, Lumberyard
- Schools – Private
- Self-Storage, Mini  
Warehouse
- Sexually Oriented  
Businesses
- Spa Establishment
- Storage Yard
- Tattoo Parlor/Body  
Piercing
- Tire Sales/Repair Shop
- Truck Terminal
- Waste Transfer Station

16) There shall be no portion of the subject property utilized for outside storage of junk vehicles, boats, recreational vehicles, vehicle sales, vehicle service or vehicle detailing. The storage of trash, junk, or refuse on the property (outside of approved Dumpster Enclosures) is prohibited.

17) The project shall adhere to the Light Industrial standards for Maximum Noise Level Limits as defined in Sec. 30-43 of the City of Woodstock Code of Ordinances.

18) The owner of the building, regardless of the building's occupancy status, shall be responsible for:

- Maintaining cleanliness of the entire site by removing any trash, rubbish, or other debris from the premises;
- Maintaining landscaping and replacing dead or damaged plants;

- Repair or replace building elements that are damaged, dilapidated, or in disrepair
- 19) The proposed building will be constructed with 'bump-outs' on either end of the truck court to attenuate any noise leaving the loading area of the building. The bump outs should conceal trucks at the docks from an eastern viewshed, either by extending the eastern bump out to 53' in length or installing a sound barrier.
  - 20) Overnight truck idling (7:00 PM to 7:00 AM) will not be permitted.
  - 21) No trucks shall be allowed to arrive or deliveries shall occur from the hours of 10:00 PM to 6:00 AM.
  - 22) Exterior building elevations shall be substantially similar to 'Exhibit A' attached hereto. The finished materials along elevations shall be a textured concrete and not a textured paint finish. Final elevations shall be subject to the review and approval of the Development Process Committee.
  - 23) The building shall be subdivided into a minimum of four tenant spaces. The building shall not be occupied by a single tenant. Any changes to this Condition of Approval shall be subject to the approval of the Development Process Committee.
  - 24) No outdoor speakers shall be permitted on site.

### **CRITERIA FOR CONSIDERATION OF A REZONING REQUEST**

Condition Amendments are considered legislative actions that change the relevant zoning ordinance to a previously approved site. Therefore, pursuant to LDO Section 11.215.2 (Zoning Standards), no rezoning request shall be authorized (or recommended for authorization) unless City Council evaluates the following criteria:

- a) Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;

*Property along the Olde Rope Mill Park Road frontage is entirely nonresidential, with a print manufacturing facility located directly to the south, and a car dealership located to the north. The subject tract being rezoned to permit a warehouse use is suitable based on existing development patterns.*

- b) Whether the zoning proposal will adversely impact the existing use or usability of the adjacent or nearby property;

*The Applicant is utilizing a combination of natural features and site design in order to limit impact to surrounding properties. The stream buffer on the eastern portion of the site provides a natural buffer to adjacent residential properties, and the building footprint has been designed in such a way to further limit the building from*

*impacting the nearby subdivision. Photometric plans and sight line surveys submitted by the Applicant indicate that, while development will occur, no light trespass or large viewshed changes should occur. Secondly, while the eastern property is residential in nature, its underlying zoning is the same as that of the proposed project: Light Industrial with Technology Park Overlay.*

- c) Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;

*The property is currently zoned General Commercial. While GC zoned properties have available to them a larger slate of nonresidential uses, there is concern about their viability in this location set off of the Ridgewalk Parkway Corridor.*

- d) Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;

*The Applicant has submitted third party traffic analysis of the development impact of their proposed buildout. This information suggests that the development would not require infrastructure improvements to Olde Rope Mill Park Road and that uses associated with the existing zoning would have more of an impact on the existing streets and transportation networks. Lastly, with the DDI interchange coming to the Ridgewalk Parkway and I-575 interchange, the impact and potential queue times that could be caused at the Olde Rope Mill Park and Ridgewalk Parkway interchange would be further reduced.*

- e) Whether the zoning proposal is in conformity with the policy and intent of the land use plan;

*The large-scale industrial use that serves as an employment center adjacent to the interstate corridor is the intent and purpose of the Workplace Center Character Area, which the subject property is located within.*

- f) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.

*The project as conditioned by staff reduces the amount of unsavory uses that could be allowed on the site, attempts to curtail truck traffic and deliveries to limited hours, and seeks to provide noise screening that would affirm the project's validity while being adjacent to a residential use within the same zone.*

## **CITERIA FOR CONSIDERATION OF A CONDITIONAL USE PERMIT REQUEST**

Pursuant to LDO Section 7.503 (Conditional Use Permit Criteria), the City Council must consider the following criteria prior to granting the entitlement:

- a) Whether or not there will be a significant adverse effect on the surrounding area in which the proposed use will be located;

*Multiple staff conditions on the project are in place to attempt to limit adverse impacts on the surrounding area, including a limit on delivery hours, limits on truck idling and outdoor storage, and limits on exterior lighting. Additionally, there are natural features present on site remaining undisturbed by the project design that allow for an undisturbed natural buffer that is larger than the code required minimum between the adjacent residential property.*

- b) Whether or not the use is otherwise compatible with the surrounding area;

*The warehouse use as proposed is compatible with the existing uses along the Olde Rope Mill Park frontage, which is comprised of an additional light manufacturing use and a car dealership. Additionally, the underlying Technology Park zoning overlay is not intended to be altered by the Applicant as part of their rezoning request. This overlay calls for a wide array of uses and unique use mixtures that allow for adjacent residential and industrial uses like the one proposed.*

- c) Whether or not the use proposed will result in a nuisance as defined under State law;

*Multiple considerations are made for light or sound trespass in Applicant provided supplements that help detail the project design. The natural buffer between the two properties would limit sight, the proposed lighting is full cutoff and conditioned to not infringe on existing property, and the proposed building has design features meant to limit noise from carrying onto residential properties. The use as conditioned and designed would not result in a nuisance.*

- d) Whether or not quiet enjoyment of surrounding property will be adversely affected;

*While the property is undergoing development where there previously was none, the proposed changes to the area would not adversely affect the surrounding property. Conditions on the project limit nighttime activities on site, and natural features serve as a separation between the residential and nonresidential uses.*

- e) Whether or not property values of surrounding property will be adversely affected;

*There is no indication that property values of surrounding property would be adversely affected by the proposed use.*

- f) Whether or not adequate provisions are made for parking and traffic considerations;

*Based on the third party materials provided by Kimley-Horn and procured by the Applicant, the site is both adequately parked on the southside to deal with daily trips, adequately spaced on the north side to accommodate daily truck traffic, and has a traffic impact that would not require the applicant to install infrastructure improvements to Olde Rope Mill Park Drive. Warehouse uses typically produce less traffic than commercial uses of similar size, and the trip generation report of expected volume reflects this.*

- g) Whether or not the site or intensity of the use is appropriate;

*The parcel is adequately sized and buffered to allow for a light industrial use as the one proposed. The intensity, despite being lesser than many of the uses that could be accommodated by the existing General Commercial zone, are properly conditioned to limit the intensity of the use.*

- h) Whether or not special or unique conditions created by the sue are consistent with the purpose, intent, and goals of the Comprehensive Plan;

*The site is located in the Workplace Center Character Area. The Plan indicates that this type of light industrial development that serves as an employment area that is tucked away from the large commercial corridor is preferred in this area. The proposed development serves the goals of the 2023 Comprehensive Plan.*

- i) Whether or not adequate provisions are made regarding hours of operation;

*As conditioned, many of the site activities that could cause noise trespass are limited to daytime hours, including deliveries, trash pickup, and truck idling on the premises.*

- j) Whether or not adequate controls and limits are placed on commercial and business deliveries;

*As conditioned, adequate controls, signage, and limits on operating hours are considered for commercial and business deliveries.*

- k) Whether or not adequate landscape plans are incorporated to ensure appropriate transition between adjacent or nearby properties;

*The site is proposed to match the existing streetscape present along Olde Rope Mill Park Road as one approaches the KIA dealership. Conditions of approval require street tree plantings consistent with the spacing of existing road frontage layouts. Secondly, the Applicant proposes to keep the rear portion of the property natural and wooded, allowing for a transition between the nonresidential use proposed and the existing residential use to the east of the project site.*

- l) Whether or not the public health, safety, welfare, or moral concerns of the surrounding neighborhood will be adversely affected;

*There is no indication that the public health, safety, welfare, or moral concerns of the surrounding neighborhood would be adversely affected by the development. Residential development in the vicinity is on private, gated streets and the Applicant has consented to conditions that require signage to discourage truck traffic from permeating north into the park or east into the residential neighborhood.*

- m) Whether the application complies with any specific requirements set forth in this chapter for conditional use permit for particular types of uses;

*No additional development regulations are required for the use proposed.*

- n) Whether the applicant has provided sufficient information to allow a full consideration of all relevant factors;

*The Applicant has provided many supplemental attachments that allow for a full consideration of all factors relevant to the site.*

- o) Whether the conditional use requested emits or creates unusual odors which warrant use of an odor elimination/attenuation system as recommended by industry standards.

*There is no indication that the condition use requested would emit or create unusual odors associated with other industrial uses like manufacturing.*

## **CRITERIA FOR CONSIDERATION OF A VARIANCE REQUEST**

Pursuant to LDO Section 11.216.2 (Variances), no Variance shall be authorized (or recommended for authorization) unless the City Council finds that all of the following conditions exist:

- a) That special circumstances or conditions applying to the building or the land or the building and land in questions are peculiar to such a premises and do not apply generally to other lands or buildings in the vicinity;

*The commercial and industrial buildings located within the vicinity are not architecturally treated with brick façade, given either their underlying zoning or the age of the development. By requiring the building to be developed in this manner, the lot is peculiar compared to its neighboring properties.*

- b) That the granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the Applicant;

*The size, bulk, and massing of the proposed building create practical difficulties in both construction timeline and material sourcing for a building of this size when compared to brickwork.*

- c) That the conditions from which relief or variance is sought did not result from willful action by the Applicant;

*The conditions by which the Applicant is seeking relief did not result from their willful action, but rather from the development patterns around them. The site has been left undeveloped for many years while adjacent properties developed. As Ordinances were updated and architectural requirements were imbedded, a requirement that is not applicable to the nonconforming buildings in the vicinity is being applied to the new development.*

- d) That the authorizing of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger or fire, imperil the public safety, unreasonably diminish or impair establish property values within the surrounding area, or in any other respect impair the health, safety, comfort, morals, or general welfare of any inhabitants of the City.

*There is no indication that the granting of the Variance would impair light or air to adjacent properties, increase risk of fire or impair public safety, or diminish property values.*

**ATTACHMENTS**

- Attachment A: Public Hearing Application
- Attachment B: Site Plan
- Attachment C: Traffic Memorandum
- Attachment D: Sight Line Exhibit
- Attachment E: Proposed Photometric Plan
- Attachment F: Renderings and Materials
- Attachment G: Public Input



**CITY OF WOODSTOCK**  
**Application for Public Hearing**

**Important Notes:**

1. Please check all information supplied on the following pages to ensure that all spaces are filled out accurately before signing this form. This page should be the first page of your completed application package.
2. All documents required as part of the application package shall be submitted at the same time as the application. Incomplete application packages **WILL NOT BE ACCEPTED.**
3. Please contact the Planning and Zoning Division of the Community Development Department at 770-592-6050 if you have any questions regarding the application package, this application or the public hearing process.

Contact Person: Parks F. Huff Phone: (770) 422-7016  
 Email: [REDACTED]

**Applicant's Information:**

Name: Hickory Real Estate Partners, LLC  
 Address: 2100 Powers Ferry Road SE Suite 110 Phone: [REDACTED]  
 City, State, Zip: Atlanta, GA 30339 Email: [REDACTED]

**Property Owner's Information:**  same as above Please attach a list if multiple property owners  
 Name: AKB Investments, LLC and TVK Investments, LLC (see attached authorizations)

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_ Email: \_\_\_\_\_

**Requested Public Hearing (check all that apply):**

- |  |  |
|--|--|
| <input type="checkbox"/> Annexation          | <input checked="" type="checkbox"/> Conditional Use Permit |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Comprehensive Plan Amendment      |
| <input type="checkbox"/> Condition Amendment | <input type="checkbox"/> Other: _____                      |
| <input checked="" type="checkbox"/> Variance | _____  |

<b>STAFF USE ONLY:</b>	<b>PUBLIC HEARING SCHEDULE:</b>
Case: <u>Z # 170 - 26</u>	Pre-Application Meeting: _____
Received by: _____	Public Input Meeting: _____
Date Received: _____	DPC Meeting: <u>April 1, 2026 @ 11:00 am</u>
Fee Paid: \$ _____	Planning Commission: <u>May 7, 2026</u>
Date Accepted: <u>March 13, 2026</u>	City Council: <u>May 18, 2026</u>



**ATTACHMENT A2**

**Property Information:**

Location: 125 Lorraine Parkway; subject property is bisected by Olde Rope Mill Park Rd

Parcel Identification Number(s) (PIN): 15-0805-0002 Total Acreage: 24.61\*

**Property Information:**

\*Area to be disturbed is referred to as Tract 1 on the attached survey and legal description containing 8.2± acres

Location: 125 Lorraine Parkway; subject property is bisected by Olde Rope Mill Park Rd

Current Zoning: General Commercial; Technology Park Overlay Total Acreage: 24.61\*

Tax Map #: 15 N 10 Parcel #: 015 Future Development Map Designation: Workplace Center

Adjacent Zonings: North GC and Rural District GC South GC & LI East LI West N/A (I-575)

**Applicant's Request (Itemize the Proposal, including code sections for Variance requests):**

Applicant proposes to rezone the subject property from GC to LI and is requesting variances to reduce the front setback and to allow tilt wall (non-brick) (LDO Article VII §7.890.5)  
as well as applying for a Conditional Use Permit for Warehouse/Distribution (LDO Article V §7.505.)

**Proposed Use(s) of Property:**

Warehouse (storage and distribution); potential tenants, uses and internal space allocations will be determined by future market conditions

**Infrastructure Information: \*If connecting to new/existing Water/Sewer is required, please fill out and submit the attached Water/Sewer Availability Inquiry.\***

Is water available to this site?  Yes  No Jurisdiction: CCWSA (Water/Sewer Availability request attached)

**How is sewage from this site to be managed?**

CCWSA (Water/Sewer Availability request attached); also see CCWSA availability letter attached

Will this proposal result in an increase in school enrollment?  Yes  No

If yes, what is the projected increase? N/A students

Proposed Use(s)	# of units	Multiplier	Number of Students
Single Family (Detached) Home		0.725	
Multi Family (Attached) Home		0.287	

**ATTACHMENT A3**

**Traffic Generation:**

If a traffic study is not required as part of this application, complete the following charts to estimate traffic generated by the proposal. Information for additional residential and all commercial/industrial development shall follow the summary of ITE Trip Generation Rates published in the Transportation Planning Handbook by the Institute of Transportation Engineers\*.

What is the estimated number of trips generated? \_\_\_\_\_ trips

Code	Land Use(s)	# of units*	Daily Trip Ends	Number of Trips
210	Single Family Home/ Townhome		9.57	
220	Apartment		6.63	
<ul style="list-style-type: none"> <li>A unit for residential purposes is equal to one residential unit. For commercial/industrial uses it is defined in the ITE table, but most often is equal to 1,000 square feet of floor area for the use specified.</li> </ul>				

\*See attached traffic study memo from Kimley-Horn

**Authorization:**

Upon acceptance of the completed application package, the Community Development Department will notify the applicant of scheduled date, times, and locations of the public meetings/hearings. The applicant or a representative must be present to answer any questions that may be asked. In the event that an application is not complete, the case may be delayed or postponed at the discretion of the department.

This form is to be executed under oath. I, TJ Costen for Hickory Real Estate Partners, LLC, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Application for Public Hearing is true and correct and contains no misleading information.

This 4th day of March, 2026.

Print Name TJ Costen for Hickory Real Estate Partners, LLC

Applicant Signature [Signature]

**Consent to publish copyrighted documents on the City of Woodstock website:**

If any of the documents submitted with this application are copyrighted, I hereby attest that I am the owner of this copyright and give my consent to allow these documents to be published on the City of Woodstock website ([www.woodstockga.gov](http://www.woodstockga.gov)) for public access and for inclusion in all agenda materials published by the City of Woodstock.

This \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

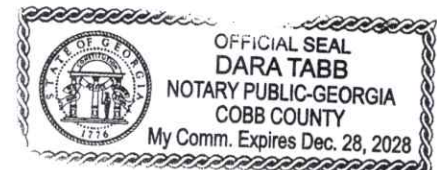
Copyright Owner Print Name TJ Costen for Hickory Real Estate Partners, LLC

Copyright Owner Signature \_\_\_\_\_

Sworn to and Subscribed before me this: 4th day of March, 2026.

Notary Signature: [Signature]

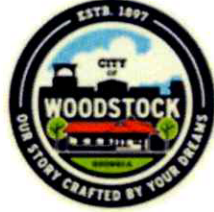
(Notary Seal)



City of Woodstock  
Attn: Utility Billing  
12453 HWY 92  
Woodstock, GA 30188

770-592-6006

[h2o@woodstockga.gov](mailto:h2o@woodstockga.gov)  
Mon-Fri 8AM-5PM



### Water and/or Sewer Availability by Site Inquiry

Service Type of Interest (Water,Sewer,Both): Both

Service Location (Address,Parcel #s): 125 Lorraine Parkway; 15-0805-0002

Type/Size/Configuration of Development Contemplated: Office/Warehouse (Light Industrial) Facility

Entity or Firm Name & Address: Hickory Real Estate Partners, LLC 2100 Powers Ferry Rd. SE Ste. 110 Atlanta, GA 30339

Contact Name Email & Cell #: Chase Westfall [REDACTED]

*Inquiring party understands that information received in this process is based upon "best available information at this time" and is subject to change. Inquiring party agrees to communicate only with the designated Single Point-of-Contact or with personnel designated by that Single Point-of-Contact.*

Date: 03/04/26

Signature: [Signature]

TJ Costen for Hickory Real Estate Partners, LLC

#### Official Contact Information

Your official single point-of-contact for this inquiry is:

**Jeremy Parker – Public Works Director**  
[jparker@woodstockga.gov](mailto:jparker@woodstockga.gov)  
770-592-6000 X1710

# Cherokee County Water & Sewerage Authority

November 19, 2025

RE: Water & Sewerage Availability (Tax Map 15N10, Parcel 015)

To Whom It May Concern:

Please be advised that Cherokee County Water & Sewerage Authority presently has a 10" water main on the East side of Olde Rope Mill Road West of the subject property. Also, there is a 10" water main on the North side of Lorraine Parkway South of the subject property.

Sewer is available on the subject property. The acquisitions of easements to manholes or lift stations will be the responsibility of the developer.

The capacity for Rose Creek Wastewater Treatment Facility is 6.0 MGD and the Authority is presently treating 3.5 MGD. The Fitzgerald Creek Treatment Facility is 11.5 MGD and the Authority is presently treating 5.0 MGD.

There is presently no moratorium for water or sewer connections on the Authority System. Sewer connections are available on first pay, first serve basis. However, plans for any development must be submitted and approved by the Authority prior to any water or sewer connection application being accepted for processing. Also, existing infrastructure, size and location, must be verified by developer/engineer/contractor prior to submittal to Cherokee County Water and Sewerage Authority.

If you have any questions, please don't hesitate to call me.

Sincerely,



Bradley M. Payne  
Construction Office Supervisor

CC: Garry Hensley  
Jody Henson  
Keith Allen  
Jeff Hooper

## Application Package Checklist

You must include this checklist with your application package. All items must be submitted and checked off this list or your application will not be accepted.

### Forms

- Application for Public Hearing Summary (Pg. 1,2, &3)
- Applicant Response Statement (Pg. 5, 6, &7) (Submit one response page for EACH request)
- Conflict of Interest Certification (Pg. 8)
- Disclosure Statement (Pg. 9)
- Authorization of Property Owner (Pg. 10) (One form for EACH property owner)
- Property Tax Verification (Pg. 11)
- Corporate Authorization Form (Pg. 12) (if you are an attorney or representative signing on behalf of applicant)
- Fee Calculator (Pg. 13) (Payment is due at the time of application acceptance)

### Documents to be attached

- Vesting Deed(s) (For EACH property. Can be obtained from the Cherokee Co. Deeds & Records Office)
- Legal Description(s) (For EACH property, often found on the vesting deed)
- Boundary Survey
- Site Plan (One 24x36 and one 11x17 copy)
- Location Map (Shows surrounding lot pattern and street network with subject property identified)
- Annexation area map (For annexation applications only, with pertinent distances identified)
- Property Owner's Tax Receipt (Can be obtained from the Cherokee Co. Tax Commissioner)
- Existing Site Resources Map (See application instructions for more info)
- Future Development Map and Zoning Map with location identified (Can be found on the GIS mapping portal page at [woodstockga.gov](http://woodstockga.gov))
- Traffic Study (required for residential development exceeding 200 dwelling units and non-residential developments exceeding 25,000 square feet only)
- Public Input Plan (use the template in the public input policy packet)
- Public Input meeting notice letter (use the template in the public input policy packet) (Letter will be approved upon application acceptance)

If any item listed on this checklist does not apply to you, provide explanation below:

**APPLICANT RESPONSE STATEMENT**

**ANNEXATIONS AND REZONINGS**

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to an annexation and/or rezoning, please respond to the following standards in the form of a written narrative:

1. Explain the intent of the requested zoning.

The applicant proposes to rezone the Subject Property from GC to LI for a 92,000 sf office/warehouse (light industrial) facility.

2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The Subject Property and proposed building include an existing manufacturing building of similar size and use.

3. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.

The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby property.

4. Whether the property to be affected by a proposed zoning has a reasonable economic use as currently zoned.

The existing manufacturing facility as well as the undeveloped portion of the Subject Property, specifically Tracts One and Three as depicted on the filed survey, has no reasonable economic use as currently zoned.

5. Whether the proposed zoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

The proposed development will not create an excessive or burdensome use of streets and other infrastructure. See the attached *Trip Generation and Traffic Engineering Opinion Memorandum* dated March 5, 2026 compiled by Kimley-Horn. The proposed use is less intense than other allowed uses under the proposed Light Industrial zoning and Technology Park Overlay.

6. Whether the proposed zoning is in conformity with the policy and interest of the land use

## ATTACHMENT A8

plan.

The property is designated as Workplace Center in the Comprehensive Plan. The proposal is consistent with this designation.

7. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approved or disapproval of the proposed zoning.

The property and the Technology Parkway area remain undeveloped. This is an opportunity for the City to allow an economically viable development to attract jobs and businesses to an underused area of the City of Woodstock.

**APPLICANT RESPONSE STATEMENT  
7.602-Buffer requirements)**

**VARIANCES (Chapter VII, Article VI, Sec.**

The applicant finds that the following standards are relevant in balancing the interest in promoting public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a variance, please respond to the following standards in the form of a written narrative. In the case of concurrent variances, a response to the standards below should be provided for each variance requested.

1. Explain requested variance.

The Applicant, Hickory Real Estate Partners, LLC, is requesting a variance from the City of Woodstock Land Development Code Chapter VII, Article VI, Sec. 7.620 to reduce the required minimum buffer from 50 feet to 40 feet.

2. There are exceptional and extraordinary conditions pertaining to the particular piece of property in question, due to its size, shape or topography.

The subject property is similar in size, shape, and topography to the adjacent Kirk-Rudy building to the south. The Subject Property's topography is challenging as it contains riparian buffer(s) on the east side of the parcel.

3. The application of these regulations to this particular piece of property would create a practical difficulty or unnecessary hardship.

As depicted on the filed site plan, the Applicant is proposing to construct an 92,000 sf industrial building on the property. Applying these regulations to this particular piece of property would create a practical difficulty and unnecessary hardship.

4. Such conditions are peculiar to the particular piece of property involved.

The conditions that create the need for this variance are peculiar to this property. The Subject Property is challenging to develop because of stream buffer on the east side of the property and pre-existing topographical challenges.

5. A literal interpretation of this ordinance would deprive the applicants of any rights that others in the same district are allowed.

The Applicant is applying to rezone the Subject Property from GC to LI. The Subject Property's current zoning, GC, allows for buildings of similar size and similar variances

## ATTACHMENT A10

have been granted in similar situations. The use of the proposed building is consistent with Light Industrial operations.

6. Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of this ordinance.

The variance would not be contrary to the public good, nor impair the purposes and intent of the ordinance.

7. Special circumstances or conditions applying to the building or land or building and land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity.

The conditions for this request are peculiar to this situation and do not apply to other land or buildings in the vicinity.

8. Granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant.

Granting the variance will allow the development of light industrial buildings and uses within the existing Technology Parkway overlay. Developments, such as proposed by the Applicant, attract jobs to an underutilized area of the City within the allowable uses under the proposed zoning.

9. The condition from which relief or a variance is sought did not result from willful action by the applicant.

The Subject Property is located in the Technology Park Overlay District. The Subject Property is located in the Technology Park Overlay District. The riparian streams and steep topography did not result from willful action by the applicant.

10. Authorizing the variance will not impair adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding areas or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City.

Approval of the variance will not create a hazard, be detrimental to surrounding property values nor be contrary to the general welfare of the citizens of Woodstock.

**APPLICANT RESPONSE STATEMENT  
7.890-Architectural Standards)**

**VARIANCES (Chapter VII, Article VIII, Sec.**

The applicant finds that the following standards are relevant in balancing the interest in promoting public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a variance, please respond to the following standards in the form of a written narrative. In the case of concurrent variances, a response to the standards below should be provided for each variance requested.

1. Explain requested variance.

The Applicant, Hickory Real Estate Partners, LLC, is requesting a variance from the City of Woodstock Land Development Code Chapter VII, Article VIII, Sec. 7.890 to eliminate the architectural requirement for three exterior sides to be faced with brick.

2. There are exceptional and extraordinary conditions pertaining to the particular piece of property in question, due to its size, shape or topography.

The subject property is similar in size, shape, and topography to the adjacent Kirk-Rudy building to the south. The Subject Property's topography is challenging as it contains steep topography and riparian buffer(s) on the east side of the parcel.

3. The application of these regulations to this particular piece of property would create a practical difficulty or unnecessary hardship.

As depicted on the filed site plan, the Applicant is proposing to construct an 92,000 sf industrial building on the property. Applying these regulations to this particular piece of property would create a practical difficulty and unnecessary hardship. The proposed architectural finishes are consistent with the Kirk-Rudy building's façade on the adjacent property to the south.

4. Such conditions are peculiar to the particular piece of property involved.

The conditions that create the need for this variance are peculiar to this property. The Applicant's proposal to use an alternative façade is consistent with buildings of similar uses in the area.

5. A literal interpretation of this ordinance would deprive the applicants of any rights that others in the same district are allowed.

## ATTACHMENT A12

The Applicant is applying to rezone the Subject Property from GC to LI. The Subject Property's current zoning, GC, allows for buildings of similar size and similar variances have been granted in similar situations. The use of the proposed building and tilt wall construction are consistent with Light Industrial operations.

6. Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of this ordinance.

The variance would not be contrary to the public good, nor impair the purposes and intent of the ordinance.

7. Special circumstances or conditions applying to the building or land or building and land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity.

The conditions for this request are peculiar to this situation and do not apply to other land or buildings in the vicinity.

8. Granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant.

Granting the variance will allow the development of light industrial buildings and uses within the existing Technology Parkway overlay. Developments, such as proposed by the Applicant, attract jobs to an underutilized area of the City within the allowable uses under the proposed zoning.

9. The condition from which relief or a variance is sought did not result from willful action by the applicant.

The Subject Property is located in the Technology Park Overlay District. The riparian streams and steep topography did not result from willful action by the applicant.

10. Authorizing the variance will not impair adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding areas or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City.

Approval of the variance will not create a hazard, be detrimental to surrounding property values nor be contrary to the general welfare of the citizens of Woodstock.

**APPLICANT RESPONSE STATEMENT      CONDITIONAL USE PERMITS Section 7.505**

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a conditional use permit, please respond to the following standards in the form of a written narrative:

1. Explain requested conditional use permit.

The applicant, Hickory Real Estate Partners, LLC, is requesting a Conditional Use Permit (CUP) pursuant to the City of Woodstock's Land Development Code 7.502 to allow warehouse/distribution use in the LI zoning district. The Subject Property currently consists of one 24.639 acre parcel (15N10 15). The Applicant proposes to subdivide the property and build an 92,000± warehouse on 8.2 acres as depicted on the proposed site plan. The Applicant intends to lease the building to multiple tenants consisting of 20,000 to 30,000 sf suites.

2. Whether or not there will be significant adverse effect on the surrounding area in which the proposed use will be located.

There will not be significant adverse effect on the surrounding area in which the proposed use will be located. The Property is adjoined by properties to the south with active commercial and industrial uses. The Applicant's proposed use and requested variances will not create any adverse impacts, particularly any negative effects from the uses' commercial manner or hours of operation.

3. Whether or not the use is otherwise compatible with the surrounding area.

The use is compatible with the surrounding area. The property to the south is home to Kirk-Rudy, a manufacturer of printing equipment. The property to the North is the home of Carriage Kia of Woodstock and to the east by the Glenhaven at Ridgewalk subdivision.

"The Technology Park Overlay District calls for: a combination of light industrial, technology oriented commercial, office uses, and a mixture of low, medium and high density residential uses..." (LDO Ch. VII, Art. VIII § 7.83.2).

4. Whether or not the use proposed will result in a nuisance as defined under state law.

The use proposed will not result in a nuisance as defined under state law.

5. Whether or not quiet enjoyment of surrounding property will be adversely effected.

The quiet enjoyment of surrounding property owners will not be adversely affected. The

## ATTACHMENT A14

Applicant will make efforts to mitigate any impact upon contiguous property owners by complying with Woodstock's landscaping, buffer and setback requirements. The Applicant will implement Best Management Practices during land disturbing activities to minimize excessive soil erosion and sedimentation.

6. Whether or not property values of surrounding property will be adversely effected.

The Applicant's proposal will not adversely affect the values of surrounding properties.

7. Whether or not adequate provisions are made for parking and traffic considerations.

As depicted in the submitted site plan, the Applicant is proposing 96 (ninety-six) parking spaces for employees and visitors.

8. Whether or not the site or intensity of the use is appropriate.

The Applicant's proposed use is suitable in view of the use and development of adjacent and nearby properties. Development in the Technology Parkway Overlay area has been stagnant over the years and the proposed development is adjacent to an existing industrial use.

9. Whether or not special or unique conditions created by the use are consistent with the purpose, intent and goals of the Comprehensive Town Plan.

The Applicant's proposal complies with the intent of the City of Woodstock's Comprehensive Plan (updated on October 23, 2023) by providing a use consistent with the industrial and manufacturing uses north of Ridgewalk Parkway. The subject property is currently zoned GC and within the Workplace Center of the Comprehensive Plan and the Future Development Map.

10. Whether or not adequate provisions are made regarding hours of operation.

The proposed use and requested variances will not create any adverse impacts, particularly any negative effects from the Light Industrial manner or hours of operation.

11. Whether or not adequate controls and limits are placed on commercial and business deliveries.

Deliveries to the proposed warehouse will be commensurate with delivery schedules of other comparable light industrial businesses. Please see the attached traffic Trip Generation Memorandum.

12. Whether or not adequate landscape plans are incorporated to ensure appropriate transition between adjacent or nearby properties.

## ATTACHMENT A15

The Applicant will comply with the Land Development Code of the City of Woodstock regarding buffers, setbacks and landscaping to ensure appropriate transition between adjacent or nearby properties.

13. Whether or not the public health, safety, welfare or moral concerns of the surrounding neighborhood will be adversely affected.

The proposal will not adversely affect the public health, safety, welfare, or moral concerns of the surrounding neighborhood. The proposal is consistent with the City of Woodstock's Comprehensive Plan (updated on October 23, 2023). In addition, the development will be attractively landscaped and will comply with the City of Woodstock's stormwater, landscaping, buffer and setback requirements.

14. Whether the application complies with any applicable specific requirements set forth in this chapter for conditional use permits for particular types of uses.

The Application complies with all applicable specific requirements for a Conditional Use Permit to allow warehouse/distribution uses.

15. Whether the applicant has provided sufficient information to allow full consideration of all relevant factors.

The Application and attachments comply with all specific requirements for a Conditional Use Permit. Should the Community Development Staff, Planning Commission, Mayor or members of the City Council have any questions or concerns regarding this Application, the Applicant remains open to dialogue regarding this proposal.


16. Whether the conditional use requested emits or creates unusual odors which would warrant use of an odor elimination/attenuation system as recommended by industry standards.

The conditional use requested will not emit or create unusual odors which would warrant use of an odor elimination/attenuation system as recommended by industry standards.

17.

**CONFLICT OF INTEREST CERTIFICATION**

The undersigned below, making application for a zone change has complied with the O.C.G.A. § 36-67A, et. Seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided. Title 36 relates to disclosure of financial interests, campaign contributions, and penalties for violating O.C.G.A.

Signature of Applicant:  Date: 03/04/26

Print Name: TJ Costen for Hickory Real Estate Partners, LLC

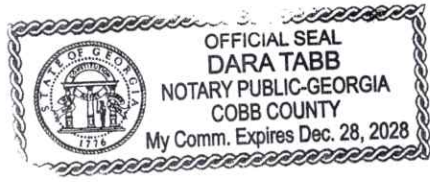
Signature of Applicant's Attorney: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: See separate signature page Title: \_\_\_\_\_

Sworn to and Subscribed before me this: 4<sup>th</sup> day of March, 2026.

Notary Signature: 

(Notary Seal)



ATTACHMENT A17

DISCLOSURE STATEMENT

Nothing in Chapter 36 of OCGA shall be construed to prohibit a local government official from voting on a zoning decision when the local government is adopting a zoning ordinance for the first time or when a local government is voting upon a revision of the zoning ordinance initiated by the local government pursuant to a comprehensive plan as defined in Chapter 70 of this title.

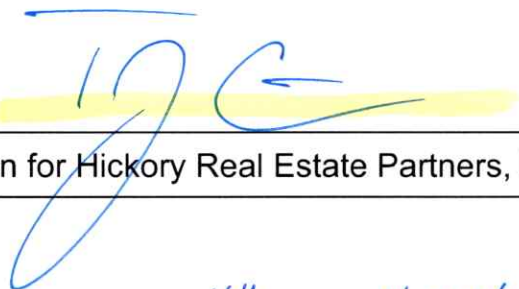
No, I have not made any campaign contribution to City Officials voting on this application exceeding \$250 in the past two years.

Yes, I have made campaign contributions to City Officials voting on this application exceeding \$250 in the past two years.

To Whom: \_\_\_\_\_

Value of Contribution: \_\_\_\_\_

Date of Contribution: \_\_\_\_\_

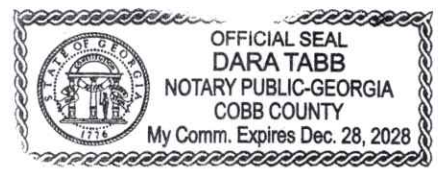
Signature of Applicant:  Date: 03/04/26

Print Name: TJ Costen for Hickory Real Estate Partners, LLC

Sworn to and Subscribed before me this: 4<sup>th</sup> day of March, 2026.

Notary Signature: 

(Notary Seal)



AUTHORIZATION OF PROPERTY OWNER

I, Andrea K. Blaesing, being duly sworn upon his/her oath, being of sound mind and legal age deposes and states; That he/she is the owner of the property which is subject matter of the attached application, as is shown in the records of Cherokee County/City of Woodstock, Georgia.

He/She authorizes the person named below to act as applicant in the pursuit of a request for:

- Annexation
- Rezoning
- Variance
- Conditional Use Permit
- Comprehensive Plan Amendment
- Other: \_\_\_\_\_

I hereby authorize the City of Woodstock staff, Mayor & City Council, and Planning Commission to inspect the premises which are subject of the application.

Applicant's Information:

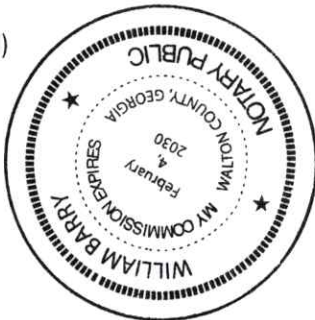
Name: Hickory Real Estate Partners, LLC  
 Address: 2100 Powers Ferry Road SE Suite 110 Phone: (404) 458-8295  
 City, State, Zip: Atlanta, GA 30339 Fax: \_\_\_\_\_

Signature of Owner: Andrea K. Blaesing Date: 3/3/26  
 Print Name: Andrea K. Blaesing for AKB Investments, LLC

Sworn to and Subscribed before me this: 3rd day of March, 2026.

Notary Signature: Will Perry

(Notary Seal)



ATTACHMENT A19

**CERTIFICATE REGARDING CORPORATE AUTHORITY TO  
PURSUE PUBLIC HEARING**

1.

My name is Andrea K. Blaesing. I am the officer to whom the operating agreement has delegated the responsibility for authenticating records of the Titleholder, **AKB Investments, LLC, a Georgia Limited Liability Company** ("Titleholder"). I am of legal age and suffer from no disabilities which would affect my competence to give this Certificate which is being given on my own personal knowledge for use with respect to the Public Hearing Application regarding certain real property owned by the Titleholder located in the City of Woodstock, Georgia.

2.

In accordance with the requirements for completing a Public Hearing Application, I hereby attest on behalf of the Titleholder that I have reviewed the application and related documents which are being filed simultaneously therewith on behalf of the Applicant (collectively, the "Application") to which this Certificate is attached and hereby certify:

- (a) That the officer or other representative of the Titleholder who executed the Application does in fact occupy the official position indicated, that the position that the signer occupies has the authority to execute the Application on behalf of the Titleholder, and that the signature of said officer or other representative is genuine; and
- (b) That the execution of the Variance Application and the filing of the Application on behalf of the Applicant by the officer or other representative of the Applicant has been duly authorized by the Titleholder.

*(signature appears on following page)*

**AKB Investments, LLC, a Georgia Limited Liability Company**

By: Andrea K. Blaesing

Printed Name: Andrea K. Blaesing, Member

Date: 3/3/26

Will Barry  
Signature of Notary Public

3/3/2026  
Date

Notary Seal



**AUTHORIZATION OF PROPERTY OWNER**

I, Christine S. Kirk, being duly sworn upon his/her oath, being of sound mind and legal age deposes and states; That he/she is the owner of the property which is subject matter of the attached application, as is shown in the records of Cherokee County/City of Woodstock, Georgia.

He/She authorizes the person named below to act as applicant in the pursuit of a request for:

- |  |  |
|--|--|
| <input type="checkbox"/> Annexation          | <input checked="" type="checkbox"/> Conditional Use Permit |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Comprehensive Plan Amendment      |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Other: _____                      |

I hereby authorize the City of Woodstock staff, Mayor & City Council, and Planning Commission to inspect the premises which are subject of the application.

Applicant's Information:

Name: Hickory Real Estate Partners, LLC

Address: 2100 Powers Ferry Road SE Suite 110 Phone: [REDACTED]

City, State, Zip: Atlanta, GA 30339 Fax: \_\_\_\_\_

Signature of Owner: *Christine S. Kirk* Date: 3/4/2026

Print Name: Christine S. Kirk for TVK Investments, LLC

Sworn to and Subscribed before me this: 4<sup>th</sup> day of MARCH, 20 26.

Notary Signature: *J. C. Champion*



**ATTACHMENT A22**  
**CERTIFICATE REGARDING CORPORATE AUTHORITY TO**  
**PURSUE PUBLIC HEARING**

1.

My name is Christine S. Kirk. I am the officer to whom the operating agreement has delegated the responsibility for authenticating records of the Titleholder, **TVK Investments, LLC**, a **Georgia Limited Liability Company** ("Titleholder"). I am of legal age and suffer from no disabilities which would affect my competence to give this Certificate which is being given on my own personal knowledge for use with respect to the Public Hearing Application regarding certain real property owned by the Titleholder located in the City of Woodstock, Georgia.

2.

In accordance with the requirements for completing a Public Hearing Application, I hereby attest on behalf of the Titleholder that I have reviewed the application and related documents which are being filed simultaneously therewith on behalf of the Applicant (collectively, the "Application") to which this Certificate is attached and hereby certify:

- (a) That the officer or other representative of the Titleholder who executed the Application does in fact occupy the official position indicated, that the position that the signer occupies has the authority to execute the Application on behalf of the Titleholder, and that the signature of said officer or other representative is genuine; and
- (b) That the execution of the Variance Application and the filing of the Application on behalf of the Applicant by the officer or other representative of the Applicant has been duly authorized by the Titleholder.

*(signature appears on following page)*

TVK Investments, LLC, a Georgia Limited Liability Company

By: Christine S. Kirk

Printed Name: Christine S. Kirk, Member

Date: 3/4/2020

Jason C. Champion  
Signature of Notary Public

3/4/2020  
Date



ATTACHMENT A24

PROPERTY TAX VERIFICATION

The undersigned below is authorized to make this application. The undersigned certifies that all City Taxes/ Cherokee County property taxes, billed to date for the parcel listed below have been paid in full the Tax Official of the City of Woodstock, Georgia. In no case shall an application or reapplication for rezoning be processed without such property verification.

\*Note: A separate verification form must be completed for each tax parcel included in rezoning request.

Tax Map #: 15 N 10 Parcel #: 015

Signature of Applicant:  Date: 03/04/26

Print Name: T.J. Costen, Manager, Hickory Real Estate Partners, LLC

**TAX OFFICIAL USE ONLY:**

Payment of all property taxes billed to date for the above referenced parcel have been verified as paid current and confirmed by the signature below.

Signature of Tax Official: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

CORPORATE AUTHORIZATION FORM

My name is TJ Costen (hereinafter "Representative"). I am the Representative for Hickory Real Estate Partners, LLC (the "Applicant Company") retained to handle the Public Hearing Application for the City of Woodstock for the property located 125 Lorraine Parkway. I am of legal age and suffer from no disabilities which would affect my competence to give this Certificate which is being given on my own personal knowledge for use with respect to the Applicant Company's Application to request variances pertaining to certain real property located in the City of Woodstock, Georgia.

In accordance with the requirements for completing a City of Woodstock Application for Public Hearing, I hereby attest that I have reviewed the Public Hearing application and related documents which are being filed simultaneously therewith on behalf of the Applicant Company (collectively, the "Public Hearing Application") to which this Certificate is attached and hereby certify:

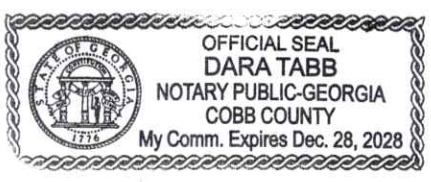
- (a) That the signature affixed to the Public Hearing Application is in fact the seal of the Representative or a true facsimile thereof; and
- (b) That the Representative who executed the Public Hearing Application does in fact occupy the role indicated, that the role that the signer occupies has the authority to execute the Public Hearing Application on behalf of the Applicant Company, and that the signature of said Representative is genuine; and
- (c) That the execution of the Public Hearing Application and the filing of the Public Hearing Application by the Representative is with the express permission of the Applicant Company.
- (d) I designate Parks F. Huff and the law firm of Sams, Larkin & Huff, LLP to serve as my/our representative in this application.

Signature of Applicant:   
TJ Costen for Hickory Real Estate Partners, LLC

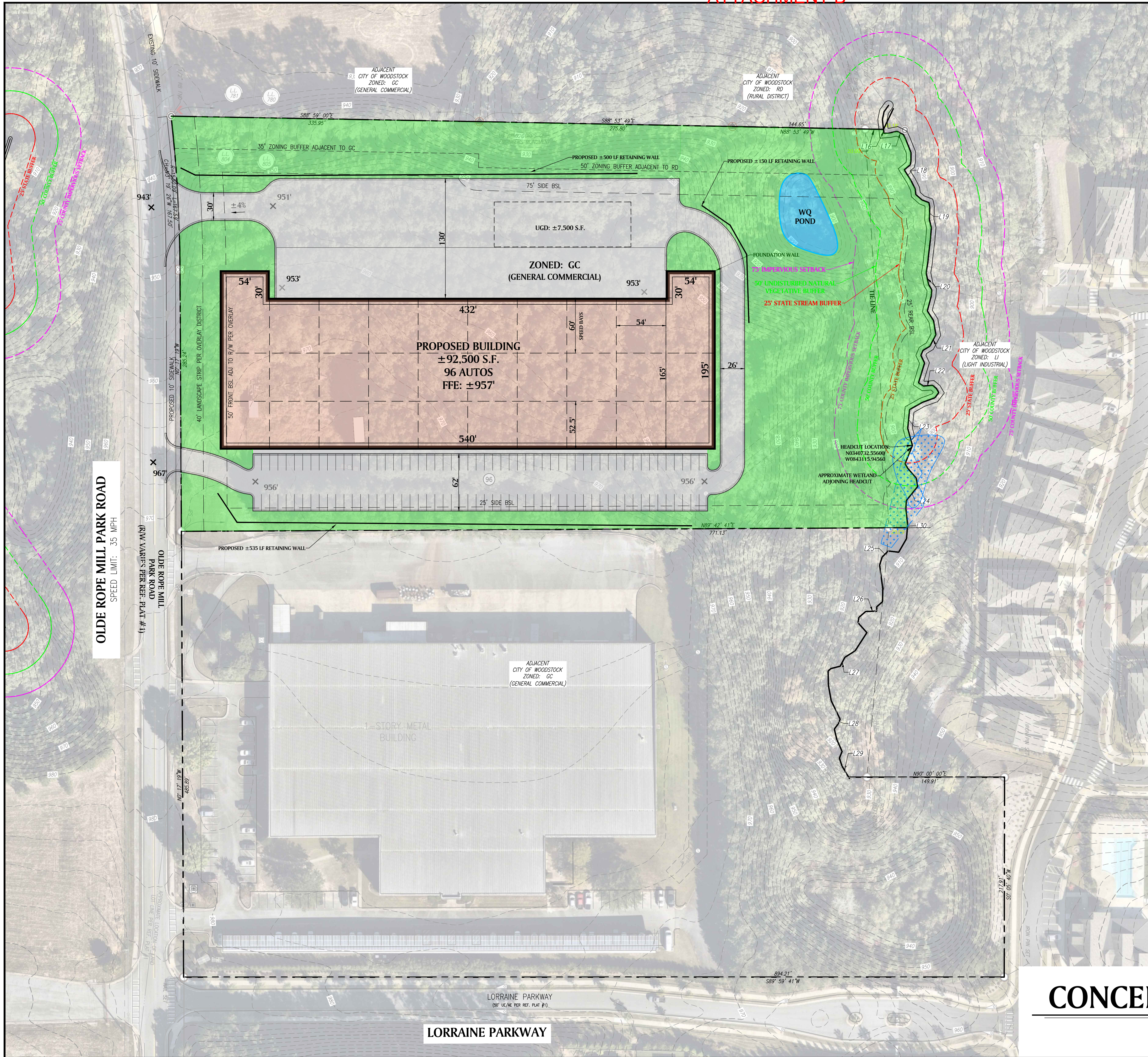
Notary Signature: 

Sworn and subscribed before me this 4<sup>th</sup> day of March, 2026.

(Notary Seal)







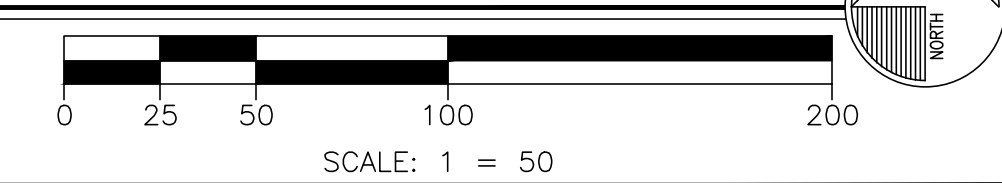
VICINITY MAP  
SCALE: NTS

SITE ANALYSIS	
BUILDING A:	±92,500 S.F.
AUTO SPACES:	96 SPACES
TOTAL BUILDING AREA:	±92,500 S.F.
TOTAL SITE AREA:	±8.20 ACRES

**EARTHWORK CALCULATIONS:**  
 Cut volume (adjusted) 26,872.23 Cu. Yd.  
 Fill volume (adjusted) 26,841.20 Cu. Yd.  
 Net volume (adjusted) 31.03 Cu. Yd. <Cut>

**PRELIMINARY SITE PLAN DISCLAIMER:**  
 SITE PLAN IS BASED ON CLIENT PROVIDED INFORMATION POSSIBLY INCLUDING BUT NOT LIMITED TO THE FOLLOWING: TAX MAPS, USGS MAPS, GIS INFORMATION, SCANNED/DIGITAL BOUNDARY SURVEY, SCANNED/DIGITAL TOPOGRAPHICAL SURVEY, SCANNED/DIGITAL AS-BUILT PLAN, SCANNED/DIGITAL ALTA SURVEY, AND/OR PREVIOUS CONSTRUCTION PLANS BY PM/Others. ALL ZONING INFORMATION SHOWN IN THE TITLEBLOCK TO THE RIGHT HAS BEEN RESEARCHED BUT NOT VERIFIED WITH THE JURISDICTION.  
 SITE PLAN BOUNDARY AND EXISTING CONDITIONS ARE ONLY AS ACCURATE AS THE INFORMATION PROVIDED.

# CONCEPTUAL SITE PLAN



**PAULSON-MITCHELL-WISE**  
 CIVIL ENGINEERS & PLANNERS  
 INFO@CIVILPMW.COM  
 770.650.7685  
 CIVILPMW.COM  
 85-A MILL STREET  
 SUITE 200  
 ROSWELL, GA 30075

PROJECT:  
**OLDE ROPE MILL PARK ROAD INDUSTRIAL**  
 OLDE ROPE MILL PARK ROAD & 125 LORRAINE PARKWAY  
 CITY OF WOODSTOCK, CHEROKEE COUNTY, GEORGIA

FOR:  
**HICKORY**  
 Real Estate Partners  
 2100 POWERS FERRY ROAD SE, SUITE 110  
 ATLANTA, GEORGIA 30339

JURISDICTION: CITY OF WOODSTOCK  
 EX. ZONING: GC (GENERAL COMMERCIAL)  
 OVERLAY DISTRICT: TECHNOLOGY PARK OVERLAY  
 PR. ZONING: LI (LIGHT INDUSTRIAL)

FRONT: 50' ADJ TO R/W (PER OVERLAY)  
 MAJOR SIDE: 25' FROM ZONING BUFFER  
 MINOR SIDE: 25'  
 REAR: 25'

LANDSCAPE STRIP: 40' FRONT PER OVERLAY  
 ZONING BUFFER: GC: 35' | RD: 50'  
 STATE STREAM BUFFER: 25'  
 COUNTY STREAM BUFFER: 50' (UNDISTURBED)  
 CITY STREAM BUFFER: 75' (IMPERVIOUS)

PARKING REQ.: 0.5 PER 1,000 SF OF WAREHOUSE SPACE + 3.0 PER 1,000 SF OF OFFICE  
 STALL: 9' x 18'  
 LANDSCAPE ISLAND SPACING: 1 PER 8 SPACES

MAXIMUM IMPERVIOUS ALLOWED: 70%  
 MAXIMUM BUILDING COVERAGE: 70%

FLOOD PLAIN PRESENT (NO): FEMA/CHEROKEE GIS  
 STREAMS PRESENT (NO): FEMA/CHEROKEE GIS  
 WETLANDS PRESENT (NO): CHEROKEE GIS  
 TOPOGRAPHY DATA: NOAA | CHEROKEE GIS  
 03.31.2026

CONCEPTUAL SITE PLAN

SHEET **CP-11**



## MEMORANDUM

To: Mr. Chase Westfall, *Hickory Real Estate Partners, LLC*

From: Winnie Gobbel, P.E., PTOE, *Kimley-Horn and Associates*  
John D. Walker, P.E., PTOE, *Kimley-Horn and Associates*

Date: March 5, 2026

RE: *Olde Rope Mill Park Road Industrial – Trip Generation and Traffic Engineering Opinion Memorandum*  
*City of Woodstock, Cherokee County, Georgia*

---

Kimley-Horn is pleased to provide this memorandum evaluating and comparing various trip generation uses for the *Olde Rope Mill Park Road Industrial* site located along Olde Rope Mill Park Road, north of Ridgewalk Parkway in the City of Woodstock, Georgia. While no traffic count data was collected, this memo does provide our traffic engineering opinion on trip generation, site access, and possible offsite improvements given other currently available traffic information.

### PROJECT OVERVIEW

As currently envisioned, a new development is proposed on the east side of Olde Rope Mill Park Road. The development proposes constructing 92,000 SF of light industrial space. This space will consist of one building. Access to the site is provided at two (2) proposed full movement driveways located along Olde Rope Mill Park Road. The purpose of the traffic memo is to provide our opinion on the needed offsite improvements such as turn lanes as well as a curb cut analysis along Olde Rope Mill Park Road at Site Driveways A and B. The analysis will be based on GDOT standards and references to the City of Woodstock code of ordinances by evaluating the project trip generation associated with the proposed *Olde Rope Mill Park Road Industrial* development. The traffic memo will also provide an opinion on the possible improvements needed for the intersection of Ridgewalk Parkway at Olde Rope Mill Park Road.

A project site location map is illustrated on **Figure 1**. A project site aerial is shown on **Figure 2**.

### EXISTING TRAFFIC CONDITIONS

Olde Rope Mill Park Road is a two-lane, undivided local roadway (per GDOT classification) with a posted speed limit of 35 mph. The total road width is 28 feet. There are no GDOT count stations along this roadway. Although there are no GDOT count stations, it is assumed that the ADT is less than 6,000 vehicles based on the limited number of developments along the roadway, restricted street connectivity, and available count data at the Ridgewalk Parkway/Interstate 575 interchange.

**TRIP GENERATION, TRIP DISTRIBUTION, AND TRIP ASSIGNMENT**

Traffic for the proposed development was calculated using equations contained in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 12th Edition, 2025. The trip generation was calculated assuming 92,000 SF of Light Industrial (Land Use 110). **Table 1** summarizes the trip generation for the proposed development under full build-out.

Table 1: Project Trip Generation Summary (Proposed Development)								
Land Use	Density	ITE Code	Daily Traffic		AM Peak Hour		PM Peak Hour	
			Enter	Exit	Enter	Exit	Enter	Exit
Light Industrial	92,000 SF	110	166	166	38	6	11	34
Warehousing Employee (Car) Trips			154	154	37	6	11	33
Warehousing Heavy Vehicle (Truck) Trips			12	12	1	0	0	1
<b>Total Gross Trips</b>			<b>166</b>	<b>166</b>	<b>38</b>	<b>6</b>	<b>11</b>	<b>34</b>

Note: No reductions for mixed-use, alternative mode, or pass-by were assumed.

The directional distribution and assignment of new project trips was based on a review of land uses and population densities in the area. It is assumed that Driveway A will be used as parking for employee vehicles and Driveway B will be used as a loading zone for trucks. **Table 2** shows the trip distribution for the proposed *Olde Rope Mill Park Road Industrial* development.

Table 2: Trip Distribution Entering Site Driveways			
ITE Code	Land Use	Olde Rope Mill Park Road	
		Northbound	Southbound
<b>Driveway A</b>			
110	Light Industrial (Trucks)	0%	0%
110	Light Industrial (Cars)	100%	0%
<b>Driveway B</b>			
110	Light Industrial (Trucks)	100%	0%
110	Light Industrial (Cars)	0%	0%

Based on the trip generation from **Table 1** and the anticipated trip distribution, net new project trips were assigned to the study roadway network. **Figure 3** illustrates the Projected Project Trips for the AM and PM peak hours, these volumes were used within the analysis.

**GDOT TURN LANE WARRANTS**

GDOT does provide guidance on when turn lanes are warranted based on GDOT’s *Regulations for Driveway and Encroachment Control Manual*. GDOT provides guidance on the minimum volumes requiring the construction of turn lanes, and the thresholds are provided for guidance and informational

purposes. Per GDOT's *Regulations for Driveway and Encroachment Control Manual*, a right-turn lane must be constructed if the daily turn volumes entering meet or exceed values shown in **Table 3** for right-turns.

Table 3: Minimum Entering Volumes Requiring Right-Turn Lanes				
Posted Speed	2 Lanes on Main Road		More Than 2 Lanes on Main Road	
	ADT < 6,000	ADT ≥ 6,000	ADT < 10,000	ADT ≥ 10,000
≤ 35 MPH	200 RTV/day	100 RTV/day	200 RTV/day	100 RTV/day
40 – 50 MPH	150 RTV/day	75 RTV/day	150 RTV/day	75 RTV/day
55 – 60 MPH	100 RTV/day	50 RTV/day	100 RTV/day	50 RTV/day
≥ 65 MPH	Always	Always	Always	Always

Per GDOT's *Regulations for Driveway and Encroachment Control Manual*, a left-turn lane must be constructed if the daily turn volumes entering meet or exceed values shown in **Table 4** for left-turns.

Table 4: Minimum Entering Volumes Requiring Left-Turn Lanes				
Posted Speed	2 Lanes on Main Road		More Than 2 Lanes on Main Road	
	ADT < 6,000	ADT ≥ 6,000	ADT < 10,000	ADT ≥ 10,000
≤ 35 MPH	300 LTV/day	200 LTV/day	400 LTV/day	300 LTV/day
40 – 50 MPH	250 LTV/day	175 LTV/day	325 LTV/day	250 LTV/day
≥ 55 MPH	200 LTV/day	150 LTV/day	250 LTV/day	200 LTV/day

For Olde Rope Mill Park Road, which is a two-lane road with a 35 MPH speed limit and ADT less than 6,000 vehicles per day, a right-turn lane is needed if there are at least 200 right-turning vehicles per day and a left-turn lane is needed if there are at least 300 left-turning vehicles per day.

### ASSESSMENT FOR A TURN LANE

Based on the gross trips for daily traffic provided in **Table 1**, the number of turning movements at the site driveways were analyzed. **Table 5** summarizes the number of right-turns and left-turns at Site Driveways A and B.

Table 5: Assessment for Turn Lanes 24-Hour Daily Volumes		
	Site Driveway A	Site Driveway B
		Right-Turn
Projected Number of Turning Movements	154	12
Minimum Required for Turn Lane	200	200
<b>Turn Lane Warranted?</b>	<b>No</b>	<b>No</b>
	Left-Turn	
Projected Number of Turning Movements	0	0
Minimum Required for Turn Lane	300	300
<b>Turn Lane Warranted?</b>	<b>No</b>	<b>No</b>

Based on the projected daily traffic volumes, right-turn and left-turn lanes along Olde Rope Mill Park Road into Site Driveways A and B are not warranted, based on the GDOT standards.

**GENERAL OPINION**

Per City of Woodstock’s Municipal Code Article V Section 7.513.10, “driveway arrangements shall conform to generally accepted geometric design-standards”. Kimley-Horn’s opinion is that the proposed curb cuts for the driveway layout are satisfactory based on Standard Detail 405 in the City’s municipal code.

**TRIP GENERATION COMPARISON**

The *Olde Rope Mill Park Road Industrial* development is currently proposed to be 92,000 SF of Light Industrial space. **Table 6** shows the trip generation potential for various scenarios under the existing zoning and the proposed zoning. The current zoning is General Commercial (GC) and the proposed zoning is Light Industrial (LI).

Table 6: Project Trip Generation Summary								
Land Use	Density	ITE Code	Daily Traffic		AM Peak Hour		PM Peak Hour	
			Enter	Exit	Enter	Exit	Enter	Exit
<b>Light Industrial</b>	<b>92,000 SF</b>	<b>110</b>	<b>166</b>	<b>166</b>	<b>38</b>	<b>6</b>	<b>11</b>	<b>34</b>
Hotel	220 rooms	310	642	642	46	43	67	65
Medical-Dental Office Building	85,000 SF	720	1,688	1,688	161	45	93	216
Shopping Plaza (40-150k) with Supermarket	66,122 SF	821	3,170	3,170	138	92	270	281

*Note: No reductions for mixed-use, alternative mode, or pass-by were assumed.*

The proposed *Olde Rope Mill Park Road Industrial* development will have a lower traffic impact than the alternative land uses permitted within the G.C. zoning district.

## CONCLUSION AND RECOMMENDATIONS

The proposed *Olde Rope Mill Park Road Industrial* development is located along Olde Rope Mill Park Road, north of Ridgewalk Parkway in the City of Woodstock, Cherokee County, Georgia. As currently envisioned, the *Olde Rope Mill Park Road Industrial* development proposes constructing 92,000 SF of light industrial space. This space will consist of one building. Access to the site is provided at two (2) proposed full movement driveways located along the east side of Olde Rope Mill Park Road. It is assumed that Driveway A will be used as parking for employee vehicles and Driveway B will be used as a loading zone for trucks.

The purpose of the traffic memo is to determine whether offsite improvements are needed along Olde Rope Mill Park Road at Site Driveways A and B. Using project trip generation, a turn lane determination was performed. Based on the projected daily traffic volumes and GDOT turn lane warrant thresholds, neither a right-turn lane nor left-turn lane are warranted for Site Driveways A and B.

Additionally, this memo provided traffic engineering opinions on the proposed curb cuts for site access and possible offsite improvements that may be required. Kimley-Horn's opinion is that the proposed curb cuts for the driveway layout are satisfactory per the City's municipal code.

This memo also compared the trip generation of the proposed *Olde Rope Mill Park Road Industrial* development with alternative land uses. From a traffic generation perspective, the proposed *Olde Rope Mill Park Road Industrial* development will have a lower traffic impact than the alternative land uses.

I hope this information is helpful. Please contact me if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



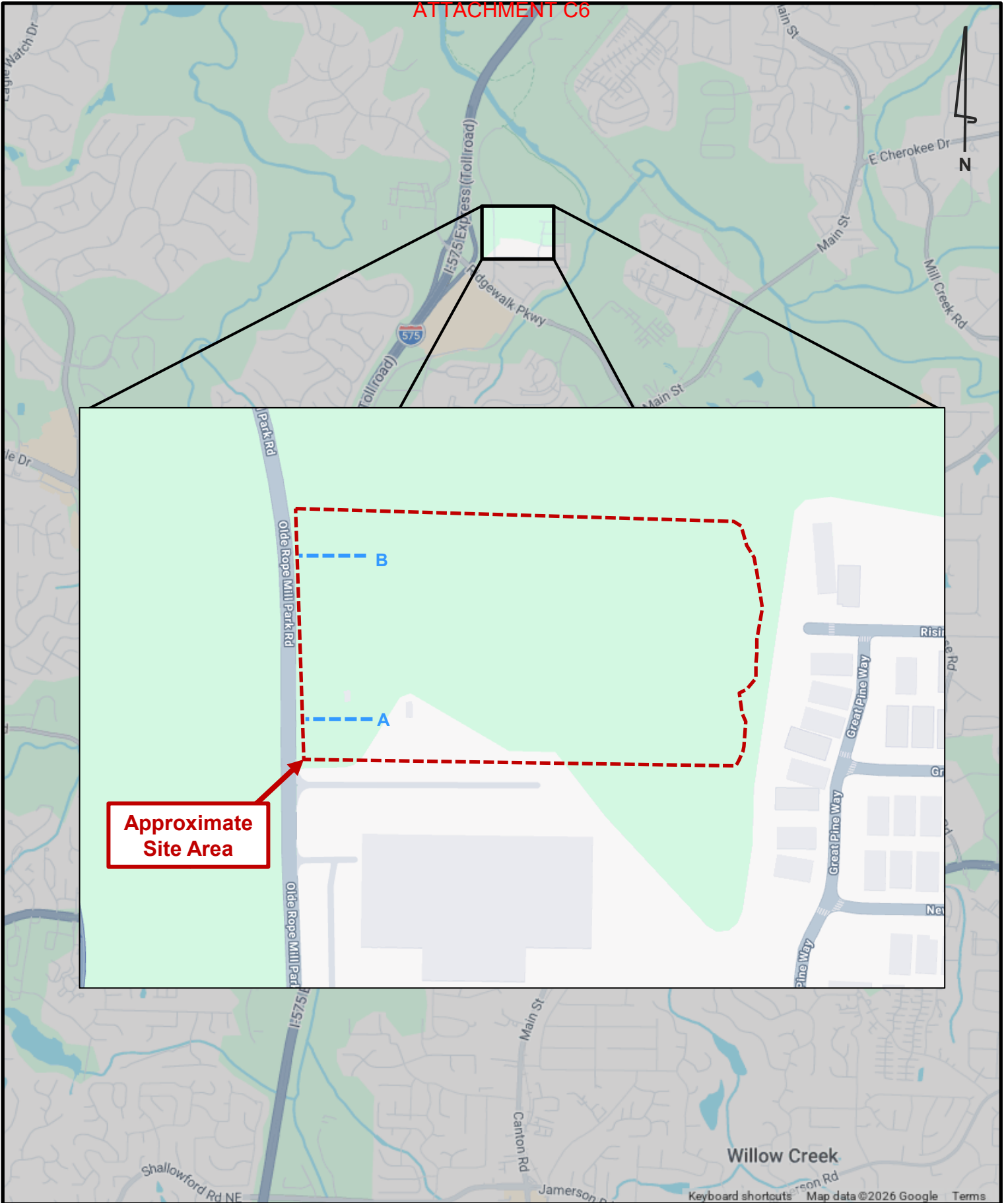
Winnie Gobbel, P.E., PTOE  
Project Engineer



John D. Walker, P.E., PTOE  
Senior Vice President/Senior Associate

### Attachments:

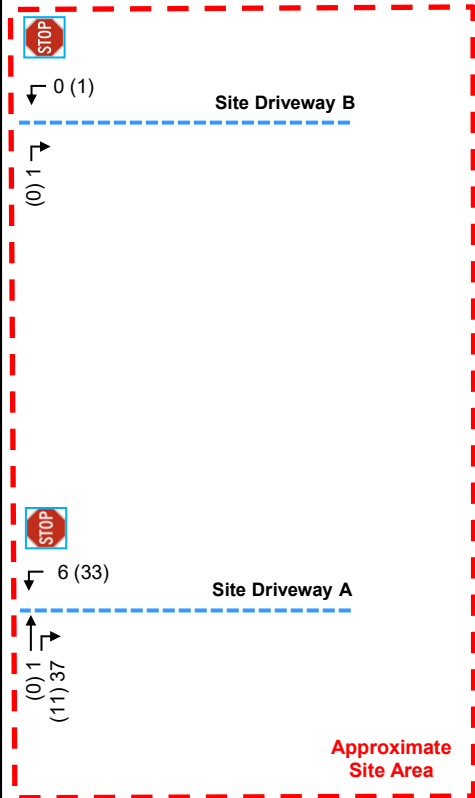
- Figure 1: Site Location Map
- Figure 2: Site Aerial
- Figure 3: Project Trips
- Site Plan







Olde Rope Mill Park Road



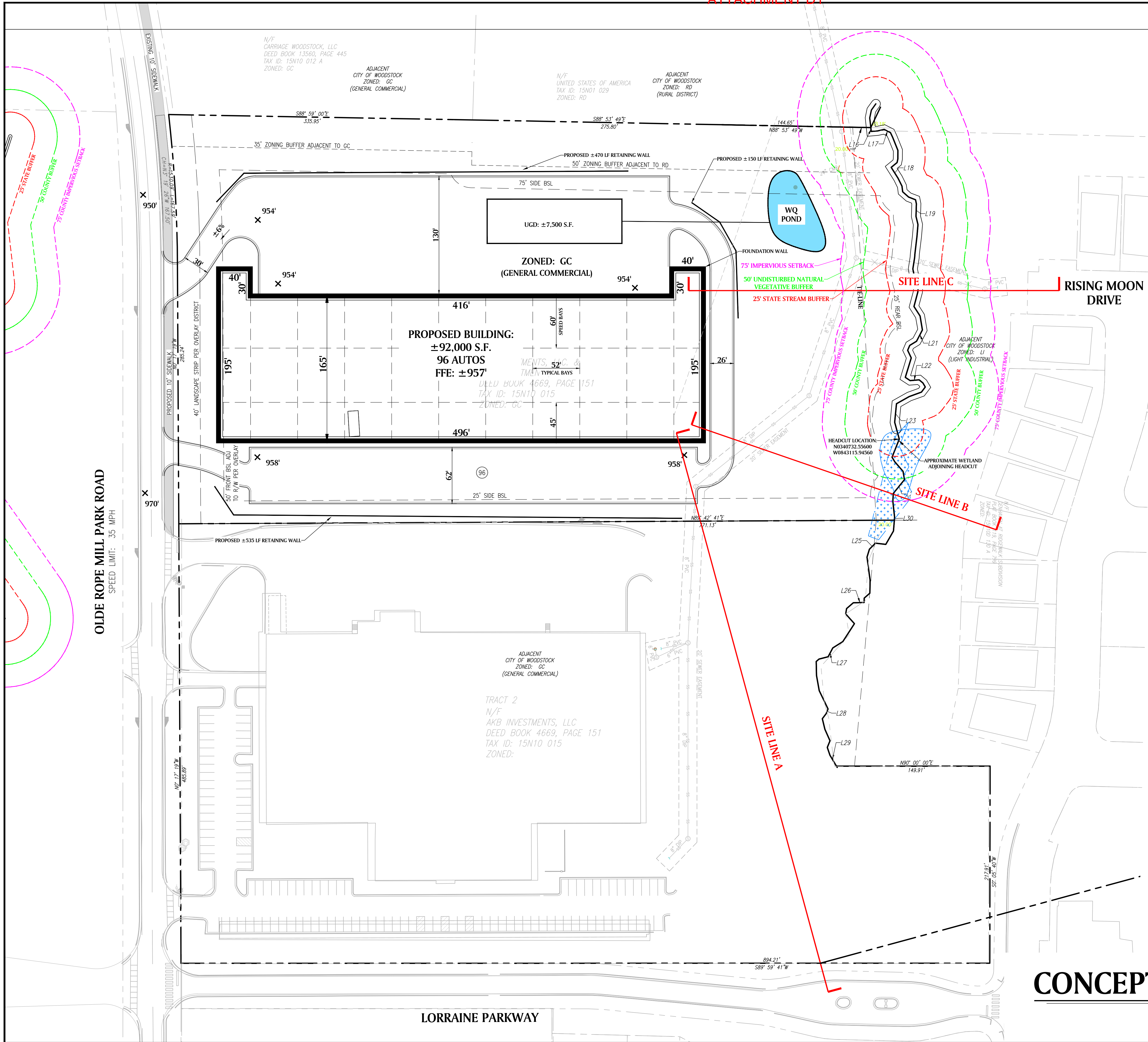
0 (1)

Olde Rope Mill Park Road

LEGEND	
	Turning Movement
XX	AM Peak Hour Project Trips
(XX)	PM Peak Hour Project Trips
	Proposed Stop Control



1:\2025\2025270 CP-10 Preliminary\2025\2025.03.12 - 2025270 CP-10 - SITE PLAN CHANGES ADJ. FORWARD D (26.69 X 24.00 INCHES). SCHEMATIC PLAN, DWG TO REFLECT, 3D PLOT, March 17, 2025 4:56:27 PM



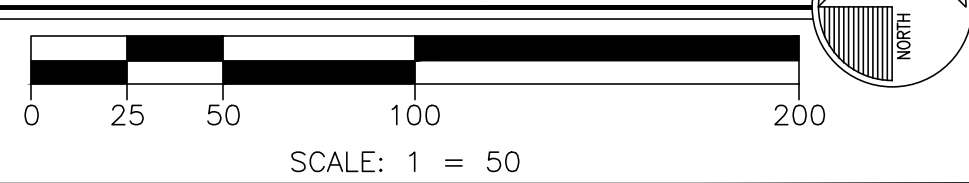
VICINITY MAP  
SCALE: NTS

SITE ANALYSIS	
BUILDING A:	±92,000 S.F.
AUTO SPACES:	96 SPACES
TOTAL BUILDING AREA:	±92,000 S.F.
TOTAL SITE AREA:	±8.20 ACRES

**EARTHWORK CALCULATIONS:**  
 Cut volume (adjusted) 26,872.23 Cu. Yd.  
 Fill volume (adjusted) 26,841.20 Cu. Yd.  
 Net volume (adjusted) 31.03 Cu. Yd. <Cut>

**PRELIMINARY SITE PLAN DISCLAIMER:**  
 SITE PLAN IS BASED ON CLIENT PROVIDED INFORMATION POSSIBLY INCLUDING BUT NOT LIMITED TO THE FOLLOWING: TAX MAPS, USGS MAPS, GIS INFORMATION, SCANNED/DIGITAL BOUNDARY SURVEY, SCANNED/DIGITAL TOPOGRAPHICAL SURVEY, SCANNED/DIGITAL AS-BUILT PLAN, SCANNED/DIGITAL ALTA SURVEY, AND/OR PREVIOUS CONSTRUCTION PLANS BY PM/Others. ALL ZONING INFORMATION SHOWN IN THE TITLEBLOCK TO THE RIGHT HAS BEEN RESEARCHED BUT NOT VERIFIED WITH THE JURISDICTION.  
 SITE PLAN BOUNDARY AND EXISTING CONDITIONS ARE ONLY AS ACCURATE AS THE INFORMATION PROVIDED.

# CONCEPTUAL SITE PLAN



**PAULSON-MITCHELL-WISE**  
 CIVIL ENGINEERS & PLANNERS  
 INFO@CIVILPMW.COM  
 770.650.7685  
 CIVILPMW.COM

85-A MILL STREET  
 SUITE 200  
 ROSWELL, GA 30075

PROJECT:  
**OLDE ROPE MILL PARK ROAD INDUSTRIAL**  
 OLDE ROPE MILL PARK ROAD & 125 LORRAINE PARKWAY  
 CITY OF WOODSTOCK, CHEROKEE COUNTY, GEORGIA

FOR:  
**HICKORY**  
 Real Estate Partners  
 2100 POWERS FERRY ROAD SE, SUITE 110  
 ATLANTA, GEORGIA 30339

JURISDICTION: CITY OF WOODSTOCK  
 EX. ZONING: GC (GENERAL COMMERCIAL)  
 OVERLAY DISTRICT: TECHNOLOGY PARK OVERLAY  
 PR. ZONING: LI (LIGHT INDUSTRIAL)

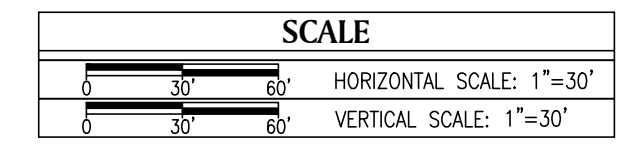
FRONT: 50' ADJ TO R/W (PER OVERLAY)  
 MAJOR SIDE: 25' FROM ZONING BUFFER  
 MINOR SIDE: 25'  
 REAR: 25'

LANDSCAPE STRIP: 40' FRONT PER OVERLAY  
 ZONING BUFFER: GC: 35' | RD: 50'  
 STATE STREAM BUFFER: 25'  
 COUNTY STREAM BUFFER: 50' (UNDISTURBED)  
 CITY STREAM BUFFER: 75' (IMPERVIOUS)

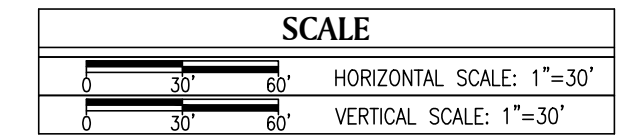
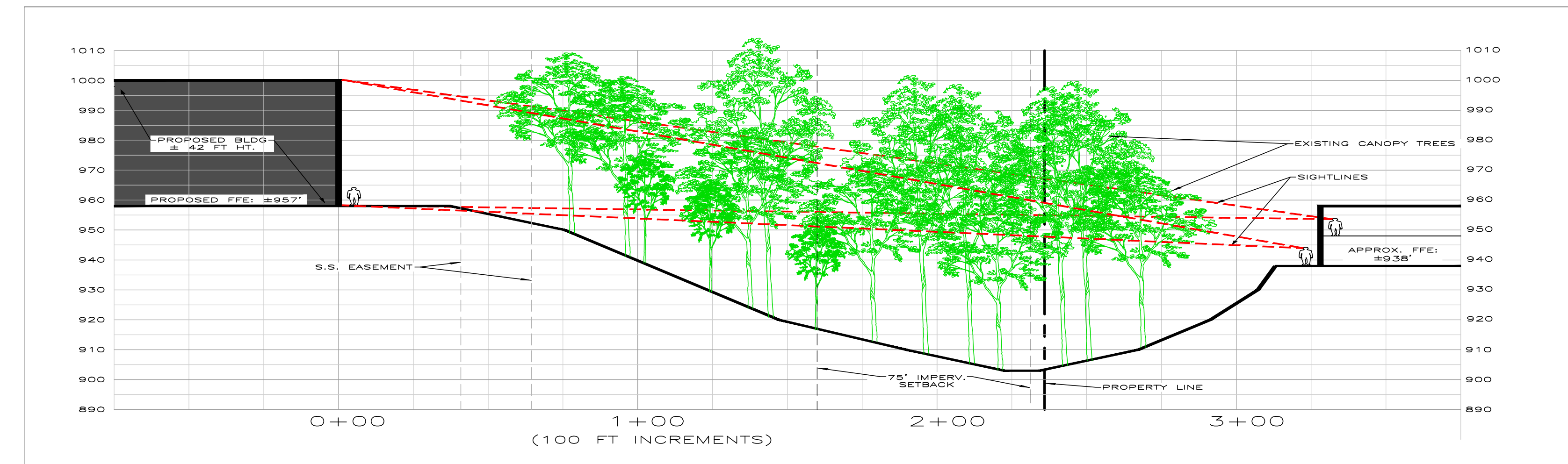
PARKING REQ.: 0.5 PER 1,000 SF OF WAREHOUSE SPACE + 3.0 PER 1,000 SF OF OFFICE  
 STALL: 9' x 18'  
 LANDSCAPE ISLAND SPACING: 1 PER 8 SPACES

MAXIMUM IMPERVIOUS ALLOWED: 70%  
 MAXIMUM BUILDING COVERAGE: 70%

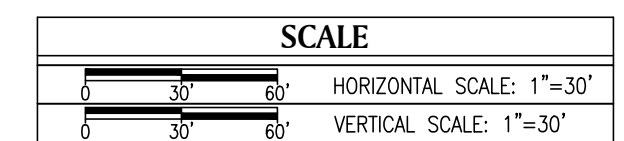
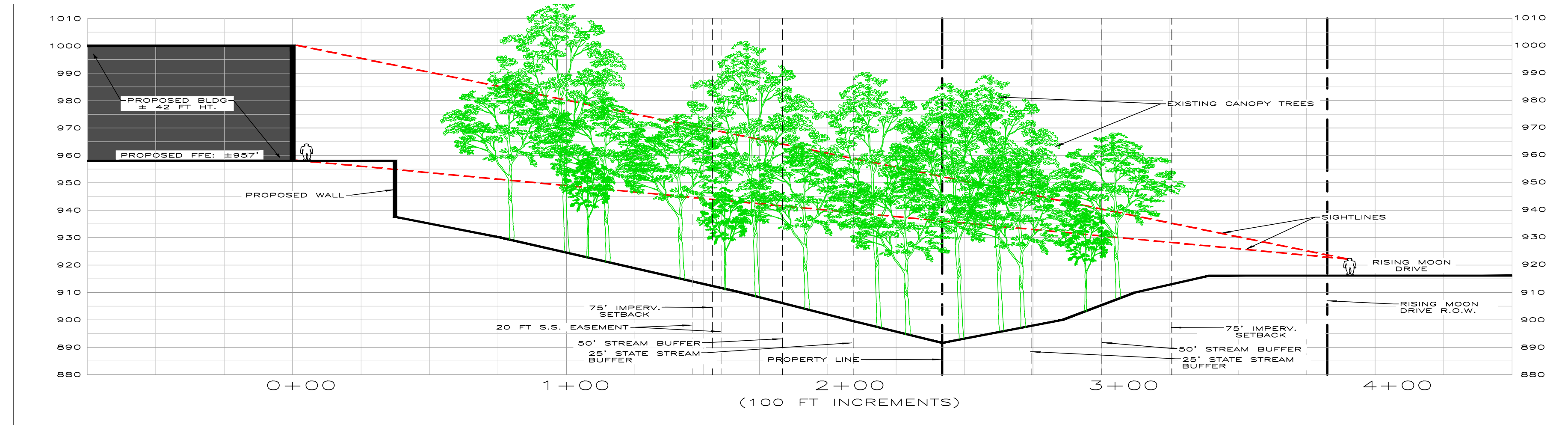
FLOOD PLAIN PRESENT (NO): FEMA/CHEROKEE GIS  
 STREAMS PRESENT (NO): FEMA/CHEROKEE GIS  
 WETLANDS PRESENT (NO): CHEROKEE GIS  
 TOPOGRAPHY DATA: NOAA | CHEROKEE GIS  
 2026.03.12 - 03.17.2026  
 2025270 CP-10 - SIGHTLINE EXH.dwg



**SIGHT LINE A**



**SIGHT LINE B**



**SIGHT LINE C**

**PAULSON-MITCHELL-WISE**  
 CIVIL ENGINEERS & PLANNERS  
 INFO@CIVILPMW.COM  
 770.650.7685  
 CIVILPMW.COM  
 85-A MILL STREET  
 SUITE 200  
 ROSWELL, GA 30075

PROJECT:  
**OLDE ROPE MILL  
 PARK ROAD  
 INDUSTRIAL**  
 OLDE ROPE MILL PARK ROAD &  
 125 LORRAINE PARKWAY  
 CITY OF WOODSTOCK,  
 CHEROKEE COUNTY, GEORGIA

FOR:  
**HICKORY**  
 Real Estate Partners  
 2100 POWERS FERRY ROAD SE,  
 SUITE 110  
 ATLANTA, GEORGIA 30339

JURISDICTION: CITY OF WOODSTOCK  
 EX. ZONING: GC (GENERAL COMMERCIAL)  
 OVERLAY DISTRICT: TECHNOLOGY PARK OVERLAY  
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FRONT: 50' ADJ TO R/W (PER OVERLAY)  
 MAJOR SIDE: 25' FROM ZONING BUFFER  
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LANDSCAPE STRIP: 40' FRONT PER OVERLAY  
 ZONING BUFFER: GC: 35' | RD: 50'  
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PARKING REQ.: 0.5 PER 1,000 SF OF WAREHOUSE SPACE  
 + 3.0 PER 1,000 SF OF OFFICE  
 STALL: 9' x 18'  
 LANDSCAPE ISLAND SPACING: 1 PER 8 SPACES

MAXIMUM IMPERVIOUS ALLOWED: 70%  
 MAXIMUM BUILDING COVERAGE: 70%

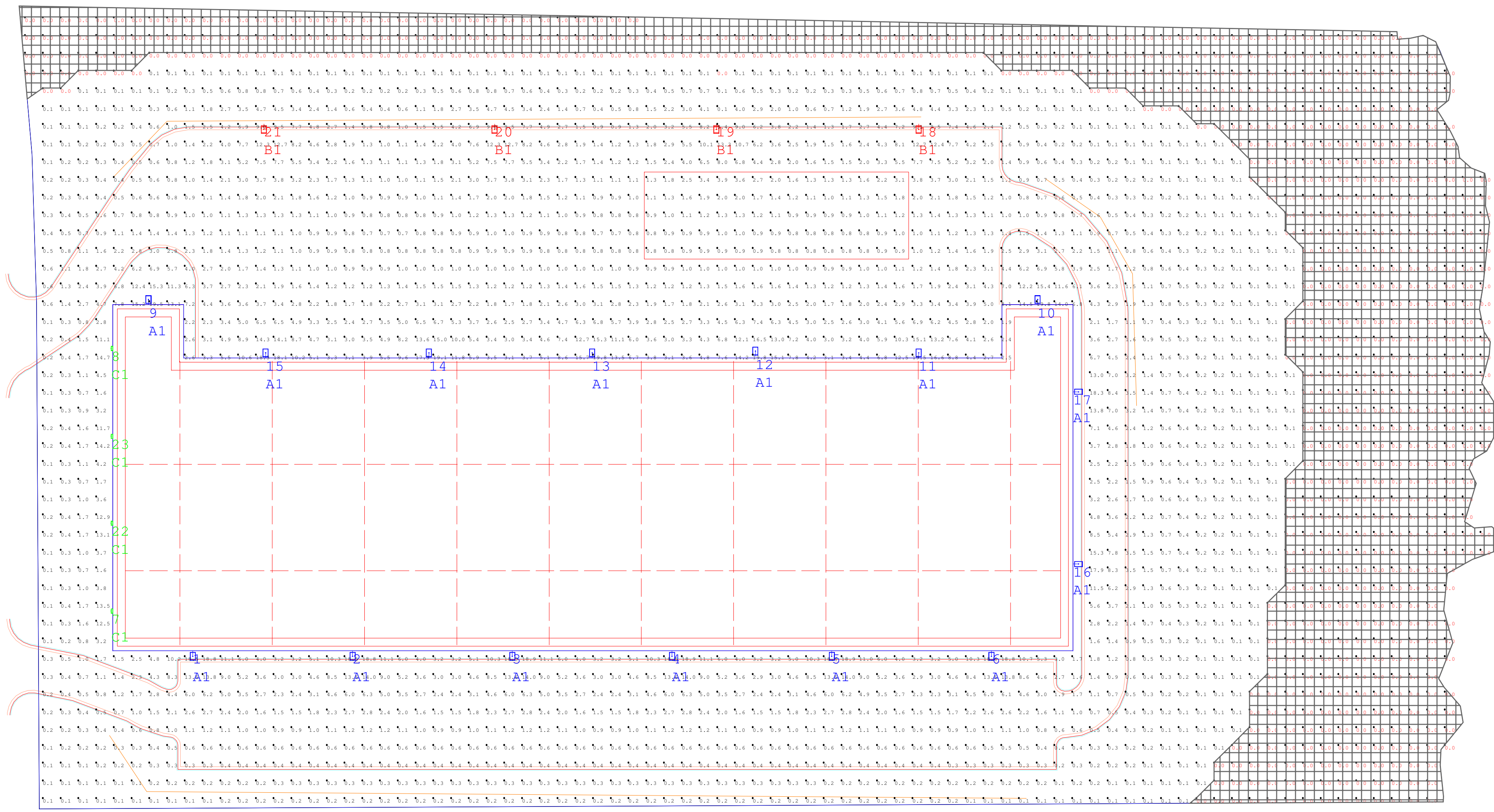
FLOOD PLAIN PRESENT (NO): FEMA/CHEROKEE GIS  
 STREAMS PRESENT (NO): FEMA/CHEROKEE GIS  
 WETLANDS PRESENT (NO): CHEROKEE GIS  
 TOPOGRAPHY DATA: NOAA | CHEROKEE GIS  
 04.13.2026

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 INFORMATION, SCANNED/DIGITAL BOUNDARY SURVEY, SCANNED/DIGITAL  
 TOPOGRAPHICAL SURVEY, SCANNED/DIGITAL AS-BUILT PLAN, SCANNED/DIGITAL  
 ALTA SURVEY, AND/OR PREVIOUS CONSTRUCTION PLANS BY PM/Others. ALL  
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 THE INFORMATION PROVIDED.

2026.04.13 -  
 2025270 CP-10 -  
 SIGHTLINE EXH.dwg  
**SIGHTLINE EXHIBIT**

**EXH-SL1**

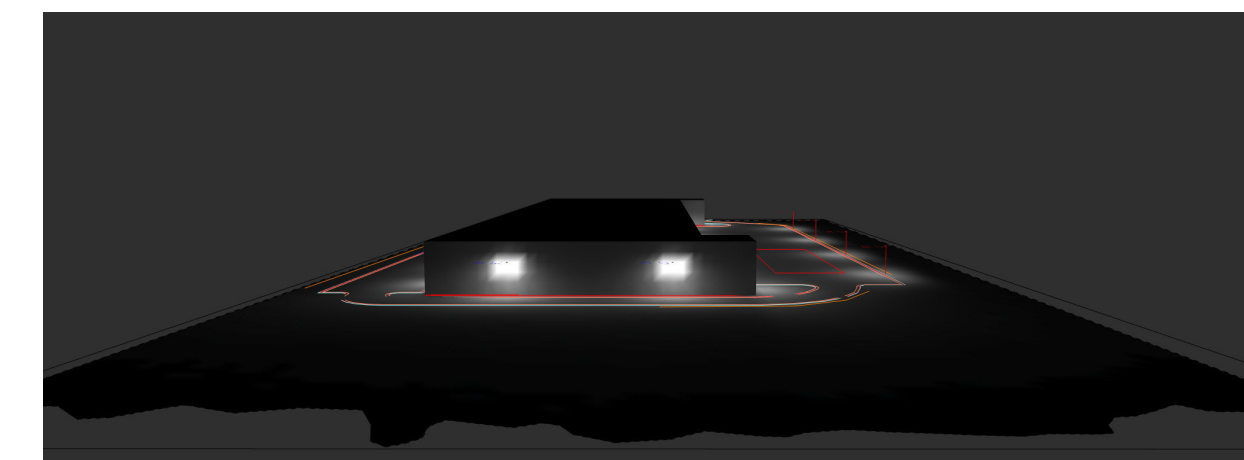
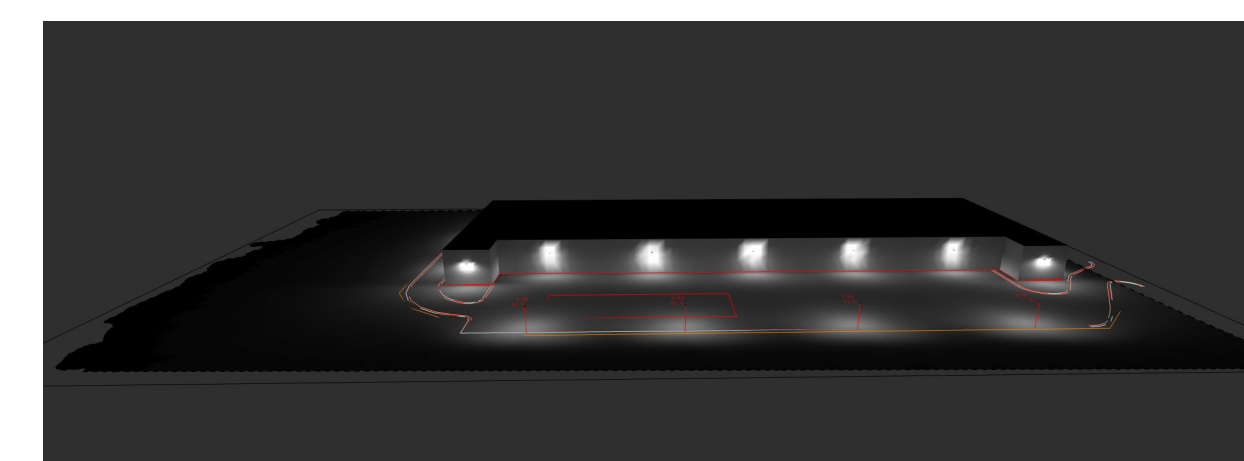
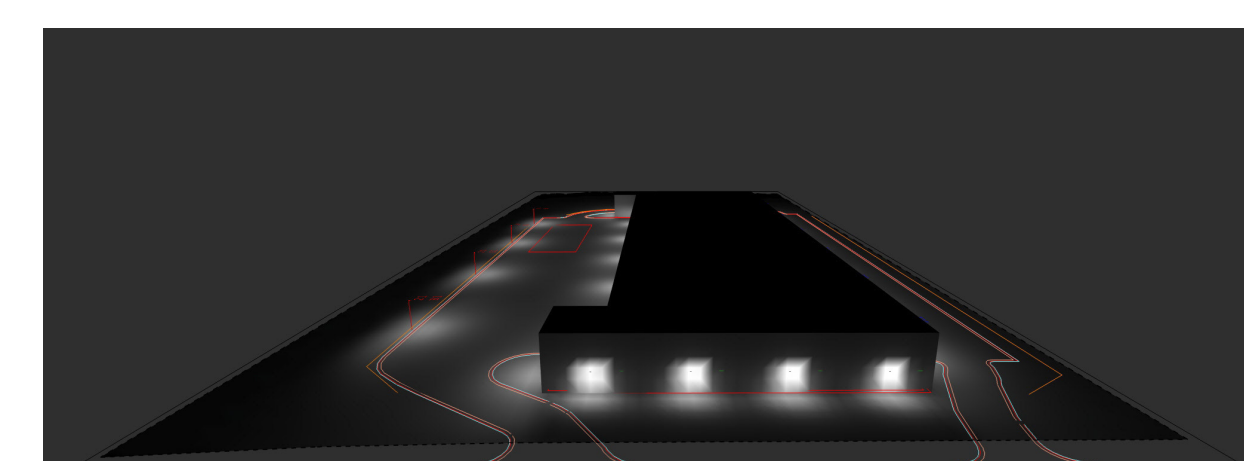
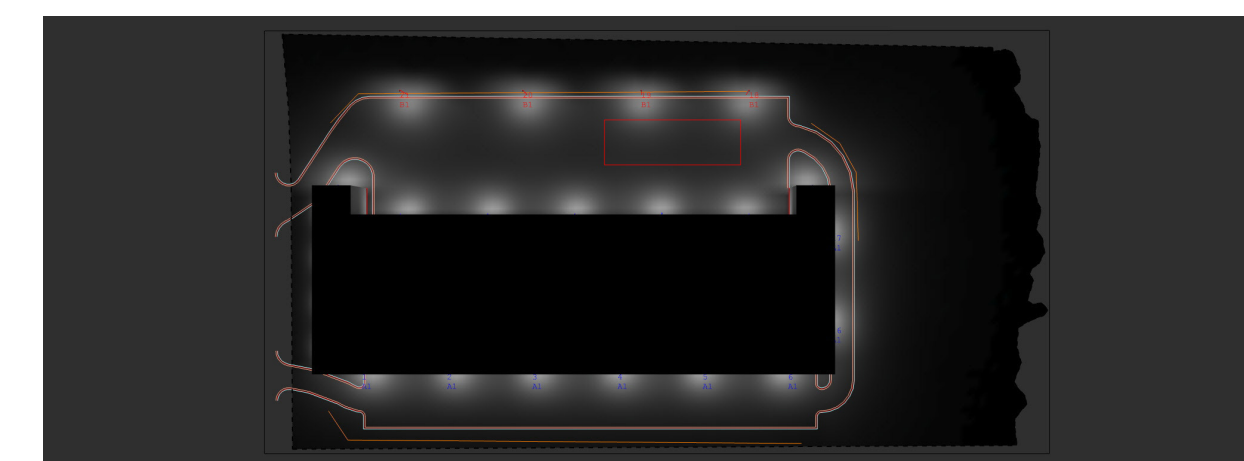
I:\2025\2025270 CP-10 Preliminary\New\2026.04.13 - 2025270 CP-10 - SIGHTLINE EXH.dwg, WCH, EXPAND 0, CALO 0, 24.00 INCHES, SCKHE, PASTE, DWG TO PDF PLOT, SD, HEMMAN, April 13, 2026, 8:42:30 AM



LumNo	Label	Z
1	A1	20
2	A1	20
3	A1	20
4	A1	20
5	A1	20
6	A1	20
7	C1	12
8	C1	12
9	A1	20
10	A1	20
11	A1	20
12	A1	20
13	A1	20
14	A1	20
15	A1	20
16	A1	20
17	A1	20
18	B1	20
19	B1	20
20	B1	20
21	B1	20
22	C1	12
23	C1	12

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	4	C1	Single	EIKO WPA 80w 50K Wall Pack	0.950	11366	79.88	319.52
	4	B1	Single	EIKO AAL1 200w 50K T3 Pole Mount	0.950	31425	206.6	826.4
	15	A1	Single	EIKO AAL1 200w 50K T3 Wall Mount	0.950	31425	206.6	3099

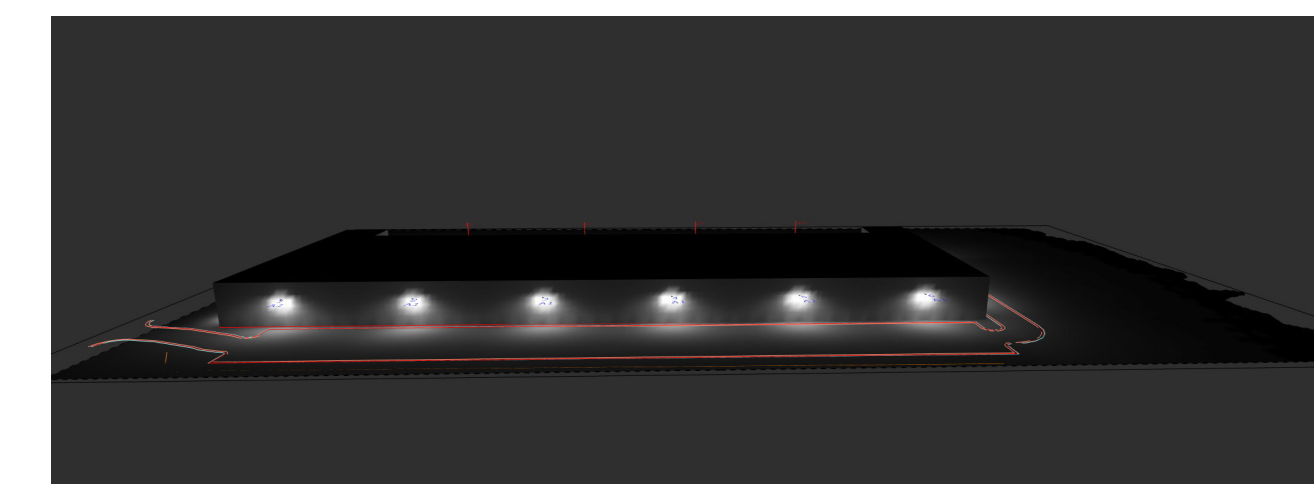
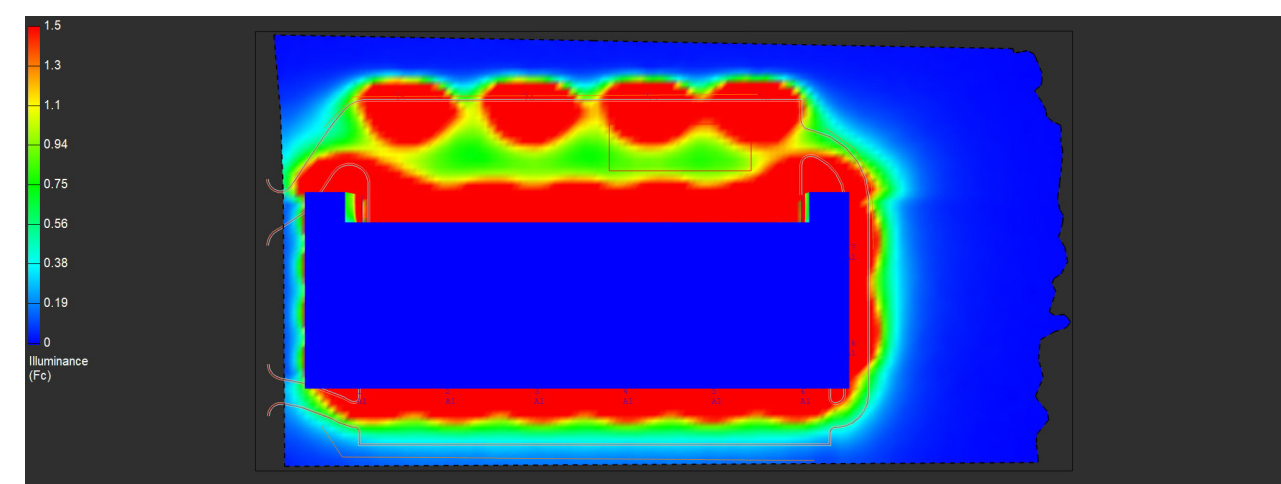
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	ILLUMINANCE	Fc	1.68	19.8	0.0	N.A.	N.A.



Notes:

**Plan Notes:**  
Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

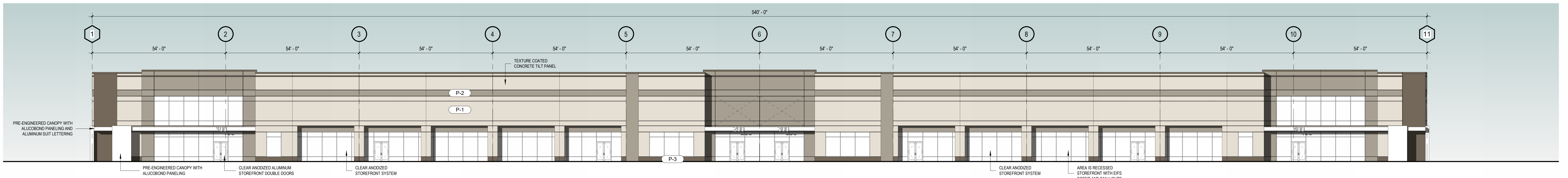
**General Notes:**  
Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated.



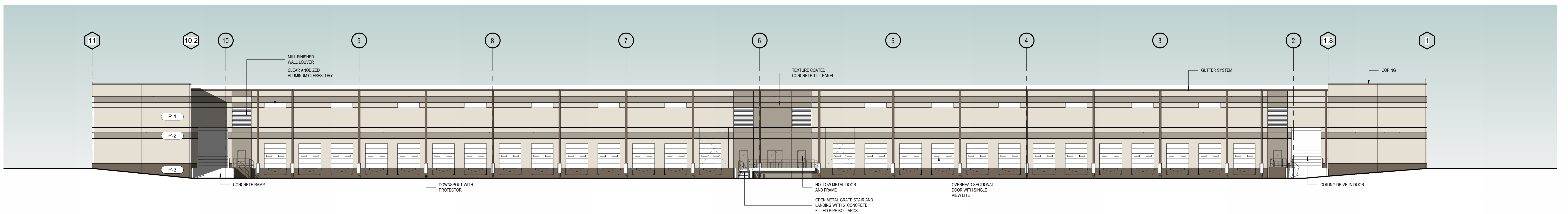
#	Date	Comments
Revisions		

Drawn By: Brent M. Finley, LC  
Checked By:  
Date: 3/26/2026  
Scale:

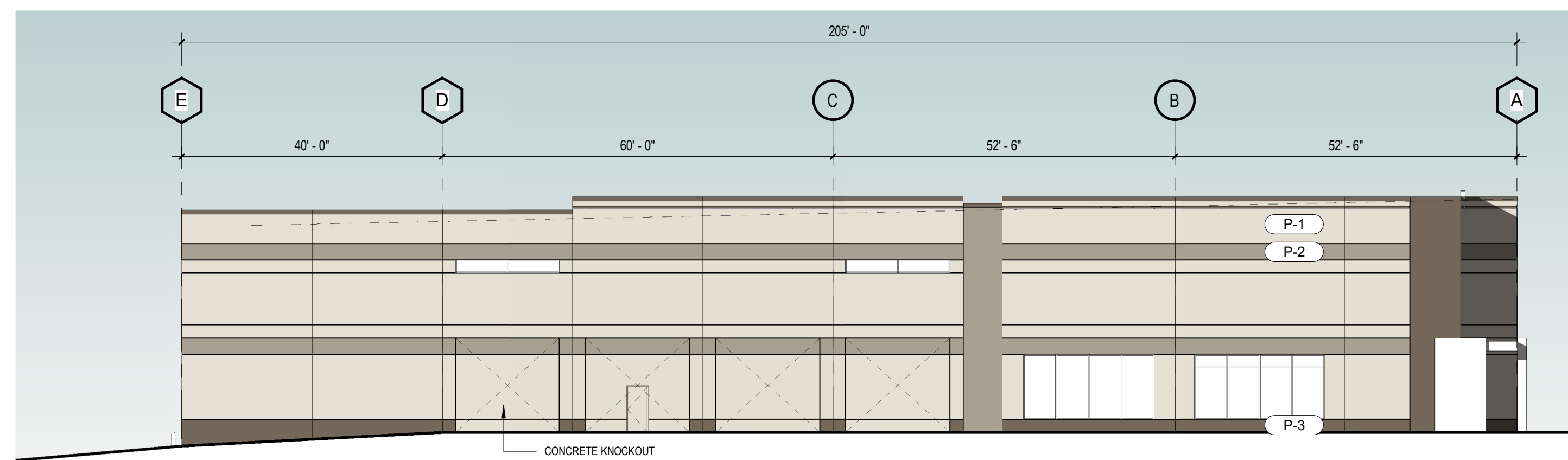
125 Lorraine Pkwy  
Lighting Layout



1 PLAN SOUTH - ELEVATION  
SK-001 1/16" = 1'-0"



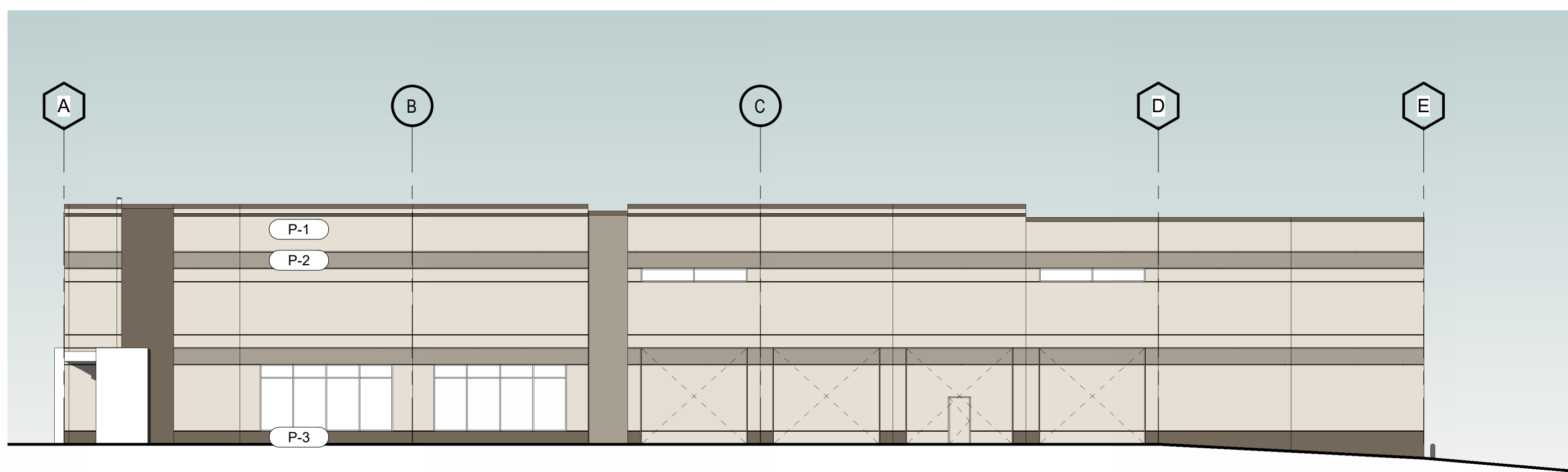
2 PLAN - NORTH EVATION  
SK-001 1/16" = 1'-0"



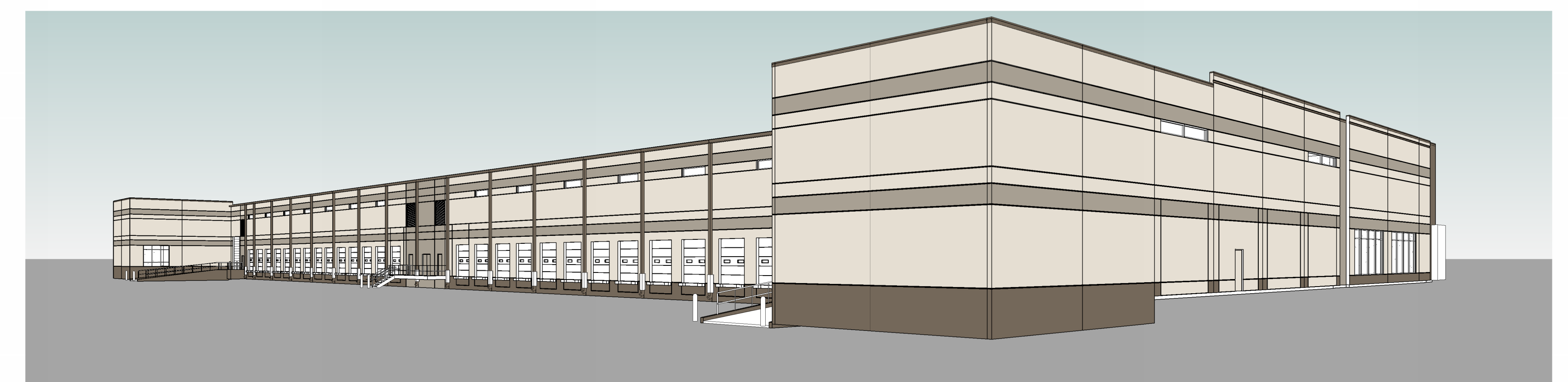
3 PLAN WEST - ELEVATION  
SK-001 1/16" = 1'-0"



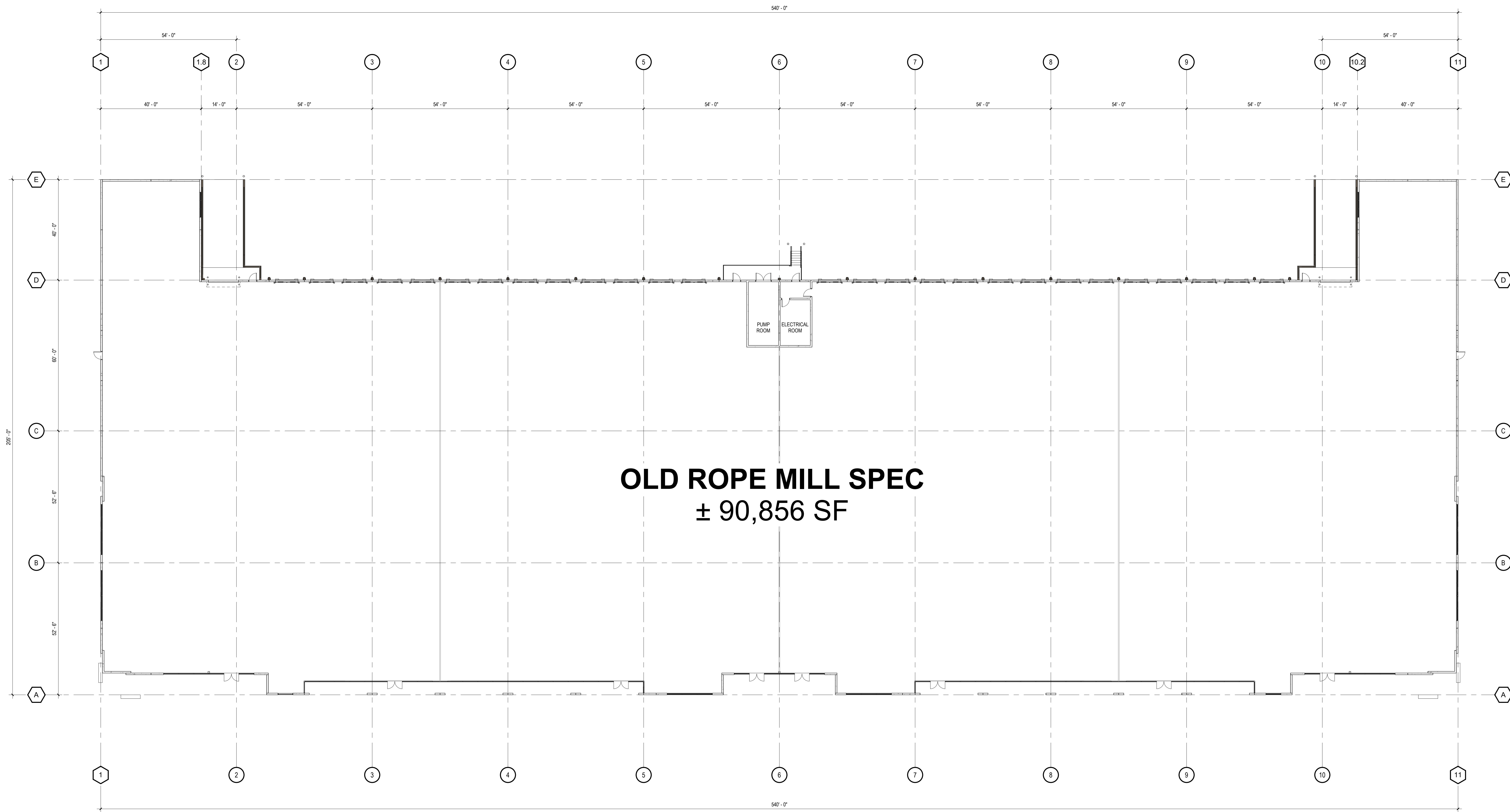
5 ENTRY PERSPECTIVE  
SK-001



4 PLAN EAST - ELEVATION  
SK-001 1/16" = 1'-0"



6 DOCK PERSPECTIVE  
SK-001



1 OVERALL FLOOR PLAN  
SK-002 1/16" = 1'-0"

# ATTACHMENT F3

Alucabond Canopy Cladding

Solarban 60 SolarGrey Glazing

SOLARBAN® 60 (2) SOLARGRAY® + Clear Glass Insulating Glass Unit 5-9 10/20

VLT %	Exterior Reflectance	Interior Reflectance	U-Value Imperial (Winter)		SHGC	LSG
			Air	Argon		
35%	6%	10%	0.29	0.24	0.25	1.40

Exterior: Sample Glass is Annealed

Concrete Tilt Panel Texture Coat and Sample Colors

Clear Anodized Aluminum Storefront

Pac-Clad Roof Metals

Mill Finish - Louver



## ATTACHMENT G2

**From:** [Cameron Dunn](#)  
**To:** [Planning](#)  
**Cc:** [Michael Caldwell](#); [Warren Johnson](#); [David Potts](#); [Tracy Collins](#); [Brian Wolfe](#); [Rob Usher](#); [Colin Ake](#)  
**Subject:** RE: Olde Rope Mill rezoning  
**Date:** Monday, April 13, 2026 9:20:58 AM  
**Attachments:** [image001.png](#)

---

Marisue:

Good morning, and thank you for reaching out to provide public input on this case. I will add this to the digital casefile, and will provide it as part of the public input attachment that is given to both the Planning Commission and City Council as part of their agenda. This case will be heard by the Planning Commission on May 7, and City Council on May 18. Both of these meetings are held at the Chambers at City Center (8534 Main Street) at 7PM.

Best,



**Cameron Dunn, MPA**

**City of Woodstock**

Planner II

O) 770-592-6000 ex. 1601

12453 Highway 92, Woodstock, GA 30188

[www.woodstockga.gov](http://www.woodstockga.gov)

**FRAUD WARNING:** I will NEVER email wiring instructions to you and neither will any other staff members in the Community Development Department or the Planning Commission. Cyber criminals are sending emails with fake wiring instructions. Sometimes they may create an email address that looks similar to a City of Woodstock email address. These emails are convincing and sophisticated. Never wire money for development applications, processes, or public hearings.

---

**From:** Marisue

**Sent:** Sunday, April 12, 2026 5:01 PM

**To:** Planning <planning@woodstockga.gov>

**Cc:** Michael Caldwell <mcaldwell@woodstockga.gov>; Warren Johnson <wjohnson@woodstockga.gov>; David Potts <dpotts@woodstockga.gov>; Tracy Collins <tcollins@woodstockga.gov>; Brian Wolfe <bwolfe@woodstockga.gov>; Rob Usher <rusher@woodstockga.gov>; Colin Ake <cake@woodstockga.gov>

**Subject:** Olde Rope Mill rezoning

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Mayor Caldwell, Councilmembers, and Planning & Zoning Commission,

## ATTACHMENT G3

I am a resident of Glenhaven at Ridgewalk. I am writing to express my concern about the proposed rezoning of the Olde Rope Mill parcel from Commercial to Light Industrial.

The facts are simple. The developer has no tenants under contract. Once construction begins, they will pursue any business that fits — warehouses, auto repair, Amazon delivery substations, light manufacturing. We will have little say over who our neighbors become. And once that door opens, it stays open. Rezoning this parcel sets a precedent for adjacent parcels on Olde Rope Mill to follow the same path.

Three things concern me most.

First, traffic. Ninety-six parking spots and twenty trucking docks do not describe a low-impact project. Combined with the stadium proposal at Reagan and Ridgewalk, the Olde Rope Mill development, and the exit 9 interchange work, our streets face real strain. No one appears to be evaluating the cumulative impact of these projects — or the construction overlap.

Second, hours of operation. Woodstock code is silent on this. Nothing prevents a warehouse distributor from running 24-hour shifts. That is not the neighborhood any of us chose.

Third, accountability. The code prohibits "excessive" noise, odors, and vibrations — but defines none of it. Vague standards protect no one. We need defined, enforceable limits before any approval moves forward.

I ask that you reject this rezoning or, at minimum, pause until these questions are answered with specificity. Our community deserves more than a traffic study built on unknown assumptions.

Thank you for your time and your service to Woodstock.

Warm Regards,

Marisue Atkinson  
435 Great Pine Way  
Woodstock, Ga

## ATTACHMENT G4

**From:** [Melissa Dike](#)  
**To:** [Warren Johnson](#)  
**Cc:** [Michael Caldwell](#); [Planning](#)  
**Subject:** Rezoning to light industrial Olde Rope Mill  
**Date:** Monday, April 20, 2026 7:50:08 PM

---

CAUTION: This message originated outside of the City of Woodstock mail system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

I would like my objection to the rezoning request to be formally noted. As a senior resident living inside the city limits of Woodstock I am quite dissatisfied that this request has gone so far. Down the street is a beautiful park that has been touted for its beauty, bike paths and ability to put in canoes for residents to enjoy. I have read numerous stories on how the city of Woodstock cares about the development of parks and recreation for its citizens, so to say I am confused about the mixing of light industrial truck docks into this equation, is an understatement . Just don't get it. I guess we will know be navigating cyclists, folks with canoes and rafts, walkers to the park with some semi trucks. I am not sure where the vision for Woodstock city limit property has gotten so far off track, but it certainly has.

Just left the developers meeting with home owners, they are stating some ridiculous studies of like 6 trucks per day, while they are building a 20 truck docking building. This is blatantly understated.

Grossly disappointed with city management.

Melissa Dike

## ATTACHMENT G5

**From:** [Michael Caldwell](#)  
**To:** Fred Fussell  
**Cc:** [Planning](#); [Mayor and Council](#); [Warren Johnson](#)  
**Subject:** Re: Z#170-26/125 Lorraine Pkwy  
**Date:** Friday, April 24, 2026 2:28:03 PM  
**Attachments:** [Outlook-Ongsbyen.png](#)

---

Thank you for taking the time to reach out and to share your thoughts on this case, Mr. and Mrs. Fussell!

I have included the Council on this response who I know will take your feedback into account during their deliberations, and staff will add your comments to the case record.

Thank you again. Go make it an outstanding weekend!



**Mayor Michael Caldwell**  
City of Woodstock

O) 770-592-6000  
C) 678-523-8570  
12453 Highway 92, Woodstock, GA 30188  
[www.woodstockga.gov](http://www.woodstockga.gov)

---

**From:** Fred Fussell  
**Sent:** Friday, April 24, 2026 2:25 PM  
**To:** [Planning <planning@woodstockga.gov>](mailto:planning@woodstockga.gov); [Michael Caldwell <mcaldwell@woodstockga.gov>](mailto:mcaldwell@woodstockga.gov); [Warren Johnson <wjohnson@woodstockga.gov>](mailto:wjohnson@woodstockga.gov)  
**Subject:** Z#170-26/125 Lorraine Pkwy

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Sirs and Madams,

Regarding the proposed zoning alteration, my wife and I have significant concern regarding the amount and type of traffic from the proposed business (es). Furthermore, the potential noise generation adjacent to our residential community is worrisome. Please consider this application very carefully. We live here.

Fred & Sheila Fussell

ATTACHMENT G6

**Sent:** Monday, April 20, 2026 11:26:54 PM

**To:** Warren Johnson <[wjohnson@woodstockga.gov](mailto:wjohnson@woodstockga.gov)>

**Subject:** Re: HOA Update: Glenhaven at Ridgewalk Actions Regarding Proposed Woodstock Development

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Warren,

Thanks for the reply. We had our community meeting tonight with the developer Hickory Real Estate Partners. Our clubhouse was packed with more than 70 of our homeowners attending. They asked many questions.

The Board and our committee researching and following this rezoning request have gathered important information that we'd like to share with the Planning Commission staff. Would you be able to get me in touch with the right person on the staff so we could arrange a meeting before the Planning Commission hearing on May 7?

Best,  
Bob

---

**Robert Gettlin**

---

**Subject:** Re: HOA Update: Glenhaven at Ridgewalk Actions Regarding Proposed Woodstock Development

Thanks for your email, Bob. I have copied the Mayor and the rest of council as well as

ATTACHMENT G7

our Community Development Director so she can make sure your comments are included as part of the record.

I appreciate your feedback on these cases.

Have a great week,  
Warren

**D. Warren Johnson**  
**City of Woodstock**  
City Council, Ward 1

O) 770-592-6000  
12453 Highway 92, Woodstock, GA 30188  
[www.woodstockga.gov](http://www.woodstockga.gov)

On Apr 17, 2026, at 11:29 AM, Robert Gettlin wrote:

**CAUTION:** This message originated outside of the City of Woodstock mail system - **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Hi Warren,

Thank you again for meeting with us on March 27. Since that meeting the Glenhaven HOA Board and our residents have been busy gathering information and keeping abreast of the rezoning applications and development proposals adjacent to our community and along Ridgewalk Parkway.

As our Ward 1 Councilmember we want to share a summary with you of our activities over the past three weeks:

- A number of our residents attended the April 2 Planning Commission meeting on the proposed soccer stadium and apartment complex on Ridgewalk Parkway. They

## ATTACHMENT G8

voiced their concerns about excessive traffic and the housing issues related to that project. We are following this matter as it moves to City Council. Some of our residents have already sent emails to council members and the planning commission expressing their personal concerns.

- Our top community concern and priority, however, is another development proposal — the application by Hickory Real Estate Partners, LLC to have a parcel on Olde Rope Mill Park Road rezoned from General Commercial to Light Industrial. This parcel (next to the Kirk-Rudy property) is located behind our community and could severely affect our residents and disrupt their quality of life. The developer is looking to build a warehouse-distribution facility with up to 20 bays that could accommodate tractor trailers. A large number of our residents attended the March 31 public input meeting on this project put on by the developer and their lawyer.
- This coming Monday, April 20, at 6:30pm the developer is meeting with our entire community in our clubhouse to answer questions about the rezoning and their proposed project. They have sent us a traffic study and we also have reviewed the formal application Hickory Real Estate Partners submitted to the City. We are very concerned that their submissions have virtually no information or even recognition of the traffic, noise, and other potential impacts on our Glenhaven community.
- In addition, the corner of Ridgewalk Parkway and Olde Rope Mill Park Road (where RaceTrac is located and across from the Outlet Mall) is an extremely tight turn into a two-lane road that leads to Olde Rope Mill Park. This corner is the ONLY access we have to enter and exit our neighborhood. We're concerned that very little thought, if any, has been given to the impact of tractor-trailer traffic on this particular intersection and road.

- Our Board has formed a six-person committee of Glenhaven residents to lead our community's effort in gathering information and staying on top of hearings and activities related to the Hickory Real Estate Partners and other projects. I want to be clear that we are not opposed to development. We are advocates for the right kind of development and growth that fits into the character and matches the lifestyle promoted by the City of Woodstock.

Again, we very much appreciate meeting with you and look forward to continuing the conversation as events move forward. We know that the Planning Commission is meeting on the May 7 on the Hickory Real Estate Partners application, and that it's scheduled to go before City Council on May 18.

All the best,  
Bob Gettlin, President

**Glenhaven at Ridgewalk Homeowners Association, Inc.**  
*Jeffery Abramsky | John Ellrich | Bob Gettlin | Melissa Noebes  
| Christy Young*

---

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## ATTACHMENT G10

**From:** [Cameron Dunn](#)  
**To:** [Colin Ake](#);  
**Cc:** [Planning](#); [Michael Caldwell](#); [Warren Johnson](#); [David Potts](#); [Tracy Collins](#); [Brian Wolfe](#); [Rob Usher](#)  
**Subject:** RE: Case No.: Z#170-26, Location 125 Lorraine Parkway, Parcel 15N10 015. Application for Rezoning, Variances and Conditional Use Permit by Hickory Real Estate Partners  
**Date:** Tuesday, April 7, 2026 9:06:51 AM  
**Attachments:** [image001.png](#)

---

Wolfgang:

Thanks for reaching out, we appreciate you submitting public input for the case. I will add this email to our case file, and other emails like it will be bundled together for both the Planning Commission and City Council agendas for consideration. This case will be heard by the Planning Commission on May 7, and City Council on May 18. Both of these meetings are held at the Chambers at City Center (8534 Main Street) at 7PM.

If you have any follow up questions regarding the public hearing process, feel free to shoot us an email.

Best,



**Cameron Dunn, MPA**

City of Woodstock  
Planner II

O) 770-592-6000 ex. 1601  
12453 Highway 92, Woodstock, GA 30188  
[www.woodstockga.gov](http://www.woodstockga.gov)

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---

**From:** Colin Ake <cake@woodstockga.gov>

**Sent:** Sunday, April 5, 2026 9:16 AM

**To:** Wolfgang Hammer

**Cc:** Planning <planning@woodstockga.gov>; Michael Caldwell <mcaldwell@woodstockga.gov>; Warren Johnson <wjohanson@woodstockga.gov>; David Potts <dpotts@woodstockga.gov>; Tracy Collins <tcollins@woodstockga.gov>; Brian Wolfe <bwolfe@woodstockga.gov>; Rob Usher <rusher@woodstockga.gov>

**Subject:** Re: Case No.: Z#170-26, Location 125 Lorraine Parkway, Parcel 15N10 015. Application for Rezoning, Variances and Conditional Use Permit by Hickory Real Estate Partners

Wolfgang,

## ATTACHMENT G11

Welcome to Woodstock! Hope you're enjoying our fine city.

You may be aware that your current neighborhood was a new development and was the first residential development off of that portion of Olde Rope Mill Road only recently. In fact, the rest of that section of the road is currently zoned commercial. Your email seems to suggest that Commercial would not be desirable but you purchased your home in a neighborhood next to an undeveloped parcel zoned Commercial.

Most developments that are built out do have some temporary impact on neighboring communities but I assure you we have standard procedures during construction that help mitigate many of the concerns you've raised.

Whether or not the proposed development fits code / long term planning is a different question, but I am quite sure that if this moves forward (or if something else does) it won't significantly impact your neighborhood.

Have a great day!

Colin

Colin Ake  
City Council - Ward 3  
City of Woodstock, GA

Sent from my iPhone

On Apr 4, 2026, at 2:25 PM, Wolfgang Hammer <[whammer172@gmail.com](mailto:whammer172@gmail.com)> wrote:

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Members of the Woodstock Planning and Zoning Commission,

My name is Wolfgang Hammer and I live at 227 Floral Valley Drive, Woodstock. This location is within the Glenhaven at Ridgewalk Community. Our home is near the proposed site and it would be negatively affected by the proposed development.

Please allow me to bring to your attention some major concerns related to the proposal.

My wife and I bought our house at Glenhaven in October 2022 because the community

## ATTACHMENT G12

represented exactly what we were looking for in our retirement years, i.e. a small, quiet enclave for older residents, with easy access. We are concerned that some of these qualities, particularly "quiet" and "easy access" would disappear. Specifically we are concerned about

- Excessive dust, noise and traffic during construction
- Possibility of 24/7 operation and the noise and traffic which comes with such around-the-clock operation.
- We believe that the access into Glenhaven would be severely restricted by the expected additional traffic, some of it would be by large trucks. The intersection Ridgewalk/Olde Rope Mill/ I 575 and the access road to the Outlets is already congested very often.
- Other Industrial/Commercial developments may follow. This would change the entire character of the neighborhood from Residential to Industrial/Commercial, which is not desirable.

We would appreciate it if you would include our concerns into your consideration.

Sincerely

Wolfgang Hammer

## ATTACHMENT G13

**From:** [Cameron Dunn](#)  
**To:** [Planning](#)  
**Subject:** RE: Rezoning on Old Rope Mill Road  
**Date:** Tuesday, April 7, 2026 9:09:17 AM

---

Susan:

Thanks for reaching out, we appreciate you submitting public input for the case. I will add this email to our case file, and other emails like it will be bundled together for both the Planning Commission and City Council agendas for consideration. This case will be heard by the Planning Commission on May 7, and City Council on May 18. Both of these meetings are held at the Chambers at City Center (8534 Main Street) at 7PM.

Analysis on traffic generation for the proposed development will be considered by staff in our recommendation.

If you have any follow up questions regarding the public hearing process, feel free to shoot us an email.

Best,

Cameron Dunn, MPA  
City of Woodstock  
Planner II

O) 770-592-6000 ex. 1601  
12453 Highway 92, Woodstock, GA 30188  
[www.woodstockga.gov](http://www.woodstockga.gov)

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-----Original Message-----

From: Susan Seeley  
Sent: Sunday, April 5, 2026 4:10 PM  
To: Planning <[planning@woodstockga.gov](mailto:planning@woodstockga.gov)>  
Subject: Rezoning on Old Rope Mill Road

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To whom it may concern,

I, Susan Seeley, a resident of Glenhaven at Ridgewalk, am very concerned about the impact the rezoning in this area will have. I believe it will be very disruptive to this relatively quiet retirement community. Old Rope Mill road is already busy with park traffic and the very busy Kia dealership. I also believe it will have a negative impact on the wildlife in this area.

Have there truly been any studies on the amount of traffic disruption it will have on the already overburdened Ridgewalk Pkwy? Just having Sunday church services already require police assistance to get the extra traffic moving. With all of the proposed building just down Ridgeway Pkwy with a proposed sports stadium and now this project it's going to make a messy traffic situation much worse. Maybe having existing traffic problems a main consideration would be a much better way to proceed.

Regards,  
Susan Seeley

Sent from my iPhone

## ATTACHMENT G14

**From:** [Cameron Dunn](#)  
**To:** [Planning](#)  
**Cc:** [Michael Caldwell](#); [Warren Johnson](#); [David Potts](#); [Colin Ake](#); [Tracy Collins](#); [glenhavenridgewalk@gmail.com](mailto:glenhavenridgewalk@gmail.com)  
**Subject:** RE: Opposition to Proposed Light Industrial Rezoning for a Distribution Warehouse on Olde Rope Mill Road  
**Date:** Tuesday, April 7, 2026 9:05:53 AM  
**Attachments:** [image001.png](#)

---

Rich:

Thanks for reaching out, we appreciate you submitting public input for the case. I will add this email to our case file, and other emails like it will be bundled together for both the Planning Commission and City Council agendas for consideration. This case will be heard by the Planning Commission on May 7, and City Council on May 18. Both of these meetings are held at the Chambers at City Center (8534 Main Street) at 7PM.

If you have any follow up questions regarding the public hearing process, feel free to shoot us an email.

Best,



**Cameron Dunn, MPA**

City of Woodstock  
Planner II

O) 770-592-6000 ex. 1601  
12453 Highway 92, Woodstock, GA 30188  
[www.woodstockga.gov](http://www.woodstockga.gov)

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---

**From:** Rich Swartz  
**Sent:** Saturday, April 4, 2026 2:47 PM  
**To:** Planning <[planning@woodstockga.gov](mailto:planning@woodstockga.gov)>  
**Cc:** Michael Caldwell <[mcaldwell@woodstockga.gov](mailto:mcaldwell@woodstockga.gov)>; Warren Johnson <[wjohnson@woodstockga.gov](mailto:wjohnson@woodstockga.gov)>; David Potts <[dpotts@woodstockga.gov](mailto:dpotts@woodstockga.gov)>; Colin Ake <[cake@woodstockga.gov](mailto:cake@woodstockga.gov)>; Tracy Collins <[tcollins@woodstockga.gov](mailto:tcollins@woodstockga.gov)>; [glenhavenridgewalk@gmail.com](mailto:glenhavenridgewalk@gmail.com)  
**Subject:** Opposition to Proposed Light Industrial Rezoning for a Distribution Warehouse on Olde Rope Mill Road

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## ATTACHMENT G15

I am writing as a resident of the Glenhaven at Ridgewalk, 55+ active adult community to express my strong opposition to the proposed rezoning of the undeveloped parcel along Olde Rope Mill Road to light industrial and the construction of a new distribution warehouse with 20 loading bays and 96 parking spaces on this site.

Our neighborhood is highly vulnerable to increased traffic, noise, and visual impacts. Ridgewalk Parkway is already constrained during peak hours, and the addition of frequent tractor-trailer traffic traveling to and from a distribution warehouse would significantly worsen congestion, safety, and quality of life for residents, particularly in our 55+ active adult community. The existing character of this corridor is evolving into a vibrant, mixed-use, pedestrian-friendly environment that aligns with the city's vision for Woodstock, including the nearby mixed-use development with the minor-league women's soccer stadium, apartments, restaurants, and retail—often described as a “mini Battery” for Woodstock.

Further, additional projects planned in close proximity, including apartments, a Whole Foods, and complementary retail, reinforce a high-quality, amenity-rich, residential-led environment that is consistent with the city's stated goals of enhancing Woodstock as a desirable, walkable, and attractive community. In contrast, placing a light industrial distribution warehouse immediately just around the corner from the downtown area, adjacent to residential neighborhoods and existing high-end developments, is fundamentally incompatible with this vision and would create a jarring and inappropriate land-use conflict.

For these reasons, I respectfully urge the City Council to deny the proposed rezoning of this property from commercial to light industrial and to maintain the existing overlay zoning of Workplace Center. This conjures up a much more compatible vision with surrounding developments and the broader city plan than a dreaded distribution warehouse. I would appreciate the opportunity to speak at the appropriate public hearing or to provide additional comments if helpful.

Thank you for your time and consideration.

Sincerely,  
Richard Swartz

## ATTACHMENT G16

**From:** [Cameron Dunn](#)  
**To:** [Planning](#)  
**Cc:** [Michael Caldwell](#); [Warren Johnson](#); [David Potts](#); [Tracy Collins](#); [Brian Wolfe](#); [Rob Usher](#); [Colin Ake](#)  
**Subject:** RE: Formal Opposition and Request for Study Extension – Olde Rope Mill Park Road Rezoning (Case Z#170-26)  
**Date:** Monday, April 20, 2026 2:32:00 PM  
**Attachments:** [image001.png](#)

---

Mr. Szathmary:

Thank you for reaching out to provide public input on the case. We will add it to the digital casefile so that the Planning Commission and City Council have a chance to review it prior to their meetings. This case will appear before the Planning Commission on May 7, and before Council on May 18. Both meetings are at 7PM at the Chambers at City Center (8534 Main Street).

I'd also like to thank you for the detailed list of concerns provided to us. Considerations have been made regarding these items at the staff level, and the Development Process Committee is recommending conditions of approval on the project that require traffic studies prior to site plan submittal, limit disruption to traffic along both the Lorraine and Olde Rope Mill Park corridors, and mitigate light and noise trespass into Glenhaven at standards consistent with our Noise and Outdoor Lighting Ordinances.

I've also forwarded this email to the Applicant in the case, allowing them to take a look at the concerns so that they might address them at the Planning Commission meeting.

Thanks again,



**Cameron Dunn, MPA**

**City of Woodstock**

Planner II

O) 770-592-6000 ex. 1601

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**From:** Mike Szathmary

**Sent:** Thursday, April 16, 2026 10:47 AM **To:**

Planning <[planning@woodstockga.gov](mailto:planning@woodstockga.gov)>

**Cc:** Michael Caldwell <[mcaldwell@woodstockga.gov](mailto:mcaldwell@woodstockga.gov)>; Warren Johnson

<[wjohnson@woodstockga.gov](mailto:wjohnson@woodstockga.gov)>; David Potts <[dpotts@woodstockga.gov](mailto:dpotts@woodstockga.gov)>; Tracy Collins

## ATTACHMENT G17

<tcollins@woodstockga.gov>; Brian Wolfe <bwolfe@woodstockga.gov>; Rob Usher <rusher@woodstockga.gov>; Colin Ake <cake@woodstockga.gov>

**Subject:** Formal Opposition and Request for Study Extension – Olde Rope Mill Park Road Rezoning (Case Z#170-26)

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Mayor Caldwell, Members of the City Council, and Members of the Planning Commission,

I am a resident of Glenhaven at Ridgewalk and a 100% service-connected disabled veteran. My 92-year-old mother lives in my home and is dependent on timely emergency medical response. I am writing to formally oppose the proposed rezoning of the Olde Rope Mill Park Road parcel from General Commercial to Light Industrial (Case Z#170-26), and to respectfully request that the Commission decline to act on this application until a complete, code-compliant Traffic Impact Study and a thorough review of the application's legal sufficiencies have been conducted.

I recognize the City's interest in economic development. I write not in opposition to growth, but in support of a process that meets the legal and technical standards the City's own code demands — and that gives adequate weight to the safety of existing residents.

### I. THE SUBMITTED TRAFFIC STUDY IS LEGALLY AND TECHNICALLY DEFICIENT

The document submitted by Kimley-Horn is titled a "Trip Generation and Traffic Engineering Opinion Memorandum" — not a Traffic Impact Study. The City of Woodstock requires a formal TIS for all non-residential developments exceeding 25,000 square feet. At 92,000 SF, this project is nearly four times that threshold. The distinction is not semantic; the submitted memorandum explicitly states that "no traffic count data was collected." Every calculation in that document — including the conclusion that no turn lanes are warranted — rests on assumed, unverified traffic volumes, not field measurements.

Further, the site plan clearly depicts 20 loading docks. Yet Kimley-Horn applied ITE Land Use Code 110 (generic Light Industrial), which projects only 1 truck trip during the PM peak hour for the entire facility. Georgia planning practice requires that a traffic study be based on the most intense use the site design can physically support. A 20-dock building is engineered for logistics-intensive operations far exceeding the generic ITE 110 rate. The study's truck trip projections are not credible on their face.

Finally, the Ridgewalk Parkway/Olde Rope Mill Road intersection — the only signalized access

## ATTACHMENT G18

point to this corridor — is not analyzed at all. The study discusses it in the introduction and never addresses it again.

### II. EMERGENCY ACCESS TO GLENHAVEN IS A LIFE-SAFETY MATTER

I ask the Commission to consider a concern that no traffic model adequately captures: Glenhaven at Ridgewalk has a single point of ingress and egress. There is no secondary access.

As a 100% disabled veteran with a 92-year-old mother in my home, I depend on emergency medical response being able to reach my residence without delay. That is not a theoretical concern — it is a daily reality for our household and for many of our neighbors.

The Olde Rope Mill development does not exist in isolation. The Commission is being asked to approve it while the following projects are simultaneously underway or proposed in this same corridor:

- Construction activity at the Exit 9 interchange
- The proposed stadium development at Reagan Field near Ridgewalk Parkway
- Ongoing roadway improvements in the area

No cumulative traffic or emergency-access analysis has been performed for this combination of projects. The submitted memorandum evaluates this site in isolation and assigns 100% of project traffic to the northbound approach — ignoring the I-575 interchange to the south, which is the primary regional access point. If that assumption is wrong, the intersection impact and the emergency response time impact are both materially understated.

I respectfully ask: if an ambulance is delayed reaching my neighborhood because construction staging, truck traffic, or congestion has compromised the single entrance to Glenhaven, who bears responsibility for that outcome? That question deserves an answer before a vote is taken.

### III. THE APPLICATION ITSELF CONTAINS MATERIAL DEFICIENCIES

Beyond the traffic study, a careful review of the application package reveals the following concerns:

1. The Property Tax Verification form was submitted with the Tax Official signature section entirely blank. The City's own code states that no rezoning application shall be processed without completed tax verification. This deficiency should have prevented acceptance of the application on March 13, 2026.

## ATTACHMENT G19

2. The proposed use is described inconsistently across the application — as "warehouse/distribution," "office/warehouse," and "light industrial" depending on which form you read. The Planning Commission cannot properly apply the Conditional Use Permit standards under LDO §7.505 without a clear, committed use description.

3. The application simultaneously argues that the property has "no reasonable economic use" under its current GC zoning (to support the rezoning), while also arguing that GC already permits buildings of similar size and similar variances (to support the variance requests). These positions are legally contradictory.

4. The application requests a CUP for a warehouse/distribution use adjacent to a residential subdivision, but provides no proposed conditions, no enforceable hours of operation, no noise or vibration standards, and no delivery schedule controls. Woodstock's code prohibits "excessive" noise, odors, and vibrations but does not define those terms. Vague standards are unenforceable standards.

5. The application acknowledges the 24.61-acre parcel will be subdivided, with only 8.2 acres developed under this application. No subdivision plat, lot split application, or analysis of the remainder parcel has been submitted. The Commission is being asked to approve a rezoning for a parcel that does not yet legally exist in its proposed form.

#### IV. REQUEST

I respectfully request that the Planning Commission take the following actions:

1. Decline to recommend approval of Case Z#170-26 at the May 7, 2026 hearing.
2. Direct the applicant to commission and submit a full, Level 3 Traffic Impact Study utilizing actual field counts at the Olde Rope Mill Road/Ridgewalk Parkway intersection, ITE rates appropriate to the most intense use the site design supports, and a cumulative impact analysis that accounts for concurrent development activity in the corridor.
3. Require the applicant to address the application deficiencies identified above, including the incomplete tax verification, the inconsistent use descriptions, and the absence of enforceable operational conditions.
4. Request that the City's Public Safety Director or Cherokee County Emergency Services provide a written assessment of emergency vehicle access to Glenhaven at Ridgewalk under construction and operational traffic conditions before this application advances.

This process has moved quickly. The application was received March 13, 2026 and is

ATTACHMENT G20

scheduled for a Planning Commission vote on May 7 — less than eight weeks. The residents of Glenhaven deserve a process that is thorough, not fast. The legal and technical standards exist for a reason. I am asking that they be applied.

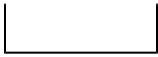
Thank you for your service to this community and for the time you have given to this letter.

Respectfully submitted,

--

Mike Szathmary

153 Lorraine Pkwy



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## ATTACHMENT G21

**From:** [Cameron Dunn](#)  
**To:** [Planning](#)  
**Subject:** RE: Concerns Impacting Community in Glenhaven at Ridgewalk  
**Date:** Tuesday, April 7, 2026 9:11:41 AM  
**Attachments:** [image001.png](#)

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Dick:

Thanks for reaching out, we appreciate you submitting public input for the case. I will add this email to our case file for both the Old Rope Mill Park Dr and Ridgewalk/Reagan cases, and other emails like it will be bundled together for both the Planning Commission and City Council agendas for consideration. The Pitch case will be heard by the City Council on April 27. The Hickory Real Estate case will be heard by the Planning Commission on May 7 and City Council on May 18. Each of these meetings are held at the Chambers at City Center (8534 Main Street) at 7PM.

If you have any follow up questions regarding the public hearing process, feel free to shoot us an email.

Best,



**Cameron Dunn, MPA**

**City of Woodstock**

Planner II

O) 770-592-6000 ex. 1601

12453 Highway 92, Woodstock, GA 30188

[www.woodstockga.gov](http://www.woodstockga.gov)

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**From:** Dick Wendling  
**Sent:** Monday, April 6, 2026 11:54 AM  
**To:** Planning <[planning@woodstockga.gov](mailto:planning@woodstockga.gov)>  
**Subject:** Concerns Impacting Community in Glenhaven at Ridgewalk

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For Woodstock Planning & Zoning Commission,

## ATTACHMENT G22

I am a resident of Glenhaven living at 306 Carriage Glen Ln. I am writing to share my concerns regarding several proposed developments in Woodstock, specifically projects Z#167-26 (The Pitch) and Z#170-26 (Hickey Real Estate), as well as the rumored development east of Costco involving a grocery store and over 200 apartments.

Traffic congestion on Ridgewalk Parkway is already a significant challenge for local residents. The addition of more than 400 total apartments between The Pitch and the rumored Costco-adjacent project would severely exacerbate these traffic issues. Furthermore, I understand that Woodstock has already exceeded the 20% limit for apartment housing established in the city's strategic plans.

Additionally, I am concerned that the Hickey Real Estate project will introduce a significant volume of truck traffic onto Olde Rope Mill Road, further impacting our infrastructure.

I urge you to take a holistic view of how these projects collectively impact Ridgewalk Parkway and to adhere to the strategic goal of limiting apartment development to 20%.

Thank you for your time and consideration.

Best regards,

Dick Wendling

## ATTACHMENT G23

**From:** Rick Young  
**To:** [Planning](#)  
**Cc:**  
**Subject:** Comments on March 31, 2026 meeting Re: Case: Z#170-26  
**Date:** Tuesday, April 21, 2026 3:42:41 PM

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I attended the public input meeting and also attended the meeting in the Glenhaven at Ridgewalk clubhouse with the developers and attorney.

The proposed building used as a distribution hub has the capability of far more than the 12 trucks stated in the proposal. My research indicates over 100 per day and as high as 200 per day, semis and box. I could support this project if there were reasonable limits to the truck volume included as one of the conditions of use that run with the land, not just the first owner.

At the higher volume the proposed building is capable of, the traffic impact on Old Rope Mill Road including leaving and returning off Ridgewalk Parkway would be unacceptable.

The zoning descriptions, including the impact of the "Tech" overlay, were not clear or thorough. It's hard to develop an informed decision when you don't have the full picture.

If the meeting on March 7th is just to change the zoning from GC to Light Industrial, that is acceptable to me. However, if it is also to approve this proposal and the conditional use permit, it is premature as the information presented is lacking. That decision should be postponed until the proposal; its impact and the conditional use restrictions are fully understood.

The meeting with the developers at our community clubhouse satisfied my concerns on noise, light and hours of operation. My major concern is the potential impact on traffic and safety if the building as proposed is used to its maximum capability.

Rick Young  
714 Rising Moon Drive  
Woodstock, GA 30188

## ATTACHMENT G24

**From:** Mary Kash  
**To:** [Planning](#); [Michael Caldwell](#); [Warren Johnson](#); [David Potts](#); [Colin Ake](#); [Tracy Collins](#); [Brian Wolfe](#); [rasher@woodstockga.gov](mailto:rasher@woodstockga.gov)  
**Subject:** Olde Rope Mill warehouse zoning request  
**Date:** Sunday, April 26, 2026 2:39:03 PM

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**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

I am a resident at Glenhaven at Ridgewalk. I am from a residential real estate background in East Cobb. We moved to this quiet neighborhood tucked away from the main street to get a flat lot for medical reasons. We were well aware the mall was close by and the factory that never makes a sound. I am seriously concerned about the possibility of eighteen wheelers and box trucks. I know my neighbors will be making you aware of the noise and how the unbelievable traffic will have a huge impact. I am adding my concern about the ambience of the Woodstock area and what makes it a desirable place to live and visit. A warehouse and large trucks simply do not fit the pattern. I drive Woodstock Road and Main Street and I like the decisions you have made. Woodstock made the decision to allow a 55 and over community to be located here, please consider us and deny any possibility of a warehouse with big trucks. Thanking you in advance, Mary Kash

**From:**  
**To:** [Planning](#)  
**Subject:** Firmly against rezoning of Olde Rope Mill!  
**Date:** Friday, April 24, 2026 10:02:24 PM

---

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Woodstock Planning & Zoning Commission,

**I am Firmly against Rezoning of Olde Rope Mill!**

Because we have notified that the intersection area traffic has been so horrible since we moved in Glenhaven at Ridgewalk Community. However, we have been advised that the state has a project to fix it in 2029. If that is true, any additional traffic should, at least, wait until the state's project is completed, not before.

In addition to the Traffic, we also have other concerns such as Noise, Lighting, Tree Protection etc. which have been already notified to the developers at the Community Meeting on April 20th 2026.

Please kindly stop or pause the **Rezoning of Olde Rope Mill!**

**I am firmly against rezoning of Olde Rope Mill, and hope you, too!**

Thanks & Regards,  
Resident: Bo Yu

## ATTACHMENT G26

**From:** [Colin Ake](#)  
**To:** [Planning](#)  
**Subject:** Fwd: Rezoning Old Rope Mill Rd  
**Date:** Saturday, April 25, 2026 2:06:08 PM

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Colin Ake  
City Council - Ward 3  
City of Woodstock, GA

Sent from my iPhone

Begin forwarded message:

**From:** danielmann  
**Date:** April 25, 2026 at 1:59:59 PM EDT  
**To:** Colin Ake <cake@woodstockga.gov>  
**Subject:** Rezoning Old Rope Mill Rd

**CAUTION:** This message originated outside of the City of Woodstock mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Mr. Ake:

As a homeowner in the Glenhaven 55+ community, I'm extremely concerned (and upset) by the proposed rezoning of our street. With a large, multi tenant construction including multiple bays for large trucks sharing Old Rope Mill Road, you will have virtually ensured depreciation of my property investment. We purchased this property specifically for the comfort of knowing that we have the park as a neighbor and therefore assured that the area will remain peaceful. We now learn that you are considering changing our zoning from commercial to light industrial. With a large project next door, including bays for semi trucks and a refusal (by the potential developer) to guarantee no middle of the night activity as well as a refusal to construct a sound/light barrier - you are helping to create a noisy, traffic logged, light glaring and unattractive street in what is presently a nice entry to Olde Rope Mill Park.

My family requests that you honor the zoning we relied on when we purchased our home and maintain an attractive, controlled development of this area that will suit both homeowners and appropriate commercial growth alike when this rezoning issue is submitted for your vote.

Thank you,

Paul and Diane Mann  
Woodstock, GA 30188

Glenhaven at Ridgewalk Homeowners Association, Inc.  
2230 Towne Lake Parkway  
Building 500, Suite 110  
Woodstock, GA 30188

April 29, 2026

City of Woodstock Planning Commission  
Woodstock City Council Members  
Mayor Caldwell  
Via Email

Re: Case Z#170-26

Dear Members and Staff of the City of Woodstock Planning Commission, Woodstock City Council Members and Mayor Caldwell,

We are writing in regard to the application for a proposed re-zoning, conditional use permit and concurrent variances submitted by Hickory Real Estate Partners, LLC (the “Applicant”) concerning property located at 125 Lorraine Parkway (Parcel No. 15N 10015, the “Property”), which is adjacent to our residential neighborhood known as Glenhaven at Ridgewalk (a 55+ community).

The purpose of this letter is to ensure that the City understands our concerns and to respectfully request a decision that aligns with the City of Woodstock’s stated goals, related codes and policies. Rezoning and issuance of a Conditional Use Permit are permanent legislative actions that establish future land-use entitlements. The Applicant’s request must be evaluated based on:

- Existing and documented infrastructure conditions,
- The most intensive reasonable use permitted by zoning,
- Respect for the reliance of current property owners on existing zoning and maintaining homeowner property values and quality of life,
- The understanding that future development may include additional distribution centers beyond the single facility proposed,
- Consistency with adopted plans, and
- Long-term environmental protection.

### **Nature of the Application and Proposed Development**

The Applicant seeks to rezone the entire subject Property from General Commercial (GC) to Light Industrial (LI), then subdivide approximately 8.25 acres to enable construction of a single, approximately 92,000-square-foot industrial building (*Figure 1*). The Applicant has stated an intent to lease the building to multiple tenants in suites consisting of 20,000 – 30,000 sf, but is not willing to commit to multi-tenant usage (they have indicated to us in writing that they must reserve the right to lease the entire building to a single tenant). They are unable at this point to provide any indication of the names or business types of possible tenants. As proposed, the development includes:

- Two full-movement driveways on Olde Rope Mill Park Road,
- Approximately 96 parking spaces,
- Dedicated truck access and loading operations with 20 truck docks that can each accommodate 18-wheeled tractor-trailers,
- Extensive grading and retaining walls to accommodate topographic change,
- An underground stormwater detention system discharging to a downstream water-quality feature,
- Immediate adjacency to a forested stream buffer and an off-site wetland on HOA common property, and
- A forest buffer intended to screen the development from the existing Glenhaven at Ridgewalk single-family community.

The rezoning is foundational. Once approved, LI zoning would impact future uses of the undeveloped portions of the parcel, as well as possible changes to use of the portion of the Property currently used by Kirk-Rudy.

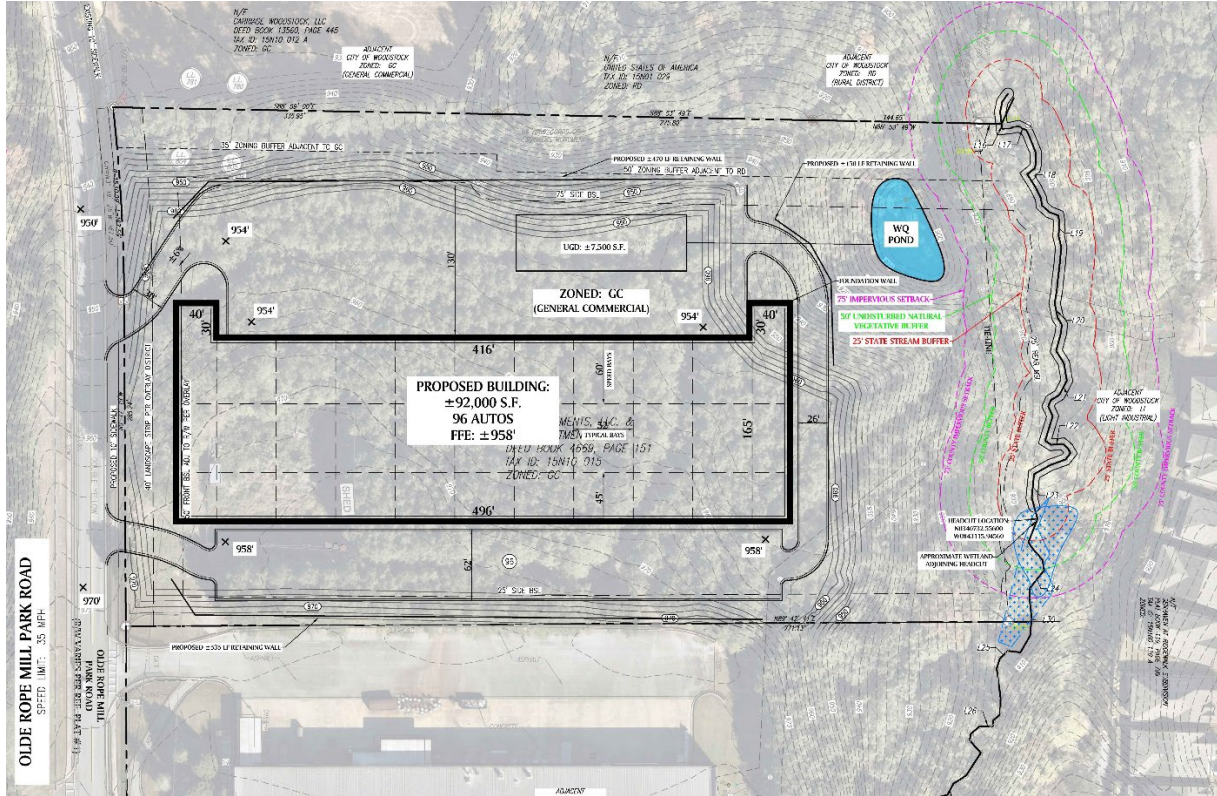


Figure 1 Proposed Development

Our community members have done extensive research into the Applicant's requests for rezoning, variances and a Conditional Use Permit, together with the supporting documents and compared them to the City of Woodstock's adopted policies and infrastructure conditions. Our review included zoning codes and overlays, the City of Woodstock Comprehensive Plan 2023 Update, information from GDOT regarding the I-575/Ridgewalk Parkway diverging diamond plan, and ITE traffic study information. We attended the public hearing presentation and Q&A on March 31<sup>st</sup> with the Applicant's representatives and accepted their offer to meet with our community members for further discussion and Q&A regarding the Project, which occurred on April 20th. We also accepted their offer to drive by developments similar to the Project along the I-575 corridor. Based on this review, we believe that the Application should be denied for the reasons enumerated below.

**1. Transportation (Site and Road Capacity and Timing)**

**Existing Conditions**

Current traffic infrastructure for the intersections serving the proposed development has been formally analyzed by GDOT with the following determinations:

- **LOS (Level of Service) F** at the I-575 ramp intersections, meaning traffic demand exceeds what the road can manage (*Figures 2 and 3*)
- **LOS E** at the Ridgewalk Parkway / Olde Rope Mill Park Road intersection, meaning the road operates at maximum capacity with no buffer (*Figure 4*).
- Regular queue spillback onto Olde Rope Mill Park Road and Woodstock Parkway.

These findings apply to both weekday and weekend peak hours.

These failing conditions are the basis for the GDOT diverging diamond interchange project currently in planning and design. LOS E/F conditions indicate no reserve capacity under accepted transportation planning standards. The proposed development would introduce both automobile and large truck traffic in an area that cannot support it before the GDOT project is completed (likely late 2029 per GDOT).

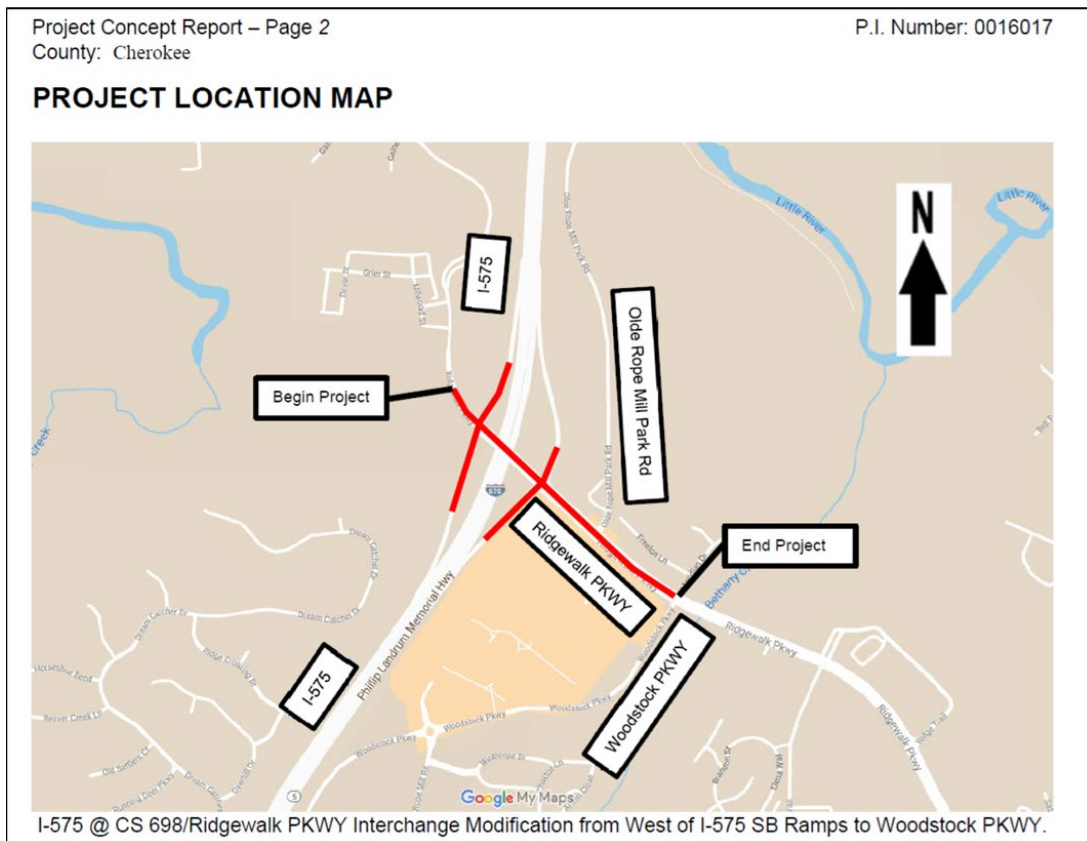


Figure 2

*Proposed GDOT and the City’s Interchange Modification*

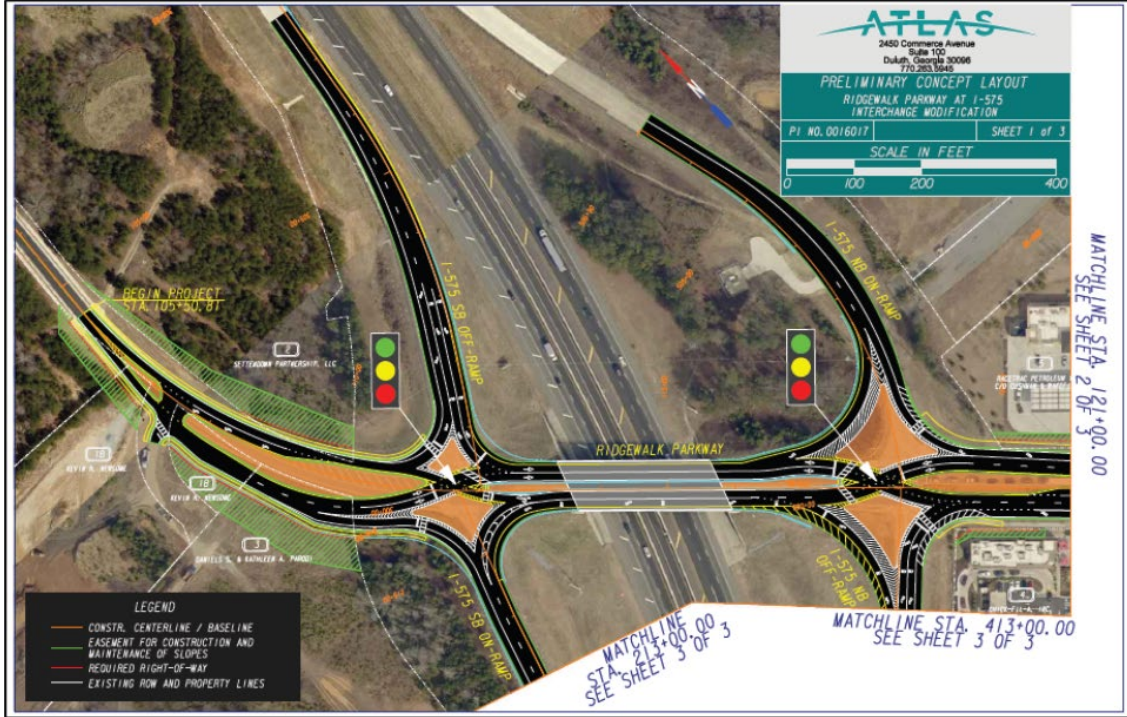


Figure 3 Proposed GADOT Diamond Configuration



Figure 4 Proposed GDOT Modification at the Olde Rope Mill Park Road Intersection

### Impact of Proposal on Existing Conditions

The Applicant is relying at this time on a Trip Generation and Traffic Engineering Opinion Memorandum prepared by Kimley-Horn. The Memorandum assumes generic light industrial use of the property and concludes that Warehousing Heavy Vehicle Trips will average 12 per day. The Memorandum:

- Does not account for unknown tenant types (typical warehouse, moderate logistics, regional distribution, e-commerce/parcel)
- Does not account for easy highway access
- Does not account for the high number of truck docks
- Does not account for operating hours
- Does not evaluate intersection LOS (Level Of Service),
- Does not analyze queue spillback or cumulative impacts,
- Assumes traffic volumes without field verification, and
- Relies on ITE Code 110 rather than warehousing-appropriate categories such as ITE Code 150

The Institute of Transportation Engineers (ITE) recommends that planners and zoning boards use ITE's "worst-case scenario" data for a higher-intensity facility when tenants and operations are not yet defined. The Kimley-Horn report uses ITE numbers based on a best-case scenario and below the minimally credible use standard of 25 trucks/day. According to ITE, a defensible worst-case scenario for a building this size with easy highway access would assume 80-140+ trucks per day. Truck traffic of this sort typically follows peak usage patterns from 6-9AM and 3-6PM, which will significantly burden the already high peak traffic in the area.

Another important consideration is the high number of van accessible dock doors. This typically signals intended operational intensity even if not stated, similar to an e-commerce or parcel delivery station (eg. Amazon/UPS last mile). The ITE worst-case scenario does not include local delivery vehicles, which could reasonably add 100-300+ van trips per day under extended or 24-hour operations.

It is important to note that the 210-resident community of Glenhaven at Ridgewalk is limited to Olde Rope Mill Road as the sole access into and out of the neighborhood. In addition to the anticipated traffic burden, a traffic accident would not only prevent

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residents from entering or exiting, it may also interfere with timely passage of emergency vehicles bringing live-saving services to the elderly population of this 55+ community.

The Memorandum evaluates only driveway access and turn-lane warrants. It is not a Traffic Impact Study and is insufficient for evaluating a conditional use permit for a warehouse distribution center that will operate on a constrained traffic network. With other developments under consideration by the City along the Ridgewalk Parkway corridor, overall traffic impacts cannot be underestimated.

We believe that the Application should not be considered until a comprehensive traffic study (including bicycle traffic associated with Olde Rope Mill Park) based on the full operating potential of the project has been submitted and evaluated, and then approval should likely be denied or deferred until completion of the diverging diamond interchange consistent with sound infrastructure sequencing principles.

## 2. Zoning and Comprehensive Plan Consistency

The site is currently zoned GC (general commercial) with a Technology Park overlay and lies within a Workplace Center designation under the City's Comprehensive Plan. (Figures 5 & 6)

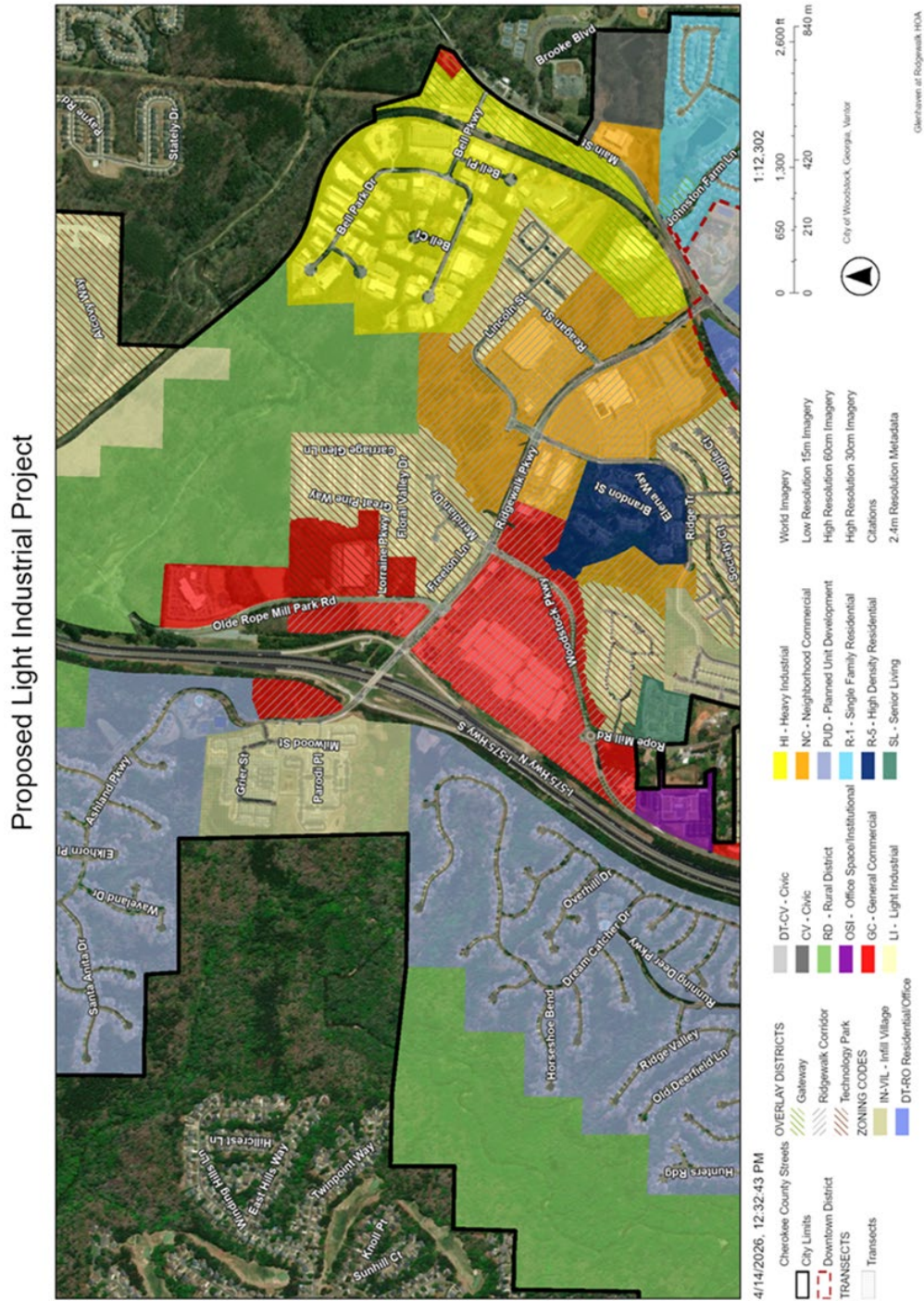


Figure 5 Current Zoning

Future Development Character Areas

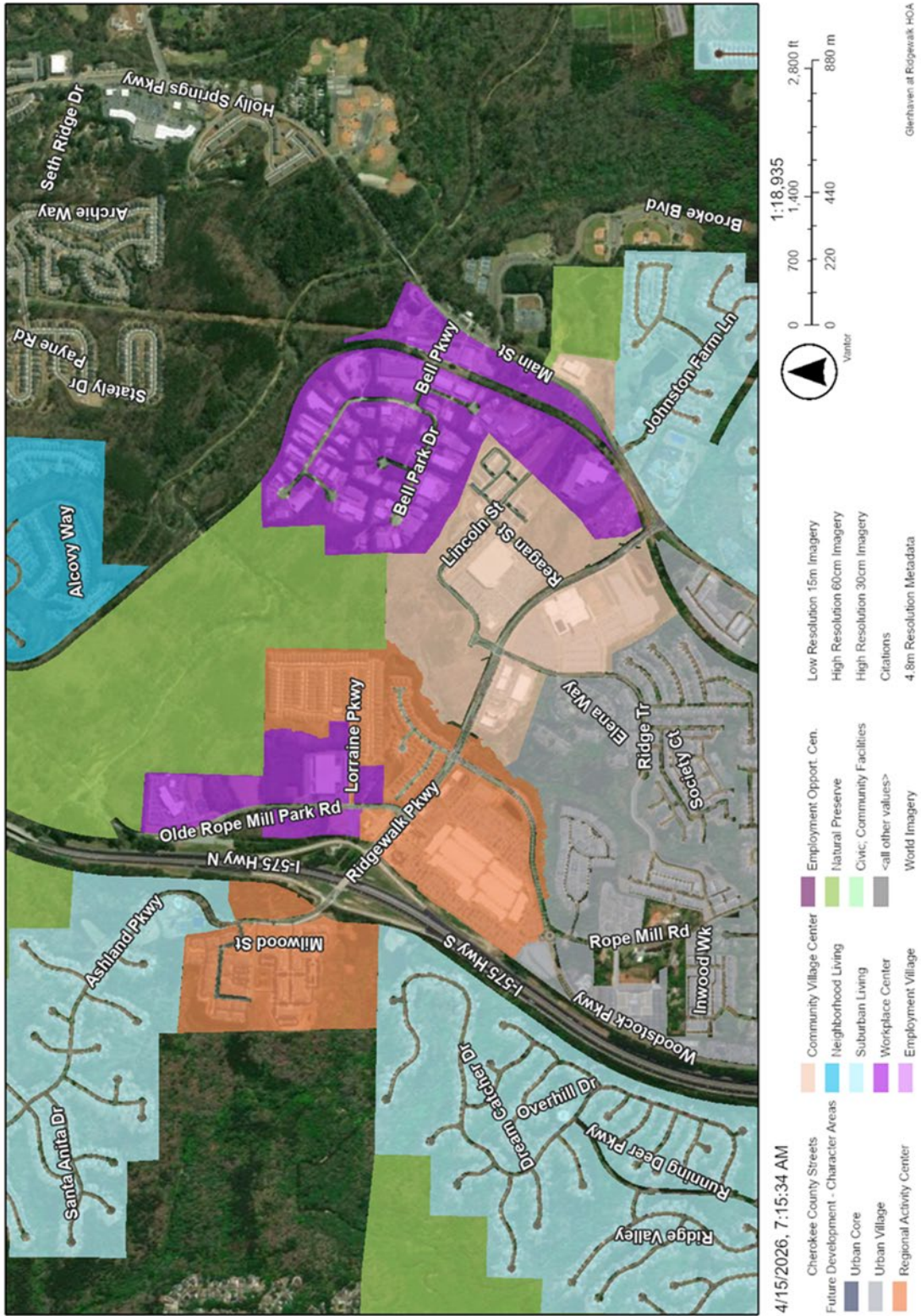


Figure 6 Future Development Character Areas

The legislative purpose of the Technology Park overlay calls for a combination of light industrial, technology oriented commercial, office use and a mixture of residential uses. It is further described as “intended to provide for mixed use options” and with an orientation “towards an exclusive office park environment.” Although light industrial use is specifically included, it would seem that a light industrial use that is outside of the development standards was not contemplated (perhaps one reason why a warehouse distribution center is only permitted upon the grant of a conditional use permit). In our tour with the Applicant of similar warehouse distribution centers with office space along the I-575 corridor, we only found one instance (on Chastain Road) that was adjacent to a residential development. The rest of the buildings appeared to be located in industrial development areas.

Likewise, developments under the Workplace Center designation “should include aesthetic design of a higher-quality than typically expected of industrial buildings. The Applicant has requested a variance from the architectural requirements of the Technology Park overlay, relying on an argument that it will “match’ the existing Kirk-Rudy building. Matching the Kirk-Rudy building will lead to the appearance that this area constitutes an industrial park, which seems to fall outside of the requirements of both the Technology Park Overlay district and the Workplace Center designation.

Property owners in the City of Woodstock should be able to rely on the zoning regulations and overlays in place at the time of their purchase. The property owners in our neighborhood clearly did not anticipate a warehouse distribution center being located on adjacent property. Section 7.886 of the Technology Park Overlay specifically prohibits **truck terminals** and **industrial parks**, both of which bear a close resemblance to the proposed development. The Overlay also provides that activities should be limited to “those not noxious to their neighbors.” Activities that may prevent neighbors from getting a good night’s sleep due to noise on the property could be considered harmful to an individual’s health. The proposed rezoning represents a substantial qualitative change in land use, and maintaining General Commercial zoning does not deprive the current owners of reasonable or economically viable use. The GC designation, combined with the Technology Park Overlay, allows a broad range of options for development.

### **3. Noise and Operational Incompatibility**

Warehouse distribution operations and related trucking generate noise (as well as objectionable odors) as an inherent and unavoidable component of their operation, much of it outside the building itself. These include:

- Tractor-trailer arrivals and departures,
- Idling diesel engines and air brake release,

- Backup alarms and safety warning systems,
- Loading dock operations, trailer impacts, and roll-up doors, and
- Forklift and yard equipment operations.

These noise sources include both continuous low-frequency sound (engine idling) and impulse noise (metal impacts, alarms), which are more perceptible and disruptive to nearby residential uses, particularly during early morning and evening hours.

### **Proximity to Residential Uses**

Existing single-family residences are located within approximately 300 feet of the proposed development. At this distance, typical warehouse noise, particularly truck movements and loading activity, remains clearly audible and can exceed commonly accepted residential noise thresholds without mitigation.

Industry data indicates:

- Truck pass-by and docking events can generate 70–85 dBA at the source
- Idling trucks commonly produce 60–70 dBA
- Backup alarms can exceed 75–90 dBA

While sound attenuates with distance, these noise levels can still exceed acceptable residential standards **at 300 feet**, especially during peak activity or nighttime conditions.

### **Applicable Noise Standards**

Widely accepted planning and public health standards for residential areas provide that:

- Daytime (7:00 AM – 10:00 PM): should not exceed 55–60 dBA
- Nighttime (10:00 PM – 7:00 AM): should not exceed 45–50 dBA

These thresholds are consistent with:

- U.S. EPA community noise guidance
- Common municipal noise ordinance standards

Without enforceable operational limits, typical warehouse and distribution activities have a high likelihood of exceeding these levels at nearby residential property lines.

### **Limits of Mitigation**

Standard site design measures such as landscaping, fencing, and building placement and design (Applicant's design includes "bump-outs" at either end of the truck docks) may provide visual screening but limited acoustic benefit. Vegetation alone typically reduces noise by only a few decibels and does not effectively attenuate low-frequency engine noise, impulse sounds (e.g., trailer impacts), or elevated sound sources such as truck braking systems

Effective noise control would require operational restrictions in addition to physical buffering.

### **Need for Enforceable Controls**

Unlike visual impacts, operational noise is unavoidable and it cannot be meaningfully mitigated without enforceable limits. Because limits on hours of operation, frequency of truck activity and noise are not explicitly regulated under GC or LI zoning codes, these issues would have to be addressed in a required Conditional Use Permit.

Given the proximity of residential uses, the proposed warehouse distribution operation presents a **structural and ongoing noise compatibility issue**. To achieve compatibility, any approval must include measurable noise limits and operational restrictions, some of which the Applicant has already objected to (such as a restriction on all truck activity overnight). Absent such controls, the proposed use is incompatible with adjacent residential development so the Application should be denied.

## **4. Environmental and Buffer Impacts**

### **Forest Composition and Structure**

The existing buffer consists of a typical Georgia Piedmont mixed forest of loblolly pine, tulip poplar, and mature oak species. These are full canopy forest trees generally ranging from approximately 80 to over 100 feet in height. While visually substantial, this type of forest does not function as a dense, continuous visual or physical barrier at ground level. Most canopy mass is elevated and the understory is relatively open, particularly in mature stands, limiting its effectiveness as a year-round screening buffer.

### **Grading and Secondary Tree Loss**

The proposed site layout requires:

- Approximately 50 feet of grading beyond the construction area into the buffer area,
- Construction of retaining walls adjacent to forested slopes (*Figure 7*).

- A vertical drop of approximately 12 feet.

Such grading will eliminate all trees within the graded zone and potentially extend into the buffer zone. This causes predictable secondary tree loss well beyond the grading limits due to root severance, slope instability, and altered hydrology.

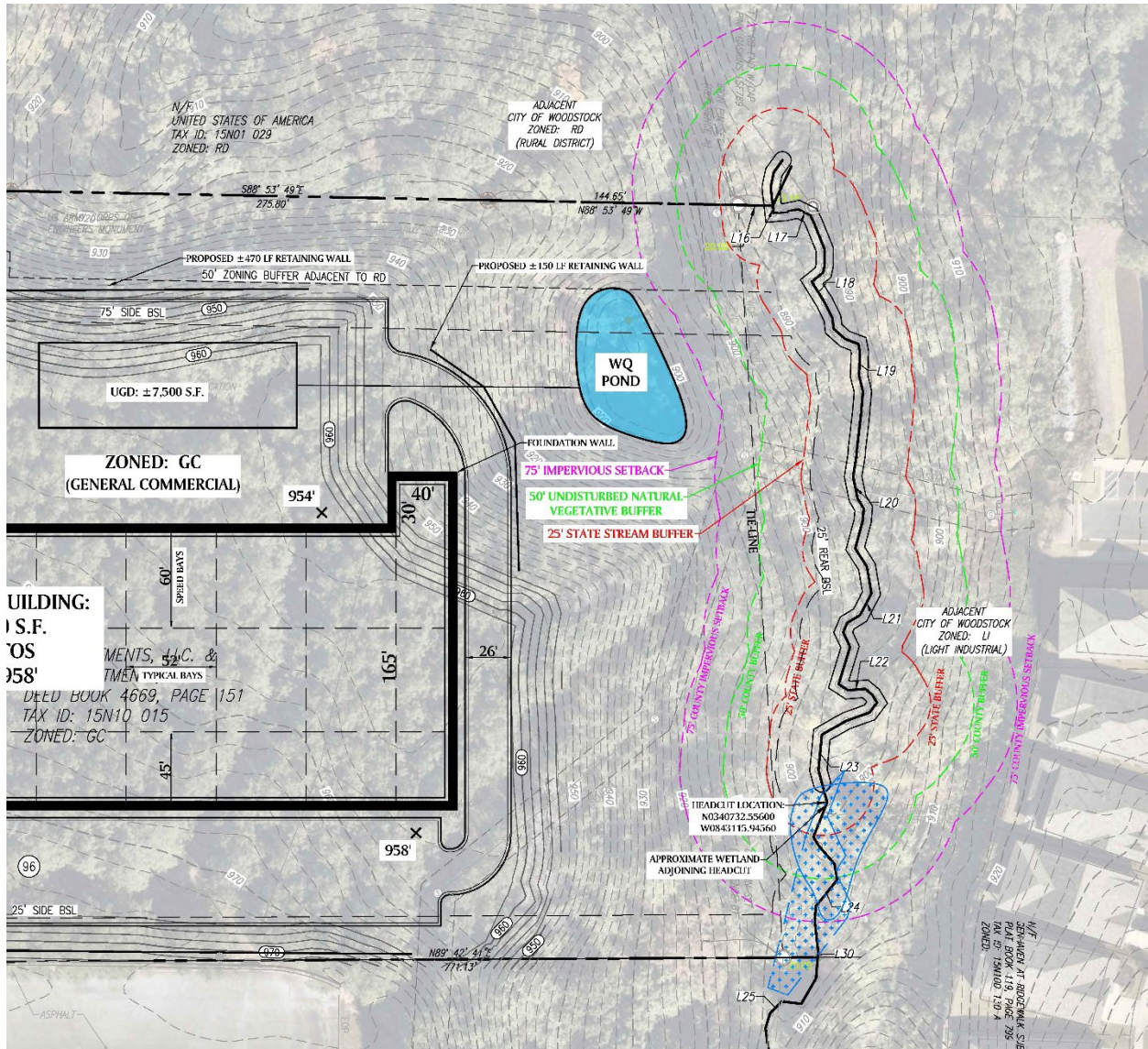


Figure 7 The Buffer Area Between Developments

The effective forest impact extends approximately 75 to 100 feet from the developed edge, far exceeding minimum buffer assumptions.

### Degradation from Construction and Edge Effects

The buffer will not remain in its current condition if adjacent clearing and grading occur. Creation of a hard forest edge introduces well-documented edge effects including

increased wind exposure, soil disturbance, and loss of mutual root support. These changes result in predictable outcomes:

- Tree mortality and blowdown, particularly among loblolly pine and tulip poplar,
- Crown thinning, limb loss, and long-term canopy degradation, and
- Progressive loss of buffer density extending beyond the initial clearing limits.

Research supports the fact that these effects typically extend 50 to 150 feet into the forest, with the highest impact closest to the disturbance edge. As a result, the effective buffer width is reduced over time, and its screening and environmental function diminishes rather than remains stable. (Morgan, R, Jucker, T., *New Phytologist*, 2025, July 16)

### Sight Lines and Noise Attenuation

The existing forest buffer does not provide dependable visual or acoustic separation. Due to the high canopy and relatively open understory, clear sight lines can exist beneath the canopy—especially during winter months when deciduous foliage is absent. Forest vegetation does not function as an effective noise barrier; sound from truck traffic, loading operations, and mechanical equipment passes through forested areas with minimal attenuation. Even dense vegetation typically reduces noise by only a few decibels—far below levels needed to mitigate industrial or logistics-related sound. Accordingly, the existing forest buffer should not be relied upon as a functional noise or visual mitigation measure. (Figure 8)

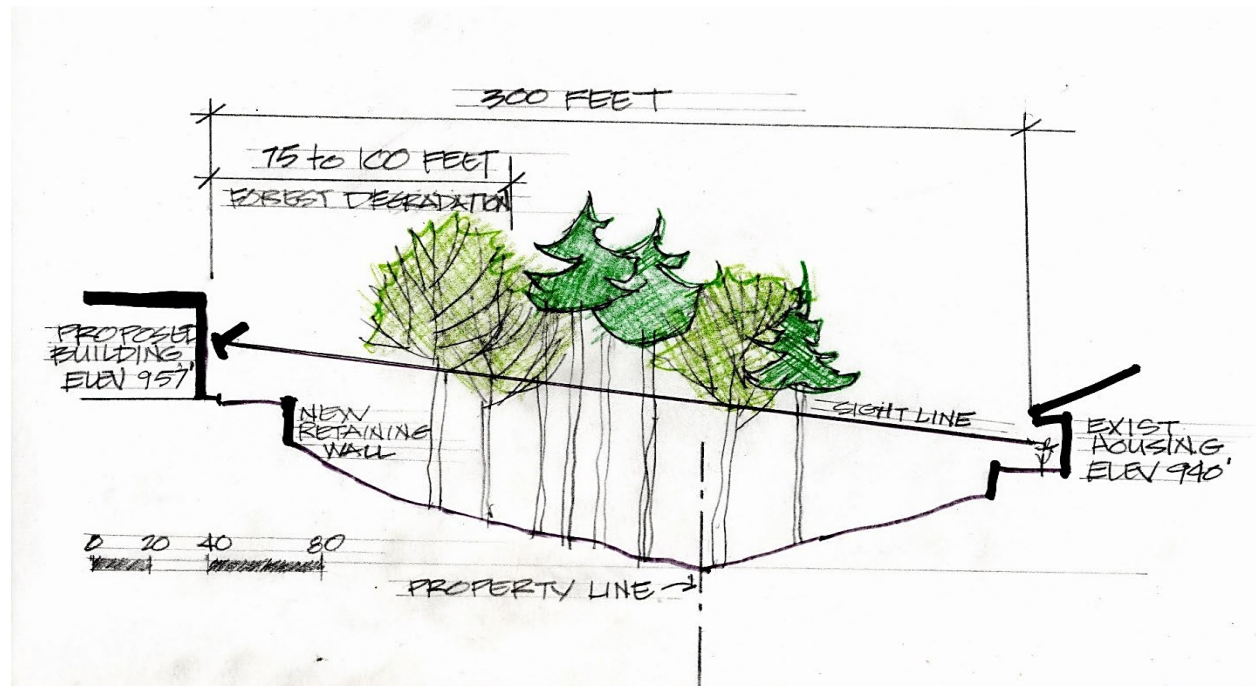


Figure 8 Sight-line illustration

### **Stream Corridor, Grading Impacts, and Wetlands Permitting**

The site includes a forested stream corridor protected under Chapter XVII (Stream Buffer Protection) and Chapter IX (Tree Preservation and Replacement) of the Woodstock Land Development Code. The site is adjacent to Olde Rope Mill Park, which is owned and regulated by the U.S. Army Corps of Engineers (“USACE”). Much of the park is a wetlands. Wetlands permitting, primarily under Section 404 of the Clean Water Act regulates the discharge of dredged or fill material into U.S. waters and requires approval from the USACE. We have reviewed the Wetlands and Waters Delineation Report created by Atwell, LLC dated March 13, 2026 provided to us by the Applicant. The report concludes that this project **may** be subject to Section 404 of the Clean Water Act. The final determination of applicability must be made by the USACE and the EPA (Environmental Protection Agency). We are fortunate to have a USACE certified wetlands delineator in our community (Ronald E. Menze) who knows the park well and is certain that the wetlands are “Waters of the United States” (WOTUS) under the Clean Water Act, and therefore subject to the “Avoid/Minimize/Mitigate sequencing under the Act. We do not know whether the Applicant has yet engaged with the USACE to obtain a final designation or applied for a permit.

It is also our belief that the Applicant would be required to create a Storm Water Pollution Protection Plan (SWPPP) that will address the means, actions and monitoring of preventing pollution of the park and wetlands and obtain a SWPP permit from the State of Georgia. The City should require the Applicant to provide evidence that all applicable actions required by Federal and Georgia State laws have been taken and that any required Federal and State permits have been obtained prior to granting approval of this project.

### **Summary Conclusions and Recommendations**

As development of the Ridgewalk Corridor continues, residents are appropriately questioning how much zoning, Comprehensive Plan analysis, and traffic review is really being done to protect residents who made purchasing decisions based on public documents. The Comprehensive Plan calls for compatible land use, and we do not believe that the Applicant’s proposed use is compatible with adjacent residential properties.

Based on the known infrastructure inadequacy prior to GDOT completion of the I-575/Ridgewalk Parkway project, clear Comprehensive Plan inconsistency, the Overlay District's legislative purpose, permitted and prohibited use standards, site and design requirements, operational characteristics of warehouse distribution uses, and unavoidable noise and operational compatibility impacts, the proposed Application

ATTACHMENT G42

presents foreseeable and avoidable conflicts that the City has both the authority and the planning justification to prevent.

We acknowledge and appreciate the fact that the Applicant and the City planners have listened to and attempted to mitigate some of our concerns through the terms of the Conditional Use Permit. However, when the implications of approval of the Application for the City and our residential neighborhood are viewed in their entirety, we believe that the Application should be denied.

We would be happy to discuss these concerns with you and answer any questions.

Sincerely,

*Christy Young*

Secretary, on behalf of the Board of Directors of the Glenhaven at Ridgewalk Homeowners Association, LLC

# Item Cover Page

**PLANNING COMMISSION AGENDA ITEM REPORT**

**DATE:** May 7, 2026

**SUBMITTED BY:** Natalie Faustine, Community Development

**ITEM TYPE:** Presentation and Discussion Items

**AGENDA SECTION:** **PUBLIC HEARINGS**

**SUBJECT:** **Consideration of Z#168-26: Barnesdale Terrace Redevelopment (Public Hearing & Vote)**

**SUGGESTED ACTION:** Staff recommends partial approval of Z#168-26, subject to staff conditions.

**ATTACHMENTS:**

- [FINAL PC SR Z168-26 - Barnesdale Terr Redevelopment.pdf](#)
- [ATTACHMENT A - Site Plan.pdf](#)
- [ATTACHMENT B - Barnesdale Zoning Exhibits v4.pdf](#)
- [ATTACHMENT C - Responses to Criteria Questions.pdf](#)
- [ATTACHMENT D - PUBLIC INPUT REPORT.pdf](#)



**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Natalie Faustine, MPA, Planner I  
**SUBJECT:** Project No. Z#168-26  
Barnesdale Terrace Redevelopment

**RECOMMENDATION:**

Staff recommends City Council approval of a Rezoning, Conditional Use Permit (CUP), and Variances to allow for the construction of a 113-unit single-family development on the south side of Barnesdale Terrace (Z#168-26).

**EXECUTIVE SUMMARY**

The applicant, Bryceson Mercer, on behalf of Toll Southeast LP Company, Inc., has requested a Rezoning, CUP, and five Variances to allow for the construction of a 113-unit single-family development, including 57 townhomes, 54 single-family detached homes, and two large-lot single-family homes. The ±12.83-acre site is an assemblage of five parcels on the south side of Barnesdale Terrace, currently zoned DT-LR (Downtown – Low-Density Residential).



Vicinity Map

**BACKGROUND**

Table 1 provides general property information for the project site and surrounding land use.

<b>Table 1: General Property and Surrounding Land Use Information</b>	
Address	115, 125, 135, and 145 Barnesdale Terrace
Council Ward	2 (David Potts)
Tax ID # (TIN)	92N06042, 92N06042A, 92N06041, 92N06042B, and 92N06042D
Parcel ID #	15-1093-0051, 15-1093-0052, 15-1092-0035, 15-1092- 0039, and 15-1092-0081
Site Acreage	±12.83
Future Development Map	Urban Village
Current Zoning	DT-LR (Downtown – Low-Density Residential)
Current Development	Five single-family detached homes
Street Information	Barnesdale Terrace, Chandler Lane, Reeves Street, and Market Street are maintained by the City of Woodstock
Surrounding Neighborhood: North	DT-LR (Downtown – Low-Density Residential): Single- family DT-MR-A (Downtown – Medium-Density Residential): Single-family
South	DT-MR-A (Downtown – Medium-Density Residential): South on Main subdivision DT-RO (Downtown – Residential/Office): Adyn Park subdivision
East	DT-RO (Downtown – Residential/Office) with Historic Overlay: Paragon Accounting Office (under construction)
West	DT-LR (Downtown – Low-Density Residential): Creekwood Commons subdivision

Zoning History

No recent zoning history was found for the subject properties.

## **PROJECT DESCRIPTION**

The Applicant proposes to redevelop an assemblage of five parcels totaling approximately 12.83 acres on the south side of Barnesdale Terrace. The site is currently developed with five detached single-family homes built between 1950 and 2005, and is zoned DT-LR (Downtown – Low-Density Residential). The Applicant intends to redevelop the property with a new residential community consisting of 113 single-family units. The overall layout is shown on the site plan shown below, and attached as Attachment A.



**Site Plan**

To accomplish this, the Applicant is requesting several entitlements. The first request is to rezone the parcels to DT-MR-A (Downtown – Medium-Density Residential) to accommodate the proposed density and lot sizes. The plan includes townhome units, which require a Conditional Use Permit (CUP). Five Variances are being requested from the Downtown District Standards, including reducing the sidewalk landscape zone in certain areas, allowing more than 60% encroachment into the supplemental zone throughout the development, allowing front-loaded units, permitting units oriented to open space rather than a street, and using reverse curb and gutter rather than header curb. Specific details of the requested variances are provided in the analysis section.

The new development would include a mix of housing types, including 57 townhomes, 54 single-family detached homes, and two large-lot single-family homes. The proposed townhomes are approximately 1,960 square feet in floor area, while the detached homes range from roughly 2,600 to 3,800 square feet in floor area, and the large lot units range from 3,200 to 3,600 square feet in floor area.

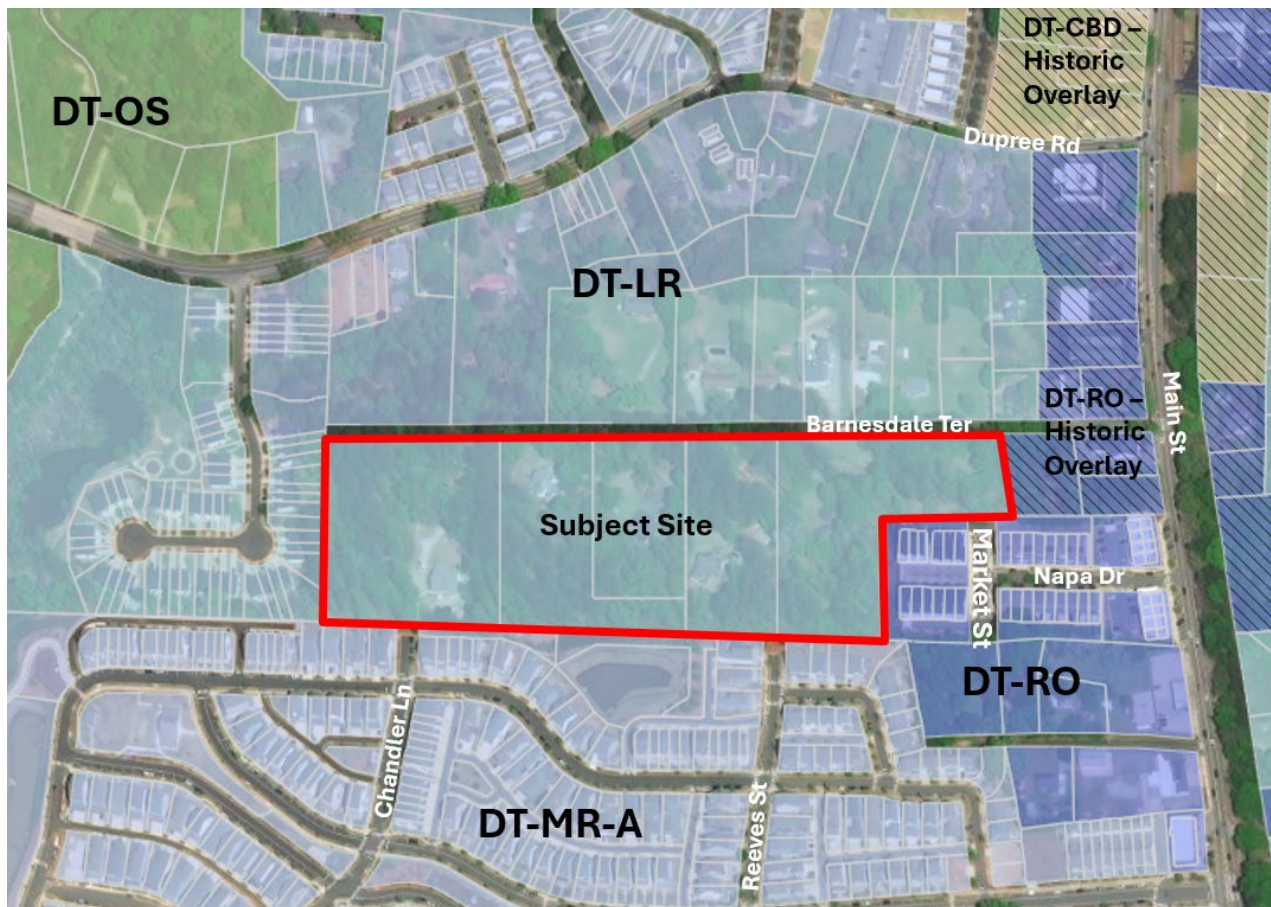
Primary access to the development would be provided from Barnesdale Terrace, which would be improved to meet the City's D-1 street standards on the south side of the road, including road widening, new curbs and sidewalks, and on-street parallel parking. Additional improvements to the north side of the road would occur based on minimum

access standards confirmed at the time of site plan review, as well as any additional improvements described in the associated Development Agreement for this proposal. As part of this Development Agreement, a City-proposed and developer-financed traffic signal will be installed at the intersection of Barnesdale Terrace and Main Street to support traffic generated by the new development.

Internal throughfares would consist of extensions of Chandler Street, Reeves Street, and Market Street, along with private alleys, all constructed in accordance with applicable street standards and reflecting the planned grid-street connections in the area. The proposed grid street connections are outlined in the City's grid street map as desirable future connections upon redevelopment of the area, intended to provide more routes of travel for residents of the proposed and surrounding developments by connecting to major roads such as Main Street and Highway 92.

### **ANALYSIS**

The applicant's responses to the Criteria questions for the Rezoning, Conditional Use Permit, and associated Variances are included as Attachment C.



Zoning Map

## Consistency with the Land Development Ordinance (LDO)

### *Rezoning*

The Applicant requests rezoning from DT-LR to DT-MR-A. The DT-LR zone is intended for single-family residential homes developed on lots large enough to accommodate substantial yard space. However, the DT-MR-A zone is intended to serve both single and multi-family residential uses, with a smaller minimum lot size to allow for a higher density.

The rezoning request reflects a trend toward higher density in this area due to its proximity to downtown, as seen with surrounding newer developments. While this proposed project would have the highest density in the area at 8.81 units per acre, it is just under the maximum density of 9 units per acre for the DT-MR-A zone. Neighboring South on Main, which contains a mix of detached and attached single-family residences on a variety of lot sizes, as well as commercial buildings, is zoned DT-MR-A with a density of approximately 7.9 units per acre, and Adyn Park, which contains attached single-family residences and is zoned DT-RO with a density of 4.9 units per acre.

A traffic study is not required for a residential project of this size; however, since the rezoning would allow greater density, several infrastructure improvements are required to accommodate the increased traffic. This includes a new traffic signal at Barnesdale Terrace and Main Street, grid-street connections to reduce both vehicular and pedestrian traffic on Main Street, and the aforementioned improvements to Barnesdale Terrace.

### *Conditional Use Permit*

The LDO states that any single-family attached product shall be allowed within the DT-MR-A zoning designation upon issuance of a CUP by the City Council. The request for a CUP in this case stems from the requirement that downtown residential redevelopment must include a variety of housing types. The proposed development satisfies this requirement by including three housing types: 57 single-family attached townhomes, 54 single-family detached homes, and 2 large-lot single-family detached homes. The proposed use is consistent with the intent of the DT-MR-A zoning designation, and the requested townhomes, in conjunction with the other proposed housing types, are consistent with the adjoining and surrounding residential communities.

### *Variances*

The applicant has requested five Variances to the LDO requirements to support the project's design. The need for these variances is largely driven from the desire to accomplish grid street connectivity and design consistency. These Variance requests, along with the applicable LDO sections, are summarized in Table 2 on the next page.

<b>Table 2: Summary of Entitlements Requested</b>			
<b>V#</b>	<b>Code Section</b>	<b>Code Requirement</b>	<b>Request</b>
1	7.727.13	Rear alleys are required for garage access for townhouse, multi-family, and single-family residences.  The first 10 feet behind the primary street façade must consist of habitable space.	Allow some front-loaded units and waive the habitable space requirement for these units.
2	7.726.4	Chandler Lane and Market Street are “D” Streets that require: <ul style="list-style-type: none"> <li>• 7 ft landscape zone</li> <li>• 5 ft sidewalk clear zone</li> <li>• 8-20 ft supplemental zone</li> </ul>	Allow reduction of the sidewalk landscape zone from 7 ft to 5 ft along the south side of Chandler Ln to align with the existing street.  Allow reduction of the sidewalk landscape zone from 7 ft to 2 ft along Market St.
3	7.729.1(b)	Units may only front onto open space if a street borders the opposite side of the open space, and the pedestrian entrance must be visible from the street.	Allow some units to front onto open space without an intervening street.
4	7.726.11	Terraces, porches, stoops, and stairs may encroach no more than 60% into the sidewalk supplemental zone as long as there is 5 feet of supplemental zone clear of encroachments.	Allow more than 60% encroachment into the sidewalk supplemental zone without the required 5 feet clear.
5	7.726.3	All new and improved streets in the Downtown District must use header curb with no gutter and hood-and-grate storm drains.	Allow reverse curb and gutter rather than header curb.

The first variance request is intended to accommodate the units abutting the southern project boundary, where adding an alley behind the units for the rear-access required by code would not be feasible. If these front-loaded units are permitted as shown in the site plan and zoning exhibits, they would likely not meet the residential treatment standard, which requires the first 10 ft behind a street facade to contain habitable space. These front-loaded units are designed so that the garage is the part of the house closest to the right-of-way, with the front terrace following. This configuration makes it difficult for these units to adhere to the standard residential treatment.

The second variance request is intended to ensure that the new street extensions for Chandler Ln, Reeves St, and Market St blend in with their existing counterparts. As such, with the variance, the Chandler St extension would start with a 5 ft sidewalk landscape zone at its connection to the existing road and would gradually widen to the required 7 ft sidewalk landscape zone. Since the Market St extension is so short, there is not enough room to expand out for a larger, more compliant sidewalk landscape zone, so the request is for the entire extension to match the existing 2 ft sidewalk landscape zone.

The third variance request is to allow some of the townhome units to have a unique configuration, where vehicular access is provided through alleys in the rear of the units, while pedestrian access is provided through green space in front of the units. Although not code compliant, this is a unique design intended to provide variety in the site layout and prioritize connectivity.



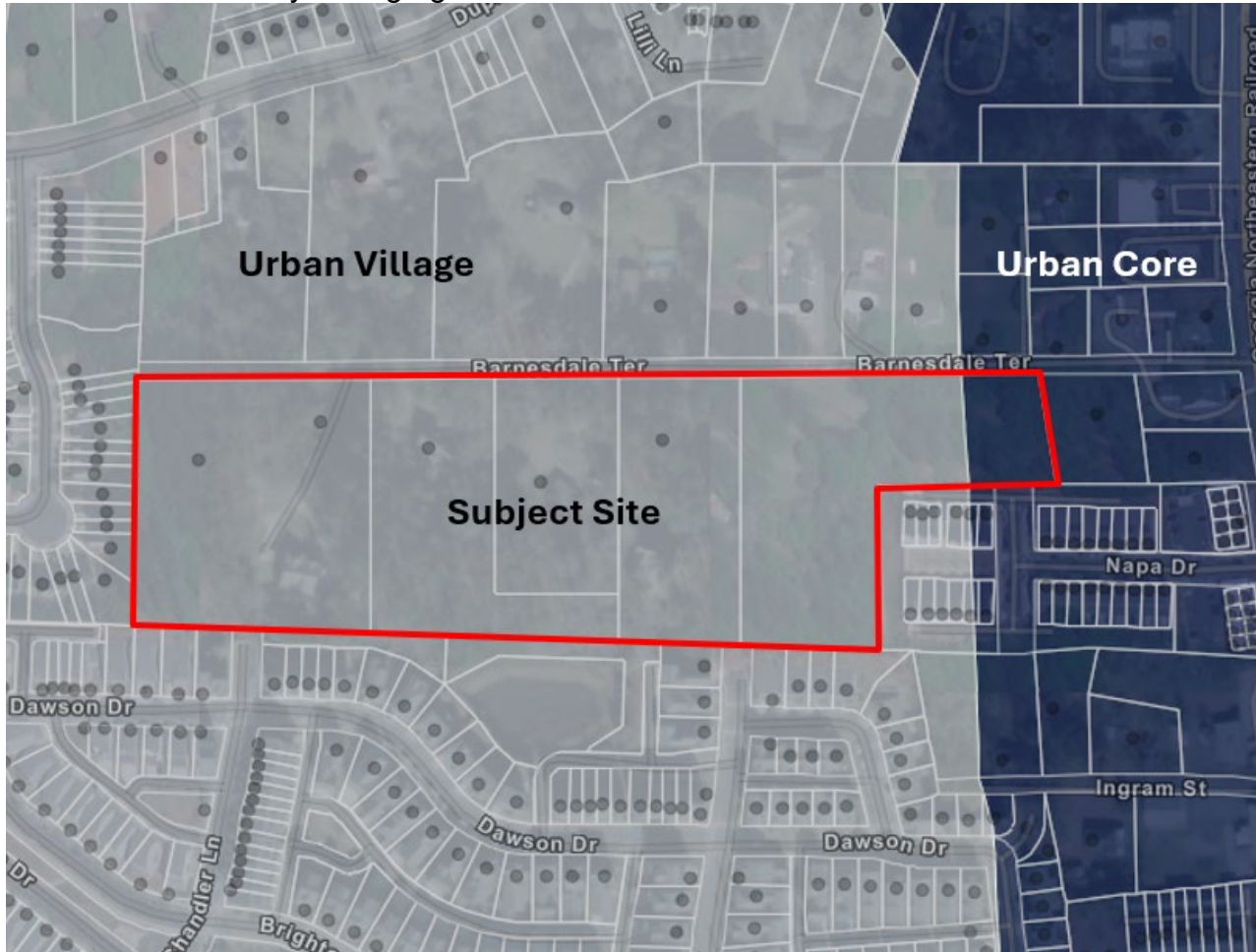
**Units Facing Open Space**

The fourth variance request pertains to the streetscape requirements for streets with front-facing units. The LDO allows front terraces, porches, stoops, and stairs to extend into up to 60 percent of the sidewalk supplemental zone, provided an additional 5 ft is left clear. The proposed supplemental zone is 8 ft, which meets the minimum required. However, with an 8 ft supplemental zone, only 1.8 ft could be encroached upon while still keeping 5 ft clear. The applicant is requesting relief from this requirement to allow a 7 ft encroachment into the supplemental zone with 1 ft of clear space, stating that this is necessary to achieve the desired site design. Staff requested additional information from the applicant to illustrate the appearance and function of the shorter supplemental zones but did not receive sufficient documentation. Staff expressed concerns about the impact of potential grade changes on the design and the placement of utilities typically located in the supplemental zone.

### Consistency with the 2023 Comprehensive Plan

The project site is located in the Urban Village Character Area, with a small portion extending into the neighboring Urban Core. The Urban Village serves as a transitional zone between the high-density Urban Core and the surrounding areas. Because it is bordered mainly by the Urban Core and the Regional Activity Center, a more intensive residential use is appropriate for the site. The area should be predominantly residential, with a mix of uses that support walkability for business owners and residents to meet daily needs on foot or by bicycle. The Comprehensive Plan also calls for well-maintained sidewalks, street

trees, and landscaping to support a pedestrian-friendly environment and to improve vehicular connectivity through grid-street connections.



Future Land Use Map

## **PUBLIC INPUT**

Public notice for the public hearing has been provided in accordance with State and local law. On or around February 13, 2026, public notices were mailed to property owners within 800' of the project site. The notice informed them of the public input meeting, Planning Commission public hearing, and City Council public hearing. Additionally, a public notice was published in the local newspaper and signs were posted on the property a minimum of 15 days but not more than 45 days prior to the public hearing.

On February 26, 2026, the Applicant hosted a public input meeting at the Cherokee County Recreation Center (7545 Main St, Bldg. 200, Woodstock, GA 30188) beginning at 7:00 PM. The informal meeting is intended to give the Applicant an opportunity to explain the proposal and to answer any questions the public might have about the project or public hearing process. The meeting had 31 attendees, mostly from the neighboring communities, who expressed concerns about traffic, amenities, and stormwater. More comprehensive

details on the meeting and all public input received in writing are included in the Public Input Report (Attachment C).

### **DPC RECOMMENDATION**

On March 4, 2026, the DPC met with the Applicant to learn more about the proposed project and requests. The DPC voted to recommend approval of the proposed Rezoning, Conditional Use Permit, and 4 of the 5 Variances, subject to the staff-recommended conditions of approval.

The proposed recommendation is as follows:

1. Approval of a rezoning of parcels 92N06042, 92N06042A, 92N06041, 92N06042B, and 92N06042D from DT-LR to DT-MR-A.
2. Conditional Use Permit is granted to allow attached single-family product.
3. Variance granted to LDO Section 7.726.4 to reduce the sidewalk landscape zone from 7 ft to 5 ft on Chandler Lane and from 7 ft to 2 ft on Market Street.
4. No recommendation given regarding Variance to LDO Section 7.726.4 to reduce the sidewalk supplemental zone to 1 foot on every street due to insufficient information.
5. Variance granted to LDO Section 7.727.13 to allow front-loaded units and remove the 10 ft habitable space requirement.
6. Variance granted to LDO 7.729.18 to allow residential units to front onto open space with no intervening streets.

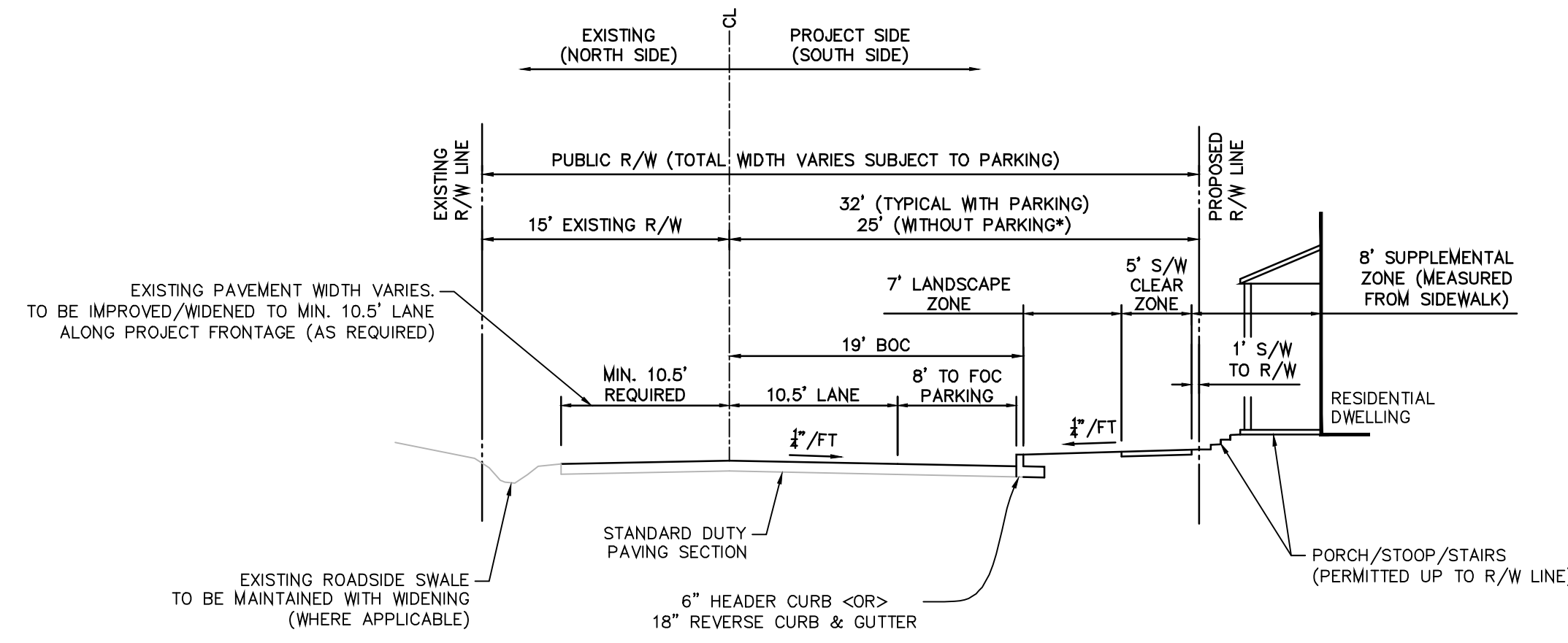
Subject to the following conditions of approval:

1. The Development shall develop and remain in substantial compliance with "Zoning Site Plan" prepared by Christopher Planning & Engineering, attached hereto as "Exhibit A."
2. Post-approval changes to the project that may impact the subdivision layout and/or design of the transportation network may be considered by the Development Process Committee.
3. The applicant shall enter into a Development Agreement with the City establishing the applicant's obligation to install a traffic signal at the intersection of Barnesdale Terrace and Main Street, and to construct required roadway improvements along Barnesdale Terrace in accordance with the City code.
4. The Developer shall be responsible for completing all code-required road improvements to Barnesdale Terrace, including, but not limited to, construction of the full D1 street standards. This also includes installation of a traffic signal at the intersection of Barnesdale Terrace and Main Street, in accordance with City-engineered plans. In lieu of installing the traffic signal, the Developer may enter into a Development Agreement with the City Council.
5. The Barnesdale Terrace road improvements shall cease at the west side of its intersection with Chandler Ln. The Developer shall install an approved road termination improvement for Barnesdale Terrace, with final design to be approved at site plan review.

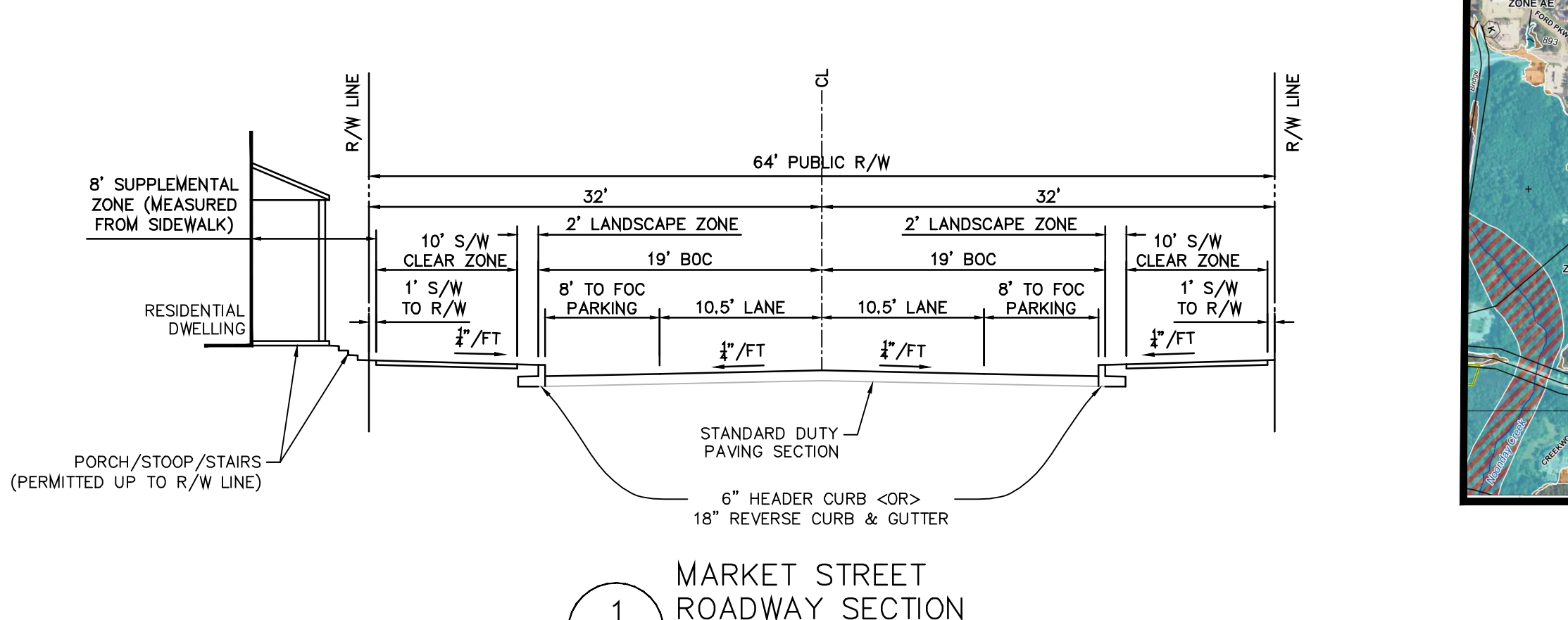
6. All road improvements required to be installed by the Developer shall be completed prior to final plat review unless otherwise described in an executed Development Agreement for this project.
7. The total number of residential units shall not exceed 113.
8. There shall be no more than 20% of the units allowed to be rental units at any time. This restriction shall be memorialized in the covenants for the development, provided to every home buyer, and shall be enforced by the Homeowner's Association.
9. All areas counted toward the open space criteria shall be maintained by the Homeowner's Association.
10. The amenity area shall include, at a minimum, a pool, and a dog park.

## **ATTACHMENTS**

- Attachment A - Site Plan
- Attachment B - Zoning Exhibits
- Attachment C - Applicant Response Statements
- Attachment D - Public Input Report

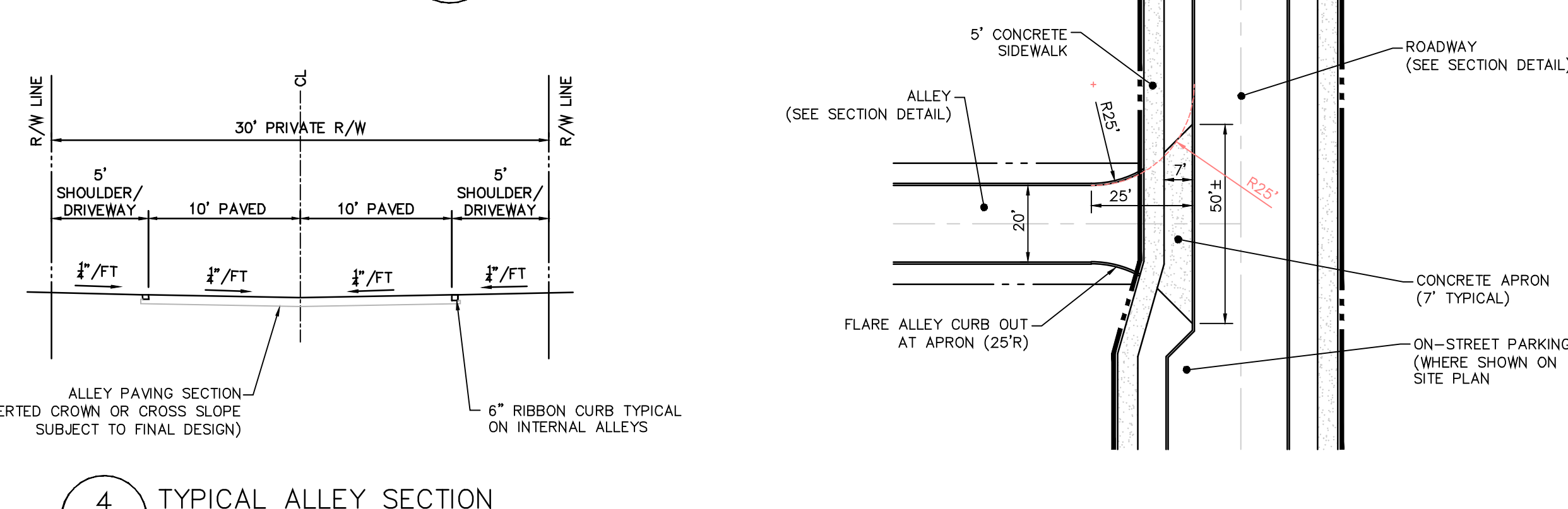


**1 MARKET STREET ROADWAY SECTION**  
Z.1 SCALE: NONE



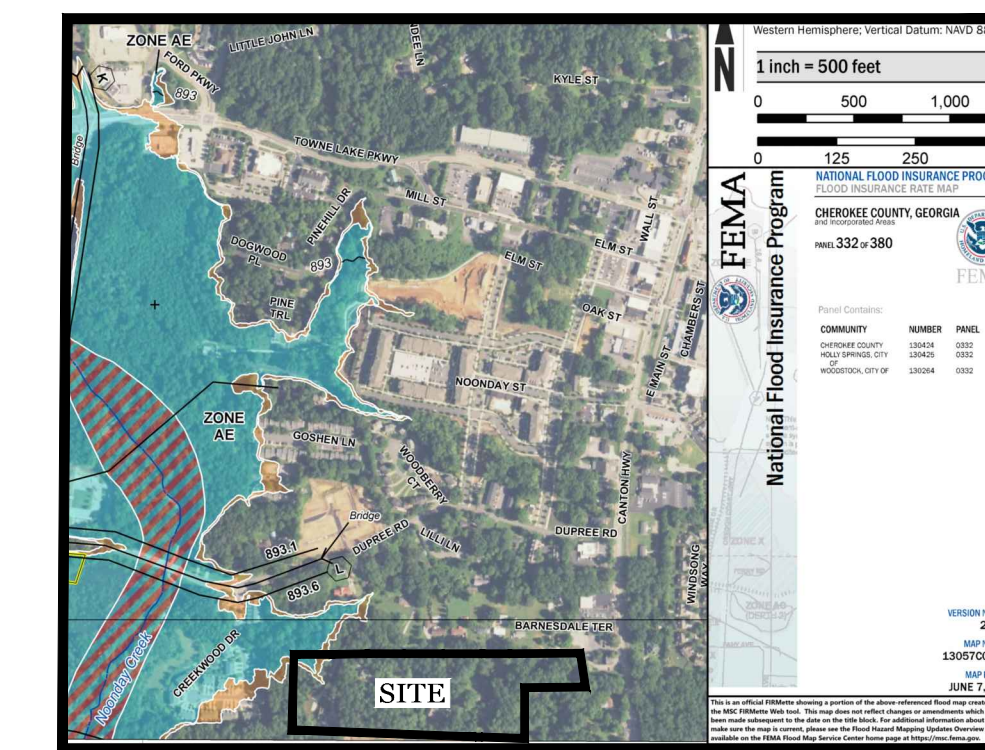
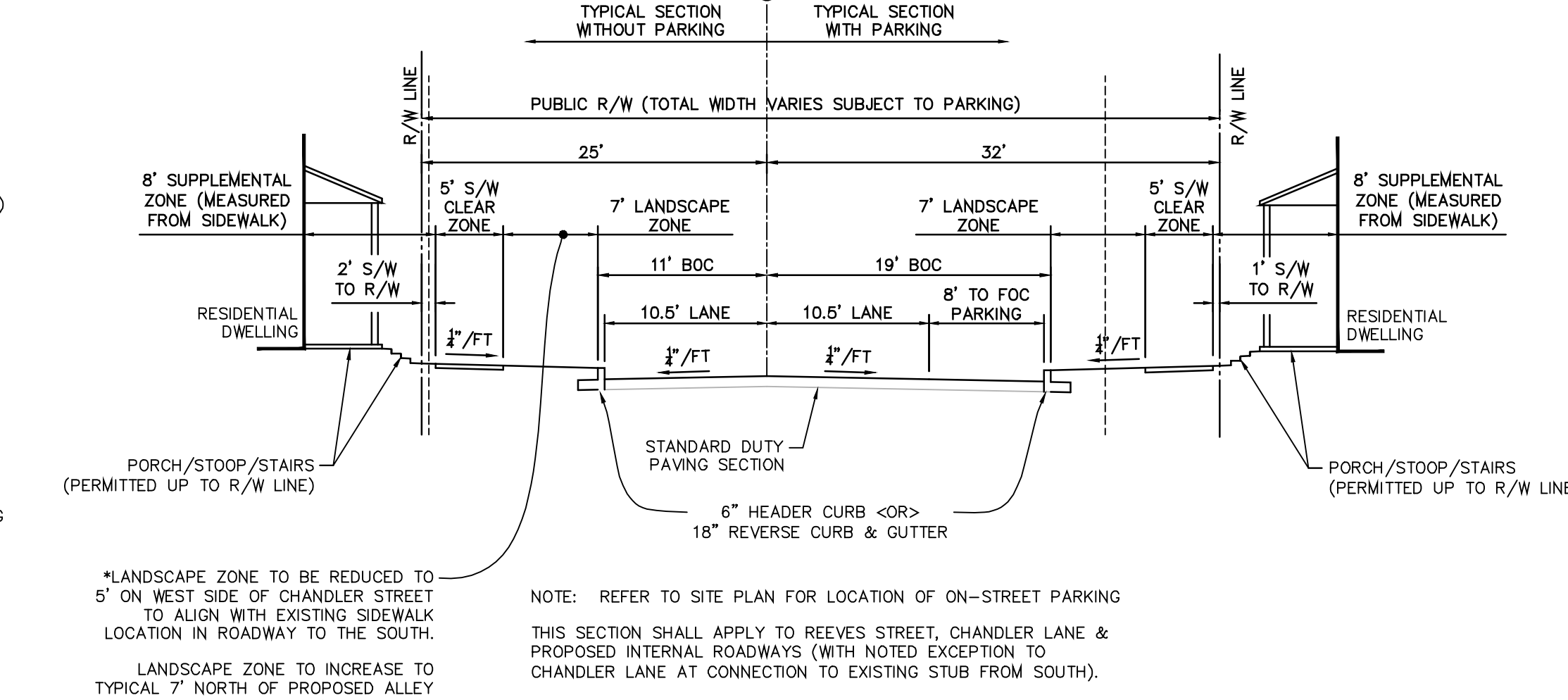
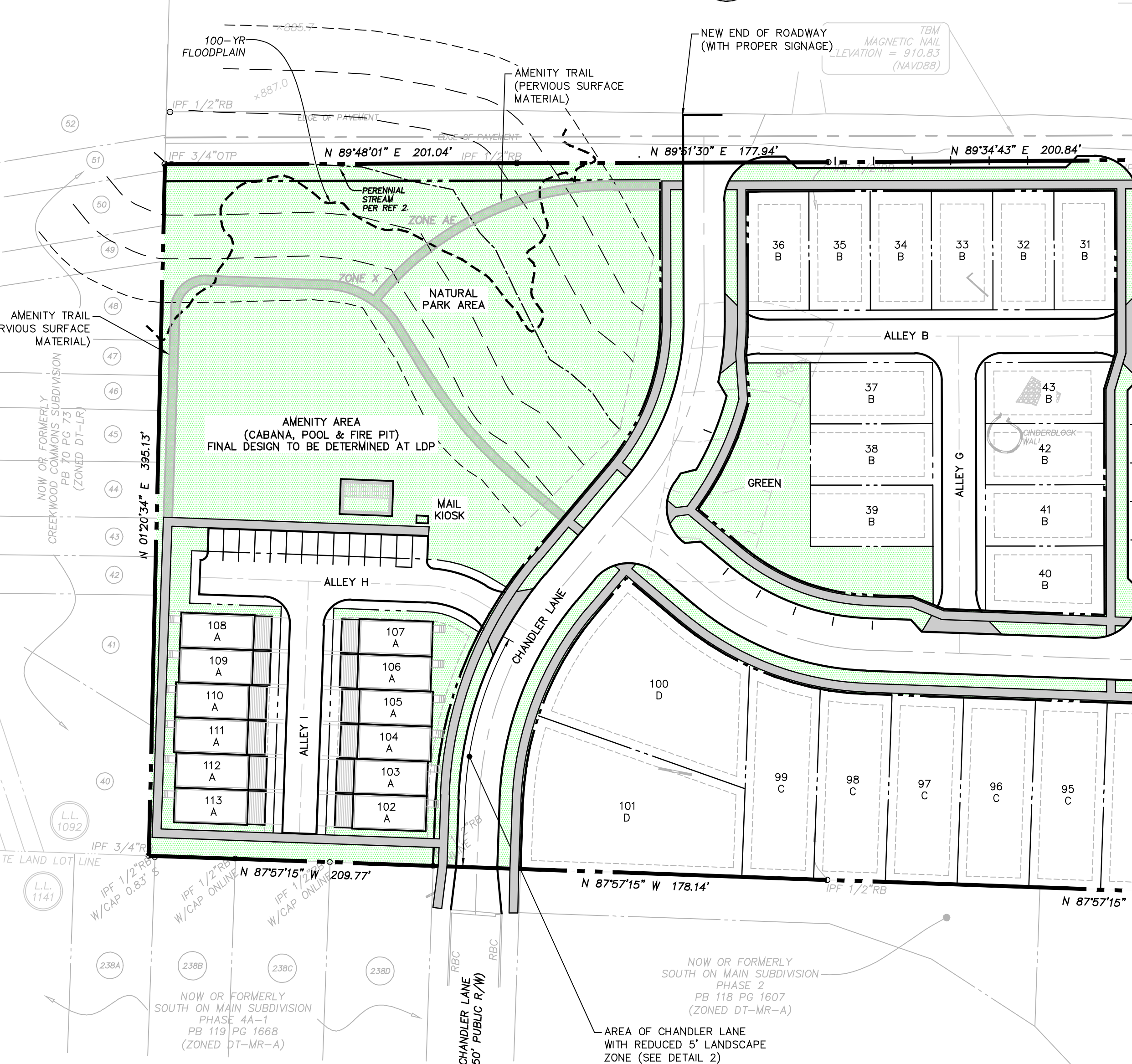
**2 TYPICAL ROADWAY SECTION**  
Z.1 SCALE: NONE

**3 BARNESDALE TERRACE ROADWAY SECTION**  
Z.1 SCALE: NONE

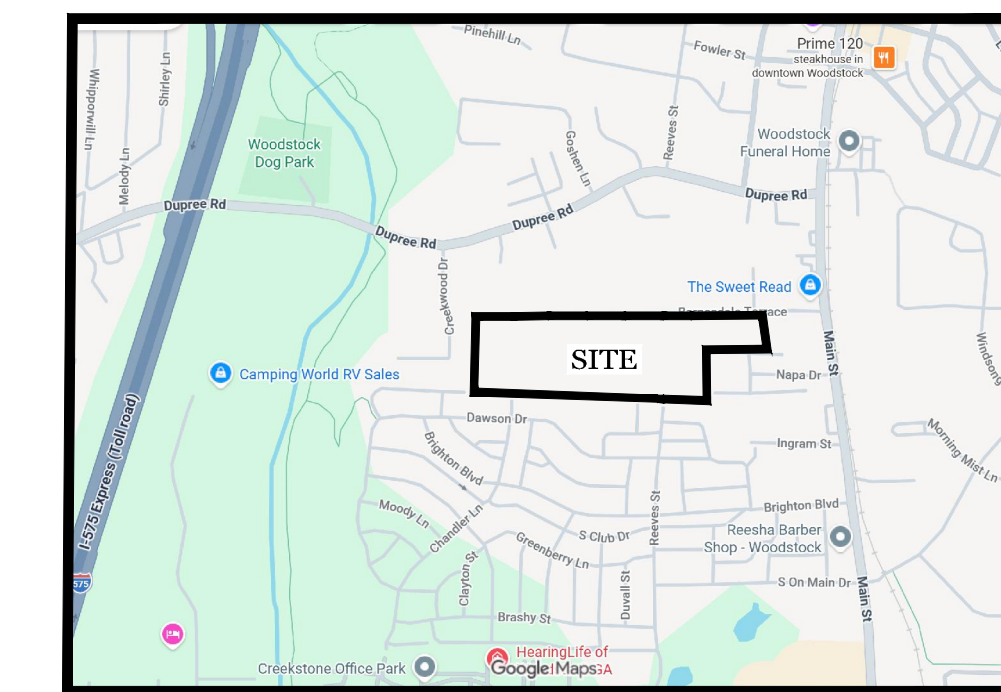


**5 TYPICAL ALLEY APRON**  
Z.1 SCALE: 1" = 30"

**4 TYPICAL ALLEY SECTION**  
Z.1 SCALE: NONE



**FEMA MAP**  
SCALE 1" = 1,000'



**VICINITY MAP**  
SCALE 1" = 1,000'

- GENERAL NOTES:**
- SURVEY INFORMATION TAKEN FROM SURVEY BY TSS AS PROVIDED BY CLIENT.
  - SUBJECT PROPERTY IS LOCATED OFF BARNESDALE TERRACE IN LAND LOTS 1092-1093, 1140-1141, 15<sup>TH</sup> DISTRICT, CITY OF WOODSTOCK, CHEROKEE COUNTY, GEORGIA.
  - TOTAL SITE AREA: 12.83 ACRES (SEE SITE ANALYSIS)  
TOTAL SITE DENSITY: 8.81 UNITS/AC (SEE SITE ANALYSIS)
  - APPLICANT/DEVELOPER: TOLL BROTHERS  
2400 LAKEVIEW PARKWAY, SUITE 650  
ALPHARETTA, GA 30004  
CONTACT: MR. J.R. CROWE  
jcrowe1@tollbrothers.com 678.699.1403  
OSWCC #74061
  - ENGINEER: CHRISTOPHER PLANNING & ENGINEERING, INC.  
12450 CRABAPPLE ROAD, SUITE 202-012  
ALPHARETTA, GA 30004  
CONTACT: SCOTT J. CHRISTOPHER, P.E. 770.331.7303  
schristopher@christopherplanning.com
  - EXISTING ZONING: DT-LR  
PROPOSED ZONING: DT-MR
  - THESE ZONING PLANS ARE FOR A RESIDENTIAL SUBDIVISION CONTAINING 113 SINGLE FAMILY RESIDENTIAL UNITS (MIX OF DETACHED LOTS AND TOWNHOUSES). REFER TO SITE ANALYSIS TABLE.
  - PROPERTY IS SPARSELY WOODED WITH SEVERAL WOOD FRAME HOUSES WITH CORRESPONDING DRIVEWAYS EXIST ON-SITE.
  - ALL JURISDICTIONAL WETLANDS AND BUFFERED STATE WATERS ON OR WITHIN 200' OF SITE HAVE BEEN FIELD DELINEATED BY CORRELL ECOLOGY GROUP AND SURVEYED. SITE RECEIVING WATERS IS UNNAMED TRIBUTARY TO NOONDAY CREEK.
  - PROPOSED ROADWAYS TO BE PUBLIC & PROPOSED ALLEYS TO BE PRIVATE (REFER TO STREET SECTION DETAILS).
  - SIDEWALKS TO BE PROVIDED BOTH SIDES OF ALL PROPOSED ROADWAYS AS SHOWN ON PLAN & REPRESENTED IN STREET SECTION DETAILS. REFER TO STREET SECTION DETAILS.
  - STORMWATER MANAGEMENT TO BE PROVIDED IN ACCORDANCE WITH GEORGIA STORMWATER MANAGEMENT MANUAL.
  - A PORTION OF THE SITE IS LOCATED WITHIN A DELINEATED 100 YR FLOOD HAZARD AREA PER FIRM PANELS 13057C0332E (PANEL 332 OF 380) LAST REVISED JUNE 7, 2019.
  - WATER AND SEWER TO BE PROVIDED BY CITY OF WOODSTOCK.
  - ALL PROPOSED INTERNAL UTILITIES ARE TO BE UNDERGROUND.
  - ALL COMMON AREA SHALL BE OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.

ZONING PLAN  
FOR:

## BARNESDALE TERRACE TRACT

LAND LOTS 1092-1093 & 1140-1141  
15<sup>TH</sup> DISTRICT  
CITY OF WOODSTOCK  
CHEROKEE COUNTY, GEORGIA

FOR:

## Toll Brothers

AMERICA'S LUXURY HOME BUILDER™

2400 LAKEVIEW PARKWAY  
SUITE 650  
ALPHARETTA, GA 30009

24 HR CONTACT:  
J.R. CROWE (#74061)  
678.699.1403  
jcrowe1@tollbrothers.com

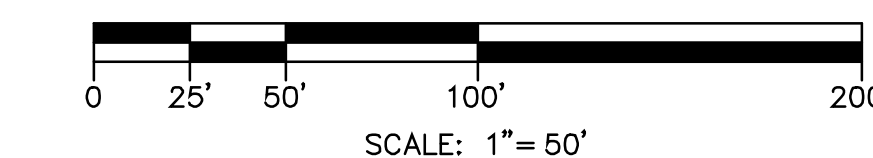
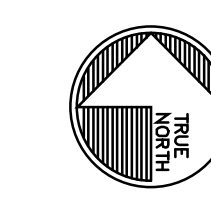
### REVISIONS

DATE	DESCRIPTION	BY
03.04.2025	CLIENT COMMENTS	
03.10.2026	CITY COMMENTS	
03.12.2026	CITY COMMENTS	
04.02.2026	CITY COMMENTS	
04.24.2026	SUPPLEMENTAL ZONE REV	

### SITE ANALYSIS

SITE AREA		12.83 ACRES±
RESIDENTIAL YIELD	(A) 20' REAR ENTRY TOWNHOMES	57 UNITS
	(B) 35' REAR ENTRY DETACHED LOT	39 UNITS
	(C) 40' FRONT ENTRY DETACHED LOT	15 UNITS
	(D) 7,500 S.F. FRONT ENTRY LOT	2 UNITS
TOTAL		113 UNITS
RESIDENTIAL DENSITY		8.81 UNITS/AC
OPEN SPACE PROVIDED		32.0% (4.11 AC)±
DT-MR-A ZONING CRITERIA		
MAXIMUM DENSITY PERMITTED		9.0 UNITS/AC
MINIMUM LOT AREA		1,200 S.F.
MINIMUM LOT WIDTH		16 FEET
OPEN SPACE REQUIRED		20% (2.57 AC)±
REQUIRED BUILDING SETBACKS	SUPPLEMENTAL ZONE	8 FT
	SIDE	5 FEET
	REAR	5 FEET
PARKING REQUIRED	113 UNITS X 2 SP/UNIT	226 SPACES
PARKING PROVIDED	2 DRIVEWAY SPACES/UNIT	226 SPACES
	PRIVATE ALLEY GUEST PARKING	32 SPACES
	PUBLIC ON-STREET PARKING	67 SPACES
	TOTAL PROVIDED	325 SPACES

\* AS MEASURED FROM SIDEWALK (VARIANCE REQUESTED TO ALLOW 7 FT ENCROACHMENT INTO SUPPLEMENTAL ZONE FOR PORCH/STOOP/STAIRS, ETC)  
\*\* SUBJECT TO FINAL DESIGN



DATE: FEBRUARY 5, 2026  
CP&E DRAWING NO.: 2025147z1.dwg

### ZONING SITE PLAN

SHEET NO.

# Z.1



IRONWOOD  
DESIGNGROUP

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BARNESDALE *T*  
TERRACE  
ZONING BOARDS  
April 22nd, 2026

# ATTACHMENT B



SCALE 1" = 50'-0"



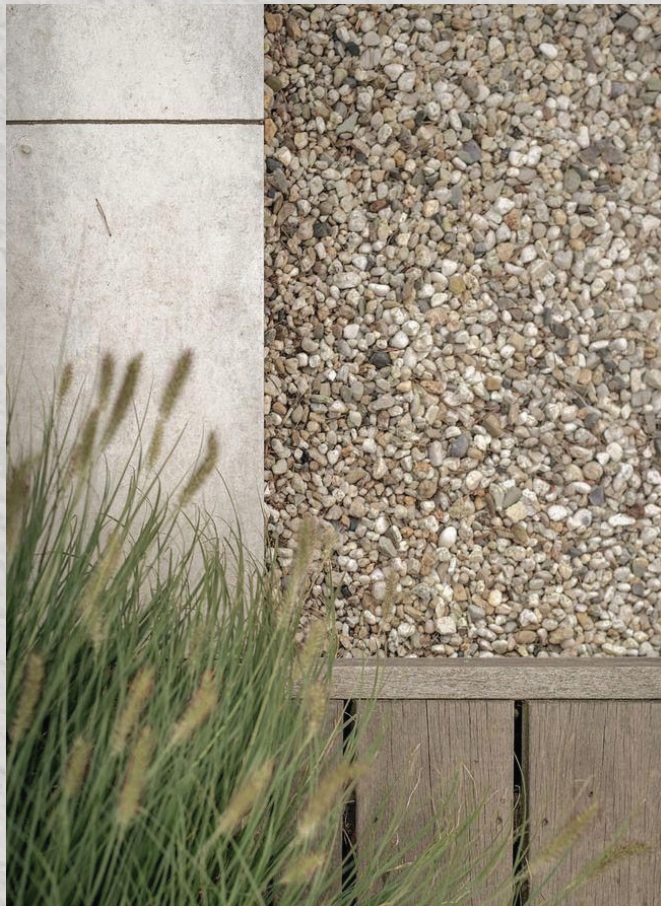
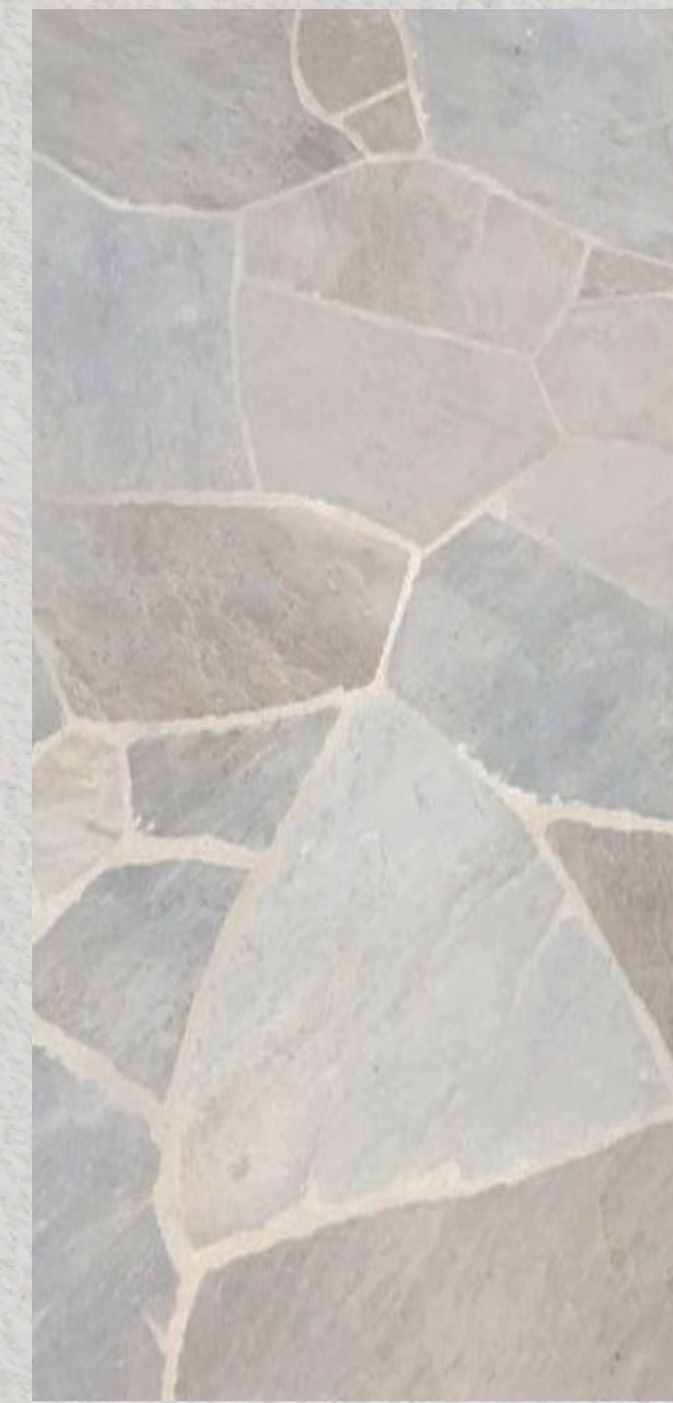
CONCEPTUAL SITE PLAN  
Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE *Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER

ATTACHMENT B



ATTACHMENT B



AMENITIES MOOD BOARD

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE

Toll Brothers  
AMERICA'S LUXURY HOME BUILDER

# ATTACHMENT B



SCALE 1" = 50'-0"



## LANDSCAPE CONCEPT PLAN

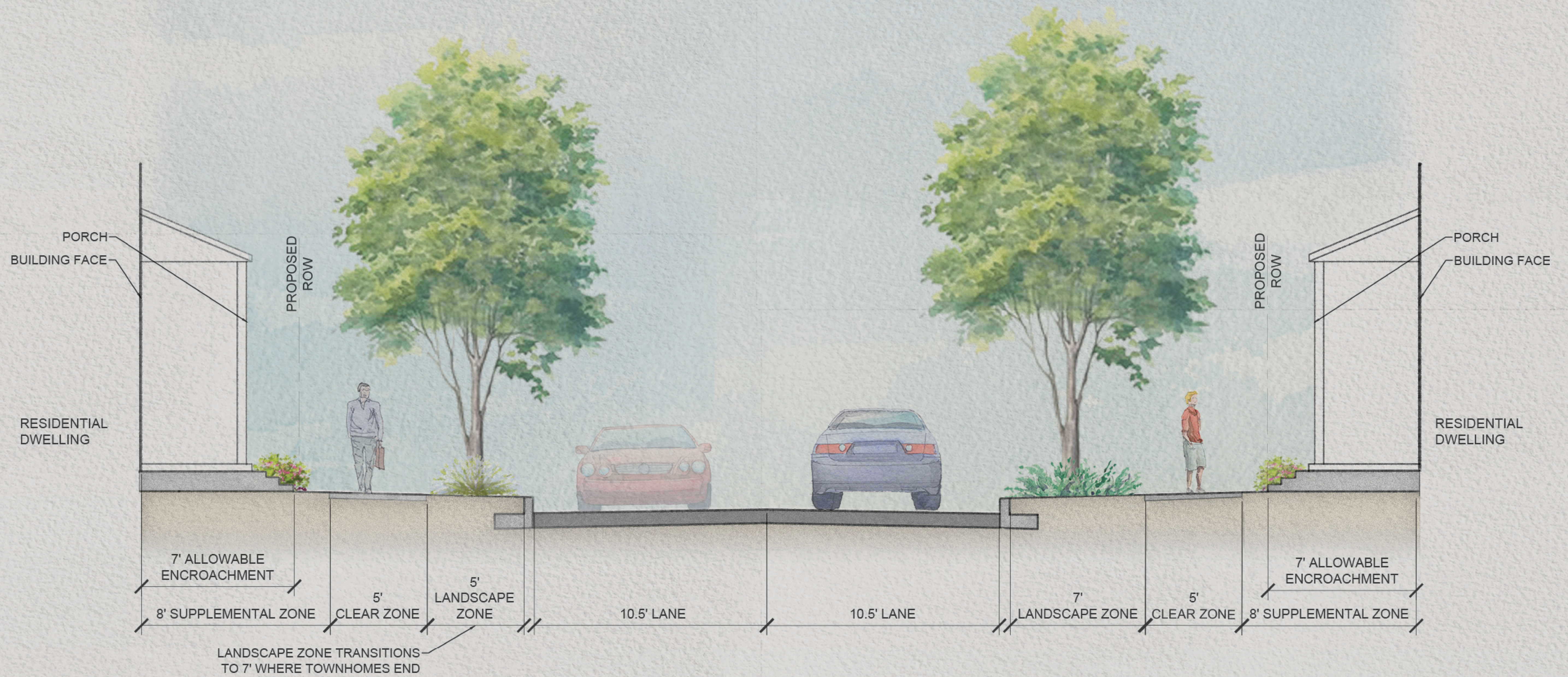
Woodstock, GA  
04/23/26

# BARNESDALE TERRACE

# Toll Brothers

AMERICA'S LUXURY HOME BUILDER

# ATTACHMENT B



SCALE 2"=5'-0"

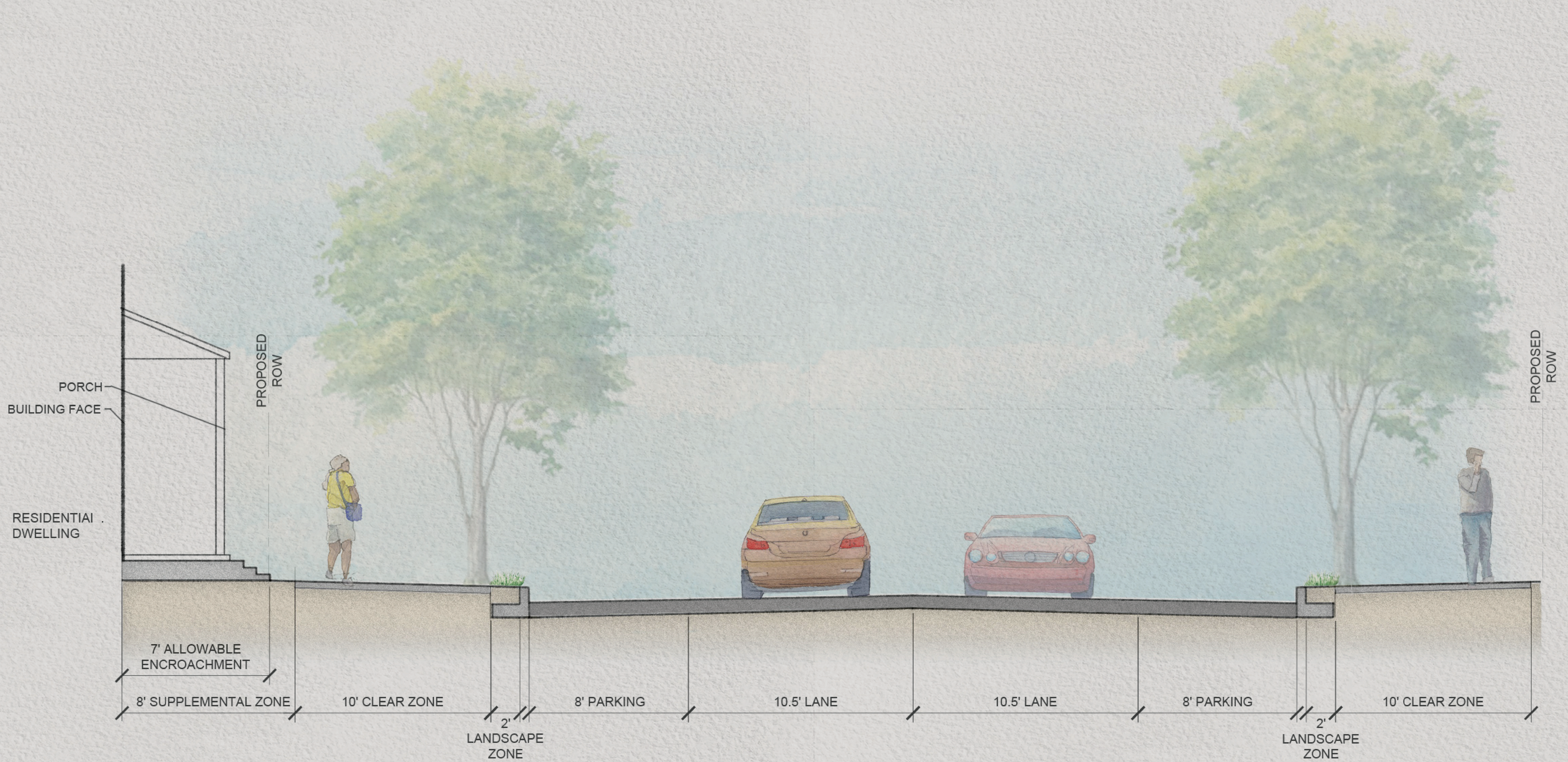


## 1 CHANDLER LANE SECTION

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE *Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER®

# ATTACHMENT B



SCALE 2"=5'-0"



## 2 MARKET STREET SECTION

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE

*Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER

# ATTACHMENT B



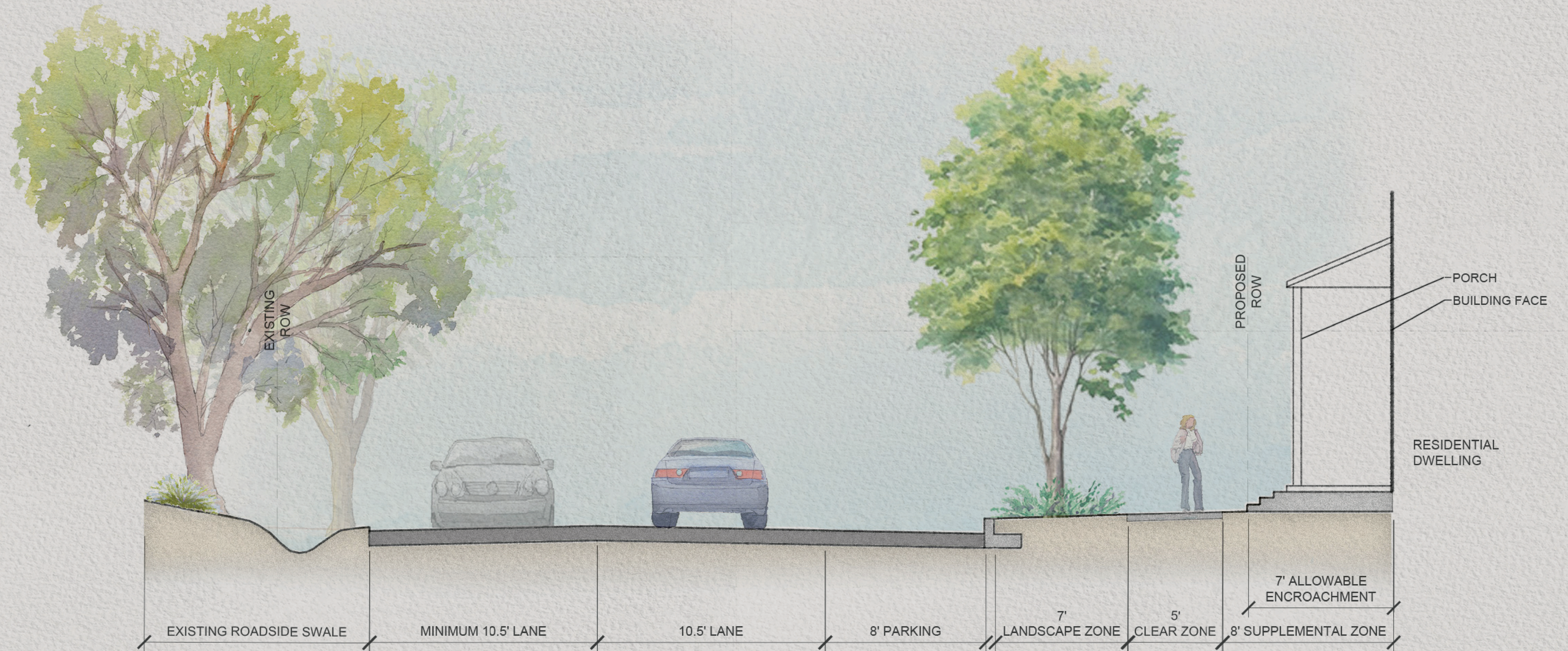
SCALE 2"=5'-0"



**3 REEVES STREET SECTION**  
Woodstock, GA  
04/23/26

**BARNESDALE TERRACE** *Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER

# ATTACHMENT B



SCALE 2"=5'-0"



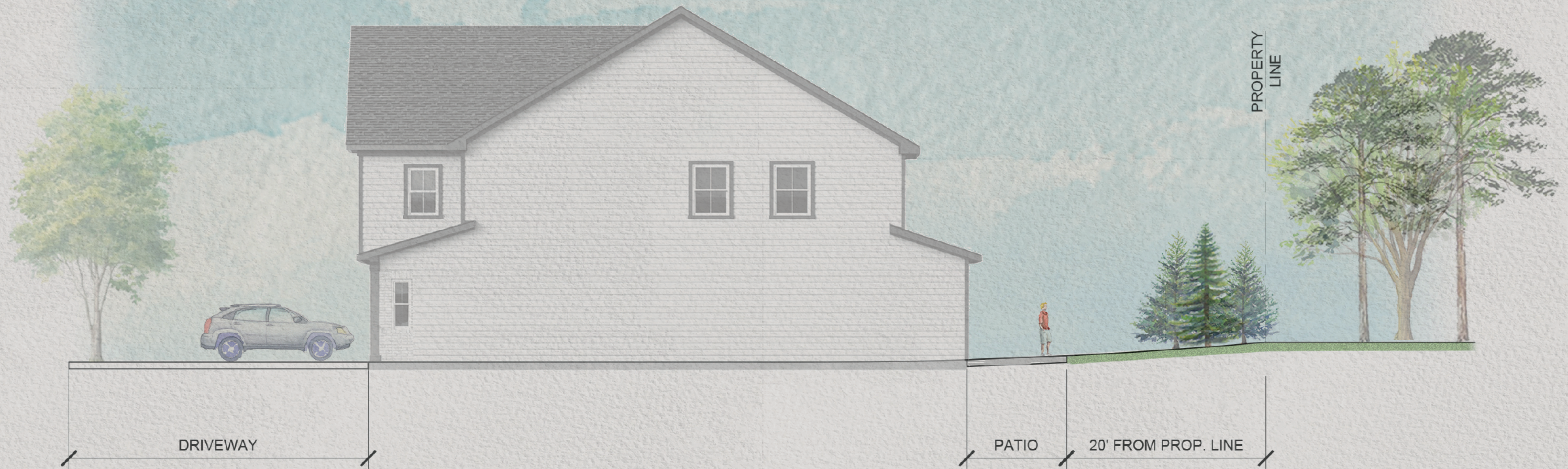
## 4 BARNESDALE TERRACE SECTION

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE

*Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER®

# ATTACHMENT B



SCALE 1"=5'-0"



5 LANDSCAPE BUFFER SECTION LOTS 85-99

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE

Toll Brothers  
AMERICA'S LUXURY HOME BUILDER

ATTACHMENT B



SCALE: NTS



BARNESDALE TERRACE PERSPECTIVE

Woodstock, GA  
04/23/26

BARNESDALE  
TERRACE *Toll Brothers*  
AMERICA'S LUXURY HOME BUILDER™

# ATTACHMENT C

(See Attached)

## APPLICANT RESPONSE STATEMENT

## ANNEXATIONS AND REZONINGS

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to an annexation and/or rezoning, please respond to the following standards in the form of a written narrative:

1. Explain the intent of the requested zoning.
2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property.
3. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.
4. Whether the property to be affected by a proposed zoning has a reasonable economic use as currently zoned.
5. Whether the proposed zoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
6. Whether the proposed zoning is in conformity with the policy and interest of the land use plan.
7. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approved or disapproval of the proposed zoning.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT

## (Annexations and Rezoning)

1. The assemblage and development of approximately 12.83 acres for a single-family residential community, consisting of attached and detached residences.
2. The proposed rezoning to the DT-MR-A zoning category will permit development of the Property for a single-family residential community, combining both detached and attached residences into one community. The proposed community will contain fifty-six (56) attached residences and fifty-seven (57) detached residences, together with infrastructure, amenities, and open space area. The Property is currently zoned DT-LR and contains single-family residences on each of the individual parcels. Adjacent properties are zoned to DT-LR, DT-MR-A, and DT-RO zoning categories. Rezoning of the Subject Property to the DT-MR-A zoning category will allow for an activation and complementary use with neighborhoods to the west, east, and south. Thus, the proposed DT-MR-A zoning category will allow for a more suitable use of the Property, and one that is more compatible with the uses of adjacent and nearby properties.
3. The proposal will not adversely affect nearby properties. The proposed single-family residential community, consisting of both attached and detached residences, is compatible and consistent with the array of existing residential communities located in close proximity and adjacent to the proposed development.
4. The current DT-LR zoning category provides limited economic viability; however, the proposed DT-MR-A zoning category provides for the Property to be developed for a quality community, thus providing a more reasonable economic use for the Property.
5. The proposed rezoning will not have an excessive or burdensome impact on existing facilities and infrastructure and will have minimal impact on schools.
6. The proposed use is in conformity with the existing Urban Village land use designation.
7. Rezoning of the Property to the DT-MR-A zoning classification to allow for development of the project would allow for a better use than allowed under the current DT-LR and surrounding zoning categories. The community will be compatible and consistent with similar communities to the east, west, and south of the Property; while offering both detached and attached products within one community. There will be minimal impact on properties to the north (across Barnesdale Terrace) due to buffering and placement of access points. The community will feature pedestrian access to the City's Downtown area, and upgrades to Barnesdale Terrace; as well as, intersectional improvements and furthering the street grids desired by City goals in close proximity to Downtown. The proposed community will be of the highest quality and will be highly sought after for potential new residents into the City.

# ATTACHMENT C

(See Attached)

## APPLICANT RESPONSE STATEMENT

## VARIANCES

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a variance, please respond to the following standards in the form of a written narrative. In the case of concurrent variances, a response to the standards below should be provided for each variance requested.

1. Explain requested variance.
2. There are exceptional and extraordinary conditions pertaining to the particular piece of property in question, due to its size, shape or topography.
3. The application of these regulations to this particular piece of property would create a practical difficulty or unnecessary hardship.
4. Such conditions are peculiar to the particular piece of property involved.
5. A literal interpretation of this ordinance would deprive the applicants of any rights that others in the same district are allowed.
6. Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of this ordinance.
7. Special circumstances or conditions applying to the building or land or building and land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity.
8. Granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant.
9. The condition from which relief or a variance is sought did not result from willful action by the applicant
10. Authorizing the variance will not impair adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding areas or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT (Variances) (Page One of Two)

### As to Variance No. 1

1. The requested variance to allow front-loaded units is necessary in order to provide a variety and mixture of residential housing types; as well as, to prioritize connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
2. The size, shape and topography of the Property limit the capability of development and the requested variance therefore becomes necessary to accomplish important goals of the City to create street uniformity, connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
3. The application of the subject regulation creates significant practical difficulty and hardship as compliance would necessarily compromise or sacrifice accomplishing grid street and infrastructure connectivity; as well as, street uniformity between the adjoining residential community and Barnesdale Terrace.
4. The described conditions are unique and peculiar to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
5. A literal interpretation of the subject ordinance deprives Applicant of rights other residential communities enjoy in the adjoining and surrounding area.
6. If approved, the requested variance results in no detriment to the public welfare and does not impair the purpose or intent of the subject ordinance as approval actually furthers the important City goals of providing for grid street connectivity and consistency in the downtown area.
7. Special circumstances and conditions apply to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
8. Approval of the requested variance is necessary for the preservation and enjoyment of Applicant's property rights as the prior approval and design of the adjoining residential community was for the purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.
9. The requested variance is not the result of any action of Applicant; but rather, is the result of the prior approval and design of the adjoining residential community which was for the express purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.

# ATTACHMENT C

**ATTACHMENT TO APPLICANT RESPONSE STATEMENT**  
**(Page Two of Two)**

**(Variances)**

**As to Variance No. 1**

10. Approval of the variance will not, in any form, fashion or substance impair the public welfare, good, or safety; nor impair the values or properties in the surrounding area. Rather, approval of the requested variance advances significant goals of the City to provide for grid street connectivity, street consistency, and overall aesthetics which serve to stabilize and enhance the public welfare and area property values.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT (Variances) (Page One of Two)

### As to Variance No. 2

1. The purpose of the requested variance to reduce the landscape zone from 7 feet to 5 feet on the western side of Chandler Lane and reduce the landscape zone from 7 feet to 2 feet on Market Street allows the Applicant to create, design, and develop necessary grid street connectivity and street and landscaping uniformity with adjoining developments (South on Main and Adyn Park) and along Barnesdale Terrace. Furthermore, the landscape zone on the western side of Chandler Lane will increase to 7' as the road continues north towards Barnesdale Terrace.
2. The size, shape and topography of the Property limit the capability of development and the requested variance therefore becomes necessary to accomplish important goals of the City to create street uniformity, connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
3. The application of the subject regulation creates significant practical difficulty and hardship as compliance would necessarily compromise or sacrifice accomplishing grid street and infrastructure connectivity; as well as, street uniformity between the adjoining residential community and Barnesdale Terrace.
4. The described conditions are unique and peculiar to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
5. A literal interpretation of the subject ordinance deprives Applicant of rights other residential communities enjoy in the adjoining and surrounding area.
6. If approved, the requested variance results in no detriment to the public welfare and does not impair the purpose or intent of the subject ordinance as approval actually furthers the important City goals of providing for grid street connectivity and consistency in the downtown area.
7. Special circumstances and conditions apply to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
8. Approval of the requested variance is necessary for the preservation and enjoyment of Applicant's property rights as the prior approval and design of the adjoining residential community was for the purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.
9. The requested variance is not the result of any action of Applicant; but rather, is the result of the prior approval and design of the adjoining residential community which was for the express purpose of

## ATTACHMENT C

providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.

### **ATTACHMENT TO APPLICANT RESPONSE STATEMENT** (Variances)

**(Page Two of Two)**

#### **As to Variance No. 2**

10. Approval of the variance will not, in any form, fashion or substance impair the public welfare, good, or safety; nor impair the values or properties in the surrounding area. Rather, approval of the requested variance advances significant goals of the City to provide for grid street connectivity, street consistency, and overall aesthetics which serve to stabilize and enhance the public welfare and area property values.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT

(Variances)

(Page One of Two)

### As to Variance No. 3

1. The purpose of the requested variance to increase the minimum block size standards from 600 feet to 750 feet for the southern roadway is necessary to provide for grid street connectivity and to ensure existing and proposed infrastructure connectivity.
2. The size, shape and topography of the Property limit the capability of development and the requested variance therefore becomes necessary to accomplish important goals of the City to create street uniformity, connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
3. The application of the subject regulation creates significant practical difficulty and hardship as compliance would necessarily compromise or sacrifice accomplishing grid street and infrastructure connectivity; as well as, street uniformity between the adjoining residential community and Barnesdale Terrace.
4. The described conditions are unique and peculiar to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
5. A literal interpretation of the subject ordinance deprives Applicant of rights other residential communities enjoy in the adjoining and surrounding area.
6. If approved, the requested variance results in no detriment to the public welfare and does not impair the purpose or intent of the subject ordinance as approval actually furthers the important City goals of providing for grid street connectivity and consistency in the downtown area.
7. Special circumstances and conditions apply to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
8. Approval of the requested variance is necessary for the preservation and enjoyment of Applicant's property rights as the prior approval and design of the adjoining residential community was for the purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.
9. The requested variance is not the result of any action of Applicant; but rather, is the result of the prior approval and design of the adjoining residential community which was for the express purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.

# ATTACHMENT C

**ATTACHMENT TO APPLICANT RESPONSE STATEMENT**  
**(Page Two of Two)**

**(Variances)**

**As to Variance No. 3**

10. Approval of the variance will not, in any form, fashion or substance impair the public welfare, good, or safety; nor impair the values or properties in the surrounding area. Rather, approval of the requested variance advances significant goals of the City to provide for grid street connectivity, street consistency, and overall aesthetics which serve to stabilize and enhance the public welfare and area property values.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT

(Variances)

(Page One of Two)

### As to Variance No. 4

1. The purpose of the requested variance to front homes onto open space without intervening street for units 48-59, 64-76, and 108-113 is for the purpose of maximizing open space and prioritizing grid street connectivity.
2. The size, shape and topography of the Property limit the capability of development and the requested variance therefore becomes necessary to accomplish important goals of the City to create street uniformity, connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
3. The application of the subject regulation creates significant practical difficulty and hardship as compliance would necessarily compromise or sacrifice accomplishing grid street and infrastructure connectivity; as well as, street uniformity between the adjoining residential community and Barnesdale Terrace.
4. The described conditions are unique and peculiar to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
5. A literal interpretation of the subject ordinance deprives Applicant of rights other residential communities enjoy in the adjoining and surrounding area.
6. If approved, the requested variance results in no detriment to the public welfare and does not impair the purpose or intent of the subject ordinance as approval actually furthers the important City goals of providing for grid street connectivity and consistency in the downtown area.
7. Special circumstances and conditions apply to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
8. Approval of the requested variance is necessary for the preservation and enjoyment of Applicant's property rights as the prior approval and design of the adjoining residential community was for the purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.
9. The requested variance is not the result of any action of Applicant; but rather, is the result of the prior approval and design of the adjoining residential community which was for the express purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.

# ATTACHMENT C

**ATTACHMENT TO APPLICANT RESPONSE STATEMENT**  
**(Page Two of Two)**

**(Variances)**

**As to Variance No. 4**

10. Approval of the variance will not, in any form, fashion or substance impair the public welfare, good, or safety; nor impair the values or properties in the surrounding area. Rather, approval of the requested variance advances significant goals of the City to provide for grid street connectivity, street consistency, and overall aesthetics which serve to stabilize and enhance the public welfare and area property values.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT (Variances) (Page One of Two)

### As to Variance No. 5

1. The purpose of the requested variance to reduce all supplemental zones to 1 foot for all streets is to create engagement with the proposed streets enhancing street uniformity with other nearby and adjacent communities such as South on Main, on-street parking, and grid street connectivity as such reduction simply allows for an increase in the allowable encroachments to accommodate front porches, stoops and stairs which enhance the overall quality of Applicant's proposed homes.
2. The size, shape and topography of the Property limit the capability of development and the requested variance therefore becomes necessary to accomplish important goals of the City to create street uniformity, connectivity and grid street layout between the adjoining residential community and Barnesdale Terrace.
3. The application of the subject regulation creates significant practical difficulty and hardship as compliance would necessarily compromise or sacrifice accomplishing grid street and infrastructure connectivity; as well as, street uniformity between the adjoining residential community and Barnesdale Terrace.
4. The described conditions are unique and peculiar to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
5. A literal interpretation of the subject ordinance deprives Applicant of rights other residential communities enjoy in the adjoining and surrounding area.
6. If approved, the requested variance results in no detriment to the public welfare and does not impair the purpose or intent of the subject ordinance as approval actually furthers the important City goals of providing for grid street connectivity and consistency in the downtown area.
7. Special circumstances and conditions apply to the Property as the adjoining residential streets are designed and installed to provide for future grid street connectivity, consistency and street uniformity for and through the future development of the Property by connecting to Barnesdale Terrace along with Applicant proposed improvements along Barnesdale Terrace.
8. Approval of the requested variance is necessary for the preservation and enjoyment of Applicant's property rights as the prior approval and design of the adjoining residential community was for the purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.
9. The requested variance is not the result of any action of Applicant; but rather, is the result of the prior approval and design of the adjoining residential community which was for the express purpose of providing grid street connectivity to Barnesdale Terrace through the Property and therefore approval of the request is necessary to accomplish the City's intent and goals.

# ATTACHMENT C

**ATTACHMENT TO APPLICANT RESPONSE STATEMENT** (Variances)  
**(Page Two of Two)**

**As to Variance No. 5**

10. Approval of the variance will not, in any form, fashion or substance impair the public welfare, good, or safety; nor impair the values or properties in the surrounding area. Rather, approval of the requested variance advances significant goals of the City to provide for grid street connectivity, street consistency, and overall aesthetics which serve to stabilize and enhance the public welfare and area property values.

# ATTACHMENT C

(See Attached)

## APPLICANT RESPONSE STATEMENT      CONDITIONAL USE PERMITS

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a conditional use permit, please respond to the following standards in the form of a written narrative:

1. Explain requested conditional use permit.
2. Whether or not there will be significant adverse effect on the surrounding area in which the proposed use will be located.
3. Whether or not the use is otherwise compatible with the surrounding area.
4. Whether or not the use proposed will result in a nuisance as defined under state law.
5. Whether or not quiet enjoyment of surrounding property will be adversely effected.
6. Whether or not property values of surrounding property will be adversely effected.
7. Whether or not adequate provisions are made for parking and traffic considerations.
8. Whether or not the site or intensity of the use is appropriate.
9. Whether or not special or unique conditions created by the use are consistent with the purpose, intent and goals of the Comprehensive Town Plan.
10. Whether or not adequate provisions are made regarding hours of operation.
11. Whether or not adequate controls and limits are placed on commercial and business deliveries.
12. Whether or not adequate landscape plans are incorporated to ensure appropriate transition between adjacent or nearby properties.
13. Whether or not the public health, safety, welfare or moral concerns of the surrounding neighborhood will be adversely affected.
14. Whether the application complies with any applicable specific requirements set forth in this chapter for conditional use permits for particular types of uses.
15. Whether the applicant has provided sufficient information to allow full consideration of all relevant factors.
16. Whether the conditional use requested emits or creates unusual odors which would warrant use of an odor elimination/attenuation system as recommended by industry standards.

# ATTACHMENT C

## ATTACHMENT TO APPLICANT RESPONSE STATEMENT

(Conditional Use Permits)

(Page One of Two)

1. The purpose of the requested CUP is to allow and permit the proposed development to include attached townhome units complementary to the detached homes also proposed. This mixture of residential unit types (detached, attached, rear-loaded, and front-loaded) is consistent with the applicable zoning requirements; as well as, with the mixture of residential unit types containing both detached and attached homes in adjacent communities.
2. There is no significant adverse effect on the surrounding area from the approval of the requested CUP as the mixture of residential unit types including detached and attached homes is consistent with the adjoining and surrounding residential communities.
3. The proposed attached homes are absolutely consistent with adjoining and surrounding communities which also include a mixture of detached and attached homes developed as part of the same community.
4. The proposed attached homes do not and cannot be considered a nuisance under state law.
5. Quiet enjoyment of surrounding properties will not be adversely affected by the proposed attached homes inasmuch as these same surrounding communities also include a mixture of detached and attached homes and therefore Applicant's proposal is entirely consistent with the existing and approved surrounding communities.
6. Surrounding property values will not be adversely affected and should actually be more stabilized or increased due to the proposed development since Applicant proposes to continue the same type of mixed residential development thereby redeveloping underutilized property.
7. Adequate provisions for parking and traffic have been included in the proposed site plan which contains adequate street parking; as well as, creating street uniformity and grid street connectivity which will serve to ease traffic congestion in the area.
8. The proposed development plan is appropriate in intensity given its consistency with adjoining and surrounding properties.
9. The proposed attached homes are entirely consistent with the purpose, intent and goals of the Comprehensive Town Plan by creating consistent residential development complementary to the non-residential uses of the downtown area while simultaneously ensuring a diversity of residential home types.
10. Not applicable to the request.
11. Not applicable to the request.
12. Adequate landscape plans are incorporated into the Applicant's development plans consistent with streetscape and landscape requirements of the City, and further, consistent with adjoining residential developments.

## ATTACHMENT C

**ATTACHMENT TO APPLICANT RESPONSE STATEMENT (Conditional Use Permits)**  
**(Page Two of Two)**

13. Approval of the requested CUP will not adversely affect the public welfare of the surrounding neighborhood; but rather, enhances the overall public good by development of a community consistent with the quality, development style, and standards of existing and previously approved residential communities located adjacent to, and in the area of, the property.
14. The application complies with all specific requirements for conditional use permits allowable for attached homes.
15. Applicant has provided all requested information by City Staff and further, has provided detailed plans demonstrating the consistency and complementary aspects of the proposal with adjoining and surrounding communities.
16. The proposed attached homes by their very nature do not emit or create unusual odors.

**PUBLIC INPUT REPORT: Case No. Z#168-26**

**Applicant Name:** Toll Southeast LP Company, Inc.

**Phone No.:** [REDACTED]

**E-mail:** [REDACTED]

**Applicant Representative:** J. Kevin Moore, Esq.; Moore Ingram Johnson & Steele, LLP

**Phone No.:** [REDACTED]

**E-mail:** [REDACTED]

**Subject Property Address:** 115, 125, 135, and 145 Barnesdale Terrace

**Parcel Nos.:** 92N06 041; 92N06 042; 92N06 042A; 92N06 042B; 92N06 042D

**Public Input Meeting Date, Time, Location:** Thursday, February 26, 2026; beginning at 7:00 p.m.  
Cherokee Parks and Recreation Community Room  
7545 Main Street, Building 200  
Woodstock, Georgia 30188

**I. Summary of Concerns:**

**Traffic and Street Connectivity.** Numerous residents raised concerns about increased traffic in the neighborhoods and street connectivity between South on Main and Barnesdale, particularly with regard to the use of neighborhood streets as a cut-through to avoid main roads. The speed of motorists on neighborhood streets was also a concern, particularly by non-residents. The narrowness of the streets in South on Main makes it dangerous to speed, and the streets in Barnesdale will be the same width, leading to the same issue in the new neighborhood. Residents inquired whether any new traffic lights are guaranteed and what the timeline for those would be. A question also arose about whether a traffic study had been required.

**Controlled Access.** There was an inquiry as to whether the streets would become public and whether the neighborhood would have controlled access.

**Parking and Trail Access.** Concerns were raised that Barnesdale residents would park in South on Main for access to the Noonday Creek Trail. Some residents expressed interest in installing signs for restricted parking to prevent this.

**Construction Traffic.** Barnesdale Terrace is currently very narrow and may not be able to support construction traffic.

**Facts About New Neighborhood.** Residents asked questions about the size of the houses, the mix of products, and the price points of the different houses. They also asked for clarification about elevations and building materials and the anticipated timeline of development.

**Sidewalks and Street Lighting.** Residents expressed concerns about the sidewalks and lighting along the streets from the neighborhoods to downtown, suggesting that better lighting and more sidewalks would be beneficial to both Barnesdale residents and residents of surrounding neighborhoods. There are currently areas that are very dark, which is not good for pedestrians.

**Amenities.** One resident asked whether the pool amenity in Barnesdale was guaranteed. Her concern is that if the amenities in Barnesdale are not constructed, Barnesdale residents may use the amenities in South on Main instead.

**Whether There is a Need for the Requested Variance.** One resident does not see the justification for the variance requesting that 7 feet be “trimmed” to the supplemental zone and requested additional explanation.

**Landscaping.** Concerns were raised that the landscape plan would not be followed and about how the landscaping would be kept up after the turnover of the homeowners association from the Applicant to the homeowners. There was also an inquiry about the neighborhood’s effect on the tree canopy with a concern about the need for shade.

**Stormwater.** Several residents inquired about the stormwater plan. Of particular concern is the runoff toward Noonday Creek, which is already significant.

**Environmental Commitments.** One resident inquired about whether the Applicant makes any voluntary environmental commitments (e.g., attraction of pollinators) above code.

**How the New Neighborhood will Affect Existing Homes and Streets.** Several residents pointed out their own homes on the adjacent property in the site plan and requested clarification as to how the grading and drainage would affect them. Others asked for clarification on the landscaping and distances between the houses.

## **II. How the Applicant Addressed Concerns:**

**Traffic and Street Connectivity.** The Applicant has discussed speed tables and additional stop signs with the City for neighborhood streets in order to keep traffic slower within the neighborhoods. While the Code dictates the width of the roads, the Applicant has considered adding curves to some roads in order to slow drivers down. The Applicant also confirmed it had completed a trip generation report.

**Controlled Access.** The Applicant confirmed that both streets and parking would be public, so there would be no controlled access.

**Construction Traffic.** The Applicant will make improvements along Barnesdale Terrace, including dedicating right-of-way to the City and adding additional parallel parking from its property. The Applicant will also repair any damage to the street arising directly from its construction traffic. It also agreed to meet with the City’s Public Works Department to discuss any mitigation requirements.

**Facts About New Neighborhood.** The Applicant explained the size of the homes to be constructed, the product mix and the reasons for that mix, and the price points of the various products. The Applicant also clarified the types of planned building materials. The Applicant explained its anticipated timeline of 6 months for issuance of the Land Disturbance Permit, 14-15 months for development, and a 3- year sale cycle.

**Sidewalks and Street Lighting.** The Applicant plans to install sidewalks and street lighting per Code requirements on its property. It also agreed that more sidewalks and better lighting would benefit the entire area.

**Amenities.** The Applicant plans to install amenities as shown on the Site Plan; however, until the development process is complete, the amenity programming will evolve throughout the design life cycle.

**Whether There is a Need for the Requested Variance.** The Applicant explained that the City has a plan for grid streets, which is part of the reason to request the variance. Furthermore, the Code permits some level of encroachment within the supplemental zone without a variance.

**Landscaping.** With regard to the Landscape Plan, the Applicant offered to make the Landscape Plan a zoning condition. The Applicant also offered to e-mail the approved Landscape Plan to everyone who signed in at the meeting.

The Applicant will turn the HOA over to the homeowners once approximately 90 percent of the homes are occupied. Landscaping is installed prior to turnover, and its maintenance will be a part of the covenants. Furthermore, the Applicant deficit-funds its HOAs so there will be funds immediately available for continuing to maintain all landscaping after the turnover.

With regard to the tree canopy, the Applicant confirmed that street trees will be installed as required by the Code.

**Stormwater.** The Applicant confirmed that it cannot increase the runoff into the creek by Code. The Applicant reinforces the design standards require reduced runoff protection and water quality.

**Environmental Commitments.** The Applicant plans for enhanced landscaping, but it does not have plans to make specific voluntary environmental commitments; however, the Applicant's plans typically include muhly grasses, hydrangeas, salvia grasses, and other pollinator and native species on a large scale.

**How the New Neighborhood will Affect Existing Homes and Streets.** The Applicant confirmed that there may be some grading to the streets to comply with slope requirements. The Applicant also confirmed that there would be no additional drainage onto other properties. For residents with questions about landscaping, the width of the landscaping will vary based on the location in the planned neighborhood, but the width of the landscaping and the types of vegetation that are planned for various locations were discussed.

### **III. Concerns the Applicant was Unable or Unwilling to Address and Why:**

**Traffic and Street Connectivity.** The planned traffic light at Barnsdale Terrace and Main Street to address traffic concerns is a matter for the City. While the Applicant cannot guarantee that it will be installed or on what timeline, the Applicant understands that the City has SPLOST funds available for this anticipated traffic light. Traffic lights at other location are also matters for the City rather than the Applicant.

Residents would like to have access to Dupree from Barnesdale. However, the Applicant does not control the intervening property and cannot provide this connectivity. Any new right-of-way to provide this connectivity is a matter for the City; however, the Applicant will reasonably cooperate with the City to provide future connectivity.

**Parking and Trail Access.** Barnesdale has no direct access to Noonday Creek Trail, and the intervening property prevents the Applicant from providing such access. The Applicant cannot control the parking in South on Main.

**Sidewalks and Street Lighting.** The Applicant cannot install sidewalks and street lighting on neighboring properties. However, it agreed to bring concerns about lack of sidewalks and the need for better lighting to the City's attention.

**Stormwater.** At this time, the Applicant is unable to provide the final stormwater plan because its engineers are still analyzing the channel to determine the best plan for the basin. Discussions are currently ongoing with the City's stormwater engineer. The current plan is for underground stormwater basins beneath private streets, alleys, and common areas, but this plan is still being engineered at this time.

**IV. Concerns or Topics of Discussion Unrelated to the Proposal:**

- A new accounting firm is moving into a building nearby in downtown Woodstock. This may also affect the need for additional traffic lights.
- Aiden Park residents have been told before that they cannot have a traffic light at the entrance to their neighborhood because it is too close to other traffic lights.

**V. Agreements Made by the Applicant to Property Owners at the Meeting:**


**Traffic and Street Connectivity.** Applicant agrees to stipulate in the zoning conditions that all construction traffic will be through Barnesdale Terrace.

**Landscaping.** With regard to the Landscape Plan, the Applicant offered to make the Landscape Plan a zoning condition. The Applicant also offered to e-mail the approved Landscape Plan to everyone who signed in at the meeting.

Applicant's Signature: \_\_\_\_\_

  
Bryceson Mercer, Senior Land Entitlement Manager  
Toll Southeast LP Company, Inc.

Applicant's Representative Signature: \_\_\_\_\_

  
J. Kevin Moore, Moore Ingram Johnson & Steele, LLP  
Lesley M. Rowe, Moore Ingram Johnson & Steele, LLP  
Attorneys for Applicant and Property Owners

*Applicant: Attach sign-in sheet(s) from the meeting and return with this form to your case manager by the date shown on the Public Hearing Schedule. Thank you!*

**PUBLIC INPUT MEETING SIGN-IN SHEET**

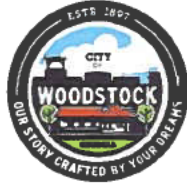
Name	Address	Email or Phone
Briant Yolanda Sholly	127 Dupree Rd, <sup>Woodstock</sup> GA 30188	
Shannon Workman	274 Dawson Dr. 30188	
Barbara Sobel	431 Reeves St. 30188	
Leet Michelle Guibault	221 Napa Dr. Woodstock 30188	
JEFFERY + HEATHER SCALES	384 WANDSON WAY	
John Higginbottom	280 Dawson Pk.	
Mark Thompson	431 Chandler Ln 30188	
Brenda Travelstead	441 Reeves St 30188	
MARIA MOORE	217 Napa Pr. Woodstock	
LISA DEVINE	219 NAPA DR WOODSTOCK	
Merrill Oakes	933 South ON MAFM St	
Suzanne Litrel	143 Tubular Rd Woodstock 30188	
CINDY HOGG	803 Caslike Ln. (SOM)	
Joe Engert	206 Dawson Rd (SOM)	

PUBLIC INPUT MEETING SIGN-IN SHEET

Name	Address	Email or Phone
Hazel Sisk	157 Creekwood Dr.	
Aubry Blaustock	110 Barnesdale Terrace	
Corey Bull	165 creekwood dr	
Regina Bolce	167 creekwood Dr	
Michael SanGarrick	142 Brighton Blvd.	
Javier + Kately SOTO	651 MARKET ST.	
Bobbi Cowart	309 Southpark Ln	
Cindy Meredith	312 Booth St.	
Joel Goldberg	172 Brighton Blvd	
<del>Betsy Johnston</del>	8870 Nair St	
Craig McDonald	439 REEVER St	
Courtney Morgan	214 Napa Dr	
Deborah Tidwell	214 Napa Dr.	
RANDY WELTE	302 CITARDONWAY WAY	

**PUBLIC INPUT MEETING SIGN-IN SHEET**

Name	Address	Email or Phone
Vincent Green	148 Brighton Blvd Woodstock Ga 30188	[REDACTED]
LARRY KAY	164 Brighton Blvd	[REDACTED]
Kerianne Anastasia	2002 Cottonwood Ln	[REDACTED]



**COMMENT CARD**  
**Public Input Meeting**

Date: 2/26/2026 Case #: \_\_\_\_\_  
Name: Deborah Tidwell  
Address: 214 Napa Drive  
Phone: [REDACTED]  
Email: [REDACTED]

Do you support the project?  
 For  Against  With Conditions  Undecided

Comments: Seems like a lot of traffic for Barnsdale Terrace Road. There needs to a traffic light on Main Street @ Barnsdale

*Use back of this form for additional comments, if necessary.*

How did you hear about this meeting?  
 Social Media  Newspaper  Signs  Word of Mouth  Direct Mail

Were your questions answered by the applicant?  Yes  No

Do you understand the proposal after attending this meeting?  Yes  No

Please share your suggestions on improving the way these meetings are conducted:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Thank you for attending and providing your input!**  
Leave your completed comment card with the applicant or email it to [planning@woodstockga.gov](mailto:planning@woodstockga.gov)



**COMMENT CARD  
Public Input Meeting**

Date: 2/26/26 Case #: \_\_\_\_\_  
Name: Core' Bull  
Address: 165 creekwood or waselstocke, GA  
Phone: [REDACTED]  
Email: [REDACTED]

Do you support the project?  
 For  Against  With Conditions  Undecided

Comments: \_\_\_\_\_  
Concerned about more traffic on main street. My commute to office rd from Hwy 92 is already 30 min for less than a mile. w/ a new red light this impacts it.  
Also very interested in stormwater plan.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Use back of this form for additional comments, if necessary.*

How did you hear about this meeting?  
 Social Media  Newspaper  Signs  Word of Mouth  Direct Mail

Were your questions answered by the applicant?  Yes  No

Do you understand the proposal after attending this meeting?  Yes  No

Please share your suggestions on improving the way these meetings are conducted:  
Great job!  
\_\_\_\_\_  
\_\_\_\_\_

**Thank you for attending and providing your input!**  
Leave your completed comment card with the applicant or email it to [planning@woodstockga.gov](mailto:planning@woodstockga.gov)

April 26<sup>th</sup> 2026

To Whom It May Concern:

**Rezoning application Z#168-26**

On behalf of the Adyn Park Homeowners Association Board, we write in support of rezoning application Z#168-26, subject to the following conditions:

1. The applicant agrees that Napa Drive and Market Street shall not be used as a construction access point for the proposed development.
2. The applicant agrees to install additional tree plantings along the southern boundary of the parking area at the terminus of "Alley A" to provide appropriate screening and preserve neighborhood aesthetics.

These conditions are important to help minimize disruption during construction and to maintain the character and visual buffer between the development and our community.

We appreciate your consideration of these requests and look forward to working collaboratively to ensure a positive outcome for both the applicant and neighboring residents.

Sincerely,

A handwritten signature in black ink, appearing to read 'L Devine', with a long horizontal flourish extending to the right.

Lisa Devine  
President, Adyn Park HOA  
219 Napa Drive  
Woodstock, GA 30188



April 22, 2026

To whom it may concern:

I, John Drawdy, support the rezoning application Z#168-26.

This is to the west of my property at 105 Barnesdale Rd. Woodstock, GA 30188.

Best,

A handwritten signature in blue ink that reads 'John Drawdy'. The signature is written in a cursive style.

John Drawdy

111 Towne Lake Pkwy #110

Woodstock, GA 30188

[www.ParagonAccountingandTax.com](http://www.ParagonAccountingandTax.com)

111 Towne Lake Parkway • Suite 110 • Woodstock, GA 30188

Office (770) 928-7229 • Fax (770) 591-0789

[johnd@paragonat.com](mailto:johnd@paragonat.com)

# Item Cover Page

**PLANNING COMMISSION AGENDA ITEM REPORT**

**DATE:** May 7, 2026

**SUBMITTED BY:** Niwana Ray, Community Development

**ITEM TYPE:** Ordinance 1st or 2nd Reading

**AGENDA SECTION:** **PUBLIC HEARINGS**

**SUBJECT:** **Consideration of A#131-26: Faith Community Church (Public Hearing & Vote)**

**SUGGESTED ACTION:** Staff recommends City Council approve the Annexation, Rezoning, and Conditional Use Permit for the ± 5.87 acre addition to Faith Community Church, located at 291 & 295 Rope Mill Road (A#131-26).

- ATTACHMENTS:**
- [A131-26 Staff Report 2026-05-07 PC.pdf](#)
  - [ATT A Applicant Response Statements.pdf](#)
  - [ATT B Proposed Site Plan.pdf](#)
  - [ATT C County Response Packet.pdf](#)
  - [ATT D A131 PI Report\\_Redacted.pdf](#)
  - [ATT E Rope Mill RW Plan.pdf](#)



**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Niwana Ray, AICP, Senior Planner  
**SUBJECT:** Project No. A#131-26 Faith Community Church, Rope Mill Road

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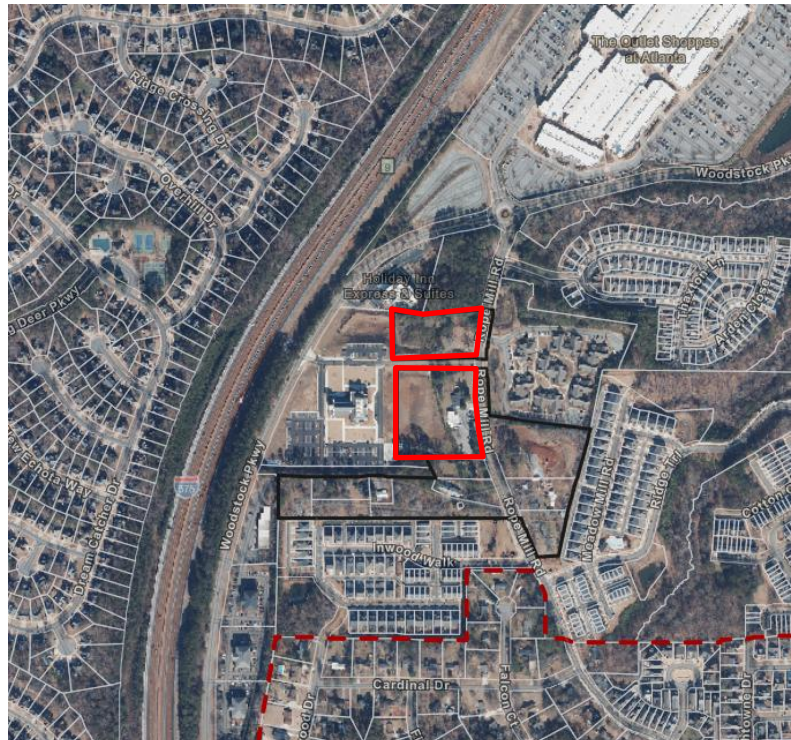
**RECOMMENDATION:**

Staff recommends City Council approve the Annexation, Rezoning, and Conditional Use Permit for the ± 5.87 acre addition to Faith Community Church, located at 291 & 295 Rope Mill Road (A#131-26).

**EXECUTIVE SUMMARY**

The Applicant, Richard Goff on behalf of Faith Community Church, Incorporated, has submitted an application to annex two parcels and rezone from Cherokee County R-40 (Single-Family Residential) and NC (Neighborhood Commercial) to City of Woodstock OSI (Office Space/Institutional). A Conditional Use Permit (CUP) is requested, which would allow the expansion of the existing use. Faith plans to build additional buildings and expand programming on their campus in the future.

The site plan showing Faith Community's proposed future expansion, along with other supporting information, can be found in Attachments A-E.



## **BACKGROUND**

Table 1 provides general property information for the Project site and surrounding land use.

<b>General Property and Surrounding Land Use Information</b>	
Address	291 and 295 Rope Mill Road
Council Ward	6 (Usher) – <i>upon annexation</i>
Tax ID #	15N11 038 and 15N11 038B
Site Acreage	± 5.87 acres
Future Development Map	Urban Village
Current Zoning	County R-40 (Single-Family Residential) and Neighborhood Commercial (NC)
Current Development	295 is vacant, 291 serves Never Alone
Streets Information	Rope Mill is maintained by City of Woodstock
Surrounding Neighborhood:	
North	GC (Holiday Inn, vacant parcel, roundabout)
South	OSI, County R-40
East	SL-C (Camelia Place), County R-40
West	OSI (Faith Community), Woodstock Pkwy

### Past Zoning History

No previous City of Woodstock zoning history was found for the subject parcels.

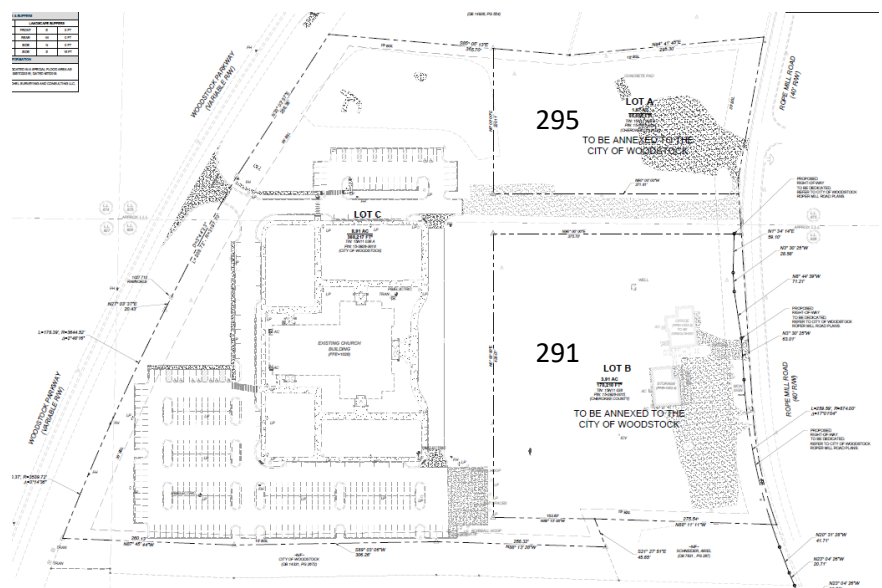
Faith Community Church at 1100 Woodstock Pkwy (TIN 15N11 038A) was annexed into the City of Woodstock in 2018 (A#093-18).

## **PROJECT DESCRIPTION**

The Applicant is seeking to annex and rezone two parcels on the west side of Rope Mill Road, totaling ± 5.87 acres. The parcels would be incorporated into the Faith Community Church campus.

The northern parcel at 295 Rope Mill (15N11 038B) is approximately 2 acres and is currently undeveloped. It is zoned County R40.

The southern parcel at 291 Rope Mill (15N11 038), is approximately 4 acres and is



zoned County NC (Neighborhood Commercial). The organization Never Alone operates out of several buildings on this parcel, providing food assistance to the community.

The parcels would be rezoned from County NC and R-40 to City OSI (Office Space/Institutional), matching the remainder of the Faith Community campus. The applicant has not indicated immediate development plans, but does have plans to expand in the future, adding buildings and additional programming. See Attachment B, which shows desired future building locations.

Access to the parcels would be provided from Rope Mill Road on the eastern parcel frontage and Faith's existing campus entrance on Woodstock Parkway. The City has plans to add an 8' wide trail segment along Rope Mill Road.

## **ANALYSIS**

To accommodate the proposed project, several entitlements are requested in this application:

1. Annexation of parcels 15N11 038 and 15N11 038B into the City of Woodstock. Assignment of a Future Land Use designation is also required.
2. Rezone parcels to OSI (Office Space/Institutional).
3. Conditional Use Permit to expand Church/Place of Worship use.

### **Annexation Policy & Growth Boundary Agreement (GBA) Consistency**

The City Council has an Annexation Policy (CMP#700-0001) and a Growth Boundary Agreement (adopted by City and County in 2022). The Annexation Policy provides several priorities, including incorporating areas surrounded by the City and already receiving City services. The proposed annexation would close part of an unincorporated "island" that exists along Rope Mill Road.

The parcels included in this annexation and rezoning request are within in the adopted Growth Boundary Agreement (GBA) with Cherokee County. The County Board of Commissioners expressed no objections to the proposed annexation. Their response is provided in Attachment C.

### **Land Development Ordinance (LDO) Consistency**

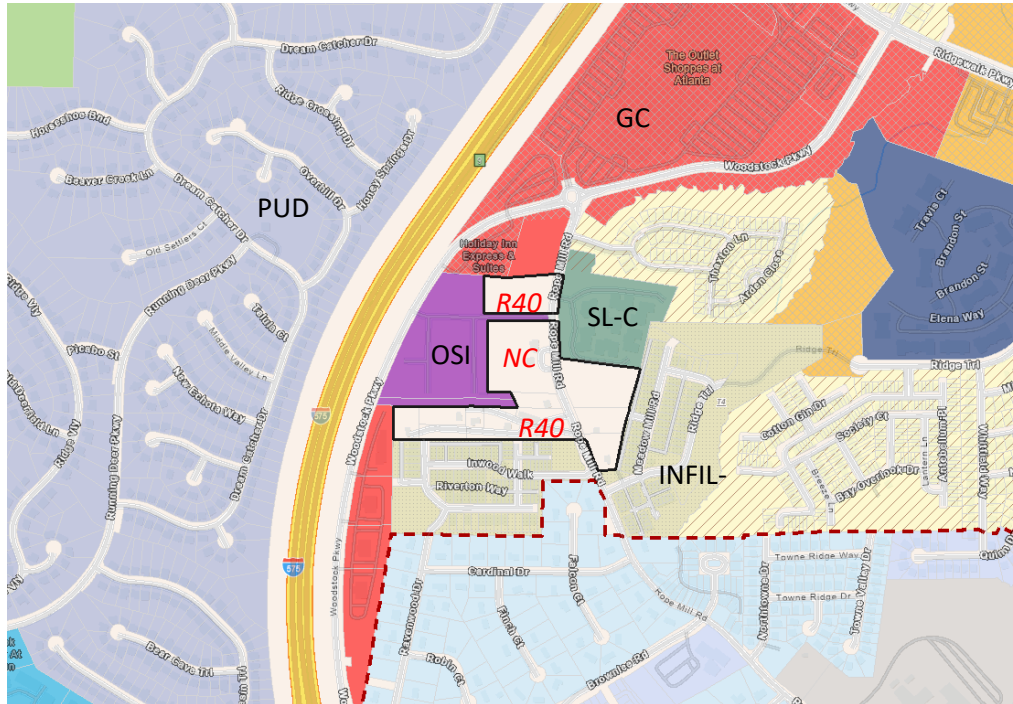
The applicant seeks to rezone the two parcels from County R40 (15N11 038B) and NC (15N11 038) to City OSI (Office Space/Institutional). This zoning designation matches the rest of the Faith Community Campus on Woodstock Parkway/Rope Mill Road. A church/place of worship use is appropriate for the zoning district.

### **2023 Comprehensive Plan Consistency**

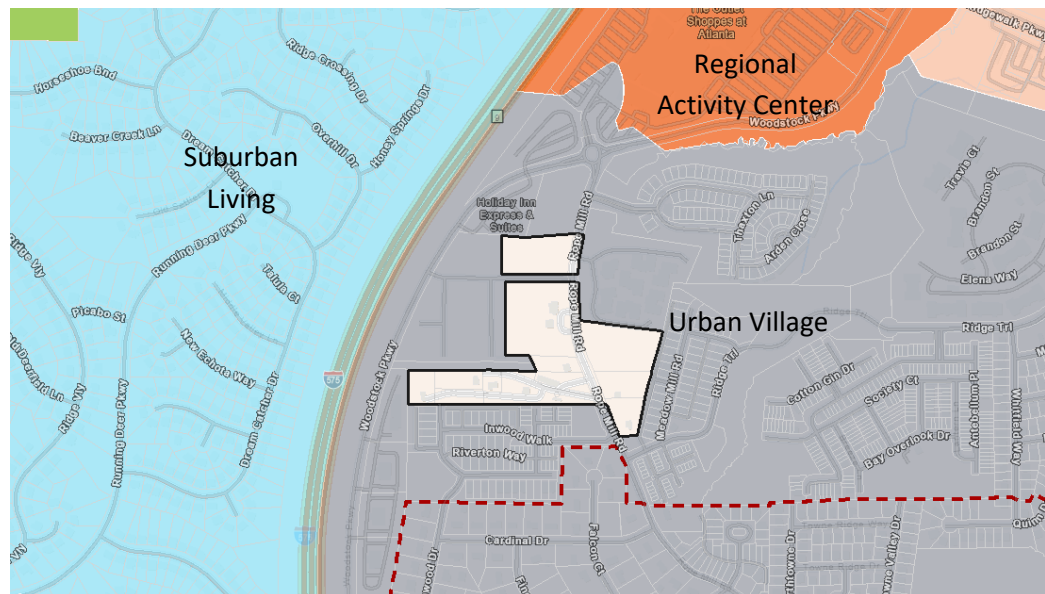
The Cherokee County Future Land Use Map identifies these parcels as Urban Core. Urban Core translates to the City's Community Village Center character area. However, to allow

for continuity between the proposed project, the existing development, and surrounding character area, the City has proposed Urban Village as the Land Use Designation for the subject parcels. This character area emphasizes walkability with a focus on the pedestrian realm. The project, if built-out as envisioned, will include civic spaces and internal pedestrian ways, along with architectural detailed buildings.

Zoning Map



Future Development Map



## **PUBLIC INPUT**

Public notice for the public hearing has been provided in accordance with State and local law. On or around March 6, 2026, public notices were mailed to property owners within 800' of the project site. The notice informed them of the public input meeting, Planning Commission public hearing, and City Council public hearing. Additionally, a public notice was published in the local newspaper and signs were posted on the property a minimum of 15 days but not more than 45 days prior to the public hearing.

On March 31, 2026, the Applicant hosted a public input meeting at Faith Community Church, 1100 Woodstock Parkway, beginning at 7:00 PM. The informal meeting is intended to allow the Applicant to explain the proposal and to answer any questions the public might have about the project or public hearing process. The meeting was well attended by approximately 10 people who attend the church. The Public Input Report and correspondence relating to this project are included as Attachment D.

## **DPC RECOMMENDATION**

The Development Process Committee (DPC) met with the Applicant on April 1, 2026, to discuss the project. On April 8, 2026, the DPC met again and voted (5-0) to recommend approval of the annexation, rezoning, and CUP requests, with the conditions of approval detailed below.

Recommendation:

1. Approve annexation of parcels 15N11 038 and 15N11 038B and rezone to City OSI (Office Space/Institutional).
2. Approve Conditional Use Permit for Church/Place of Worship use.

Conditions of Zoning:

1. Development shall develop and remain in substantial compliance with the conceptual plan prepared by Ingenium dated December 5, 2025, attached hereto as Exhibit "C", and hereinafter referred to as "Site Plan". Where the zoning code conflicts with the substantial compliance requirement, the zoning code will be enforced – except where explicit variance or administrative relief has been granted in writing by Mayor and City Council or the DPC. The aforementioned notwithstanding, each site plan submitted to the City for review shall comply with all adopted fire safety requirements.

If amendments or modifications to the development are requested by the developer:

- a) Upon the written request of the Developer, the Community Development Director shall determine at their sole discretion: (1) whether the requested amendment or modification is minor; and (2) whether the requested amendment or modification is consistent with the approved project. If the Director finds that it is both minor and consistent, the amendment shall be determined to be an "Administrative Amendment," subject to review and approval by the DPC.

No administrative amendment will be effective until after thirty (30) days' notice to the City Council and posting in the same manner as agendas. If any member of the City Council requests consideration of such amendment within the 30-day notice period, then the administrative amendment will not be effective unless there is a final determination by the City Council approving it. In the event Council requests consideration of an administrative amendment, staff will agendize the matter for Council discussion and consideration.

- b) Any written request by the Developer for an amendment that is determined by the Community Development Director to be either: (1) not minor, or (2) inconsistent with the approved project, shall be determined not to be an Administrative Amendment and shall be subject to review by the City Council.
  - c) If applicant disagrees with decision by Community Development Director, applicant may appeal said decision to City Council in accordance with LDO section 10.162.
2. All campus parcels shall be consolidated under one combination plat to be approved by the City prior to site plan submittal. The applicant shall submit the plat to the Cherokee County Clerk of Superior Court to be recorded prior to the issuance of an LDP for the first building.
  3. All buildings must be maintained under same ownership to qualify as accessory uses to Church/Place of Worship use.
  4. The original stormwater exemption found in ordinance A#093-18 applies to buildings and improvements constructed prior to this ordinance.
  5. A site plan shall be submitted within 5 years of CUP approval. Once a site plan has been approved for the first phase of construction, the CUP is vested for the entire master plan.
  6. Applicant shall have a traffic study prepared and submitted at such time that a site plan is submitted for review with next phase of construction.
  7. With first site plan applicable to the CUP, applicant shall provide a full master tree plan and campus plan, to include defined grading.
  8. Any future phases not immediately developed shall be stabilized and maintained.
  9. No parking shall be allowed on non-paved surfaces without formal approval.
  10. Applicant agrees to install 8' wide trail/sidewalk along Rope Mill as described in city plans, including dedication of any necessary right of way. A compliant sidewalk/trail segment shall be shown along frontage from north to south parcel lines at first site plan submittal.
  11. A year-round, opaque buffer shall be provided in the 15' setback against parcel 15N11 035 to the south.
  12. Anticipate any grease traps and/or dumpster drains for future buildings. No service for any dumpster drain or grease trap shall occur between the hours of 10:00 pm and 6:00 am.

## **ATTACHMENTS**

- Attachment A - Applicant Response Statements
- Attachment B - Proposed Future Building Plan
- Attachment C - Cherokee County Annexation Response
- Attachment D - Public Input Report
- Attachment E - Rope Mill Road Right of Way Plans (2 sheets)

**APPLICANT RESPONSE STATEMENT - ANNEXATIONS AND REZONINGS**

The applicant finds that the following standards are relevant in balancing the interest in promoting public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to an annexation and/or rezoning, please respond to the following standards in the form of a written narrative:

1. Explain the intent of the requested zoning.

*The applicant is seeking Annexation to the City of Woodstock with the intended Zoning of Office Space Institutional Zoning to accommodate the expansion of the existing Faith Community Church on the adjacent parcel to the west.*

2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property.

*The use of a church is a conditionally approved use for the Office Space Institutional Zoning District. Furthermore, the adjacent property to the west of the two parcels is currently zoned as Office Space Institutional Zoning District, and the current use is a church. It is anticipated that the zoning proposal will provide a cohesive addition to the adjacent properties.*

3. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.

*The zoning proposal is not anticipated to adversely affect the existing use of the adjacent properties. The adjacent property to the west of the two parcels is currently zoned as Office Space Institutional Zoning District, and the current use is a church. The adjacent property to the north is zoned General Commercial (City of Woodstock Zoning), and it is currently vacant. The adjacent property to the south is zoned R40 (Cherokee County Zoning), and the current use is the Rope Mill Baptist Church. Therefore, it is not anticipated that the zoning proposal will adversely impact the adjacent properties.*

4. Whether the property to be affected by a proposed zoning has a reasonable economic use as currently zoned.

*The existing zoning district of NC (Cherokee County) restricts the use of Religious Institutions, and with the intention to expand Faith Community Church, it is not feasible due to the current zoning. With the annexation to the City of Woodstock, the rezoning to the Office Space Institutional Zoning District and the request of the conditional use permit, the use of a church would be allowed.*

5. Whether the proposed zoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

*It is not anticipated that the proposed use as a Church would cause excessive or burdensome use of the existing streets, transportation facilities, utilities or schools. The master site plan has been designed to anticipate any increase in vehicular traffic by providing sufficient parking space, ensuring interparcel connectivity, and preserving driveway connectivity to Rope Mill Road. The proposed use is not a residential use, and it is not anticipated that there will be a permanent increase in vehicular traffic due to residential growth.*

6. Whether the proposed zoning is in conformity with the policy and interest of the land use plan.

*Per the 2023 City of Woodstock Comprehensive Plan, the site is located in the "Urban Village" area which is to serve as a transition area by providing a mix of uses in order to encourage an "in-town city neighborhood." The proposed zoning of Office Space Institutional Zoning District conforms with the intent of the "Urban Village" and overall City of Woodstock land use plan.*

7. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approved or disapproval of the proposed zoning.

*It is not anticipated that the proposed use as a Church would negatively impact the development of the property. Given the existing Faith Community Church on the adjacent parcel and the existing roads to the Faith Community Church, granting the proposed zoning to allow the expansion of the Faith Community Church will encourage the continuous and cohesive development of the property.*

**APPLICANT RESPONSE STATEMENT CONDITIONAL USE PERMITS**

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a conditional use permit, please respond to the following standards in the form of a written narrative:

1. Explain requested conditional use permit.

*The proposed zoning of Office Space Institutional Zoning District allows the use of a church, place of worship, given the conditional use permit. Faith Community Church is an existing church on the adjacent parcel to the west and intends to expand on the proposed property.*

2. Whether or not there will be significant adverse effect on the surrounding area in which the proposed use will be located.

*There is not any anticipated significant adverse effect impact on the surrounding areas of the proposed use of the church.*

3. Whether or not the use is otherwise compatible with the surrounding area.

*The adjacent parcel to the west is the existing Faith Community Church, and the parcel to the south is the Roper Mill Baptist Church. The adjacent parcel to the north is currently vacant. The proposed use of the expansion of the Faith Community Church is compatible with the surrounding areas.*

4. Whether or not the use proposed will result in a nuisance as defined under state law.

*The proposed use will not result in a nuisance.*

5. Whether or not quiet enjoyment of surrounding property will be adversely affected.

*The proposed use will not adversely affect the quiet enjoyment of surrounding property.*

6. Whether or not property values of surrounding property will be adversely affected.

*It is not anticipated that the proposed use of the church will adversely affect the property values of the surrounding areas.*

7. Whether or not adequate provisions are made for parking and traffic considerations.

*The proposed site plan has provided adequate parking spaces, interconnectivity to the existing Faith Community Church, and preservation of access to Roper Mill*

*Road. The proposed site plan has been designed to consider the parking and traffic impacts by providing sufficient provisions.*

8. Whether or not the site or intensity of the use is appropriate

*Based on the Zoning District of the Office Space/Institutional, the proposed use of the church (place of worship) is an appropriate use given the conditional permit request. It is not a prohibited use of the proposed zoning of Office Space/Institutional.*

9. Whether or not special or unique conditions created by the use are consistent with the purpose, intent and goals of the Comprehensive Town Plan.

*The proposed use of the church is consistent with the City of Woodstock Comprehensive Town Plan.*

10. Whether or not adequate provisions are made regarding hours of operation.

*The proposed use of the church will conduct reasonable hours of operation, and the site plan layout is not anticipated to impact the adjacent properties during the hours of operation.*

11. Whether or not adequate controls and limits are placed on commercial and business deliveries.

*The proposed use of the church will not impact the commercial or business deliveries of nearby uses.*

12. Whether or not adequate landscape plans are incorporated to ensure appropriate transition between adjacent or nearby properties.

*The proposed site plan respects the landscape buffers and setbacks to allow the transition between adjacent properties.*

13. Whether or not the public health, safety, welfare or moral concerns of the surrounding neighborhood will be adversely affected.

*The proposed use of the church is not anticipated to adversely impact the public health, safety, welfare, or moral concerns of the surrounding neighborhood.*

14. Whether the application complies with any applicable specific requirements set forth in this chapter for conditional use permits for particular types of uses.

*There are no specific requirements set forth in the City of Woodstock Zoning Ordinance that would be applicable to the proposed use of the church. The current request for a conditional use permit is in alignment with the existing use of the adjacent parcel and the intent of the dedication and master plan.*

15. Whether the applicant has provided sufficient information to allow full consideration of all relevant factors.

*Faith Community Church has thoughtfully considered all relevant factors of the existing property and believes that the expansion of the church will allow the cohesive development of the site without adversely impacting the community.*

16. Whether the conditional use requested emits or creates unusual odors which would warrant use of an odor elimination/attenuation system as recommended by industry standards.

*The request for the conditional use for the allowance of a church is not anticipated to create any unusual odors; therefore, there is no need for an odor elimination system.*





INGENIUM ENTERPRISES, INC.  
5995 PARKWAY NORTH BLVD.  
SUITE B  
CUMMING, GEORGIA 30040  
PHONE: (770) 437-8850

GA CERT. OF AUTHORITY #PEF006172

INGENIUM PROJECT: 250028

PROJECT PM: JN

PROJECT RE: AB

ISSUE DATE: 12/05/2025

DWG NAME: 250028 C03 - ANNEXATION EXHIBIT DWG

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CLIENT:

PLACE SERVICES, INC.  
201 GATEWAY DRIVE  
CANTON, GA 30115  
PHONE: 305-281-3480

FAITH COMMUNITY CHURCH  
FAITH COMMUNITY CHURCH  
PHASE II BUILDING 200  
1100 WOODSTOCK PKWY  
WOODSTOCK, GA 30188

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY NAME, PER ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET (C03.1) USING A SWA AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SWA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL

SHEET NAME  
OVERALL FUTURE  
CONDITIONS PLAN

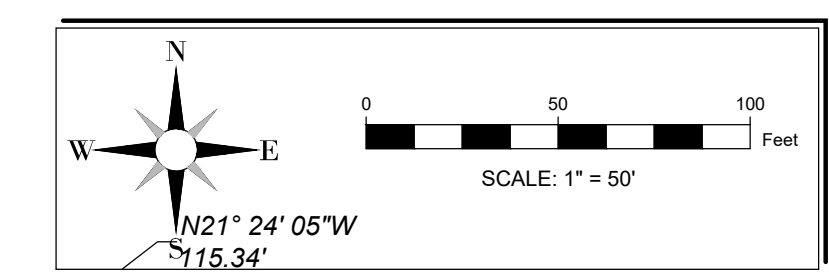
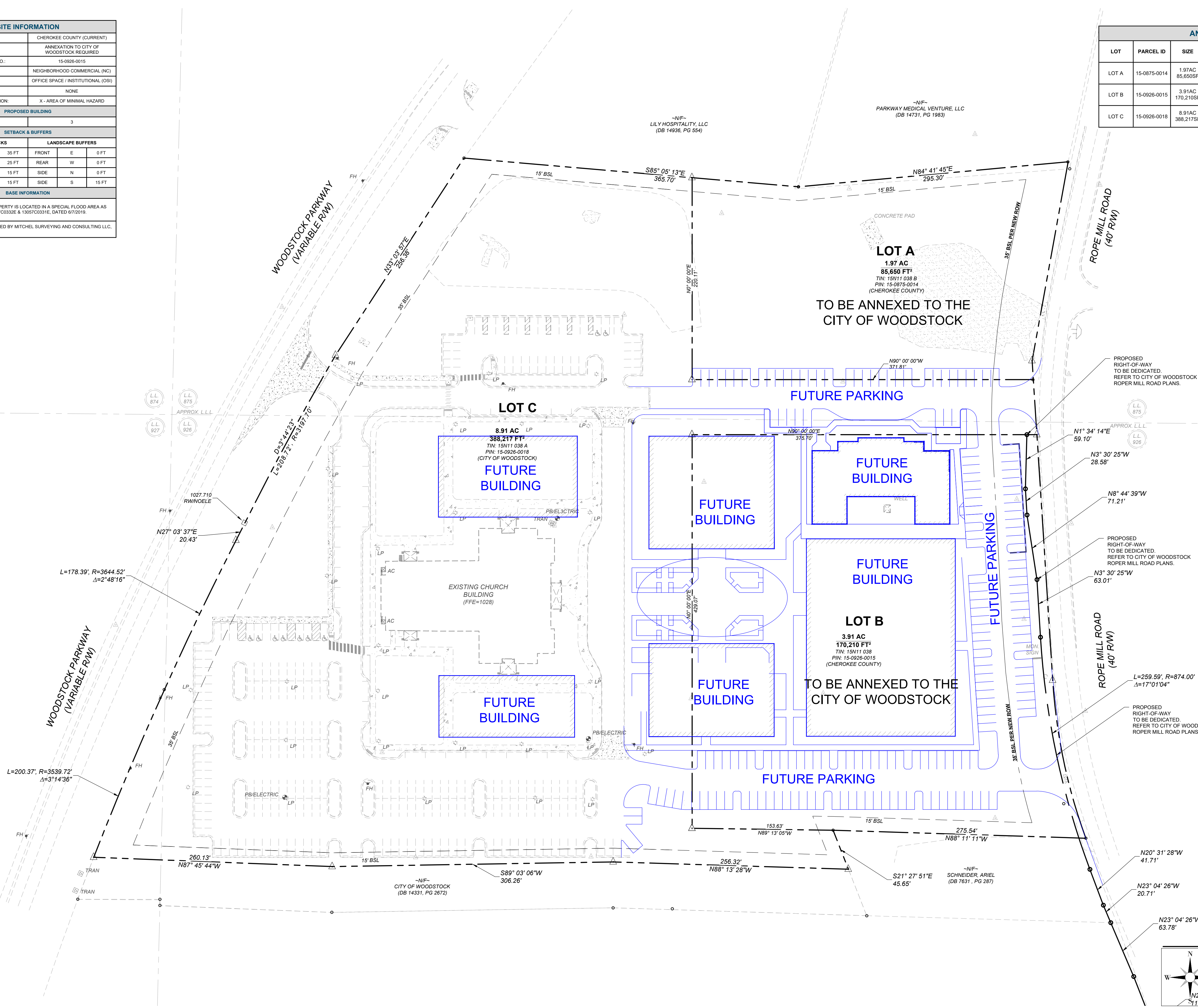
SHEET NUMBER

C03.1

ANNEXATION PLAN

SITE INFORMATION	
JURISDICTION:	CHEROKEE COUNTY (CURRENT)
	ANNEXATION TO CITY OF WOODSTOCK REQUIRED
PARCEL IDENTIFICATION NO.:	15-0926-0015
CURRENT ZONING:	NEIGHBORHOOD COMMERCIAL (NC)
PROPOSED ZONING:	OFFICE SPACE / INSTITUTIONAL (OSI)
OVERLAY DISTRICT:	NONE
FLOOD ZONE CLASSIFICATION:	X - AREA OF MINIMAL HAZARD
PROPOSED BUILDING	
NUMBER OF STORES =	3
SETBACK & BUFFERS	
BUILDING SETBACKS	
FRONT	E 35 FT
REAR	W 25 FT
SIDE	N 15 FT
SIDE	S 15 FT
LANDSCAPE BUFFERS	
FRONT	E 0 FT
REAR	W 0 FT
SIDE	N 0 FT
SIDE	S 15 FT
BASE INFORMATION	
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 13057C0332E & 13057C0331E, DATED 8/7/2019.	
BASE CONDITIONS PROVIDED BY MITCHELL SURVEYING AND CONSULTING LLC, DATED 09/02/2025	

ANNEXATION CHART						
LOT	PARCEL ID	SIZE	CURRENT JURISDICTION	CURRENT ZONING	PROPOSED JURISDICTION	PROPOSED ZONING
LOT A	15-0875-0014	1.97AC 85,650SF	CHEROKEE COUNTY	R-40	CITY OF WOODSTOCK	OSI
LOT B	15-0926-0015	3.91AC 170,210SF	CHEROKEE COUNTY	NC	CITY OF WOODSTOCK	OSI
LOT C	15-0926-0018	8.91AC 388,217SF	CITY OF WOODSTOCK	OSI	CITY OF WOODSTOCK	OSI



# ATTACHMENT C1



March 25, 2026

Melissa Sigmund  
Community Development Director  
Woodstock City Hall  
12453 Highway 92  
Woodstock, GA 30188

RE: A#131-26 – 291 and 295 Rope Mill Road

Dear Ms. Sigmund:

The annexation case A#131-26 was on the agenda of the regular meeting of the Cherokee County Board of Commissioners on March 17, 2026. The applicant is requesting to annex and rezone two parcels totaling 5.87 +/- acres (15N11 038, 15N11 038B) along Rope Mill Road. The applicant is requesting to rezone from R-40 and NC (Cherokee County) to OSI Office Space/Institutional (City of Woodstock). The applicant indicated that there will be a future expansion of the church campus and facilities.

The Board of Commissioners voted unanimously (5-0) to express that they have no objections to the proposed annexation. The staff analysis is included as an attachment and provides further details.

Sincerely,

A handwritten signature in blue ink that reads "Catherine Long".

Catherine Long  
Planning Division Manager

# ATTACHMENT C2



## STAFF REVIEW AND ANALYSIS OF ANNEXATION REQUEST FINAL 03/2026

Per O.C.G.A. § 36-3613 (set forth in full at the end of this document for your ease of reference), a land use objection can be made by majority vote of the Board of Commissioners in the event of a material increase in burden upon the County which is quantifiable and otherwise meets the requirements of the statute. In order for a land use objection to be considered timely, it must be completed in time for the BOC to vote upon it in open session and served upon the annexing municipality within 45 days of receipt of notice of annexation via statutory overnight delivery or certified mail, return receipt requested.

City	Woodstock		
Case Number	A#131-26	Applicant	Faith Community Church, Inc.
Receipt of Certified Annexation Notice		02/20/2026	
Woodstock Planning Commission		05/07/2026	
End of 45-day review period		04/05/2026	
Woodstock City Council Decision		05/18/2026	

Staff is requested to review the application for annexation and provide a response to the following questions.

	Yes	No
Is the property to be annexed contiguous to city jurisdictional boundary?	X	
Future Development Map designation	Urban Core	
Surrounding / Contiguous City Future Development Map	Urban Village	
Surrounding County Future Development Map	Urban Core	
Does this annexation create an "island" of unincorporated land?		X

1) If the application is granted will there be a material increase in burden upon the County directly related to:		
	Yes	No
a) the proposed change in zoning or land use?		X
b) the proposed increase in density?		X
c) infrastructure demands related to the proposed change in zoning or land use?		X
2) Will delivery of services be affected by the annexation?		
	Yes	No
		X

# ATTACHMENT C3



## STAFF REVIEW AND ANALYSIS OF ANNEXATION REQUEST

FINAL 03/2026

<p>If the answer to (2) is yes, is the affect on delivery of services directly related to</p> <p>a) the proposed change in zoning or land use?</p> <p>b) the proposed increase in density?</p> <p>c) infrastructure demands related to the proposed change in zoning or land use?</p> <p>Note: Delivery of services may not be a basis for a valid objection but may be used in support of a valid objection if directly related to one or more of the subjects enumerated in items (a), (b), and/or (c) of Section 1 above.</p>	
--	--

	Yes	No
3) If there is a material increase in burden caused by items (a), (b), and/or (c) of Section 1 above, can your department provide evidence of any financial impact?		X
If the answer to (3) is yes, please provide the evidence		

	Yes	No
4) Does the proposed change in zoning or land use result in a substantial change in the intensity of the allowable use of the property or a change to a significantly different allowable use?		X
If the answer to (4) is no, does the proposed change in zoning or land use result in:		
a) a use which significantly increases the net cost of infrastructure?		X
b) a use which significantly diminishes the value or useful life of a capital outlay project, as such term is defined in O.C.G.A. 48-8-110, which is furnished by the county to the area to be annexed?		X
If the answer to 4(a) or 4(b) is yes, then:	Yes	No

# ATTACHMENT C4



## STAFF REVIEW AND ANALYSIS OF ANNEXATION REQUEST

FINAL 03/2026

c) Does the proposed change in zoning or land use differ substantially from the existing uses suggested for the property by the county's comprehensive land use plan?

d) Does the proposed change in zoning or land use differ substantially from the existing uses permitted for the property pursuant to the county's zoning ordinance or its land use ordinances?

Comments:

### Planning and Zoning

- The subject properties are within the Growth Boundary.
- The subject properties are within a preexisting island; the annexation would address the island by shrinking the island.

### Transportation

- Driveways will be permitted by the City.

### Fire and Emergency Services

- All permits will be approved by the City.

# ATTACHMENT C5



## STAFF REVIEW AND ANALYSIS OF ANNEXATION REQUEST

FINAL 03/2026

### **O.C.G.A. § 36-36-113. Reasons for objection to annexation**

(a) The county governing authority may by majority vote object to the annexation because of a material increase in burden upon the county directly related to any one or more of the following:

- (1) The proposed change in zoning or land use;
- (2) Proposed increase in density; and
- (3) Infrastructure demands related to the proposed change in zoning or land use.

(b) Delivery of services may not be a basis for a valid objection but may be used in support of a valid objection if directly related to one or more of the subjects enumerated in paragraphs (1), (2), and (3) of subsection (a) of this Code section.

(c) The objection provided for in subsection (a) of this Code section shall document the nature of the objection specifically providing evidence of any financial impact forming the basis of the objection and shall be delivered to the municipal governing authority by certified mail or statutory overnight delivery to be received not later than the end of the thirtieth calendar day following receipt of the notice provided for in [Code Section 36-36-111](#).

(d) In order for an objection pursuant to this Code section to be valid, the proposed change in zoning or land use must:

(1) Result in:

(A) A substantial change in the intensity of the allowable use of the property or a change to a significantly different allowable use; or

(B) A use which significantly increases the net cost of infrastructure or significantly diminishes the value or useful life of a capital outlay project, as such term is defined in [Code Section 48-8-110](#), which is furnished by the county to the area to be annexed; and

(2) Differ substantially from the existing uses suggested for the property by the county's comprehensive land use plan or permitted for the property pursuant to the county's zoning ordinance or its land use ordinances.

PUBLIC INPUT REPORT: Case # A #131-26


Applicant Name: Faith Community Church

Phone #: 770 516 1996 Email: [REDACTED]@faithcommunitychurch.org

Subject Property Address/Parcel #: \_\_\_\_\_

Public Input Meeting date, time, location: 3/31/2026 7:00 pm Faith Community Church

- I. Summary of concerns:  
applicant shared concerns about misinformation regarding the future status of Never Alone Food Pantry.
- II. How the applicant addressed concerns:  
Applicant explained historical, long term relationship between church and Never Alone and affirmed commitment to work with Never Alone.
- III. Concerns the applicant was unable or unwilling to address and why:  
none
- IV. Concerns or topics of discussion unrelated to the proposal:  
Discussion concerning amount of access the new building would bring for the public coming to the primary church building. Discussion about types of "shops" that might be
- V. Agreements made by the applicant to property owners at the meeting: included. Discussion about beverages to be served at possible event venue.  
None.

Applicant's Signature: 

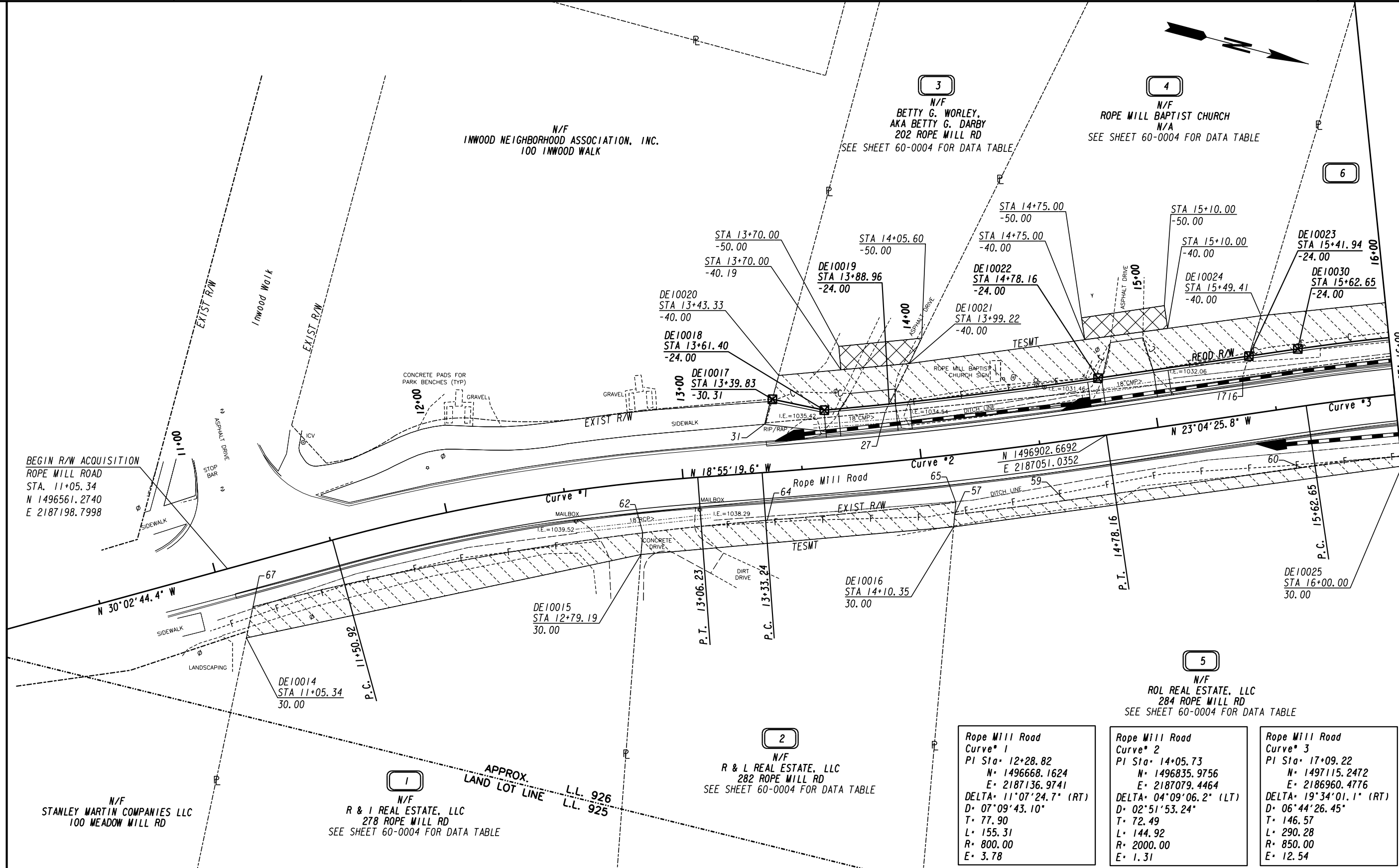
*Applicant: Attach sign-in sheet(s) from the meeting and return with this form to your case manager by the date shown on the Public Hearing Schedule. Thank you!*

CASE # A # 131-26 Meeting Date 2/31/2026 Meeting Location FCC

1100 Woodstock Parkway

**PUBLIC INPUT MEETING SIGN-IN SHEET**

Name	Address	Email or Phone
Jonathan Cummings	330 Davis Ln Woodstock Ga	
Ronnie Smith	523 Augusta Dr. Canton Ga	
Ray Turner	1485 Scarlett Trl Kennesaw GA	
Megann Davenport	735 Market St #1301, Woodstock	
Suzie Thomas	181 Chrysothos Dr Woodstock	
Elizabeth Dr. Thomas	" " " "	
Lee Parker	132 Glen Mill Way Woodstock	
Lesa Parker	" " " "	
Shane Koehler	126 Copper Ridge Dr. Woodstock	
Tara Koehler	" " " "	
Sharon Kinyon	417 Falcon Ct Wdst	
BRIAN IRBY	301 Hillpine Dr. Woodstock	
Stephen Kinyon	417 Falcon Ct, Woodstock	



BEGIN R/W ACQUISITION  
ROPE MILL ROAD  
STA. 11+05.34  
N 1496561.2740  
E 2187198.7998

N/F  
STANLEY MARTIN COMPANIES LLC  
100 MEADOW MILL RD

N/F  
R & I REAL ESTATE, LLC  
278 ROPE MILL RD  
SEE SHEET 60-0004 FOR DATA TABLE

N/F  
R & L REAL ESTATE, LLC  
282 ROPE MILL RD  
SEE SHEET 60-0004 FOR DATA TABLE

N/F  
ROL REAL ESTATE, LLC  
284 ROPE MILL RD  
SEE SHEET 60-0004 FOR DATA TABLE

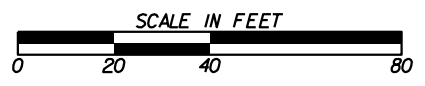
Rope Mill Road  
Curve # 1  
PI Sta: 12+28.82  
N: 1496668.1624  
E: 2187136.9741  
DELTA: 11°07'24.7" (RT)  
D: 07°09'43.10"  
T: 77.90  
L: 155.31  
R: 800.00  
E: 3.78

Rope Mill Road  
Curve # 2  
PI Sta: 14+05.73  
N: 1496835.9756  
E: 2187079.4464  
DELTA: 04°09'06.2" (LT)  
D: 02°51'53.24"  
T: 72.49  
L: 144.92  
R: 2000.00  
E: 1.31

Rope Mill Road  
Curve # 3  
PI Sta: 17+09.22  
N: 1497115.2472  
E: 2186960.4776  
DELTA: 19°34'01.1" (RT)  
D: 06°44'26.45"  
T: 146.57  
L: 290.28  
R: 850.00  
E: 12.54

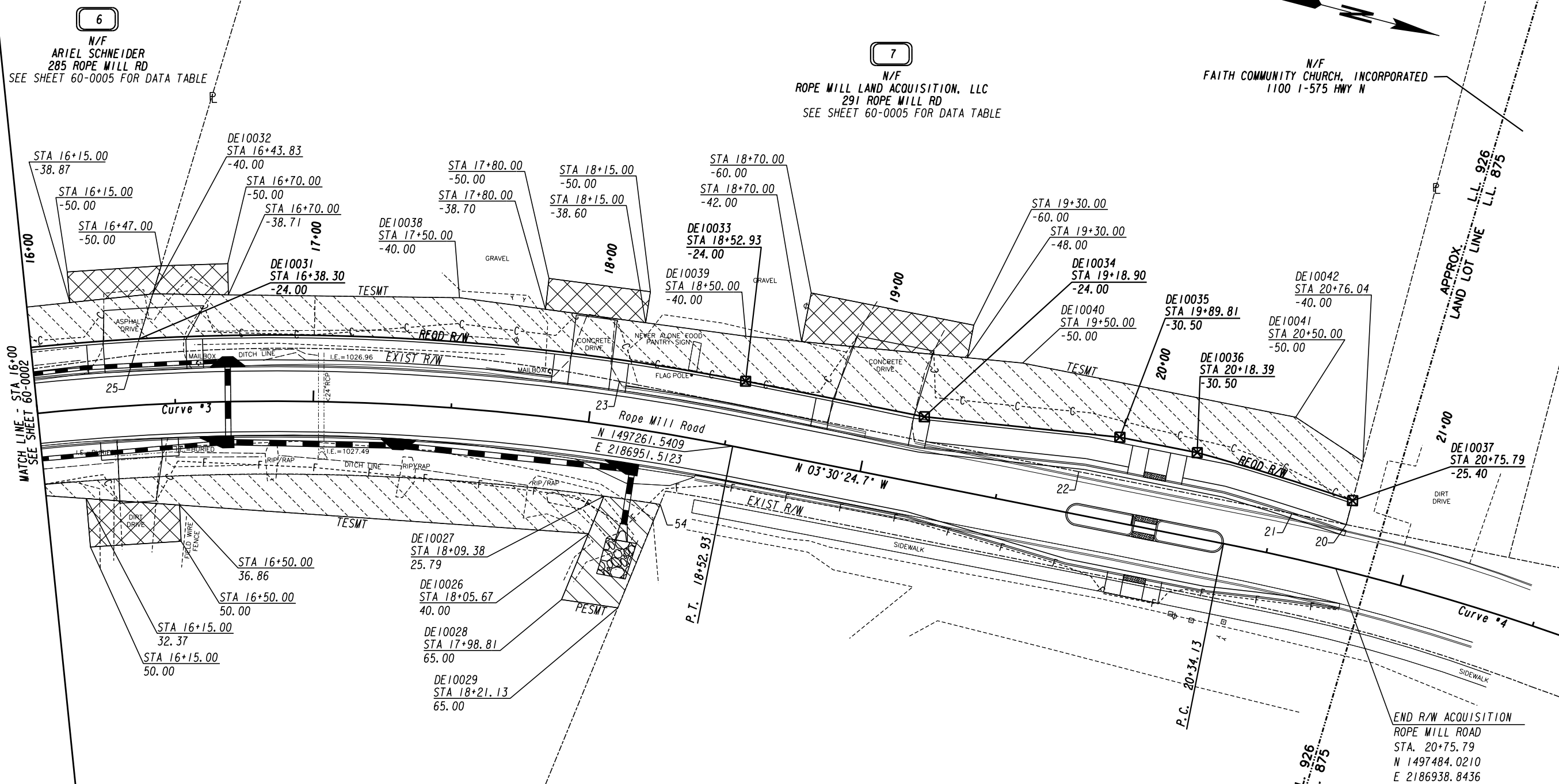
PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	---/---
EASEMENT FOR CONSTR OF SLOPES	---/---
EASEMENT FOR CONSTR OF DRIVES	---/---

BEGIN LIMIT OF ACCESS.....BLA	---
END LIMIT OF ACCESS.....ELA	---
REQ'D LIMIT OF ACCESS	---
REQ'D LIMIT OF ACCESS & R/W	---
ORANGE BARRIER FENCE	---
ESA - ENV. SENSITIVE AREA (SEE ERIT TABLE)	---



REVISION DATES	

<b>RIGHT OF WAY PLAN</b>		<b>ROPE MILL ROAD</b>		<b>STORMWATER IMPROVEMENTS</b>	
CHECKED:	DATE:	CHECKED:	DATE:	CHECKED:	DATE:
BACKCHECKED:	DATE:	CORRECTED:	DATE:	VERIFIED:	DATE:
DRAWING No.				60-0002 183	



**5**  
N/F  
ROL REAL ESTATE, LLC  
284 ROPE MILL RD  
SEE SHEET 60-0004 FOR DATA TABLE

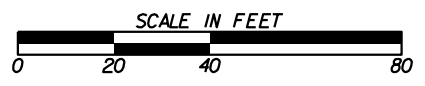
**Rope Mill Road Curve\* 3**  
PI Sta: 17+09.22  
N: 1497115.2472  
E: 2186960.4776  
DELTA: 19°34'01.1" (RT)  
D: 06°44'26.45"  
T: 146.57  
L: 290.28  
R: 850.00  
E: 12.54

**Rope Mill Road Curve\* 4**  
PI Sta: 21+60.15  
N: 1497568.1845  
E: 2186932.7202  
DELTA: 15°56'30.4" (RT)  
D: 06°21'58.31"  
T: 126.02  
L: 250.41  
R: 900.00  
E: 8.78

**8**  
N/F  
GREAT OAKS NURSING HOME INC.  
105 ROPE MILL RD

PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	---
EASEMENT FOR CONSTR OF SLOPES	---
EASEMENT FOR CONSTR OF DRIVES	---

BEGIN LIMIT OF ACCESS.....BLA	---
END LIMIT OF ACCESS.....ELA	---
REQ'D LIMIT OF ACCESS	---
REQ'D LIMIT OF ACCESS & R/W	---
ORANGE BARRIER FENCE	---
ESA - ENV. SENSITIVE AREA (SEE ERIT TABLE)	---



REVISION DATES	

RIGHT OF WAY PLAN		
ROPE MILL ROAD		
STORMWATER IMPROVEMENTS		
CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	60-0003 184
CORRECTED:	DATE:	
VERIFIED:	DATE:	

# Item Cover Page

**PLANNING COMMISSION AGENDA ITEM REPORT**

**DATE:** May 7, 2026

**SUBMITTED BY:** Natalie Faustine, Community Development

**ITEM TYPE:** Presentation and Discussion Items

**AGENDA SECTION:** **PUBLIC HEARINGS**

**SUBJECT:** **Consideration of CUP#095-26: 9845 Main St (Public Hearing & Vote)**

**SUGGESTED ACTION:** Staff recommends denial of CUP#095-26 and the concurrent variances.

**ATTACHMENTS:**

- [FINAL PC SR CUP#095-26 - 9845 Main St Gas Station.pdf](#)
- [ATTACHMENT A - Site Plan.pdf](#)
- [ATTACHMENT B - CUP095-26 Responses to Criteria Questions.pdf](#)
- [ATTACHMENT C - Environmental Report.pdf](#)
- [ATTACHMENT D - 5MileRadius\\_GasStations\\_20260416.pdf](#)
- [ATTACHMENT E - Public Input Report\\_Redacted.pdf](#)



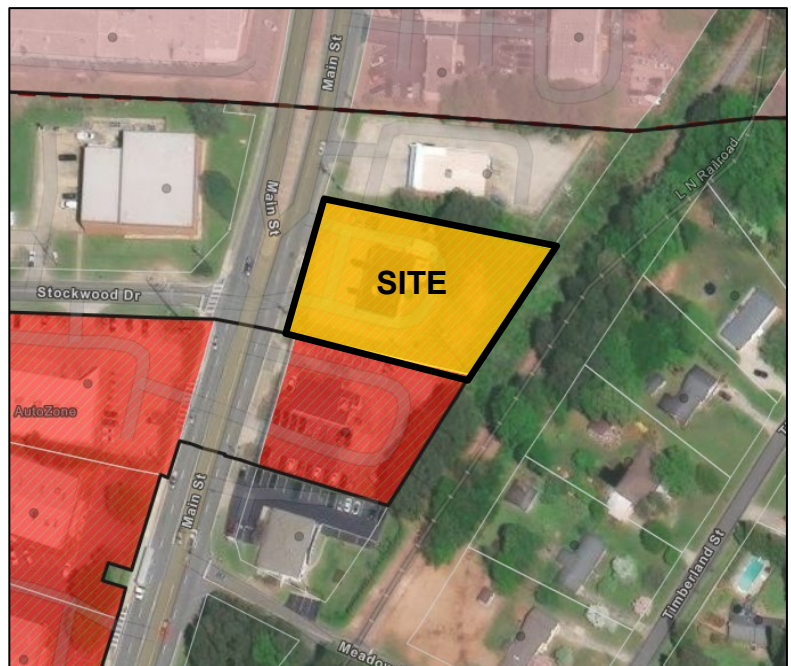
**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Natalie Faustine, MPA, Planner I  
**SUBJECT:** Project No. CUP#095-26  
9845 Main St Gas Station Development

**RECOMMENDATION:**

Staff recommends denial of a Conditional Use Permit (CUP) for a “Gas/Fuel Station” at 9845 Main Street and concurrent variances.

**EXECUTIVE SUMMARY**

The Applicant, Tejas Patel, has requested a Conditional Use Permit (CUP) to operate a “Gas/Fuel Station” at 9845 Main Street. The project site is located just south of the intersection of Highway 92 and Main Street. The proposed use would require redevelopment of the site, including a new ±4,000 SF retail building and the installation of fuel tanks, pumps, and a canopy.



**Vicinity Map**

More details about the project are included below. Attachment A contains the proposed site plan, and Attachment B shows the applicant’s responses to the criteria questions.

## **BACKGROUND**

Table 1 provides general property information for the Project site and surrounding land use.

<b>Table 1: General Property and Surrounding Land Use Information</b>	
Address	9845 Main Street
Council Ward	2 – Potts
Tax ID # (TIN)	15N18A087
Parcel ID #	15-1238-0003
Site Acreage	± 0.84
Proposed Use	Gas/Fuel Station with ±4,000 SF convenience store
Future Development Map	Workplace Center
Current Zoning	GC (General Commercial) with Gateway Overlay
Current Development	Retail
Streets Information	Main Street is a City-owned street.
Surrounding Neighborhood:	GC
North	
South	County R-20
East	County GC
West	GC

### **Zoning History**

The City annexed this parcel in 2016 to correct a possible mapping error. For at least 15 years, the property owner, the County, and the City all believed it was already within the city limits.

### **Business History**

According to the applicant-provided environmental reports, provided as Attachment C, a Shell gas station operated on this site from 1977 to 1998. Three underground fuel tanks were installed in March of 1977. The tanks held only gasoline, and no diesel. The fuel tanks were last used in December of 1998, with the tanks being removed from the site shortly after. After the underground fuel tanks were removed, it seems the site was monitored for a few years as the paperwork went through to ensure the site was not contaminated. The case appears to have been officially closed in 2002. The site then became a multi-tenant commercial building with Carol's Cleaner and FoodMart as tenants. Carol's Cleaner closed in 2021, and a tire shop opened in its place.

## **PROJECT DESCRIPTION**

The Applicant, Tejas Patel, has requested a CUP to operate a "Gas/Fuel Station" business at 9845 Main Street. The ± 0.84-acre subject property is currently improved with an existing ± 3,321 SF multi-tenant business space with two retail suites. A tire shop, Ortiz Tires LLC, and a convenience store, FoodMart, are currently operating out of the units. According to

the applicant-provided environmental report, the site was previously a gas station, but has not operated as one for over 20 years.

The applicant proposes installing underground fuel tanks for four new fuel pumps, along with a canopy to cover them, as is typical for gas stations. Additionally, the applicant proposes demolishing the existing building to construct a new, larger retail suite. The new building would be 4,000 SF, approximately 680 SF larger than the existing one, and set farther back on the site to accommodate the gas pumps, the drive aisles, and parking. Two variances are requested: one to reduce the front setback from 40 feet to 20 feet, and another to allow 12 parking spaces instead of the required 16.

Access to the site is provided by an existing driveway that the applicant is proposing as a one-way entrance from Main Street, with a separate existing driveway proposed for exiting the site. Vehicles traveling north on Main Street can enter the site directly by turning right, while southbound drivers must cross two northbound lanes to access the entrance. No turn lane exists here, and no new turn lane is proposed for this project.

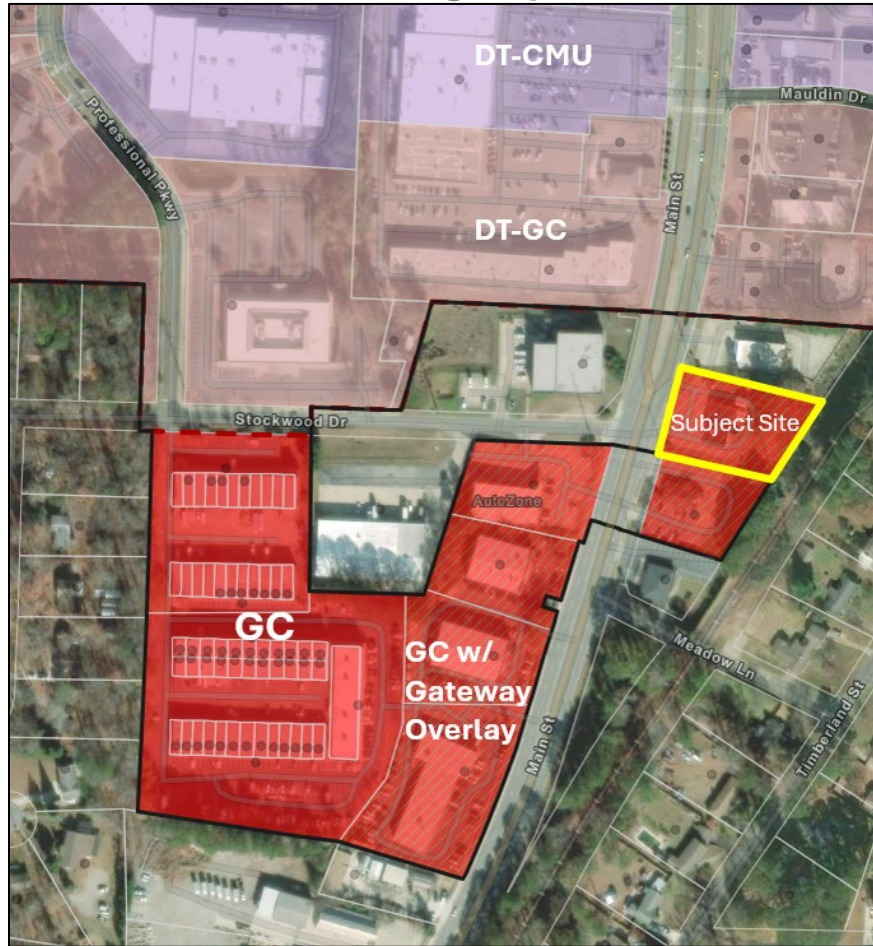
Due to the limited size of the site, most internal circulation is limited to one-way drive aisles. The only two-way drive aisle is located between the proposed gas pumps and adjacent parking spaces. The site does not include a designated loading area, which is a site development requirement, so merchandise deliveries would need to occur within this two-way drive aisle.

## **ANALYSIS**

### **Consistency with the Land Development Ordinance (LDO)**

The GC (General Commercial) zoning district is intended for a mix of uses compatible with regional-serving and highway-oriented developments. The Gateway Overlay is intended to guide the style and quality of development along major thoroughfares. In addition to the requested variances, the site plan does not demonstrate that the project meets the Gateway Overlay's basic landscaping and screening requirements. Required streetscape plantings, a consistent landscaped buffer along the frontage, and screening of parking and service areas are not provided. Because the site is already very constrained, it is unclear whether these elements could be added without further relief from the code. Auto-centric uses, such as gas stations, require a CUP, allowing staff, the Planning Commission, and the City Council to review these proposed uses to ensure they are consistent with the zoning and appropriate for the area.

## Zoning Map



### *Conditional Use Permit*

The site presents significant size constraints that limit its ability to accommodate the proposed use and configuration, including gas pump islands/canopy, convenience store, parking, loading, and vehicular circulation. While the site may have been appropriate as a gas station over 20 years ago, the proposed development is not consistent with current development requirements or with the Comprehensive Plan Land Use Designation.

The addition of gas pumps at this location, particularly given the site's limited access and lack of a dedicated turn lane, could create challenges for safe access. Although the ingress and egress points would remain the same, trip-generation rates published in the ITE Trip Generation Manual indicate that a larger convenience mart with fuel pumps is expected to generate substantially more vehicle trips per square foot than the existing tire store and convenience mart. This could lead to additional traffic impacts. Furthermore, limited onsite circulation and the lack of a designated loading zone could further impede traffic flow within the property and at its access points, especially during peak business hours.

### *Variances*

The Applicant is requesting two variances from the LDO to accommodate the site design. The first request is to reduce the front setback from 40 feet to 20 feet. Without this variance, the Applicant claims they would not be able to fit the gas pumps, canopy, and necessary drive aisles due to the site size and existing power easement. Staff requested documentation verifying the infeasibility of the design without the variance, given the site constraints, but did not receive sufficient evidence.

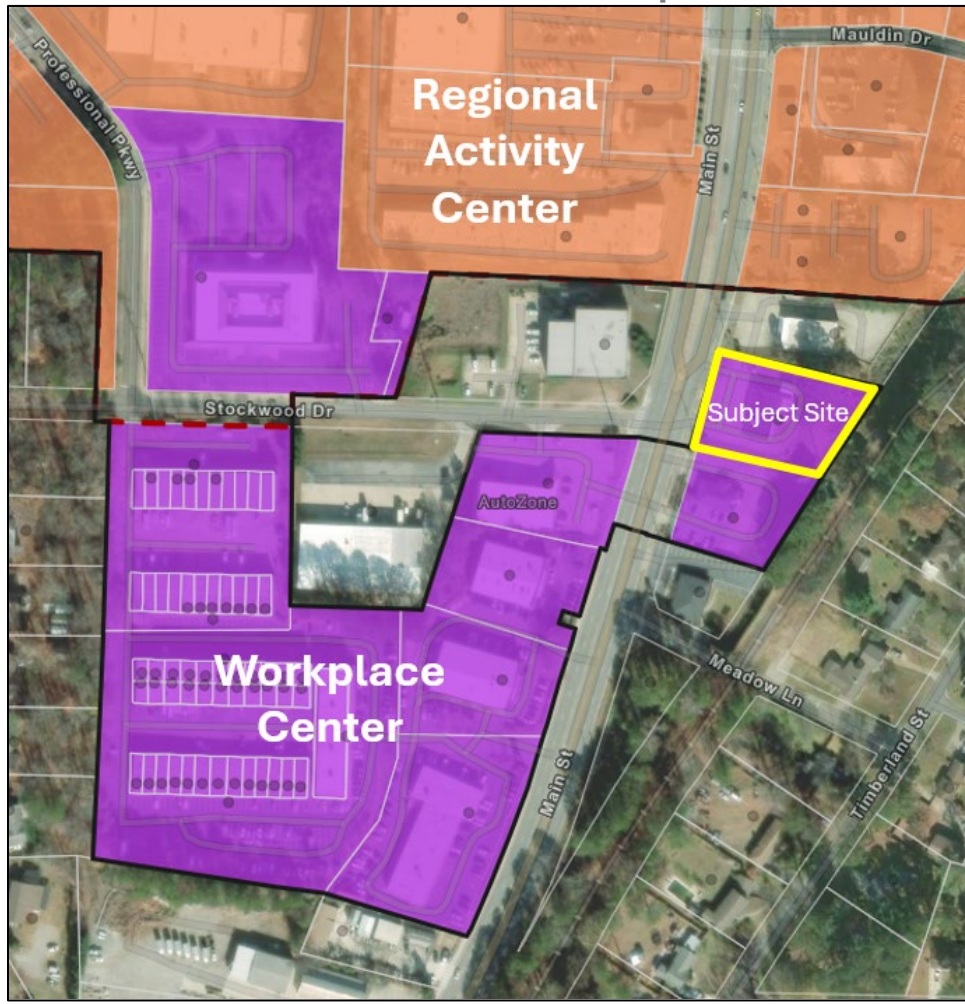
The second variance requested is from the parking requirements. The minimum parking requirements for gas stations with convenience stores are 4 parking spaces per 1,000 SF of gross floor area. The convenience store that is proposed for this project is 4,000 SF, so the minimum required number of parking spaces is 16. However, they are requesting approval for a minimum of 12 parking spaces due to site constraints.

### Consistency with the 2023 Comprehensive Plan

The 2023 Comprehensive Plan identifies this site as being within the “Workplace Center.” The Workplace Center character area calls for a variety of employment opportunities and services that add diversity to the City’s tax base. These areas should be tucked away from view along major thoroughfares, or landscaped and screened to limit their visual impact on the surrounding area. The Workplace Center’s primary land use is proposed to be industrial, including uses such as warehousing and wholesale, manufacturing, research facilities, and professional and corporate offices.

The proposed project does not align with the Comprehensive Plan’s vision for this character area in a few ways. A gas station use in this location is not aligned with the primary land use envisioned for this character area, as described above, A gas station use would not add diversity to the City’s tax base, as there are 18 within City limits and 37 outside City limits within a 5-mile radius. In total, there are 55 gas stations within a 5-mile radius of this site. A map identifying all gas stations within a 5-mile radius is included in Attachment D.. Additionally, given the parcel’s size and site constraints, there is no practical way to screen the development from view to limit its visual impact.

## Future Land Use Map



### **PUBLIC INPUT**

Public notice for the public hearing has been provided in accordance with State and local law. On or around April 1, 2026, public notices were mailed to property owners within 800' of the project site. The notice informed them of the public input meeting, Planning Commission public hearing, and City Council public hearing. Additionally, a public notice was published in the local newspaper and signs were posted on the property a minimum of 15 days but not more than 45 days prior to the public hearing.

On April 7, 2026, the Applicant hosted a public input meeting at the Chambers at City Center beginning at 7:00 PM. The informal meeting is intended to give the Applicant an opportunity to explain the proposal and to answer any questions the public might have about the project or public hearing process. The meeting had three attendees from the residential neighborhood on the other side of the railroad, who expressed concerns about whether there would be proper fencing and screening behind the building. The public input report is included in Attachment E.

## **DEVELOPMENT PROCESS COMMITTEE RECOMMENDATION**

On April 8, 2026, the Development Process Committee (DPC) met to consider the proposed request. The DPC discussed the parcel's history, as well as the proposed changes to the site. Given the significant challenges related to site constraints, traffic safety, lack of consistency with the Comprehensive Plan, and the required variances, staff does not support the approval of the requested Conditional Use Permit and related variances. These issues collectively indicate that the proposed gas station is not suitable for this location and do not meet the City's current needs or development goals.

The DPC voted (6-0) to recommend denial of the Conditional Use Permit for a gas/fuel station at 9845 Main St and subsequent requested variances.

## **ATTACHMENTS**

- Attachment A - Site Plan
- Attachment B - Responses to Criteria Questions
- Attachment C - Environmental Report
- Attachment D - Map of Surrounding Gas Stations
- Attachment E - Public Input Report

EMAIL FROM:  
February 26, 2026

MELISSA SIGMUND  
CITY OF WOODSTOCK  
DIRECTOR OF COMMUNITY DEVELOPMENT

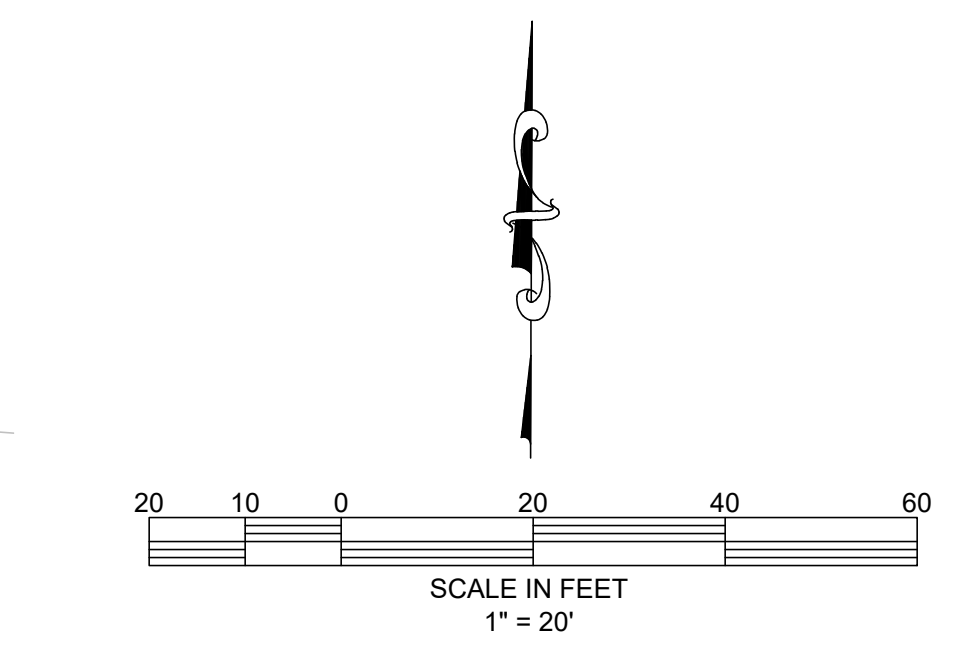
ALL BUILDINGS, INCLUDING GAS CANOPIES MUST MEET  
SETBACK REQUIREMENTS FOR THE GC ZONING DISTRICT:

FRONT: 40  
SIDE: 15  
REAR: 30

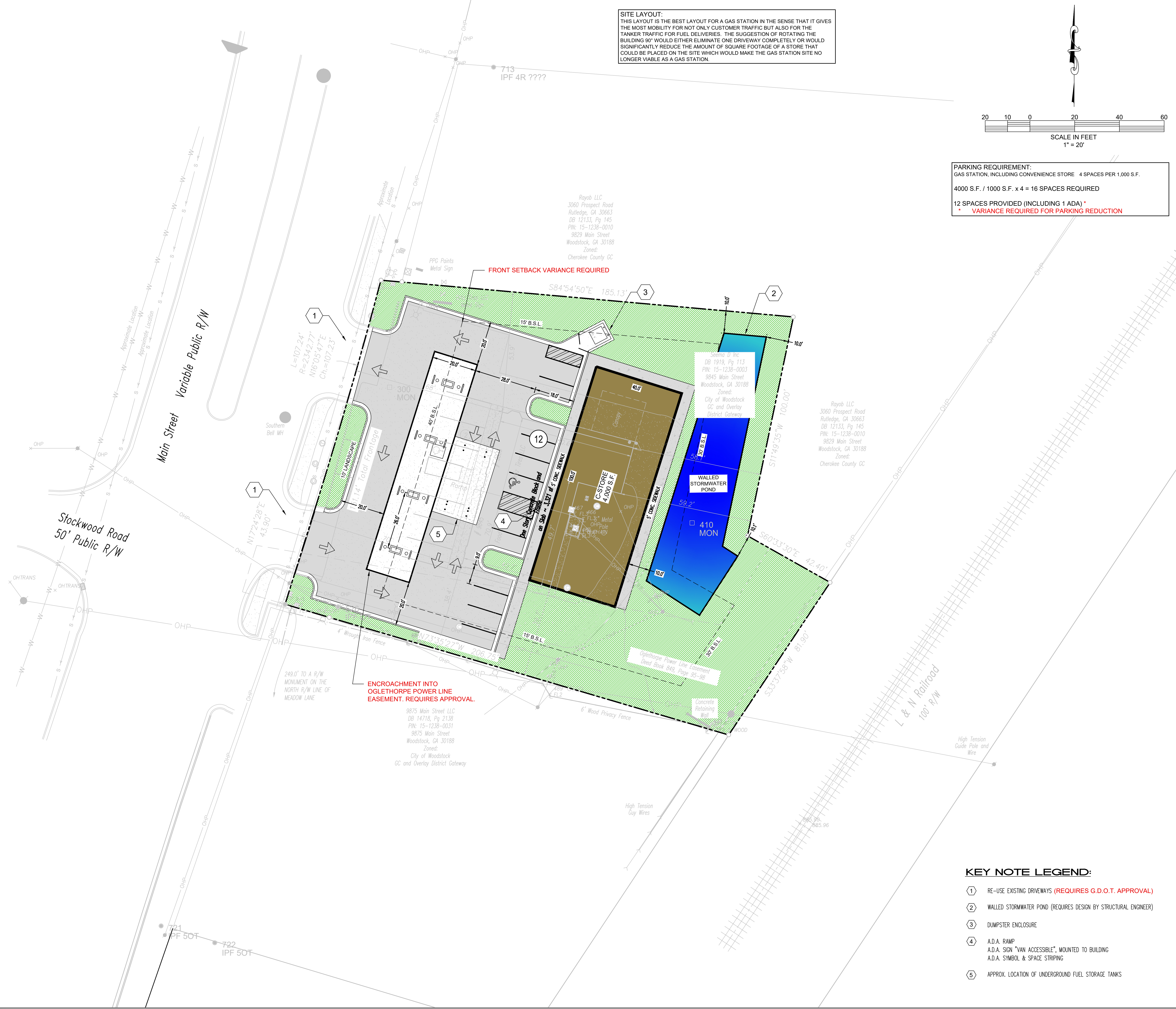
Seema D Inc  
DB 1919, Pg 113  
PIN: 15-1238-0003  
9845 Main Street  
Woodstock, GA 30188  
Zoned:  
City of Woodstock  
GC and Overlay  
District Gateway

Land Lot 1238  
15th District ~ 2nd Section  
City of Woodstock, Georgia

**SITE LAYOUT:**  
THIS LAYOUT IS THE BEST LAYOUT FOR A GAS STATION IN THE SENSE THAT IT GIVES THE MOST MOBILITY FOR NOT ONLY CUSTOMER TRAFFIC BUT ALSO FOR THE TANKER TRAFFIC FOR FUEL DELIVERIES. THE SUGGESTION OF ROTATING THE BUILDING 90° WOULD EITHER ELIMINATE ONE DRIVEWAY COMPLETELY OR WOULD SIGNIFICANTLY REDUCE THE AMOUNT OF SQUARE FOOTAGE OF A STORE THAT COULD BE PLACED ON THE SITE WHICH WOULD MAKE THE GAS STATION SITE NO LONGER VIABLE AS A GAS STATION.



**PARKING REQUIREMENT:**  
GAS STATION, INCLUDING CONVENIENCE STORE 4 SPACES PER 1,000 S.F.  
4000 S.F. / 1000 S.F. x 4 = 16 SPACES REQUIRED  
12 SPACES PROVIDED (INCLUDING 1 ADA) \*  
\* VARIANCE REQUIRED FOR PARKING REDUCTION



**ENCROACHMENT INTO  
OGLETHORPE POWER LINE  
EASEMENT. REQUIRES APPROVAL.**

9875 Main Street LLC  
DB 14716, Pg 2138  
PIN: 15-1238-0031  
9875 Main Street  
Woodstock, GA 30188  
Zoned:  
City of Woodstock  
GC and Overlay District Gateway

Rayob LLC  
3060 Prospect Road  
Rutledge, GA 30663  
DB 12133, Pg 145  
PIN: 15-1238-0010  
9829 Main Street  
Woodstock, GA 30188  
Zoned:  
Cherokee County GC

Rayob LLC  
3060 Prospect Road  
Rutledge, GA 30663  
DB 12133, Pg 145  
PIN: 15-1238-0010  
9829 Main Street  
Woodstock, GA 30188  
Zoned:  
Cherokee County GC

- KEY NOTE LEGEND:**
- ① RE-USE EXISTING DRIVEWAYS (REQUIRES G.D.O.T. APPROVAL)
  - ② WALLED STORMWATER POND (REQUIRES DESIGN BY STRUCTURAL ENGINEER)
  - ③ DUMPSTER ENCLOSURE
  - ④ A.D.A. RAMP  
A.D.A. SIGN "VAN ACCESSIBLE", MOUNTED TO BUILDING  
A.D.A. SYMBOL & SPACE STRIPING
  - ⑤ APPROX. LOCATION OF UNDERGROUND FUEL STORAGE TANKS

**HARRIS GRAY, LLC**  
ENGINEERS - SURVEYORS - PLANNERS  
CERTIFICATE OF AUTHORIZATION NO. PE006850  
POST OFFICE BOX 11683  
WOODSTOCK, GEORGIA 30188  
PHONE: (706) 645-5885

**CONVENIENCE STORE  
9845 MAIN STREET  
CONCEPT PLAN**

DATE 04-01-26  
DRAWN BY JAM  
CHKD BY JSH  
FILE NAME CONCEPT V3.DWG  
JOB NO. GA260025

PROFESSIONAL ENGINEER  
TOM SCOTT HARRIS  
GSWCC LEVEL II # 4456  
EXP. 03-27-2027

**APPLICANT RESPONSE STATEMENT      CONDITIONAL USE PERMITS**

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a conditional use permit, please respond to the following standards in the form of a written narrative:

1. Explain requested conditional use permit.  

To return to the original use of the site as a convenience store with fuel.
2. Whether or not there will be significant adverse effect on the surrounding area in which the proposed use will be located.  

NO adverse effect is anticipated.
3. Whether or not the use is otherwise compatible with the surrounding area.  

The use of the Property is compatible with the commercial nature of the
4. Whether or not the use proposed will result in a nuisance as defined under state law. *businesses in the area*  

The Proposed use will not result in a nuisance.
5. Whether or not quiet enjoyment of surrounding property will be adversely effected.  

Quiet enjoyment of the surrounding Property will not be adversely effected.
6. Whether or not property values of surrounding property will be adversely effected.  

The surrounding Property values will not be adversely effected.
7. Whether or not adequate provisions are made for parking and traffic considerations.  

we will have ample Parking. final use is for right in / right out
8. Whether or not the site or intensity of the use is appropriate.  

This is a return to the original use.
9. Whether or not special or unique conditions created by the use are consistent with the purpose, intent and goals of the Comprehensive Town Plan.  

The use is consistent and will not impact the Comprehensive Town Plan.
10. Whether or not adequate provisions are made regarding hours of operation.  

Hours of operations will be consistent with the similar businesses in the area.
11. Whether or not adequate controls and limits are placed on commercial and business deliveries.  

Majority of the deliveries are expected during traditional business hours.
12. Whether or not adequate landscape plans are incorporated to ensure appropriate transition between adjacent or nearby properties.  

Landscaping will be enhanced to beautify the Property and the surrounding areas.
13. Whether or not the public health, safety, welfare or moral concerns of the surrounding neighborhood will be adversely affected. *The health, safety, welfare or moral concerns of the neighborhood behind the Property will not be adversely affected.*
14. Whether the application complies with any applicable specific requirements set forth in this chapter for conditional use permits for particular types of uses.  

Required Conditions will be met.
15. Whether the applicant has provided sufficient information to allow full consideration of all relevant factors.  

Sufficient information has been provided with the application.
16. Whether the conditional use requested emits or creates unusual odors which would warrant use of an odor elimination/attenuation system as recommended by industry standards.  

The use will follow all state guidelines

APPLICANT RESPONSE STATEMENT

VARIANCES

The applicant finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a variance, please respond to the following standards in the form of a written narrative. In the case of concurrent variances, a response to the standards below should be provided for each variance requested.

1. Explain requested variance. *we are requesting a variance for the front Set Back from 40ft to 20ft and a variance for parking reduction of two spots.*
2. There are exceptional and extraordinary conditions pertaining to the particular piece of property in question, due to its size, shape or topography. *Yes so by reducing the front Set Back, it will help the cars maneuver around the property easily*
3. The application of these regulations to this particular piece of property would create a practical difficulty or unnecessary hardship. *It would not create particular difficulty or unnecessary hardship*
4. Such conditions are peculiar to the particular piece of property involved. *Such conditions are not peculiar to the particular piece of property*
5. A literal interpretation of this ordinance would deprive the applicants of any rights that others in the same district are allowed. *A literal interpretation of this ordinance would not deprive applicant of any rights that others in the same district.*
6. Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of this ordinance. *CORRECT*
7. Special circumstances or conditions applying to the building or land or building and land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity. *CORRECT*
8. Granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant. *Granting of the Variances would be a huge Convenience to the Customers by helping them move around property with ease.*
9. The condition from which relief or a variance is sought did not result from willful action by the applicant. *CORRECT*
10. Authorizing the variance will not impair adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding areas or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City. *Authorizing the variance will not impair adequate Supply of light and air to adjacent properties nor will it increase congestion or increase the danger of fire or imperil public safety or impair surrounding property values.*

# ATTACHMENT C

**Facility ID: 0-280009**

## CLOSURE REPORT FORM (GUST-9)

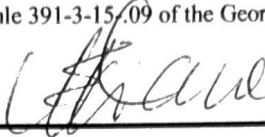
Complete this form and provide documentation to substantiate information as outlined in the Underground Storage Tank (UST) Closure Guidance Document (GUST-9). Use a separate form for each tank excavation.

**I. GENERAL - A. UST OWNER:** SEEMA, Inc.

**Address:** 9845 South Main Street Woodstock Georgia 30188

**Name:** Dave Mukesh **Phone:** 770 / 516-4440

I hereby certify that the information in this Closure Report and all the attachments is true, accurate and complete, and the Closure Report satisfies all criteria and requirements of Rule 391-3-15.09 of the Georgia Rules for Underground Storage Tank Management.


**Signature** (of owner listed under "name" above):  **Date:** 12/11/02

**B. REMOVAL CONTRACTOR:** Technical Services Company

**Address:** P O Box 671106 Marietta, GA 30066

**Name:** Richard Andersen **Phone:** 770 / 591-2009

I hereby certify that I have performed or supervised the work detailed in this report, and have examined and am familiar with the information submitted in this and all attached documents. The submitted information is, to the best of my knowledge, true, accurate, complete, and in accordance with the Georgia Rules for Underground Storage Tank Management, revised November, 2001.

**Signature** (of same contractor listed under "name"):  **Date:** 12/10/02

**C. UST Site Facility Name:** Former Shell Food Mart **Facility I.D.#** 0-280009

**Address:** 9845 South Main Street Woodstock Georgia Cherokee County

**2. TANKS AND PIPING CLOSURE DATA**

**A. LIST USTs THAT HAVE BEEN CLOSED (Use the same tank ID# as on the 7530-1)**

TANK ID#	1	2	3		
<b>Product</b>	gasoline	gasoline	gasoline		
<b>Size (gals)</b>	10,000	10,000	10,000		
<b>How Closed</b>	<input checked="" type="checkbox"/> Removed <input type="checkbox"/> In Place	<input checked="" type="checkbox"/> Removed <input type="checkbox"/> In Place	<input checked="" type="checkbox"/> Removed <input type="checkbox"/> In Place	<input type="checkbox"/> Removed <input type="checkbox"/> In Place	<input type="checkbox"/> Removed <input type="checkbox"/> In Place
<b>Date Last Used</b>	Dec-98	Dec-98	Dec-98		
<b>Date Closed</b>	Nov 8, 02	Nov 8, 02	Nov 8, 02		

**LIST ANY USTs STILL IN USE AT THE FACILITY (Use same tank ID numbers as on 7530):**

TANK ID#				
<b>Product</b>				
<b>Size (gals)</b>				

**B. PIPING:** How was Piping closed?  Removed\*  Emptied, capped, left in place

\* Piping was closed in 1999 when dispenser island was removed by others.  Emptied, filled with inert material

# ATTACHMENT C

<b>3. SAMPLING AND ANALYTICAL</b>			
<b>A. Soil/Groundwater Sampling:</b> requirements and all samples must be collected in accordance with current EPA-approved sampling procedures. <b>Attach description of soil sampling procedures used.</b>			
<b>4. TANK EXCAVATION SAMPLES</b>			
If the size (capacity in gallons) of the tank is:	Less than 1,050	1,050-12,500	More than 12,501
Then the quantity of samples required per tank is:	1	2	2 per tank plus one sample per additional 10,000 gals
<b>A.</b> Based on the total number of USTs closed as reported on this form, the total number of tank excavation samples taken for this site was:			<b>6</b>
<b>B.</b> Over-excavation must be performed up to six feet below and to the sides of the UST in some situations (see guidance document). Take one sample every 30 linear feet along the base of the side walls (within 1 foot of the bottom of the excavation) and one sample per 200 square feet along the bottom of the excavated area.  Enter the total number of over-excavation samples for this site here:			<b>NA</b>
<b>C. Site-specific Hydrogeology:</b>			1) Was groundwater encountered?    ___ yes <input checked="" type="checkbox"/> no 2) If encountered, at what depth:
<b>D.</b> If Table B Threshold Levels are being used, how far is the nearest drinking water well or point of withdrawal for drinking water?			<b>&gt; 3-miles</b>
<b>E. Groundwater conditions:</b> If greater than one foot of groundwater covers more than 50% of the base of the excavation, a groundwater sample may be taken in lieu of soil samples from the base of the excavation. Soil samples must still be taken every 30 linear feet along the side walls at the soil-water interface.  Enter total number of soil-water interface samples for this site here:			<b>NA</b>
<b>5. SITE MAP:</b> (Attach to report): The map must be to scale <u>OR</u> , as a minimum, distances to/between the tank pit area, piping trenches, dispenser islands, sewer/water/other utility lines (or other preferential pathways), roads and main building/store must be accurately indicated. It must also include a north (N) directional arrow. Tank Ids must correspond to EPA Form 7530-1 and sample locations with sample numbers and depths must also be shown. Sample numbers must correspond to attached laboratory analytical data. Although not mandatory, photos may be attached to help clarify the UST system.			

## ATTACHMENT C

<b>6. PIPING EXCAVATION SAMPLES</b>			
<b>a. PIPING TRENCH</b>		<b>b. DISPENSER ISLAND</b>	
If the distance from the tank excavation to the dispenser island is:	Then the number of samples for the piping excavation should be	If the length of the dispenser island is:	Then the number of samples for the dispenser islands should be:
less than 25 ft	0*	25 ft or less	1 per dispenser island
25 ft or more	25% of all fittings and one sample per 25 feet**	More than 25 feet	1 per 25 ft of each continuous dispenser island.
<p>* Although no piping samples would be required, dispenser island samples would be required.            Exception: If the dispenser/dispenser island is directly above the tank excavation, no piping samples and no dispenser island samples would be required.</p> <p>** This includes all fittings (couplings, ells, flex hoses, etc.) between the tank and the dispenser island. Do not count fittings at the tank excavation and the islands. For straight piping runs, estimate 20 feet between couplings.</p> <p>Note: Over-excavation of the piping trench is also permitted in some circumstances up to four feet below and to the sides of the pipe; however, total number of samples is still based on the above.</p>			
<b>c.</b> Based on the above, the total quantity of samples for the piping excavation, including piping trenches and dispenser islands for the site was:			<b>NA</b>
<b>7. EXCAVATED SOIL a. Sampling:</b> Based on one sample per 200 cubic yards of excavated soil, the total number of excavated soil samples:			<b>1</b>
<b>b. Disposition of Contaminated Soil:</b>		<b>Volume of Soil Excavated*:</b>	
<input type="checkbox"/> Not applicable <input type="checkbox"/> Disposed at EPD approved Facility - manifests attached <input checked="" type="checkbox"/> Less than threshold levels - returned to excavation pit <input type="checkbox"/> To be treated on-site (CAP-A will be submitted)		<b>25-tons</b>	
* Less than 6 feet from USTs and 4 feet from piping/dispenser islands.			

# ATTACHMENT C

## 8. CLOSURE SUMMARY **NOTE: A CAP-A was prepared in 1999, NFAR received 9/20/01.**

### A. Conclusions

- Clean Closure, No Further Action Required because analytical results indicate one of the conditions marked below:**
- BTEX, PAHs and TPH are below detection limits (BDL) in the soil.
- BTEX and PAHs are BDL in the soil and TPH and BTEX are vertically delineated to BDL above the groundwater table.
- BTEX and PAHs are above detection limits in soil but below Table A Threshold levels and TPH and BTEX in soil is vertically delineated to BDL above the groundwater table.
- BTEX and PAHs are above detection limits but below Table B Threshold levels, a water supply survey indicates there are no potential receptors within the applicable radii, and BTEX and TPH in soil is vertically delineated to BDL above the groundwater table.
- BTEX and PAHs are less than Table A Threshold Levels and BTEX or TPH is not vertically delineated to BDL above the groundwater table because groundwater is encountered in the boring or the excavation, and the water sample does not contain BTEX or PAHs above Federal or State Maximum Contaminant Levels (MCLs).
- BTEX and PAHs are less than Table B Threshold Levels and BTEX or TPH is not vertically delineated to BDL above the groundwater table because groundwater is encountered in the boring or excavation, and the water sample does not contain BTEX or PAHs above In Stream Water Quality Standards, and the water supply survey indicates that there are no water supplies within the applicable radii.
- Soil or groundwater contamination exists in excess of the levels specified in the above situations and this closure report is being submitted within a certified CAP-Part A.**

**B. Regulated Substance Released:** Whenever free product is encountered and/or analytical results indicate that BTEX, PAH, or TPH contamination is present in the soil and/or groundwater and the conditions for "clean closure" have not been met, a release must be reported to EPD via telephone or fax by the next business day explaining what has been found and what steps were taken to eliminate any hazardous conditions and prevent the spread of contamination. If contamination was present, but the conditions for "clean closure" were met, please report the release by submittal of this closure report. If conditions for "clean closure" were not met, please indicate here what substance was released:

- Gasoline                       Diesel                       Kerosene
- Used Oil                       Other (Name): \_\_\_\_\_

Date reported to EPD: **NOTE: A CAP-A was prepared in 1999, NFAR received 9/20/01.**

# ATTACHMENT C

## Technical Services Company

Former Shell Food Mart  
 9845 Main Street  
 Woodstock, Cherokee County, Georgia  
 Facility ID: 0-280009

**TABLE 5A: UST SYSTEM CLOSURE - SOIL ANALYTICAL RESULTS**  
 (Volatile Organic Compounds)

Sample Number	Depth (ft)	Date Sampled	Benzene (mg/kg)	Toluene (mg/kg)	Ethyl - benzene (mg/kg)	Xylenes (mg/kg)	Total BTEX (mg/kg)	TPH-GRO (mg/kg)	TPH-DRO (mg/kg)
S-1	18-ft	11-6-02	ND	0.065	0.023	0.184	0.272	ND	
S-2	18-ft	11-6-02	ND	ND	ND	ND	ND	ND	
S-3	18-ft	11-7-02	1.04	56.5	57.9	487	602.44	2750	
S-4	18-ft	11-7-02	ND	ND	ND	0.01	0.01	ND	
S-5	18-ft	11-7-02	0.824	58.9	53.8	607	720.524	4564	
S-6	18-ft	11-7-02	ND	ND	ND	ND	ND	ND	
SP-1	----	11-7-02	ND	ND	ND	ND	ND	ND	
							0		
							0		
							0		
							0		
Applicable Standard			11.3	500	140	700			

**ATTACHMENT C**  
**Georgia Department of Natural Resources**

Environmental Protection Division  
Underground Storage Tank Management Program  
4244 International Parkway, Suite 104, Atlanta, Georgia 30354  
Lonice Barrett, Commissioner  
Harold P. Rehes, Director  
(404) 362-2687

September 20, 2001

Mr. Lee Starnes  
Golden Gallon, LLC  
P.O. Box 181600  
Chattanooga, Tennessee 37416

SUBJECT: **Corrective Action Plan (CAP)-Part A**  
**No Further Action Required:**  
Golden Gallon #79  
619 South Main Street  
Woodstock, Cherokee County, GA  
Facility ID: 0280009 \*1

Dear Mr. Starnes:

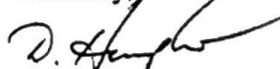
The Georgia Underground Storage Tank Management Program (USTMP) has received your consultant's letter, dated October 14, 1999, that forwarded a properly certified CAP-Part A. S&ME prepared the latest monitoring report.

Based on current requirements of the Georgia Underground Storage Tank Act, the Georgia Rules for Underground Storage Tank Management (GUST Rules) and the data submitted, the USTMP has determined that **no further action is required for the referenced release.**

However, further corrective action may be required if mandated through more stringent State or Federal statutory or regulatory changes. Additional measures may also be required if existing or future drinking water systems or surface water bodies within two miles of the site are impacted by any dissolved contamination resulting from this release, or if previously unidentified soil contamination, dissolved contamination or free product are identified as originating from this site.

Please submit a Completion Report and Certification, documenting that the associated monitoring wells have been properly abandoned, by **October 29, 2001**. No later than thirty (30) days after submission of the Completion Report, please submit your final claim for reimbursement from the GUST Trust Fund. If you have any questions, please contact me at (404) 362-4522.

Sincerely,



David Humphris  
Geologist  
Corrective Action Unit I

DDH:0280009nfar

cc: Robert York, S&ME, Kennesaw  
Richard W. Swanson, GA EPD

File (CA): Cherokee, 0280009 *DM*

**APPENDIX**

**Site Location Maps**

**Site Drawing**

**Owner / Operator Affidavit**

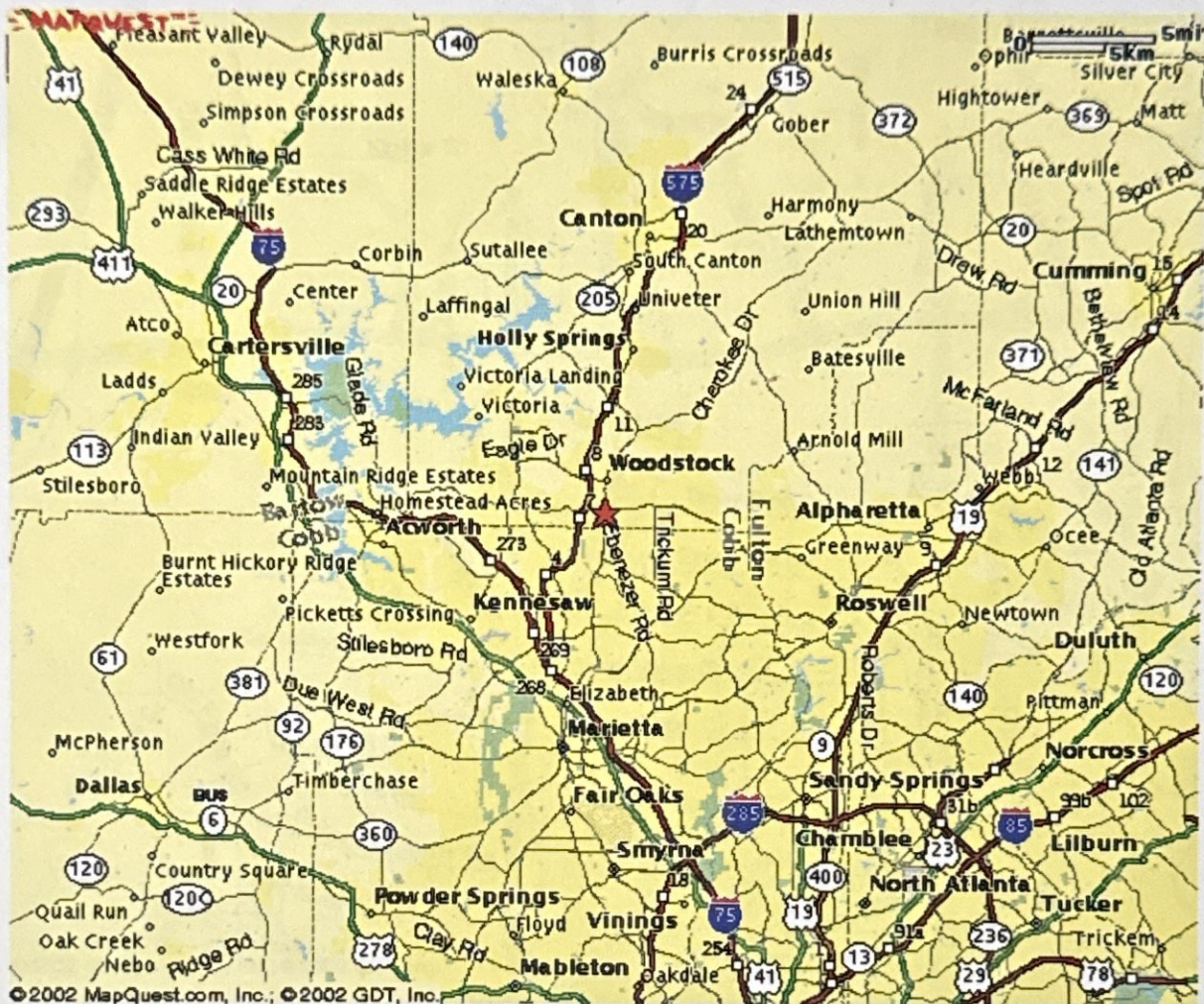
**Water Well Survey**

**Laboratory Reports**

**Chain of Custody Documents**

**Underground Storage Tank Notification Form  
(EPA Form 7530.1; GUST 42)**

# ATTACHMENT C



©2002 MapQuest.com, Inc.; ©2002 GDT, Inc.

Source: Mapquest Maps

Scale: As Noted

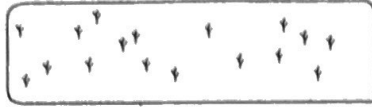
Technical Services Company  
Post Office Box 671106  
Marietta, Georgia 30066  
770 / 591-2009

Figure 1: Site Location Map  
Former Shell Food Mart  
9845 Main Street  
Woodstock, Cherokee County, Georgia



# ATTACHMENT C

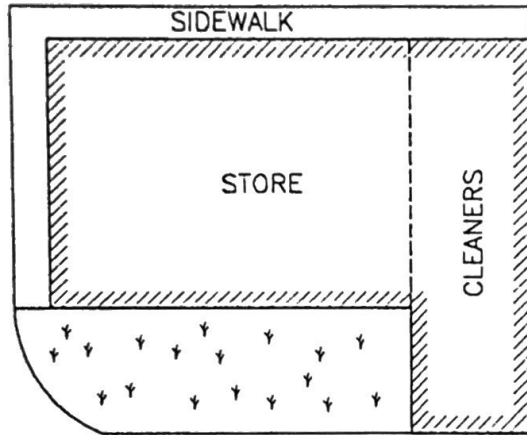
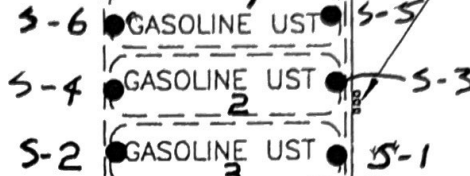
CANTON ROAD



Sample	Depth	BTEX	TPH-GRO
S-1	18-ft	0.272 ppm	ND
S-2	18-ft	ND	ND
S-3	18-ft	602.44 ppm	2750 ppm
S-4	18-ft	0.010 ppm	ND
S-5	18-ft	720.52 ppm	4564 ppm
S-6	18-ft	ND	ND
SP-1	soil pile	ND	ND

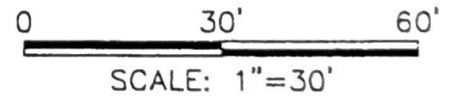
WATER/AIR

VENT PIPES



**LEGEND:**

- E— POWER LINE
- G— GAS LINE
- Y GRASS



Source: Field Notes, 1999 CAP-Part A

Scale: 1" = 30'

<p><b>Technical Services Company</b>                  Post Office Box 671106                  Marietta, Georgia 30066                  770 / 591-2009</p>	<p><b>Figure 2: Site Drawing with Sample Locations</b>                  Former Shell Food Mart                  9845 Main Street                  Woodstock, Cherokee County, Georgia</p>	
---	---	--

# ATTACHMENT C

## Owner / Operator Affidavit

State of Georgia

Cherokee County

Personally appeared before me, the undersigned attesting Authority in and for said State and County, the following deponent, who being first duly sworn, on oath deposes and says as follows:

1. That I am the owner / operator, or authorized agent thereof, of the following facility:

Facility Name: Former Shell Food Mart  
Address: 9845 South Main Street  
Woodstock, Georgia; Cherokee County  
Facility ID: 0-280009

2. That as owner / operator, or authorized agent thereof, of the facility from \_\_\_\_\_ until the present time, I have knowledge that *only gasoline* has been stored in and sold from the current or prior Underground Storage Tanks (USTs) on site. I also have knowledge that diesel fuel, fuel oil, used oil, or other petroleum hydrocarbons other than gasoline, have never been stored in and sold from the current or prior Underground Storage Tanks (USTs) on site.

Signature: \_\_\_\_\_




Dave Mukesh

Title: President

Company: SEEMA, Inc.

Sworn to and subscribed before me this

13 day of December, 19 2002

  
Notary Public

Notary Public, Cobb County, Georgia  
My Commission Expires July 19, 2003

# ATTACHMENT C

## SECTION 2.0 LOCAL WATER RESOURCES

---

### 2.1 Drinking Water Systems

A water supply systems survey was performed by *Associated* in June 1994. The purpose of the survey was to identify private water supply wells located within a 1/2-mile radius from the site and public water supply withdrawal points located within a 3-mile radius from the site. The following sections summarize the results of the survey.

#### 2.1.1 Private Water Supply Wells

A visual inspection of the 1/2-mile radius from the site did not reveal the presence of private wells.

#### 2.1.2 Public Water Supply Withdrawal Points

The main water supplier for the 3-mile area around the site is the Ball Ground Filter Plant. The Ball Ground Filter Plant draws its water supply from Lake Allatoona and the Etowah River. The withdrawal point is located approximately 8 to 9 miles northwest of the site. Public withdrawal points were not found within the 3-mile radius from the site.

# ATTACHMENT C

## LOCAL WATER RESOURCES (Cont'd)

### 2.2 Surface Waters

The nearest surface body of water is an unnamed Rubes Creek tributary, located approximately 400 ft east-northeast and downgradient of the site. Rubes Creek is located approximately 2,000 ft east of the site. These and other surface bodies of water near the site are shown on Figure A94279-1.

# ATTACHMENT C



## Case Narrative

### Client Information:

---

Client: **Technical Services Co.**  
PO Box 671106  
Marietta, GA 30066  
Project Mgr: R. Andersen

### Client Project Information:

---

Project: Carol's Cleaners  
Project No.: 22816-1  
Collected by: R. Andersen

### Laboratory Project Information:

---

Lab Number: 021082-1  
Date Collected: 11/6-7/02  
Date Received: 11/8/02

### Case Summary:

---

- 1) Samples were received in good condition and between 0 and 4°C.
- 2) Samples were analyzed following current EPA Methodologies and the standards of NELAP.
- 3) No QA/QC problems were encountered during the analysis of the samples.

Data Approved by:  Date: 12/9/02

Phillip Hathcock  
Laboratory Manager

ESN Southeast is certified/approved to conduct environmental analytical testing in the following states:  
California #2121, Florida #990184, Tennessee, Alabama, Georgia.  
ESN Southeast adheres to the standards set forth by the National Environmental Laboratory Accreditation Program (NELAP).

# ATTACHMENT C



## CERTIFICATE OF ANALYSIS

*Volatile Organic Compounds by GC/MS  
EPA Method 8260B*

**Client Information:**

<b>Client:</b>	Technical Services Co. PO Box 671106 Marietta, GA 30066
<b>Project Mgr:</b>	R. Anderson

**Laboratory Information:**

<b>Lab Number:</b>	021082-1
<b>Date Collected:</b>	11/6-7/02
<b>Date Received:</b>	11/8/02
<b>Date Analyzed:</b>	11/17/02

**Project Information:**

<b>Project:</b>	Carol's Cleaners
<b>Project No.:</b>	22816-1
<b>Collected by:</b>	R. Andersen

**Sample Information:**

<b>Sample Matrix:</b>	Soil
-----------------------	------

SAMPLE ID	Benzene mg/Kg	Toluene mg/Kg	Ethylbenzene mg/Kg	Xylenes (Total) mg/Kg	Surr. Rec (%)	Data Qual.
Method Blank	ND	ND	ND	ND	124	
S-1	ND	0.065	0.023	0.184	123	
S-2*	ND	ND	ND	ND	126	
S-3	1.04	56.5	57.9	487	103	
S-4	ND	ND	ND	0.010	134	
S-5	0.824	58.9	53.8	607	110	
S-6	ND	ND	ND	ND	130	
SP-1	ND	ND	ND	ND	129	
PQL	0.005	0.005	0.005	0.010		

**DATA QUALIFIERS:**

\*PQL - Practical Quantitation Limit

\*\*Results listed as 'ND' were NOT DETECTED  
at or above the listed PQL.

# ATTACHMENT C



## CERTIFICATE OF ANALYSIS

Gasoline Range Organics by GC/FID  
EPA Method 8015B

### Client Information:

Client:	Technical Services Co. PO Box 671106 Marietta, GA 30066
Project Mgr:	R. Andersen

### Laboratory Information:

Lab Number:	021082-1
Date Collected:	11/6-7/02
Date Received:	11/8/02
Date Analyzed:	11/15/02

### Project Information:

Project:	Carol's Cleaners
Project No.:	22816-1
Collected by:	R. Andersen

### Sample Information:

Sample Matrix:	Soil
----------------	------

SAMPLE ID	PQL* mg/kg	RESULTS mg/kg	SURROGATE RECOVERY (%)	DATA QUAL
Method Blank	5.0	ND	120	
S-1	5.0	ND	73	
S-2	5.0	ND	71	
S-3	5.0	2750	94	
S-4	5.0	ND	129	
S-5	5.0	4565	184	
S-6	5.0	ND	69	
SP-1	5.0	ND	72	

### DATA QUALIFIERS:

\*PQL - Practical Quantitation Limit

\*\*Results listed as 'ND' were NOT DETECTED  
at or above the listed PQL.



SAMPLE RECEIPT / CHECK-IN RECORD

Date/Time Received: 11/8/02 1:25 Shipped Via: \_\_\_\_\_ Airbill #: \_\_\_\_\_  
 Client: Tech Srvc Co Client Project: Coro's Cleaners  
 ESN Project Number: 021082-1 ESN Cooler(s):  N  Mixed  
 ESN Control Number: \_\_\_\_\_ Matrix:  Soil  Water  VaporTec  SoilGas

Cooler #	<u>1</u>				
Temp (°C)	<u>4°C</u>				

Note with "N.P." if temperature blank is Not Present . . . note temperature on Narrative Report)

	Yes	No	N/A
1. Custody seal(s) on shipping container . . .			
Present?	_____	_____	_____
Intact?	_____	_____	_____
2. Custody seal(s) on bottles . . .			
Present?	_____	_____	_____
Intact?	_____	_____	_____
3. Chain of Custody Form . . .			
Present?	<u>X</u>	_____	_____
Agrees with bottle types and number received?	<u>X</u>	_____	_____
Agrees with labels on bottles?	<u>X</u>	_____	_____
Agrees with Bid/Contract . . .	_____	_____	_____
Number of samples?	<u>X</u>	_____	_____
Phase of samples?	<u>X</u>	_____	_____
Analysis requested?	<u>X</u>	_____	_____
Signed with date and time?	<u>X</u>	_____	_____
4. Trip Blank Present?	_____	<u>X</u>	_____
5. Containers broken or leaking?	<u>X</u>	_____	_____
6. Headspace in Containers (waters only)?	_____	<u>X</u>	_____
7. Samples preserved?	<u>X</u>	_____	_____
(with: Ice Acid Na <sub>2</sub> S <sub>2</sub> O <sub>5</sub> Other: <u>Mutl, H<sub>2</sub>O</u> )			
8. Short holding times?	_____	<u>X</u>	_____
<i>please define specific parameters below in comments section</i>			
9. Sampled four or more days prior to receipt?	_____	<u>X</u>	_____
10. Sample volume appears sufficient?	<u>X</u>	_____	_____
11. Comments: <u>S-6 Water vial broken</u>			

Custodian Signature/Date/Time: [Signature] 11/8/02 16:45

<sup>1</sup>Note on Narrative    <sup>2</sup>Notify Client PM    <sup>3</sup>Notify Client PM and Note on Narrative

# ATTACHMENT C

## STATE OF GEORGIA NOTIFICATION DATA FOR UNDERGROUND STORAGE TANK

### Part I: Facility Data

state use only

CILITY ID NUMBER: 0-280009

IAL DATE RECEIVED: 03-24-1986

TE AMENDED LAST: 06-14-2001

IFICATION TYPE:  New  Amended  Closure

HIP OF TANK(S):

OWNER'S ID: 8768

Number of Active Tanks: 3

Company Name: *SEEMA, INC.*

Contact Person's Name: *DAYE MUKESH*

Mailing Address: 9845 MAIN STREET

City: WOODSTOCK

State: GA

Zip Code: 30188

Phone: ~~(404)~~ 516-4440

County: CHEROKEE

*770*

OWNER TYPE:  Federal  State  Local  Commercial  Private

OPERATOR OF TANK(S):

Company Name:

Contact Person's Name:

Street Address:

City:

State:

Zip Code:

Phone:

County:

*former/owner 5*

LOCATION OF TANK(S):

Company Name: *FORMER* SHELL FOOD MART

Contact Person's Name:

Street Address: 9845 MAIN STREET

City: WOODSTOCK

State: GA

Zip Code: 30188

County: CHEROKEE

Latitude: : :

Longitude: : :

Phone: (404) 516-4440

FACILITY TYPE(S):

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Gas Station | <input type="checkbox"/> Local Government | <input type="checkbox"/> Contractor      |
| <input type="checkbox"/> Petroleum Dist         | <input type="checkbox"/> State Government | <input type="checkbox"/> Truck/Transport |
| <input type="checkbox"/> Air Taxi (Airport)     | <input type="checkbox"/> Fed Non-Military | <input type="checkbox"/> Utilities       |
| <input type="checkbox"/> Aircraft Owner         | <input type="checkbox"/> Fed Military     | <input type="checkbox"/> Farm            |
| <input type="checkbox"/> Auto Dealership        | <input type="checkbox"/> Commercial       | <input type="checkbox"/> Residential     |
| <input type="checkbox"/> Railroad               | <input type="checkbox"/> Industrial       | <input type="checkbox"/> Other           |
| <input type="checkbox"/> Hospital               | <input type="checkbox"/> Educational      |  |

# ATTACHMENT C

## STATE OF GEORGIA NOTIFICATION DATA FOR UNDERGROUND STORAGE TANK

### Part I: Facility Data

FINANCIAL RESPONSIBILITY:

FACILITY ID NUMBER: 0-280009

I meet the financial responsibility requirements of §12-13-9 Official Code of Georgia Annotated by providing or participating in one of the following financial assurance mechanisms.

Primary Financial Responsibility Mechanism: (check one):

<input checked="" type="checkbox"/> GUST Trust Fund	<input type="checkbox"/> Insurance
<input type="checkbox"/> Surety Bond	<input type="checkbox"/> Guarantee
<input type="checkbox"/> Letter of Credit	<input type="checkbox"/> Trust Fund (other than GUST)
<input type="checkbox"/> Risk Retention Group	<input type="checkbox"/> Other Method
<input type="checkbox"/> Self-Insured	<input type="checkbox"/> None

If a primary coverage mechanism other than GUST Trust Fund is checked, provide the following information pursuant to GUST Rule 391-15-.12 (1):

Financial Responsibility Provider (Primary):

Name:  
Address:

Mechanism Id Number:

Mechanism Anniversary Date:

Deductible Financial Responsibility, if any: (check one)

**NOTE:** If your primary Financial Responsibility Mechanism is provided through participation in GUST Trust Fund by payment of Environmental Assurance Fees, as required under GUST Rule 391-3-15-.13, you must also check one of the following boxes indicating how coverage for the GUST Trust Fund \$10,000 deductible is being provided.

If your primary Financial Responsibility Mechanism is other than GUST Trust Fund and it has deductible, you must also check one of the following boxes indicating how coverage for the deductible is being provided.

<input type="checkbox"/> Surety Bond	<input type="checkbox"/> Insurance
<input type="checkbox"/> Letter of Credit	<input type="checkbox"/> Guarantee
<input type="checkbox"/> Risk Retention Group	<input type="checkbox"/> Trust Fund (other than GUST)
<input checked="" type="checkbox"/> Self-Insured	<input type="checkbox"/> Other Method

Provide the name and address of Financial Responsibility Provider for deductible pursuant to GUST Rule 391-15-.12 (1):

Financial Responsibility Provider (Deductible):

Name:  
Address:

Mechanism Id Number:

Mechanism Anniversary Date:

# ATTACHMENT C

## STATE OF GEORGIA NOTIFICATION DATA FOR UNDERGROUND STORAGE TANK

### Part II: Tank Data

FACILITY ID	0-280009	0-280009	0-280009
TANK ID	1	2	3
<b>Status of Tank</b>			
Currently in Use			
Temp. Out of Use			
Perm. Out of Use	X	X	X
Date of Installation	03-26-1977	03-26-1977	03-26-1977
Age	24	24	24
Est. Total Capacity	10,000	10,000	10,000
<b>Material of Construction</b>			
Asphalt or Bare Steel			
Cath. Protected Steel	X	X	X
Date Impress Current			
Date Galvanic System			
Epoxy Coated Steel	X	X	X
Composite			
Fiberglass Reinf. Plas.			
Date Lined Interior			
Double Walled			
Poly. Tank Jacket			
Concrete			
Excavation Liner			
Unknown			
Other, explanation			
<b>Piping Material</b>			
Bare Steel			
Galvanized Steel	X	X	X
Fiberglass			
Copper			
Cathodically Protected	X	X	X
Double Walled			
Secondary Containment			
Unknown			
Other, explanation			
Date Piping Installed			
<b>Piping Type</b>			
Suction: No Valve			
Suction: Valve			
Pressure	X	X	X
Gravity Fed			
Date Piping Repaired			
<b>Substance Stored in Tank</b>			
Gasoline	X	X	X
Diesel			
Gasohol			
Kerosene			
Heating Oil			
Used Oil			
Propane			
Empty			
Other, explanation			

# ATTACHMENT C

## STATE OF GEORGIA NOTIFICATION DATA FOR UNDERGROUND STORAGE TANK

### Part II: Tank Data

FACILITY ID	0-280009	0-280009	0-280009		
TANK ID	1	2	3		
Substance Stored in Tank					
Hazardous Substance					
CERCLA Name					
CAS Number					
Mixture					
Mixture Specification					
Tanks Out of Use/Chg. Ser.					
	Tank	Piping	Tank	Piping	Tank
	Piping	Piping	Piping	Piping	Piping
Est. Date Last Used	1998	1998	1998		
Est. Date Closed	11-8-02	11-8-02	11-8-02		
Removed from Ground	X	X	X	X	X
Closed in Ground					
Filled with Inert Mat.					
Change in Service					
Site Assessment Compl.	✓	✓	✓		
Leak Detected	NO	NO	NO		
Installation					
Certified by Mfg					
Certified by Imple Agn.					
Inspected by Engineer					
Checklists Completed					
Another Allowed Method					
Method Description					
Release Detection					
	Tank	Piping	Tank	Piping	Tank
	Piping	Piping	Piping	Piping	Piping
Tank Tightness Testing					
Inventory Controls					
SIR					
Automatic Tank Gauging	X	X	X	X	X
Inter. Mon./Double Wall					
Groundwater Monitoring					
Manual Tank Gauging					
Vapor Monitoring					
Inter. Mon./Sec. Cont.					
Auto. Line Leak Detect.					
Line Tightness Testing					
Other Method					
Other Description					
Spill and Overfill					
Date Overfill Device	12-23-1998	12-23-1998	12-23-1998		
Date Spill Device	08-02-1994	08-02-1994	08-02-1994		
Installer Certification					
Name					
Position					
Company					
Date					

Note: Piping  
 Removed 1999  
 by others.

STATE OF GEORGIA  
NOTIFICATION DATA FOR UNDERGROUND STORAGE TANK

Part III: Certifications

OATH OF INSTALLATION:

I certify the information concerning installation of the UST system, release detection, and spill/overflow protection specified in Part II-Tank Data is true to the best of my belief and knowledge.

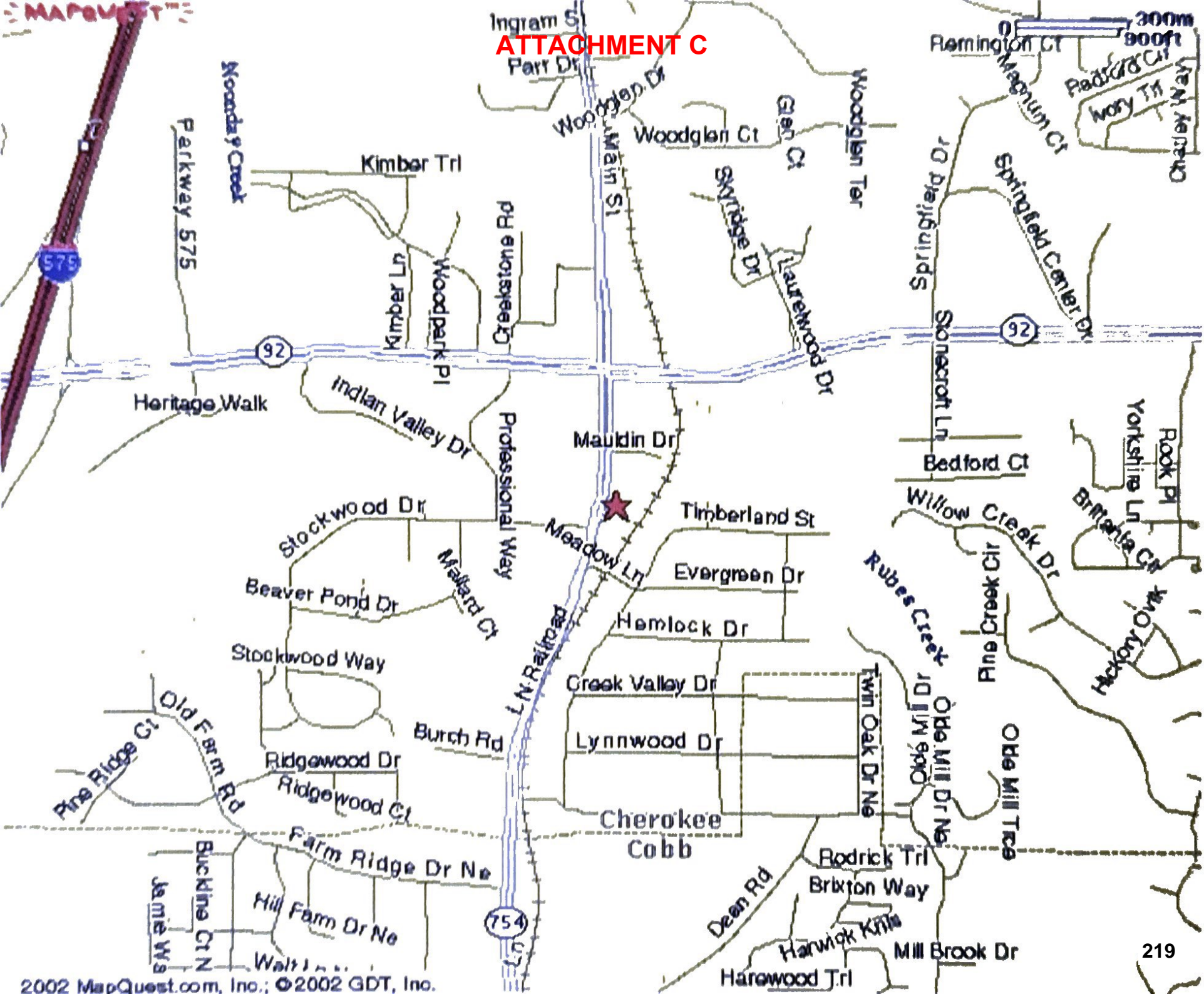
~~Installer: \_\_\_\_\_  
Company \_\_\_\_\_ Company Address \_\_\_\_\_  
Authorized Representative \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_  
Title \_\_\_\_\_ Telephone Number (include Area Code) \_\_\_\_\_~~

CERTIFICATION: I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete.

Owner: DAVE Mukesh President; SEEMA, Inc  
Owner Name Title  
[Signature] x 12/10/02  
Owner's Signature Date

**END OF REPORT**

ATTACHMENT C



CITY OF  
**WOODSTOCK**

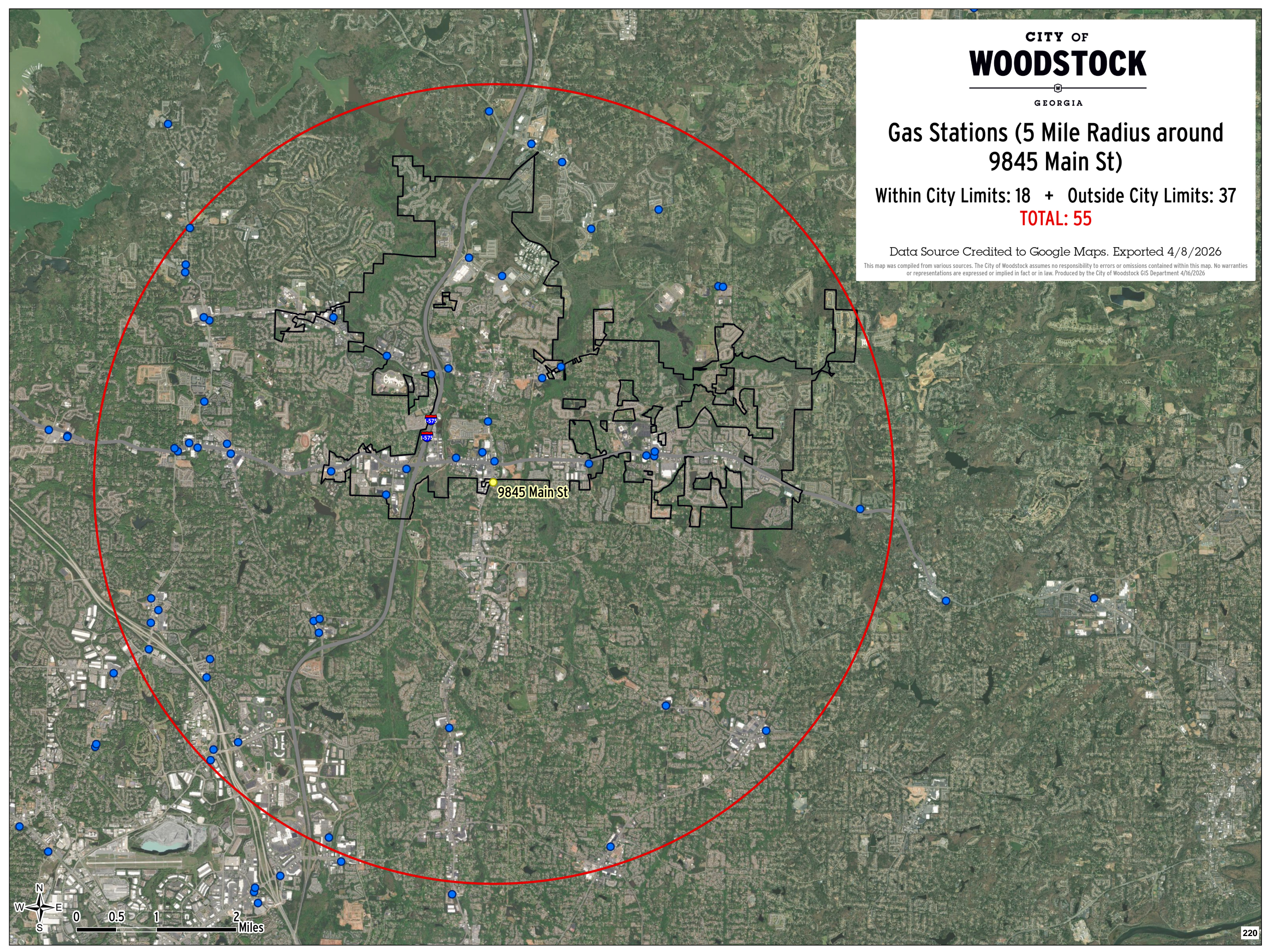
GEORGIA

**Gas Stations (5 Mile Radius around  
9845 Main St)**

**Within City Limits: 18 + Outside City Limits: 37  
TOTAL: 55**

Data Source Credited to Google Maps. Exported 4/8/2026

This map was compiled from various sources. The City of Woodstock assumes no responsibility to errors or omissions contained within this map. No warranties or representations are expressed or implied in fact or in law. Produced by the City of Woodstock GIS Department 4/16/2026



PUBLIC INPUT REPORT: Case # CUP#095-26

Applicant Name: TEJAS PATEL

Phone #: [REDACTED]

Email: [REDACTED]

Subject Property Address/Parcel #: 9845 Main Street, Woodstock GA

Public Input Meeting date, time, location: City chambers 8534 Main St  
Woodstock GA 30188

I. Summary of concerns: Three people attended the meeting their primary concern was fence behind the subject property & if there would be any bright

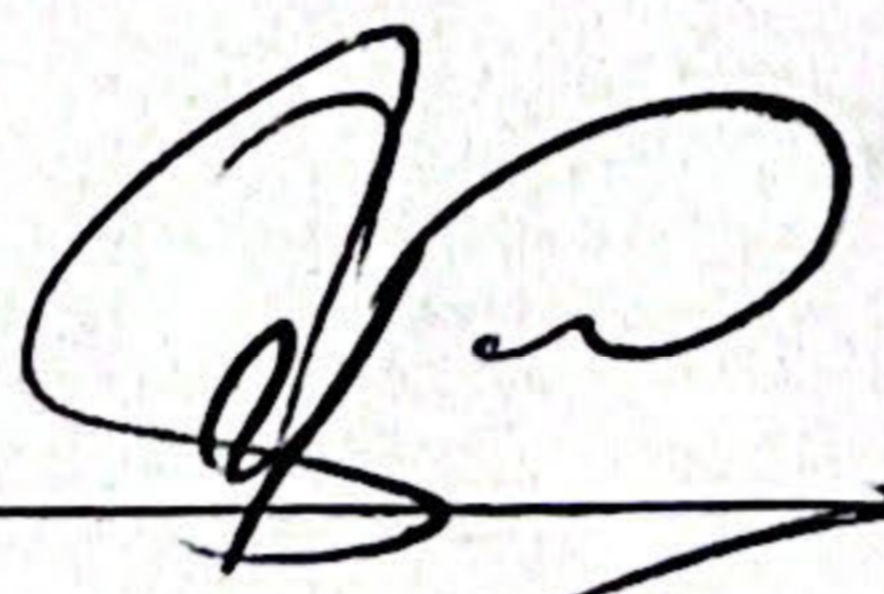
II. How the applicant addressed concerns: light facing their houses in the back  
Their concerns were addressed with the applicant agreeing to have fence and

III. Concerns the applicant was unable or unwilling to address and why: make sure do bright light facing their properties

IV. Concerns or topics of discussion unrelated to the proposal:

V. Agreements made by the applicant to property owners at the meeting:

Applicant's Signature: \_\_\_\_\_



Applicant: Attach sign-in sheet(s) from the meeting and return with this form to your case manager by the date shown on the Public Hearing Schedule. Thank you!

**ATTACHMENT E**

CASE # CUP# 095-26 9845 Meeting Date 04/07/26 Meeting Location 8534 Main St Woodstock  
30188 GA

**PUBLIC INPUT MEETING SIGN-IN SHEET**

Name	Address	Email or Phone
LAWRENCE WHITE	137 TIMBERLAND STREET	[REDACTED]
Eugenia A. Smith	139 Timberland St.	[REDACTED]
Carolyn Ditchell	Woodstock, GA 30188 141 Timberland St.	[REDACTED]
	Woodstock, GA 30188	

# ATTACHMENT E



## COMMENT CARD Public Input Meeting

Date: 4/7/2026 Case # \_\_\_\_\_  
 Name: LAWRENCE WHITE  
 Address: 377 TIMBERLAND ST.  
 Phone: WOODSTOCK, GA. 30188  
 Email: \_\_\_\_\_

Do you support the project?

- For  Against  With Conditions  Undecided

Comments: MOST CONCERNED FOR FENCING SEPERATING  
FROM RAILROAD

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

*Use back of this form for additional comments, if necessary*

How did you hear about this meeting?

- Social Media  Newspaper  Signs  Word of Mouth  Direct Mail

Were your questions answered by the applicant?  Yes  No

Do you understand the proposal after attending this meeting?  Yes  No

Please share your suggestions on improving the way these meetings are conducted:

LIKED THE INFORMALITY

\_\_\_\_\_  
 \_\_\_\_\_

Thank you for attending and providing your input!  
 Leave your completed comment card with the applicant or email it to [planning@woodstockga.gov](mailto:planning@woodstockga.gov)

# ATTACHMENT E



## COMMENT CARD Public Input Meeting

Date: 4/17/2016 Case # \_\_\_\_\_  
 Name: Carolyn Mitchell  
 Address: 147 Timberland St. Woodstock  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

Do you support the project?  
 For  Against  With Conditions  Undecided

Comments: Fence  
fighting

*Use back of this form for additional comments, if necessary*

How did you hear about this meeting?  
 Social Media  Newspaper  Signs  Word of Mouth  Direct Mail

Were your questions answered by the applicant?  Yes  No

Do you understand the proposal after attending this meeting?  Yes  No

Please share your suggestions on improving the way these meetings are conducted:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Thank you for attending and providing your input!  
 Leave your completed comment card with the applicant or email it to [planning@woodstockga.gov](mailto:planning@woodstockga.gov)

# ATTACHMENT E



## COMMENT CARD Public Input Meeting

Date: 4/9/2026 Case # \_\_\_\_\_  
 Name: Christina G. Smith  
 Address: 1309 Timberland St. Woodstock, GA 30188  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

Do you support the project?  
 For  Against  With Conditions  Undecided

Comments: \_\_\_\_\_  
 \_\_\_\_\_  
Service & lighting concerns only  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

*Use back of this form for additional comments, if necessary*

How did you hear about this meeting?  
 Social Media  Newspaper  Signs  Word of Mouth  Direct Mail

Were your questions answered by the applicant?  Yes  No

Do you understand the proposal after attending this meeting?  Yes  No

Please share your suggestions on improving the way these meetings are conducted:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Thank you for attending and providing your input!  
 Leave your completed comment card with the applicant or email it to [planning@woodstockga.gov](mailto:planning@woodstockga.gov)

# Item Cover Page

**PLANNING COMMISSION AGENDA ITEM REPORT**

**DATE:** May 7, 2026

**SUBMITTED BY:** Niwana Ray, Community Development

**ITEM TYPE:** Presentation and Discussion Items

**AGENDA SECTION:** **PUBLIC HEARINGS**

**SUBJECT:** **Consideration of V#221-26: Paragon, 9026 Main St (Public Hearing & Vote)**

**SUGGESTED ACTION:** Staff recommends City Council approval of a variance to allow angled on-street parking rather than parallel at 9026 Main Street.

**ATTACHMENTS:**

- [V221-26 Staff Report 2026-05-07 PC.pdf](#)
- [Att A Applicant response Paragon.pdf](#)
- [Att B SITE PLAN 12-18-25 Paragon Accounting.pdf](#)



**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Niwana Ray, AICP  
Senior Planner  
**SUBJECT:** Project V#221-26  
Paragon Accounting & Tax Solutions,  
9026 Main St

---

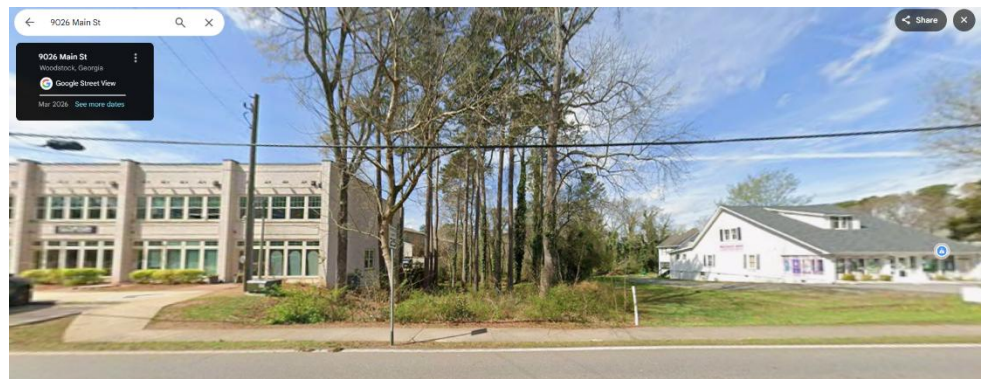
## RECOMMENDATION

Staff recommends City Council approve a variance to allow angled on-street parking for the project located at 9026 Main Street and 105 Barnesdale Terrace (V#221-26).

## EXECUTIVE SUMMARY

Parks Huff, on behalf of Paragon Accounting & Tax Solutions, LLC, has submitted an application requesting a variance to eliminate the parallel parking requirement along Main Street. Paragon Accounting & Tax Solutions is planning to construct a new office location at 9026 Main Street. If the variance is approved, the Applicant will provide angled on-street parking spaces instead, matching the existing on-street parking provided with nearby developments.

Additional information can be found in Table 1 below.



## **BACKGROUND**

Table 1 provides general property information for the project site and the surrounding land uses.

<b>Table 1: General Property and Surrounding Land Use Information</b>	
Address	9026 Main Street and 105 Barnesdale Terrace
Council Ward	2 – Potts
Tax ID # (TIN)	92N06 043C and 92N06 043
Parcel ID #	15-1093-0011 and 15-1093-0013
Site Acreage	± 0.9 acres
Building/Tenant Space	± 14,000 sf office (proposed)
Future Development Map	Urban Core
Current Zoning	DT-RO (Downtown-Residential/Office) with Historic Overlay
Current Development	Vacant, undeveloped
Streets Information:	Public, maintained by the City
Surrounding Neighborhood:	
North	DT-RO w/HO, DT-LR
South	DT-RO (Adyn Park)
East	Main Street, Railroad, DT-RO w/HO
West	DT-LR

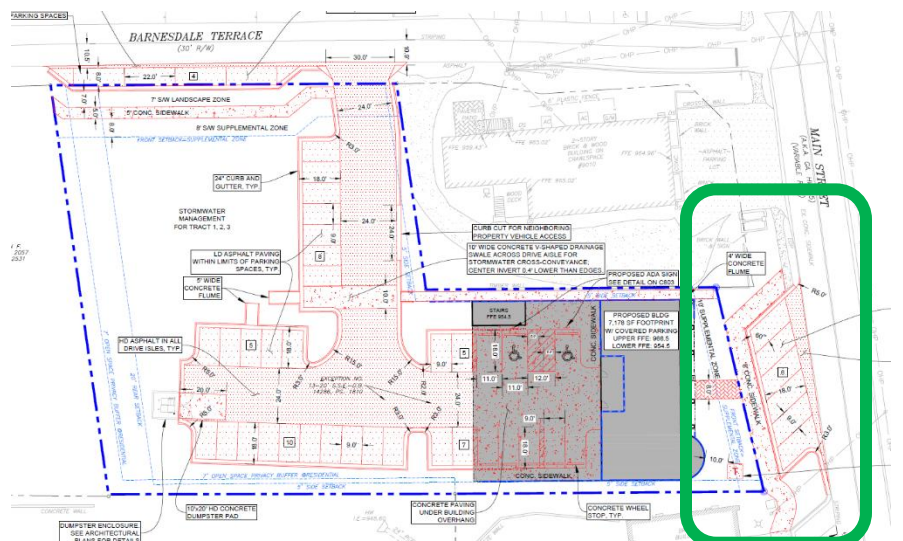
### Past Zoning History

No zoning history was found for the project site.

## **PROJECT DESCRIPTION**

The subject property is located along Main Street, just south of Barnesdale Terrace and adjacent to the Adyn Park development. The ±0.9 acre site is zoned DT-RO (Downtown-Residential/Office) with Historic Overlay and is vacant and undeveloped. The Applicant, Paragon Accounting & Tax Solutions, plans to construct and occupy a ±7,180sf office on the property and provide a mix of on-street angled parking on Main Street and a surface parking lot behind the building to serve clients and employees, as shown on the proposed site plan below.

The applicant's site plan showed six (6) angled parking spaces to match the on-street parking spaces that exist along Main Street in front of Adyn Park and South on Main. During site plan review, however, city staff identified that parallel parking – instead of angled – is required per section 7.726 of the Land Development Ordinance (LDO) and the Downtown Street Standards



found in the Council Policy Manual. Adyn Park and South on Main both received variances to allow angled instead of parallel spaces along their Main Street frontages. At staff's request, Paragon applied for a similar variance in order to maintain continuity along the Main Street corridor.

Example of on-street parking at Adyn Park:



Example of on-street parking at South on Main:



## **ANALYSIS**

The Applicant's request is to provide angled on-street parking along Main Street in front of their future development rather than parallel parking spaces. The variance request was submitted at the direction of city staff.

### **Consistency with the Land Development Ordinance**

The Downtown Street Standards found in the LDO identify locations where on-street parking is to be provided. The requested variance would not remove the on-street parking requirement altogether but is appropriate in order to maintain a consistent streetscape along Main Street.

## **PUBLIC INPUT**

The public input meeting requirement was waived by City Council at their meeting on March 9, 2026. Public notice was published in the Cherokee Tribune and signs were posted on the property a minimum of 15 days but no more than 45 days prior to the public hearing.

## **DPC RECOMMENDATION**

The Development Process Committee (DPC) voted 6-0 on April 1, 2026, to recommend approval of the variance.

## **ATTACHMENTS**

ATTACHMENT A: Applicant Response Statements

ATTACHMENT B: Proposed Site Plan

**APPLICANT RESPONSE STATEMENT  
7.726 - Street and Sidewalk Area Requirements)**

**VARIANCES (Chapter VII, Article VII, Sec.**

The applicant finds that the following standards are relevant in balancing the interest in promoting public health, safety, morality, or general welfare against the right to unrestricted use of property and shall govern the exercise of the zoning power.

If this application is in response to a variance, please respond to the following standards in the form of a written narrative. In the case of concurrent variances, a response to the standards below should be provided for each variance requested.

1. Explain requested variance.

The Applicant, Paragon Accounting & Tax Solutions, LLC, is requesting a variance from the City of Woodstock Land Development Code Chapter VII, Article VII, Sec. 7.726 to eliminate the parallel parking requirement on Main Street per the Downtown Design Policy Standards.

2. There are exceptional and extraordinary conditions pertaining to the particular piece of property in question, due to its size, shape or topography.

The subject property is similar in size, shape, topography and style of many of the buildings that are zoned Residential Office on the west side of Main Street where angled parking is allowed.

3. The application of these regulations to this particular piece of property would create a practical difficulty or unnecessary hardship.

As depicted on the filed site plan, the Applicant is proposing to construct six (6) angled parking spaces in front of a proposed commercial building to be located at 9026 Main Street. Applying these regulations to this particular piece of property would create a practical difficulty and unnecessary hardship.

4. Such conditions are peculiar to the particular piece of property involved.

The conditions that create the need for this variance are peculiar to this property. The Applicant's request to use angled parking is similar to other commercial and mixed-use buildings along the west side of Main Street.

5. A literal interpretation of this ordinance would deprive the applicants of any rights that others in the same district are allowed.

Angled parking is currently being used by many of the new buildings on Main Street as the result of variances being granted by the City. The Applicant's intent is to replicate the current angled parking used by newer buildings south of the Subject Property towards South on Main.

6. Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of this ordinance.

The variance would not be contrary to the public good, nor impair the purposes and intent of the ordinance.

7. Special circumstances or conditions applying to the building or land or building and land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity.

The conditions for this request are peculiar to this situation and do not apply to other land or buildings in the vicinity.

8. Granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant.

Granting the variance will allow a continuation of the style of building(s) and streetscape currently used on Main Street. Similar variances have been approved to allow angled parking in the Downtown Residential/Office zoning district.

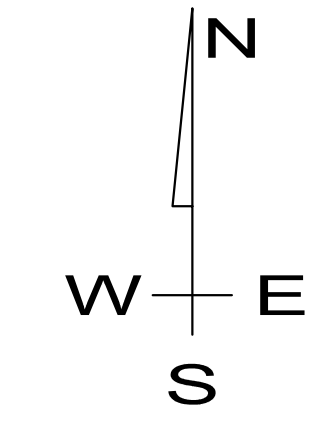
9. The condition from which relief or a variance is sought did not result from willful action by the applicant.

The Subject Property is located in the Residential/Office zoning designation in the Historic Overlay. The Subject Property is undeveloped and the street standards were implemented by the City.

10. Authorizing the variance will not impair adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, increase the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding areas or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City.

Approval of the variance will not create a hazard, be detrimental to surrounding property values nor be contrary to the general welfare of the citizens of Woodstock.





**ONSITE CIVIL GROUP**  
 980 BIRMINGHAM RD, SUITE 205-240 MILTON, GA 30004  
 PHONE: 678-611-1111  
 WWW.ONSITECIVIL.COM  
 INFO@ONSITECIVIL.COM

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**REVISIONS**

No.	DATE	DESCRIPTION

**CLIENT:**  
 MOELLER PURCELL  
 105825 OLD ALABAMA RD  
 CONNECTOR, SUITE 100  
 ALPHARETTA, GA 30022  
 CONTACT: ANDY NICHOLS  
 770-441-2060  
 ANDY@MOELLERPURCELL.COM

**PARAGON ACCOUNTING**  
 9026 MAIN ST +  
 105 BARNESDALE TERRACE  
 PIN: 15-1093-011 + 15-1093-0013  
 LL 1093 / 15TH DISTRICT  
 CITY OF WOODSTOCK  
 CHEROKEE COUNTY, GA

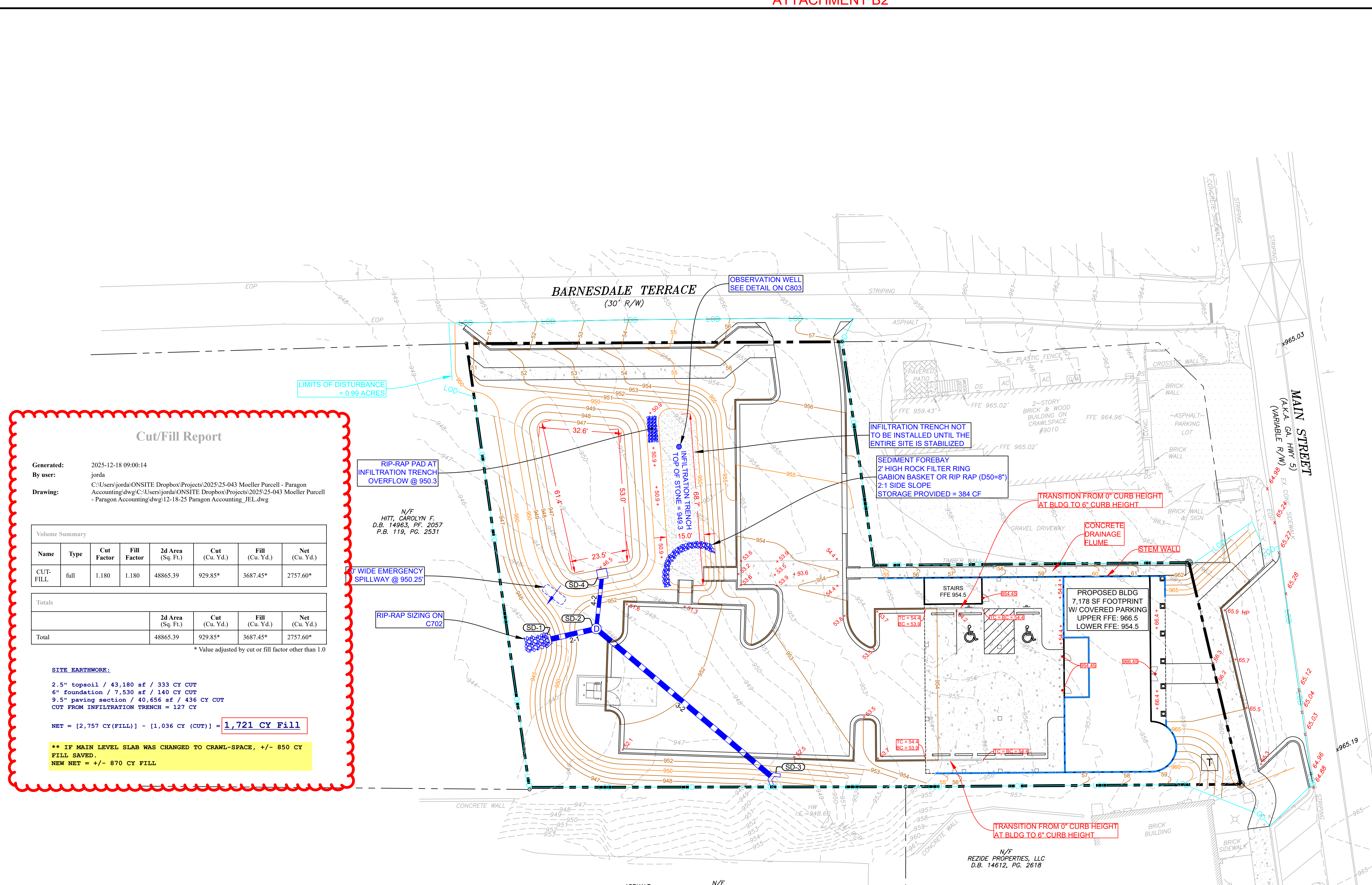
**GRADING AND DRAINAGE PLAN**

DATE: DECEMBER 16, 2025  
 PROJECT: 25-043

SHEET: **C 501**



**24 HOUR CONTACT:**  
 ROBERT FRENCH  
 904-608-7612



**Cut/Fill Report**

Generated: 2025-12-18 09:00:14  
 By user: jorda  
 Drawing: C:\Users\jorda\ONSITE Dropbox\Projects\2025\25-043 Moeller Purcell - Paragon Accounting\dwg\C:\Users\jorda\ONSITE Dropbox\Projects\2025\25-043 Moeller Purcell - Paragon Accounting\dwg\12-18-25 Paragon Accounting\_JEL.dwg

Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
CUT-FILL	full	1.180	1.180	48865.39	929.85*	3687.45*	2757.60*
<b>Totals</b>				<b>2d Area (Sq. Ft.)</b>	<b>Cut (Cu. Yd.)</b>	<b>Fill (Cu. Yd.)</b>	<b>Net (Cu. Yd.)</b>
<b>Total</b>				48865.39	929.85*	3687.45*	2757.60*

\* Value adjusted by cut or fill factor other than 1.0

**SITE EARTHWORK:**  
 2.5" topsoil / 43,180 sf / 333 CY CUT  
 6" foundation / 7,530 sf / 140 CY CUT  
 9.5" paving section / 40,656 sf / 436 CY CUT  
 CUT FROM INFILTRATION TRENCH = 127 CY

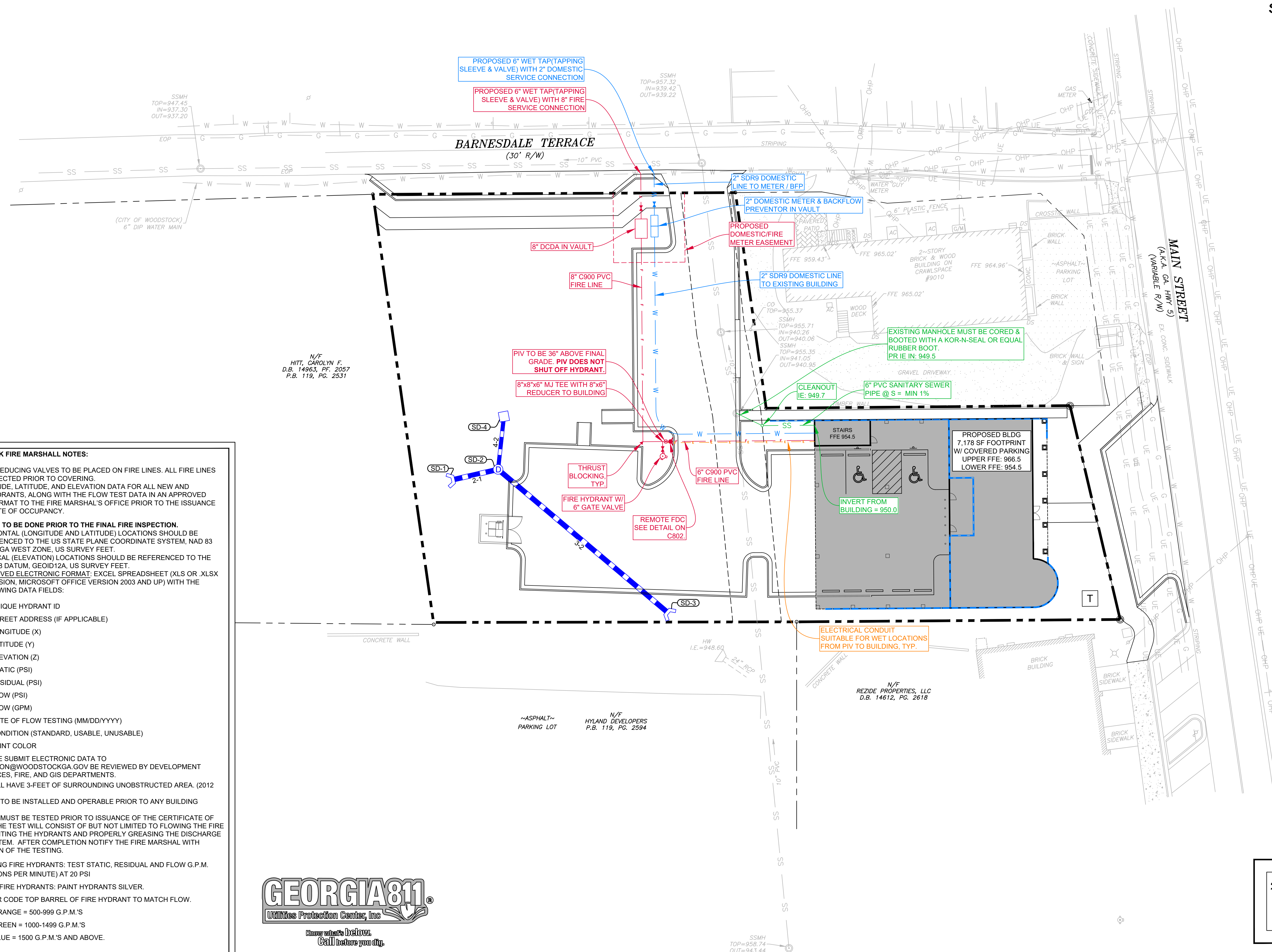
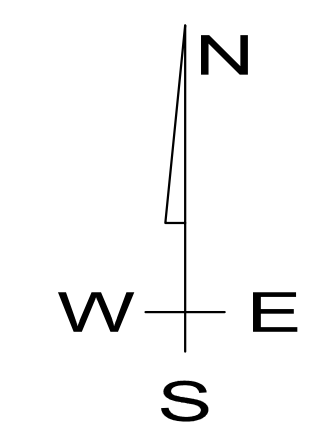
**NET = [2,757 CY (FILL)] - [1,036 CY (CUT)] = 1,721 CY Fill**

**\*\* IF MAIN LEVEL SLAB WAS CHANGED TO CRAWL-SPACE, +/- 850 CY FILL SAVED.  
 NEW NET = +/- 870 CY FILL**

- GRADING NOTES:**
- ENGINEER WILL BE NOTIFIED WHEN CURB IS STAKED AND STRING LINE IS IN PLACE SO THAT ENGINEER CAN PERFORM DRAINAGE INSPECTION BEFORE CURB IS POURED.
  - ENGINEER SHALL PERFORM INSPECTION OF ALL AREAS TO BE TREATED WITH PERMANENT GROUND COVER BEFORE ANY MULCH, SEEDING, OR SOD IS INSTALLED.
  - FOR ITEMS 1 & 2 ABOVE CONTRACTOR PROCEEDS AT THEIR OWN RISK IF INSPECTIONS ARE NOT PERFORMED.
  - GRADE ALL AREAS TO DRAIN TO INLETS AT 1% MINIMUM ON PAVEMENT, 2% ON GRASS, 3% IN MULCH/STRAWED AREAS.
  - SPOT ELEVATIONS ARE SHOWN AS +800.00
  - ALL SPOT ELEVATIONS ARE GUTTER/PAVEMENT AND NOT TOP OF CURB UNLESS NOTED**
  - FINISHED GRADE IN LANDSCAPED AREAS (TOP OF MULCH, ETC.) SHALL NOT BE LESS THAN 8" BELOW FINISHED FLOOR ELEVATION.
  - ALL PROPOSED CURB HEIGHT TO BE 6" UNLESS SPECIFICALLY NOTED.
  - ALL CURB TO BE 24" UNLESS OTHERWISE NOTED.
  - OWNERS REPRESENTATIVE OR CIVIL ENGINEER SHALL BE PRESENT AT PROOF ROLL OF SUB GRADE AND/OR GAB (IF APPLICABLE).
  - SIDEWALK AT ENTRY POINTS TO BUILDING SHALL BE 0.5" BELOW FFE MAX., TYP.

**SURVEY NOTE:**  
 EXISTING CONDITIONS BASED OF A GROUND RUN TOPOGRAPHIC SURVEY PREPARED BY PRISTINE LAND SERVICES, DATED 10-03-2025. THE BASIS OF BEARING FOR THIS SURVEY IS NAD83. THE VERTICAL DATUM IS NAVD88. ONSITE CIVIL GROUP LLC TAKES NO LIABILITY FOR THE ACCURACY OF THIS SURVEY. CONTRACTORS AND SUB-CRONTACTORS A RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS.

C:\USERS\JORDA\ONSITE DROPBOX\PROJECTS\2025\25-043 MOELLER PURCELL - PARAGON ACCOUNTING\DWG\12-18-25 PARAGON ACCOUNTING\_JEL.DWG PLOTTED ON 12/18/2025 9:09 AM BY JORDAN LOCKE



C:\USERS\JORDAN\ON SITE\DRG\BOX\PROJECTS\2025-25-043 MOELLER PURCELL - PARAGON ACCOUNTING\DWG\12-18-25 PARAGON ACCOUNTING\DWG\_PLOTTED ON 12/18/2025 9:10 AM BY JORDAN LOCKE

- CITY OF WOODSTOCK FIRE MARSHALL NOTES:**
- NO PRESSURE REDUCING VALVES TO BE PLACED ON FIRE LINES. ALL FIRE LINES ARE TO BE INSPECTED PRIOR TO COVERING.
  - SUBMIT LONGITUDE, LATITUDE, AND ELEVATION DATA FOR ALL NEW AND RELOCATED HYDRANTS, ALONG WITH THE FLOW TEST DATA IN AN APPROVED ELECTRONIC FORMAT TO THE FIRE MARSHAL'S OFFICE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
    - THIS IS TO BE DONE PRIOR TO THE FINAL FIRE INSPECTION.**
    - HORIZONTAL (LONGITUDE AND LATITUDE) LOCATIONS SHOULD BE REFERENCED TO THE US STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), GA WEST ZONE, US SURVEY FEET.
    - VERTICAL (ELEVATION) LOCATIONS SHOULD BE REFERENCED TO THE NAVD83 DATUM, GEOID12A, US SURVEY FEET.
    - APPROVED ELECTRONIC FORMAT: EXCEL SPREADSHEET (XLS OR XLSX EXTENSION, MICROSOFT OFFICE VERSION 2003 AND UP) WITH THE FOLLOWING DATA FIELDS:
      - UNIQUE HYDRANT ID
      - STREET ADDRESS (IF APPLICABLE)
      - LONGITUDE (X)
      - LATITUDE (Y)
      - ELEVATION (Z)
      - STATIC (PSI)
      - RESIDUAL (PSI)
      - FLOW (PSI)
      - FLOW (GPM)
      - DATE OF FLOW TESTING (MM/DD/YYYY)
      - CONDITION (STANDARD, USABLE, UNUSABLE)
      - PAINT COLOR
    - PLEASE SUBMIT ELECTRONIC DATA TO BSTILSON@WOODSTOCKGA.GOV BE REVIEWED BY DEVELOPMENT SERVICES, FIRE, AND GIS DEPARTMENTS.
  - HYDRANTS SHALL HAVE 3- FEET OF SURROUNDING UNOBSTRUCTED AREA. (2012 IFC)
  - FIRE HYDRANTS TO BE INSTALLED AND OPERABLE PRIOR TO ANY BUILDING CONSTRUCTION
  - FIRE HYDRANTS MUST BE TESTED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. THE TEST WILL CONSIST OF BUT NOT LIMITED TO FLOWING THE FIRE HYDRANTS, PAINTING THE HYDRANTS AND PROPERLY GREASING THE DISCHARGE OUTLETS AND STEM. AFTER COMPLETION NOTIFY THE FIRE MARSHAL WITH DOCUMENTATION OF THE TESTING.
    - TESTING FIRE HYDRANTS: TEST STATIC, RESIDUAL AND FLOW G.P.M. (GALLONS PER MINUTE) AT 20 PSI
    - PAINT FIRE HYDRANTS: PAINT HYDRANTS SILVER.
    - COLOR CODE TOP BARREL OF FIRE HYDRANT TO MATCH FLOW.
      - ORANGE = 500-999 G.P.M.'S
      - GREEN = 1000-1499 G.P.M.'S
      - BLUE = 1500 G.P.M.'S AND ABOVE.



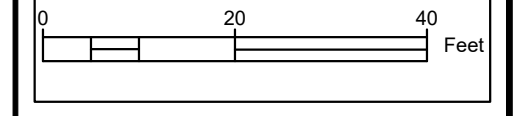
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**REVISIONS**

No.	DATE	DESCRIPTION



**CLIENT:**  
 MOELLER PURCELL  
 105825 OLD ALABAMA RD  
 CONNECTOR, SUITE 100  
 ALPHARETTA, GA 30022  
 CONTACT: ANDY NICHOLS  
 770-441-2060  
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 105 BARNESDALE TERRACE  
 PIN: 15-1093-011 + 15-1093-0013  
 LL 1093 / 15TH DISTRICT  
 CITY OF WOODSTOCK  
 CHEROKEE COUNTY, GA

**UTILITY PLAN**

DATE: DECEMBER 16, 2025  
 PROJECT: 25-043

SHEET: **C 601**

**24 HOUR CONTACT:**  
 ROBERT FRENCH  
 904-608-7612



**MEMO**

**DATE:** May 7, 2026  
**TO:** Woodstock Planning Commission  
**FROM:** Melissa Sigmund, Community Development Director  
**RE:** Planning Commission Monthly Update

*On April 13, 2026, the City Council acted on the following items:*

**Change to Site Plan for CUP#083-24 -Woodpark Place**

The request is for approval of a change to site plan for CUP#083-24 for Woodpark Place. This CUP was approved by Council on October 24, 2024. It included a condition of approval that modifications to the site plan not deemed minor or consistent with the site plan included in the CUP by the Community Development Director, shall be subject to Council review. The proposed modified site plan is being brought before the Council for conceptual approval. City Council voted unanimously to approve the concept (6-0). The plans will continue in the technical plan review process to ensure compliance with all applicable standards and requirements.

*On April 27, 2026, the City Council acted on the following items:*

**CUP#093-25: 706 Robin Court**

The request is for a Conditional Use Permit to allow for a development within the Downtown District on less than five acres with a concurrent Variance for site development standards. City Council voted unanimously approve the request (5-0).

**V#220-25 704 Robin Court**

The request is for a Conditional Use Permit to allow for a development within the Downtown District on less than five acres with a concurrent Variance for site development standards and concurrent variance to allow an increase sidewalk supplemental zone for the development of a single family home at 704 Robin Court. City Council voted unanimously to approve the request (5-0).

**Z#167-26 & CUP#94-26, Reagan & Ridgewalk - The Pitch**

The request is for approval of a Zone Map Amendment, Conditional Use Permit (CUP), and Variances to allow for the construction of a ± 12.81 acre mixed-use development located at the southeast corner of Reagan Street and Ridgewalk Parkway that would include up approximately 26,000 sf of commercial uses, a soccer stadium for semi-professional/professional soccer teams, and a maximum of 236 multi-family rental units. The application seeks to rezone the property from NC to GC-VMU and requests a Conditional Use Permit to allow multi-family rental units and to allow the residential units to be located on the ground floor of buildings within the development. Associated Variances are requested to the development standards of the LDO for the amounts and locations of provided parking. City Council voted unanimously to table the case to a date uncertain to allow the applicant time to provide additional information (5-0).

**ZTA#020-26: Lot of Record/Downtown LDO Amendment**

The request for approval of a Zone Text Amendment that amends Chapter VII (Performance Zoning Standards) of the Land Development Ordinance to update Article III – General Information, Article IV – Zone District Performance Standards, Article V – Use Districts and Regulations, and Article VII – Downtown District Standards. City Council voted unanimously to approve the request (5-0).